

SERENO

FSMY
ARCHITECTS + PLANNERS
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CA # AAC000447



DESIGNED	DRAWN	CHECKED
JB	SB	SB

REVISIONS

DATE	COMM
11/05/2025	24029

SERENO

2801 NE 8TH COURT
FORT LAUDERDALE, FL

COVER SHEET

SITE PLAN APPROVAL

AR-000

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DEVELOPER:
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ARCHITECTURE:
FSMY ARCHITECTS
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954.764.6575

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LOCHRIS & CHAKAS, P.A.
1401 E. Broward Blvd., Suite 20
Fort Lauderdale, FL 33301
954.779.1119

TRAFFIC ENGINEER:
DC ENGINEERS, INC.
12743 NW 13 Court
CORAL SPRINGS, FL 33071
954.798.0925

CIVIL ENGINEER:
FLYNN ENGINEERING
241 Commercial Boulevard
Lauderdale-By-The-Sea, Florida
954.522.1004

LANDSCAPE ARCHITECT:
DESIGN STUDIO BOCA, LLC
2300 Corporate Blvd, NW Suite 214
Boca Raton, Florida
954.955.8623

SEABRIDGE

A SUBDIVISION IN SECTION 1, TOWNSHIP 30-SOUTH, RANGE-42-EAST, FORT LAUDERDALE, BROWARD COUNTY, FLORIDA.

DEVELOPED BY
DECKER, HANDLEY, AND SHEFFER, INC.
WALTER A. McELFRESH, ENGR.

SCALE - 1" = 60'

DATED APRIL, 1946

STATE OF FLORIDA
COUNTY OF BROWARD 5.5.

Know all men by these presents: DECKER, HANDLEY, AND SHEFFER, INC., A CORPORATION, the owners of all the lands shown and described on this plat, has caused said lands to be subdivided and platted in the manner hereon shown, said subdivision to be known as "SEABRIDGE".

All streets, Avenues, Roads and Waterways are hereby dedicated to the perpetual use of the public, reserving, however, unto DECKER, HANDLEY, AND SHEFFER, INC., A CORPORATION, its successors and assigns, the reversion or reversions whenever any of the same may be discontinued by law.

In witness whereof DECKER, HANDLEY, AND SHEFFER, INC., A CORPORATION, has caused this instrument to be signed by its president, and its corporate seal to be affixed and attested by its secretary this 17th day of April, A. D. 1946.

Signed, sealed and delivered in the presence of
Walter A. McElfresh
Walter A. McElfresh
WALTER A. McELFRESH, ENGR.

DECKER, HANDLEY, AND SHEFFER, INC.
M. O. Decker
Doyle A. McNece
SECRETARY

STATE OF FLORIDA
COUNTY OF BROWARD 5.5.

I hereby CERTIFY that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, M. O. DECKER and DOYLE A. McNEECE as president and secretary respectively, of DECKER, HANDLEY, AND SHEFFER, INC., A CORPORATION, and they acknowledged before me that they executed the foregoing dedication of the plat of "SEABRIDGE" as such officers of said corporation, in the name of said corporation, being duly authorized by said corporation so to execute said dedication, and that said dedication is the act and deed of said corporation for the purpose therein expressed.

Witness my hand and official seal at Fort Lauderdale, Broward County, Florida this 17th day of April, A. D. 1946.
My Commission expires, *April 21, 1947*

STATE OF FLORIDA
COUNTY OF BROWARD 5.5.

Know all men by these presents, that the undersigned FREDRICK CLAY BARTLETT and EVELYN FORTUNE BARTLETT, his wife, owners and holders of MORTGAGE Dated *April 17, 1946* and now on the public records of Broward County, Florida, upon the lands shown on this plat do for themselves, their heirs, executors, administrators and assigns hereby join in, consent to and approve the aforesaid plat of said lands executed by DECKER, HANDLEY, AND SHEFFER, INC., A CORPORATION.

We have hereunto set our hands and seals at Fort Lauderdale in said County and State on this the 17th day of April, A. D. 1946.

Signed, sealed and delivered in the presence of
Fredrick Clay Bartlett
Evelyn Fortune Bartlett
FREDRICK CLAY BARTLETT (SEAL)
EVELYN FORTUNE BARTLETT (SEAL)

STATE OF FLORIDA
COUNTY OF BROWARD 5.5.

I hereby CERTIFY that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, FREDRICK CLAY BARTLETT and EVELYN FORTUNE BARTLETT, his wife, to me well known to be the individuals described in and who executed the foregoing dedication of plat of "SEABRIDGE", and that they acknowledged before me that they executed the same freely and voluntarily for the purposes therein expressed.

Witness my hand and official seal at Fort Lauderdale, Broward County, Florida this 17th day of April, A. D. 1946.
My Commission expires, *April 21, 1947*

STATE OF FLORIDA
COUNTY OF BROWARD 5.5.

I, S. H. MARSHALL, CITY AUDITOR and CLERK of the city of FORT LAUDERDALE, in BROWARD COUNTY, FLORIDA, do hereby CERTIFY that this plat of "SEABRIDGE" was approved and accepted for record by the CITY COMMISSION of said city of FORT LAUDERDALE in and by ordinance No. 6365 duly adopted at a regular meeting of said CITY COMMISSION on the 27th day of April, A. D. 1946.

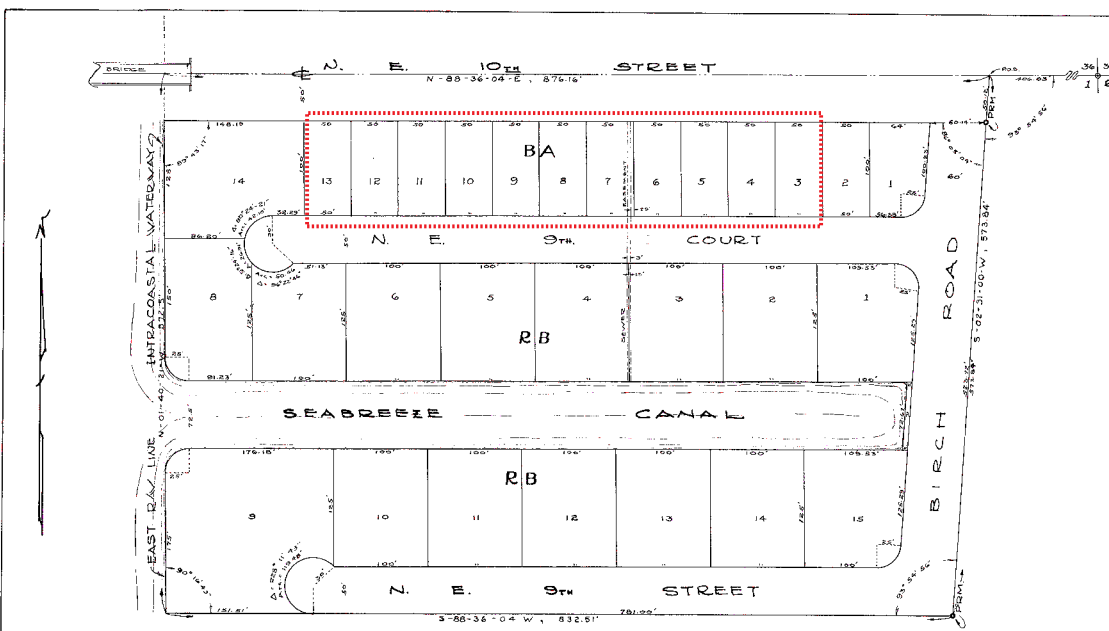
In witness whereof, I have hereunto set my hand and affixed the corporate seal of said City in said City this 28th day of May, A. D. 1946.

STATE OF FLORIDA
COUNTY OF BROWARD 5.5.

I, TED CABOT, clerk of the circuit court of said county, and ex-officio clerk of the board of County Commissioners of said County, do hereby CERTIFY that this plat of "SEABRIDGE" was approved and accepted for record by the said Board of County Commissioners in and by resolution adopted by said board on this 7th day of May, A. D. 1946.

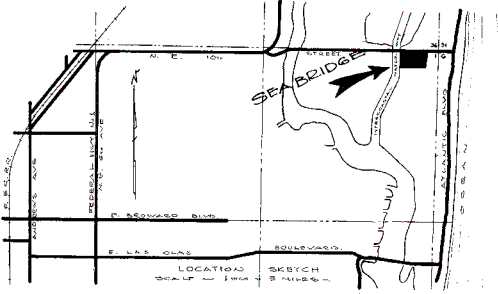
Also that this plat complies with the provisions of "AN ACT TO REGULATE THE MAKING OF SURVEYS AND PLATTING FOR RECORD OF MAPS AND PLATS IN THE STATE OF FLORIDA", approved by the Governor June 11, 1925.

In witness whereof, I have set my hand and affixed the seal of said County of FORT LAUDERDALE, Florida this 17th day of April, A. D. 1946.



NOTE:
ALL CORNER LOT DIMENSIONS SHOWN ARE TO TANGENT INTERSECTIONS.

DESCRIPTION
A part of Government Lot 1, Section 1, Township 30 South, Range 42 East, Broward County, Florida; more particularly described as follows:
Beginning at a point on the North boundary of said Section 1, 406.03 feet West of the Northeast corner of said Section 1; thence, South 2 degrees, 31 minutes, 00 seconds West, a distance of 573.84 feet, to a point 912.5 feet South of, measured at right angles to the North boundary of said Section 1; thence, South 88 degrees, 36 minutes, 04 seconds West, along a line parallel to and 572.5 feet South of, measured at right angles to said North boundary of said Section 1, a distance of 832.51 feet, to a point on the Easterly Right-of-way line of the Intra-coastal Waterway from Jacksonville, Florida, to Miami, Florida, according to the plat thereof recorded in Book 17 of page 14 of the public records of Broward County, Florida; thence, along said Easterly Right-of-way line, North 01 degree, 40 minutes, 21 seconds West, a distance of 572.5 feet, to a point on the North boundary of said Section 1; thence along said North boundary of said Section 1, North 88 degrees, 34 minutes, 02 seconds East, a distance of 876.16 feet, to the point of beginning, containing 10.23 Acres more or less. Subject, however, to a road easement to the City of Fort Lauderdale, Florida, of 80 feet along the North boundary of said described property as described and recorded in DEED Book 327 of page 334 of the public records of Broward County, Florida, containing 0.5 Acres more or less.



PLANNING BOARD CERTIFICATE
THIS IS TO CERTIFY that the CITY PLANNING BOARD of the CITY of FORT LAUDERDALE, FLORIDA, approved and accepted this plat by resolution adopted this 15th day of April, A. D. 1946.

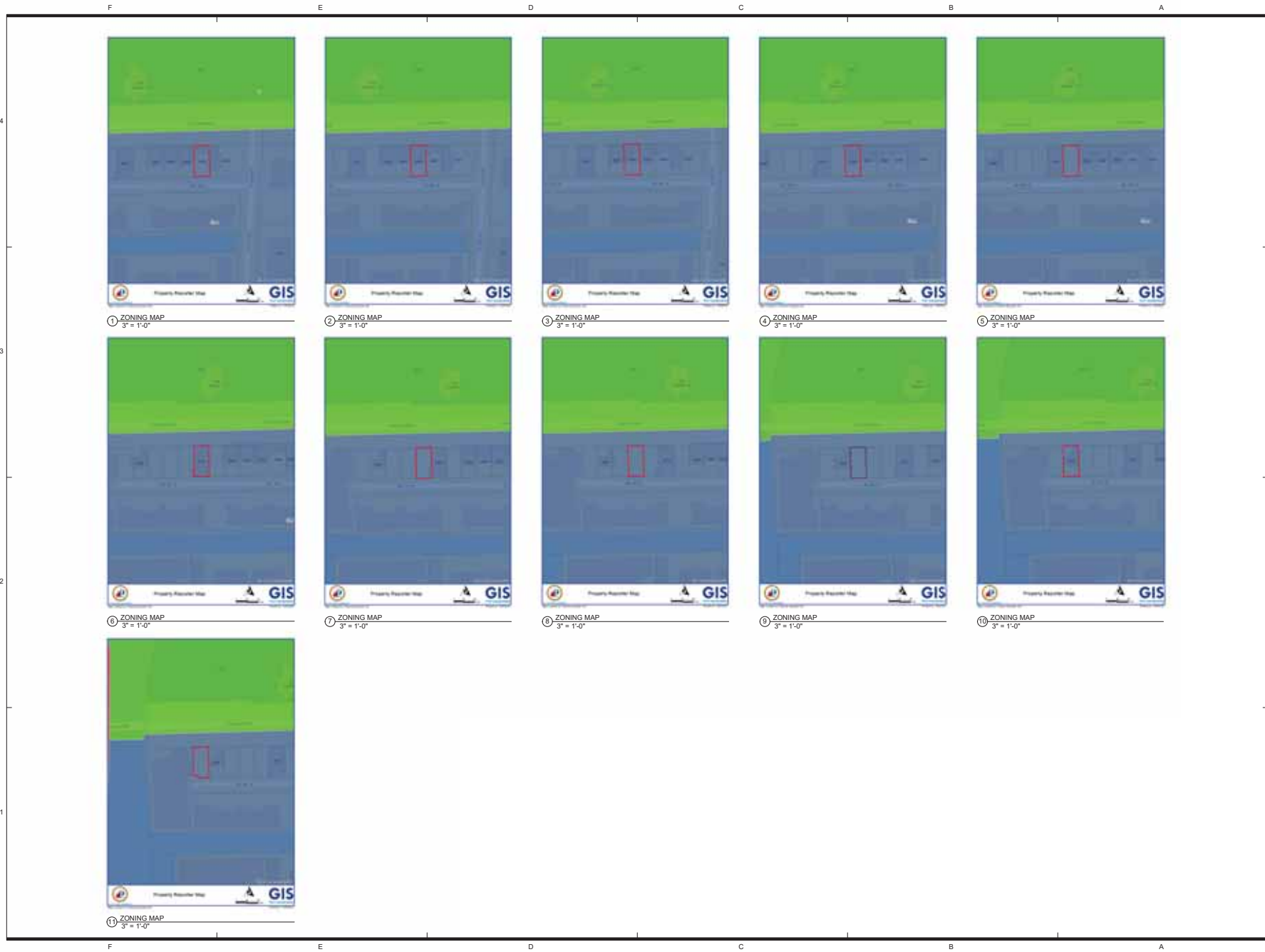
COUNTY ENGINEER
This plat of "SEABRIDGE" approved for record this 7th day of May, A. D. 1946.

CITY ENGINEER
This plat of "SEABRIDGE" approved for record this 28th day of May, A. D. 1946.

STATE OF FLORIDA
COUNTY OF BROWARD 5.5.
This instrument filed for record this 17th day of April, A. D. 1946, and recorded in Book 21 of plats on Page 46, Record Verified.

TED CABOT
Clerk of the Circuit Court
Broward County, Florida
By *Secretary*

STATE OF FLORIDA
COUNTY OF BROWARD 5.5.
I, WALTER A. McELFRESH, Registered Engineer and Registered Land Surveyor, do hereby CERTIFY that this plat of "SEABRIDGE" is a true representation of the lands platted and shown hereon, that permanent REFERENCE MONUMENTS have been set as indicated by "P.R.M." that these measurements have been made on the ground under my direction and are true and correct to the best of my knowledge and belief.
DATED at Fort Lauderdale, Florida, this 9th day of April, A. D. 1946.
Walter A. McElfresh
Registered Eng. No. 1630
Reg. Land Surveyor No. 68
State of Florida



DESIGNED	DRAWN	CHECKED
JB	JV	SB

REVISIONS	
DATE	COMM
11/05/2025	24029

SERENO

2801 NE 8TH COURT
FORT LAUDERDALE, FL

ZONING MAPS
SITE PLAN APPROVAL

AR-000.1

DESIGNED	DRAWN	CHECKED
JB	JV	SB

REVISIONS

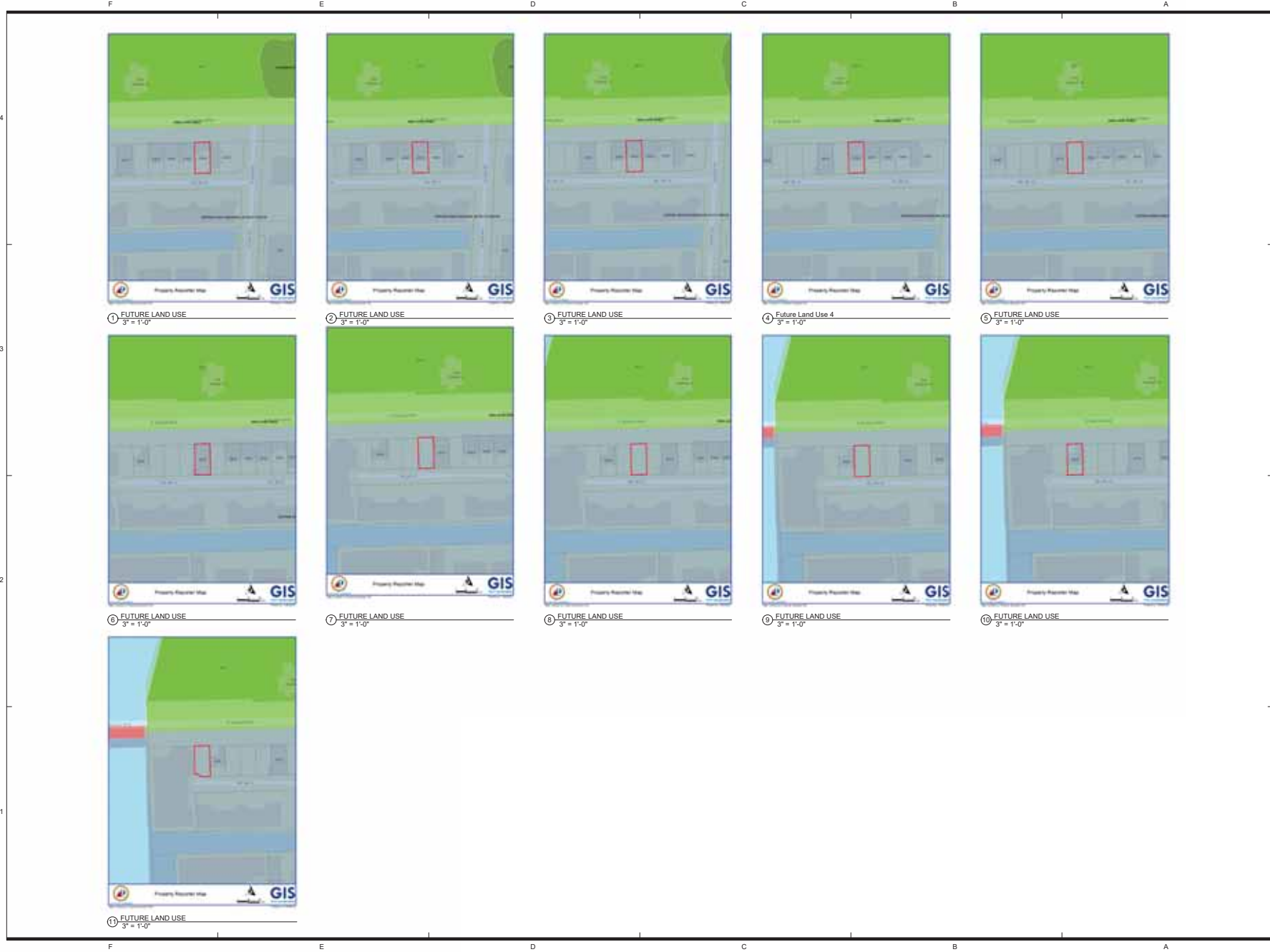
DATE:	COMM:
11/05/2025	24029

SERENO

2801 NE 8TH COURT
FORT LAUDERDALE, FL

FUTURE LAND USE
SITE PLAN APPROVAL

AR-000.2



① FUTURE LAND USE
3" = 1'-0"

② FUTURE LAND USE
3" = 1'-0"

③ FUTURE LAND USE
3" = 1'-0"

④ Future Land Use 4
3" = 1'-0"

⑤ FUTURE LAND USE
3" = 1'-0"

⑥ FUTURE LAND USE
3" = 1'-0"

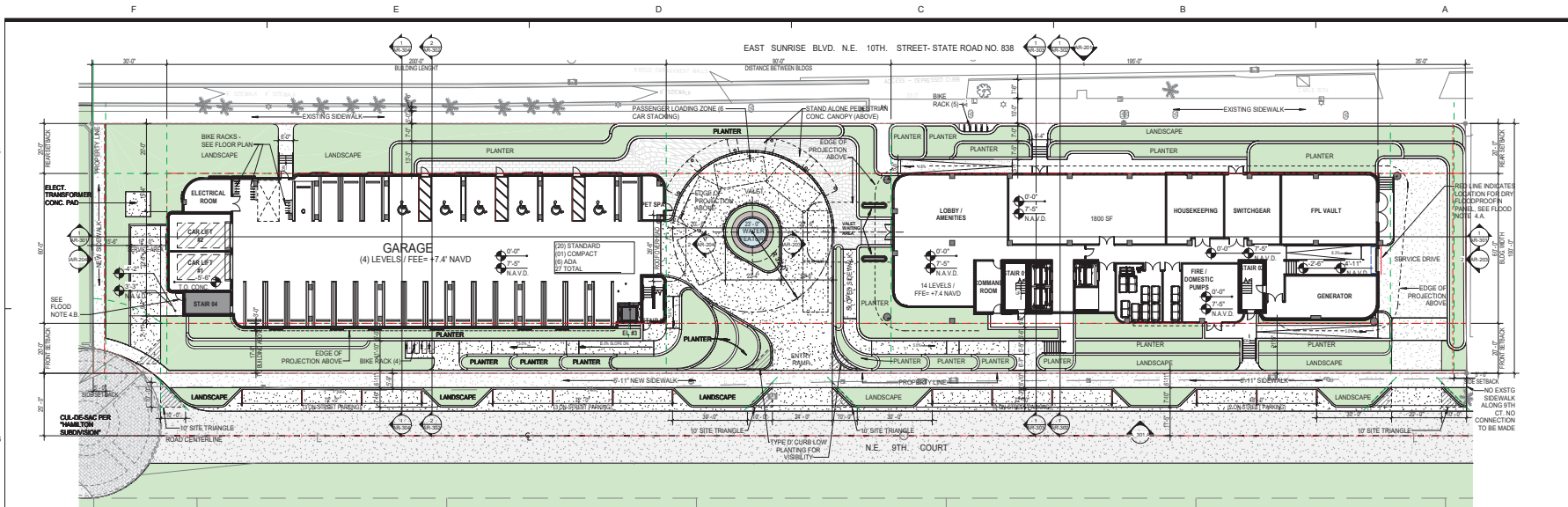
⑦ FUTURE LAND USE
3" = 1'-0"

⑧ FUTURE LAND USE
3" = 1'-0"

⑨ FUTURE LAND USE
3" = 1'-0"

⑩ FUTURE LAND USE
3" = 1'-0"

⑪ FUTURE LAND USE
3" = 1'-0"



SITE PLAN
AR-001
1" = 20'-0"

SITE PLAN DATA

<p>A. LAND USE DESIGNATION CB/RAC</p> <p>B. ZONING DESIGNATION SLA</p> <p>C. SITE AREA 54,870 SF (1.2696 ACRES)</p> <p>D. WATER/WASTEWATER SERVICE PROVIDER CITY OF FORT LAUDERDALE</p> <p>E. DEVELOPMENT DWELLING UNIT BREAKDOWN AND TYPE:</p> <table border="1"> <tr> <td>STUDIO (R 1 BR/1 Q2 / 375 SF)</td> <td>60 UNITS</td> </tr> <tr> <td>1 BEDROOM (S43 / 576 SF)</td> <td>15 UNITS</td> </tr> <tr> <td>1 BEDROOM - DEN (S42 SF - 686 SF)</td> <td>36 UNITS</td> </tr> <tr> <td>1 BEDROOM (T10 / 84 SF)</td> <td>36 UNITS</td> </tr> <tr> <td>2 BEDROOM - DEN (526 SF)</td> <td>1 UNITS</td> </tr> <tr> <td>3 BEDROOM (1221 SF)</td> <td>1 UNITS</td> </tr> <tr> <td>3 BEDROOM-DEN (1232 SF)</td> <td>1 UNITS</td> </tr> <tr> <td>TOTAL UNITS</td> <td>201 UNITS</td> </tr> </table> <p>OF THE UNIT TYPES LISTED ABOVE: HOTEL KEYS DWELLING UNITS</p> <p>F. NON-RESIDENTIAL FLOOR AREA</p> <table border="1"> <tr> <td>COMMERCIAL</td> <td>1,800 SF</td> </tr> </table> <p>G. PARKING DATA (SELF-PARK LEVEL 01, VALET LEVEL 02 TO 04)</p> <table border="1"> <tr> <td>PARKING REQUIRED</td> <td>0.67 SPACE PER KEY</td> </tr> <tr> <td>HOTEL</td> <td>1 SPACE PER 333 SF</td> </tr> <tr> <td>COMMERCIAL</td> <td>1.28 SPACE PER DWELLING UNIT</td> </tr> <tr> <td>RESIDENTIAL</td> <td>194 PARKING SPACES</td> </tr> </table> <p>* SEE ATTACHED PARKING REDUCTION STUDY</p>	STUDIO (R 1 BR/1 Q2 / 375 SF)	60 UNITS	1 BEDROOM (S43 / 576 SF)	15 UNITS	1 BEDROOM - DEN (S42 SF - 686 SF)	36 UNITS	1 BEDROOM (T10 / 84 SF)	36 UNITS	2 BEDROOM - DEN (526 SF)	1 UNITS	3 BEDROOM (1221 SF)	1 UNITS	3 BEDROOM-DEN (1232 SF)	1 UNITS	TOTAL UNITS	201 UNITS	COMMERCIAL	1,800 SF	PARKING REQUIRED	0.67 SPACE PER KEY	HOTEL	1 SPACE PER 333 SF	COMMERCIAL	1.28 SPACE PER DWELLING UNIT	RESIDENTIAL	194 PARKING SPACES	<p>PARKING PROVIDED: STANDARD COMPACT ADA LIFT TOTAL</p> <table border="1"> <tr> <td>LEVEL 01</td> <td>20</td> <td>01</td> <td>06</td> <td>-</td> <td>27</td> </tr> <tr> <td>LEVEL 02</td> <td>-</td> <td>04</td> <td>-</td> <td>54</td> <td>58</td> </tr> <tr> <td>LEVEL 03</td> <td>-</td> <td>07</td> <td>-</td> <td>50</td> <td>57</td> </tr> <tr> <td>LEVEL 04</td> <td>-</td> <td>58</td> <td>-</td> <td>54</td> <td>56</td> </tr> <tr> <td>TOTAL PROVIDED</td> <td>20</td> <td>16</td> <td>06</td> <td>158</td> <td>200</td> </tr> </table> <p>NOTE 2: COMPACT BICYCLES SHALL NOT EXCEED 20% OF TOTAL NUMBER OF REQUIRED PARKING SPACES.</p> <p>H. BUILDING ZONES NOT REQUIRED</p> <p>J. BUILDING FOOTPRINT COVERAGE</p> <table border="1"> <tr> <td>GARAGE - TOWER</td> <td>25,577 SF</td> </tr> <tr> <td>FLOOR PLATE AREA</td> <td></td> </tr> <tr> <td>GARAGE</td> <td>11,911 SF</td> </tr> <tr> <td>TOWER</td> <td>11,959 SF</td> </tr> </table> <p>K. F.A.R.</p> <table border="1"> <tr> <td>GARAGE</td> <td>11,948 SF</td> </tr> <tr> <td>LEVEL 01 GROUND LEVEL</td> <td>10,538 SF</td> </tr> <tr> <td>LEVEL 02</td> <td>10,538 SF</td> </tr> <tr> <td>LEVEL 03</td> <td>10,538 SF</td> </tr> <tr> <td>LEVEL 04</td> <td>10,538 SF</td> </tr> <tr> <td>LEVEL 05 (ROOF)</td> <td>4,774 SF</td> </tr> </table> <p>TOWER</p> <table border="1"> <tr> <td>LEVEL 01 GROUND LEVEL</td> <td>11,988 SF</td> </tr> <tr> <td>LEVEL 02 TO 13 (0.0 N - 12 LEVELS) 10,600 SF X 12</td> <td>127,200 SF</td> </tr> <tr> <td>LEVEL 14</td> <td>10,600 SF</td> </tr> <tr> <td>LEVEL 15 (ROOF)</td> <td>523 SF</td> </tr> </table> <p>TOTAL F.A.R. SQUARE FOOTAGE 191,761 SF ± 54,870 SF ± = 3.60 F.A.R.</p> <p>L. NUMBER OF STORES GARAGE 5 STORES (INCLUDING 5TH FLOOR 07M) COND0 HOTEL TOWER 14 STORES</p>	LEVEL 01	20	01	06	-	27	LEVEL 02	-	04	-	54	58	LEVEL 03	-	07	-	50	57	LEVEL 04	-	58	-	54	56	TOTAL PROVIDED	20	16	06	158	200	GARAGE - TOWER	25,577 SF	FLOOR PLATE AREA		GARAGE	11,911 SF	TOWER	11,959 SF	GARAGE	11,948 SF	LEVEL 01 GROUND LEVEL	10,538 SF	LEVEL 02	10,538 SF	LEVEL 03	10,538 SF	LEVEL 04	10,538 SF	LEVEL 05 (ROOF)	4,774 SF	LEVEL 01 GROUND LEVEL	11,988 SF	LEVEL 02 TO 13 (0.0 N - 12 LEVELS) 10,600 SF X 12	127,200 SF	LEVEL 14	10,600 SF	LEVEL 15 (ROOF)	523 SF	<p>M. BUILDING HEIGHT OVERALL*</p> <p>TOWER = 144'-0" ABOVE FINISH GROUND FLOOR / 151'-4" NAVD</p> <p>GARAGE = 71'-0" ABOVE FINISH GROUND FLOOR / 78'-4" NAVD</p> <p>N. BUILDING YARDS REQUIRED PROVIDED</p> <p>FRONT - NORTH 20 FEET TO PL</p> <p>FRONT - SOUTH 20 FEET TO PL</p> <p>SIDE - EAST 5 FEET</p> <p>SIDE - WEST 5 FEET</p> <p>P. OPEN SPACE SEE SHEET AR-002</p> <p>Q. TYPE OF CONSTRUCTION TYPE 1A, SPRINKLERED (# OF STORES AND AREA "UNLIMITED" TABLES 504.3a AND 504.4)</p>
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LEVEL 15 (ROOF)	523 SF																																																																																					

<p>LEGAL DESCRIPTION</p> <p>LOTS 3,4,5,6,7,8, 10,11,12, AND 13, BLOCK BA, OF "SEABRIDGE", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 21, PAGE 46, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THAT PORTION OF LOT 13 FOR ROAD RIGHT OF WAY, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NORTHWEST CORNER OF SAID LOT 13; THENCE RUN S 27° 02' 51" E, ALONG THE WEST LINE OF SAID LOT 13, FOR A DISTANCE OF 80.11 FEET TO THE POINT OF BEGINNING OF PARCEL OF LAND HERETOFORE TO BE DESCRIBED; THENCE CONTINUE S 27° 02' 51" E, ALONG THE WEST LINE OF SAID LOT 13, FOR A DISTANCE OF 340 FEET TO THE SOUTHWEST CORNER OF SAID LOT 13; THENCE RUN N 81° 18' 15" E, ALONG THE SOUTH LINE OF SAID LOT 13, FOR A DISTANCE OF 19.81 FEET TO A POINT ON CURVE, SAID POINT BEING 346.77 FEET TO THE HANGS POINT OF A CIRCULAR CURVE, CONCAVE TO THE SOUTHWEST AND HAVING FOR ITS ELEMENTS A RADIUS OF 30 FEET AND A CENTRAL ANGLE OF 47° 24' 42" THENCE RUN NORTHWESTERLY, ALONG THE ARC OF SAID CIRCULAR CURVE, FOR AN ARC DISTANCE OF 22.33 FEET TO THE POINT OF BEGINNING.</p>	<p>TRANSPORTATION AND MOBILITY</p> <p>1. BIKE PARKING: A. BIKE INTERIOR (B.I.) SPACES = 11 PROVIDED FOR 88 UNITS (104 BEDROOMS). SPECIFICATION: ULTRA SPACE SAVER SQUARED - WALL MOUNTED - VERTICAL BIKE RACK FROM THE PARK AND FACILITIES CATALOG OR APPROVED EQUAL. B. BIKE EXTERIOR (B.E.) SPACES = 9 PROVIDED. SEE LANDSCAPE DRAWINGS FOR MORE INFORMATION.</p>	<p>FLOOD</p> <ol style="list-style-type: none"> 1. THE FLOOD ZONE IN WHICH THE BUILDING IS PROPOSED TO BE BUILT IS: 2. THE BASE FLOOD ELEVATION (BFE) FOR THE ZONE IN WHICH THE BUILDING IS PROPOSED TO BE BUILT IS 7.2' NAVD. 3. FLOOD INSURANCE RATE MAP (FIRM) PANEL NUMBER (OFFICIAL): 4. THE PROPOSED LOWEST FLOOR ELEVATION IS: 5. LANDSCAPE AND EXTERIOR FINISHES SHALL BE PROTECTED BY FLOOD PANELS AT THE EXTERIOR GROUND-TO-CORNER. 6. STAIRS AND ELEVATOR ENCLOSURES SHALL BE FLOODEPROOFED WITH FIRE-RATED SECURITY GATE AND EXTERIOR FLOOD CHURNALS (SEE LAYOUTS FOR AREA SCHEDULE). 7. THE PROPOSED LOWEST FLOOR ELEVATION IS 4.4' NAVD (7' F.A.M.). 8. THE PROPOSED LOWEST MECHANICAL ELEVATION IS 4' NAVD (7' F.A.M.). 9. A DESCRIPTION OF THE LOCATION OF THE PROPOSED LOWEST MECHANICAL: ALL AT OR ABOVE 4' NAVD (7' F.A.M.). 10. PROPOSED LOWEST FLOODEPROOFED ELEVATION: WEST BUILDING: +4.02' NAVD (7' F.A.M.) EAST BUILDING: +4.02' NAVD (7' F.A.M.)
<p>CODE DATA</p> <ol style="list-style-type: none"> 1. PROJECT SHALL BE PERMITTED UNDER THE 2023 FLORIDA BUILDING CODE, 8TH EDITION AND COMPLY WITH FAIR HOUSING ACT DESIGN PRINCIPLES PER THE 2023 FBC ACCESSIBILITY VOLUME WHERE APPLICABLE. 2. OCCUPANCIES UNDER THE BUILDING PERMIT SHALL BE CLASSIFIED "R", "S-2", "A-2", AND "R-2" PER FBC 2023 CHAPTER 3. 3. PARKING GARAGE SHALL BE "CLOSED" AND MECHANICAL/VENTILATED PER FBC 2023 SECTION 406.6. 4. LIFE SAFETY PLANS UNDER THE BUILDING PERMIT SHALL BE SUBMITTED TO FBC 2023, CHAPTER 10 MEANS OF EGRESS - TYPICAL ALL FLOORS. 5. BUILDING SEPARATIONS SHALL COMPLY WITH FBC 2023 CHAPTER 6, TABLES 601 AND 705.5. 6. EXTERIOR WALL OPENINGS SHALL COMPLY WITH FBC 2023 CHAPTER 7, TABLE 705.6. 7. PARKING GARAGE SLOPES SHALL COMPLY WITH ULDR SECTION 47-203.A. 8. DUMPSTERS SHALL COMPLY WITH ULDR SECTION 47-15.4. 	<p>FIRE PROTECTION</p> <ol style="list-style-type: none"> 1. PROJECT SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF NFPA SEVENTH EDITION AND THE FLORIDA BUILDING CODE 2023. 2. PER FBC 603.2.11.3, THE BUILDING SHALL HAVE FIRE SPRINKLERS. 	<p>POLICE</p> <ol style="list-style-type: none"> 1. ALL EXTERIOR WINDOWS AND DOORS SHALL BE IMPACT RATED. 2. STAIRWELLS SHALL BE EGRESS ONLY ON GROUND LEVEL. 3. BUILDING SHALL BE FITTED WITH INTERCOMVIDEED ACCESS CONTROL SYSTEMS AT ENTRY/EXIT POINTS, ELEVATORS, PARKING GARAGE, AND COMMON AREAS. 4. EACH RESIDENTIAL AND COMMERCIAL UNIT SHALL BE WIRED FOR A MONITORED SECURITY SYSTEM AND THE POOL DECK SHALL INCORPORATE SAFETY FEATURES TO PREVENT UNSUPERVISED CHILDREN FROM ACCESSING THE POOL. 5. ELEVATORS SHALL BE ACCESS CONTROLLED. 6. UNIT ENTRY DOORS SHALL BE SOLID, IMPACT RESISTANT WITH DEADBOLT AND SHALL EACH BE FITTED WITH 180 DEGREE PEEPHOLE DOOR VIEWERS. 7. ACCESS CONTROL SHALL BE PROVIDED FOR MECHANICAL, ELECTRICAL AND MAINTENANCE ROOMS WHERE APPLICABLE. 8. THE INTERIOR OF THE GARAGE SHALL BE PAINTED A LIGHT COLOR. 9. PARKING GARAGE SHALL PROVIDE ACCESS CONTROL FOR RESIDENTS.
<p>AERIAL</p>		

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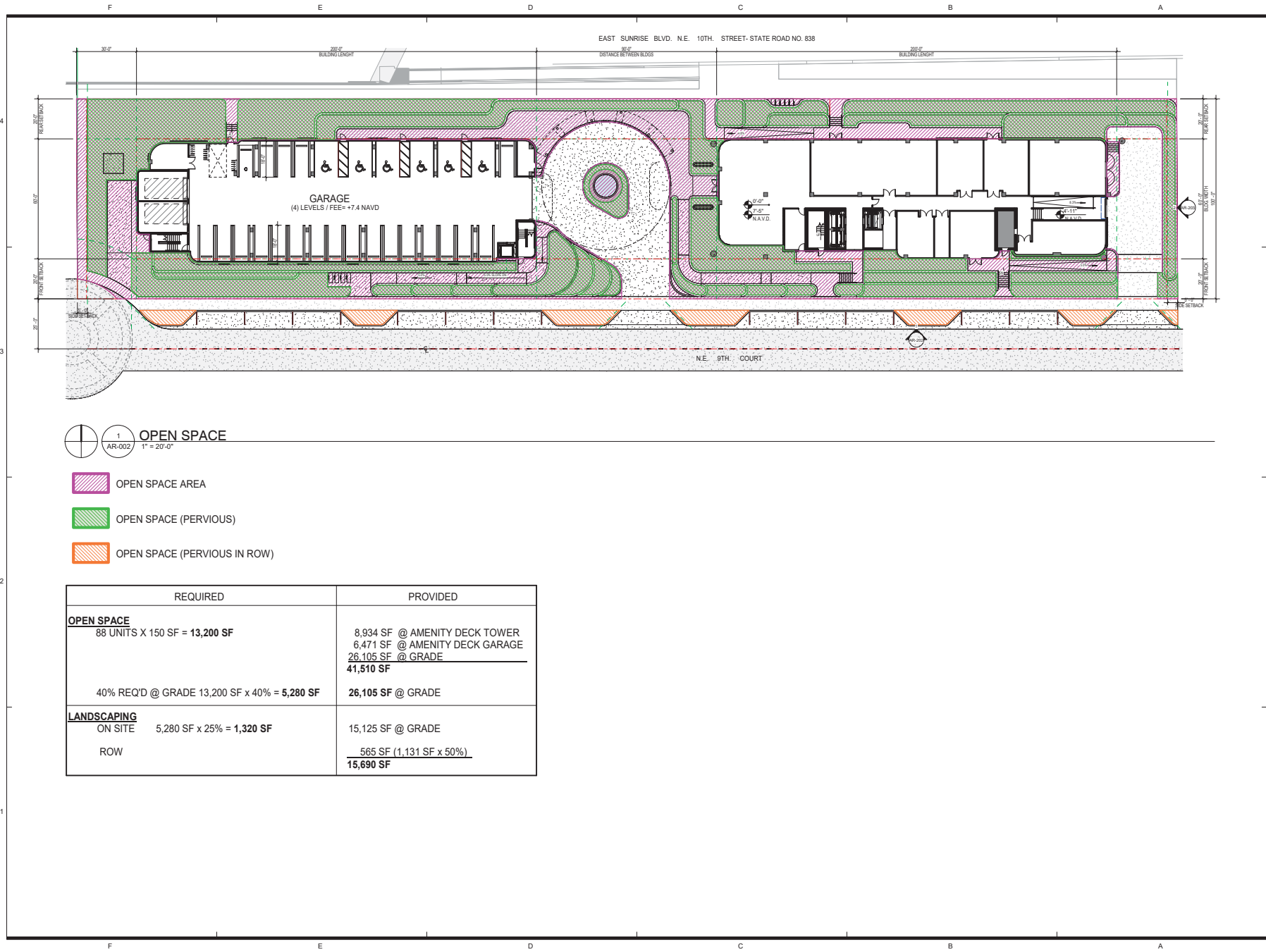
DATE	COM
11/05/2025	24029

SERENO

3501 NE 9TH COURT
FORT LAUDERDALE, FL

SITE PLAN

AR-001



1 OPEN SPACE
AR-002 1" = 20'-0"

- OPEN SPACE AREA
- OPEN SPACE (PERVIOUS)
- OPEN SPACE (PERVIOUS IN ROW)

REQUIRED	PROVIDED
OPEN SPACE 88 UNITS X 150 SF = 13,200 SF	8,934 SF @ AMENITY DECK TOWER 6,471 SF @ AMENITY DECK GARAGE 26,105 SF @ GRADE 41,510 SF
40% REQ'D @ GRADE 13,200 SF x 40% = 5,280 SF	26,105 SF @ GRADE
LANDSCAPING	
ON SITE 5,280 SF x 25% = 1,320 SF	15,125 SF @ GRADE
ROW	565 SF (1,131 SF x 50%) 15,690 SF

REVISIONS

DATE	COM
11/05/2025	24/029

SERENO

2801 NE 9TH COURT
FORT LAUDERDALE, FL

OPEN SPACE

SITE PLAN APPROVAL

AR-002

REVISIONS

DATE: 11/05/2025 COM: 24029

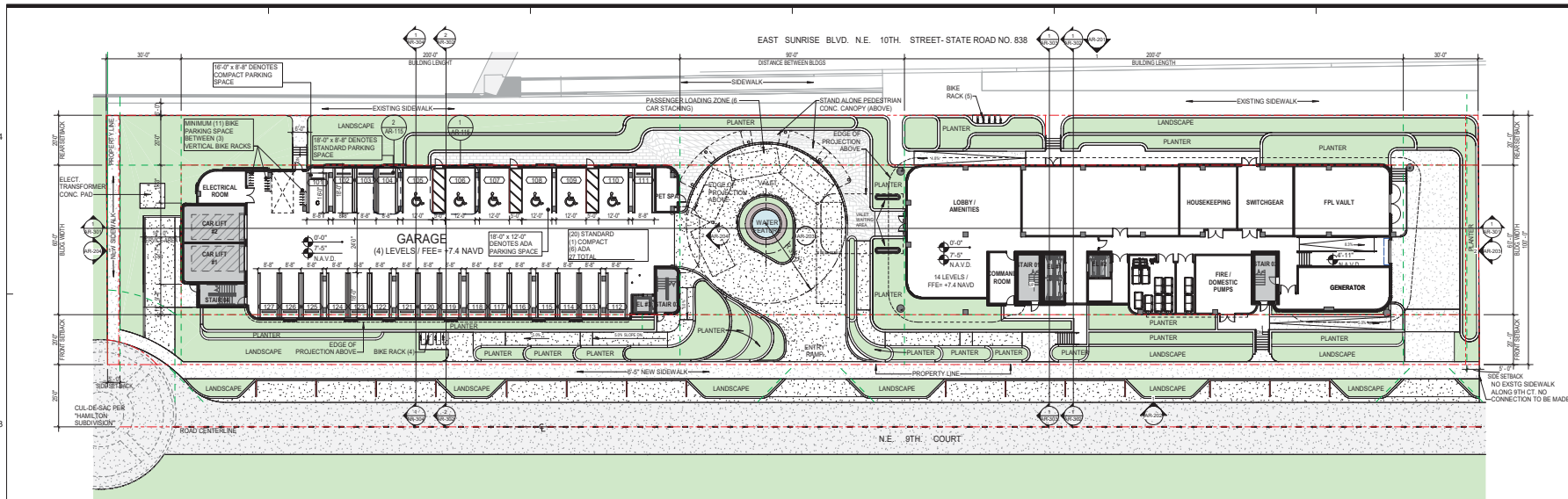
SERENO

3801 NE 5TH COURT
FORT LAUDERDALE, FL

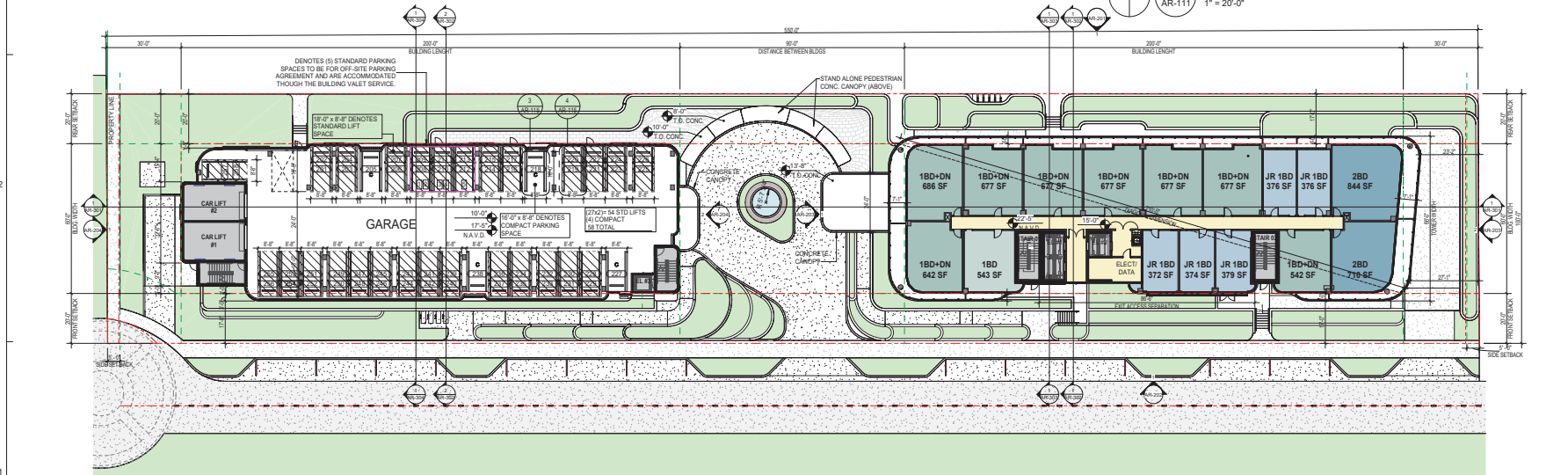
0100 - 0200 LEVELS

SITE PLAN APPROVAL

AR-111

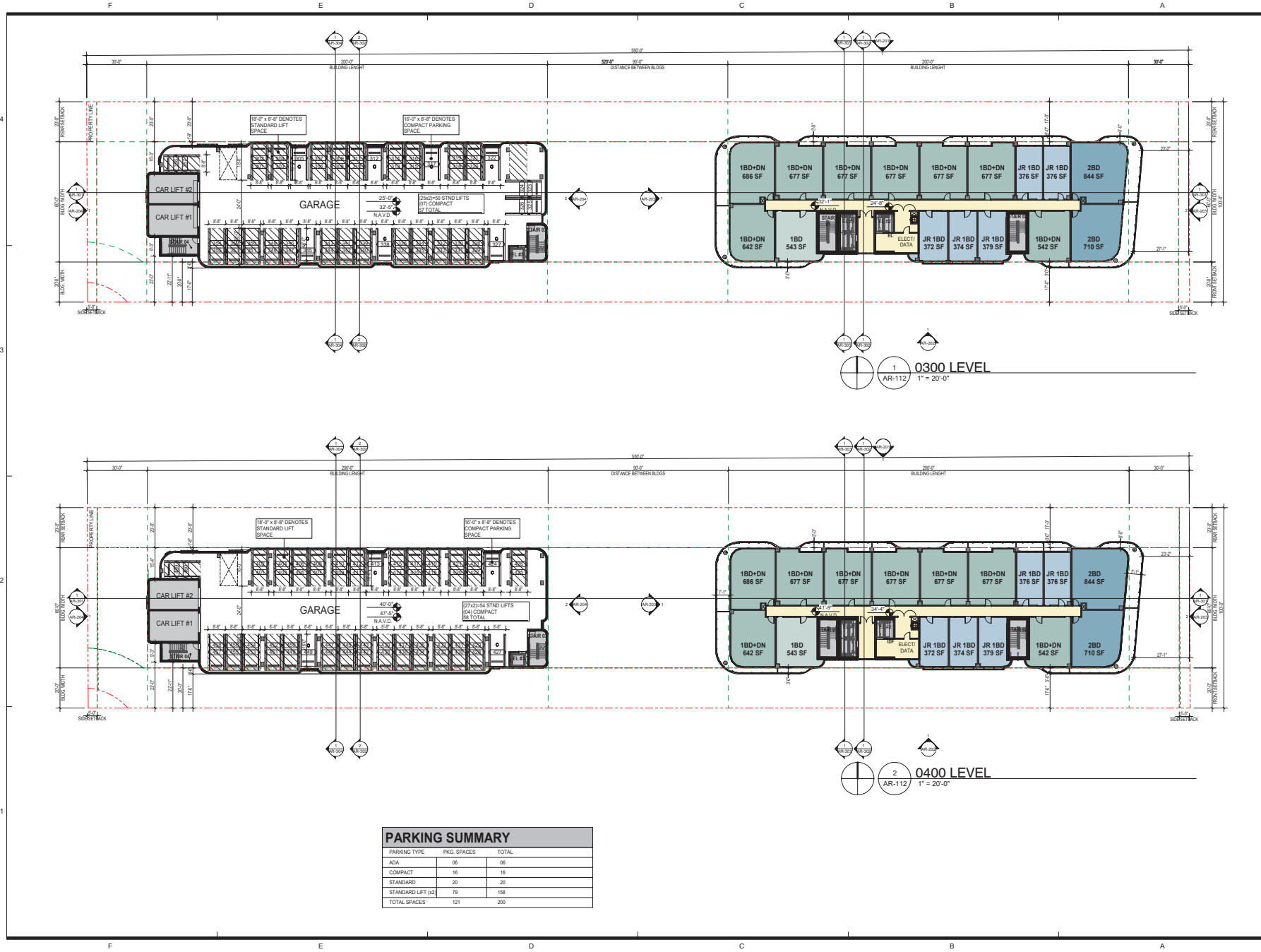


1 LEVEL 0100
AR-111 1" = 20'-0"



2 LEVEL 0200
AR-111 1" = 20'-0"

PARKING SUMMARY		
PARKING TYPE	PKG. SPACES	TOTAL
ADA	06	06
COMPACT	16	16
STANDARD	20	20
STANDARD LET (x2)	79	158
TOTAL SPACES	121	200



PARKING SUMMARY		
PARKING TYPE	PKG. SPACES	TOTAL
ADA	06	06
COMPACT	16	16
STANDARD	20	20
STANDARD LEFT (2)	79	158
TOTAL SPACES	121	200

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DATE	COM
11/05/2025	24029

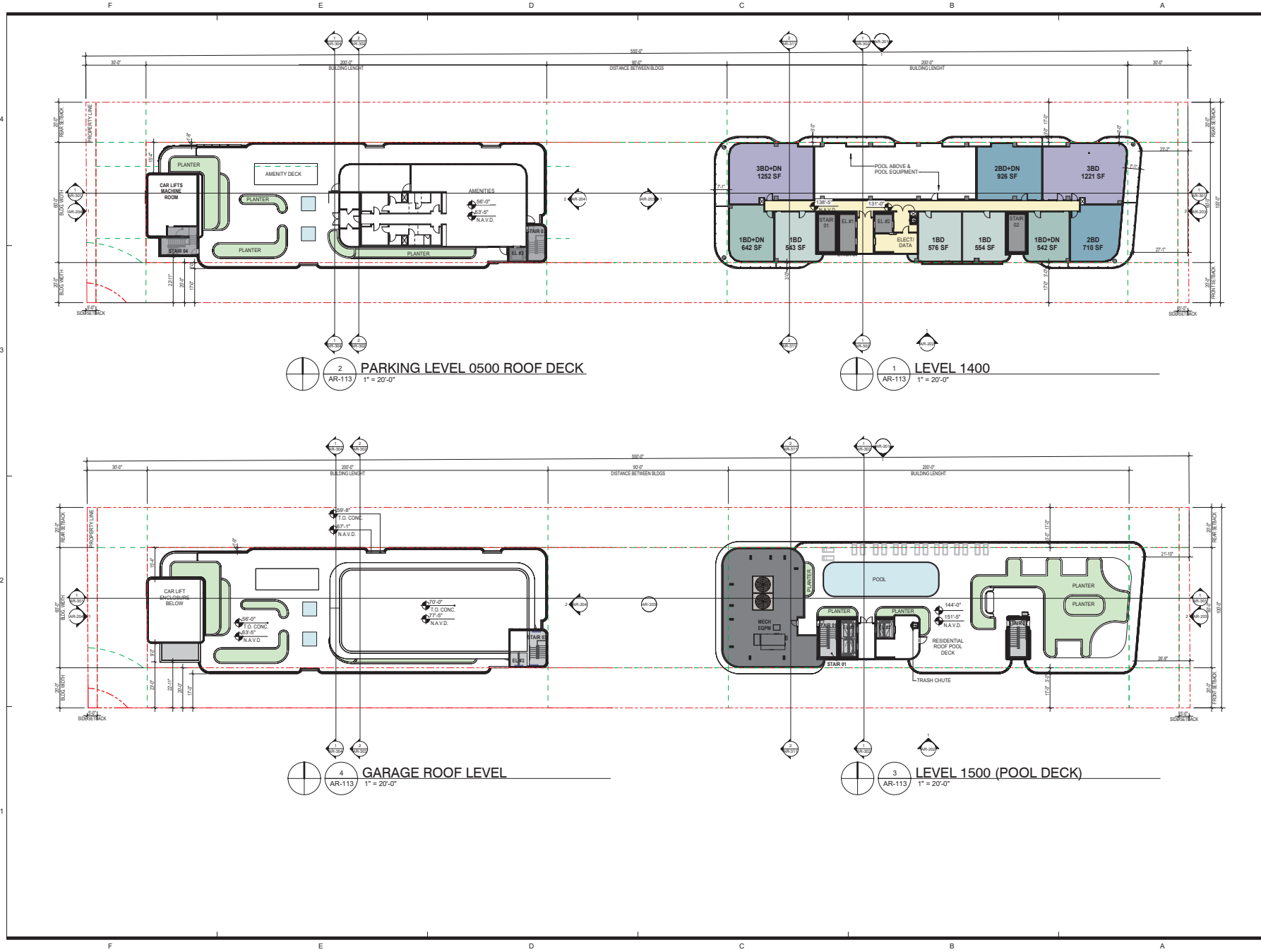
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2801 N.E. 5TH COURT
FORT LAUDERDALE, FL

0300 - 0400 LEVELS

SITE PLAN APPROVAL

AR-112



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DATE	COM
11/05/2025	24029

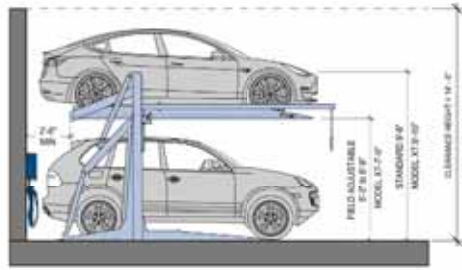
SERENO

2801 N.E. 5TH COURT
FORT LAUDERDALE, FL

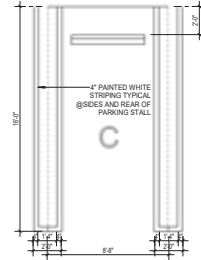
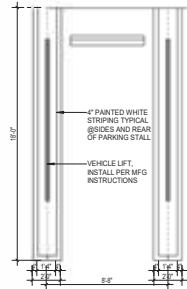
0500 - 1500 LEVEL

SITE PLAN APPROVAL

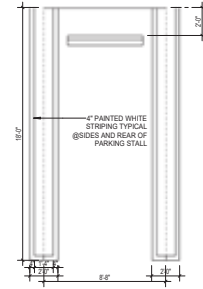
AR-113



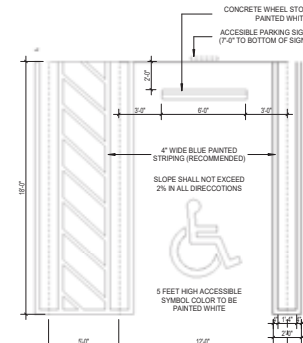
① PARKING STALL 90° WITH LIFT
1/4" = 1'-0"



③ PARKING STALL 90° COMPACT
1/4" = 1'-0"



② PARKING STALL 90°
1/4" = 1'-0"



④ PARKING STALL ADA
1/4" = 1'-0"

DESIGNED	DRAWN	CHECKED
JB	JV	SB

REVISIONS

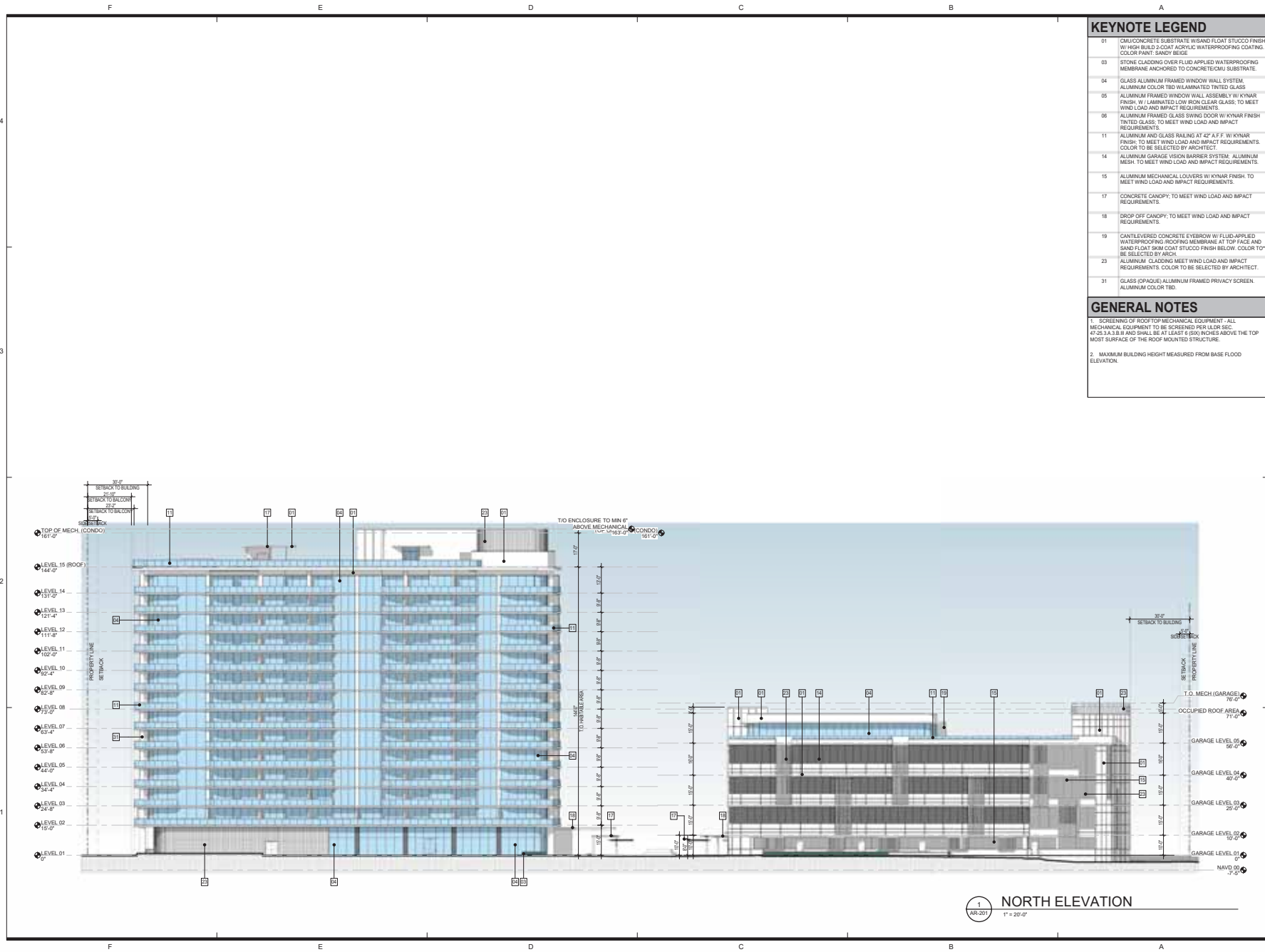
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2801 NE 8TH COURT
FORT LAUDERDALE, FL

PARKING DETAILS
SITE PLAN APPROVAL

AR-115



KEYNOTE LEGEND	
01	CMU/CONCRETE SUBSTRATE W/ SAND FLOAT STUCCO FINISH W/ HIGH BUILD 2-COAT ACRYLIC WATERPROOFING COATING. COLOR: PAINT: SANDY BEIGE.
03	STONE CLADDING OVER FLUID APPLIED WATERPROOFING MEMBRANE ANCHORED TO CONCRETE/CMU SUBSTRATE.
04	GLASS ALUMINUM FRAMED WINDOW WALL SYSTEM. ALUMINUM COLOR TBD W/ UNFINISHED TINTED GLASS.
05	ALUMINUM FRAMED WINDOW WALL ASSEMBLY W/ KYNAR FINISH. W/ LAMINATED LOW IRON CLEAR GLASS. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
06	ALUMINUM FRAMED GLASS SWING DOOR W/ KYNAR FINISH TINTED GLASS. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
11	ALUMINUM AND GLASS RAILING AT 42" A.F.F. W/ KYNAR FINISH. TO MEET WIND LOAD AND IMPACT REQUIREMENTS. COLOR TO BE SELECTED BY ARCHITECT.
14	ALUMINUM GARAGE VISION BARRIER SYSTEM. ALUMINUM MESH. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
15	ALUMINUM MECHANICAL LOUVERS W/ KYNAR FINISH. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
17	CONCRETE CANOPY. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
18	DROP OFF CANOPY. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
19	CANTILEVERED CONCRETE EYEBROW W/ FLUID APPLIED WATERPROOFING ROOFING MEMBRANE AT TOP FACE AND SAND FLOAT 58M COAT STUCCO FINISH BELOW. COLOR TO BE SELECTED BY ARCH.
23	ALUMINUM CLADDING MEET WIND LOAD AND IMPACT REQUIREMENTS. COLOR TO BE SELECTED BY ARCHITECT.
31	GLASS (PANELED) ALUMINUM FRAMED PRIVACY SCREEN. ALUMINUM COLOR TBD.

GENERAL NOTES	
1.	SCREENING OF ROOF TOP MECHANICAL EQUIPMENT - ALL MECHANICAL EQUIPMENT TO BE SCREENED PER UL580 SEC. 47.25.3.A.3.B.II AND SHALL BE AT LEAST 6 (SIX) INCHES ABOVE THE TOP MOST SURFACE OF THE ROOF MOUNTED STRUCTURE.
2.	MAXIMUM BUILDING HEIGHT MEASURED FROM BASE FLOOD ELEVATION.

FSTW
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11/05/2025	24029

SERENO

2801 NE 8TH COURT
 FORT LAUDERDALE, FL

NORTH ELEVATION

SITE PLAN APPROVAL

AR-201

F E D C B A

4

3

2

1

KEYNOTE LEGEND	
01	CMU/CONCRETE SUBSTRATE W/SAND FLOAT STUCCO FINISH W/ HIGH BUILD 2-COAT ACRYLIC WATERPROOFING COATING. COLOR: PAINT: SANDY BEIGE.
03	STONE CLADDING OVER FLUID APPLIED WATERPROOFING MEMBRANE ANCHORED TO CONCRETE/CMU SUBSTRATE.
04	GLASS ALUMINUM FRAMED WINDOW WALL SYSTEM. ALUMINUM COLOR TBD W/ UNTINTED TINTED GLASS.
05	ALUMINUM FRAMED WINDOW WALL ASSEMBLY W/ KYNAR FINISH. W/ LAMINATED LOW IRON CLEAR GLASS. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
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18	DROP OFF CANOPY. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
19	CANTILEVERED CONCRETE EYEBROW W/ FLUID APPLIED WATERPROOFING ROOFING MEMBRANE AT TOP FACE AND SAND FLOAT 88M COAT STUCCO FINISH BELOW. COLOR TO BE SELECTED BY ARCH.
23	ALUMINUM CLADDING MEET WIND LOAD AND IMPACT REQUIREMENTS. COLOR TO BE SELECTED BY ARCHITECT.
31	GLASS (PANELED) ALUMINUM FRAMED PRIVACY SCREEN. ALUMINUM COLOR TBD.

GENERAL NOTES	
1.	SCREENING OF ROOFTOP MECHANICAL EQUIPMENT - ALL MECHANICAL EQUIPMENT TO BE SCREENED PER UL582 SEC. 47.25.3.A.3.B.II AND SHALL BE AT LEAST 6 (SIX) INCHES ABOVE THE TOP MOST SURFACE OF THE ROOF-MOUNTED STRUCTURE.
2.	MAXIMUM BUILDING HEIGHT MEASURED FROM BASE FLOOD ELEVATION.

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11/05/2025	24029

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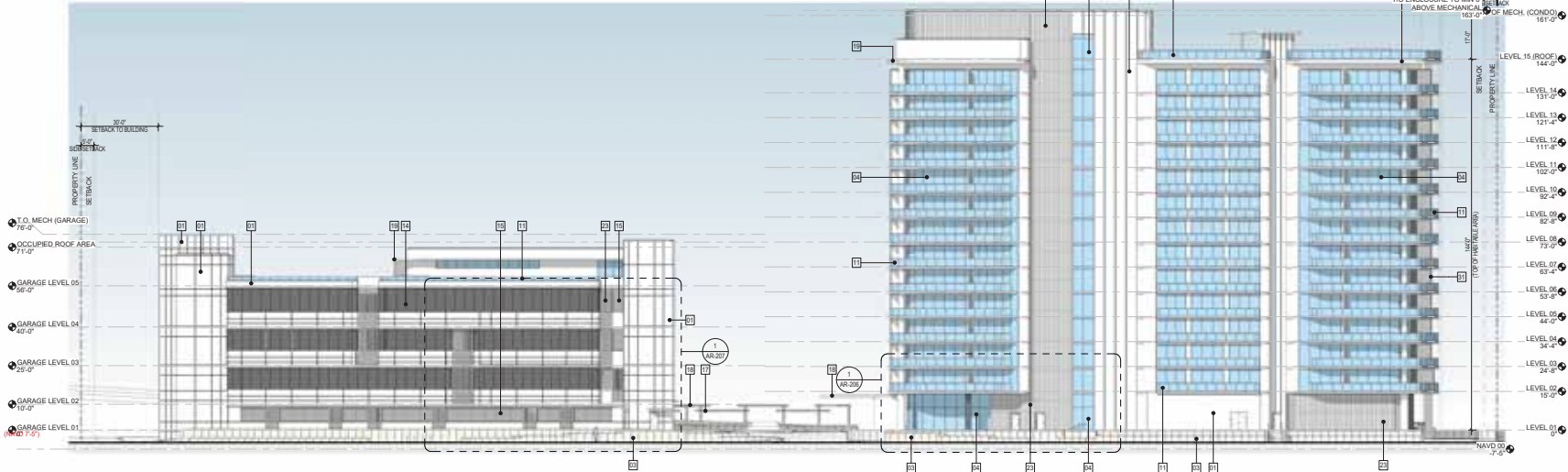
2801 NE 8TH COURT
FORT LAUDERDALE, FL

SOUTH ELEVATION

SITE PLAN APPROVAL

AR-202

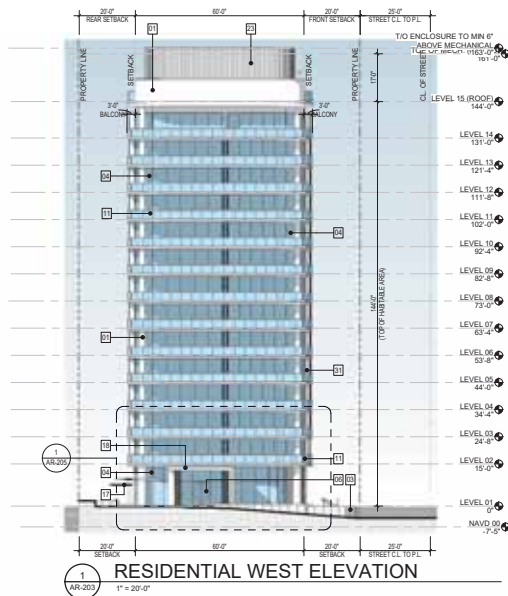
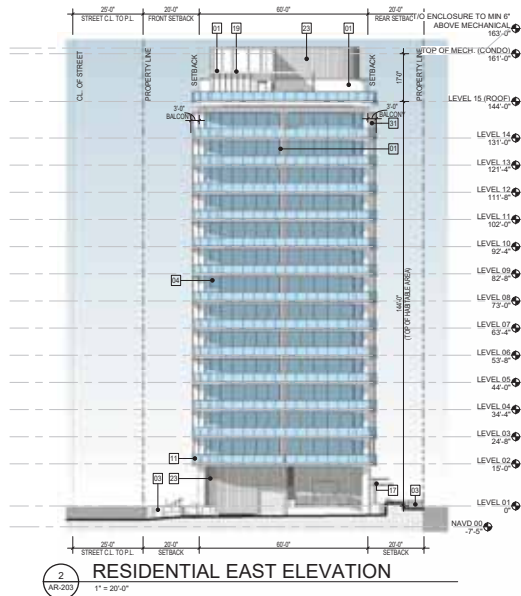
11/11/2025 10:06:27 AM



SOUTH ELEVATION
1" = 20'-0"

F E D C B A

4
3
2
1



KEYNOTE LEGEND	
01	CMU/CONCRETE SUBSTRATE W/ SAND FLOAT STUCCO FINISH W/ HIGH BUILD 2-COAT ACRYLIC WATERPROOFING COATING. COLOR/PART: SANDY BEIGE.
03	STONE CLADDING OVER FLUID APPLIED WATERPROOFING MEMBRANE ANCHORED TO CONCRETE/CMU SUBSTRATE.
04	GLASS ALUMINUM FRAMED WINDOW WALL SYSTEM. ALUMINUM COLOR TBD W/ LAMINATED TINTED GLASS.
05	ALUMINUM FRAMED WINDOW WALL ASSEMBLY W/ KYNAR FINISH. W/ LAMINATED LOW IRON CLEAR GLASS. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
06	ALUMINUM FRAMED GLASS SWING DOOR W/ KYNAR FINISH TINTED GLASS. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
11	ALUMINUM AND GLASS RAILING AT 42\"/>

GENERAL NOTES		
1.	SCREENING OF ROOFTOP MECHANICAL EQUIPMENT - ALL MECHANICAL EQUIPMENT TO BE SCREENED PER UBC SEC. 47.25.3.A.3.B.II AND SHALL BE AT LEAST 6 (SIX) INCHES ABOVE THE TOP MOST SURFACE OF THE ROOF MOUNTED STRUCTURE.	
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SERENO

2801 NE 9TH COURT
FORT LAUDERDALE, FL

RESIDENTIAL EAST & WEST ELEVATION

SITE PLAN APPROVAL

AR-203

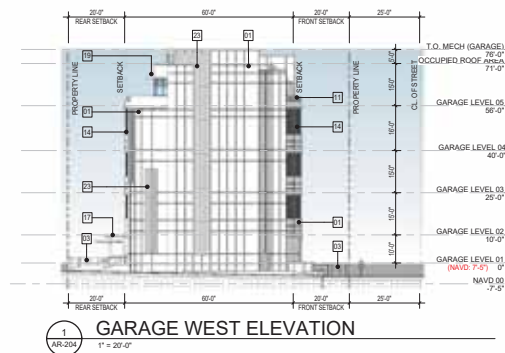
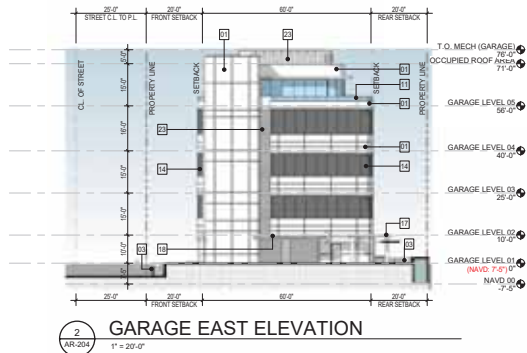
F E D C B A

4

3

2

1



KEYNOTE LEGEND	
01	CMU/CONCRETE SUBSTRATE W/ SAND FLOAT STUCCO FINISH W/ HIGH BUILD 2-COAT ACRYLIC WATERPROOFING COATING. COLOR: PAINT: SANDY BEIGE.
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23	ALUMINUM CLADDING MEET WIND LOAD AND IMPACT REQUIREMENTS. COLOR TO BE SELECTED BY ARCHITECT.
31	GLASS (OR AQUE) ALUMINUM FRAMED PRIVACY SCREEN. ALUMINUM COLOR TBD.

GENERAL NOTES	
1.	SCREENING OF ROOFTOP MECHANICAL EQUIPMENT - ALL MECHANICAL EQUIPMENT TO BE SCREENED PER USBC SEC. 47.25.3.A.3.B.II AND SHALL BE AT LEAST 6 (SIX) INCHES ABOVE THE TOP MOST SURFACE OF THE ROOF-MOUNTED STRUCTURE.
2.	MAXIMUM BUILDING HEIGHT MEASURED FROM BASE FLOOD ELEVATION.

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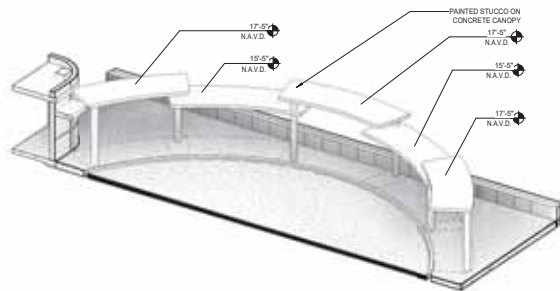
2801 NE 8TH COURT
FORT LAUDERDALE, FL

GARAGE EAST & WEST ELEVATION

SITE PLAN APPROVAL

AR-204

F E D C B A



3 STAND ALONE PEDESTRIAN CANOPY - 3D
AR-205



2 STAND ALONE PEDESTRIAN CANOPY
12" = 1'-0"



1 HOTEL WEST ENLARGE ELEVATION
1/4\"/>

KEYNOTE LEGEND	
01	CMU/CONCRETE SUBSTRATE W/ SAND FLOAT STUCCO FINISH W/ HIGH BUILD 2-COAT ACRYLIC WATERPROOFING COATING. COLOR: PAINT SANDY BEIGE.
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04	GLASS ALUMINUM FRAMED WINDOW WALL SYSTEM. ALUMINUM COLOR TBD W/ LAMINATED TINTED GLASS.
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18	DROP OFF CANOPY. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
19	CANTILEVERED CONCRETE EYEBROW W/ FLUID APPLIED WATERPROOFING ROOFING MEMBRANE AT TOP FACE AND SAND FLOAT 5/8\"/>
23	ALUMINUM CLADDING MEET WIND LOAD AND IMPACT REQUIREMENTS. COLOR TO BE SELECTED BY ARCHT.
31	GLASS (OPAQUE) ALUMINUM FRAMED PRIVACY SCREEN. ALUMINUM COLOR TBD.

GENERAL NOTES		
1.	SCREENING OF ROOFTOP MECHANICAL EQUIPMENT - ALL MECHANICAL EQUIPMENT TO BE SCREENED PER USBC SEC. 47.25.3.A.3.B.II AND SHALL BE AT LEAST 6 (SIX) INCHES ABOVE THE TOP MOST SURFACE OF THE ROOF MOUNTED STRUCTURE.	
2.	MAXIMUM BUILDING HEIGHT MEASURED FROM BASE FLOOD ELEVATION.	

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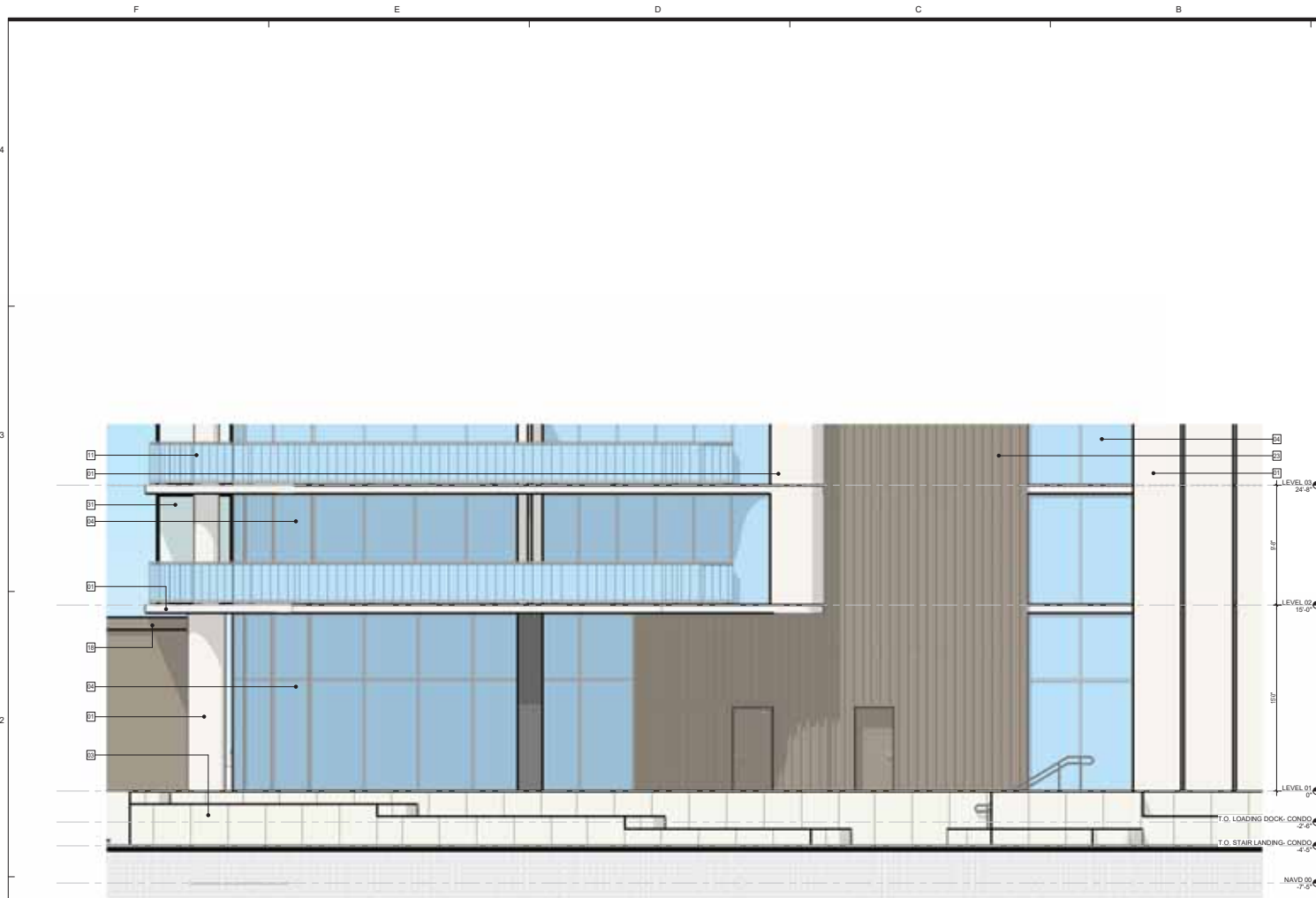
SERENO

2801 NE 9TH COURT
FORT LAUDERDALE, FL

ENLARGE ELEVATION
SITE PLAN APPROVAL

AR-205





KEYNOTE LEGEND

- 01 CMU/CONCRETE SUBSTRATE W/ SAND FLOAT STUCCO FINISH W/ HIGH BUILD 2-COAT ACRYLIC WATERPROOFING COATING. COLOR/PART: SANDY BEIGE.
- 03 STONE CLADDING OVER FLUID APPLIED WATERPROOFING MEMBRANE ANCHORED TO CONCRETE/CMU SUBSTRATE.
- 04 GLASS ALUMINUM FRAMED WINDOW WALL SYSTEM. ALUMINUM COLOR TBD W/ LAMINATED TINTED GLASS.
- 05 ALUMINUM FRAMED WINDOW WALL ASSEMBLY W/ KYNAR FINISH W/ LAMINATED LOW IRON CLEAR GLASS. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
- 06 ALUMINUM FRAMED GLASS SWING DOOR W/ KYNAR FINISH TINTED GLASS. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
- 11 ALUMINUM AND GLASS RAILING AT 42' A.F.F. W/ KYNAR FINISH TO MEET WIND LOAD AND IMPACT REQUIREMENTS. COLOR TO BE SELECTED BY ARCHITECT.
- 14 ALUMINUM GARAGE VISION BARRIER SYSTEM. ALUMINUM MESH. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
- 15 ALUMINUM MECHANICAL LOUVERS W/ KYNAR FINISH. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
- 17 CONCRETE CANOPY. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
- 18 DROP OFF CANOPY. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
- 19 CANTILEVERED CONCRETE EYEBROW W/ FLUID APPLIED WATERPROOFING ROOFING MEMBRANE AT TOP FACE AND SAND FLOAT SBM COAT STUCCO FINISH BELOW. COLOR TO BE SELECTED BY ARCH.
- 23 ALUMINUM CLADDING MEET WIND LOAD AND IMPACT REQUIREMENTS. COLOR TO BE SELECTED BY ARCHITECT.
- 31 GLASS (OPAQUE) ALUMINUM FRAMED PRIVACY SCREEN. ALUMINUM COLOR TBD.

GENERAL NOTES

1. SCREENING OF ROOFTOP MECHANICAL EQUIPMENT - ALL MECHANICAL EQUIPMENT TO BE SCREENED PER USBC SEC. 47-25.3 A.3.B.H AND SHALL BE AT LEAST 6 (SIX) INCHES ABOVE THE TOP MOST SURFACE OF THE ROOF-MOUNTED STRUCTURE.
2. MAXIMUM BUILDING HEIGHT MEASURED FROM BASE FLOOD ELEVATION.

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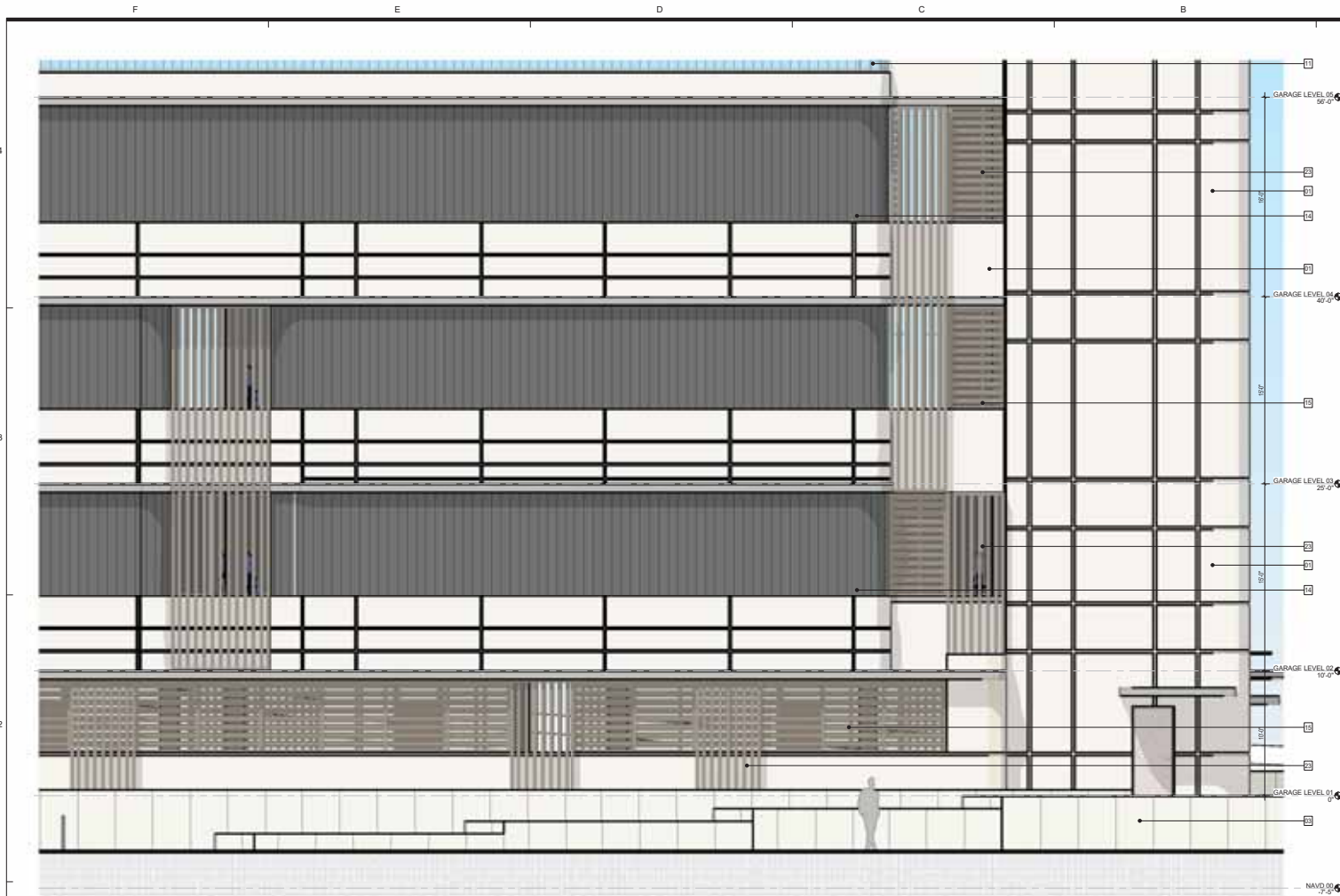
2801 NE 8TH COURT
 FORT LAUDERDALE, FL

ENLARGE ELEVATION
 SITE PLAN APPROVAL

AR-206

1 HOTEL SOUTH ENLARGE ELEVATION
 1/4" = 1'-0"





KEYNOTE LEGEND

- 01 CMU/CONCRETE SUBSTRATE W/ SAND FLOAT STUCCO FINISH W/ HIGH BUILD 2-COAT ACRYLIC WATERPROOFING COATING. COLOR: PAINT: SANDY BEIGE.
- 03 STONE CLADDING OVER FLUID APPLIED WATERPROOFING MEMBRANE ANCHORED TO CONCRETE/CMU SUBSTRATE.
- 04 GLASS ALUMINUM FRAMED WINDOW WALL SYSTEM. ALUMINUM COLOR TBD W/ LAMINATED TINTED GLASS.
- 05 ALUMINUM FRAMED WINDOW WALL ASSEMBLY W/ KYNAR FINISH W/ LAMINATED LOW IRON CLEAR GLASS. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
- 06 ALUMINUM FRAMED GLASS SWING DOOR W/ KYNAR FINISH TINTED GLASS. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
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- 15 ALUMINUM MECHANICAL LOUVERS W/ KYNAR FINISH. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
- 17 CONCRETE CANOPY. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
- 18 DROP OFF CANOPY. TO MEET WIND LOAD AND IMPACT REQUIREMENTS.
- 19 CANTILEVERED CONCRETE EYEBROW W/ FLUID APPLIED WATERPROOFING ROOFING MEMBRANE AT TOP FACE AND SAND FLOAT 5/8" COAT STUCCO FINISH BELOW. COLOR TO BE SELECTED BY ARCH.
- 23 ALUMINUM CLADDING MEET WIND LOAD AND IMPACT REQUIREMENTS. COLOR TO BE SELECTED BY ARCHITECT.
- 31 GLASS (OPAQUE) ALUMINUM FRAMED PRIVACY SCREEN. ALUMINUM COLOR TBD.

GENERAL NOTES

1. SCREENING OF ROOFTOP MECHANICAL EQUIPMENT - ALL MECHANICAL EQUIPMENT TO BE SCREENED PER UL580 SEC. 47.25.3.A.3.B.II AND SHALL BE AT LEAST 6 (SIX) INCHES ABOVE THE TOP MOST SURFACE OF THE ROOF-MOUNTED STRUCTURE.
2. MAXIMUM BUILDING HEIGHT MEASURED FROM BASE FLOOR ELEVATION.

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ENLARGE ELEVATION
 SITE PLAN APPROVAL

AR-207

11/17/2025 10:52:12 AM

1 GARAGE ENLARGE SOUTH ELEVATION
 1/4" = 1'-0"



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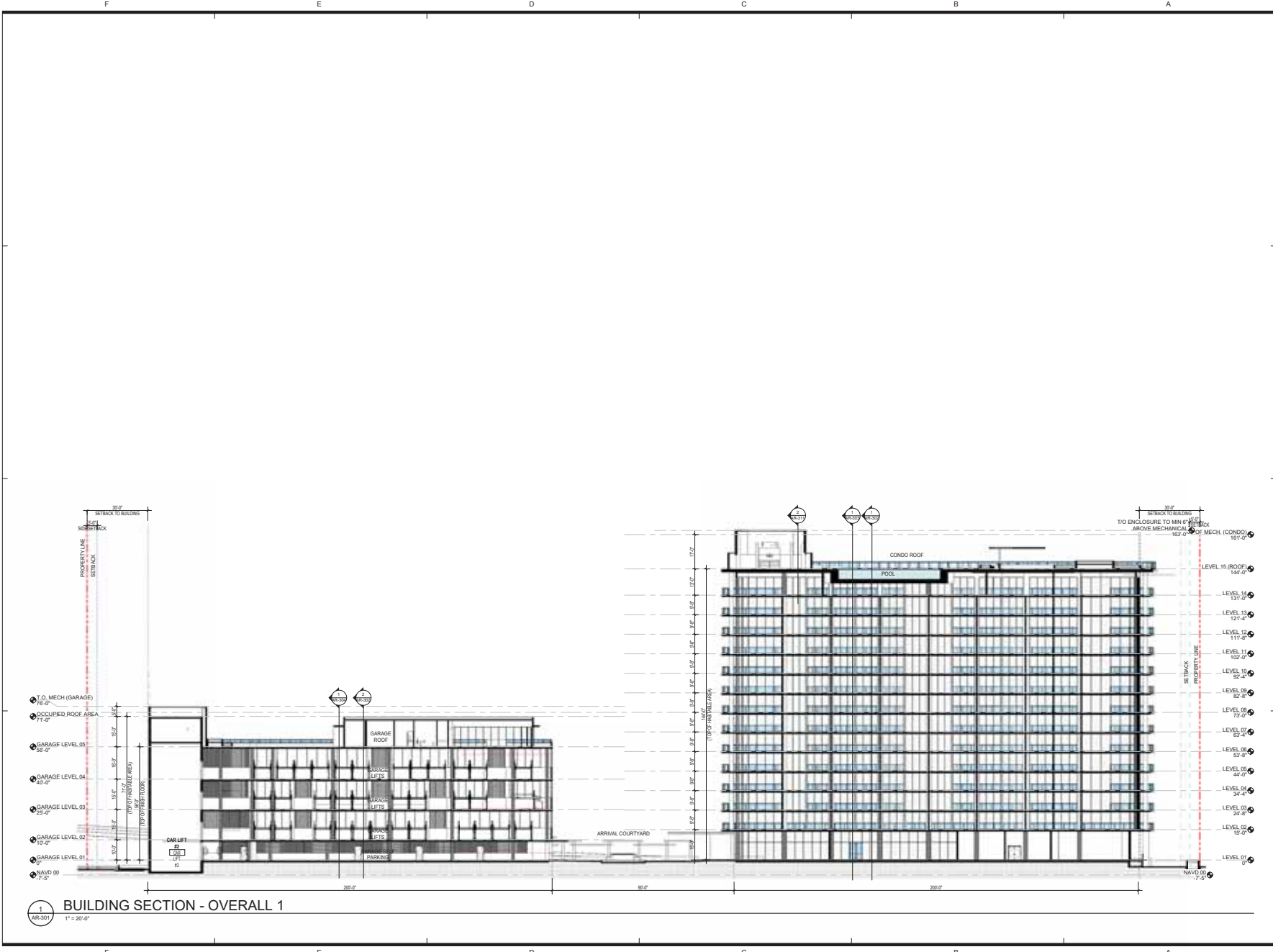
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BUILDING SECTION

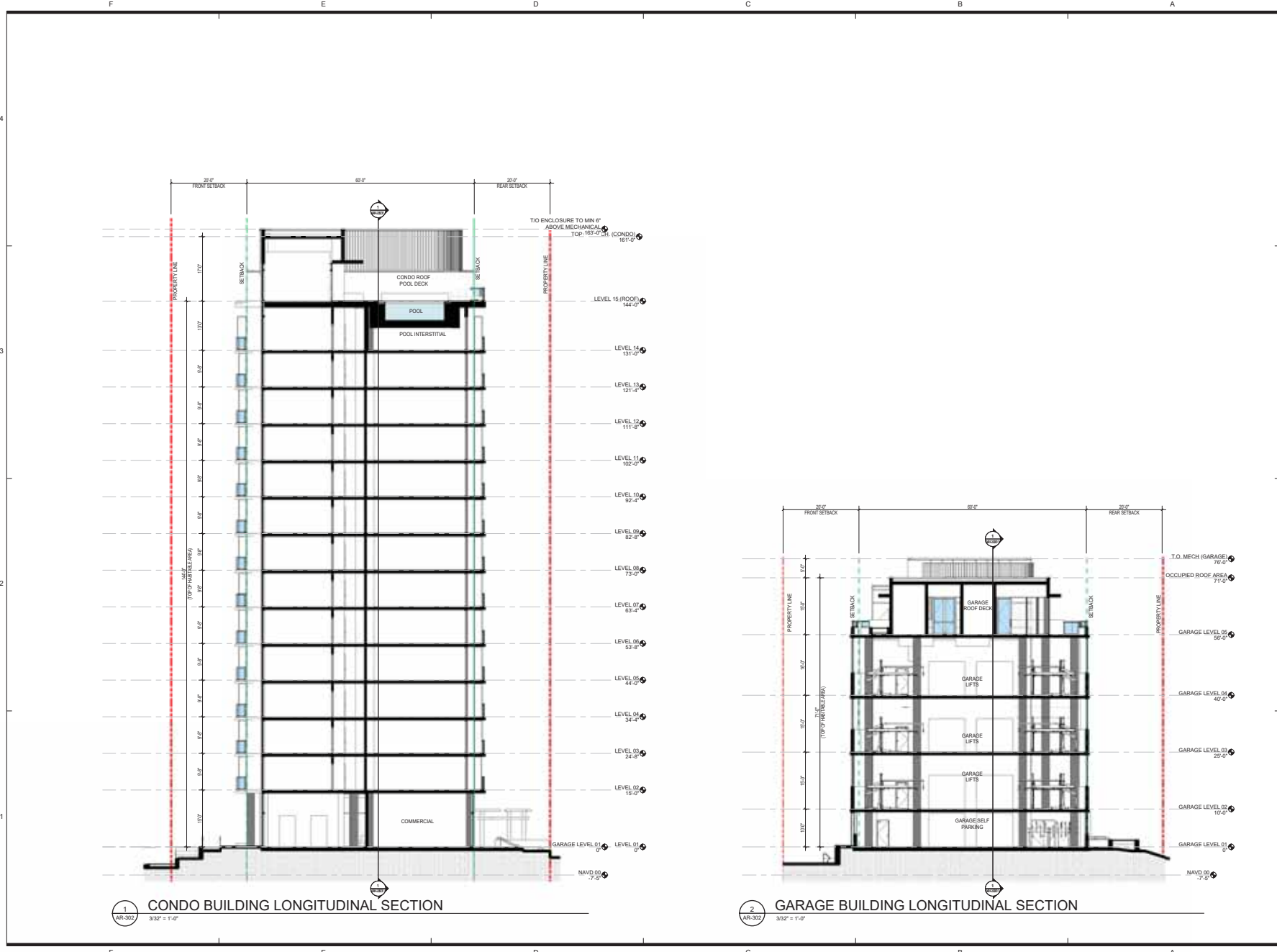
SITE PLAN APPROVAL

AR-301



BUILDING SECTION - OVERALL 1
1" = 20'-0"

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1 CONDO BUILDING LONGITUDINAL SECTION
3/32" = 1'-0"

2 GARAGE BUILDING LONGITUDINAL SECTION
3/32" = 1'-0"

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2801 NE 8TH COURT
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BUILDING SECTION

SITE PLAN APPROVAL

AR-302

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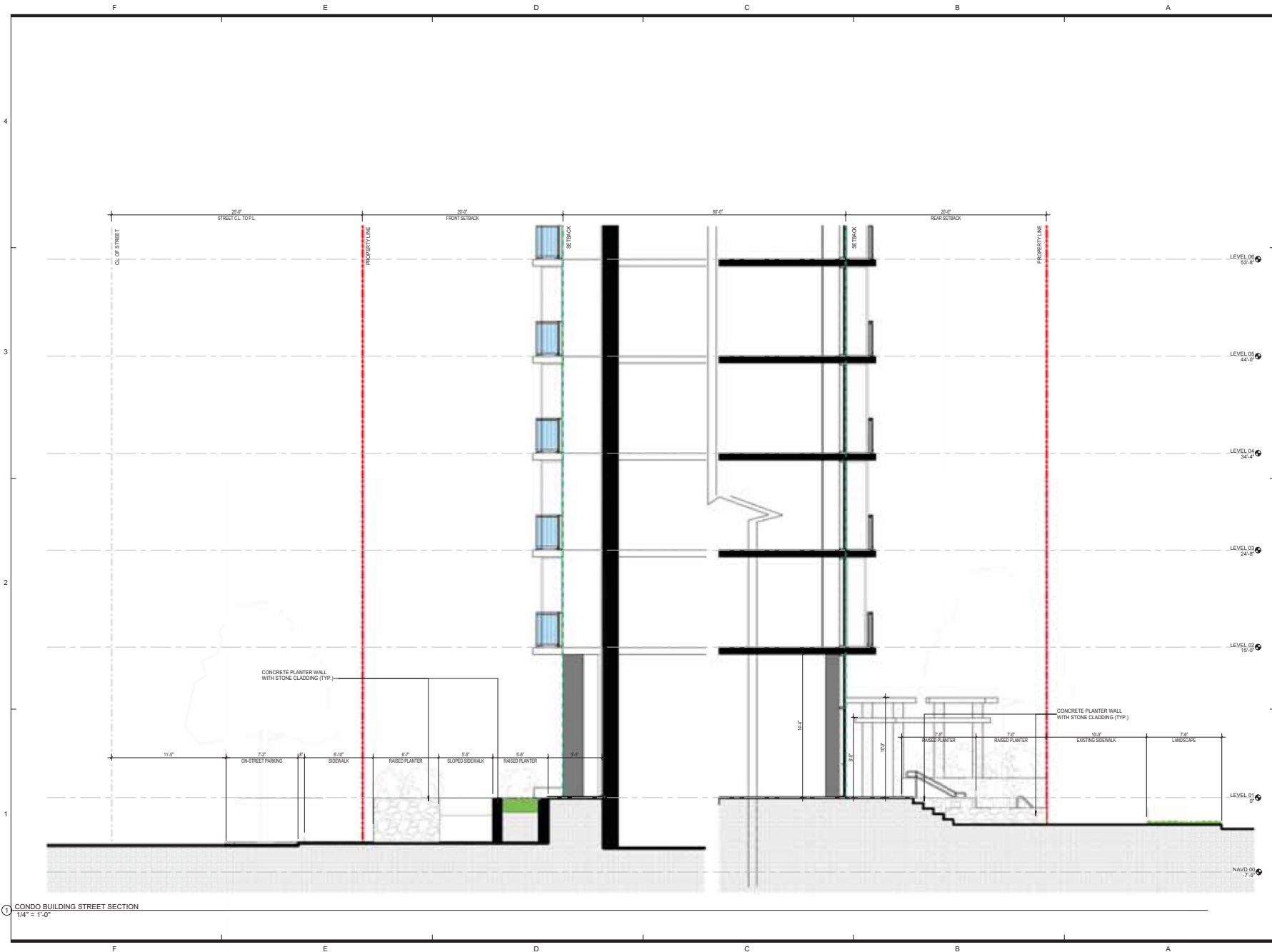
SERENO

2801 NE 8TH COURT
FORT LAUDERDALE, FL

STREETSCAPE SECTION

SITE PLAN APPROVAL

AR-303



1 CONDO BUILDING STREET SECTION
1/4" = 1'-0"



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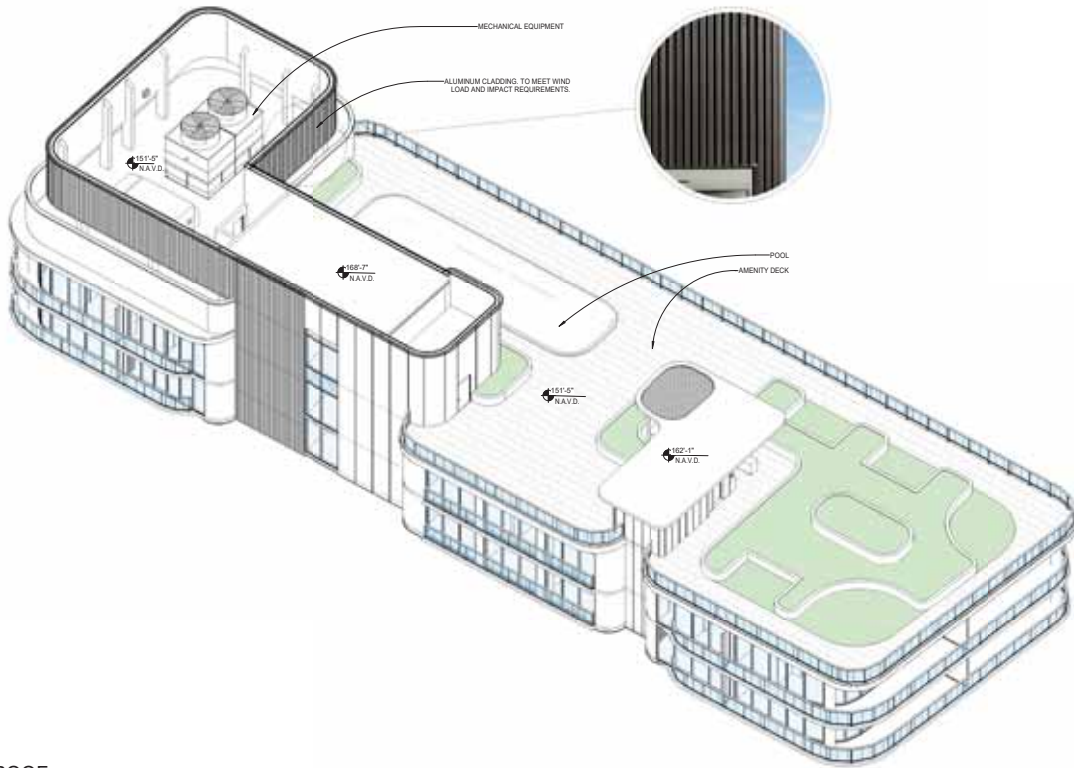
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STREETSCAPE SECTION
SITE PLAN APPROVAL

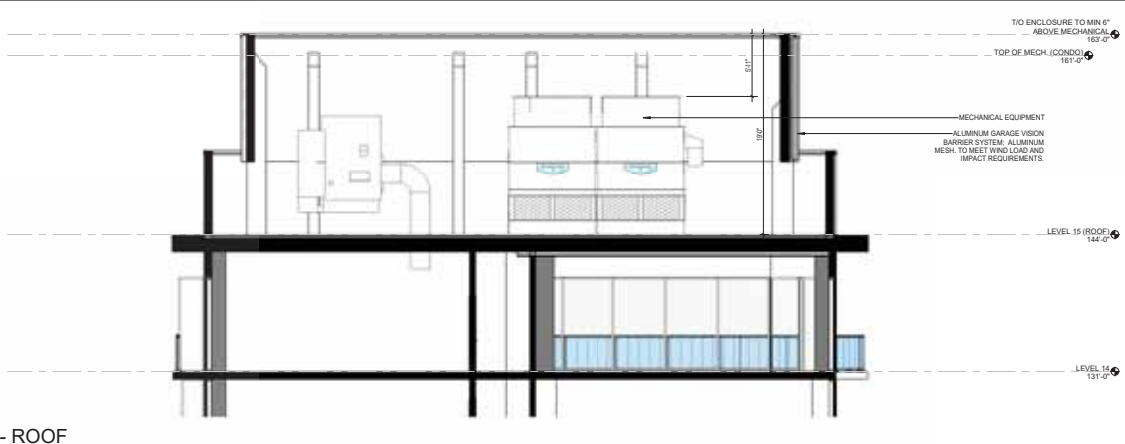
AR-304

1 GARAGE BUILDING STREET SECTION
1/4" = 1'-0"

F E D C B A



1 3D ROOF
AR-311



2 SECTION - ROOF
3/16" = 1'-0"
AR-311

F E D C B A

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JB	JV	SB

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11/05/2025	24029

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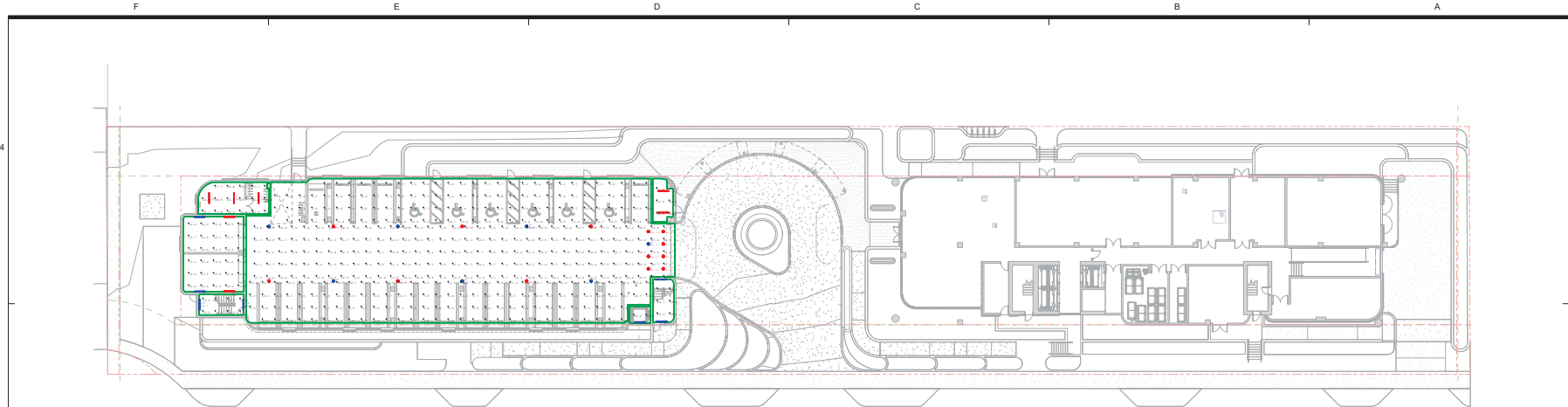
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FORT LAUDERDALE, FL

BUILDING SECTION - ROOF LEVEL

SITE PLAN APPROVAL

AR-311

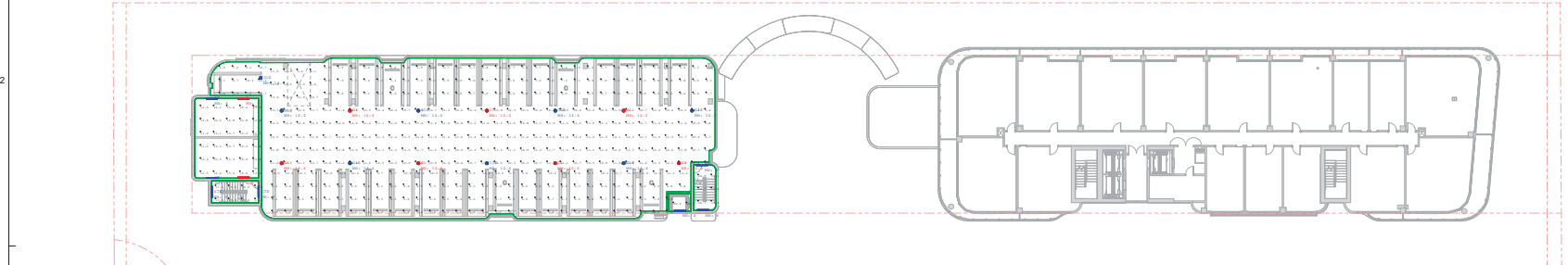
DESIGNED	DRAWN	CHECKED
JB	JV	SB



SEE LANDSCAPE PLANS FOR SITE PHOTOMETRICS

NO.	DATE	DESCRIPTION	BY	CHECKED	STATUS
1	11/05/2025	PHOTOMETRICS GARAGE LEVEL 0100	JB	JV	ISSUED

1
AR-401
PHOTOMETRICS GARAGE LEVEL 0100
1" = 20'-0"



NO.	DATE	DESCRIPTION	BY	CHECKED	STATUS
1	11/05/2025	PHOTOMETRICS GARAGE LEVEL 0200	JB	JV	ISSUED

NO.	DATE	DESCRIPTION	BY	CHECKED	STATUS
1	11/05/2025	PHOTOMETRICS GARAGE LEVEL 0200	JB	JV	ISSUED

3
AR-401
PHOTOMETRICS GARAGE LEVEL 0200
1" = 20'-0"

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DATE	COM
11/05/2025	24029

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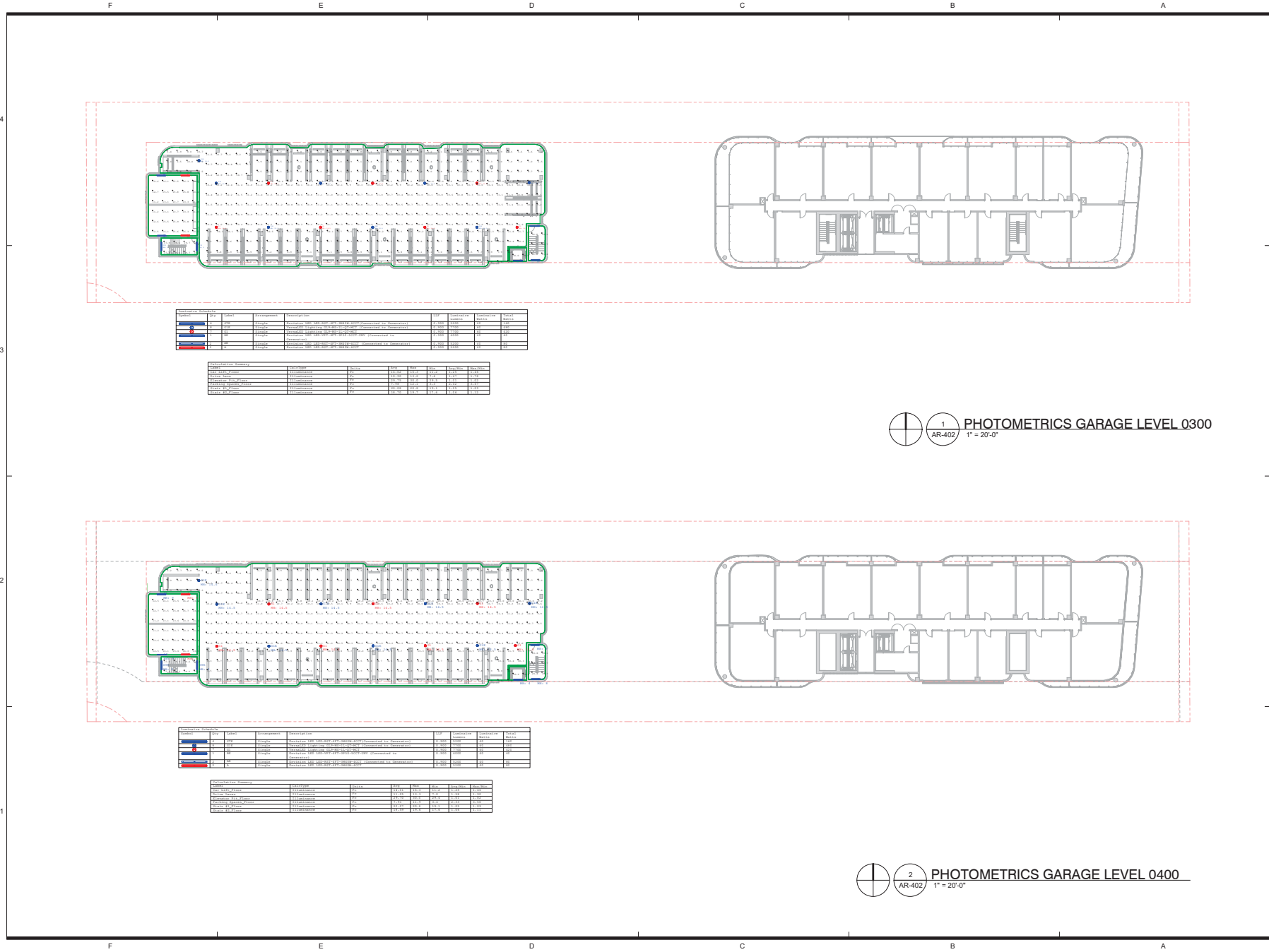
2801 NE 8TH COURT
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PHOTOMETRICS

SITE PLAN APPROVAL

AR-401

DESIGNED	DRAWN	CHECKED
JB	JV	SB



NO.	DATE	DESCRIPTION	BY	APP'D	REVISION
1	11/05/2025	PHOTOMETRICS GARAGE LEVEL 0300	JV	SB	1
2	11/05/2025	PHOTOMETRICS GARAGE LEVEL 0400	JV	SB	1

1 PHOTOMETRICS GARAGE LEVEL 0300
1" = 20'-0"

2 PHOTOMETRICS GARAGE LEVEL 0400
1" = 20'-0"

REVISIONS

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PHOTOMETRICS
SITE PLAN APPROVAL

AR-402

F E D C B A

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JB JV SB



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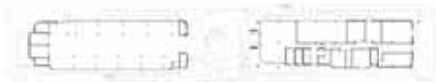
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FORT LAUDERDALE, FL

PERSPECTIVE & RENDERINGS

SITE PLAN APPROVAL

AR-801



11/11/2025 10:08:20 AM

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F E D C B A



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PERSPECTIVE & RENDERINGS

SITE PLAN APPROVAL

AR-802

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PERSPECTIVE & RENDERINGS

SITE PLAN APPROVAL

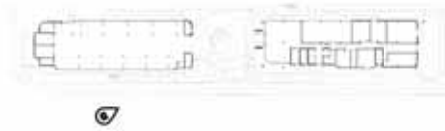
AR-803

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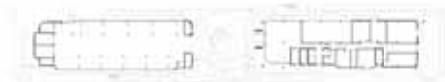
AR-804

11/10/2025 10:00:27 AM

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PERSPECTIVE & RENDERINGS

SITE PLAN APPROVAL

AR-805

11/11/2025 10:05:24 AM

F E D C B A

F E D C B A



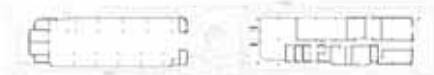
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PERSPECTIVE & RENDERINGS

SITE PLAN APPROVAL

AR-806

11/10/2025 10:05:24 AM

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4

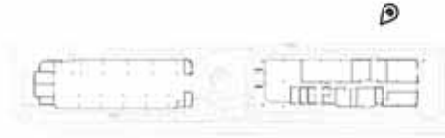
3

2

1



THE 3-DIMENSIONAL REPRESENTATIONS OF THE PROPOSED DEVELOPMENT ON THIS SHEET ARE TRUE AND ACCURATE RELATIVE TO THE HEIGHT, WIDTH AND LENGTH AS REPRESENTED IN THE SITE AND FLOOR PLANS



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PERSPECTIVE & RENDERINGS

SITE PLAN APPROVAL

AR-807

TOWN OF SOUTH FLORIDA

F E D C B A

F E D C B A



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PERSPECTIVE & RENDERINGS

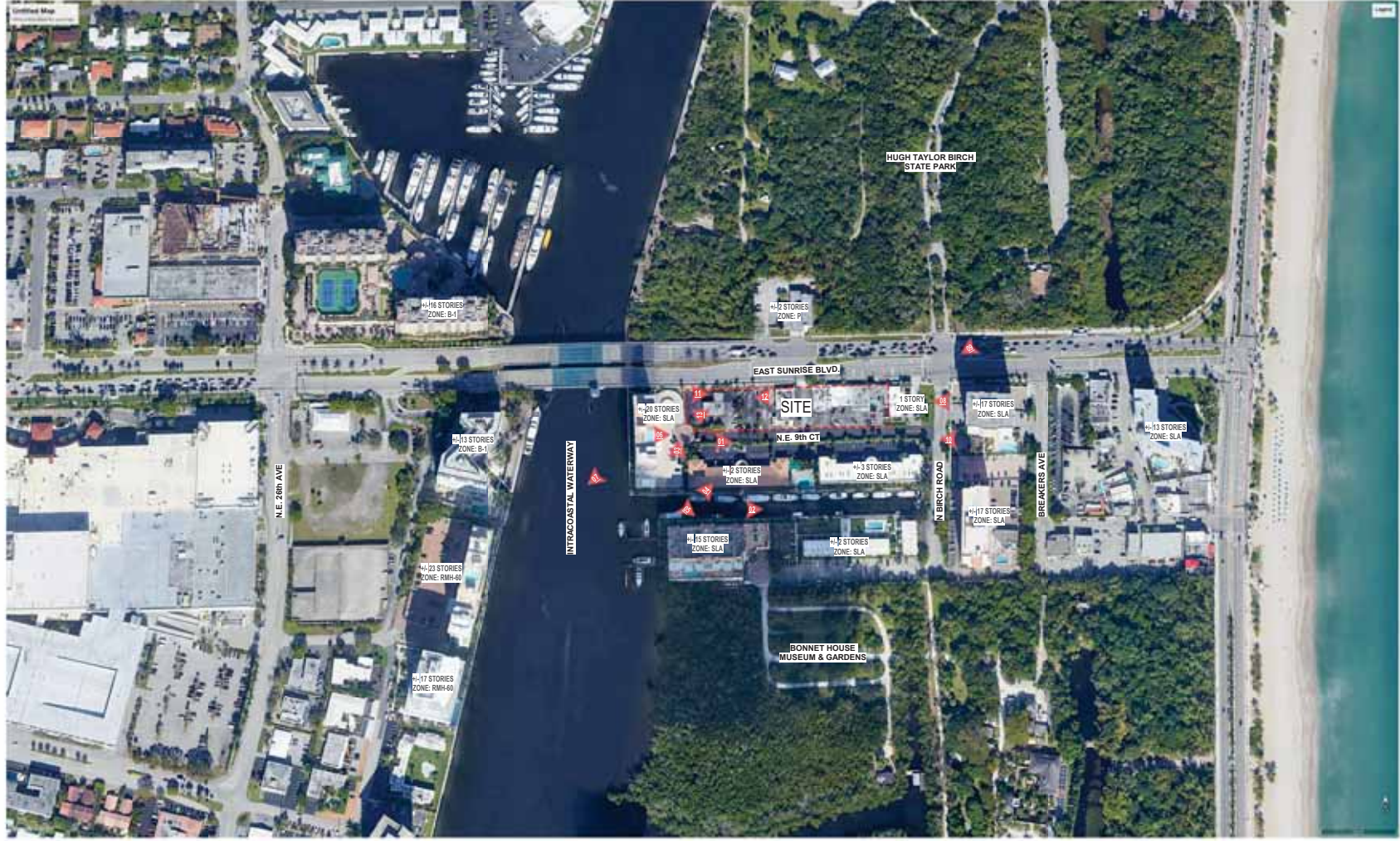
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AR-808

11/10/2025 10:08:27 AM

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CONTEXT PHOTOS - AERIALS

SITE PLAN APPROVAL

AR-901

NEIGHBORHOOD AERIAL WITH
CONTEXT
1" = 1'-0"



F E D C B A

4



3



2



1

F E D C B A



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CONTEXT PHOTOS

SITE PLAN APPROVAL

AR-902

F E D C B A

4



3



2

1

F E D C B A

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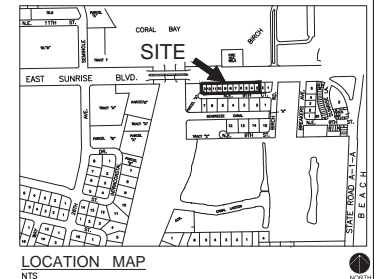
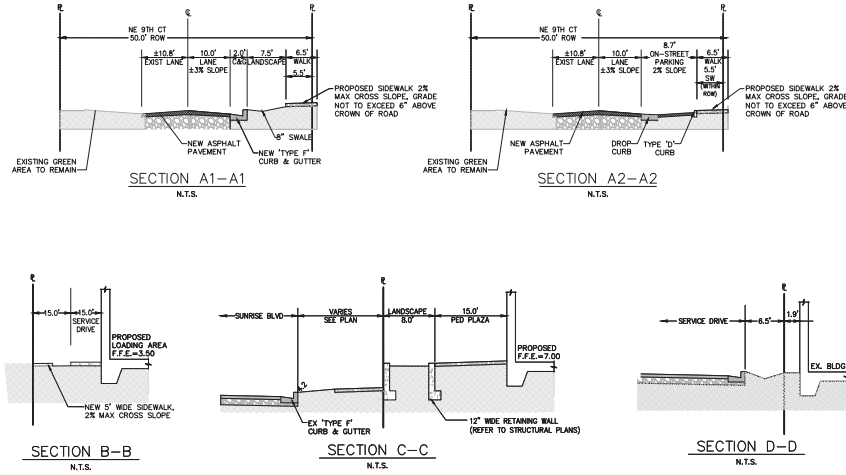
CONTEXT PHOTOS - STREET VIEWS

SITE PLAN APPROVAL

AR-903

11/10/2025 10:00:00 AM

- GRADING AND DRAINAGE NOTES:**
1. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF FORT LAUDERDALE.
 2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
 3. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.
 4. ALL STORM DRAINAGE LINE FROM THE BLDG SHALL BE LAID @ 1.0% MINIMUM SLOPE UNLESS NOTED OTHERWISE ON PLANS.
 5. CLEANOUTS ON STORM DRAINAGE LINES ARE TO BE ADJUSTED TO BE FLUSH W/FINISHED GRADE.
 6. CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
 7. LANDSCAPED AREAS SHALL BE GRADED TO DRAIN TO THE CATCH BASIN INLETS. FIELD ADJUST GRADING AS REQUIRED.
 8. SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALLY).
 9. RECTANGULAR CATCH BASIN AND YARD DRAIN GRATES SHALL BE INSTALLED SUCH THAT THE LONG AXIS OF GRATE PARALLELS THE CLOSEST ADJACENT BLOCK, DRIVE WAY, PROPERTY LINE, OR ROADWAY.
 10. COORDINATE LOCATION IN FIELD OF ALL CATCH BASINS & YARD DRAINS WITH LANDSCAPE CONTRACTOR TO AVOID CONFLICTS.
 11. CENTERLINE OF YARD DRAINS @ BASE OF DOWN SPOUTS MUST ALIGN WITH CENTERLINE OF DOWN SPOUT PRIOR TO FINAL ACCEPTANCE BY OWNER. REFERENCE ARCH. PLANS FOR EXACT LOCATION OF DOWN SPOUTS.
 12. SLOPE ON SIDEWALKS SHALL NOT EXCEED 5% SLOPE IN DIRECTION OF TRAVEL OR 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
 13. SLOPE IN HANDICAP PARKING AND ACCESS AISLES SHALL NOT EXCEED 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
 14. SLOPE IN CROSSEWALKS SHALL NOT EXCEED 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
 15. SURVEY INFORMATION BASED ON SURVEY PROVIDED BY ANVHM & ASSOCIATES, INC. DATED FEBRUARY 12, 2018.
 16. ELEVATIONS SHOWN ARE NAVD83.
 17. FINAL RIM ELEVATIONS FOR THE DRAINAGE STRUCTURES WITHIN THE GARAGE TO BE BASED ON ARCHITECT'S GRADING PLAN.

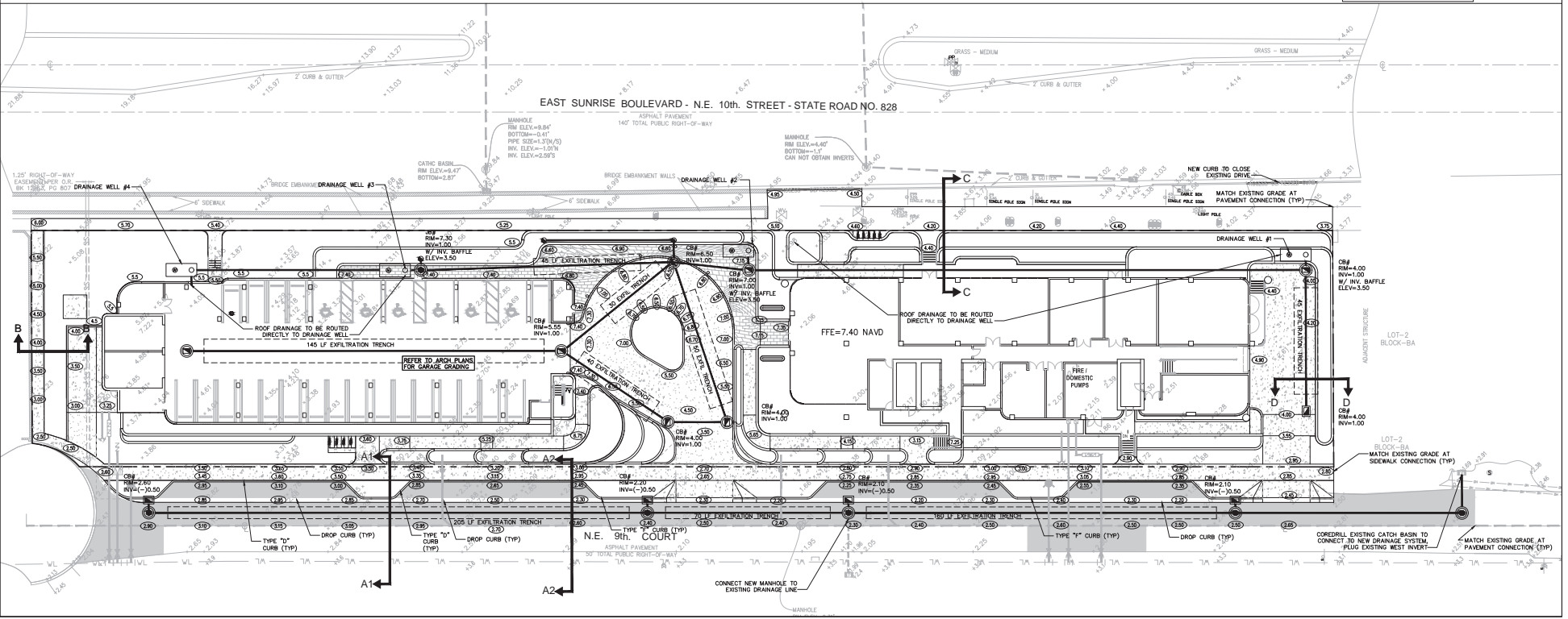


LEGEND:

- PROPOSED MANHOLE
- WATER MAIN
- SANITARY FORCE MAIN
- PROPOSED CATCH BASIN
- FIRE HYDRANT
- SIAMME CONNECTION
- CLEANOUT
- EDGE OF PROPOSED PAVEMENT (ASPHALT)
- DIRECTION OF SURFACE DRAINAGE
- SAMPLE POINT
- EXIST. WATER MAIN
- EXIST. UTILITY LINE TO BE ABANDONED IN PLACE

(S) PROPOSED ELEVATION (NAVD)
 (E) EXISTING ELEVATION (NAVD)
 (C) PROPOSED PLUG
 TEE
 WATER METER
 DOUBLE DETECTOR CHECK W/ WATER CHECK VALVE ON DOWNSTREAM SIDE
 REDUCED PRESSURE BACKFLOW PREVENTOR
 NW
 DIRECTIONAL FLOW ARROW AND GRAVITY SEWER

FLOOD ZONE "X" 1" ELEV (N/A) NAID ON FRM MAP #1201100656 H, DATED DECEMBER 31, 2018
 BROWARD COUNTY FUTURE 100 YEAR 3 DAY CONTOUR= ELEV. (5.5) NAID
 AVERAGE WET SEASON WATER LEVEL= ELEV. (2.0) NAID



Revisions

No.	Description	Date

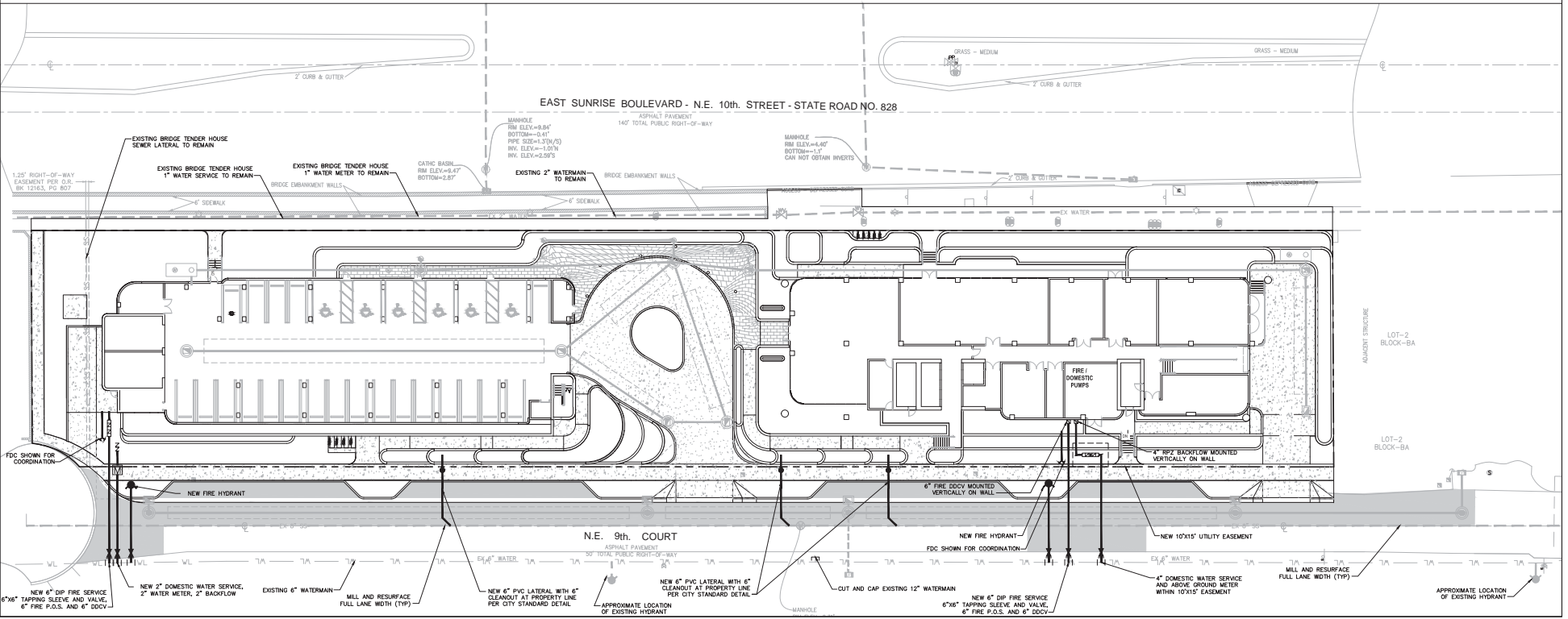
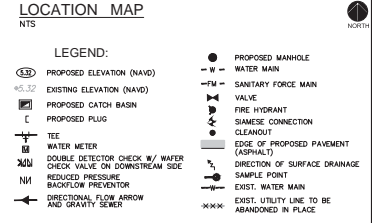
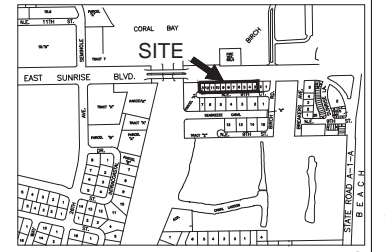
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SEAL

Scale:	1"=20'	Date:	11/05/25
Job No.:	21-1627.00	Rev Date:	11/06/25
Drawn by:	SHG	Check by:	SHG
Proj. Mgr.:	SHG		
Appr. by:	SHG		
		Sheet No.:	C2
			2 of 3

WATER AND SEWER NOTES:

1. CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
2. CONTRACTOR SHALL PROVIDE ANY EASEMENT DOCUMENTATION AROUND WH'S, BACKFLOW PREVENTORS, MAINLINES, METERS, ETC. AS REQUIRED BY THE CITY SO THAT THE OWNER MAY RECORD ANY EASEMENTS WITH THE CITY. CONTRACTOR'S SURVEYOR MUST COORDINATE WITH THE CITY AND PROVIDE ALL NECESSARY EASEMENT DOCUMENTATION TO THE OWNER. THE OWNER MUST THEN PROVIDE ALL RECORDED UTILITY EASEMENT DOCUMENTS TO THE CITY PRIOR TO FINAL ACCEPTANCE.
3. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT. ANY WATER MAIN CONNECTIONS, UTILITY CONNECTIONS AND SCHEDULE MUST BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION. THE CONTRACTOR IS REQUIRED TO PAY FOR ALL COSTS ASSOCIATED WITH THIS WORK REGARDLESS OF WHETHER OR NOT THE UTILITY OR THE CONTRACTOR PERFORMS THE WORK.
4. W.M./S.S. MAINS TO BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BOXES, CURBS, ETC. W.M./S.S. MAINS MUST BE LOCATED 5' FROM TREES. P.M.'S MUST HAVE A 7.5' CLEAR RADIUS FROM ALL OBSTRUCTIONS.
5. PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE BROWARD COUNTY HEALTH DEPARTMENT STANDARDS.
6. ALL SANITARY SEWER LATERALS SHALL CROSS UNDER WATER MAINS WITH A MINIMUM OF 18" SEPARATION UNLESS OTHERWISE NOTED. A 20 FOOT SECTION OF DUCTILE IRON PIPE WATER MAIN CENTERED CROSSING IS REQUIRED IF LESS THAN 18" VERTICAL SEPARATION OCCURS BETWEEN THE SEWER LATERAL AND WATER MAIN.
7. ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE CAPPED OFF AT THE POINT NEAREST TO THE UTILITIES OR DRAINAGE LINES THAT WILL REMAIN IN SERVICE. NOTIFY THE ENGINEER OF RECORD BEFORE REMOVING ANY UTILITIES THAT ARE CURRENTLY IN SERVICE. THE CONTRACTOR SHALL NOT REMOVE ANY UTILITY SERVICE TO ANY EXISTING BUILDING THAT WILL REMAIN AND SHALL DIG UP AND COMPLETELY REMOVE AND/OR ABANDON ANY UTILITY SERVICE THAT IS NO LONGER REQUIRED. THE CONTRACTOR SHALL INFORM AND CONSULT THE ENGINEER OF RECORD PRIOR TO REMOVING ANY LINES.
8. CONTRACTOR SHALL VERIFY EXISTING WATER MAIN LOCATION AND ELEVATION AND NOTIFY THE ENGINEER OF ANY DIFFERENCE FROM THE DESIGN PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
9. PROPOSED FIRE LINES (I.E. MAINS, SERVICES, SAMOSE CONNECTION LINES, ETC.) TO BE INSTALLED BY A STATE LICENSED FIRE LINE CONTRACTOR PER F.S. 633.
10. FIRE LINES TO BE INSPECTED BY A CERTIFIED FIRE LINE INSPECTOR.
11. STATE LICENSED FIRE LINE CONTRACTOR, UPON COMPLETION OF REQUIRED TESTING, SHALL ISSUE A "LICENSED UNDERGROUND TEST CERTIFICATE" PRIOR TO ACCEPTANCE FOR PLACING FIRE LINE INTO SERVICE.
12. COING INTO EXISTING MANHOLE MAY RESULT IN COMPLETE RECONSTRUCTION OF EXISTING MANHOLE AT CONTRACTOR'S EXPENSE IF MANHOLE IS IN A DEGRADED CONDITION.
13. ON-SITE MANHOLES TO HAVE STANDARD SANITARY SEWER USF 420 COVER.
14. THE MINIMUM COVER DEPTHS FOR PVC AND DIP SEWER MAINS ARE RESPECTIVELY 36 INCHES AND 30 INCHES.
15. INFILTRATION TESTING AND LAMPING OF THE GRAVITY SEWER SHALL BE COORDINATED BY THE CONTRACTOR PRIOR TO THE COMPLETION OF THE PRODUCT.



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Sheet Title
CONCEPTUAL WATER, AND SEWER PLAN

Job Title
SERENO
 FORT LAUDERDALE, FLORIDA 33304



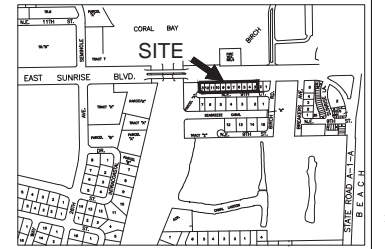
Revisions	

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
















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Rev Date:	11/06/25
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Scale:	C3
Page:	3 of 3

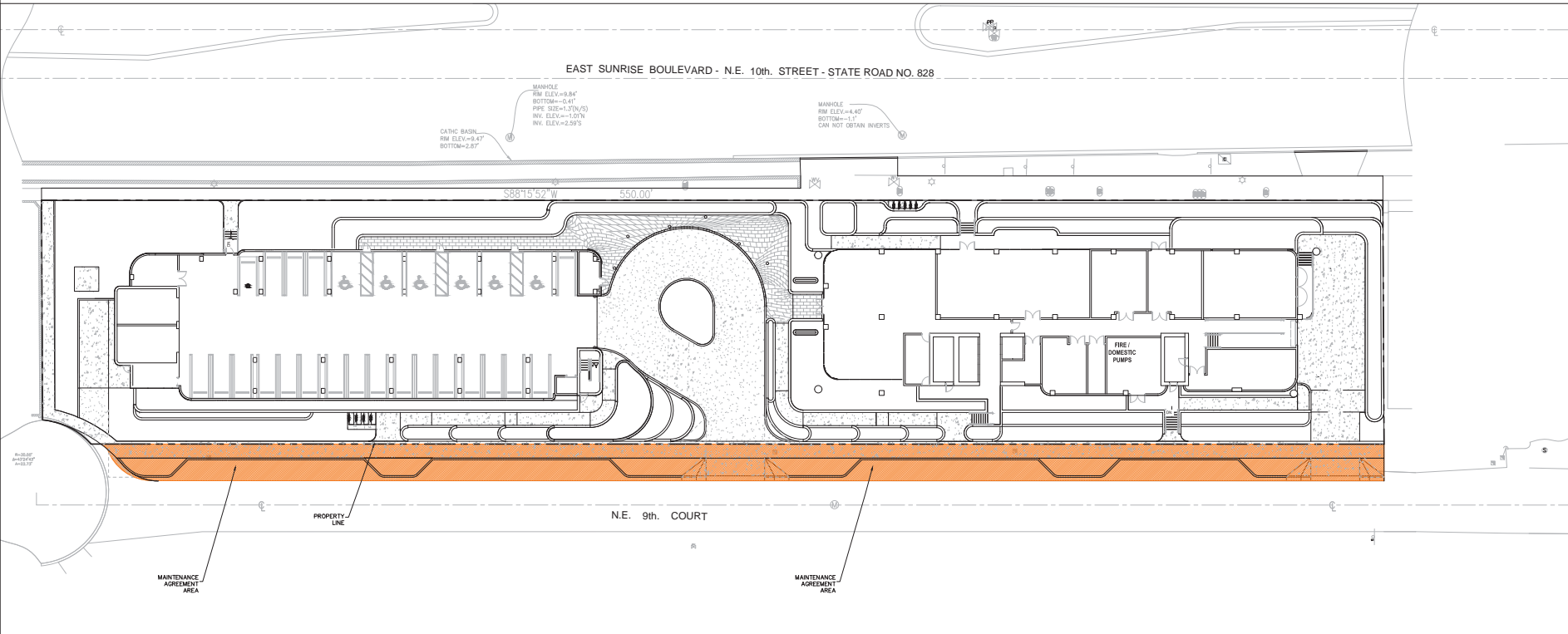
LEGEND:

 MAINT. AGREEMENT AREA (CITY)



LOCATION MAP
NTS

- LEGEND:
-  PROPOSED ELEVATION (NAVD)
 -  EXISTING ELEVATION (NAVD)
 -  PROPOSED CATCH BASIN
 -  PROPOSED PLUG
 -  TEE
 -  WATER METER
 -  DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE
 -  REDUCED PRESSURE BACKFLOW PREVENTOR
 -  DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
 -  PROPOSED MANHOLE
 -  WATER MAIN
 -  SANITARY FORCE MAIN
 -  VALVE
 -  FIRE HYDRANT
 -  SIAMOSE CONNECTION CLEANOUT
 -  EDGE OF PROPOSED PAVEMENT (ASPHALT)
 -  DIRECTION OF SURFACE DRAINAGE
 -  SAMPLE POINT
 -  EXIST. WATER MAIN
 -  EXIST. UTILITY LINE TO BE ABANDONED IN PLACE



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Sheet Title
MAINTENANCE AGREEMENT AREA EXHIBIT

Job Title
SERENO
 FORT LAUDERDALE, FLORIDA 33304



Revisions

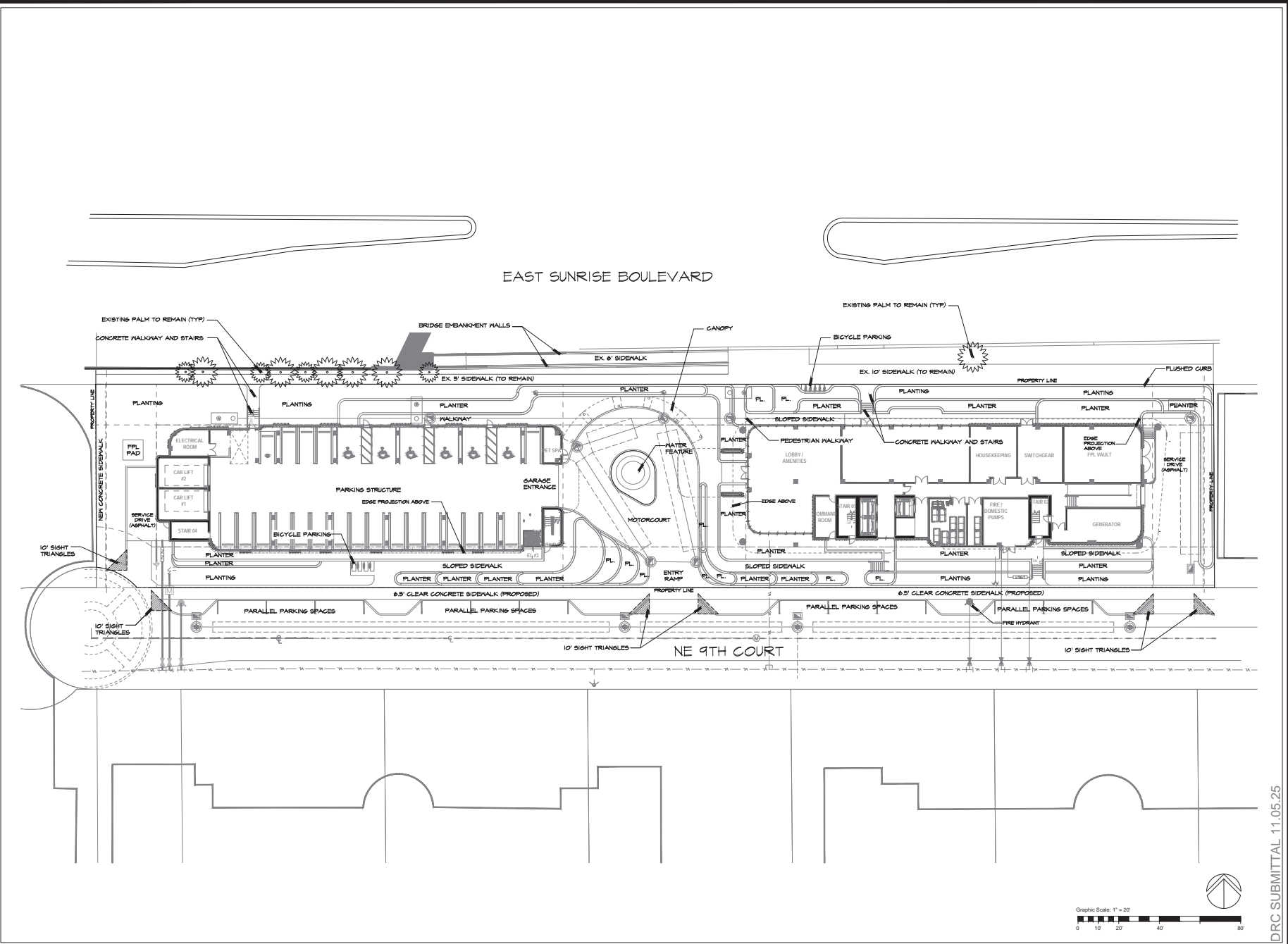
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SERENO
 2901 NE 9TH COURT, FORT LAUDERDALE FLORIDA
GROUND LEVEL LANDSCAPE PLAN

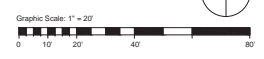
REVISIONS:

NOVEMBER 05, 2025
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 M.J.
 APPROVED BY:

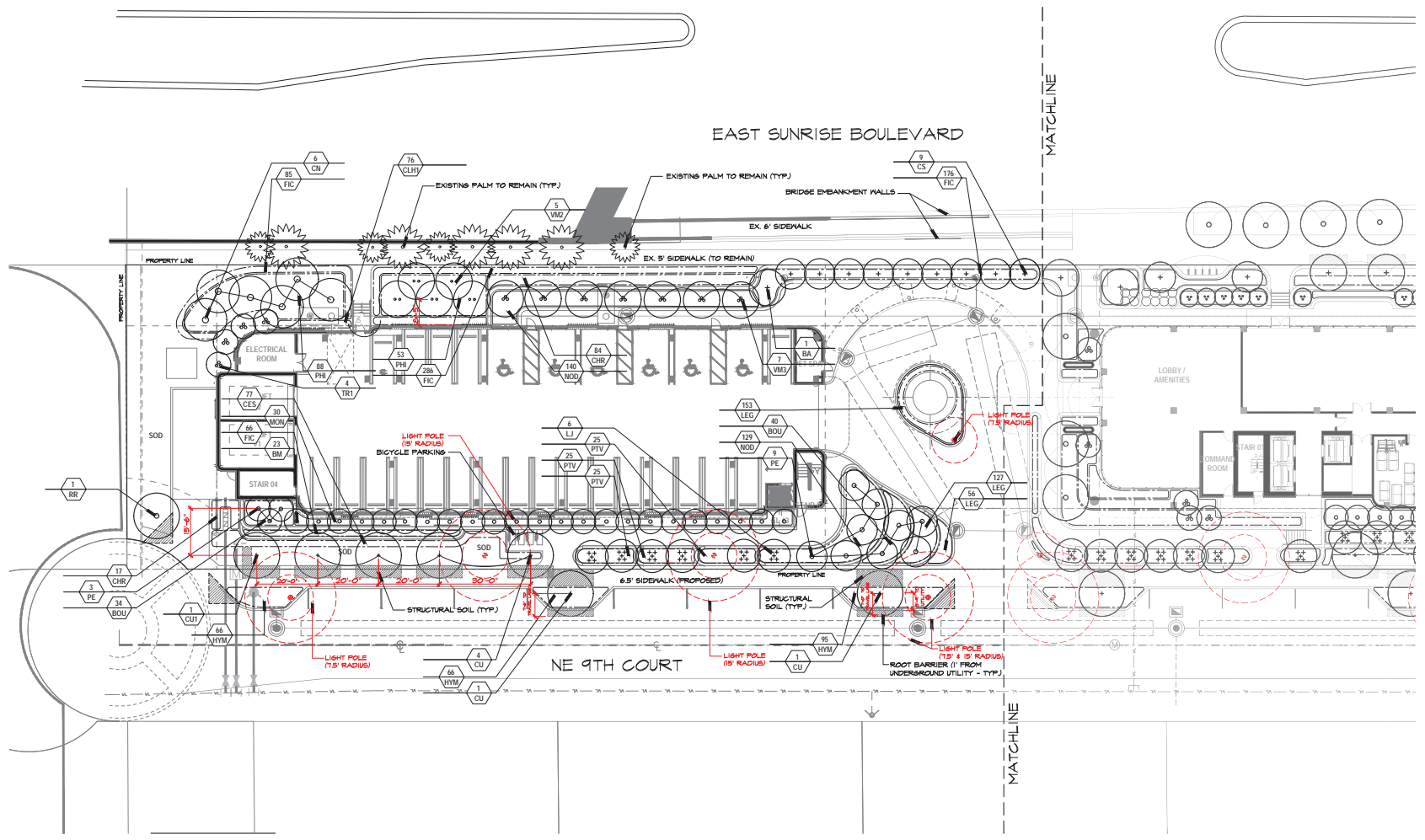
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L-2
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QUANTITIES, DETAILS AND SPECIFICATIONS



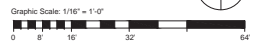
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GROUND LEVEL PLANTING PLAN

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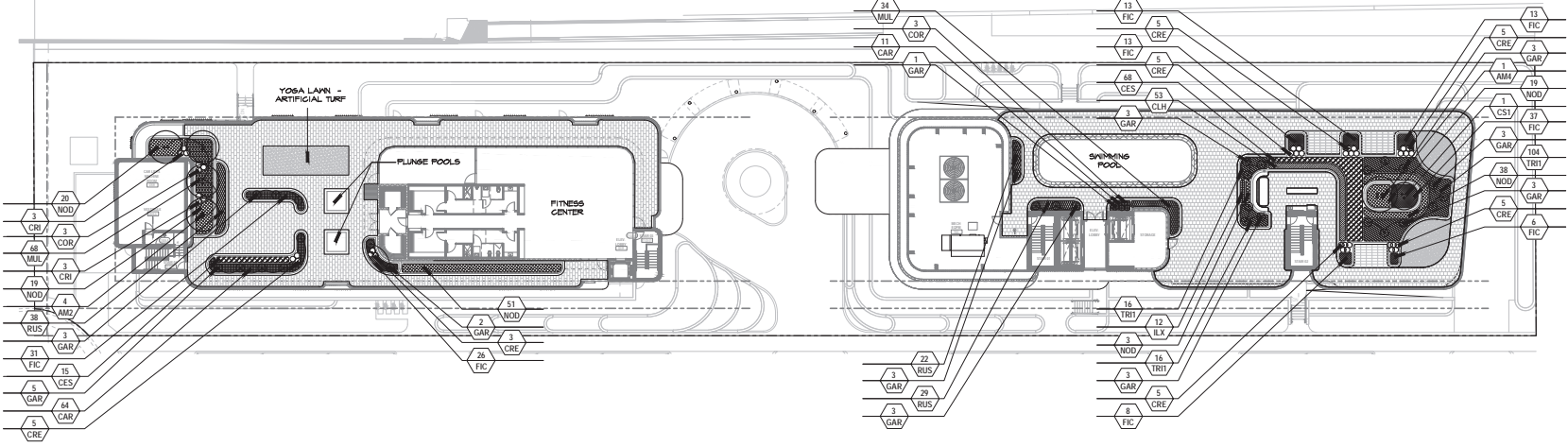


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REFER TO SHEET L-7 FOR PLANT LIST,
QUANTITIES, DETAILS AND SPECIFICATIONS

**GARAGE AMENITY LEVEL
LEVEL 5**

**CONDO AMENITY LEVEL
LEVEL 15**



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SERENO
2901 NE 9TH COURT, FORT LAUDERDALE FLORIDA
AMENITY LEVELS PLANTING PLAN

REVISIONS:

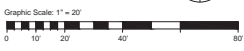
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L-6

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 Page 48 of 48



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SERENO
2901 NE 9TH COURT, FORT LAUDERDALE FLORIDA
LIGHTING PLAN

REVISIONS:	

NOVEMBER 05, 2025

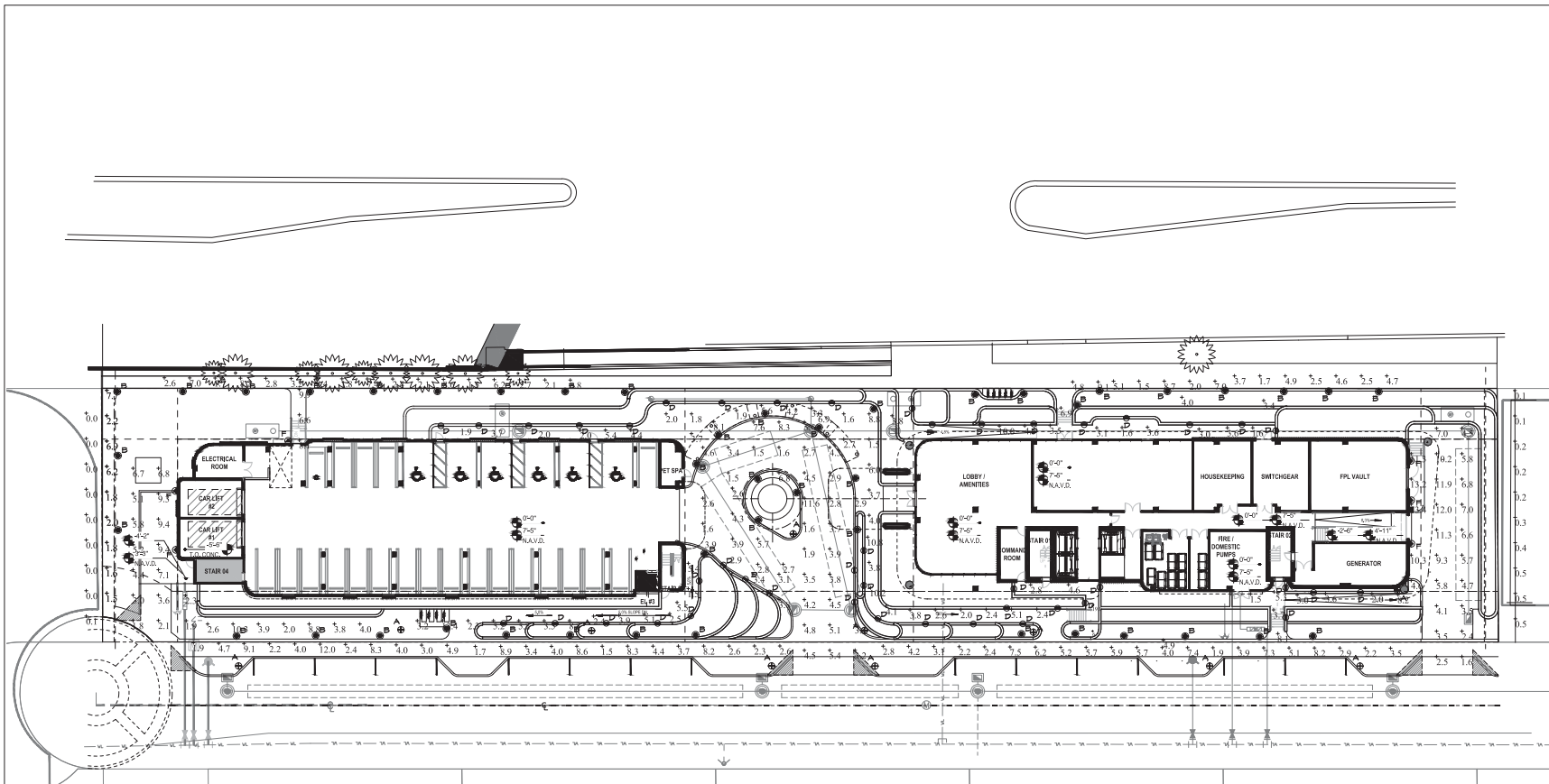
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SITE LANDSCAPE LIGHTING LEGEND

SYMBOL	ID	TOTAL	FIXTURE DESCRIPTION	BULB WATTAGE TYPE	TYPE OF MOUNT	MOUNTING HEIGHT
⊕	A	11	ROADWAY LIGHT POST - BY GARDOGO OR EQUAL PFT - 140L - 1150 - NWS2 - TB - S - 120 - B2	3000K LED 16 WATTS	POST	18' HT.
●	B	44	ARRIVAL COURT BOLLARD LIGHT - BY GARDOGO OR EQUAL PBL - 42" - 14L - 1050 - NWS2 - S - 120 - B2	3000K LED 34 WATTS	BOLLARD	42" HT.
⊙	D	45	RECESSED WALL LIGHT - BY FC LIGHTING OR EQUAL FGLS81 - UNV - BK - CR185 - BL - (174) - ECMT - PAM410	3000K LED 14 WATTS	WALL	24" HT.
⊙	F	6	WALL SCONCE LIGHT - BY GARDOGO OR EQUAL PWS - 140L - 1150 - NA - 62 - 4 - UNV	3000K LED 52 WATTS	WALL	12' HT.



FIXTURE A

FIXTURE B

FIXTURE D

FIXTURE F

EAST SUNRISE BLVD • FORT LAUDERDALE REVS

Calculation Summary						
Label	Avg	Max	Min	Avg/Min	Max/Min	
DROP OFF	4.20	11.6	1.5	2.80	7.78	
SPILL EAST	0.47	0.5	0.3	1.57	1.67	
SPILL WEST	0.17	0.5	0.0	N.A.	N.A.	
SIDEWALK (NORTH GARAGE)	4.99	4.4	1.5	3.33	6.60	
SIDEWALK (NORTH CONDO)	4.45	10.0	1.5	2.97	6.67	
SIDEWALK (SOUTH GARAGE)	4.91	18.4	1.5	3.27	8.93	
SIDEWALK (SOUTH CONDO)	4.85	19.0	1.4	2.55	10.00	
EAST SIDE SERVICE DRIVE	7.16	18.4	1.6	4.48	8.98	
WEST SIDE SERVICE DRIVE	5.64	9.4	1.8	3.16	5.22	
WEST SIDEWALK	3.52	7.1	1.5	2.55	5.15	

GROUND LEVEL

1" = 20'

