

COUNTY: BROWARD
SECTION: 86180000 / 86180103
SR: A1A (SE 17th STREET)
PERMIT: 2024-L-491-00023

**AMENDMENT NUMBER TWENTY-TWO (22) TO
FLORIDA DEPARTMENT OF TRANSPORTATION DISTRICT 4
LANDSCAPE INCLUSIVE MAINTENANCE MEMORANDUM OF AGREEMENT**

THIS AMENDMENT Number Twenty-Two (22) to the Agreement dated January 31, 2008, was made and entered into this ___ day of _____ 2026 by and between the **DEPARTMENT OF TRANSPORTATION**, a component agency of the State of Florida, hereinafter called the **DEPARTMENT**, and the **CITY OF FORT LAUDERDALE**, a municipal corporation of the State of Florida, hereinafter called the **AGENCY**.

W I T N E S S E T H

WHEREAS the parties entered into the Landscape Inclusive Maintenance Memorandum of Agreement dated January 31, 2008 (“Original Agreement”) for the purpose of the AGENCY maintaining landscape and hardscape improvements on **State Road A1A (SE 17th Street)**; and,

WHEREAS the DEPARTMENT and the AGENCY agree to amend the Original Agreement for the purpose of adding additional landscape and hardscape improvements (“Additional Improvements”) to be installed by permit on **State Road A1A (SE 17th Street)** in accordance with the above referenced Original Agreement; and,

WHEREAS the AGENCY by Resolution No. _____ passed on _____, 2025, and attached hereto as **Exhibit D** and by this reference made a part hereof, desires to enter into this Agreement and authorized its officers to do so; and,

NOW THEREFORE, for and in consideration of mutual benefits that flow each to the other, the parties covenant and agree as follows:

1. Pursuant to section one (1) of Amendment Eleven (11) to the Original Agreement, the AGENCY has agreed to allow an Adjacent Property Owner to construct Additional Improvements or to modify an improvement located as indicated in **Exhibit "A"** on **SR A1A (SE 17th Street) from M.P. (0.765) to M.P. (1.078) and from A1A (Grand Drive) M.P. (0.000) to (0.187.)**
2. The Additional Improvements including groundcover plants and shrubs, irrigation, landscape accent lighting, a trash and recycling receptacle, and a bike rack, shall be installed according to the plans attached to this Amendment as **Exhibit "B"** and incorporated into the Original Agreement.
3. The AGENCY agrees to maintain, at its expense, the Additional Improvements in accordance with Part I of **Exhibit "C"** Maintenance Plan for Landscape Improvements, of the Original Agreement, and in compliance with Part II as follows:

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PART II.

SPECIFIC PROJECT SITE MAINTENANCE REQUIREMENTS AND RECOMMENDATIONS:

AGENCY MAINTENANCE REQUIREMENTS

WATERING REQUIREMENTS

During an interruption in service or to provide water for plant establishment, Irrigation system shall be supplemented by hose as required.

HARDSCAPE PAVEMENT

All Vehicles driving or parking on the hardscape shall be equipped with drip pans.

LANDSCAPE ARCHITECT MAINTENANCE REQUIREMENT

1. The design intent for the area covered in this agreement is for an orderly and clean streetscape in character with the surrounding city streets, that provides desirable views into the adjacent project site while screening undesirable views such as utility equipment.
2. Canopy Trees are intended to be maintained at mature height and spread.
3. Remove suckering growth from base and clear trunk areas for single and multi-trunked trees monthly.
4. To maintain the intended appearance of all palms, utilizing the information provided in the soil tests required in the specifications along with the recommendations of the University of Florida IFAS Extension, apply the latest recommended palm fertilizer per the manufacturer's specifications.
5. To maintain the intended appearance of all shrubs or turf grass, utilizing the information provided in the soil tests required in the specifications along with the recommendations of the University of Florida IFAS Extension, apply the latest recommended fertilizer per the manufacturer's specifications.
6. Do not remove fronds from self-cleaning palms, unless damaged. Palms with persistent fronds shall only have dead fronds removed, do not remove any green fronds. If it is deemed necessary to prune a palm's fronds, no fronds shall be trimmed above 3 o'clock and 9 o'clock on the horizontal plain.
7. Groundcover and shrub horizontal growth shall be maintained to prevent foliage from growing beyond the limits of the planting areas shown on the plan. Maintain a 6" to 8" setback from the foliage to the edge of curb, pavement, sidewalk and/or other hardscape improvements.
8. Maintain the vertical height of:
 - Red Tipped Cocoplum, *Chrysolobanus icaco* between 4' and 6', full to ground.

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- Green Island Ficus, *Ficus macrocarpa* between 2' and 3', full to ground.
 - Blanket Flower, *Gaillardia pulchella* between 1' to 2'
 - Firebush, *Hamelia patens* between 4' to 5', full to ground.
 - Red Firecracker Plant, *Russelia equisetiformis* between 3' to 4', full to ground.
 - Dwarf Schefflera, *Schefflera arboricola* between 3' to 4', full to ground.
 - Coontie, *Zamia pumila* between 3' to 5'.
 - Lily of the Nile, *Agapanthus africanus* to 30"
 - Star Jasmine, *Jasmine nitidum*, between 2' and 3'
 - Crinum Lily, *Crinum asiaticum*, to 6'
 - Green Saw Palmetto, *Serenoa repens* to 6'
 - Purple Heart, *Setcreasea purpurea*, 12" to 18"
9. Inspect groundcovers and shrubs on a monthly basis for pests, diseases, drought stress or general decline. If required, follow the integrated pest management program established by the Agency to ensure healthy plants.
10. Evaluate plant material on a monthly basis for pests, diseases, drought stress or general decline. If required, follow the integrated pest management program established by the Agency to ensure healthy plants.
11. Concrete pavers shall be inspected on a monthly basis for the aesthetic appearance and safety conditions. Address any issues identified by repairing or replacing those specific locations. To maintain the overall aesthetic appearance and safety of the concrete pavers they shall be cleaned on a yearly basis to prevent mold, dirt, oil, and gum build up. Joints and cracks in concrete, patterned concrete or asphalt, concrete pavers, concrete curbs, expansion joints, catch basins, gutter areas, etc. shall be inspected on a monthly basis to keep those areas free of weeds.
12. Inspect the irrigation system performance on a weekly basis to ensure the system is providing 100% coverage, does not have sections of low pressure, heads and valves are clean and clear of debris and any damaged irrigation components (i.e., spray nozzles, spray heads, valve boxes, etc.) are repaired or replaced.

Except as modified by this Amendment, all terms and conditions of the Original Agreement and all Amendments thereto shall remain in full force and effect.

LIST OF EXHIBITS

- Exhibit A - Maintenance Limits
- Exhibit B - Landscape Improvement Plans
- Exhibit C - Resolution

COUNTY: BROWARD
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In Witness whereof, the parties hereto have executed with this Amendment effective the ____ day _____, ____year written and approved.

CITY OF FORT LAUDERDALE

**STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION**

By: _____

Dean J. Trantalis, Mayor

_____ day of _____, 2026

By: _____

John P. Krane, P.E.

Director of Transportation Development

Date: _____

By: _____

Rickelle Williams, City Manager

_____ day of _____, 2026

Attest: _____

Alia Chanel

Executive Secretary, District 4

Attest:

Legal Review:

David R. Soloman, City Clerk

Pamela G. Eidelberg
Assistant General Counsel, District 4

Approved as to form by Office of City Attorney

Shari L. McCartney, City Attorney

COUNTY: BROWARD
SECTION: 86180000 / 86180103
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PERMIT: 2024-L-491-00023

EXHIBIT A

MAINTENANCE LIMITS

I. INCLUSIVE LANDSCAPE MAINTENANCE AGREEMENT LIMITS FOR STATE ROAD A1A (SE 17th STREET):

From State Road 5 (US 1) M.P. 0.000 (Section 86180000) to Flamingo Avenue (M.P. 6.410) (Section 86050000)

By Individual Sections:

Southbound One Way (Section 86050100)
M.P. 0.0000 (Seville Street) to M.P. 0.926 (Bahia Mar Hotel Entrance)

Northbound One Way / Seabreeze Blvd / 17th Street Causeway (Section 86180000):
M.P. 0.000 (State Road 5) (US 1) to M.P. 2.964 (State Road 842) (Las Olas Boulevard)

North Fort Lauderdale Beach Area (Section 86050000):
M.P. 2.039 (south of Poinsettia Street) to M.P. 6.410 (Flamingo Avenue)

II. MAINTENANCE LIMITS FOR AMENDMENT #22:

Section Number 86180000
State Road A1A (SE 17th Street) from **M.P. 0.765 to M.P. 1.078**

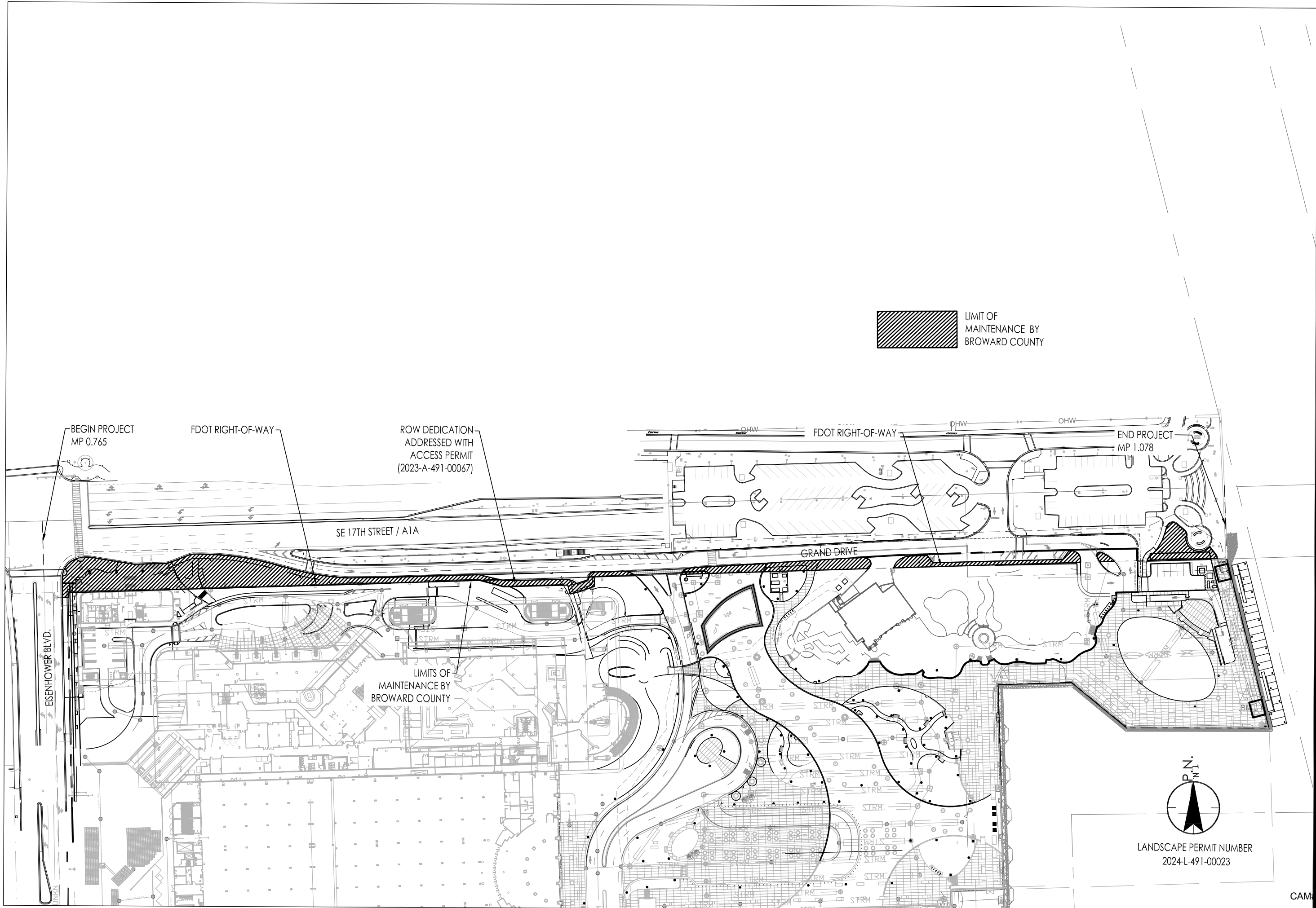
AND

Section Number 86180103
State Road A1A (Grand Drive) from **M.P. 0.000 to M.P. 0.187**

III. AMENDMENT #22 MAINTENANCE BOUNDARY MAP:

**Please See Attached*

*All limits of the Original Agreement and Amendments shall apply.




 LIMIT OF MAINTENANCE BY BROWARD COUNTY

COUNTY: BROWARD
SECTION: 86180000 / 86180103
SR: A1A (SE 17th STREET)
PERMIT: 2024-L-491-00023

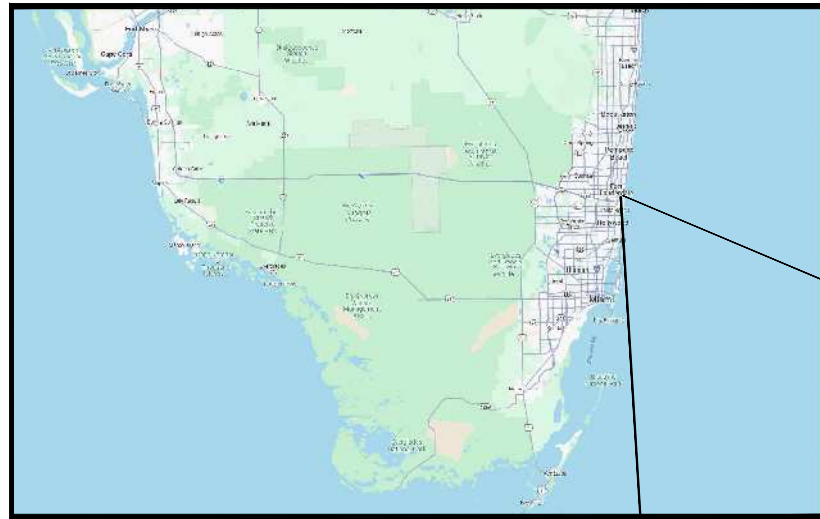
EXHIBIT B

LANDSCAPE IMPROVEMENT PLANS

The AGENCY agrees to install the landscape improvements in accordance with the plans and specifications attached hereto and incorporated herein.

Please see attached plans prepared by: Eric N. Buck, RLA
Stantec Consulting Services, Inc.
March 21, 2025

LOCATION MAP



REGIONAL MAP



NOT TO SCALE

LOCAL MAP



NOTES:

1. SEE PERMIT No. 2025-491-00002, CURRENTLY UNDER REVIEW BY FDOT TO ADDRESS ALL AERIAL ENCROACHMENTS.
2. TURN LANE ROW DEDICATION, PAVEMENT MARKINGS AND ROADWAY SIGNS ARE ADDRESSED WITH ACCESS PERMIT 2023-A-491-000067.
3. PROJECT BEGINS AT THE INTERSECTION OF 17TH STREET / A1A AND EISENHOWER BLVD., MP 0.765 AND ENDS AT MP 1.078.
4. EFFORTS ARE CURRENTLY UNDERWAY TO PLACE ALL OVERHEAD UTILITIES UNDERGROUND.
5. DO NOT BEGIN EXCAVATION UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND MARKED CALL 811 OR VISIT SUNSHINE811.COM AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, CHAPTER 556, FLORIDA STATUTES. AVOID DAMAGE TO ALL UTILITIES, HAND EXCAVATE AS REQUIRED.

FDOT GENERAL NOTES:

1. GOVERNING STANDARD PLANS: FLORIDA DEPARTMENT OF TRANSPORTATION, FY 2024-25 STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION AND APPLICABLE INTERIM REVISIONS (IRS) ARE AVAILABLE AT THE FOLLOWING WEBSITE:
[HTTPS://WWW.FDOT.GOV/DESIGN/STANDARDPLANS](https://www.fdot.gov/design/standardplans)
2. GOVERNING STANDARD SPECIFICATIONS: FLORIDA DEPARTMENT OF TRANSPORTATION, FY 2024-25 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AT THE FOLLOWING WEBSITE:
[HTTPS://WWW.FDOT.GOV/PROGRAMMANAGEMENT/IMPLEMENTED/SPECBOOKS](https://www.fdot.gov/programmanagement/implemented/specbooks)
3. CONTRACTOR SHALL REPAIR ALL DAMAGE DONE TO FDOT PROPERTY DURING DEMOLITION, RELOCATION &/OR INSTALLATION ACTIVITIES AT HIS SOLE EXPENSE.
4. ANY PLANT MATERIAL SUBSTITUTION WITHIN OR IMPACTING THE FDOT RIGHT OF WAY WHETHER REQUESTED BY THE CONTRACTOR, OWNER, LANDSCAPE ARCHITECT OR OTHER WILL NEED TO GET APPROVAL FROM THE FDOT DISTRICT LANDSCAPE ARCHITECT.
5. OWNERSHIP OF ALL SUITABLE EXCAVATED MATERIALS, AS DETERMINED BY THE DEPARTMENT, SHALL REMAIN IN THE DEPARTMENT UNTIL A FINAL ACCEPTANCE OF THE PERMITTED PROJECT IS FULFILLED. EXCAVATED MATERIALS SHALL BE HAULED BY THE PERMITTEE, AT THEIR COST & EXPENSE FROM THE SITE TO THE FDOT BROWARD OPERATIONS CENTER OR STOCKPILED IN THOSE AREAS AS DIRECTED BY THE DEPARTMENT, INCLUDING ASPHALT MILLINGS.

LANDSCAPE SHEET INDEX

SHEET NUMBER	SHEET NAME	SCALE
L-100	SHEET INDEX	1" = 20' - 0"
L-101	AERIAL PLAN	1" = 20' - 0"
L-102	AERIAL PLAN	1" = 20' - 0"
L-103	AERIAL PLAN	1" = 20' - 0"
L-111	HARDSCAPE PLAN	1" = 20' - 0"
L-112	HARDSCAPE PLAN	1" = 20' - 0"
L-113	HARDSCAPE PLAN	1" = 20' - 0"
L-151	HARDSCAPE DETAILS	AS SHOWN
L-152	HARDSCAPE DETAILS	AS SHOWN
L-153	HARDSCAPE DETAILS	AS SHOWN
L-160	HARDSCAPE SCHEDULE	NA
L-201	IRRIGATION PLAN	1" = 20' - 0"
L-202	IRRIGATION PLAN	1" = 20' - 0"
L-203	IRRIGATION PLAN	1" = 20' - 0"
L-251	IRRIGATION DETAILS	AS SHOWN
L-301	TREE PLAN	1" = 20' - 0"
L-302	TREE PLAN	1" = 20' - 0"
L-303	TREE PLAN	1" = 20' - 0"
L-311	SHRUB & GROUNDCOVER PLAN	1" = 20' - 0"
L-312	SHRUB & GROUNDCOVER PLAN	1" = 20' - 0"
L-313	SHRUB & GROUNDCOVER PLAN	1" = 20' - 0"
L-351	LANDSCAPE DETAILS	AS SHOWN
L-360	LANDSCAPE SCHEDULE	NA
L-401	LIGHTING PLAN	1" = 20' - 0"
L-402	LIGHTING PLAN	1" = 20' - 0"
L-403	LIGHTING PLAN	1" = 20' - 0"



Stantec Consulting Services, Inc.
4778 New Wood Street, Suite 100
Charlotte, NC 28217
www.stantec.com

Consultant

Permit/Seal

Client/Project
BROWARD COUNTY
CONVENTION CENTER &
HEADQUARTERS HOTEL
GRAND DRIVE ROW
LANDSCAPE INDEX
FORT LAUDERDALE, FL

Project No.: 21-85-0005
Title: INDEX
Scale: As Shown

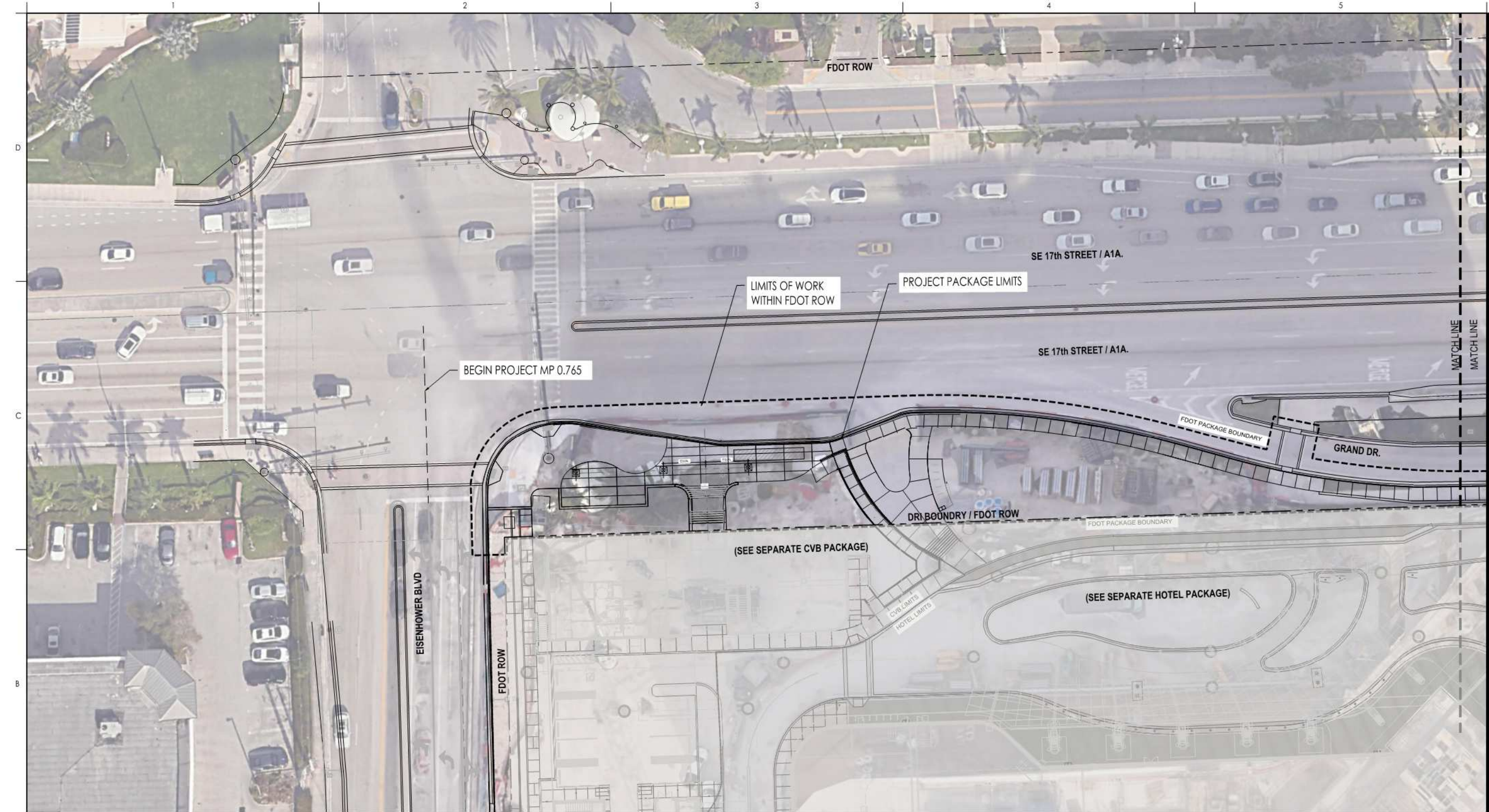
Rev. No. Date Description

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L.100

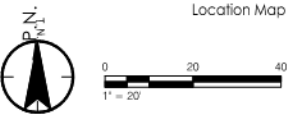
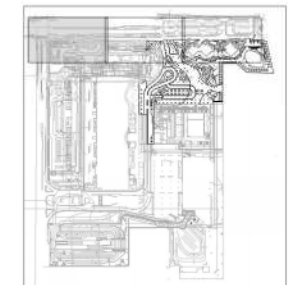
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17TH STREET DESIGN SPEED = 35 MPH
LANDSCAPE PERMIT NUMBER
2024-L-491-00023

AM# 26-0614
Exhibit 1



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 ORIGINAL SHEET - ARCH D



DESIGN SPEED SE 17TH ST. = 35 mph
 LANDSCAPE PERMIT NUMBER
 2024-L-491-00023

Consultant

REVISION	By	App'd	YYYY/MM/DD

PERMIT	DATE	BY	APP'D
PERMIT	2023.03.21	SR	
PERMIT	2023.02.17	SR	
PERMIT	2024.12.04	SR	
100% DCC	2023.07.24	SR	
ISSUED	YYYY/MM/DD		

Permit/Seal

Client/Project
 BROWARD COUNTY
 CONVENTION CENTER &
 HEADQUARTERS HOTEL
 GRAND DRIVE ROW
 AERIAL PLAN
 FORT LAUDERDALE, FL

Project No.: 218510005
 File Name: AERIAL
 Scale: As Shown
 Dwn: 2023.07.24
 Dgns: YYYT/AM/DO
 Chkd: YYYT/AM/DO

Title
L.101
 Revision: Sheet: of
 Drawing No. AM# 26-0614
 Exhibit 1
 Page 9 of 34

Consultant

DATE	DESCRIPTION	BY	CHK
02/25/24	100% DOC	AM	AM
02/25/24	20% PERM	AM	AM
02/25/24	5% PERM	AM	AM
02/25/24	CONCEPT	AM	AM

DATE	DESCRIPTION	BY	CHK
02/25/24	100% DOC	AM	AM
02/25/24	20% PERM	AM	AM
02/25/24	5% PERM	AM	AM
02/25/24	CONCEPT	AM	AM

Permit/Seal

Client/Project
BROWARD COUNTY
CONVENTION CENTER &
HEADQUARTERS HOTEL
GRAND DRIVE ROW
HARDSCAPE PLAN
FORT LAUDERDALE, FL

Project No.: 21851-0005

File Name: HARDSCAPE

Scale: As Shown

Drawn: AM

Checked: AM

Title

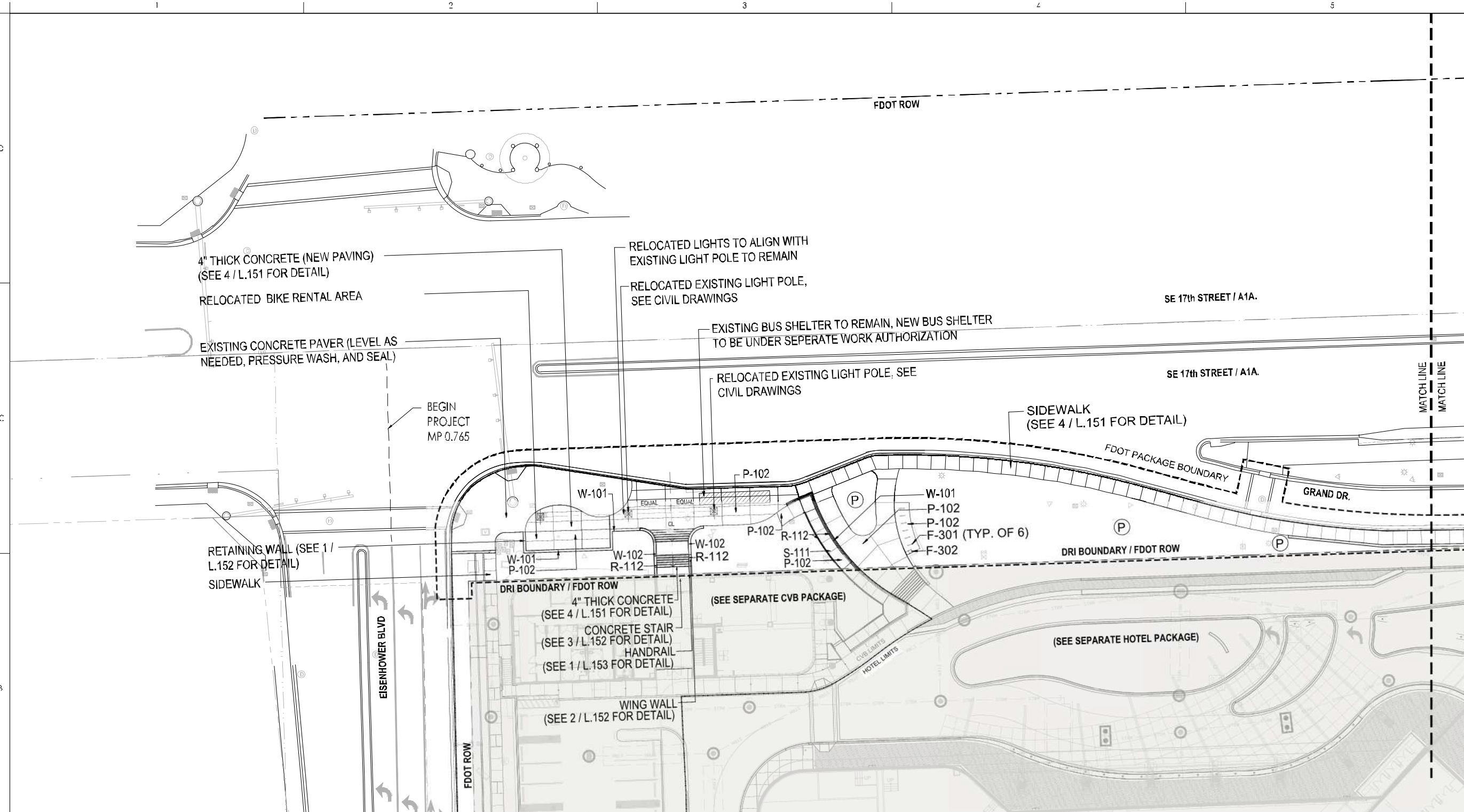
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Revision: Sheet: of

AM# 26-0614

Exhibit 1

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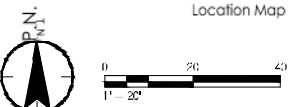
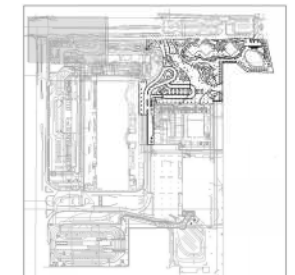
HARDSCAPE KEY	MATERIAL	DETAIL
P-101	CONCRETE - PEDESTRIAN	4 / L.151
P-102	CONCRETE - PEDESTRIAN	4 / L.151
P-112	CONCRETE - VEHICULAR	SEE CIVIL DWGS AND HARDSCAPE SCHEDULE
P-221	PERMEABLE COBBLE PAVER	9 / L.151
P-301	8" WIDE CONCRETE BAND	8 / L.151
P-303	18" WIDE CONCRETE BAND	7 / L.151
RAMP KEY	MATERIAL	DETAIL
S-111	CONCRETE RAMP	6 / L.152

NOTES: 1. SEE L.201 FOR HARDSCAPE AND FURNISHINGS SCHEDULE

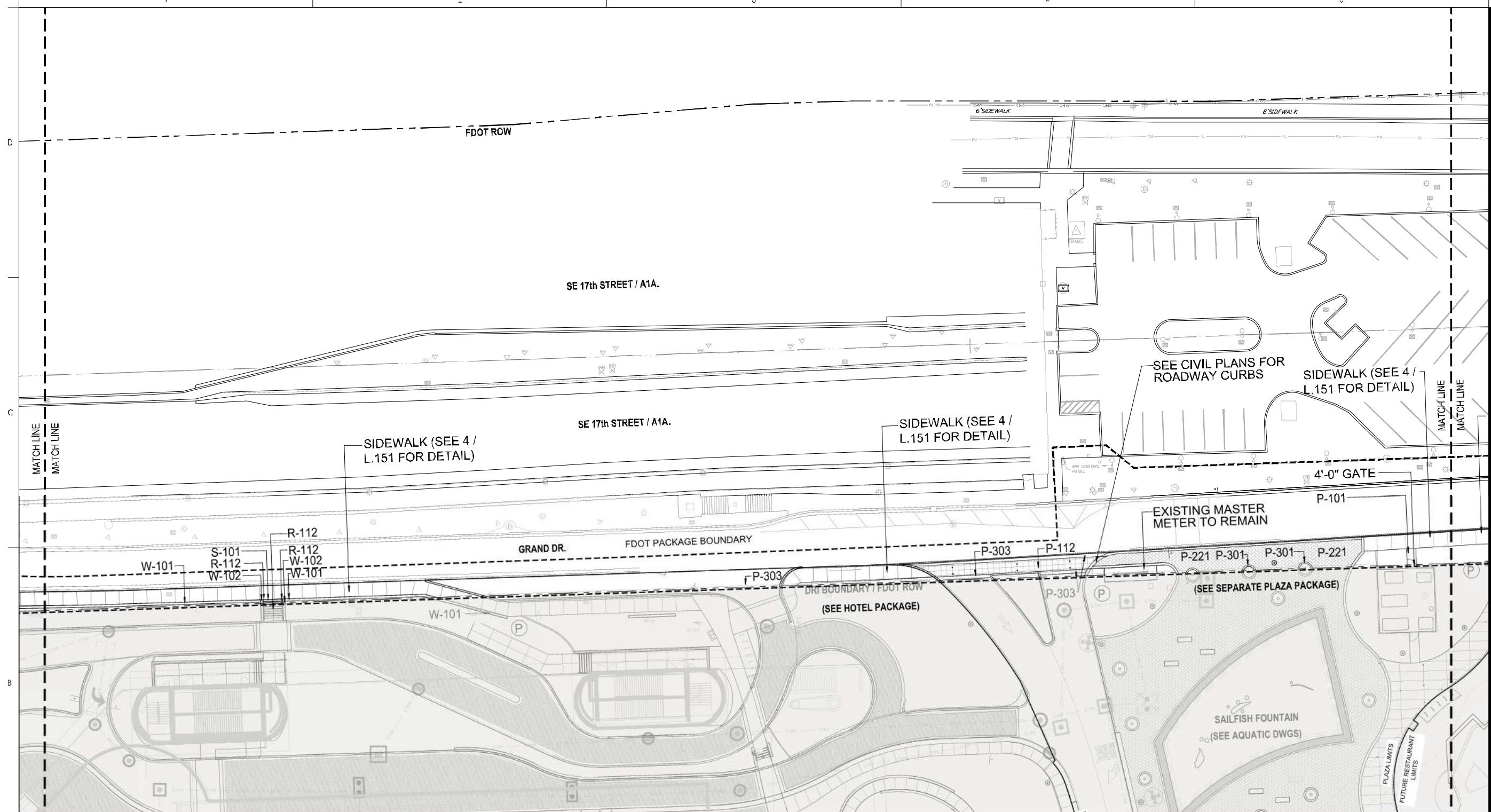
STAIR KEY	MATERIAL	DETAIL
S-101	CONCRETE STAIR	3 / L.152
RAILING KEY	MATERIAL	DETAIL
R-112	METAL HANDRAIL - SIMPLIFIED	1 / L.153
WALL KEY	MATERIAL	DETAIL
W-101	RETAINING WALL	1 / L.152
W-102	WING WALL	2 / L.152
FURNISHING KEY	MATERIAL	DETAIL
F-301	BIKE RACK	2 / L.154
F-302	TRASH AND RECYCLING BIN	3 / L.154

- LEGEND:**
- TRANSFORMER AND COMPANY SWITCH SEE ELECTRICAL DRAWING
 - PLANTING
 - LIGHT, SEE LIGHTING PLANS FOR TYPE AND ADDITIONAL INFORMATION

- NOTES:**
- DO NOT BEGIN EXCAVATION UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND MARKED. CALL 811 OR VISIT SUNSHINE811.COM AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, CHAPTER 556, FLORIDA STATUTES. AVOID DAMAGE TO ALL UTILITIES, HAND EXCAVATE AS REQUIRED.
 - PATTERNED PAVEMENT INSTALLATION SHALL COMPLY WITH CURRENT FDOT STANDARD SPECIFICATION 523. FRICTION TESTING WILL BE REQUIRED AT INTERVALS IN ACCORDANCE WITH FDOT FM 5-592 ASTM E274 OR ASTM E1911. ALL COSTS FOR FRICTION TESTS WITHIN THE TRAVEL WAY ARE THE RESPONSIBILITY OF THE AGENCY.
 - ARCHITECTURAL PAVERS INSTALLATION FOR SIDEWALKS, MEDIANS, DRIVEWAYS, OR ROADWAYS WITHIN THE FDOT RIGHT OF WAY SHALL COMPLY WITH CURRENT FDOT STANDARD SPECIFICATION 526.
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DESIGN SPEED SE 17TH ST. = 35 mph
LANDSCAPE PERMIT NUMBER
2024-L-491-00023



Consultant

Client/Project
BROWARD COUNTY
CONVENTION CENTER &
HEADQUARTERS HOTEL
GRAND DRIVE ROW
HARDSCAPE PLAN
FORT LAUDERDALE, FL

DATE	DESCRIPTION	BY	APP'D
02/25/21	20% DOC	AMC	AMC
03/02/21	30% DOC	AMC	AMC
03/15/21	50% DOC	AMC	AMC
03/22/21	100% DOC	AMC	AMC

Permit/Seal

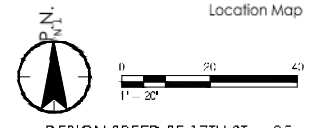
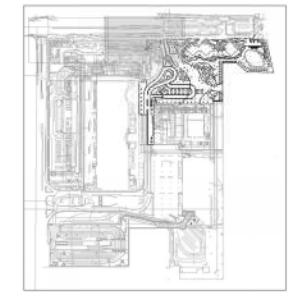
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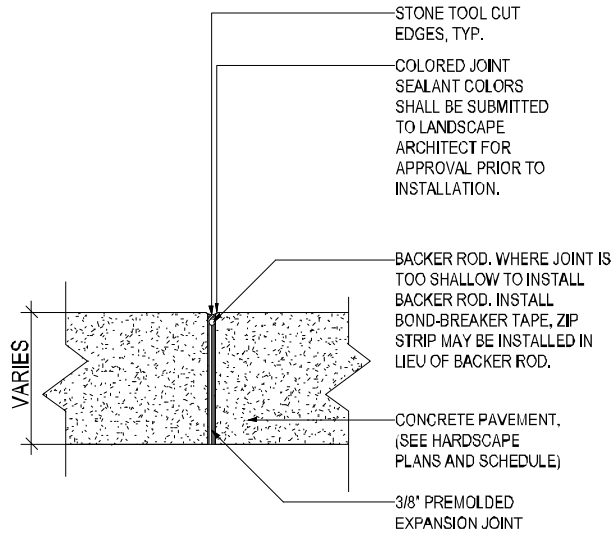
Client/Project
BROWARD COUNTY
CONVENTION CENTER &
HEADQUARTERS HOTEL
GRAND DRIVE ROW
HARDSCAPE PLAN
FORT LAUDERDALE, FL

Project No.: 21851-0025
File Name: HARDSCAPE
Scale: As Shown

Drawn: [Signature] Date: [Date]
Checked: [Signature] Date: [Date]
Title: L.112

Revision: [] Sheet: [] of []

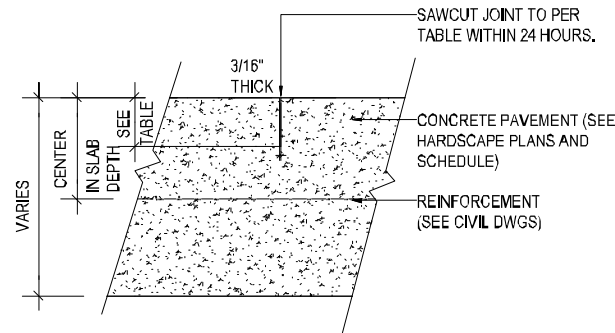
DESIGN SPEED SE 17TH ST. = 35 mph
LANDSCAPE PERMIT NUMBER
2024-L91-00023



1 EXPANSION JOINT - E.J., TYP.
3' = 1'-0"

DO NOT CUT THROUGH SLAB REINFORCING

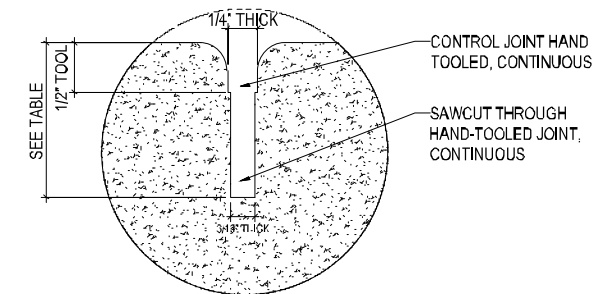
SAWCUT DEPTH	CONCRETE THICKNESS
1-1/2"	4"
2-1/2"	6"
3"	8"



2 CONTROL JOINT - C.J., TYP. (SAWCUT)
NOT TO SCALE

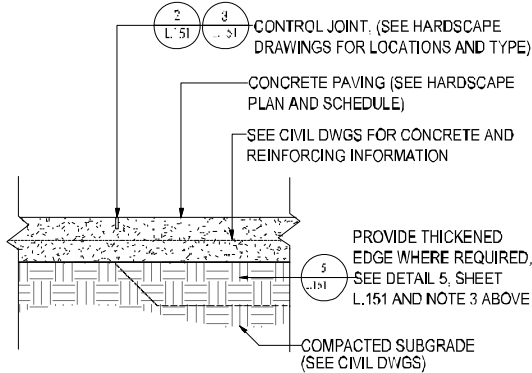
NOTE:
DO NOT CUT THROUGH SLAB REINFORCING

TOOLED / SAWCUT DEPTH	CONCRETE THICKNESS
1-1/2"	4"
2-1/2"	6"
3"	8"



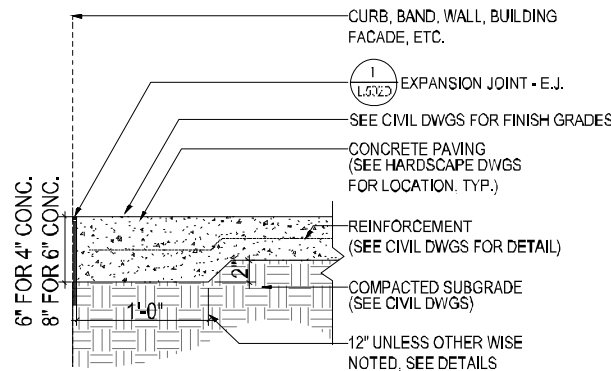
3 CONTROL JOINT - C.J., TYP. (TOOLED)
NOT TO SCALE

- NOTE:
- CONTRACTOR TO PROVIDE FULL-DEPTH SAMPLE PANEL OF EACH FINISH TYPE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO MAINTAIN APPROVED SAMPLE UNTIL INSTALLATION IS COMPLETE.
 - SEE HARDSCAPE DWGS FOR LOCATIONS OF EXPANSION JOINTS AND CONTROL JOINTS
 - WHERE PAVING ABUTS VERTICAL BUILDINGS, WALLS, CURBS OR OTHER STRUCTURES OR LANDSCAPE A THICKENED EDGE IS REQUIRED, SEE DETAIL 5, SHEET L.502D

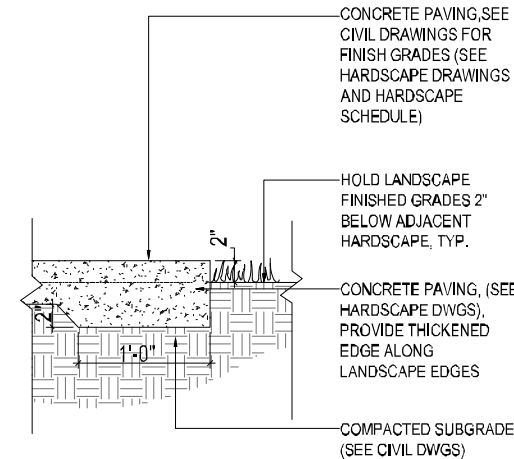


4 4" C.I.P CONCRETE, TYP.
1 1/2" = 1'-0"

- NOTES:
- PROVIDE EXPANSION JOINT IN ALL LOCATIONS WHERE CONCRETE PAVING MEETS A VERTICAL STRUCTURE, WHERE VEHICULAR AND PEDESTRIAN CONCRETE TYPES MEET, AND WHERE CALLED OUT ON THE PLANS
 - PROVIDE THICKENED EDGE IN ALL LOCATIONS WHERE CONCRETE PAVING MEETS A VERTICAL STRUCTURE, NOT LIMITED TO BUT INCLUDING CURBS, WALLS, PAVEMENT CHANGES AND ALONG LANDSCAPE EDGES.

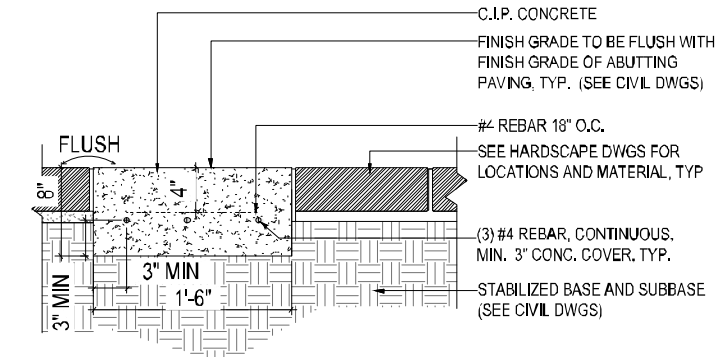


5 CONCRETE PAVING ADJ. TO VERTICAL STRUCTURE
1 1/2" = 1'-0"



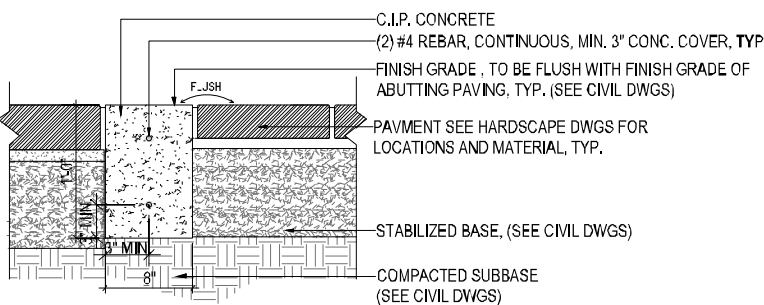
6 CONCRETE ADJ. TO LANDSCAPE
1 1/2" = 1'-0"

- NOTES:
- SEE HARDSCAPE DWGS FOR FINISH, TYP.
 - SEE CIVIL DWGS FOR FINISH GRADES.
 - SAW CUT CONTROL JOINTS 18" O.C. OR AS SHOWN. PERPENDICULAR TO BAND, TYP.
 - MITER CUTS AT CORNERS.

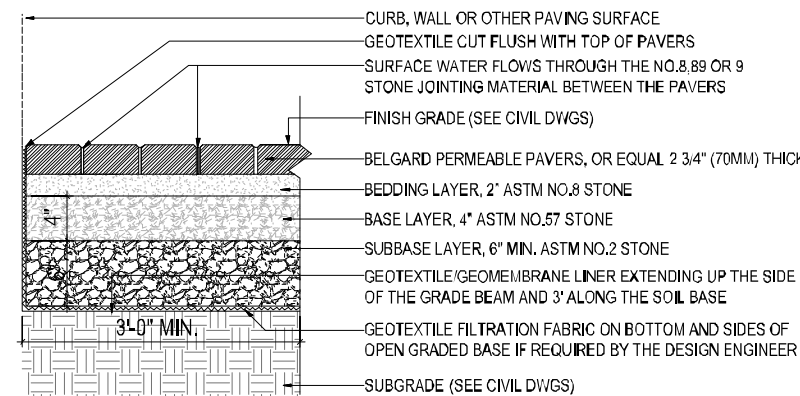


7 18" C.I.P CONCRETE BAND
1 1/2" = 1'-0"

- NOTES:
- SEE HARDSCAPE DWGS AND SCHEDULE FOR FINISH, TYP.
 - SEE CIVIL DWGS FOR FINISH GRADES.
 - SAW CUT CONTROL JOINTS 18" O.C. OR AS SHOWN. PERPENDICULAR TO BAND, TYP.
 - MITER CUTS AT CORNERS
 - CONCRETE PAVING ABUTTING BAND TO HAVE THICKENED EDGE, SEE DETAIL 5, SHEET L.502D



8 8" C.I.P CONCRETE BAND
1 1/2" = 1'-0"



9 PERMEABLE COBBLE PAVERS
1 1/2" = 1'-0"

- NOTES:
- DEPTH OF SUBBASE SUBJECT TO SITE SPECIFIC HYDRAULIC AND STRUCTURAL REQUIREMENTS. CONTACT MANUFACTURER, BELGARD COMMERCIAL, OR APPROVED EQUAL FOR DESIGN ASSISTANCE.
 - PAVER DIMENSIONS SUBJECT TO ASPECT AND PLAN RATIO REQUIREMENTS BASED ON TRAFFIC LOADING
 - ELEVATION OF HORIZONTAL DISCHARGE PIPE(S) SUBJECT TO STORAGE RESERVOIR. ENSURE PROPER COVER OVER THE HORIZONTAL PIPES.
 - WHERE THE FILTRATION GEOTEXTILE IS USED, VERIFY WITH THE MANUFACTURER THAT THE MATERIAL IS NOT SUBJECT TO CLOGGING AND MEETS REQUIREMENTS OF AASHTO M-288.
 - ASTM NO. 2 STONE MAY BE SUBSTITUTED WITH NO. 3 OR NO. 4 STONE.
 - STRICTLY PEDESTRIAN APPLICATIONS MAY SUBSTITUTE BASE/SUBBASE LAYERS WITH ONE 6" BASE LAYER OF ASTM NO.57 STONE.



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Chicago, IL 60630-4000
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1	2	3	4	5	6	7	8	9
1	2	3	4	5	6	7	8	9

1	2	3	4	5	6	7	8	9
1	2	3	4	5	6	7	8	9

Permit/Seal

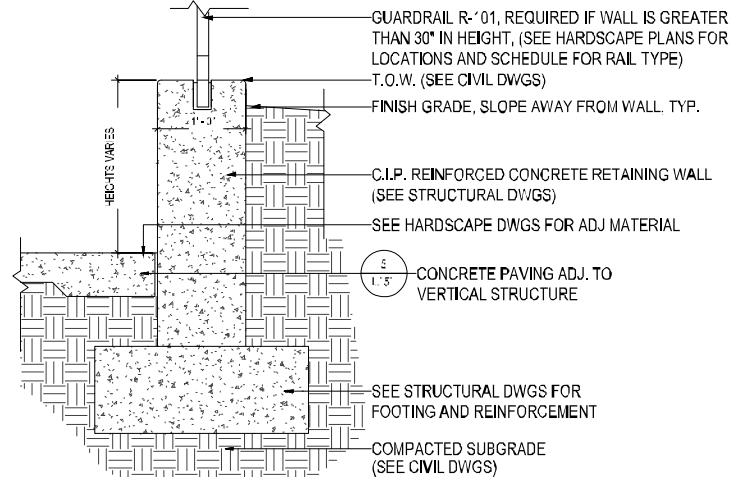
Client/Project
BROWARD COUNTY
CONVENTION CENTER &
HEADQUARTERS HOTEL
GRAND DRIVE ROW
HARDSCAPE DETAILS
FORT LAUDERDALE, FL

Project No.: 2024-0005
Title: HARDSCAPE DETAILS
Scale: As Shown

Revision: Sheet: of
Title: L.151

NOTES:

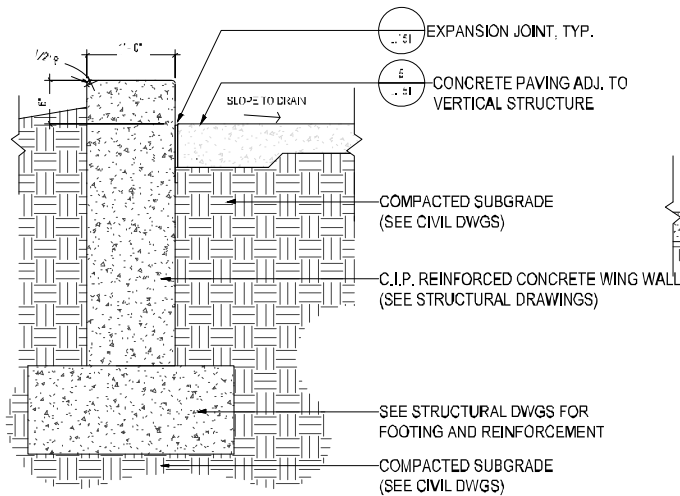
1. REFER TO CIVIL DWGS FOR WALL HEIGHTS
2. LIQUID APPLIED ELASTOMERIC WATERPROOFING SEALER TO BE APPLIED TO LANDSCAPE SIDE OF WALL, CONT. TYP.
3. REFER TO STRUCTURAL DWGS FOR REINFORCING SPACING AND SIZES



1 RETAINING WALL, TYP.
1" = 1'-0"

NOTES:

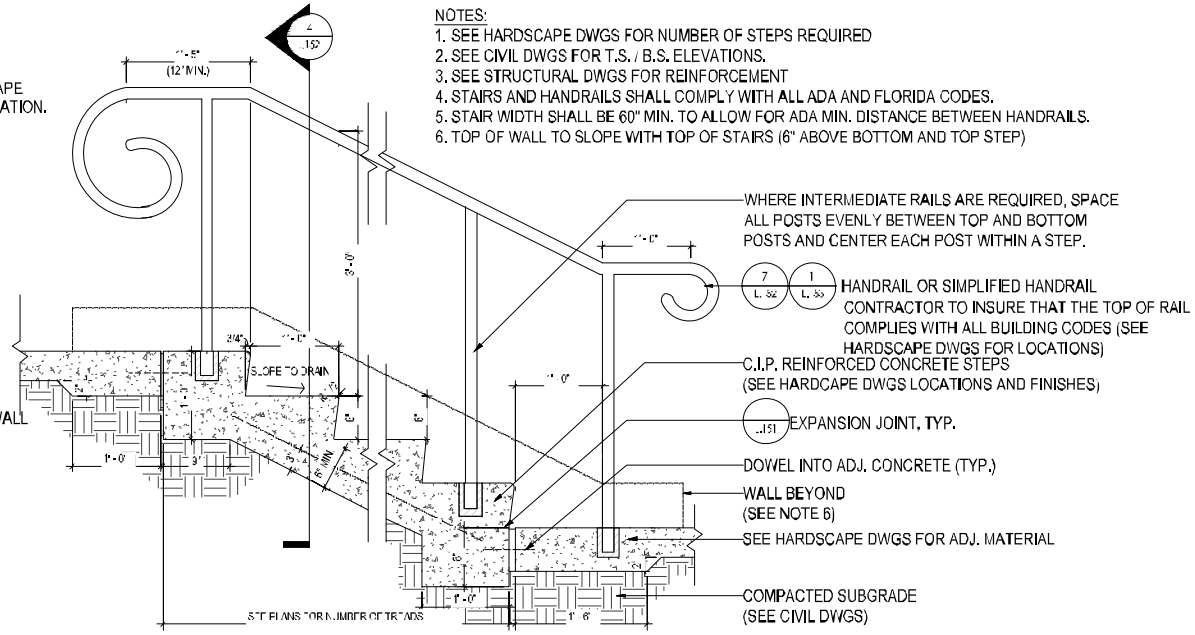
1. SEE CIVIL DWGS FOR FINISH GRADES AND WALL HEIGHTS
2. SEE HARDSCAPE DWGS FOR WALL LOCATION
3. LIQUID APPLIED ELASTOMERIC WATERPROOFING SEALER TO BE APPLIED TO LANDSCAPE SIDE OF WALL, CONT. TYP. CONTRACTOR TO SUBMIT FOR APPROVAL PRIOR TO INSTALLATION.
4. REFER TO STRUCTURAL DWGS FOR REINFORCING SPACING AND SIZES



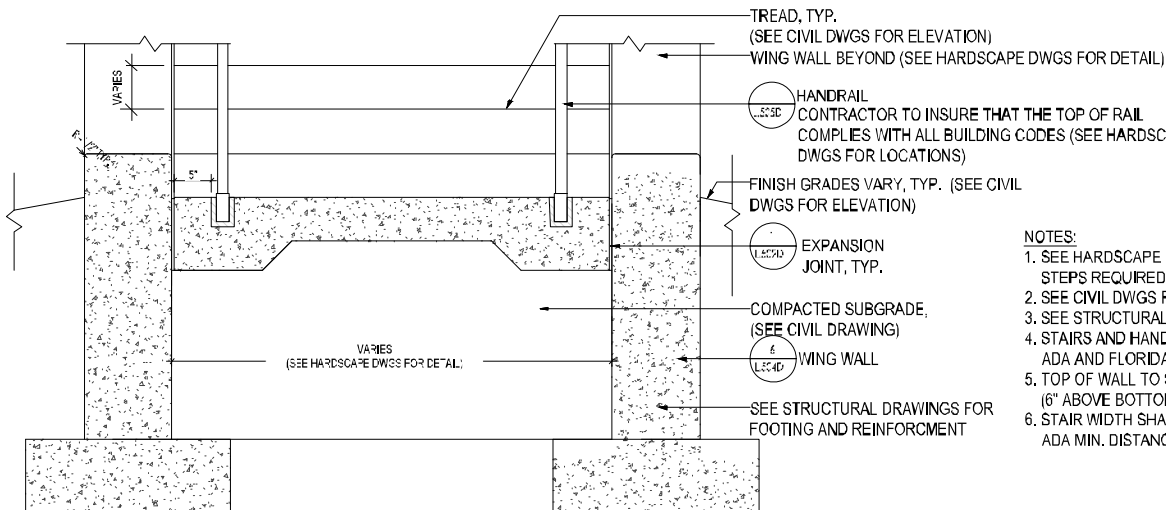
2 WING WALL
1" = 1'-0"

NOTES:

1. SEE HARDSCAPE DWGS FOR NUMBER OF STEPS REQUIRED
2. SEE CIVIL DWGS FOR T.S. / B.S. ELEVATIONS.
3. SEE STRUCTURAL DWGS FOR REINFORCEMENT
4. STAIRS AND HANDRAILS SHALL COMPLY WITH ALL ADA AND FLORIDA CODES.
5. STAIR WIDTH SHALL BE 60" MIN. TO ALLOW FOR ADA MIN. DISTANCE BETWEEN HANDRAILS.
6. TOP OF WALL TO SLOPE WITH TOP OF STAIRS (6" ABOVE BOTTOM AND TOP STEP)



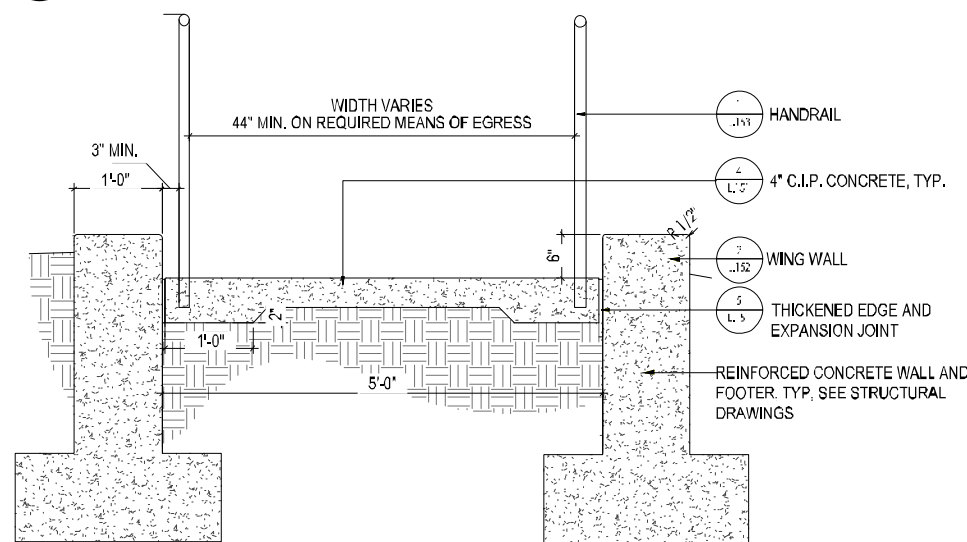
3 CONCRETE STAIR
1" = 1'-0"



4 STAIR AND WING WALL SECTION, TYP.
1" = 1'-0"

NOTES:

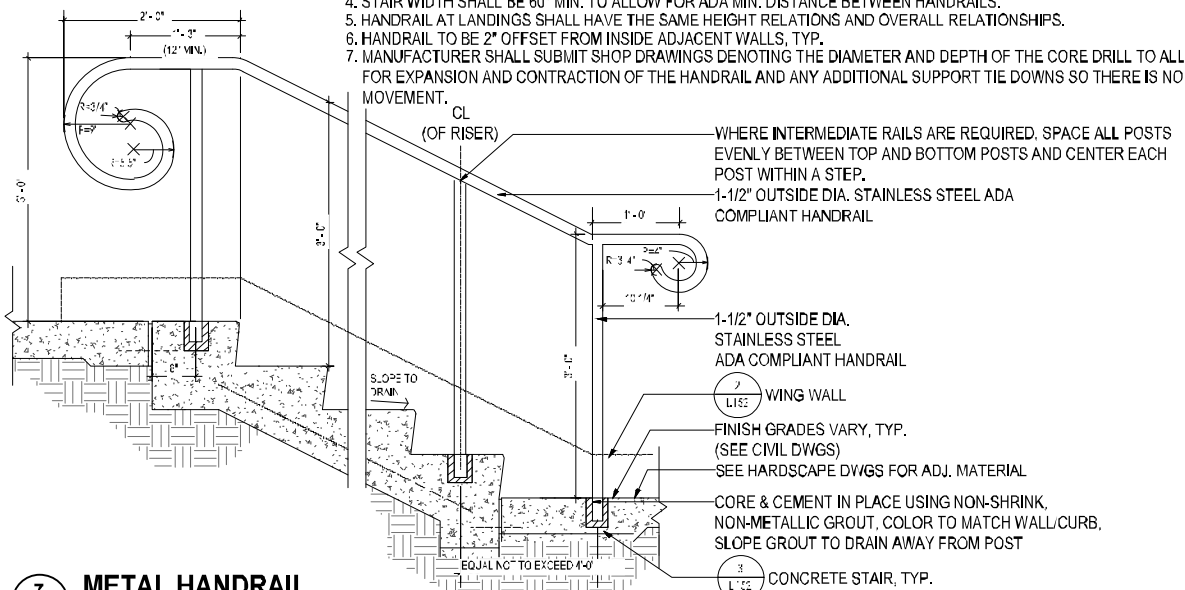
1. SEE HARDSCAPE DWGS FOR NUMBER OF STEPS REQUIRED
2. SEE CIVIL DWGS FOR T.S. / B.S. ELEVATIONS.
3. SEE STRUCTURAL DWGS FOR REINFORCEMENT
4. STAIRS AND HANDRAILS SHALL COMPLY WITH ALL ADA AND FLORIDA CODES.
5. TOP OF WALL TO SLOPE WITH TOP OF STAIRS (6" ABOVE BOTTOM AND TOP STEP)
6. STAIR WIDTH SHALL BE 60" MIN. TO ALLOW FOR ADA MIN. DISTANCE BETWEEN HANDRAILS.



5 CONCRETE RAMP WITH HANDRAIL SECTION
1" = 1'-0"

NOTES:

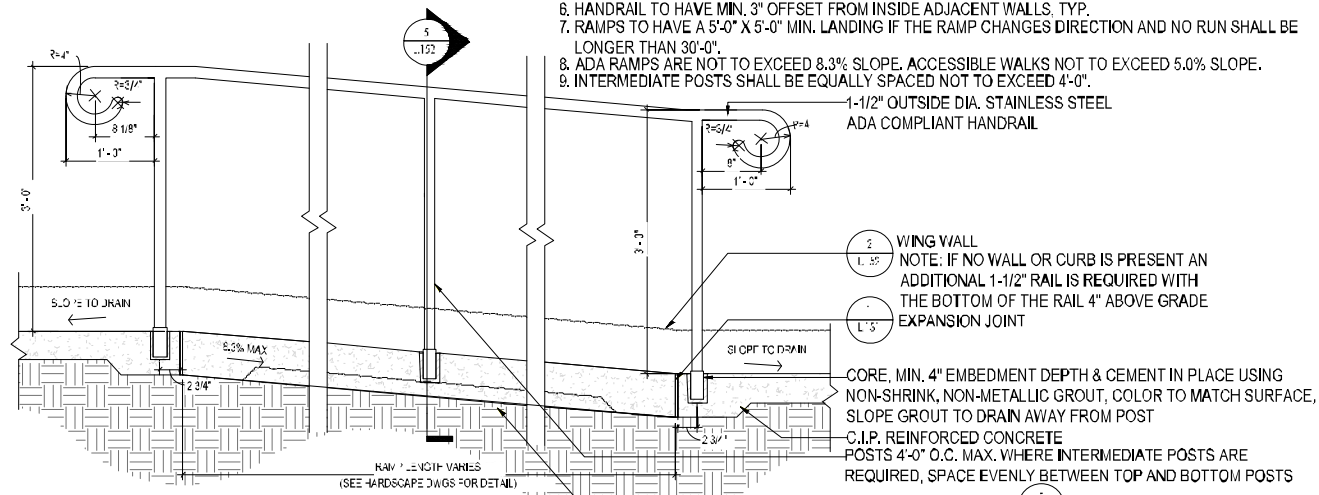
1. SEE CIVIL DWGS. FOR TS/BS ELEVATIONS.
2. CONTRACTOR TO SUPPLY SHOP DRAWINGS FOR HANDRAIL AND MOUNTING DETAILS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR MANUFACTURING AND INSTALLATION.
3. STAIRS AND HANDRAILS SHALL COMPLY WITH ALL ADA AND FLORIDA CODES.
4. STAIR WIDTH SHALL BE 60" MIN. TO ALLOW FOR ADA MIN. DISTANCE BETWEEN HANDRAILS.
5. HANDRAIL AT LANDINGS SHALL HAVE THE SAME HEIGHT RELATIONS AND OVERALL RELATIONSHIPS.
6. HANDRAIL TO BE 2" OFFSET FROM INSIDE ADJACENT WALLS, TYP.
7. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS DENOTING THE DIAMETER AND DEPTH OF THE CORE DRILL TO ALLOW FOR EXPANSION AND CONTRACTION OF THE HANDRAIL AND ANY ADDITIONAL SUPPORT TIE DOWNS SO THERE IS NO MOVEMENT.



7 METAL HANDRAIL
1" = 1'-0"

NOTES:

1. SEE GRADING DWGS. FOR TS/BS ELEVATIONS.
2. CONTRACTOR TO SUPPLY SHOP DRAWINGS FOR HANDRAIL AND MOUNTING DETAILS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR MANUFACTURING AND INSTALLATION.
3. STAIRS, RAMPS AND HANDRAILS SHALL COMPLY WITH ALL ADA AND FLORIDA CODES.
4. STAIR WIDTH SHALL BE 60" MIN. TO ALLOW FOR ADA MIN. DISTANCE BETWEEN HANDRAILS.
5. HANDRAIL AT LANDINGS SHALL HAVE THE SAME HEIGHT RELATIONS AND OVERALL RELATIONSHIPS.
6. HANDRAIL TO HAVE MIN. 3" OFFSET FROM INSIDE ADJACENT WALLS, TYP.
7. RAMPS TO HAVE A 5'-0" X 5'-0" MIN. LANDING IF THE RAMP CHANGES DIRECTION AND NO RUN SHALL BE LONGER THAN 30'-0".
8. ADA RAMPS ARE NOT TO EXCEED 8.3% SLOPE. ACCESSIBLE WALKS NOT TO EXCEED 5.0% SLOPE.
9. INTERMEDIATE POSTS SHALL BE EQUALLY SPACED NOT TO EXCEED 4'-0".



6 RAMP W/ HANDRAIL
1" = 1'-0"



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2-ERM	2-ERM	100% DOC	100% DOC
1-ERM	1-ERM	100% DOC	100% DOC
1-ERM	1-ERM	100% DOC	100% DOC
1-ERM	1-ERM	100% DOC	100% DOC

Permit/Seal

Client/Project
BROWARD COUNTY
CONVENTION CENTER &
HEADQUARTERS HOTEL
GRAND DRIVE ROW
HARDSCAPE DETAILS
FORT LAUDERDALE, FL

Project No.: 21-85-0005
Title: HARDSCAPE DETAILS
Scale: As Shown

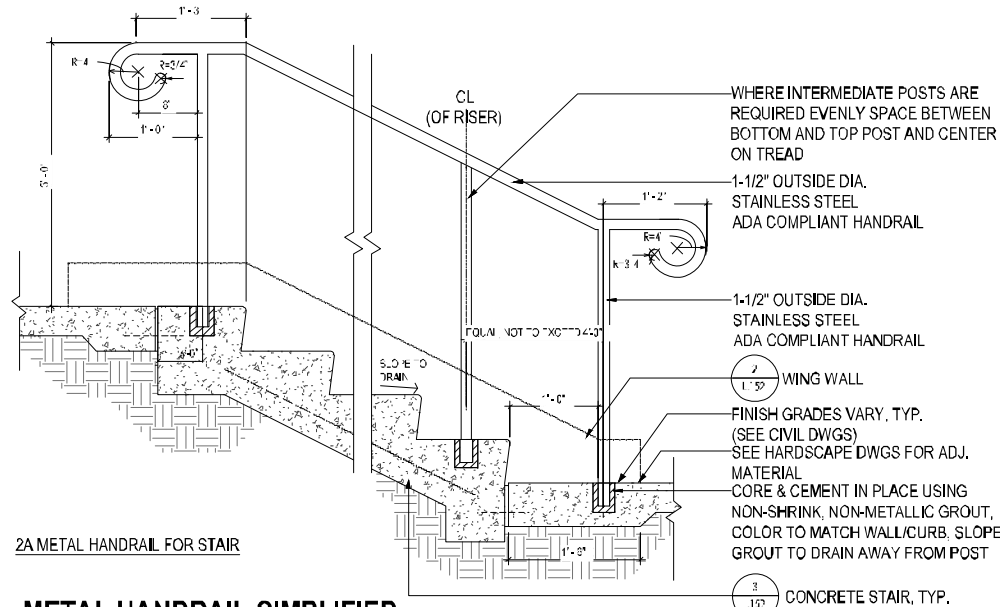
Revision: Sheet: of
Drawing No.

AM# 26-0614
Exhibit 1
Page 16 of 34

L.152

2A NOTES:

1. SEE CIVIL DWGS. FOR TS/BS ELEVATIONS.
2. CONTRACTOR TO SUPPLY SHOP DRAWINGS FOR HANDRAIL AND MOUNTING DETAILS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR MANUFACTURING AND INSTALLATION.
3. STAIRS, RAMPS AND HANDRAILS SHALL COMPLY WITH ALL ADA AND FLORIDA CODES.
4. STAIR WIDTH SHALL BE 60" MIN. TO ALLOW FOR ADA MIN. DISTANCE BETWEEN HANDRAILS.
5. HANDRAIL AT LANDINGS SHALL HAVE THE SAME HEIGHT RELATIONS AND OVERALL RELATIONSHIPS.
6. HANDRAIL TO BE 2" OFFSET FROM INSIDE ADJACENT WALLS, TYP.
7. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS DENOTING THE DIAMETER AND DEPTH OF THE CORE DRILL TO ALLOW FOR EXPANSION AND CONTRACTION OF THE HANDRAIL AND ANY ADDITIONAL SUPPORT TIE DOWNS SO THERE IS NO MOVEMENT.

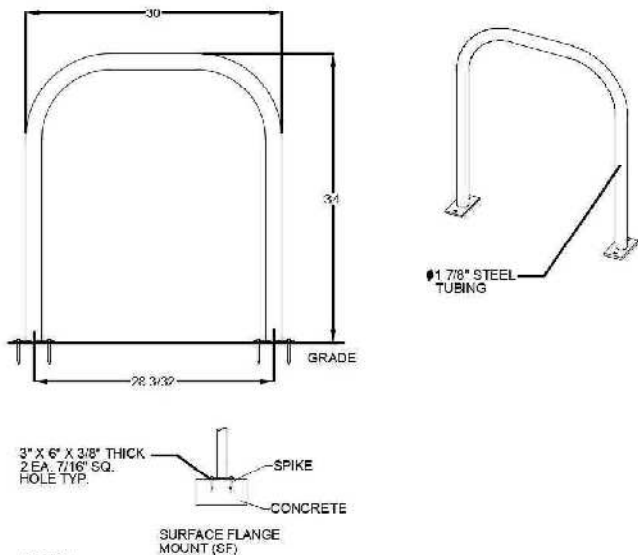


2A METAL HANDRAIL FOR STAIR

1 METAL HANDRAIL-SIMPLIFIED
1" = 1'-0"



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GRABER MANUFACTURING, INC.
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WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM

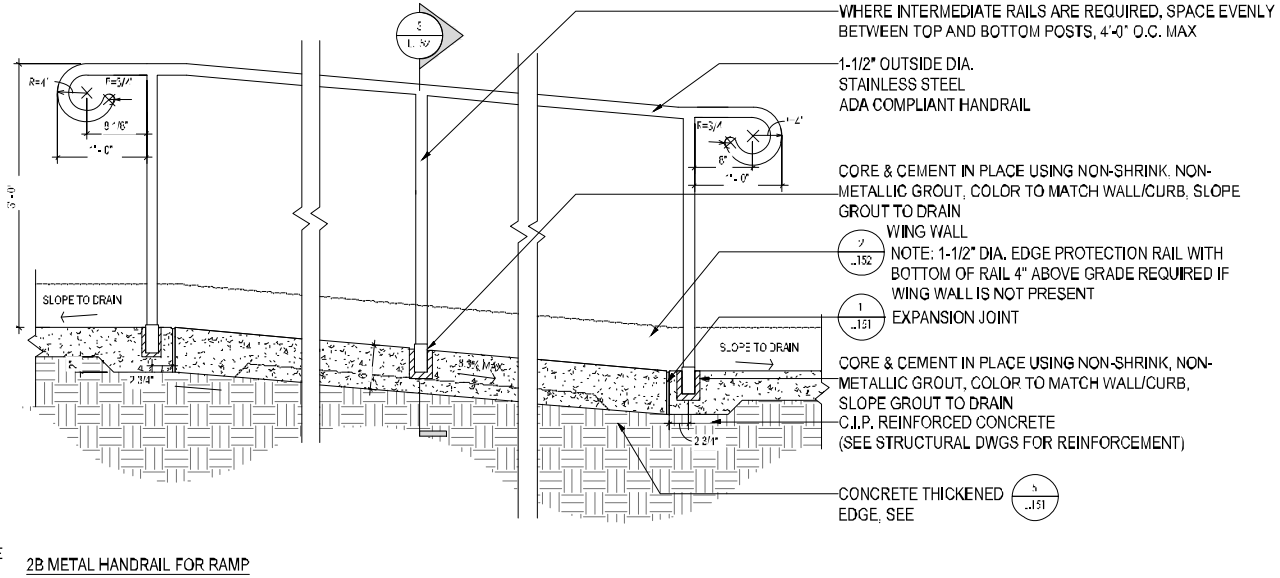


PRODUCT: UX190-HG(SF)
DESCRIPTION: 12 BIKE RACK
2 BIKE RACK MOUNT
DATE: 10-4-18
ENG: SMC
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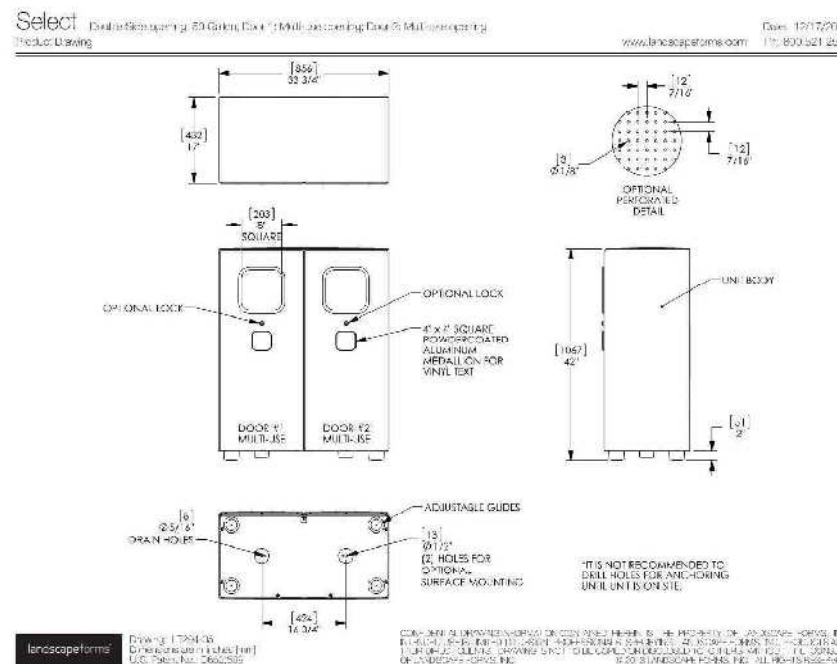
2 BIKE RACK
NOT TO SCALE

2B NOTES:

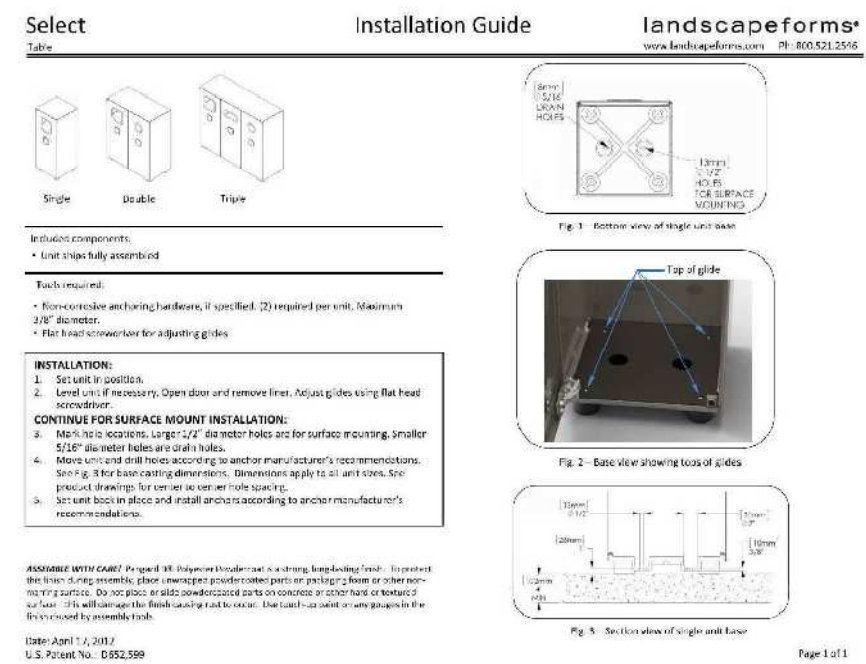
1. SEE CIVIL DWGS. FOR TS/BS ELEVATIONS.
2. CONTRACTOR TO SUPPLY SHOP DRAWINGS FOR HANDRAIL AND MOUNTING DETAILS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR MANUFACTURING AND INSTALLATION.
3. STAIRS, RAMPS AND HANDRAILS SHALL COMPLY WITH ALL ADA AND FLORIDA CODES.
4. STAIR WIDTH SHALL BE 60" MIN. TO ALLOW FOR ADA MIN. DISTANCE BETWEEN HANDRAILS.
5. HANDRAIL AT LANDINGS SHALL HAVE THE SAME HEIGHT RELATIONS AND OVERALL RELATIONSHIPS.
6. HANDRAIL TO BE 2" OFFSET FROM INSIDE ADJACENT WALLS, TYP.
7. RAMPS TO HAVE A 5'-0" X 5'-0" MIN. LANDING IF THE RAMP CHANGES DIRECTION AND NO RUN SHALL BE LONGER THAN 30'-0".
8. ADA RAMPS ARE NOT TO EXCEED 8.3% SLOPE. ACCESSIBLE WALKS NOT TO EXCEED 5.0% SLOPE.
9. INTERMEDIATE POSTS SHALL BE EQUALLY SPACED NOT TO EXCEED 4'-0".
10. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS DENOTING THE DIAMETER AND DEPTH OF THE CORE DRILL TO ALLOW FOR EXPANSION AND CONTRACTION OF THE HANDRAIL AND ANY ADDITIONAL SUPPORT TIE DOWNS SO THERE IS NO MOVEMENT.



2B METAL HANDRAIL FOR RAMP

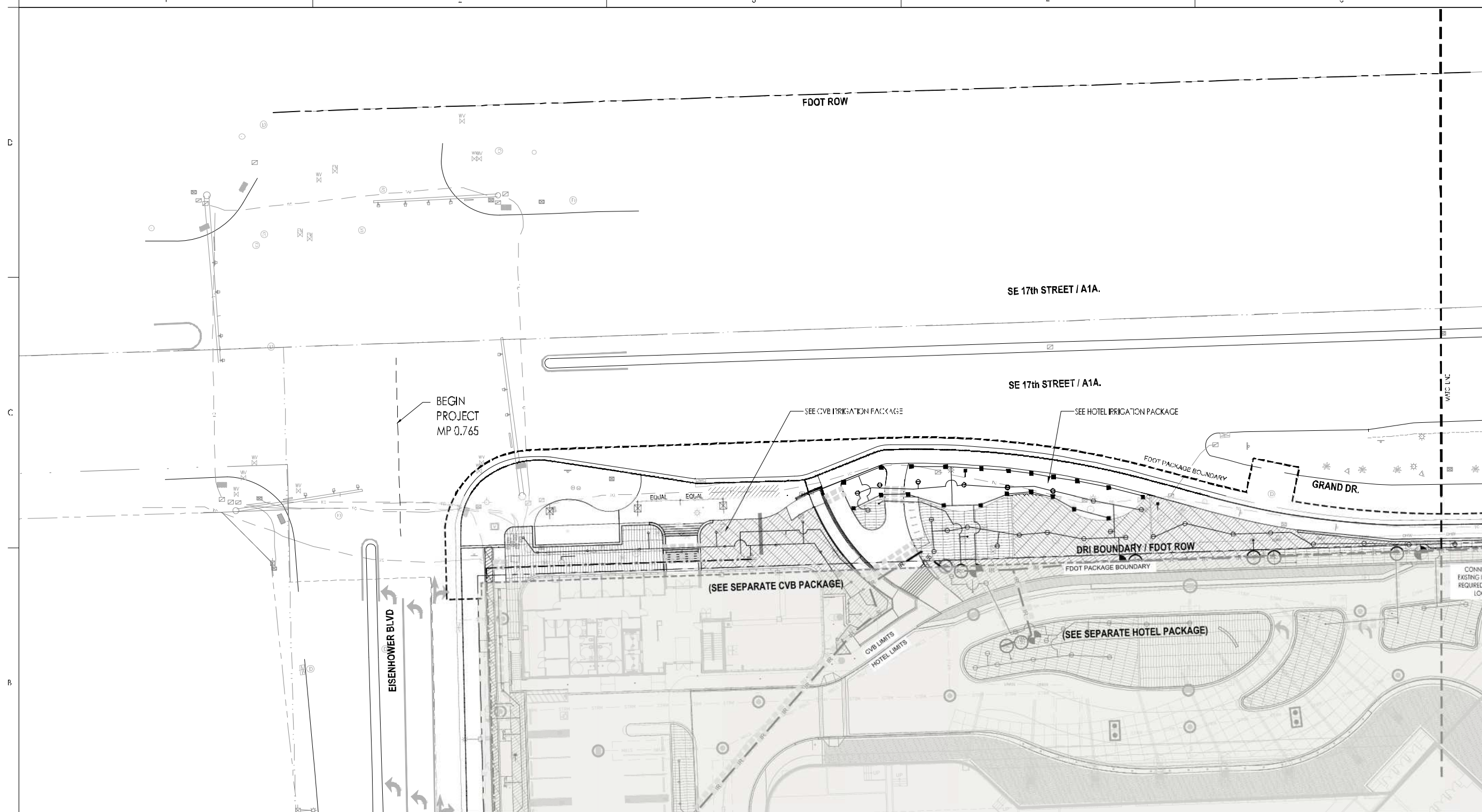


3 TRASH AND RECYCLING BIN
NOT TO SCALE



Permit/Seal

2-ERM1	2-ERM1	2-ERM1	100% DOC
1	2	3	4
1	2	3	4



- NOTES**
- IRRIGATION TO PROVIDE 100% HEAD TO HEAD COVERAGE.
 - IRRIGATION TO BE SEPARATED INTO HYDROZONES SUCH THAT ALL SOD AND SHRUB AREAS SHALL BE IRRIGATED SEPARATELY.
 - IRRIGATION TO BE INSTALLED PER THE FLORIDA BUILDING CODE APPENDIX F, PLUMBING, PROPOSED CONSTRUCTION BUILDING CODE FOR TJRF AND LANDSCAPE IRRIGATION SYSTEMS.
 - IRRIGATION TO BE INSTALLED PER ALL APPLICABLE CODES, LAWS AND ORDINANCES.
 - IRRIGATION TO BE INSTALLED IN ACCORDANCE WITH ASTM D2855 USING BOTH PRIMER AND GEL.
 - ROOTS EQUAL TO OR GREATER THAN 3/4" IN DIAMETER WITHIN THE DRIP LINE / ROOT PLATE OF A TREE MUST BE PRUNED. IN THE EVENT ROOT PRUNING IS NECESSARY, IT SHOULD BE DONE UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST, PRUNING TO MEET OR EXCEED ANSI A300 TYPICAL.
 - MAINLINE ROUTE AND PROPOSED TREES AND PALMS TO BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 - IF NON-POTABLE WATER IS USED, USE 1/2" AND 3/4" VA-VE BOX COVERS, PIPF AND EQUIPMENT TOPS OR COVERS TYPICAL.
 - INSTALL A RAIN SWITCH, PLACED ON A STATIONARY STRUCTURE WITH MIN. 5' CLEARANCE FROM OTHER OUTDOOR EQUIPMENT, FREE AND CLEAR OF ANY TREE CANOPY OR OTHER OVERHEAD OBSTRUCTIONS, AND ABOVE THE HEIGHT OF THE SPRINKLER COVERAGE.

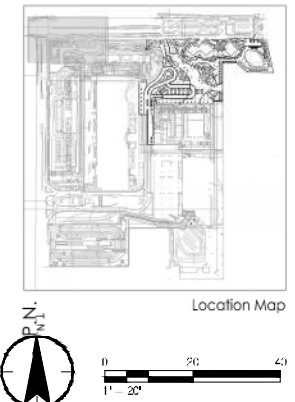
PLAN SYMBOLS LEGEND

●	RAINBIRD 1512-SAM-PRS SERIES 12" POP-UP SPRAY HEAD. PROVIDE RISER WHERE REQUIRED.
■	RAINBIRD 180a-SAM-PRS SERIES 6" POP-UP SPRAY HEAD.
⊙	EXISTING VALVE LOCATION TO BE FIELD VERIFIED. IF VA-VE REQUIRES REPLACEMENT PROVIDE RAINBIRD PESB SERIES ELECTRIC VALVE WITH PRS-D. SIZE AS SHOWN ON THE PLAN. INSTALL IN RAINBIRD VB SERIES VA-VE BOX.
⊕	EXISTING IRRIGATION CONTROLLER LOCATION. NOTE: ENSURE CONTROLLER IS IN GOOD WORKING ORDER AND HAS AN OPERATIONAL RAIN SHUT OFF SWITCH AS REQUIRED BY CODE.
—	3" SCHEDULE 40 PVC MAIN LINE
—	EXISTING MAIN LINE. APPROXIMATE LOCATION TO BE FIELD VERIFIED.
—	C-ASS 200 PVC LATERAL LINE, SIZE AS SHOWN.
—	3" OR 1.5" SCHEDULE 40 / > 3", C-ASS 200 PVC SIF-VE, MIN. 2' SIF-OF-TH-PIPF.
—	EXISTING SLEEVE. APPROXIMATE LOCATION TO BE FIELD VERIFIED.
▨	DRIP IRRIGATION ZONE. RAINBIRD XFD-09-12, ON SURFACE DRIPLINE.

SPRAY NOZZLE CHART

LABEL	RAINBIRD MODEL ALL WITH SAM-PRS	GPM AT 30 PSI	RADIUS
15F	1800-15F-HE-VAN	3.7	15'
15TQ	1800-15TQ-HE-VAN	2.78	15'
15H	1800-15H-HE-VAN	1.85	15'
15Q	1800-15Q-HE-VAN	0.93	15'
15ES	1800-15EST	0.61	4' x 15'
15SS	1800-15SS1	1.2	4' x 30'
12F	1800-12F-HE-VAN	2.37	12'
12TQ	1800-12TQ-HE-VAN	1.58	12'
12H	1800-12H-HE-VAN	1.18	12'
12Q	1800-12Q-HE-VAN	0.69	12'
10F	1800-10F-HE-VAN	1.78	10'
10TQ	1800-10TQ-HE-VAN	1.34	10'
10H	1800-10H-HE-VAN	0.89	10'
10Q	1800-10Q-HE-VAN	0.45	10'
8F	1800-8F-HE-VAN	1.7	8'
8TQ	1800-8TQ-HE-VAN	0.88	8'
8H	1800-8H-HE-VAN	0.59	8'
8Q	1800-8Q-HE-VAN	0.29	8'
4V	1800-4V	0.29	4'

- EXCAVATION NOTE:**
 1. DO NOT BEGIN EXCAVATION UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND MARKED. CALL 811 OR VISIT SUNSHINE811.COM AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, CHAPTER 556, FLORIDA STATUTES. AVOID DAMAGE TO ALL UTILITIES. HAND EXCAVATE AS REQUIRED.
- FDOT IRRIGATION NOTES:**
 1. THE IRRIGATION SYSTEM SHALL USE THE LOWEST QUALITY WATER AVAILABLE WHICH ADEQUATELY AND SAFELY MEETS THE WATER NEEDS OF THE SYSTEM. STORM WATER, RECLAIM WATER, OR GREY WATER IRRIGATION SHALL BE USED WHENEVER POSSIBLE.
 2. FDOT REQUIRES 24-HOUR EMERGENCY ACCESS TO THE WATER SOURCE.
 3. THE CONTRACTOR SHALL PROVIDE FDOT DISTRICT OPERATIONS MANAGER WITH A SET OF "AS-BUILT" IRRIGATION PLANS.
 4. SLEEVING MUST BE 36" BELOW THE ROADWAY SURFACE. VERIFY WITH FDOT MAINTENANCE THAT SLEEVING/DIRECTIONAL BORE IS PERMITTED AT THIS TIME. A NEWLY RESURFACED ROAD CANNOT BE DISTURBED FOR 5 YEARS.
 5. THE PERMITTEE'S REPRESENTATIVE & AN FDOT INSPECTOR MUST BE ON SITE DURING ALL BORING ACTIVITIES. UPON COMPLETION OF THE BORING ACTIVITIES, PERMITTEE SHALL PROVIDE ALL DOCUMENTATION TO BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, SECTION 555 OR 556, WHICH EVER IS APPLICABLE.
 6. PERMITTEE'S CONTRACTORS THAT ARE PERFORMING DIRECTIONAL DRILLING AND/OR JACK AND BORE ACTIVITIES SHALL PROVIDE THE DEPARTMENT (PERMITS OFFICE) PROOF OF A PROPER STATE CONTRACTOR'S LICENSE AND CERTIFICATE OF LIABILITY INSURANCE PRIOR TO ANY COMMENCEMENT OF PERMITTED WORK.
 7. PERMITTEE WILL ENSURE THAT ALL LOCATIONS HAVE BEEN PERFORMED PRIOR TO SCHEDULING OF ANY BORING ACTIVITIES. THIS SHALL INCLUDE SOFT DIGS TO VERIFY VERTICAL & HORIZONTAL ALIGNMENT.
 8. SHOULD THE EXISTING IRRIGATION SYSTEM NOT BE FUNCTIONAL FOR A PERIOD OF TIME DURING CONSTRUCTION, ENSURE THAT MEASURES ARE TAKEN TO WATER THE EXISTING PLANT MATERIAL AND SOD. THIS MAY INCLUDE PORTIONS OF THE RIGHT OF WAY OUTSIDE OF THE RENOVATION AREA DEPENDING ON HOW THE SYSTEM IS ZONED.
 9. 100% COVERAGE MUST BE ACHIEVED WITHIN THE RIGHT OF WAY WHERE IRRIGATION MODIFICATIONS OCCUR.
 10. TO ENSURE THE ENTIRE EXISTING IRRIGATION SYSTEM IS RESTORED TO FULLY FUNCTIONAL CONDITION, THE CONTRACTOR AND MAINTAINING AGENCY ARE TO PERFORM A PRE-CONSTRUCTION VISUAL INSPECTION AND PERFORMANCE TEST TO DOCUMENT THE CONDITION OF THE EXISTING SYSTEM. ANY REPAIRS THAT ARE REQUIRED TO THE EXISTING SYSTEM TO REMAIN WILL BE PERFORMED BY THE MAINTAINING AGENCY PRIOR TO CONSTRUCTION. ANY EXISTING OR PROPOSED COMPONENTS THAT ARE DAMAGED DURING CONSTRUCTION OR THE WARRANTY PERIOD WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE ENTIRE SYSTEM MUST BE RESTORED TO THE SAME CONDITION IT WAS IN BEFORE THE START OF CONSTRUCTION.



DESIGN SPEED SE 17TH ST. = 35 MPH
 LANDSCAPE PERMIT NUMBER 2024-L-491-00023

Client/Project: BROWARD COUNTY CONVENTION CENTER & HEADQUARTERS HOTEL
 Project No.: 21851-0005
 File Name: IRRIGATION
 Scale: As Shown
 Title: L.201
 Revision: Sheet: of
 AM# 26-0614
 Exhibit 1
 Page 19 of 34

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Permit/Seal

Client/Project
BROWARD COUNTY
CONVENTION CENTER &
HEADQUARTERS HOTEL

Project No.: 21851-0005
File Name: IRRIGATION
Scale: As Shown

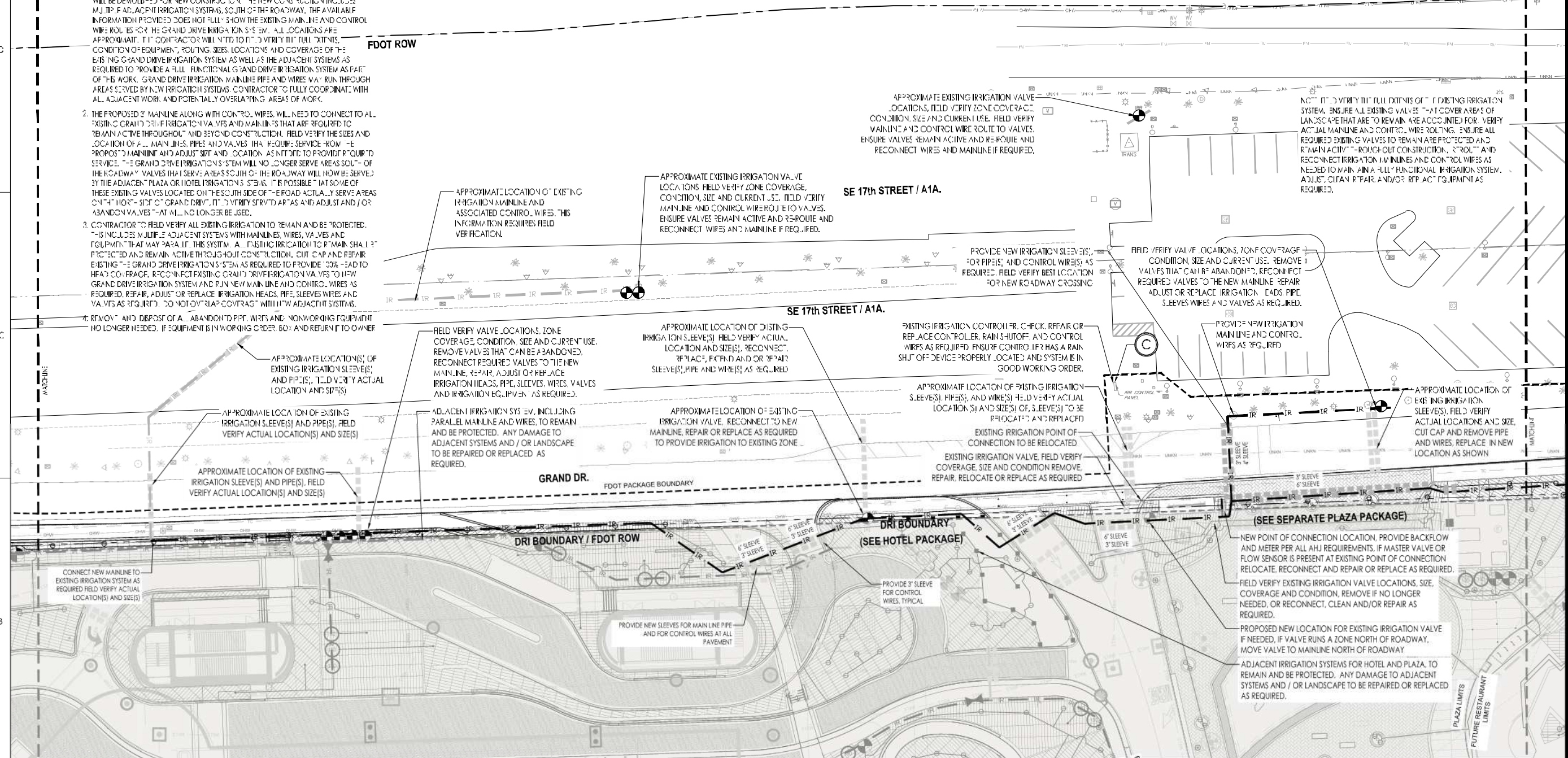
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Checked By: [Blank]
Title: IRRIGATION PLAN
FOOT PAIR/FDOW/FI

Revision: [Blank] Sheet: [Blank] of [Blank]
L.202
AM# 26-0614
Exhibit 1
Page 20 of 34

NOTES:

- THIS IRRIGATION SYSTEM WILL BE REFERRED TO AS THE GRAND DRIVE IRRIGATION SYSTEM. THE ADJACENT IRRIGATION SYSTEMS FOR THE HOTEL AND PLAZA THAT ARE TO REMAIN AND BE PROTECTED. THE SCOPE AND INTENT OF THIS WORK IS TO PROVIDE A FULLY FUNCTIONAL GRAND DRIVE IRRIGATION SYSTEM WITH 100% HEAD TO HEAD COVERAGE. REPAIRING AND/OR REPLACING OR ABANDONING EXISTING EQUIPMENT AS REQUIRED. A NEW MAINLINE AND CONTROL WIRES ARE REQUIRED TO REPLACE PIPE AND WIRES THAT WILL BE DEMOLISHED FOR NEW CONSTRUCTION. THE NEW CONSTRUCTION INCLUDES MAINLINE AND CONTROL IRRIGATION SYSTEMS SOUTH OF THE ROADWAY. THE AVAILABLE INFORMATION PROVIDED DOES NOT FULLY SHOW THE EXISTING MAINLINE AND CONTROL WIRES FOR THE GRAND DRIVE IRRIGATION SYSTEM. ALL LOCATIONS ARE APPROXIMATE. THE CONTRACTOR WILL NEED TO FIELD VERIFY THE FULL EXTENTS, CONDITION OF EQUIPMENT, ROUTING, SIZES, LOCATIONS AND COVERAGE OF THE EXISTING GRAND DRIVE IRRIGATION SYSTEM AS WELL AS THE ADJACENT SYSTEMS AS REQUIRED TO PROVIDE A FULLY FUNCTIONAL GRAND DRIVE IRRIGATION SYSTEM AS PART OF THIS WORK. GRAND DRIVE IRRIGATION MAINLINE PIPE AND WIRES WILL RUN THROUGH AREAS SERVED BY NEW IRRIGATION SYSTEMS. CONTRACTOR TO FULLY COORDINATE WITH ALL ADJACENT WORK AND POTENTIALLY OVERLAPPING AREAS OF WORK.
- THE PROPOSED MAINLINE ALONG WITH CONTROL WIRES WILL NEED TO CONNECT TO ALL EXISTING GRAND DRIVE IRRIGATION VALVES AND MAINLINES THAT ARE REQUIRED TO REMAIN ACTIVE THROUGHOUT AND BEYOND CONSTRUCTION. FIELD VERIFY THE SIZES AND LOCATION OF ALL MAINLINES, PIPES AND VALVES THAT REQUIRE SERVICE FROM THE PROPOSED MAINLINE AND ADJUST SIZE AND LOCATION AS NEEDED TO PROVIDE EQUIPMENT SERVICE. THE GRAND DRIVE IRRIGATION SYSTEM WILL NO LONGER SERVE AREAS SOUTH OF THE ROADWAY. VALVES THAT SERVE AREAS SOUTH OF THE ROADWAY WILL NOW BE SERVED BY THE ADJACENT PLAZA OR HOTEL IRRIGATION SYSTEMS. IT IS POSSIBLE THAT SOME OF THESE EXISTING VALVES LOCATED ON THE SOUTH SIDE OF THE ROAD ACTUALLY SERVE AREAS ON THE NORTH SIDE OF GRAND DRIVE. FIELD VERIFY SERVICE AREAS AND ADJUST AND/OR ABANDON VALVES THAT ARE NO LONGER BE USED.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING IRRIGATION TO REMAIN AND BE PROTECTED. THIS INCLUDES MULTIPLE ADJACENT SYSTEMS WITH MAINLINES, WIRES, VALVES AND EQUIPMENT THAT MAY PARALLEL THIS SYSTEM. ALL EXISTING IRRIGATION TO REMAIN SHALL BE PROTECTED AND REMAIN ACTIVE THROUGHOUT CONSTRUCTION. CUT CAP AND REPAIR EXISTING GRAND DRIVE IRRIGATION SYSTEM AS REQUIRED TO PROVIDE 100% HEAD TO HEAD COVERAGE. RECONNECT EXISTING GRAND DRIVE IRRIGATION VALVES TO NEW GRAND DRIVE IRRIGATION SYSTEM AND RUN NEW MAINLINE AND CONTROL WIRES AS REQUIRED. REPAIR, ADJUST OR REPLACE IRRIGATION HEADS, PIPES, SLEEVES WIRES AND VALVES AS REQUIRED. DO NOT OVERLAP COVERAGE WITH ADJACENT SYSTEMS.
- REMOVE AND DISPOSE OF ALL ABANDONED PIPE, WIRES AND NONWORKING EQUIPMENT NO LONGER NEEDED. IF EQUIPMENT IS IN WORKING ORDER, BOX AND RETURN IT TO OWNER.

FDOT ROW



NOTES

- IRRIGATION TO PROVIDE 100% HEAD TO HEAD COVERAGE
- IRRIGATION TO BE SEPARATED INTO HYDROZONES SUCH THAT ALL SOD AND SHRUB AREAS SHALL BE IRRIGATED SEPARATELY.
- IRRIGATION TO BE INSTALLED PER THE FLORIDA BUILDING CODE APPENDIX F, PLUMBING, PROPOSED CONSTRUCTION BUILDING CODE FOR TURF AND LANDSCAPE IRRIGATION SYSTEMS.
- IRRIGATION TO BE INSTALLED PER ALL APPLICABLE CODES, LAWS AND ORDINANCES.
- IRRIGATION TO BE INSTALLED IN ACCORDANCE WITH ASTM D2855 USING BOTH PRIMER AND GEL.
- ROOTS EQUAL TO OR GREATER THAN 3/4" IN DIAMETER WITHIN THE DRIP LINE / ROOT PLATE OF A TREE MUST BE PRUNED. IN THE EVENT ROOT PRUNING IS NECESSARY, IT SHOULD BE DONE UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST. PRUNING TO MEET OR EXCEED ANSI A300 TYPICAL.
- MAINLINE ROUTE AND PROPOSED TREES AND PALMS TO BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- IF NON-POTABLE WATER IS USED, USE 1/2" AVOIDER VALVE BOX COVERS, PIPE AND EQUIPMENT TOPS OR COVERS TYPICAL.
- INSTALL A RAIN SWITCH, PLACED ON A STATIONARY STRUCTURE WITH MIN. 3' CLEARANCE FROM OTHER OUTDOOR EQUIPMENT, FREE AND CLEAR OF ANY TREE CANOPY OR OTHER OVERHEAD OBSTRUCTIONS, AND ABOVE THE HEIGHT OF THE SPRINKLER COVERAGE.

PLAN SYMBOLS LEGEND

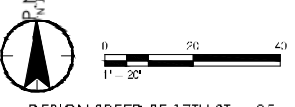
- RAINBIRD 1812-SAM-PRS SERIES 12" POP-UP SPRAY HEAD, PROVIDE RISER WHERE REQUIRED
- RAINBIRD 1806-SAM-PRS SERIES 6" POP-UP SPRAY HEAD
- EXISTING VALVE LOCATION TO BE FIELD VERIFIED. IF VALVE REQUIRES REPLACEMENT PROVIDE RAINBIRD PESB SERIES ELECTRIC VALVE WITH PRS-D. SIZE AS SHOWN ON THE PLAN. INSTALL IN RAINBIRD VALVE BOX.
- EXISTING IRRIGATION CONTROL R. LOCATION NOTE: ENSURE CONTROLLER IS IN GOOD WORKING ORDER AND HAS AN OPERATIONAL RAIN SHUT OFF SWITCH AS REQUIRED BY CODE.
- 3" SCHEDULE 40 PVC MAIN LINE
- EXISTING MAINLINE APPROXIMATE LOCATION TO BE FIELD VERIFIED
- C-ASS 200 PVC LATERAL LINE, SIZE AS SHOWN
- 3" OR 1.5" SCH 40 SIF-70 > 3", C-ASS 200 PVC SIF-70, MIN. 2 x SIF-70 OF THE PIPE
- EXISTING SLEEVE, APPROXIMATE LOCATION TO BE FIELD VERIFIED
- DRIP IRRIGATION ZONE, RAINBIRD XFD-09-12, ON SURFACE DRIPLINE

SPRAY NOZZLE CHART

LABEL	RAINBIRD MODEL ALL WITH SAM-PRS	GPM AT 30 PSI	RADIUS
15F	1800-15F-HE-VAN	3.7	15'
15TQ	1800-15TQ-HE-VAN	2.78	15'
15H	1800-15H-HE-VAN	1.85	15'
15Q	1800-15Q-HE-VAN	0.93	15'
15ES	1800-15EST	0.61	4' x 15'
15SS	1800-15SS1	1.2	4' x 30'
12F	1800-12F-HE-VAN	2.37	12'
12TQ	1800-12TQ-HE-VAN	1.58	12'
12H	1800-12H-HE-VAN	1.18	12'
12Q	1800-12Q-HE-VAN	0.69	12'
10F	1800-10F-HE-VAN	1.78	10'
10TQ	1800-10TQ-HE-VAN	1.34	10'
10H	1800-10H-HE-VAN	0.89	10'
10Q	1800-10Q-HE-VAN	0.45	10'
8F	1800-8F-HE-VAN	1.7	8'
8TQ	1800-8TQ-HE-VAN	0.88	8'
8H	1800-8H-HE-VAN	0.59	8'
8Q	1800-8Q-HE-VAN	0.29	8'
4V	1800-4V	0.29	4'

EXCAVATION NOTE:

- DO NOT BEGIN EXCAVATION UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND MARKED. CALL 811 OR VISIT SUNSHINE811.COM AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, CHAPTER 556, FLORIDA STATUTES. AVOID DAMAGE TO ALL UTILITIES. HAND EXCAVATE AS REQUIRED.
- FDOT IRRIGATION NOTES:
 - THE IRRIGATION SYSTEM SHALL USE THE LOWEST QUALITY WATER AVAILABLE WHICH ADEQUATELY AND SAFELY MEETS THE WATER NEEDS OF THE SYSTEM. STORM WATER, RECLAIM WATER, OR GREY WATER IRRIGATION SHALL BE USED WHENEVER POSSIBLE.
 - FDOT REQUIRES 24-HOUR EMERGENCY ACCESS TO THE WATER SOURCE.
 - THE CONTRACTOR SHALL PROVIDE FDOT DISTRICT OPERATIONS MANAGER WITH A SET OF "AS-BUILT" IRRIGATION PLANS.
 - SLEEVING MUST BE 36" BELOW THE ROADWAY SURFACE. VERIFY WITH FDOT MAINTENANCE THAT SLEEVING/DIRECTIONAL BORE IS PERMITTED AT THIS TIME. A NEWLY RESURFACED ROAD CANNOT BE DISTURBED FOR 5 YEARS.
 - THE PERMITTEE'S REPRESENTATIVE & AN FDOT INSPECTOR MUST BE ON SITE DURING ALL BORING ACTIVITIES. UPON COMPLETION OF THE BORING ACTIVITIES, PERMITTEE SHALL PROVIDE ALL DOCUMENTATION TO BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, SECTION 555 OR 556, WHICH VFR IS APPLICABLE.
 - PERMITTEE'S CONTRACTORS THAT ARE PERFORMING DIRECTIONAL DRILLING AND/OR JACK AND BORE ACTIVITIES SHALL PROVIDE THE DEPARTMENT (PERMITS OFFICE) PROOF OF A PROPER STATE CONTRACTOR'S LICENSE AND CERTIFICATE OF LIABILITY INSURANCE PRIOR TO ANY COMMENCEMENT OF PERMITTED WORK.
 - PERMITTEE WILL ENSURE THAT ALL LOCATIONS HAVE BEEN PERFORMED PRIOR TO SCHEDULING OF ANY BORING ACTIVITIES. THIS SHALL INCLUDE SOFT DIGS TO VERIFY VERTICAL & HORIZONTAL ALIGNMENT.
 - SHOULD THE EXISTING IRRIGATION SYSTEM NOT BE FUNCTIONAL FOR A PERIOD OF TIME DURING CONSTRUCTION, ENSURE THAT MEASURES ARE TAKEN TO WATER THE EXISTING PLANT MATERIAL AND SOD. THIS MAY INCLUDE PORTIONS OF THE RIGHT OF WAY OUTSIDE OF THE RENOVATION AREA DEPENDING ON HOW THE SYSTEM IS ZONED.
 - 100% COVERAGE MUST BE ACHIEVED WITHIN THE RIGHT OF WAY WHERE IRRIGATION MODIFICATIONS OCCUR.
 - TO ENSURE THE ENTIRE EXISTING IRRIGATION SYSTEM IS RESTORED TO FULLY FUNCTIONAL CONDITION, THE CONTRACTOR AND MAINTENANCE AGENCY ARE TO PERFORM A PRE-CONSTRUCTION VISUAL INSPECTION AND PERFORMANCE TEST TO DOCUMENT THE CONDITION OF THE EXISTING SYSTEM. ANY REPAIRS THAT ARE REQUIRED TO THE EXISTING SYSTEM TO REMAIN WILL BE PERFORMED BY THE MAINTENANCE AGENCY PRIOR TO CONSTRUCTION. ANY EXISTING OR PROPOSED COMPONENTS THAT ARE DAMAGED DURING CONSTRUCTION OR THE WARRANTY PERIOD WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE ENTIRE SYSTEM MUST BE RESTORED TO THE SAME CONDITION IT WAS IN BEFORE THE START OF CONSTRUCTION.



DESIGN SPEED SE 17TH ST. = 35 MPH
LANDSCAPE PERMIT NUMBER
2024-L91-00023

NOTES:

- THIS IRRIGATION SYSTEM WILL BE REFERRED TO AS THE GRAND DRIVE IRRIGATION SYSTEM. THERE ARE MULTIPLE ADJACENT SYSTEMS FOR THE HOTEL AND PLAZA THAT ARE TO REMAIN AND BE PROTECTED. THE SCOPE AND INTENT OF THIS WORK IS TO PROVIDE A FULLY FUNCTIONAL GRAND DRIVE IRRIGATION SYSTEM WITH 100% HEAD TO HEAD COVERAGE. REPAIRING AND/OR REPLACING OR ABANDONING EXISTING EQUIPMENT AS REQUIRED. A NEW MAINLINE AND CONTROL WIRES ARE REQUIRED TO REPLACE PIPE AND WIRES THAT WILL BE DEMOLISHED FOR NEW CONSTRUCTION. THE NEW CONSTRUCTION INCLUDES MULTIPLE ADJACENT IRRIGATION SYSTEMS, SOUTH OF THE ROADWAY. THE AVAILABLE INFORMATION PROVIDED DOES NOT FULLY SHOW EXISTING MAINLINE AND CONTROL WIRE ROUTES FOR THE GRAND DRIVE IRRIGATION SYSTEM. ALL LOCATIONS ARE APPROXIMATE. THE CONTRACTOR WILL NEED TO FIELD VERIFY THE LOCATION, CONDITION OF EQUIPMENT, ROUTING, SIZES, LOCATIONS AND COVERAGE OF THE EXISTING GRAND DRIVE IRRIGATION SYSTEM AS WELL AS THE ADJACENT SYSTEMS AS REQUIRED TO PROVIDE A FULLY FUNCTIONAL GRAND DRIVE IRRIGATION SYSTEM AS PART OF THIS WORK. GRAND DRIVE IRRIGATION MAINLINE PIPE AND WIRES MAY RUN THROUGH AREAS SERVED BY NEW IRRIGATION SYSTEMS. COORDINATION TO FULLY COORDINATE WITH ALL ADJACENT WORK AND POTENTIALLY OVERLAPPING AREAS OF WORK.
- THE PROPOSED 3" MAINLINE ALONG WITH CONTROL WIRES WILL NEED TO CONNECT TO ALL EXISTING GRAND DRIVE IRRIGATION VALVES AND MAINLINES THAT ARE REQUIRED TO REMAIN ACTIVE THROUGHOUT AND BEYOND CONSTRUCTION. FIELD VERIFY THE SIZES AND LOCATION OF ALL MAINLINES, PIPES AND VALVES THAT REQUIRE SERVICE FROM THE PROPOSED MAINLINE AND ADJUST SIZE AND LOCATION AS NEEDED TO PROVIDE REQUIRED SERVICE. THE GRAND DRIVE IRRIGATION SYSTEM WILL NO LONGER SERVE AREAS SOUTH OF THE ROADWAY. VALVES THAT SERVE AREAS SOUTH OF THE ROADWAY WILL NOW BE SERVED BY ADJACENT PLAZA OR HOTEL IRRIGATION SYSTEMS. IT IS POSSIBLE THAT SOME OF THESE EXISTING VALVES LOCATED ON THE SOUTH SIDE OF THE ROAD ACTUALLY SERVE AREAS ON THE NORTH SIDE OF GRAND DRIVE. FIELD VERIFY SERVED AREAS AND ADJUST AND/OR ABANDON VALVES THAT WILL NO LONGER BE USED.
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- REMOVE AND DISPOSE OF ALL ABANDONED PIPE, WIRES AND NONWORKING EQUIPMENT NO LONGER NEEDED. IF EQUIPMENT IS IN WORKING ORDER, BOX AND RETURN IT TO OWNER.

NOTE: FIELD VERIFY THE FULL EXTENT OF THE EXISTING IRRIGATION SYSTEM. ENSURE ALL EXISTING VALVES THAT COVER AREAS OF LANDSCAPE THAT ARE TO REMAIN ARE ACCOUNTED FOR. VERIFY ACTUAL MAINLINE AND CONTROL WIRE ROUTING. ENSURE ALL REQUIRED EXISTING VALVES TO REMAIN ARE PROTECTED AND REMAIN ACTIVE THROUGHOUT CONSTRUCTION. RECONNECT AND RECONNECT IRRIGATION MAINLINES AND CONTROL WIRES AS NEEDED TO MAINTAIN FULLY FUNCTIONAL IRRIGATION SYSTEM. ADJUST, CLEAN, REPAIR, AND/OR REPLACE EQUIPMENT AS REQUIRED.

APPROXIMATE EXISTING IRRIGATION VALVE LOCATIONS. FIELD VERIFY ZONE COVERAGE, CONDITION, SIZE AND CURRENT USE. FIELD VERIFY MAINLINE AND CONTROL WIRE ROUTE TO VALVES. ENSURE VALVES REMAIN ACTIVE AND RE-ROUTE AND RECONNECT WIRES AND MAINLINE IF REQUIRED.

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END PROJECT MP 1.078

HEADLANDS-OWNED AND REPAIRING OR REPLACING EXISTING IRRIGATION SYSTEM. EXISTING PLANT MATERIAL TO REMAIN. SEE NOTE 6.

OWNERSHIP OF THIS AREA TO BE TRANSFERRED TO BROWARD COUNTY

FIELD VERIFY VALVE LOCATIONS, ZONE COVERAGE, CONDITION, SIZE AND CURRENT USE. REMOVE VALVES THAT CAN BE ABANDONED DUE TO COVERAGE FROM NEW IRRIGATION SYSTEMS. RECONNECT REQUIRED VALVES TO THE NEW MAINLINE, REPAIR, ADJUST OR REPLACE IRRIGATION HEADS, PIPE, SLEEVES WIRES AND VALVES AS REQUIRED.

FIELD VERIFY EXISTING ZONE COVERAGE PRIOR TO THE START OF WORK. WHERE REQUIRED RECONNECT EXISTING IRRIGATION TO NEW VALVES AND ZONES. SIZE VALVES AND PIPE AS REQUIRED TO MEET ALL MANUFACTURERS RECOMMENDATIONS AND BEST PRACTICES FOR FLOW AND AS NOT TO EXCEED 5 FEET PER SECOND WITHIN THE PIPE.

ADJACENT IRRIGATION SYSTEM FOR PLAZA, TO REMAIN AND BE PROTECTED. ANY DAMAGE TO ADJACENT SYSTEM AND LANDSCAPE TO BE REPAIRED OR REPLACED AS REQUIRED.

- NOTES**
- IRRIGATION TO PROVIDE 100% HEAD TO HEAD COVERAGE
 - IRRIGATION TO BE SEPARATED INTO HYDROZONES SUCH THAT ALL SOD AND SHRUB AREAS SHALL BE IRRIGATED SEPARATELY.
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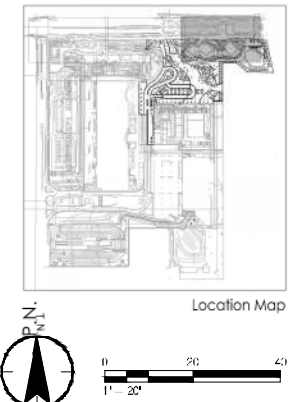
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SPRAY NOZZLE CHART

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 - SHOULD THE EXISTING IRRIGATION SYSTEM NOT BE FUNCTIONAL FOR A PERIOD OF TIME DURING CONSTRUCTION, ENSURE THAT MEASURES ARE TAKEN TO WATER THE EXISTING PLANT MATERIAL AND SOD. THIS MAY INCLUDE PORTIONS OF THE RIGHT OF WAY OUTSIDE OF THE RENOVATION AREA DEPENDING ON HOW THE SYSTEM IS ZONED.
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 - TO ENSURE THE ENTIRE EXISTING IRRIGATION SYSTEM IS RESTORED TO FULLY FUNCTIONAL CONDITION, THE CONTRACTOR AND MAINTENANCE AGENCY ARE TO PERFORM A PRE-CONSTRUCTION VISUAL INSPECTION AND PERFORMANCE TEST TO DOCUMENT THE CONDITION OF THE EXISTING SYSTEM. ANY REPAIRS THAT ARE REQUIRED TO THE EXISTING SYSTEM TO REMAIN WILL BE PERFORMED BY THE MAINTENANCE AGENCY PRIOR TO CONSTRUCTION. ANY EXISTING OR PROPOSED COMPONENTS THAT ARE DAMAGED DURING CONSTRUCTION OR THE WARRANTY PERIOD WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE ENTIRE SYSTEM MUST BE RESTORED TO THE SAME CONDITION IT WAS IN BEFORE THE START OF CONSTRUCTION.



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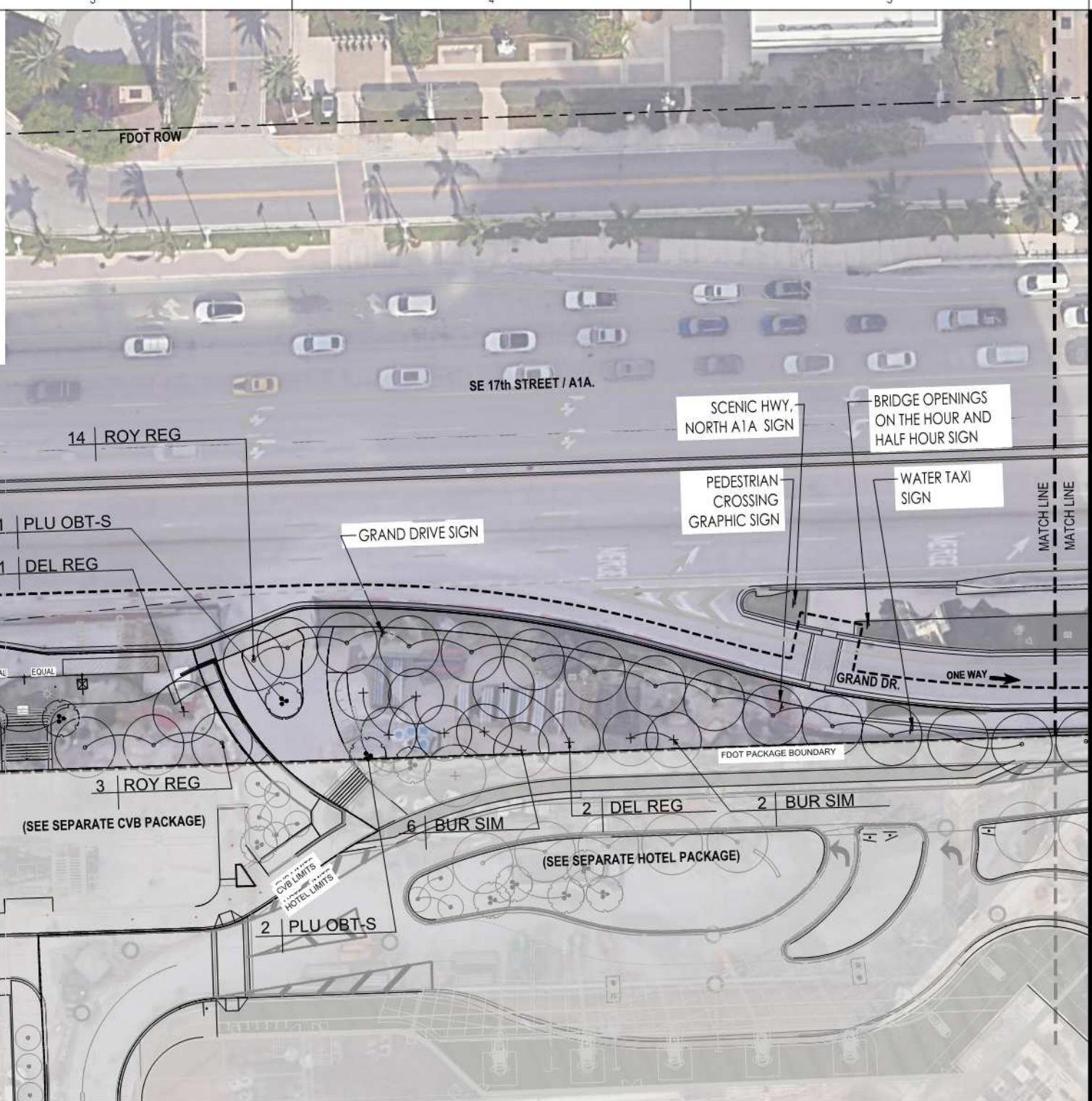
Client/Project: BROWARD COUNTY CONVENTION CENTER & HEADQUARTERS HOTEL GRAND DRIVE ROW IRRIGATION PLAN FORT LAUDERDALE, FL

Project No.: 218510005
File Name: IRRIGATION
Scale: As Shown
Title: L.203

Revision: Sheet: of
AM# 26-0614
Exhibit 1
Page 21 of 34



CONTINUATION OF SAFE SIGHT DISTANCE TO THE WEST



SHADE TREES LEGEND		
Description	Botanical Name	Common Name
DEL REG	DELONIX REGIA	ROYAL POINCIANA
BUR SIM	BURSERIA SIMARUBA	GUMBO LIMBO

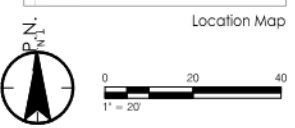
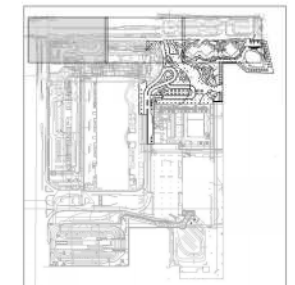
FLOWERING TREES LEGEND		
Description	Botanical Name	Common Name
PLU OBT-S	PLUMERIA OBTUSA	FRANGIPANI-WHITE

PALMS LEGEND		
Description	Botanical Name	Common Name
ROY REG	ROYSTONIA REGIA	ROYAL PALM
SAB PAL	SABAL PALMETTO	SABAL PALM
THR RAD-1	THRINAX RADIATA	THATCH PALM

- FDOT LANDSCAPE NOTES:**
- FOR THE PORTION OF LANDSCAPE PLANT MATERIAL THAT WILL BE INSTALLED WITHIN THE FDOT RIGHT OF WAY, LANDSCAPE INSTALLATION SHALL COMPLY WITH CURRENT APPLICABLE FDOT MAINTENANCE SPECIFICATION 580. ONLINE REFERENCE: [SSMS80000WD-722-117992.PDF \(WINDOWS.NET\)](https://www.fdot.com/~/media/Files/Operations/580-001.pdf)
 - FOR THE PORTION OF LANDSCAPE PLANT MATERIAL THAT WILL BE INSTALLED WITHIN THE FDOT RIGHT OF WAY REFER TO THE FDOT STANDARD PLANS INDEX 580-001 LANDSCAPE INSTALLATION. ONLINE REFERENCE: [HTTPS://FDOTWWW.BLOB.CORE.WINDOWS.NET/SITEFINITY/DOCS/DEFAULT-SOURCE/DESIGN/STANDARDPLANS/2023/IDX/580-001.PDF](https://fdotwww.blob.core.windows.net/sitefinity/docs/default-source/design/standardplans/2023/idx/580-001.pdf)
 - IT IS RECOMMENDED TO VERIFY THE EXISTING SOIL CONDITIONS TO BE PLANTED PRIOR TO FINALIZING THE CONSTRUCTION DOCUMENTS. IF THE EXISTING SUB-GRADE IS COMPACTED ROAD BASE, IT IS UNRECOMMENDED TO SPECIFY REPLACING WITH PLANTING SOIL, AS FOLLOWS:
 - THE CONTRACTOR SHALL INSURE THAT ALL UNSUITABLE SOIL INCLUDING CONCRETE, PAVEMENT, ROAD BASE, STONES OVER 3" DIAMETER AND ALL CONSTRUCTION DEBRIS, IS REMOVED FROM MEDIAN AREA TO BE PLANTED AND REPLACED WITH SPECIFIED PLANTING SOIL, E.G., 60% SAND AND 40% MUCK.
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FDOT INTERSECTION SIGHT DISTANCE AND SIGHT VISIBILITY TRIANGLE DATA						
* ALL INTERSECTION SIGHT DISTANCE SET 14'-6" FROM EDGE OF ROAD						
* SIGHT VISIBILITY TRIANGLE HIGHLIGHTED IN RED CROSS HATCH AT EACH ENTRANCE						
	LOCATION	ROAD SPEED	D	DL	DR	DM
A	17th STREET	35 MPH	390'	280'	90'	320'

- NOTES:**
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 - SEE L.360 FOR PLANT LIST



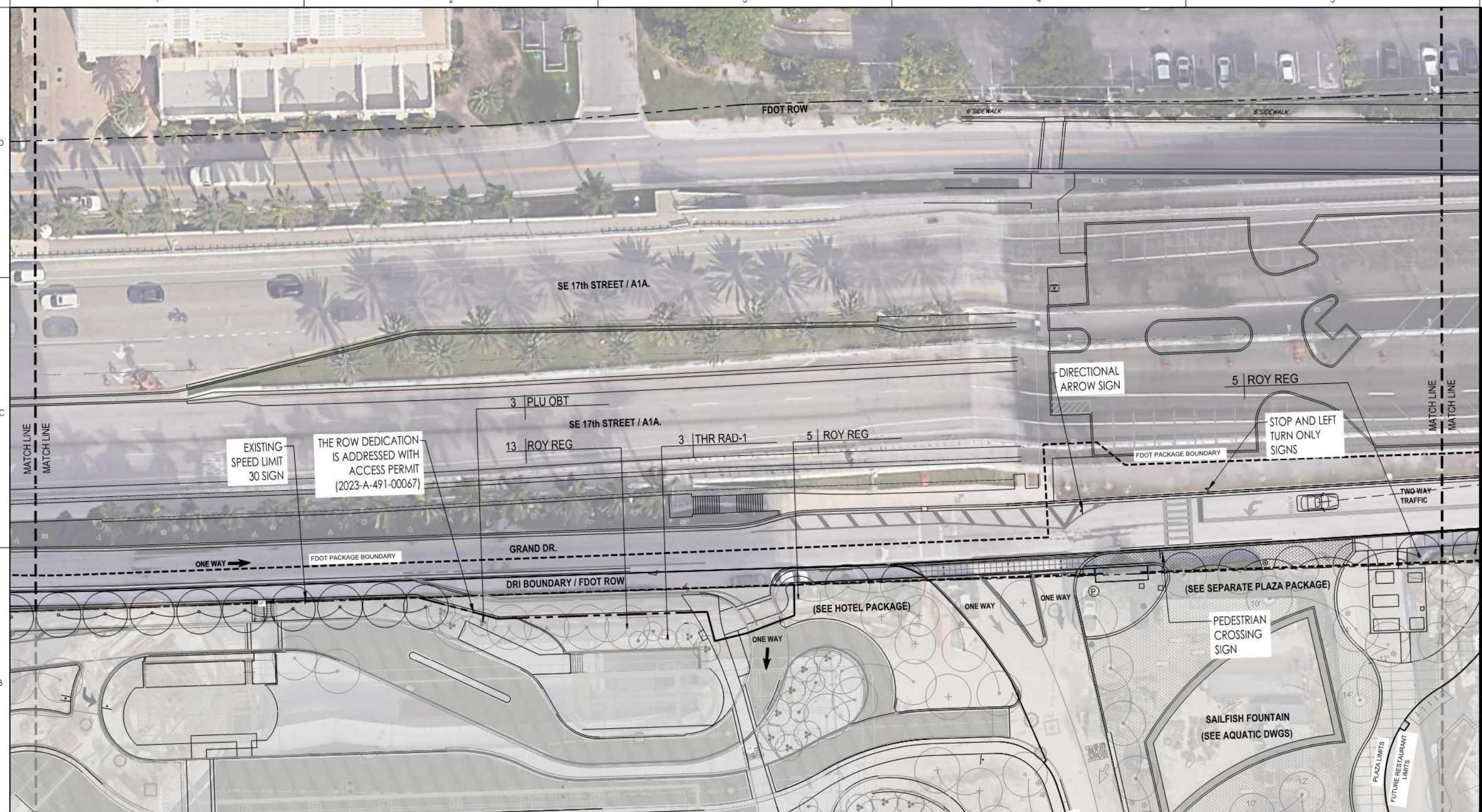
DESIGN SPEED SE 17TH ST. = 35 mph
 LANDSCAPE PERMIT NUMBER
 2024-L-491-00023

Consultant

REVISION	By	App'd	YYYY/MM/DD
1	YTYT/AM/DO		

PERMIT	DATE	BY	APP'D
PERMIT	2023/03/21	SH	YTYT/AM/DO
PERMIT	2023/02/17	SH	YTYT/AM/DO
PERMIT	2023/12/04	SH	YTYT/AM/DO
100% DOC	2023/07/24	SH	YTYT/AM/DO

Permit/Seal



Consultant

Revision	By	App'd	YYYY/MM/DD

Permit/Seal	By	App'd	YYYY/MM/DD
PERMIT			
PERMIT			
PERMIT			
100% DOC			
ISSUED			

Permit/Seal

SHADE TREES LEGEND

Description	Botanical Name	Common Name
DEL REG	DELONIX REGIA	ROYAL POINCIANA
BUR SIM	BURSERIA SIMARUBA	GUMBO LIMBO

FLOWERING TREES LEGEND

Description	Botanical Name	Common Name
PLU OBT-S	PLUMERIA OBTUSA	FRANGIPANI-WHITE

PALMS LEGEND

Description	Botanical Name	Common Name
ROY REG	ROYSTONEA REGIA	ROYAL PALM
SAB PAL	SABAL PALMETTO	SABAL PALM
THR RAD-1	THRINAX RADIATA	THATCH PALM

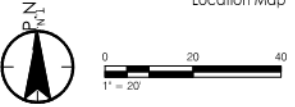
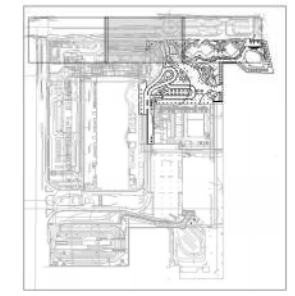
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A	17th STREET	35 MPH	390'	280'	90' 320'

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DESIGN SPEED SE 17TH ST. = 35 mph
 LANDSCAPE PERMIT NUMBER
 2024-L-491-00023

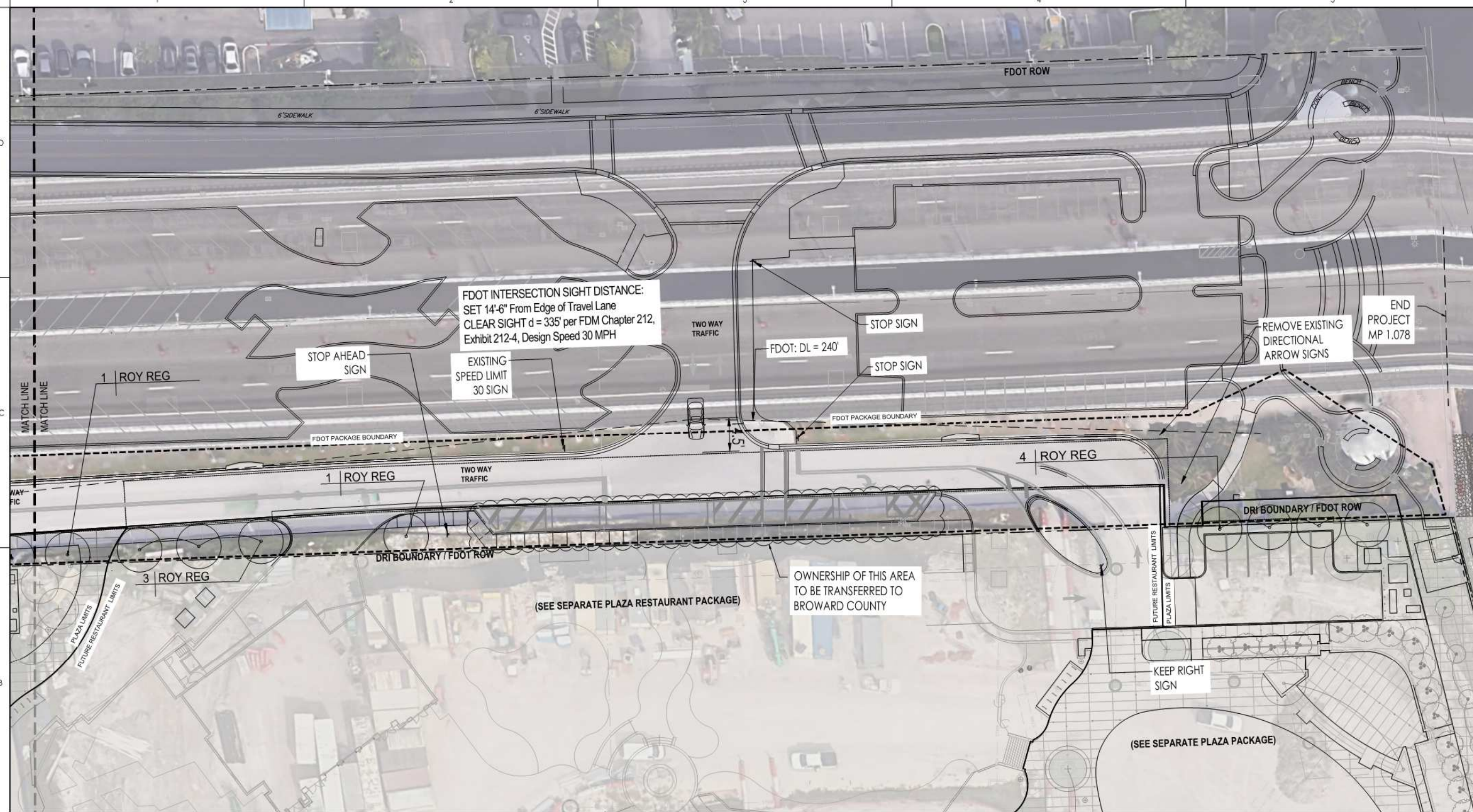
Client/Project
 BROWARD COUNTY
 CONVENTION CENTER &
 HEADQUARTERS HOTEL
 GRAND DRIVE ROW
 LANDSCAPE TREE PLAN
 FORT LAUDERDALE, FL

Project No.: 218510005
 File Name: TREE5
 Scale: As Shown
 Dwn: 2023.07.24
 Dgns: YYYT/AM/DO
 Chkd: YYYT/AM/DO

Title
L.302

Revision: Sheet: of
 Drawing No.
AM# 26-0614
 Exhibit 1
 Page 24 of 34

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 2023.07.24 13:32:59
 ORIGINAL SHEET - ARCH-D



SHADE TREES LEGEND		
Description	Botanical Name	Common Name
DEL REG	DELONIX REGIA	ROYAL POINCIANA
BUR SIM	BURSERIA SIMARUBA	GUMBO LIMBO

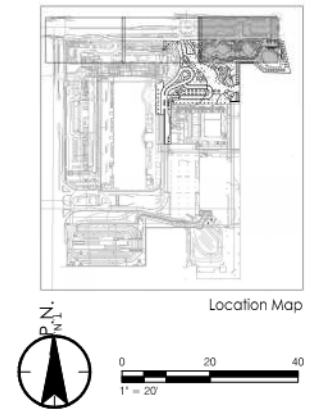
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Permit/Seal	
PERMIT	2023.03.21
PERMIT	2023.02.17
PERMIT	2023.12.04
100% DDC	2023.07.24
ISSUED	2023.07.24

Consultant

Revision	By	App'd	YYYY/MM/DD
1	YTY/AM/DO		

Permit/Seal	By	App'd	YYYY/MM/DD
PERMIT	SH		2023/03/21
PERMIT	SB		2023/02/17
PERMIT	SB		2023/12/04
100% DOC	SB		2023/07/24
ISSUED	SB		YYYY/MM/DD

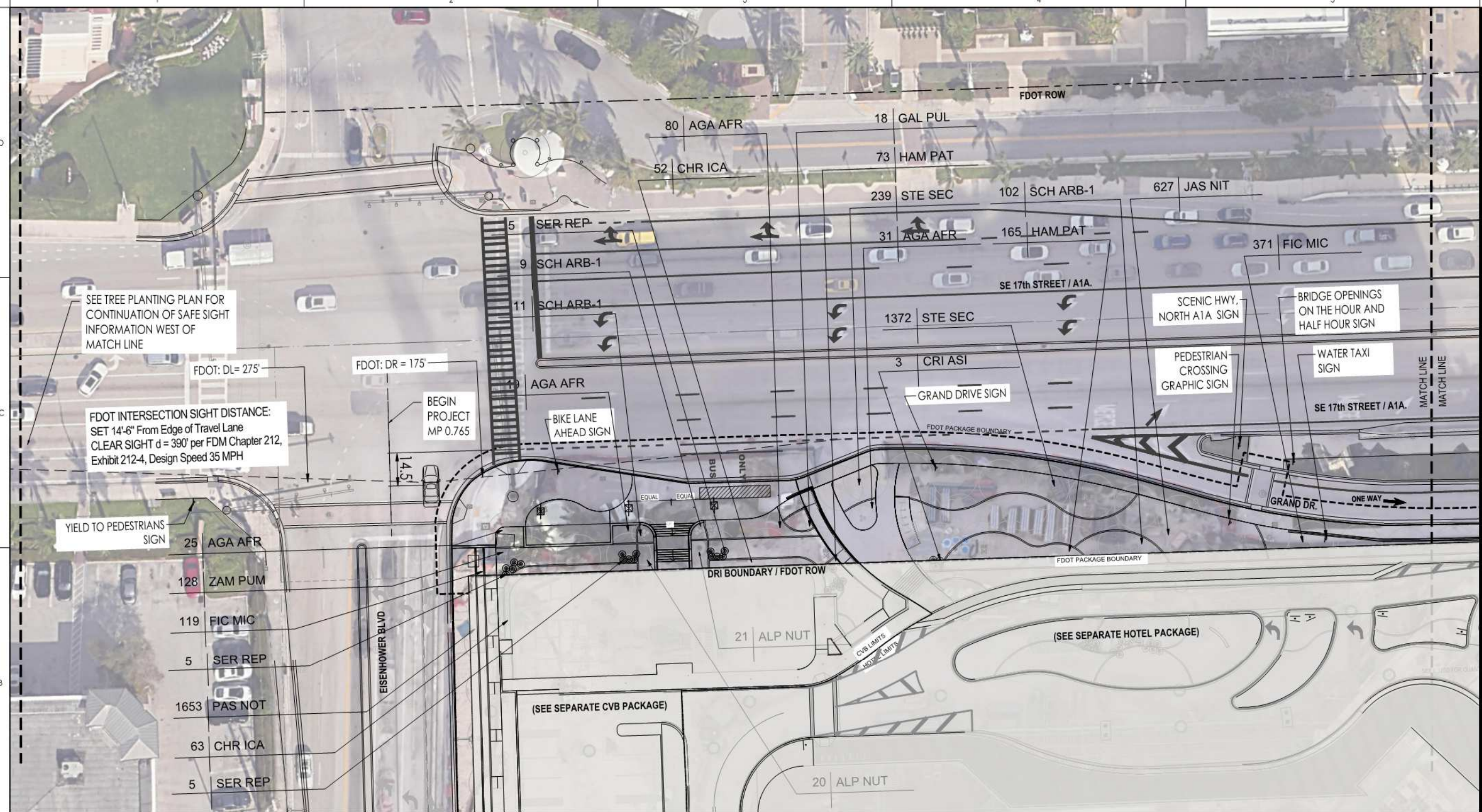
Permit/Seal

Client/Project
BROWARD COUNTY
CONVENTION CENTER &
HEADQUARTERS HOTEL
GRAND DRIVE ROW
LANDSCAPE SHRUB AND
GROUND COVER PLAN
FORT LAUDERDALE, FL

Project No.: 218510005
File Name: SHRUBS
Scale: As Shown
Dwn: Dgnr: Chkd: YTY/AM/DO
2023/07/24

Title
L.311

Revision: Sheet: of
Drawing No. AM# 26-0614
Exhibit 1
Page 26 of 34



SHRUB LEGEND		
Description	Botanical Name	Common Name
AGA AFR	AGAPANTHUS AFRICANUS	LILY OF THE NILE
CHR ICA	CHRYSOLBALANUS ICACO 'RED TIP'	RED TIP COCOPLUM
FIC MIC	FICUS MICROCARPA	GREEN ISLAND FICUS
GAL PUL	GAILLARDIA PULCHELLA	BLANKET FLOWER
HAM PAT	HAMELIA PATENS	FIREBUSH
JAS NIT	JASMINUM NITIDUM	STAR JASMINE
RUS EQU	RUSSELIA EUISETIFORMIS	RED FIRECRACKER PLANT
SCH ARB-1	SCHEFFLERA ARBORICOLA	DWARF SCHEFFLERA
ZAM PUM	ZAMIA PUMILA	COONTIE

ACCENT SHRUB LEGEND		
Description	Botanical Name	Common Name
CRI ASI	CRINUM ASIATICUM	CRINUM LILY

TURF GRASSES LEGEND		
Description	Botanical Name	Common Name
STE SEC	STENOTAPHRUM SECUNDATUM 'PALMETTO'	ST.AUGUSTINE GRASS

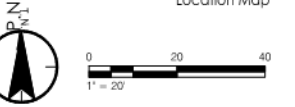
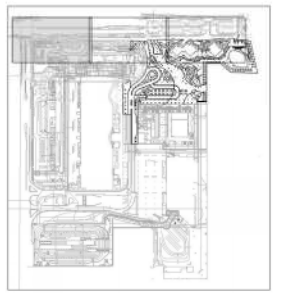
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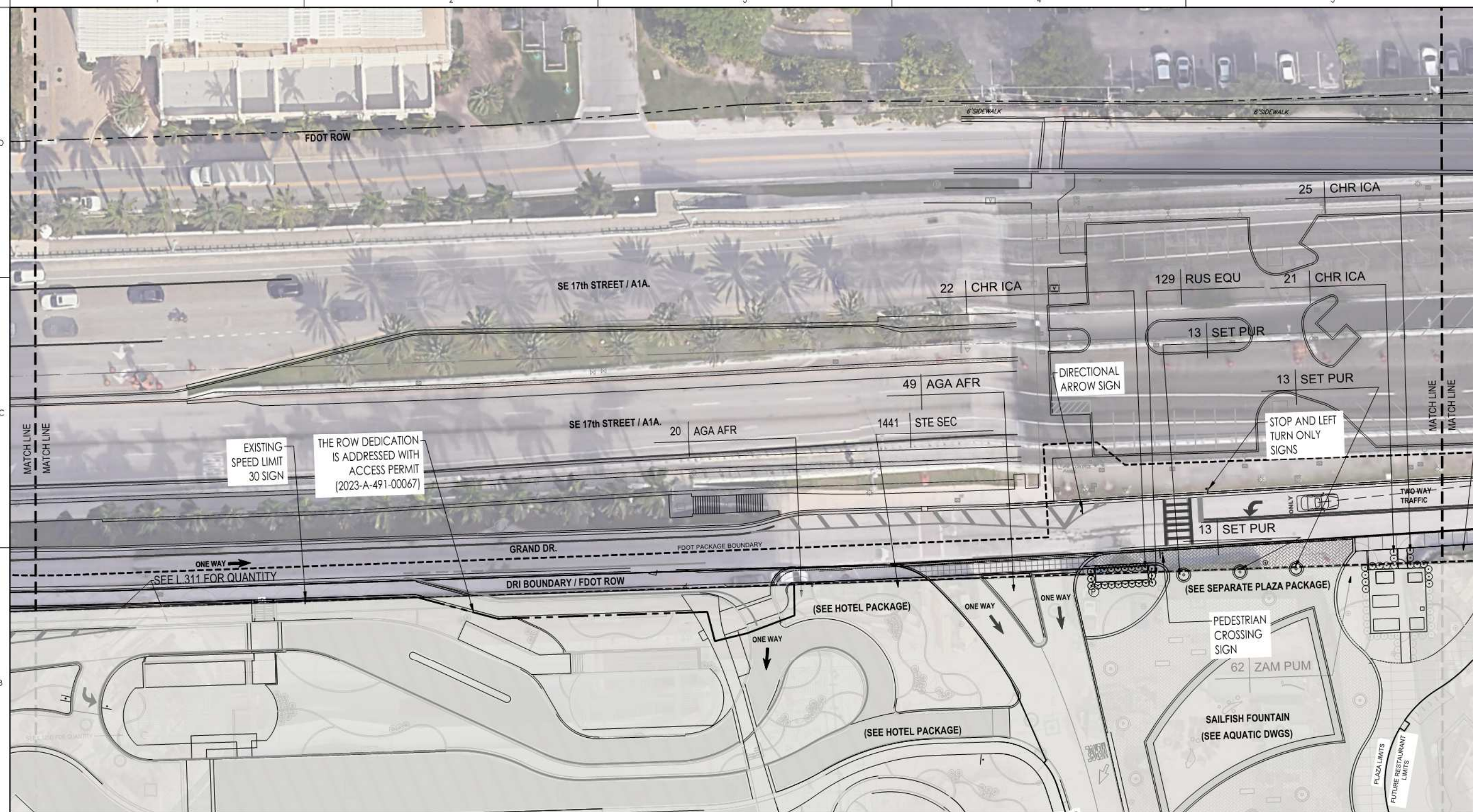
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 - SEE L.201 FOR HARDSCAPE SCHEDULE
 - SEE L.360 FOR LANDSCAPE PLANT LIST
 - SEE CIVIL DWGS FOR "D" CURB DETAIL
 - SEE CIVIL DWGS FOR FINISH GRADES



DESIGN SPEED SE 17TH ST. = 35 MPH
LANDSCAPE PERMIT NUMBER
2024-L-491-00023

ORIGINAL SHEET - ARCH-D



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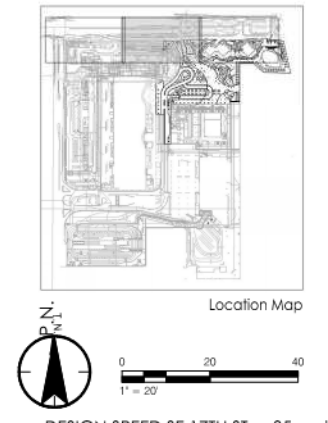
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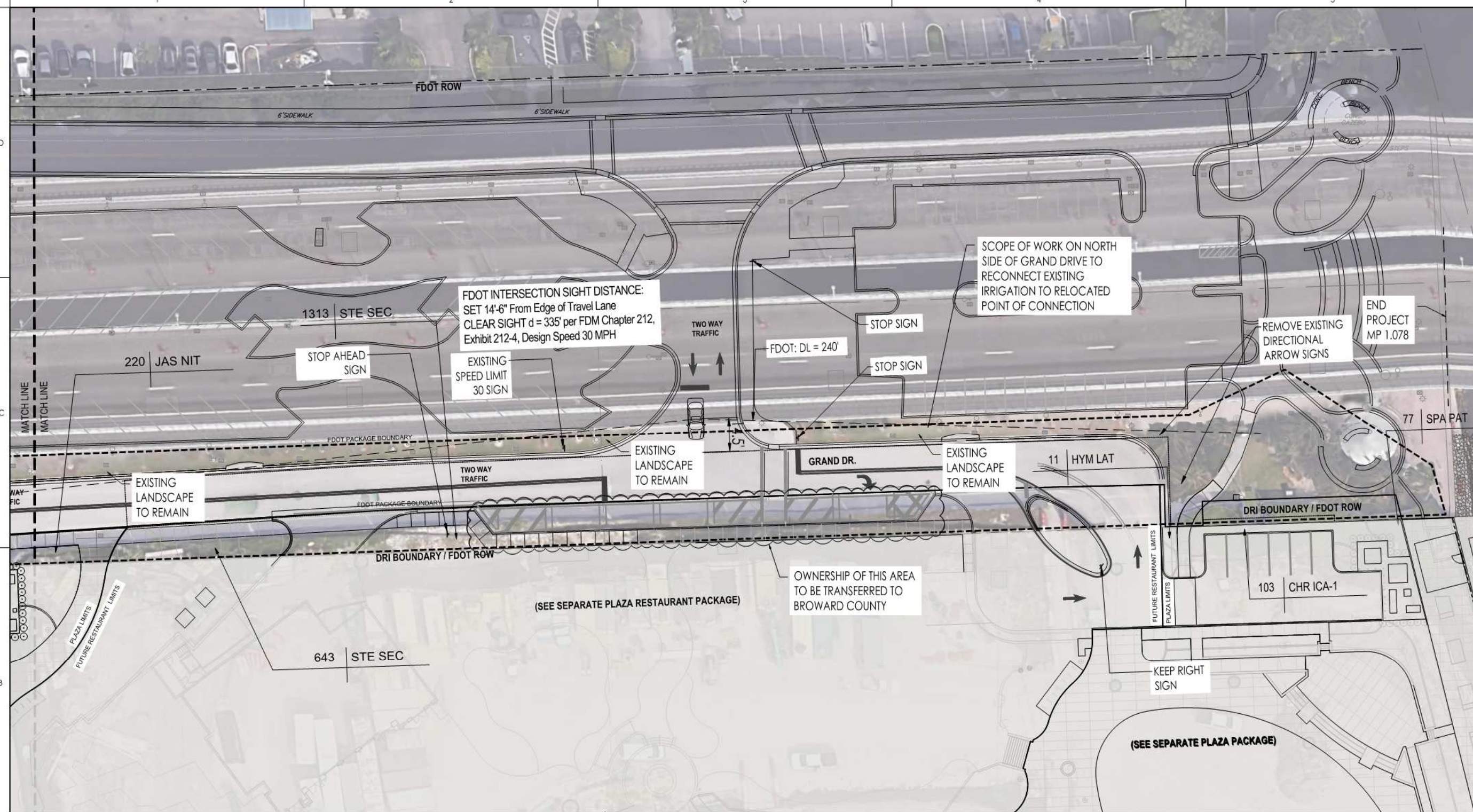
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 - SEE L.201 FOR HARDSCAPE SCHEDULE
 - SEE L.360 FOR LANDSCAPE PLANT LIST
 - SEE CIVIL DWGS FOR "D" CURB DETAIL
 - SEE CIVIL DWGS FOR FINISH GRADES



Permit/Seal	Revision																											
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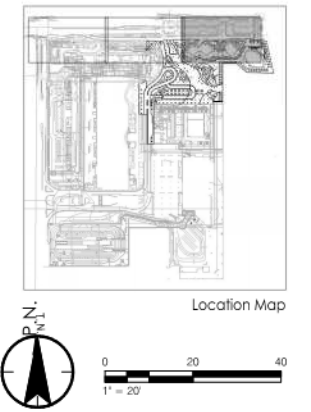


SHRUB LEGEND		
Description	Botanical Name	Common Name
AGA AFR	AGAPANTHUS AFRICANUS	LILY OF THE NILE
CHR ICA	CHRYSOLBANANUS ICACO 'RED TIP'	RED TIP COCOPLUM
FIC MIC	FICUS MICROCARPA	GREEN ISLAND FICUS
GAL PUL	GAILLARDIA PULCHELLA	BLANKET FLOWER
HAM PAT	HAMELIA PATENS	FIREBUSH
JAS NIT	JASMINUM NITIDUM	STAR JASMINE
RUS EQU	RUSSELIA EUISETIFORMIS	RED FIRECRACKER PLANT
SCH ARB-1	SCHEFFLERA ARBORICOLA	DWARF SCHEFFLERA
ZAM PUM	ZAMIA PUMILA	COONTIE
ACCENT SHRUB LEGEND		
Description	Botanical Name	Common Name
CRI ASI	CRINUM ASIATICUM	CRINUM LILY
TURF GRASSES LEGEND		
Description	Botanical Name	Common Name
STE SEC	STENOTAPHRUM SECUNDATUM 'PALMETTO'	ST.AUGUSTINE GRASS

- FDOT LANDSCAPE NOTES:**
- FOR THE PORTION OF LANDSCAPE PLANT MATERIAL THAT WILL BE INSTALLED WITHIN THE FDOT RIGHT OF WAY, LANDSCAPE INSTALLATION SHALL COMPLY WITH CURRENT APPLICABLE FDOT MAINTENANCE SPECIFICATION 580. ONLINE REFERENCE: [SSMS580000WD-722-117992.PDF \(WINDOWS.NET\)](https://www.fdot.com/580)
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 - IT IS RECOMMENDED TO VERIFY THE EXISTING SOIL CONDITIONS TO BE PLANTED PRIOR TO FINALIZING THE CONSTRUCTION DOCUMENTS. IF THE EXISTING SUB-GRADE IS COMPACTED ROAD BASE, IT IS RECOMMENDED TO SPECIFY REPLACING WITH PLANTING SOIL, AS FOLLOWS:
 - THE CONTRACTOR SHALL INSURE THAT ALL UNSUITABLE SOIL INCLUDING CONCRETE, PAVEMENT, ROAD BASE, STONES OVER 3" DIAMETER AND ALL CONSTRUCTION DEBRIS, IS REMOVED FROM MEDIAN AREA TO BE PLANTED AND REPLACED WITH SPECIFIED PLANTING SOIL, E.G., 60% SAND AND 40% MUCK.
 - AREAS TO BE PLANTED WITH SHRUBS AND/OR GROUND COVERS: REMOVE COMPACTED SOIL TO A DEPTH OF 12" AND REPLACE WITH SPECIFIED PLANTING SOIL. PLANTING SOIL SHALL COME UP TO 4" FROM TOP OF CURB, RESERVING SPACE FOR 3" COMPACTED MULCH AND 1" CLEAR FROM TOP OF CURB.
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 - CYPRESS MULCH IS NOT PERMITTED ON FDOT RIGHT OF WAY. MULCH PERMITTED TO BE USED ARE HARDWOOD MULCH (CONTAINING NO CYPRESS PRODUCTS), RECYCLED MULCH OR APPROVED EQUAL, CERTIFIED BY THE MULCH AND SOIL COUNCIL (MSC). SUBMIT PROOF OF CERTIFICATION TO THE FDOT DISTRICT OPERATIONS PERMIT LANDSCAPE INSPECTOR UPON INSPECTION.
 - SODDED AREAS WILL BE IN ACCORDANCE WITH STANDARD PLANS INDEX 570-010 AND STANDARD SPECIFICATIONS SECTIONS 162, 570, 981, 982, 983, 987 OF THE DEPARTMENT'S LATEST EDITION OF GOVERNING DESIGN STANDARDS AND STANDARD SPECIFICATIONS. ALL DISTURBED AREAS WILL BE SODDED WITHIN ONE (1) WEEK OF INSTALLATION OF SAID PERMITTED WORK.
 - CONTRACTOR SHALL PRESERVE A CONTINUOUS BAND OF UNDISTURBED COMPACTED SUB-BASE 18" FROM THE BACK OF CURB.

FDOT INTERSECTION SIGHT DISTANCE AND SIGHT VISIBILITY TRIANGLE DATA						
* ALL INTERSECTION SIGHT DISTANCE SET 14'-6" FROM EDGE OF ROAD						
* SIGHT VISIBILITY TRIANGLE HIGHLIGHTED IN RED CROSS HATCH AT EACH ENTRANCE						
	LOCATION	ROAD SPEED	D	DL	DR	DM
A	17th STREET	35 MPH	390'	280'	90'	320'

- NOTES:**
- DO NOT BEGIN EXCAVATION UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND MARKED CALL 811 OR VISIT SUNSHINE811.COM AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, CHAPTER 556, FLORIDA STATUTES. AVOID DAMAGE TO ALL UTILITIES, HAND EXCAVATE AS REQUIRED.
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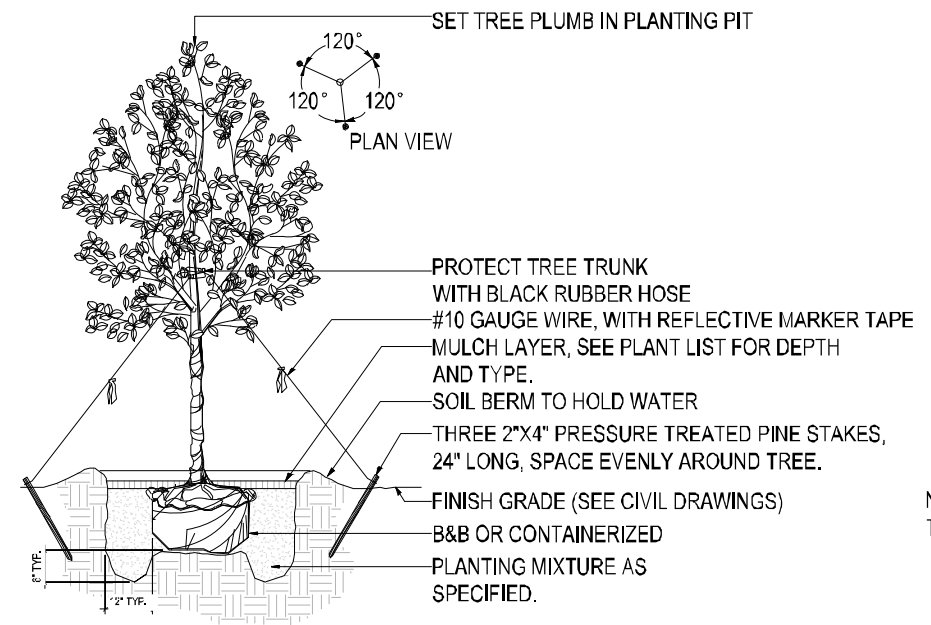


Consultant

Revision	By	App'd	YYYY/MM/DD
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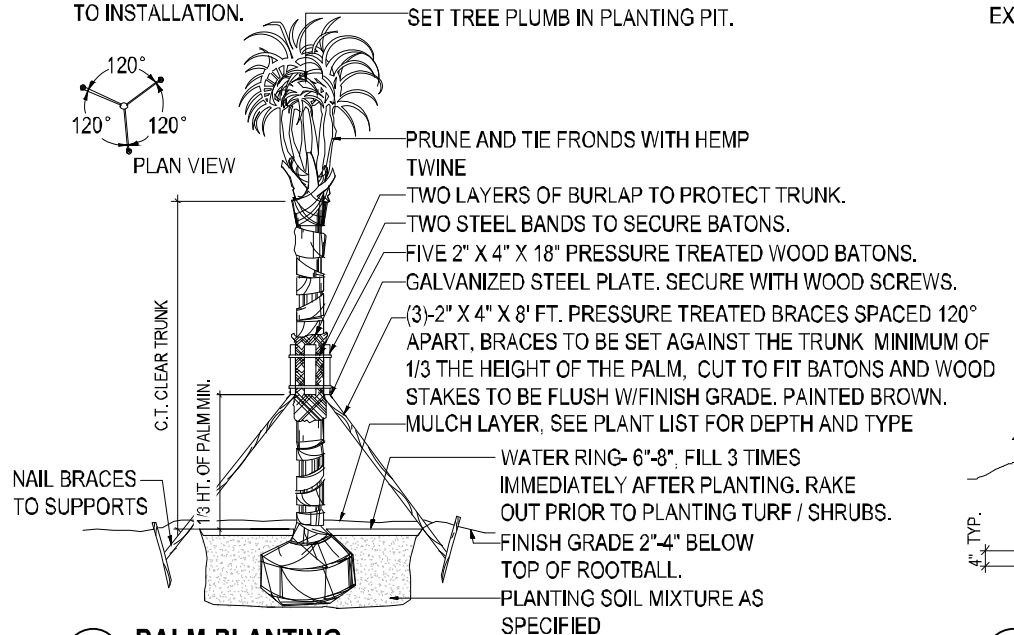
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PERMIT	SH		2023/02/17
PERMIT	SH		2023/12/04
100% DOC	SH		2023/07/24
ISSUED	SH		YYYY/MM/DD

NOTES:
 1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 2. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.



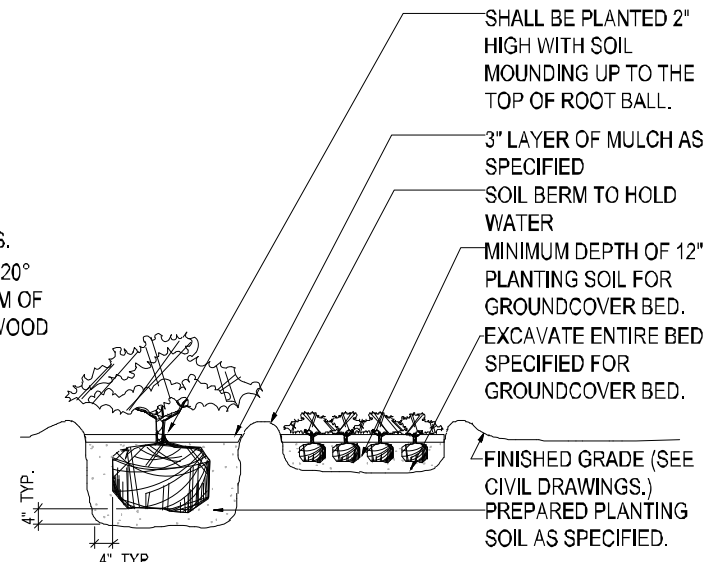
1 LARGE TREE PLANTING
 1" = 1'-0"

NOTES:
 1. SEE PLANS AND SPECS. FOR PALMS W/ BOOTS TO REMAIN ON TRUNK.
 2. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY LANDSCAPE ARCHITECT.
 3. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.



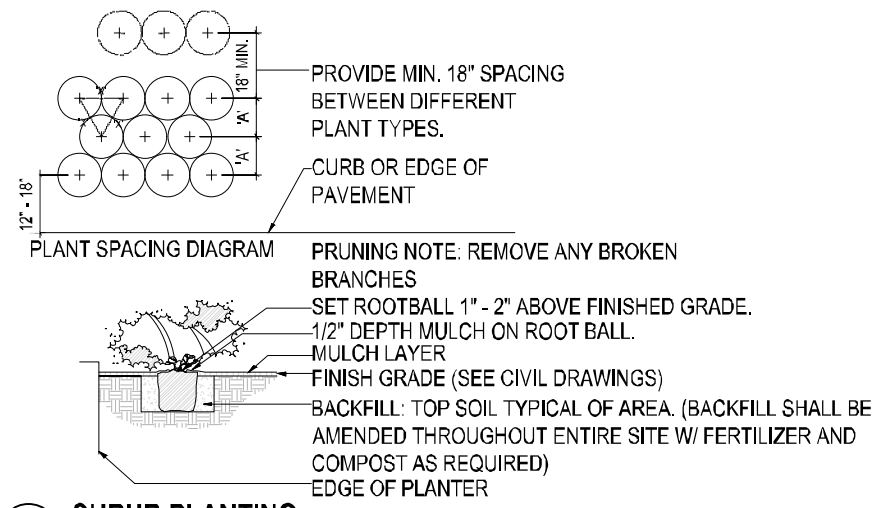
2 PALM PLANTING
 1" = 1'-0"

NOTES:
 1. CONTRACTOR SHALL ASSURE PLANTING PITS/BEDS PRIOR TO INSTALLATION.
 2. WHEN GROUNDCOVERS AND SHRUBS USED IN MASSES ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL - EXCEPT WHEN SPECIFIED, SEE PLANT LIST.



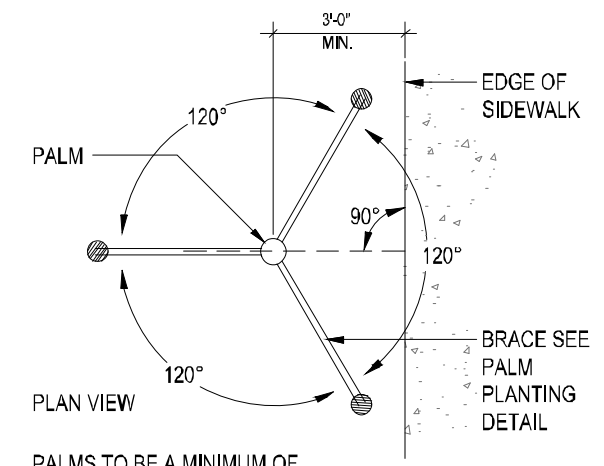
3 SHRUB AND GROUNDCOVER PLANTING
 1" = 1'-0"

NOTES:
 1. ALL SHRUBS AND GROUNDCOVER MASSES TO USE A TRIANGULAR SPACING EXCEPT WHERE NOTED REFER TO PLANT LIST FOR INDIVIDUAL PLANT SPACING 'X'.
 2. USE ONLY WHERE PLANTS ARE SPACED EQUIDISTANT FROM EACH OTHER AS SHOWN.



4 SITE ELEMENT CLEARANCE DETAIL TYP.
 1/2" = 1'-0"

5 SHRUB PLANTING
 1" = 1'-0"



6 PALM PLANTING AT PAVING
 NOT TO SCALE

SHADE TREES							
Description	Botanical Name	Common Name	Size/Root Ball/Container	Comments	Drought Tolerance	Native	Florida Friendly
BUR SIM	BUSERA SIMARUB	GUMBO LIMBO	14' HGT. x 7ED' SPD./65 GAL. CONT.	FULL/SINGLE STRAIGHT TRUNK/3" CAL.MIN./FULLY BRANCHED	HIGH	Y	Y
DEL REG	DELOX REGIA	ROYAL POINCIANA	12' HGT. x 8' SPD./65 GAL. CONT.	FULL/SINGLE STRAIGHT TRUNK/3" CAL.MIN./FULLY BRANCHED	HIGH	N	Y

FLOWERING TREES							
Description	Botanical Name	Common Name	Size/Root Ball/Container	Comments	Drought Tolerance	Native	Florida Friendly
PLU OBT-S	PLUMERIA OBTUSA	FRANGIPANI-WHITE	14' HGT. x 10' SPD./B&B	FULL TREE/SPECIMEN MULTI-BRANCHING TREE	HIGH	Y	Y

PALMS							
Description	Botanical Name	Common Name	Size/Root Ball/Container	Comments	Drought Tolerance	Native	Florida Friendly
ROY REG	ROYSTONEA REGIA	ROYAL PALM	14' GW MATCHED/B&B	FULL/MATCHED SPECIMENS/STRAIGHT & HEAVY TRUNKS 30" DIA./12 FRONDS MIN.	MODERATE	Y	Y
SAB PAL	SABAL PALMETTO	SABAL PALM	8' C.T. MATCHED/B&B	FULL/CLEAN STRAIGHT&HEAVY TRUNKS/TRUNKS VOID OF DAMAGE/TOP 6' OF TRUNK BOOTS INTACT	HIGH	Y	Y
THR RAD-1	THRINAX RADIATA	THATCH PALM	7'-8' HGT./30 GAL. CONT.	FULL/SINGLE STRAIGHT TRUNK	HIGH	Y	Y

SHRUB SCHEDULE							
Description	Botanical Name	Common Name	Size/Root Ball/Container	Comments	Drought Tolerance	Native	Florida Friendly
AGA AFR	AGAPANTHUS AFRICANUS	LILY OF THE NILE	16" O.A./1 GAL. CONT.	FULL/PLANT 18" O.C.	MODERATE TO HIGH	N	Y
CHR ICA	CHRYSOBALANUS ICACO	RED TIP COCOPLUM	24" O.A./3 GAL. CONT.	FULL/PLANT 30" O.C. OR AS SHOWN	LOW TO MODERATE	Y	Y
FIC MIC	FICUS MICROCARPA	GREEN ISLAND FICUS	12"x20" O.A./3 GAL. CONT.	FULL/3 PPP/PLANT 24" O.C.	HIGH	N	Y
GAL PUL	GAILLARDIA PULCHELLA	BLANKET FLOWER	16" O.A./1 GAL. CONT.	FULL/PLANT 18" O.C.	HIGH	Y	Y
HAM PAT	HAMELIA PATENS	FIREBUSH	26" RUNNERS/3 GAL. CONT.	FULL/5 RUNNERS MIN/30" O.C. OR AS SHOWN	MODERATE	Y	Y
RUS EQU	RUSSELIA EQUISETIFORMIS	RED FIRECRACKER PLANT	24" O.A./3 GAL. CONT.	FULL/PLANT 30" O.C. OR AS SHOWN	HIGH	N	Y
SCH ARB-1	SCHEFFLERA ARBORICOLA	DWARF SCHEFFLERA	24" O.A./3 GAL. CONT.	FULL/PLANT 30" O.C.	MODERATE	N	Y
SET PUR	SETCREASEA PURPUREA	PURPLE HEART	12" RUNNERS / 1 GAL. CONT.	FULL/3 RUNNERS MIN. / PLANT 18" O.C.	MODERATE TO HIGH	Y	N
ZAM PUM	ZAMIA PUMILA	COONTIE	20" O.A./3 GAL. CONT.	FULL/PLANT 36" O.C.	HIGH	Y	Y

ACCENT SHRUB SCHEDULE							
Description	Botanical Name	Common Name	Size/Root Ball/Container	Comments	Drought Tolerance	Native	Florida Friendly
CRI ASI	CRINUM ASIATICUM	CRINUM LILY	36" O.A./7 GAL. CONT.	FULL/10 LEAVES MIN./PLANT AS SHOWN OR 4' O.C.	MODERATE TO HIGH	N	Y
SER REP	SERENOA REPENS	GREEN SAW PALMETTO	36" O.A./7 GAL. CONT.	FULL/ 7 FRONDS MIN. / PLANT AS SHOWN OR 4' O.C., GREEN IMAGES NURSERY OR APPROVED EQUAL	HIGH	Y	Y

TURF GRASSES SCHEDULE							
Description	Botanical Name	Common Name	Size/Root Ball/Container	Comments	Drought Tolerance	Native	Florida Friendly
STE SEC	STENOTAPHRUM SECUNDATUM 'PALMETTO'	ST.AUGUSTINE GRASS		FULL/SOLID SOD	LOW	N	N

ABBREVIATIONS:

B&B = BALL AND BURLAPPED
 CAL.MIN. = CALIPER MINIMUM
 C.T. = CLEAR TRUNK
 DIA. = DIAMETER
 GAL.CON. = GALLON CONTAINER
 HGT. = HEIGHT
 O.A. = OVERALL
 PPP = PLANTS PER POT
 SPD. = SPREAD

NOTE:

- NOT ALL PLANTS LISTED ON THE PLANT LIST HAVE BEEN USED IN THE LANDSCAPE PLAN. PLANTS ARE LISTED IN THE PLANT LIST FOR REFERENCE ONLY.
- ALL TREES TO BE CONTAINER GROWN/SAND GROWN AND ARE NOT TO CONTAIN CLAY ROOT BALLS, TYPICAL.
- CONFIRM WITH OWNER THAT ALL SHRUB & GROUND COVER BEDS AND TREE PITS TO RECEIVE A 3" MIN. LAYER OF EUCALYPTUS MULCH.

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 - THE CONTRACTOR MUST INSURE THAT ALL UNSUITABLE SOIL INCLUDING CONCRETE, PAVEMENT, ROAD BASE, STONES OVER 3" DIAMETER AND ALL CONSTRUCTION DEBRIS, IS REMOVED FROM MEDIAN AREA TO BE PLANTED AND REPLACED WITH SPECIFIED PLANTING SOIL, E.G., 60% SAND AND 40% MUCK.
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 Orlando, FL 32837-4215
 Phone: 407.376.4600
 Fax: 407.376.4601
 www.stantec.com

Consultant

Permit/Seal

2-ERM1
 1-ERM1
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 100% DOC
 8/21/24

Permit/Seal

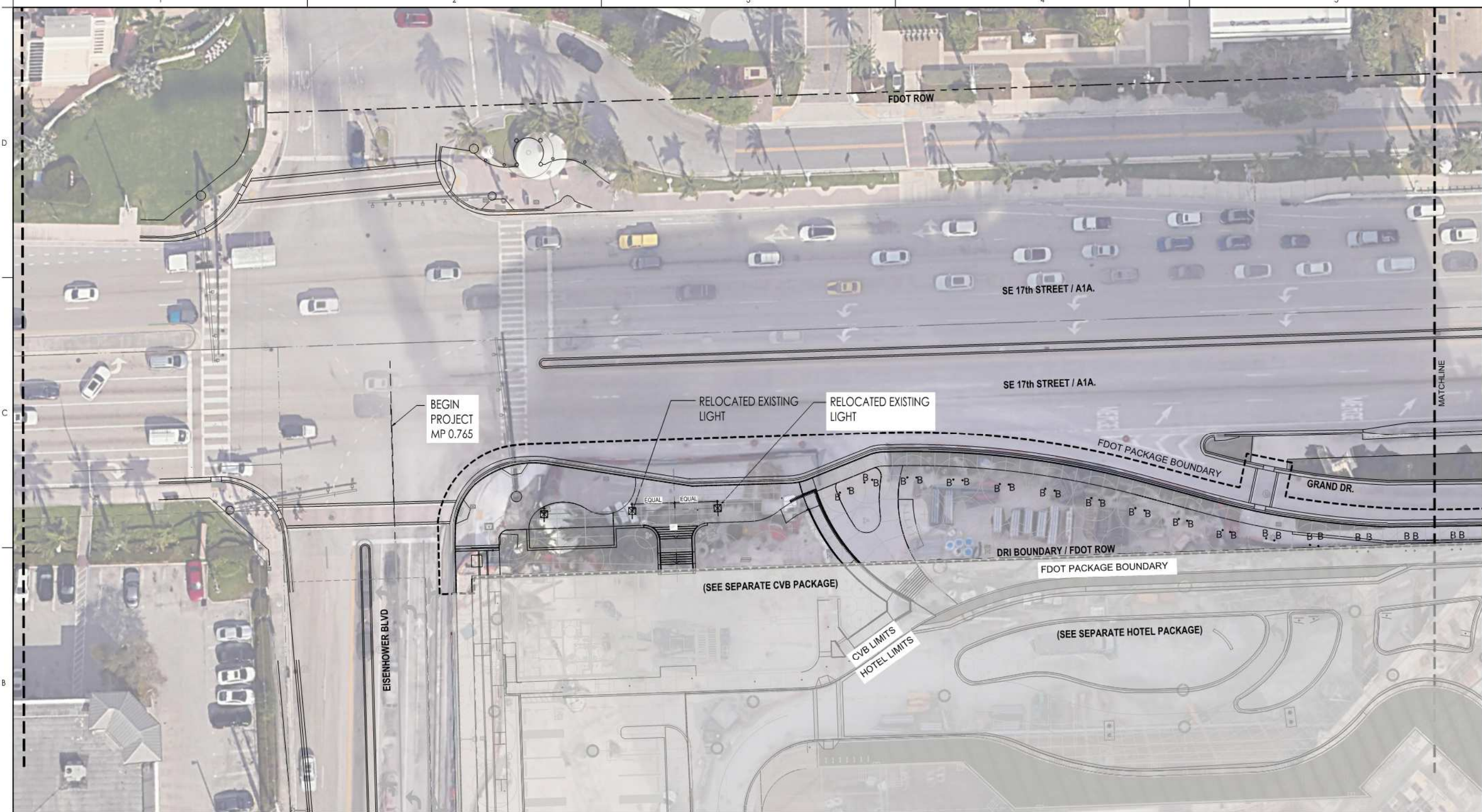
Client/Project
 BROWARD COUNTY
 CONVENTION CENTER &
 HEADQUARTERS HOTEL
 GRAND DRIVE ROW
 LANDSCAPE SCHEDULE
 FORT LAUDERDALE, FL

Project No.: 2185-0005
 Title: LANDSCAPE SCHEDULE
 Scale: As Shown

Revision: Sheet: of

LANDSCAPE PERMIT NUMBER
 2024-L-491-00023
 AM# 26-0614
 Exhibit 1
 Page 30 of 34

L.360



Consultant

REVISION	By	App'd	YYYY/MM/DD

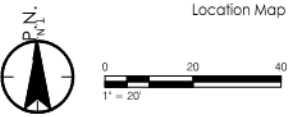
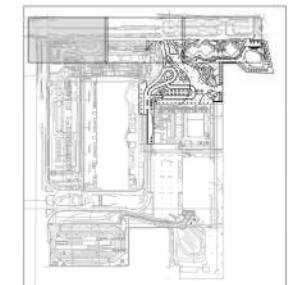
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PERMIT	2024/12/04			
100% DCC	2023/07/24			
ISSUED	2023/07/24			

Permit/Seal

LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	DELIVERED LUMENS	WATTAGE	COLOR TEMP	VOLTAGE	MOUNTING
B	BK LIGHTING	DE-LED-TR-X125-SP-G-C	TREE UPLIGHT	1392	21	4000K	277	POWER PIPE
D	BK LIGHTING	SSL-LED-E102-C-20-DEGREES, BQL-LED-E102-C-20-DEGREES,...	STEP STAR	68	5	4000K	277	CORE DRILL

NOTES:
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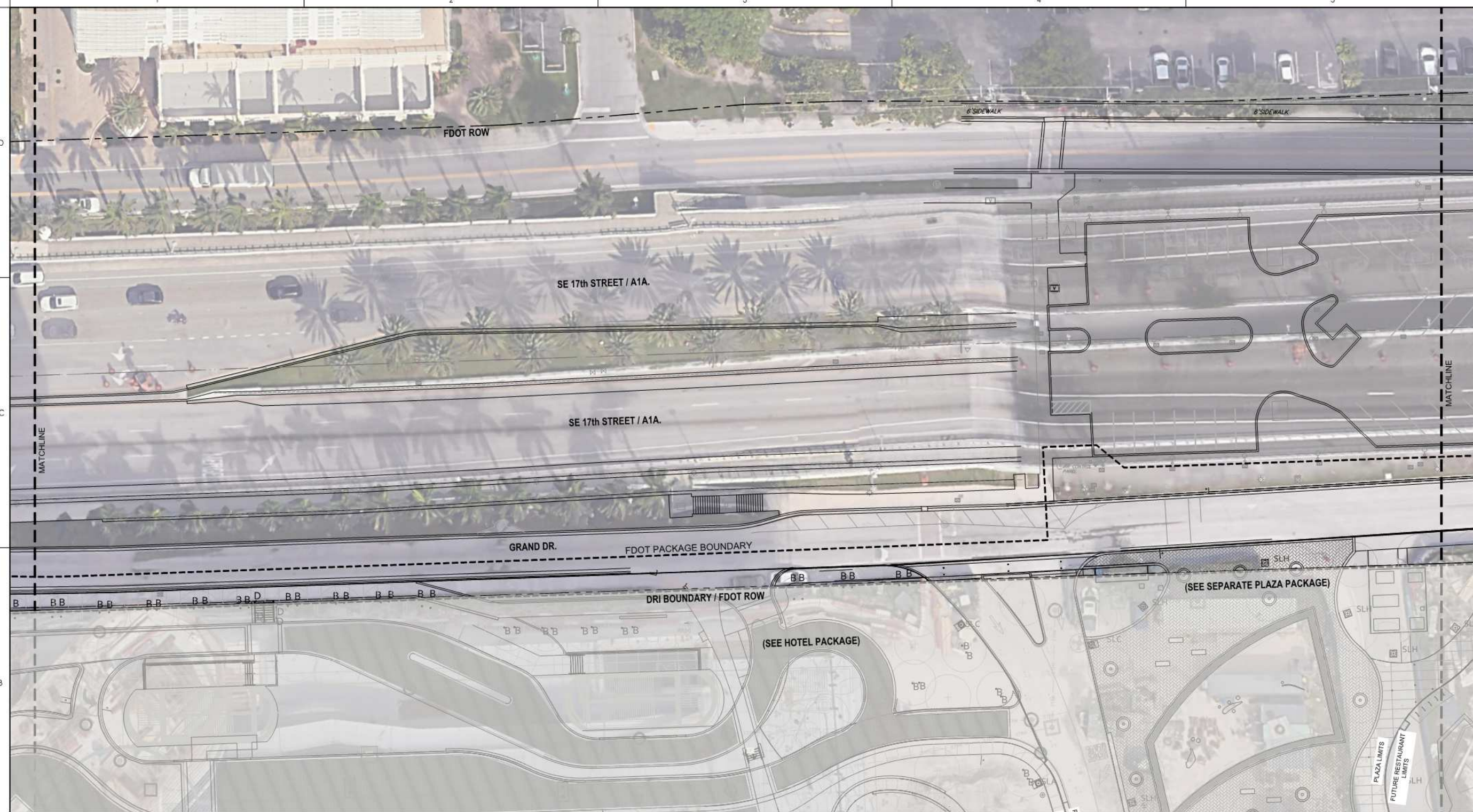
Client/Project
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 CONVENTION CENTER &
 HEADQUARTERS HOTEL
 GRAND DRIVE ROW
 LIGHTING PLAN
 FORT LAUDERDALE, FL

Project No.: 218510005
 File Name: LIGHTING
 Scale: As Shown
 Dwn: 2023/07/24
 Dgn: YYY/AM/DO
 Title

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Revision: Sheet: of

LANDSCAPE PERMIT NUMBER 2024-L-491-00023



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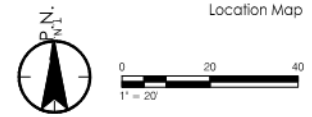
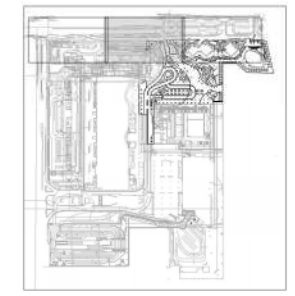
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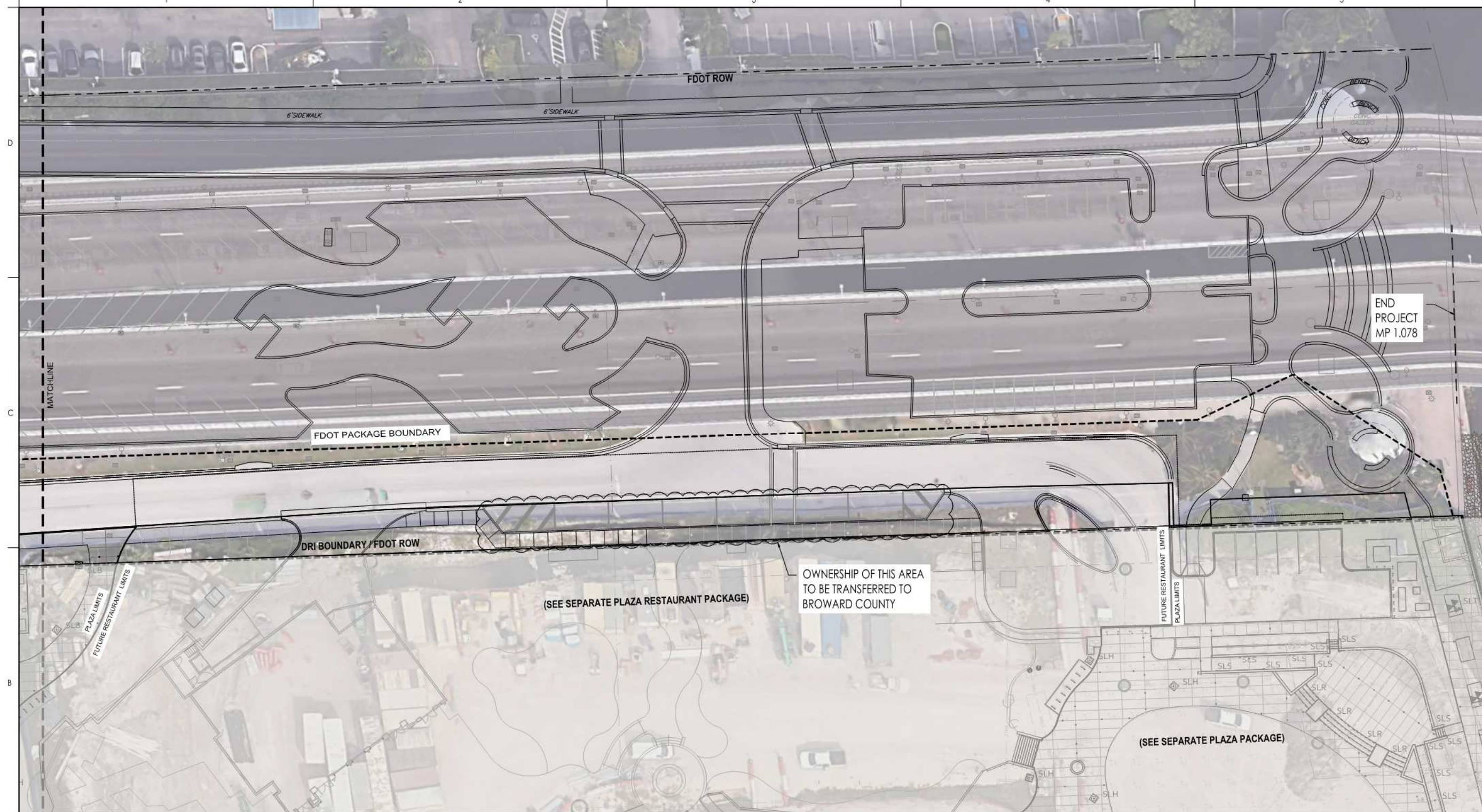
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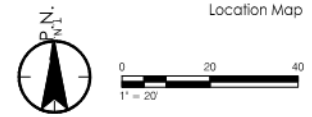
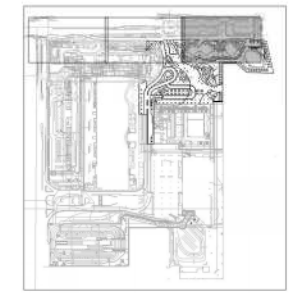
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LIGHTING FIXTURE SCHEDULE

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Client/Project
 BROWARD COUNTY
 CONVENTION CENTER &
 HEADQUARTERS HOTEL
 GRAND DRIVE ROW
 LIGHTING PLAN
 FORT LAUDERDALE, FL

Project No.: 218510005
 File Name: LIGHTING
 Scale: As Shown
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 Chkd: YYY.AMADO
 Title

COUNTY: BROWARD
SECTION: 86180000 / 86180103
SR: A1A (SE 17th STREET)
PERMIT: 2024-L-491-00023

EXHIBIT C
RESOLUTION

This Exhibit forms an integral part of the LANDSCAPE MAINTENANCE MEMORANDUM OF AGREEMENT between the FLORIDA DEPARTMENT OF TRANSPORTATION and the AGENCY.

**Please see attached*