

Prepared by and return to:

City Attorney's Office
City of Fort Lauderdale
1 East Broward Blvd., Suite 1320
Fort Lauderdale, FL 33301
Attn: Kimberly Cunningham Mosley
Assistant City Attorney

Folio Numbers: 504214360010 and 504214360030

ASSUMPTION OF LIABILITY AND HOLD HARMLESS AGREEMENT

THIS ASSUMPTION OF LIABILITY AND HOLD HARMLESS AGREEMENT (“Assumption Agreement”) is entered into this ____ day of ____ 2026, by and between:

Broward County, a political subdivision of the State of Florida having a principal address at 115 S. Andrews Ave., Fort Lauderdale, FL 33312 (“OWNER”)

and

The City of Fort Lauderdale, a Florida municipality having a principal address at 101 NE 3rd Avenue, Suite 2100, Fort Lauderdale, Florida 33301 (“CITY” or “City”).

R E C I T A L S

WHEREAS, OWNER is the owner of a parcel of land described in **Exhibit “A”** (“Owner’s Property”); and

WHEREAS, OWNER desires to install landscape and streetscape improvements (“Improvements”) to the adjacent parcel of property (“FDOT Property”) owned by Florida Department of Transportation Highway System (“FDOT”), which parcel is identified in Amendment 22 (as defined below); and

WHEREAS, FDOT and CITY have entered into the District Four (4) Maintenance Memorandum of Agreement Inclusive Agreement for SR A1A (“Original Agreement”) dated January 31, 2008, as amended by the District Four (4) Amendment Number Eleven (11) to State of Florida Department of Transportation Landscape Inclusive Memorandum of Agreement (“Amendment 11”), which permits CITY to install landscape and streetscape improvements within certain FDOT property, and establishes the rights and obligations of CITY and FDOT (the Original Agreement and Amendment 11 are collectively referred to as the “Original Amended Agreement”), which are attached hereto as **Exhibit “B.1”**; and

WHEREAS, in order to permit the Improvements to be constructed on the FDOT Property, FDOT requires the City to enter into an Amendment Number Twenty-Two (22) to Florida

Department of Transportation District 4 Landscape Inclusive Maintenance Memorandum of Agreement (“Amendment 22”), which is attached hereto and incorporated herein as **Exhibit “B.2”**; and

WHEREAS, the Improvements are proposed to be installed on the FDOT Property on the west side of State Road A1A (also known as SE 17 Street) from Mile Post 0.765 to Mile Post 1.078 and State Road A1A (also known as Grand Drive) from Mile Post 0.000 to Mile Post 0.187 (the “Improvement Area”); and

WHEREAS, as a condition to CITY executing Amendment 22, CITY requires OWNER to assume all liabilities, obligations, and responsibilities for the obligations expressly stated in the Original Amended Agreement and in Amendment 22 relating solely to the Improvements within the Improvement Area and only to the extent expressly set forth in the terms and conditions of this Assumption Agreement; and

NOW, THEREFORE, in consideration of the mutual covenants and conditions contained herein, and other good and valuable considerations, the sufficiency and adequacy of which is hereby acknowledged, OWNER and CITY hereby agree as follows:

1. **Recitals.** The foregoing Recitals are true and correct and are incorporated herein.
2. **Terms.** The following terms, as used and referred to herein, shall have the meanings set forth below.

City Manager means CITY’s Chief Executive Officer, its City Manager, or his or her designee.

City Engineer means the City Engineer for the CITY, or the City Engineer’s designee. In the administration of this Assumption Agreement, as contrasted with matters of policy, all parties may rely upon instructions or determinations made by the City Engineer.

Day(s). In computing any period of time expressed in day(s) in this Assumption Agreement, the day of the act, event, or default from which the designated period of time begins to run shall not be included. The last day of the period so computed shall be included unless it is a Saturday, Sunday, or legal holiday, in which event the period shall run until the end of the next day which is neither a Saturday, Sunday nor legal holiday. When the period of time prescribed or allowed is less than seven (7) days, intermediate Saturdays, Sundays, and legal holidays shall be excluded in the computation.

Effective Date means the effective date of this Assumption Agreement, which shall be the date upon which both (i) this Assumption Agreement is duly executed by OWNER and the CITY and (ii) Amendment 22 is duly executed by FDOT and CITY.

Person means any individual, firm, partnership (general or limited), corporation, company, association, joint venture, joint stock association, estate, trust, business trust, cooperative, limited liability corporation, limited liability partnership, limited liability company

or association, or body politic, including any heir, executor, administrator, trustee, receiver, successor or assignee or other person acting in a similar representative capacity for or on behalf of such Person.

3. Compliance and Default. OWNER agrees to assume any and all liability and responsibility for performance of obligations expressly stated in the Original Amended Agreement and Amendment 22 within the Improvement Area. OWNER shall not be liable for any improvements and work done by the City or third parties unless OWNER provides written consent to such improvements and agrees in writing to assume any liability or responsibility for such improvements. OWNER hereby agrees to abide by and comply with each and every term and condition set forth in the Original Amended Agreement and Amendment 22, solely regarding the Improvement Area, and this Assumption Agreement and failure to so comply shall constitute a default under this Assumption Agreement. Any acts or omissions by OWNER or OWNER's contractors, agents, or employees with regard to the Improvement Area that are not in compliance with the terms and conditions of the Original Amended Agreement and Amendment 22 shall constitute a default under this Assumption Agreement. In no event shall OWNER be responsible in any way for anything outside of the Improvement Area.

4. Indemnification and Hold Harmless.

(a) OWNER shall protect, defend, indemnify and hold harmless the CITY, its officers, elected officials, volunteers, employees, and agents from and against any and all lawsuits, penalties, damages, settlements, judgments, decrees, costs, charges and other expenses charged or incurred, including reasonable attorney's fees actually incurred, or liabilities of every kind, nature or degree arising out of or in connection with the rights, responsibilities, and obligations of OWNER under this Assumption Agreement but solely to the extent such actions constitute OWNER's negligence, or the negligence of others acting within the written authorization of OWNER, or the breach or default by OWNER of any covenant or provision of this Assumption Agreement. Without limiting the foregoing, any and all such charges, claims, suits, and causes of action relating to personal injury, death, damage to property, defects in construction, rehabilitation, or restoration of the Improvements directly caused by OWNER's negligence, or the negligence of others acting with the written authorization of OWNER, including but not limited to claims for costs, charges, and other expenses charged or incurred, including reasonable attorney's fees and costs actually incurred or liabilities arising out of or in connection with the rights, responsibilities and obligations of OWNER pursuant to this Assumption Agreement, or any actual violation of any applicable and known statute, ordinance, administrative order, rule or regulation or decree of any court by OWNER, is included in the indemnity.

(b) OWNER further agrees that upon delivery of proper and timely notice from CITY to OWNER of violations of this Assumption Agreement, OWNER shall investigate, handle, and respond to, and defend any such claims at its sole expense. For the avoidance of doubt, this provision does not require OWNER to perform any of the foregoing obligations absent an alleged violation by OWNER of this Assumption Agreement. This indemnification shall survive termination, revocation, or expiration of the Original Amended Agreement or Amendment 22; however these obligations shall only apply to any acts or omissions occurring during the term of Amendment 22 and this Assumption Agreement.

5. **Insurance.** At all times during the term of Amendment 22 and this Assumption Agreement, OWNER assumes CITY's obligations to provide insurance as set forth and required in Paragraph 12 of the Original Agreement solely for the Improvements in the Improvement Area.

6. Removal of Improvements and Restoration of Improvement Area.

OWNER assumes the obligations set forth in Article 6 of the Original Amended Agreement to remove, relocate, or adjust the Improvements within the Improvement Area upon the written notice of FDOT to CITY or OWNER. Such removal and restoration shall be at OWNER's sole cost and expense. In the event OWNER fails to begin to remove all or any part of the Improvements within thirty (30) days after written demand by FDOT or CITY, the CITY is hereby authorized to remove the Improvements, and restore the Improvement Area, consistent with FDOT's written direction and all reasonable, actual costs associated with the removal and restoration thereof shall be fully reimbursed by OWNER.

7. **Event of Default; Remedy.** In the event the OWNER fails to perform or violates any of the terms or conditions of the Original Amended Agreement, Amendment 22, or this Assumption Agreement or is in breach or default of any term or condition thereof, the City shall notify OWNER of the specific failure or violation of this Assumption Agreement, the Original Amended Agreement, or Amendment 22 in writing and OWNER shall thereafter have a period of thirty (30) calendar days to cure any such failure or violation to the City's reasonable satisfaction (an "Event of Default"), or if not capable of being cured within thirty (30) calendar days, OWNER shall diligently pursue curing the Event of Default. Upon expiration of the thirty (30) calendar days, or the diligent cure period as described in the preceding sentence, and OWNER's failure to cure the Event of Default to the City's reasonable satisfaction, the City has the right to: 1) take any equitable action to enforce the terms and conditions of this Assumption Agreement or 2) take such curative action that City believes was required to be taken by the OWNER under this Assumption Agreement and the reasonable, actual cost and expense incurred in CITY's curative actions shall be passed on to and owed by OWNER. OWNER shall reimburse CITY within sixty (60) days following written demand for payment thereof. Interest shall accrue on the unpaid amount at a rate equivalent to the rate set forth by the Department of Financial Services beginning on the date that CITY makes its written demand for payment from OWNER. If a dispute arises as to the need for, or amount due to the CITY for repairs or maintenance undertaken by CITY in accordance with the Original Amended Agreement, Amendment 22, or this Assumption Agreement, and such dispute is not resolved within thirty (30) days after the date that CITY makes the written demand for payment, OWNER shall pay to CITY the undisputed amount and the CITY and OWNER reserve their respective claims and defenses. CITY shall have all other rights and remedies granted to it at law or in equity for OWNER's failure to pay the fines owed or reimburse CITY for curative actions taken by CITY. The remedies found within this Section are cumulative. The exercise of one does not preclude the exercise of any other remedy.

8. **Emergencies.** If an emergency situation arises with respect to the Improvements or the Improvement Area or any condition thereof presents an imminent threat to the health or safety of Persons or property, the CITY shall make reasonable efforts to provide telephone and email notice to OWNER's Contact Persons (as hereinafter defined). If, following delivery of that notice,

OWNER does not take timely action to correct the emergency situation, and allowing the emergency situation to continue would pose an imminent threat to the health or safety of Persons or property, CITY may undertake such limited actions as are necessary to eliminate the emergency; and CITY shall be entitled to recover its reasonable costs to cure or resolve the emergency from OWNER in accordance with provisions hereof. **For the purposes of this Section, OWNER's Contact Person shall be**

(A) the President/CEO of the Greater Fort Lauderdale Convention and Visitors Bureau ("CVB"); telephone number (954)765-8999; and e-mail address SRitter@broward.org and gfladmin@broward.org.

If City does not directly communicate with the President/CEO within 24 hours of initiating contact, CITY shall contact

(B) Candace Hartsell, Executive Vice President of CVB, telephone number (954)767-2480; and e-mail address chartsell@broward.org.

If City does not directly communicate with the Executive Vice President within 24 hours of initiating contact, CITY shall contact

(C) Ron King, General Manager, SMG, telephone number (954)302-8907; and e-mail address rking@ftlauderdalecc.com.

In the event the OWNER's Contact Person or any other information pertaining to the OWNER's Contact Person shall change, such change shall be provided to the CITY's Director of the Transportation and Mobility Department, in writing at the address provided in Paragraph 10, Notices.

9. Damage to Public Property. In the event the use, operation, maintenance, repair, construction, demolition, or reconstruction of the Improvements cause(s) any damage whatsoever to any other City property, then OWNER shall be responsible for the cost of repair and shall, at CITY's option, make said repairs, subject to CITY's reasonable satisfaction.

10. Notices.

(a) Unless otherwise stated herein, for notice to a party to be effective under this Assumption Agreement, notice must be sent via U.S. first-class mail, hand delivery, or commercial overnight delivery, each with a contemporaneous copy via email, to the addresses listed below and shall be effective upon mailing or hand delivery (provided the contemporaneous email is also sent). Addresses may be changed by the applicable Party giving notice of such change in accordance with this section.

AS TO CITY: Rickelle Williams
City Manager
City of Fort Lauderdale
101 NE 3rd Avenue, Suite 2100
Fort Lauderdale, Florida 33301
Email: rickellewilliams@fortlauderdale.gov

With copy to: Shari L. McCartney
City Attorney
City of Fort Lauderdale
1 East Broward Blvd., Suite 1320
Fort Lauderdale, Florida 33301
Email: SMcCartney@fortlauderdale.gov

With copy to: Transportation and Mobility Director
City of Fort Lauderdale
290 N.W. 3rd Avenue
Fort Lauderdale, Florida 33301

AS TO OWNER: President/CEO of the Greater Fort Lauderdale
Convention and Visitors Bureau
101 NE Third Avenue, Suite 100
Fort Lauderdale, FL 33301
Email: SRitter@broward.org and gfladmin@broward.org

With copy to: Executive Vice President of the Greater Fort Lauderdale
Convention and Visitors Bureau
1700 SE 17 Street
Fort Lauderdale, FL 33316
Email: chartsell@broward.org

(b) As to activities under Paragraph 8, Emergencies, notice need not be given in accordance with subparagraph (a) above and shall be sufficient if given to the Contact Person pursuant to Paragraph 8, Emergencies.

11. Independent Contractor. As between CITY and OWNER, CITY and OWNER are independent contractors under this Assumption Agreement. In providing such services, neither OWNER nor CITY, nor either of their agents shall act as officers, employees, or agents of the other party. No partnership, joint venture, or other joint relationship is created hereby. CITY and OWNER do not extend to the other party any authority of any kind to bind each other in any respect whatsoever.

12. Joint Preparation. Each party and its counsel have participated fully in the review and revision of this Assumption Agreement and acknowledge that the preparation of this Assumption Agreement has been their joint effort. The language agreed to expresses their mutual intent and the resulting document shall not, solely as a matter of judicial construction, be construed

more severely against one of the parties than the other. The language in this Assumption Agreement shall be interpreted as to its fair meaning and not strictly for or against any party.

13. Interpretation of Agreement; Severability. This Assumption Agreement shall be construed in accordance with the laws of the State of Florida. If any provision hereof, or its application to any person or situation, is deemed invalid or unenforceable for any reason and to any extent, the remainder of this Assumption Agreement or the application of the remainder of the provisions, shall not be affected. Rather, this Assumption Agreement is to be enforced to the extent permitted by law. The captions, headings, and title of this Assumption Agreement are solely for convenience of reference and are not to affect its interpretation. Each covenant, term, condition, obligation, or other provision of this Assumption Agreement is to be construed as a separate and independent covenant of the party who is bound by or who undertakes it, and each is independent of any other provision of this Assumption Agreement, unless otherwise expressly provided. All terms and words used in this Assumption Agreement, regardless of the number or gender in which they are used, are deemed to include any other number and other gender, as the context requires.

14. Successors and Assignment. This Assumption Agreement shall be binding on and inure to the benefit of the parties and their successors and assigns. It is intended that this Assumption Agreement and the rights and obligations set forth herein shall run with the Owner's Property. OWNER may assign this Assumption Agreement without the prior written consent of the City to a transferee of the fee simple interest in the Owner's Property (or the portions of the Owner's Property adjacent to the FDOT Property), with written notice to the City of such assignment and delivery of a copy of the written assumption of responsibilities executed by the assignor and recorded in the Public Records of Broward County, Florida.

15. No Waiver of Sovereign Immunity. Nothing herein is intended to serve as a waiver of sovereign immunity by either party nor shall anything included herein be construed as consent by either party to be sued by third parties in any matter arising out of this Assumption Agreement.

16. Third Party Beneficiaries. The parties expressly acknowledge that it is not their intent to create or confer any rights or obligations in or upon any third person or entity under this Assumption Agreement. None of the parties intend to directly or substantially benefit a third party by this Assumption Agreement. The parties agree that there are no third-party beneficiaries to this Assumption Agreement and that no third party shall be entitled to assert a claim against any of the parties based on this Assumption Agreement. Nothing herein shall be construed as consent by any agency or political subdivision of the State of Florida to be sued by third parties in any manner arising out of any contract.

17. Non-Discrimination. The parties shall not discriminate against any Person in the performance of duties, responsibilities, and obligations under this Assumption Agreement because of race, age, religion, color, gender, national origin, marital status, disability, or sexual orientation.

18. Records. Each party shall maintain its own respective records and documents associated with this Assumption Agreement in accordance with the records retention requirements applicable to public records. Each party shall be responsible for compliance with any public documents request served upon it pursuant to Chapter 119, Florida Statutes as applicable, and shall

only be responsible for any resultant award of attorney's fees associated with the respective party's non-compliance with that law.

19. Entire Agreement. This document incorporates and includes all prior negotiations, correspondence, conversations, agreements, and understandings applicable to the matters contained herein and the parties agree that there are no commitments, agreements, or understandings concerning the subject matter of this Assumption Agreement that are not contained in this document. Accordingly, the parties agree that no deviation from the terms hereof shall be predicated upon any prior representations or agreements, whether oral or written.

20. Waiver. The parties agree that each requirement, duty, and obligation set forth herein is substantial and important to the formation of this Assumption Agreement and, therefore, is a material term hereof. Any party's failure to enforce any provision of this Assumption Agreement shall not be deemed a waiver of such provision or modification of this Assumption Agreement. A waiver of any breach of a provision of this Assumption Agreement shall not be deemed a waiver of any subsequent breach and shall not be construed to be a modification of the terms of this Assumption Agreement.

21. Governing Law. This Assumption Agreement shall be interpreted and construed in accordance with and governed by the laws of the State of Florida. Any controversies or legal problems arising out of this Assumption Agreement and any action involving the enforcement or interpretation of any rights hereunder, shall be brought exclusively in the state courts of the Seventeenth Judicial Circuit in Broward County, Florida, and venue for litigation arising out of this Assumption Agreement shall be exclusively in such state courts, forsaking any other jurisdiction which either party may claim by virtue of its residency or other jurisdictional device. **By entering into this Assumption Agreement, CITY and OWNER hereby expressly waive any rights either party may have to a trial by jury of any civil litigation related to the Agreement or this Assumption Agreement or any acts or omissions in relation thereto.**

22. Recording. This Assumption Agreement shall be recorded in the Public Records of Broward County, Florida, the costs of which shall be borne by OWNER. OWNER shall record this Assumption Agreement with attached exhibits against Owner's Property, and a copy of the recorded Assumption Agreement shall be provided to City and filed by the City with the City Clerk's Office.

23. Term. This Assumption Agreement shall continue in full force and effect until such time as the Original Amended Agreement becomes null and void by removal of the Improvements, by operation of law, or in accordance with the terms of the Original Agreement, or is terminated by a court order or mutual agreement between OWNER and CITY and no obligations lying thereunder survive such termination.

24. Police Power. Nothing herein shall be construed as a waiver of the CITY's or OWNER's police power. OWNER shall comply with all applicable codes, ordinances, and regulations with respect to installation and construction of the Improvements. OWNER shall construct, operate, and maintain the Improvements in compliance with all health, sanitary, fire,

zoning, and building code requirements and any other governing authority with jurisdiction over the Improvement Area and Improvements.

25. No Property Rights. OWNER expressly acknowledges that pursuant to the terms hereof, it gains no property right through this Assumption Agreement, Amendment 22, or the Original Amended Agreement to the continued possession or use of the Improvements within the Improvement Area.

26. Verification of Employment Eligibility. OWNER represents that OWNER will require all entities performing work in the Improvement Area to have registered with and use the E-Verify system maintained by the United States Department of Homeland Security to verify the work authorization status of all newly hired employees in compliance with the requirements of Section 448.095, Florida Statutes.

27. Multiple Originals and Counterparts. This Assumption Agreement may be executed in multiple originals or in counterparts, whether signed physically or electronically; each of which shall be deemed to be an original, and all of which, taken together, shall constitute one and the same agreement.

(SIGNATURES TO FOLLOW)

IN WITNESS WHEREOF, the parties enter into this Assumption of Liability and Hold Harmless Agreement by OWNER and the CITY OF FORT LAUDERDALE and execute this Agreement as follows:

COUNTY

ATTEST:

Broward County, by and through
its Board of County Commissioners

By: _____
Broward County Administrator, as
ex officio Clerk of the Broward County
Board of County Commissioners

By: _____
Mayor
____ day of _____, 20__

Approved as to form by
Andrew J. Meyers
Broward County Attorney
115 South Andrews Avenue, Suite 423
Fort Lauderdale, Florida 33301
Telephone: (954) 357-7600

By: _____
Benjamin Crego (Date)
Senior Assistant County Attorney

By: _____
Michael J. Kerr (Date)
Chief Counsel

AS TO CITY:

CITY

ATTEST:

CITY OF FORT LAUDERDALE

David R. Soloman, City Clerk

By: _____
Dean J. Trantalis, Mayor

_____ day of _____, 20____

(SEAL)

By: _____
Rickelle Williams, City Manager

_____ day of _____, 20____

Approved as to form and correctness:
Shari L. McCartney, City Attorney

By: _____
Kimberly Cunningham Mosley
Assistant City Attorney

Exhibit A
Legal Description and Sketch of Owner's Property

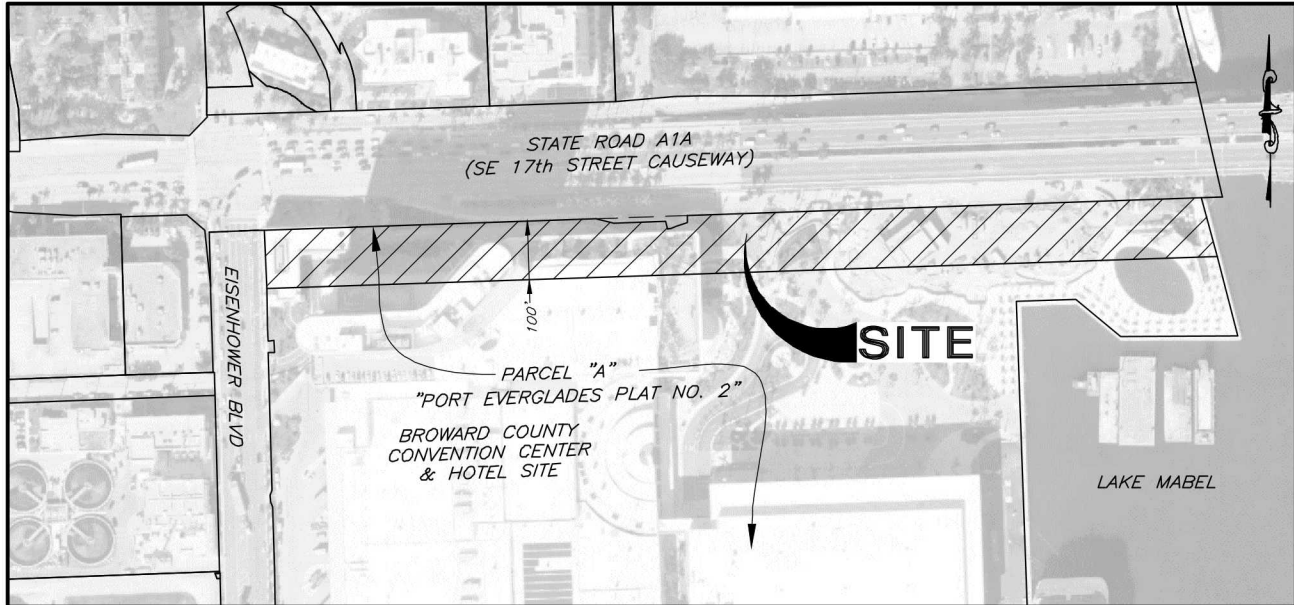
The legal description and sketch is set forth on the following two pages. The remainder of this page is intentionally left blank.

SKETCH AND DESCRIPTION

NORTH 100' OF PARCEL "A"

PORTION OF PARCEL "A", "PORT EVERGLADES PLAT NO. 2", AS RECORDED IN PLAT BOOK 108, PAGE 31,
CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA
SECTIONS 13 & 14, TOWNSHIP 50 SOUTH, RANGE 42 EAST

**SURVEY PROJECT
NO. 2026-045**



LOCATION MAP
(NOT TO SCALE)

SURVEY NOTES

- 1) THE LAND "DESCRIPTION" SHOWN HEREON WAS PREPARED BY THE REVIEWING SURVEYOR BASED ON THE INSTRUCTIONS FROM THE BROWARD COUNTY PUBLIC WORKS.
- 2) BEARINGS SHOWN HEREON ARE BASED NORTH LINE OF PARCEL "A", ACCORDING TO THE PLAT OF "PORT EVERGLADES PLAT NO. 2", AS RECORDED IN PLAT BOOK 108, PAGE 31, BROWARD COUNTY PUBLIC RECORDS. SAID LINE BEARS $N88^{\circ}28'07"E$, AS SHOWN THEREON.
- 3) SOURCES OF INFORMATION USED IN THE PREPARATION OF THIS LEGAL DESCRIPTION:
 - a. PLAT OF "PORT EVERGLADES PLAT NO. 2", AS RECORDED IN PLAT BOOK 108, PAGE 31, BROWARD COUNTY PUBLIC RECORDS.
 - b. FLORIDA DEPARTMENT OF TRANSPORTATION MAP STATE ROAD A-1-A (SE 17th STREET) SECTION NO. 86180-2522, DATED 12/12/2003.
 - c. OFFICIAL RECORDS BOOK 148, PAGE 324, BROWARD COUNTY PUBLIC RECORDS.
 - d. OFFICIAL RECORDS BOOK 149, PAGE 245, BROWARD COUNTY PUBLIC RECORDS.
 - e. OFFICIAL RECORDS BOOK 150, PAGE 274, BROWARD COUNTY PUBLIC RECORDS.
 - f. OFFICIAL INSTRUMENT NO. 119846011, BROWARD COUNTY PUBLIC RECORDS.
 - g. OFFICIAL INSTRUMENT NO. 120165043, BROWARD COUNTY PUBLIC RECORDS.

SEE SHEET 2 OF 2 FOR LEGAL DESCRIPTION AND SKETCH OF LEGAL ATTACHED HERETO AND MADE A PART THEREOF.

SHEET 1 OF 2

CERTIFICATE

I HEREBY CERTIFY THAT THE SKETCH AND LEGAL DESCRIPTION SHOWN HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND DO NOT REPRESENT A FIELD SURVEY. I FURTHER CERTIFY THAT THIS SKETCH AND DESCRIPTION MEETS THE APPLICABLE REQUIREMENTS OF THE STANDARDS OF PRACTICE, SET FORTH UNDER RULE 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Eric B Augusto

Digitally signed by Eric B Augusto
Date: 2026.06.10 08:42:41 -04'00'

NOT VALID WITHOUT THE ORIGINAL RAISED SEAL
AND THE SIGNATURE OR DIGITAL SIGNATURE
OF A FLORIDA LICENSED SURVEYOR AND MAPPER

PROFESSIONAL SURVEYOR AND MAPPER #5695, STATE OF FLORIDA
ERIC B AUGUSTO

DATE OF SKETCH	DRAWN BY	CHECKED BY	MANAGER
6/9/2026	M.N.	EBA	EBA

SKETCH NO. 2026-045 LEGAL.DWG

HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION

1 N. UNIVERSITY DRIVE, SUITE 300 - PLANTATION, FLORIDA 33324-2038

Phone # (954) 577-4555

CAM# 26 0614

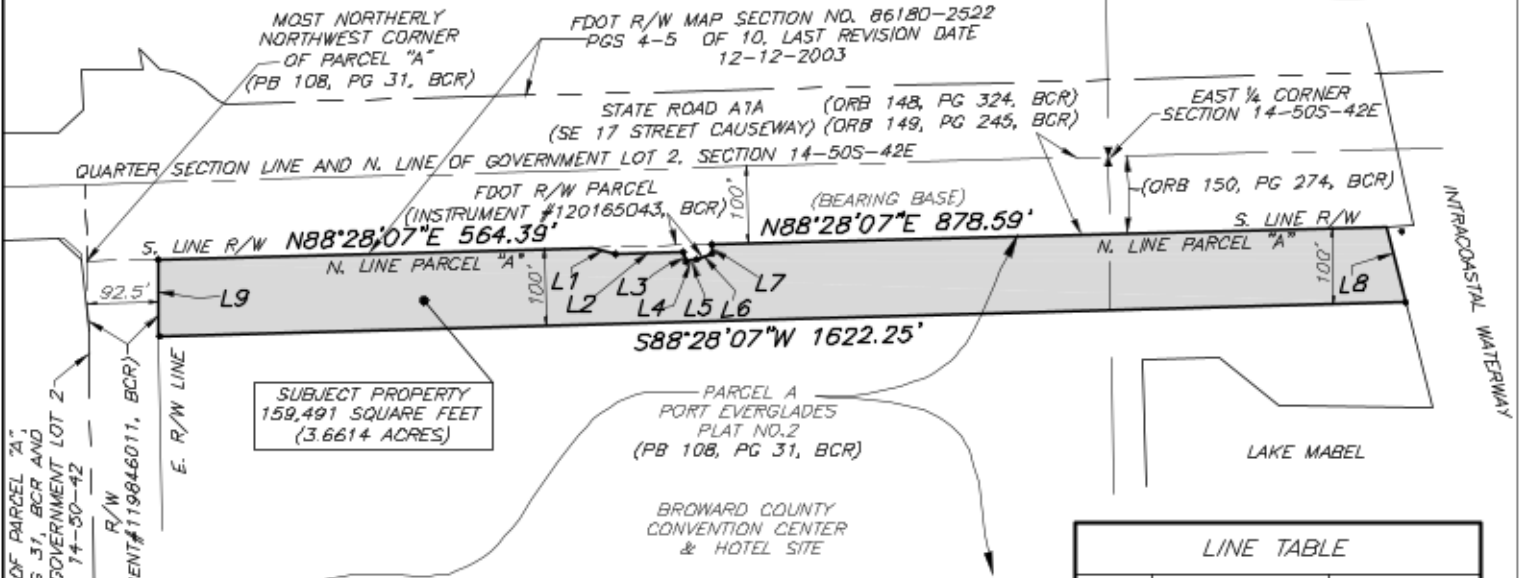
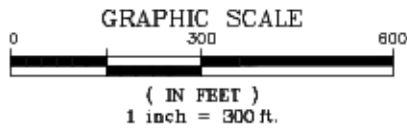
Exhibit 2

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SKETCH AND DESCRIPTION

**SURVEY PROJECT
NO. 2026-045**

PORTION OF PARCEL "A", "PORT EVERGLADES PLAT NO. 2", AS RECORDED IN PLAT BOOK 108, PAGE 31,
CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA
SECTIONS 13 & 14, TOWNSHIP 50 SOUTH, RANGE 42 EAST



LEGEND

- R/W - RIGHT-OF-WAY
- FDOT - FLORIDA DEPARTMENT OF TRANSPORTATION
- PB - PLAT BOOK
- PG - PAGE
- BCR - BROWARD COUNTY RECORDS

DESCRIPTION

THE MOST NORTHERLY 100 FEET OF "PARCEL A", "PORT EVERGLADES PLAT NO. 2", AS RECORDED IN PLAT BOOK 108 AT PAGE 31 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS THAN AND EXCEPT:

THE WESTERLY 92.5 FEET THEREOF FOR ROAD RIGHT-OF-WAY FOR EISENHOWER BOULEVARD AS PER INSTRUMENT NUMBER 119846011, RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ALSO, LESS THAN AND EXCEPT:

THE ADDITIONAL RIGHT-OF-WAY FOR STATE ROAD A1A / SE 17TH STREET AS DESCRIBED IN INSTRUMENT NUMBER 120165043, RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LANDS SITUATE IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA. CONTAINING 159,491 SQUARE FEET OR 3.6614 ACRES, MORE OR LESS.

LINE TABLE		
NO.	BEARING	DISTANCE
L1	S74°43'08"E	31.41'
L2	N88°30'42"E	89.24'
L3	S13°54'49"E	13.02'
L4	N75°24'59"E	5.99'
L5	N76°10'10"E	8.12'
L6	N70°09'23"E	21.58'
L7	N01°31'53"E	12.00'
L8	S14°02'34"E	102.43'
L9	N01°07'30"W	100.00'

SEE SHEET 1 OF 2 FOR LOCATION MAP AND SURVEYOR NOTES ATTACHED HERETO AND MADE A PART THEREOF.

SHEET 2 OF 2

HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION

1 N. UNIVERSITY DRIVE, SUITE 300 - PLANTATION, FLORIDA 33324-2038

Phone # (954) 577-4555

GAM# 26-0614

Exhibit 2

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Exhibit B.1

District Four (4) Maintenance Memorandum of Agreement Inclusive Agreement for SR A1A and District Four (4) Amendment Number Eleven (11) to State of Florida Department of Transportation Landscape Inclusive Memorandum of Agreement

Exhibit B.1- Set Forth Below

SECTION NO: 86010, 86050,
81180, 86180
S.R. NO(S): A1A
COUNTY: BROWARD
FM NO.(S): 22811.6, 41687.2
WPI NO.(S): 4110739, 4110882

**DISTRICT FOUR (4)
MAINTENANCE MEMORANDUM OF AGREEMENT
INCLUSIVE AGREEMENT FOR SR A1A**

THIS AGREEMENT, made and entered into this 31st day of January 2008 by and between the **STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION**, a component agency of the State of Florida, hereinafter called the **DEPARTMENT** and the **CITY OF FORT LAUDERDALE**, a political subdivision of the State of Florida, existing under the Laws of Florida, hereinafter called the **AGENCY**.

WITNESSETH:

WHEREAS, the **DEPARTMENT** has jurisdiction over **State Roads A1A** as part of the State Highway System as described in Exhibit A; and

WHEREAS, the **DEPARTMENT** seeks to install and have maintained by the **AGENCY** certain landscape improvements within the right-of-way of State Road A1A as described within Exhibit B; and

WHEREAS, the **AGENCY** seeks to install and maintain certain landscape improvements within the right-of-way of State Road A1A as described within Exhibit B; and

WHEREAS, the **AGENCY** and the **DEPARTMENT** have entered into previous agreements for the **AGENCY** to maintain landscape and hardscape on **DEPARTMENT** right-of-way; and

WHEREAS, as part of the continual updating of the State of Florida Highway System, the **DEPARTMENT**, for the purpose of safety, protection of the investment and other reasons, has constructed and does maintain the highway facilities as SR A1A described further in Exhibit A attached hereto and incorporated by reference herein, within the corporate limits (or unincorporated if County) of the **AGENCY**; and

WHEREAS, the **DEPARTMENT**, for the purpose of safety, protection of the investment and other reasons, has constructed and does maintain the highway facilities as described in Exhibit A attached hereto and incorporated by reference herein, within the corporate limits of the **AGENCY**; and

Page 1 of 23

WHEREAS, the **AGENCY** is of the opinion that highway facilities within the **AGENCY'S** limits that contain landscaped medians and areas outside the travel way to the right of way line, including any hardscape, shall be maintained by periodic pruning, mowing, fertilizing, weeding, litter pick-up, necessary replanting and repair, and inside travel way as described in Exhibit C; and

WHEREAS, it is the intent of the **AGENCY** and the **DEPARTMENT** that the **AGENCY** shall maintain all right of way outside the travel way and improvements made to the travel way at the request of the **AGENCY** as described in Exhibit D; and

WHEREAS, the **AGENCY** and **DEPARTMENT** intend for this agreement to replace and supersede the agreements described in Exhibit E only to the extent where the agreement addresses State Road A1A, and except as otherwise provided in this Agreement; and

WHEREAS, the parties hereto mutually recognize the need for entering into an Agreement designating and setting forth the responsibilities of each party; and

WHEREAS, the **AGENCY** by Resolution No. 07-252 dated Dec. 4, 2007 attached hereto and by this reference made a part hereof, desires to enter into this Agreement and authorizes its officers to do so;

NOW THEREFORE, for and in consideration of the mutual benefits to flow each to the other, the parties covenant and agree as follows:

1. The **DEPARTMENT** has installed, or will install, landscape, irrigation and/or hardscape on the highway facilities as specified in plans and specifications hereinafter referred to as the Projects and incorporated herein as referenced as SR A1A in Exhibit B, E & F. Hardscape shall mean tree grates; any non-standard lighting; any non-standard roadway, sidewalk, median or crosswalk surfacing (such as, but not limited to, interlocking pavers, stamped asphalt or stamped concrete).
2. The **AGENCY** has installed, or will install, landscape, irrigation and/or hardscape on the highway facilities as specified in plans and specifications hereinafter referred to as the Projects and incorporated herein as Exhibit B and Exhibit G. Hardscape shall mean tree grates; any non-standard lighting; any non-standard roadway, sidewalk, median or crosswalk surfacing (such as, but not limited to, interlocking pavers, stamped asphalt or stamped concrete).

When the **AGENCY** is installing or will install the project, they shall comply with the following criteria:

- (a) All plant materials shall be installed and maintained in strict accordance with sound nursery practice prescribed by the International Society of Arboriculture (ISA); all plant materials

installed shall be Florida #1 or better according to the most current edition of Florida Department of Agriculture, *Florida Grades and Standards for Nursery Stock*; and all trees shall meet Florida Power & Light, *Right Tree, Right Place, South Florida*.

- (b) Trees and palms within the right-of-way shall be pruned to discourage encroachment to roadways, clear zones and sidewalks. Definition of these criteria is included in the most current editions of FDOT standards for design, construction, maintenance, and utility operations on the state highway system.
- (c) Tree and palm pruning shall be supervised by properly trained personnel trained in tree pruning techniques and shall meet the most current standards set forth by the International Society of Arboriculture (ISA) and the American National Standard Institute (ANSI) Part A-300 and be licensed by Broward County Environment Protection Department to perform this work.
- (d) Irrigation installation and maintenance activities shall conform to the standards set forth by the Florida Irrigation Society (FIS) latest edition of FIS, *Standards and Specifications for Turf and Landscape Irrigation Systems*.
- (e) When the **AGENCY** is installing the Project and irrigation is to be installed, the **DEPARTMENT** shall be provided accurate as-built plans of the system so if in the future there is a need for the **DEPARTMENT** to perform work in the area, the system can be accommodated as much as possible.
- (f) If it becomes necessary to provide utilities (water/electricity) to the median or side areas, it shall be the **AGENCY'S** responsibility to obtain a permit for such work through the local maintenance office and the **AGENCY** shall be responsible for all associated fees for the installation and maintenance of these utilities.
- (g) All hardscape shall be installed and maintained in strict accordance with the most current edition of the *Florida Accessibility Code for Building Construction* and the *Interlocking Concrete Pavement institute (ICPI)*.
- (h) All activities, including project installation and future maintenance operations performed on State highway right-of-way, must be in conformity with the most current edition of the *Manual on Uniform Traffic Control (MUTCD)* and *FDOT Design Standards, Index 600 Series, Traffic Control through Work Zones*.
- (i) The most current edition of *FDOT Design Standards, Index 546* must be adhered to.
- (j) Horizontal Clearance and Clear Zone as specified in the *FDOT Plans Preparation Manual, Volume 1, Chapters 2 and 4* and *FDOT Design Standards, Index 700* must be adhered to.

- (k) Landscape shall not obstruct roadside signs or permitted outdoor advertising signs, (see Rule Chapter 14-40, Part 1 and Part III, Florida Administrative Code [F.A.C.]).
 - (l) The **AGENCY** shall provide the local **FDOT** Operation Center, located at 5548 N.W. 9th Avenue, Fort Lauderdale, FL 33309 (954) 776-4300, a twenty-four (24) hour telephone number and the name of a responsible person that the **DEPARTMENT** may contact. The **AGENCY** shall notify the local maintenance office forty-eight (48) hours prior to the start of the project.
 - (m) If there is a need to restrict the normal flow of traffic, it shall be done on off-peak hours (9 AM to 3 PM), and the party performing such work shall give notice to the local law enforcement agency within whose jurisdiction such road is located prior to commencing work on the project. The **DEPARTMENT'S** Public Information Office shall also be notified.
 - (n) The **AGENCY** shall be responsible to clear all utilities within the project limits.
 - (o) The **AGENCY** shall follow the minimum level of maintenance guidelines as set forth in **FDOT'S** Rule Chapter 14-40 Highway Beautification and Landscape Management, in the *FDOT Guide to Roadside Mowing and Maintenance Management System*, and Exhibit C Maintenance Plan for maintenance activities for landscape projects.
3. The **AGENCY** agrees to maintain the *landscape improvements*, as existing and the ones to be installed, within the description of Exhibit A as defined as: plantings, irrigation, and / or hardscape within the medians and areas outside the travel way to the right of way line and within the travelway as described in Exhibit C. The non-standard improvements to the travelway shall be maintained by the **AGENCY** regardless if the said improvement was made by the **DEPARTMENT**, the **AGENCY**, or others by periodic pruning, mowing, fertilizing, weeding, curb and sidewalk edging, litter pickup, necessary replanting, and / or repair following the **DEPARTMENT'S** landscape safety and plant care guidelines and Exhibit C, the Maintenance Plan. The **AGENCY'S** responsibility for maintenance shall include all landscaped / turfed and hardscape areas within the median and areas within the travel way to the right of way line. Coconut Palms must be kept fruit free year round. Hardscape shall mean tree grates; any non-standard lighting; any non-standard roadway, sidewalk, median or crosswalk surfacing (such as, but not limited to, interlocking pavers, stamped asphalt or stamped concrete). It shall be the responsibility of the **AGENCY** to restore an unacceptable ride condition of the roadway caused by the differential characteristics of non-standard surfacing and/or the header curb on Department of Transportation right-of-way within the limits of this Agreement. Additionally the **AGENCY** shall continue to put plywood across the openings of the decorative free standing wall whenever a storm approaches (Exhibit C).

Such maintenance to be provided by the **AGENCY** is specifically set out as follows: to maintain, which means the proper watering and fertilization of all plants and keeping them as free as practicable from disease and harmful insects; to properly mulching the plant beds; to keeping the premises free of weeds; to mowing the grass to the proper height; to properly pruning all plants which at a minimum includes: (1) removing dead or diseased parts of plants, (2) pruning such parts thereof to provide clear visibility to signage or for those using the roadway and or sidewalk; (3) preventing any other potential roadway hazards. Plants shall be those items which would be scientifically classified as plants and include but are not limited to trees, shrubs, groundcover and sod. To maintain also means removing or replacing dead or diseased plants in their entirety, or removing or replacing those that fall below original project standards. All plants removed for whatever reason shall be replaced by plants of the same size and grade as specified in the original plans and specifications. To maintain also means keeping the header curbs that contain the surfacing treatment in optimum condition. To maintain also means keeping the hardscape areas free from weeds and repairing said hardscape as is necessary to prevent a safety hazard. To maintain also means keeping litter removed from the median and areas outside the travel way to the right of way line.

If it becomes necessary to provide utilities (water/electricity) to the median or side areas for these improvements, all costs associated with accent lighting and irrigation installation, maintenance, fees and connections as well as on-going cost of the utility are the maintaining **AGENCY'S** responsibility. The **AGENCY** shall become responsible for the utilities upon final acceptance of the construction project by the **DEPARTMENT** (including any establishment or warranty period). The **AGENCY** shall be responsible for all fees and on-going costs during the establishment and warranty period and thereafter.

The above named functions to be performed by the **AGENCY** may be subject to periodic inspections by the **DEPARTMENT** at the discretion of the **DEPARTMENT**. Such inspection findings will be shared with the **AGENCY** and shall be the basis of all decisions regarding, repayment, reworking or agreement termination. The **AGENCY** shall not change or deviate from said plans without written approval of the **DEPARTMENT**.

4. This Agreement shall replace and supersede any and all preceding agreements only to the extent where the Agreement addresses State Road A1A, as listed in Exhibit E and except lease agreements dated April 25, 2005 and April 12, 2002 between the **DEPARTMENT** and the City of Fort Lauderdale. The landscape improvement plans attached to the referenced agreements shall by reference become a part of this agreement as if they were attached hereto. The **AGENCY** shall have the same duty to maintain those landscape improvements under this Agreement as the Agency did under the previous agreements, and as more specifically detailed in this Agreement.

Although the lease agreements dated April 25, 2005 and April 12, 2002 are still in effect, the **AGENCY** shall have the further responsibility to maintain that area described in the lease in accordance with this agreement in addition to the lease requirements.

If either lease expires or is not renewed the area of the lease shall be maintained in accordance with this Agreement.

The **AGENCY** agrees to reimburse the **DEPARTMENT** all monies expended for the Project, should the landscape improvement areas fail to be maintained in accordance with the terms and conditions of the Agreement.

5. If at any time after the **AGENCY** has assumed the landscape improvement areas and/or maintenance responsibility for the above-mentioned, it shall come to the attention of the **DEPARTMENT'S** District Secretary that the limits or a part thereof is not properly maintained pursuant to the terms of this Agreement, said District Secretary may at his/her option issue a written notice that a deficiency or deficiencies exist(s), by sending a certified letter to the **AGENCY**, to place said **AGENCY** on notice thereof. Thereafter the **AGENCY** shall have a period of thirty (30) calendar days within which to correct the cited deficiencies. If said deficiencies are not corrected within this time period, the **DEPARTMENT** may at its option, proceed as follows:
 - (a) Maintain the landscape improvements, or a part thereof, with **DEPARTMENT** or contractor's personnel and invoice the **AGENCY** for expenses incurred, or
 - (b) Terminate the Agreement in accordance with Paragraph 9 of this Agreement and remove, by **DEPARTMENT** or contractor's personnel, all of the landscape improvements installed under this Agreement or any preceding agreements except as to trees and palms and charge the **AGENCY** the reasonable cost of such removal.
6. It is understood between the parties hereto that the landscape improvements covered by this Agreement may be removed, relocated or adjusted at any time in the future as determined to be necessary by the **DEPARTMENT** in order that the adjacent state road be widened, altered or otherwise changed to meet with future criteria or planning of the **DEPARTMENT**. The **AGENCY** shall be given sixty (60) calendar days notice to remove said landscape improvements and existing landscape improvements after which time the **DEPARTMENT** may remove same. All permits (including tree permits), fees, and any mitigation associated with the removal, relocation or adjustments of these improvements are the maintaining **AGENCY'S** responsibility.
7. The **AGENCY** at its own expense and by FDOT permit shall install the landscape improvements described in Exhibit F. The **DEPARTMENT** shall be invited to assist the **AGENCY** in final inspection before acceptance of the job by the **AGENCY**. The

DEPARTMENT shall approve the job provided it complies with the permit.

8. The **DEPARTMENT** agrees to enter into a contract for the installation of landscape Project for an amount not to exceed \$ 34,266.48 as defined in Exhibit H.

The **DEPARTMENT'S** participation in the Project cost, as described in Exhibit H is limited to only those items which are directly related to this Project. The **AGENCY** shall be invited to assist the **DEPARTMENT** in final inspection at the end of the contractor's 90 day warranty and establishment period.

9. The **AGENCY** agrees to reimburse the **DEPARTMENT** all monies expended by the **DEPARTMENT** for the projects listed in Exhibit B and Exhibit F in the amounts listed in those agreements should the landscape improvement areas fail to be maintained in accordance with the terms and conditions of this Agreement in the amounts listed in those agreements.

10. This Agreement may be terminated under any one (1) of the following conditions:

- (a) By the **DEPARTMENT**, if the **AGENCY** fails to perform its duties under Paragraph 3, following ten (10) days written notice.
- (b) By the **DEPARTMENT**, for refusal by the **AGENCY** to allow public access to all documents, papers, letters, or other material subject to the provisions of Chapter 119, Florida Statutes, and made or received by the **AGENCY** in conjunction with this Agreement.

11. The term of this Agreement commences upon execution.

12. With respect to any of the **AGENCY'S** agents, consultants, subconsultants, contractors, sub-contractors, such party in any contract for this project shall agree to indemnify, defend, save and hold harmless the **DEPARTMENT** from all claims, demands, liabilities, and suits of any nature arising out of, because of or due to any intentional and/or negligent act or occurrence, omission of commission of such agents, consultants, subconsultants, contractors and/or subcontractors. The **AGENCY** shall provide to the **DEPARTMENT** written evidence of the foregoing upon the request of the **DEPARTMENT**. It is specifically understood and agreed that the indemnification clause does not cover or indemnify the **DEPARTMENT** for its own negligence.

In the event that **AGENCY** contracts with a third party to provide the services set forth herein, any contract with such third party shall include the following provisions:

- (a) **AGENCY'S** contractor shall at all times during the term of this Agreement keep and

maintain in full force and effect, at contractor's sole cost and expense, Comprehensive General Liability with minimum limits of \$1,000,000.00 per occurrence combined single limit for Bodily Injury Liability and Property Damage Liability and Worker's Compensation insurance with minimum limits of \$500,000.00 per Liability. Coverage must be afforded on a form no more restrictive than the latest edition of the Comprehensive General Liability and Worker's Compensation policy without restrictive endorsements, as filed by the Insurance Services Office and shall name **DEPARTMENT** as an additional insured.

(b) **AGENCY'S** contractor shall furnish **AGENCY** with Certificates of Insurance of Endorsements evidencing the insurance coverage specified herein prior to the beginning performance of work under this Agreement.

(c) Coverage is not to cease and is to remain in full force and effect (subject to cancellation notice) until all performance required of **AGENCY'S** contractor is completed. All policies must be endorsed to provide **DEPARTMENT** with at least thirty (30) days notice of cancellation and or/or restriction. If any of the insurance coverage will expire prior to the completion of work, copies of renewal policies shall be furnished at least (30) days prior to the date of expiration.

13. The **AGENCY** may construct additional landscape improvements within the limits of the rights-of-ways identified as a result of this document, subject to the following conditions:

(a) Plans for any new landscape improvements shall be subject to approval by the **DEPARTMENT'S** District Landscape Architect. The **AGENCY** shall not change or deviate from said plans without written approval by the **DEPARTMENT**.

(b) The **AGENCY** shall procure a permit from the **DEPARTMENT**

(c) All landscape improvements shall be developed and implemented in accordance with appropriate state safety and road design standards;

(d) The **AGENCY** agrees to comply with the requirements of this Agreement with regard to any additional landscape improvements installed at no cost to the **DEPARTMENT**;

14. In the event the **DEPARTMENT** decides to construct additional landscape improvements or modify these improvements within the limits of the rights of way herein previously identified, the **DEPARTMENT** and the **AGENCY** shall agree in writing and require signature from the responsible **AGENCY** (*Chairperson/Mayor/City Manager/City Engineer/Director of Public Works/Director of Parks and Recreation approval signature*) to the new landscape improvements and maintenance plan thereof. If the **AGENCY** and the **DEPARTMENT** are unable to come to an agreement, the **DEPARTMENT**, in its sole

discretion, may install sod and the agency shall be required, pursuant to this Agreement, to continue maintaining said landscape improvements including existing vegetation.

15. This writing embodies the entire Agreement and understanding between the parties hereto and there are no other agreements and understanding, oral or written, with reference to the subject matter hereof that are not merged herein and superseded either wholly or partially hereby except as specifically stated herein, except lease agreements dated April 25, 2005 and April 12, 2002 between the **DEPARTMENT** and the City of Fort Lauderdale.
16. The **DEPARTMENT**, during any fiscal year, shall not expend money, incur any liability, or enter into any contract which, by its terms, involves the expenditure of money in excess of the amounts budgeted as available for expenditure during such fiscal year. Any contract, verbal or written, made in violation of this subsection is null and void, and no money may be paid on such contract. The **DEPARTMENT** shall require a statement from the Comptroller of the **DEPARTMENT** that funds are available prior to entering into any such contract or other binding commitment of funds. Nothing herein contained shall prevent the making of contracts for periods exceeding 1 year, but any contract so made shall be executory only for the value of the services to be rendered or agreed to be paid for in succeeding fiscal years; and this paragraph shall be incorporated verbatim in all contracts of the Department which are for an amount in excess of TWENTY FIVE THOUSAND DOLLARS (\$25,000.00) and which have a term for a period of more than 1 year.
17. The **DEPARTMENT'S** District Secretary shall decide all questions, difficulties and disputes of any nature whatsoever that may arise under or by reason of this Agreement, the prosecution or fulfillment of the service hereunder and the character, quality, amount and value thereof; and his/her decision upon all claims, questions and disputes shall be final and conclusive upon the parties hereto.
18. This Agreement may not be assigned or transferred by the **AGENCY** in whole or part without the consent of the **DEPARTMENT**.
19. This Agreement shall be governed by and construed in accordance with the laws of the State of Florida. In the event of a conflict between any portion of the contract and Florida law, the laws of Florida shall prevail.
20. This Agreement constitutes the complete and final expression of parties with respect to the subject matter hereof and supersedes all prior agreements, understandings, or negotiations with respect thereto, with the exception of the landscape improvements plans incorporated by reference in Exhibit B.

21. Any and all notices given or required under this Agreement shall be in writing and either personally delivered with receipt acknowledgement or sent by certified mail, return receipt requested. All notices shall be sent to the following addresses:

If to the Department

State of Florida Department of Transportation
3400 West Commercial Blvd.
Fort Lauderdale, Florida 33309-3421
Attention: Elisabeth A. Hassett, R.L.A.
FDOT District IV Landscape Architect

If to the Agency:

City of Fort Lauderdale
1350 W. Broward Blvd.
Fort Lauderdale, Florida 33312
Attention: Philip Thornburg
Director of Parks & Recreation

Exhibit A: City of Fort Lauderdale SR A1A City Limits & Agreement Status Graphic

Exhibit B: Projects Pending Agreements

Exhibit C: Maintenance Plan

Exhibit D: Non Standard Surfaces on DOT Travelway

Exhibit E: Existing Project Agreements and Lease Agreement Descriptions

Exhibit F: Pending Department Project's Landscape Improvement Plans

Exhibit G: Pending Agency Project's Landscape Improvement Plans

Exhibit H: Pending Department Project's Cost Estimate

IN WITNESS WHEREOF, the parties hereto have executed this Agreement effective the day and year first above written.

WITNESSES:

Safeya B. Ali
Safeya B. Ali

Print Name

H. Skovindrudal

Hatema Skovindrudal

Print Name

(SEAL)

CITY OF FORT LAUDERDALE,
a municipal corporation

By [Signature]
IM NAUGLE, Mayor

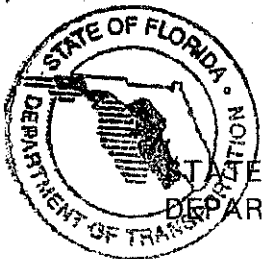
By [Signature]
GEORGE GRETSAS, City Manager

ATTEST:

[Signature]
JONDA K. JOSEPH, City Clerk

Approved as to form:

[Signature]
HARRY A. STEWART, City Attorney
Assistant



STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

By: [Signature] 1/31/08
Interim Transportation Development Director Date

Attest: [Signature] (SEAL)
Executive Secretary

Approval as to Form

[Signature] 1/31/2008
District General Counsel Date

**SECTION NO: 86010, 81180
86050, 86180**
S.R. NO(S): A1A
COUNTY: BROWARD
FM NO.(S): 22811.6, 41687.2
WPI NO.(S): 4110739, 4110882

EXHIBIT A

**CITY OF FORT LAUDERDALE
SR A1A WITHIN CITY LIMITS**

All state right of way on SR A1A within the limits of the City of Fort Lauderdale which current city limits are from:

SR A-1-A: From State Road 5 (US 1) (M.P. 0.000) (Section 86180000) (US 1) to Flamingo Avenue (M.P. 6.410) (Section 86050000)

By Individual Sections:

Southbound One Way (Section 86050100):

M.P. 0.000 (Seville Street) to M.P. 0.926 (Bahia Mar Hotel Entrance)

Northbound One Way / Seabreeze Boulevard / 17th Street Causeway (Section 8618000):

M.P. 0.000 (SR 5) (US 1) to M.P. 2.964 (SR 842) (Las Olas Blvd.)

North Fort Lauderdale Beach Area (Section 86050000):

M.P. 2.039 (south of Poinsettia Street) to M.P. 6.410 (Flamingo Drive)

EXHIBIT A

**CITY OF FORT LAUDERDALE CURRENT AGREEMENT STATUS
FOR STATE ROAD A1A:**

Graphic of areas currently maintained by the Agency pursuant to this Maintenance Memorandum of Agreement (MOA) (areas in green and orange), areas pending to be landscaped (in blue), areas not currently being maintained by the Agency (in yellow) and the Agency's existing lease agreements (in purple) shall be maintained by the Agency as provided for in this agreement.

See Attached

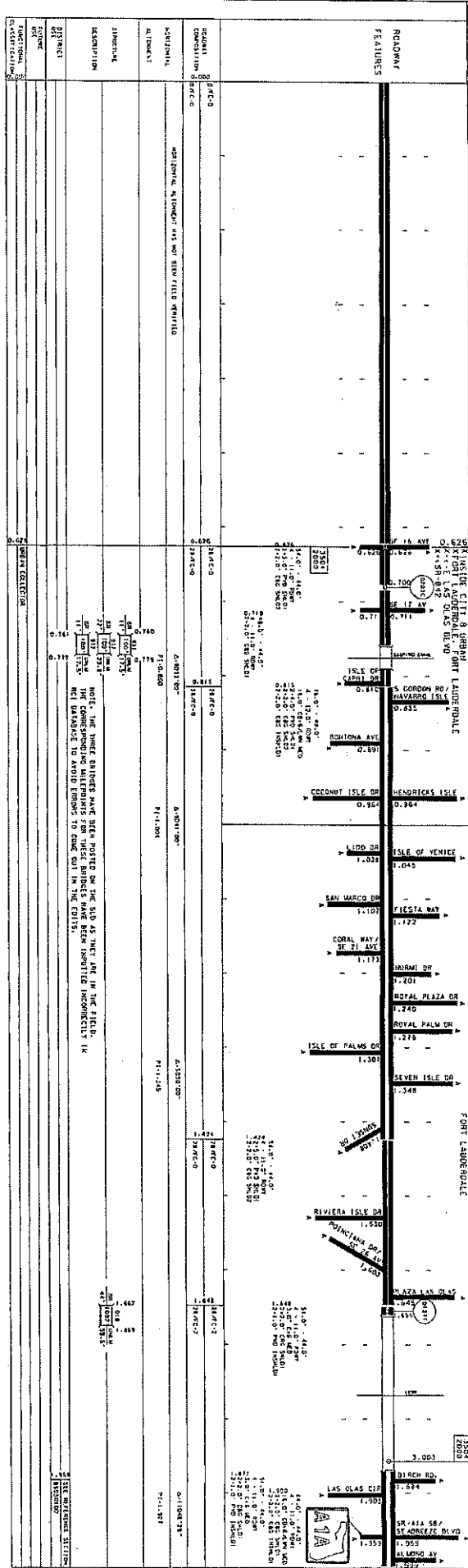


EXHIBIT A

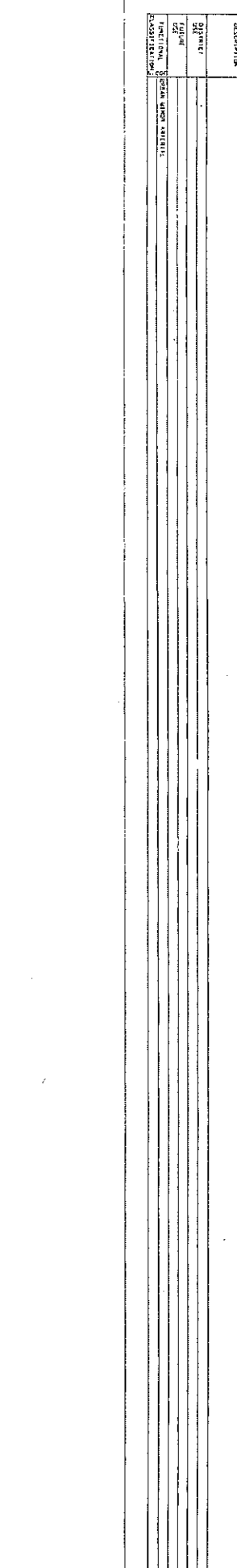
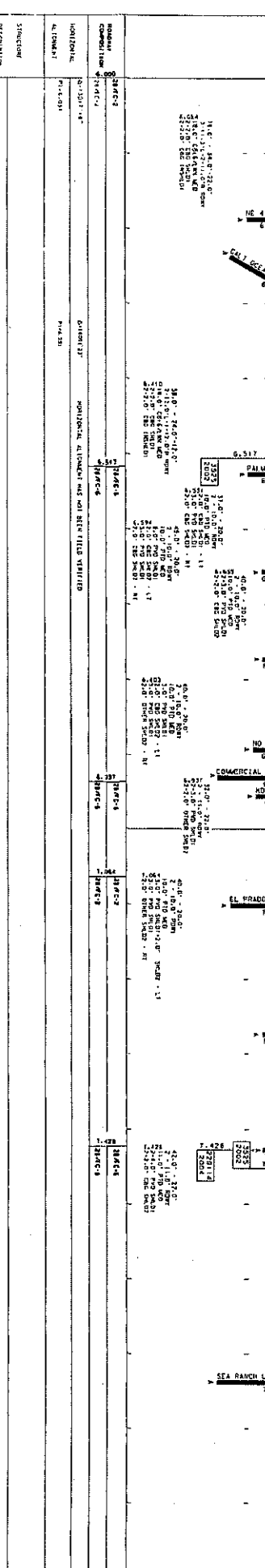
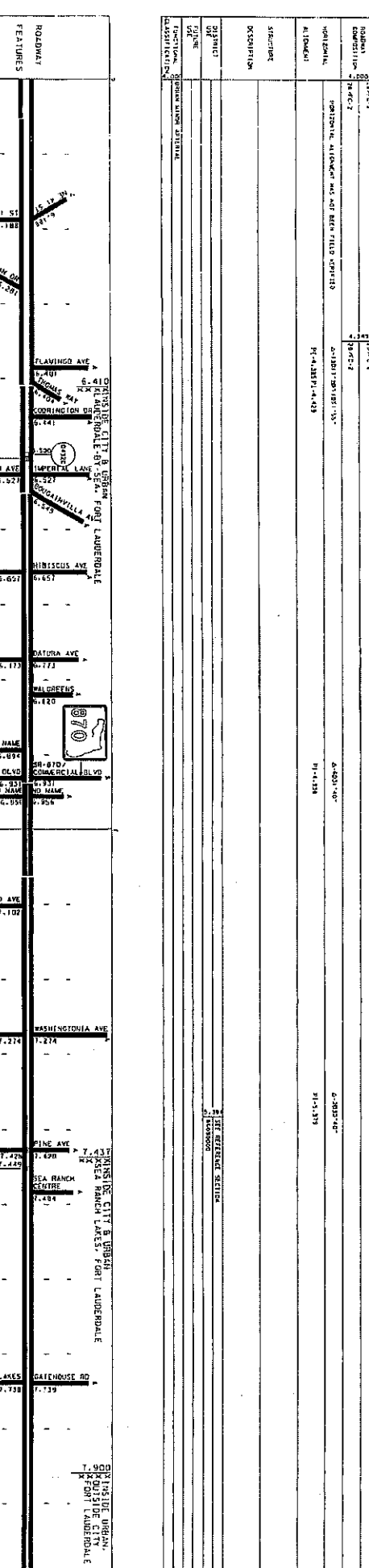
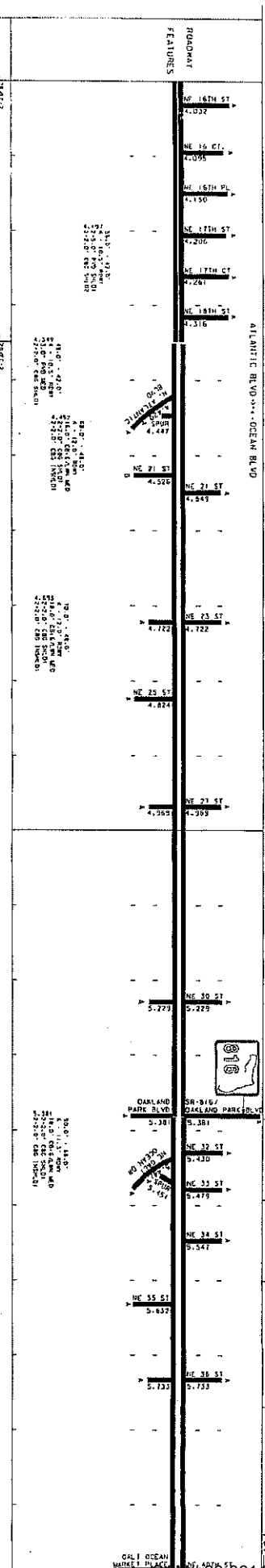
**CITY OF FORT LAUDERDALE STRAIGHTLINE DIAGRAM
FOR STATE ROAD A1A**

See Attached

SR 842
 COUNTY: BROWARD
 SECTION: 86050000



ROADWAY	COMPOSITION	CLASSIFICATION	SECTION	SECTION	SECTION
E. LAS OLAS BLVD	SR-842	SR-842	SR-842	SR-842	SR-842
SEVILLE ST	SR-842	SR-842	SR-842	SR-842	SR-842
GRANADA ST	SR-842	SR-842	SR-842	SR-842	SR-842
BAYSHORE ST	SR-842	SR-842	SR-842	SR-842	SR-842
RICHMAN ST	SR-842	SR-842	SR-842	SR-842	SR-842
VIKRAMAR ST	SR-842	SR-842	SR-842	SR-842	SR-842
WINDHAM ST	SR-842	SR-842	SR-842	SR-842	SR-842
TERRANIAN ST	SR-842	SR-842	SR-842	SR-842	SR-842
ADURAMAR ST	SR-842	SR-842	SR-842	SR-842	SR-842
BELMAR ST	SR-842	SR-842	SR-842	SR-842	SR-842
VISTAMAR ST	SR-842	SR-842	SR-842	SR-842	SR-842
NE D ST	SR-842	SR-842	SR-842	SR-842	SR-842
ISLE OF VENICE	SR-842	SR-842	SR-842	SR-842	SR-842
ISLAND DR	SR-842	SR-842	SR-842	SR-842	SR-842
SAN MARCO DR	SR-842	SR-842	SR-842	SR-842	SR-842
FIESTA WAY	SR-842	SR-842	SR-842	SR-842	SR-842
NORMA DR	SR-842	SR-842	SR-842	SR-842	SR-842
ROYAL PLAZA DR	SR-842	SR-842	SR-842	SR-842	SR-842
ROYAL PALM DR	SR-842	SR-842	SR-842	SR-842	SR-842
ISLE OF PALMS DR	SR-842	SR-842	SR-842	SR-842	SR-842
SEVEN ISLE DR	SR-842	SR-842	SR-842	SR-842	SR-842
RIVIERA ISLE DR	SR-842	SR-842	SR-842	SR-842	SR-842
PRINCETON DR	SR-842	SR-842	SR-842	SR-842	SR-842
BIRCH DR	SR-842	SR-842	SR-842	SR-842	SR-842
LAS OLAS EXP	SR-842	SR-842	SR-842	SR-842	SR-842
ST ANDREW DR	SR-842	SR-842	SR-842	SR-842	SR-842



STRAIGHT LINE DIAGRAM OF ROAD INVENTORY

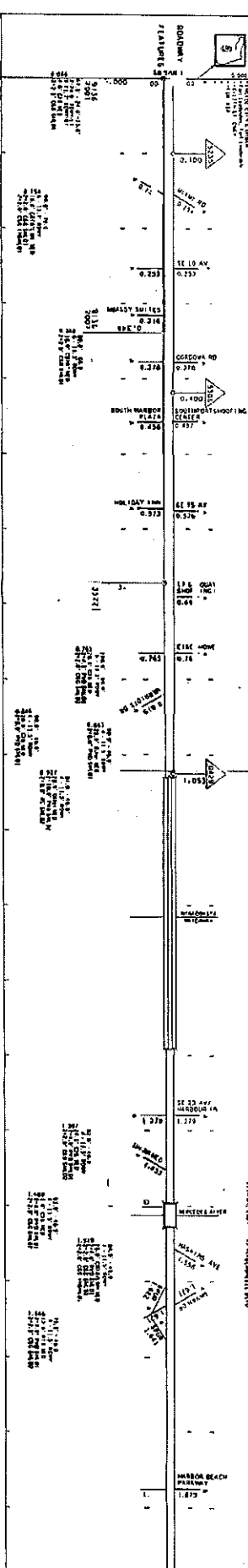
FLORIDA DEPARTMENT OF TRANSPORTATION

STATIONING: STA 0+00 TO STA 2+964.10

COUNTY: BROWARD

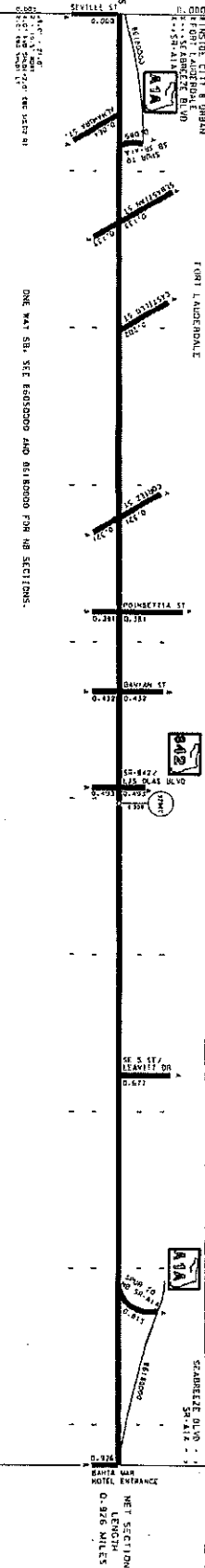
PROJECT NO: 86180000

DATE: 11/11/07



STATION	ROADWAY	WIDTH	TYPE	REMARKS
0+00	ROADWAY 1	12.00	ASPH	START OF ROADWAY 1
1+000.00	ROADWAY 1	12.00	ASPH	END OF ROADWAY 1
1+000.00	ROADWAY 2	12.00	ASPH	START OF ROADWAY 2
2+000.00	ROADWAY 2	12.00	ASPH	END OF ROADWAY 2
2+000.00	ROADWAY 3	12.00	ASPH	START OF ROADWAY 3
2+964.10	ROADWAY 3	12.00	ASPH	END OF ROADWAY 3

STATION	ROADWAY	WIDTH	TYPE	REMARKS
0+00	ROADWAY 1	12.00	ASPH	START OF ROADWAY 1
1+000.00	ROADWAY 1	12.00	ASPH	END OF ROADWAY 1
1+000.00	ROADWAY 2	12.00	ASPH	START OF ROADWAY 2
2+000.00	ROADWAY 2	12.00	ASPH	END OF ROADWAY 2
2+000.00	ROADWAY 3	12.00	ASPH	START OF ROADWAY 3
2+964.10	ROADWAY 3	12.00	ASPH	END OF ROADWAY 3



ROADWAY	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION
ROADWAY	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION

ROADWAY	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION
ROADWAY	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION

ROADWAY	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION
ROADWAY	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION	SECTION

SECTION NO: 86010, 81180,
86050, 86180
S.R. NO(S): A1A
COUNTY: BROWARD
FM NO.(S): 22811.6, 41687.2
WPI NO.(S): 4110739, 4110882

EXHIBIT B

PROJECTS PENDING AGREEMENTS

Agency Installed Project:

State Road A1A from just south of the southbound A1A spur (M.P.2.964) (Section 86180000) to Sunrise Boulevard (M.P.3.342) (Section 8650000). Plan dated 6/1/07.

Department Installed Project:

State Road A1A from just south of N.E. 18th Street (M.P.4.270) to SR 816 (Oakland Park Blvd.) (M.P.5.381), (Section 86050) Plan dated 5/18/07, FM# 416872-1-58-01.

SECTION NO: 86010, 86050,
81180, 86180
S.R. NO(S): A1A
COUNTY: BROWARD
FM NO.(S): 22811.6, 41687.2
WPI NO.(S): 4110739, 4110882

EXHIBIT C

MAINTENANCE PLAN

See Attached

MAINTENANCE PLAN

Landscape Improvements

Project State Road No(s): SR A1A
Project Limits: From SR 5 (M.P.0.000) to Flamingo Dr. (M.P.6.410)
Maintaining Agency: City of Fort Lauderdale
Date: September 10, 2007

I. General Maintenance Requirements and Recommendations:

The purpose of a plan for landscape and irrigation maintenance practices is to allow the plant material on your project to thrive in a safe and vigorous manner while fulfilling their intended purpose and conserving our natural resources. Plantings shall be maintained to avoid potential roadway hazards and to provide required clear visibility, accessibility, clearance, and setbacks as set forth by Florida Department of Transportation (FDOT) governing standards and specifications: *FDOT Design Standards, FDOT Plans Preparation Manual Vol. I, Chapter 2.11* and *FDOT Standard Specifications for Road and Bridge Construction* as amended by contract documents; and all other requirements set forth by the District 4 Operations Maintenance Engineer. The initial portion of the Maintenance Plan describes general maintenance requirements and recommendations. The concluding section is recommendations prepared by the Landscape Architect of Record specific to the attached approved plans.

Watering Requirements:

Watering is a critical concern regarding the maintenance of healthy plant material and for observing water conservation practices. The amount of water to apply at any one time varies with the weather, drainage conditions and water holding capacity of the soil. For plant materials that have been established, it is imperative that any mandated water restrictions be fully conformed to on FDOT roadways.

Proper watering techniques should provide even and thorough water dispersal to wet the entire root zone, but not saturate the soil or over-spray onto travel lanes.

Irrigation System:

The Agency shall ensure there are no roadway overspray or irrigation activities during daytime hours (most notably "rush hour" traffic periods). It is imperative the irrigation controller is properly set to run early enough that the watering process will be entirely completed before high traffic periods as well as adhere to mandated water restrictions. To ensure water conservation, the Agency shall monitor the system for water leaks and the rain sensors to ensure they are functioning properly so that the system shuts down when there is sufficient rainfall.

Integrated Plant Management:

An assessment of each planting area's soil is recommended to periodically determine the nutrient levels needed to sustain healthy, vigorous plant growth.

Palms, shrubs, trees and turf areas should be fertilized in such a manner and frequency to ensure that the plant material remains healthy and vigorously growing. Establishment of an integrated plant management program is encouraged to ensure healthy plants which are free of disease and pests.

Mulching:

Mulch planting beds in such a manner as to: prevent weed growth; retain moisture to the plants; protect against soil erosion and nutrient loss; maintain a more uniform soil temperature; and improve the appearance of the planting beds. Avoid mulch mounded up on the trunks of trees, palms, and the base of shrubs to encourage air movement in this area which aids in lowering disease susceptibility. Cypress mulch is prohibited on state right of way.

Pruning:

All pruning, and the associated safety criteria, shall be performed according to American National Standard Institute ANSI A300 standards and shall be supervised by an International Society of Arboriculture (ISA) Certified Arborist. Pruning shall be carried out with the health and natural growth of plant materials in mind, and to specific pruning heights maintaining clear visibility for motorists, and vertical clearance for pedestrian, bicyclist, and truck traffic where applicable. Visibility windows must be maintained free of view obstructions and all trees and palms (with particular attention to fronds and fruit) maintained to prevent potential roadway hazards. The specific pruning heights are determined by understanding the designer's intent when selecting and placing the plants. The intended mature maintained height and spread of plants should be noted on the planting plans. (See Specific Requirements and Recommendations per Approved Landscape & Irrigation Design for these guidelines).

Staking and Guying:

All staking materials, except for replacements, are removed by the completion of FDOT warranty period or at one year (whichever comes first). Any subsequent staking and guying activities by the Agency must adhere to *FDOT Design Standards* guidelines (See Index 544). The Agency shall closely monitor staking and guying attachment materials so that they are securely fastened to avoid potential roadway hazards.

Turf Mowing:

All grassed areas are to be mowed and trimmed with sufficient frequency to maintain a deep, healthy root system while providing a neat and clean appearance to the urban landscape.

Litter Control:

The project site shall remain as litter free as practicable. It is recommended to recycle this litter to avoid unnecessary waste by its reuse.

Weeding/Herbicide:

All planting areas shall be maintained as weed free as practicable enlisting integrated pest management practices in areas specified on the plans and by maintaining proper mulch levels. Extreme care is recommended if using a chemical herbicide to avoid overspray onto plant materials. Any damage resulting from overspray is the applicator's responsibility to restore the plantings to the approved plans.

Plant Replacement:

Plant replacement shall be the same species and specification as the approved plan. Only plants graded Florida #1 per the Florida Department of Agriculture and Consumers Services, Grades and Standards for Nursery Plants is permitted on FDOT roadways. Should it become necessary to change the species, a general use permit is required from FDOT for approval by the FDOT District Landscape Architect.

Hardscape (Specialty Surfacing):

All specialty pavers and tree grates shall be maintained in such a manner as to prevent any potential tripping hazards and protect damage to the pavers and tree grates. Final surface tolerance from grade elevations shall, at a minimum, meet the most current Interlocking Concrete Pavement Institute (ICPI), Section 23 14 13 Interlocking Concrete Pavers, Part 3.05. If the pavers or tree grates become damaged they shall be replaced with the same type and specification as the approved plan.

Hardscape (Non-Standard Travelway Surfacing):

It shall be the responsibility of the AGENCY to restore an unacceptable ride condition of the roadway, including asphalt pavement, caused or contributed by the installation or failure of non-standard surfacing, and/or the header curb, on the Department of Transportation right-of-way within the limits of this Agreement. Pavement restoration areas or "patches" will have a minimum length of 10-ft, measured from the edge of the header curb, and a width to cover full lanes for each lane affected by the restoration.

Pavement restoration will be performed in accordance with the latest edition of the DEPARTMENT'S *Standard Specifications for Road and Bridge Construction*, and the DEPARTMENT'S *Design Standards*.

It shall be the responsibility of the AGENCY to maintain all signs located within a non-standard surfacing area. Such maintenance to be provided by the AGENCY shall include repair and replace of the sign panel, post and base.

The AGENCY will be responsible to grade and sod any disturbed areas, repair or replace damage pavement, signs, sidewalk, pull boxes, curb, gutter, and drainage structures, caused by maintenance operation to the wall.

All work performed shall be in accordance with the latest edition of the DEPARTMENT'S *Standard Specifications for Road and Bridge Construction*, and the DEPARTMENT'S *Design Standards*.

Hardscape (Decorative Free Standing Wall Maintenance):

The AGENCY agrees to continue to put plywood across the openings of the decorative free standing wall located along the east side of SR-A1A, from Sunrise Blvd to NE 18th Street whenever a storm approaches.

Hardscape (Landscape Accent Lighting)

Landscape accent lighting shall be maintained in such a manner as to prolong the life of the lighting fixture and prevent potential safety hazards. If the lighting fixtures and their system become damaged, they shall be replaced with the same type and specification as the approved plan.

Maintenance Traffic Control

Reference the FDOT website regarding the selection of the proper traffic control requirements to be provided during routine maintenance and / or new installations of this DOT roadway.

Website: Series 600 Traffic Control through Work Zones

<http://www.dot.state.fl.us/rddesign/DesignStandards/Standards.htm>

II. Specific Site Maintenance Requirements and Recommendations:

The Coconut Palms shall be kept fruit free year round to prevent potential safety hazards. The understory plant materials selected for use within the restricted planting areas (Limits of Clear Sight) of the medians are to be maintained at a height in compliance with FDOT Design Standards Index 546, Page 6 of 6, Window Detail.

REFERENCES

American National Standard (ANSI) A300, *Tree Care Operations – Trees, Shrub, and Other Woody Plant Maintenance – Standard Practices (Pruning)* available for purchase @

<http://webstore.ansi.org/ansidocstore/find.asp?>

Florida Department of Agriculture, *Florida Grades and Standards for Nursery Stock*

<http://www.doacs.state.fl.us/pi/plantinsp/publications.html>

Florida Department of Transportation, *2006 FDOT Design Standards Landscape Installation*

<http://www.dot.state.fl.us/rddesign/rd/RTDS/06/544.pdf>

Florida Department of Transportation, *2006 FDOT Sight Distance at Intersections*

<http://www.dot.state.fl.us/rddesign/rd/RTDS/06/546.pdf>

Florida Department of Transportation, *FDOT Plans Preparation Manual Vol. I, Chapter 2.11 (PPM)*

http://www.co.palm-beach.fl.us/mpo/library/fdot/fdot_design.htm

Florida Department of Transportation, *FDOT Standard Specifications for Road and Bridge Construction, Section 580-Landscape Installation*

<http://www.dot.state.fl.us/specificationsoffice/July06WB/5800000SS.pdf>

Florida Department of Transportation, Landscape Architecture Website

<http://www.dot.state.fl.us/emo/beauty/FLA.htm>

Interlocking Concrete Pavement Institute (ICPI)

<http://www.icpi.org/> <http://www.fisstate.org>

International Society of Arboriculture (ISA)

www.isa-arbor.com

Manual on Uniform Traffic Control Devices

<http://www.mutcd.fhwa.dot.gov>

Florida Irrigation Society

<http://www.fisstate.org>

Florida Accessibility Code

<http://www.dca.state.fl.us/fbc/information/accessibility.htm>

Guide to Roadside Mowing and Guide to Turf Management available for purchase @

<http://infonet.dot.state.fl.us/SupportServicesOffice/plist.htm>

SECTION NO: 86010, 86050,
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FM NO.(S): 22811.6, 41687.2
WPI NO.(S): 4110739, 4110882

EXHIBIT D

NON STANDARD SURFACES ON DOT TRAVELWAY (Includes only surfaces on A1A; does not include any side streets)

- 1. At Intersection of US-1 and S.E. 17th Street – Paver crosswalk (all sides)
Section 86180, SLD milepost 0.000**
- 2. At S.E. 10th Avenue – Paver crosswalks (2)
Section 86180, SLD milepost 0.253**
- 3. At S.E. 5th Street – Paver crosswalk (2)
Section 86180, SLD milepost 2.649**
- 4. At Cortez Street - Paver crosswalks (2)
Section 86050, SLD milepost 2.210**
- 5. Near Seville Street - Paver crosswalks (2)
Section 86050, SLD milepost 2.497**
- 6. Under the pedestrian overpass - Paver crosswalks (1)
Section 86050, SLD milepost 2.600 (est.)**
- 7. Near Sebastian Street - Paver crosswalks (2)
Section 86050, SLD milepost 2.500 (est.)**
- 8. At Bayshore Street - Paver crosswalks (2)
Section 86050, SLD milepost 2.644**

9. At Riomar Street - Paver crosswalks (2)
Section 86050, SLD milepost 2.716
10. At Terramar Street - Paver crosswalk (2)
Section 86050, SLD milepost 2.862
11. At Vistamar Street - Paver crosswalks (2)
Section 86050, SLD milepost 3.008
12. At N.E. 9th Street - Paver crosswalks (2)
Section 86050, SLD milepost 3.254
13. At Sunrise Blvd. - Paver crosswalk (1)
Section 86050, SLD milepost 3.325
14. At N.E. 14th Court - Paver crosswalk (1)
Section 86050, SLD milepost 3.875
15. At N.E. 16th Court - Paver crosswalk (1)
Section 86050, SLD milepost 4.095
16. At Castillo Street - Paver crosswalks (2)
Section 86050, SLD milepost 2.325
(south bound side only)

SECTION NO: 86010, 86050,
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COUNTY: BROWARD
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EXHIBIT E

EXISTING PROJECT AGREEMENTS AND LEASE AGREEMENT DESCRIPTIONS

The following agreements have been executed for projects that have been installed, in accordance with the plans and specifications attached hereto and incorporated herein but not exclusive to the following agreement descriptions:

AGREEMENTS SUPERSEDED BY THIS AGREEMENT

6/7/02 State Road A-1-A (17th Street Causeway) from SR 5 (US 1) (M.P. 0.000) to Eisenhower (M.P.0.765)(Section 86180) Contract No. AL907, FM#2228116-1-52-01, landscape and irrigation within the median and areas outside the travel way to the right of way line, excluding sidewalk and crosswalks unless constructed with other than concrete or asphalt at the Agency's request. Resolution No. 02-66 (4/23/02).

1/14/00 State Road A-1-A from the Mercedes River Bridge (M.P. 1.520) to Seabreeze Boulevard (M.P. 2.611) FIN No. 22811615201, all landscape/turfed areas and areas covered with interlocking pavers or similar type surfacing (hardscape) within the median and areas within the travel way to the right of way line, including paver sidewalk, paver crosswalks, paver intersections and all paver header curbs on Department of Transportation right-of-way within the limits of the Project. Resolution No. 99-175 (12/7/99).

3/17/97 State Road A-1-A from NE 9th Street (M.P. 3.254) to NE 19th Court (M.P. 4.343) State Project No. 86180-3522, W.P.I. 4110882, Contract No. AD719, all landscaped/turfed areas, areas covered with interlocking pavers or similar type surfacing (hardscape) and the graffiti coating/aesthetics of the concrete wall. Resolution No. 96-161 (10/1/96).

AGREEMENTS EXCEPTED OUT OF THIS AGREEMENT

4/12/02 Airspace Agreement. Lease of underdeck areas of the E. Clay Shaw Bridge (17th St. Causeway Bridge for the purpose of: Access, parking and a “park-like” area. Resolution No. 02-47. (3/19/02)

Lease Addendum: 4/12/07. 4/12/2002. Airspace Agreement Addendum: Lessee shall be responsible for any and all maintenance from the outer edge of the right of way for:

- D4 Highway Beautification Grant and MMOA (DSF) (see below)
- Underdeck parking
- Graffiti removal from structures
- Lighting per D4 JPA for Highway Lighting (Municipal). Resolution No. 97-35.
- Parking resurfacing

4/25/05 Lease Agreement. State Road A-1-A from Bahia Mar (M.P. 0.926) to Bayshore (M.P.2.644) Project #F-5320.Lease agreement with a maintenance requirement for permitting café tables and incidental related activities. Sidewalk cafes are restricted to the sidewalk area abutting the boundary lines of the property on which the restaurant owned by the applicant is located. Resolution No. 05-35 (4/1/05).

Lease Addendum: 4/25/2005. Landscape and other architectural enhancements: Landscape, sidewalks, pavers, and other non-standard decorative aesthetic features.

8/14/97 DISTRICT FOUR (4) HIGHWAY BEAUTIFICATION GRANT AND MAINTENANCE MEMORANDUM OF AGREEMENT (DSF). State Road A-1-A from Eisenhower Blvd. (M.P. 0.765) to the Mercedes River Bridge (M.P. 1.497) State Project No. 86180-3522, all landscaped/turfed areas and areas covered with interlocking pavers, electrical power for the landscape/hardscape lighting, water for the irrigation system, and the graffiti coating/aesthetics of: the hardscape elements on Department of Transportation right-of-way within the limits of the project: landscaping; landscape irrigation; landscape lighting; brick pavers; decorative concrete block walls; two decorative bus shelters; two pedestrian stairways adjacent to the west bridge abutment (including gazebos); two gazebos adjacent to the west bank of the Intracoastal Waterway; the paved parking facilities beneath the deck of the proposed bridge. Resolution No. 97-37 (2/18/97).

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FM NO.(S): 22811.6, 41687.2
WPI NO.(S): 4110739, 4110882

EXHIBIT F

PENDING DEPARTMENT PROJECT'S LANDSCAPE IMPROVEMENT PLANS

Please see attached plans by: Gentile, Holloway & O'Mahoney

Dated: 7/3/07

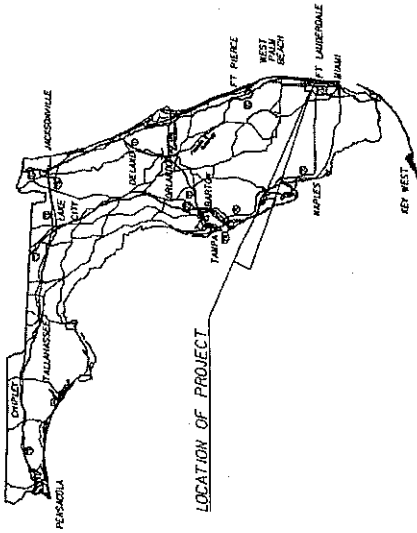
**STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION**

CONTRACT PLANS

FINANCIAL PROJECT ID 416872-1-52-01
(FEDERAL FUNDS)
BROWARD COUNTY (86050)
STATE ROAD NO. A1A (OCEAN BLVD)

LANDSCAPE PLANS
LANDSCAPE PLANS

SHEET NO.	SHEET DESCRIPTION
LD-1	KEY SHEET
LD-2 - LD-3	QUANTITIES
LD-4	LANDSCAPE NOTES
LD-5 - LD-6	LANDSCAPE PLANS
LD-7 - LD-17	IRRIIGATION PLANS (ONLY SHEETS W/ IRRIGATION)
LD-18	IRRIIGATION TABLE AND NOTES
LD-19	IRRIIGATION DETAILS
LD-20 - LD-33	TREE PERMIT PLANS



LANDSCAPE SHOP DRAWINGS
TO BE SUBMITTED TO:
JASON LITTEKICK, ASLA
GENTILE, HOLLOWAY, O'MAHONEY, & ASSOC.
1901 COMMERCIAL LANE, SUITE 101
JUPITER, FLORIDA 33458
561-515-9557

PLANS PREPARED BY:
GEORGE G. GENTILE, FASLA L0000630
Gentile Holloway O'Mahoney
ARCHITECTS, INC.
1901 Commercial Lane
Jupiter, FL 33458
561-515-9557 FAX
561-515-9160
WWW.GENTILEHOLLOWAYOMAHONEY.COM
CERTIFICATION OF AUTHORIZATION NO. L0000077
ISSUED: 01-11-2011
RECORD NO. FES003348001

NOTE: THE SCALE OF THESE PLANS MAY
HAVE CHANGED DUE TO REPRODUCTION.

KEY SHEET REVISIONS	
DATE	DESCRIPTION

LANDSCAPE PLANS
LANDSCAPE
ARCHITECT OF RECORD: GEORGE G. GENTILE, FASLA

PLAN NO. 00000630

FISCAL YEAR	09	SHEET NO.	LD-1
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APPLICABLE DESIGN STANDARDS MODIFICATIONS: **04/04/05**
For Design Standards modifications go to the following Web Site:
<http://www.dot.state.fl.us/refer/refer.asp?DataID=2005Standards/Standards.htm>

PROJECT MANAGER: BING WANG, PE

GENERAL NOTES

1. THE LOCATION OF PLANTS, AS SHOWN ON THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE UNPREDICTED FIELD CONDITIONS, TO COMPLY WITH SAFETY SETBACKS, OR AS OTHERWISE DIRECTED OR APPROVED BY THE ENGINEER. THE CONTRACTOR SHALL FLAG ALL PROPOSED TREE BY THE ENGINEER AND FOR HIS OR HER APPROVAL PRIOR TO PLANTING.
2. ABOVE AND BELOW GROUND UTILITIES SHALL BE VERIFIED AND LOCATED BY THE LANDSCAPE CONTRACTOR PRIOR TO COMMENCING WORK IN THE PROJECT AREA. IF UTILITY PLANS ARE AVAILABLE, THE CONTRACTOR SHALL EXAMINE THEM AND BRING ANY AND ALL CONFLICTS TO THE ATTENTION OF THE PROJECT ENGINEER, WHO SHALL COORDINATE THE NECESSARY ADJUSTMENTS WITH THE UTILITY PROVIDER. WHEN WORKING IN AN AREA WHERE KNOWN UTILITIES EXIST, UTILITY COMPANIES MAY NEED TO BE STAGED BY A SUPERVISOR OR THE UTILITY COMPANIES. THE CONTRACTOR HAS THE OPTION TO CONTACT LOCATION OF THE UTILITIES WHICH SUBSCRIBE TO THEM SERVICE. ADJUST TREE LOCATIONS WHEN NECESSARY NOT EXISTING UTILITIES.
3. UTILITY OWNERS:

COMPANIES
 BELLSOUTH
 FP&L
 COMCAST
 BROWARD COUNTY DES - TRAFFIC
 PEOPLES GAS - FT. LAUD
 CITY OF FT. LAUDERDALE
 BROWARD COUNTY TRAFFIC
 BROWARD COUNTY MASS TRANSIT

CONTACT PERSON
 MIKE POSTEN
 WYLE MYRAD
 LEONARD MAXWELL-NEWBOLD
 JUDITH ANN MICHNU
 ALEX ROCHE
 JON STARK
 HANK ROORUSTA
 SPENSER STROLESON

4. MAINTAINING AUTHORITY:
 CITY OF FT. LAUDERDALE
 ATTENTION: GENE DEMWISY
 1350 W. BROWARD BLVD.
 FT. LAUDERDALE, FLORIDA 33302
 (954) 878-5785
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. REFER TO ROADWAY PLANS (GENERAL NOTES) FOR A LISTING OF ALL KNOWN UTILITIES IN THE AREA.
4. ALL LANDSCAPE BEDS SHALL RECEIVE A UNIFORMLY APPLIED MULCH MATERIAL TO A MINIMUM THICKNESS OF 3" OVER THE ENTIRE PLANT BED, (EXCEPT WITHIN 6" OF PLANT TRUNKS).
5. NO PLANT SUBSTITUTIONS WILL BE MADE WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
6. DESIGN SPEED: 35 MPH.
6. CONTRACTOR RESPONSIBLE FOR INSURING ALL EXISTING LANDSCAPING AND IRRIGATION IS MAINTAINED IN GOOD HEALTH AND CONDITION DURING CONSTRUCTION. ALL EXISTING TREES SHALL BE PROTECTED PER INDEX 544.

PLANT SCHEDULE

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	INSTALLED SIZE	PAY SIZE	MAX. MAINTAINED SIZE	SPACING	REMARKS
LL	8	LIQUSTRUM LUCIDUM	TREE LIQUSTRUM	8"X8" SPD.	LARGE	N/A	A.S.	WATCHED HTS.
OV	4	QUERUS VIRGINIANA	LOVE OAK	20" O.A.	LARGE	N/A	A.S.	FULL & THICK
SP	28	SABAL PALMETTO	SABAL PALM	12-18" C.T.	LARGE	N/A	A.S.	SUCK TRUNK
WV	18	VEITCHIA MONTGOMERIANA	MONTGOMERY PALM	12' C.T.	LARGE	N/A	A.S.	WATCHED HTS.
BAR	450	BORRERIA ABBRUSCENSIS	SEA OXLEY DAISY	#1, 12" O.A.	SMALL	N/A	18" O.C.	FULL AND THICK
HOE	400	HAEMELANTHUS BEBBLIS	BEACH SUNFLOWER	#1, 12" SPD.	SMALL	N/A	18" O.C.	FULL AND THICK

PAY ITEM NOTES:

- 570-1-2 PERFORMANCE TURF, SOG SHALL BE ST. AUGUSTINE 'FLORITAN'
- 580-1-1, 580-1-2, INCLUDES ALL LABOR, MATERIALS, EQUIPMENT AND INCIDENTALS FOR THE COMPLETE INSTALLATION OF PLANT IN ACCORDANCE WITH SPECIFICATIONS AND FOOT INDEX #544 INCLUDING, BUT NOT LIMITED TO, PLANT, FINISH SOIL LAYER, UNSUITABLE SOIL REMOVAL, SPECIAL BED PREPARATION, STAKING, MULCH, FERTILIZER, HAND WATERING, GUARANTEE AND MAINTENANCE DURING ESTABLISHMENT PERIOD. ALSO INCLUDES THE COST FOR TEMPORARY WATERING AND TREE PROTECTION (PER INDEX 544) OF EXISTING TREES DURING CONSTRUCTION.
- 590-70 INCLUDES ALL LABOR, MATERIALS, EQUIPMENT AND INCIDENTALS FOR THE COMPLETE INSTALLATION OF AUTOMATIC IRRIGATION SYSTEM BY MEANS OF OPEN TRENCHING AS SPECIFIED IN THESE PLANS AND THE COVERING SPECIFICATIONS. INCLUDES THE COST OF ALL SYSTEM COMPONENTS AND INSTALLATION INCLUDING, BUT NOT LIMITED TO VALVES, RAIR SENSORS, IRRIGATION HEADS, NOZZLES, FITTINGS, PIPES, ELECTRICAL & IRRIGATION SLEEVES, DIRECTIONAL DRILLING, PULL WIRES, EUS WARRIERS, CONTROLLERS, CLOCKS, BACKFILLING, DEBRIS REMOVAL, SYSTEM TESTING, NOT. THIS PAY ITEM ALSO INCLUDES THE COST OF ALL REQUIRED PERMITS TO PERFORM THIS WORK.

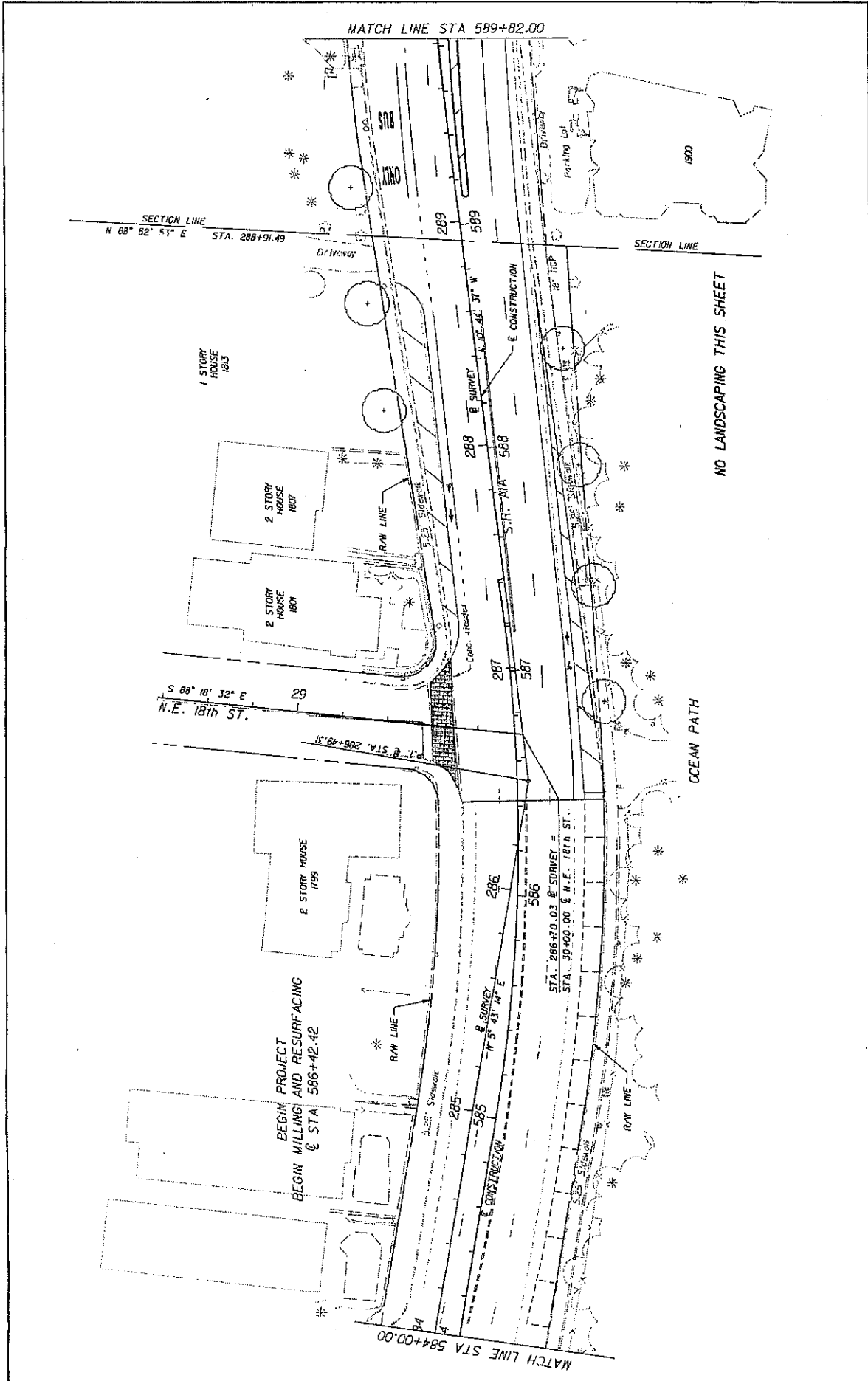
DATE	BY	DESCRIPTION	REVISIONS	DATE	BY	DESCRIPTION

GEORGE S. HOLLOWAY, FLSA LICENSED
George S. Holloway O'Mahoney
 207 CHANCEWAY, 18111
 SUITE 201, FT. LAUDERDALE, FL 33409
 WWW.LANDSCAPE-MAINTENANCE.COM
 REGISTRATION NO. 0000077

STATE OF FLORIDA
 DEPARTMENT OF TRANSPORTATION
 ROAD NO. SR A1A
 COUNTY BROWARD
 FINANCIAL PROJECT ID 416872-1-52-01

LANDSCAPE NOTES

SHEET NO. LD-4

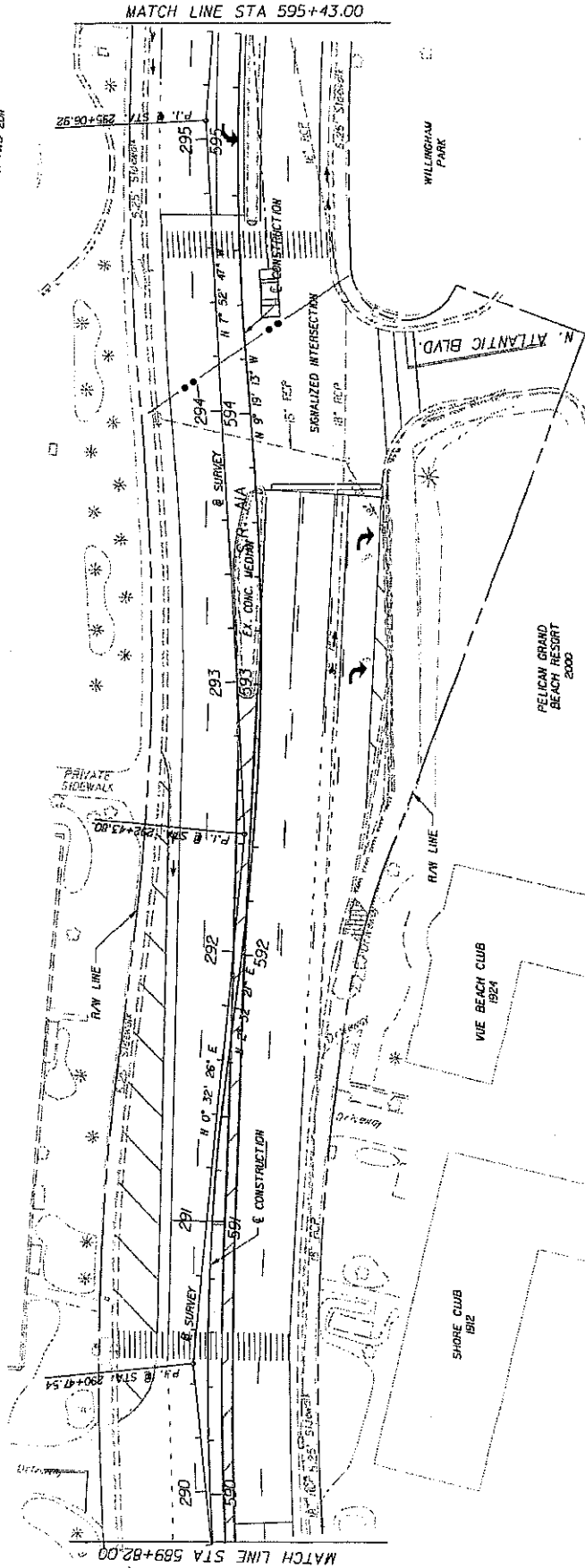


DATE	BY	DESCRIPTION	REVISIONS	DATE	BY	DESCRIPTION

GEORGE S. GIBBLE, FLSA GEORGE HOLLOMAN O'BRIEN 1901 Commercial Lane Suite 101 Jupiter, FL 33408 george@gs-gibble.com 561-578-2951 561-578-5060 FAX www.gs-gibble.com		STATES OF FLORIDA DEPARTMENT OF TRANSPORTATION ROAD NO. A1A COUNTY BROWARD FINANCIAL PROJECT ID. 416872-1-52-01	SHEET NO. LD-5
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THE WIE
2001 AND 2011



NO LANDSCAPING THIS SHEET

SHEET NO.
LD-6

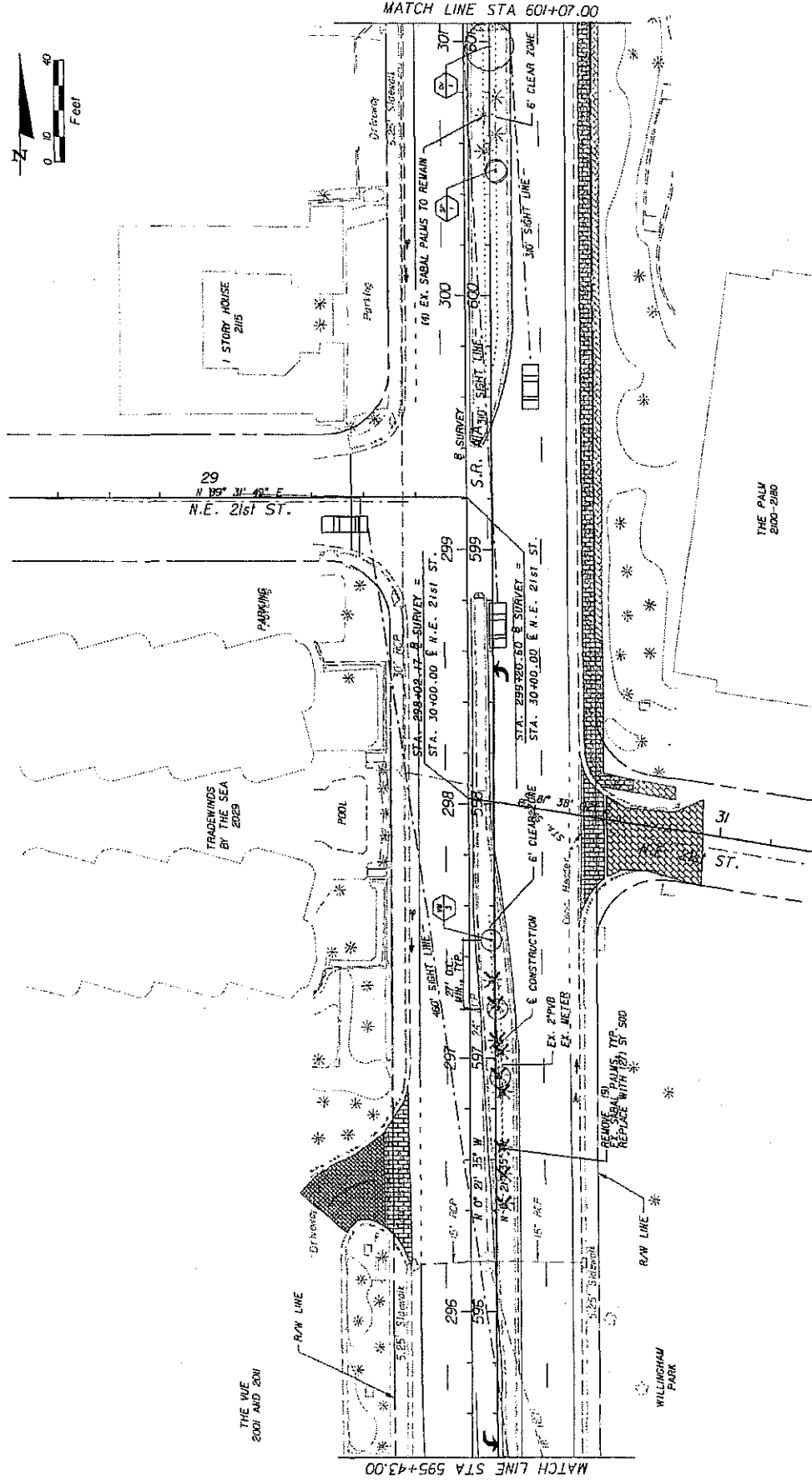
LANDSCAPE PLAN

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION
ROAD NO. COUNTY FINANCIAL PROJECT ID
A1A BROWARD 416872-1-52-01

GEORGE G. GENTILE, P.A.S.A. L2000250
Cantile Holloway O'Mahoney
Landscape Architects, Inc.
541-515-4553
541-515-5260 FAX
Burlingame, FL 33458
www.landscapes-architects.com
CERTIFICATE OF AUTHORIZATION NO. 0000007

DATE	BY	DESCRIPTION	REVISIONS	DATE	BY	DESCRIPTION

DATE: 11/17/01 1:22:23 AM 6239



SHEET NO. LD-7

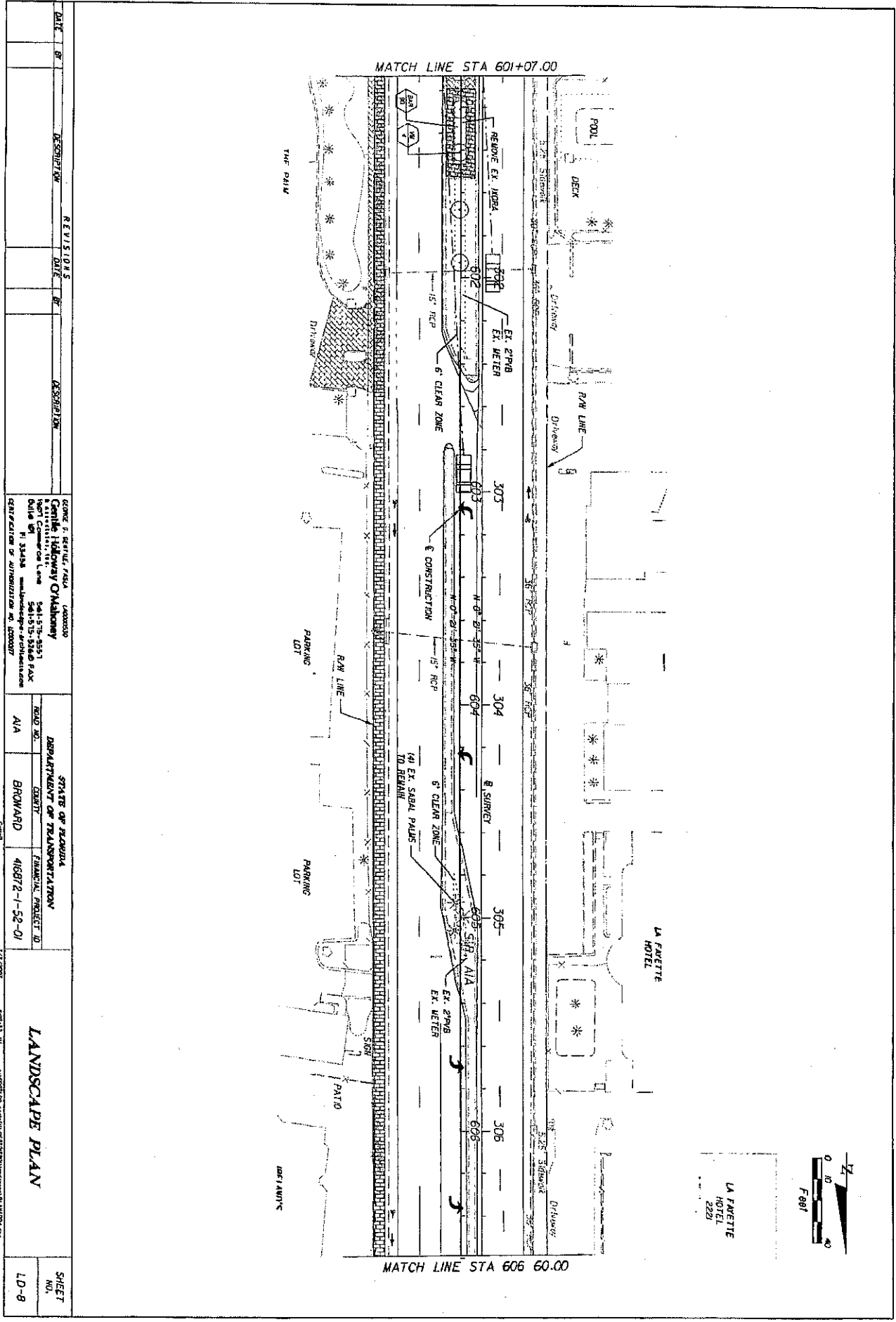
LANDSCAPE PLAN

STATES OF FLORIDA
 DEPARTMENT OF TRANSPORTATION
 ROAD NO. COUNTY FINANCIAL PROJECT ID
 AIA BROWARD 416872-1-52-01

GEORGE B. GENTILE, F.A.S.A. LICENSED
 Castle Hollowy O'Malley Inc
 1901 Commercial Lane Suite 101
 Ft. Lauderdale, FL 33308
 Phone: 954-575-9551
 Fax: 954-575-5260
 Email: ggentile@castleholloymalley.com

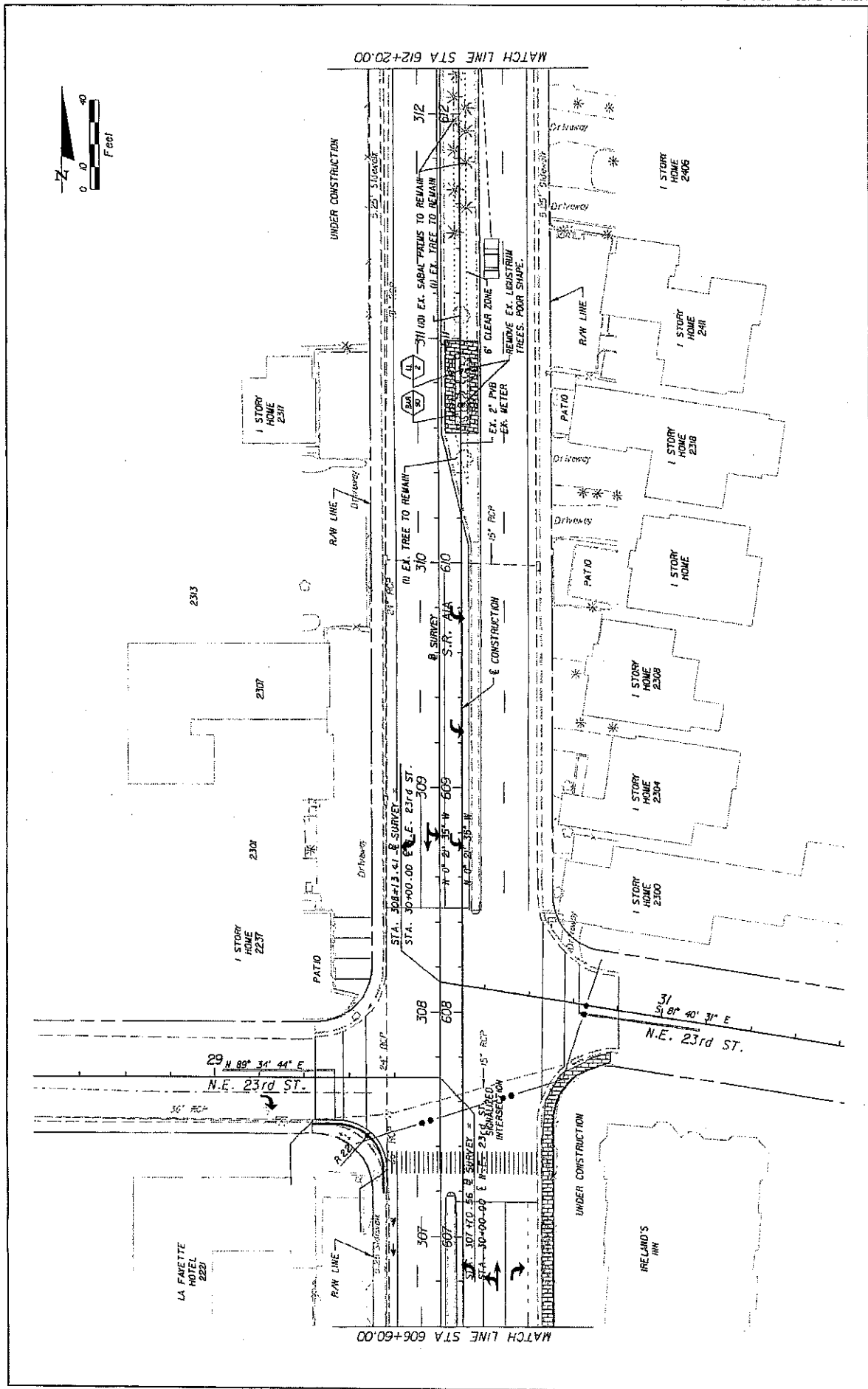
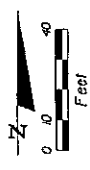
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DATE PLOTTED: 11/21/2007 11:23:27 AM
 PLOTTER: HP DesignJet 5000PS



DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

GEORGE S. REYNOLDS, P.E. (Landscape Architect)		STATE OF FLORIDA	
CENTRE HIGHWAY CONSULTANTS		DEPARTMENT OF TRANSPORTATION	
5415 N. W. 55th Ave., Suite 101 Fort Lauderdale, FL 33309 Phone: 561-575-3380 Fax: 561-575-3380		PROJECT NO. 46872-1-52-01	
PROJECT NO. AIA		SHEET NO. LD-8	



SHEET NO. LD-9

LANDSCAPE PLAN

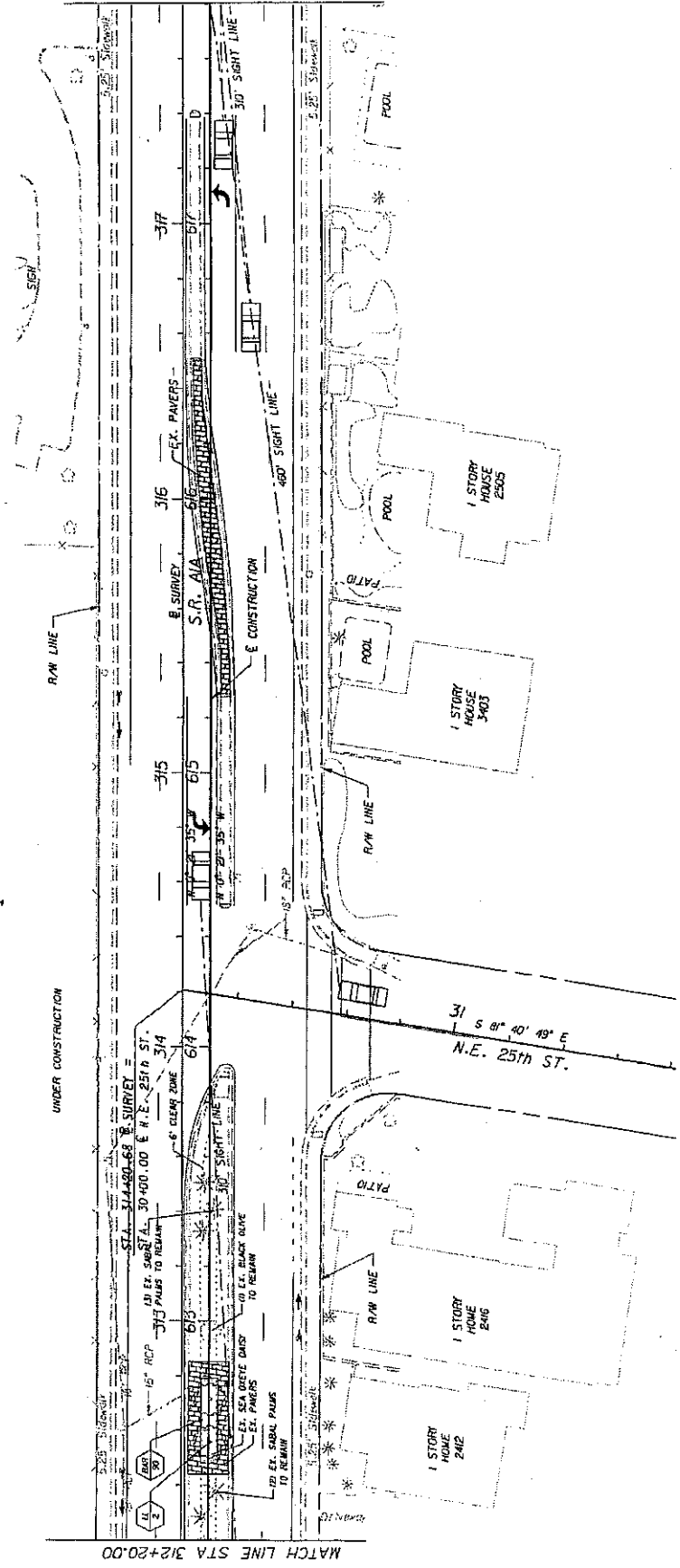
STATES OF FLORIDA
 DEPARTMENT OF TRANSPORTATION
 ROAD NO. AIA BROWARD 416372-1-52-01

GENE & GUYLE, P.A.
 LAKESIDE
 Gentle Holloway O'Malley
 1901 Commerce Lane
 Jupiter, FL 33458
 561-515-9551
 561-515-5260 FAX
 www.landscape-architecture.com
 CERTIFICATE OF AUTHORIZATION NO. 12000007

DATE	BY	DESCRIPTION	REVISIONS	DATE	BY	DESCRIPTION



SANT Pius
CATHOLIC CHURCH



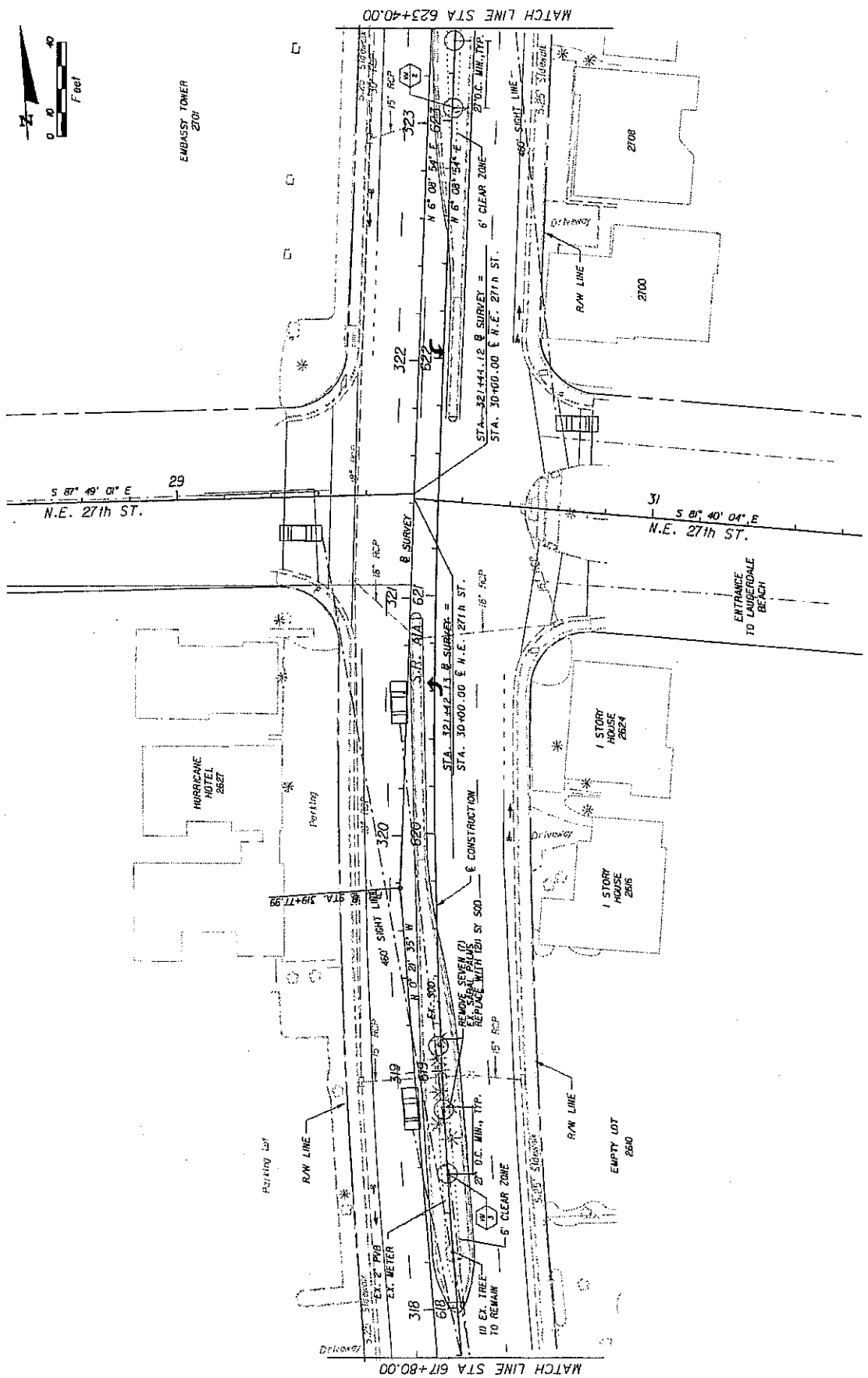
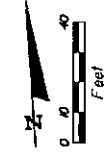
SHEET NO.
LD-10

LANDSCAPE PLAN

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION
ROAD NO. A1A
COUNTY BROWARD
FINANCIAL PROJECT # 416872-1-52-01

GEORGE G. HORTLING, P.A.S.C.
Gentle Holloway O'Mahoney
ARCHITECTS, INC.
1000 S. W. 10th St.
Suite 101
Jupiter, FL 33458
www.gentleholloway.com
CERTIFICATE OF AUTHORIZATION NO. L000007

DATE	BY	DESCRIPTION	REVISOR	DATE	DESCRIPTION



DATE	BY	DESCRIPTION	REVISIONS	DATE	BY	DESCRIPTION

OWNER & TITLE: F&M (ASPECT) Charles Murray O'Malley 1907 Commercial Lane Belle Glade, FL 33488 CERTIFICATE OF AUTHORIZATION NO. LC200077	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION FINANCIAL PROJECT ID 418872-1-52-01	COMMITTEE BROWARD	ROAD NO. A/A
--	--	----------------------	-----------------

STATEMENT OF WORK NO. 1372807	DATE: 08/26/10	PROJECT NO. 418872-1-52-01
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LANDSCAPE PLAN

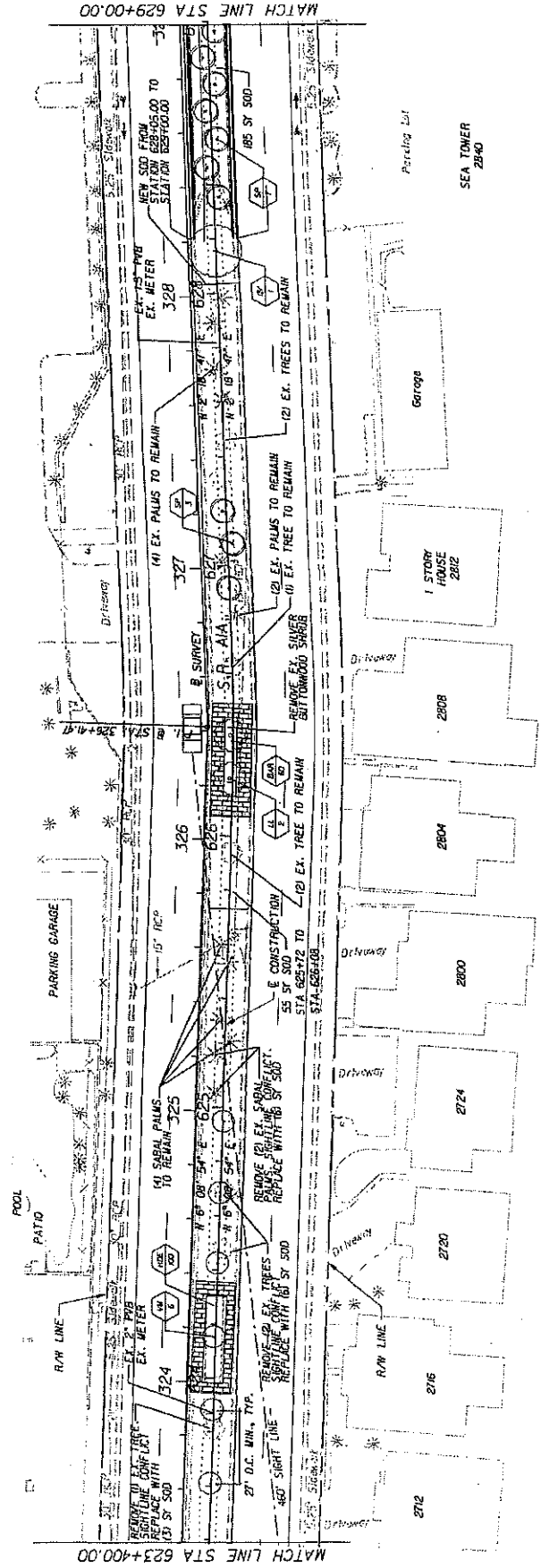
SHEET NO.

LD-11



EMBASSY TOWER
2701

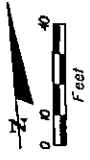
SAPPHIRE
LUXURY CONDO.
RESIDENCE



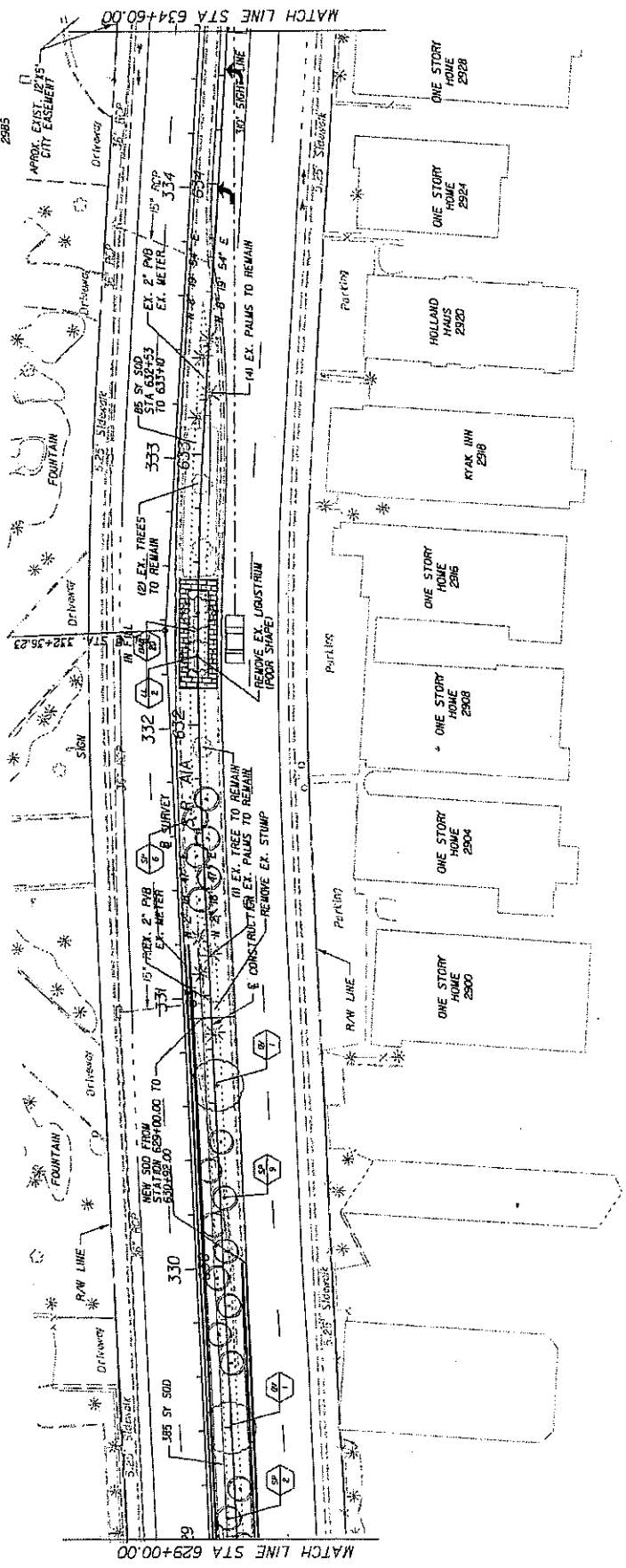
MATCH LINE STA 623+400.00

MATCH LINE STA 629+00.00

REVISIONS		STATE OF FLORIDA		SHEET NO.	
DATE	BY	DESCRIPTION	ROAD NO.	COUNTY	FINANCIAL PROJECT ID
			A1A	BROWARD	416272-1-52-01
		GEORGE G. BEPIL, P.A.C.E. LANDSCAPE ARCHITECT George G. Bevil, P.A.C.E. 18201 Commercial Line Suite 101 Jupiter, FL 33458 www.landscapelandscape.com CERTIFICATE OF AUTHORIZATION NO. 12000007			
		DEPARTMENT OF TRANSPORTATION FINANCIAL PROJECT ID			
		LANDSCAPE PLAN 1-D-12			



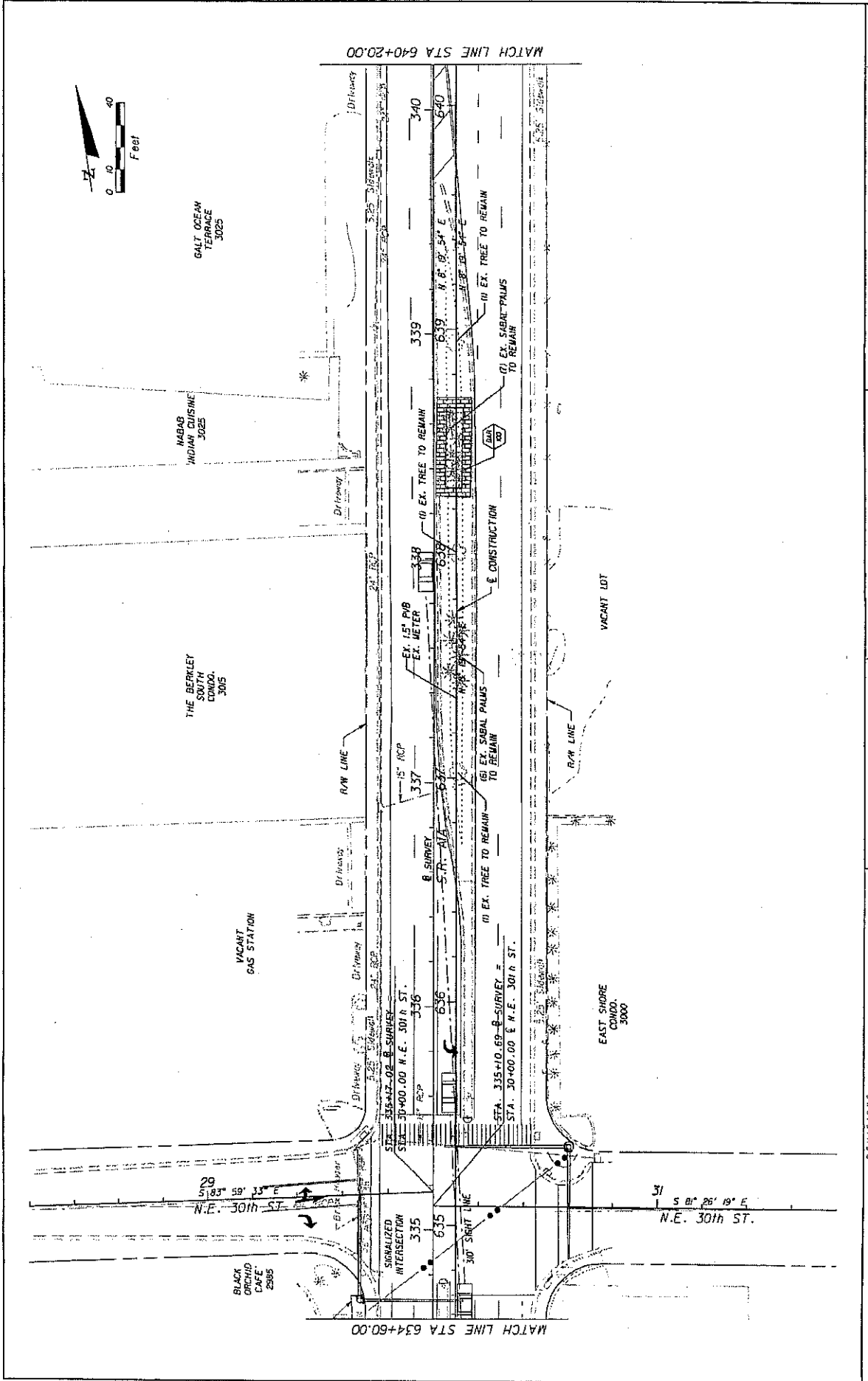
VANTAGE VIEW 2841



DATE	BY	DESCRIPTION	REVISIONS	DATE	BY	DESCRIPTION

CONY & ASSOCIATES, LLC 1001 Highway 17 Suite 101, Kissimmee, FL 34741 Phone: 407-515-5160 Fax: 407-515-5160 License No. 12000077		STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION ROAD NO. A1A COUNTY BROWARD FINANCIAL PROJECT ID 416872-1-52-01	
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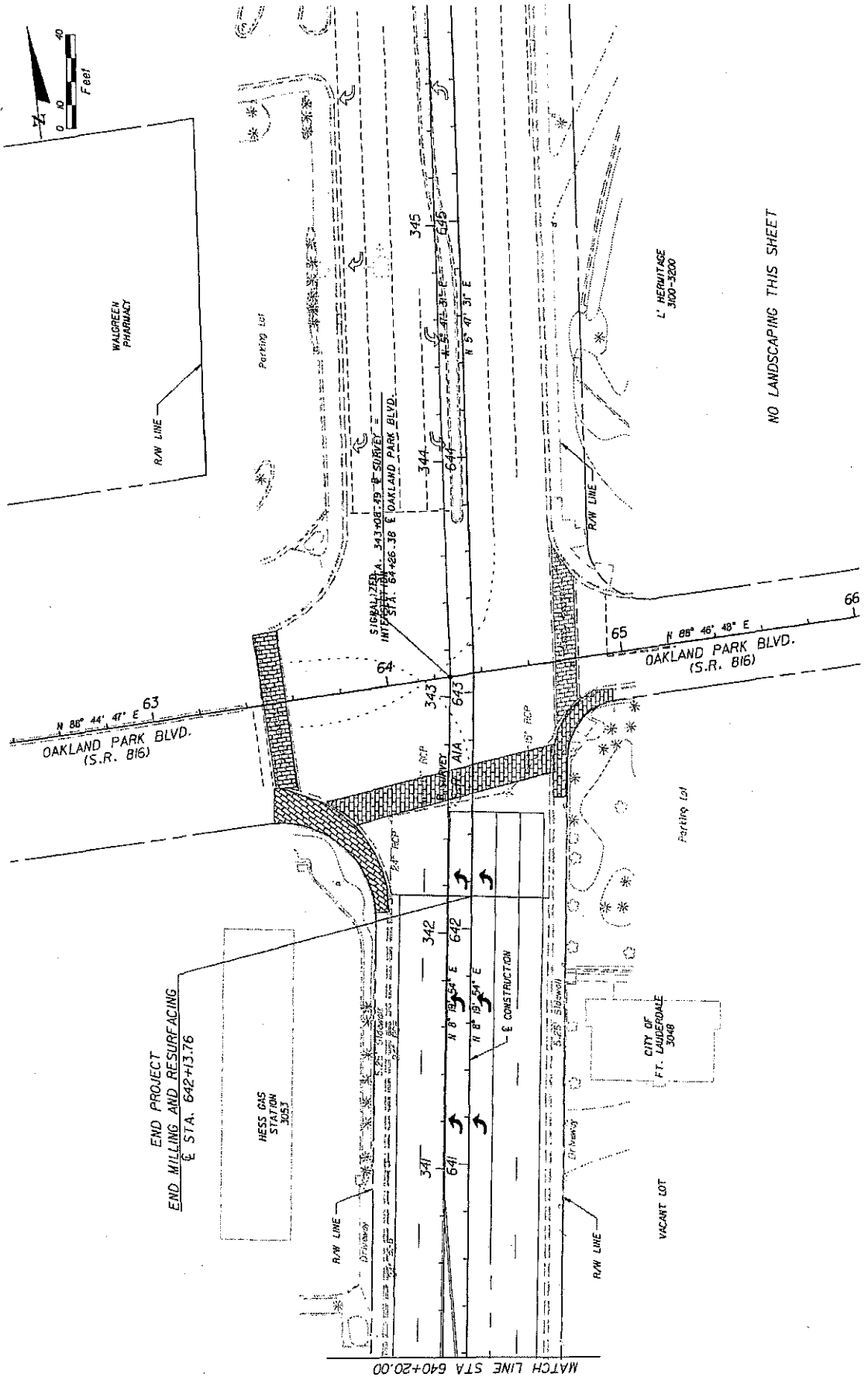
LANDSCAPE PLAN		SHEET NO. LD-13
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REVISIONS		DESCRIPTION	
DATE	BY	DATE	DESCRIPTION

OWNER: G. GENTILE, P.A.S.A. Gentile-Holmway O'Mahoney 1901 Commerce Lane Suite 101 Appl. # F1 33-038 CERTIFICATE OF AUTHORIZATION # 1000007	PROJECT NO.: 14000030
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION	FINANCIAL PROJECT ID
ROAD NO.: A1A	COUNTY: BROWARD
PROJECT ID: 416872-1-52-01	DATE: 7/17/2017

SCALE: AS SHOWN
DATE: 7/17/2017
DRAWN BY: [Name]

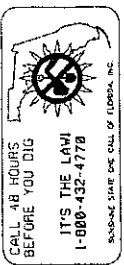


NO LANDSCAPING THIS SHEET

REVISIONS		DESCRIPTION	
DATE	BY	DATE	DESCRIPTION

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		ROAD NO. COUNTY PROJECT ID	
ROAD NO. A1A		COUNTY BROWARD	
PROJECT ID 415872-1-52-01		SHEET NO. LD-15	

GEORGE S. CORTELL, P.E. LICENSED Civil & Highway Engineer 1801 Commerce Lane Jupiter, FL 33458 REGISTRATION NO. 12000077		LANDSCAPE PLAN	
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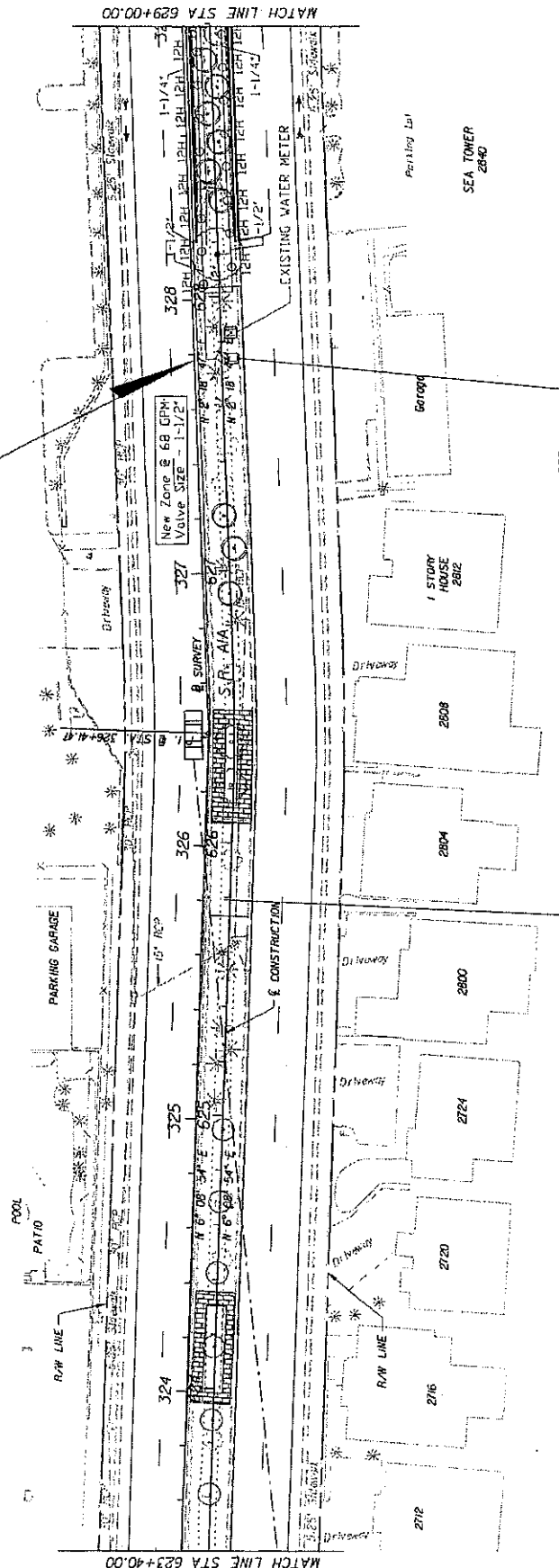
PIPE SIZING LEGEND

PIPE SIZE	GPM
3/4"	0-10
1"	11-16
1-1/4"	17-28
1-1/2"	29-35
2"	36-55
2-1/2"	56-80

SPRINKLER KEY LEGEND

Symbol	Description
●	Adjustable Flood Bubble
12H ⊕	6" Pop-Up Spray Head with 12 Ft Radius Half Nozzle

BEGIN IRRIGATION STATION 627+77.00



PROVIDE AND INSTALL NEW BATTERY-POWERED CONTROLLER AND NEW 1-1/2" ELECTRIC CONTROL VALVE ALONG SIDE THE EXISTING ELECTRIC CONTROL VALVE AND PLACE ALL INSIDE LARGE VALVE BOX.

CONTRACTOR SHALL MAKE MODIFICATIONS AND REPAIRS TO THE EXISTING SYSTEM AS NEEDED TO ASSURE ALL LANDSCAPING RECEIVES 100% COVERAGE WITH SUFFICIENT OPERATING PRESSURE.

DATE	BY	DESCRIPTION	REVISIONS	DATE	BY	DESCRIPTION

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		FINANCIAL PROJECT ID 416872-1-52-01	
ROAD NO. A/A	COUNTY BROWARD	FINANCIAL PROJECT ID 416872-1-52-01	SHEET NO. LD-16

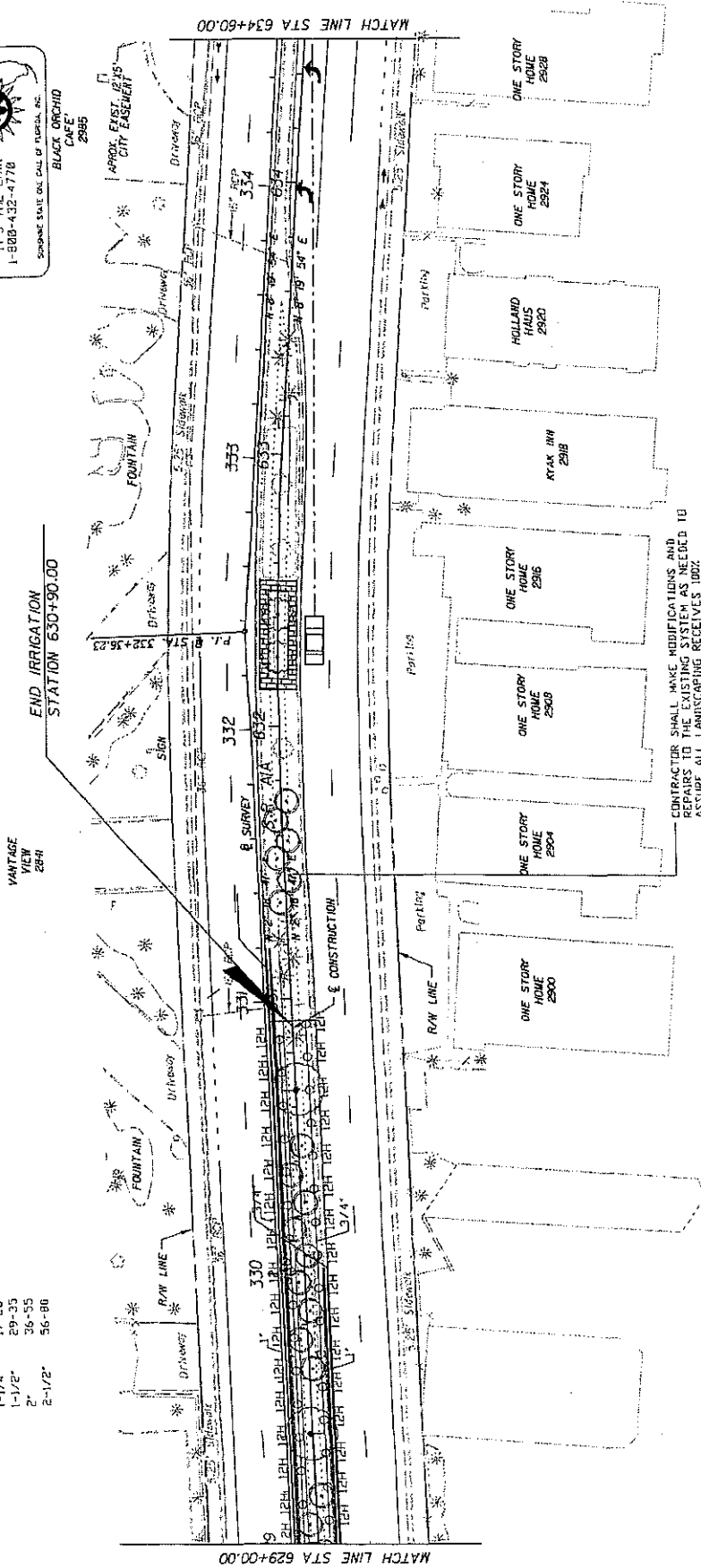
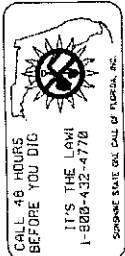
GEORGE G. GENTILE, P.E. License No. 10020510 Gentile Highway O'Mahoney 1407 Commerce Lane Suite 101 Jupiter, FL 33458 561-575-5351 561-575-5350 FAX web@landscape-irrigation.com 12770 W. Highway 101, Suite 101, Jupiter, FL 33458	PROJECT NO. 10200007
--	-------------------------

PIPE SIZING LEGEND

PIPE SIZE	GPM
3/4"	0-10
1"	11-16
1-1/4"	17-28
1-1/2"	29-33
2"	36-55
2-1/2"	56-80

SPRINKLER KEY LEGEND

Symbol	Description
●	Adjustable Flood Bubbler
⊕	5' Pop-Up Spray Head with 12 Ft Radius Half Nozzle



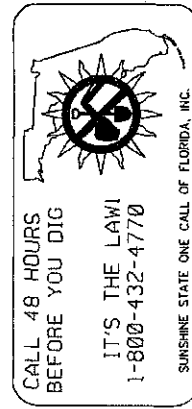
CONTRACTOR SHALL MAKE MODIFICATIONS AND REPAIRS TO THE EXISTING SYSTEM AS NEEDED TO ASSURE ALL LANDSCAPING RECEIVES THE PROPER COVERAGE WITH SUFFICIENT OPERATING PRESSURE.

REVISIONS		SHEET NO.	
DATE	BY	DESCRIPTION	NO.
			LD-17

IRRIGATION PLAN	
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION	PROJECT NO. 416B72-1-52-01
ROAD NO. A1A	COUNTY BROWARD
DESIGNER GEORGE G. GENTILE, P.E. LADDER 10 Gentile Highway O'Malley 1401 Collins, LLC Boca Raton, FL 33498 www.landscape-architect.com CERTIFICATION OF AUTHORIZATION NO. 00000077	FINANCIAL PROJECT ID AIA

NOTES:

1. THE IRRIGATION SYSTEM HEAD LAYOUT IS DESIGNED AND SHALL BE INSTALLED AND MAINTAINED TO MINIMIZE OVERSPRAY INTO ROADWAYS. AFTER THE SYSTEM IS FISHED AND NOZZLES, THE ARCS SHALL BE SET TO MINIMIZE OVERSPRAY AND THE FLOW CONTROL/PRESSURE REGULATOR ON THE ZONE CONTROL VALVE SHALL BE ADJUSTED DOWN TO PREVENT ANY MISTING OR FOGGING. TO PRODUCE DRIPLETS OF WATER TO MINIMIZE THE EFFECT OF THE WIND THEREBY LIMITING OVERSPRAY AND WATER WASTE. CONTROLLER PROGRAMMING SHALL BE SET SO AS NOT TO ALLOW THE IRRIGATION TO CREATE ANY RUN OFF WHICH COULD CREATE WATER ON THE ROAD.
2. THE DESIGNER CANNOT BE HELD RESPONSIBLE FOR ANY MATTER, ACT, OR EFFECT ARISING FROM OVERSPRAY, BROKEN PIPES, HEADS OR NOZZLES. IN THE EVENT OF A BREAK OR BROKEN OFF HEAD OR NOZZLE, THE COMPONENT SHALL BE REPAIRED/REPLACED/CAPPED, OR ZONE TURNED OFF FROM AUTOMATIC OPERATION AS SOON AS POSSIBLE.
3. THE DESIGNER DOES NOT WARRANT THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR, IF SHOWN, ARE PROPERLY LOCATED ON THE PLANS, AND ARE EITHER IN SERVICE OR ABANDONED. THE CONTRACTOR SHALL CALL "SUNSHINE STATE ONE CALL" AT (800) 432-4770 TO VERIFY UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO DIGGING. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT/LOCATE OTHER UTILITIES NOT SUBSCRIBING TO "SUNSHINE STATE ONE CALL". ALSO CALL APPLICABLE LOCAL UTILITY AGENCY TO VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL UTILITY COMPANIES AND RELEVANT GOVERNMENT DEPARTMENTS AND ENSURING ALL UTILITIES LOCATED ABOVE, ON, OR BELOW THE SURFACE OF THE SITE ARE PROPERLY DISCOVERED, IDENTIFIED, VERIFIED, AND FIELD LABELED, AND ENSURING THOSE SAME UTILITIES ARE AT ALL TIMES SAFELY CONTROLLED AND PROTECTED BY REASONABLE MEANS.
5. LOCATE SPRINKLER HEADS 12" FROM BACK OF CURB. LOCATE IRRIGATION VALVE BOXES A MINIMUM 18" FROM BACK OF CURB.
6. ANY WORKERS, WORKED PERFORMED, EQUIPMENT, ECT. WITHIN THE TRAVEL WAY MUST HAVE A MAINTENANCE OF TRAFFIC PER F.D.O.T. INDEX IN PLACE PRIOR TO COMMENCING WORK.
7. ALL DAMAGED OCCURRED BY THE CONTRACTOR SHALL BE REPLACED PER F.D.O.T. STANDARDS.
8. WATER METERS ARE EXISTING.
9. THE CONTRACTOR SHALL PROVIDE AND INSTALL BATTERY-POWERED CONTROLLER, REMOTE CONTROL VALVE, RAIN SENSOR AND VALVE BOX AT THE LOCATION SHOWN ON THE PLAN IN ACCORDANCE TO THE MANUFACTURERS SPECIFICATIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICABLE FEES AND PERMITS.
11. CONTRACTOR SHALL ADJUST EXISTING IRRIGATION SO ADEQUATE WATERING IS PROVIDED FOR ALL NEW LANDSCAPING THROUGHOUT THE PROJECT LIMITS. CONTRACTOR SHALL ALSO INSURE EXISTING IRRIGATION SYSTEM IS OPERATIONAL THROUGHOUT THE DURATION OF CONSTRUCTION SO THAT EXISTING LANDSCAPING IS NOT COMPROMISED.
12. CONTRACTOR SHALL NOTIFY THE CITY AND PROJECT ENGINEER OF ANY EXISTING DEFICIENCIES WITHIN THE EXISTING IRRIGATION SYSTEM, I.E. BROKEN HEADS, LOW PRESSURE, BROKEN PIPE, REPAIRS SHALL BE MADE IN COORDINATION WITH THE CITY OF FT. LAUDERDALE.



MINIMUM RECOMMENDED IRRIGATION MAINTENANCE PROCEDURES

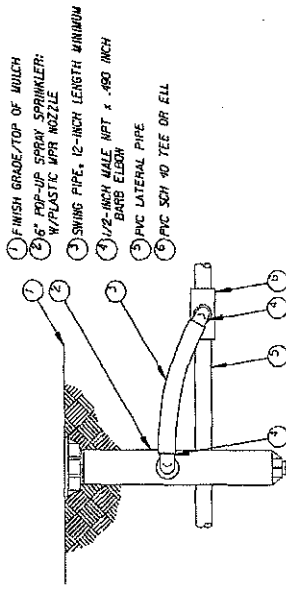
- A. Every irrigation zone should be checked monthly and written reports generated describing the status of each zone and any problems identified, date problems repaired, and a list of materials used in the repair. At minimum, these inspections should include the following tasks:
 1. Turn on each zone from the controller to verify automatic operation.
 2. Check schedules to ensure they are appropriate for the season, plant and soil types, and irrigation method. Consult an I.A. certified auditor for methods used in determining proper irrigation scheduling requirements.
 3. Check remote control valve to ensure proper operation.
 4. Check setting on pressure regulator to verify proper setting, if present.
 5. Check flow control and adjust as needed; ensure valve closes within 10-15 seconds after deactivation by controller.
 6. Check for leaks - mainlines, lateral lines, valves, heads, etc.
 6. Check all heads as follows:
 1. Proper set height (top of sprinkler is 1" below mow height)
 2. Verify head pop-up height - 6" in turf, 12" in ground cover, and pop-up on riser in shrub beds.
 3. Check wiper seal for leaks - if leaking, clean head and re-lap. If still leaking, replace head with the appropriate head with pressure regulator and built-in check valve.
 4. All nozzles checked for proper pattern, clogging, leaks, correct make & model, etc. - replace as needed
 5. Check for proper alignment - perfectly vertical; coverage area is correct; minimize overspray onto hardscapes.
 6. Riser height raised/lowered to accommodate plant growth patterns and ensure proper coverage.
 7. Verify the pop-up riser retracts after operation. If not, repair/replace as needed.
2. Check controller ground for resistance 10 ohms or less once per year. Submit written reports.
3. Check rain shut-off device monthly to ensure it functions properly.
4. Inspect all filters monthly and clean/replace/replace as needed.
5. Inspect all valve boxes to ensure they are in good condition, lids are in place and locked.
6. Conduct additional inspections, maintenance tasks, etc. that are particular for your site.

DATE		REVISION		DESCRIPTION	
GEORGE C. BERTILLO, P.E. LICENSED Centile Holloway O'Mahoney CIVIL ENGINEERS, P.A., INC. 501 COMMERCE BLVD SUITE 401 JOPLEN, FL 33088 WWW.LANDSCAPE-TECHNICALS.COM LICENSE EXPIRES 12/31/2007					
STATE OF FLORIDA		DEPARTMENT OF TRANSPORTATION			
ROAD NO.	COUNTY	FINANCIAL PROJECT ID		SHEET NO.	
SR A1A	BROWARD	416872-1-52-01		LD-18	
IRRIGATION TABLE AND NOTES					

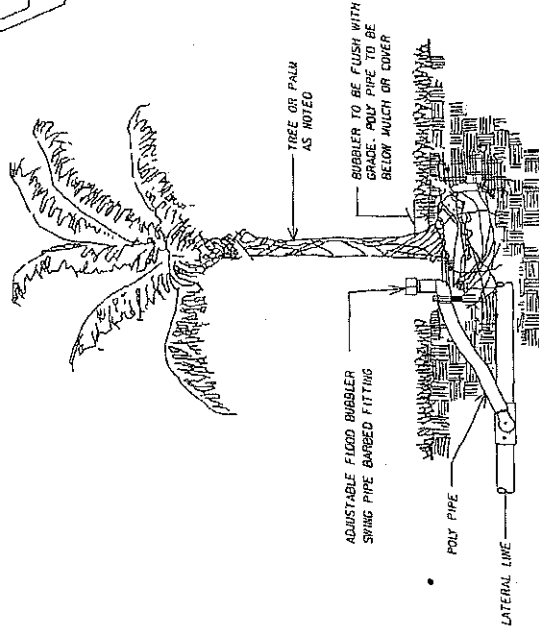
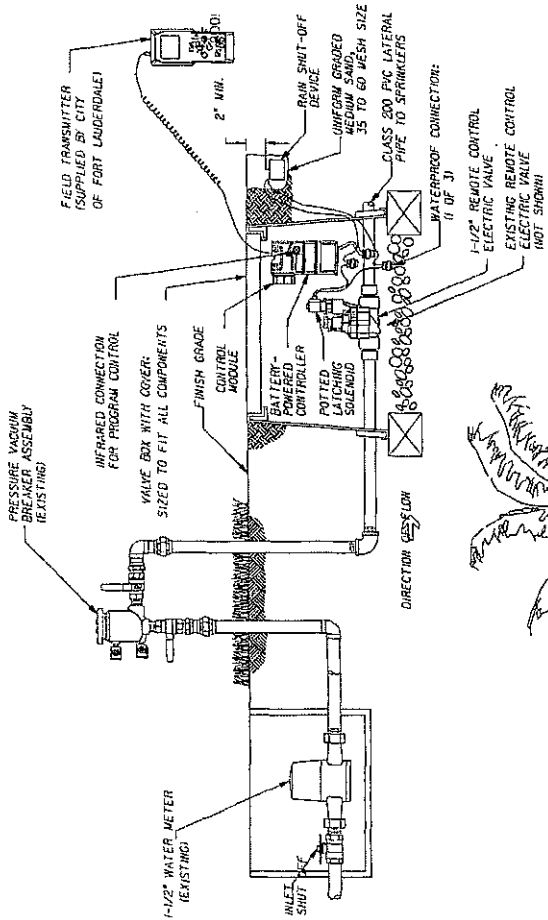
MATERIAL QUANTITY

Quantity	Description	Symbol	Description	Size
3	Adjustable Flood Bubbler	•		1-1/2"
48	6" Pop-Up Spray Head with 12 ft Radius Half Nozzle	⊕		
Backflow Preventers				
1	Pressure Vacuum Breaker	Z		1-1/2"
Battery-Powered Controllers				
1	7805 Control Module	Ⓛ		4 Station Capacity
Pipe (laterals)				
28 ft	200 PSI SDR 21 PVC Pipe			2"
158 ft	200 PSI SDR 21 PVC Pipe			1-1/4"
87 ft	200 PSI SDR 21 PVC Pipe			1"
177 ft	200 PSI SDR 21 PVC Pipe			3/4"
44 ft	200 PSI SDR 21 PVC Pipe			1-1/2"
28 ft	200 PSI SDR 21 PVC Pipe			2-1/2"
Valves				
1	Electric Control Valve w/ Latching Solenoid	Ⓢ		1-1/2"
Water Meters (Existing)				
1	Water Meter	Ⓜ		1-1/2"

NOTE: QUANTITIES GIVEN ARE FOR CONTRACTORS CONVENIENCE ONLY. THE ACCURACY IS NOT GUARANTEED. IT IS RECOMMENDED THAT ONE VERIFY ALL QUANTITIES.



POP-UP SPRAY SPRINKLER



FLOOD BUBBLER

DATE	BY	DESCRIPTION	REVISION	DATE	BY	DESCRIPTION
STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION COUNTY: BROWARD ROAD NO: SR A1A FINANCIAL PROJECT ID: 416872-1-52-01 PROJECT NO: BROWARD COUNTY: BROWARD PROJECT ID: 416872-1-52-01						
GENTILE & GENTILE, P.A.S.A. Gentile Holloway O'Mahoney 3605 S.W. 11th St., Suite 200 Fort Lauderdale, FL 33308 WWW.LAWOFFICESGENTILE.COM CERTIFICATION OF AUTHORIZATION NO. L0000077						
SHEET NO. LD-19 7/17/2025 11:55:27 AM 11/03/2024 10:11:41 AM 11/03/2024 10:11:41 AM						

SECTION NO: 86010, 86050,
81180, 86180
S.R. NO(S): A1A
COUNTY: BROWARD
FM NO.(S): 22811.6, 41687.2
WPI NO.(S): 4110739, 4110882

EXHIBIT G

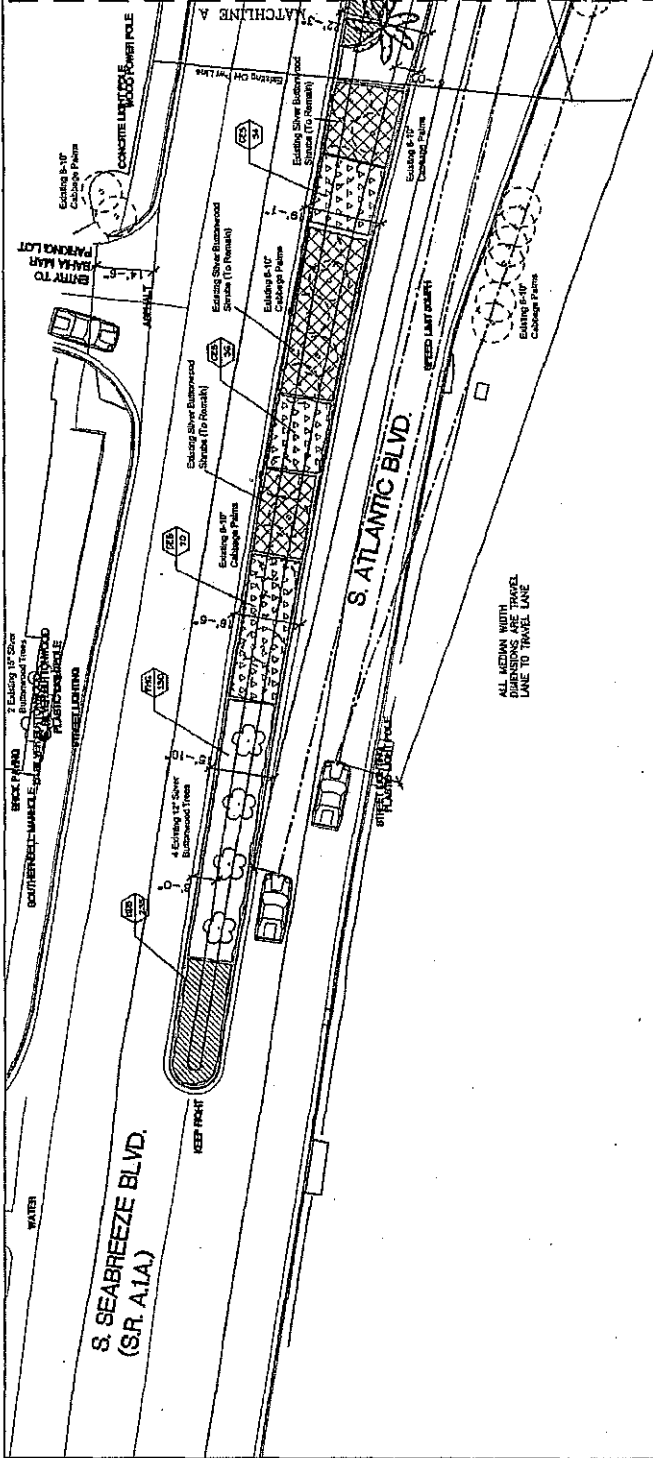
PENDING AGENCY PROJECT'S LANDSCAPE IMPROVEMENT PLANS

Just South of the S.R. A1A Southbound Spur (M.P.2.964 / Section 86180000)
North to S.R. 838 (sunrise Blvd. – M.P.3.334 / Section 86050000)

Please see attached plans by: City of Fort Lauderdale, Thomas White, ASLA

Dated: 7/11/07

PROJECT # P10774 A1A MEDIANS SOUTH OF SUNRISE BLVD. TO BAYSHORE DRIVE NEW MEDIAN LANDSCAPING 100 N. ANDREWS AVE., FORT LAUDERDALE		SHEET NO. L-1 10 OF 10 DRAWING TITLE P10774-L1-CORR-00 DESIGN FILE NO. 100-130-00
CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING & ARCHITECTURE 100 North Andrews Avenue, Fort Lauderdale, Florida 33301		APPROVED DATE 11/10/10 BY [Signature] TITLE [Title]

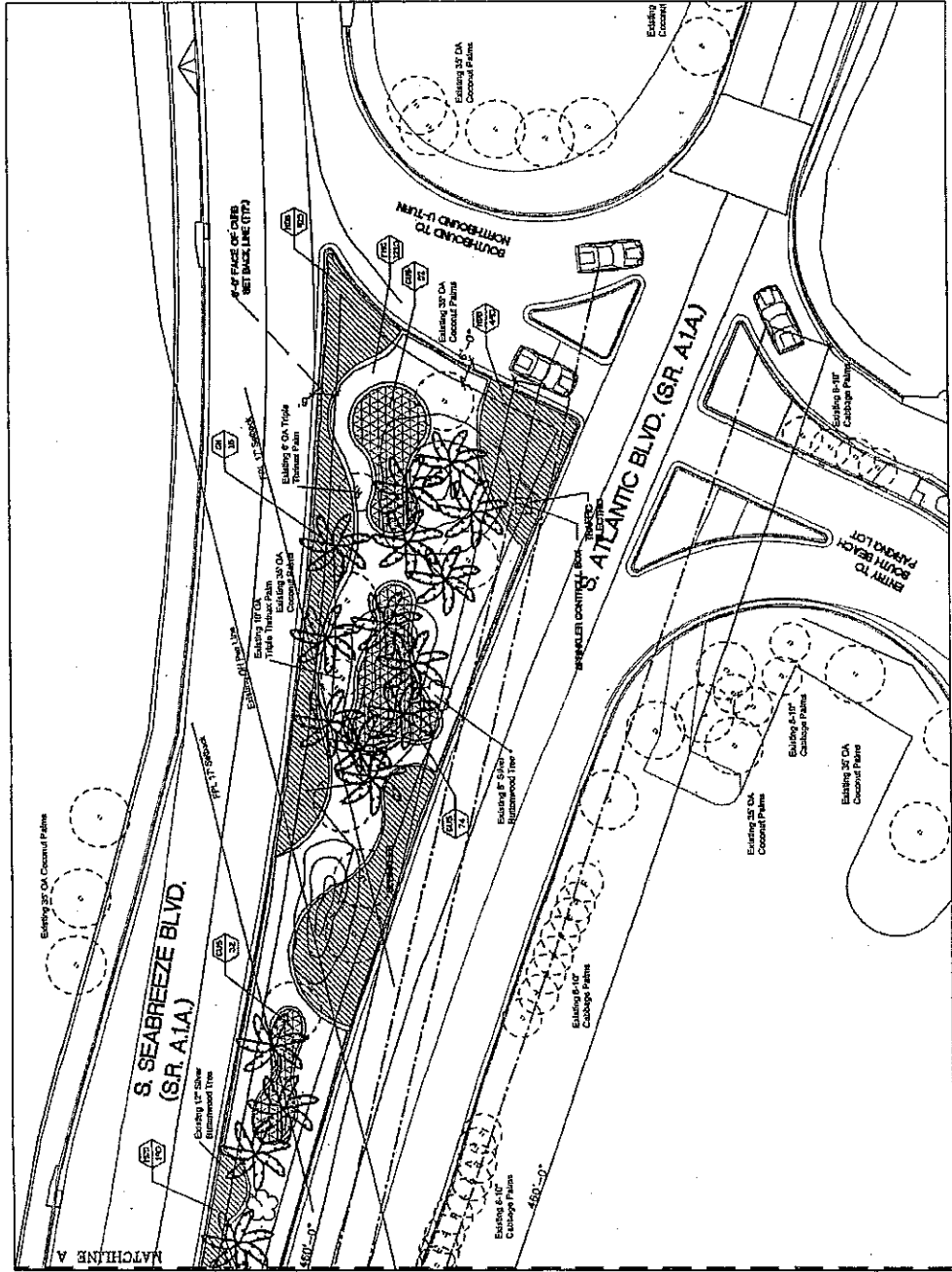


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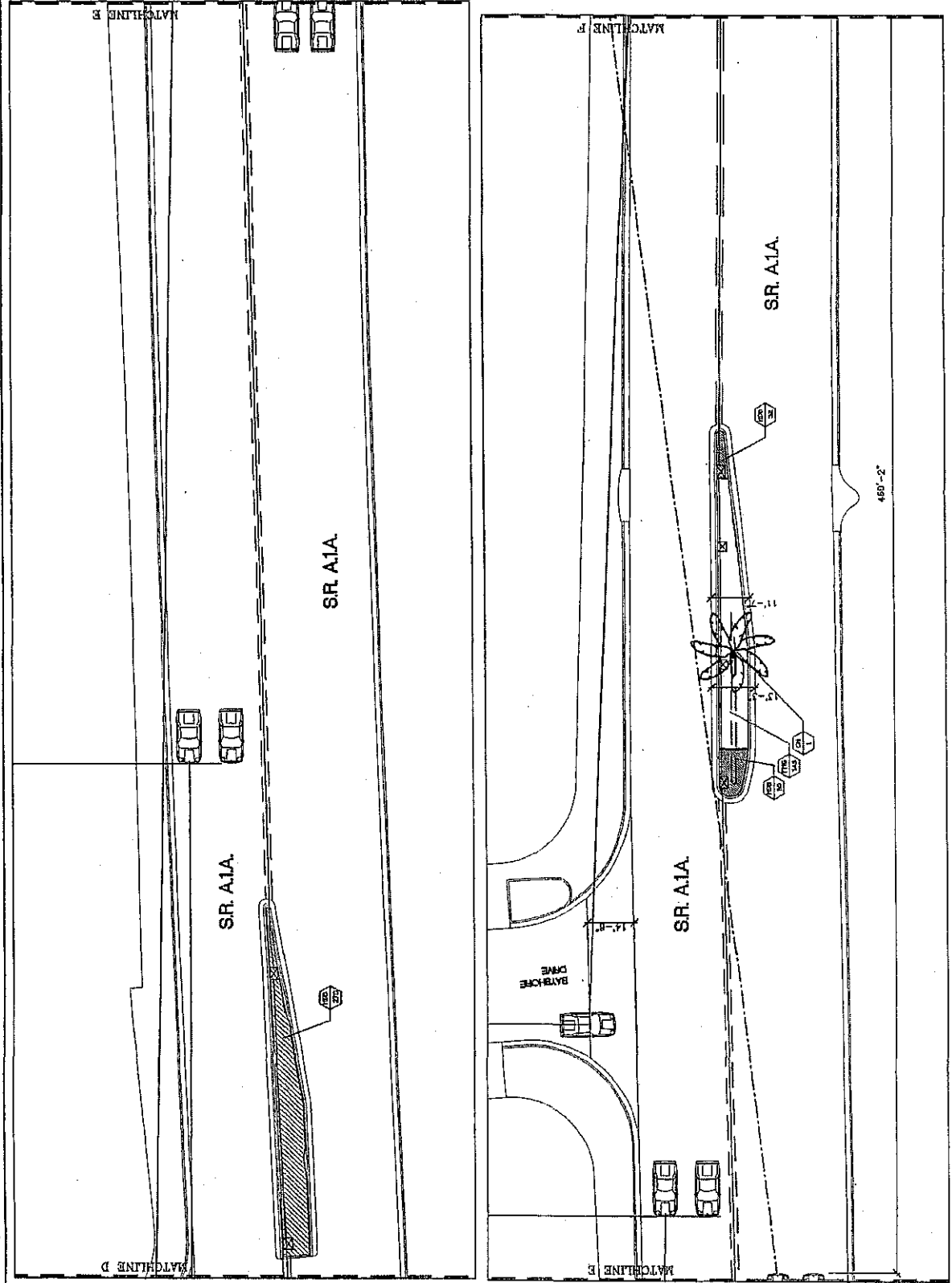
LANDSCAPE PLAN

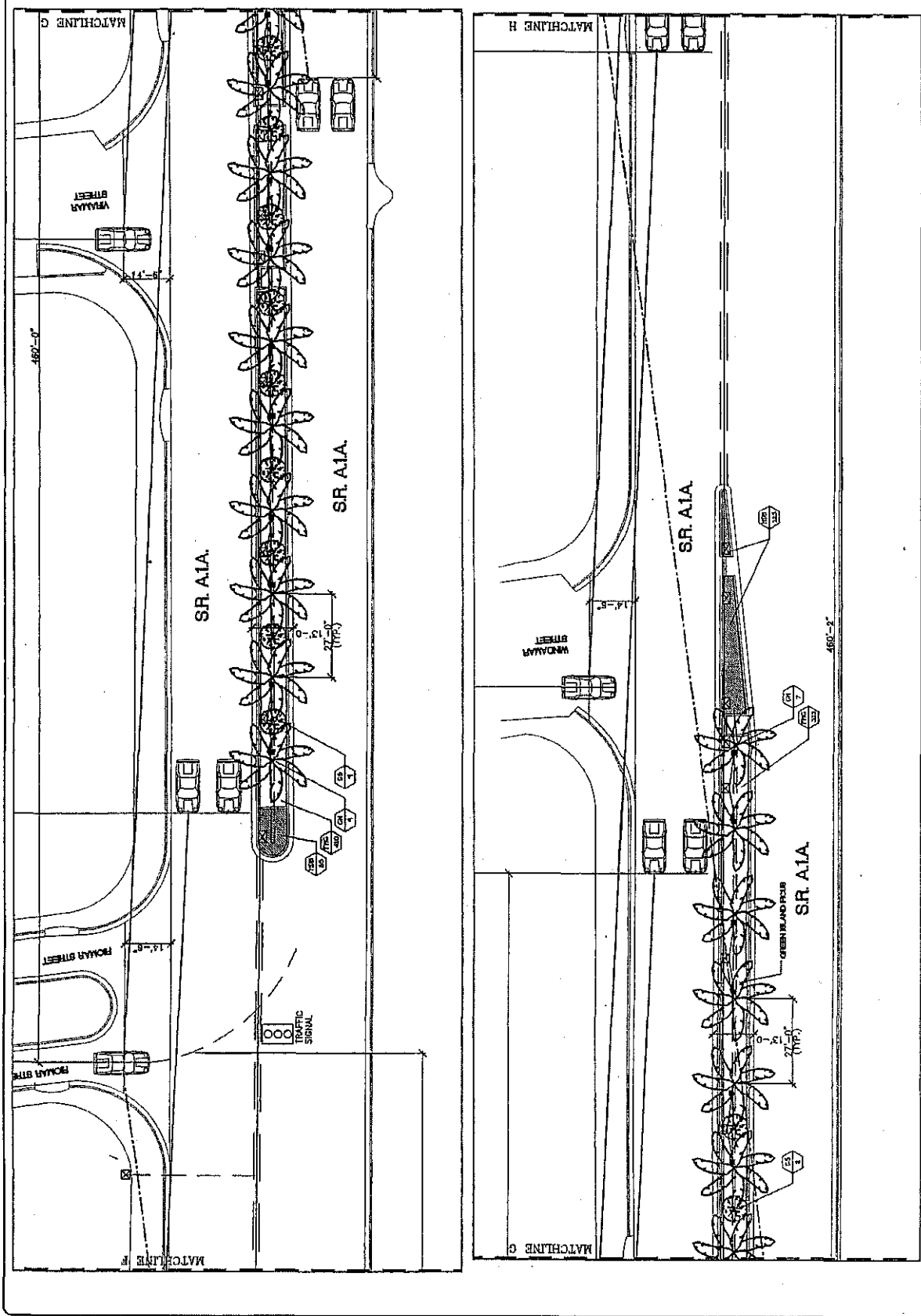
NORTH

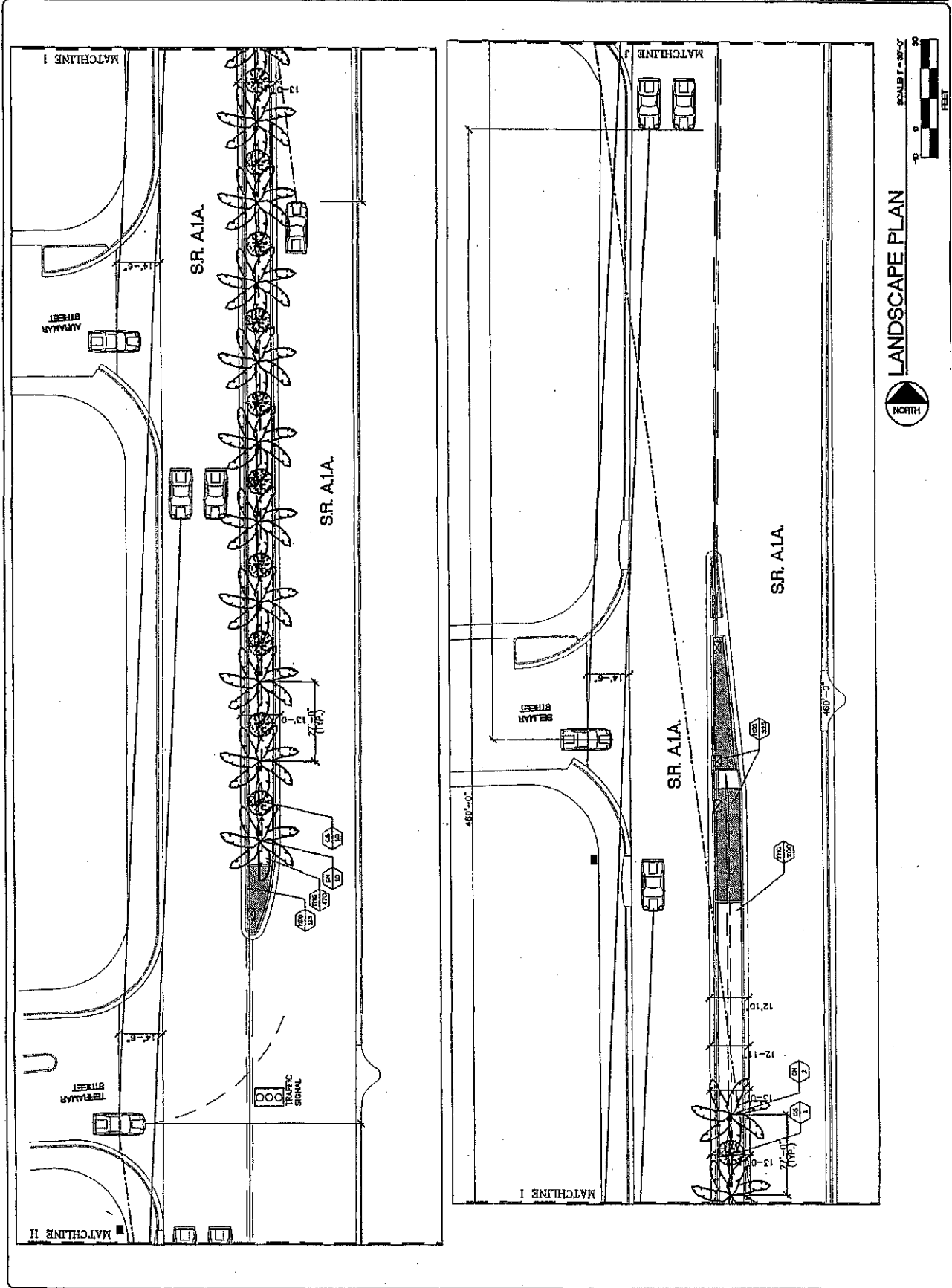
PROJECT # P1074 A1A MEDIANS SOUTH OF SUNRISE BLVD. TO BAYSHORE DRIVE NEW MEDIAN LANDSCAPING 100 N. ANDREWS AVE., FORT LAUDERDALE	CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING & ARCHITECTURE 100 North Andrews Avenue, Fort Lauderdale, Florida 33301	REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	NO.	DATE	DESCRIPTION													SHEET NO. 1-2 OF 10 TOTAL SHEETS DATE: 01/14/2007 DRAWN BY: [Name] CHECKED BY: [Name]	PROJECT # P1074 A1A MEDIANS SOUTH OF SUNRISE BLVD. TO BAYSHORE DRIVE NEW MEDIAN LANDSCAPING 100 N. ANDREWS AVE., FORT LAUDERDALE
NO.	DATE	DESCRIPTION																	

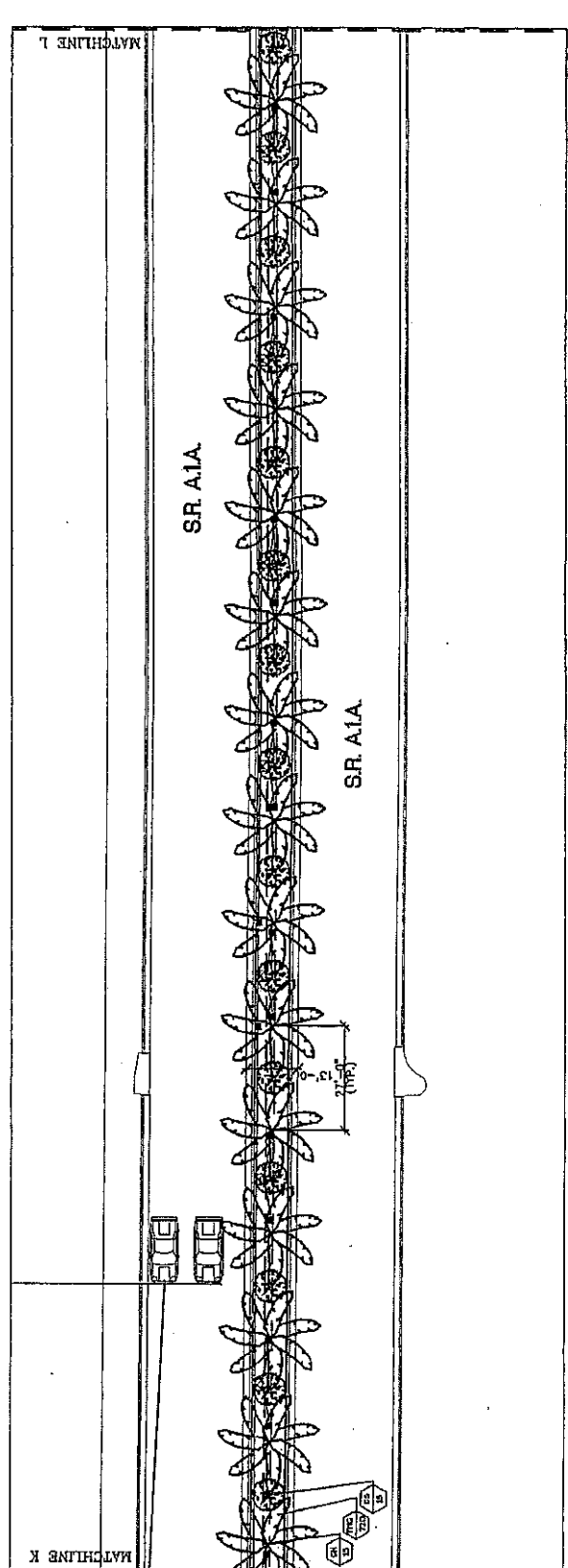
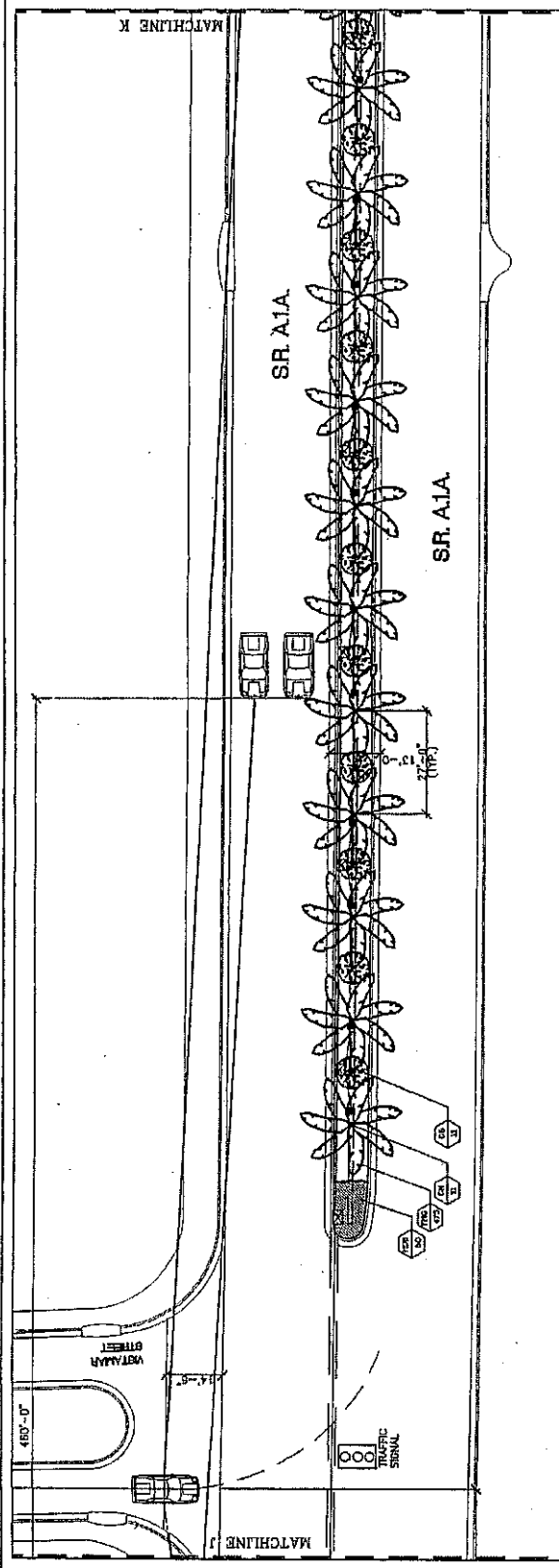


LANDSCAPE PLAN







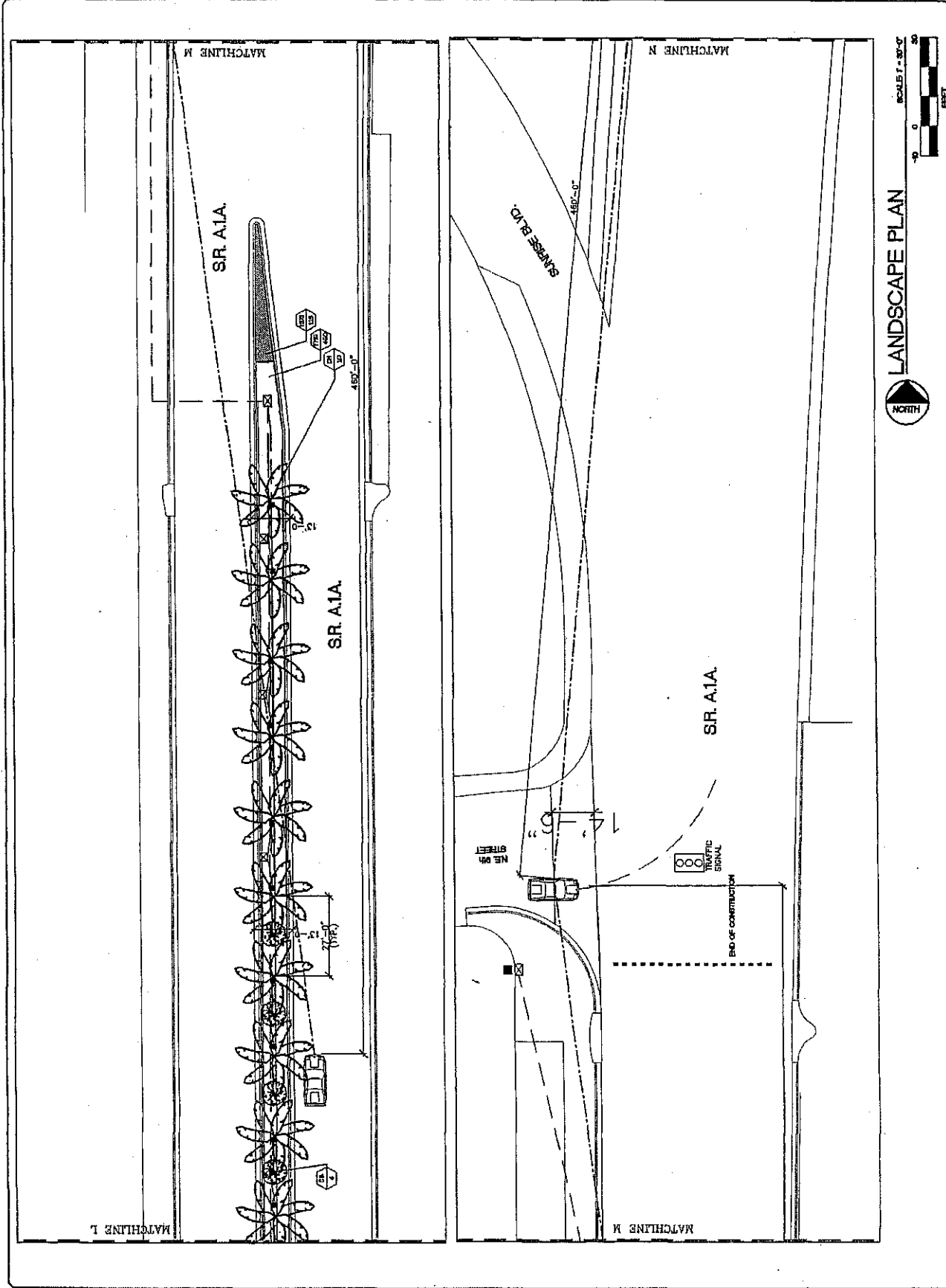


LANDSCAPE PLAN

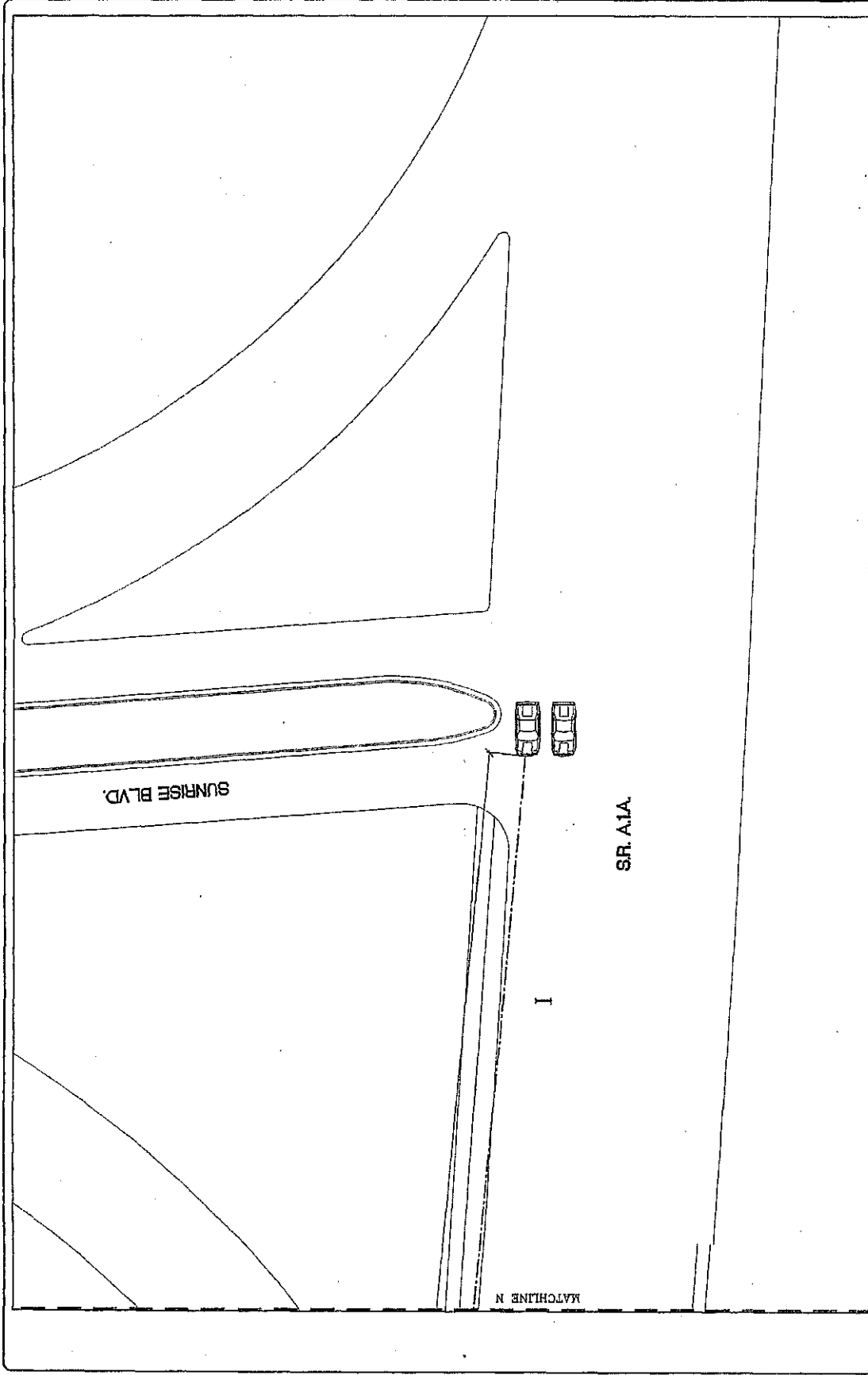
SCALE: 1" = 30'-0"

NORTH

0 30 60 FEET



PROJECT # P10774 A1A MEDIANS SOUTH OF SUNRISE BLVD. TO BAYSHORE DRIVE NEW MEDIAN LANDSCAPING 100 N. ANDREWS AVE., FORT LAUDERDALE		SHEET NO. L-9 10 TOTAL SHEETS 10 CAD FILE P10774-LAN-002.DWG DRAWN BY JLS/2007 CHECKED BY JLS/2007															
CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING & ARCHITECTURE 100 North Andrews Avenue, Fort Lauderdale, Florida 33301		REVISIONS <table border="1"> <tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	NO.	DATE	DESCRIPTION												
NO.	DATE	DESCRIPTION															
DATE: 08/14/2007 TIME: 10:00 AM DRAWN BY: JLS CHECKED BY: JLS SCALE: AS SHOWN PROJECT: P10774	DATE: 08/14/2007 TIME: 10:00 AM DRAWN BY: JLS CHECKED BY: JLS SCALE: AS SHOWN PROJECT: P10774	DATE: 08/14/2007 TIME: 10:00 AM DRAWN BY: JLS CHECKED BY: JLS SCALE: AS SHOWN PROJECT: P10774															

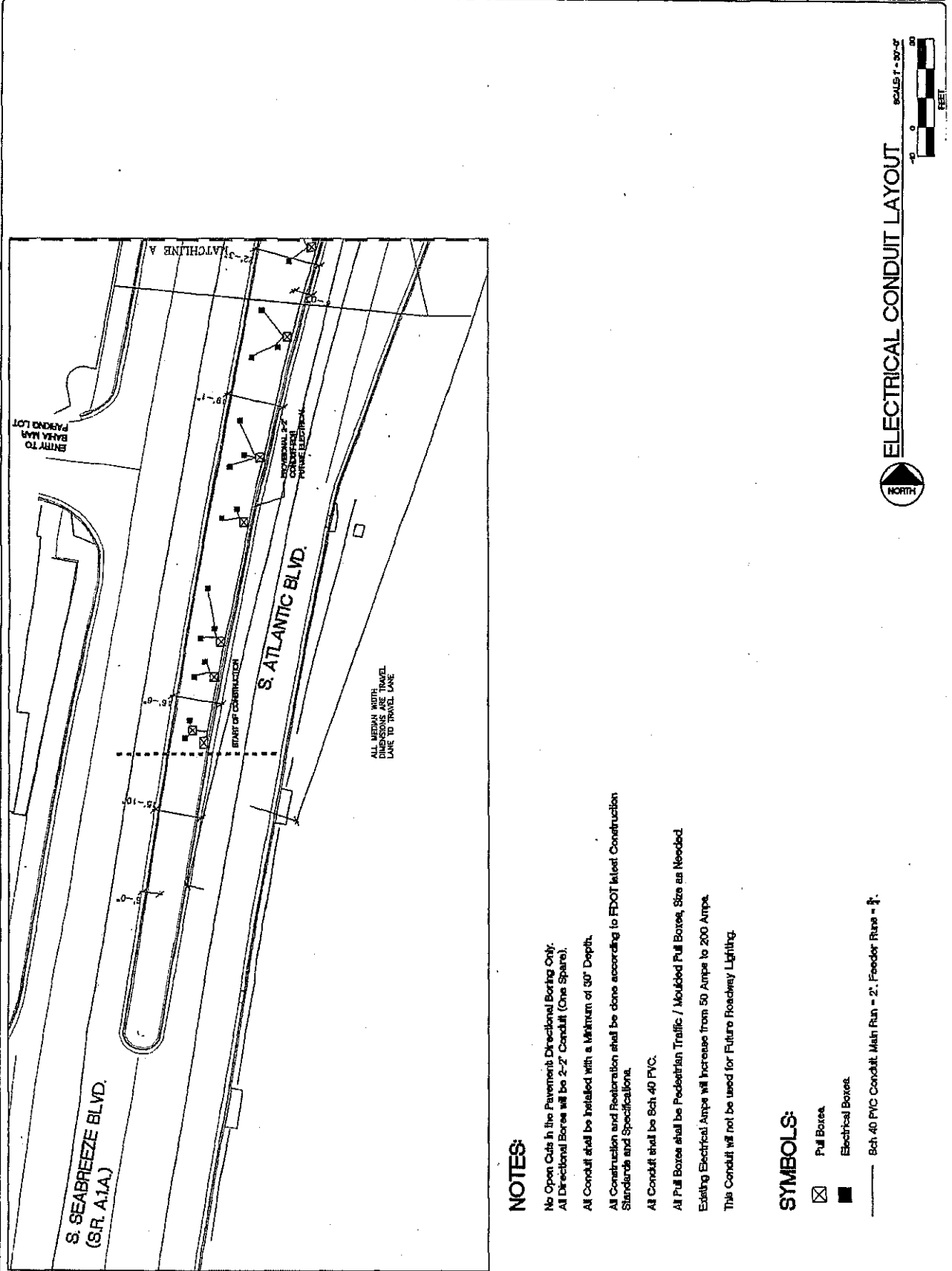


LANDSCAPE PLAN

SCALE: 1" = 30'-0"

0 10 20
FEET

NORTH



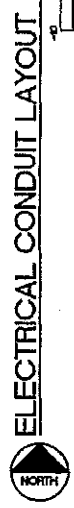
NOTES:

- No Open Cuts in the Pavement Directional Boring Only.
- All Directional Boreas will be 2'-2" Conduit (One Spare).
- All Conduit shall be installed with a Minimum of 30" Depth.
- All Construction and Restoration shall be done according to FDOT latest Construction Standards and Specifications.
- All Conduit shall be Sch 40 PVC.
- All Pull Boxes shall be Pedestrian Traffic / Moulded Pull Boxes, Size as Needed.
- Existing Electrical Amps will increase from 50 Amps to 200 Amps.
- This Conduit will not be used for Future Roadway Lighting.

SYMBOLS:

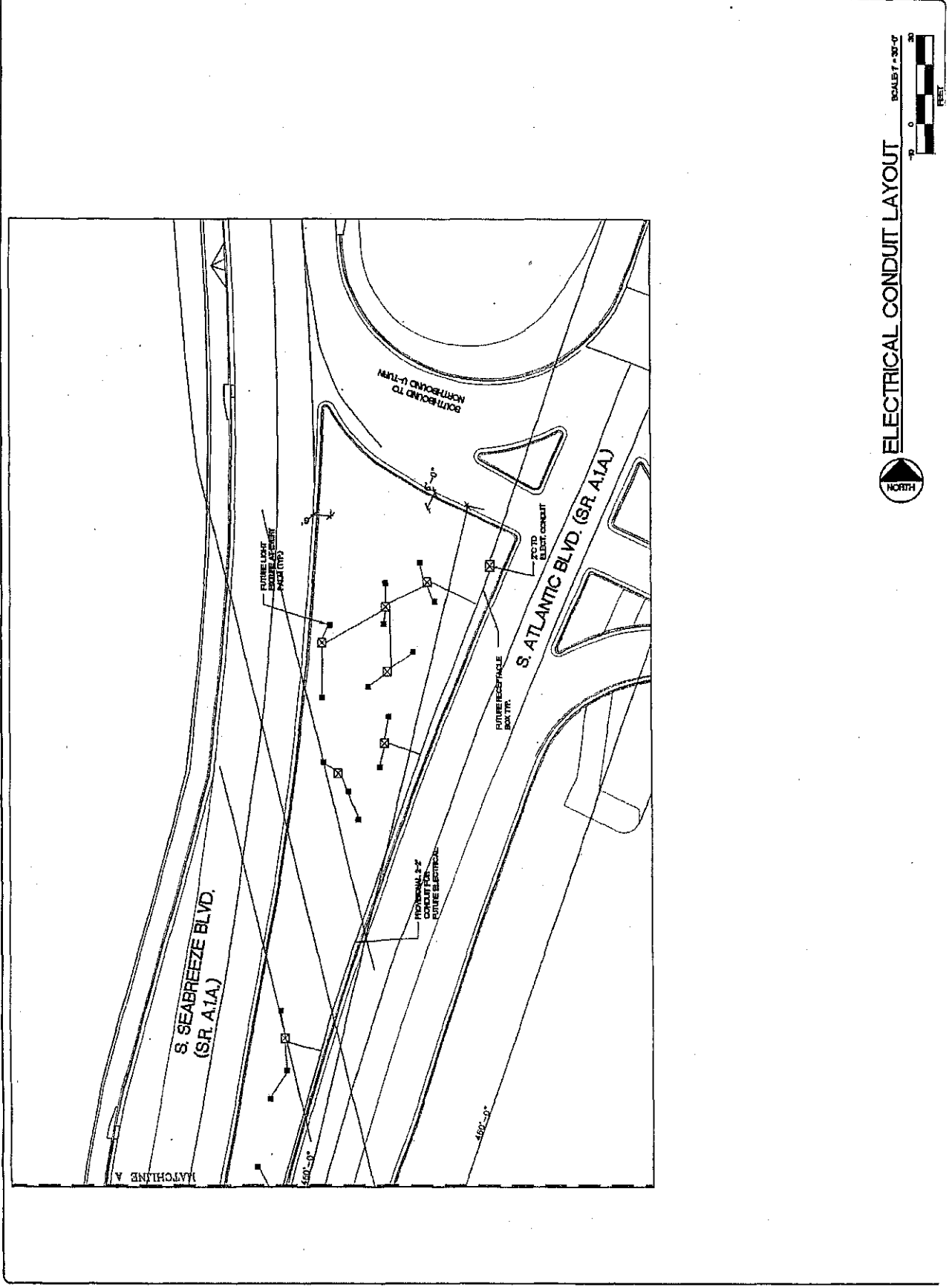
- ☒ Pull Boxes.
- Electrical Boxes.

— Sch 40 PVC Conduit, Main Run = 2", Feeder Run = 1 1/2"



ELECTRICAL CONDUIT LAYOUT
 SCALE: 1" = 30'-0"
 0 30 60
 FEET

PROJECT # P1074 A1A MEDIANS SOUTH OF SUNRISE BLVD. TO BAYSHORE DRIVE MEDIAN ELECTRICAL CONDUIT LAYOUT 100 N. ANDREWS AVE., FORT LAUDERDALE		E-2 8 SHEET NO. 10 TOTAL SHEETS 10 DATE: 11/1/2007 DRAWN BY: [blank] CHECKED BY: [blank]																				
CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING & ARCHITECTURE 100 North Andrews Avenue, Fort Lauderdale, Florida 33301		REVISIONS <table border="1"> <tr><th>NO.</th><th>DATE</th><th>BY</th><th>DESCRIPTION</th></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>	NO.	DATE	BY	DESCRIPTION																
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DATE: 11/1/2007 DRAWN BY: [blank] CHECKED BY: [blank]	DATE: 11/1/2007 DRAWN BY: [blank] CHECKED BY: [blank]	DATE: 11/1/2007 DRAWN BY: [blank] CHECKED BY: [blank]																				



DATE: 08/14/2007
 DRAWN BY: J. PATRICKSON
 CHECKED BY: J. PATRICKSON
 PROJECT: 100 N. ANDREWS AVE., FORT LAUDERDALE, FLORIDA 33301

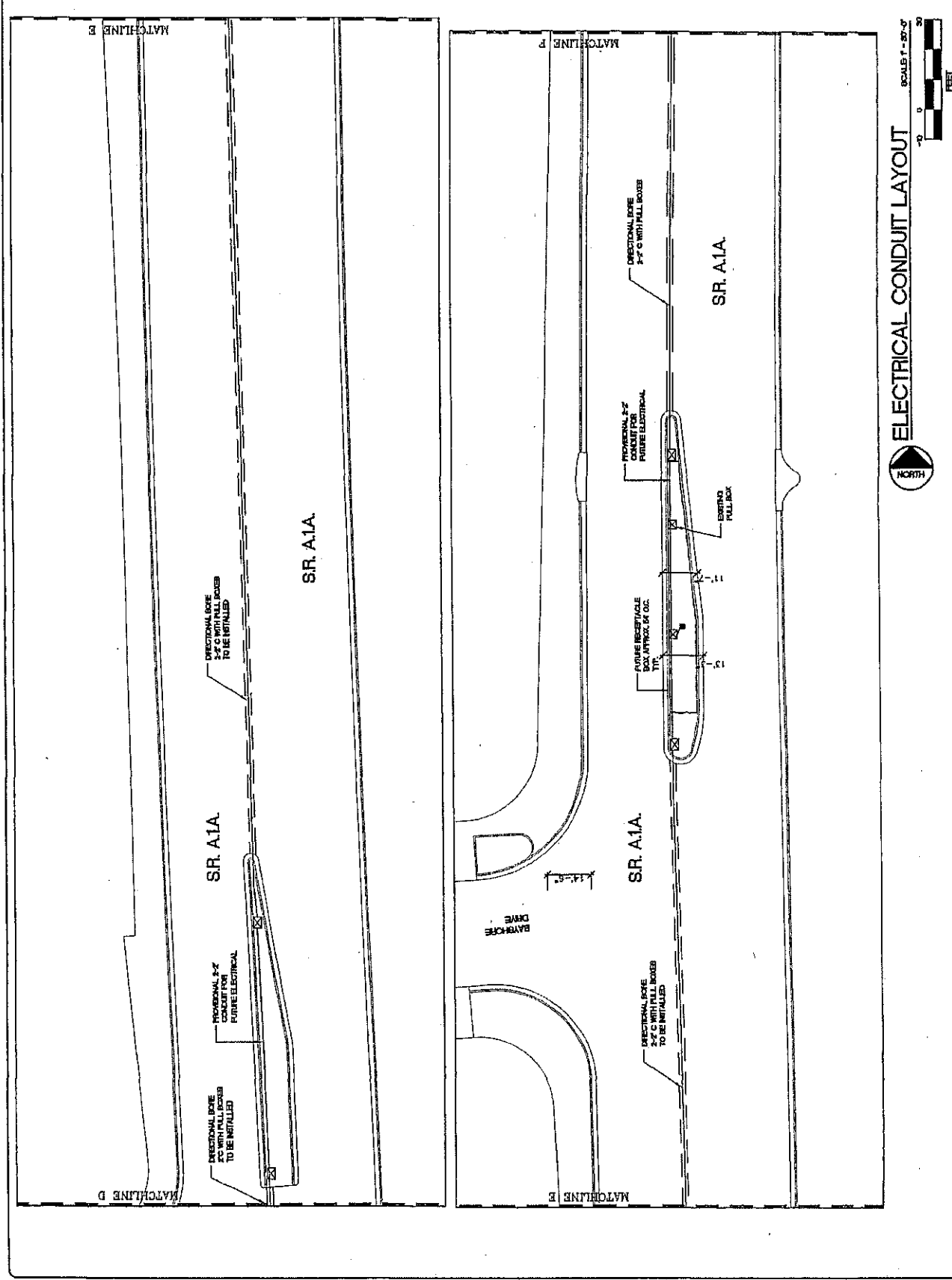
PROJECT # P10774
 17174-01-000-0000
 100 N. ANDREWS AVE., FORT LAUDERDALE, FLORIDA 33301

CITY OF FORT LAUDERDALE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING & ARCHITECTURE
 100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	DESCRIPTION

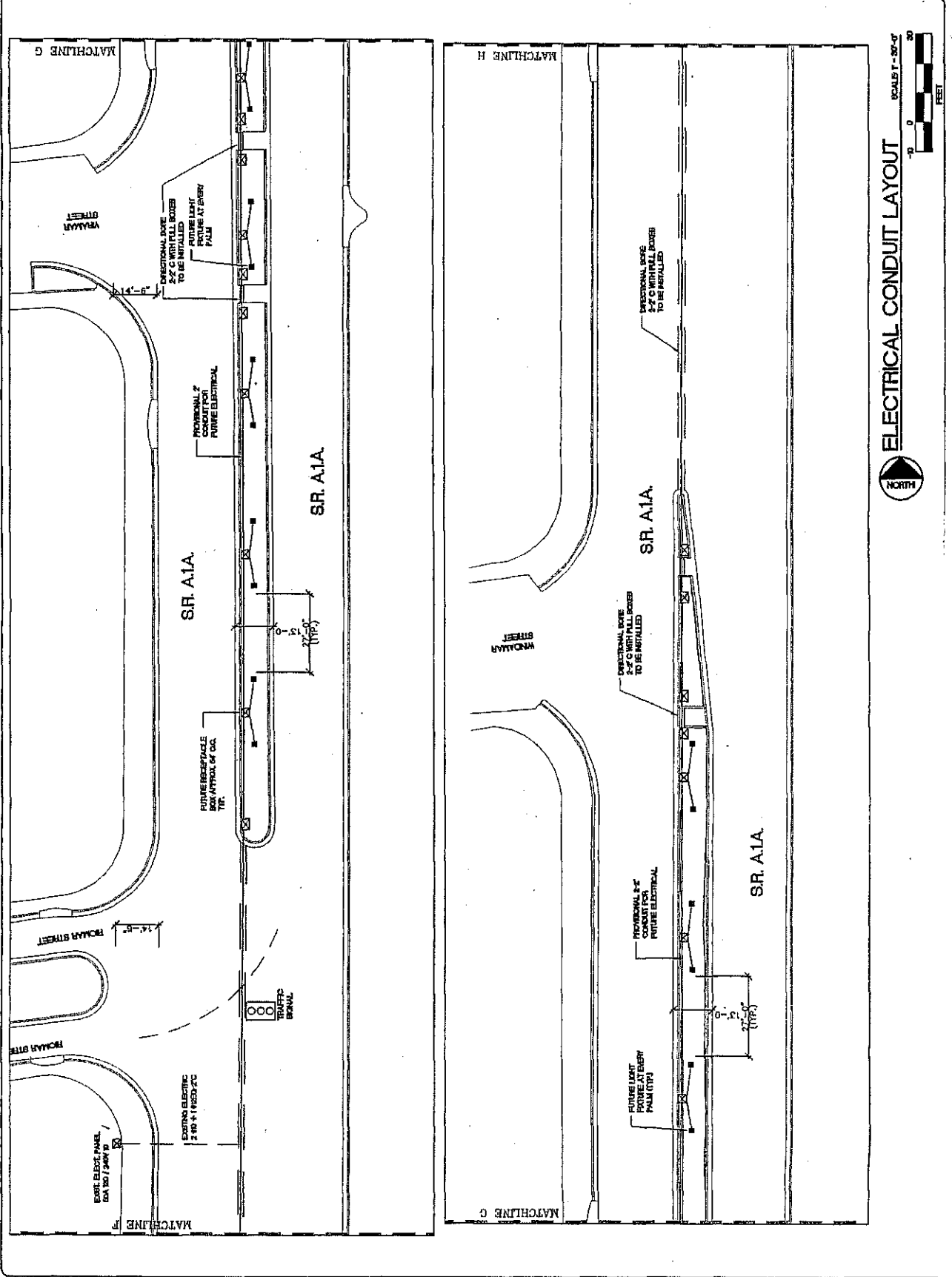
PROJECT # P10774
 A1A MEDIANS SOUTH OF SUNRISE BLVD.
 TO BAYSHORE DRIVE
 MEDIAN ELECTRICAL CONDUIT LAYOUT
 100 N. ANDREWS AVE., FORT LAUDERDALE

E-4 8
 SCALE: 1" = 50'-0"
 NORTH



ELECTRICAL CONDUIT LAYOUT
 NORTH
 SCALE: 1" = 50'-0"
 FEET

PROJECT # P10774 A1A MEDIANS SOUTH OF SUNRISE BLVD. TO BAYSHORE DRIVE MEDIAN ELECTRICAL CONDUIT LAYOUT 100 N. ANDREWS AVE., FORT LAUDERDALE		E-5 B DATE: 11/11/2011 DRAWN BY: [blank] CHECKED BY: [blank]	CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING & ARCHITECTURE 100 North Andrews Avenue, Fort Lauderdale, Florida 33301
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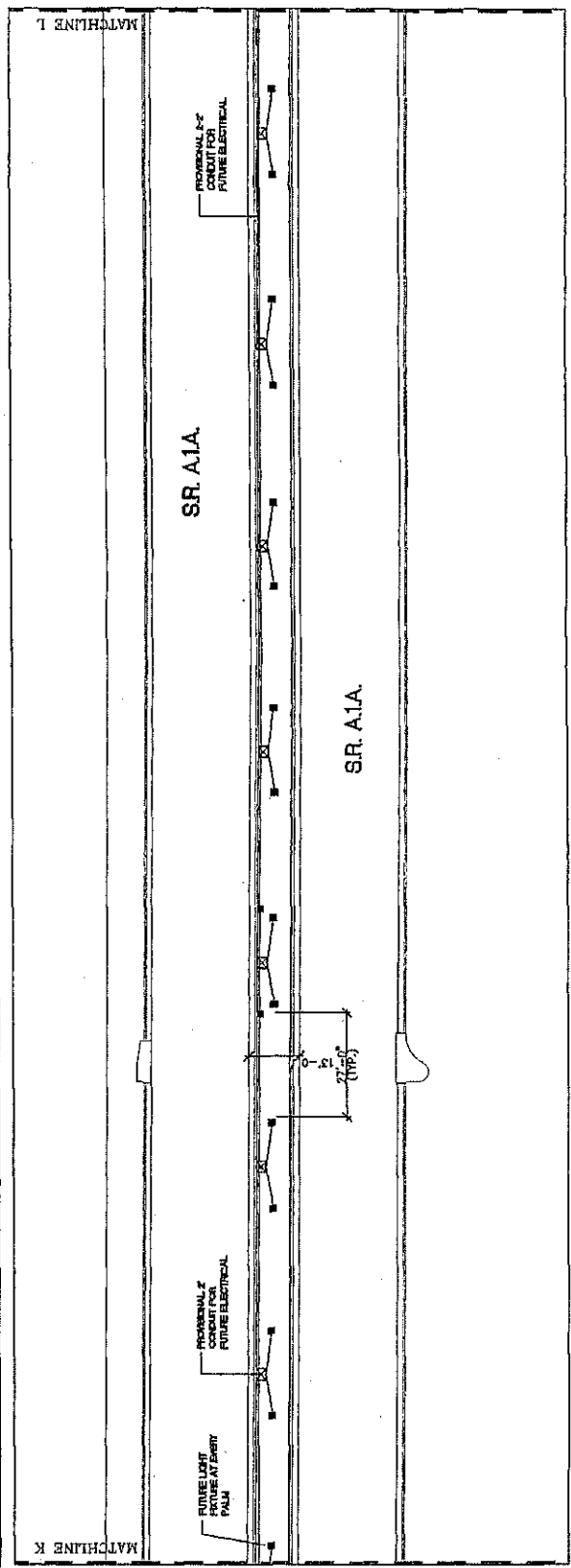
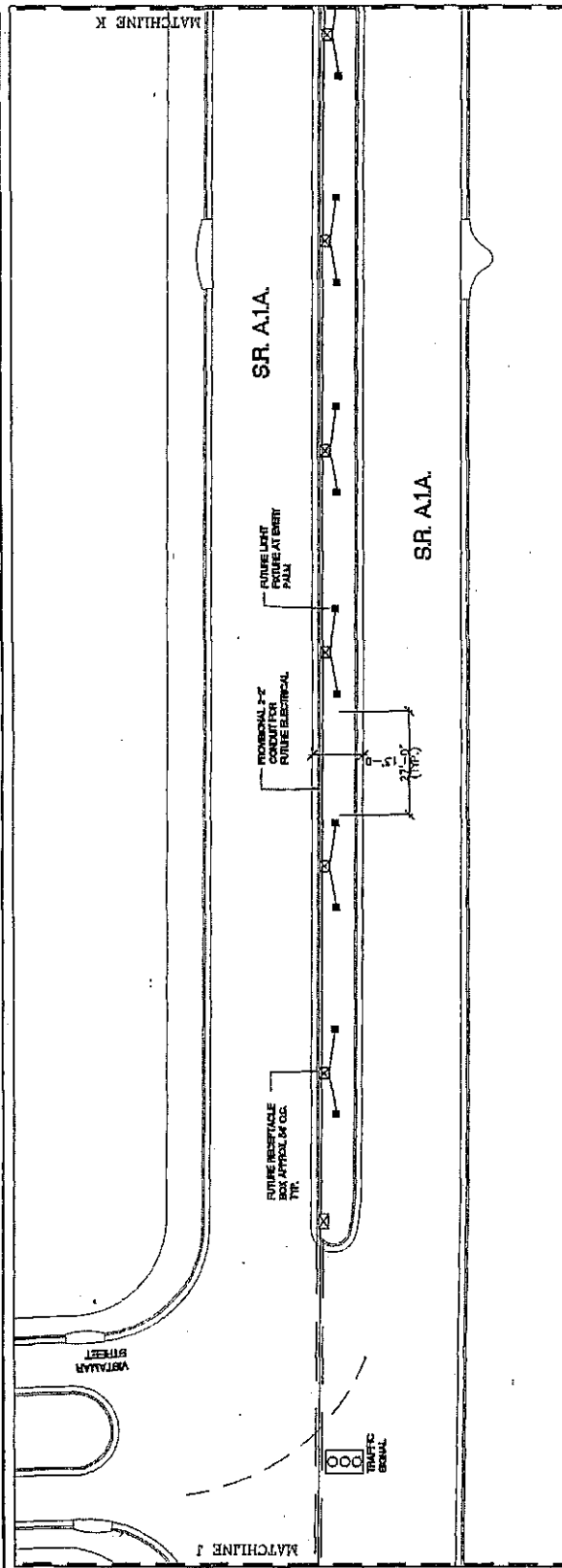
ELECTRICAL CONDUIT LAYOUT

SCALE: 1" = 30'-0"

0 10 20
FEET

LITTON

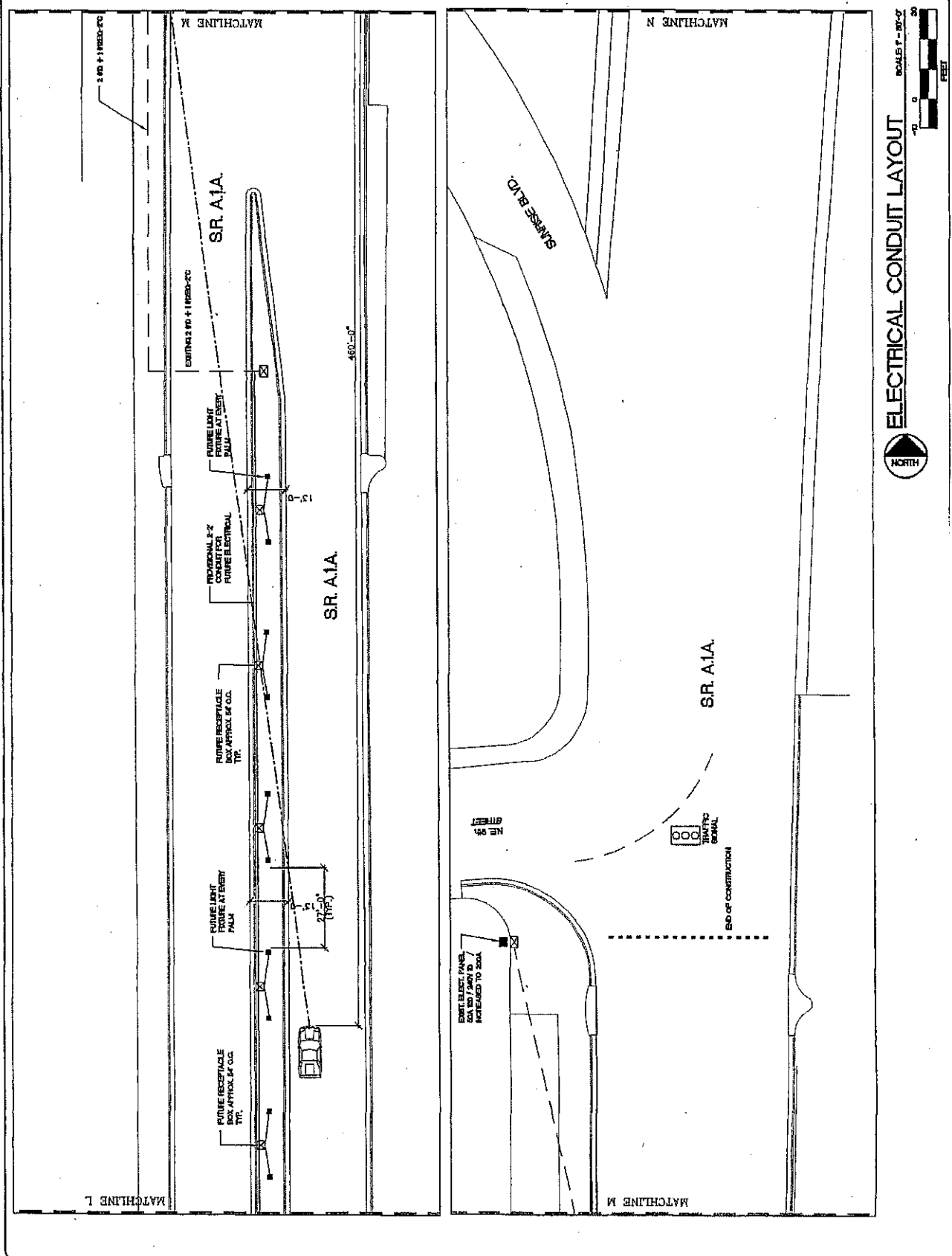
PROJECT # P10774 A1A MEDIANS SOUTH OF SUNRISE BLVD. TO BAYSHORE DRIVE MEDIAN ELECTRICAL CONDUIT LAYOUT 100 N. ANDREWS AVE., FORT LAUDERDALE		SHEET NO. E-7 OF 8
CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING & ARCHITECTURE 100 North Andrews Avenue, Fort Lauderdale, Florida 33301		TOTAL DATE PLOTTED PLOTTED BY PLOT SCALE
DRAWN BY CHECKED BY DATE	PROJECT NO. SHEET NO. DATE	REVISIONS NO. DATE BY DESCRIPTION



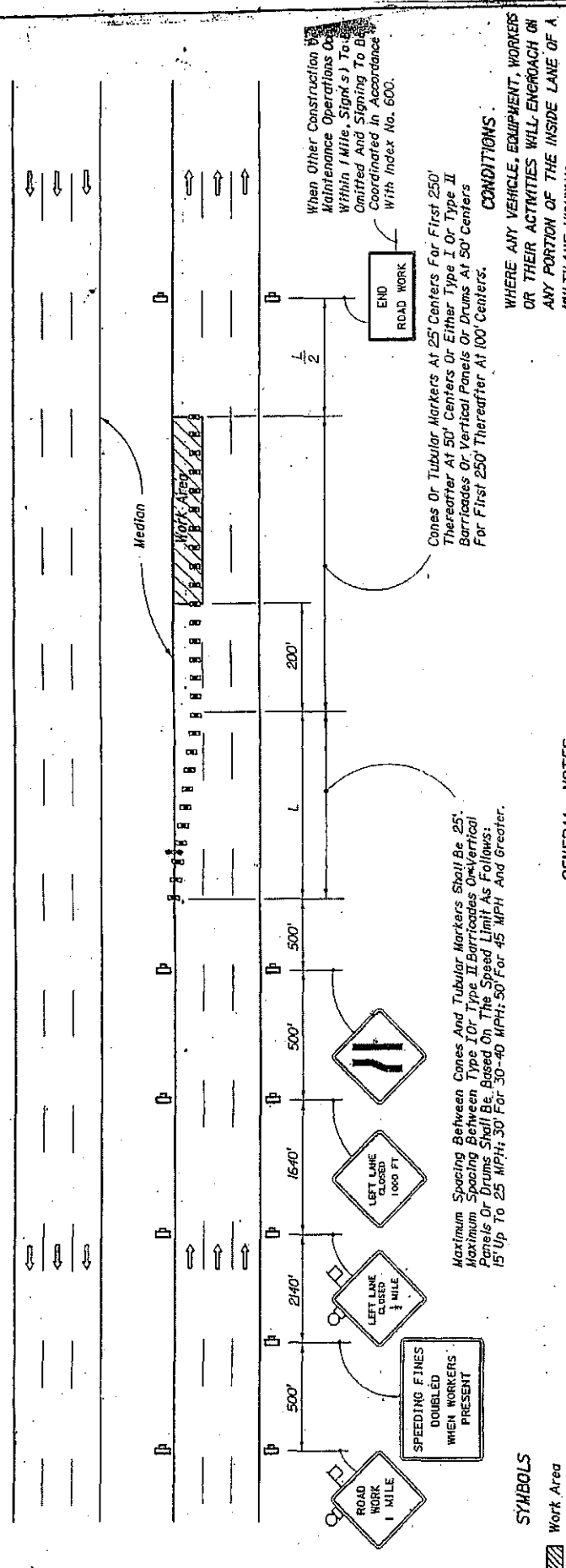
ELECTRICAL CONDUIT LAYOUT

SCALE: 1" = 30'-0"

FEET



ELECTRICAL CONDUIT LAYOUT
 NORTH
 SCALE: 1" = 30'-0"
 0 10 20
 FEET



When Other Construction Or Maintenance Operations Occur Within 1/2 Mile, Signs To Be Omitted And Signing To Be Coordinated In Accordance With Index No. 600.

Cones Or Tubular Markers At 25' Centers For First 250' Thereafter At 50' Centers Or Either Type I Or Type II Barricades Or Vertical Panels Or Drums At 50' Centers For First 250' Thereafter At 100' Centers.

CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES WILL ENDEAVOR ON ANY PORTION OF THE INSIDE LANE OF A MULTILANE HIGHWAY.

GENERAL NOTES

1. All vehicles, equipment, workers and their activities are restricted at all times to one side of the highway.
2. The first two warning signs, each side, shall have an 18" x 18" (min.) orange flag and a Type B light attached and operating at all times. Mesh signs may be used for (Daylight Only) operations. Type B Lights and Orange Flags are not required.
3. All signs shall be post mounted if clearance time exceeds 12 hours.
4. L (min.) = WS for speeds ≥ 45 mph
 $\frac{WS}{60}$ for speeds ≤ 40 mph
 Where:
 W = Width of lateral transition in feet
 S = Posted speed limit (mph).
5. The LEFT LANE CLOSED and lane reduction signs are to be removed or fully covered when no work is being performed and the inside lane is open to traffic.
6. Advance warning arrow panels are required for both day and night operation. Either the right flashing arrow or the right sequential arrow modes may be used; the caution mode shall not be used.
7. Arrows denote direction of traffic only and do not reflect pavement marking.
8. Longitudinal dimensions are to be adjusted to fit field conditions. See Index No. 600.
9. When a side road intersects the highway on which work is being performed additional traffic control devices shall be erected in accordance with other applicable TCZ indexes.
10. For work performed in the outside lane refer to Index Nos. 612 and 613. For work performed in the center lane refer to Index No. 616.
11. For general TCZ requirements and additional information refer to Index No. 600.

SYMBOLS

- Work Area
- Sign With 18" x 18" (41in.) Orange Flag And Type B Light
- Type I Or Type II Barricade Or Vertical Panel Or Drum (With Steady Burning Light At Night Only). (Tubular Markers May Be Used During Daylight Only. Cones May Be Used - See Index No. 600.)
- Work Zone Sign
- Advance Warning Arrow Panel

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
 TRAFFIC CONTROL THROUGH WORK ZONES

MULTILANE DIVIDED - RURAL

Checked By	Date	Approved By
Drawn By	Scale	Checked By
Checked By	Scale	Checked By
Checked By	Scale	Checked By

Sheet No. 617 of 617

SECTION NO: 86010, 86050,
81180, 86180
S.R. NO(S): A1A
COUNTY: BROWARD
FM NO.(S): 22811.6, 41687.2
WPI NO.(S): 4110739, 4110882

EXHIBIT H

PENDING DEPARTMENT PROJECT'S COST ESTIMATE

Dated: 7/3/07

\$ 34,266.48

See Attached

Pay Item No.	Construction Item	Units	Quantity	Unit Cost	Total Cost
570-1-2	Performance Turf (ST. Augustine 'Floritam')	SY	773.00	\$3.50	\$2,705.50
Landscape Complete: (Small Plants)					
580-1-1	Sea Oxeye Daisy	EA	450	\$10.00	\$4,500.00
580-1-1	Beach Sunflower	EA	100	\$10.00	\$1,000.00
SUBTOTAL					\$5,500.00
Landscape Complete: (Large Plants)					
580-1-2	Live Oak	EA	4	\$1,000.00	\$4,000.00
580-1-2	Sabal Palm	EA	28	\$200.00	\$5,600.00
580-1-2	Montgomery Palm	EA	18	\$500.00	\$9,000.00
580-1-2	Ligustrum	EA	8	\$500.00	\$4,000.00
SUBTOTAL					\$22,600.00
590-70	Irrigation System	LS	1	\$3,460.98	\$3,460.98
TOTAL ESTIMATED CONSTRUCTION COST					\$34,266.48

Opinion of Probable Construction Costs
S.R. A-1-A (Ocean Blvd.)
Median Landscape and Irrigation Plans
FPID No. 416872-1-52-01
Project Limits: From 18th Street to Oakland Park Blvd.
City of Ft. Lauderdale, Florida
Date: June 29, 2007



Florida Department of Transportation

CHARLIE CRIST
GOVERNOR

PLANNING AND
ENVIRONMENTAL MANAGEMENT-DISTRICT 4
3400 West Commercial Boulevard
Fort Lauderdale, FL 33309-3421
Telephone: (954) 777-4601
Fax: (954) 777-4310

STEPHANIE C. KOPELOUSOS
SECRETARY

01/17/08
RECEIVED - M P H

February 7, 2008

Ms. Rose Picchio
City Clerk's Office
City of Fort Lauderdale
100 N. Andrews Avenue
Fort Lauderdale, Florida 33301

Dear Ms. Picchio:

RE: District Four (4) Inclusive Maintenance Memorandum of Agreement (MOA) for State Road A1A within the limits of the City of Fort Lauderdale (Current city limits from State Road 5 (US 1) (M.P.0.000) to Flamingo Avenue (M.P.6.410).

Enclosed is one (1) original executed Inclusive Maintenance Memorandum of Agreement for the landscape improvements previously installed along State Road A1A within the city limits of Fort Lauderdale. Also, included in this agreement are 2 pending projects listed in Exhibit B. This agreement supersedes the existing agreements referenced in Exhibit C in this Agreement.

As established in the enclosed Agreement, in the event the Department decides to construct additional landscape improvements or modify these improvements within the limits of the rights of way identified above, the Department and the City shall agree in writing and require a City designated signature (Chairperson/Mayor/Director of Parks & Recreation/City Manager/City Engineer/Director of Public Works) for the approval of said landscape improvements and maintenance plan thereof. A sample Consent Form is attached for your information.

If you have any questions or need further information, please contact me at (954) 777-4219.

Sincerely,

For: Elisabeth A. Hassett, R.L.A.
District Landscape Architect

S:\OPEM\Landscpe\MOA Inclusive FL Lauderdale Incl MOA\SR A1A Incl MOA SR A1A Exe Cover Ltr.doc

Ms. Rose Picchio
February 7, 2008
Page 2

Enclosures:
Original Copy Inclusive MOA
Sample Inclusive MOA Addendum

CC: P.Thornberg
Cleo Marsh
Tom Reynolds
Bing Wang
VMS
File

SECTION NO: XXXXX
S.R. NO(S): A1A
COUNTY: BROWARD
FM NO.(S): XXXXXX

**DISTRICT FOUR (4)ADDENDUM # ONE (1)
TO STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION AND
CITY OF FORT LAUDERDALE LANDSCAPE
INCLUSIVE MEMORANDUM OF AGREEMENT FOR SR A1A**

This is Addendum Number One to the Agreement dated XXXXXXXX, made and entered into this _____ day of _____ 20__ by and between the State of Florida Department of Transportation hereinafter called the “DEPARTMENT” and the City of Fort Lauderdale, a political subdivision of the State of Florida, hereinafter called the “AGENCY”.

The parties agree as follows:

Pursuant to paragraph 13 of the Inclusive Agreements for SR A1A dated XXXXXXXX the DEPARTMENT has decided to construct additional landscape improvements or to modify an improvement located as indicated in Exhibit A. (M.P. XXXXX) to (M.P. XXXXX) in accordance with the plans attached as Exhibit B.

The AGENCY shall agree to maintain the landscape improvements as provided in the Inclusive Agreement described above and as provided in the Maintenance Plan, attached as Exhibit C.

The DEPARTMENT agrees to enter into a contract to have installed said landscape improvements for an amount as indicated in Exhibit D not to exceed \$XXXXXX

Contacts under paragraph 1 of the above referenced have been changed as follows:

Exhibits

- Exhibit A – PROJECT LOCATION & PROJECT LOCATION MAP
- Exhibit B - PROJECT PLANS
- Exhibit C – MAINTENANCE PLAN
- Exhibit D - PROJECT COSTS

In Witness Whereof, the parties hereto have executed with this Addendum effective the ____ day _____ year written and approved.

CITY OF FORT LAUDERDALE,
a municipal corporation.

State of Florida
Department of Transportation

BY:

BY:

Chairperson/Mayor/Director of Parks &
Director
Recreation/City Manager/City Engineer/
Director of Public Works

Transportation Development

City Attorney

Date

District General Counsel

Date

SECTION NO: XXXXX
S.R. NO(S): A1A
COUNTY: BROWARD
FM NO.(S): XXXXXX

EXHIBIT A

I. PROJECT LOCATION:

II. PROJECT LOCATION MAP:

SECTION NO: XXXXX
S.R. NO(S): A1A
COUNTY: BROWARD
FM NO.(S): XXXXXX

EXHIBIT B

PROJECT PLANS

The Department agrees to install the Project in accordance with the plans and specifications attached hereto and incorporated herein.

Please see attached plans prepared by:

Dated:

SECTION NO: XXXXX
S.R. NO(S): A1A
COUNTY: BROWARD
FM NO.(S): XXXXXX

EXHIBIT C

MAINTENANCE PLAN

This Exhibit forms an integral part of the DISTRICT FOUR (4) Addendum to the HIGHWAY MAINTENANCE MEMORANDUM OF AGREEMENT between the State of Florida, Department of Transportation and the AGENCY.

Dated:

SECTION NO: A1A
S.R. NO(S): A1A
COUNTY: BROWARD
FM NO.(S): XXXXXXXX

EXHIBIT D

PROJECT COST

This Exhibit forms an integral part of the DISTRICT FOUR (4) Addendum to the HIGHWAY MAINTENANCE MEMORANDUM OF AGREEMENT between the State of Florida, Department of Transportation and the AGENCY.

Dated:

I. APPROXIMATE PROJECT COST:

\$ XXXXXX

SECTION No.: 86050000
S.R. No.: A1A
PERMIT No: 2017-L-491-010
COUNTY: BROWARD

**DISTRICT FOUR (4) AMENDMENT NUMBER ELEVEN (11) TO STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION LANDSCAPE INCLUSIVE
MEMORANDUM OF AGREEMENT**

THIS AMENDMENT Number Eleven (11) to the Agreement dated January 31, 2008, made and entered into this 5th day of February 2019 by and between the State of Florida Department of Transportation hereinafter called the DEPARTMENT and the CITY OF FORT LAUDERDALE, a municipal corporation of the State of Florida, hereinafter called the AGENCY.

WITNESSETH

WHEREAS, the parties entered into the Landscape Inclusive Maintenance of Agreement dated, January 31, 2008 for the purpose of maintaining the landscape improvements by the AGENCY on State Road A1A; and,

WHEREAS, the DEPARTMENT and the AGENCY have agreed to add additional landscape improvements to be installed on State Road A1A in accordance with the above referenced Agreement; and,

WHEREAS, the AGENCY by Resolution No. 18-151 dated January 28, 2019 attached hereto and by this reference made a part hereof, desires to enter into this Agreement and authorized its officers to do so; and,

NOW THEREFORE, for and in consideration of mutual benefits that flow each to the other, the parties covenant and agree as follows:

1. The DEPARTMENT shall modify the Inclusive Landscape Maintenance Memorandum of Agreement for State Road A1A dated January 31, 2008 by adding the following provision:

ADJACENT PROPERTY OWNER IMPROVEMENTS

The DEPARTMENT may allow an adjacent property owner to construct additional landscape improvements within the limits of the right of way identified in Exhibit "A" of this Agreement that the AGENCY shall be responsible for maintaining under this Agreement, subject to the following conditions:

- (a) Plans for any new landscape improvements shall be subject to approval by the DEPARTMENT and shall require a valid permit attached with a letter of consent to said plans by the AGENCY. The plans shall not be changed or deviated from without written approval by the DEPARTMENT and the AGENCY.
- (b) All landscape improvements shall be developed and implemented in accordance with appropriate state safety and roadway design standards.
- (c) The AGENCY agrees to comply with the requirements of this Agreement with regard to any additional landscape improvements installed by an adjacent owner.

2. Pursuant to the provision added in Section of this amendment the AGENCY has agreed to allow the adjacent property owner with the AGENCY'S approval to construct additional landscape improvements or to modify an improvement located as indicated in **Exhibit "A"**, State Road A1A (North Ocean Boulevard from (M.P. 4.619) to (M.P. 4.726), in accordance with the plans attached as **Exhibit "B"**.

3 The AGENCY shall agree to maintain the additional landscape improvements in the original Inclusive Agreement described above in accordance with the Maintenance Plan, **Exhibit "C"** of the original agreement and,

Except as modified by this Amendment, all terms and conditions of the original Agreement and all Amendments thereto shall remain in full force and effect.

LIST OF EXHIBITS

- Exhibit A - Landscape Improvements Limits and Maintenance Boundaries and Location Map
- Exhibit B - Landscape Improvement Plans

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the day and year provided below.

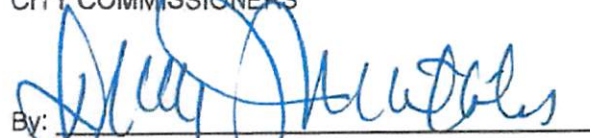
AGENCY

CITY OF FORT LAUDERDALE, through its
CITY COMMISSIONERS

ATTEST:



Jeffrey A. Modarelli, City Clerk

By: 

Dean J. Trantalis, Mayor

22 day of January, 2018⁹



Lee R. Feldman, City Manager
Christopher S. Laserbloom
Approved as to form by Office of City Attorney

(SEAL)

By: 


Shari C. Wallen, Assistant City Attorney

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

By: 

Director of Transportation Development

5th day of February, 2018⁹

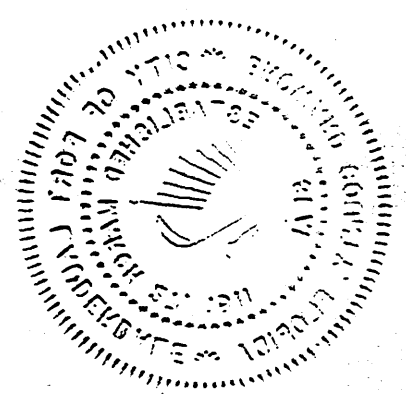
Approval: 

Office of the General Counsel (Date)

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**SECTION No.: 86050000
S.R. No.: A1A
PERMIT No: 2017-L-491-010
COUNTY: BROWARD**

EXHIBIT A

**LANDSCAPE IMPROVEMENTS PROJECT LIMITS
MAINTENANCE BOUNDARIES LIMITS AND LOCATION MAP**

- I. **INCLUSIVE LANDSCAPE MAINTENANCE AGREEMENT LIMITS FOR STATE ROAD A1A:**
State Road A1A from State Road 5 (US 1) (M.P. 0.000) Section 86180000) (US 1) to Flamingo Avenue (M.P. 6.410) (Section 86050000)

By Individual Sections:

Southbound One Way (Section 86050100)

M.P. 0.0000 (Seville Street) to M.P. 0.926 (Bahia Mar Hotel Entrance)

Northbound One Way / Seabreeze Boulevard / 17th Street Causeway (Section 8618000):

M.P. 0.000 (State Road 5) (US 1) to M.P. 2.964 (State Road 842) (Las Olas Boulevard)

North Fort Lauderdale Beach Area (Section 86050000):

M.P. 2.039 (south of Poinsettia Street) to M.P. 6.410 (Flamingo Drive)

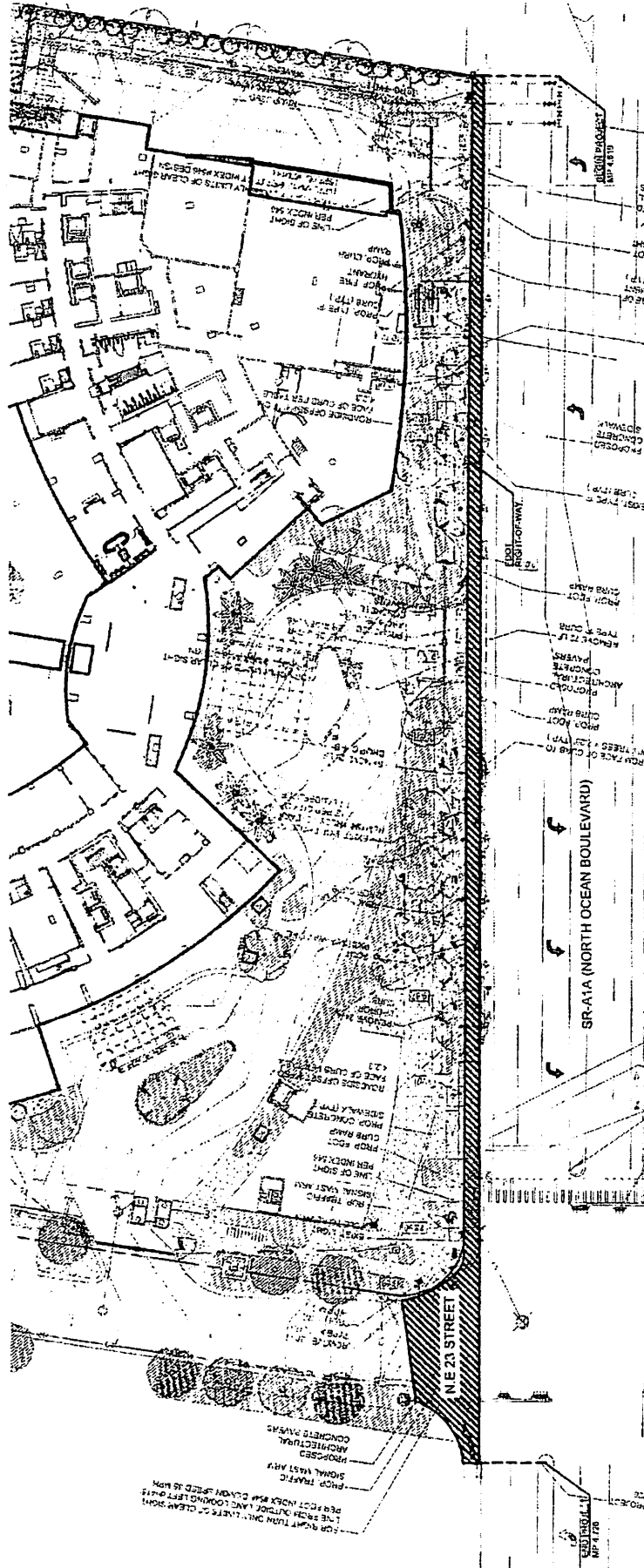
- II. **PERMIT PROJECT LANDSCAPE PROJECT MAINTENANCE LIMITS FOR THIS PROJECT:**

State Road A1A (North Ocean Boulevard from (M.P. 4.619) to (M.P. 4.726)

- III. **PERMIT PROJECT LANDSCAPE MAINTENANCE BOUNDARY LIMITS MAP:**

***All limits of the original agreement and amendments shall apply**

Please See Attached



LIMITS OF MAINTENANCE BY THE CITY OF FORT LAUDERDALE



LANDSCAPE IMPROVEMENT MAINTENANCE BOUNDARY MAP
 CITY OF FORT LAUDERDALE
 FDOT PERMIT NUMBER: 2017-L-491-010

SECTION No.: 86050000
S.R. No.: A1A
PERMIT No: 2017-L-491-010
COUNTY: BROWARD

EXHIBIT B

LANDSCAPE IMPROVEMENT PLANS

The AGENCY agrees to install the landscape improvements in accordance with the plans and specifications attached hereto and incorporated herein.

Please see attached plans prepared by: Nichols Brosch Wurst Wolfe
Gerardo Javier Delgado, RLA
Sheets – 1 - 6
Date: May 31, 2018

And

Nichols Brosch Wurst Wolfe
Diego Jose Vanderbiest, RLA
Sheets 7 – 9
Date: May 30, 2018



**NICHOLS
BROSCH
WOLFE**
ARCHITECTS & PLANNERS, INC.
A PROFESSIONAL CORPORATION
Architects & Planners
10000 W. BOULEVARD
SUITE 100
FORT LAUDERDALE, FL 33305
TEL: 954.473.1100
WWW.NBW.COM

AUBERGE BEACH RESIDENCES AND SPA
2200 North Ocean Blvd., Fort Lauderdale, FL 33305

REVISIONS

NO.	DATE	DESCRIPTION
1	01/15/18	ISSUED FOR PERMIT

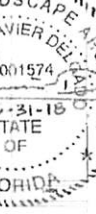


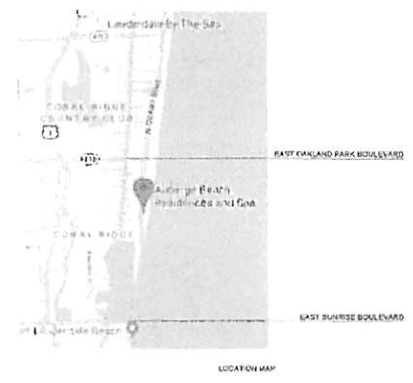
EXHIBIT 01

END PROJECT
MP 4.726

BEGIN PROJECT
MP 4.819

S.R. 11A (NORTH OCEAN BOULEVARD)

NE 23 STREET



LOCATION MAP

FOOT GENERAL NOTES

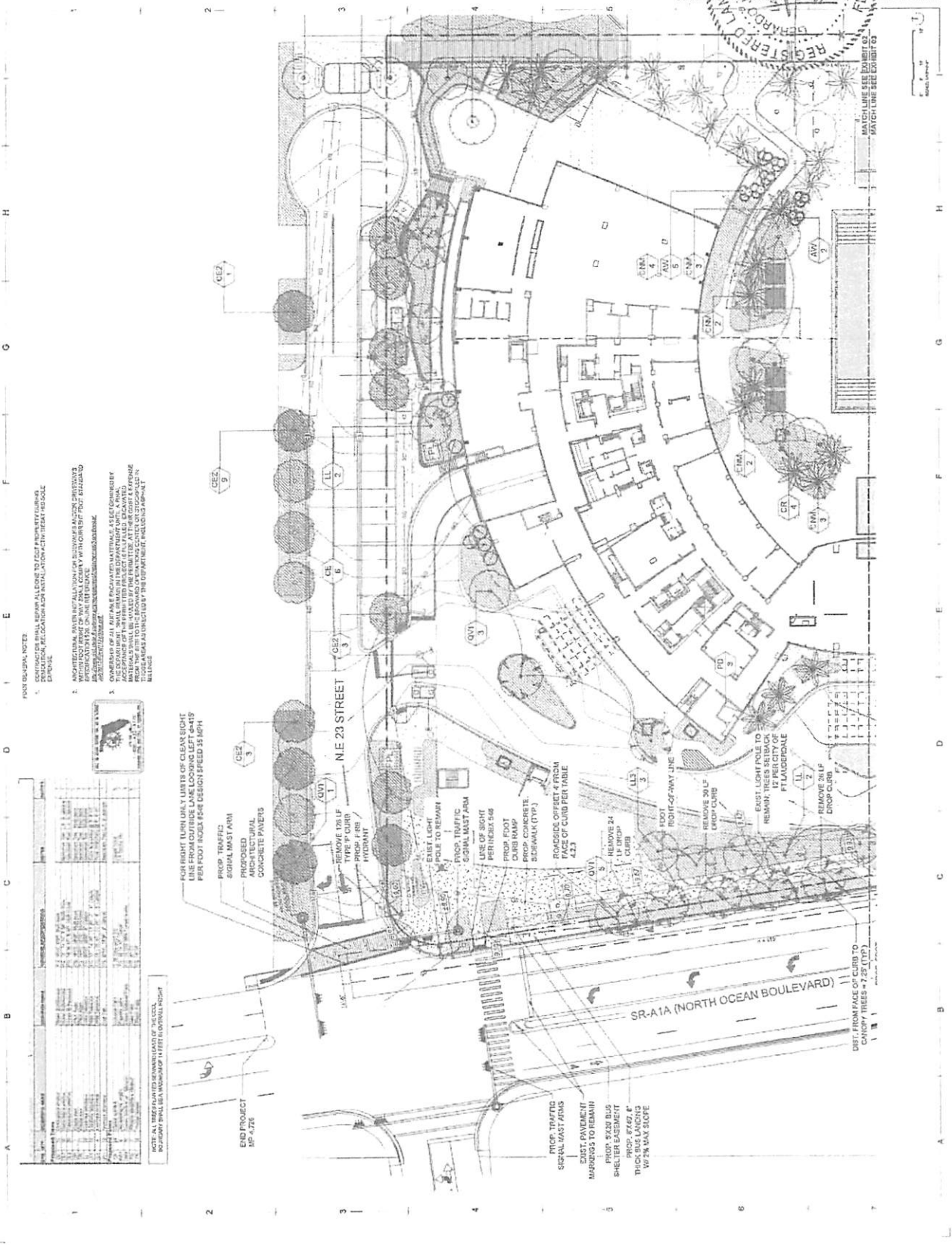
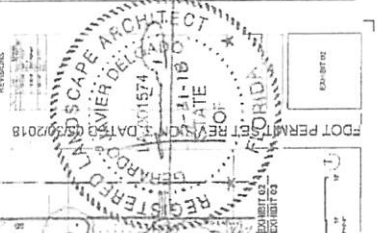
- ROADWAY DESIGN SPEED WITH PROJECT LIMITS IS 35MPH
- DESIGNING STANDARDS AND SPECIFICATIONS 2017-18 FDOT DEPARTMENT OF TRANSPORTATION, DESIGN STANDARDS AND SPECIFICATIONS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION

AUBERGE FT. LAUDERDALE FOOT LANDSCAPE PERMIT

SHEET #	SHEET NAME	FOOT PERMIT NO.	FOOT PERMIT DATE	FOOT PERMIT STATUS
1	PERMIT			
2	GENERAL PLAN			
3	LANDSCAPE ARCHITECTURE PLAN			
4	LANDSCAPE ARCHITECTURE PLAN			
5	LANDSCAPE ARCHITECTURE PLAN			
6	LANDSCAPE ARCHITECTURE PLAN			
7	LANDSCAPE ARCHITECTURE PLAN			
8	LANDSCAPE ARCHITECTURE PLAN			
9	LANDSCAPE ARCHITECTURE PLAN			
10	LANDSCAPE ARCHITECTURE PLAN			



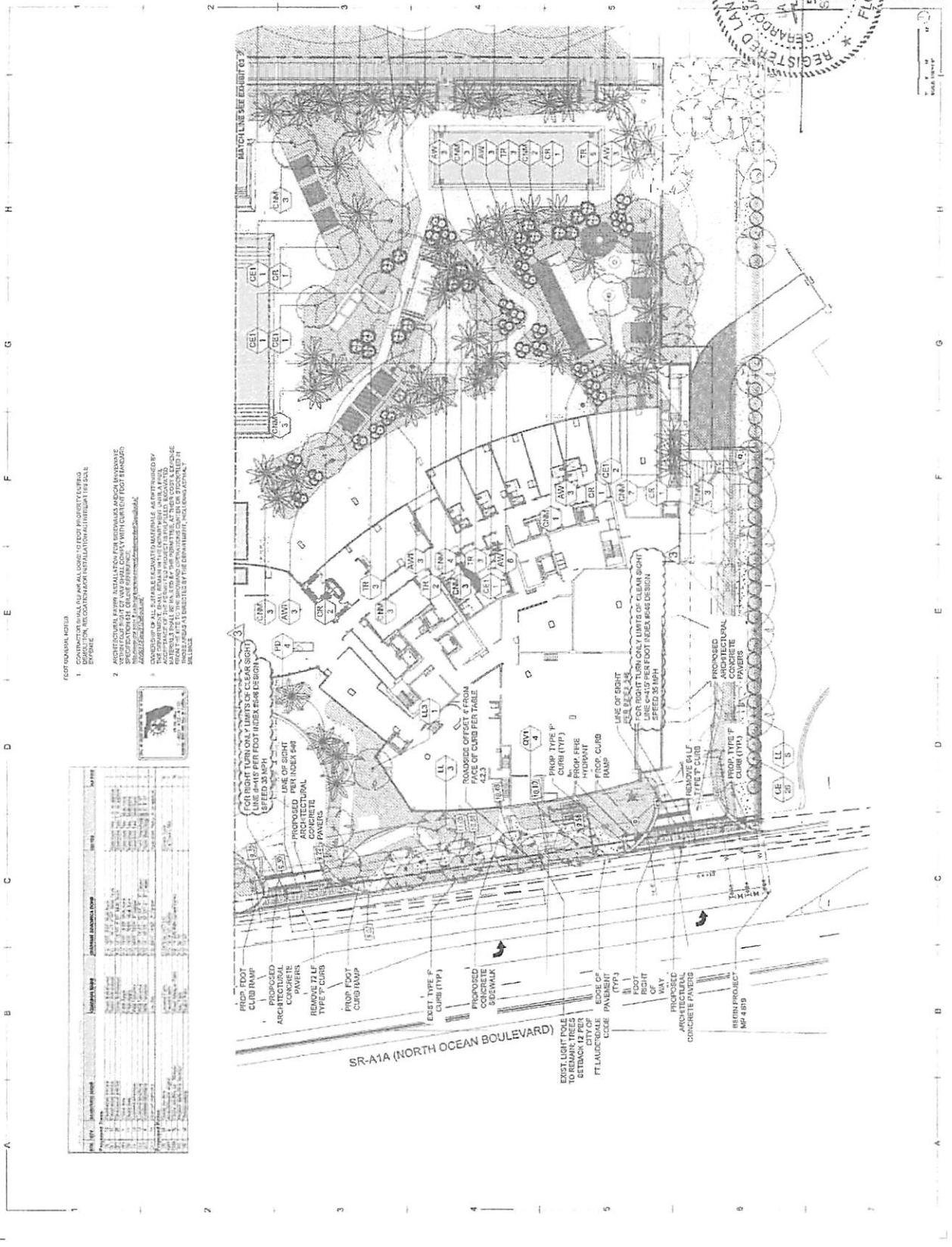
AUBERGE BEACH RESIDENCES AND SPA
 2200 North Ocean Blvd., Fort Lauderdale, FL 33305



- FOOT DESIGNER NOTE:**
1. CONTRACTOR SHALL REMOVE ALL EXISTING CURB AND REPAIR TO MATCH EXISTING CONDITIONS. RECONSTRUCTION SHALL BE IDENTICAL TO EXISTING CONDITIONS.
 2. ARCHITECTURAL WATER INSTALLATION ON RESIDUALS ALONG FRONT PORCHES WITHIN EXISTING CURB SHALL BE IDENTICAL TO EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY WITH CURB CUT POLE STAZING AND PROVIDE APPROPRIATE SIGNAGE TO INDICATE LOCATION.
 3. COVERINGS OF ALL EXISTING PAVEMENT MATERIALS, AS SET OUT BY THE CONTRACTOR, SHALL BE IDENTICAL TO EXISTING CONDITIONS. CONTRACTOR SHALL VERIFY WITH THE DEPARTMENT OF TRANSPORTATION AND PROVIDE APPROPRIATE SIGNAGE TO INDICATE LOCATION. AT THE CURB & EXPANDED CURB AREAS AS INDICATED BY THE DEPARTMENT OF TRANSPORTATION, CONTRACTOR SHALL PROVIDE APPROPRIATE SIGNAGE.

END PROJECT
MP-A-726

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
2	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
3	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
4	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
5	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
6	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
7	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
8	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
9	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
10	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
11	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
12	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
13	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
14	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
15	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
16	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
17	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
18	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
19	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
20	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
21	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
22	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
23	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
24	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
25	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
26	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
27	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
28	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
29	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
30	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
31	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
32	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
33	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
34	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
35	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
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37	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
38	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
39	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
40	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
41	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
42	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
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48	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
49	REMOVE 120 LF TYPE 'P' CURB	120	LF	1.50	180.00
50	INSTALL 120 LF TYPE 'P' CURB	120	LF	1.50	180.00



- FOOT CURB AND SPA
1. CONSULT WITH THE CITY OF FORT LAUDERDALE FOR THE PROPOSED CURB DESIGN. CONSULT WITH THE CITY OF FORT LAUDERDALE FOR THE PROPOSED CURB DESIGN.
 2. THE PROPOSED CURB DESIGN SHALL BE IN ACCORDANCE WITH THE CITY OF FORT LAUDERDALE'S CURB DESIGN MANUAL. THE PROPOSED CURB DESIGN SHALL BE IN ACCORDANCE WITH THE CITY OF FORT LAUDERDALE'S CURB DESIGN MANUAL. THE PROPOSED CURB DESIGN SHALL BE IN ACCORDANCE WITH THE CITY OF FORT LAUDERDALE'S CURB DESIGN MANUAL.

Item No.	Description	Quantity	Unit	Notes
1	PROPOSED CONCRETE PAVERS	1,200	SQ. YD.	
2	REMOVE 12 LF TYPE F CURB	12	LF	
3	PROP. FOOT CURB LOOP	100	LF	
4	PROP. TYPE F CURB (11' x 11')	10	LF	
5	PROPOSED CONCRETE SIDEWALK	100	SQ. YD.	
6	REMOVE 12 LF TYPE F CURB	12	LF	
7	PROP. TYPE F CURB (11' x 11')	10	LF	
8	PROPOSED CONCRETE PAVERS	1,200	SQ. YD.	
9	REMOVE 12 LF TYPE F CURB	12	LF	
10	PROP. TYPE F CURB (11' x 11')	10	LF	

SR-A1A (NORTH OCEAN BOULEVARD)

PROP. LIGHT POLE TO BE INSTALLED TO BE BACKLASH PER CITY OF FORT LAUDERDALE CODE PARABENT (TFP) 11' x 11' WAY

PROPOSED ARCHITECTURAL CONCRETE PAVERS

REMOVE 12 LF TYPE F CURB

PROP. TYPE F CURB (11' x 11')

PROPOSED CONCRETE SIDEWALK

REMOVE 12 LF TYPE F CURB

PROP. TYPE F CURB (11' x 11')

PROPOSED CONCRETE PAVERS

REMOVE 12 LF TYPE F CURB

PROP. TYPE F CURB (11' x 11')

PROPOSED CONCRETE SIDEWALK

REMOVE 12 LF TYPE F CURB

PROP. TYPE F CURB (11' x 11')

PROPOSED CONCRETE PAVERS

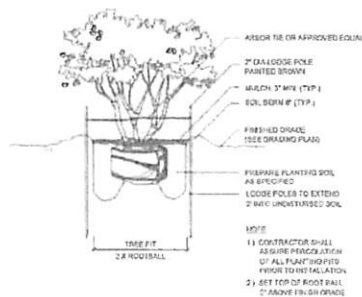
REMOVE 12 LF TYPE F CURB

PROP. TYPE F CURB (11' x 11')

PROPOSED CONCRETE SIDEWALK

REMOVE 12 LF TYPE F CURB

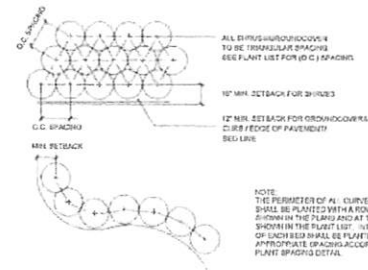
PROP. TYPE F CURB (11' x 11')



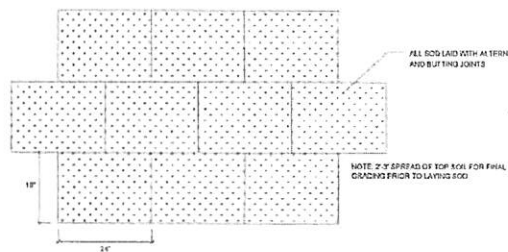
1 MULTI-TRUNK TREE PLANTING DETAIL
SCALE: 1/4" = 1'-0"



2 PALM PLANTING DETAIL
SCALE: 1/4" = 1'-0"



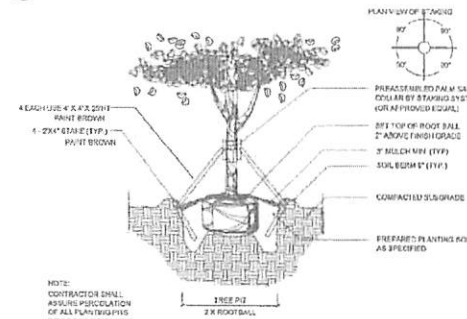
3 PLANT SPACING DETAIL
SCALE: 1/4" = 1'-0"



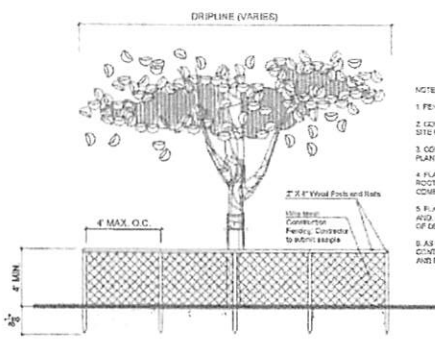
4 SOD PLANTING DETAIL
SCALE: 1/4" = 1'-0"



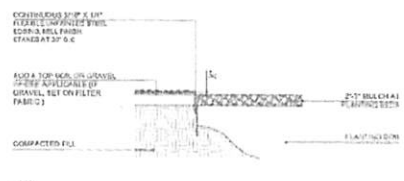
5 SHRUB AND GROUNDCOVER PLANTING DETAIL
SCALE: 1/4" = 1'-0"



6 SPECIMEN TREE PLANTING DETAIL (PLANT BEDS ONLY)
SCALE: 1/4" = 1'-0"



7 TREE PROTECTION DETAIL
SCALE: 1/4" = 1'-0"

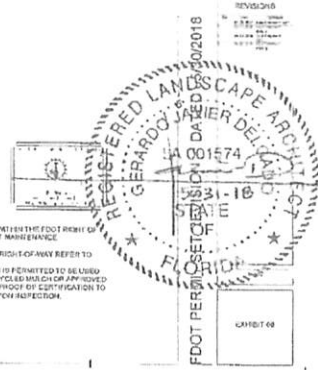


8 STEEL EDGING AT PLANTING BED
SCALE: 1/4" = 1'-0"

- FOOT PLANTING NOTES
- FOR THE PORTION OF THE LANDSCAPE PLANT MATERIALS INSTALLED WITHIN THE FOOT RIGHT OF WAY LANDSCAPE INSTALLATION SHALL COMPLY WITH CURRENT FOOT MAINTENANCE SPECIFICATIONS.
 - FOR THE PORTION OF THE LANDSCAPE DETAILED WITHIN THE FOOT RIGHT OF WAY REFER TO FOOT DESIGN STANDARDS AND LANDSCAPE INSTALLATION.
 - STREETS WHICH ARE NOT PERMITTED ON FOOT RIGHT OF WAY, WHICH ARE PERMITTED TO BE USED ARE: HANCOCK HUNCH COOK AND THE NO. CYPRUS STREETS. REQUIRED INSPECTION OR APPROVED EQUAL, CENTRED BY THE MAIN AND SOIL COURSE, (MISC. SUBMIT PROOF OF CERTIFICATION TO THE FOOT DESIGN CREATOR OR NEARBY LANDSCAPE AND DESIGN LIAISON INSPECTOR.



AUBERGE BEACH RESIDENCES AND SPA
2202 North Ocean Blvd., Fort Lauderdale, FL 33305

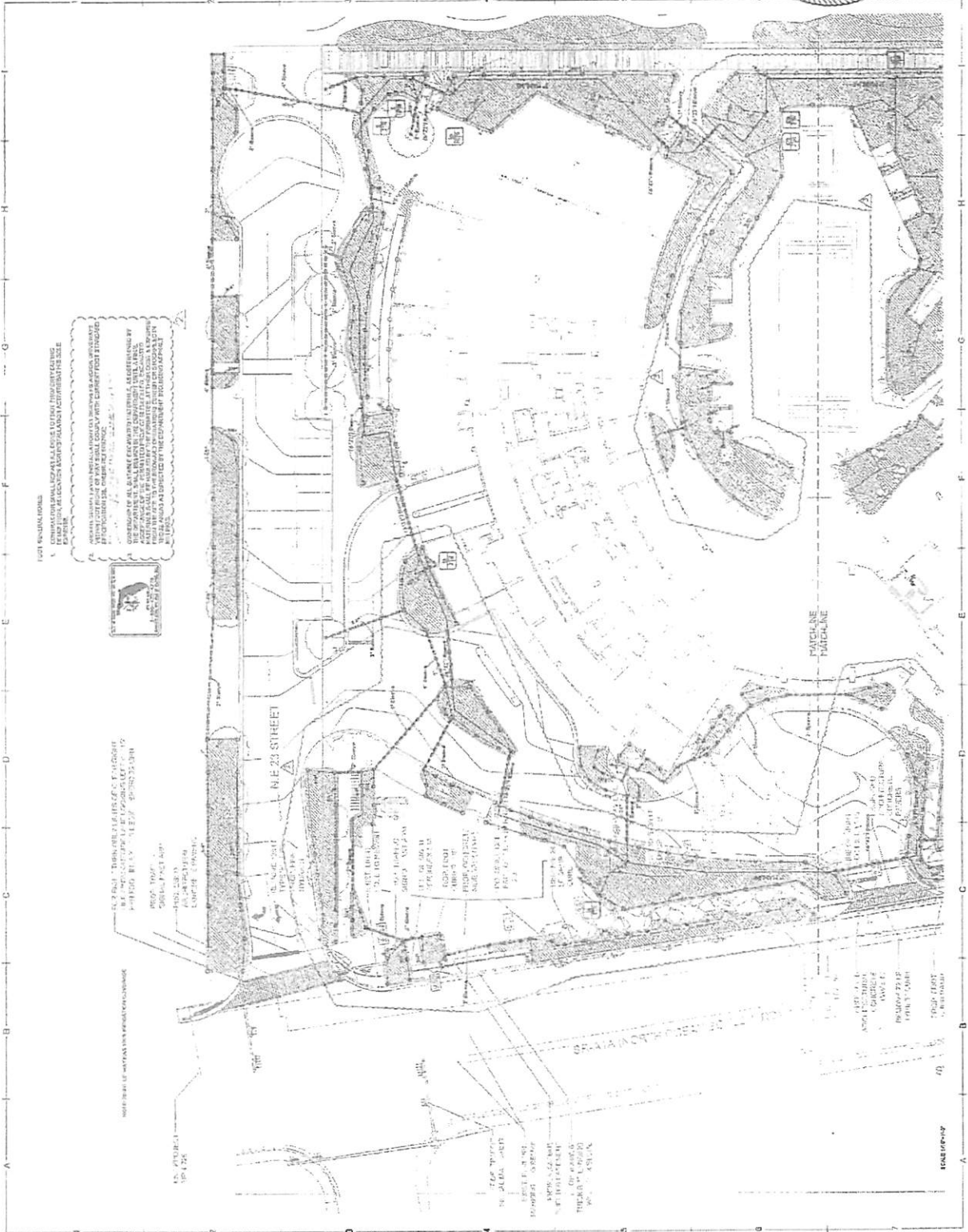




AUBERGE BEACH RESIDENCES AND SPA

2200 NORTH OCEAN BLVD., FORT LAUDERDALE, FL 33305

FOOT PERMITS REVIEWED 05/30/2018



FOOT PERMITS REVIEWED
1. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE MAINTAINED OR REMOVED AND SHALL PROVIDE A UTILITY LOCATIONS SURVEY TO THE CITY ENGINEER FOR REVIEW.
2. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE MAINTAINED OR REMOVED AND SHALL PROVIDE A UTILITY LOCATIONS SURVEY TO THE CITY ENGINEER FOR REVIEW.
3. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE MAINTAINED OR REMOVED AND SHALL PROVIDE A UTILITY LOCATIONS SURVEY TO THE CITY ENGINEER FOR REVIEW.
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9. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE MAINTAINED OR REMOVED AND SHALL PROVIDE A UTILITY LOCATIONS SURVEY TO THE CITY ENGINEER FOR REVIEW.
10. CONTRACTOR SHALL VERIFY ALL UTILITIES TO BE MAINTAINED OR REMOVED AND SHALL PROVIDE A UTILITY LOCATIONS SURVEY TO THE CITY ENGINEER FOR REVIEW.

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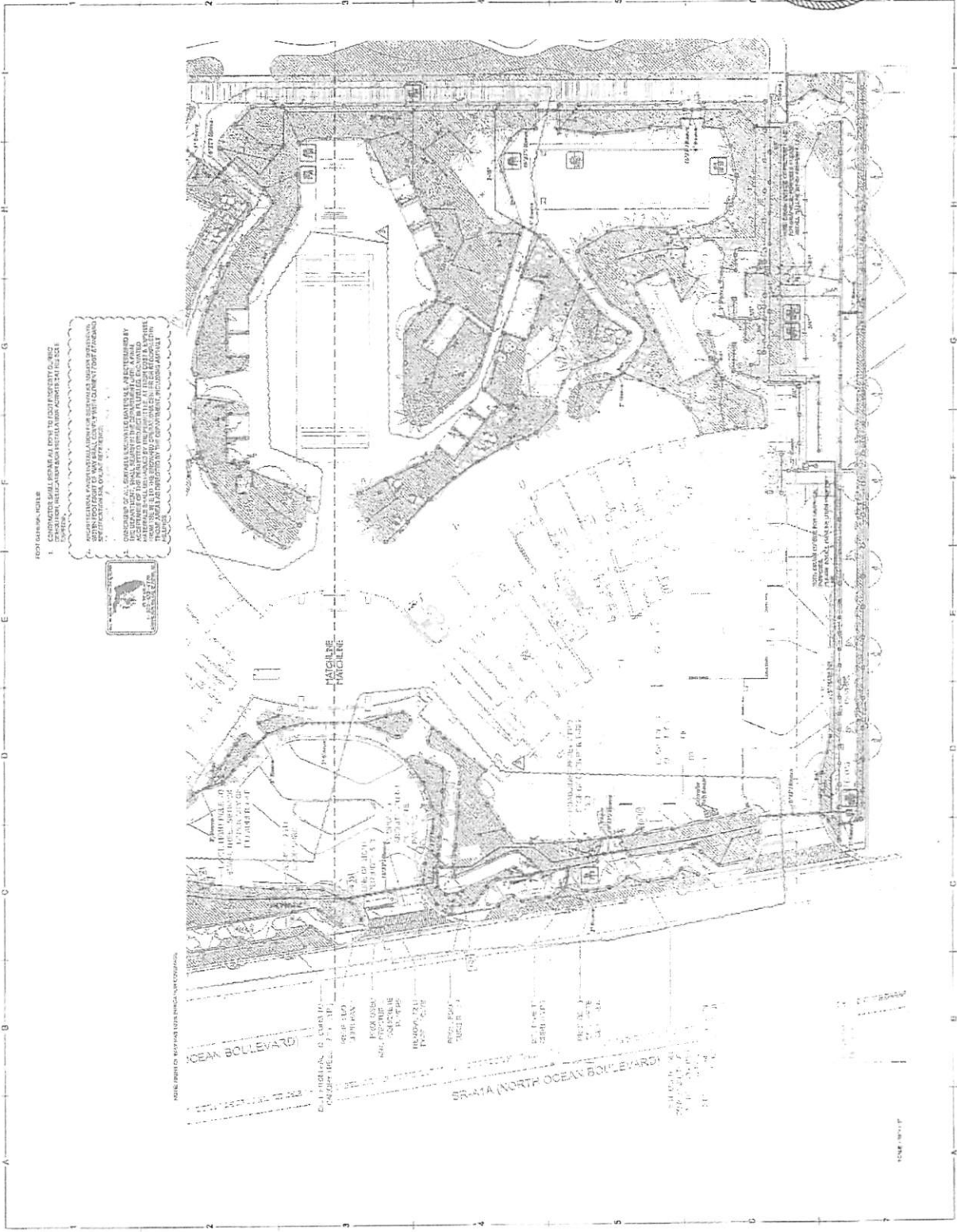
AUBERGE BEACH RESIDENCES AND SPA
 2200 North Ocean Blvd, Fort Lauderdale, FL 33305

IDENTIFY:
 2000 Ocean Blvd
 Fort Lauderdale, FL 33305

REVISIONS:
 1. 05/30/2018



FOOT PERMITS REVISOR'S DATE 05/30/2018



FOOT PERMITS NOTICE
 CONTRACTOR SHALL INFORM ALL BIDS TO FOOT PERMITS DIVISION
 FOR REVIEW AND REVISIONS BEFORE ADDRESSING THE SITE
 CONTRACTOR SHALL NOTIFY THE DIVISION OF ANY CHANGES TO THE
 PROJECT PLAN AND REVISIONS FOR REVIEW AND REVISIONS
 BEFORE CONSTRUCTION OF ANY REVISIONS
 CONTRACTOR SHALL INFORM THE DIVISION OF ANY CHANGES TO THE
 PROJECT PLAN AND REVISIONS FOR REVIEW AND REVISIONS
 BEFORE CONSTRUCTION OF ANY REVISIONS



NOTICE: PRINT OR REPRODUCE THIS DRAWING AT YOUR OWN RISK.

OCEAN BOULEVARD
 SR-11A (NORTH OCEAN BOULEVARD)
 2200 NORTH OCEAN BLVD
 FORT LAUDERDALE, FL 33305
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Exhibit B.2

**Amendment Number Twenty-Two (22) to Florida Department of Transportation District 4
Landscape Inclusive Maintenance Memorandum of Agreement**

Exhibit B.2- Set Forth Below

COUNTY: BROWARD
SECTION: 86180000 / 86180103
SR: A1A (SE 17th STREET)
PERMIT: 2024-L-491-00023

**AMENDMENT NUMBER TWENTY-TWO (22) TO
FLORIDA DEPARTMENT OF TRANSPORTATION DISTRICT 4
LANDSCAPE INCLUSIVE MAINTENANCE MEMORANDUM OF AGREEMENT**

THIS AMENDMENT Number Twenty-Two (22) to the Agreement dated January 31, 2008, was made and entered into this ___ day of _____ 2026 by and between the **DEPARTMENT OF TRANSPORTATION**, a component agency of the State of Florida, hereinafter called the **DEPARTMENT**, and the **CITY OF FORT LAUDERDALE**, a municipal corporation of the State of Florida, hereinafter called the **AGENCY**.

WITNESSETH

WHEREAS the parties entered into the Landscape Inclusive Maintenance Memorandum of Agreement dated January 31, 2008 (“Original Agreement”) for the purpose of the AGENCY maintaining landscape and hardscape improvements on **State Road A1A (SE 17th Street)**; and,

WHEREAS the DEPARTMENT and the AGENCY agree to amend the Original Agreement for the purpose of adding additional landscape and hardscape improvements (“Additional Improvements”) to be installed by permit on **State Road A1A (SE 17th Street)** in accordance with the above referenced Original Agreement; and,

WHEREAS the AGENCY by Resolution No. _____ passed on _____, 2025, and attached hereto as **Exhibit D** and by this reference made a part hereof, desires to enter into this Agreement and authorized its officers to do so; and,

NOW THEREFORE, for and in consideration of mutual benefits that flow each to the other, the parties covenant and agree as follows:

1. Pursuant to section one (1) of Amendment Eleven (11) to the Original Agreement, the AGENCY has agreed to allow an Adjacent Property Owner to construct Additional Improvements or to modify an improvement located as indicated in **Exhibit "A" on SR A1A (SE 17th Street) from M.P. (0.765) to M.P. (1.078) and from A1A (Grand Drive) M.P. (0.000) to (0.187.)**
2. The Additional Improvements including groundcover plants and shrubs, irrigation, landscape accent lighting, a trash and recycling receptacle, and a bike rack, shall be installed according to the plans attached to this Amendment as **Exhibit "B"** and incorporated into the Original Agreement.
3. The AGENCY agrees to maintain, at its expense, the Additional Improvements in accordance with Part I of **Exhibit "C"** Maintenance Plan for Landscape Improvements, of the Original Agreement, and in compliance with Part II as follows:

COUNTY: BROWARD
SECTION: 86180000 / 86180103
SR: A1A (SE 17th STREET)
PERMIT: 2024-L-491-00023

PART II.

SPECIFIC PROJECT SITE MAINTENANCE REQUIREMENTS AND RECOMMENDATIONS:

AGENCY MAINTENANCE REQUIREMENTS

WATERING REQUIREMENTS

During an interruption in service or to provide water for plant establishment, Irrigation system shall be supplemented by hose as required.

HARDSCAPE PAVEMENT

All Vehicles driving or parking on the hardscape shall be equipped with drip pans.

LANDSCAPE ARCHITECT MAINTENANCE REQUIREMENT

1. The design intent for the area covered in this agreement is for an orderly and clean streetscape in character with the surrounding city streets, that provides desirable views into the adjacent project site while screening undesirable views such as utility equipment.
2. Canopy Trees are intended to be maintained at mature height and spread.
3. Remove suckering growth from base and clear trunk areas for single and multi-trunked trees monthly.
4. To maintain the intended appearance of all palms, utilizing the information provided in the soil tests required in the specifications along with the recommendations of the University of Florida IFAS Extension, apply the latest recommended palm fertilizer per the manufacturer's specifications.
5. To maintain the intended appearance of all shrubs or turf grass, utilizing the information provided in the soil tests required in the specifications along with the recommendations of the University of Florida IFAS Extension, apply the latest recommended fertilizer per the manufacturer's specifications.
6. Do not remove fronds from self-cleaning palms, unless damaged. Palms with persistent fronds shall only have dead fronds removed, do not remove any green fronds. If it is deemed necessary to prune a palm's fronds, no fronds shall be trimmed above 3 o'clock and 9 o'clock on the horizontal plain.
7. Groundcover and shrub horizontal growth shall be maintained to prevent foliage from growing beyond the limits of the planting areas shown on the plan. Maintain a 6" to 8" setback from the foliage to the edge of curb, pavement, sidewalk and/or other hardscape improvements.
8. Maintain the vertical height of:
 - Red Tipped Cocoplum, *Chrysolobanus icaco* between 4' and 6', full to ground.

COUNTY: BROWARD
SECTION: 86180000 / 86180103
SR: A1A (SE 17th STREET)
PERMIT: 2024-L-491-00023

- Green Island Ficus, *Ficus macrocarpa* between 2' and 3', full to ground.
 - Blanket Flower, *Gaillardia pulchella* between 1' to 2'
 - Firebush, *Hamelia patens* between 4' to 5', full to ground.
 - Red Firecracker Plant, *Russelia equisetiformis* between 3' to 4', full to ground.
 - Dwarf Schefflera, *Schefflera arboricola* between 3' to 4', full to ground.
 - Coontie, *Zamia pumila* between 3' to 5'.
 - Lily of the Nile, *Agapanthus africanus* to 30"
 - Star Jasmine, *Jasmine nitidum*, between 2' and 3'
 - Crinum Lily, *Crinum asiaticum*, to 6'
 - Green Saw Palmetto, *Serenoa repens* to 6'
 - Purple Heart, *Setcreasea purpurea*, 12" to 18"
9. Inspect groundcovers and shrubs on a monthly basis for pests, diseases, drought stress or general decline. If required, follow the integrated pest management program established by the Agency to ensure healthy plants.
10. Evaluate plant material on a monthly basis for pests, diseases, drought stress or general decline. If required, follow the integrated pest management program established by the Agency to ensure healthy plants.
11. Concrete pavers shall be inspected on a monthly basis for the aesthetic appearance and safety conditions. Address any issues identified by repairing or replacing those specific locations. To maintain the overall aesthetic appearance and safety of the concrete pavers they shall be cleaned on a yearly basis to prevent mold, dirt, oil, and gum build up. Joints and cracks in concrete, patterned concrete or asphalt, concrete pavers, concrete curbs, expansion joints, catch basins, gutter areas, etc. shall be inspected on a monthly basis to keep those areas free of weeds.
12. Inspect the irrigation system performance on a weekly basis to ensure the system is providing 100% coverage, does not have sections of low pressure, heads and valves are clean and clear of debris and any damaged irrigation components (i.e., spray nozzles, spray heads, valve boxes, etc.) are repaired or replaced.

Except as modified by this Amendment, all terms and conditions of the Original Agreement and all Amendments thereto shall remain in full force and effect.

LIST OF EXHIBITS

- Exhibit A - Maintenance Limits
- Exhibit B - Landscape Improvement Plans
- Exhibit C - Resolution

COUNTY: BROWARD
SECTION: 86180000 / 86180103
SR: A1A (SE 17th STREET)
PERMIT: 2024-L-491-00023

In Witness whereof, the parties hereto have executed with this Amendment effective the ___ day _____, ____year written and approved.

CITY OF FORT LAUDERDALE

**STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION**

By: _____

Dean J. Trantalis, Mayor

_____ day of _____, 2026

By: _____

John P. Krane, P.E.

Director of Transportation Development

Date: _____

By: _____

—

Rickelle Williams, City Manager

_____ day of _____, 2026

Attest: _____

Alia Chanel

Executive Secretary, District 4

Attest:

Legal Review:

David R. Soloman, City Clerk

Pamela G. Eidelberg
Assistant General Counsel, District 4

Approved as to form by Office of City Attorney

Shari L. McCartney, City Attorney

COUNTY: BROWARD
SECTION: 86180000 / 86180103
SR: A1A (SE 17th STREET)
PERMIT: 2024-L-491-00023

EXHIBIT A

MAINTENANCE LIMITS

I. INCLUSIVE LANDSCAPE MAINTENANCE AGREEMENT LIMITS FOR STATE ROAD A1A (SE 17th STREET):

From State Road 5 (US 1) M.P. 0.000 (Section 86180000)
to Flamingo Avenue (M.P. 6.410) (Section 86050000)

By Individual Sections:

Southbound One Way (Section 86050100)
M.P. 0.0000 (Seville Street) to M.P. 0.926 (Bahia Mar Hotel Entrance)

Northbound One Way / Seabreeze Blvd / 17th Street Causeway (Section 86180000):
M.P. 0.000 (State Road 5) (US 1) to M.P. 2.964 (State Road 842) (Las Olas Boulevard)

North Fort Lauderdale Beach Area (Section 86050000):
M.P. 2.039 (south of Poinsettia Street) to M.P. 6.410 (Flamingo Avenue)

II. MAINTENANCE LIMITS FOR AMENDMENT #22:

Section Number 86180000
State Road A1A (SE 17th Street) from **M.P. 0.765 to M.P. 1.078**

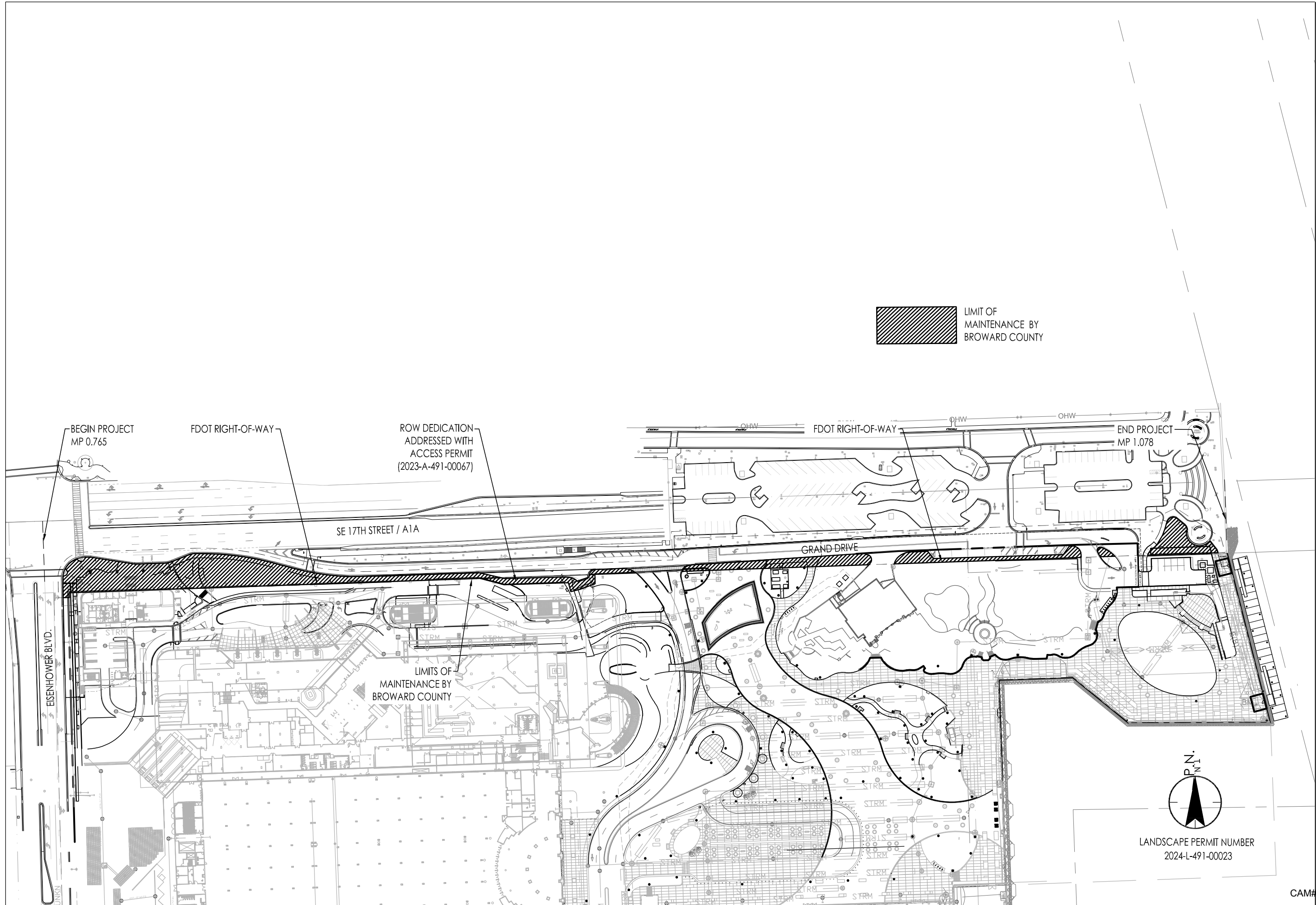
AND

Section Number 86180103
State Road A1A (Grand Drive) from **M.P. 0.000 to M.P. 0.187**

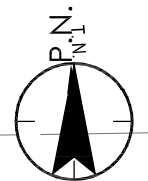
III. AMENDMENT #22 MAINTENANCE BOUNDARY MAP:

**Please See Attached*

*All limits of the Original Agreement and Amendments shall apply.



 LIMIT OF MAINTENANCE BY BROWARD COUNTY



LANDSCAPE PERMIT NUMBER
2024-L-491-00023

Title
**LANDSCAPE IMPROVEMENTS
MAINTENANCE BOUNDARY MAP**

Revision
BROWARD COUNTY CONVENTION CENTER

DD.MM.YYYY
30.05.2025

Project
No.
219420648



2 SOUTH BISCAYNE BOULEVARD
SUITE 1670
MIAMI, FL 33131
305.482.8700

COUNTY: BROWARD
SECTION: 86180000 / 86180103
SR: A1A (SE 17th STREET)
PERMIT: 2024-L-491-00023

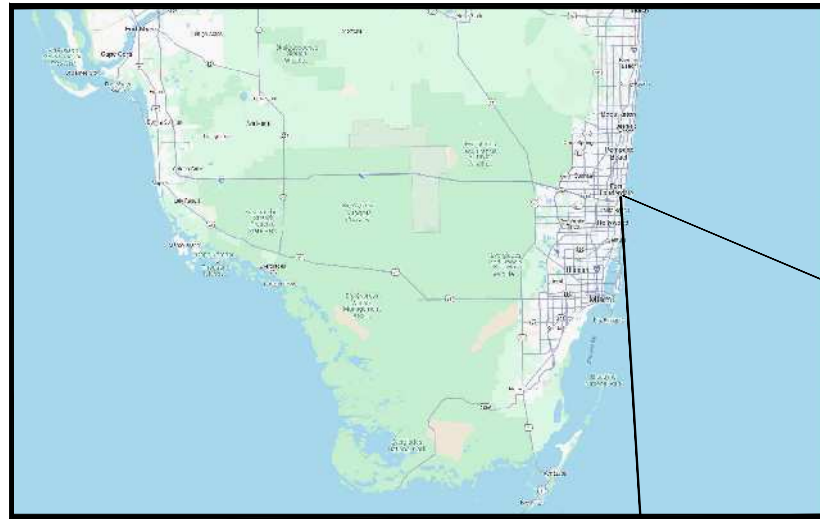
EXHIBIT B

LANDSCAPE IMPROVEMENT PLANS

The AGENCY agrees to install the landscape improvements in accordance with the plans and specifications attached hereto and incorporated herein.

Please see attached plans prepared by: Eric N. Buck, RLA
Stantec Consulting Services, Inc.
March 21, 2025

LOCATION MAP



REGIONAL MAP



NOT TO SCALE LOCAL MAP



NOTES:

1. SEE PERMIT No. 2025-491-00002, CURRENTLY UNDER REVIEW BY FDOT TO ADDRESS ALL AERIAL ENCROACHMENTS.
2. TURN LANE ROW DEDICATION, PAVEMENT MARKINGS AND ROADWAY SIGNS ARE ADDRESSED WITH ACCESS PERMIT 2023-A-491-000067.
3. PROJECT BEGINS AT THE INTERSECTION OF 17TH STREET / A1A AND EISENHOWER BLVD., MP 0.765 AND ENDS AT MP 1.078.
4. EFFORTS ARE CURRENTLY UNDERWAY TO PLACE ALL OVERHEAD UTILITIES UNDERGROUND.
5. DO NOT BEGIN EXCAVATION UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND MARKED CALL 811 OR VISIT SUNSHINE811.COM AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, CHAPTER 556, FLORIDA STATUTES. AVOID DAMAGE TO ALL UTILITIES, HAND EXCAVATE AS REQUIRED.

FDOT GENERAL NOTES:

1. GOVERNING STANDARD PLANS: FLORIDA DEPARTMENT OF TRANSPORTATION, FY 2024-25 STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION AND APPLICABLE INTERIM REVISIONS (IRS) ARE AVAILABLE AT THE FOLLOWING WEBSITE: [HTTPS://WWW.FDOT.GOV/DESIGN/STANDARDPLANS](https://www.fdot.gov/design/standardplans)
2. GOVERNING STANDARD SPECIFICATIONS: FLORIDA DEPARTMENT OF TRANSPORTATION, FY 2024-25 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AT THE FOLLOWING WEBSITE: [HTTPS://WWW.FDOT.GOV/PROGRAMMANAGEMENT/IMPLEMENTED/SPECBOOKS](https://www.fdot.gov/programmanagement/implemented/specbooks)
3. CONTRACTOR SHALL REPAIR ALL DAMAGE DONE TO FDOT PROPERTY DURING DEMOLITION, RELOCATION &/OR INSTALLATION ACTIVITIES AT HIS SOLE EXPENSE.
4. ANY PLANT MATERIAL SUBSTITUTION WITHIN OR IMPACTING THE FDOT RIGHT OF WAY WHETHER REQUESTED BY THE CONTRACTOR, OWNER, LANDSCAPE ARCHITECT OR OTHER WILL NEED TO GET APPROVAL FROM THE FDOT DISTRICT LANDSCAPE ARCHITECT.
5. OWNERSHIP OF ALL SUITABLE EXCAVATED MATERIALS, AS DETERMINED BY THE DEPARTMENT, SHALL REMAIN IN THE DEPARTMENT UNTIL A FINAL ACCEPTANCE OF THE PERMITTED PROJECT IS FULFILLED. EXCAVATED MATERIALS SHALL BE HAULED BY THE PERMITTEE, AT THEIR COST & EXPENSE FROM THE SITE TO THE FDOT BROWARD OPERATIONS CENTER OR STOCKPILED IN THOSE AREAS AS DIRECTED BY THE DEPARTMENT, INCLUDING ASPHALT MILLINGS.

LANDSCAPE SHEET INDEX

| SHEET NUMBER | SHEET NAME | SCALE |
|--------------|--------------------------|---------------|
| L-100 | SHEET INDEX | 1" = 20' - 0" |
| L-101 | AERIAL PLAN | 1" = 20' - 0" |
| L-102 | AERIAL PLAN | 1" = 20' - 0" |
| L-103 | AERIAL PLAN | 1" = 20' - 0" |
| L-111 | HARDSCAPE PLAN | 1" = 20' - 0" |
| L-112 | HARDSCAPE PLAN | 1" = 20' - 0" |
| L-113 | HARDSCAPE PLAN | 1" = 20' - 0" |
| L-151 | HARDSCAPE DETAILS | AS SHOWN |
| L-152 | HARDSCAPE DETAILS | AS SHOWN |
| L-153 | HARDSCAPE DETAILS | AS SHOWN |
| L-160 | HARDSCAPE SCHEDULE | NA |
| L-201 | IRRIGATION PLAN | 1" = 20' - 0" |
| L-202 | IRRIGATION PLAN | 1" = 20' - 0" |
| L-203 | IRRIGATION PLAN | 1" = 20' - 0" |
| L-251 | IRRIGATION DETAILS | AS SHOWN |
| L-301 | TREE PLAN | 1" = 20' - 0" |
| L-302 | TREE PLAN | 1" = 20' - 0" |
| L-303 | TREE PLAN | 1" = 20' - 0" |
| L-311 | SHRUB & GROUNDCOVER PLAN | 1" = 20' - 0" |
| L-312 | SHRUB & GROUNDCOVER PLAN | 1" = 20' - 0" |
| L-313 | SHRUB & GROUNDCOVER PLAN | 1" = 20' - 0" |
| L-351 | LANDSCAPE DETAILS | AS SHOWN |
| L-360 | LANDSCAPE SCHEDULE | NA |
| L-401 | LIGHTING PLAN | 1" = 20' - 0" |
| L-402 | LIGHTING PLAN | 1" = 20' - 0" |
| L-403 | LIGHTING PLAN | 1" = 20' - 0" |



Stantec Consulting Services, Inc.
4778 New Wood Street, Suite 100
Columbus, GA 31906
www.stantec.com

Consultant

| | | |
|------|----------------|----------|
| PERM | 2025-491-00002 | 100% DOC |
| REV | 1 | 100% DOC |
| REV | 2 | 100% DOC |
| REV | 3 | 100% DOC |
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| REV | 6 | 100% DOC |
| REV | 7 | 100% DOC |
| REV | 8 | 100% DOC |
| REV | 9 | 100% DOC |
| REV | 10 | 100% DOC |

Permit/Seal

Client/Project
BROWARD COUNTY
CONVENTION CENTER &
HEADQUARTERS HOTEL
GRAND DRIVE ROW
LANDSCAPE INDEX
FORT LAUDERDALE, FL

Project No.: 21-85-0005
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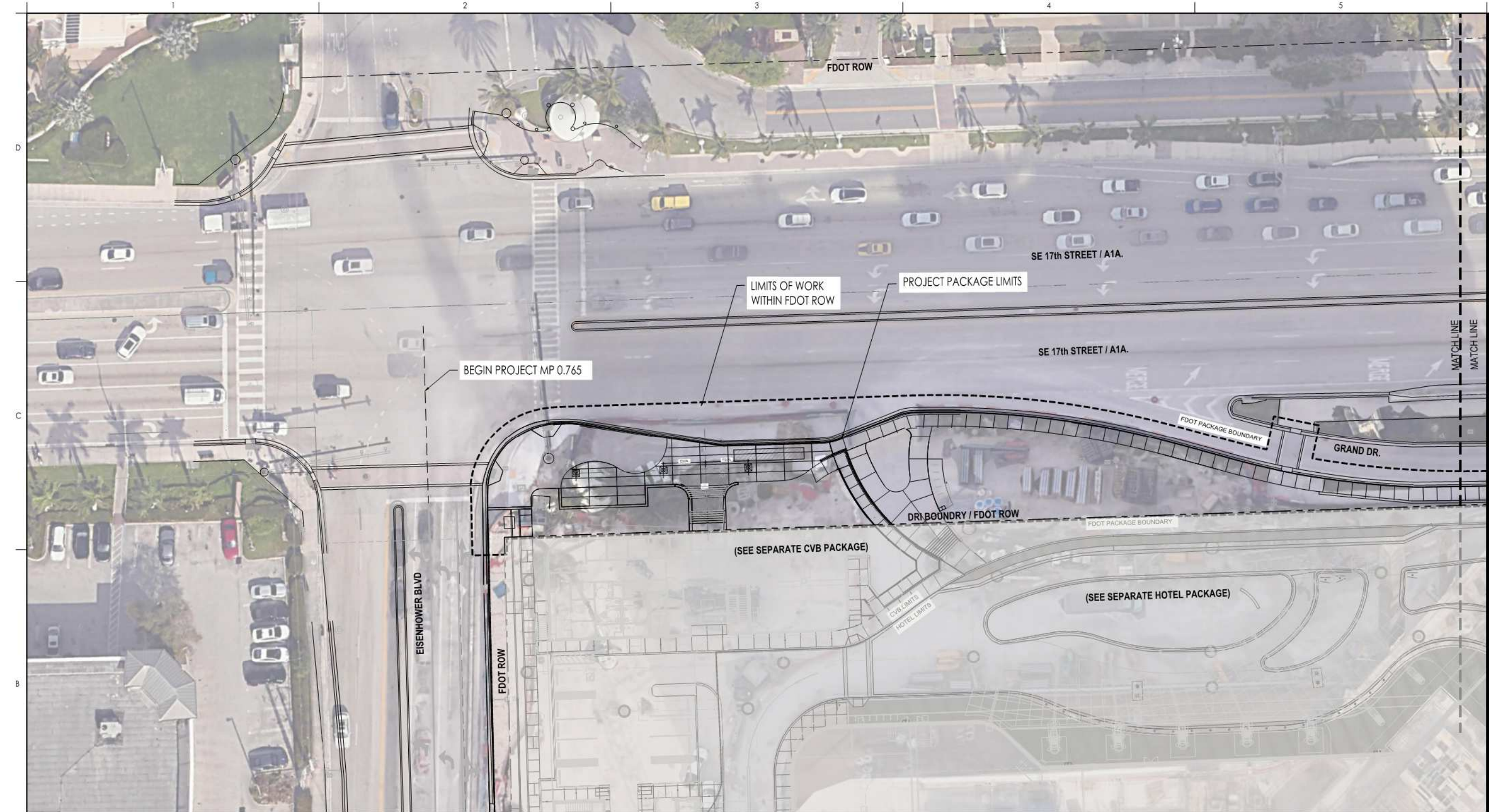
Rev. Desc. Date

L.100

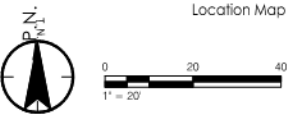
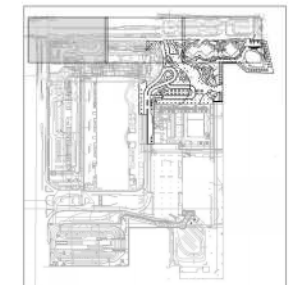
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17TH STREET DESIGN SPEED = 35 MPH
LANDSCAPE PERMIT NUMBER
2024-L-491-00023

AM# 26-0614
Exhibit 2



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 ORIGINAL SHEET - ARCH-D



DESIGN SPEED SE 17TH ST. = 35 mph
 LANDSCAPE PERMIT NUMBER
 2024-L-491-00023

Consultant

| Revision | By | App'd | YYYY/MM/DD |
|----------|----|-------|------------|
| | | | |

| PERMIT | DATE | BY | APP'D |
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| PERMIT | 2023.02.17 | | |
| PERMIT | 2024.12.04 | | |
| 100% DCC | 2023.07.24 | | |
| ISSUED | YYYY/MM/DD | | |

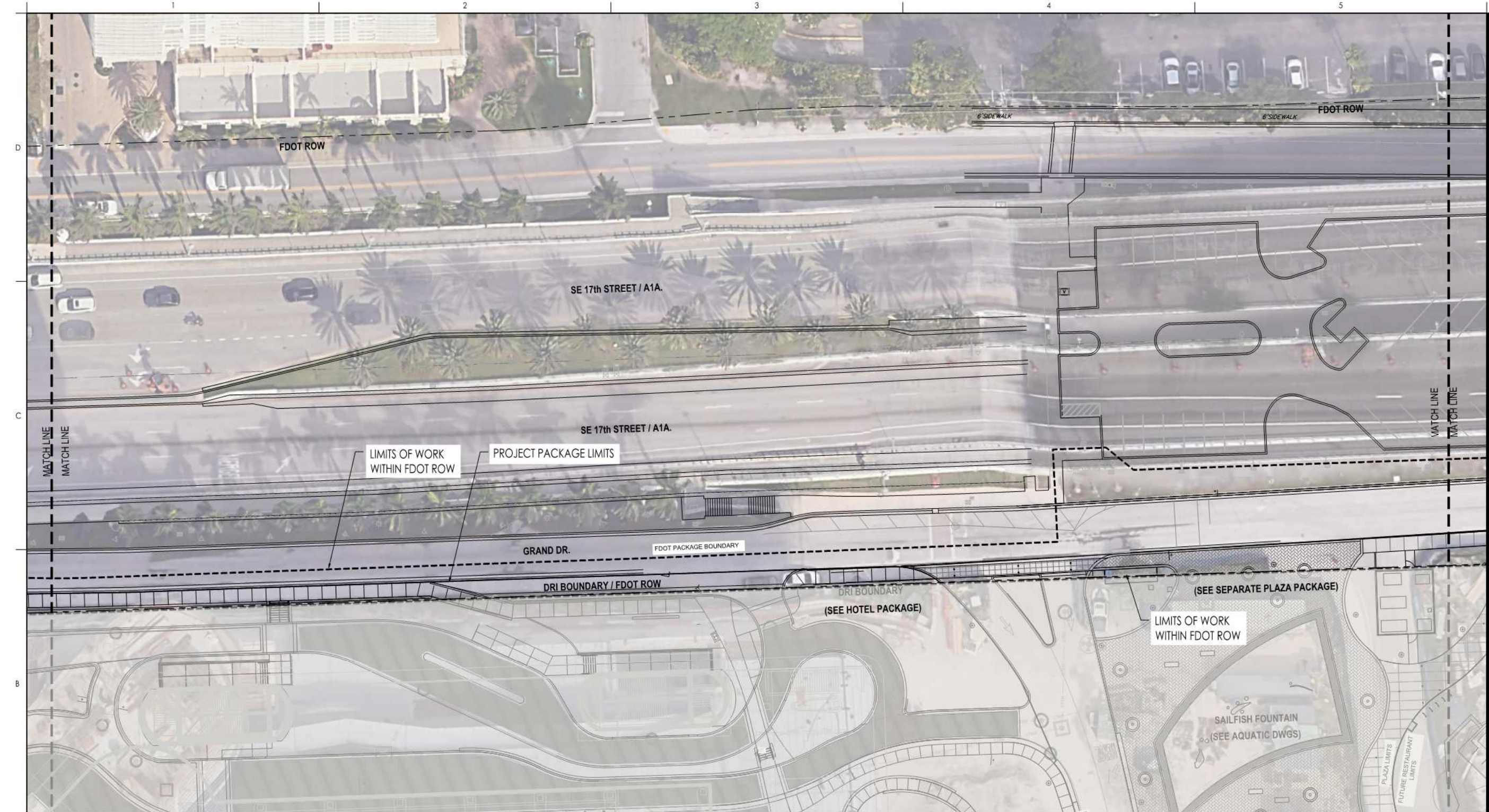
Permit/Seal

Client/Project
 BROWARD COUNTY
 CONVENTION CENTER &
 HEADQUARTERS HOTEL
 GRAND DRIVE ROW
 AERIAL PLAN
 FORT LAUDERDALE, FL

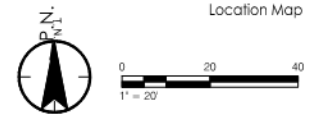
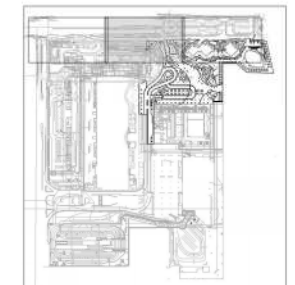
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Title
L.101
 Revision: Sheet: of



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DESIGN SPEED SE 17TH ST. = 35 mph
 LANDSCAPE PERMIT NUMBER
 2024-L-491-00023

Consultant

| REVISION | By | App'd | YYYY/MM/DD |
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| PERMIT | DATE | BY | APP'D |
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| ISSUED | 2023.07.24 | | |

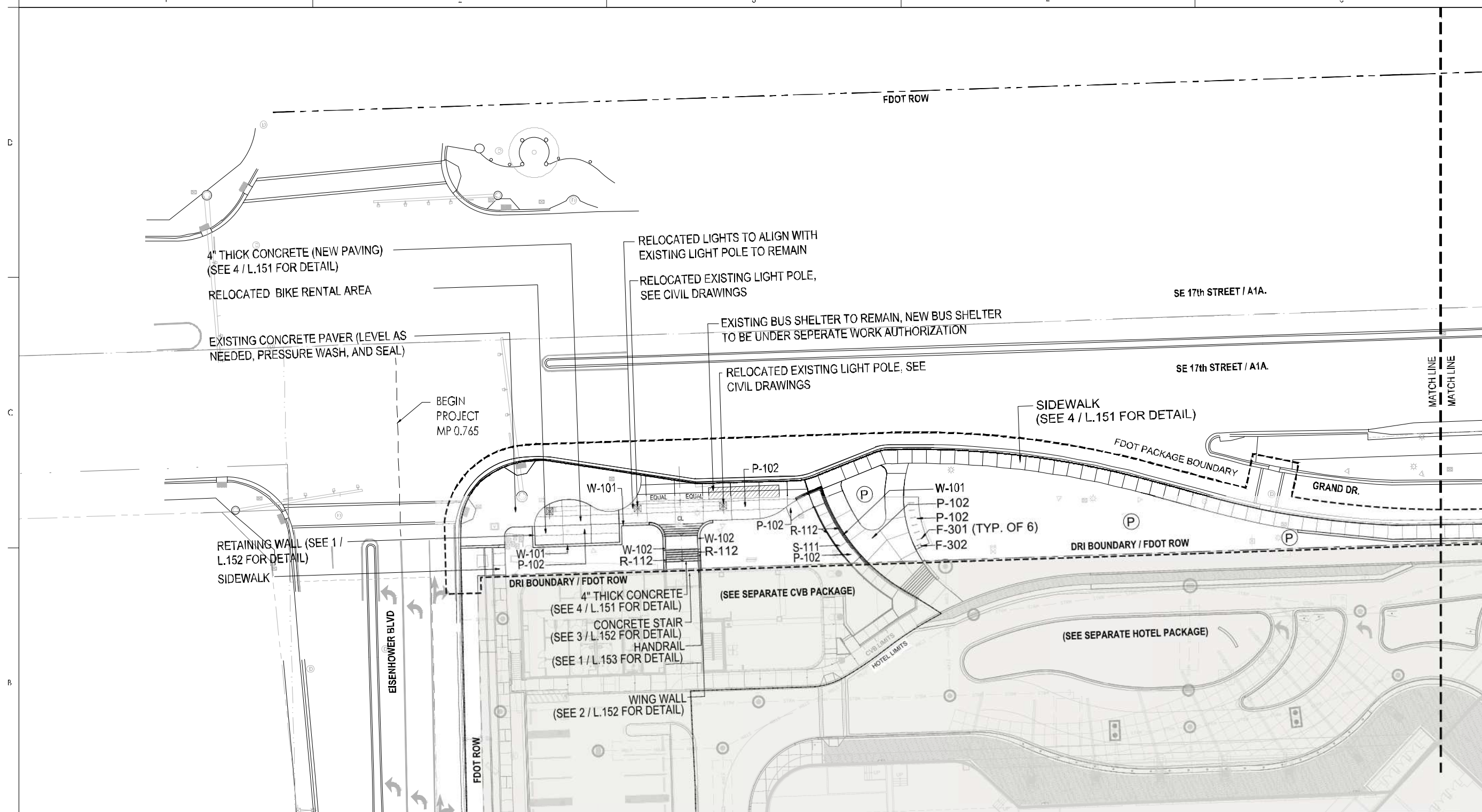
Permit/Seal

Client/Project
 BROWARD COUNTY
 CONVENTION CENTER &
 HEADQUARTERS HOTEL
 GRAND DRIVE ROW
 AERIAL PLAN
 FORT LAUDERDALE, FL

Project No.: 218510005
 File Name: AERIAL
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 Dwn: 2023.07.24
 Dgns: YYYT.MA.LDO
 Chkd: YYYT.MA.LDO

Title
L.102

Revision: Sheet: of
 Drawing No. AM# 26-0614
 Exhibit 2



Consultant

| | | | |
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Permit/Seal

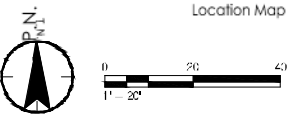
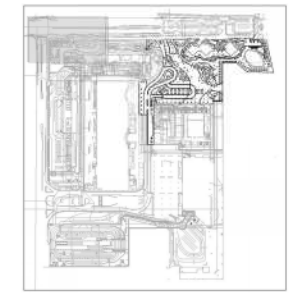
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| P-101 | CONCRETE - PEDESTRIAN | 4 / L.151 |
| P-102 | CONCRETE - PEDESTRIAN | 4 / L.151 |
| P-112 | CONCRETE - VEHICULAR | SEE CIVIL DWGS AND HARDSCAPE SCHEDULE |
| P-221 | PERMEABLE COBBLE PAVER | 9 / L.151 |
| P-301 | 8" WIDE CONCRETE BAND | 8 / L.151 |
| P-303 | 18" WIDE CONCRETE BAND | 7 / L.151 |
| RAMP KEY | MATERIAL | DETAIL |
| S-111 | CONCRETE RAMP | 6 / L.152 |

NOTES: 1. SEE L.201 FOR HARDSCAPE AND FURNISHINGS SCHEDULE

| STAIR KEY | MATERIAL | DETAIL |
|----------------|-----------------------------|-----------|
| S-101 | CONCRETE STAIR | 3 / L.152 |
| RAILING KEY | MATERIAL | DETAIL |
| R-112 | METAL HANDRAIL - SIMPLIFIED | 1 / L.153 |
| WALL KEY | MATERIAL | DETAIL |
| W-101 | RETAINING WALL | 1 / L.152 |
| W-102 | WING WALL | 2 / L.152 |
| FURNISHING KEY | MATERIAL | DETAIL |
| F-301 | BIKE RACK | 2 / L.154 |
| F-302 | TRASH AND RECYCLING BIN | 3 / L.154 |

- LEGEND:**
- TRANSFORMER AND COMPANY SWITCH SEE ELECTRICAL DRAWING
 - PLANTING
 - LIGHT, SEE LIGHTING PLANS FOR TYPE AND ADDITIONAL INFORMATION

- NOTES:**
- DO NOT BEGIN EXCAVATION UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND MARKED. CALL 811 OR VISIT SUNSHINE811.COM AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, CHAPTER 556, FLORIDA STATUTES. AVOID DAMAGE TO ALL UTILITIES, HAND EXCAVATE AS REQUIRED.
 - PATTERNED PAVEMENT INSTALLATION SHALL COMPLY WITH CURRENT FDOT STANDARD SPECIFICATION 523. FRICTION TESTING WILL BE REQUIRED AT INTERVALS IN ACCORDANCE WITH FDOT FM 5-592 ASTM E274 OR ASTM E1911. ALL COSTS FOR FRICTION TESTS WITHIN THE TRAVEL WAY ARE THE RESPONSIBILITY OF THE AGENCY.
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Client/Project
BROWARD COUNTY
CONVENTION CENTER &
HEADQUARTERS HOTEL
GRAND DRIVE ROW
HARDSCAPE PLAN

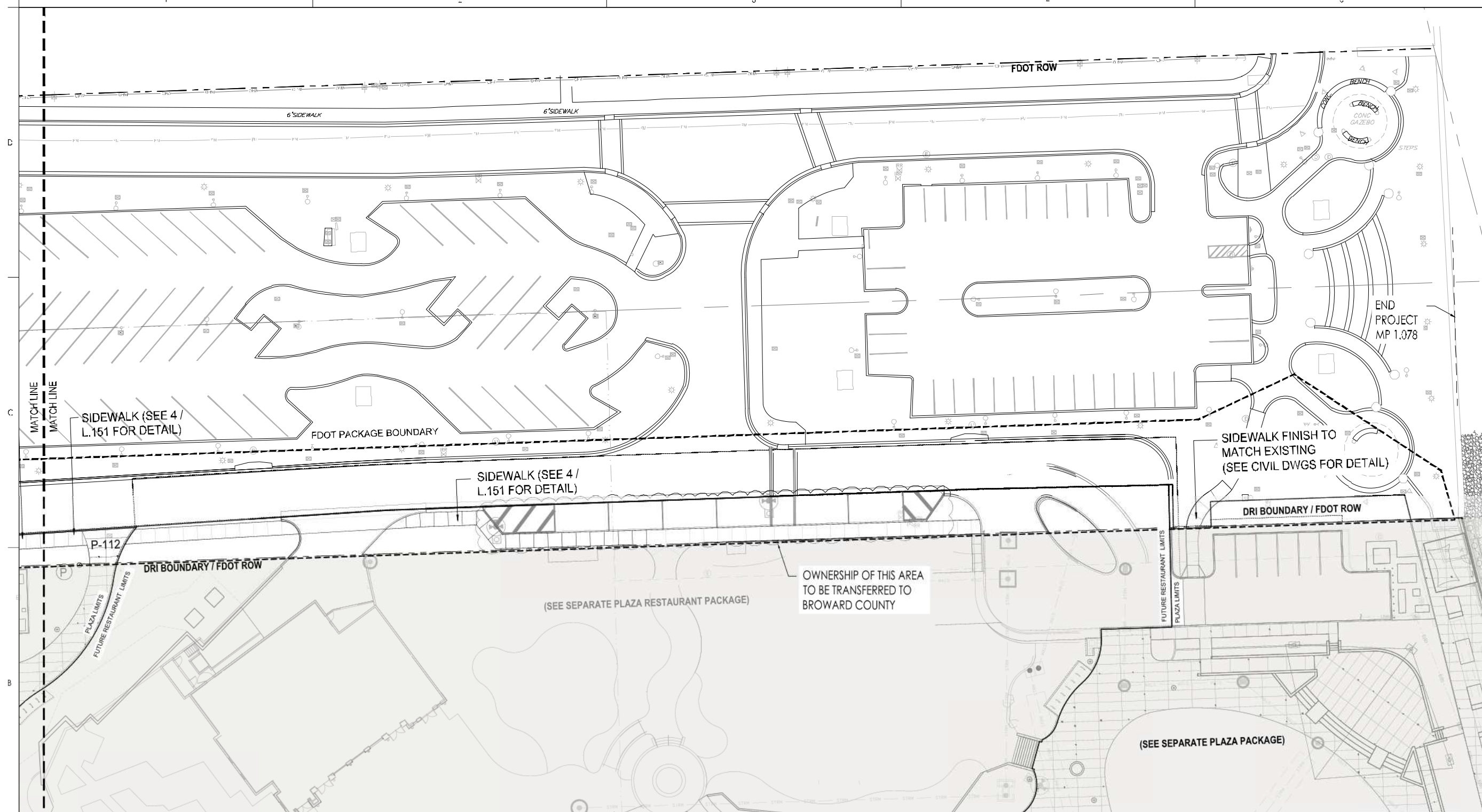
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Drawn: [Name] Design: [Name] Date: [Date]

Title
L.111

Revision: Sheet: of

DESIGN SPEED SE 17TH ST. = 35 mph
LANDSCAPE PERMIT NUMBER
2024-L-491-00023



Consultant

| | |
|-------------|------------|
| Project No. | 21851-0005 |
| File Name | HARDSCAPE |
| Scale | As Shown |
| Drawn | J. J. J. |
| Design | J. J. J. |
| Checked | J. J. J. |
| Approved | J. J. J. |

Permit/Seal

| | | | | |
|----------|------------|-----|-----|-----|
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| 1-ERM1 | 2023-07-11 | APR | APR | APR |
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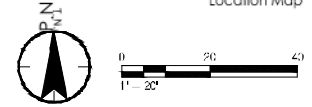
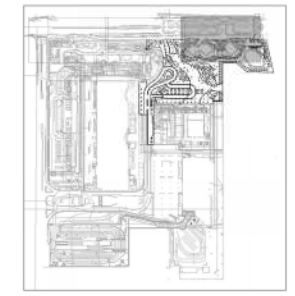
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| P-101 | CONCRETE - PEDESTRIAN | 4 / L.151 |
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NOTES: 1. SEE L.201 FOR HARDSCAPE AND FURNISHINGS SCHEDULE

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Client/Project
 BROWARD COUNTY
 CONVENTION CENTER &
 HEADQUARTERS HOTEL
 GRAND DRIVE ROW
 HARDSCAPE PLAN

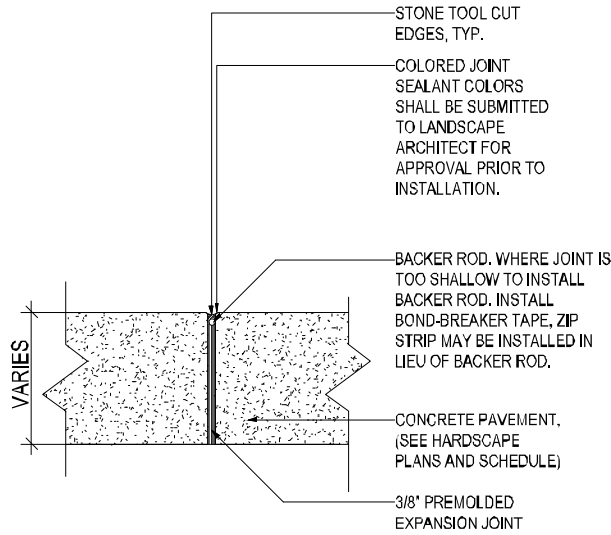
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 Design: J. J. J.
 Checked: J. J. J.
 Approved: J. J. J.

Title
L.113

Revision: Sheet: of

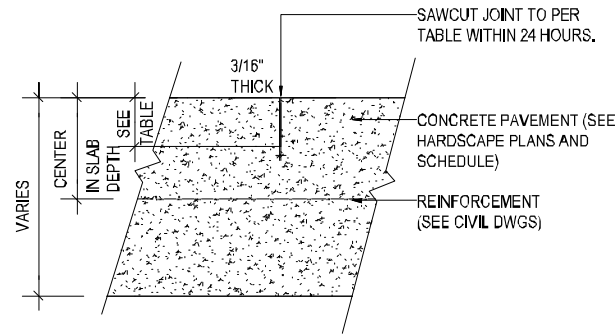
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 LANDSCAPE PERMIT NUMBER CAM# 26-0614
 2024-L-491-00023



1 EXPANSION JOINT - E.J., TYP.
3' = 1'-0"

DO NOT CUT THROUGH SLAB REINFORCING

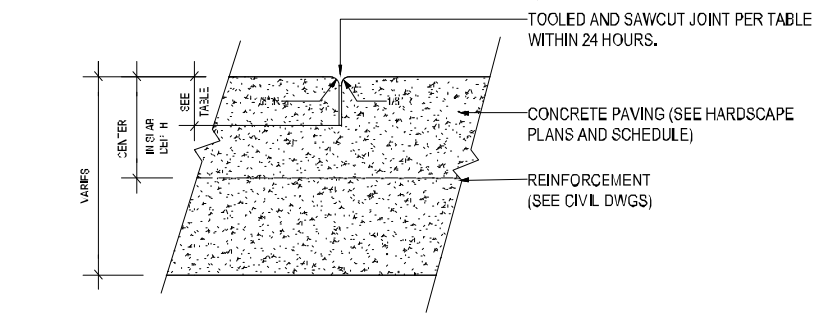
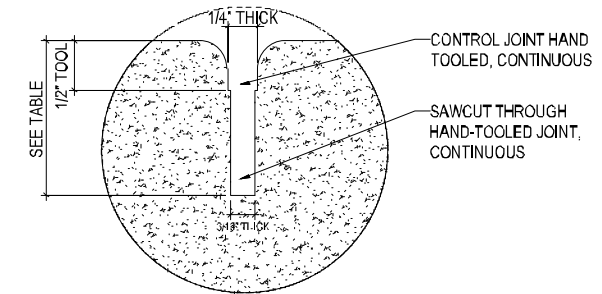
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|--------------|--------------------|
| 1-1/2" | 4" |
| 2-1/2" | 6" |
| 3" | 8" |



2 CONTROL JOINT - C.J., TYP. (SAWCUT)
NOT TO SCALE

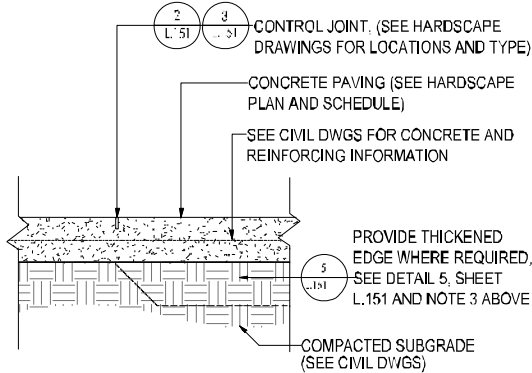
NOTE: DO NOT CUT THROUGH SLAB REINFORCING

| TOOLED / SAWCUT DEPTH | CONCRETE THICKNESS |
|-----------------------|--------------------|
| 1-1/2" | 4" |
| 2-1/2" | 6" |
| 3" | 8" |



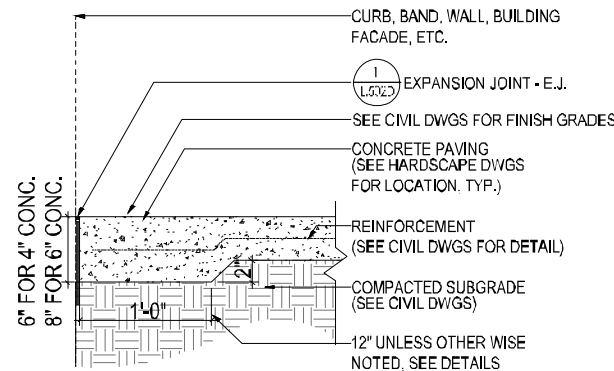
3 CONTROL JOINT - C.J., TYP. (TOOLED)
NOT TO SCALE

- NOTE:
- CONTRACTOR TO PROVIDE FULL-DEPTH SAMPLE PANEL OF EACH FINISH TYPE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO MAINTAIN APPROVED SAMPLE UNTIL INSTALLATION IS COMPLETE.
 - SEE HARDSCAPE DWGS FOR LOCATIONS OF EXPANSION JOINTS AND CONTROL JOINTS
 - WHERE PAVING ABUTS VERTICAL BUILDINGS, WALLS, CURBS OR OTHER STRUCTURES OR LANDSCAPE A THICKENED EDGE IS REQUIRED, SEE DETAIL 5, SHEET L.502D

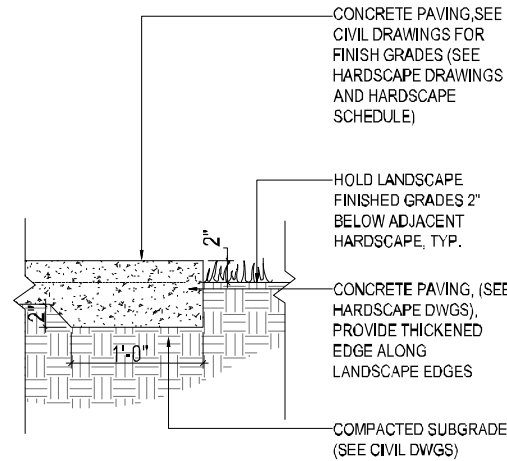


4 4" C.I.P. CONCRETE, TYP.
1 1/2" = 1'-0"

- NOTES:
- PROVIDE EXPANSION JOINT IN ALL LOCATIONS WHERE CONCRETE PAVING MEETS A VERTICAL STRUCTURE, WHERE VEHICULAR AND PEDESTRIAN CONCRETE TYPES MEET, AND WHERE CALLED OUT ON THE PLANS
 - PROVIDE THICKENED EDGE IN ALL LOCATIONS WHERE CONCRETE PAVING MEETS A VERTICAL STRUCTURE, NOT LIMITED TO BUT INCLUDING CURBS, WALLS, PAVEMENT CHANGES AND ALONG LANDSCAPE EDGES.

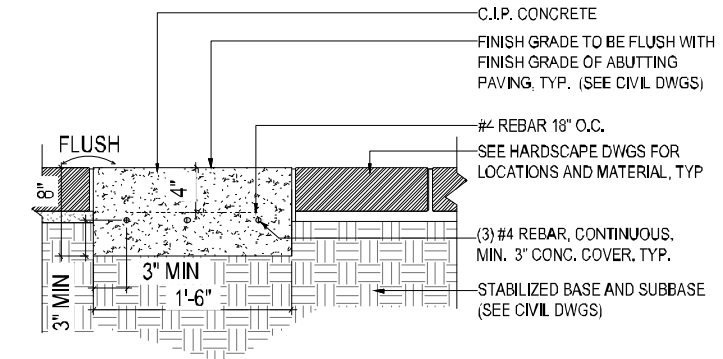


5 CONCRETE PAVING ADJ. TO VERTICAL STRUCTURE
1 1/2" = 1'-0"



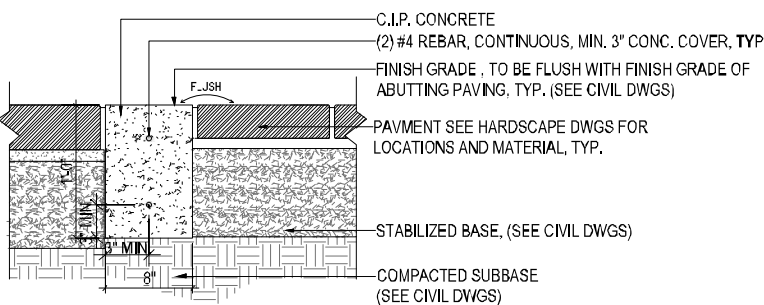
6 CONCRETE ADJ. TO LANDSCAPE
1 1/2" = 1'-0"

- NOTES:
- SEE HARDSCAPE DWGS FOR FINISH, TYP.
 - SEE CIVIL DWGS FOR FINISH GRADES.
 - SAW CUT CONTROL JOINTS 18" O.C. OR AS SHOWN. PERPENDICULAR TO BAND, TYP.
 - MITER CUTS AT CORNERS.

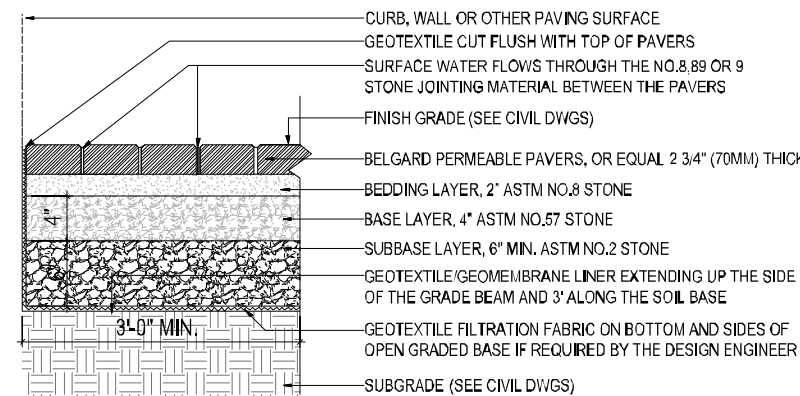


7 18" C.I.P. CONCRETE BAND
1 1/2" = 1'-0"

- NOTES:
- SEE HARDSCAPE DWGS AND SCHEDULE FOR FINISH, TYP.
 - SEE CIVIL DWGS FOR FINISH GRADES.
 - SAW CUT CONTROL JOINTS 18" O.C. OR AS SHOWN. PERPENDICULAR TO BAND, TYP.
 - MITER CUTS AT CORNERS
 - CONCRETE PAVING ABUTTING BAND TO HAVE THICKENED EDGE, SEE DETAIL 5, SHEET L.502D



8 8" C.I.P. CONCRETE BAND
1 1/2" = 1'-0"



9 PERMEABLE COBBLE PAVERS
1 1/2" = 1'-0"

- NOTES:
- DEPTH OF SUBBASE SUBJECT TO SITE SPECIFIC HYDRAULIC AND STRUCTURAL REQUIREMENTS. CONTACT MANUFACTURER, BELGARD COMMERCIAL, OR APPROVED EQUAL FOR DESIGN ASSISTANCE.
 - PAVER DIMENSIONS SUBJECT TO ASPECT AND PLAN RATIO REQUIREMENTS BASED ON TRAFFIC LOADING
 - ELEVATION OF HORIZONTAL DISCHARGE PIPE(S) SUBJECT TO STORAGE RESERVOIR. ENSURE PROPER COVER OVER THE HORIZONTAL PIPES.
 - WHERE THE FILTRATION GEOTEXTILE IS USED, VERIFY WITH THE MANUFACTURER THAT THE MATERIAL IS NOT SUBJECT TO CLOGGING AND MEETS REQUIREMENTS OF AASHTO M-288.
 - ASTM NO. 2 STONE MAY BE SUBSTITUTED WITH NO. 3 OR NO. 4 STONE.
 - STRICTLY PEDESTRIAN APPLICATIONS MAY SUBSTITUTE BASE/SUBBASE LAYERS WITH ONE 6" BASE LAYER OF ASTM NO.57 STONE.



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|---|---|---|---|---|---|---|---|---|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 |

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| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 |

Permit/Seal

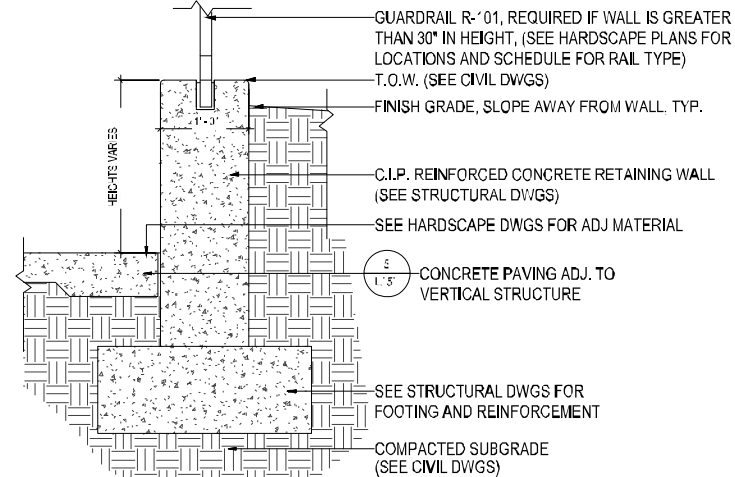
Client/Project
BROWARD COUNTY
CONVENTION CENTER &
HEADQUARTERS HOTEL
GRAND DRIVE ROW
HARDSCAPE DETAILS
FORT LAUDERDALE, FL

Project No.: 2024-0005
Title: HARDSCAPE DETAILS
Scale: As Shown

Revision: Sheet: of
Title: L.151

NOTES:

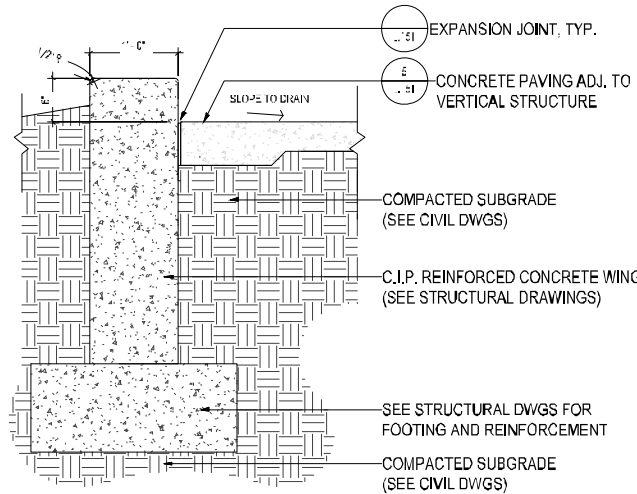
- REFER TO CIVIL DWGS FOR WALL HEIGHTS
- LIQUID APPLIED ELASTOMERIC WATERPROOFING SEALER TO BE APPLIED TO LANDSCAPE SIDE OF WALL, CONT. TYP.
- REFER TO STRUCTURAL DWGS FOR REINFORCING SPACING AND SIZES



1 RETAINING WALL, TYP.
1" = 1'-0"

NOTES:

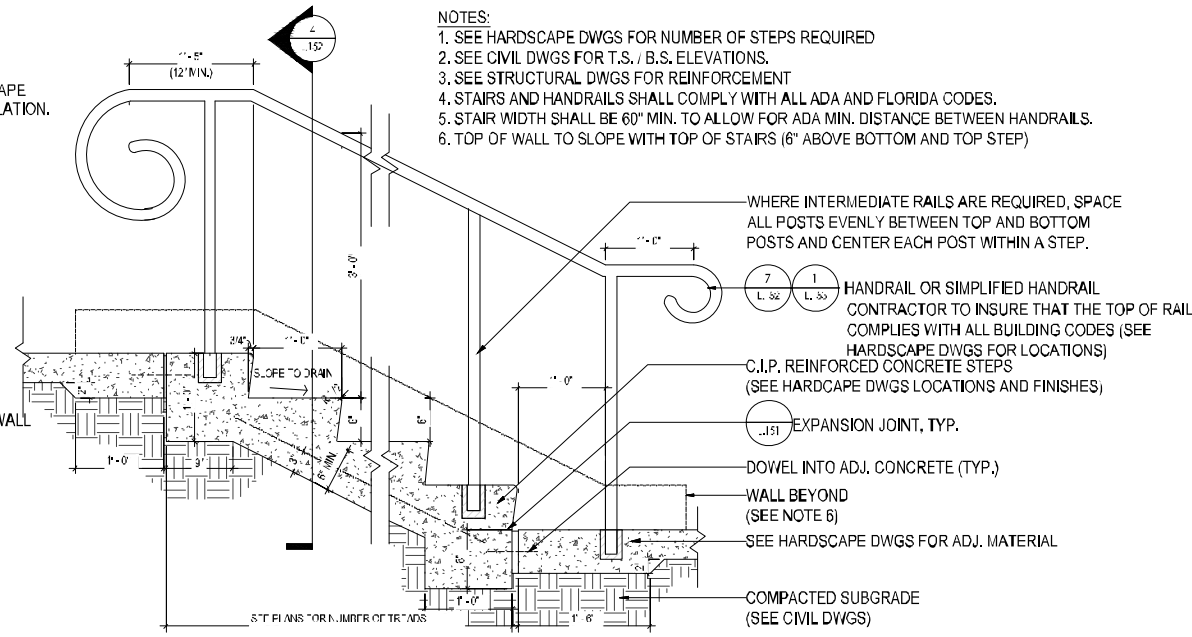
- SEE CIVIL DWGS FOR FINISH GRADES AND WALL HEIGHTS
- SEE HARDSCAPE DWGS FOR WALL LOCATION
- LIQUID APPLIED ELASTOMERIC WATERPROOFING SEALER TO BE APPLIED TO LANDSCAPE SIDE OF WALL, CONT. TYP. CONTRACTOR TO SUBMIT FOR APPROVAL PRIOR TO INSTALLATION.
- REFER TO STRUCTURAL DWGS FOR REINFORCING SPACING AND SIZES



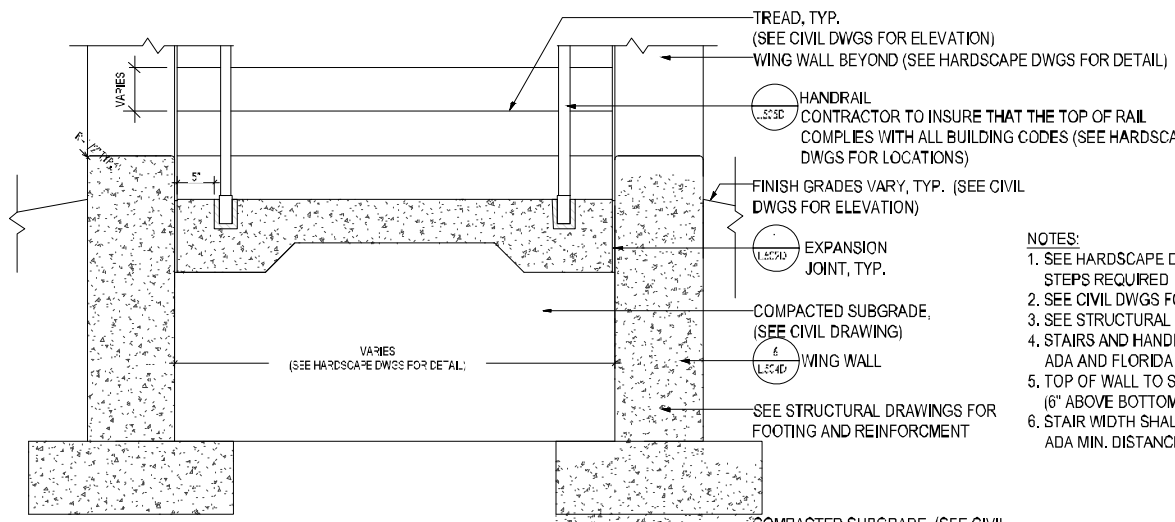
2 WING WALL
1" = 1'-0"

NOTES:

- SEE HARDSCAPE DWGS FOR NUMBER OF STEPS REQUIRED
- SEE CIVIL DWGS FOR T.S. / B.S. ELEVATIONS.
- SEE STRUCTURAL DWGS FOR REINFORCEMENT
- STAIRS AND HANDRAILS SHALL COMPLY WITH ALL ADA AND FLORIDA CODES.
- STAIR WIDTH SHALL BE 60" MIN. TO ALLOW FOR ADA MIN. DISTANCE BETWEEN HANDRAILS.
- TOP OF WALL TO SLOPE WITH TOP OF STAIRS (6" ABOVE BOTTOM AND TOP STEP)



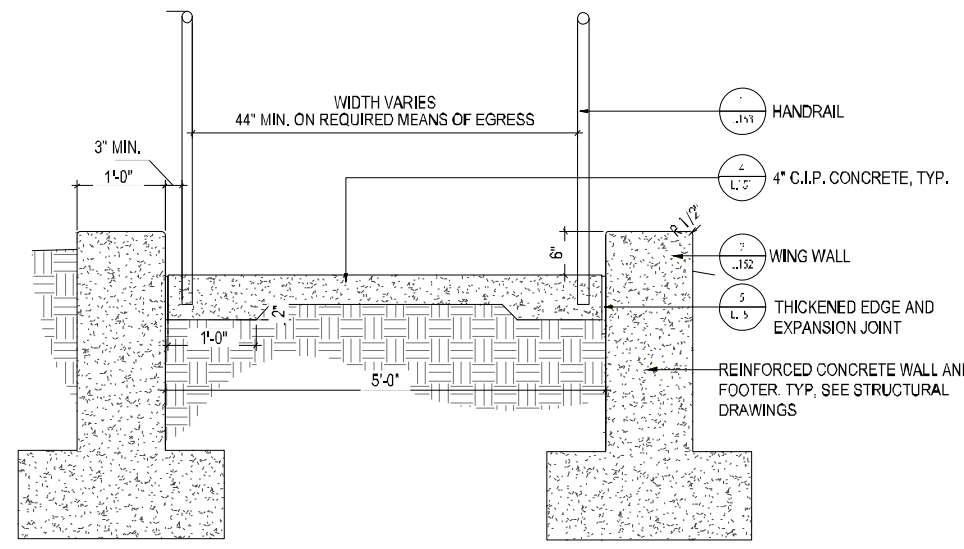
3 CONCRETE STAIR
1" = 1'-0"



4 STAIR AND WING WALL SECTION, TYP.
1" = 1'-0"

NOTES:

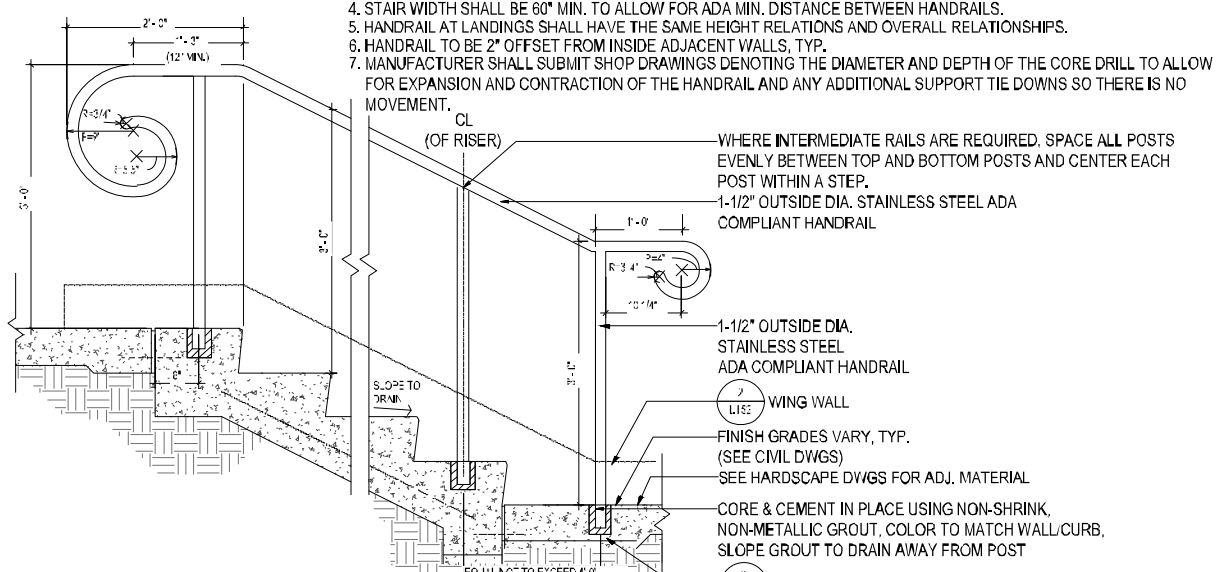
- SEE HARDSCAPE DWGS FOR NUMBER OF STEPS REQUIRED
- SEE CIVIL DWGS FOR T.S. / B.S. ELEVATIONS.
- SEE STRUCTURAL DWGS FOR REINFORCEMENT
- STAIRS AND HANDRAILS SHALL COMPLY WITH ALL ADA AND FLORIDA CODES.
- TOP OF WALL TO SLOPE WITH TOP OF STAIRS (6" ABOVE BOTTOM AND TOP STEP)
- STAIR WIDTH SHALL BE 60" MIN. TO ALLOW FOR ADA MIN. DISTANCE BETWEEN HANDRAILS.



5 CONCRETE RAMP WITH HANDRAIL SECTION
1" = 1'-0"

NOTES:

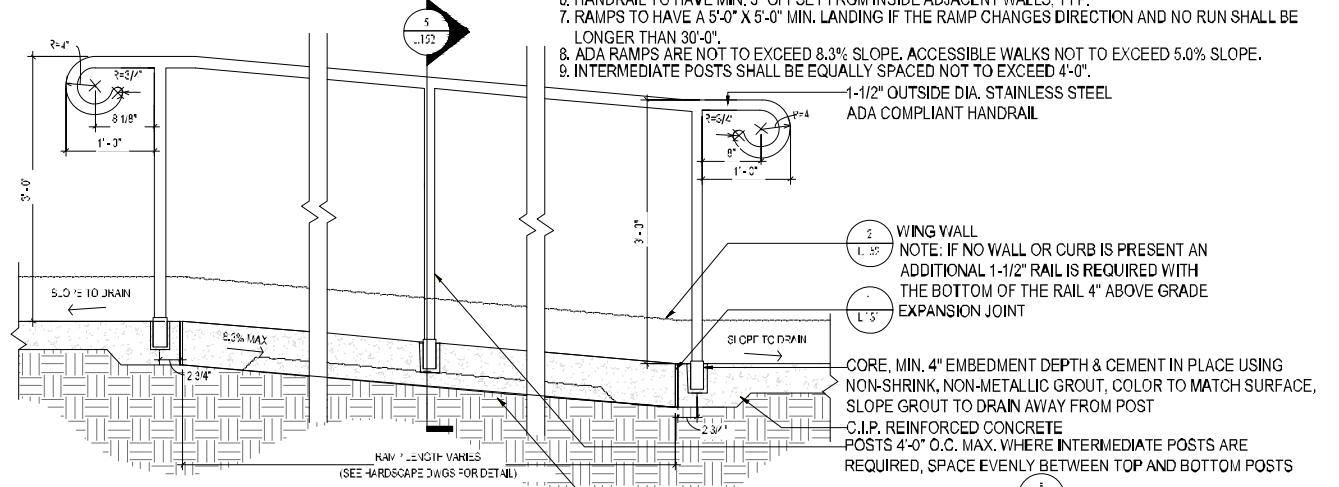
- SEE CIVIL DWGS. FOR TS/BS ELEVATIONS.
- CONTRACTOR TO SUPPLY SHOP DRAWINGS FOR HANDRAIL AND MOUNTING DETAILS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR MANUFACTURING AND INSTALLATION.
- STAIRS AND HANDRAILS SHALL COMPLY WITH ALL ADA AND FLORIDA CODES.
- STAIR WIDTH SHALL BE 60" MIN. TO ALLOW FOR ADA MIN. DISTANCE BETWEEN HANDRAILS.
- HANDRAIL AT LANDINGS SHALL HAVE THE SAME HEIGHT RELATIONS AND OVERALL RELATIONSHIPS.
- HANDRAIL TO BE 2" OFFSET FROM INSIDE ADJACENT WALLS, TYP.
- MANUFACTURER SHALL SUBMIT SHOP DRAWINGS DENOTING THE DIAMETER AND DEPTH OF THE CORE DRILL TO ALLOW FOR EXPANSION AND CONTRACTION OF THE HANDRAIL AND ANY ADDITIONAL SUPPORT TIE DOWNS SO THERE IS NO MOVEMENT.



7 METAL HANDRAIL
1" = 1'-0"

NOTES:

- SEE GRADING DWGS. FOR TS/BS ELEVATIONS.
- CONTRACTOR TO SUPPLY SHOP DRAWINGS FOR HANDRAIL AND MOUNTING DETAILS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR MANUFACTURING AND INSTALLATION.
- STAIRS, RAMPS AND HANDRAILS SHALL COMPLY WITH ALL ADA AND FLORIDA CODES.
- STAIR WIDTH SHALL BE 60" MIN. TO ALLOW FOR ADA MIN. DISTANCE BETWEEN HANDRAILS.
- HANDRAIL AT LANDINGS SHALL HAVE THE SAME HEIGHT RELATIONS AND OVERALL RELATIONSHIPS.
- HANDRAIL TO HAVE MIN. 3" OFFSET FROM INSIDE ADJACENT WALLS, TYP.
- RAMPS TO HAVE A 5'-0" X 5'-0" MIN. LANDING IF THE RAMP CHANGES DIRECTION AND NO RUN SHALL BE LONGER THAN 30'-0".
- ADA RAMPS ARE NOT TO EXCEED 8.3% SLOPE. ACCESSIBLE WALKS NOT TO EXCEED 5.0% SLOPE.
- INTERMEDIATE POSTS SHALL BE EQUALLY SPACED NOT TO EXCEED 4'-0".



6 RAMP W/ HANDRAIL
1" = 1'-0"



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HEADQUARTERS HOTEL
GRAND DRIVE ROW
HARDSCAPE DETAILS

Project No.: 21-85-0005

Scale: As Shown

Revision: Sheet: of

Drawn By

Checked By

Approved By

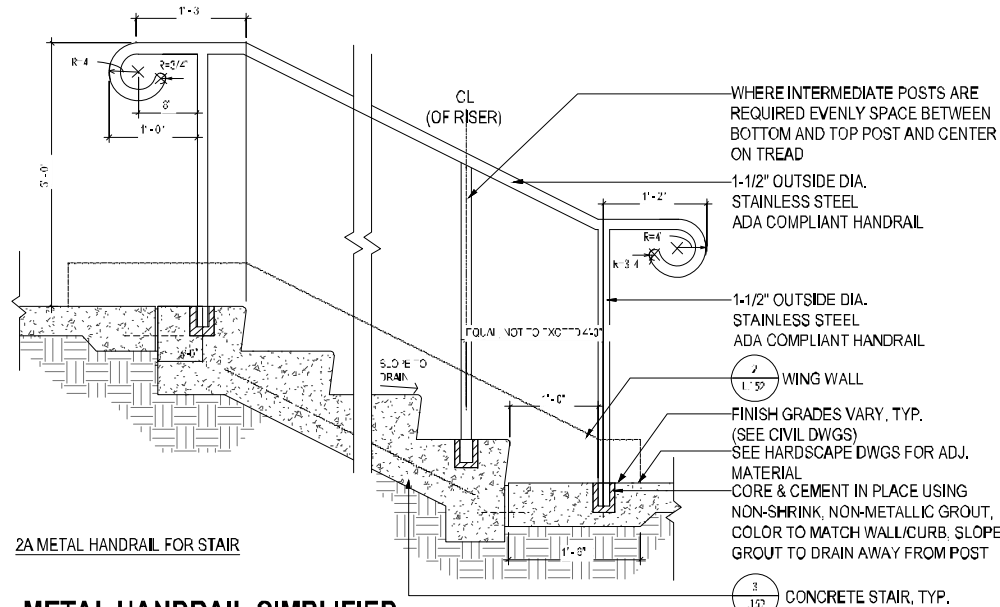
Date

File

AM# 26-0614
Exhibit 2
Page 129 of 147

2A NOTES:

1. SEE CIVIL DWGS. FOR TS/BS ELEVATIONS.
2. CONTRACTOR TO SUPPLY SHOP DRAWINGS FOR HANDRAIL AND MOUNTING DETAILS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR MANUFACTURING AND INSTALLATION.
3. STAIRS, RAMPS AND HANDRAILS SHALL COMPLY WITH ALL ADA AND FLORIDA CODES.
4. STAIR WIDTH SHALL BE 60" MIN. TO ALLOW FOR ADA MIN. DISTANCE BETWEEN HANDRAILS.
5. HANDRAIL AT LANDINGS SHALL HAVE THE SAME HEIGHT RELATIONS AND OVERALL RELATIONSHIPS.
6. HANDRAIL TO BE 2" OFFSET FROM INSIDE ADJACENT WALLS, TYP.
7. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS DENOTING THE DIAMETER AND DEPTH OF THE CORE DRILL TO ALLOW FOR EXPANSION AND CONTRACTION OF THE HANDRAIL AND ANY ADDITIONAL SUPPORT TIE DOWNS SO THERE IS NO MOVEMENT.

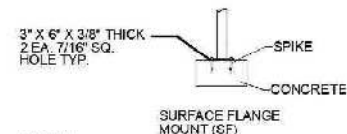
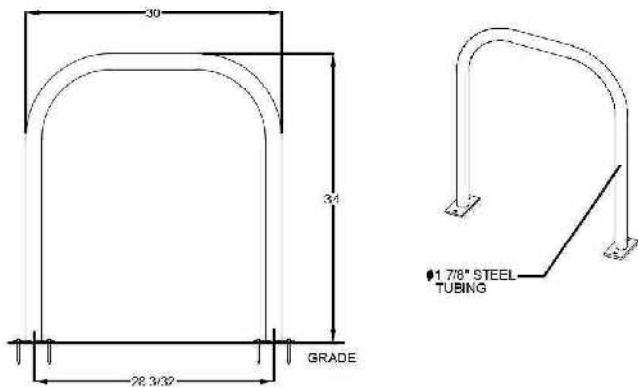


2A METAL HANDRAIL FOR STAIR

1 METAL HANDRAIL-SIMPLIFIED
1" = 1'-0"



MADRAX DIVISION
GRABER MANUFACTURING, INC.
1090 UNIEK DRIVE
WALNUT CREEK, CA 94597
PH: (925) 449-7931 FAX: (925) 449-1080 F: (925) 449-1081
WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM



- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR (FINISH). SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

PRODUCT: UX190-G(SF)
DESCRIPTION: 1" BIKE RACK
2 BIKE, SURFACE MOUNT

DATE: 10-4-18
ENG: SMC

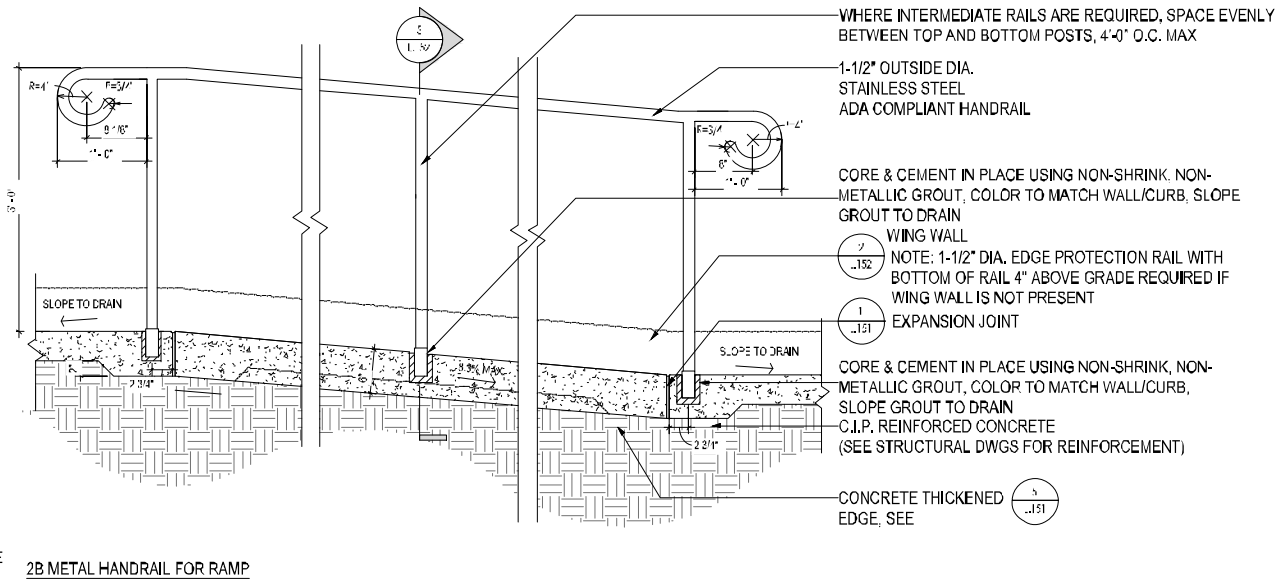
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2 BIKE RACK
NOT TO SCALE

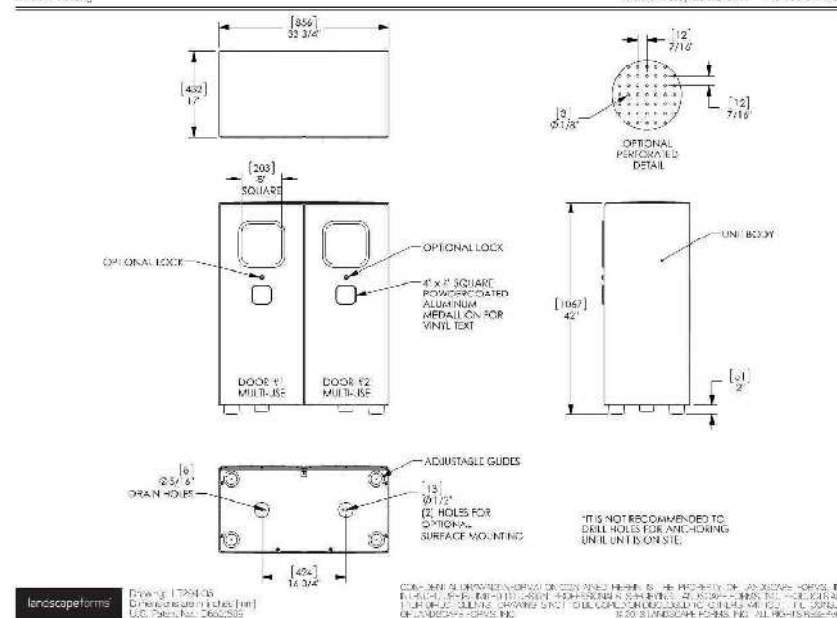
2B NOTES:

1. SEE CIVIL DWGS. FOR TS/BS ELEVATIONS.
2. CONTRACTOR TO SUPPLY SHOP DRAWINGS FOR HANDRAIL AND MOUNTING DETAILS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR MANUFACTURING AND INSTALLATION.
3. STAIRS, RAMPS AND HANDRAILS SHALL COMPLY WITH ALL ADA AND FLORIDA CODES.
4. STAIR WIDTH SHALL BE 60" MIN. TO ALLOW FOR ADA MIN. DISTANCE BETWEEN HANDRAILS.
5. HANDRAIL AT LANDINGS SHALL HAVE THE SAME HEIGHT RELATIONS AND OVERALL RELATIONSHIPS.
6. HANDRAIL TO BE 2" OFFSET FROM INSIDE ADJACENT WALLS, TYP.
7. RAMPS TO HAVE A 5'-0" X 5'-0" MIN. LANDING IF THE RAMP CHANGES DIRECTION AND NO RUN SHALL BE LONGER THAN 30'-0".
8. ADA RAMPS ARE NOT TO EXCEED 8.3% SLOPE. ACCESSIBLE WALKS NOT TO EXCEED 5.0% SLOPE.
9. INTERMEDIATE POSTS SHALL BE EQUALLY SPACED NOT TO EXCEED 4'-0".
10. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS DENOTING THE DIAMETER AND DEPTH OF THE CORE DRILL TO ALLOW FOR EXPANSION AND CONTRACTION OF THE HANDRAIL AND ANY ADDITIONAL SUPPORT TIE DOWNS SO THERE IS NO MOVEMENT.



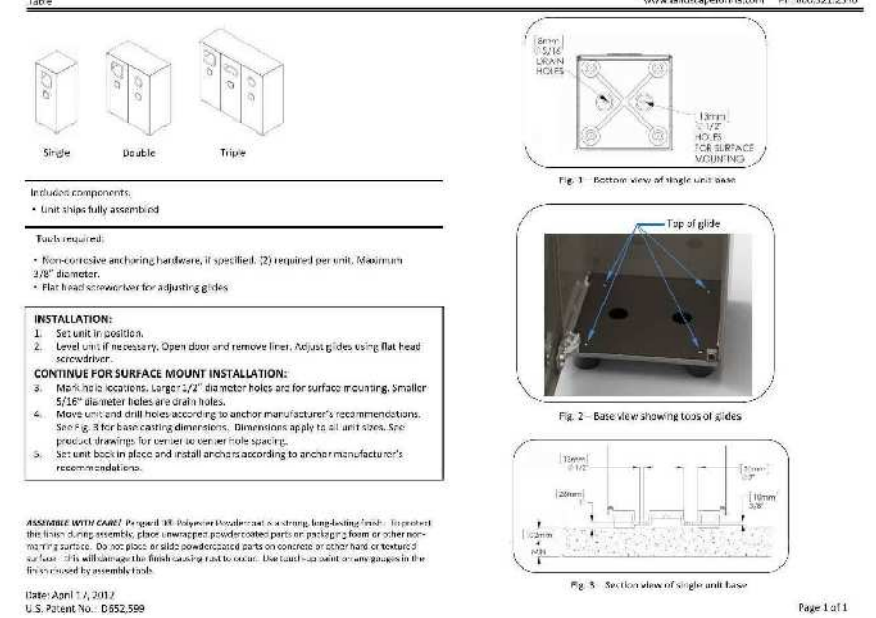
2B METAL HANDRAIL FOR RAMP

Select Double-Sided Square 20 Gauge, 1/2" Thick, Locking Door 2 Multi-Compartment
Product Drawing
www.landscapeforms.com
Date: 10/17/2018
17-800-321-2553



3 TRASH AND RECYCLING BIN
NOT TO SCALE

Select Installation Guide
www.landscapeforms.com
PH: 800.521.2556



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Architect

Engineer

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| HARDSCAPE SCHEDULE | | | | | | | |
|--------------------|------------------------|---------------------------------------|-------------------------|--------------|-------------------|--|---|
| HARDSCAPE KEY | MATERIAL | DETAIL | FINISH | COLOR | SIZE | MANUFACTURER | COMMENTS |
| P-101 | CONCRETE - PEDESTRIAN | 4 / L.151 | EXPOSED SHELL AGGERGATE | MESA BEIGE | | SIKA DECORATIVE CONCRETE, OR EQUAL | C.I.P. REINFORCED CONCRETE; SAW CUT JOINTS; INTEGRAL COLOR |
| P-102 | CONCRETE - PEDESTRIAN | 4 / L.151 | BROOM | NATURAL GRAY | | CONTRACTOR | C.I.P. REINFORCED CONCRETE; TOOLED JOINTS TO MATCH WIDTH OF RAMP |
| P-112 | CONCRETE - VEHICULAR | SEE CIVIL DWGS AND HARDSCAPE SCHEDULE | EXPOSED SHELL AGGERGATE | MESA BEIGE | 4X10 GRID | CONTRACTOR | SAW CUT JOINTS; SEE CIVIL DWGS FOR DETAIL; INTEGRAL COLOR. SHEET C802, TYPICAL REINFORCED CONCRETE PAVEMENT |
| P-221 | PERMEABLE COBBLE PAVER | 9 / L.151 | COBBLE | SLATE | VARIABLE X 2 3/4" | BELGARD BELGIAN COBBLE OR APPROVED EQUAL | VEHICULAR RATED |
| P-301 | 8" WIDE CONCRETE BAND | 8 / L.151 | TROWLED | NATURAL GRAY | 8" WIDE | N/A | C.I.P. REINFORCED CONCRETE W/ SAW CUTS 8" O.C.; FLUSH WITH GRADE |
| P-303 | 18" WIDE CONCRETE BAND | 7 / L.151 | TROWLED | NATURAL GRAY | 18" WIDE | | C.I.P. REINFORCED CONCRETE W/ SAW CUTS 18" O.C.; FLUSH WITH GRADE |

| WALL SCHEDULE | | | | | | | |
|---------------|----------------|-----------|--------|--------------|------|--------------|---|
| WALL KEY | MATERIAL | DETAIL | FINISH | COLOR | SIZE | MANUFACTURER | COMMENTS |
| W-101 | RETAINING WALL | 1 / L.152 | SMOOTH | NATURAL GRAY | | CONTRACTOR | C.I.P. REINFORCED CONCRETE: TO HAVE RAIL OR GUARDRAIL (SEE CIVIL DWGS FOR FOOT GUARD RAIL DETAIL OR ARCHITECTURAL DRAWINGS FOR GLASS GUARDRAIL) |
| W-102 | WING WALL | 2 / L.152 | SMOOTH | NATURAL GRAY | | CONTRACTOR | C.I.P. REINFORCED CONCRETE |

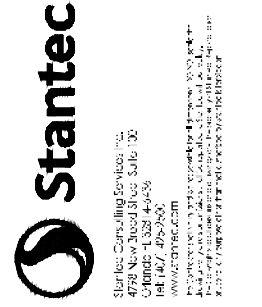
| RAMP SCHEDULE | | | | | | | |
|---------------|---------------|-----------|--------|--------------|--------------|--|--|
| RAMP KEY | MATERIAL | DETAIL | FINISH | COLOR | MANUFACTURER | COMMENTS | |
| S-111 | CONCRETE RAMP | 1 / L.152 | BROOM | NATURAL GRAY | | C.I.P. REINFORCED CONCRETE W/ METAL HANDRAILS; SAW CUTS EQUAL TO WIDTH OF RAMP; SHALL COMPLY WITH BUILDING AND LOCAL CODES | |

| STAIR SCHEDULE | | | | | | | |
|----------------|----------------|-----------|--------|--------------|------|--------------|----------|
| STAIR KEY | MATERIAL | DETAIL | FINISH | COLOR | SIZE | MANUFACTURER | COMMENTS |
| S-101 | CONCRETE STAIR | 3 / L.152 | TROWEL | NATURAL GRAY | | CONTRACTOR | |

| RAILING | | | | | | | |
|---------|-----------------------------|-----------|-----------------|-------|--------|--------------|---|
| KEY | MATERIAL | DETAIL | FINISH | COLOR | SIZE | MANUFACTURER | COMMENTS |
| R-112 | METAL HANDRAIL - SIMPLIFIED | 6 / L.152 | STAINLESS STEEL | | 36" HT | | CONTRACTOR TO SUPPLY SHOP DRAWINGS FOR HANDRAIL AND MOUNTING DETAILS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR MANUFACTURING AND INSTALLATION |

| SITE FURNISHING SCHEDULE | | | | | | | |
|--------------------------|-------------------------|-----------|-----------------|-----------------|---------------------------|---|--|
| FURNISHING KEY | MATERIAL | DETAIL | FINISH | COLOR | SIZE | MANUFACTURER | COMMENTS |
| F-301 | BIKE RACK | 2 / L.153 | STAINLESS STEEL | | 30"W X 34"H | MADRAX UX BIKE RACK, WWW.MADRAX.COM OR APPROVED EQUAL | SURFACE MOUNTED INSTALLATION |
| F-302 | TRASH AND RECYCLING BIN | 3 / L.153 | METAL | METALLIC SILVER | 1-7/8" TUBE; 30"W X 34" H | LANDSCAPE FORMS SELECT RECYCLING SYSTEM, WWW.LANDSCAPEFORMS.COM OR APPROVED EQUAL | DOUBLE UNITS; PERFORATED COMBO; MULTI-USE OPENINGS; SURFACE MOUNTED INSTALLATION |

- T TRANSFORMER AND COMPANY SWITCH SEE ELECTRICAL DRAWING
- P PLANTING
- L LIGHT, SEE LIGHTING PLANS AND SCHEDULE FOR TYPE AND ADDITIONAL INFORMATION



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2-ERM1
 1-ERM1
 1-ERM1
 100% DOC
 5/20/24

Permit/Seal
 1-ERM1
 1-ERM1
 100% DOC
 5/20/24

Client/Project
 BROWARD COUNTY
 CONVENTION CENTER &
 HEADQUARTERS HOTEL
 GRAND DRIVE ROW
 HARDSCAPE SCHEDULE
 FORT LAUDERDALE, FL

Project No.: 2185-0005
 Title: LANDSCAPE SCHEDULE
 Scale: As Shown
 Date: 05/20/24
 Title: L.160

Construction

Permit/Seal

Client/Project

BROWARD COUNTY
CONVENTION CENTER &
HEADQUARTERS HOTEL
GRAND DRIVE ROW
IRRIGATION PLAN

Project No.: 218510005
File Name: IRRIGATION
Scale: As Shown

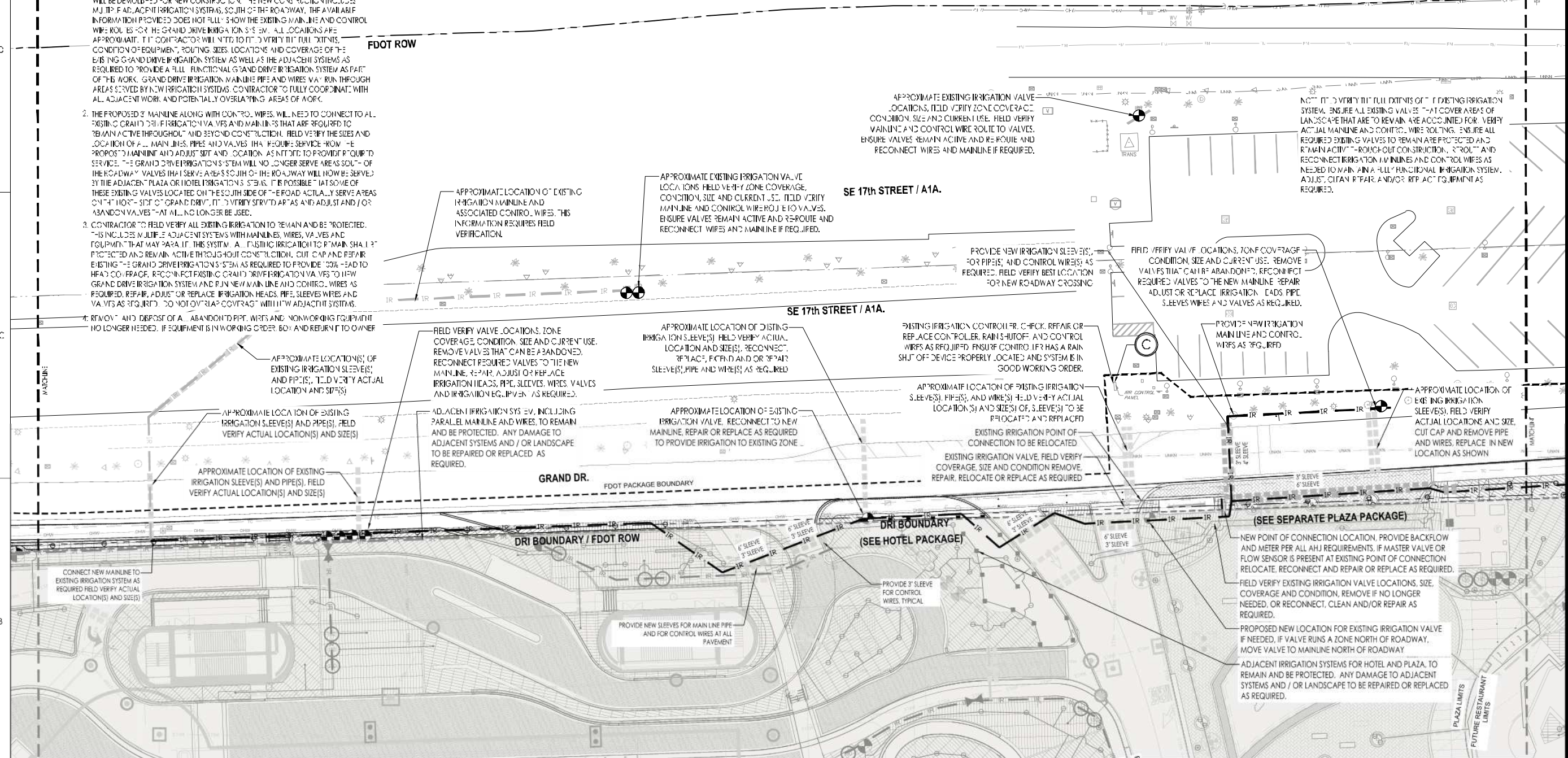
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Title: L.202

Revision: Sheet: of
AM# 26-0614
Exhibit 2

NOTES:

- THIS IRRIGATION SYSTEM WILL BE REFERRED TO AS THE GRAND DRIVE IRRIGATION SYSTEM. THE ADJACENT IRRIGATION SYSTEMS FOR THE HOTEL AND PLAZA THAT ARE TO REMAIN AND BE PROTECTED. THE SCOPE AND INTENT OF THIS WORK IS TO PROVIDE A FULLY FUNCTIONAL GRAND DRIVE IRRIGATION SYSTEM WITH 100% HEAD TO HEAD COVERAGE. REPAIRING AND/OR REPLACING OR ABANDONING EXISTING EQUIPMENT AS REQUIRED. A NEW MAINLINE AND CONTROL WIRES ARE REQUIRED TO REPLACE PIPE AND WIRES THAT WILL BE DEMOLISHED FOR NEW CONSTRUCTION. THE NEW CONSTRUCTION INCLUDES MAINLINE AND ADJACENT IRRIGATION SYSTEMS SOUTH OF THE ROADWAY. THE AVAILABLE INFORMATION PROVIDED DOES NOT FULLY SHOW THE EXISTING MAINLINE AND CONTROL WIRES FOR THE GRAND DRIVE IRRIGATION SYSTEM. ALL LOCATIONS ARE APPROXIMATE. THE CONTRACTOR WILL NEED TO FIELD VERIFY THE FULL EXTENTS, CONDITION OF EQUIPMENT, ROUTING, SIZES, LOCATIONS AND COVERAGE OF THE EXISTING GRAND DRIVE IRRIGATION SYSTEM AS WELL AS THE ADJACENT SYSTEMS AS REQUIRED TO PROVIDE A FULLY FUNCTIONAL GRAND DRIVE IRRIGATION SYSTEM AS PART OF THIS WORK. GRAND DRIVE IRRIGATION MAINLINE PIPE AND WIRES WILL RUN THROUGH AREAS SERVED BY NEW IRRIGATION SYSTEMS. CONTRACTOR TO FULLY COORDINATE WITH ALL ADJACENT WORK AND POTENTIALLY OVERLAPPING AREAS OF WORK.
- THE PROPOSED MAINLINE ALONG WITH CONTROL WIRES WILL NEED TO CONNECT TO ALL EXISTING GRAND DRIVE IRRIGATION VALVES AND MAINLINES THAT ARE REQUIRED TO REMAIN ACTIVE THROUGHOUT AND BEYOND CONSTRUCTION. FIELD VERIFY THE SIZES AND LOCATION OF ALL MAINLINES, PIPES AND VALVES THAT REQUIRE SERVICE FROM THE PROPOSED MAINLINE AND ADJUST SIZE AND LOCATION AS NEEDED TO PROVIDE EQUIPMENT SERVICE. THE GRAND DRIVE IRRIGATION SYSTEM WILL NO LONGER SERVE AREAS SOUTH OF THE ROADWAY. VALVES THAT SERVE AREAS SOUTH OF THE ROADWAY WILL NOW BE SERVED BY THE ADJACENT PLAZA OR HOTEL IRRIGATION SYSTEMS. IT IS POSSIBLE THAT SOME OF THESE EXISTING VALVES LOCATED ON THE SOUTH SIDE OF THE ROAD ACTUALLY SERVE AREAS ON THE NORTH SIDE OF GRAND DRIVE. FIELD VERIFY SERVICE AREAS AND ADJUST AND/OR ABANDON VALVES THAT ARE NO LONGER BE USED.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING IRRIGATION TO REMAIN AND BE PROTECTED. THIS INCLUDES MAINLINE ADJACENT SYSTEMS WITH MAINLINES, WIRES, VALVES AND EQUIPMENT THAT MAY PARALLEL THIS SYSTEM. ALL EXISTING IRRIGATION TO REMAIN SHALL BE PROTECTED AND REMAIN ACTIVE THROUGHOUT CONSTRUCTION. CUT AND REPAIR EXISTING GRAND DRIVE IRRIGATION SYSTEM AS REQUIRED TO PROVIDE 100% HEAD TO HEAD COVERAGE. RECONNECT EXISTING GRAND DRIVE IRRIGATION VALVES TO NEW GRAND DRIVE IRRIGATION SYSTEM AND RUN NEW MAINLINE AND CONTROL WIRES AS REQUIRED. REPAIR, ADJUST OR REPLACE IRRIGATION HEADS, PIPES, SLEEVES WIRES AND VALVES AS REQUIRED. DO NOT OVERLAP COVERAGE WITH ADJACENT SYSTEMS.
- REMOVE AND DISPOSE OF ALL ABANDONED PIPE, WIRES AND NONWORKING EQUIPMENT NO LONGER NEEDED. IF EQUIPMENT IS IN WORKING ORDER, BOX AND RETURN IT TO OWNER.

FOOT ROW



NOTES

- IRRIGATION TO PROVIDE 100% HEAD TO HEAD COVERAGE
- IRRIGATION TO BE SEPARATED INTO HYDROZONES SUCH THAT ALL SOD AND SHRUB AREAS SHALL BE IRRIGATED SEPARATELY.
- IRRIGATION TO BE INSTALLED PER THE FLORIDA BUILDING CODE APPENDIX F, PLUMBING, PROPOSED CONSTRUCTION BUILDING CODE FOR TURF AND LANDSCAPE IRRIGATION SYSTEMS.
- IRRIGATION TO BE INSTALLED PER ALL APPLICABLE CODES, LAWS AND ORDINANCES.
- IRRIGATION TO BE INSTALLED IN ACCORDANCE WITH ASTM D2855 USING BOTH PRIMER AND GLOUE.
- ROOTS EQUAL TO OR GREATER THAN 3/4" IN DIAMETER WITHIN THE DRIP LINE / ROOT PLATE OF A TREE MUST BE PRUNED. IN THE EVENT ROOT PRUNING IS NECESSARY, IT SHOULD BE DONE UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST. PRUNING TO MEET OR EXCEED ANSI A300 TYPICAL.
- MAINLINE ROUTE AND PROPOSED TREES AND PALMS TO BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- IF NON POTABLE WATER IS USED, USE 1/2" AVOIDER VALVE VA BOX COVERS, PIPE AND EQUIPMENT TOPS OR COVERS TYPICAL.
- INSTALL A RAIN SWITCH, PLACED ON A STATIONARY STRUCTURE WITH MIN. 3' CLEARANCE FROM OTHER OUTDOOR EQUIPMENT, FREE AND CLEAR OF ANY TREE CANOPY OR OTHER OVERHEAD OBSTRUCTIONS, AND ABOVE THE HEIGHT OF THE SPRINKLER COVERAGE.

PLAN SYMBOLS LEGEND

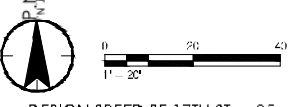
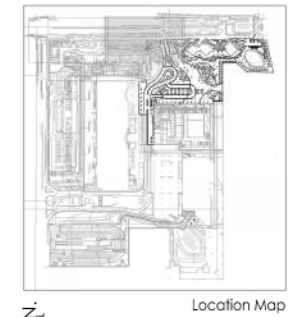
- RAINBIRD 1812-SAM-PRS SERIES 12" POP-UP SPRAY HEAD, PROVIDE RISER WHERE REQUIRED
- RAINBIRD 1806-SAM-PRS SERIES 6" POP-UP SPRAY HEAD
- EXISTING VALVE LOCATION TO BE FIELD VERIFIED. IF VALVE REQUIRES REPLACEMENT PROVIDE RAINBIRD PESB SERIES ELECTRIC VALVE WITH PRS-D. SIZE AS SHOWN ON THE PLAN. INSTALL IN RAINBIRD VALVE BOX.
- EXISTING IRRIGATION CONTROL VALVE LOCATION. NOTE: ENSURE CONTROLLER IS IN GOOD WORKING ORDER AND HAS AN OPERATIONAL RAIN SHUT OFF SWITCH AS REQUIRED BY CODE.
- 3" SCHEDULE 40 PVC MAIN LINE
- EXISTING MAINLINE APPROXIMATE LOCATION TO BE FIELD VERIFIED
- C-ASS 200 PVC LATERAL LINE, SIZE AS SHOWN
- 3" OR 1.5" SCH 40 SIF-70 > 3", C-ASS 200 PVC SIF-70, MIN. 2 x SIF-70 OF THE PIPE
- EXISTING SLEEVE, APPROXIMATE LOCATION TO BE FIELD VERIFIED
- DRIP IRRIGATION ZONE, RAINBIRD XFD-09-12, ON SURFACE DRIPLINE

SPRAY NOZZLE CHART

| LABEL | RAINBIRD MODEL ALL WITH SAM-PRS | GPM AT 30 PSI | RADIUS |
|-------|---------------------------------|---------------|----------|
| 15F | 1800-15F-HE-VAN | 3.7 | 15' |
| 15TQ | 1800-15TQ-HE-VAN | 2.78 | 15' |
| 15H | 1800-15H-HE-VAN | 1.85 | 15' |
| 15Q | 1800-15Q-HE-VAN | 0.93 | 15' |
| 15ES | 1800-15EST | 0.61 | 4' x 15' |
| 15SS | 1800-15SS1 | 1.2 | 4' x 30' |
| 12F | 1800-12F-HE-VAN | 2.37 | 12' |
| 12TQ | 1800-12TQ-HE-VAN | 1.58 | 12' |
| 12H | 1800-12H-HE-VAN | 1.18 | 12' |
| 12Q | 1800-12Q-HE-VAN | 0.69 | 12' |
| 10F | 1800-10F-HE-VAN | 1.78 | 10' |
| 10TQ | 1800-10TQ-HE-VAN | 1.34 | 10' |
| 10H | 1800-10H-HE-VAN | 0.89 | 10' |
| 10Q | 1800-10Q-HE-VAN | 0.45 | 10' |
| 8F | 1800-8F-HE-VAN | 1.7 | 8' |
| 8TQ | 1800-8TQ-HE-VAN | 0.88 | 8' |
| 8H | 1800-8H-HE-VAN | 0.59 | 8' |
| 8Q | 1800-8Q-HE-VAN | 0.29 | 8' |
| 4V | 1800-4V | 0.29 | 4' |

EXCAVATION NOTE:
1. DO NOT BEGIN EXCAVATION UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND MARKED. CALL 811 OR VISIT SUNSHINE811.COM AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, CHAPTER 556, FLORIDA STATUTES. AVOID DAMAGE TO ALL UTILITIES. HAND EXCAVATE AS REQUIRED.

- FOOT IRRIGATION NOTES:**
- THE IRRIGATION SYSTEM SHALL USE THE LOWEST QUALITY WATER AVAILABLE WHICH ADEQUATELY AND SAFELY MEETS THE WATER NEEDS OF THE SYSTEM. STORM WATER, RECLAIM WATER, OR GREY WATER IRRIGATION SHALL BE USED WHENEVER POSSIBLE.
 - FOOT REQUIRES 24-HOUR EMERGENCY ACCESS TO THE WATER SOURCE.
 - THE CONTRACTOR SHALL PROVIDE FOOT DISTRICT OPERATIONS MANAGER WITH A SET OF "AS-BUILT" IRRIGATION PLANS.
 - SLEEVING MUST BE 36" BELOW THE ROADWAY SURFACE. VERIFY WITH FOOT MAINTENANCE THAT SLEEVING/DIRECTIONAL BORE IS PERMITTED AT THIS TIME. A NEWLY RESURFACED ROAD CANNOT BE DISTURBED FOR 5 YEARS.
 - THE PERMITTEE'S REPRESENTATIVE & AN FOOT INSPECTOR MUST BE ON SITE DURING ALL BORING ACTIVITIES. UPON COMPLETION OF THE BORING ACTIVITIES, PERMITTEE SHALL PROVIDE ALL DOCUMENTATION TO BE IN ACCORDANCE WITH FOOT STANDARD SPECIFICATIONS, SECTION 555 OR 556, WHICH VFR IS APPLICABLE.
 - PERMITTEE'S CONTRACTORS THAT ARE PERFORMING DIRECTIONAL DRILLING AND/OR JACK AND BORE ACTIVITIES SHALL PROVIDE THE DEPARTMENT (PERMITS OFFICE) PROOF OF A PROPER STATE CONTRACTOR'S LICENSE AND CERTIFICATE OF LIABILITY INSURANCE PRIOR TO ANY COMMENCEMENT OF PERMITTED WORK.
 - PERMITTEE WILL ENSURE THAT ALL LOCATIONS HAVE BEEN PERFORMED PRIOR TO SCHEDULING OF ANY BORING ACTIVITIES. THIS SHALL INCLUDE SOFT DIGS TO VERIFY VERTICAL & HORIZONTAL ALIGNMENT.
 - SHOULD THE EXISTING IRRIGATION SYSTEM NOT BE FUNCTIONAL FOR A PERIOD OF TIME DURING CONSTRUCTION, ENSURE THAT MEASURES ARE TAKEN TO WATER THE EXISTING PLANT MATERIAL AND SOD. THIS MAY INCLUDE PORTIONS OF THE RIGHT OF WAY OUTSIDE OF THE RENOVATION ARPA DEPENDING ON HOW THE SYSTEM IS ZONED.
 - 100% COVERAGE MUST BE ACHIEVED WITHIN THE RIGHT OF WAY WHERE IRRIGATION MODIFICATIONS OCCUR.
 - TO ENSURE THE ENTIRE EXISTING IRRIGATION SYSTEM IS RESTORED TO FULLY FUNCTIONAL CONDITION, THE CONTRACTOR AND MAINTAINING AGENCY ARE TO PERFORM A PRE-CONSTRUCTION VISUAL INSPECTION AND PERFORMANCE TEST TO DOCUMENT THE CONDITION OF THE EXISTING SYSTEM. ANY REPAIRS THAT ARE REQUIRED TO THE EXISTING SYSTEM TO REMAIN WILL BE PERFORMED BY THE MAINTAINING AGENCY PRIOR TO CONSTRUCTION. ANY EXISTING OR PROPOSED COMPONENTS THAT ARE DAMAGED DURING CONSTRUCTION OR THE WARRANTY PERIOD WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE ENTIRE SYSTEM MUST BE RESTORED TO THE SAME CONDITION IT WAS IN BEFORE THE START OF CONSTRUCTION.



DESIGN SPEED SE 17TH ST. = 35 MPH
LANDSCAPE PERMIT NUMBER 2024-L91-00023

NOTES:

- THIS IRRIGATION SYSTEM WILL BE REFERRED TO AS THE GRAND DRIVE IRRIGATION SYSTEM. THERE ARE MULTIPLE ADJACENT SYSTEMS FOR THE SITE AND PLAZA THAT ARE TO REMAIN AND BE PROTECTED. THE SCOPE AND INTENT OF THIS WORK IS TO PROVIDE A FULLY FUNCTIONAL GRAND DRIVE IRRIGATION SYSTEM WITH 100% HEAD TO HEAD COVERAGE. REPAIRING AND/OR REPLACING OR ABANDONING EXISTING EQUIPMENT AS REQUIRED. A NEW MAINLINE AND CONTROL WIRES ARE REQUIRED TO REPLACE PIPE AND WIRES THAT WILL BE DEMOLISHED FOR NEW CONSTRUCTION. THE NEW CONSTRUCTION INCLUDES MULTIPLE ADJACENT IRRIGATION SYSTEMS, SOUTH OF THE ROADWAY. THE AVAILABLE INFORMATION PROVIDED DOES NOT FULLY SHOW EXISTING MAINLINE AND CONTROL WIRE ROUTES FOR THE GRAND DRIVE IRRIGATION SYSTEM. ALL LOCATIONS ARE APPROXIMATE. THE CONTRACTOR WILL NEED TO FIELD VERIFY THE LOCATION, CONDITION OF EQUIPMENT, ROUTING, SIZES, LOCATIONS AND COVERAGE OF THE EXISTING GRAND DRIVE IRRIGATION SYSTEM AS WELL AS THE ADJACENT SYSTEMS AS REQUIRED TO PROVIDE A FULLY FUNCTIONAL GRAND DRIVE IRRIGATION SYSTEM AS PART OF THIS WORK. GRAND DRIVE IRRIGATION MAINLINE PIPE AND WIRES MAY RUN THROUGH AREAS SERVED BY NEW IRRIGATION SYSTEMS. COORDINATION TO FULLY COORDINATE WITH ALL ADJACENT WORK AND POTENTIALLY OVERLAPPING AREAS OF WORK.
- THE PROPOSED MAINLINE ALONG WITH CONTROL WIRES WILL NEED TO CONNECT TO ALL EXISTING GRAND DRIVE IRRIGATION VALVES AND MAINLINES THAT ARE REQUIRED TO REMAIN ACTIVE THROUGHOUT AND BEYOND CONSTRUCTION. FIELD VERIFY THE SIZES AND LOCATION OF ALL MAINLINES, PIPES AND VALVES THAT REQUIRE SERVICE FROM THE PROPOSED MAINLINE AND ADJUST SIZE AND LOCATION AS NEEDED TO PROVIDE REQUIRED SERVICE. THE GRAND DRIVE IRRIGATION SYSTEM WILL NO LONGER SERVE AREAS SOUTH OF THE ROADWAY. VALVES THAT SERVE AREAS SOUTH OF THE ROADWAY WILL NOW BE SERVED BY ADJACENT PLAZA OR RESTAURANT IRRIGATION SYSTEMS. IT IS POSSIBLE THAT SOME OF THESE EXISTING VALVES LOCATED ON THE SOUTH SIDE OF THE ROAD ACTUALLY SERVE AREAS ON THE NORTH SIDE OF GRAND DRIVE. FIELD VERIFY THESE AREAS AND ADJUST AND/OR ABANDON VALVES THAT WILL NO LONGER BE USED.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING IRRIGATION TO REMAIN AND BE PROTECTED. THIS INCLUDES MULTIPLE ADJACENT SYSTEMS WITH MAINLINES, WIRES, VALVES AND EQUIPMENT THAT MAY PARALLEL THIS SYSTEM. ALL EXISTING IRRIGATION TO REMAIN SHALL BE PROTECTED AND REMAIN ACTIVE THROUGHOUT CONSTRUCTION. CUT, CAP AND REPAIR EXISTING THE GRAND DRIVE IRRIGATION SYSTEM AS REQUIRED TO PROVIDE 100% HEAD TO HEAD COVERAGE. RECONNECT EXISTING GRAND DRIVE IRRIGATION VALVES TO NEW GRAND DRIVE IRRIGATION SYSTEM AND RUN NEW MAINLINE AND CONTROL WIRES AS REQUIRED. REPAIR, ADJUST OR REPLACE IRRIGATION HEADS, PIPE, SLEEVES, WIRES AND VALVES AS REQUIRED. DO NOT OVERLAP COVERAGE WITH NEW ADJACENT SYSTEMS.
- REMOVE AND DISPOSE OF ALL ABANDONED PIPE, WIRES AND NONWORKING EQUIPMENT NO LONGER NEEDED. IF EQUIPMENT IS IN WORKING ORDER, BOX AND RETURN IT TO OWNER.

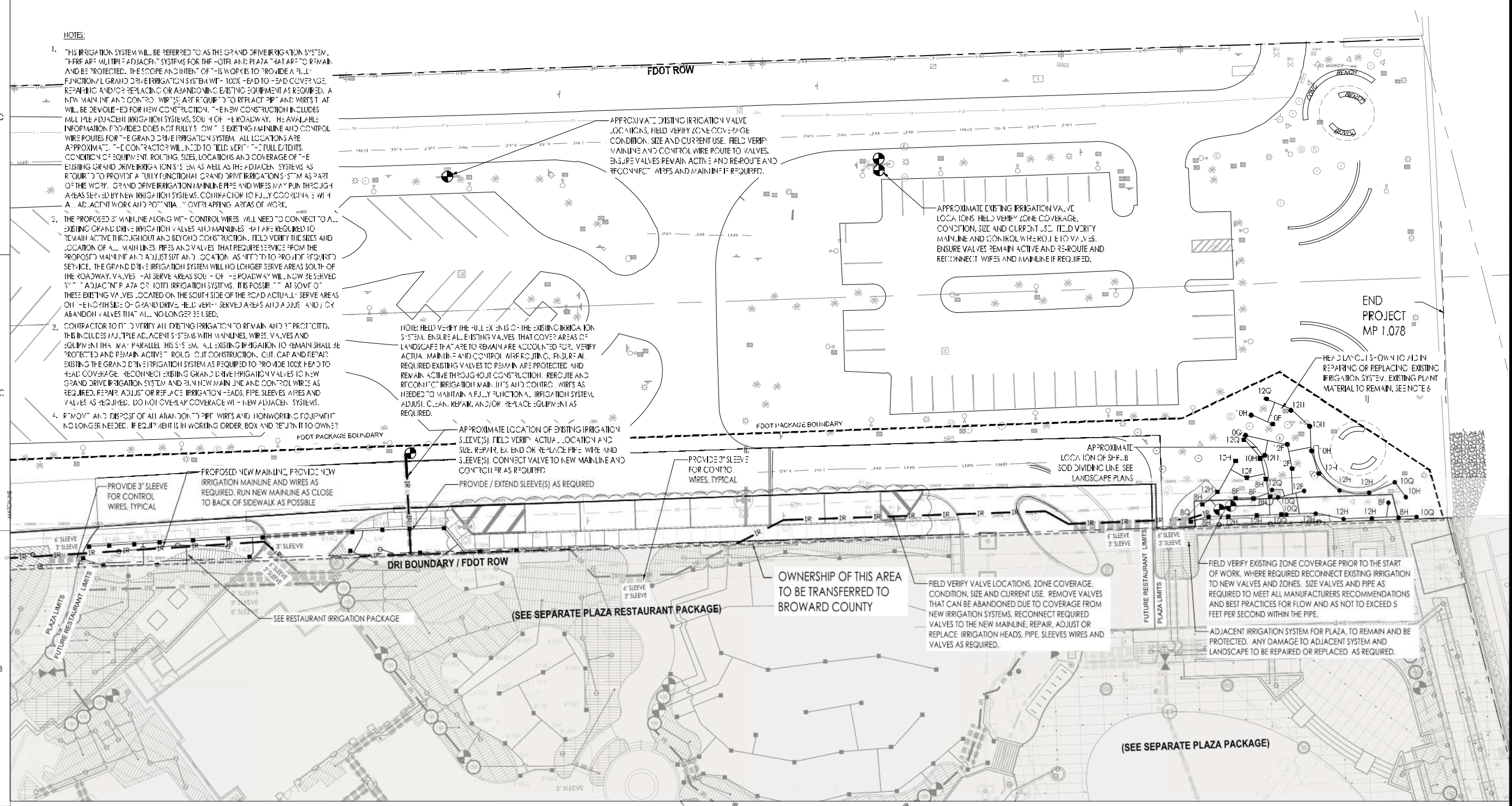
NOTE: FIELD VERIFY THE FULL EXTENT OF THE EXISTING IRRIGATION SYSTEM. ENSURE ALL EXISTING VALVES THAT COVER AREAS OF LANDSCAPE THAT ARE TO REMAIN ARE ACCOUNTED FOR. VERIFY ACTUAL MAINLINE AND CONTROL WIRE ROUTING. ENSURE ALL REQUIRED EXISTING VALVES TO REMAIN ARE PROTECTED AND REMAIN ACTIVE THROUGHOUT CONSTRUCTION. RECONNECT AND RECONNECT IRRIGATION MAINLINES AND CONTROL WIRES AS NEEDED TO MAINTAIN FULLY FUNCTIONAL IRRIGATION SYSTEM. ADJUST, CLEAN, REPAIR, AND/OR REPLACE EQUIPMENT AS REQUIRED.

APPROXIMATE EXISTING IRRIGATION VALVE LOCATIONS. FIELD VERIFY ZONE COVERAGE, CONDITION, SIZE AND CURRENT USE. FIELD VERIFY MAINLINE AND CONTROL WIRE ROUTE TO VALVES. ENSURE VALVES REMAIN ACTIVE AND RE-ROUTE AND RECONNECT WIRES AND MAINLINE IF REQUIRED.

APPROXIMATE EXISTING IRRIGATION VALVE LOCATIONS. FIELD VERIFY ZONE COVERAGE, CONDITION, SIZE AND CURRENT USE. FIELD VERIFY MAINLINE AND CONTROL WIRE ROUTE TO VALVES. ENSURE VALVES REMAIN ACTIVE AND RE-ROUTE AND RECONNECT WIRES AND MAINLINE IF REQUIRED.

END PROJECT MP 1.078

HEADLANDS-OWNED AND REPAIRING OR REPLACING EXISTING IRRIGATION SYSTEM. EXISTING PLANT MATERIAL TO REMAIN. SEE NOTE 6.



- NOTES**
- IRRIGATION TO PROVIDE 100% HEAD TO HEAD COVERAGE
 - IRRIGATION TO BE SEPARATED INTO HYDROZONES SUCH THAT ALL SOD AND SHRUB AREAS SHALL BE IRRIGATED SEPARATELY.
 - IRRIGATION TO BE INSTALLED PER THE FLORIDA BUILDING CODE APPENDIX F, PLUMBING, PROPOSED CONSTRUCTION BUILDING CODE FOR TURF AND LANDSCAPE IRRIGATION SYSTEMS.
 - IRRIGATION TO BE INSTALLED PER ALL APPLICABLE CODES, LAWS AND ORDINANCES.
 - IRRIGATION TO BE INSTALLED IN ACCORDANCE WITH ASTM D2855 USING BOTH PRIMER AND GEL.
 - ROOTS EQUAL TO OR GREATER THAN 3/4" IN DIAMETER WITHIN THE DRIP LINE / ROOT PLATE OF A TREE MUST BE PRUNED. IN THE EVENT ROOT PRUNING IS NECESSARY, IT SHOULD BE DONE UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST. PRUNING TO MEET OR EXCEED ANSI A300 TYPICAL.
 - MAINLINE ROUTE AND PROPOSED TREES AND PALMS TO BE STAKED IN THE FIELD FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 - IF NON POTABLE WATER IS USED, USE 1/2" AVENUE VALVE BOX COVERS, PIPE AND EQUIPMENT TOPS OR COVERS TYPICAL.
 - INSTALL A RAIN SWITCH, PLACED ON A STATIONARY STRUCTURE WITH MIN. 3' CLEARANCE FROM OTHER OUTDOOR EQUIPMENT, FREE AND CLEAR OF ANY TREE CANOPY OR OTHER OVERHEAD OBSTRUCTIONS, AND ABOVE THE HEIGHT OF THE SPRINKLER COVERAGE.

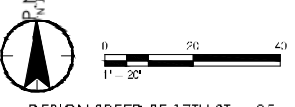
PLAN SYMBOLS LEGEND

- RAINBIRD 1812-SAM-PRS SERIES 12" POP-UP SPRAY HEAD, PROVIDE RISER WHERE REQUIRED
- RAINBIRD 1806-SAM-PRS SERIES 6" POP-UP SPRAY HEAD
- EXISTING VALVE LOCATION TO BE FIELD VERIFIED. IF VALVE REQUIRES REPLACEMENT PROVIDE RAINBIRD PESB SERIES ELECTRIC VALVE WITH PRS-D, SIZE AS SHOWN ON THE PLAN, INSTALL IN RAINBIRD VIB SERIES VALVE BOX.
- EXISTING IRRIGATION CONTROL VALVE LOCATION. NOTE: ENSURE CONTROLLER IS IN GOOD WORKING ORDER AND HAS AN OPERATIONAL RAIN SHUT OFF SWITCH AS REQUIRED BY CODE.
- 3" SCHEDULE 40 PVC MAIN LINE
- EXISTING MAINLINE APPROXIMATE LOCATION TO BE FIELD VERIFIED
- C-ASS 200 PVC LATERAL LINE, SIZE AS SHOWN
- 3" ORIFICE SCREW 1/2" > 3", C-ASS 200 PVC SLEEVES, MIN. 2" SIZE OF THE PIPE
- EXISTING SLEEVES, APPROXIMATE LOCATION TO BE FIELD VERIFIED
- DRIP IRRIGATION ZONE, RAINBIRD XFD-09-12, ON SURFACE DRIPLINE

SPRAY NOZZLE CHART

| LABEL | RAINBIRD MODEL ALL WITH SAM-PRS | GPM@1/2 30 PSI | RADIUS |
|-------|---------------------------------|----------------|----------|
| 15F | 1800-15F-HE-VAN | 3.7 | 15' |
| 15TQ | 1800-15TQ-HE-VAN | 2.78 | 15' |
| 15H | 1800-15H-HE-VAN | 1.85 | 15' |
| 15Q | 1800-15Q-HE-VAN | 0.93 | 15' |
| 15ES | 1800-15EST | 0.61 | 4' x 15' |
| 15SS | 1800-15SST | 1.2 | 4' x 30' |
| 12F | 1800-12F-HE-VAN | 2.37 | 12' |
| 12TQ | 1800-12TQ-HE-VAN | 1.58 | 12' |
| 12H | 1800-12H-HE-VAN | 1.18 | 12' |
| 12Q | 1800-12Q-HE-VAN | 0.69 | 12' |
| 10F | 1800-10F-HE-VAN | 1.78 | 10' |
| 10TQ | 1800-10TQ-HE-VAN | 1.34 | 10' |
| 10H | 1800-10H-HE-VAN | 0.89 | 10' |
| 10Q | 1800-10Q-HE-VAN | 0.45 | 10' |
| 8F | 1800-8F-HE-VAN | 1.7 | 8' |
| 8TQ | 1800-8TQ-HE-VAN | 0.88 | 8' |
| 8H | 1800-8H-HE-VAN | 0.59 | 8' |
| 8Q | 1800-8Q-HE-VAN | 0.29 | 8' |
| 4V | 1800-4V | 0.29 | 4' |

- EXCAVATION NOTE:**
- DO NOT BEGIN EXCAVATION UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND MARKED. CALL 811 OR VISIT SUNSHINE811.COM AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, CHAPTER 556, FLORIDA STATUTES. AVOID DAMAGE TO ALL UTILITIES. HAND EXCAVATE AS REQUIRED.
- FDOT IRRIGATION NOTES:**
- THE IRRIGATION SYSTEM SHALL USE THE LOWEST QUALITY WATER AVAILABLE WHICH ADEQUATELY AND SAFELY MEETS THE WATER NEEDS OF THE SYSTEM. STORM WATER, RECLAIM WATER, OR GREY WATER IRRIGATION SHALL BE USED WHENEVER POSSIBLE.
 - FDOT REQUIRES 24-HOUR EMERGENCY ACCESS TO THE WATER SOURCE.
 - THE CONTRACTOR SHALL PROVIDE FDOT DISTRICT OPERATIONS MANAGER WITH A SET OF "AS-BUILT" IRRIGATION PLANS.
 - SLEEVING MUST BE 36" BELOW THE ROADWAY SURFACE. VERIFY WITH FDOT MAINTENANCE THAT SEVERING/DIRECTIONAL BORE IS PERMITTED AT THIS TIME. A NEWLY RESURFACED ROAD CANNOT BE DISTURBED FOR 5 YEARS.
 - THE PERMITTEE'S REPRESENTATIVE & AN FDOT INSPECTOR MUST BE ON SITE DURING ALL BORING ACTIVITIES. UPON COMPLETION OF THE BORING ACTIVITIES, PERMITTEE SHALL PROVIDE ALL DOCUMENTATION TO BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, SECTION 555 OR 556, WHICH EVER IS APPLICABLE.
 - PERMITTEE'S CONTRACTORS THAT ARE PERFORMING DIRECTIONAL DRILLING AND/OR JACK AND BORE ACTIVITIES SHALL PROVIDE THE DEPARTMENT (PERMITS OFFICE) PROOF OF A PROPER STATE CONTRACTOR'S LICENSE AND CERTIFICATE OF LIABILITY INSURANCE PRIOR TO ANY COMMENCEMENT OF PERMITTED WORK.
 - PERMITTEE WILL ENSURE THAT ALL LOCATIONS HAVE BEEN PERFORMED PRIOR TO SCHEDULING OF ANY BORING ACTIVITIES. THIS SHALL INCLUDE SOFT DIGS TO VERIFY VERTICAL & HORIZONTAL ALIGNMENT.
 - SHOULD THE EXISTING IRRIGATION SYSTEM NOT BE FUNCTIONAL FOR A PERIOD OF TIME DURING CONSTRUCTION, ENSURE THAT MEASURES ARE TAKEN TO WATER THE EXISTING PLANT MATERIAL AND SOD. THIS MAY INCLUDE PORTIONS OF THE RIGHT OF WAY OUTSIDE OF THE RENOVATION AREA DEPENDING ON HOW THE SYSTEM IS ZONED.
 - 100% COVERAGE MUST BE ACHIEVED WITHIN THE RIGHT OF WAY WHERE IRRIGATION MODIFICATIONS OCCUR.
 - TO ENSURE THE ENTIRE EXISTING IRRIGATION SYSTEM IS RESTORED TO FULLY FUNCTIONAL CONDITION, THE CONTRACTOR AND MAINTAINING AGENCY ARE TO PERFORM A PRE-CONSTRUCTION VISUAL INSPECTION AND PERFORMANCE TEST TO DOCUMENT THE CONDITION OF THE EXISTING SYSTEM. ANY REPAIRS THAT ARE REQUIRED TO THE EXISTING SYSTEM TO REMAIN WILL BE PERFORMED BY THE MAINTAINING AGENCY PRIOR TO CONSTRUCTION. ANY EXISTING OR PROPOSED COMPONENTS THAT ARE DAMAGED DURING CONSTRUCTION OR THE WARRANTY PERIOD WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE ENTIRE SYSTEM MUST BE RESTORED TO THE SAME CONDITION IT WAS IN BEFORE THE START OF CONSTRUCTION.



DESIGN SPEED SE 17TH ST. = 35 MPH
LANDSCAPE PERMIT NUMBER 2024-L91-00023

Consultant

Permit/Seal

Client/Project
BROWARD COUNTY
CONVENTION CENTER &
HEADQUARTERS HOTEL
GRAND DRIVE ROW
IRRIGATION PLAN
FORT LAUDERDALE, FL

Project No.: 218510005
File Name: IRRIGATION
Scale: As Shown
Title

Revision: Sheet: of

L.203

AM# 26-0614
Exhibit 2

PERFORMANCE NOTES

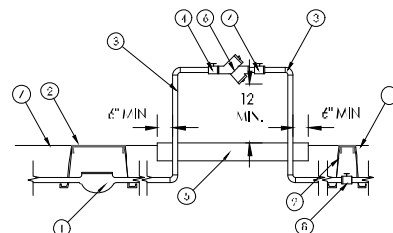
1. LATERAL PRESSURE SHALL BE SIZED SO THAT WATER VELOCITY DOES NOT EXCEED 6 FEET PER SECOND, MAXIMUM GPM FOR CLASS 200 PIPE SIZE WITH ALLOWANCES FOR FRI, HEAD LOSSES AND MINOR MODIFICATIONS AS FOLLOWS:

| | |
|-------------|---------|
| 3/4" IP | 8 GPM |
| 1" PIPE | 12 GPM |
| 1 1/2" PIPE | 22 GPM |
| 2" PIPE | 28 GPM |
| 2 1/2" PIPE | 45 GPM |
| 3" PIPE | 57 GPM |
| 3 1/2" PIPE | 100 GPM |

1 1/2" PIPES SHALL NOT BE USED FOR LATERAL PIPE EXCEPT FOR 3/4" RISES

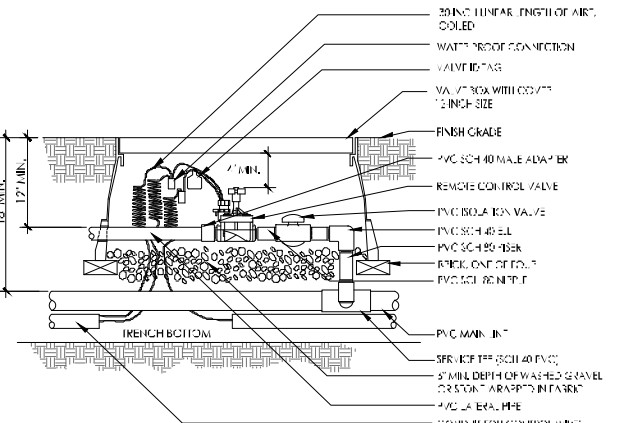
GENERAL NOTES

- DO NOT BEGIN EXCAVATION UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND MARKED. CALL OUT AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT CHAPTER 55A, FLOPICA STATUTES, AVOID DAMAGE TO ALL UTILITIES HAND EXCAVATES REQUIRED.
- IRISGARDEN SYSTEMS SHALL BE INSTALLED PER ALL APPLICABLE CODES, LAWS AND ORDINANCES.
- IRISGARDEN SYSTEMS SHALL BE INSTALLED PER ALL APPLICABLE CODES, LAWS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
- INSTALL MAIN LINES WITH A MINIMUM DEPTH OF 18" OF COVER IN NON-VEHICULAR AREAS AND 24" IN VEHICULAR AREAS. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. NOTE THESE ARE MINIMUM REQUIREMENTS THAT APPLY TO PIPES 2" AND LARGER. SEE DETAIL FOR CONNECTIONS AND JOINTS. VERIFY ALL MATERIALS AND ASSEMBLY REQUIREMENTS PRIOR TO CONSTRUCTION.
- SLEEVES SHALL BE PLACED UNDER PAVEMENT AS SHOWN ON PLANS AND SHALL BE A MINIMUM OF SIX-TIME SIZE OF THE IRRIGATION PIPE. PIPES SHALL BE LAPPED TO THOSE SHOWN ON THE DRAWINGS. THE SMALLEST LATERAL PIPE SIZE TO A SINGLE SPRAY HEAD IS 1/2".
- ALL SOLVENT WELD JOINTS TO BE MADE IN COMPLIANCE WITH ASTM D2885 USING 301 PRIMER AND GLE.
- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREE AND SHrub LOCATIONS.
- WHERE POSSIBLE DO NOT TRENCH UNDER THE SHrub OR ROOT PLATE OF EXISTING TREES. SHOULD IT BE NECESSARY THE OWNERS REPRESENTATIVE MAY REQUIRE CONTRACTOR TO RELOCATE PROPOSED IRRIGATION WORK, SOFFITS, BENCHES, ROOTS OR USE AN AROUND ROOT BENCH THROUGH AND UNDER ROOT THE ROOT SYSTEM. IF CUTTING ROOTS IS NECESSARY ROOTS SHALL BE CUT AT AN ANGLE OF 45 DEGREES. IN THE EVENT A ROOT CUTTING IS REQUIRED TO BE DONE UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST AND ALL CUT EXCEED 1/2" IN DIAMETER AND BEST MANAGEMENT PRACTICES AND RECORDS IN COMPLIANCE WITH ALL APPLICABLE CODES, LAWS AND ORDINANCES.
- ALL SPRAY HEADS IN THE ROW/ZONE SHALL BE CUT OFF OR 1/2" OF 3/4" IN DIAMETER ON THE PLANE.
- ALL POP UP SPRAY HEADS SHALL BE INSTALLED USING AN 1/2" PVC FLEX JOINT OF SWING JOINT CONNECTION. ALL POP UP HEADS SHALL BE INSTALLED USING SWING JOINTS. CONTRACTOR SHALL NOT USE JUNKY PIPE.
- ALL FEEDS SHALL BE INSTALLED 12" FROM ANY WALL AND A MINIMUM OF 36" FROM ANY SIDEWALK, PATIO OR ROAD.
- ALL FEEDS SHALL BE INSTALLED WITH 1/2" TYPICAL WOOD DOWN AND SECURED WITH 1/2" RESISTANT PLASTIC CABLES, FEEDS AND DOWN SHALL BE SPACED 12" ON CENTER WITH OUTSIDE 1/2" RESISTANT FAN.
- IF LANDSCAPE ARCHITECT REQUESTS THE RIGHT TO STOP THE TRENCHING TO TAKE PHOTOGRAPHS OF THE SITE IN A SHrub OR ON SITE.
- ALL TRENCHING WORK SHALL BE INSTALLED USING 1/2" TYPICAL WOOD DOWN AND SECURED WITH 1/2" RESISTANT PLASTIC CABLES, FEEDS AND DOWN SHALL BE SPACED 12" ON CENTER WITH OUTSIDE 1/2" RESISTANT FAN.
- CONTROL PIPES SHALL BE 1/2" UP DIRECT BURIAL. COMMON WIRE TO BE 1/2" UP DIRECT BURIAL. WIPES TO BE COLORED RED FOR CONTROL WIPES AND WHITE FOR COMMON WIPES. NO CROSS CONNECTION BETWEEN CONTROL LINES SHALL BE ALLOWED. WIRE SPACES SHALL BE MADE ON 1" VALVE BOXES AND BANNED FROM ANY OTHER WATERPROOF CONNECTIONS.
- ELECTRICAL SERVICE TO ALL EQUIPMENT SHALL BE PROVIDED TO THE EQUIPMENT LOCATION. ALL OTHERS NOT A PART OF IT IS CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL CONNECTION FROM THE ELECTRICAL SERVICE TO THE EQUIPMENT.
- FOR SCHED 40 ELBOWS AND JOINTS TO BE USED IN ALL CONNECTIONS. THE MINIMUM CLEARANCE OF THE FITTING FROM EQUIPMENT SHALL BE 1/2" OVER THE OBTUSION AND AVOID THE FITTING TO STRIKE THE COVER.
- IF THE FITTING IS NOT OF THE IRISGARDEN CONTRACTOR TO MAKE WITH INSURE AND EXTEND OUT TO 1/2" TO NOT DAMAGE ANY EXISTING FEEDS, WALLS, STRUCTURES, PLUMBING AND UTILITIES. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE MINIMUM CLEARANCE OF THE FITTING FROM EQUIPMENT. THE MINIMUM CLEARANCE OF THE FITTING FROM EQUIPMENT SHALL BE 1/2" OVER THE OBTUSION AND AVOID THE FITTING TO STRIKE THE COVER.
- ANY PIPING OR VALVES SHOWN OUTSIDE THE PROPERTY LINE OR OUTSIDE OF A LANDSCAPE AREA ARE SHOWN THERE FOR DESIGN CLARITY ONLY. ALL IRISGARDEN VALVES SHALL BE INSTALLED ON THE PROPERTY AND WITHIN LANDSCAPE AREAS.
- DO NOT INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN THE CONDITIONS IN THE FIELD ARE UNKNOWN. OBTUSION, GRADE DIFFERENCES OR DIFFERENCES IN AREA DIMENSIONS THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING DESIGN. OBTUSION OR DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS. ALL CHANGES REPRESENTATIVE, IN THE EVENT THIS INFORMATION IS NOT PROVIDED, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES.
- CONTRACTOR SHALL PERFORM PRESSURE AND CLIMATE TEST ON IRRIGATION WATER SOURCE OVER A CONTINUOUS 24 HOUR PERIOD PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK. SHOULD THE AVAILABLE SUPPLY NOT BE ADEQUATE TO MEET THE DEMANDS OF THE IRRIGATION SYSTEM AS DESIGNED THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION FOR DESIGN MODIFICATION.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL CONNECTION FROM THE ELECTRICAL SERVICE TO THE EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL CONNECTION FROM THE ELECTRICAL SERVICE TO THE EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL CONNECTION FROM THE ELECTRICAL SERVICE TO THE EQUIPMENT.
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- ALL WORK SHALL BE INSTALLED PER ALL APPLICABLE CODES, LAWS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- REMOVE ALL UNUSED AND EXCESSIVE PIPING.
- ALL VALVES TO BE LOCATED IN SHrub AREAS AS OPPOSED TO THE AREAS WHERE POSSIBLE.

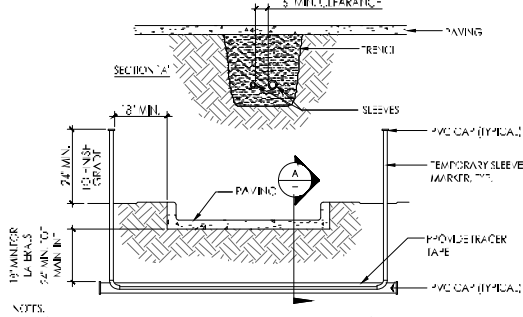


1. VETER PER UTILITY, SIZE AND LOCATE AS REQUIRED.
2. VETER BOX AS REQUIRED BY A-J.
3. SCH 40 1/2\"/>
- 4. 6\"/>
- 5. 6\"/>
- 6. 6\"/>
- 7. 6\"/>
- 8. ISOLATION VALVE.
- 9. VALVE BOX AS REQUIRED.

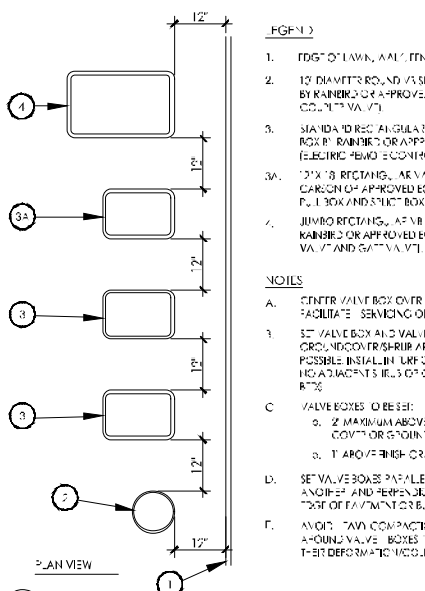
1 POINT OF CONNECTION
N.T.S.



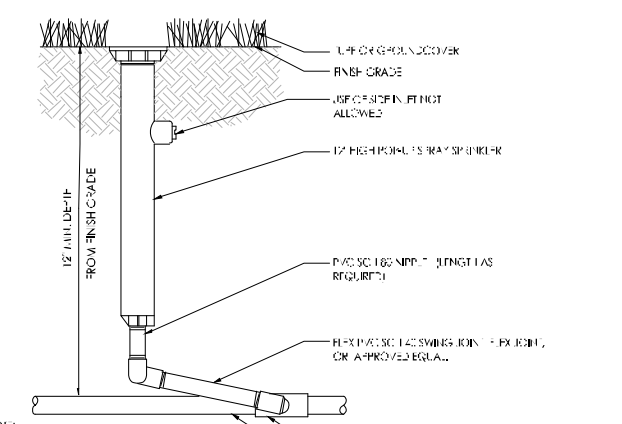
2 CONTROL VALVE DETAIL
N.T.S.



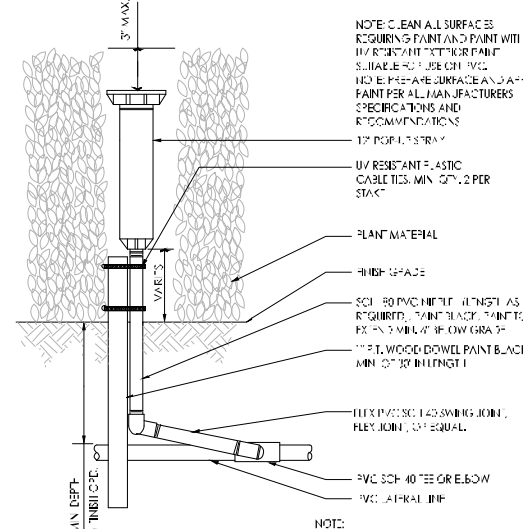
3 IRRIGATION SLEEVING DETAIL
N.T.S.



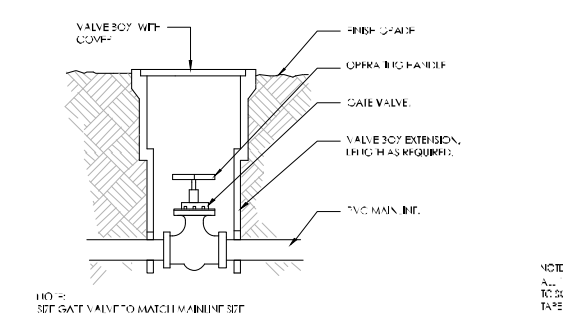
4 VALVE BOX ALIGNMENT
N.T.S.



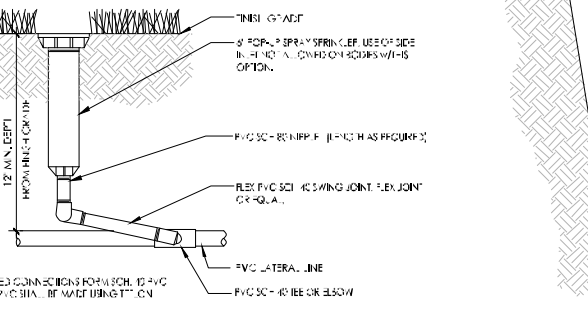
5 12\"/>



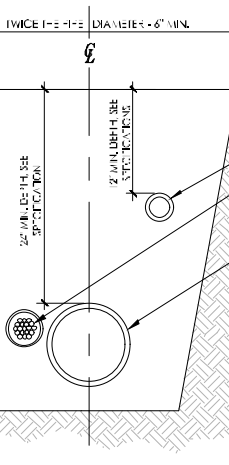
6 SHRUB SPRINKLER ON RISER
N.T.S.



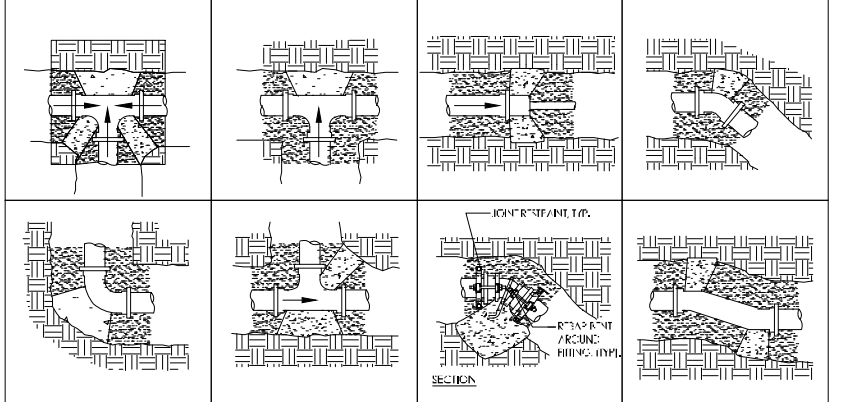
7 GATE VALVE
N.T.S.



8 6\"/>



9 TRENCH SECTION
N.T.S.



10 THRUST BLOCK DETAIL
N.T.S.



Stantec Consulting Services, Inc.
4778 New Wood Street, Suite 100
Colorado Springs, CO 80906
719.575.4400
www.stantec.com

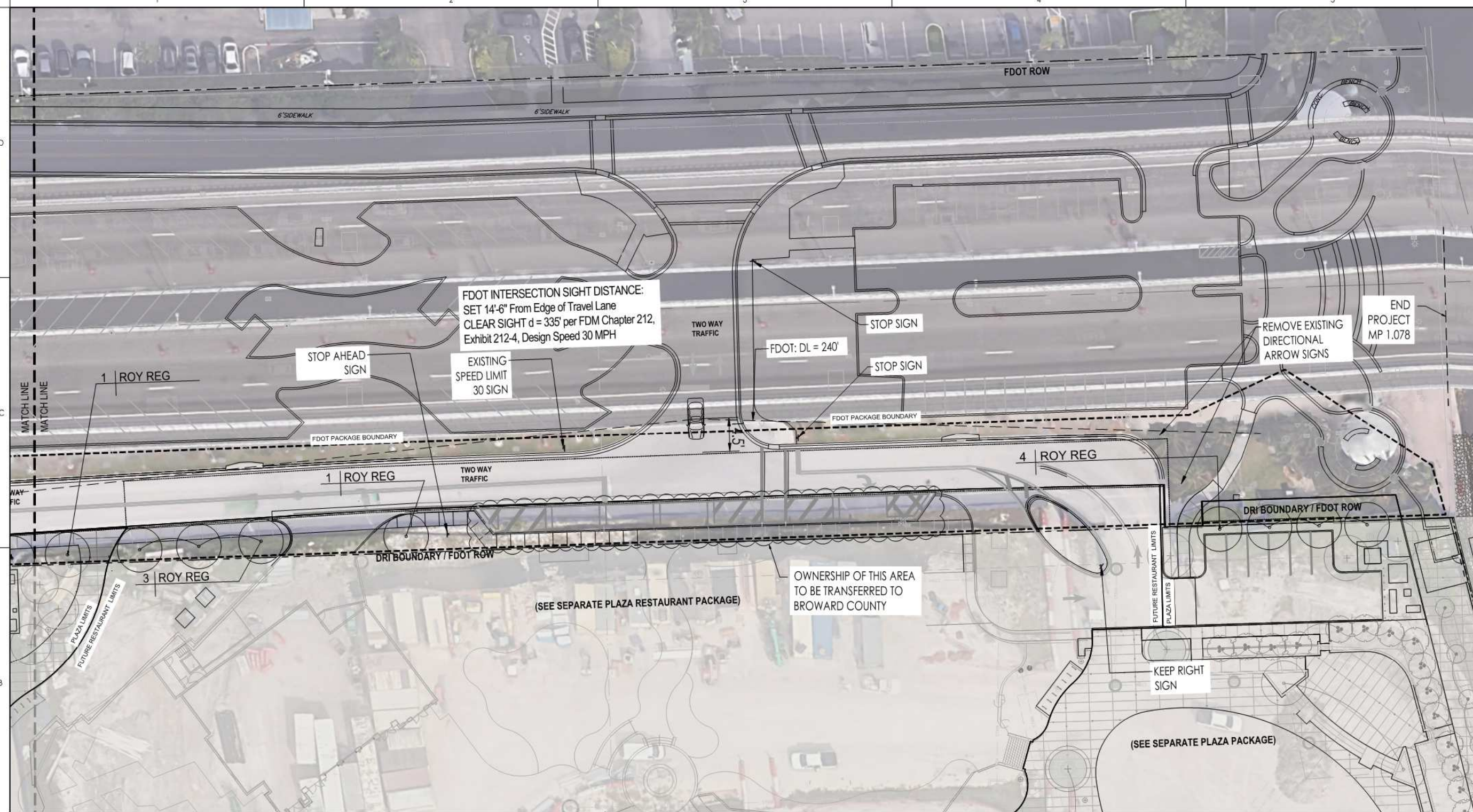
| | |
|--------------|-------------|
| CONTRACT NO. | 17-00000000 |
| PROJECT NO. | 17-00000000 |
| DATE | 08/20/2017 |
| SCALE | AS SHOWN |
| DESIGNER | STANTEC |
| CHECKER | STANTEC |
| DATE PLOTTED | 08/20/2017 |
| SCALE | AS SHOWN |
| PROJECT NO. | 17-00000000 |
| CONTRACT NO. | 17-00000000 |
| DATE | 08/20/2017 |
| SCALE | AS SHOWN |
| DESIGNER | STANTEC |
| CHECKER | STANTEC |
| DATE PLOTTED | 08/20/2017 |
| SCALE | AS SHOWN |

Permit/Seal

Client/Project
BROWARD COUNTY
CONVENTION CENTER &
HEADQUARTERS HOTEL
GRAND DRIVE ROW
IRRIGATION DETAILS
FORT LAUDERDALE, FL

Project No.: 17-00000000
Title: IRRIGATION
Scale: As Shown
Date: 08/20/2017
Sheet: 1 of 1

L.251
Revision: Sheet: of
Drawing No.
AM# 26-0614
Exhibit 2
Page 135 of 147



Consultant

| Revision | By | App'd | YYYY/MM/DD |
|----------|-----------|-------|------------|
| 1 | YTY/AW/DO | | |

| PERMIT | DATE | BY | APP'D | DATE |
|----------|------------|----|-----------|------|
| PERMIT | 2023/03/21 | SH | YTY/AW/DO | |
| PERMIT | 2023/02/17 | SH | YTY/AW/DO | |
| PERMIT | 2023/01/24 | SH | YTY/AW/DO | |
| 100% DDC | 2023/07/24 | SH | YTY/AW/DO | |
| ISSUED | | | | |

Permit/Seal

Client/Project
 BROWARD COUNTY
 CONVENTION CENTER &
 HEADQUARTERS HOTEL
 GRAND DRIVE ROW
 LANDSCAPE TREE PLAN
 FORT LAUDERDALE, FL

Project No.: 218510005
 File Name: TREE5
 Scale: As Shown
 Date: 2023/07/24
 Drawn: YTY/AW/DO
 Dgn: YTY/AW/DO
 Chkd: YTY/AW/DO

L.303

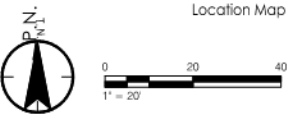
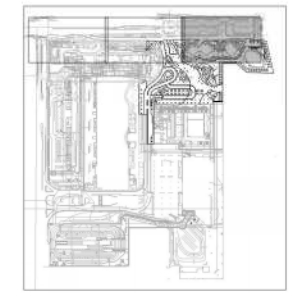
Revision: Sheet: of
 Drawing No. AM# 26-0614
 Exhibit 2

FDOT INTERSECTION SIGHT DISTANCE AND SIGHT VISIBILITY TRIANGLE DATA

* ALL INTERSECTION SIGHT DISTANCE SET 14'-6" FROM EDGE OF ROAD
 * SIGHT VISIBILITY TRIANGLE HIGHLIGHTED IN RED CROSS HATCH AT EACH ENTRANCE

| LOCATION | ROAD SPEED | D | DL | DR | DM |
|----------|-----------------------|------|------|-----|------|
| A | 17th STREET
35 MPH | 390' | 280' | 90' | 320' |

- NOTES:
- DO NOT BEGIN EXCAVATION UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND MARKED. CALL 811 OR VISIT SUNSHINE811.COM AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, CHAPTER 556, FLORIDA STATUTES. AVOID DAMAGE TO ALL UTILITIES. HAND EXCAVATE AS REQUIRED.
 - SEE L.360 FOR PLANT LIST



DESIGN SPEED SE 17TH ST. = 35 mph
 LANDSCAPE PERMIT NUMBER
 2024-L-491-00023

FDOT LANDSCAPE NOTES:

- FOR THE PORTION OF LANDSCAPE PLANT MATERIAL THAT WILL BE INSTALLED WITHIN THE FDOT RIGHT OF WAY, LANDSCAPE INSTALLATION SHALL COMPLY WITH CURRENT APPLICABLE FDOT MAINTENANCE SPECIFICATION 580. ONLINE REFERENCE: [SSM580000WD-722-117992.PDF \(WINDOWS.NET\)](#)
- FOR THE PORTION OF LANDSCAPE PLANT MATERIAL THAT WILL BE INSTALLED WITHIN THE FDOT RIGHT OF WAY REFER TO THE FDOT STANDARD PLANS INDEX 580-001 LANDSCAPE INSTALLATION. ONLINE REFERENCE: [HTTPS://FDOTWWW.BLOB.CORE.WINDOWS.NET/SITEFINITY/DOCS/DEFAULT.SOURCE/DESIGN/STANDARDPLANS/2023/IDX/580-001.PDF](#)
- IT IS RECOMMENDED TO VERIFY THE EXISTING SOIL CONDITIONS TO BE PLANTED PRIOR TO FINALIZING THE CONSTRUCTION DOCUMENTS. IF THE EXISTING SUB-GRADE IS COMPACTED ROAD BASE, IT IS RECOMMENDED TO SPECIFY REPLACING WITH PLANTING SOIL, AS FOLLOWS:
 - THE CONTRACTOR SHALL INSURE THAT ALL UNSUITABLE SOIL INCLUDING CONCRETE, PAVEMENT, ROAD BASE, STONES OVER 3" DIAMETER AND ALL CONSTRUCTION DEBRIS, IS REMOVED FROM MEDIAN AREA TO BE PLANTED AND REPLACED WITH SPECIFIED PLANTING SOIL, E.G., 60% SAND AND 40% MUCK.
 - AREAS TO BE PLANTED WITH SHRUBS AND/OR GROUND COVERS: REMOVE COMPACTED SOIL TO A DEPTH OF 12" AND REPLACE WITH SPECIFIED PLANTING SOIL. PLANTING SOIL SHALL COME UP TO 4" FROM TOP OF CURB, RESERVING SPACE FOR 3" COMPACTED MULCH AND 1" CLEAR FROM TOP OF CURB.
 - PLANTING PITS FOR TREES AND PALMS: REMOVE COMPACTED SOIL WITHIN THE AREA OF EACH PLANTING PIT TO A DEPTH OF 24" FROM THE TOP OF CURB. PLANTING SOIL SHALL COME UP TO 4" FROM TOP OF CURB, RESERVING SPACE FOR 3" COMPACTED MULCH, AND 1" CLEAR FROM TOP OF CURB.
- CYPRESS MULCH IS NOT PERMITTED ON FDOT RIGHT OF WAY. MULCH PERMITTED TO BE USED ARE HARDWOOD MULCH (CONTAINING NO CYPRESS PRODUCTS), RECYCLED MULCH OR APPROVED EQUAL, CERTIFIED BY THE MULCH AND SOIL COUNCIL (MSC). SUBMIT PROOF OF CERTIFICATION TO THE FDOT DISTRICT OPERATIONS PERMIT LANDSCAPE INSPECTOR UPON INSPECTION.
- SODDED AREAS WILL BE IN ACCORDANCE WITH STANDARD PLANS INDEX 570-010 AND STANDARD SPECIFICATIONS SECTIONS 162, 570, 981, 982, 983, 987 OF THE DEPARTMENT'S LATEST EDITION OF GOVERNING DESIGN STANDARDS AND STANDARD SPECIFICATIONS. ALL DISTURBED AREAS WILL BE SODDED WITHIN ONE (1) WEEK OF INSTALLATION OF SAID PERMITTED WORK.
- CONTRACTOR SHALL PRESERVE A CONTINUOUS BAND OF UNDISTURBED COMPACTED SUB-BASE 18" FROM THE BACK OF CURB

SHADE TREES LEGEND

| Description | Botanical Name | Common Name |
|-------------|-------------------|-----------------|
| DEL REG | DELONIX REGIA | ROYAL POINCIANA |
| BUR SIM | BURSERIA SIMARUBA | GUMBO LIMBO |

FLOWERING TREES LEGEND

| Description | Botanical Name | Common Name |
|-------------|-----------------|------------------|
| PLU OBT-S | PLUMERIA OBTUSA | FRANGIPANI-WHITE |

PALMS LEGEND

| Description | Botanical Name | Common Name |
|-------------|-----------------|-------------|
| ROY REG | ROYSTONEA REGIA | ROYAL PALM |
| SAB PAL | SABAL PALMETTO | SABAL PALM |
| THR RAD-1 | THRINAX RADIATA | THATCH PALM |

ORIGINAL SHEET - ARCH-D

Consultant

Revision

| Rev | By | App'd | YYYY/MM/DD |
|-----|----|-------|------------|
| 1 | SH | EB | 2023/03/21 |
| 2 | SH | EB | 2023/02/17 |
| 3 | SH | EB | 2023/12/04 |
| 4 | SH | EB | 2023/07/24 |
| 5 | SH | EB | 2023/07/24 |

Permit/Seal

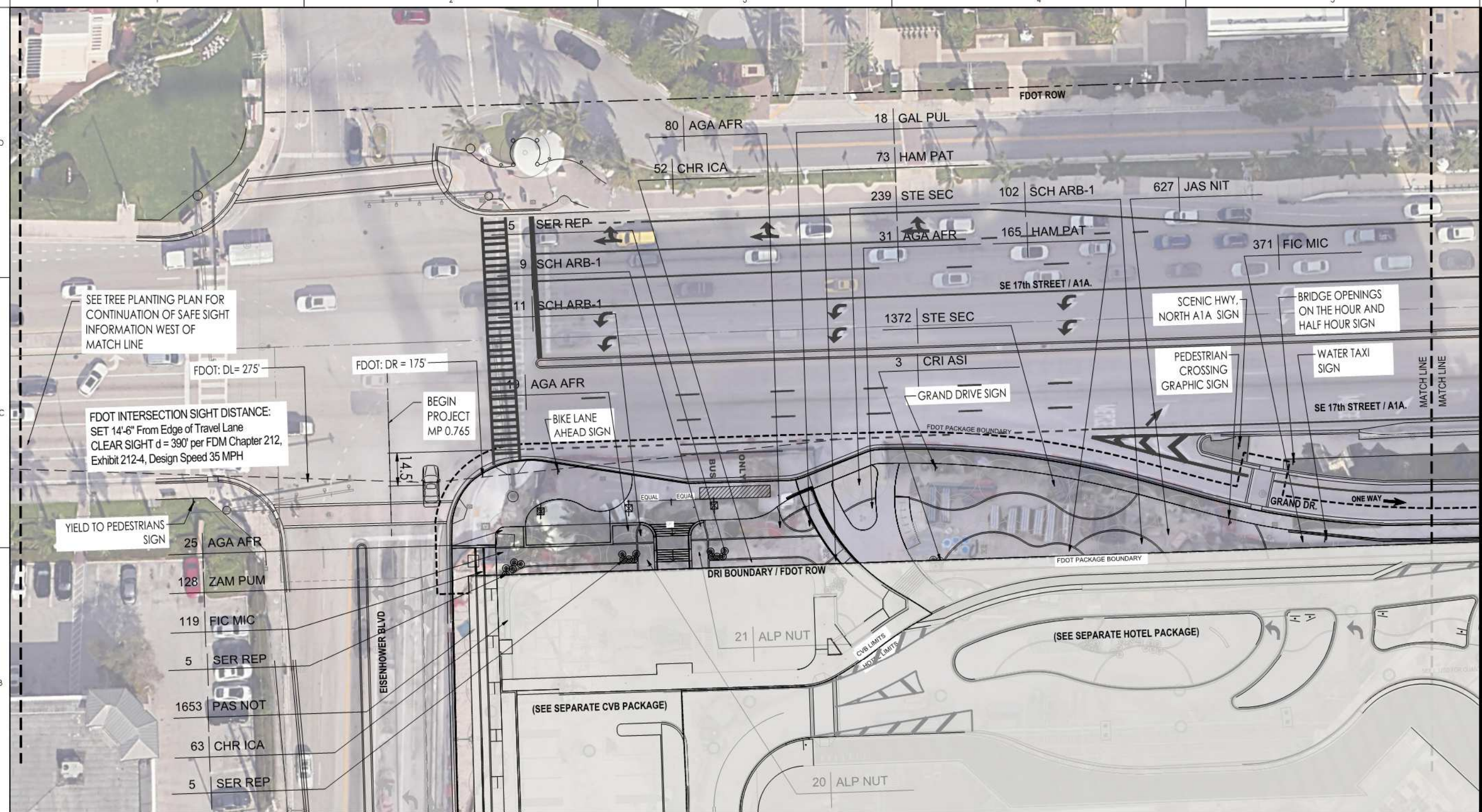
Client/Project
BROWARD COUNTY
CONVENTION CENTER &
HEADQUARTERS HOTEL
GRAND DRIVE ROW
LANDSCAPE SHRUB AND
GROUND COVER PLAN
FORT LAUDERDALE, FL

Project No.: 218510005
File Name: SHRUBS
Scale: As Shown
Dwn: Dgnr: Chkd: 2023/07/24
YYYY/MM/DD

Title
L.311

Revision: Sheet: of
Drawing No. AM# 26-0614

Exhibit 2
Page 139 of 147



SEE TREE PLANTING PLAN FOR CONTINUATION OF SAFE SIGHT INFORMATION WEST OF MATCH LINE

FDOT: DL= 275'

FDOT: DR = 175'

FDOT INTERSECTION SIGHT DISTANCE: SET 14'-6" From Edge of Travel Lane CLEAR SIGHT d = 390' per FDM Chapter 212, Exhibit 212-4, Design Speed 35 MPH

BEGIN PROJECT MP 0.765

YIELD TO PEDESTRIANS SIGN

SCENIC HWY, NORTH A1A SIGN

BRIDGE OPENINGS ON THE HOUR AND HALF HOUR SIGN

PEDESTRIAN CROSSING GRAPHIC SIGN

WATER TAXI SIGN

DRI BOUNDARY / FDOT ROW

(SEE SEPARATE HOTEL PACKAGE)

(SEE SEPARATE CVB PACKAGE)

| SHRUB LEGEND | | |
|--------------|--------------------------------|-----------------------|
| Description | Botanical Name | Common Name |
| AGA AFR | AGAPANTHUS AFRICANUS | LILY OF THE NILE |
| CHR ICA | CHRYSOLBALANUS ICACO 'RED TIP' | RED TIP COCOPLUM |
| FIC MIC | FICUS MICROCARPA | GREEN ISLAND FICUS |
| GAL PUL | GAILLARDIA PULCHELLA | BLANKET FLOWER |
| HAM PAT | HAMELIA PATENS | FIREBUSH |
| JAS NIT | JASMINUM NITIDUM | STAR JASMINE |
| RUS EQU | RUSSELIA EUISETIFORMIS | RED FIRECRACKER PLANT |
| SCH ARB-1 | SCHEFFLERA ARBORICOLA | DWARF SCHEFFLERA |
| ZAM PUM | ZAMIA PUMILA | COONTIE |

| ACCENT SHRUB LEGEND | | |
|---------------------|------------------|-------------|
| Description | Botanical Name | Common Name |
| CRI ASI | CRINUM ASIATICUM | CRINUM LILY |

| TURF GRASSES LEGEND | | |
|---------------------|------------------------------------|--------------------|
| Description | Botanical Name | Common Name |
| STE SEC | STENOTAPHRUM SECUNDATUM 'PALMETTO' | ST.AUGUSTINE GRASS |

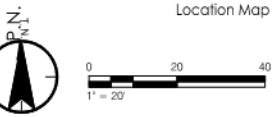
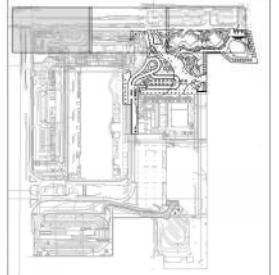
- FDOT LANDSCAPE NOTES:
- FOR THE PORTION OF LANDSCAPE PLANT MATERIAL THAT WILL BE INSTALLED WITHIN THE FDOT RIGHT OF WAY, LANDSCAPE INSTALLATION SHALL COMPLY WITH CURRENT APPLICABLE FDOT MAINTENANCE SPECIFICATION 580. ONLINE REFERENCE: [SSM5800000WD-722-117992.PDF \(WINDOWS.NET\)](https://www.fdot.com/Portals/0/Assets/5800000WD-722-117992.PDF)
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 - IT IS RECOMMENDED TO VERIFY THE EXISTING SOIL CONDITIONS TO BE PLANTED PRIOR TO FINALIZING THE CONSTRUCTION DOCUMENTS. IF THE EXISTING SUB-GRADE IS COMPACTED ROAD BASE, IT IS RECOMMENDED TO SPECIFY REPLACING WITH PLANTING SOIL, AS FOLLOWS:
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 - CONTRACTOR SHALL PRESERVE A CONTINUOUS BAND OF UNDISTURBED COMPACTED SUB-BASE 18" FROM THE BACK OF CURB.

FDOT INTERSECTION SIGHT DISTANCE AND SIGHT VISIBILITY TRIANGLE DATA

* ALL INTERSECTION SIGHT DISTANCE SET 14'-6" FROM EDGE OF ROAD
* SIGHT VISIBILITY TRIANGLE HIGHLIGHTED IN RED CROSS HATCH AT EACH ENTRANCE

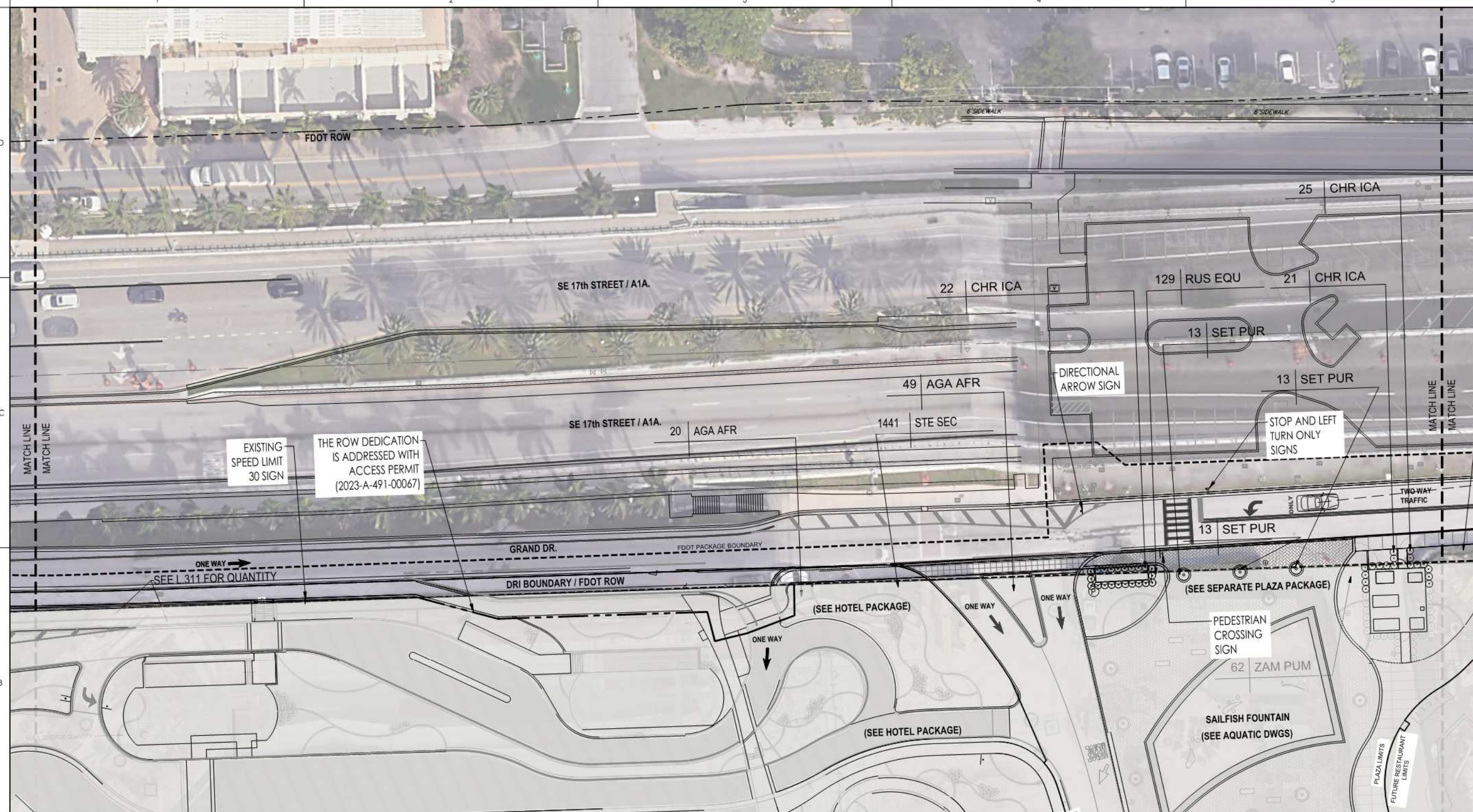
| LOCATION | ROAD SPEED | D | DL | DR | DM |
|----------|-------------|--------|------|------|----------|
| A | 17th STREET | 35 MPH | 390' | 280' | 90' 320' |

- NOTES:
- DO NOT BEGIN EXCAVATION UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND MARKED CALL 811 OR VISIT SUNSHINE811.COM AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, CHAPTER 556, FLORIDA STATUTES. AVOID DAMAGE TO ALL UTILITIES. HAND EXCAVATE AS REQUIRED.
 - SEE L.201 FOR HARDSCAPE SCHEDULE
 - SEE L.360 FOR LANDSCAPE PLANT LIST
 - SEE CIVIL DWGS FOR "D" CURB DETAIL
 - SEE CIVIL DWGS FOR FINISH GRADES



DESIGN SPEED SE 17TH ST. = 35 MPH
LANDSCAPE PERMIT NUMBER
2024-L-491-00023

ORIGINAL SHEET ARCH-D



| SHRUB LEGEND | | |
|--------------|---------------------------------|-----------------------|
| Description | Botanical Name | Common Name |
| AGA AFR | AGAPANTHUS AFRICANUS | LILY OF THE NILE |
| CHR ICA | CHRYSOLBALANUS ICACAO 'RED TIP' | RED TIP COCOPLUM |
| FIC MIC | FICUS MICROCARPA | GREEN ISLAND FICUS |
| GAL PUL | GAILLARDIA PULCHELLA | BLANKET FLOWER |
| HAM PAT | HAMELIA PATENS | FIREBUSH |
| JAS NIT | JASMINUM NITIDUM | STAR JASMINE |
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| SCH ARB-1 | SCHEFFLERA ARBORICOLA | DWARF SCHEFFLERA |
| ZAM PUM | ZAMIA PUMILA | COONTIE |

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|---------------------|------------------------------------|---------------------|
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| STE SEC | STENOTAPHRUM SECUNDATUM 'PALMETTO' | ST. AUGUSTINE GRASS |

- FDOT LANDSCAPE NOTES:**
- FOR THE PORTION OF LANDSCAPE PLANT MATERIAL THAT WILL BE INSTALLED WITHIN THE FDOT RIGHT OF WAY, LANDSCAPE INSTALLATION SHALL COMPLY WITH CURRENT APPLICABLE FDOT MAINTENANCE SPECIFICATION 580. ONLINE REFERENCE: [S5M580000WD-T22-117992.PDF \(WINDOWS.NET\)](https://www.fdot.com/...)
 - FOR THE PORTION OF LANDSCAPE PLANT MATERIAL THAT WILL BE INSTALLED WITHIN THE FDOT RIGHT OF WAY REFER TO THE FDOT STANDARD PLANS INDEX 580-001 LANDSCAPE INSTALLATION. ONLINE REFERENCE: [HTTPS://FDOTWWW.BLOB.CORE.WINDOWS.NET/SITEFINITY/DOCS/DEFAULT-SOURCE/DESIGN/STANDARDPLANS/2023/IDX/580-001.PDF](https://www.fdot.com/...)
 - IT IS RECOMMENDED TO VERIFY THE EXISTING SOIL CONDITIONS TO BE PLANTED PRIOR TO FINALIZING THE CONSTRUCTION DOCUMENTS. IF THE EXISTING SUB-GRADE IS COMPACTED ROAD BASE, IT IS RECOMMENDED TO SPECIFY REPLACING WITH PLANTING SOIL, AS FOLLOWS:
 - THE CONTRACTOR SHALL INSURE THAT ALL UNSUITABLE SOIL INCLUDING CONCRETE, PAVEMENT, ROAD BASE, STONES OVER 3" DIAMETER AND ALL CONSTRUCTION DEBRIS, IS REMOVED FROM MEDIAN AREA TO BE PLANTED AND REPLACED WITH SPECIFIED PLANTING SOIL, E.G., 60% SAND AND 40% MUCK.
 - AREAS TO BE PLANTED WITH SHRUBS AND/OR GROUND COVERS: REMOVE COMPACTED SOIL TO A DEPTH OF 12" AND REPLACE WITH SPECIFIED PLANTING SOIL. PLANTING SOIL SHALL COME UP TO 4" FROM TOP OF CURB, RESERVING SPACE FOR 3" COMPACTED MULCH AND 1" CLEAR FROM TOP OF CURB.
 - PLANTING PITS FOR TREES AND PALMS: REMOVE COMPACTED SOIL WITHIN THE AREA OF EACH PLANTING PIT TO A DEPTH OF 24" FROM THE TOP OF CURB. PLANTING SOIL SHALL COME UP TO 4" FROM TOP OF CURB, RESERVING SPACE FOR 3" COMPACTED MULCH, AND 1" CLEAR FROM TOP OF CURB.
 - CYPRESS MULCH IS NOT PERMITTED ON FDOT RIGHT OF WAY. MULCH PERMITTED TO BE USED ARE HARDWOOD MULCH (CONTAINING NO CYPRESS PRODUCTS), RECYCLED MULCH OR APPROVED EQUAL, CERTIFIED BY THE MULCH AND SOIL COUNCIL (MSC). SUBMIT PROOF OF CERTIFICATION TO THE FDOT DISTRICT OPERATIONS PERMIT LANDSCAPE INSPECTOR UPON INSPECTION.
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 - CONTRACTOR SHALL PRESERVE A CONTINUOUS BAND OF UNDISTURBED COMPACTED SUB-BASE 18" FROM THE BACK OF CURB.

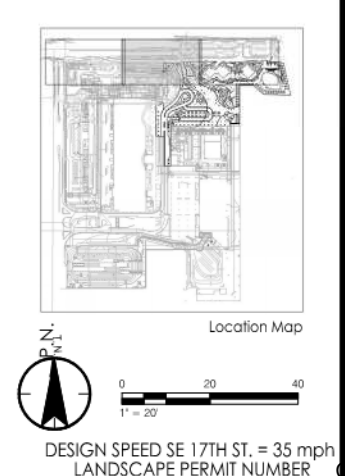
FDOT INTERSECTION SIGHT DISTANCE AND SIGHT VISIBILITY TRIANGLE DATA

* ALL INTERSECTION SIGHT DISTANCE SET 14'-6" FROM EDGE OF ROAD
 * SIGHT VISIBILITY TRIANGLE HIGHLIGHTED IN RED CROSS HATCH AT EACH ENTRANCE

| LOCATION | ROAD SPEED | D | DL | DR | DM |
|----------|-------------|--------|------|------|----------|
| A | 17th STREET | 35 MPH | 390' | 280' | 90' 320' |

NOTES:

- DO NOT BEGIN EXCAVATION UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND MARKED CALL 811 OR VISIT SUNSHINE811.COM AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, CHAPTER 556, FLORIDA STATUTES. AVOID DAMAGE TO ALL UTILITIES. HAND EXCAVATE AS REQUIRED.
- SEE L.201 FOR HARDSCAPE SCHEDULE
- SEE L.360 FOR LANDSCAPE PLANT LIST
- SEE CIVIL DWGS FOR "D" CURB DETAIL
- SEE CIVIL DWGS FOR FINISH GRADES



Stantec Consulting Services Inc.
 4798 New Broad Street Suite 100
 Orlando, FL 32814-6436
 Phone: 407.502.1000
 www.stantec.com

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| Permit/Seal | By | App'd | Revision |
|-------------|----|-------|------------|
| PERMIT | SA | BY | 2023/03/21 |
| PERMIT | SA | BY | 2023/02/17 |
| PERMIT | SA | BY | 2023/12/04 |
| 100% D.C.C. | SA | BY | 2023/07/24 |
| ISSUED | SA | BY | YYYY/MM/DD |

Client/Project
 BROWARD COUNTY
 CONVENTION CENTER &
 HEADQUARTERS HOTEL

Project No.: 218510005

File Name: SHRUBS

Scale: As Shown

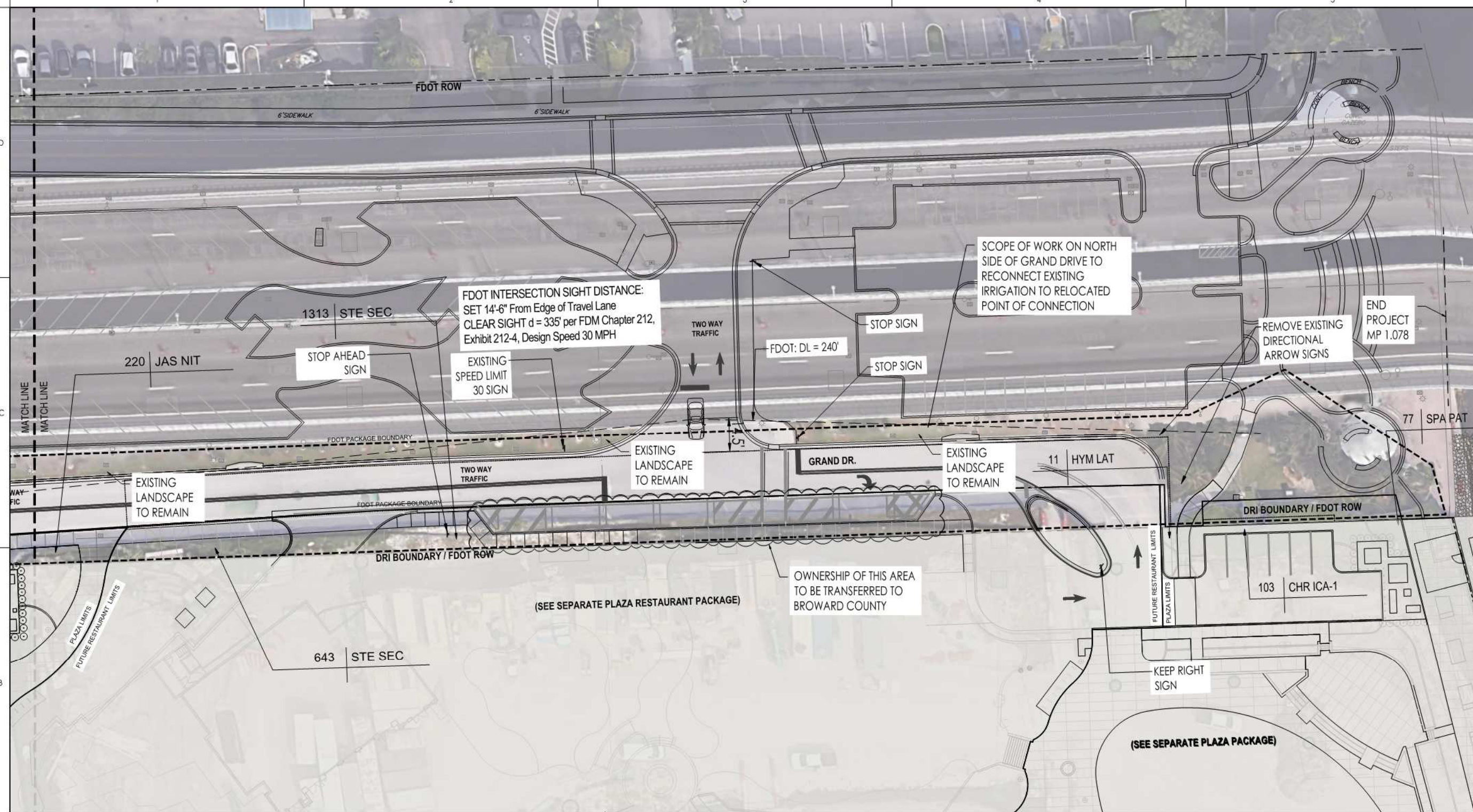
Date: 2023.07.24
 Drawn: YYYT/AM/DO
 Checked: YYYT/AM/DO

Title
L.312

Revision: Sheet: of

Drawing No. AM# 26-0614
 Exhibit 2

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| SHRUB LEGEND | | |
|--------------|--------------------------------|-----------------------|
| Description | Botanical Name | Common Name |
| AGA AFR | AGAPANTHUS AFRICANUS | LILY OF THE NILE |
| CHR ICA | CHRYSOLBANANUS ICACO 'RED TIP' | RED TIP COCOPLUM |
| FIC MIC | FICUS MICROCARPA | GREEN ISLAND FICUS |
| GAL PUL | GAILLARDIA PULCHELLA | BLANKET FLOWER |
| HAM PAT | HAMELIA PATENS | FIREBUSH |
| JAS NIT | JASMINUM NITIDUM | STAR JASMINE |
| RUS EQU | RUSSELIA EUISETIFORMIS | RED FIRECRACKER PLANT |
| SCH ARB-1 | SCHEFFLERA ARBORICOLA | DWARF SCHEFFLERA |
| ZAM PUM | ZAMIA PUMILA | COONTIE |

| ACCENT SHRUB LEGEND | | |
|---------------------|------------------|-------------|
| Description | Botanical Name | Common Name |
| CRI ASI | CRINUM ASIATICUM | CRINUM LILY |

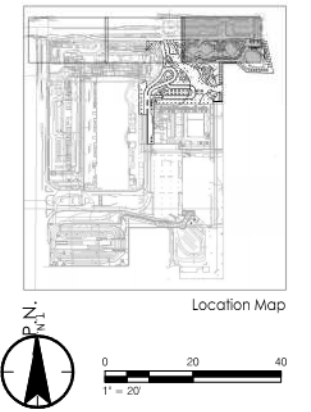
| TURF GRASSES LEGEND | | |
|---------------------|------------------------------------|--------------------|
| Description | Botanical Name | Common Name |
| STE SEC | STENOTAPHRUM SECUNDATUM 'PALMETTO' | ST.AUGUSTINE GRASS |

- FDOT LANDSCAPE NOTES:**
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| FDOT INTERSECTION SIGHT DISTANCE AND SIGHT VISIBILITY TRIANGLE DATA | | | | | | |
|---|-------------|------------|------|------|-----|------|
| * ALL INTERSECTION SIGHT DISTANCE SET 14'-6" FROM EDGE OF ROAD | | | | | | |
| * SIGHT VISIBILITY TRIANGLE HIGHLIGHTED IN RED CROSS HATCH AT EACH ENTRANCE | | | | | | |
| | LOCATION | ROAD SPEED | D | DL | DR | DM |
| A | 17th STREET | 35 MPH | 390' | 280' | 90' | 320' |

NOTES:

- DO NOT BEGIN EXCAVATION UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND MARKED CALL 811 OR VISIT SUNSHINE811.COM AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, CHAPTER 556, FLORIDA STATUTES. AVOID DAMAGE TO ALL UTILITIES, HAND EXCAVATE AS REQUIRED.
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Stantec
 Stantec Consulting Services Inc.
 4778 New Broad Street Suite 100
 Orlando, FL 32814-6436
 Phone: 407.350.5555
 www.stantec.com

Consultant

Revision

| By | App'd | YYYY/MM/DD |
|----------|-------|------------|
| PERMIT | | 2023/03/21 |
| PERMIT | | 2023/02/17 |
| PERMIT | | 2023/12/04 |
| 100% DOC | | 2023/07/24 |
| ISSUED | | YYYY/MM/DD |

Permit/Seal

Client/Project
 BROWARD COUNTY
 CONVENTION CENTER &
 HEADQUARTERS HOTEL
 GRAND DRIVE ROW
 LANDSCAPE SHRUB AND
 GROUND COVER PLAN
 FORT LAUDERDALE, FL

Project No.: 218510005
 File Name: SHRUBS
 Scale: As Shown
 Date: 2023.07.24
 Drawn: YYYT/AMALDO
 Dgn: YYYT/AMALDO
 Chk: YYYT/AMALDO
 Title

L.313

Revision: Sheet: of
 Drawing No. CAM# 26-0614
 Exhibit 2

DESIGN SPEED SE 17TH ST. = 35 MPH
 LANDSCAPE PERMIT NUMBER
 2024-L-91-00023

Page 141 of 147

| SHADE TREES | | | | | | | |
|-------------|----------------|-----------------|------------------------------------|---|-------------------|--------|------------------|
| Description | Botanical Name | Common Name | Size/Root Ball/Container | Comments | Drought Tolerance | Native | Florida Friendly |
| BUR SIM | BUSERA SIMARUB | GUMBO LIMBO | 14' HGT. x 7ED' SPD./65 GAL. CONT. | FULL/SINGLE STRAIGHT TRUNK/3" CAL.MIN./FULLY BRANCHED | HIGH | Y | Y |
| DEL REG | DELONIX REGIA | ROYAL POINCIANA | 12' HGT. x 8' SPD./65 GAL. CONT. | FULL/SINGLE STRAIGHT TRUNK/3" CAL.MIN./FULLY BRANCHED | HIGH | N | Y |

| FLOWERING TREES | | | | | | | |
|-----------------|-----------------|------------------|--------------------------|---|-------------------|--------|------------------|
| Description | Botanical Name | Common Name | Size/Root Ball/Container | Comments | Drought Tolerance | Native | Florida Friendly |
| PLU OBT-S | PLUMERIA OBTUSA | FRANGIPANI-WHITE | 14' HGT. x 10' SPD./B&B | FULL TREE/SPECIMEN MULTI-BRANCHING TREE | HIGH | Y | Y |

| PALMS | | | | | | | |
|-------------|-----------------|-------------|--------------------------|---|-------------------|--------|------------------|
| Description | Botanical Name | Common Name | Size/Root Ball/Container | Comments | Drought Tolerance | Native | Florida Friendly |
| ROY REG | ROYSTONEA REGIA | ROYAL PALM | 14' GW MATCHED/B&B | FULL/MATCHED SPECIMENS/STRAIGHT & HEAVY TRUNKS 30" DIA./12 FRONDS MIN. | MODERATE | Y | Y |
| SAB PAL | SABAL PALMETTO | SABAL PALM | 8' C.T. MATCHED/B&B | FULL/CLEAN STRAIGHT&HEAVY TRUNKS/TRUNKS VOID OF DAMAGE/TOP 6' OF TRUNK BOOTS INTACT | HIGH | Y | Y |
| THR RAD-1 | THRINAX RADIATA | THATCH PALM | 7'-8' HGT./30 GAL. CONT. | FULL/SINGLE STRAIGHT TRUNK | HIGH | Y | Y |

| SHRUB SCHEDULE | | | | | | | |
|----------------|-------------------------|-----------------------|----------------------------|---|-------------------|--------|------------------|
| Description | Botanical Name | Common Name | Size/Root Ball/Container | Comments | Drought Tolerance | Native | Florida Friendly |
| AGA AFR | AGAPANTHUS AFRICANUS | LILY OF THE NILE | 16" O.A./1 GAL. CONT. | FULL/PLANT 18" O.C. | MODERATE TO HIGH | N | Y |
| CHR ICA | CHRYSOLBANUS ICACO | RED TIP COCOPLUM | 24" O.A./3 GAL. CONT. | FULL/PLANT 30" O.C. OR AS SHOWN | LOW TO MODERATE | Y | Y |
| FIC MIC | FICUS MICROCARPA | GREEN ISLAND FICUS | 12"x20" O.A./3 GAL. CONT. | FULL/3 PPP/PLANT 24" O.C. | HIGH | N | Y |
| GAL PUL | GAILLARDIA PULCHELLA | BLANKET FLOWER | 16" O.A./1 GAL. CONT. | FULL/PLANT 18" O.C. | HIGH | Y | Y |
| HAM PAT | HAMELIA PATENS | FIREBUSH | 26" RUNNERS/3 GAL. CONT. | FULL/5 RUNNERS MIN/30" O.C. OR AS SHOWN | MODERATE | Y | Y |
| RUS EQU | RUSSELIA EQUISETIFORMIS | RED FIRECRACKER PLANT | 24" O.A./3 GAL. CONT. | FULL/PLANT 30" O.C. OR AS SHOWN | HIGH | N | Y |
| SCH ARB-1 | SCHEFFLERA ARBORICOLA | DWARF SCHEFFLERA | 24" O.A./3 GAL. CONT. | FULL/PLANT 30" O.C. | MODERATE | N | Y |
| SET PUR | SETCREASEA PURPUREA | PURPLE HEART | 12" RUNNERS / 1 GAL. CONT. | FULL/3 RUNNERS MIN. / PLANT 18" O.C. | MODERATE TO HIGH | Y | N |
| ZAM PUM | ZAMIA PUMILA | COONTIE | 20" O.A./3 GAL. CONT. | FULL/PLANT 36" O.C. | HIGH | Y | Y |

| ACCENT SHRUB SCHEDULE | | | | | | | |
|-----------------------|------------------|--------------------|--------------------------|---|-------------------|--------|------------------|
| Description | Botanical Name | Common Name | Size/Root Ball/Container | Comments | Drought Tolerance | Native | Florida Friendly |
| CRI ASI | CRINUM ASIATICUM | CRINUM LILY | 36" O.A./7 GAL. CONT. | FULL/10 LEAVES MIN./PLANT AS SHOWN OR 4' O.C. | MODERATE TO HIGH | N | Y |
| SER REP | SERENOA REPENS | GREEN SAW PALMETTO | 36" O.A./7 GAL. CONT. | FULL/ 7 FRONDS MIN. / PLANT AS SHOWN OR 4' O.C., GREEN IMAGES NURSERY OR APPROVED EQUAL | HIGH | Y | Y |

| TURF GRASSES SCHEDULE | | | | | | | |
|-----------------------|---------------------------------------|--------------------|--------------------------|----------------|-------------------|--------|------------------|
| Description | Botanical Name | Common Name | Size/Root Ball/Container | Comments | Drought Tolerance | Native | Florida Friendly |
| STE SEC | STENOTAPHRUM SECUNDATUM
'PALMETTO' | ST.AUGUSTINE GRASS | | FULL/SOLID SOD | LOW | N | N |

ABBREVIATIONS:

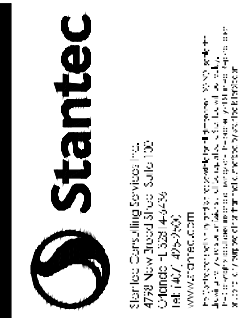
B&B = BALL AND BURLAPPED DIA. = DIAMETER O.A. = OVERALL
 CAL.MIN. = CALIPER MINIMUM GAL.CON. = GALLON CONTAINER PPP = PLANTS PER POT
 C.T. = CLEAR TRUNK HGT. = HEIGHT SPD. = SPREAD

NOTE:

- NOT ALL PLANTS LISTED ON THE PLANT LIST HAVE BEEN USED IN THE LANDSCAPE PLAN. PLANTS ARE LISTED IN THE PLANT LIST FOR REFERENCE ONLY.
- ALL TREES TO BE CONTAINER GROWN/SAND GROWN AND ARE NOT TO CONTAIN CLAY ROOT BALLS, TYPICAL.
- CONFIRM WITH OWNER THAT ALL SHRUB & GROUND COVER BEDS AND TREE PITS TO RECEIVE A 3" MIN. LAYER OF EUCALYPTUS MULCH.

FDOT PLANTING NOTES:

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 - CONTRACTOR MUST PRESERVE A CONTINUOUS BAND OF UNDISTURBED COMPACTED SUB-BASE 18" FROM THE BACK OF CURB (SEE DETAIL BELOW).
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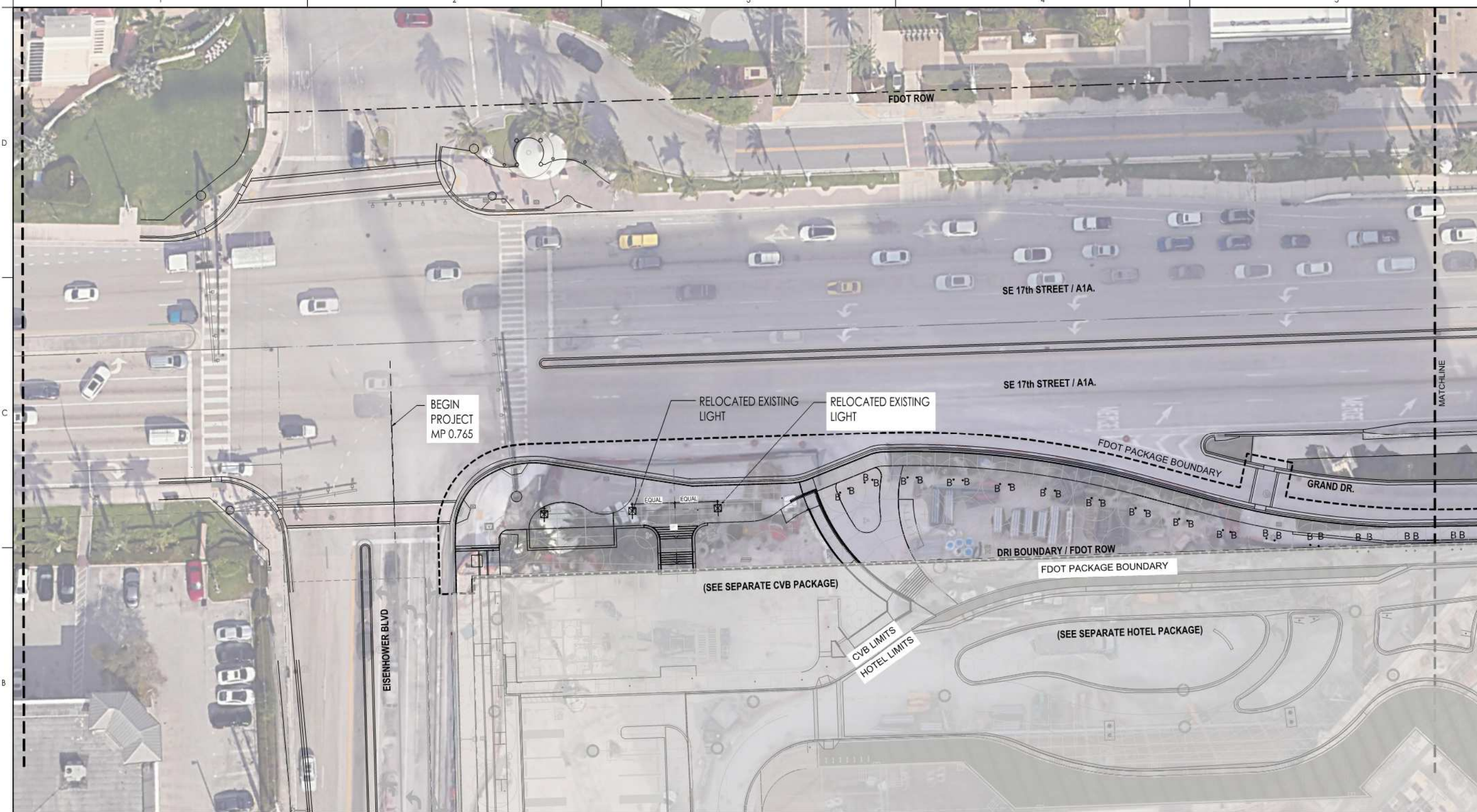
Permit/Seal

Client/Project
 BROWARD COUNTY
 CONVENTION CENTER &
 HEADQUARTERS HOTEL
 GRAND DRIVE ROW
 LANDSCAPE SCHEDULE
 FORT LAUDERDALE, FL

Project No.: 2185-0005
 Title: LANDSCAPE SCHEDULE
 Scale: As Shown

Revision: Sheet: of

L.360



Consultant

| Revision | By | App'd | YYYY/MM/DD |
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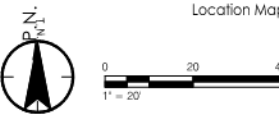
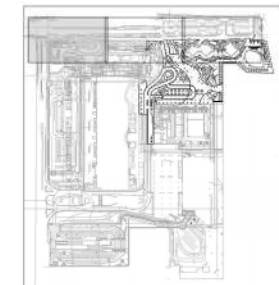
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| PERMIT | 2023/02/17 | | | |
| PERMIT | 2024/12/04 | | | |
| 100% DCC | 2023/07/24 | | | |
| ISSUED | 2023/07/24 | | | |

Permit/Seal

LIGHTING FIXTURE SCHEDULE

| TYPE | MANUFACTURER | CATALOG NUMBER | DESCRIPTION | DELIVERED LUMENS | WATTAGE | COLOR TEMP | VOLTAGE | MOUNTING |
|------|--------------|---|--------------|------------------|---------|------------|---------|------------|
| B | BK LIGHTING | DE-LED-TR-X125-SP-G-C | TREE UPLIGHT | 1392 | 21 | 4000K | 277 | POWER PIPE |
| D | BK LIGHTING | SSL-LED-E102-C-20-DEGREES,
BQL-LED-E102-C-20-DEGREES,... | STEP STAR | 68 | 5 | 4000K | 277 | CORE DRILL |

NOTES:
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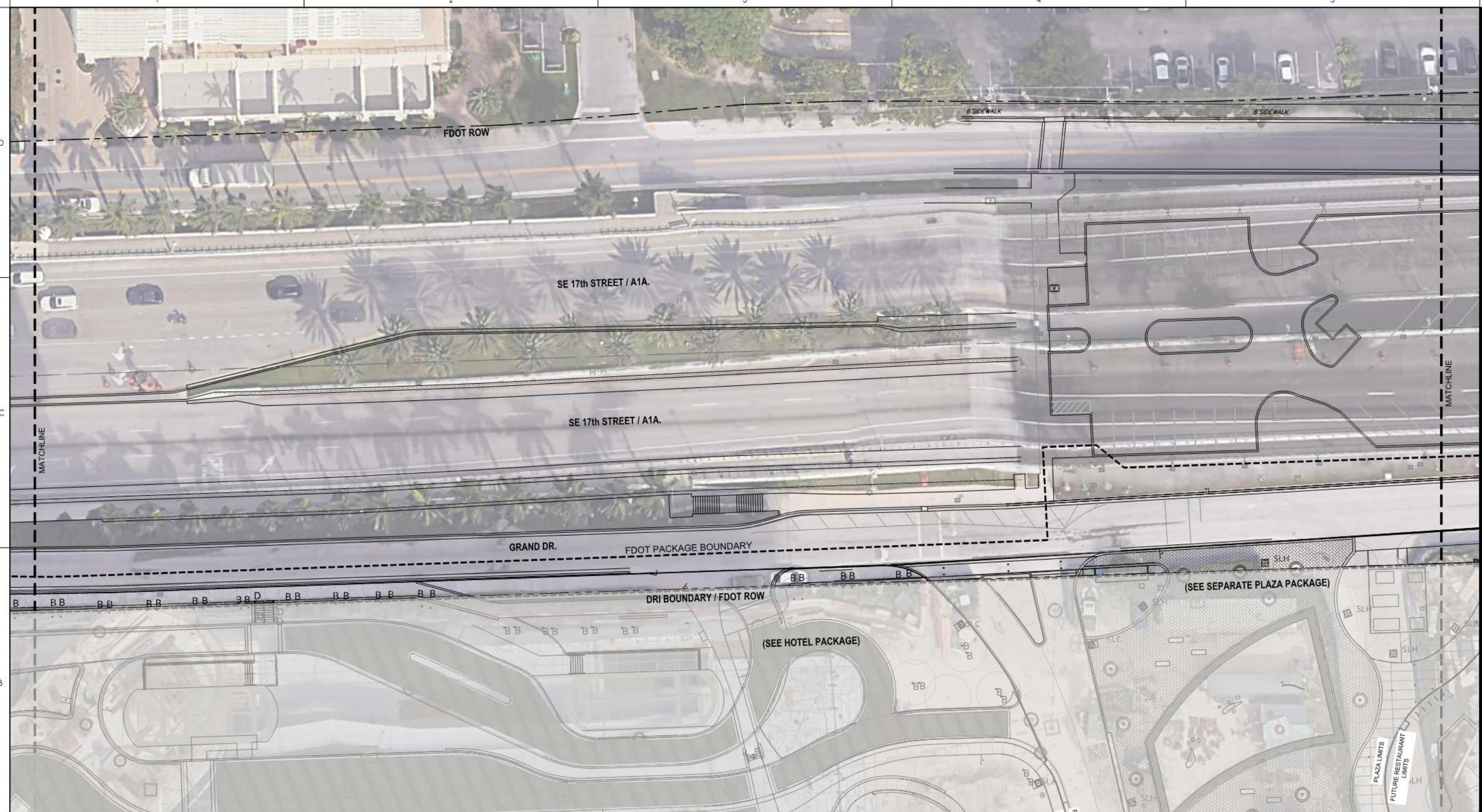
Client/Project
 BROWARD COUNTY
 CONVENTION CENTER &
 HEADQUARTERS HOTEL
 GRAND DRIVE ROW
 LIGHTING PLAN
 FORT LAUDERDALE, FL

Project No.: 218510005
 File Name: LIGHTING
 Scale: As Shown
 Dwn: 2023/07/24
 Dgn: YYY/AM/DO
 Title

L.401

Revision: Sheet: of

LANDSCAPE PERMIT NUMBER 2024-L-491-00023



Consultant

| REVISION | By | App'd | YYYY/MM/DD |
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| PERMIT | DATE | BY | APP'D | DATE |
|----------|------------|----|-------|------|
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| 100% DCC | 2023/07/24 | | | |
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Permit/Seal

Client/Project
 BROWARD COUNTY
 CONVENTION CENTER &
 HEADQUARTERS HOTEL
 GRAND DRIVE ROW
 LIGHTING PLAN
 FORT LAUDERDALE, FL

Project No.: 218510005
 File Name: LIGHTING
 Scale: As Shown
 Dwn: 2023/07/24
 Dgn: 2023/07/24
 Chkd: YYY/AM/DO

L.402

Revision: Sheet: of

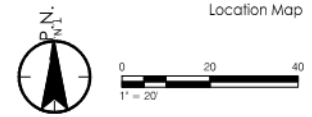
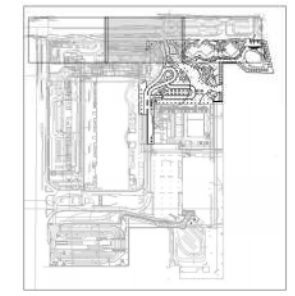
LANDSCAPE PERMIT NUMBER
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AM# 26-0614
 Exhibit 2
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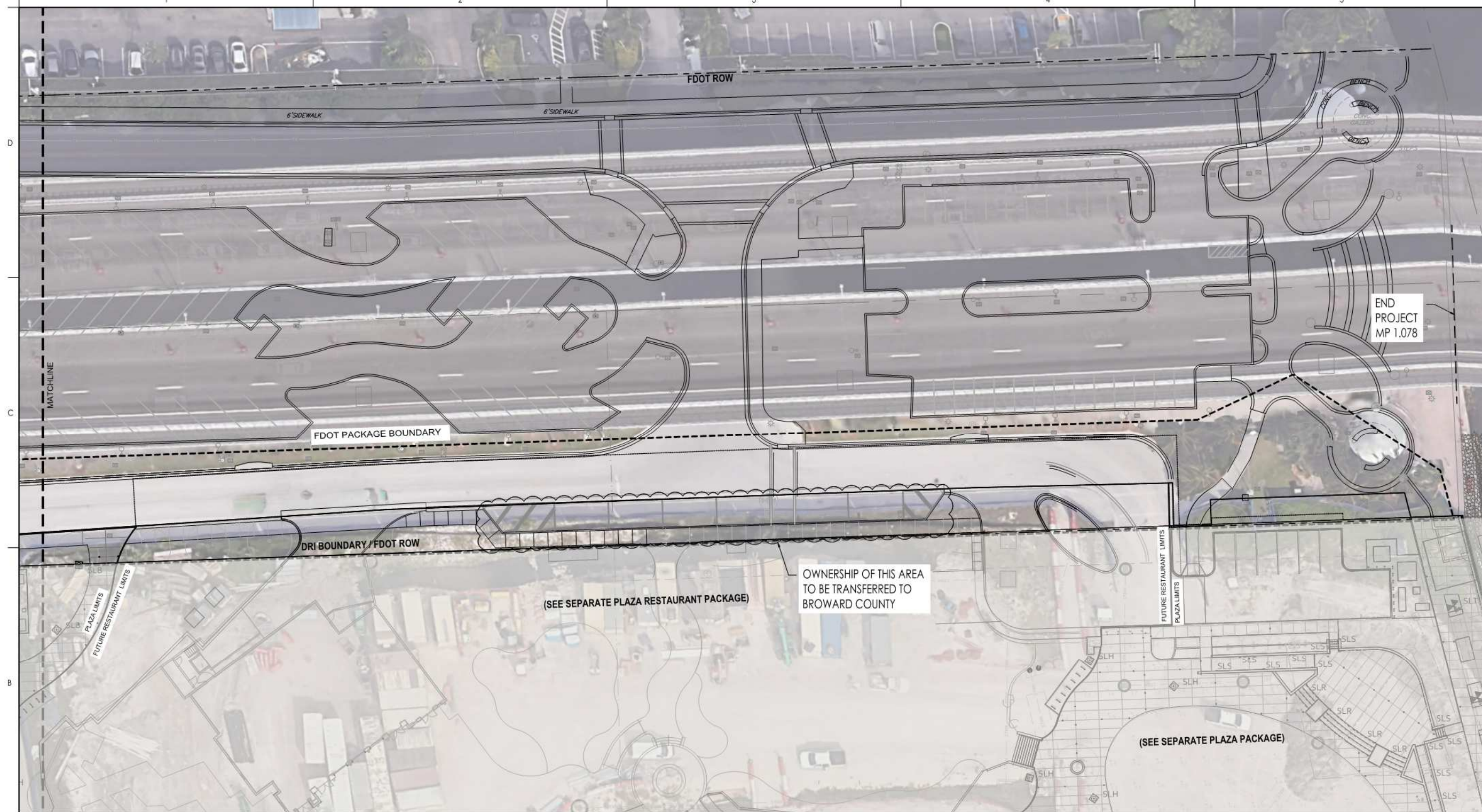
LIGHTING FIXTURE SCHEDULE

| TYPE | MANUFACTURER | CATALOG NUMBER | DESCRIPTION | DELIVERED LUMENS | WATTAGE | COLOR TEMP | VOLTAGE | MOUNTING |
|------|--------------|---|--------------|------------------|---------|------------|---------|------------|
| B | BK LIGHTING | DE-LED-TR-X125-SP-G-C | TREE UPLIGHT | 1392 | 21 | 4000K | 277 | POWER PIPE |
| D | BK LIGHTING | SSL-LED-E102-C-20-DEGREES,
BQL-LED-E102-C-20-DEGREES,... | STEP STAR | 68 | 5 | 4000K | 277 | CORE DRILL |

NOTES:
 1. DO NOT BEGIN EXCAVATION UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN LOCATED AND MARKED CALL 811 OR VISIT SUNSHINE811.COM AS REQUIRED BY THE UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, CHAPTER 556, FLORIDA STATUTES. AVOID DAMAGE TO ALL UTILITIES, HAND EXCAVATE AS REQUIRED.



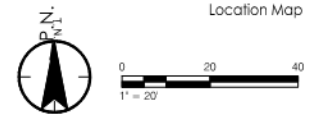
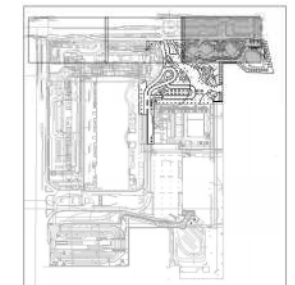
ORIGINAL SHEET - ARCH D
 2023/07/24 11:44:27 AM
 C:\Users\jdoyle\OneDrive\Documents\Projects\218510005\218510005-00023-L-491-00023.dwg



LIGHTING FIXTURE SCHEDULE

| TYPE | MANUFACTURER | CATALOG NUMBER | DESCRIPTION | DELIVERED LUMENS | WATTAGE | COLOR TEMP | VOLTAGE | MOUNTING |
|------|--------------|--|--------------|------------------|---------|------------|---------|------------|
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LANDSCAPE PERMIT NUMBER 2024-L-491-00023

Consultant

| Revision | By | App'd | YYYY/MM/DD |
|----------|-----------|-------|------------|
| 1 | YTY/AW/DO | | |

Permit/Seal

| PERMIT | DATE | BY | APP'D | DATE |
|----------|------------|-----------|-------|------|
| PERMIT | 2023/07/24 | YTY/AW/DO | | |
| 100% DOC | 2023/07/24 | YTY/AW/DO | | |

COUNTY: BROWARD
SECTION: 86180000 / 86180103
SR: A1A (SE 17th STREET)
PERMIT: 2024-L-491-00023

EXHIBIT C
RESOLUTION

This Exhibit forms an integral part of the LANDSCAPE MAINTENANCE MEMORANDUM OF AGREEMENT between the FLORIDA DEPARTMENT OF TRANSPORTATION and the AGENCY.

**Please see attached*