

DEVELOPER:

GALLERY OF FAT VILLAGE LLC
TEL. (954) 635-5922

ZONING ATTORNEY:



1401 E. BROWARD BLVD SUITE 303
FORT LAUDERDALE, FLORIDA 33301
TEL. (954) 779-1119 FAX (954) 779-1117

ARCHITECTURE:



LANDSCAPE ARCHITECTURE:



CIVIL ENGINEERING:



PRELIMINARY DESIGN FOR:
THE GALLERY AT FLAGLER VILLAGE
FORT LAUDERDALE, FLORIDA



ARCHITECTURE

- A0.0 COVER SHEET
- SP-1 SITE PLAN & PROJECT DATA
- SP-2 DIAGRAMS
- A1.0 ZONING & SITE LOCATION
- A2.0 GROUND LEVEL PLAN
- A2.1 2ND LEVEL PLAN
- A2.2 3RD LEVEL PLAN
- A2.3 4TH LEVEL PLAN
- A2.4 5TH LEVEL PLAN
- A2.5 6TH LEVEL PLAN
- A2.6 7TH-12TH LEVEL PLAN
- A2.7 ROOF LEVEL PLAN
- A3.0 TYPICAL PLAN
- A4.0 ELEVATIONS
- A4.1 ELEVATIONS
- A5.0 SECTIONS
- A6.0 EXISTING CONDITIONS
- A7.0 RENDERINGS
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LANDSCAPE

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- LD-1 Tree Inventory & Disposition Plan
- L-1 Streetscape Planting Plan
- L-2 Site Plan Planting Schedule, Planting Details & Notes
- L-3 5th Level Planting Plan
- L-4 Landscape Elevation | West
- L-5 Landscape Elevation | East
- L-6 Landscape Elevation | South
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- L-8 Landscape Street Section
- L-9 Landscape Street Section
- LG-1 Hardscape Plan Site
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- PH-2 LVL 1 Emergency Photometry Plan
- PH-3 Parking Garage Photometric Plans 2nd -4th Level
- PH-4 Parking Garage Emergency Photometric Plans 2nd -4th Level

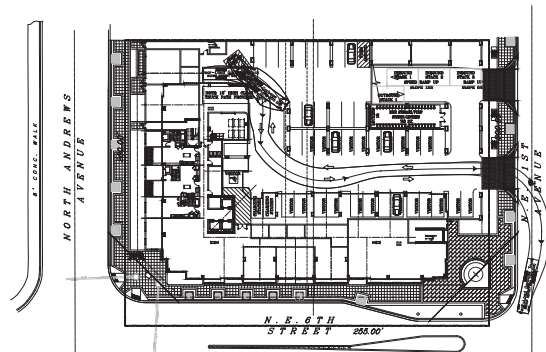
CIVIL

- C-0 CIVIL COVER SHEET
- C-1 CIVIL GENERAL NOTES AND SPECIFICATIONS
- C-2 PAVING AND GRADING PLAN
- C-3 DRAINAGE PLAN
- C-4 WATER AND SANITARY SEWER PLAN
- C-5 PAVEMENT MARKING AND SIGNAGE PLAN
- C-6 POLLUTION AND EROSION CONTROL PLAN
- C-7 SITE DEMOLITION PLAN

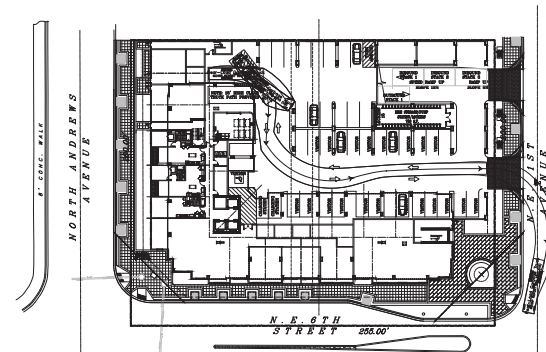
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FORT LAUDERDALE, FL

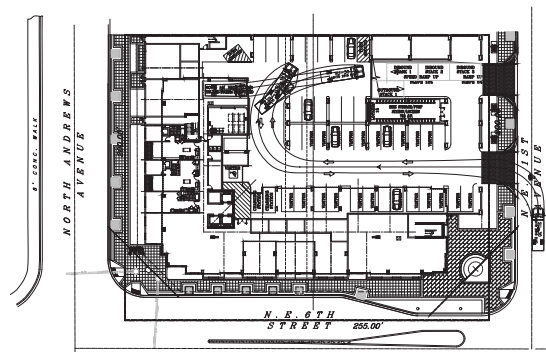
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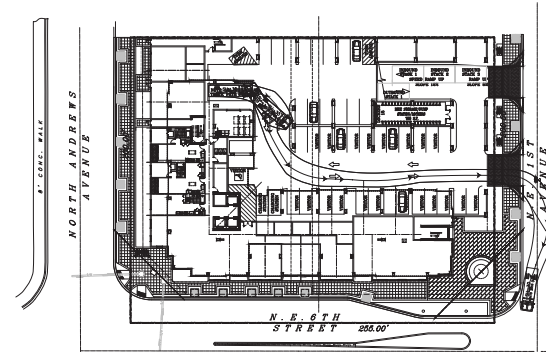
30' LOADING TRUCK IN MANEUVER



30' LOADING TRUCK OUT MANEUVER



38' WASTE TRUCK IN MANEUVER



38' WASTE TRUCK OUT MANEUVER



ADJACENT BUILDING DIAGRAM

NTS

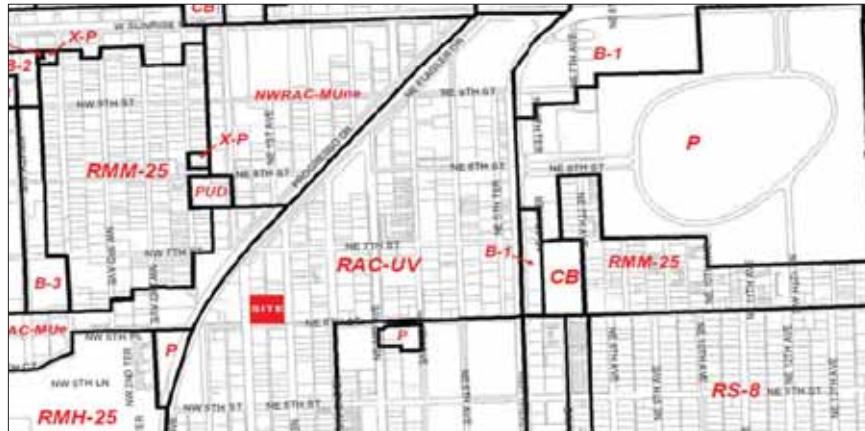
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FUTURE LAND USE MAP
N.T.S.



ZONING MAP
N.T.S.

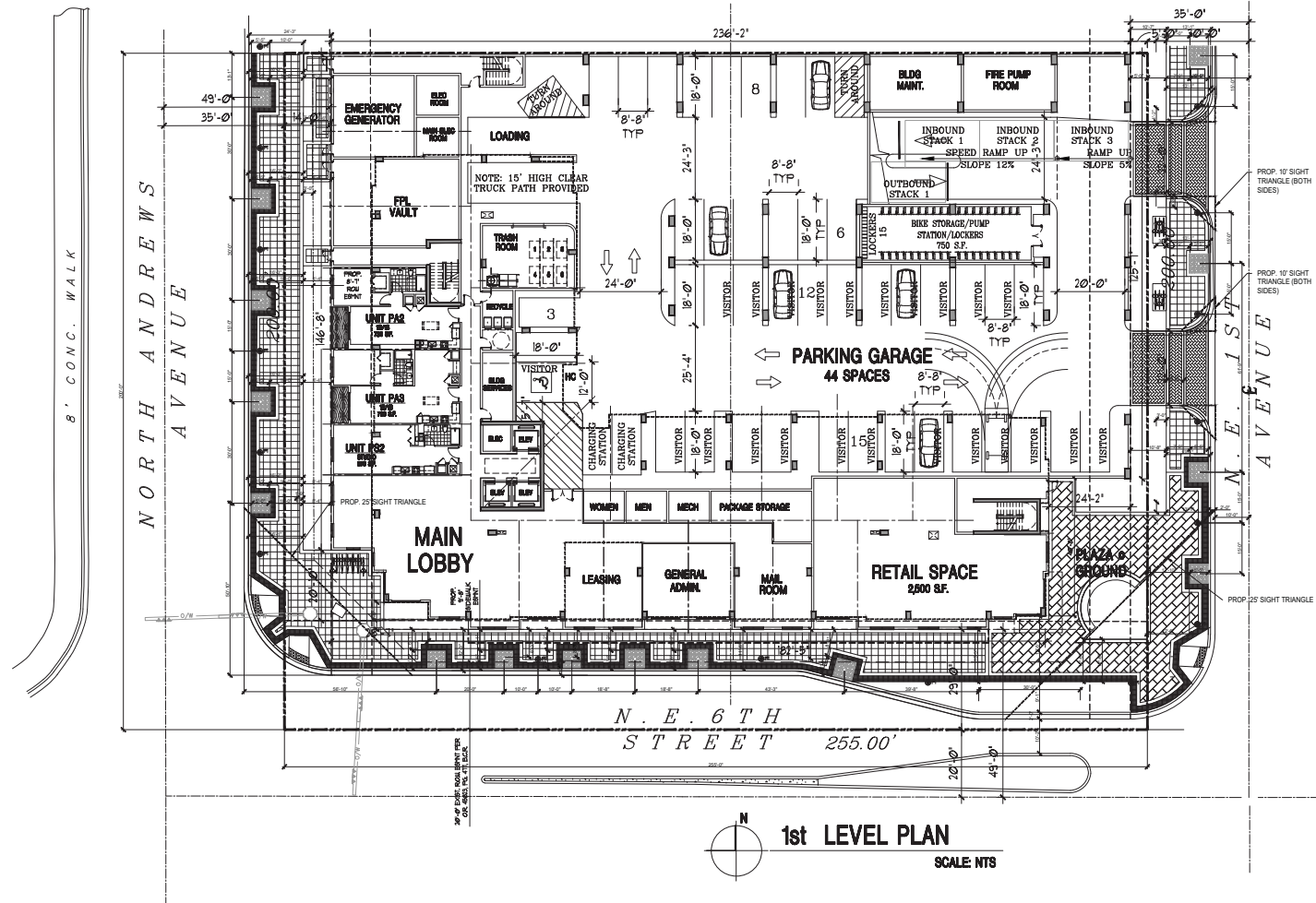


LOCATION MAP
N.T.S.

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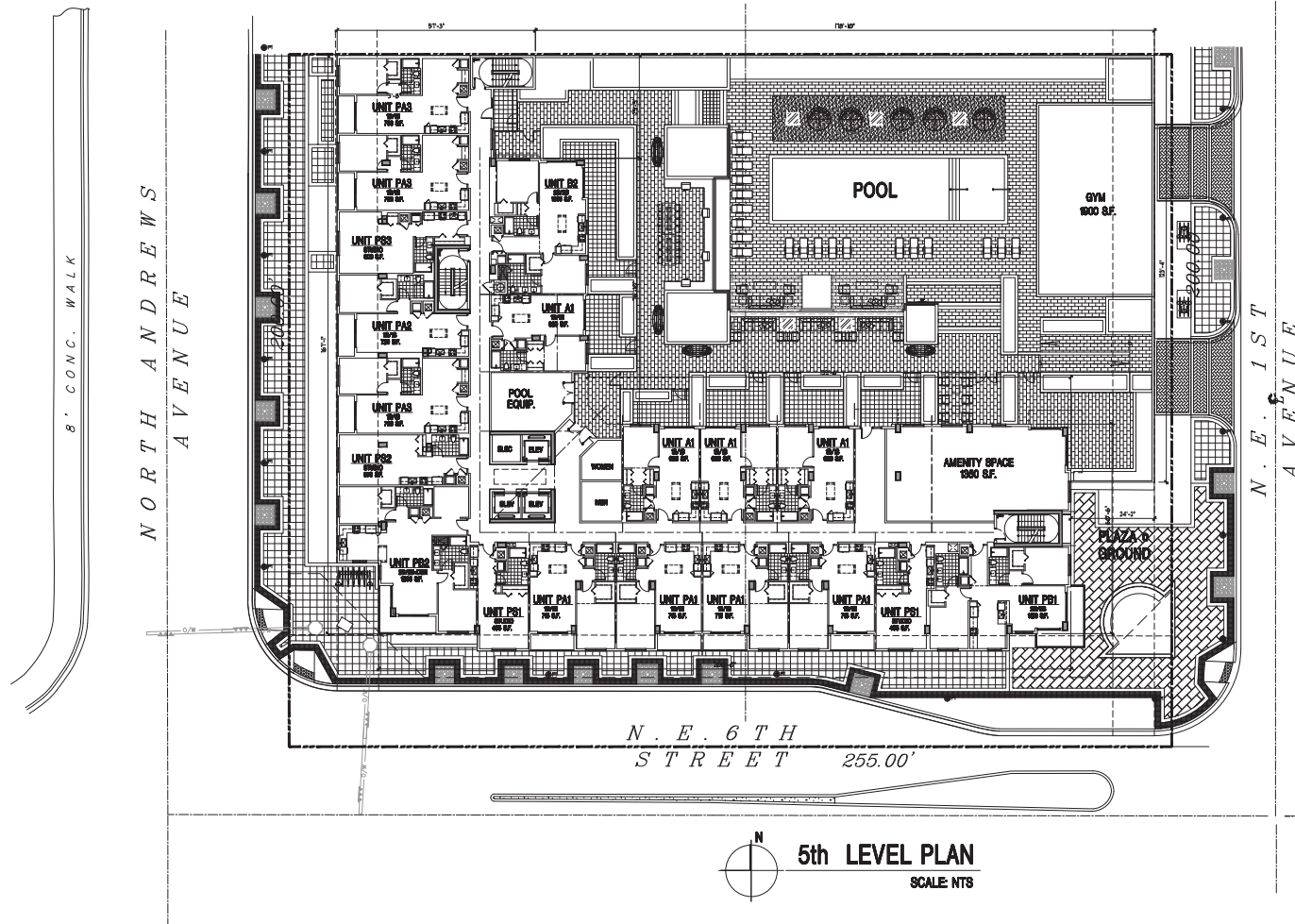
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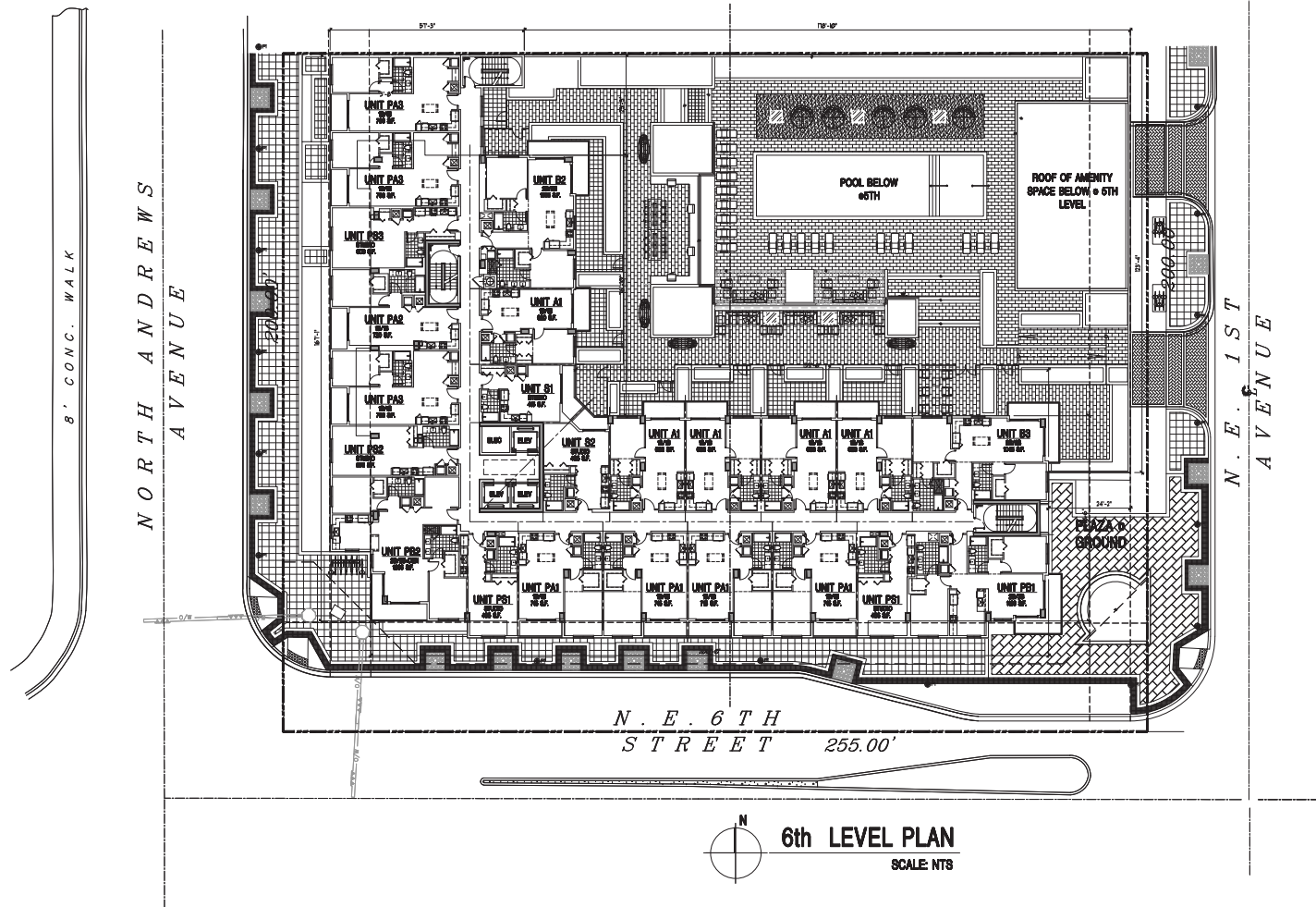
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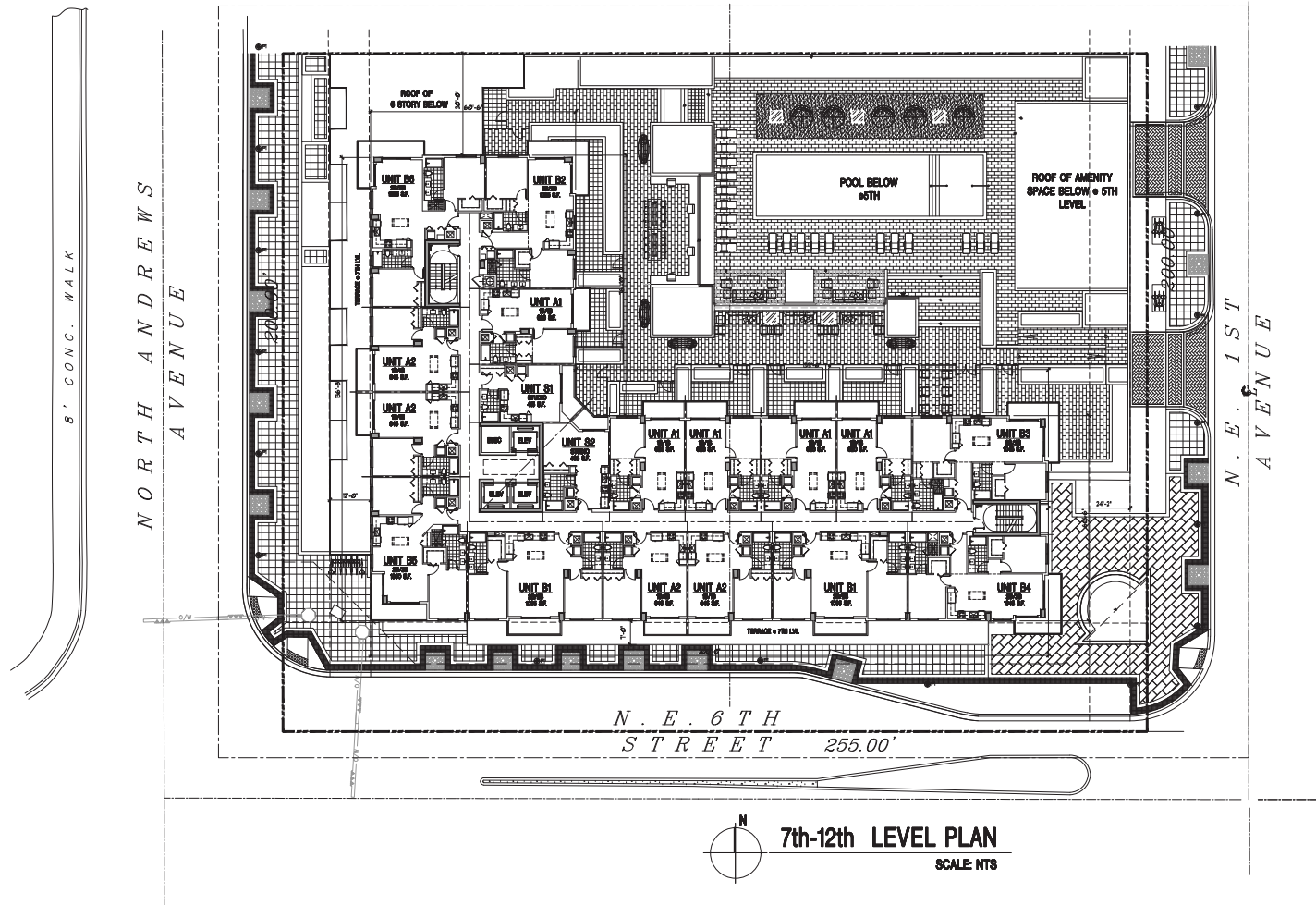
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3035 N.W. 155th Street Miami Lakes, Florida 33016 305 816 3993

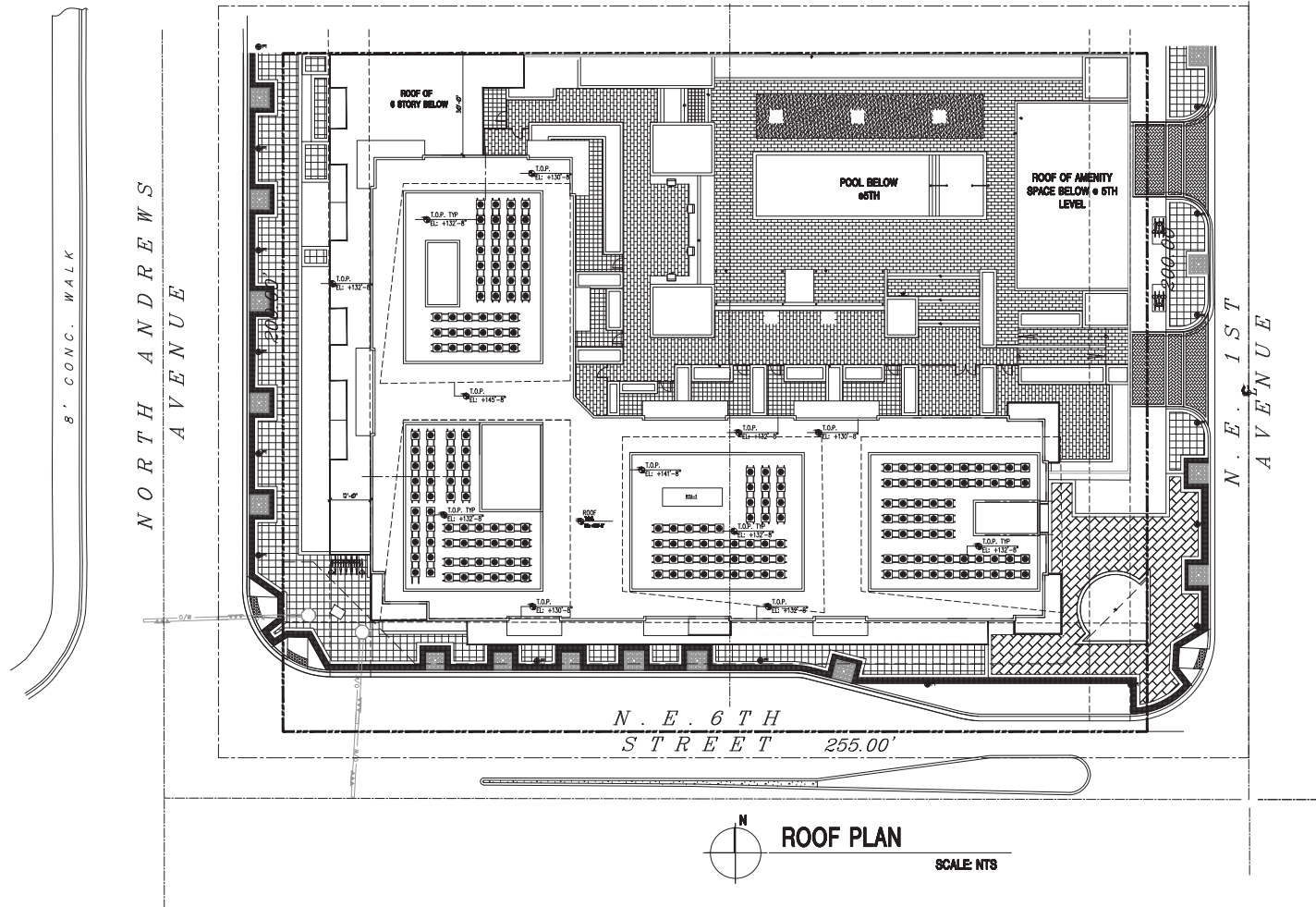
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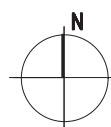
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3714







NORTH ELEVATION

SCALE: 1"=20'



WEST ELEVATION

SCALE: 1"=20'

- ELEVATION KEY NOTES
1. SMOOTH STUCCO FINISH
 2. TINTED GLASS WINDOW IN ALUM. FRAM (DSP FIN)
 3. ALUMINUM PIPE-RAIL, DSP FINISH
 4. ACCENT PAINTED STUCCO
 5. RAISED STUCCO MOLDING
 6. MURAL
 7. SCORE LINE
 8. CONCRETE OVERHANG
 9. TINTED SLIDING GLASS DOOR IN ALUM. FRAM (DSP FIN)
 10. CLEAR STOREFRONT GLASS IN ALUM. FRAM (DSP FIN)
 11. MTL. LOUVERS IN MTL. FRAM
 12. MTL. PANEL
 13. MTL. OVERHANG

PRELIMINARY DESIGN FOR

THE GALLERY AT FLAGLER VILLAGE
FORT LAUDERDALE, FL

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A4.1



VIEW LOOKING NORTHEAST



VIEW LOOKING NORTHWEST



VIEW LOOKING NORTHEAST



VIEW LOOKING NORTH



VIEW LOOKING NORTHWEST

EXISTING CONDITIONS

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project: 3714



AERIAL VIEW LOOKING NORTHWEST



AERIAL VIEW LOOKING NORTHEAST

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PRELIMINARY DESIGN FOR
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project: 3714



VIEW LOOKING NORTHEAST



VIEW LOOKING NORTHEAST

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PRELIMINARY DESIGN FOR
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project: 3714



VIEW LOOKING NORTHWEST



VIEW LOOKING NORTHWEST

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PRELIMINARY DESIGN FOR
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FORT LAUDERDALE, FL

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06/28/2021

sheet no.:

A7.2

project:

3714



GARAGE TREATMENT EAST FACADE



GARAGE TREATMENT EAST FACADE

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PRELIMINARY DESIGN FOR
THE GALLERY AT FLAGLER VILLAGE
FORT LAUDERDALE, FL

revision:

drawn by:
LJF/BPV/AG

date:
06/28/2021

sheet no.:

A7.3

project:

3714

prepared by:
McLAUGHLIN ENGINEERING COMPANY (LG#285)
 1700 N.W. 64th STREET, SUITE 400
 FORT LAUDERDALE, FLORIDA 33309
 PHONE: (954) 763-7611
 FAX: (954) 763-7615

TOPOGRAPHIC SURVEY **LOTS 17-32, & VACATED ALLEY** **ADJACENT THERETO,** **BLOCK 319, PROGRESSO,** **PLAT BOOK 2, PAGE 18, D.C.R.**

GRAPHIC SCALE

(IN FEET)
 1 inch = 30 ft.

FLOOD ZONE LEGEND
 ZONE "AE"
 = (EL=6.0)
 ZONE "X"
 = 0.2% ANNUAL CHANCE
 OF FLOOD HAZARD

NOTES:

- 1) This survey reflects all easements and rights-of-way as shown on above referenced record plat(s). The subject property and not abstracted for other easements road reservations or rights-of-way of record by McLaughlin Engineering Company.
- 2) Underground improvements if any not located.
- 3) Boundary survey information does not infer Title or Ownership.
- 4) Reference Bench Mark: City of Fort Lauderdale, B.M. # NW 87
 Elevation= 6.489 (NGVD29) converted to 4.899 (NAVD83).
- 5) Elevations shown refer to North American Vertical Datum (1988), and are indicated thus: Elev. = 9.87
- 6) This property lies in Flood Zones "AH", Elev.=6.0 and "X", 0.2% Annual Chance of Flood Hazard Per Flood Insurance Rate Map No. 12011C0369 N, Dated: August 18, 2014. Community Panel No. 125105.
- 7) Underground Utility locations shown hereon, if any, are based upon point marks on the ground provided by others. McLaughlin Engineering Company did not confirm the accuracy of this data. The exact location of all utilities should be confirmed prior to design or construction.
- 8) Elevations per North American Vertical Datum (1988) derived from National Geodetic Vertical Datum (1929) data and converted using U.S. Army Corps of Engineers software (Corpscon 6.0.1) obtained from <http://www.tech.army.mil/>

FIELD BOOK NO. TDS-48, Print, LG# 248/21, LG# 249/74 & 75, TDS, Print, PRINT, TDS
 JOB ORDER NO. T-9144, T-9772, U-D440, U1834, U-2407, V-1592, V-1601, V-6190

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LEGEND

Δ = CENTRAL ANGLE (DELTA)
 R = RADIUS
 A OR L = ARC LENGTH
 CHORD = CHORD DISTANCE
 TANG = TANGENT BEARING
 P.O.C. = POINT OF COMMENCEMENT
 P.O.B. = POINT OF BEGINNING
 M&L CAP = WITH McLAUGHLIN ENGINEERING CO. CAP
 P.R.M. = PERMANENT REFERENCE MONUMENT
 CONC. = CONCRETE
 C.B.S. = CONCRETE BLOCK AND STUCCO
 L.C.V. = LOCATION CONTROL VALVE
 W.M. = WATER METER
 B.F.P. = BACK FLOW PREVENTER
 A.L.P. = ALUMINUM LIGHT POLE
 C.L.P. = CONCRETE LIGHT POLE
 M.L.P. = METAL LIGHT POLE
 C.P.P. = CONCRETE POWER POLE
 DIA. = DIAMETER
 FH = FIRE HYDRANT
 ELEV. OR EL. = ELEVATION
 O/S = OFFSET
 A/C = AIR CONDITIONING
 S.B.T. = CENTERLINE OF RIGHT-OF-WAY
 F.P.L. = FLORIDA POWER AND LIGHT CO.
 S.B.T. = SOUTHERN BELL TELEPHONE
 B.C.R. = BROWARD COUNTY RECORDS
 D.C.R. = DADE COUNTY RECORDS
 P.B.R. = PALM BEACH COUNTY RECORDS
 O.R. = OFFICIAL RECORDS BOOK
 PG. = PAGE
 R.O.W. = RIGHT-OF-WAY
 C.O. = CLEAN OUT
 C.L.P. = CHAIN LINK FENCE
 P.C.D. = POLLUTION CONTROL DEVICE
 H.A. = HAND
 L.P. = LIGHT POLE
 W.P. = WOOD POWER POLE
 W.V. = WATER VALVE
 P.V.C. = POLYVINYL CHLORIDE

"NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL"

FILE NO.: **04-2-020(21)**

N. E.	7TH STREET
48	1
47	2
46	3
45	4
44	5
43	6
42	7
41	8
40	9
39	10
38	11
37	12
36	13
35	14
34	15
33	16
32	17
31	18
30	19
29	20
28	21
27	22
26	23
25	24
N. E.	6TH STREET
ANDREWS AVENUE	WEST

THIS SURVEY Location Sketch
 Not To Scale

Legal Description

Lots 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31 and 32, inclusive, Block 319 PROGRESSO, according to the plat thereof, as recorded in Plat Book 2, Page 18, of the Public Records of Miami-Dade County, Florida.

TOGETHER WITH that part of the vacated alley adjacent thereto, all now lying and being in the City of Fort Lauderdale, Broward County, Florida and containing 51,000 square feet or 1.1708 acres more or less.

Title Notes

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS.

There are no Easements, Road Reservations, or Rights-of-way of record affecting this property per Old Republic National Title Insurance Company, File Number 16068876, Commitment, Effective Date June 15, 2016 at 8:00AM.

- 9) Easement Deed per O.R. Book 28950, Page 1612 of the Public Records of Broward County, Florida does not affect this property.
- 10) Easement per Ordinance No. C-06-17 per O.R. Book 42548, Page 1752 of the Public Records of Broward County, Florida affects this property as shown. Document refers to Alternate Utility Easement to be required.
- 11) Easement per O.R. Book 45823, Page 477 of the Public Records of Broward County, Florida affects this property as shown.

CERTIFICATION

We hereby certify that this survey meets the "Standards of Practice" as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Dated at Fort Lauderdale, Florida, this 3rd day of March, 2004.
 Resurveyed on this 5th day of August, 2004.
 Resurveyed this 21st day of January, 2005.
 Revised Legal Description and Resurveyed this 10th day of February, 2006.
 Revised Easement this 17th day of February, 2006.
 Ordinance and Sanitary Inverts Information added this 14th day of June, 2006.
 Title Commitment Information added this 26th day of July, 2006.
 Revised Notes this 26th day of July, 2006.
 Resurveyed this 8th day of July, 2016.
 Additional Topography added this 18th day of June, 2021.

McLAUGHLIN ENGINEERING COMPANY

GERALD A. McLAUGHLIN
 Registered Land Surveyor No. 5269
 State of Florida.

CHECKED BY:
 DRAWN BY: S.P., E.A.J., S.W., K.T., ROR





DRC Schematic

The Gallery at Flagler Village
Fort Lauderdale, FL 33301



LR-1.1

PLANT NOTES

1. ALL PLANTS ARE TO BE FLORIDA NO. 1, GRADE OR BETTER.
2. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT, & CITY OF FORT LAUDERDALE.
3. ALL LANDSCAPE AREAS TO RECEIVE 10% IRRIGATION COVERAGE WITH A MINIMUM 10% MINIMUM OVERLAP IN GRASS & GROUNDCOVER AREAS AND 100% PERCENT MINIMUM OVERLAP IN SHRUB AREAS BY AN AUTOMATIC IRRIGATION SYSTEM. SYSTEM SHALL INCLUDE A RAIN SENSOR DEVICE. USE OF NONPOTABLE WATER SHALL BE USED FROM A TRUST TREE SOURCE.
4. QUANTITIES FOR PLANT LIST ARE FOR CONVENIENCE ONLY. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLANS. WHEN DISCREPANCIES OCCUR BETWEEN THE PLANT LIST AND PLANTING PLANS, THE PLANTS ARE TO OVERRIDE THE PLANT LIST IN ALL CASES.
5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.
6. ALL SHRUB AND GROUNDCOVER BEDS SHALL BE LAID OUT IN A UNIFORM AND CONSISTENT PATTERN; SET IN A PERPENDICULAR LINE WHEN ABUTTING PAVEMENT OR BUILDINGS.
7. ALL TREES AND PALMS TO BE STAKED AND GUDED AS INDICATED ON DETAILS.
8. ALL PLANTING AREAS TO RECEIVE 2" LAYER OF GRADE 5 SHREDED EUCALYPTUS MULCH. TOP OF MULCH SHALL BE 2" BELOW ANY ADJACENT PAVEMENT.
9. ALL PLANT MATERIAL TO BE BACKFILLED WITH 50% BLACK 50% SAND PLANTING MIXTURE.
10. FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS AS FOLLOWS:
 500 ANNUAL & GROUND COVER SHRUBS, TREES, PALMS
 8-8-8 OSMOCOTE, SERRA BLEND 14-14-14 AGROFORM 20-10-5 TABLETS
11. ALL SOIL SHALL BE LAID ON 2" DEPTH OF TOPSOIL. LAID SMOOTH OUT TO CONFORM TO CURB & PLANTERS, AND LAID TO THE WATERLINE.
12. ALL EXISTING TREES TO REMAIN SHALL RECEIVE A MIN. 12" MULCH RING.
13. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED ON THREE SIDES WITH APPROVED HEDGE.
14. TREES SHALL BE PLANTED AT LEAST 10' FROM OVERHEAD POWER LINES.
15. LANDSCAPE SHALL NOT OBSCURE FIRE HYDRANT NOR SPRINKLER RAMPWAY WYES.
16. ALL EXISTING TREES ON SITE IN THE VICINITY OF NEW CONSTRUCTION SHALL BE PROTECTED AS PER THE DETAIL SHOWN ON SHEET L-1.
17. TOPSOIL TO BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS & NOXIOUS PESTS & DISEASE. THE TOPSOIL FOR ALL PLANTING AREAS SHALL BE AMENDED HORTICULTURALLY ACCEPTABLE ORGANIC MATERIAL. THE MINIMUM TOPSOIL DEPTH SHALL BE SIX (6) INCHES FOR GROUND COVER AREAS, FOUR (4) INCHES FOR SEEDS, GRASS AREAS AND TWO (2) INCHES FOR SOODED GRASS AREAS.
18. GRASS, SOO & SEED SHALL BE REASONABLY FREE OF WEEDS, PESTS, AND DISEASES. FOR ANY GIVEN SPECIES OF LAWN, THE MOST PEST AND DROUGHT RESISTANT VARIETY OR STRAIN AVAILABLE SHALL BE REQUIRED.
19. AN EXISTING TREE ON THE SITE HAVING A CALIPER OF FOUR (4) INCHES OR GREATER, EXCEPT FOR FLORIDA HOLLY, POSIDONIA, AGAVE PALM TREE, AND HELICONIA, SHALL NOT BE REMOVED FROM THE BUILDING SITE WITHOUT A PERMIT FROM THE LANDSCAPE DEPARTMENT OF THE CITY.
20. ALL TREES REQUIRED SHALL BE SHADE TREES HAVING A MATURE HEIGHT OF NOT LESS THAN TWENTY-FIVE (25) FEET. THEY SHALL HAVE A MATURE CROWN SPREAD OF NOT LESS THAN THIRTY (30) FEET. THEY SHALL HAVE A CLEAR TRUNK AT MATURITY OF AT LEAST SIX (6) FEET.
21. SHADE TREES AT THE TIME OF INSTALLATION SHALL HAVE A MINIMUM TRUNK DIAMETER (CALIPER) OF TWO AND ONE-HALF (2 1/2) TO THREE (3) INCHES, MEASURED FOUR AND ONE-HALF (4 1/2) FEET ABOVE FINISH GRADE. A MINIMUM HEIGHT OF TWELVE (12) TO FOURTEEN (14) FEET AND A MINIMUM CROWN SPREAD OF SIX (6) FEET.
22. ALL SHRUBS AT TIME OF INSTALLATION SHALL NOT BE LESS THAN TWO AND ONE-HALF (2 1/2) FEET IN HEIGHT.
23. VINES AT THE TIME OF INSTALLATION SHALL NOT BE LESS THAN TWO AND ONE-HALF (2 1/2) FEET IN HEIGHT WITH AT LEAST THREE (3) RUNNERS.
24. GROUND COVER AREAS AT THE TIME OF INSTALLATION SHALL BE PLANTED WITH A MINIMUM OF SEVENTY-FIVE (75) PERCENT COVERAGE WITH ONE HUNDRED (100) PERCENT COVERAGE OCCURRING WITHIN THREE (3) MONTHS OF INSTALLATION.
25. ALL GRASS AREAS SHALL BE SOODED WITH CHINCH BUG RESISTANT GRASS WHEN AVAILABLE.
26. ALL OWNERS OF THE LAND & THEIR AGENTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING.
27. ALL PLANTING TO BE DONE IN ACCORDANCE WITH THE PROPER HORTICULTURAL PRACTICES.
28. REQUIRED: ALL PLANTINGS SHALL BE PROPERLY FERTILIZED AT THE TIME OF INSTALLATION WITH AT LEAST A MIN. OF 25 PERCENT ORGANIC 8-8-8 WITH TRACE ELEMENTS OR BETTER FERTILIZER.
29. GROUND COVERS SHALL BE PLANTED WITH A MINIMUM OF 75 PERCENT COVERAGE WITH 100 PERCENT COVERAGE OCCURRING WITHIN THREE MONTHS OF INSTALLATION.
30. REQUIRED: THE ERADICATION OF NUISANCE VEGETATION (EXOTICS) EXISTING ON ANY SITE IS REQ. ON ALL SITES, INCLUDING ADJUTING RIGHTS-OF-WAYS. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, PRIVATELY OWNED NATURAL AREAS SHALL BE INCLUDED IN THIS REQ. FOCUS BENJAMINA AND FOCUS NITIDA MAY BE USED FOR HEDGE MATERIAL WITH A FIVE-FOOT SEPARATION FROM WATER LINES. FOCUS HEDGES MAY NOT BE PLANTED IN UTILITY EASEMENTS.
31. REQUIRED: ALL SHADE TREES INSTALLED WITHIN SIX FEET OF PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM WHEN APPLICABLE.
32. MUNICIPAL PLANTING CODE REQUIREMENTS SHALL BE SUPERCEDED BY COUNTY REQUIREMENTS WITHIN THE COUNTY RIGHT OF WAY. SEE PLAN FOR LIMITS OF COUNTY RIGHT OF WAY.
33. ALL PLANTS SHALL COMPLY WITH FLORIDA FRIENDLY YARDS AND ALL BROWARD COUNTY NATURESCAPE PRINCIPLES WILL BE COMPLIED WITH (FOR LANDSCAPE MATERIALS WITHIN COUNTY JURISDICTION).
34. TREES PLANTED ADJACENT TO ACCESSIBLE ROUTES AND ACCESSIBLE AREAS SHALL NOT HAVE LIMBS BELOW 18" ABOVE FINISH GRADE.

BROWARD COUNTY MAINTENANCE NOTES

1. REFER TO SHEET L-2.2 FOR BROWARD COUNTY HCD SCHEDULE OF MAINTENANCE STAMPS AND REQUIREMENTS. REFER TO SHEET L-2.2 FOR EXTRAPOLATED PLANT SCHEDULE. QUANTITIES OF PLANTS WITHIN THE COUNTY RIGHT OF WAY.
2. TREE LIMBS EXTENDING OVER ROADWAY TRAVEL LANE SHALL BE REMOVED OR TRIMMED BACK TO CURB LINE OR EDGE OF TRAVEL LANE, IF THEY ARE WITHIN THE 14' CLEAR ZONE OVER THE CROWN OF THE ROAD.
3. SIGHT VISIBILITY ZONE SHALL BE MAINTAINED IN ACCORDANCE WITH COUNTY REQUIREMENTS. SHRUBS SHALL BE MAINTAINED AT THE FOLLOWING HEIGHTS 24" FROM ROAD SURFACE OR 18" IN A CURBED MEDIAN.
4. ALL PLANTING HOLES AND PLANTING BEDS MUST DRAIN SUFFICIENTLY PRIOR TO INSTALLING PLANTS. CHECK PERCOLATION RATES PRIOR TO INSTALLING PLANTS. NOTIFY THE PROJECT ENGINEER OF DRAINAGE PROBLEMS BEFORE PLANT INSTALLATION.

GENERAL NOTE:

MIN. HORIZONTAL CLEARANCE OF 6' FT. PROVIDED FROM TREE TRUNK TO EDGE OF TRAVEL LANE. REFER TO PLANTING PLAN FOR TYPICAL DIMENSION ALONG ALL STREET EDGES.

MIN. SIGHT CLEARANCE TRIANGLES PROVIDED AT ALL STREET AND DRIVE WAY INTERSECTIONS, PURSUANT MUNICIPAL CODE 47-2.2 AND 47-35.

STRUCTURAL SOIL LEGEND

STRUCTURAL SOIL SHALL EXTEND 8' FT BEYOND TREE PIT LOCATION. MINIMUM EXTENTS OF STRUCTURAL SOIL TO BE INSTALLED AS SHOWN

GENERAL NOTE:

PROPOSED AND EXISTING (OVERHEAD AND UNDERGROUND) UTILITIES ARE SHOWN FOR REFERENCE AND TO ENSURE THAT UTILITIES ARE NOT IN CONFLICT WITH PROPOSED PLANTING. TREES WILL BE PLANTED ON SITE IN CONFORMANCE WITH LOCAL AND FPL RIGHT TREE RIGHT PLACE GUIDELINES. TREES WITH AGGRESSIVE ROOT GROWTH PLANTED WITHIN PROXIMITY TO UNDERGROUND UTILITIES WILL UTILIZE ROOT BARRIERS IN ACCORDANCE WITH MUNICIPAL CODE.

PROPOSED TREES

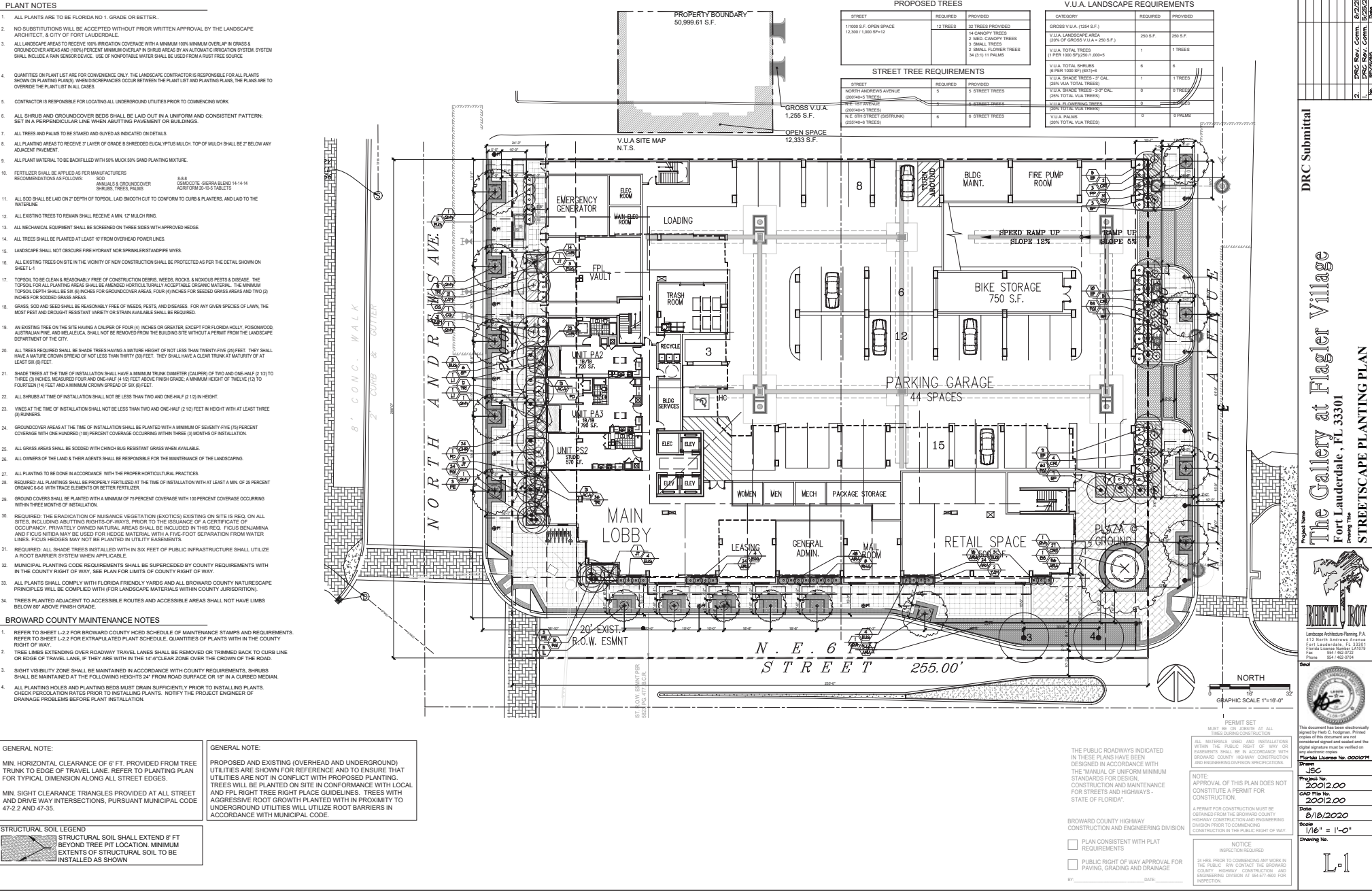
STREET	REQUIRED	PROVIDED
11,000 S.F. OPEN SPACE 12,300 S.F. OPEN SPACE	12 TREES	32 TREES PROVIDED 14 CANOPY TREES 2 MED. CANOPY TREES 3 SMALL TREES 2 SMALL FLOWER TREES 34 (3.1) 11 PALMS

STREET TREE REQUIREMENTS

STREET	REQUIRED	PROVIDED
NORTH ANDREWS AVENUE (25'WIDE-4 TREES)	5	5 STREET TREES
WINTER STREET (25'WIDE-4 TREES)	5	5 STREET TREES
N.E. 6TH STREET (25'WIDE-4 TREES)	5	5 STREET TREES

V.U.A. LANDSCAPE REQUIREMENTS

CATEGORY	REQUIRED	PROVIDED
GROSS V.U.A. (1254 S.F.)		
V.U.A. LANDSCAPE AREA (20% OF GROSS V.U.A. = 250 S.F.)	250 S.F.	250 S.F.
V.U.A. TOTAL TREES (1 PER 1000 SF/2500 1,250-5)	1	1 TREES
V.U.A. TOTAL SHRUBS (6 PER 1000 SF/1500-6)	6	6
V.U.A. SHADE TREES - 7" CAL. (20% V.U.A. TOTAL TREES)	1	1 TREES
V.U.A. SHADE TREES - 3" CAL. (20% V.U.A. TOTAL TREES)	0	0 TREES
V.U.A. GROUND COVER TREES (20% V.U.A. TOTAL TREES)	0	0 TREES
GRC TOTAL VOA TREES	9	9 TREES
V.U.A. PALMS (20% TOTAL VOA TREES)		



DRC Submittal

The Gallery at Flagler Village
Fort Lauderdale, FL 33301



Landscaping Planning, P.A.
412 North Andrews Avenue
Fort Lauderdale, FL 33301
Florida Landscape Architect
Phone: 954-463-8702
Fax: 954-463-8704



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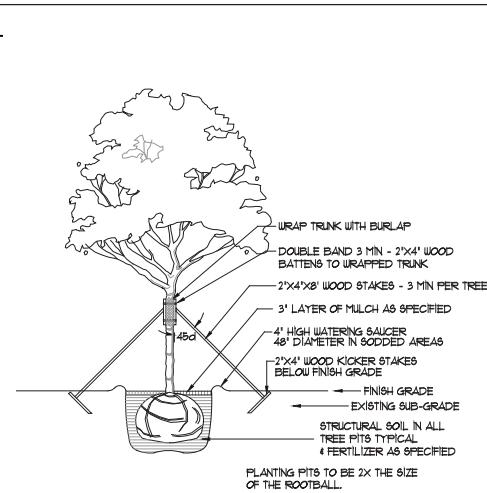
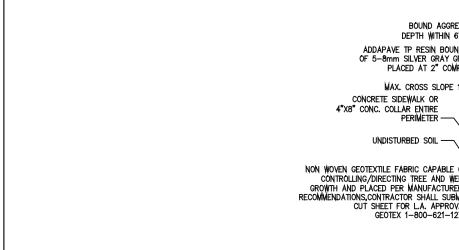
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Date 8/18/2020
Scale 1/16" = 1'-0"
Drawing No. L-1

The Gallery at Flagler Village
8/4/2021

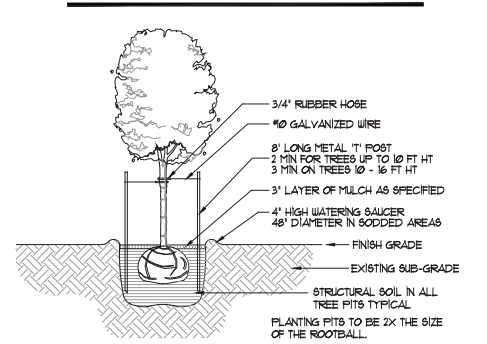
Landscaping Site Plan

SYM	ITEM	SPECIFICATION	QUAN
*BS	Bursaria simaruba Gumbo Limbo	34" ht. x 20"-24" spr., 12" c.t., 30" dbh Fl. No. 1 or better / min. pruning	1
CG	Caesalpinia granadillo Birdsalv Tree	14ft. x 8'spr., 5' c.t. 4" dbh Florida No. 1	2
*EF	Eugenia foetida Spanish Stopper	12" ht. x 8' spr. 4' c.t. 2.5" dbh Multi-Trunk specimens	24
FD	Filicium decipiens Japanese Fern Tree	12" ht. x 8' spr. 4' c.t. 2.5" dbh	2
*IL	Ilex cassine Dahoon Holly	18ft. x 8'spr., 5' c.t. 4" dbh Florida Fancy	5
JT	Jatropha intigima Jatropha Tree	8' ht. x 6' spr., 6' c.t., 3" dbh Multi-Trunk specimens	5
LI	Lagerstroemia indica Crape Myrtle 'Natchez'	16" ht. X 8' spr., multi-trunk, matched	2
PE	Ptychostema elegans Alexander Palm	8' c.t. 15' c.t. 20' c.t.	6
***PP	Philothamnium pterocarpum Yellow Poinciana	14ft. x 8'spr., 5' c.t. 4" dbh Florida No. 1	3
*QVh	Quercus virginiana Live Oak 'Highrise'	28" ht. x 16' spr., 8' c.t. 6"-8" dbh Florida No. 1 / W FDOT Clr Trnk	7
*SP	Sabal palmetto Sabal Palm	18-28" c.t. install w/ staggered hts.	23
ACA	Acalypha wilkesiana Copper Leaf 'Red'	7gal. 36" ht x 36" spr. 30" o.c.	26
**ARA	Arachis glabrata Peanut Plant	1gal., 12" full	714
*CHR	Chrysobalanus icaco Green Coccolup	7 gal., 24" ht x 24" spr., 24" o.c. Full specimens	61
CRI	Crinum asiaticum Crinum Lily	7 gal., 5' ht. X 3' spr., full to base	11
*CRI 1	Crinum americanum Swamp Lily	3 gal., 18" ht., 18" spr., 18" o.c. install w/ leaves touching	27
FGI	Ficus microcarpa 'Green Island' Ficus Green Island	5 gal., 18" ht., 18" spr., 18" o.c.	196
*MYR	Myciacthes fragrans Simpson Stopper	7gal. 36" ht x 36" spr. 30" o.c. multi-trunk full to base	26
*RHA	Rhapis excelsa Lady Palm	25 gal., 72" ht., 48" spr. Min. 7 stalks	8
*TRI	Triplacum dactyloides Dwarf Fakahatchee	3 gal., 24" ht. x 24" spr., 24" o.c.	57
*ZAM	Zamia floridana Coontie	3 gal., 18" ht., 18" spr., 18" o.c. Install w/ leaves touching	44
*NATIVE PLANT MATERIAL	Total Native Plants		215
***	Mayor Requested Tree	Total Florida Friendly	722
		Total Number of Plants	1170
		Percentage of Native + F.F.	80%

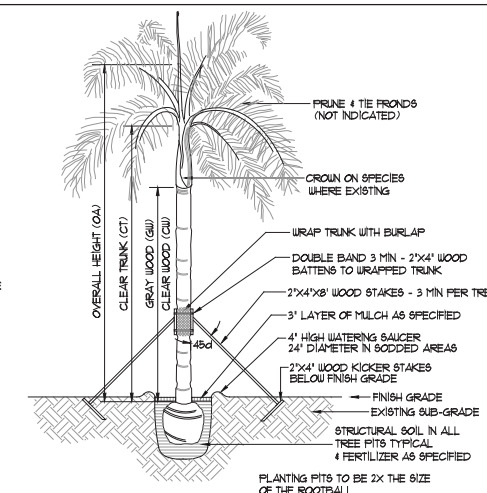
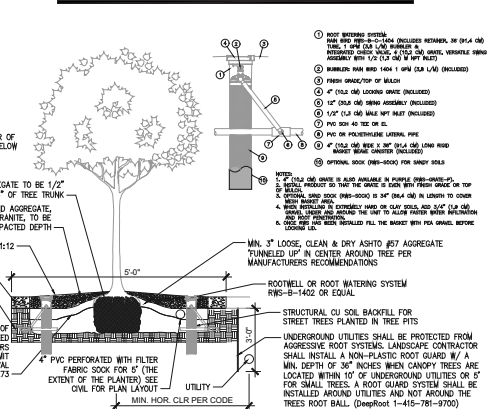
NOTE: EVERY INSTALLATION SHALL PROVIDE EDGING AROUND PERIMETER OF TREE PIT WITH SUFFICIENT DEPTH BELOW GRADE TO SUPPORT ENTIRE SYSTEM



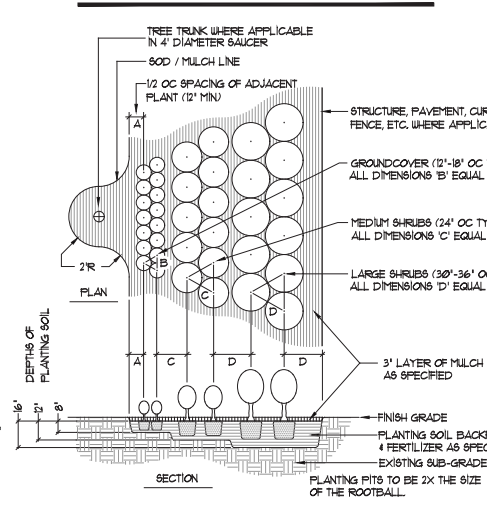
LARGE TREE PLANTING DETAIL



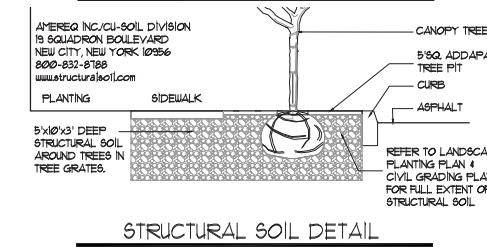
SMALL TREE PLANTING DETAIL



PALM PLANTING DETAIL



SHRUB PLANTING DETAIL



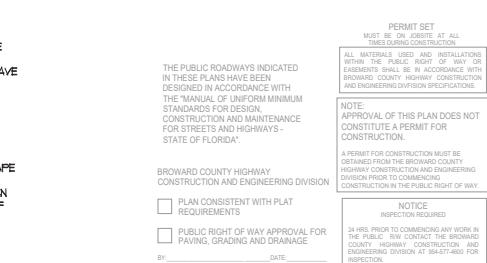
STRUCTURAL SOIL DETAIL

PLANT NOTES

1. ALL PLANTS ARE TO BE FLORIDA NO. 1, GRADE OR BETTER.
2. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT, A CITY OF FORT LAUDERDALE.
3. ALL LANDSCAPE AREAS TO RECEIVE IRRIGATION COVERAGE WITH A MINIMUM 100% MINIMUM OVERLAP IN GRASSES & GROUNDCOVER AREAS AND 100% PERCENT MINIMUM OVERLAP IN SHRUB AREAS BY AN AUTOMATIC IRRIGATION SYSTEM. SYSTEM SHALL INCLUDE A RAIN SENSOR DEVICE. USE OF NONPOTABLE WATER SHALL BE USED FROM A RUST FREE SOURCE.
4. QUANTITIES ON PLANT LIST ARE FOR CONVENIENCE ONLY. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PLANTS SHOWN ON PLANTING PLANS. WHEN DISCREPANCIES OCCUR BETWEEN THE PLANT LIST AND PLANTING PLANS, THE PLANTS ARE TO OVERSEE THE PLANT LIST IN ALL CASES.
5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.
6. ALL SHRUB AND GROUNDCOVER BEDS SHALL BE Laid OUT IN A UNIFORM AND CONSISTENT PATTERN. SET IN A PERPENDICULAR LINE WHEN ABUTTING PAVEMENT OR BUILDINGS.
7. ALL TREES AND PALMS TO BE STAKED AND GUIED AS INDICATED ON DETAILS.
8. ALL PLANTING AREAS TO RECEIVE 7" LAYER OF GRADE 8 SHREDED EUCALYPTUS MULCH. TOP OF MULCH SHALL BE 2" BELOW ANY ADJACENT PAVEMENT.
9. ALL PLANT MATERIAL TO BE BACKFILLED WITH 50% MUCK 50% SAND PLANTING MATURE.
10. FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS AS FOLLOWS:
SOD: 20-20-20
SHRUBS, TREES, PALMS: 8-8-8
CONDOCT: 20-20-20
AGROFLO 20-10-10 TABLETS
11. ALL SOD SHALL BE Laid ON 2" DEPTH OF TOPSOIL. Laid SMOOTH CUT TO CONFORM TO CURB & PLANTERS, AND Laid TO THE WATERLINE.
12. ALL EXISTING TREES TO REMAIN SHALL RECEIVE A MIN. 12" MULCH RING.
13. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED ON THREE SIDES WITH APPROVED HEDGE.
14. ALL TREES SHALL BE PLANTED AT LEAST 12" FROM OVERHEAD POWER LINES.
15. LANDSCAPE SHALL NOT OBSCURE FIRE HYDRANT NOR SPRINKLER/STANPIPE WYES.
16. ALL EXISTING TREES ON SITE IN THE VICINITY OF NEW CONSTRUCTION SHALL BE PROTECTED AS PER THE DETAIL SHOWN ON SHEET L-1.
17. TOPSOIL TO BE CLEAN & REASONABLY FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, & NOxious PESTS & DISEASE. THE TOPSOIL FOR ALL PLANTING AREAS SHALL BE AMENDED HORTICULTURALLY ACCEPTABLE ORGANIC MATERIAL. THE MINIMUM TOPSOIL DEPTH SHALL BE SIX (6) INCHES FOR GROUNDCOVER AREAS, FOUR (4) INCHES FOR SEEDS, GRASS AREAS AND TWO (2) INCHES FOR SODDED GRASS AREAS.
18. GRASS, SOD AND SEED SHALL BE REASONABLY FREE OF WEEDS, PESTS, AND DISEASES. FOR ANY GIVEN SPECIES OF LAWN, THE MOST PEST AND DROUGHT RESISTANT VARIETY AVAILABLE SHALL BE REQUIRED.
19. AN EXISTING TREE ON THE SITE HAVING A CALIPER OF FOUR (4) INCHES OR GREATER, EXCEPT FOR FLORIDA PALM, POINCIANA, AUSTRALIAN PINE, AND MEXICANALC, SHALL NOT BE REMOVED FROM THE BUILDING SITE WITHOUT A PERMIT FROM THE LANDSCAPE DEPARTMENT OF THE CITY.
20. ALL TREES REQUIRED SHALL BE SWAGE TREES HAVING A MATURE HEIGHT OF NOT LESS THAN TWENTY-FIVE (25) FEET. THEY SHALL HAVE A NATURAL CROWN SPREAD OF NOT LESS THAN THIRTY (30) FEET. THEY SHALL HAVE A CLEAR TRUNK OF AT LEAST SIX (6) FEET.
21. SHADE TREES AT THE TIME OF INSTALLATION SHALL HAVE A MINIMUM TRUNK DIAMETER (CALIPER) OF TWO AND ONE-HALF (2 1/2) TO THREE (3) INCHES, MEASURED FOUR AND ONE-HALF (4 1/2) FEET ABOVE FINISH GRADE, A MINIMUM HEIGHT OF THIRTEEN (13) TO FOURTEEN (14) FEET AND A MINIMUM CROWN SPREAD OF SIX (6) FEET.
22. ALL SHRUBS AT TIME OF INSTALLATION SHALL NOT BE LESS THAN TWO AND ONE-HALF (2 1/2) IN HEIGHT.
23. VINES AT THE TIME OF INSTALLATION SHALL NOT BE LESS THAN TWO AND ONE-HALF (2 1/2) FEET IN HEIGHT WITH AT LEAST THREE (3) RUNNERS.
24. GROUNDCOVER AREAS AT THE TIME OF INSTALLATION SHALL BE PLANTED WITH A MINIMUM OF SEVENTY-FIVE (75) PERCENT COVERAGE WITH ONE HUNDRED (100) PERCENT COVERAGE OCCURRING WITHIN (3) MONTHS OF INSTALLATION.
25. ALL GRASS AREAS SHALL BE SODDED WITH CHINCH BUG RESISTANT GRASS WHEN AVAILABLE.
26. ALL OWNERS OF THE LAND & THEIR AGENTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING.
27. ALL PLANTING TO BE DONE IN ACCORDANCE WITH THE PROPER HORTICULTURAL PRACTICES.
28. REQUIRED ALL PLANTINGS SHALL BE PROPERLY FERTILIZED AT THE TIME OF INSTALLATION WITH AT LEAST A MIN. OF 20% ORGANIC 6-6-6 WITH TRACE ELEMENTS OR BETTER FERTILIZER.
29. GROUND COVERS SHALL BE PLANTED WITH A MINIMUM OF 75 PERCENT COVERAGE WITH 100 PERCENT COVERAGE OCCURRING WITHIN THREE MONTHS OF INSTALLATION.
30. REQUIRED: THE ERADICATION OF NUISANCE VEGETATION (EXOTICS) EXISTING ON SITE IS REQ. ON ALL SITES, INCLUDING ABUTTING RIGHTS-OF-WAY, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. PRIVATELY OWNED NATURAL AREAS SHALL BE INCLUDED IN THIS REQ. FOCUS BENJAMINA AND FOCUS NITIDA MAY BE USED FOR HEDGE MATERIAL WITH A FIVE-FOOT SEPARATION FROM WATER LINES. FOCUS HEDGES MAY NOT BE PLANTED IN UTILITY EASEMENTS.
31. REQUIRED: ALL SHADE TREES INSTALLED WITHIN SIX FEET OF PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM WHEN APPLICABLE.
32. MAINTENANCE PLANTING CODE REQUIREMENTS SHALL BE SUPERCEDED BY COUNTY REQUIREMENTS WITHIN THE COUNTY RIGHT OF WAY. SEE PLAN FOR LIMITS OF COUNTY RIGHT OF WAY.
33. ALL PLANTS SHALL COMPLY WITH FLORIDA FRIENDLY YARDS AND ALL BROWARD COUNTY NATUREScape PRINCIPLES WILL BE COMPLIED WITH (FOR LANDSCAPE MATERIALS WITHIN COUNTY JURISDICTION).
34. TREES PLANTED ADJACENT TO ACCESSIBLE ROUTES AND ACCESSIBLE AREAS SHALL NOT HAVE LIMBS BELOW 8' ABOVE FINISH GRADE.

BROWARD COUNTY MAINTENANCE NOTES

1. REFER TO SHEET L-2.2 FOR BROWARD COUNTY HEDG SCHEDULE OF MAINTENANCE STAMPS AND REQUIREMENTS. REFER TO SHEET L-2.2 FOR EXTRACTED PLANT SCHEDULE. QUANTITIES OF PLANTS WITHIN THE COUNTY RIGHT OF WAY.
2. TREE LINES EXTENDING OVER ROADWAY TRAVEL LINES SHALL BE REMOVED OR TRIMMED BACK TO CURB LINE OR EDGE OF TRAVEL LANE. IF THEY ARE WITHIN THE 14'-0" CLEAR ZONE AROUND THE CROWN OF THE ROAD.
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4. ALL PLANTING HOLES AND PLANTING BEDS MUST DRAIN SUFFICIENTLY PRIOR TO INSTALLING PLANTS. CHECK PERCOLATION RATES PRIOR TO INSTALLING PLANTS. NOTIFY THE PROJECT ENGINEER OF DRAINAGE PROBLEMS BEFORE PLANT INSTALLATION.



DRG Submittal

The Gallery at Flagler Village
Fort Lauderdale, FL 33301

SITE PLAN PLANTING SCHEDULE, PLANTING DETAILS & NOTES

Project No. 20012.00
Project Name The Gallery at Flagler Village
Client N.T.S.
Designing by N.T.S.

DATE 8/18/2020
BY N.T.S.
CHECKED BY N.T.S.
DATE 8/18/2020

NOTICE
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NOTICE
APPROVAL OF THIS PLAN DOES NOT CONSTITUTE A PERMIT FOR CONSTRUCTION.

NOTICE
A PERMIT FOR CONSTRUCTION MUST BE OBTAINED FROM THE BROWARD COUNTY ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION IN THE PUBLIC RIGHT OF WAY.

NOTICE
34 HRS. PRIOR TO COMMENCING ANY WORK IN THE PUBLIC ROW, THE CONTRACTOR SHALL NOTIFY THE BROWARD COUNTY ENGINEERING DEPARTMENT AT 954-371-4600 FOR INSPECTION.

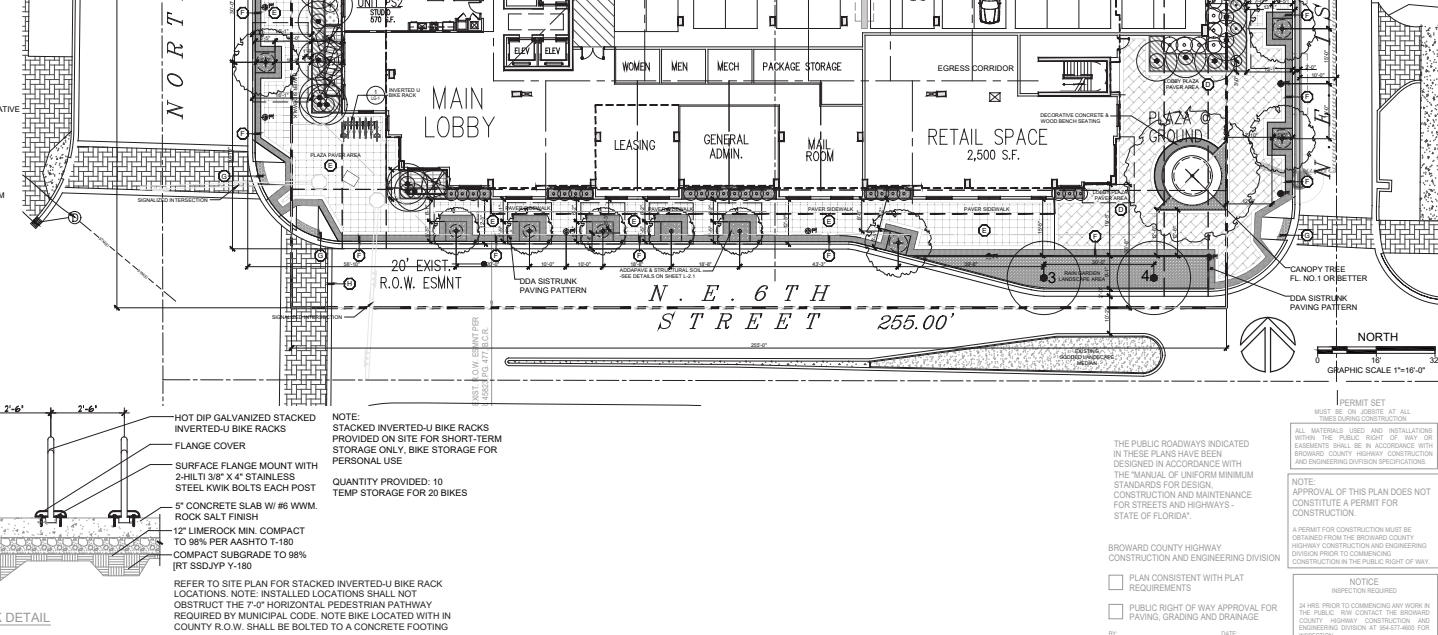
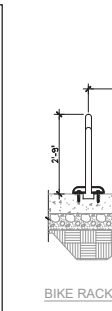
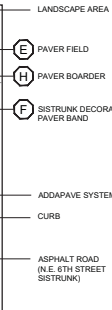
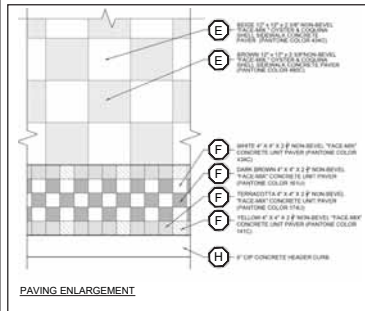
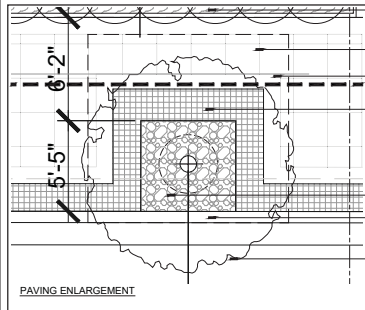
BY _____ **DATE** _____

HARDSCAPE & FURNISHINGS LEGEND

- (A) DRIVEWAY
BY BELGARD, FIELD: COLOR TUSCANY, 4"x8" HERRINGBONE PATTERN, BORDER & BANDS: COLOR GRAY, 4"x8" ROWLOCK ON COMPACTED SAND ON COMPACTED ROCK BASE
- (B) WALKWAYS (NOT ALONG SISTRUNK / NE 6th STREET)
BY BELGARD, FIELD: COLOR CREAM GROUND FACE SHELL, 4"x8" RUNNING BOND PATTERN, BORDER & BANDS: COLOR CREAM GROUND FACE SHELL, 4"x8" ROWLOCK, ON COMPACTED SAND ON COMPACTED ROCK BASE, 2% SIDE SLOPE MAX.
- (C) OUTDOOR PATIOS
BY ARTISTIC PAVERS, FIELD: COLOR CREAM SHELLOCK, 12"x24" 45 DEGREE STACKED BOND PATTERN, ON COMPACTED SAND ON COMPACTED ROCK BASE (SIDEWALK LEVEL), 2% SLOPE MAX.
- (D) LOBBY ENTRY
BY ARTISTIC PAVERS, FIELD: COLOR CREAM SHELLOCK, 12"x24" 45 DEGREE STACKED BOND PATTERN, ON COMPACTED SAND ON COMPACTED ROCK BASE (SIDEWALK LEVEL), 2% SLOPE MAX.

HARDSCAPE LEGEND - NE 6 ST (SISTRUNK)

- (E) WALKWAY FIELD
BY GEM PAVERS, FIELD: 12"x12"x2 3/8", STACKED BOND, CHECKERBOARD PATTERN, NON-SEVEL, WHITE & BROWN SHELLSTONE.
- (F) WALKWAY PAVER BAND
BY GEM PAVERS, BAND: 4"x4"x2 3/8", STACKED BOND (20" WIDE), WHITE, DARK BROWN, TERRAZZITA & YELLOW, NON-SEVEL (SEE ADJACENT DETAIL).
- (G) DETECTABLE WARNING STRIP
BY GEM PAVERS, 4"x8"x2 3/8" (24" WIDE BEHIND ROADWAY CURBS), BASKETWEAVE PATTERN, YELLOW WITH TRUNCATED DOMES.
- (H) HEADER CURB
6" CIP CONCRETE HEADER CURB, TROWELED EDGES, BROOM FINISH, FLUSH WITH TOP OF PAVERS.



DRC Submittal

The Gallery at Flagler Village

Fort Lauderdale, FL 33301

HARDSCAPE PLAN - SITE

Project No. 2001200

Scale: 1/8" = 1'-0"

Drawing No. LG-1

DATE: 8/16/2020

BY: [Signature]



GRAPHIC SCALE 1"=10'-0"

1	DRG Rev. Comm.	9/2/21	Date
2	Rev.	9/2/21	Date

DRC Submittal

The Gallery at Flagler Village
Fort Lauderdale, FL 33301
Drawing Title: **LANDSCAPE ELEVATION | WEST**

Project Name

Drawing Title



RHEAT ROY
Landscape Architecture Planning, P.A.
412 North Andrews Avenue
Fort Lauderdale, FL 33301
Florida License Number: LA00000000
Phone: 954-462-2722
Fax: 954-462-2724

Seal



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Drawn

Project No.

CAD File No.

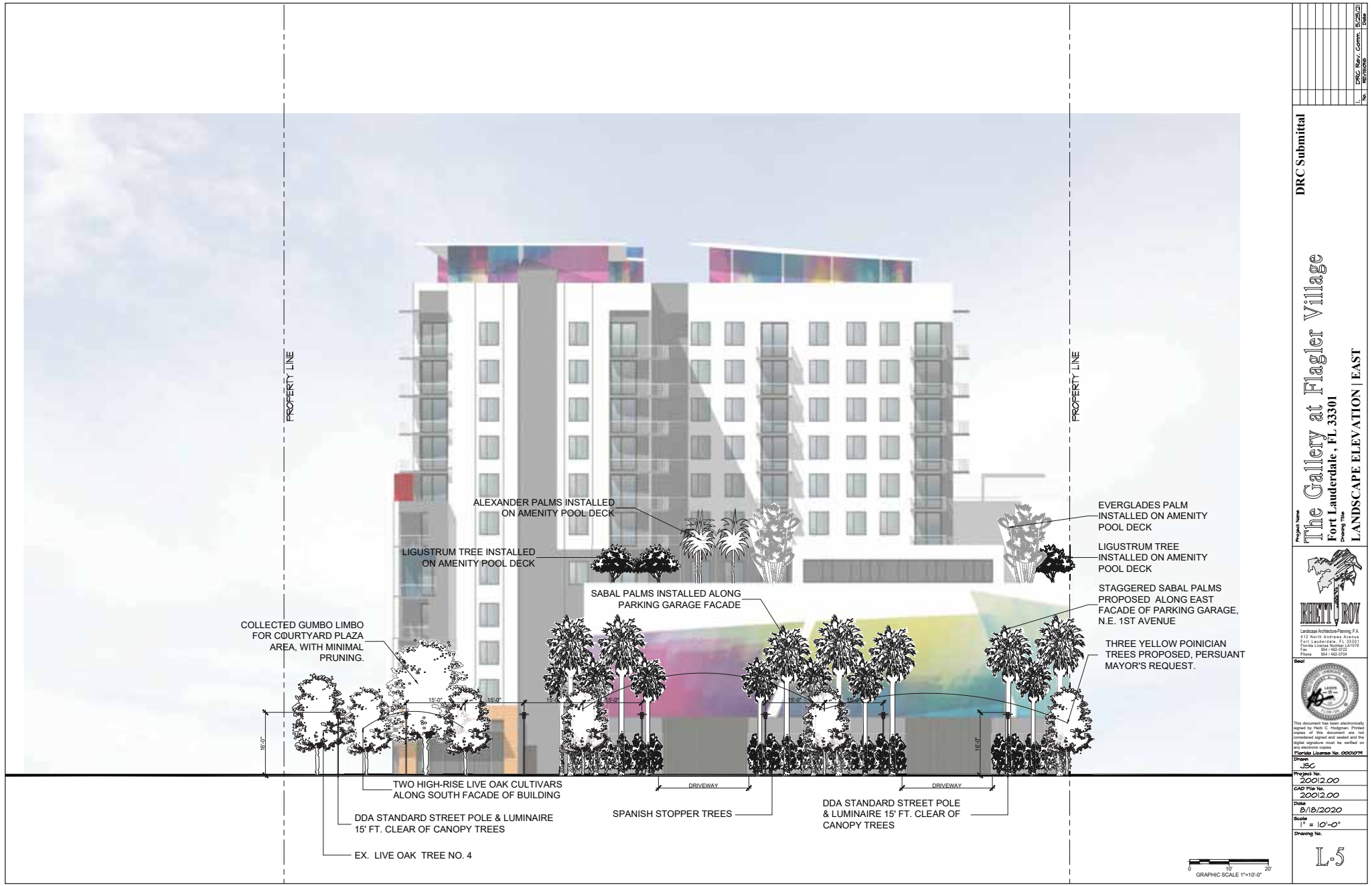
Date

Scale

Drawing No.

1" = 10'-0"

L4



Project Name	The Gallery at Flagler Village
Location	Fort Lauderdale, FL 33301
Drawing Title	LANDSCAPE ELEVATION EAST
Scale	1" = 10'-0"
Project No.	20012.00
GAO File No.	20012.00
Date	8/18/2020
Scale	1" = 10'-0"
Drawing No.	L-5

DRC Submittal

Landscaping Architect: R. J. ROY
 Landscape Architecture Planning, P.A.
 412 North Andrews Avenue
 Fort Lauderdale, FL 33301
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 Fax: 954-463-2724
 Florida License No. 00004787

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Project Name
The Gallery at Flagler Village
Fort Lauderdale, FL 33301
Drawing Title
LANDSCAPE ELEVATION | NORTH

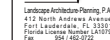


Drawn	JSC
Project No.	200 2.00
CAD File No.	200 2.00
Date	8/18/2020
Scale	1" = 10'-0"
Drawing No.	

L.7

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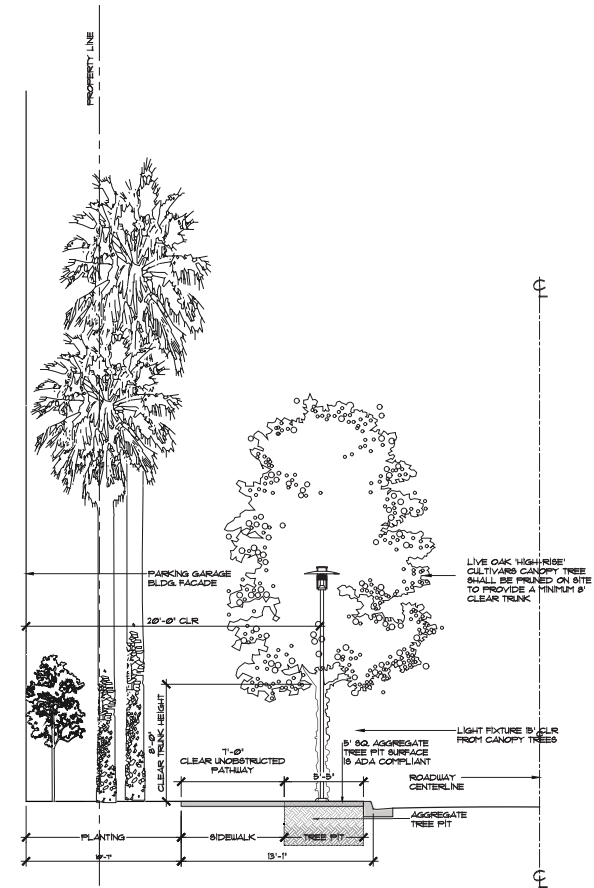
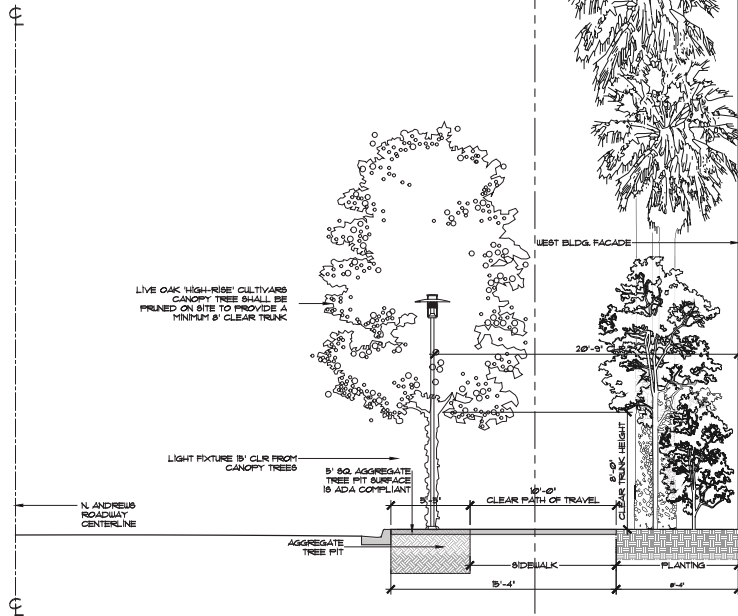
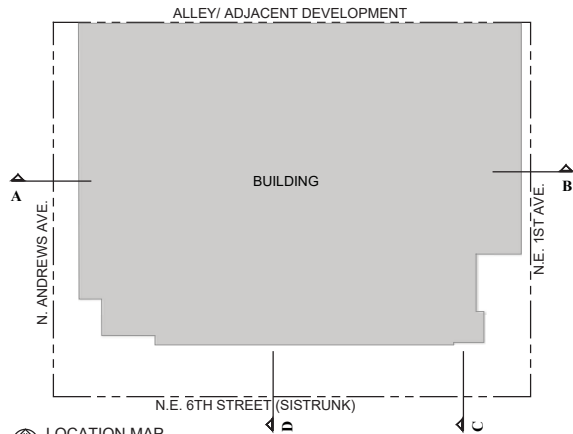
Project Name
The Gallery at Flagler Village
Fort Lauderdale, FL 33301
Drawing Title
LANDSCAPE STREET SECTION



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CAD File No. 20012.00
Date 8/18/2020
Scale 1/4" = 1'-0"
Drawing No.

L-8



1	PRC Rev. Comm.	8/2/21	Date
2	PRC Rev. Comm.	8/2/21	Date
3	PRC Rev. Comm.	8/2/21	Date
4	PRC Rev. Comm.	8/2/21	Date
5	PRC Rev. Comm.	8/2/21	Date
6	PRC Rev. Comm.	8/2/21	Date
7	PRC Rev. Comm.	8/2/21	Date
8	PRC Rev. Comm.	8/2/21	Date
9	PRC Rev. Comm.	8/2/21	Date
10	PRC Rev. Comm.	8/2/21	Date

DRC Submittal

The Gallery at Flagler Village
Fort Lauderdale, FL 33301
LANDSCAPE STREET SECTION



This document has been electronically signed by RHETT ROY. Printed copies of this document are not considered signed and sealed and the digital signature must be verified on any electronic version.
Florida License No. 00000781

Drawn: JSC
Project No: 2001200
CAD File No: 2001200
Date: 8/18/2020
Scale: 1/4" = 1'-0"
Drawing No.

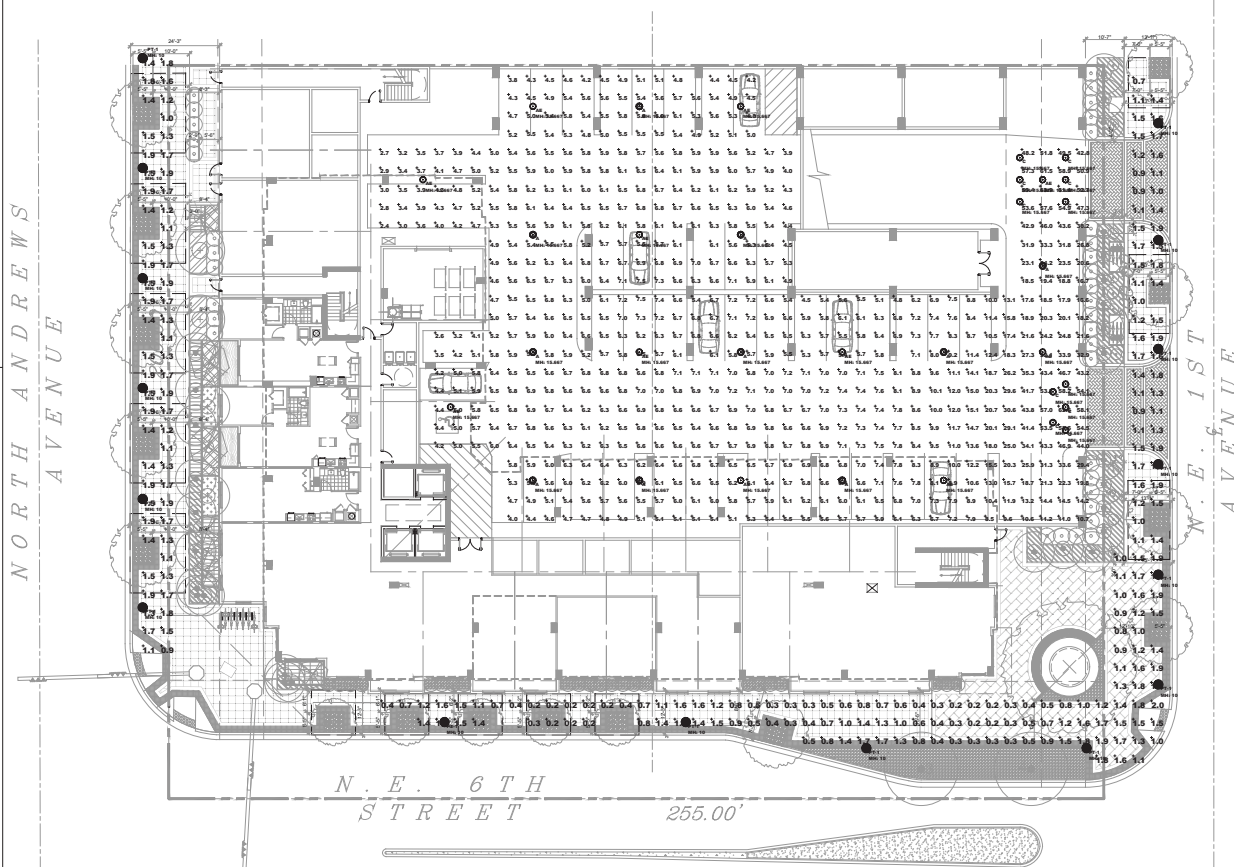
L-9

SCHEDULING SCHEDULES									
Customer Details									
Project: PAT VILLAGE - 0176 - PORT LAUDERDALE, FL - 01/10/2020									
Symbol	Qty	Label	Accessories	Manufacturer	Description	Location Name	LLF	Location Width	Assembly Width
	16	PS-1	MINOR	Luxonite Canada Inc.	8001-11-1000-00-0000-00000000	MIN. PEST TOP MOUNT, A.G.	0.000	36.17	36.17
Installation Summary									
Project: 20017-06 Partitions, Lighting - 2020 Sep 14th 8:54:11am									
Label	Qty	Label	Accessories	Manufacturer	Description	Location Name	LLF	Location Width	Assembly Width



DDA STREET POLE LIGHT

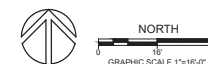
Continuation Schedule									
Project: PRT VILLAGE - PARKING GARAGE 1ST LEVEL, PORT LAUDERDALE, FL 08/10/2020									
Symbol	Qty	Label	Manufacturer	Description	Luminaire Lumens	LLF	Luminaire Watts		
	11	A	Lithonia Lighting	VCPD LED PK 0K TR 80W/0.0	7500	0.85	63.5		
	11	AB	Lithonia Lighting	VCPD LED PK 0K TR 80W/0.0 (non generated)	7500	0.85	63.5		
	11	C	Lithonia Lighting	VCPD LED PK 0K TR 80W/0.0	10000	0.85	100		
Continuation Summary									
Project: PRT VILLAGE - PARKING GARAGE 1ST LEVEL, PORT LAUDERDALE, FL 08/10/2020									
Label	Qty	Unit Type	Units	Avg	Max	Min	Avg/Watt	Max/Watt	
ENTRANCE AREA (outdoor)		luminaire	Pc	91.43	92.6	41.2	1.20	1.46	
ENTRANCE AREA (indoor)		luminaire	Pc	91.17	92.8	39.2	1.26	1.67	
PARKING & DRIVE 1ST FLOOR		luminaire	Pc	6.49	26.7	2.4	2.70	8.00	



NOTE:

THE LIGHTING DESIGN AND THE INSTALLATION WILL COMPLY WITH ALL CODE REQUIREMENTS AS SET FORTH IN THE CODE OF ORDINANCES OF THE CITY OF PORT LAUDERDALE, FLORIDA UNIFIED LAND DEVELOPMENT REGULATION, AS OUTLINE IN SECTION 41-3014C AND SHALL PROVIDE THE FOLLOWING:

- 1) AN AVERAGE INTENSITY OF ILLUMINATION OF FIFTY (50) FOOT-CANDLES AT THE ENTRANCE.
- 2) TEN (10) FOOT-CANDLES IN ALL TRAFFIC LANES
- 3) FIVE (5) FOOT-CANDLES WHERE VEHICLES ARE PARKED PURSUANT TO SECTION 41-3014C




The Gallery at Flagler Village
Fort Lauderdale, FL 33301
Project Name
Drawing Title
STREETSCAPE & LVL 1 PHOTOMETRY PLAN



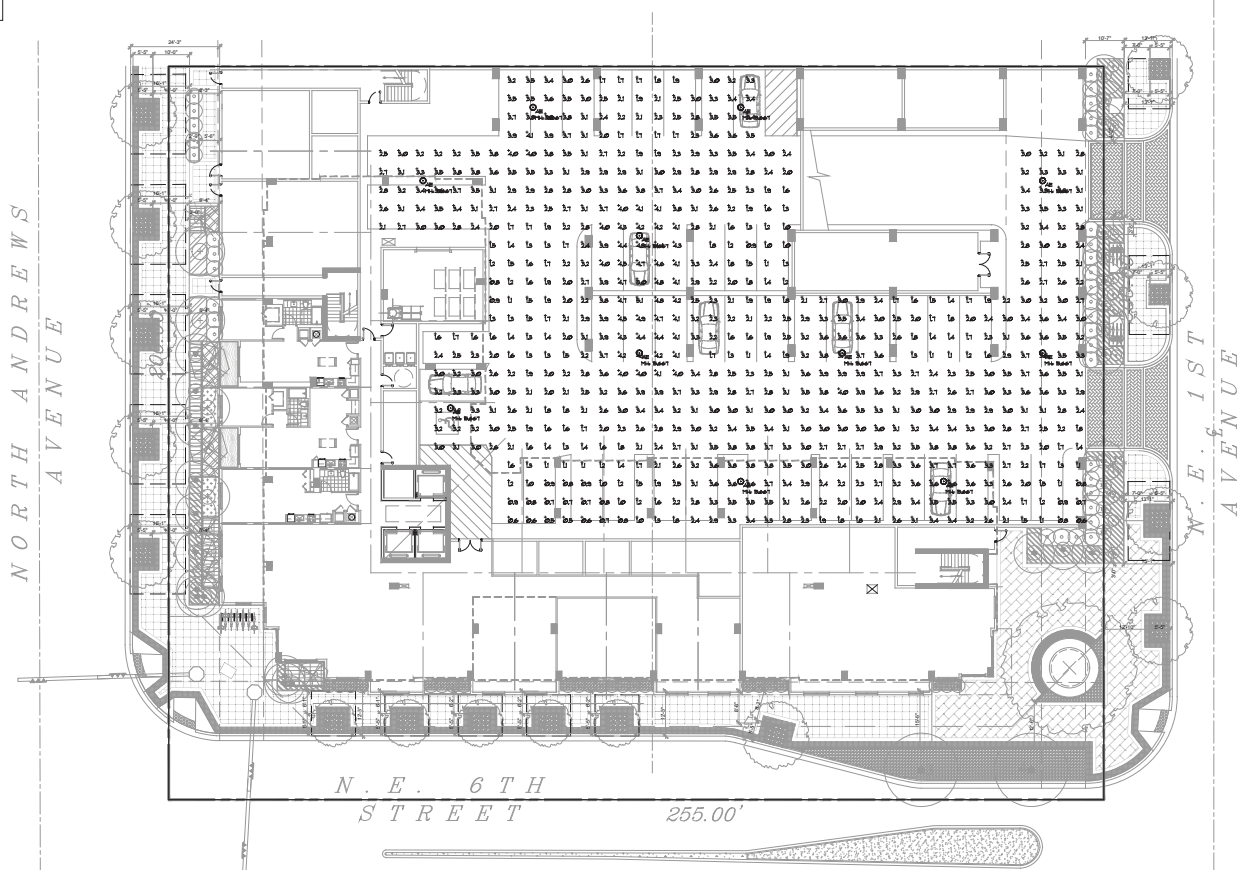
Florida License No. 0001074
Drawn JSC
Project No. 20012.00
CAD File No. 20012.00
Date 8/18/2020
Scale 1/16" = 1'-0"
Drawing No.

PH-1

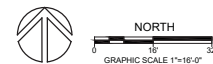
1ST LEVEL EMERGENCY LIGHTING PARKING GARAGE SCHEDULES

Symbol	Qty	Label	Manufacturer	Description	Luminaire Lumens	LPF	Luminaire Watts
	11	AL	Emergency Lighting	VEPS LED 10 WAT 700 BROWL (non-governed) 900 CEILING MOUNT A.P.F	7007	0.865	26.3

Label	Calc Type	Units	Req	Max	Min	Avg Wts	Max Wts
ENTRANCE AREA (garage)	Minimum	Ft	2.00	0.0	1.4	1.00	2.07
ENTRANCE AREA (ped)	Minimum	Ft	2.00	0.0	2.0	1.14	2.00
PARKING & DRIVE 1ST FLOOR	Minimum	Ft	2.00	0.1	0.0	0.00	0.00



NOTES:
 THE LIGHTING DESIGN AND THE INSTALLATION WILL COMPLY WITH ALL CODE REQUIREMENTS AS SET FORTH IN THE CODES OF ORDINANCES OF THE CITY OF FORT LAUDERDALE, FLORIDA UNIFIED LAND DEVELOPMENT REGULATION, AND ONLINE IN SECTION 47-500.00 AND SHALL PROVIDE THE FOLLOWING:
 1.) AN AVERAGE INTENSITY OF ILLUMINATION OF FIFTY (50) FOOT-CANDLES AT THE ENTRANCE.
 2.) TEN (10) FOOT-CANDLES IN ALL TRAFFIC LANE.
 3.) FIVE (5) FOOT-CANDLES WHERE VEHICLES ARE PARKED PURSUANT TO SECTION 47-500.00.



DRC Submittal

The Gallery at Flagler Village
 Fort Lauderdale, FL 33301
 LVL 1 EMERGENCY PHOTOMETRY PLAN

Project Name
 Drawing Title





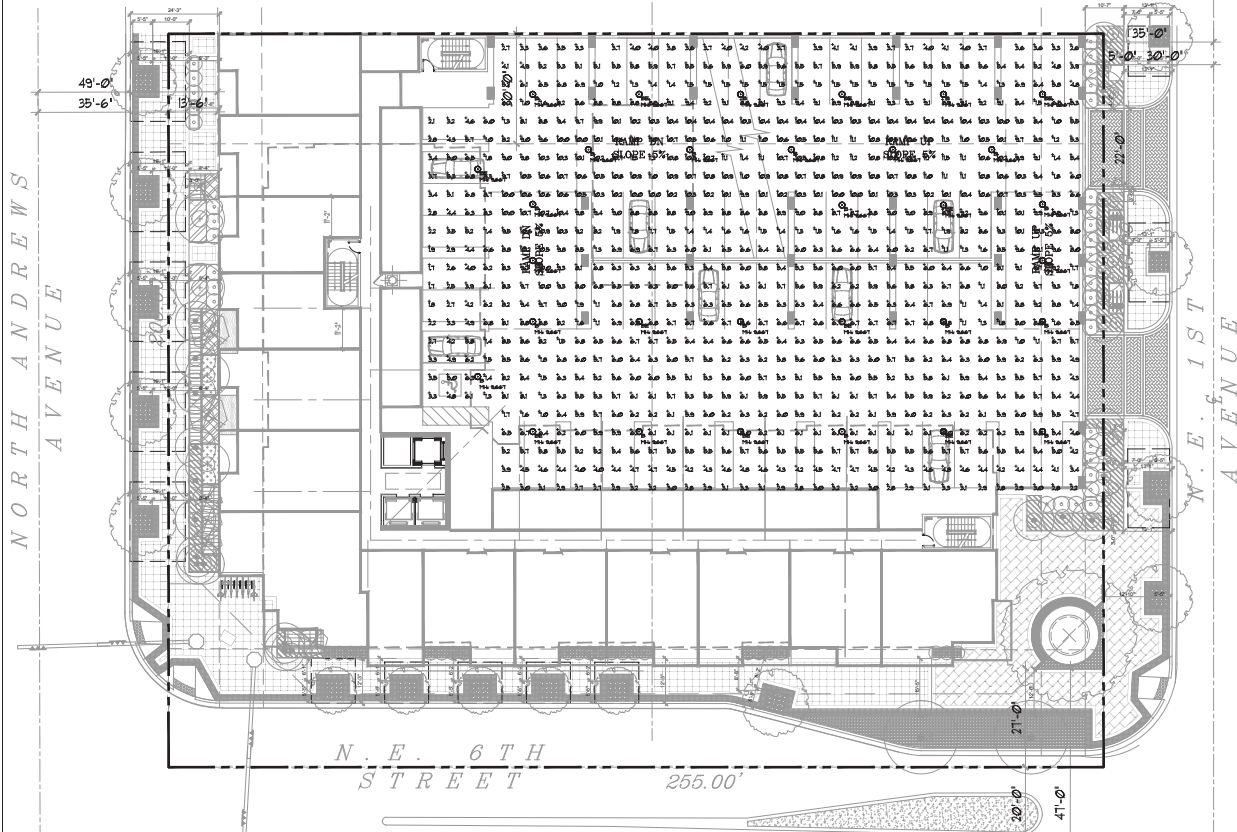
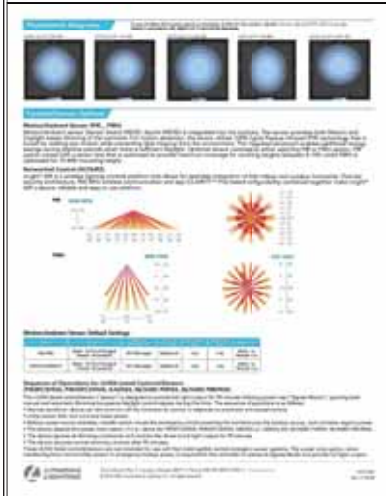
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Drawn:
 Project No.: 2001200
 CAD File No.: 2001200
 Date: 8/18/2020
 Scale: 1/16" = 1'-0"
 Drawing No.:

PH-11

PARKING GARAGE LIGHTING SCHEDULES

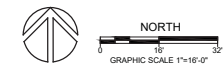
Luminaire Schedule						
Project: FLY VILLAGE - PARKING GARAGE 2ND-4TH LEVELS FORT LAUDERDALE, FL 33301						
Symbol	Qty	Label	Manufacturer	Description	Luminaire Lumens	LFP Luminaire Watts
	20	R	Lightstar Lighting	VCPL LED P5 100 T8W WOLLY - MR. COILING MOUNT A.F.A.	4000	8.000 43.17
	13	RR	Lightstar Lighting	VCPL LED P5 100 T8W WOLLY - MR. COILING MOUNT A.F.A.	4000	8.000 43.17
Calculative Summary						
Project: FLY VILLAGE - PARKING GARAGE 2ND-4TH LEVELS FORT LAUDERDALE, FL 33301						
Label	CalcType	Units	Avg	Max	Min	Avg/Mix
PARKING AND DRIVE 2ND-4TH FLOORS	Photometric	Ft.	6.00	10.1	1.7	5.00
ROAD	Photometric	Ft.	6.00	11.0	5.2	7.00



NOTE:

THE LIGHTING DESIGN AND THE INSTALLATION WILL COMPLY WITH ALL CODE REQUIREMENTS AS SET FORTH IN THE CODES AND ORDINANCES OF THE CITY OF FORT LAUDERDALE, FLORIDA, AND THE LAND DEVELOPMENT REGULATION, AS ONLINE IN SECTION 4-5.00 AND SHALL PROVIDE THE FOLLOWING:

- 1. AN AVERAGE MINIMUM OF ILLUMINATION OF 10 FT. (3) FOOT-CANDLES AT THE ENTRANCE.
- 2. TEN (10) FOOT-CANDLES IN ALL TRAFFIC LINES.
- 3. FIVE (5) FOOT-CANDLES WHERE VEHICLES ARE PARKED PURSUANT TO SECTION 4-5.00.



DRC Submittal

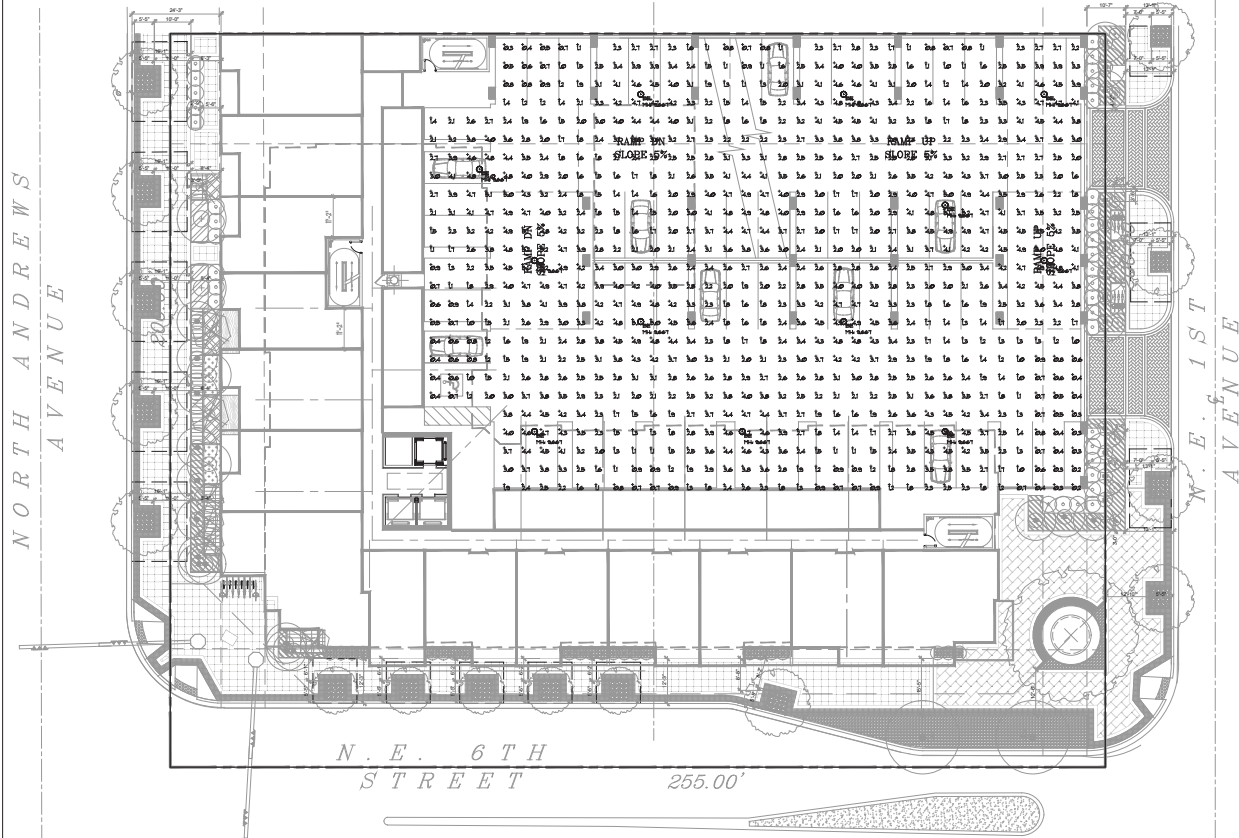
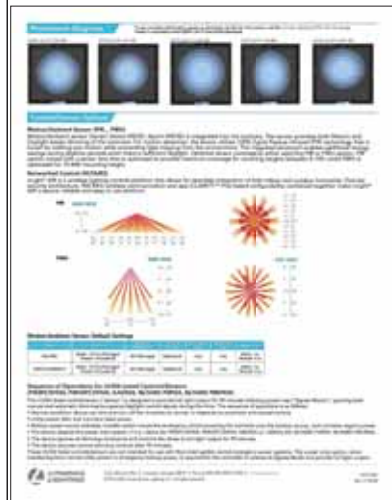
The Gallery at Flagler Village
Fort Lauderdale, FL 33301



Florida License No. 00007078
Drawn: JSC
Project No. 2001200
CAD File No. 2001200
Date: 8/18/2020
Scale: 1/16" = 1'-0"
Drawing No.

PH-2

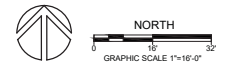
Landscape Schedule							
Project: PRT VILLAGE - PARKING GARAGE (2ND-4TH LEVELS) (DEMOLITION) - PRT, LANSING, MI, 48102000							
Symbol	Qty	Label	Manufacturer	Description	Location/Location	U/P	Location Notes
	13	800	Universal Lighting	100W LED P2 800V 7000K (no ground) - 800 LEDING MOUNT 8.5' x 5'	8000	0.000	45.57
(Information Summary) Project: PRT VILLAGE - PARKING GARAGE (2ND-4TH LEVELS) (DEMOLITION) - PRT, LANSING, MI, 48102000							
Label	Qty/Type	Units	Qty	Max	Qty/Type	Max	
PARKING AND DRIVE (2ND-4TH FLOORS)	Obstruction	Pa.	0.000	0.0	0.0	13.000	38.00
ROAD	Obstruction	Pa.	0.000	0.0	1.0	0.0	2.00



NOTE:

THE LIGHTING DESIGN AND THE INSTALLATION WILL COMPLY WITH ALL CODE REQUIREMENTS AS SET FORTH IN THE CODE OF ORDINANCES OF THE CITY OF FORT LAUDERDALE, FLORIDA UNIFIED LAND DEVELOPMENT REGULATION AS OUTLINE IN SECTION 47-303AC AND SHALL PROVIDE THE FOLLOWING:

- 1) AN AVERAGE INTENSITY OF ILLUMINATION OF FIFTY (50) FOOT-CANDLES AT THE ENTRANCE.
- 2) TEN (10) FOOT-CANDLES IN ALL TRAFFIC LANES
- 3) FIVE (5) FOOT-CANDLES WHERE VEHICLES ARE PARKED PURSUANT TO SECTION 47-303AC



Project Name: **The Gallery at Flagler Village**
 Fort Lauderdale, FL 33301
 Drawing Title: **PARKING GARAGE EMERGENCY PHOTOMETRIC PLANS 2ND - 4TH LEVEL**
 DRC Submittal



Florida License No. 0001074
Drawn JSC
Project No. 20012.00
CAD File No. 20012.00
Date 8/18/2020
Scale 1/16" = 1'-0"
Drawing No.

PH-2.1