

PROJECT:

SOUTH MIDDLE RIVER LOFTS

1123 NE 4TH AVENUE, Fort Lauderdale, FL 33304



DRC SHEET INDEX

C0	SURVEY SITE PLAN	LA-101	TREE DISPOSITION PLAN
A2-101	FIRST FLOOR PLAN	LA-102	PLANTING PLAN
A2-102	2ND FLOOR & TYPICAL FLOOR PLAN	LA-103	PLANTING PLAN
A2-103	5TH AND MAIN ROOF DECK PLAN	LA-104	LANDSCAPE SPECIFICATIONS AND DETAILS
A5-101	EAST AND WEST ELEVATIONS	LA-105	LANDSCAPE SECTIONS NE 4TH AVE
A5-102	NORTH AND SOUTH ELEVATIONS	LA-106	ILLUSTRATIVE LANDSCAPE SECTIONS A & B
A5-201	EAST AND WEST ELEVATION RENDERING	LA-107	ILLUSTRATIVE LANDSCAPE SECTION C & D
A5-202	NORTH AND SOUTH ELEVATION RENDERING	LA-108	ILLUSTRATIVE LANDSCAPE SECTION E
A9-001	PRELIMINARY RENDERINGS	LA-109	CONTEXTUAL SITE PLAN RENDERING
A9-002	PRELIMINARY RENDERINGS	C2.0	CONCEPTUAL PAVING, GRADING AND DRAINAGE PLAN
A9-003	PRELIMINARY RENDERINGS	C3.0	CONCEPTUAL WATER AND SEWER PLAN
A9-100	AXONOMETRIC VIEW - NORTH EAST	ESC	CONCEPTUAL EROSION & SEDIMENT CONTROL PLAN
A9-101	AXONOMETRIC VIEW - SOUTH EAST		
A9-102	AXONOMETRIC VIEW - NORTH WEST		
A9-103	AXONOMETRIC VIEW - SOUTH WEST		
A9-104	PERSPECTIVE VIEWS		
A9-105	PERSPECTIVE VIEWS		
LS-100	FIRST FLOOR LIFESAFETY PLAN		
LS-101	TYPICAL FLOOR LIFESAFETY PLAN		
A1-102	OPEN SPACE PLAN		
A1-103	PHOTOMETRIC SITE PLAN		



LOCATION SKETCH

SECTION 34, TOWNSHIP 30S, RANGE 42E



PROJECT TEAM:

ARCHITECT
GONZALEZ-ABREU / ALAS ARCHITECTS
1450 MADRUGA AVE., SUITE 400, CORAL GABLES, FL
305.740.7334

CIVIL ENGINEER
FLYNN ENGINEERING SERVICES, PA
241 COMMERCIAL BLVD., LAUDERDALE-BY-THE-SEA, FL
954.522.1004

LANDSCAPE ARCHITECT
GARDNER & SEMLER LANDSCAPE ARCHITECTURE
17670 NW 78TH AVE, SUITE 214, MIAMI, FL
305.392.1016

LAND USE ATTORNEY
LOCHRIE & CHAKAS, P.A.
1401 E BROWARD BOULEVARD, Suite 303, Ft. Lauderdale, FL
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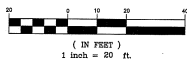
241 COMMERCIAL BLVD., LAUDERDALE-BY-THE-SEA, FL 33308
PHONE: (954) 522-1004 | WWW.FLYNNENGINEERING.COM
EIR/ 6518

Drawn by	MCN	Date	03/05/21
Proj. Mgr.	MDI	Rev. Date	03/05/21
Appr. by	JMF	3rd No.	19-1520.00



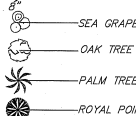
prepared by
McLAUGHLIN ENGINEERING COMPANY (L#285)
1700 N.W. 64th STREET, SUITE 400
FORT LAUDERDALE, FLORIDA, 33309
PHONE: (954) 763-7611 FAX: (954) 763-7615

GRAPHIC SCALE



TREE SYMBOLS

INDICATES DIAMETER & (D.B.H.)



LEGEND

A = CENTRAL ANGLE (DELTA)
A OF = RADIUS
CHB = CHORD BEARING
TALB = TANGENT BEARING
S.O.B. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
M.C.M. = WITH McLAUGHLIN ENGINEERING CO. CAP
P.M. = PERMANENT REFERENCE MONUMENT
C.C. = CONCRETE
C.B.S. = CONCRETE BLOCK AND STUCCO
C.I. = IRIGATION CONTROL VALVE
W.M. = WATER METER
B.F.P. = BACK FLOW PREVENTOR
A.L.P. = ALUMINUM LIGHT POLE
C.L.P. = CONCRETE LIGHT POLE
M.L.P. = METAL LIGHT POLE
W.L.P. = WOOD LIGHT POLE

ELEV. = ELEVATION
A/C = AIR CONDITIONING
G.S. = GENERATOR OF RIGHT-OF-WAY
F.P. = FLORIDA POWER AND LIGHT CO.
S.B.T. = SOUTHERN BELL TELEPHONE
B.C.R. = BROWARD COUNTY RECORDS
B.C.R. = BROWARD COUNTY RECORDS
P.B.R. = PALM BEACH COUNTY RECORDS
C.C. = CONCRETE
P.O.B. = POINT OF BEGINNING
C.I. = IRIGATION CONTROL VALVE
W.M. = WATER METER
B.F.P. = BACK FLOW PREVENTOR
A.L.P. = ALUMINUM LIGHT POLE
C.L.P. = CONCRETE LIGHT POLE
M.L.P. = METAL LIGHT POLE
W.L.P. = WOOD LIGHT POLE

NOTES:

- This survey reflects all easements and rights-of-way, as shown on above referenced record plat(s). The subject property was not obstructed for other easements, road reservations or rights-of-way of record by McLaughlin Engineering Company.
- Underground improvements if any not located.
- This drawing is not valid unless sealed with an embossed surveyor seal.
- Boundary survey information does not infer title or ownership.
- Reference Bench Mark: City of Fort Lauderdale, Bench Mark JNC 127, Elevations 6.503 (1928) converted to 4.803 (1988).
- Elevations shown refer to North American Vertical Datum (1988), and are indicated thus: Elev. = 4.85
- This property lies in Flood Zone "X", Elev. = 6.0 Per Flood Insurance Rate Map No. 120103369 N, dated August 18, 2014, Community Panel No. 125105.
- Elevations per North American Vertical Datum (1988) derived from National Geodetic Vertical Datum (1929) data and converted using U.S. Army Corps of Engineers software (Corpscon 6.0.1) obtained from <http://www.tech.army.mil/>

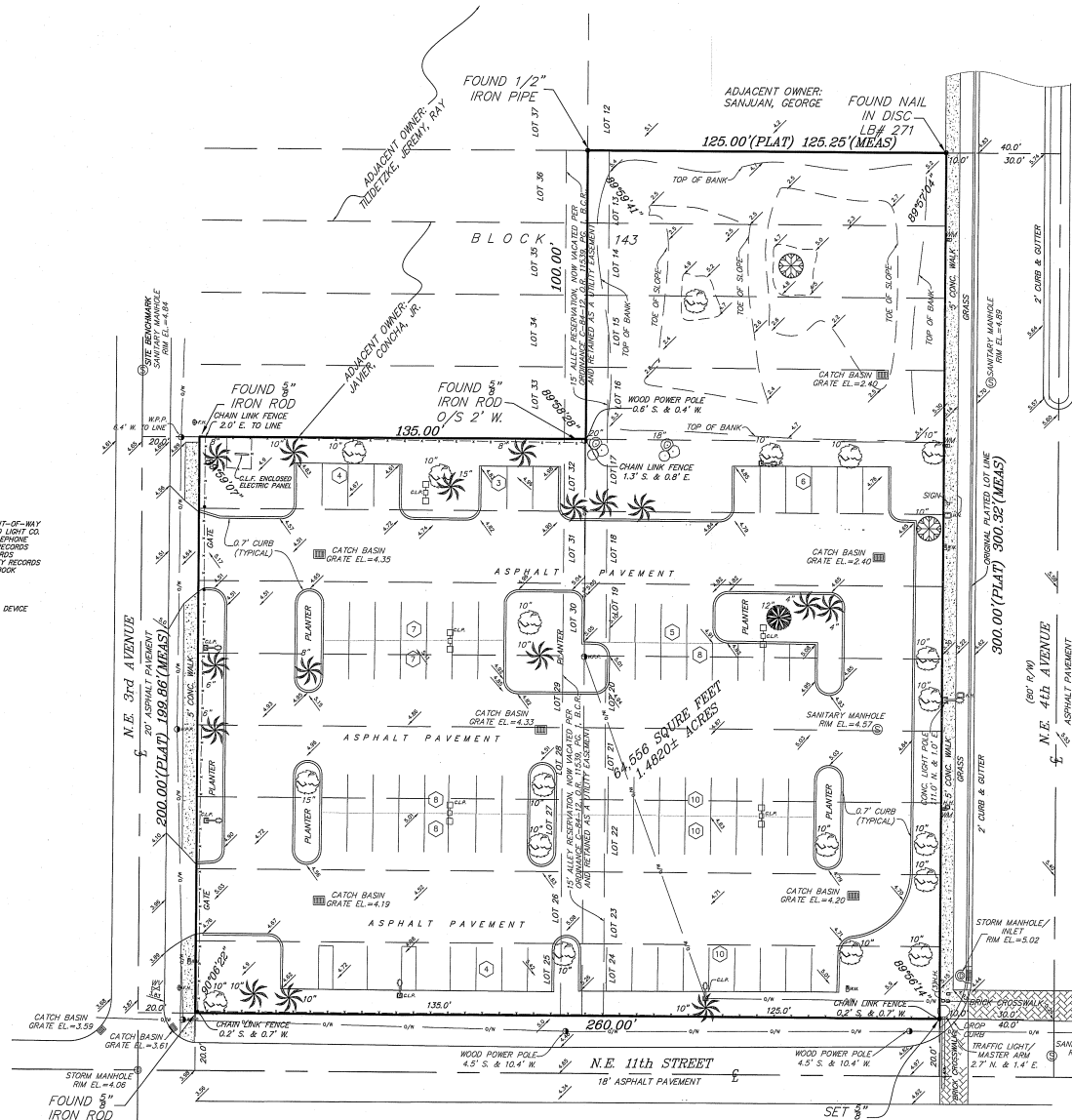
OFFICE NOTES

FIELD BOOK NO. 078, P.101
JOB ORDER NO. V-3128
CHECKED BY: [Signature]
DRAWN BY: RT

ALTA/NSPS LAND TITLE SURVEY

LOTS 13-24, LESS EAST 100' & LOTS 25-32, BLOCK 143

"PROGRESSO", PLAT BOOK 2, PAGE 18, M.D.C.R.



THIS SURVEY

N.W. 10TH STREET	56.0'
39	10
38	11
37	12
36	13
35	14
34	15
33	16
32	17
31	18
30	19
29	20
28	21
27	22
26	23
25	24
N.E. 4th AVENUE	

Location Sketch
Not To Scale

Legal Description

Lots 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, and 24, less THE East 100 feet of said Lot 13 THROUGH 24, INCLUSIVE, and all of Lots 25, 26, 27, 28, 29, 30, 31 and 32, Block 143, PROGRESSO, according to the plat thereof, as recorded in Plat Book 2, Page 18, of the public records of Dade County, Florida.

Said lands situate, lying and being in the City of Fort Lauderdale, Broward County, Florida and containing 64,556 square feet or 1.4820 acres, more or less.

TITLE COMMITMENT NOTES:

There are no other Easements, Road Reservations or Rights-of-Way of Record affecting this property per Chicago Title Insurance Company Order No. 6842861, dated February 22, 2018 at 11:00PM.

6) Matters per Plat Book 2, Page 18, Miami-Dade County Records, affect this property, and as shown.

ALTA/NSPS CERTIFICATION

TO: Chicago Title Title Insurance Company, Joseph M. Balocco, Jr., P.A.; Turnstone/Development Corporation, an Illinois not for profit corporation.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2018 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS.

The fieldwork was done on March 16th, 2018.

CERTIFICATION

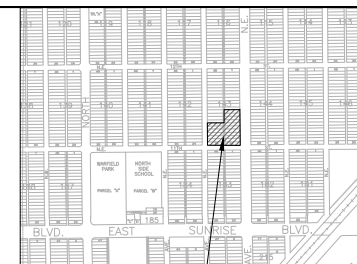
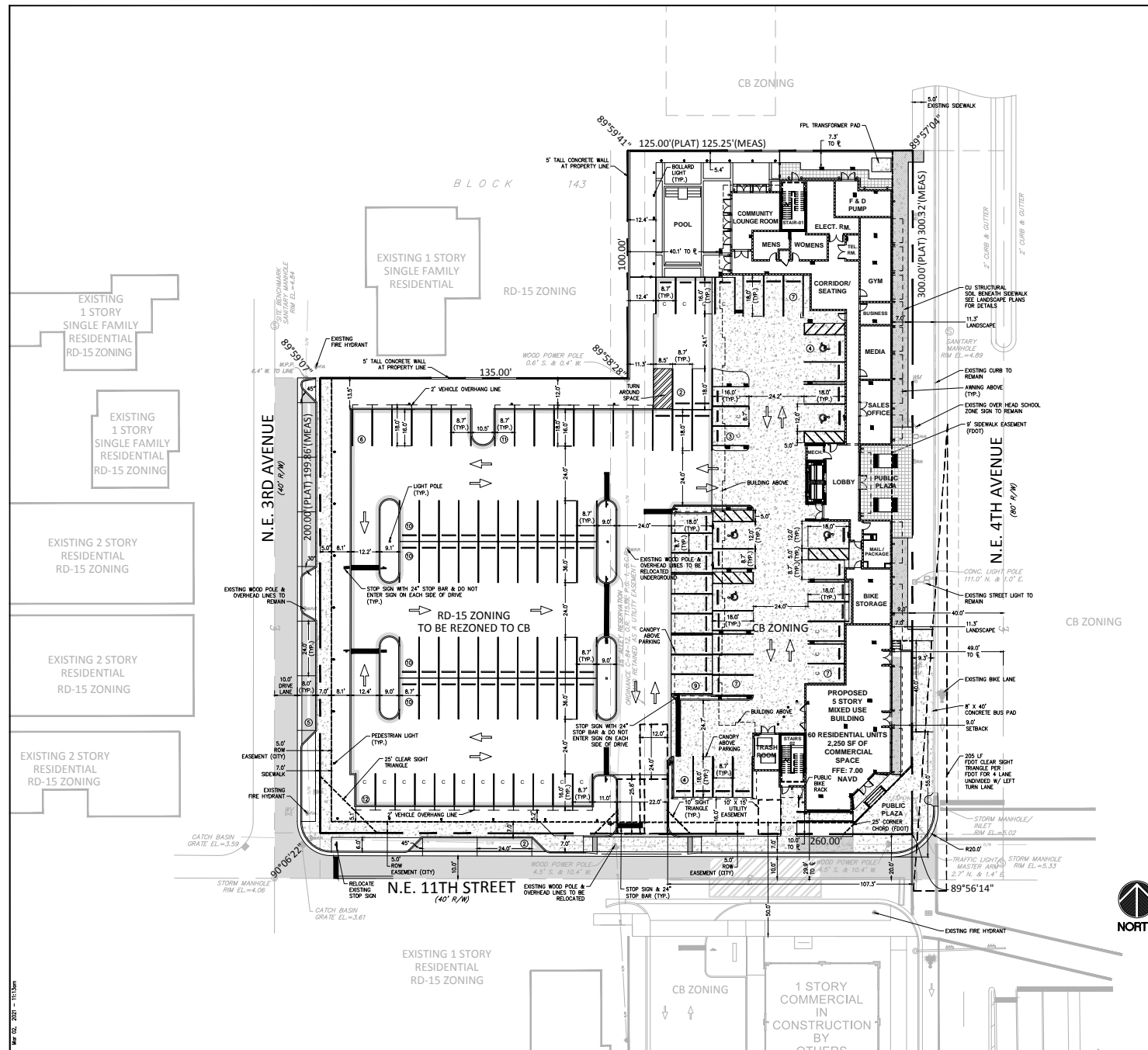
We hereby certify that this survey meets the "Standards of Practice" as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 65-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Dated at Fort Lauderdale, Florida, this 16th day of March, 2018. Revised Easement added this 7th day of October, 2020.

McLAUGHLIN ENGINEERING COMPANY

[Signature]
SERIAL A. McLAUGHLIN
Registered Land Surveyor No. 5269
State of Florida.

FILE NO: 92-3-082/20



SITE PLAN INFORMATION	
CURRENT USE OF PROPERTY	PARKING LOT
CURRENT LAND USE DESIGNATION	COMMERCIAL & MEDIUM RESIDENTIAL
PROPOSED LAND USE DESIGNATION	COMMERCIAL & MEDIUM RESIDENTIAL
PROPOSED ZONING DESIGNATION	C-2 & R-2
PROPOSED ZONING DESIGNATION - EAST	
ALLOCATION ZONING DESIGNATION - WEST	60-15
ALLOCATION ZONING DESIGNATION - NORTH & SOUTH	60-15
WATER/ WASTE WATER SERV. PROVIDER	CITY OF FORT LAUDERDALE
TOTAL SITE AREA (NET)	64,656 SF / 1.482 ACRES
SITE AREA ZONED C-2 (NET)	37,006 SF / 0.8622 ACRES
SITE AREA ZONED R-2 (GROSS)	52,864 SF / 1.2136 ACRES
SITE AREA ZONED R-2 (NET)	27,520 SF / 0.6198 ACRES
AREA 15-15	34,136 SF
TOTAL PERVIOUS PROPOSED (LANDSCAPE)	9,000 SF (13.9%)
TOTAL PERVIOUS	26,404 SF
TOTAL IMPERVIOUS PROPOSED	55,656 SF (86.1%)
TOTAL IMPERVIOUS EXISTING	38,362 SF (59.1%)
TOTAL BUILDING FOOT PRINT PROPOSED	44,000 SF
TOTAL BUILDING SQUARE FOOTAGE PROPOSED	84,702 SF
TOTAL COMMERCIAL SQUARE FOOTAGE PROPOSED	10,000 SF
FLOOR AREA RATIO (F.A.R.)	1.3
NUMBER OF BUILDING STORIES PROPOSED	4
LOT DENSITY	40 UNITS PER GROSS AREA OF C-2 ZONED AND R-2 ZONED LAND
TOTAL BUILDING SQUARE FOOTAGE EXISTING	NONE
BUILDING HEIGHT	54'
NUMBER OF STORIES	5
BUILDING WIDTH	75'-4"
BUILDING LENGTH	198'-8"
EXISTING DRIVEWAYS & ALLEYS	4, 114 SF / 6.4%
LOT COVERAGE	VARIABLES
	20.0% / 29.5%
	30.0% / 41.1%
OPEN SPACE REQUIRED FOR MIXED USE DEVELOPMENT PER LOT	200 SF PER LOT, SEE 47-18.2.14.2
200 SF OF OPEN SPACE REQUIRED PER UNIT	200 SF @ 60 UNITS = 12,000 SF

PARKING DATA	AREA	UNITS	RATIO	REQUIRED	PROVIDED
RESIDENTIAL, 1 BEDROOM		44	1.75	77	77
RESIDENTIAL, 2 BEDROOM		16	2	32	32
SUB TOTAL RESIDENTIAL				109	109
RETAIL	2,250 SF		1/250 SF	9	9
			LOADING ZONE	NONE	NONE
TOTAL PARKING ON-SITE (INCLUDES ADA & COMPACT PARKING REQUIREMENTS)				118	118
TOTAL PUBLIC ON STREET PARKING				-	74
TOTAL PARKING (INCLUDING ON SITE & ON STREET PARKING)				118	118*
COMPACT PARKING SPACES (MEET OR EXCEEDS REQUIREMENT FOR COMMERCIAL PARKING PER 402-20.1.1.5, AS THE PROPERTY IS LOCATED IN THE CENTRAL CITY ZONE)				24	22
			TOTAL ADA PARKING	5	5

* ON STREET SPACES ARE USED TO SATISFY PARKING REQUIREMENT FOR COMMERCIAL PARKING

SETBACK TABLE	REQUIRED 47'-13.21	PROVIDED
SIDE YARD (NORTH)	NONE	7.3'
FRONT YARD (EAST) - N.E. 4TH AVENUE	5'	9.0'
FRONT YARD (SOUTH) - NE 11TH STREET	5'	10.0'
	REQUIRED 47'-25.3	
REAR YARD (WEST)	27'	40.1'

LEGAL DESCRIPTION

LOTS 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, AND 24, LESS THE EAST 10 FEET OF SAID LOTS 13 THROUGH 24, INCLUSIVE, AND ALL OF LOTS 25, 26, 27, 28, 29, 30, 31 AND 32 BLOCK 143, PROGRESSO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 18, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA AND CONTAINING 64,556 SQUARE FEET OR 1.4820 ACRES, MORE OR LESS.

SECURITY NOTES:
THE FOLLOWING ITEMS SHALL BE CONSIDERED DURING THE COURSE OF PERMIT DOCUMENT DEVELOPMENT:

1. UNIT ENTRY DOORS SHALL BE SOLID AND WILL HAVE A 180° PEEPHOLE.
2. ENTRY DOORS SHALL HAVE A SECONDARY DEADBOLT.
3. SLIDING GLASS DOORS TO HAVE BURGLARY DETERRENT FEATURES, SUCH AS TRACK BLOCK, DOOR PIN OR SIMILAR DEVICES THAT IS COMPATIBLE WITH THE IMPACT-RATED SYSTEM.
4. ALL GLAZING SHALL BE IMPACT RESISTANT.
5. PRE-WIRING FOR ALARM SYSTEM.
6. LIGHTING AND LANDSCAPING SHALL FOLLOW OPTED GUIDELINES.
7. STAIRS SHALL BE EGRESS ONLY AT GROUND LEVEL.
8. POOL AREA WILL BE EQUIPPED WITH A CHILD PROOF ACCESS CONTROL FEATURE AS REQUIRED BY THE FLORIDA BUILDING CODE.
9. CCTV SYSTEM SHALL COVER ENTRY/EXIT POINTS, ELEVATORS, PARKING GARAGE, HALLWAYS AND COMMON AREAS. IT SHOULD BE CAPABLE OF RETRIEVING AN IDENTIFIABLE IMAGE OF A PERSON.
10. EMERGENCY COMMUNICATION DEVICES SHOULD BE PLACED IN THE PARKING GARAGE, POOL AND COMMON AREAS.
11. LIGHT REFLECTING PAINT SHOULD BE USED IN PARKING AREAS TO INCREASE VISIBILITY AND SAFETY.
12. ALL RESTRICTED AREAS AND RESIDENT ONLY AREAS SHOULD BE ACCESS CONTROLLED AND LABELED AS SUCH.
13. ELEVATORS SHOULD BE ACCESS CONTROL AND LABELED AS SUCH TO INDICATE RESIDENT ACCESS ONLY.
14. PARKING AREAS SHOULD HAVE ACCESS CONTROL SEPARATING PRIVATE RESIDENTIAL PARKING FROM PUBLIC ACCESS PARKING.
15. STOREFRONT DOORS AND COMMON AREA DOORS SHALL BE LOCKABLE FROM THE INSIDE.
16. PRIVATE SECURITY ARRANGEMENTS SHALL BE CONSIDERED DURING CONSTRUCTION.

FIRE PROTECTION:
BUILDING SHALL HAVE A FIRE PROTECTION SYSTEM COMPLYING WITH FBC 2020, 7th ED. CHAPTER 9, THE FLORIDA FIRE PREVENTION CODE 2020, 7th ED. THE SYSTEM SHALL BE MONITORED BY AN APPROVED SUPERVISING STATION AND SHALL CONTAIN AN AUTOMATIC SPINKLER SYSTEM AND A FIRE ALARM SYSTEM.

GENERAL BUILDING HEIGHT AND AREAS

BUILDING HEIGHT:
FBC TABLE 504.2a - ALLOWABLE BUILDING HEIGHT ABOVE GRADE:
OCCUPANCY ALLOWABLE PROVIDED
R 180'-0" 54'-0"
B 180'-0" 54'-0"

NUMBER OF STORIES:
FBC TABLE 504.4 - ALLOWABLE NUMBER OF STORIES ABOVE GRADE:
OCCUPANCY ALLOWABLE PROVIDED
R 2 12
B 2 5

ALLOWABLE AREA:
FBC TABLE 506.2 - ALLOWABLE AREA FACTOR:
OCCUPANCY ALLOWABLE PROVIDED
R 2 81,833 SF
B 2 2,374 SF

AREA IS DIVIDED AS PER FBC 506.2.4 - MIXED OCCUPANCY, MULTISTORY BUILDING.
PER TABLE 508.4, THE REQUIRED FIRE SEPARATION BETWEEN R- AND B- OCCUPANCIES SHALL BE 1 HOUR. FIRE SEPARATION BETWEEN GARAGE PORTION UNDERNEATH BUILDING (S-2) AND B AND R OCCUPANCIES SHALL BE 1 HOUR.

FIRE RESISTANCE RATING REQUIREMENTS
PER TABLE 601:
TYPE I-B
PRIMARY STRUCTURAL FRAME: 2 HOUR RATING
BEARING WALLS (EXTERIOR): 2 HOUR RATING
BEARING WALLS (INTERIOR): 2 HOUR RATING
NON-BEARING WALLS (EXTERIOR): **PER TABLE 602
NON-BEARING WALLS (INTERIOR): 0 HOUR RATING
FLOOR CONSTRUCTION: 2 HOUR RATING
ROOF CONSTRUCTION: 1 HOUR RATING

PER TABLE 602:
FIRE SEPARATION DISTANCE:
X < 5: 1 HOUR RATING
5 ≤ X < 10: 1 HOUR RATING
10 ≤ X < 30: 1 HOUR RATING
X ≥ 30: 0 HOUR RATING

** OPEN PARKING GARAGE COMPLYING WITH 406 DO NOT REQUIRE A FIRE RATING.

SITE DATA:
ZONING: CB
OCCUPANCY: MIXED-USE
RESIDENTIAL
B - BUSINESS
FLOOD ZONE: AH (6.0' NAVD)

SITE INFORMATION & NOTES:
SURVEY NOTES:
BASED ON THE INFORMATION PROVIDED BY:
MCLAUGHLIN ENGINEERING COMPANY

LEGAL DESCRIPTION:
SAID LOTS 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, AND 24, LESS THE EAST 10 FEET OF SAID LOTS 13 THROUGH 24 INCLUSIVE, AND ALL OF LOTS 25, 26, 27, 28, 29, 30, 31, AND 32, BLOCK 143, PROGRESSO, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 18, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

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CLASSIFICATION OF WORK
NEW CONSTRUCTION

CONSTRUCTION TYPE
TYPE I - B CONSTRUCTION, FULLY SPRINKLERED AND MONITORED.

CODES USED:
FLORIDA BUILDING CODE, 7TH EDITION, 2020
FLORIDA BUILDING CODE ACCESSIBILITY & FAIR HOUSING, 7TH EDITION, 2020
FLORIDA BUILDING CODE PLUMBING, 7TH EDITION, 2020
FLORIDA BUILDING CODE MECHANICAL, 7TH EDITION, 2020
FLORIDA FIRE PREVENTION CODE, 7TH EDITION 2020
NEC, 2020

Owner

SOUTH MIDDLE RIVER LOFTS

1123 NE 4TH AVE
FORT LAUDERDALE, FL
33304

Project No:
1911



Gonzalez - Abreu Alas, Inc.
Architects
1450 Madinga Ave
Suite 400
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(305) 740-7334
Lic: A-14002495

Carlos Gonzalez - Abreu
Architect
Lic: # AR 0014298

REVISIONS

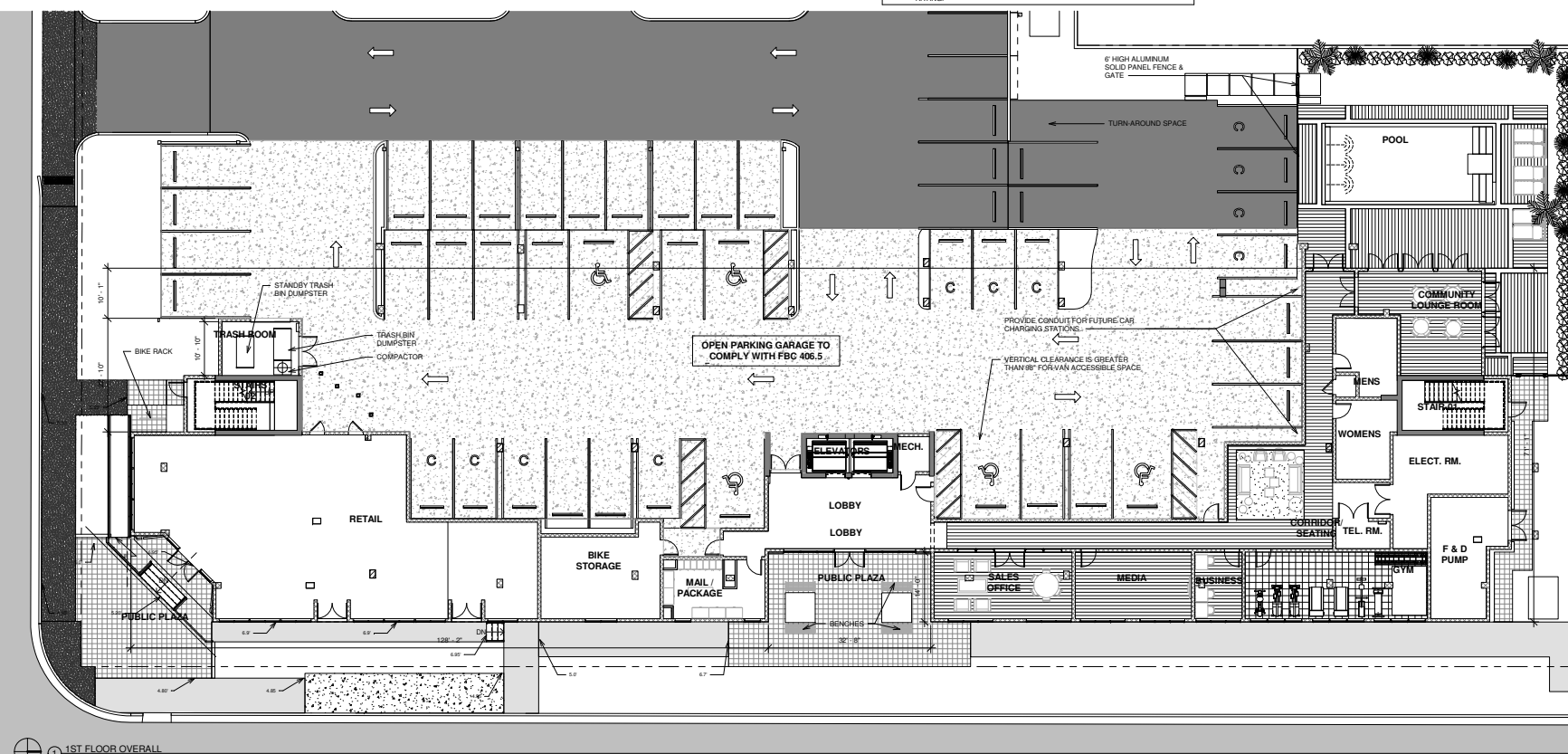
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SHEET TITLE
FIRST FLOOR PLAN

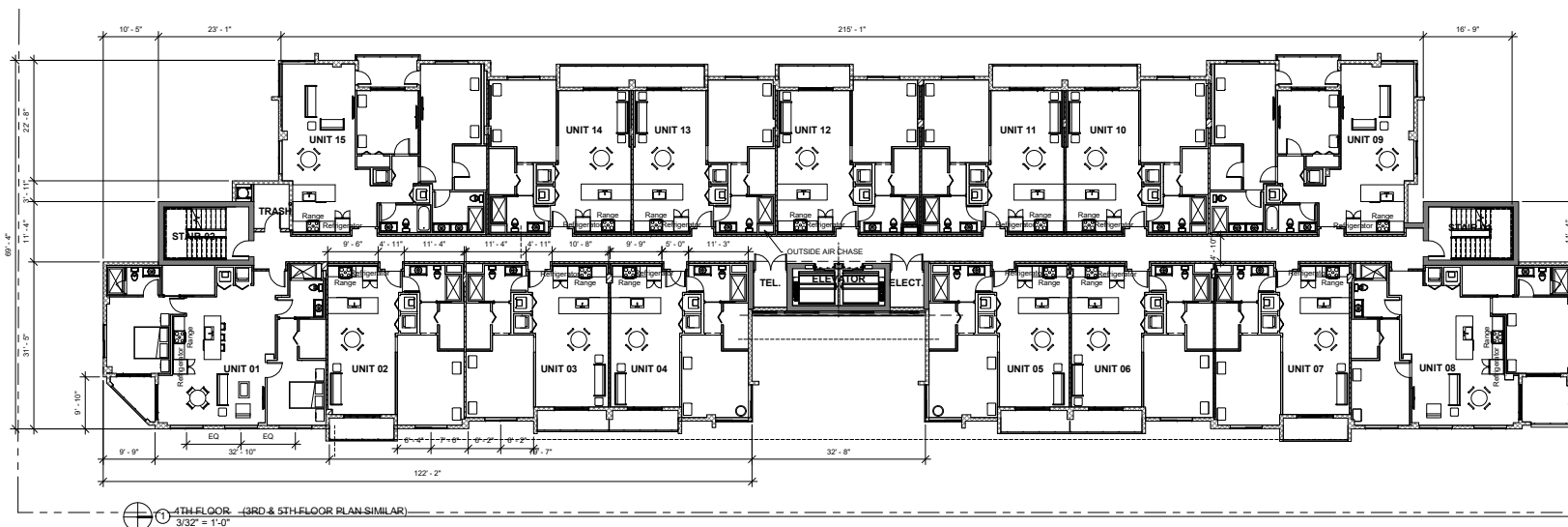
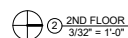
DATE
02.05.2021

SHEET
A2-101

(c) G.A.A. Inc. 2019



1ST FLOOR OVERALL
3/32" = 1'-0"



SOUTH MIDDLE RIVER LOFTS

Project No:

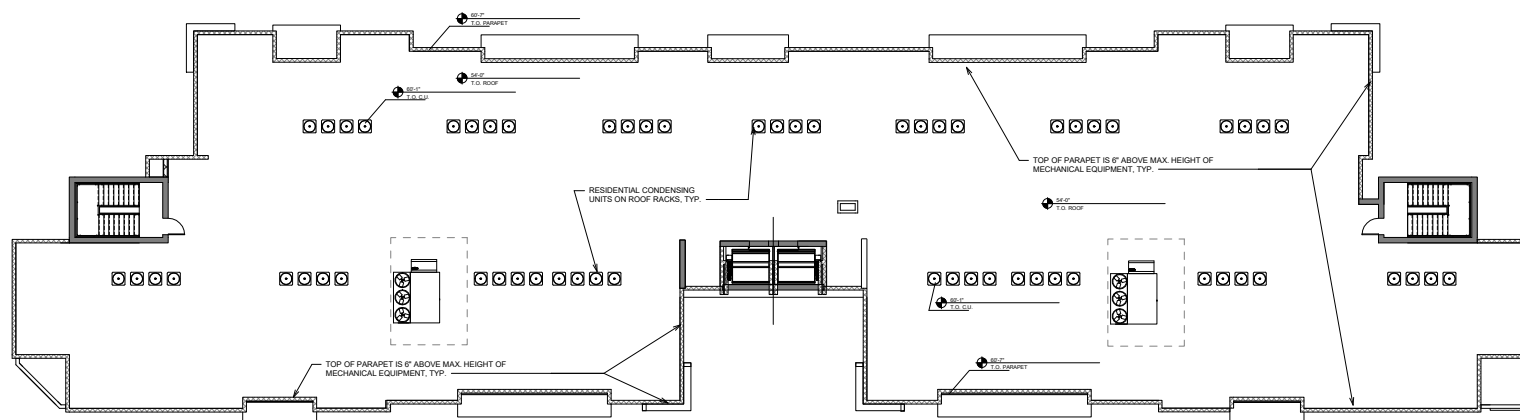
REVISIONS	
	Description

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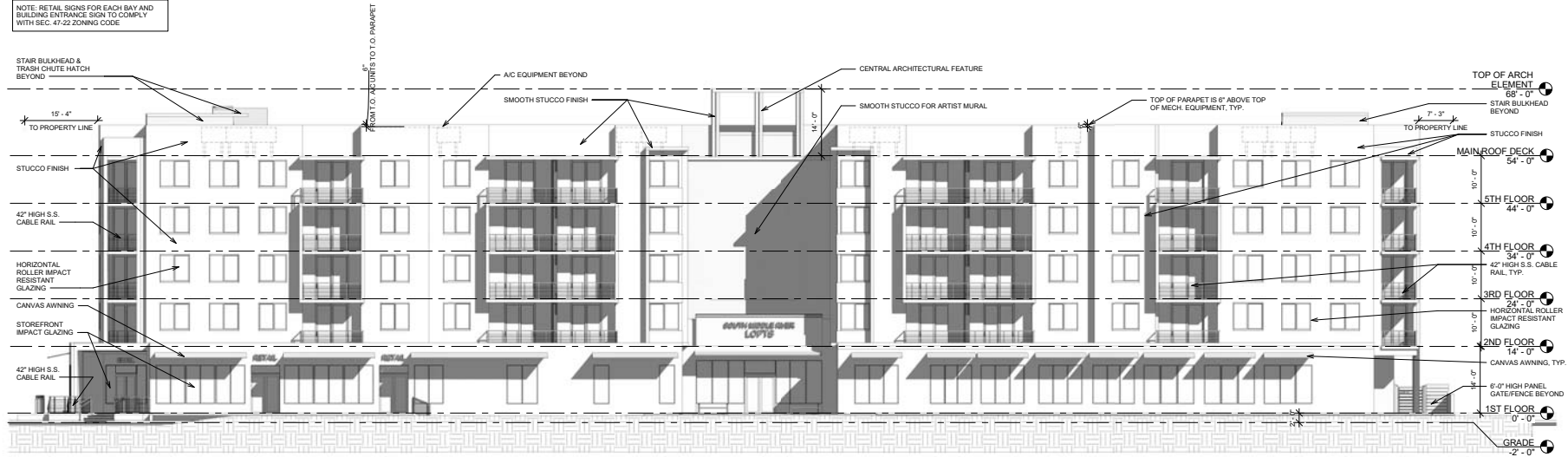
MY PROPOSITION FOR JUDGMENT AND TO THE BEST OF

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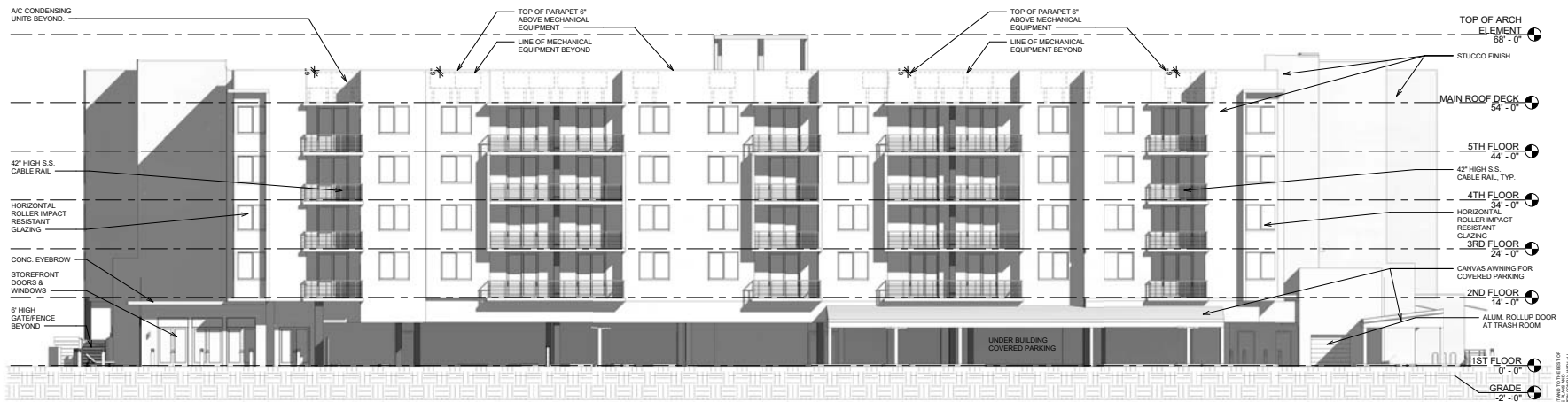


② MAIN ROOF DECK
3/32" = 1'-0"

NOTE: RETAIL SIGNS FOR EACH BAY AND BUILDING ENTRANCE SIGN TO COMPLY WITH SEC. 47-22 ZONING CODE



① EAST ELEVATION
3/32" = 1'-0"



② WEST ELEVATION
3/32" = 1'-0"

Owner
SOUTH MIDDLE RIVER LOFTS

1123 NE 4TH AVE
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Gonzalez - Abreu
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Lic: A-AM000495

Carlos Gonzalez Abreu
Architect
Lic: # AR 0014298

REVISIONS

No.	Description	Date

SHEET TITLE
EAST AND WEST ELEVATIONS

DATE
02.05.2021

SHEET
A5-101

(c) G.A.A. Inc. 2019

SOUTH MIDDLE RIVER LOFTS

1911

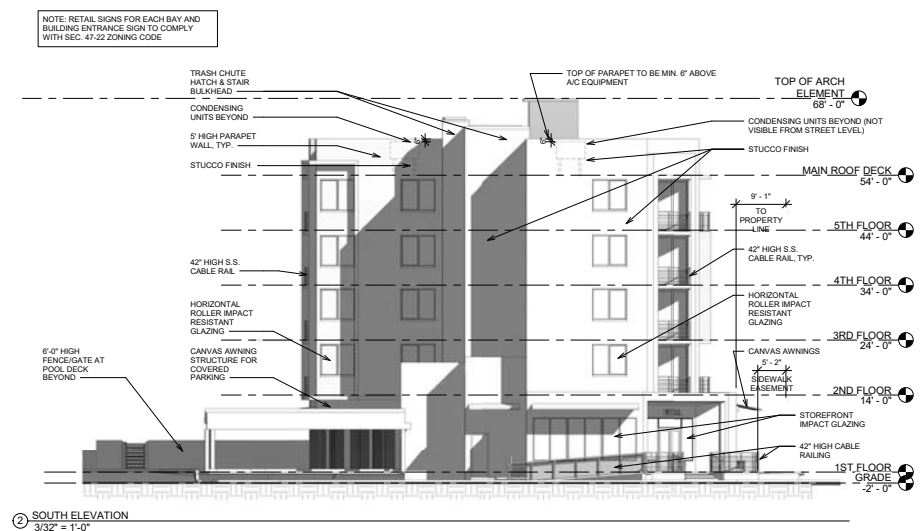


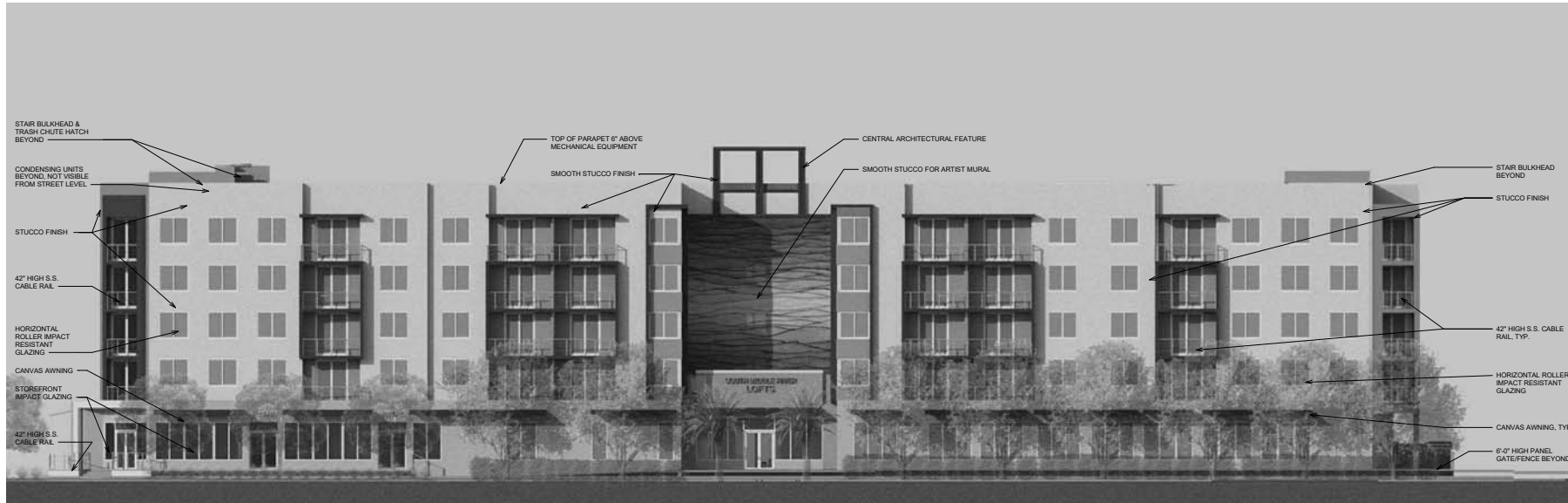
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Owner

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33304

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1911



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Lic: A-00002495

Carlos Gonzalez Abreu
Architect
Lic: # AR 0014298

REVISIONS

No.	Description	Date

SHEET TITLE EAST AND WEST ELEVATION RENDERING

DATE
02.05.2021

SHEET
A5-201

(c) G.A.A. Inc. 2019



Owner

**SOUTH MIDDLE
RIVER LOFTS**

1123 NE 4TH AVE
FORT LAUDERDALE, FL
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Carlos Gonzalez-Abreu
Architect
Lic. # AR 0014298

REVISIONS

[illegible]

SHEET TITLE
PRELIMINARY
RENDERINGS

DATE
02.05.2021

SHEET
A9-002

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IN MY PROFESSIONAL JUDGEMENT AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE PLANS AND SPECIFICATIONS CONTAINED HEREIN COMPLY WITH ALL APPLICABLE BUILDING CODES.

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MY PROCESS KNEW, ADJUSTMENT AND TO THE BEST OF

CAM #21-0743
Exhibit 4
Page 19 of 38

*OCCUPANY TYPE: MIXED-USE

GROUP B - SPRINKLERED CEILINGS

- EXIT PASSAGEWAY
- EXIT ACCESS
- ROOMS AND OTHER SPACES

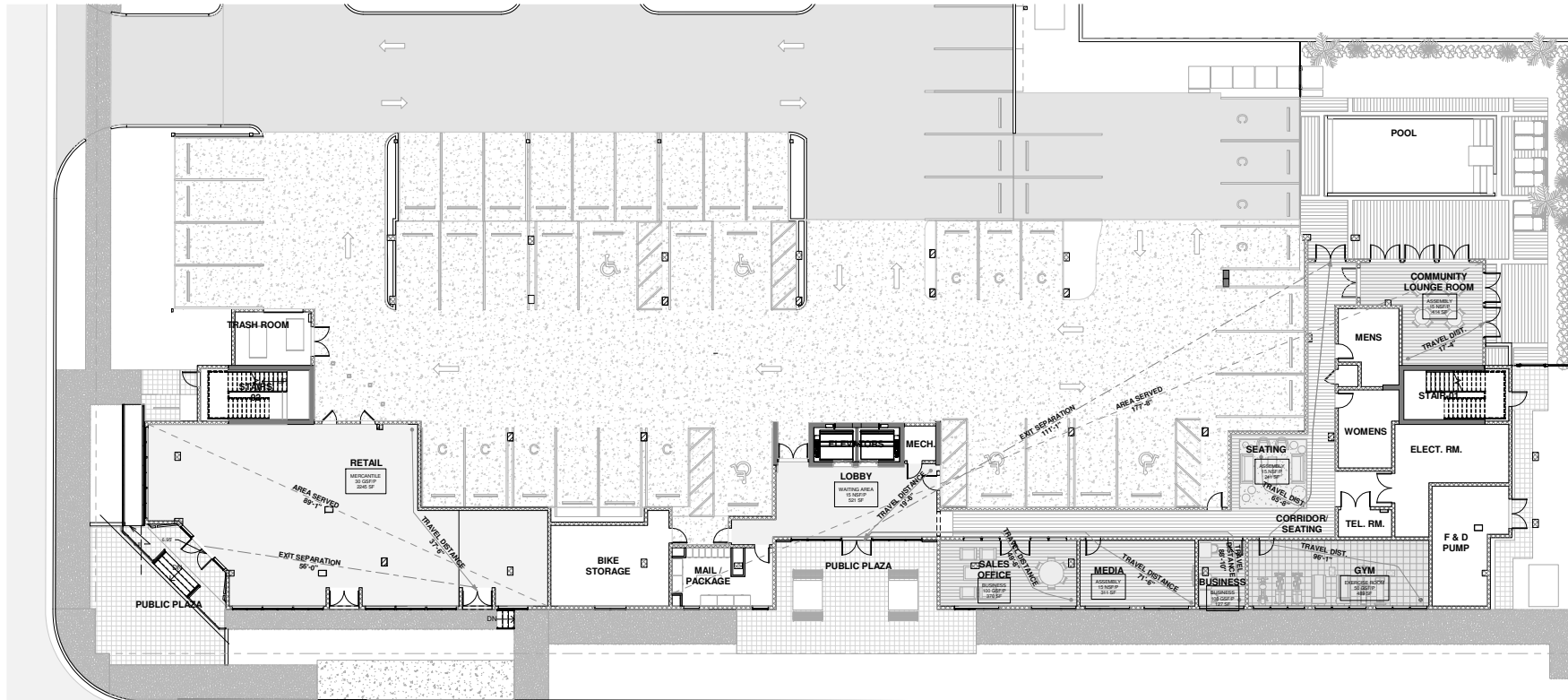
FLOORS (FBC 804.4.1)
GROUP B
CEILINGS

LIFE SAFETY OCCUPANCY CHART																
		MAXIMUM OCCUPANT CODE (FBC TABLE 1004.1.2 & NFPA TABLE 7.1.1.2)				MIN. RECD.		PROVIDED WIDTH (INCH)		FBC TABLE 1017.2 & TABLE 1006.2.1 & TABLE 1017.2						
						0.7'	0.9'			TRAVEL DISTANCE	COMMON PATH		EXIT SEPARATION			
OCCUPANCY	NAME	NUMBER	OCCUPANCY LOAD	AREA	TOTAL PEOPLE	DOOR	STAR	DOOR	STAR	AREA SERVED	ALLOWED	PROVIDED	ALLOWED	PROVIDED		
MERCANTILE	RETAIL	200	1 PERSON/30 GSF	2,245 SF	61	12"	N/A	72"	N/A	89'-1"	250'	37'-6"	N/A	N/A	30'-0"	56'-0"
BUSINESS	SALES OFFICE	200	1 PERSON/100 GSF	370 SF	4	0.8"	N/A	72"	N/A	177'-8"	300'	49'-8"	N/A	N/A	54'-4"	111'-1"
	BUSINESS OFFICE	200	1 PERSON/100 GSF	127 SF	2	0.4"	N/A	72"	N/A	177'-8"	300'	88'-10"	N/A	N/A	54'-4"	111'-1"
ASSEMBLY	COMM. LOUNGE	202	1 PERSON/15 NSF	414 SF	28	5.4"	N/A	72"	N/A	177'-8"	250'	17'-4"	N/A	N/A	54'-4"	111'-1"
	MEDIA	200	1 PERSON/15 NSF	211 SF	15	2.8"	N/A	72"	N/A	177'-8"	250'	71'-6"	N/A	N/A	54'-4"	111'-1"
	SEATING	200	1 PERSON/15 NSF	241 SF	17	3.2"	N/A	72"	N/A	177'-8"	250'	65'-8"	N/A	N/A	54'-4"	111'-1"
	LOBBY	200	1 PERSON/15 NSF	520 SF	35	6.8"	N/A	72"	N/A	177'-8"	250'	19'-6"	N/A	N/A	54'-4"	111'-1"
EXERCISE	GYM	200	1 PERSON/50 GSF	489 SF	10	1.8"	N/A	72"	N/A	177'-8"	250'	96'-1"	N/A	N/A	54'-4"	111'-1"
B, A, E - TOTAL				2,372 SF	172	21.2"	N/A	72"	N/A							

1. ALL LIFE SAFETY SYSTEMS WILL REMAIN IN PLACE DURING ACTIVE DEMOLITION AND CONSTRUCTION.

2. EGRESS PATHWAYS AND DOORS SHALL REMAIN FREE AND CLEAR AT ALL TIMES.
3. BUILDING IS EQUIPPED WITH A SUPERVISED/MONITORED FIRE ALARM SYSTEM AND A FIRE SMOKE SYSTEM.
4. IF APPLICABLE, DUCT SMOKE DETECTOR SHALL SET FIRE ALARM INTO SUPERVISORY MODE, AND THE REMOTE TEST SWITCH SHALL BE PROVIDED WITH AN LED INDICATOR, LOCATED IN A NORMALLY OCCUPIED AREA 48" A.F.F.
5. PROVIDE A SIGN "MAXIMUM CAPACITY 15 PEOPLE" THAT COMPLIES WITH NFPA-101:12.7.8.3.

NOTE: WALK SURFACES OF THE MEANS OF EGRESS SHALL HAVE A SLIP-RESISTANT SURFACE AND BE SECURELY ATTACHED AS PER FBC 2020 SECTION 1003.4



① 1ST FLOOR LIFESAFETY
3/32" = 1'-0"

(c) G.A.A. Inc. 2019

IN MY PROFESSIONAL JUDGMENT AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE PLANS AND SPECIFICATIONS CONTAINED HEREIN COMPLY WITH ALL

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SOUTH MIDDLE RIVER LOFTS

1911

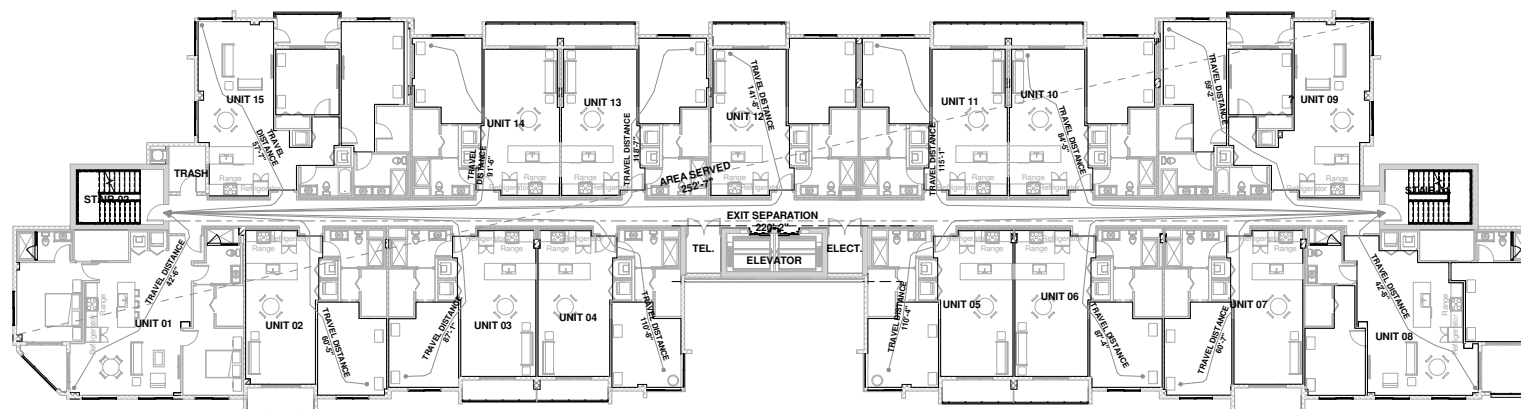


8

NOTES:

1. **ALL LIFE-SAFETY SYSTEMS WILL REMAIN IN PLACE DURING ACTIVE DEMOLITION AND CONSTRUCTION.**
2. **EGRESS IS PATHWAYS AND DOORS SHALL REMAIN FREE AND CLEAR AT ALL TIMES.**
3. **BUILDING IS EQUIPPED WITH A SUPERVISED/MONITORED FIRE ALARM SYSTEM AND A FIRE SPRINKLER SYSTEM.**
4. **IF APPLICABLE, DUCT SMOKE DETECTOR SHALL SET FIRE ALARM INTO SUPERVISORY MODE, AND THE REMOTE TEST SWITCH SHALL BE PROVIDED WITH AN LED INDICATOR THAT IS NORMALLY OCCUPIED AREA 44" X 66" X 10" WITH A MAXIMUM CAPACITY 15 PEOPLE THAT COMPLIES WITH NFPA-101-12.7.8.3.**

NOTE: WALL SURFACES OF THE MEANS OF EGRESS SHALL HAVE A SLIP-RESISTANT SURFACE AND BE PROPERLY MAINTAINED AS PER FBC 2000 SECTION 1000.4

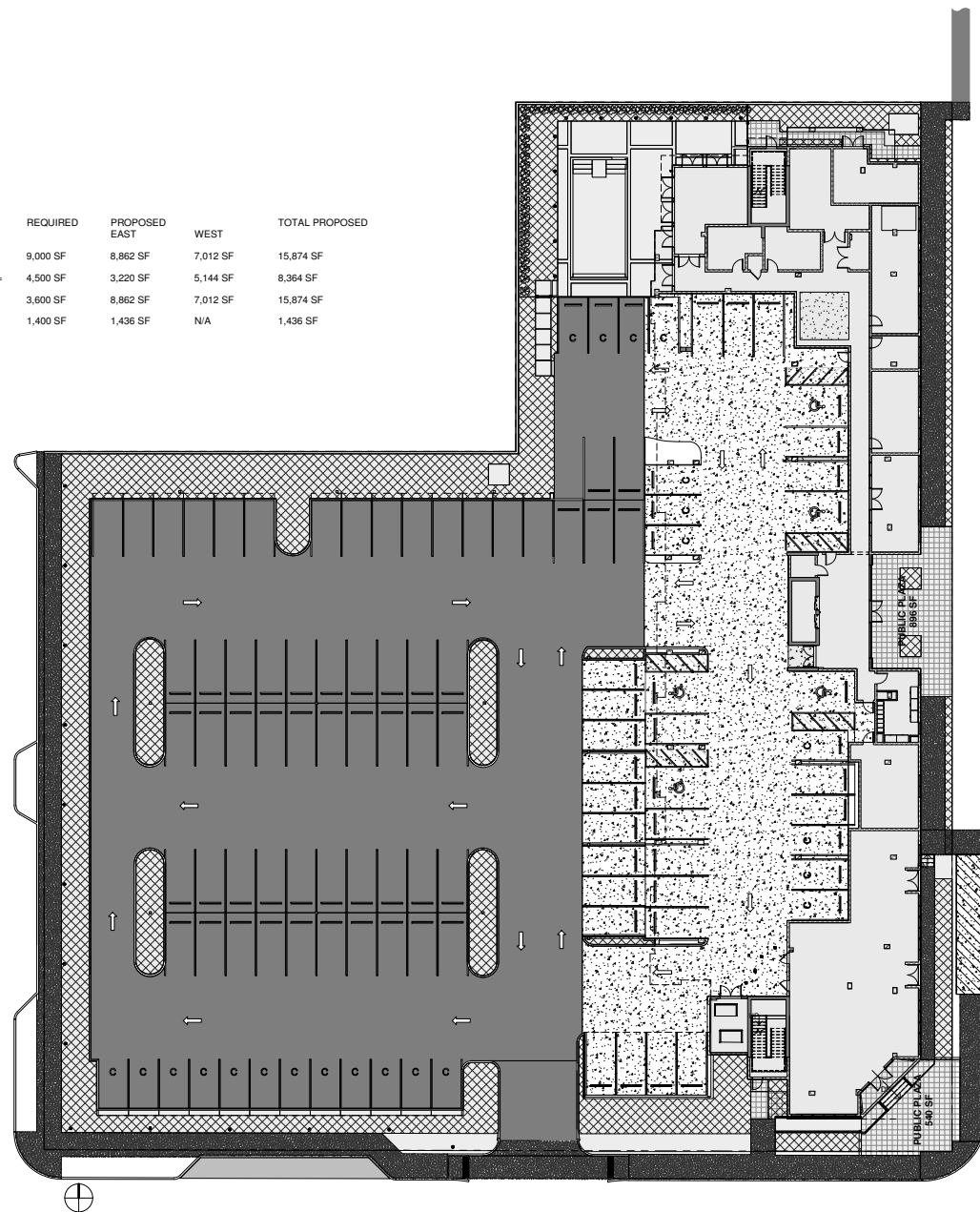


① TYPICAL FLOOR - LIFE SAFETY PLAN
3/32" = 1'-0"

Page 21 of 38

☐ REQUIRED OPEN SPACE: 150 SF PER UNIT: 60 UNITS =
☒ 50% OF REQUIRED OPEN SPACE TO BE LIVING MATERIAL =
 40% OF REQUIRED OPEN SPACE TO BE AT GRADE =
 PUBLIC PLAZA

REQUIRED	PROPOSED EAST	WEST	TOTAL PROPOSED
9,000 SF	8,862 SF	7,012 SF	15,874 SF
4,500 SF	3,220 SF	5,144 SF	8,364 SF
3,600 SF	8,862 SF	7,012 SF	15,874 SF
1,400 SF	1,436 SF	N/A	1,436 SF



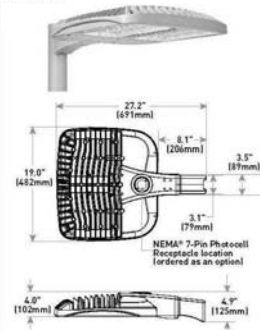
① OPEN SPACE PLAN - SITE PLAN
1/16" = 1'-0"

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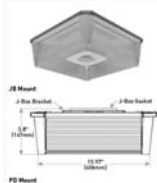
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Rev. Date: V27 06/09/2020



FIXTURE 'S' - PARKING LOT POLE LIGHT FIXTURE



FIXTURE 'G' - COVERED PARKING (UNDER BUILDING) LIGHT FIXTURE



FIXTURE 'B' - POOL DECK BOLLARD LIGHT FIXTURE



FIXTURE 'W1' - POOL DECK WALL LIGHT FIXTURE



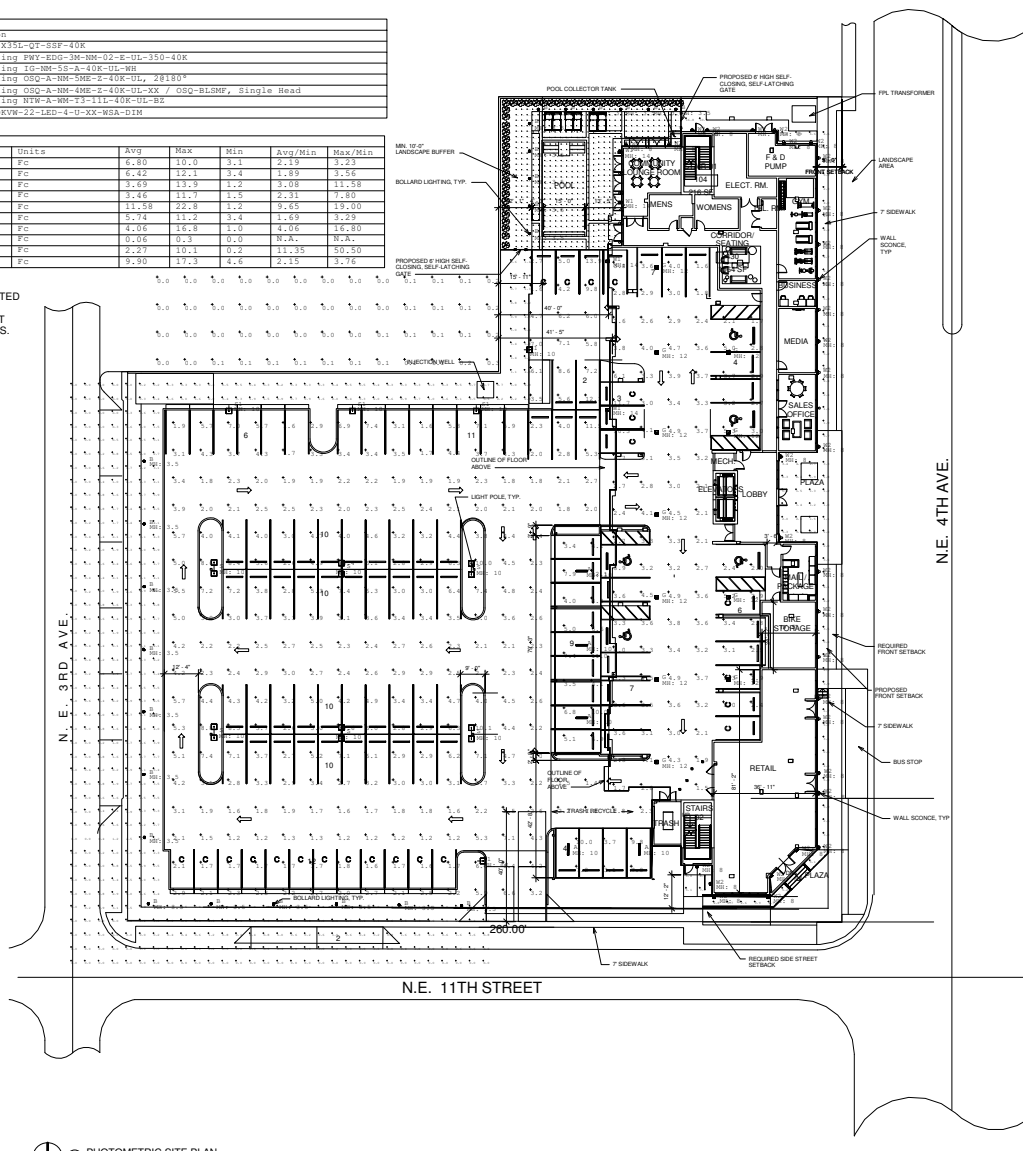
FIXTURE 'W2' - EXTERIOR WALL SCONCE LIGHT FIXTURE


Luminaire Schedule				
Symbol	Qty	Label	Arrangement	LLF Description
	5	A	SINGLE	ELYP V78-4X35L-Q7-SFF-40K
	24	B	SINGLE	Cree Lighting PWV-EGD-3M-WM-02-E-UL-350-40K
	11	G	SINGLE	Cree Lighting LG-WM-5S-A-40K-UL-40K
	6	S	DISH	Cree Lighting QGQ-A-WM-SME-C-WR-UL, 20'180'
	2	A1	SINGLE	Cree Lighting QGQ-A-WM-SME-C-WR-UL-XX / QSD-BLSMF, Single Head
	3	W1	SINGLE	Cree Lighting HTA-A-WM-V77-11-40K-UL-A2
	32	W2	SINGLE	Lightway DKVW-22-LED-4-0-XX-WMA-DIM

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Avening #1	ILLUMINANCE		6.80	10.0	1.1	2.28	3.23
Avening #2	ILLUMINANCE		6.42	9.0	1.2	2.25	3.54
Open Parking Lot	ILLUMINANCE		3.69	13.9	1.2	3.08	11.58
Parking Garage	ILLUMINANCE		2.66	10.0	1.0	2.66	8.0
Pool Deck	ILLUMINANCE		11.58	22.8	1.2	9.65	19.0
Pool Surface	ILLUMINANCE		5.74	11.2	3.4	1.69	3.29
Hidewalk	ILLUMINANCE		4.06	10.0	1.0	4.06	8.0
Spill	ILLUMINANCE		0.06	0.3	0.0	N.A.	N.A.
To Property Line	ILLUMINANCE		2.27	10.1	0.2	11.35	50.59
Net Deck	ILLUMINANCE		9.90	13.9	1.2	11.62	11.58

NOTES:

1. LIGHT FIXTURE MOUNTING HEIGHT IS INDICATED ON PLAN.
2. FIXTURES ARE DESIGNED TO PREVENT LIGHT DISTRIBUTION TO NEIGHBORING PROPERTIES. ALL LIGHTING IS CONTAINED WITHIN THE PROPERTY LINES.




 1 PHOTOMETRIC SITE PLAN
 3/64" = 1'-0"

FIXTURE "W" - WALL MOUNTED LIGHT FIXTURE

1123 NE 4TH AVE
FORT LAUDERDALE, FL
33304

Project No:

1911



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Lic: AA0002495

Carlos Gonzalez-Abreu
Architect
Lic. # AR 0014298

REVISIONS

[illegible]

SHEET TITLE
PHOTOMETRIC SITE
PLAN

DATE
02.05.2021

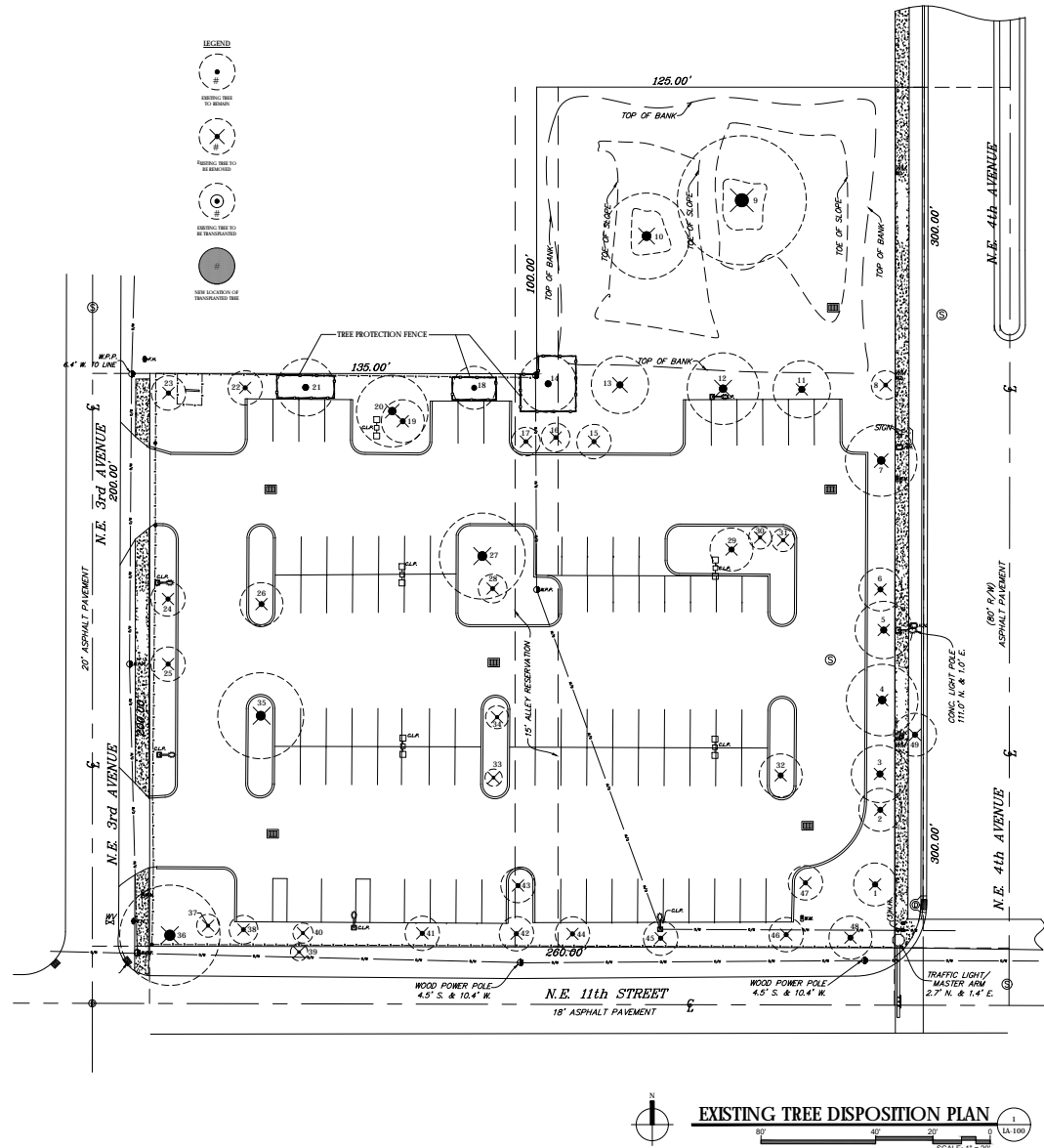
SHEET
A1-103

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EXISTING TREE DISPOSITION LIST											
			SIZE			DISPOSITION			Condition	Tree Classification	Mitigation Required or (Caliper Inches)
REF	STANDARD NAME	COMMON NAME	HT (ft)	SPR (in)	DBH (in)	REMAIN	REMOVE	TRANSPL			
1	Red alder	Manzanita	25	15	128	X			Good	30	
2	Red alder	Manzanita	25	15	128	X			Good	30	
3	Red alder	Manzanita	25	15	128	X			Good	30	
4	Red alder	Manzanita	25	15	128	X			Good	30	
5	Red alder	Manzanita	25	15	128	X			Good	30	
6	Red alder	Manzanita	25	15	128	X			Good	30	
7	Red alder	Manzanita	25	15	128	X			Good	30	
8	Red alder	Manzanita	25	15	128	X			Good	30	
9	Red alder	Manzanita	25	15	128	X			Good	30	
10	Red alder	Manzanita	25	15	128	X			Good	30	
11	Red alder	Manzanita	25	15	128	X			Good	30	
12	Red alder	Manzanita	25	15	128	X			Good	30	
13	Red alder	Manzanita	25	15	128	X			Good	30	
14	Red alder	Manzanita	25	15	128	X			Good	30	
15	Red alder	Manzanita	25	15	128	X			Good	30	
16	Red alder	Manzanita	25	15	128	X			Good	30	
17	Red alder	Manzanita	25	15	128	X			Good	30	
18	Red alder	Manzanita	25	15	128	X			Good	30	
19	Red alder	Manzanita	25	15	128	X			Good	30	
20	Red alder	Manzanita	25	15	128	X			Good	30	
21	Red alder	Manzanita	25	15	128	X			Good	30	
22	Red alder	Manzanita	25	15	128	X			Good	30	
23	Red alder	Manzanita	25	15	128	X			Good	30	
24	Red alder	Manzanita	25	15	128	X			Good	30	
25	Red alder	Manzanita	25	15	128	X			Good	30	
26	Red alder	Manzanita	25	15	128	X			Good	30	
27	Red alder	Manzanita	25	15	128	X			Good	30	
28	Red alder	Manzanita	25	15	128	X			Good	30	
29	Red alder	Manzanita	25	15	128	X			Good	30	
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95	Red alder	Manzanita	25	15	128	X			Good	30	
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97	Red alder	Manzanita	25	15	128	X			Good	30	
98	Red alder	Manzanita	25	15	128	X			Good	30	
99	Red alder	Manzanita	25	15	128	X			Good	30	
100	Red alder	Manzanita	25	15	128	X			Good	30	
GRAND TOTAL CALIPER INCHES REPLACEMENT											
MITIGATION INVOICES											
11											



**SOUTH MIDDLE
RIVER LOFTS**

Project No:

Gonzalez - Abreu

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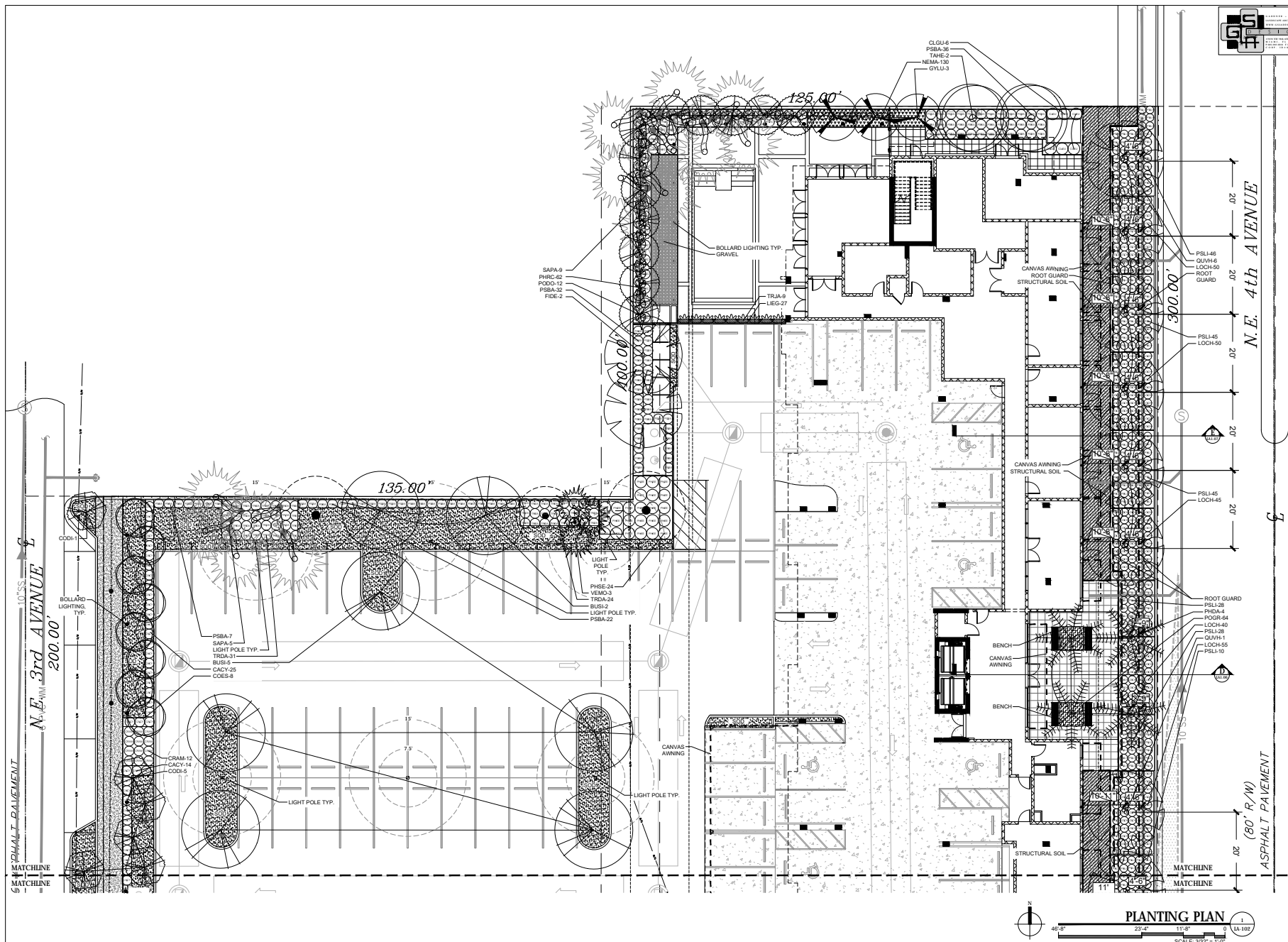
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EXISTING TREE
DISPOSITION
PLAN

DATE
02.05.2021

SHEET
LA-101

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Owner

**SOUTH MIDDLE
RIVER LOFTS**

1123 NE 4TH AVE
FORT LAUDERDALE, FL
33304

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Architect
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REVISIONS

[illegible]

SHEET TITLE

PLANTING PLAN

DATE
02.05.2021

SHEET
LA-102

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[illegible]

THERE IS A SHORTFALL OF 18 LOT TREES. THERE IS INSUFFICIENT ROOM ON SITE TO INSTALL MORE TREES IN A HORTICULTURAL MANNER.

SECTION C

SECTION D

SECTION E





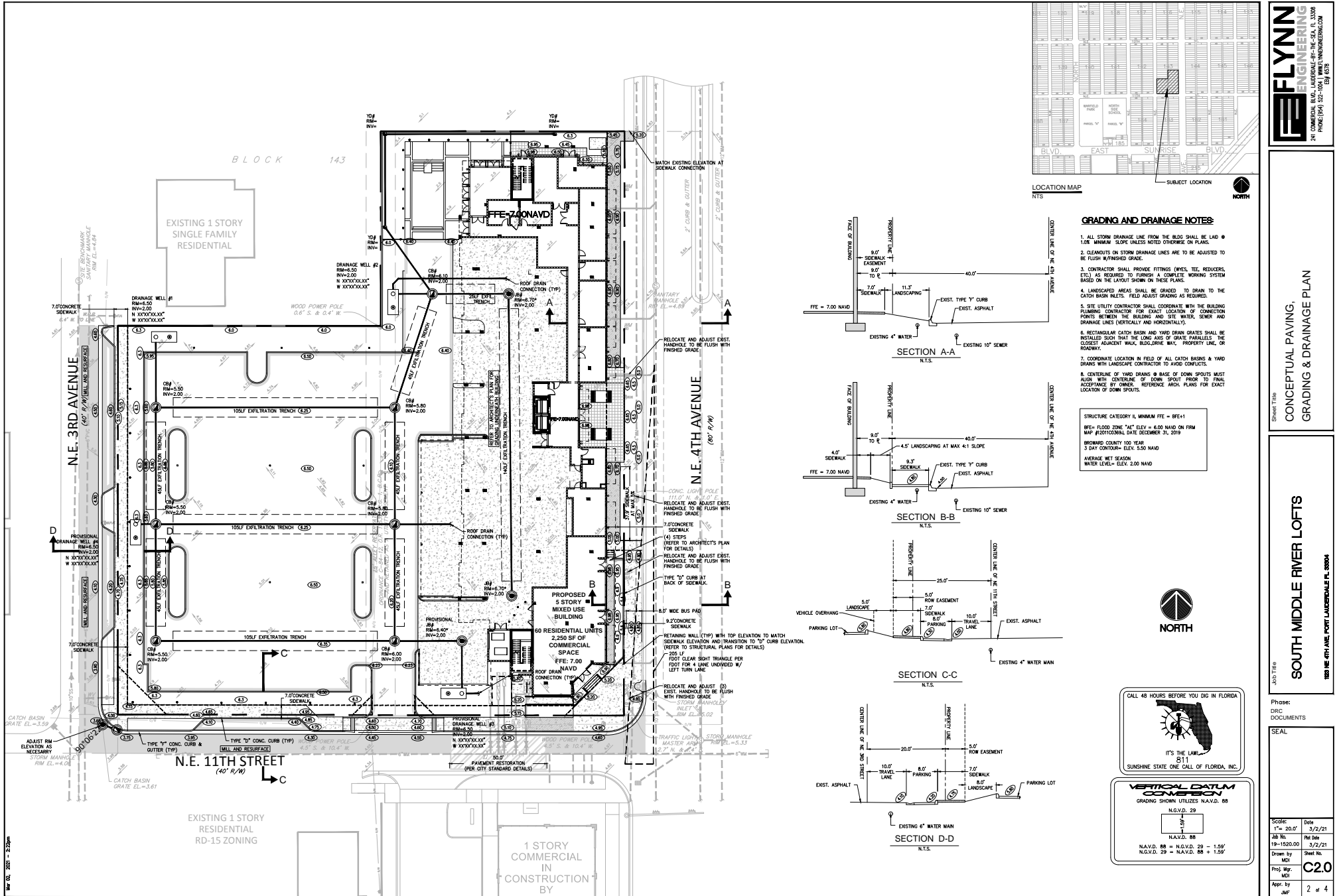


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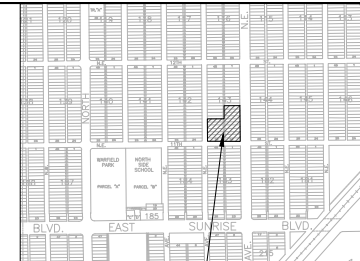
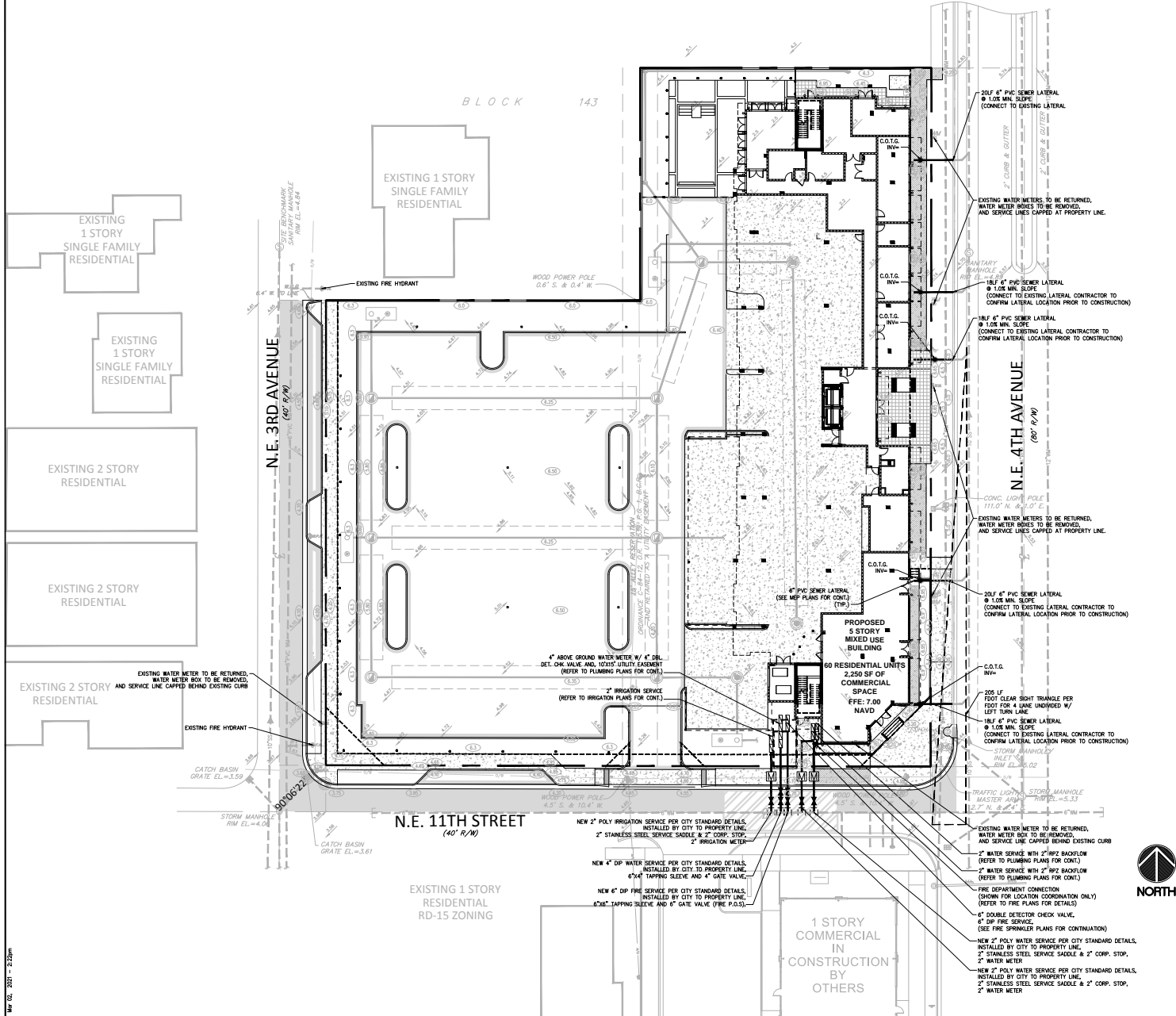
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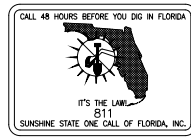
May 02, 2021 - 2:20pm



LOCATION MAP
NTS

- WATER AND SEWER NOTES:**
1. CLEANOUTS AND MANHOLES ON SANITARY LINES ARE TO BE ADJUSTED TO BE FLUSH WITH FINISHED GRADE.
 2. CONTRACTOR SHALL PROVIDE FITTINGS (WELLS, TEES, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
 3. CONTRACTOR SHALL PROVIDE ANY EASEMENT DOCUMENTATION AROUND MTS, BACKFLOW PREVENTORS, MANHOLE, METERS, ETC. AS REQUIRED BY THE CITY SO THAT THE OWNER MAY RECORD ANY EASEMENTS WITH THE CITY. CONTRACTOR'S SERVICES MUST COORDINATE WITH THE CITY AND PROVIDE ALL NECESSARY EASEMENT DOCUMENTATION TO THE OWNER. THE OWNER MUST THEN PROVIDE ALL REQUIRED UTILITY EASEMENT DOCUMENTS TO THE CITY PRIOR TO FINAL ACCEPTANCE.
 4. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT. ANY WATER MAIN CONNECTIONS, UTILITY CONNECTIONS AND SCHEDULE MUST BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION. THE CONTRACTOR IS REQUIRED TO PAY FOR ALL COSTS ASSOCIATED WITH THIS WORK REGARDLESS OF WHETHER OR NOT THE UTILITY OR THE CONTRACTOR PERFORMING THE WORK.
 5. M/W/S.S. MAINS TO BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BOIES, CULVERTS, ETC. M/W/S.S. MAINS MUST BE LOCATED 5' FROM TREES. F.U.'S MUST HAVE A 7.5' CLEAR RADIUS FROM ALL.
 6. SITE UTILITY CONTRACTOR SHALL COORDINATE W/ THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES VERTICALLY AND HORIZONTALLY.
 7. PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE BROWARD COUNTY HEALTH DEPARTMENT STANDARDS.
 8. ALL SANITARY SEWER LATERALS SHALL CROSS UNDER WATER MAINS WITH A MINIMUM OF 18" SEPARATION UNLESS OTHERWISE NOTED. A 30 FOOT SECTION OF DUCTILE IRON PIPE WATER MAIN CENTERED CROSSING IS REQUIRED IF LESS THAN 18" VERTICAL SEPARATION OCCURS BETWEEN THE SEWER LATERAL AND WATER MAIN.
 9. ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE CAPPED OFF AT THE POINT NEAREST TO THE UTILITIES OR DRAINAGE LINES THAT WILL REMAIN IN SERVICE. NOTIFY THE ENGINEER OF RECORD BEFORE REMOVING ANY UTILITIES THAT ARE CURRENTLY IN SERVICE. THE CONTRACTOR SHALL NOT REMOVE ANY UTILITY SERVICE TO ANY EXISTING BUILDING THAT WILL REMAIN AND SHALL DIG UP AND COMPLETELY REMOVE AND/OR ABANDON ANY UTILITY SERVICE THAT IS NO LONGER REQUIRED. THE CONTRACTOR SHALL INFORM AND CONSULT THE ENGINEER OF RECORD PRIOR TO REMOVING ANY LINES.
 10. CONTRACTOR SHALL VERIFY EXISTING WATER MAIN LOCATION AND ELEVATION AND NOTIFY THE ENGINEER OF ANY DIFFERENCE FROM THE DESIGN PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
 11. PROPOSED FIRE LINES (USE MAINS SERVICES, SAMESE CONNECTION LINES, ETC.) TO BE INSTALLED BY A STATE LICENSED FIRE LINE CONTRACTOR PER F.S. 601.
 12. FIRE LINES TO BE INSPECTED BY A CERTIFIED FIRE LINE INSPECTOR.
 13. STATE LICENSED FIRE LINE CONTRACTOR, UPON COMPLETION OF REQUIRED TESTING, SHALL ISSUE A "LICENSED UNDERGROUND TEST CERTIFICATE" PRIOR TO ACCEPTANCE FOR PLACING FIRE LINE INTO SERVICE.

- LEGEND:**
- PROPOSED ELEVATION (NAVD)
 - EXISTING ELEVATION (NAVD)
 - PROPOSED CATCH BASIN
 - PROPOSED PLUG
 - TEE
 - WATER METER
 - DOUBLE DETECTOR CHECK VALVE W/ WATER CHECK VALVE ON DOWNSTREAM SIDE
 - REDUCED PRESSURE BACKFLOW PREVENTOR
 - DIRECTIONAL FLOW ARROW AND GRAVITY SENSOR
 - PROPOSED MANHOLE
 - W = WATER MAIN
 - FM = SANITARY FORCE MAIN
 - VALVE
 - FIRE HYDRANT
 - SIAMSESE CONNECTION
 - CLEANOUT
 - EDGE OF PROPOSED PAVEMENT (ASPHALT)
 - DIRECTION OF SURFACE DRAINAGE
 - SAMPLE POINT
 - EXIST. WATER MAIN
 - EXIST. UTILITY LINE TO BE REMOVED



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CIB 6010

CONCEPTUAL WATER AND
SANITARY SEWER PLAN

Sheet Title
SOUTH MIDDLE RIVER LOFTS
1800 N.E. 4TH AVE. FORT LAUDERDALE, FL 33304

Phase:
DRC DOCUMENTS

SEAL

SCALE	Date
1" = 20.0'	3/2/21
JOB No.	19-1520.00
Drawn by	NCI
Proj. Mgr.	MDI
Appr. by	JMF
3 of 4	

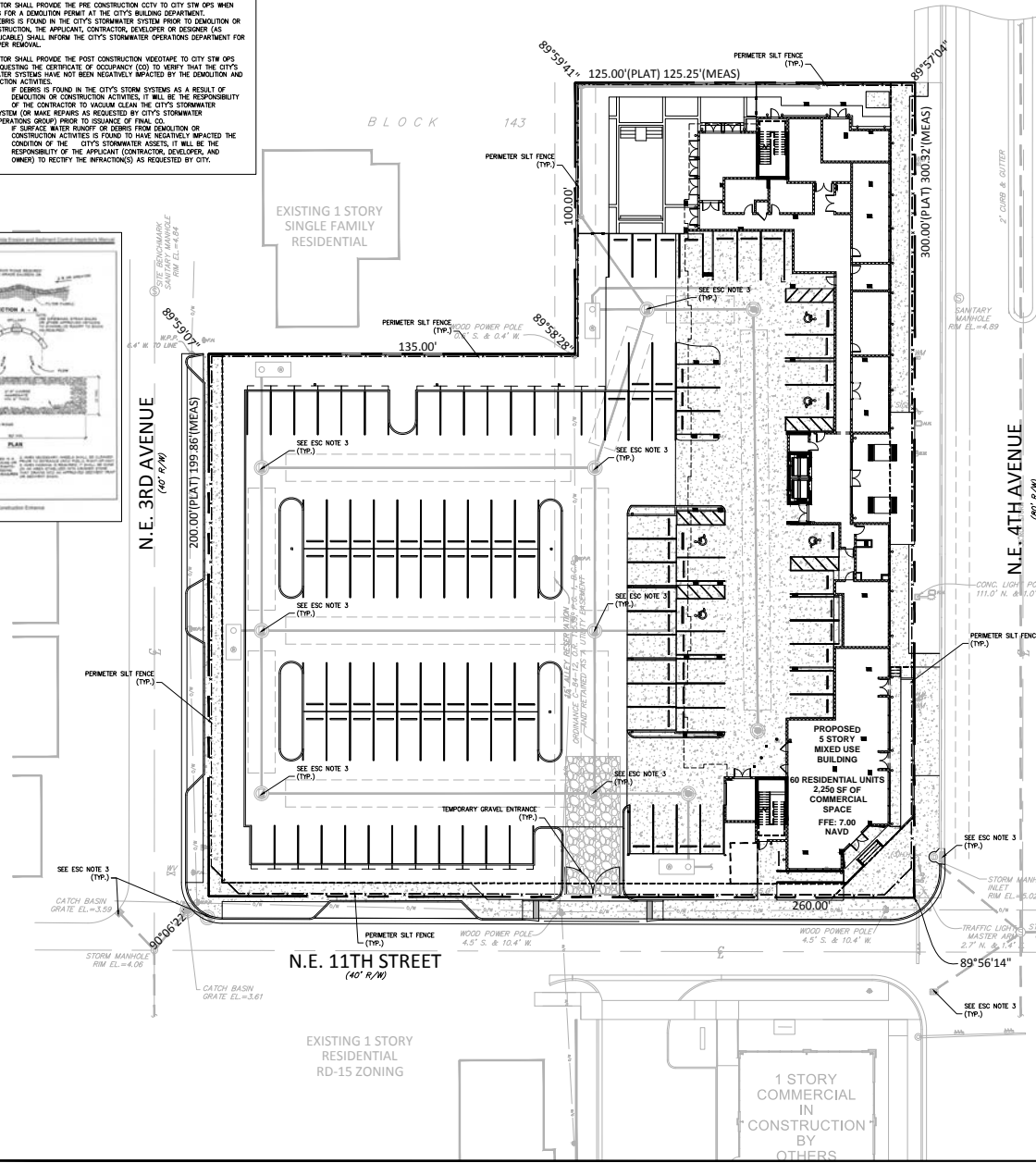
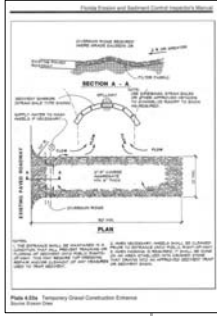
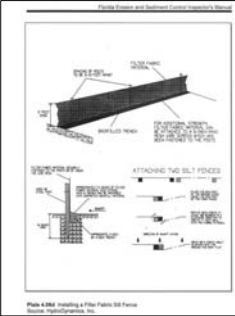
Mar 02, 2021 - 2:30pm

ESC NOTES:

1. THIS PLAN REFLECTS THE ENGINEER'S SUGGESTION FOR EROSION AND SEDIMENT CONTROL. SITE OPERATOR TO MODIFY PLAN AS NEEDED TO MAINTAIN "BEST MANAGEMENT PRACTICES" DURING CONSTRUCTION.
2. AT ALL TIMES DURING CONSTRUCTION, ALL STORMWATER MUST REMAIN ON-SITE. NO DISCHARGE INTO THE PUBLIC RIGHT OF WAY OR ADJOINING PROPERTIES IS ALLOWED.
3. DRAINAGE STRUCTURES INSTALLED TO BE PROTECTED WITH FILTER FABRIC AND/OR PERIMETER SILT FENCE.
4. PROVIDE FILTER FABRIC OR OTHER METHOD OF SEDIMENT PROTECTION FOR ANY EXISTING CATCH BASIN/INLET WITHIN 100 FEET OF THE PROJECT AREA.
5. ANY SEDIMENT THAT IS TRACKED ONTO ROADS MUST BE SHEPT UP IMMEDIATELY.
6. SEDIMENT SHALL NOT BE REMOVED BY WASHING/FLUSHING WITH WATER AT THE RIGHT OF WAY.

CLOSED CIRCUIT TV INSPECTION (CCTV) NOTES:

1. CONTRACTOR SHALL PROVIDE CCTV VIDEOS/TAPES TO CITY STW OPS OF THE EXISTING STORMWATER SYSTEM TO THE LIMITS SHOWN WITH GREEN LINE WORK IN THE STORM MAP PROVIDED AT THE END OF THIS REPORT IN ORDER TO DOCUMENT THE PRE AND POST CONSTRUCTION CONDITIONS OF THE CITY'S STORM SYSTEM.
2. CONTRACTOR SHALL PROVIDE THE PRE CONSTRUCTION CCTV TO CITY STW OPS WHEN APPLYING FOR A DEMOLITION PERMIT AT THE CITY'S BUILDING DEPARTMENT.
 - A. IF DEBRIS IS FOUND IN THE CITY'S STORMWATER SYSTEM PRIOR TO DEMOLITION OR CONSTRUCTION, THE APPLICANT, CONTRACTOR, DEVELOPER OR DESIGNER (AS APPLICABLE) SHALL INFORM THE CITY'S STORMWATER OPERATIONS DEPARTMENT FOR PROPER REMOVAL.
 - B. IF DEBRIS IS FOUND IN THE CITY'S STORM SYSTEMS AS A RESULT OF DEMOLITION OR CONSTRUCTION ACTIVITIES, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VACUUM CLEAN THE CITY'S STORMWATER SYSTEM (OR MAKE REPAIRS AS REQUESTED BY CITY'S STORMWATER OPERATIONS GROUP) PRIOR TO ISSUANCE OF FINAL CO.
 - C. IF SURFACE WATER RUNOFF OR DEBRIS FROM DEMOLITION OR CONSTRUCTION ACTIVITIES IS FOUND TO HAVE NEGATIVELY IMPACTED THE CONDITION OF THE CITY'S STORMWATER ASSETS, IT WILL BE THE RESPONSIBILITY OF THE APPLICANT (CONTRACTOR, DEVELOPER, AND OWNER) TO RECTIFY THE INFRACTION(S) AS REQUESTED BY CITY.

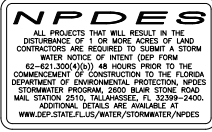


LOCATION MAP



POLLUTION PREVENTION NOTES:

1. CONTRACTOR SHALL ADHERE TO THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. THE CONTRACTOR SHALL INSTITUTE BEST MANAGEMENT PRACTICES (BMPs) TO ENSURE COMPLIANCE WITH THE NPDES PROGRAM AND TO MINIMIZE THE IMPACT TO PUBLIC STORMWATER FACILITIES. A NOTICE OF INTENT (NOI) SHALL BE FILED PRIOR TO START CONSTRUCTION ACTIVITIES.
2. PRIOR TO DEMOLITION ACTIVITIES, CONTRACTOR SHALL INSTALL POLLUTION PREVENTION CONTROL DEVICES (E.G. SILT BARRIERS, SEDIMENT BASINS, TURBIDITY BARRIERS AROUND STORMWATER OUTFALLS OR THE WASTEWAGE OF LAKES, PONDS, CANALS, OR WATERWAYS) TO PREVENT EROSION AND POLLUTION. CONTRACTOR SHALL MAINTAIN POLLUTION PREVENTION DEVICES THROUGHOUT DEMOLITION AND CONSTRUCTION PERIODS UNTIL THE PROJECT HAS BEEN COMPLETED AND APPROVED BY CITY ENGINEERING INSPECTOR OR PROJECT ENGINEER.
3. CONTRACTOR SHALL INSPECT THE POLLUTION CONTROL DEVICES ONLY FOR SIGNS OF MALFUNCTION, FAILURE, OR NEEDED REPAIRS, AND SHALL MAKE IMMEDIATE REPAIRS IMMEDIATELY UPON DISCOVERY. EXISTING STORMWATER INLETS, CATCH BASINS, OR MANHOLES, ON-SITE AND OFF-SITE, SHALL BE PROTECTED FROM SEDIMENT STORM RUNOFF FROM THE PROPOSED DEMOLITION AND CONSTRUCTION ACTIVITIES.
4. CONTRACTOR SHALL IMMEDIATELY REMOVE ALL MUD, DIRT, OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING ROADS AND FACILITIES DUE TO DEMOLITION OR CONSTRUCTION ACTIVITIES FROM THE PROPOSED DEVELOPMENT.
5. IN ORDER TO MINIMIZE THE AMOUNT OF SEDIMENTS, MUD, AND DUST TRACKED ONTO PUBLIC ROADS BY THE CONSTRUCTION VEHICLES OR EQUIPMENT, THE CONTRACTOR SHALL INSTALL STABILIZED TEMPORARY CONSTRUCTION ENTRANCES FROM THE CONSTRUCTION SITE AS RECOMMENDED BY DEP. EACH TEMPORAL CONSTRUCTION ENTRANCE IS A STABILIZED 8 INCH THICK LAYER OF 2 TO 3 INCH COARSE AGGREGATE STONE, 12' MINIMUM WIDTH, AND LENGTH TO ACCOMMODATE A MINIMUM OF ONE TRUCKING VEHICLE.
6. THE ENTRANCE SHALL BE MAINTAINED PERIODICALLY AS CONDITIONS DEMAND IN A CONDITION THAT WILL PREVENT TRACKING OF FLOWS OF SEDIMENTS ONTO PUBLIC RIGHT-OF-WAY. SEDIMENT SHALL BE TRAPPED IN DESIGNATED AREAS AND PROPERLY HANDLED AS ON-SITE RIGHT-OF-WAY.
7. WHEN NECESSARY, VEHICLE WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
8. ALL MATERIALS SPILLED, DEPOSITED, BURNED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO PUBLIC STORM DRAINS MUST BE REMOVED BY THE CONTRACTOR IMMEDIATELY.
9. DRAINAGE SHALL NOT TYPICALLY CORNER WHERE THE CONSTRUCTION CUT MEETS THE ROADWAYS.
10. SWEEEPING OF PUBLIC ROADWAYS SHALL BE DONE PERIODICALLY AS CONDITION DEMAND.
11. ALL PORTS OF DISCHARGE AND NEARBY WATERWAYS TO BE MAINTAINED BY THE CONTRACTOR TO INSURE POSITIVE INTEGRITY OF SILT FENCE AND POLLUTION CONTROL DEVICES, DUST CONTROL MEASURES, VEHICLES AND CONSTRUCTION MATERIALS STORAGE AND DISPOSAL. A WRITTEN RECORD OF ALL INSPECTIONS SHALL BE STORED BY THE CONTRACTOR DURING DEMOLITION AND CONSTRUCTION PERIODS. THE RECORD SHALL BE MADE AVAILABLE TO THE CITY INSPECTOR UPON REQUEST.
12. THE INSPECTION REPORT SHALL INCLUDE AT A MINIMUM THE FOLLOWING INFORMATION:
 - A. NAME OF INSPECTOR AND HIS/HER QUALIFICATIONS IN EROSION AND SEDIMENTATION CONTROL.
 - B. DATE OF THE INSPECTION.
 - C. NAME OF THE PROJECT.
 - D. OBSERVATIONS ABOUT THE SWMP.
 - E. ACTIONS TAKEN BY CONTRACTOR FOR ALL INCIDENTS OF NONCOMPLIANCE WITH PERMITS.
 - F. CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE SWMP AND PERMITS.



Sheet Title
EROSION & SEDIMENT CONTROL PLAN

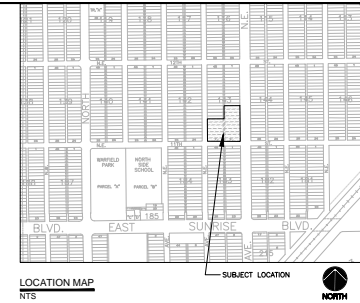
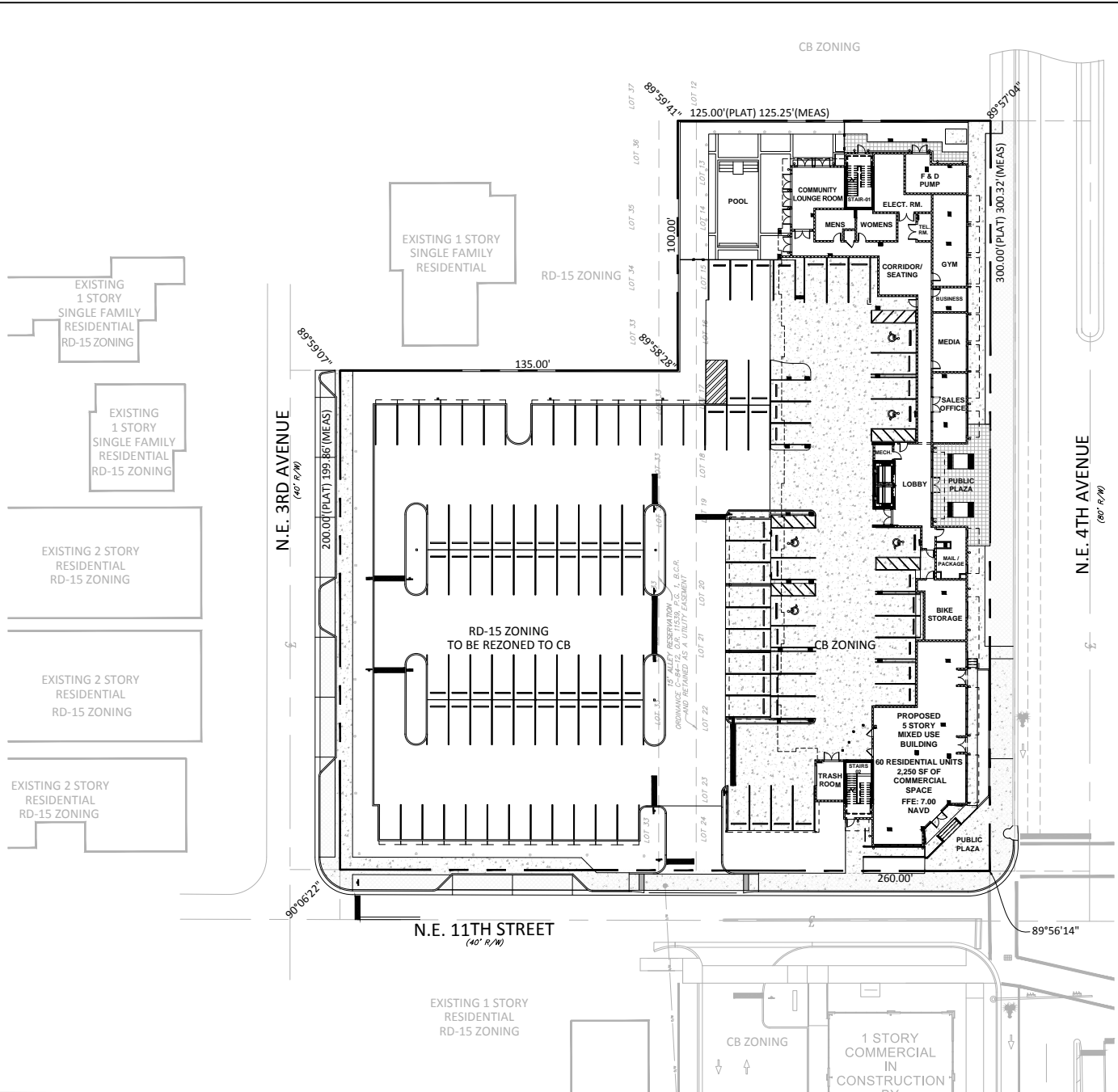
Sheet No.
SOUTH MIDDLE RIVER LOFTS

Phase:
DRC DOCUMENTS

SEAL

SCALE	DATE
1" = 20.0'	3/2/21
JOB NO.	DATE
19-1520.00	3/2/21
Drawn by	Sheet
MOI	1
Proj. Mgr.	ESB
Appr. by	
JMF	4 of 4

Mar 08, 2021 - 11:40am



MAINTENANCE AGREEMENT AREA

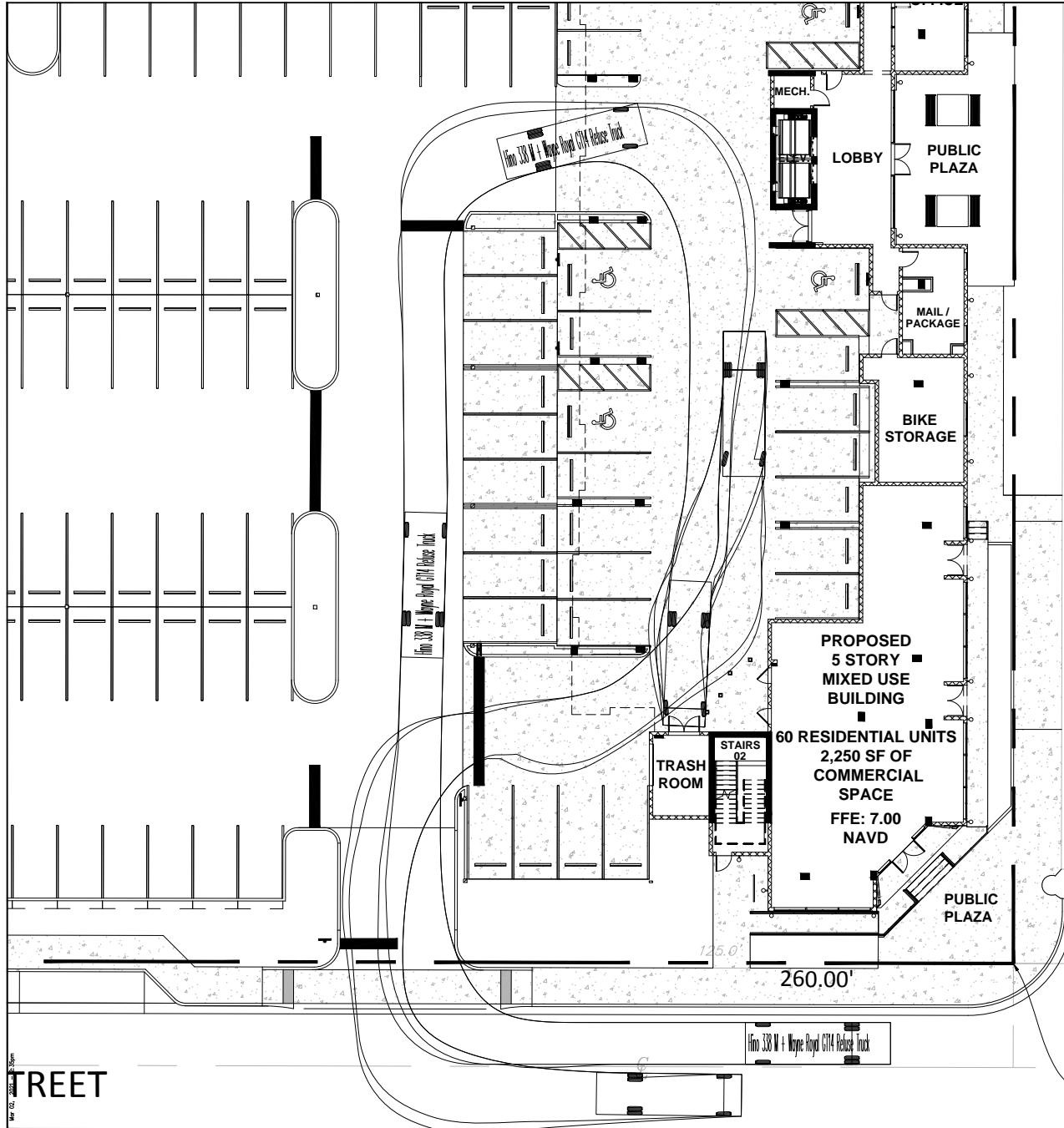


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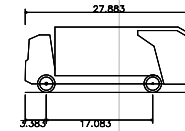
MAINTENANCE AREA EXHIBIT

SOUTH MIDDLE RIVER LOFTS
1820 N.E. 4TH AVENUE, FORT LAUDERDALE, FL

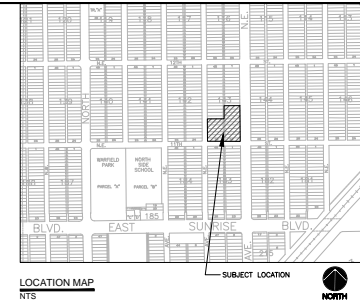
Phase:	EXHIBIT
SEAL	
Scale:	NTS
Date:	3/6/21
Job No.:	19-1520.00
Plot Date:	3/6/21
Drawn by:	MDI
Proj. Mgr.:	MDI
Appr. by:	- of -



N.E. 4TH AVENUE
(80' R/W)



Hino 338 M + Wayne Royal GT14 Refuse Truck
 Overall Length 27.883ft
 Overall Width 8.042ft
 Overall Body Height 10.458ft
 Min Body Ground Clearance 1.318ft
 Track Width 8.042ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 27.400ft



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Sheet Title

GARBAGE TRUCK ACCESS EXHIBIT

Job Title

SOUTH MIDDLE RIVER LOFTS

100 NE 4TH AVE. FORT LAUDERDALE, FL

Phase:

P2B DOCUMENTS

SEAL

Scale:	NTS	Date:	3/2/21
Job No.	19-1520.00	Plot Date:	3/2/21
Drawn by:	MDI	Sheet No.:	
Proj. Mgr.:	MDI		
Appr. by:			

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Map 02, 2019, 15.00m