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05.12.2021

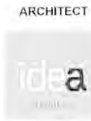
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FORT LAUDERDALE



501 AVIVA PARTNERS, LCC  
1800 E LAS OLAS BOULEVARD,  
FORT LAUDERDALE, FL 33301  
TEL. 954.530.7116



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NORTH MIAMI BEACH, FL 33160  
TEL 305.792.0015



MAK WORK INC.  
1251 SW 20TH STREET  
MIAMI, FL 33145  
TEL 305.322.2896



**OCEAN ENGINEERING**  
8101 BISCAYNE BOULEVARD  
SUITE 508  
MIAMI, FL 33138  
TEL: 785.518.2008

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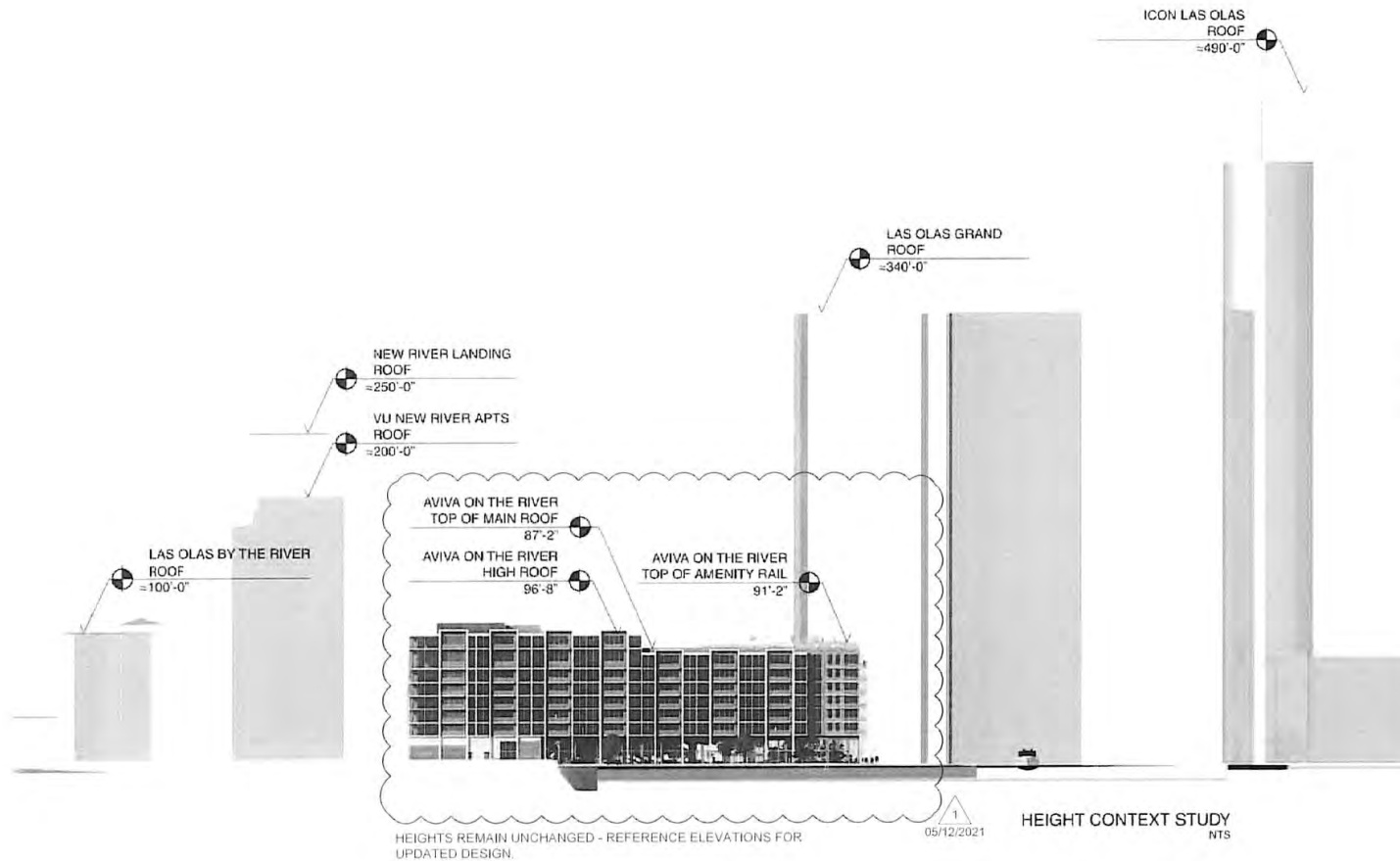
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1 Height Context Study  
R-001 SCALE NTS



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R-001





North East  
1 Aerial Perspective  
R-002 SCALE: NTS

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R-002



North East  
Pedestrian Perspective  
R-003 SCALE: NTS  
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North East  
1 Elevated Perspective  
R-004 SCALE NTS

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R-004



South East  
Pedestrian Perspective 6th Ave.  
1  
R-005 SCALE NTS  
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R-005



South East  
1 Aerial Perspective  
R-006 SCALE: NTS

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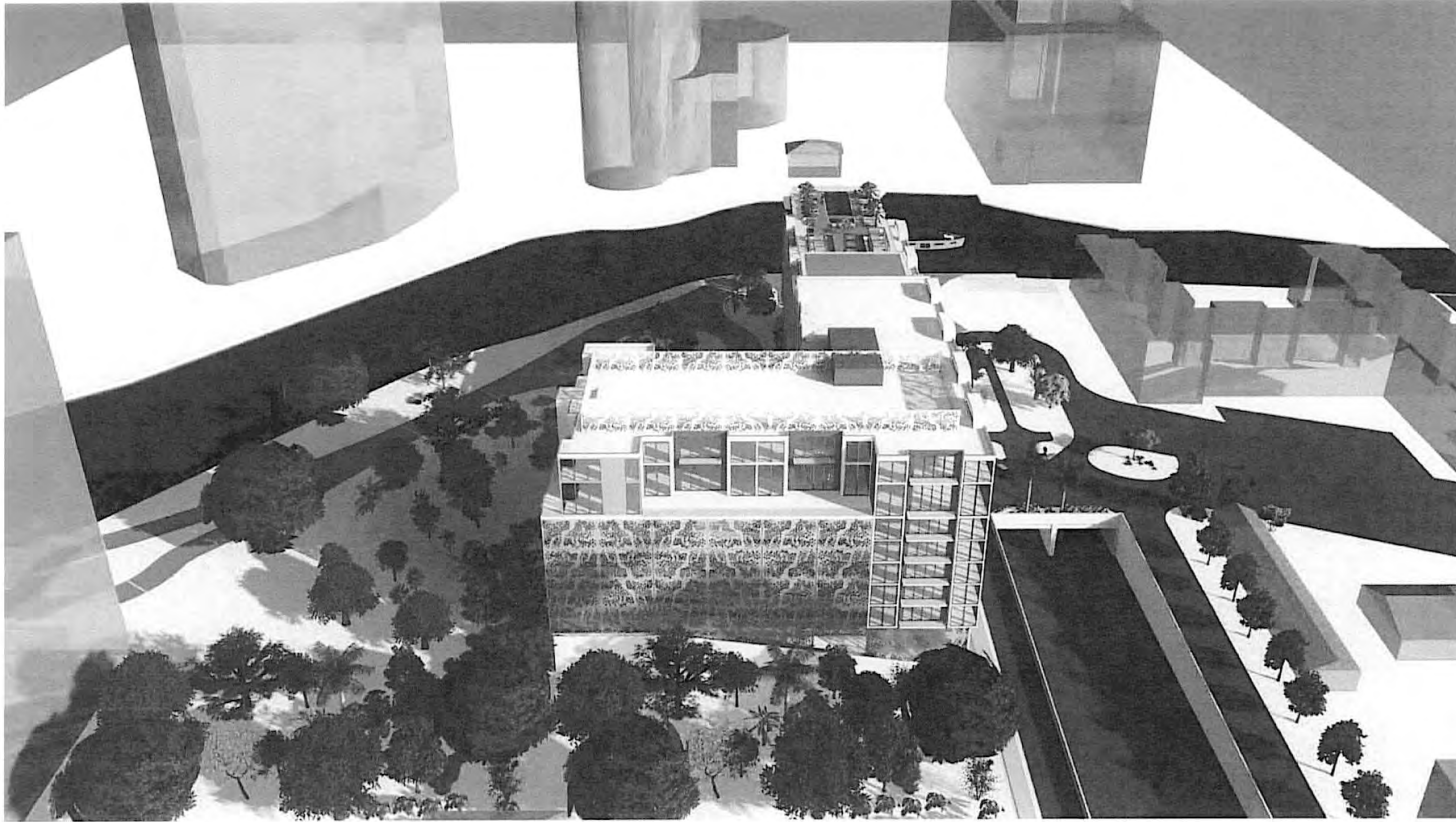
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R-006





South  
1 Aerial Perspective  
R-007 SCALE: NTS

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R-007



North West River Level Perspective  
 Reduced Landscape Shown For Visibility  
 1  
 R-008 SCALE NTS

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 R-008





West Perspective From Smoker Park  
 Reduced Landscape Shown for Visibility  
 1  
 R-009 SCALE: NTS

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R-010

West Perspective From Smoker Park  
Further Reduced Landscape Shown For Visibility  
R-010 SCALE: NTS



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West Perspective From Smoker Park  
1 Rendered Montage Depicting Building Visibility  
R-011 SCALE: NTS

05/12/2021  
R-011

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View Toward Breezeway  
From N. Rio Vista Boulevard  
1  
R-012 SCALE NTS  
05/12/2021

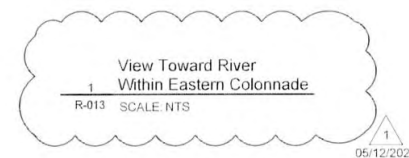
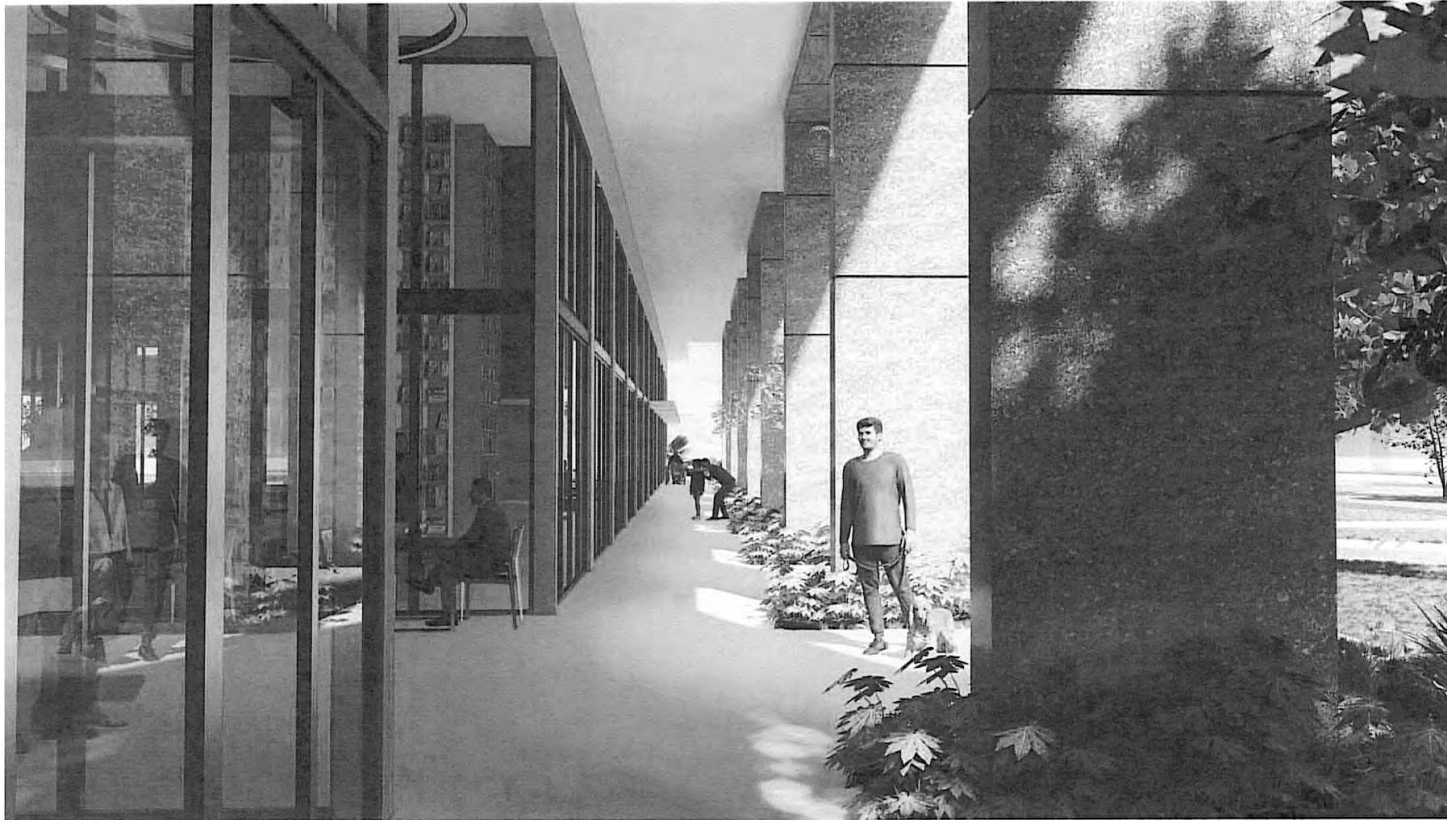
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R-012





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R-013



View Toward River  
Within Western Colonnade  
R-014 SCALE NTS  
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R-014



View From Within Breezeway  
Toward Wellness & Yoga Suite  
1  
R-015 SCALE: NTS

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R-015





View From Wellness & Yoga Patio  
Toward Western Breezeway  
1  
R-016 SCALE NTS

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East Pedestrian Perspective  
From N. Rio Vista Boulevard  
1  
R-017 SCALE NTS

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R-017



East Perspective From N. Rio Vista Boulevard  
 Rendered Montage Depicting Actual Building  
 R-018 SCALE NTS

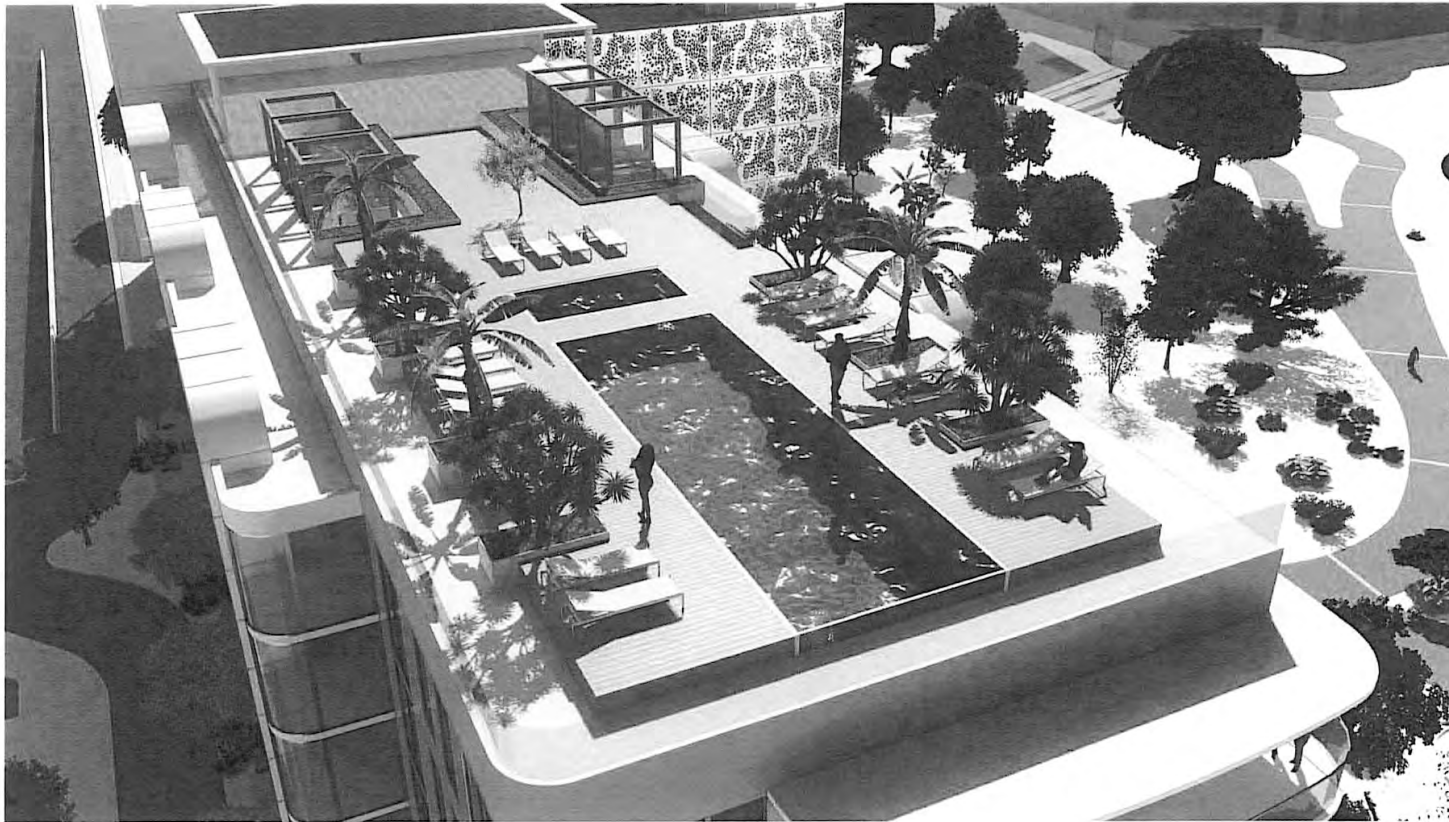
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"Fifth Facade"  
1 Aerial Perspective of Active Roof Amenities Level  
R-019 SCALE NTS

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R-020

North East Pedestrian Perspective  
Evening Illumination Concept  
1  
R-020 SCALE: NTS

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Garage Screening View  
From North Park  
1  
R-021 SCALE: NTS  
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Park Side  
Evening Illumination Concept  
R-023 SCALE: NTS  
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March 21 9am  
Close Shadow Study 01  
SS-01 SCALE: NTS



2  
March 21 10am  
Close Shadow Study 02  
SS-01 SCALE: NTS



3  
March 21 11am  
Close Shadow Study 03  
SS-01 SCALE: NTS



4  
March 21 12pm  
Close Shadow Study 04  
SS-01 SCALE: NTS



5  
March 21 1pm  
Close Shadow Study 05  
SS-01 SCALE: NTS



6  
March 21 2pm  
Close Shadow Study 06  
SS-01 SCALE: NTS



7  
March 21 3pm  
Close Shadow Study 07  
SS-01 SCALE: NTS



8  
March 21 4pm  
Close Shadow Study 08  
SS-01 SCALE: NTS



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SS-01

**A SITE PICTURES**

**A1 STREET VIEW FROM NORTH RIO VISTA BLVD**



**B1 AERIAL MAP VIEW**



**C1 3D AERIAL PERSPECTIVE VIEW**



1 Site Pictures & 3D Aerial  
A-010 SCALE NTS

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A-010

**E. Open Space Regulations.** Open space, for the purposes of this section, shall include all areas on the site not covered by structures, other than covered arcades, or not covered by vehicular use areas. Covered arcades with a minimum width of ten (10) feet and at least one (1) side open to a street shall be credited towards open space requirements. The required open space shall be shaded through the use of trees, canopies, trellises or other semi-enclosed shade structures and may include seating, fountains and other elements that enhance the public realm. A minimum of twenty-five percent (25%) of the required open space shall be pervious landscape area. At least forty percent (40%) of the required open space shall be provided at grade and the remaining open space may be accessible to individual residential units or through common areas, or both. Pervious surface area, for purposes of this requirement, may be provided through open planting beds, porous paving systems, sand-set pavers, or any combination thereof.

The total amount of open space required shall be calculated based on the size and density of the development as follows:

1. **Open Space for Residential Uses.** For development in the RAC districts, except for RAC-CC, open space shall be any development that includes residential uses as follows:
  - a. For developments of fifty (50) residential units or less, or developments of twenty-five (25) dwelling units per acre or less density. A minimum of two hundred (200) square feet of open space per unit.
  - b. For developments of between fifty-one (51) and one hundred fifty (150) residential units, or developments of greater than twenty-five (25) dwelling units per acre and up to sixty (60) dwelling units per acre density. A minimum of one hundred fifty (150) square feet of open space per unit. The minimum total amount of open space shall be no less than the maximum square footage of open space as defined in Section 47-13.20.E.1.a. In no case shall the minimum open space provided be less than ten thousand (10,000) square feet.
  - c. For developments of more than one hundred fifty (150) residential units, or developments of greater than sixty (60) dwelling units per acre density. A minimum of one hundred (100) square feet of open space per unit. The minimum total amount of open space shall be no less than the maximum square footage of open space as defined in Section 47-13.20.E.1.b. In no case shall the minimum open space provided be less than twenty-two thousand five hundred (22,500) square feet.
2. **Open Space General.** For developments within the Downtown Regional Activity Center zoning districts that do not include residential uses or for all developments within the RAC-CC, open space shall be required at a minimum equivalent of 1% of the gross lot area. Up to fifty (50) percent credit towards the required landscaping as defined in Section 47-13.20.F for landscaping improvements proposed in the right-of-way may be applied if approved by the agency with jurisdiction over the subject right-of-way. The development shall be 1.5 acres or less. Up to twenty-five (25) percent credit may be applied towards the required landscaping as defined in Section 47-13.20.F for landscaping improvements proposed in the right-of-way if approved by the agency with jurisdiction over the subject right-of-way.
3. For projects that include both residential and non-residential uses the lesser of the calculations above shall apply.

#### OPEN SPACE CALCULATION (STEP 1)

SINCE THE PROJECT IS IN THE RAC-GC DISTRICT, AND BECAUSE IT HAS RESIDENTIAL USE, WE CANNOT USE SECTION 1 & 2.

THE SECTION 3 CLAIMED THAT FOR PROJECTS THAT INCLUDE BOTH RESIDENTIAL AND NON-RESIDENTIAL USES THE LESSER OF THE CALCULATIONS ABOVE SHALL APPLY.

THE CALCULATION FOR SECTION 1 WOULD BE:  
96 UNITS X (150 SF) = 14,400 SF OF OPEN SPACE.

THE CALCULATION FOR SECTION 2 WOULD BE:  
10% X LOT SIZE (34,670 SF) = 3,467 SF OF OPEN SPACE.

THE LESSER IS SECTION 2:  
3,467 SF OF OPEN SPACE.

#### OPEN SPACE CALCULATION (STEP 2)

A MINIMUM OF TWENTY-FIVE PERCENT (25%) OF THE REQUIRED OPEN SPACE SHALL BE IN PERVIOUS LANDSCAPE AREA. AT LEAST FORTY PERCENT (40%) OF THE REQUIRED OPEN SPACE SHALL BE PROVIDED AT-GRADE AND THE REMAINING OPEN SPACE MAY BE ACCESSIBLE TO INDIVIDUAL RESIDENTIAL UNITS OR THROUGH COMMON AREAS, OR BOTH. PERVIOUS SURFACE AREA, FOR PURPOSES OF THIS REQUIREMENT, MAY BE PROVIDED THROUGH OPEN PLANTING BEDS, POROUS PAVING SYSTEMS, SAND-SET PAVERS, OR ANY COMBINATION THEREOF.

100% OPEN SPACE = 3,467 SF

25% OF THE OPEN SPACE SHALL BE IN PERVIOUS LANDSCAPE AREA = 867 SF

40% OF THE OPEN SPACE SHALL BE PROVIDED AT-GRADE = 1,387 SF

35% OF THE OPEN SPACE MAY BE ACCESSIBLE THROUGH COMMON AREAS (POOL, DECK) = 1,213 SF

## DOWNTOWN CORE



Max. Height: no height limit



Building Type: building shoulders, stage 1, stage 2, and stage 3 towers.

Special Review for projects above 37 floors

Preferred Max. Floorplate Size:  
Office: 32,000 SF  
no max to 9 floors

Residential: 12,500 – 18,000 SF  
no max to 9 floors



## DOWNTOWN CORE

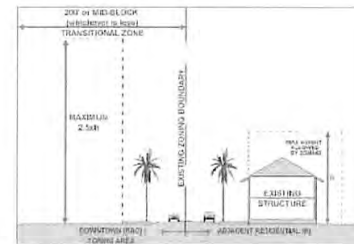
Use:  
Mixed use "center"  
More commercial/civic  
High density housing

Form:  
Verticality and density characterized by slender towers with minimal step-backs among mixed lower buildings. A 'central-business-district' feeling is created by the 'forest-like' arrangement of vertical towers and a strong skyline image.

### TRANSITION AREA TYPE II

Where RAC zones about Residential Zoning Districts (max height 35'-55'), encourage a mid-block or 200' wide, whichever is less, "height transition zone" (green areas on diagram): see section for height limit.

No transition zones needed where RAC zones about zoning districts with equal or greater height limits.



[Figure 1.236]

### APPLICABLE CODES

- DOWNTOWN MASTER PLAN CHAPTER 4  
- UNIFIED LAND DEVELOPMENT CODE (FT. LAUDERDALE)

1 Applicable Codes  
A-011 SCALE: NTS



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Stephane L'Ecuier  
Date: 2021.05.12  
17:47:52 -0400

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501 SE 6TH AVENUE, FORT LAUDERDALE, FLORIDA

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A-011

## B GENERAL SITE INFORMATION

### C DEVELOPMENT REGULATIONS AND AREA REQUIREMENTS

#### D BUILDING SETBACKS

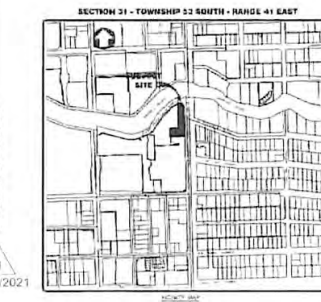
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### E PARKING & LOADING REQUIREMENT

## F GENERAL LANDSCAPE REQUIREMENTS

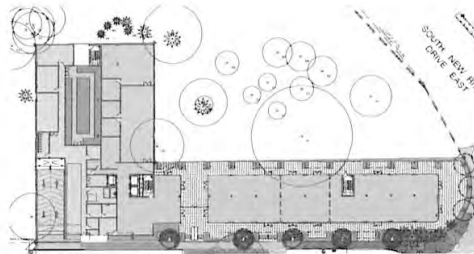
Perforated surface area, for purposes of this requirement, may be provided through open planting beds, porous paving systems, sand-set pavers, or any combination thereof.

- DOWNTOWN MASTER PLAN CHAPTER 4
- UNIFIED LAND DEVELOPMENT CODE (FT LAUDERDALE)

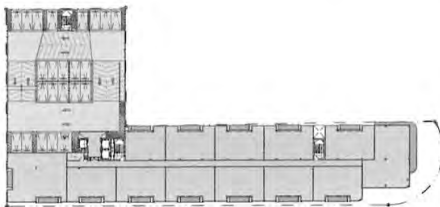


A-012

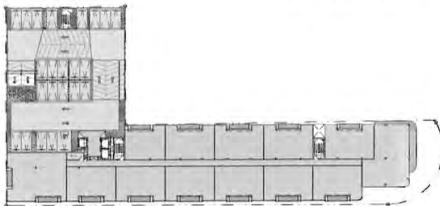




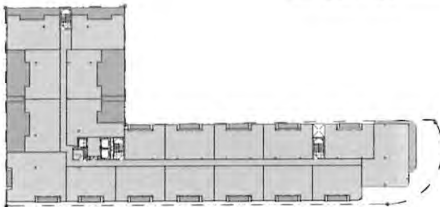
1 Ground Floor Plan  
A-013 SCALE 1" = 40'-0"



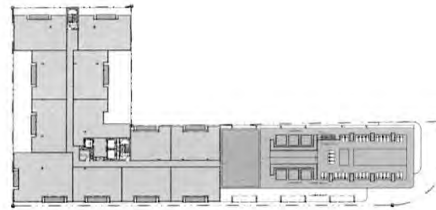
2 2nd-5th Floor Plan  
A-013 SCALE 1" = 40'-0"



3 6th Floor Plan  
A-013 SCALE 1" = 40'-0"



4 7th Floor Plan  
A-013 SCALE 1" = 40'-0"



5 8th Floor Plan  
A-013 SCALE 1" = 40'-0"

- LEASABLE RETAIL & RESIDENTIAL UNITS
- VERTICAL CIRCULATION
- COMMON AREAS & HORIZONTAL CIRCULATION
- PARKING AREA, SERVICES & BACK-OF-HOUSE
- BALCONIES & TERRACES
- ROOF DECK & POOL DECK

6 AREA IDENTIFICATION  
A-013 SCALE NTS

#### AVIVA (GROSS AREA TABLE)

	LEASABLE RETAIL	SALEABLE RESIDENTIAL	COMMON AREAS	VERTICAL CIRCULATION	SERVICES	BALCONIES / POOL DECK	PARKING	TOTAL
Ground Floor	7,318.37	2,042.95	7,162.47	764.86	5,223.01	0.00	1,383.92	24,395.58
2nd floor	0.00	16,399.86	1,602.44	761.61	119.76	1,250.44	11,274.01	31,408.12
3rd floor	0.00	16,399.86	1,602.44	761.61	119.76	1,250.44	11,274.01	31,408.12
4th floor	0.00	16,399.86	1,602.44	761.61	119.76	1,250.44	11,274.01	31,408.12
5th floor	0.00	16,399.86	1,602.44	761.61	119.76	1,250.44	11,274.01	31,408.12
6th floor	0.00	16,399.86	1,602.44	761.61	119.76	1,250.44	11,044.27	31,178.38
7th floor	0.00	23,760.68	2,121.54	771.05	94.65	4,656.37	0.00	31,404.29
8th floor	0.00	14,941.22	1,498.71	598.46	94.65	9,276.81	0.00	26,409.85
<b>TOTAL</b>	<b>7,318.37</b>	<b>122,744.15</b>	<b>18,794.92</b>	<b>5,942.42</b>	<b>6,011.11</b>	<b>20,185.38</b>	<b>57,524.23</b>	<b>239,020.58</b>

Efficiency 54.62%

7 Gross Floor Area Table  
A-013 SCALE NTS

#### Units Matrix & Parking Count

	1 BD	2 BDs	3 BDs	TOTAL	# PARKING
Ground Floor	-	-	-	-	-
2nd floor	1	10	2	13	23
3rd floor	1	10	2	13	23
4th floor	1	10	2	13	23
5th floor	1	10	2	13	23
6th floor	1	10	2	13	23
7th floor	1	16	2	19	-
8th floor	1	10	1	12	-
<b>TOTAL</b>	<b>7</b>	<b>76</b>	<b>13</b>	<b>96</b>	<b>115</b>
	7.29%	79.17%	13.54%	100.00%	

8 Units Matrix & Parking Count  
A-013 SCALE NTS



05-12-2021



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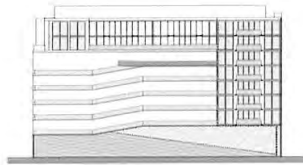
AVIVA  
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A-013









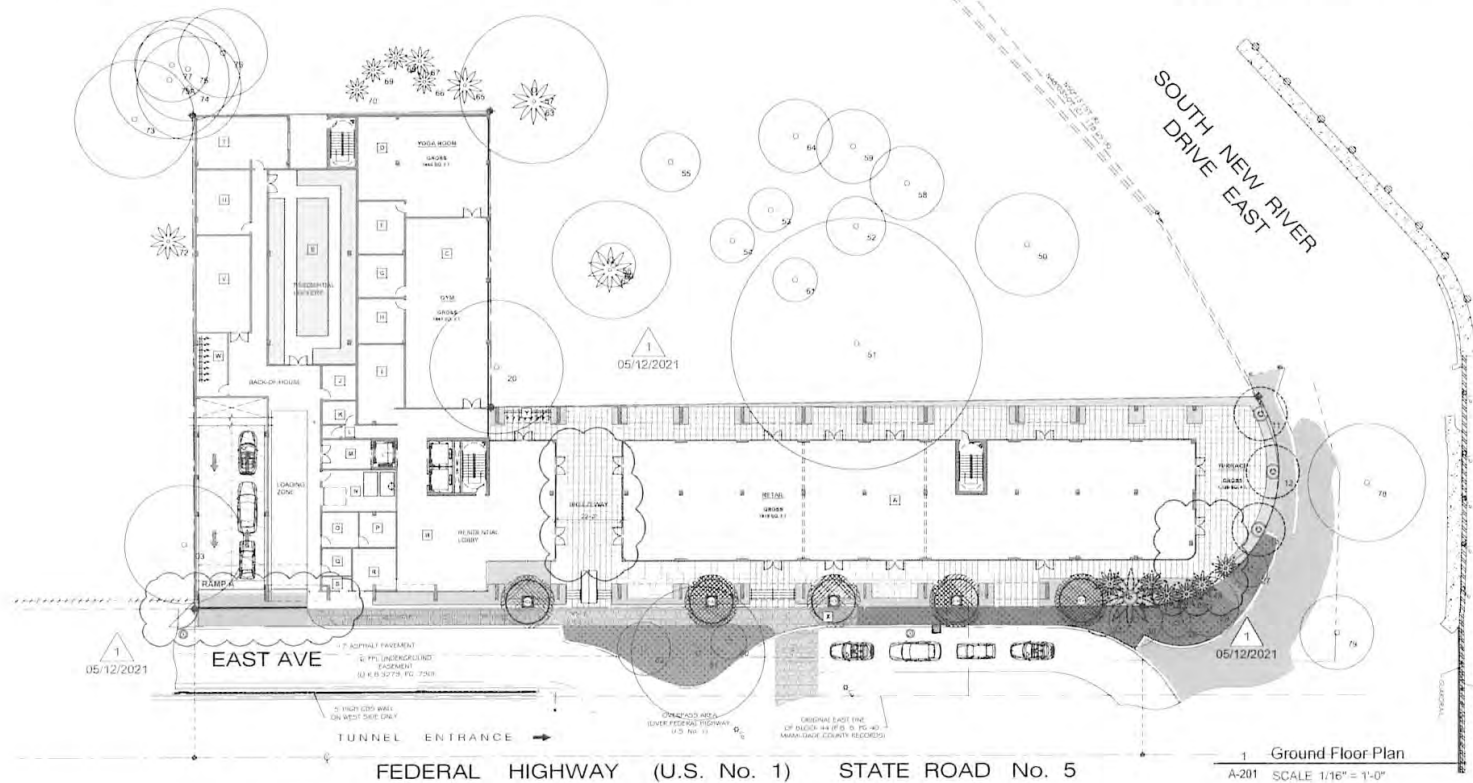
2 Schematic Bldg. Section  
A-201 SCALE 1/32" = 1'-0"

A	COMMERCIAL / RETAIL	(19'-6" X 40'-8")	7,969 SF
B	RESIDENTIAL LOBBY	(81'-7" X 56'-4")	2,595 SF
C	GYM	(27'-6" X 63'-9")	1,841 SF
D	YOGA ROOM	(44'-0" X 33'-10")	1,460 SF
E	RESIDENTIAL LOCKERS	(85'-6" X 29'-4")	1,985 SF
F	TREATMENT ROOM	(16'-3" X 16'-1")	294 SF
G	WOMEN LOCKERS	(34'-0" X 16'-1")	237 SF

3 Space Allocation  
A-201 SCALE NTS

H	MEN LOCKERS	(35'-6" X 16'-1")	250 SF
I	MAIL ROOM	(26'-4" X 19'-0")	422 SF
J	DOG WASH	(11'-4" X 15'-2")	143 SF
K	RESTROOM	(11'-4" X 7'-8")	99 SF
L	JANITOR ROOM	(6'-0" X 4'-1")	32 SF
M	ELEVATOR LOBBY	(16'-6" X 9'-8")	175 SF
N	TRASH ROOM	(24'-0" X 12'-7")	363 SF
O	DOMESTIC PUMP ROOM	(12'-0" X 11'-4")	113 SF

P	FIRE PUMP ROOM	(12'-0" X 11'-4")	236 SF
Q	DOCK MASTER OFFICE	(9'-6" X 9'-2")	110 SF
R	FIRE COMMAND ROOM	(14'-4" X 14'-0")	229 SF
S	BACK FLOW PREVENTOR	(9'-7" X 4'-4")	52 SF
T	GENERATOR ROOM	(30'-7" X 17'-4")	565 SF
U	ELECTRICAL ROOM	(27'-0" X 17'-10")	411 SF
V	FPL VAULT	(22'-4" X 17'-10")	612 SF
W	BIKE ROOM	(21'-0" X 10'-2")	236 SF
X	VALET STATION - COMMERCIAL / RETAIL PARKING		
Y	PUBLIC BIKE RACKS (QUANT. 8)		

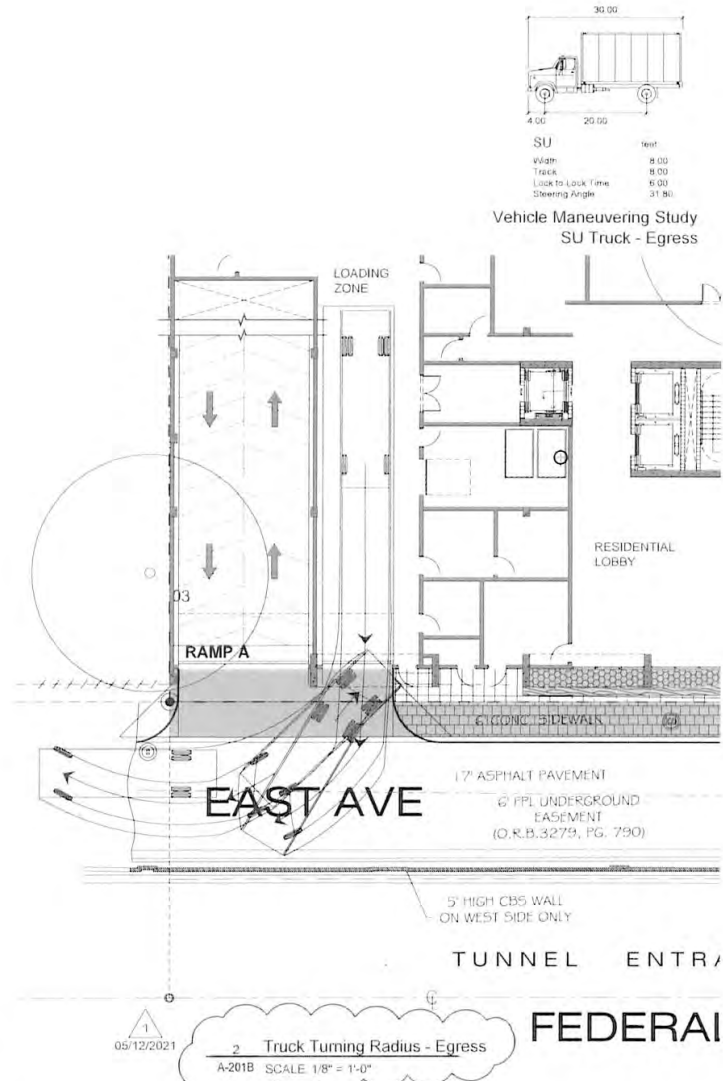


1 Ground Floor Plan  
A-201 SCALE 1/16" = 1'-0"



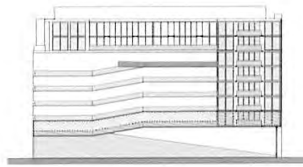
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A-201



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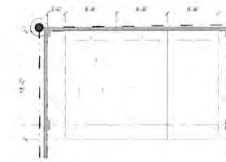
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501 SE 6TH AVENUE, FORT LAUDERDALE, FLORIDA  
ISSUED FOR: DEVELOPMENT REVIEW COMMITTEE  
A-201B



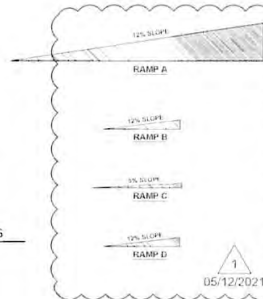
2 Schematic Bldg. Section  
A-202 SCALE 1/32" = 1'-0"

Units Matrix & Parking Count					
	1 BD	2 BDs	3 BDs	TOTAL	# PARKING
Ground Floor					
2nd floor	1	10	2	13	23
3rd floor	1	10	2	13	23
4th floor	1	10	2	13	23
5th floor	1	10	2	13	23
6th floor	1	10	2	13	23
7th floor	1	10	2	13	23
8th floor	1	10	2	13	23
	7	76	13	96	115
	7.24%	79.17%	13.54%	100.00%	

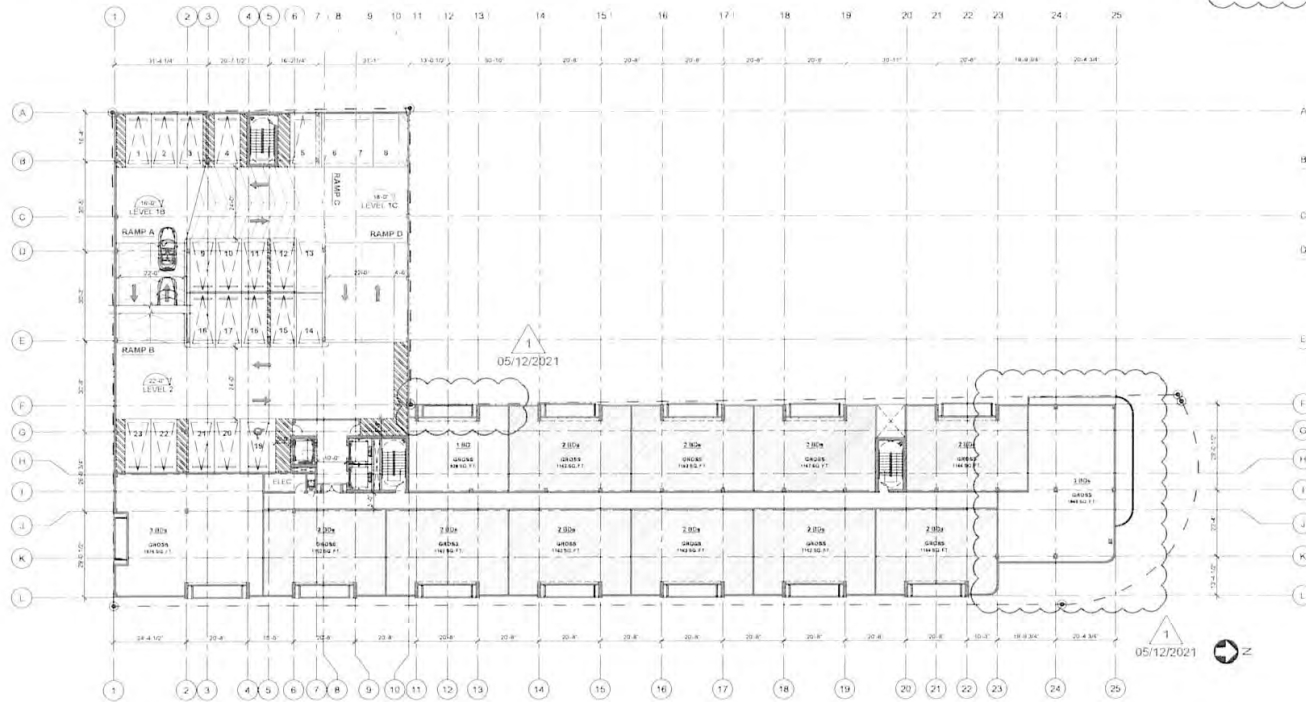
3 Unit Matrix & Parking Data  
A-202 SCALE NTS



4 Parking & Ramp Details  
A-202 SCALE 1/8" = 1'-0"

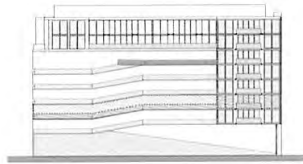


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1 Level 2 Floor Plan  
A-202 SCALE 1/16" = 1'-0"

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A-202



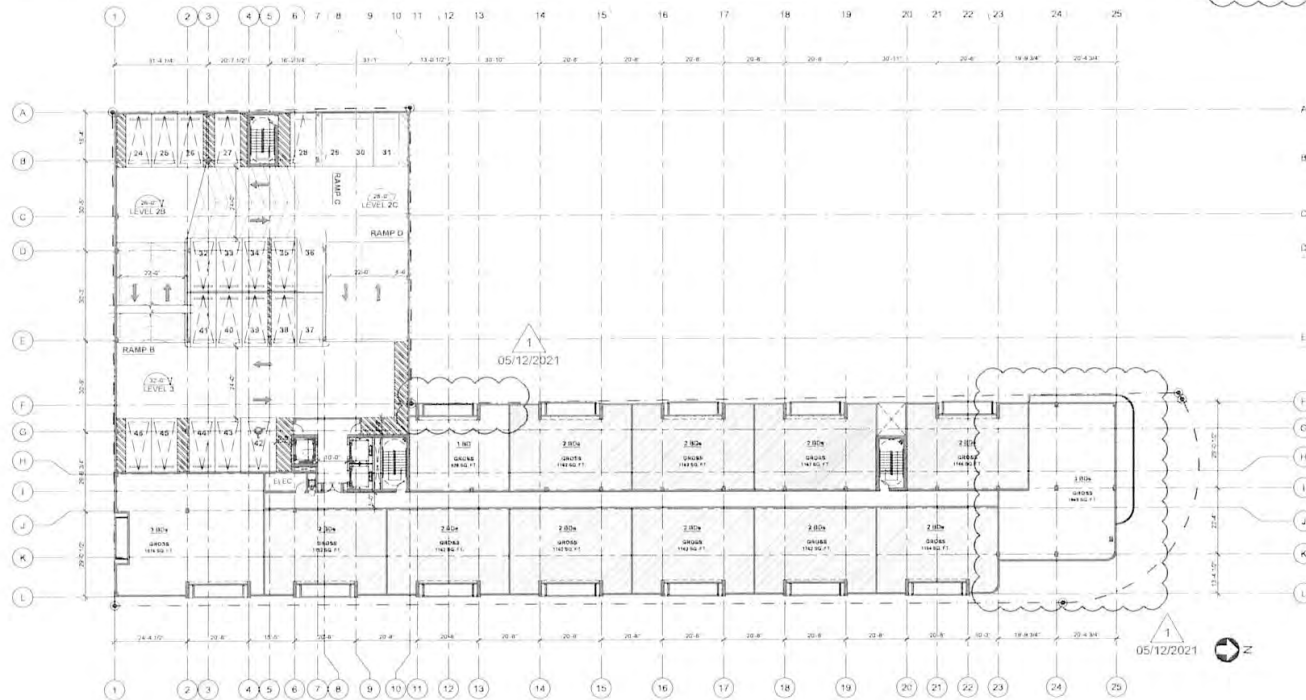
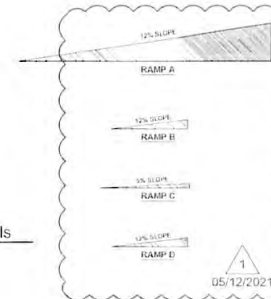
2 Schematic Bldg. Section  
A-203 SCALE 1/32" = 1'-0"

Units Matrix & Parking Count					
	1 BD	2 BDs	3 BDs	TOTAL	# PARKING
Ground floor					
2nd floor	1	10	7	18	23
3rd floor	1	10	2	13	23
4th floor	1	10	2	13	23
5th floor	1	10	2	13	23
6th floor	1	10	2	13	23
7th floor	1	16	2	19	
8th floor	1	10	1	12	
	7	76	13	96	135
	7.29%	79.17%	13.54%	100.00%	

3 Unit Matrix & Parking Data  
A-203 SCALE NTS



4 Parking & Ramp Details  
A-203 SCALE 1/8" = 1'-0"



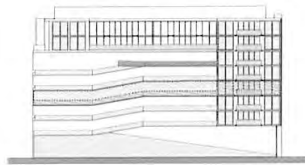
1 Level 3 Floor Plan  
A-203 SCALE 1/16" = 1'-0"

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A-203

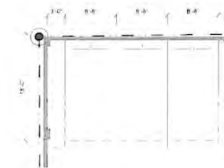




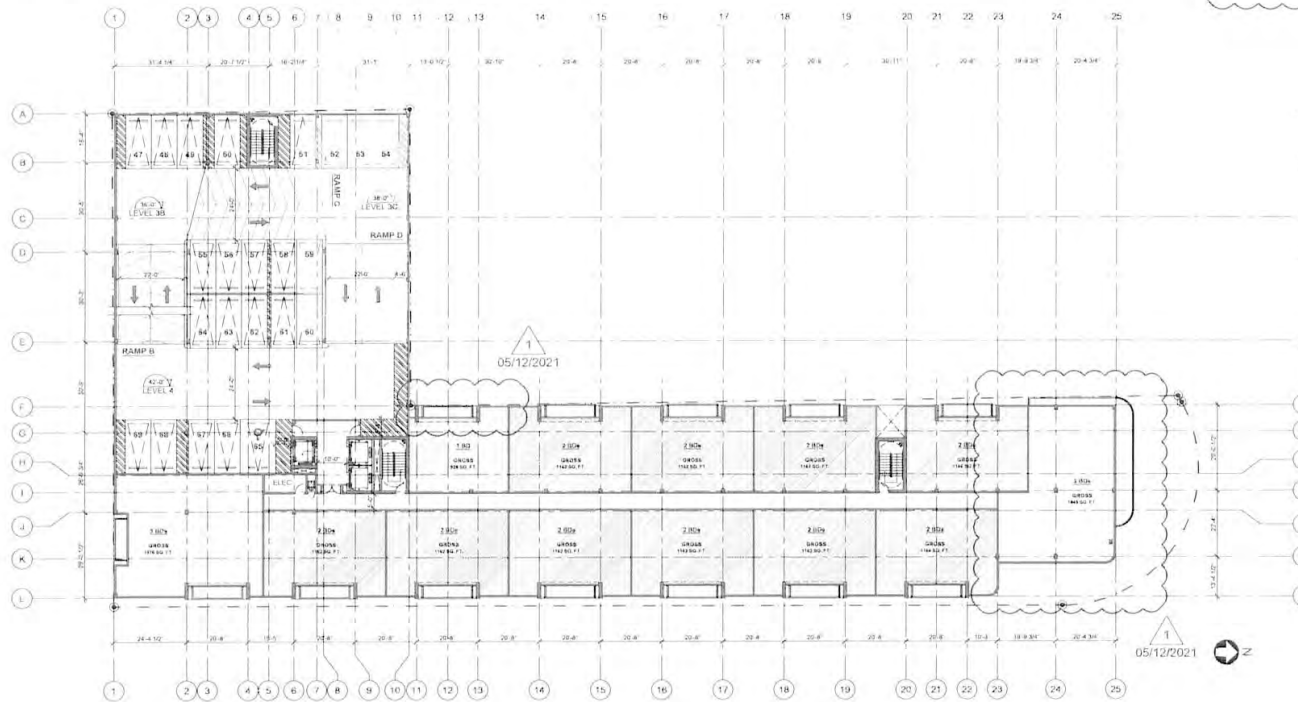
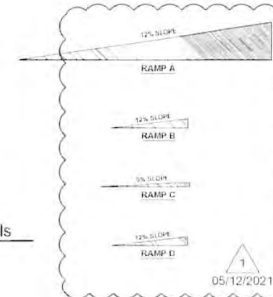
2 Schematic Bldg. Section  
A-204 SCALE 1/32" = 1'-0"

	1 BD	2 BDs	3 BDs	TOTAL	# PARKING
Ground Floor					
2nd floor	1	10	1	12	23
3rd floor	1	10	2	13	23
4th floor	1	10	2	13	23
5th floor	1	10	2	13	23
6th floor	1	10	2	13	23
7th floor	1	16	2	19	
8th floor	1	10	1	12	
	7	76	13	96	115
	7.29%	79.17%	13.54%	100.00%	

3 Unit Matrix & Parking Data  
A-204 SCALE NTS



4 Parking & Ramp Details  
A-204 SCALE 1/8" = 1'-0"



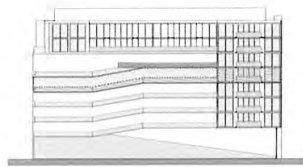
1 Level 4 Floor Plan  
A-204 SCALE 1/16" = 1'-0"

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A-204



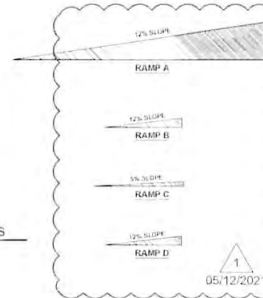
2 Schematic Bldg. Section  
A-205 SCALE 1/32" = 1'-0"

	1 BD	2 BDs	3 BDs	TOTAL	# PARKING
Ground Floor					
2nd Floor	1	10	3	13	23
3rd Floor	1	10	2	13	23
4th Floor	1	10	2	13	23
5th Floor	1	10	2	13	23
6th Floor	1	10	2	13	23
7th Floor	1	16	2	19	
8th Floor	1	10	1	12	
	7	76	13	96	115
	7.29%	79.17%	13.54%	100.00%	

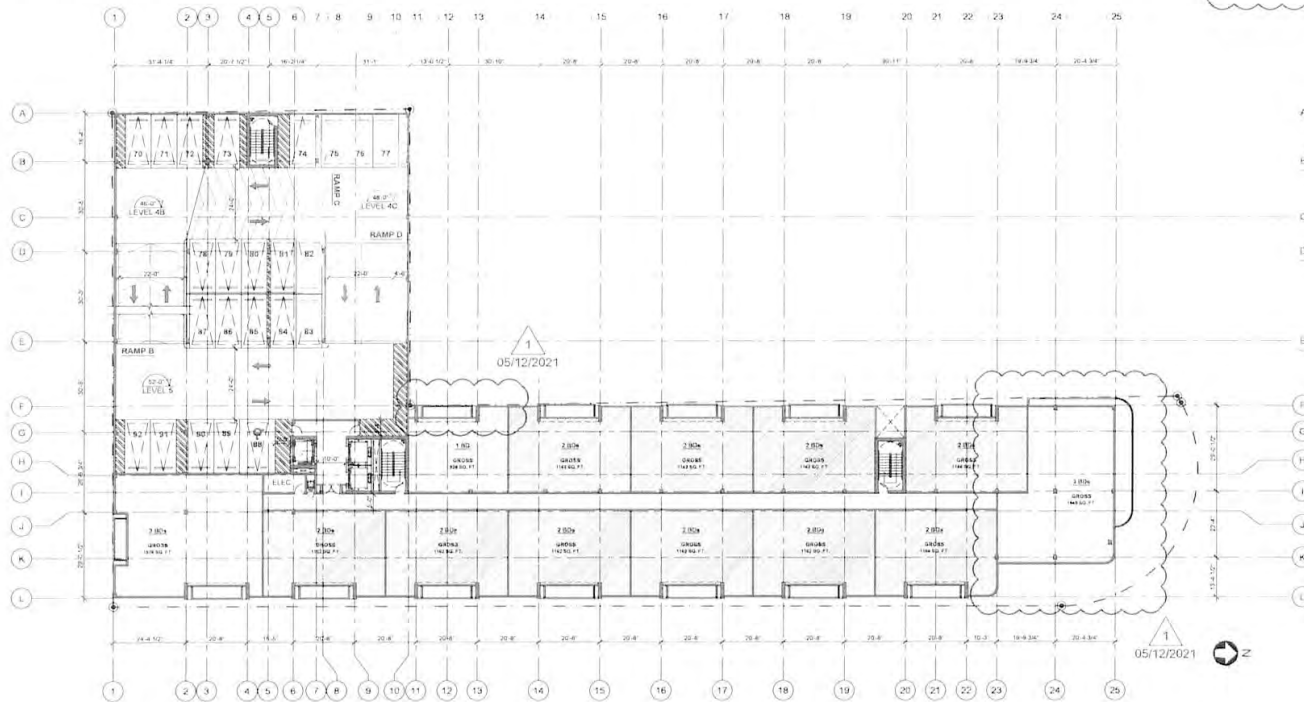
3 Unit Matrix & Parking Data  
A-205 SCALE NTS



4 Parking & Ramp Details  
A-205 SCALE 1/8" = 1'-0"



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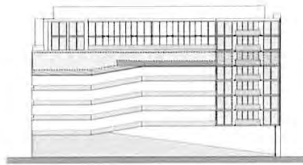
1 Level 5 Floor Plan  
A-205 SCALE 1/16" = 1'-0"

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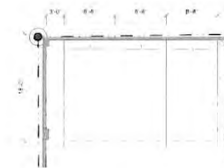
A-205



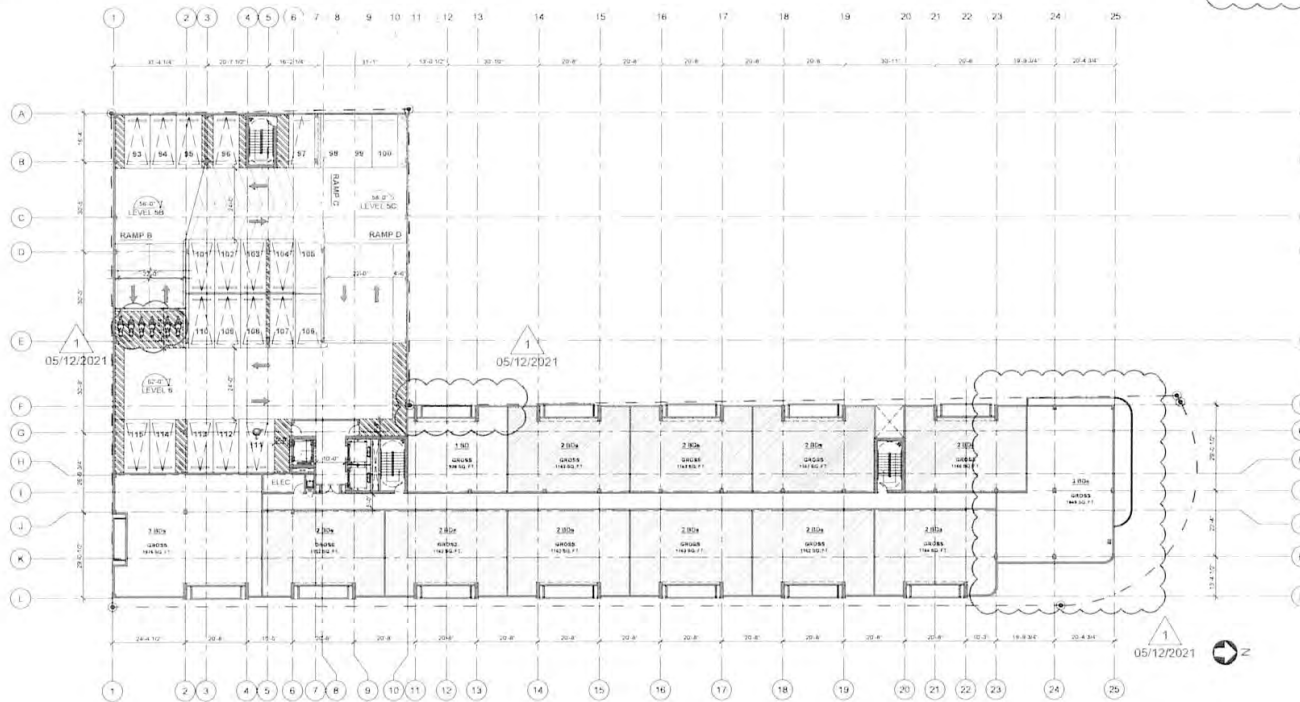
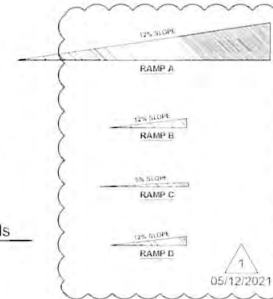
2 Schematic Bldg. Section  
A-206 SCALE 1/32" = 1'-0"

Units Matrix & Parking Count					
	1 BD	2 BDs	3 BDs	TOTAL	# PARKING
Ground Floor					
2nd floor	1	10	7	18	23
3rd floor	1	10	2	13	23
4th floor	1	10	2	13	23
5th floor	1	10	2	13	23
6th floor	1	10	2	13	23
7th floor	1	16	2	19	
8th floor	1	10	1	12	
	7	76	13	96	115
	7.29%	79.12%	13.58%	100.00%	

3 Unit Matrix & Parking Data  
A-206 SCALE NTS



4 Parking & Ramp Details  
A-206 SCALE 1/8" = 1'-0"

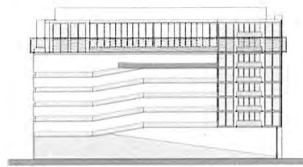


1 Level 6 Floor Plan  
A-206 SCALE 1/16" = 1'-0"

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ne  
L'Ecuier  
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2021.05.12  
17:57:16 -04'00'

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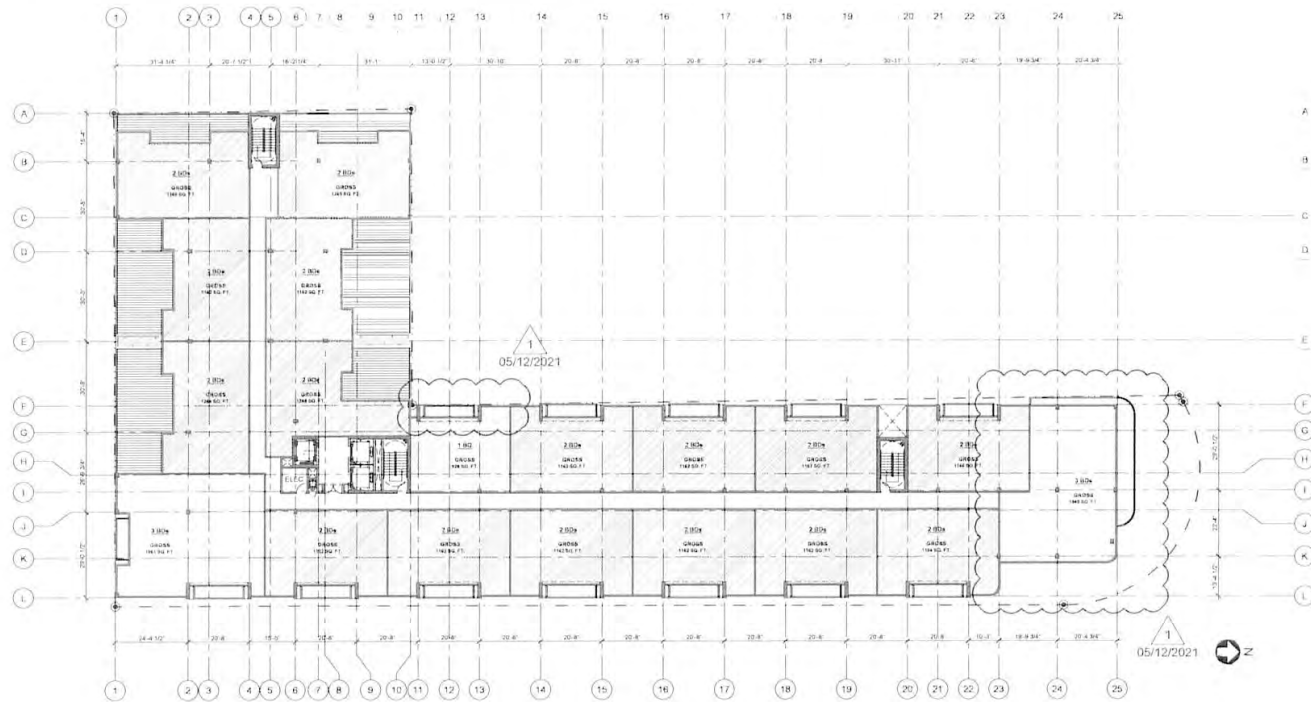
A-206



2 Schematic Bldg. Section  
A-207 SCALE 1/32" = 1'-0"

Units Matrix & Parking Count					
	1 BD	2 BDs	3 BDs	TOTAL	# PARKING
Ground Floor					
2nd floor	1	10	1	12	23
3rd floor	1	10	2	13	23
4th floor	1	10	2	13	23
5th floor	1	10	2	13	23
6th floor	1	10	2	13	23
7th floor	1	16	2	19	-
8th floor	1	10	1	12	-
	7	76	13	96	115
	7.29%	79.17%	13.54%	100.00%	

3 Unit Matrix & Parking Data  
A-207 SCALE NTS

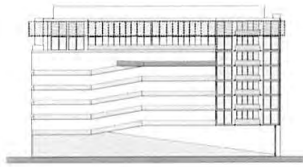


1 Level 7 Floor Plan  
A-207 SCALE 1/16" = 1'-0"



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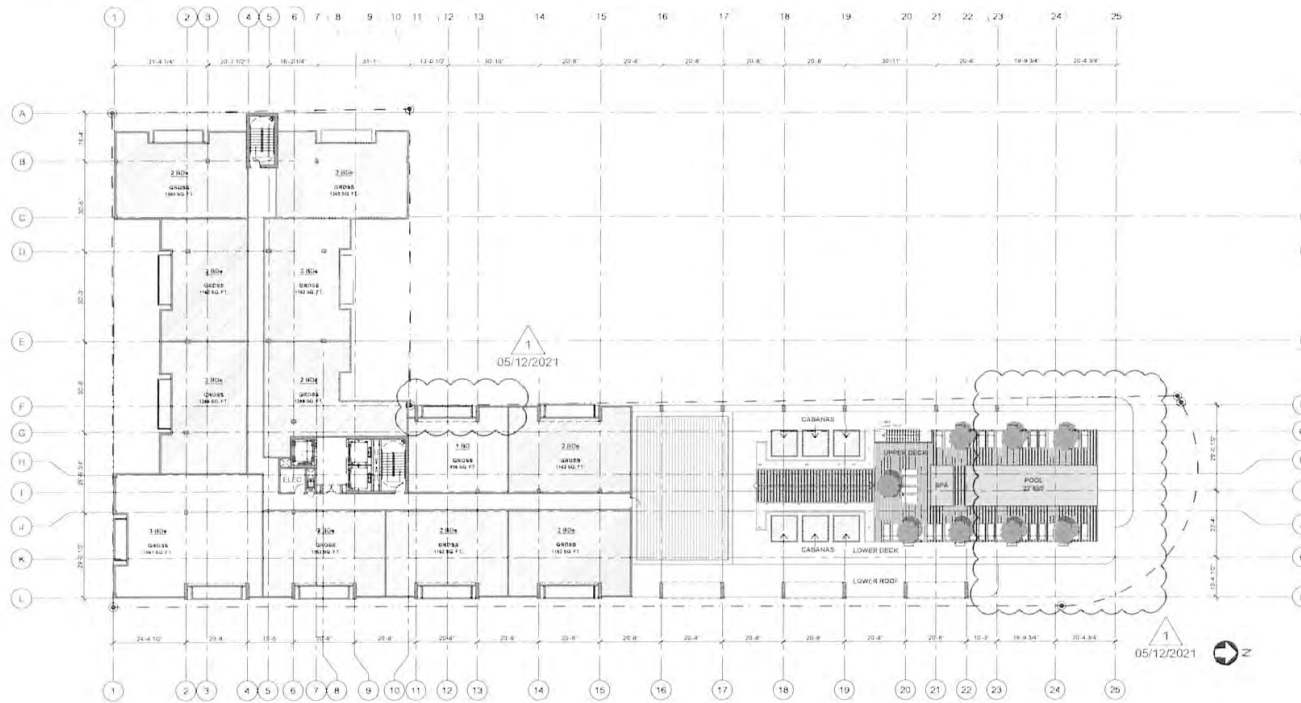


2 Schematic Bldg. Section  
A-208 SCALE: 1/32" = 1'-0"

Units Matrix & Parking Count

	1 BD	2 BDs	3 BDs	TOTAL	# PARKING
Ground Floor					
2nd floor	1	10	3	14	23
3rd floor	1	10	2	13	23
4th floor	1	10	2	13	23
5th floor	1	10	2	13	23
6th floor	1	10	2	13	23
7th floor	1	16	2	19	
8th floor	1	10	1	12	
	7	76	13	96	115
	7.29%	79.17%	13.54%	100.00%	

3 Unit Matrix & Parking Data  
A-208 SCALE: NTS



1 Level 8 Floor Plan  
A-208 SCALE: 1/16" = 1'-0"

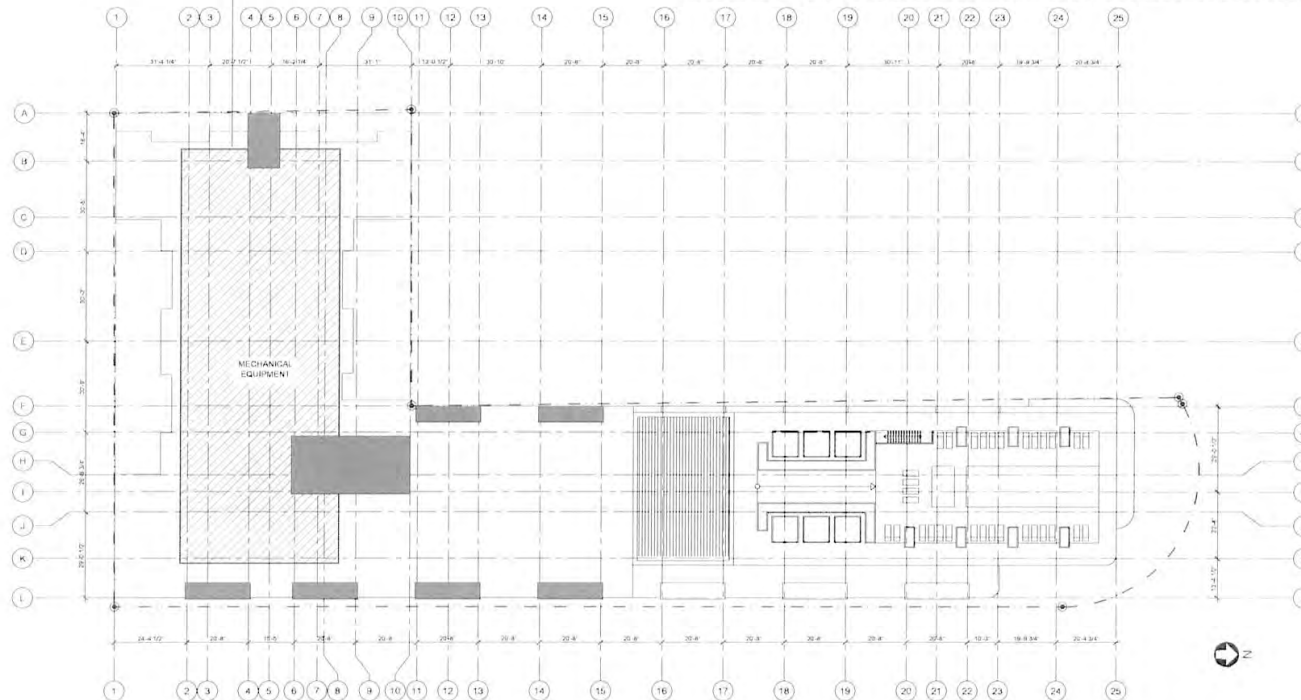
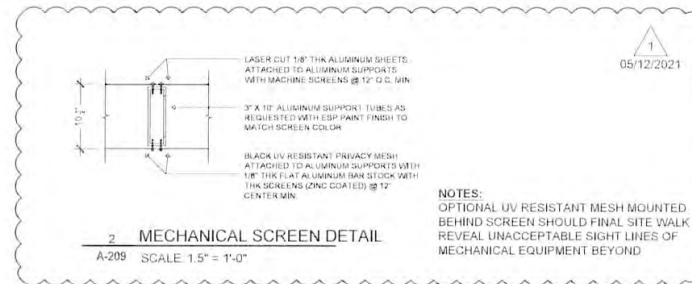
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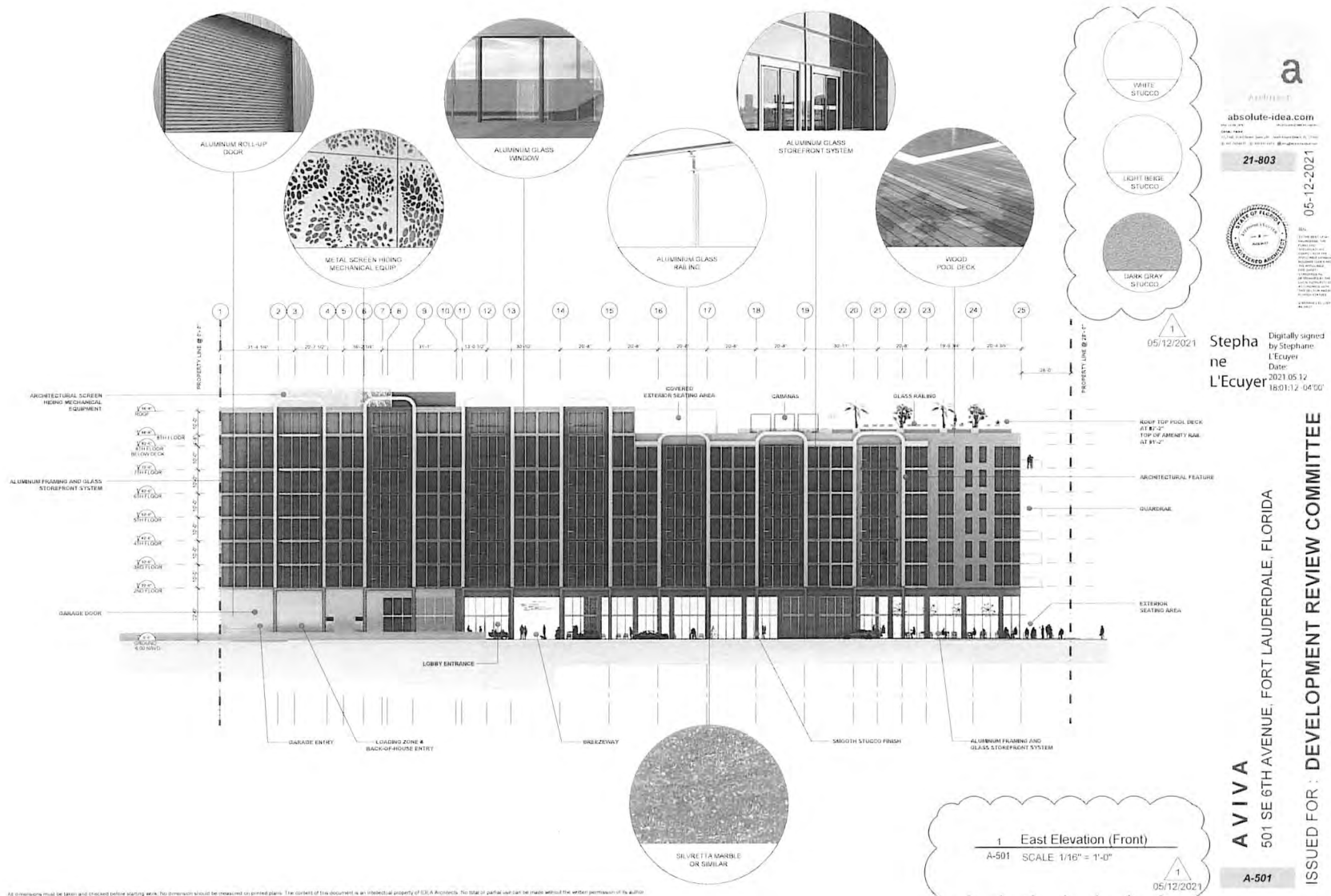
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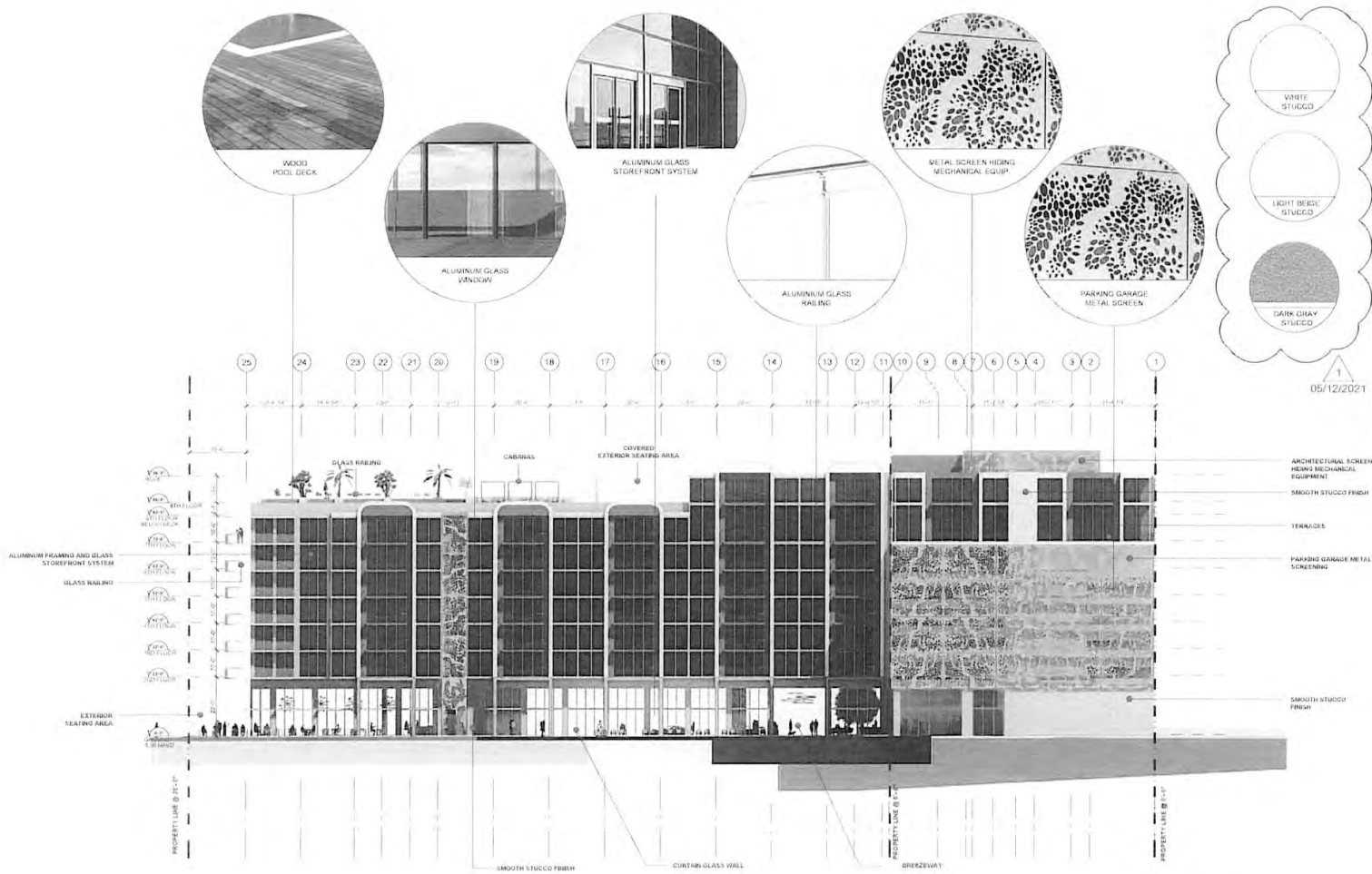
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by Stephane  
L'Ecuier  
Date:  
2021.05.12  
18:00:15 -04'00'

**A V I V A**  
501 SE 6TH AVENUE, FORT LAUDERDALE, FLORIDA

ISSUED FOR : **DEVELOPMENT REVIEW COMMITTEE**

A-209



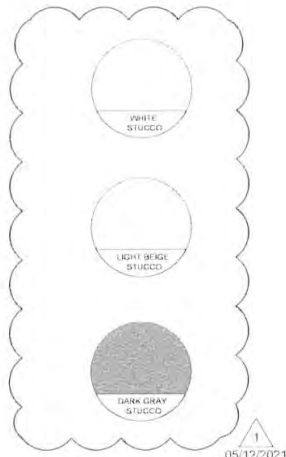


**a**  
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21-803  
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Stephane L'Ecuier  
Digitally signed by Stephane L'Ecuier  
Date: 2021.05.12 18:02:23 -04'00'

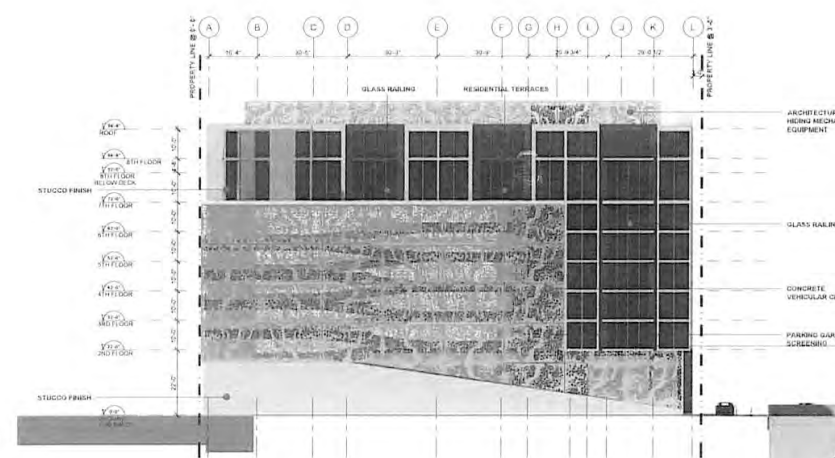
**AVIVA**  
501 SE 6TH AVENUE, FORT LAUDERDALE, FLORIDA  
ISSUED FOR: DEVELOPMENT REVIEW COMMITTEE  
A-502

1 West Elevation (Back)  
A-502 SCALE 1/16" = 1'-0"  
05/12/2021

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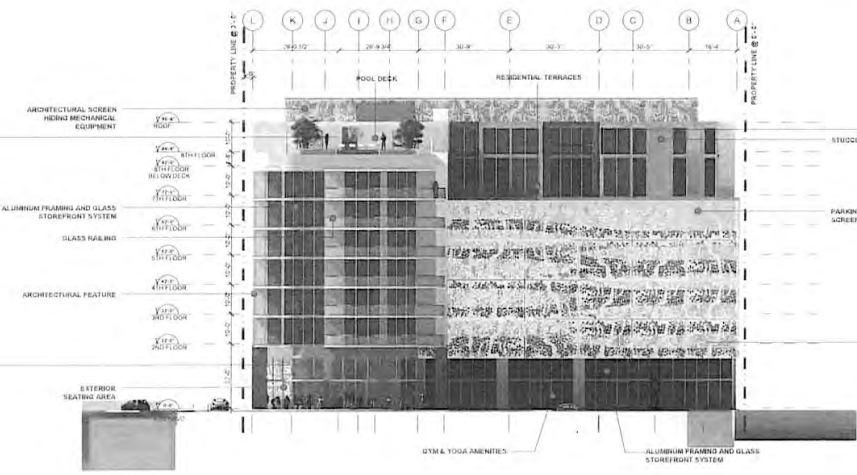
05/12/2021



1 South Elevation (Side)

A-503 SCALE 1/16" = 1'-0"

05/12/2021



2 North Elevation (Side)

A-503 SCALE 1/16" = 1'-0"

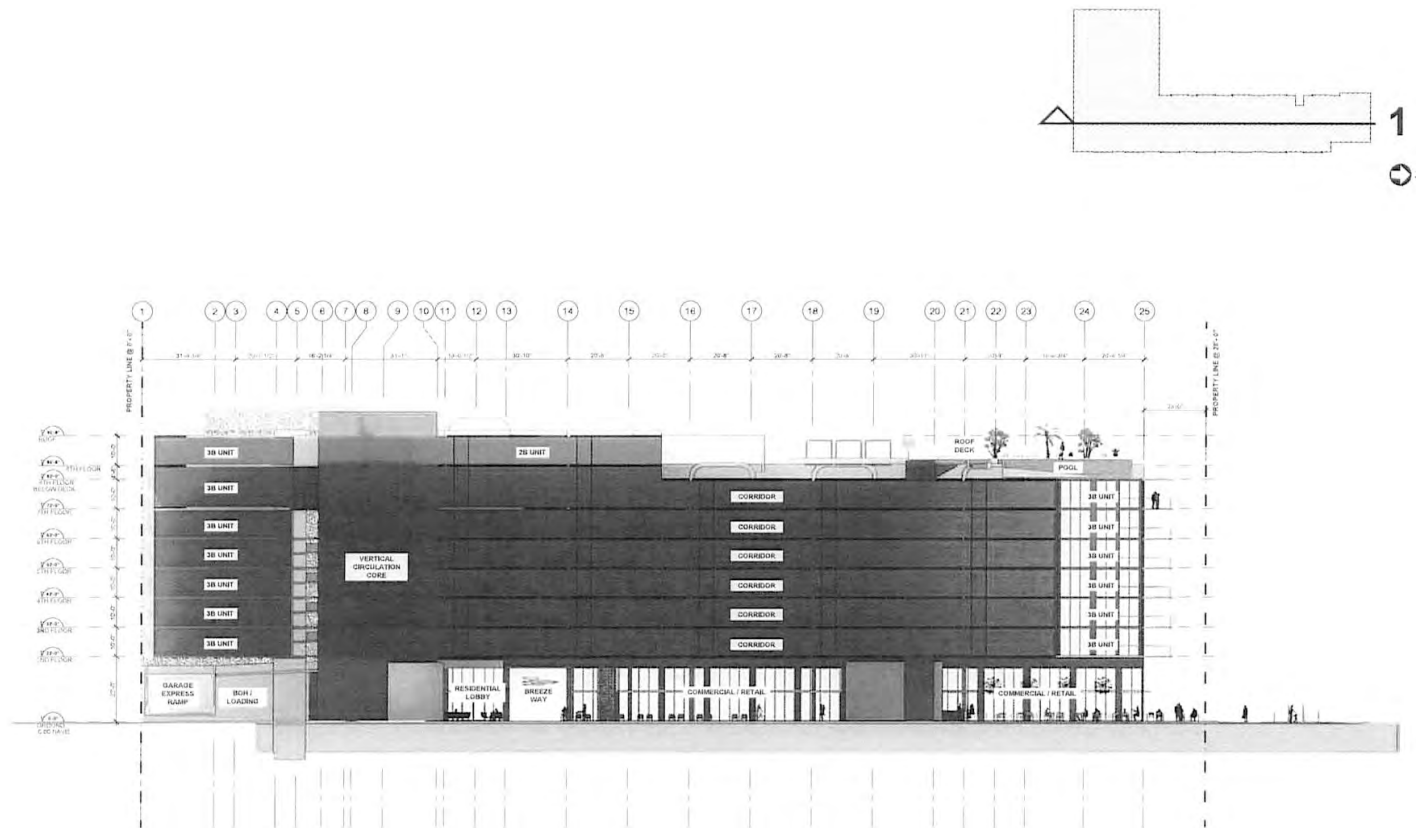
05/12/2021



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Date: 2021.05.12 18:03:36 -0400

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A-503

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1 Longitudinal Section  
A-601 SCALE 1/16" = 1'-0"

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05-12-2021

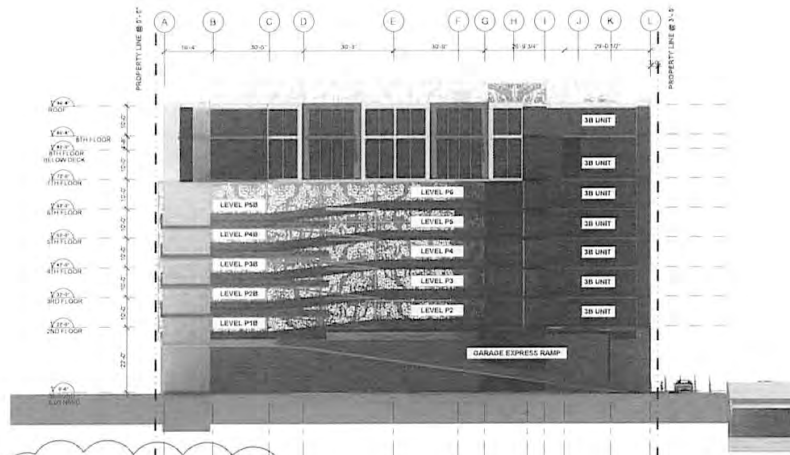
STATE OF FLORIDA  
COUNTY OF CLAY  
CLAY COUNTY  
RECEIVED  
05/12/2021

Stephane L'Ecuyer  
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Date: 2021.05.12 18:04:35 -04'00'

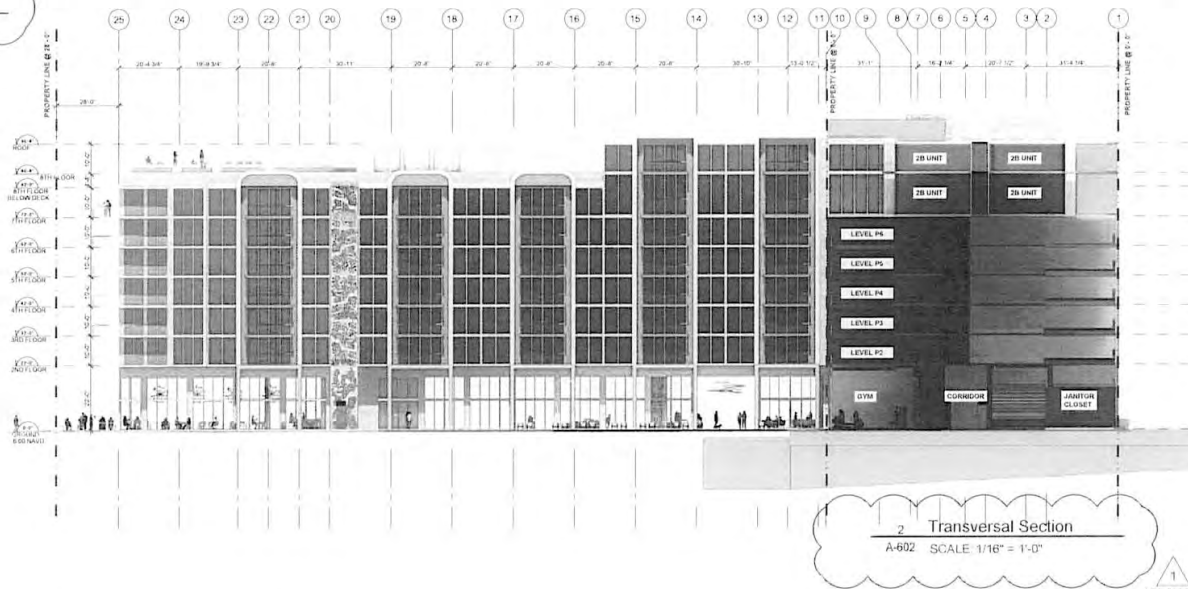
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A-601

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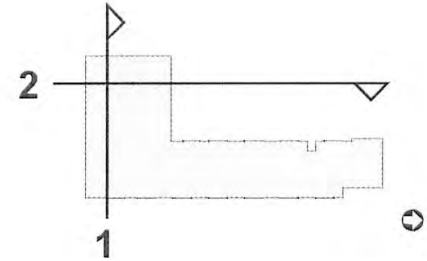




1 Transversal Section  
A-602 SCALE 1/16" = 1'-0"  
05/12/2021



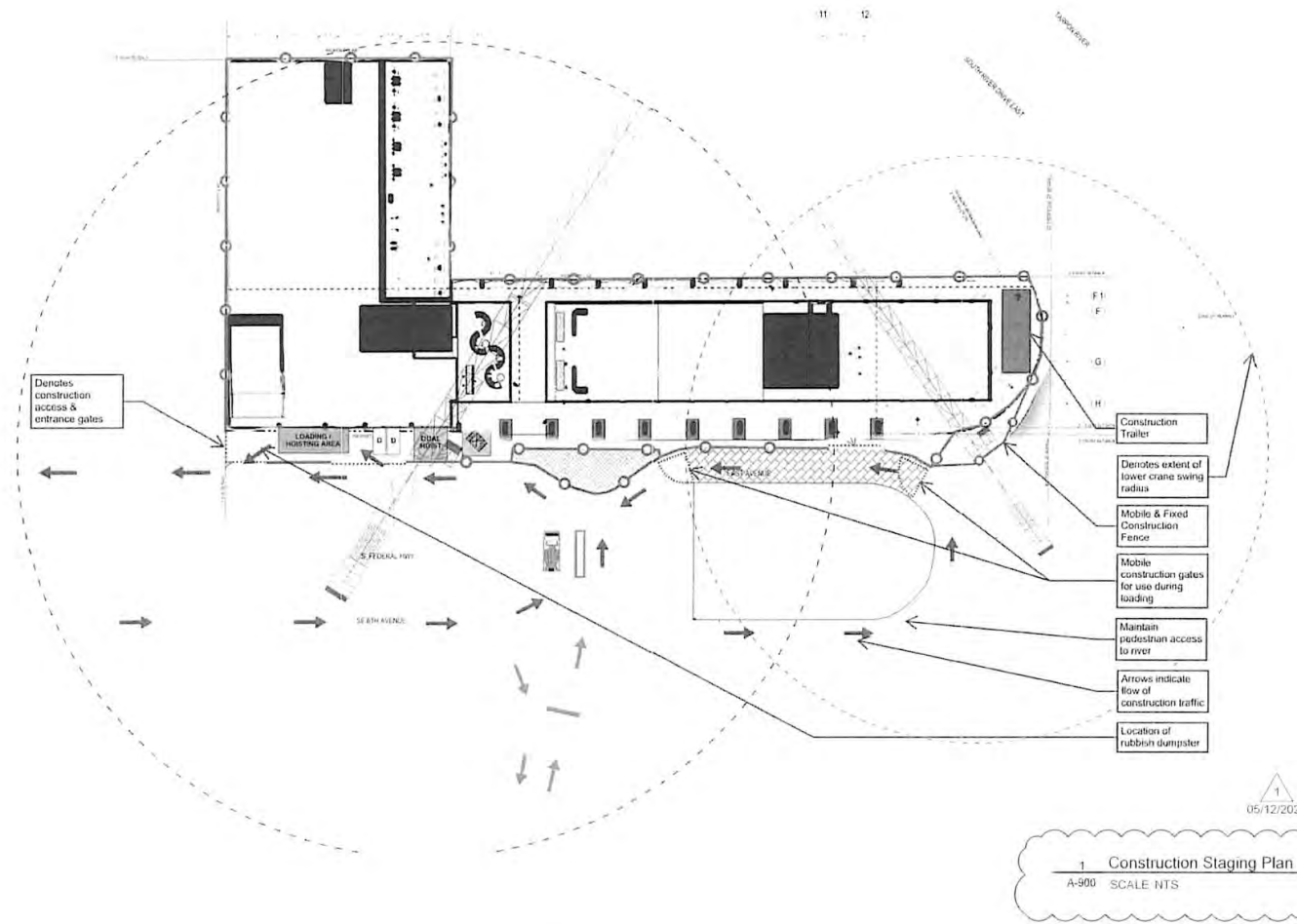
2 Transversal Section  
A-602 SCALE 1/16" = 1'-0"  
05/12/2021



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05-12-2021

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ne  
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Date:  
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A-602



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 L'Ecuier  
 Date: 2021.05.12  
 18:06:34 -0400

**AVIVA**  
 501 SE 6TH AVENUE, FORT LAUDERDALE, FLORIDA  
 ISSUED FOR: **DEVELOPMENT REVIEW COMMITTEE**  
 A-900

Surface washers lighting category

**Application:** Surface washers are used to illuminate the surface of a wall or ceiling. They are typically used in commercial and industrial settings.

**Material:** The washers are made of aluminum and are available in various sizes and finishes.

**Lighting:** The washers are available in various lighting options, including LED, fluorescent, and incandescent.

**Dimensions:** The washers are available in various sizes, including 12" x 12", 18" x 18", and 24" x 24".

**Installation:** The washers are installed by mounting them to a wall or ceiling using screws.

**Image:**

**2 Up-Light Column Washers**  
A-901 SCALE: NTS

**LINEAR IP67 status washer**

**Application:** The Linear IP67 status washer is used to illuminate the surface of a wall or ceiling. It is typically used in commercial and industrial settings.

**Material:** The washer is made of aluminum and is available in various sizes and finishes.

**Lighting:** The washer is available in various lighting options, including LED, fluorescent, and incandescent.

**Dimensions:** The washer is available in various sizes, including 12" x 12", 18" x 18", and 24" x 24".

**Installation:** The washer is installed by mounting it to a wall or ceiling using screws.

**Image:**

**3 Linear Arch. Frame Lights**  
A-901 SCALE: NTS

**1 Lighting Specifications**  
A-901 SCALE: NTS

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**21-803**

**05-12-2021**

**Stephane L'Ecuyer**

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**Date: 2021.05.12 18:07:36 -0400**

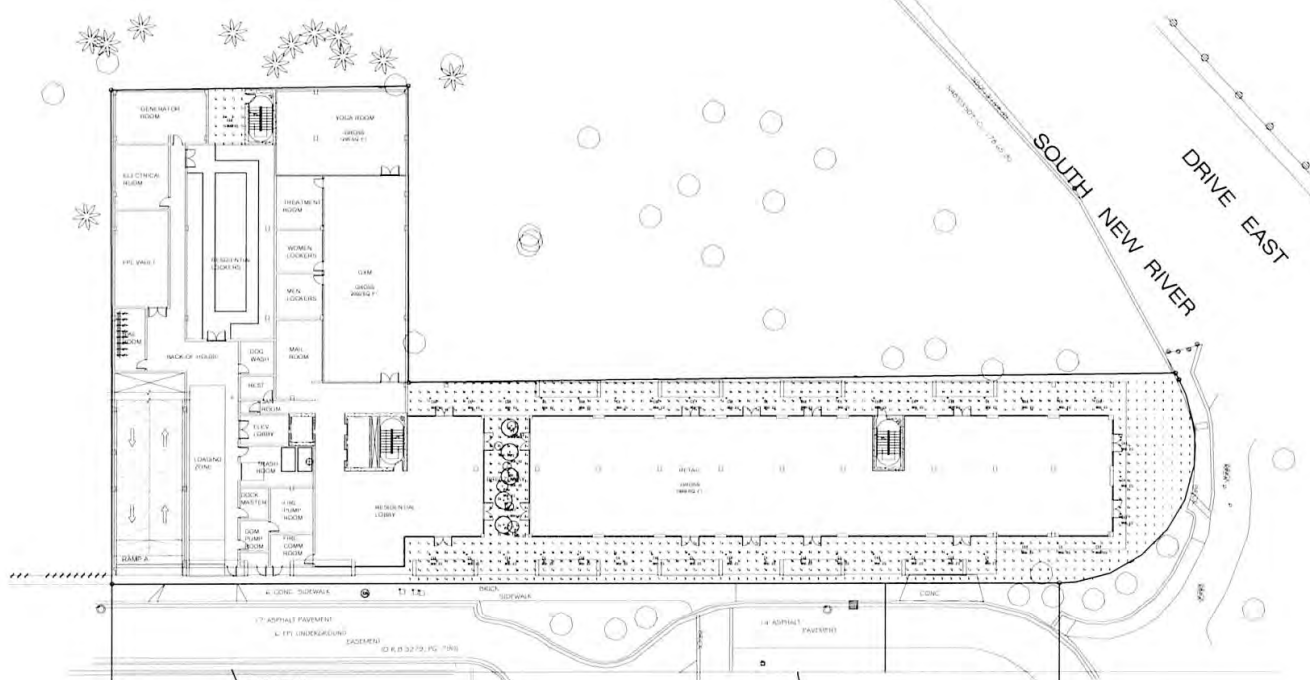
**AVIVA**

**501 SE 6TH AVENUE, FORT LAUDERDALE, FLORIDA**

**ISSUED FOR : DEVELOPMENT REVIEW COMMITTEE**

**A-901**

Customer Summary					
Project: 0070A, FT LAUDERDALE - RTE - MAR - 11 - 2021					
Label	Avg	Min	Max	Avg/Min	Max/Min
BALANCE WY	32.51	45.0	24.0	1.35	1.76
COLUMBIAN	18.47	36.0	5.0	7.28	7.28
WEST ENTRANCE	11.42	21.0	3.0	3.94	7.00



1 Photometrics - Site  
PH-01 SCALE: 1/16"=1'-0"

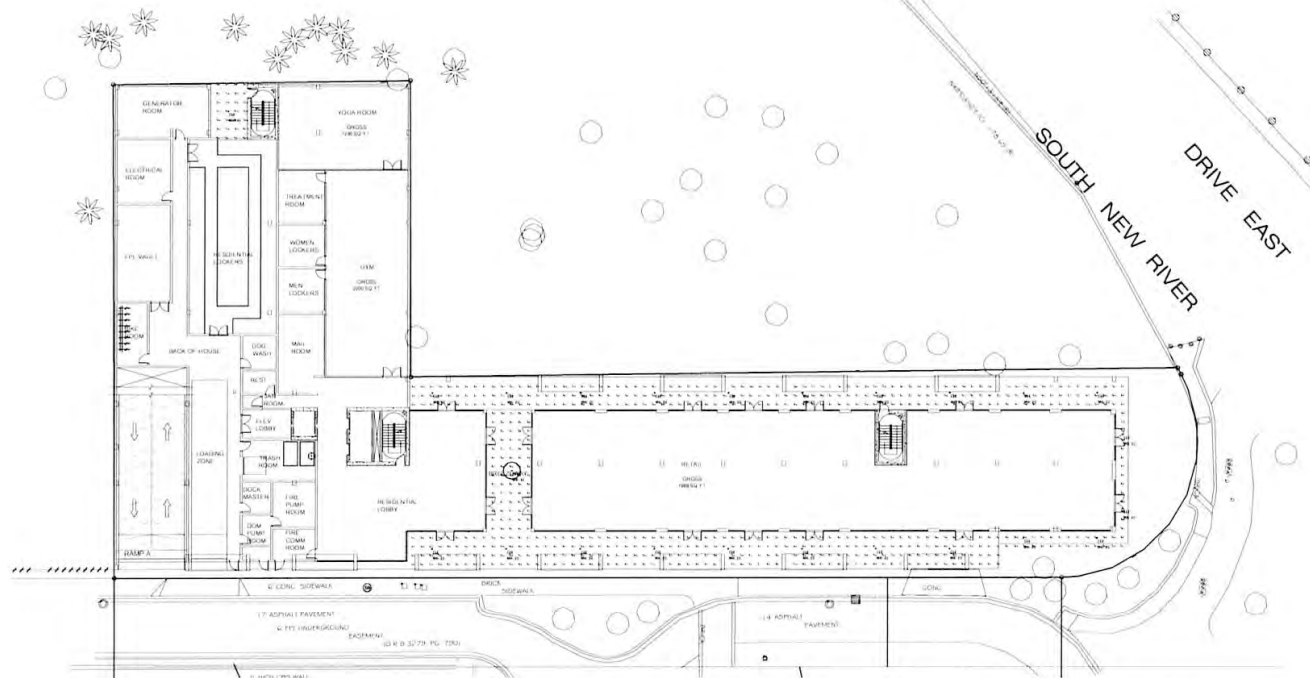
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Architect  
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4052101, 4052102, 4052103, 4052104, 4052105, 4052106, 4052107, 4052108, 4052109, 4052110, 4052111, 4052112, 4052113, 4052114, 4052115, 4052116, 4052117, 4052118, 4052119, 4052120, 4052121, 4052122, 4052123, 4052124, 4052125, 4052126, 4052127, 4052128, 4052129, 4052130, 4052131, 4052132, 4052133, 4052134, 4052135, 4052136, 4052137, 4052138, 4052139, 4052140, 4052141, 4052142, 4052143, 4052144, 4052145, 4052146, 4052147, 4052148, 4052149, 4052150, 4052151, 4052152, 4052153, 4052154, 4052155, 4052156, 4052157, 4052158, 4052159, 4052160, 4052161, 4052162, 4052163, 4052164, 4052165, 4052166, 4052167, 4052168, 4052169, 4052170, 4052171, 4052172, 4052173, 4052174, 4052175, 4052176, 4052177, 4052178, 4052179, 4052180, 4052181, 4052182, 4052183, 4052184, 4052185, 4052186, 4052187, 4052188, 4052189, 4052190, 4052191, 4052192, 4052193, 4052194, 4052195, 4052196, 4052197, 4052198, 4052199, 4052200, 4052201, 4052202, 4052203, 4052204, 4052205, 4052206, 4052207, 4052208, 4052209, 4052210, 4052211, 4052212, 4052213, 4052214, 4052215, 4052216, 4052217, 4052218, 4052219, 4052220, 4052221, 4052222, 4052223, 4052224, 4052225, 4052226, 4052227, 4052228, 4052229, 4052230, 4052231, 4052232, 4052233, 4052234, 4052235, 4052236, 4052237, 4052238, 4052239, 4052240, 4052241, 4052242, 4052243, 4052244, 4052245, 4052246, 4052247, 4052248, 4052249, 4052250, 4052251, 4052252, 4052253, 4052254, 4052255, 4052256, 4052257, 4052258, 4052259, 4052260, 4052261, 4052262, 4052263, 4052264, 4052265, 4052266, 4052267, 4052268, 4052269, 4052270, 4052271, 4052272, 4052273, 4052274, 4052275, 4052276, 4052277, 4052278, 4052279, 4052280, 4052281, 4052282, 4052283, 4052284, 4052285, 4052286, 4052287, 4052288, 4052289, 4052290, 4052291, 4052292, 4052293, 4052294, 4052295, 4052296, 4052297, 4052298, 4052299, 4052300, 4052301, 4052302, 4052303, 4052304, 4052305, 4052306, 4052307, 4052308, 4052309, 4052310, 4052311, 4052312, 4052313, 4052314, 4052315, 4052316, 4052317, 4052318, 4052319, 4052320, 4052321, 4052322, 4052323, 4052324, 4052325, 4052326, 4052327, 4052328, 4052329, 4052330, 4052331, 4052332, 4052333, 4052334, 4052335, 4052336, 4052337, 4052338, 4052339, 4052340, 4052341, 4052342, 4052343, 4052344, 4052345, 4052346, 4052347, 4052348, 4052349, 4052350, 4052351, 4052352, 4052353, 4052354, 4052355, 4052356, 4052357, 4052358, 4052359, 4052360, 4052361, 4052362, 4052363, 4052364, 4052365, 4052366, 4052367, 4052368, 4052369, 4052370, 4052371, 4052372, 4052373, 4052374, 4052375, 4052376, 4052377, 4052378, 4052379, 4052380, 4052381, 4052382, 4052383, 4052384, 4052385, 4052386, 4052387, 4052388, 4052389, 4052390, 4052391, 4052392, 4052393, 4052394, 4052395, 4052396, 4052397, 4052398, 4052399, 4052400, 4052401, 4052402, 4052403, 4052404, 4052405, 4052406, 4052407, 4052408, 4052409, 4052410, 4052411, 4052412, 4052413, 4052414, 4052415, 4052416, 4052417, 4052418, 4052419, 4052420, 4052421, 4052422, 4052423, 4052424, 4052425, 4052426, 4052427, 4052428, 4052429, 4052430, 4052431, 4052432, 4052433, 4052434, 4052435, 4052436, 4052437, 4052438, 4052439, 4052440, 4052441, 4052442, 4052443, 4052444, 4052445, 4052446, 4052447, 4052448, 4052449, 4052450, 4052451, 4052452, 4052453, 4052454, 4052455, 4052456, 4052457, 4052458, 4052459, 4052460, 4052461, 4052462, 4052463, 4052464, 4052465, 4052466, 4052467, 4052468, 4052469, 4052470, 4052471, 4052472, 4052473, 4052474, 4052475, 4052476, 4052477, 4052478, 4052479, 4052480, 4052481, 4052482, 4052483, 4052484, 4052485, 4052486, 4052487, 4052488, 4052489, 4052490, 4052491, 4052492, 4052493, 4052494, 4052495, 4052496, 4052497, 4052498, 4052499, 4052500, 4052501, 4052502, 4052503, 4052504, 4052505, 4052506, 4052507, 4052508, 4052509, 4052510, 4052511, 4052512, 4052513, 4052514, 4052515, 4052516, 4052517, 4052518, 4052519, 4052520, 4052521, 4052522, 4052523, 4052524, 4052525, 4052526, 4052527, 4052528, 4052529, 4052530, 4052531, 4052532, 4052533, 4052534, 4052535, 4052536, 4052537, 4052538, 4052539, 4052540, 4052541, 4052542, 4052543, 4052544, 4052545, 4052546, 4052547, 4052548, 4052549, 4052550,

03-12-2021

PH-01  
**AVIVA**  
 501 SE 6TH AVENUE, FORT LAUDERDALE, FLORIDA  
 ISSUED FOR : **DEVELOPMENT REVIEW COMMITTEE**

Landscape Schedule					
Project: AVIVA, FT LAUDERDALE, FLORIDA - MAR - 11 - 2021					
Symbol	Qty	Label	Description	Each Width	Total Width
○	23	SEE	PLANTING: PLANTING TO BE DONE BY THE USER AND TO BE DONE UNDER THE USER'S RESPONSIBILITY	42	966
○	1	SEE	PLANTING: PLANTING TO BE DONE BY THE USER AND TO BE DONE UNDER THE USER'S RESPONSIBILITY	78	78

Calculation Summary					
Project: AVIVA, FT LAUDERDALE, FLORIDA - MAR - 11 - 2021					
Label	Area	Min	Max	Avg/Min	Max/Min
AREAS	6.63	11.7	3.1	2.11	3.77
CORRIDOR	6.37	18.1	2.8	6.88	9.35
WEST ENTRANCE	11.88	27.2	3.4	5.47	8.24



1 Photometrics - Site (Emergency)  
PH-02 SCALE: 1/16"=1'-0"

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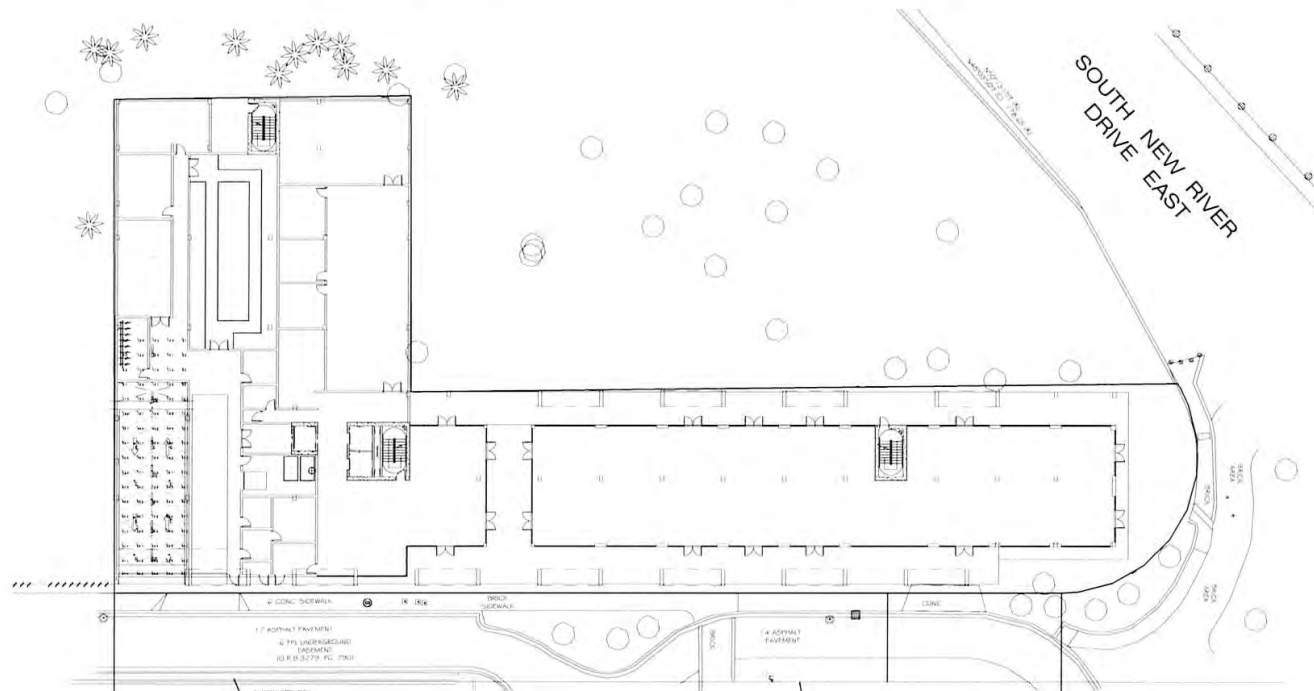
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**AVIVA**  
501 SE 6TH AVENUE, FORT LAUDERDALE, FLORIDA  
ISSUED FOR : DEVELOPMENT REVIEW COMMITTEE  
PH-02



Luminaire Schedule						
Project: AVIVA, FT LAUDERDALE - PG - DAY --- MAR - 10 - 2021						
Symbol	Qty	Label	Description	LLF	Lum. Watts	Total Watts
	8	C	LITON LCALD6X11-12-B40-T40 (DAY ONLY)	0.900	124.3	994.4
	25	G	BEGHELLI BS100LED_PG-4-HT-HQ-WT40-120-277V	0.900	70	1750
	20	GE	BEGHELLI BS100LED_PG-4-HT-HQ-WT40-120-277V-EM CIRCUIT	0.900	70	1400



1 Photometrics - Ground Ramp (Day)  
PH-03 SCALE: 1/16"=1'-0"

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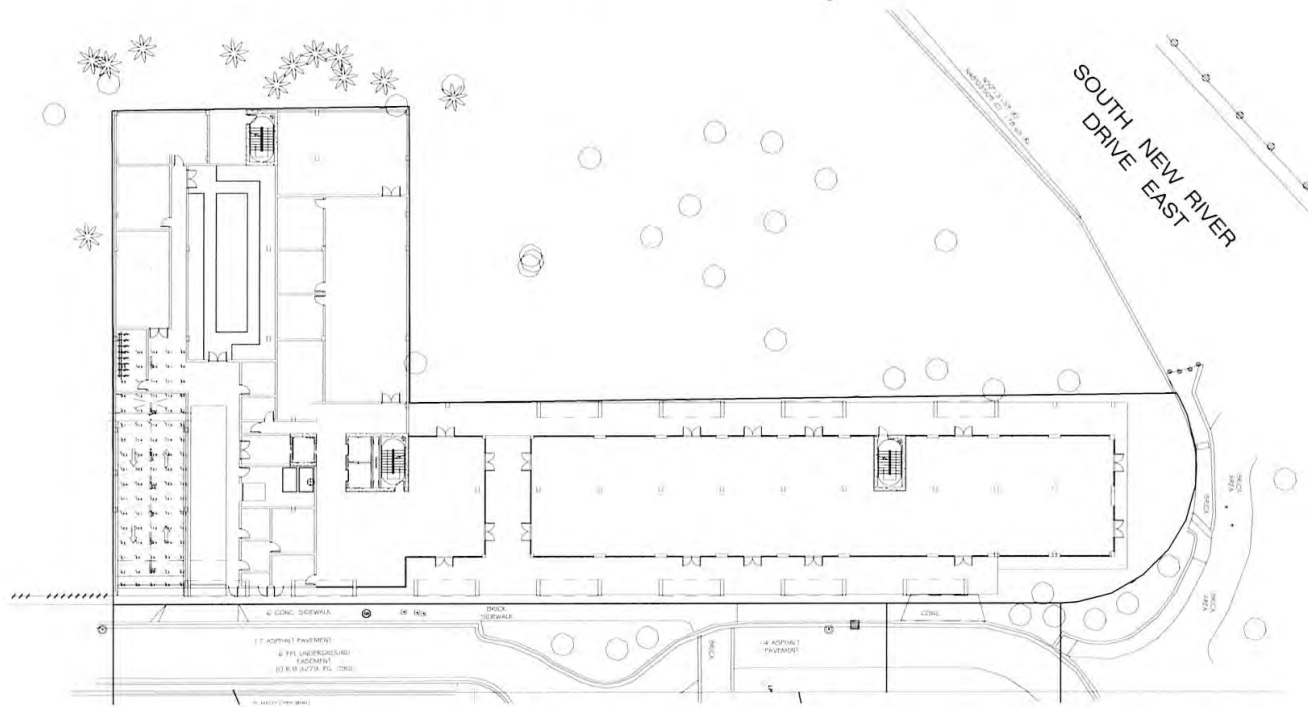
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**AVIVA**  
501 SE 6TH AVENUE, FORT LAUDERDALE, FLORIDA  
ISSUED FOR : DEVELOPMENT REVIEW COMMITTEE

PH-03

Luminaire Schedule						
Project: AVIVA, FT LAUDERDALE - PG - NIGHT --- MAR - 10 - 2021						
Symbol	Qty	Label	Description	LLF	Lum. Watts	Total Watts
	25	G	BEGHELLI BS100LED_PG-4-HT-H0-WT40-120-277V	0.900	70	1750
	20	GE	BEGHELLI BS100LED_PG-4-HT-H0-WT40-120-277V-EM CIRCUIT	0.900	70	1400



1 Photometrics - Ground Ramp (Night)  
PH-04 SCALE: 1/16"=1'-0"

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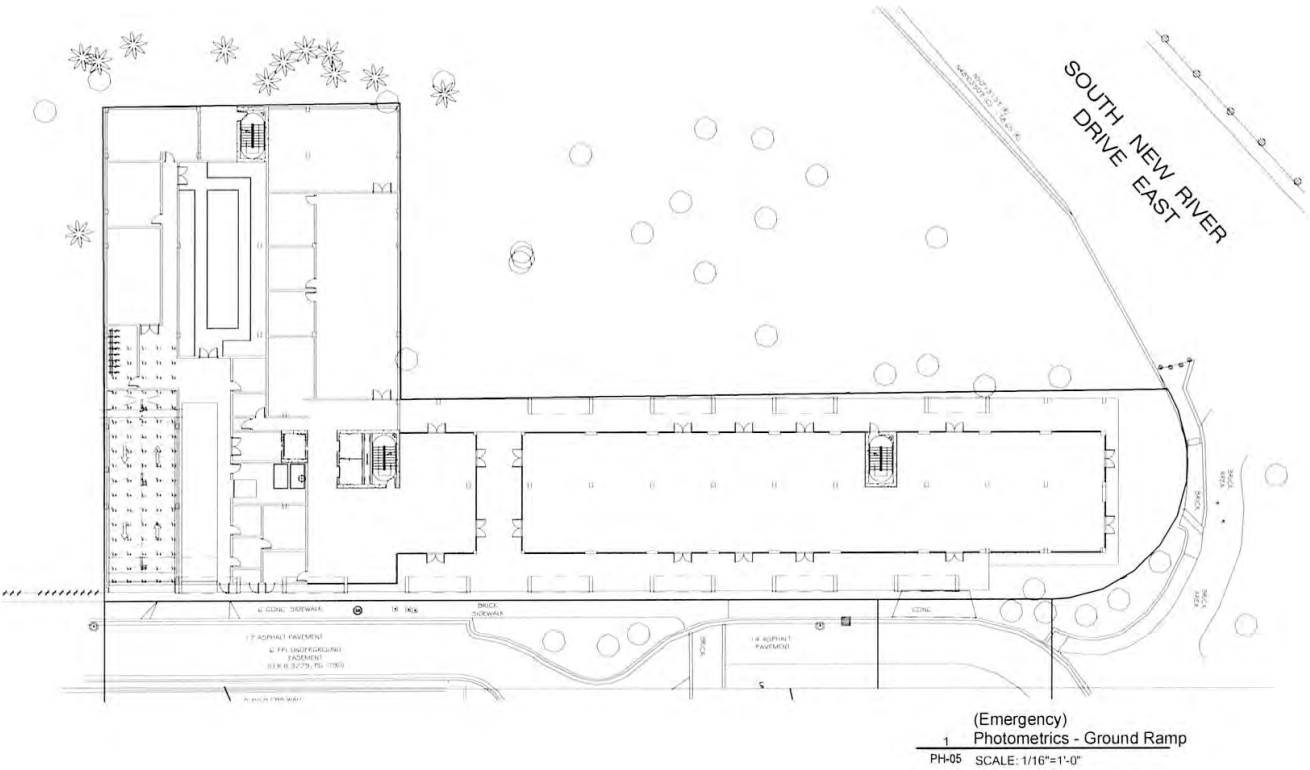
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PH-04

Luminaire Schedule					
Project: AVIVA, FT LAUDERDALE - PG - EM MODE --- MAR - 10 - 2021					
Symbol	Qty	Label	Description	Lum. Watts	Total Watts
	20	GE	BEGHELLI BS100LED_PG-4-HT-HO-WT40-120-277V-EM CIRCUIT GENERATOR	70	1400

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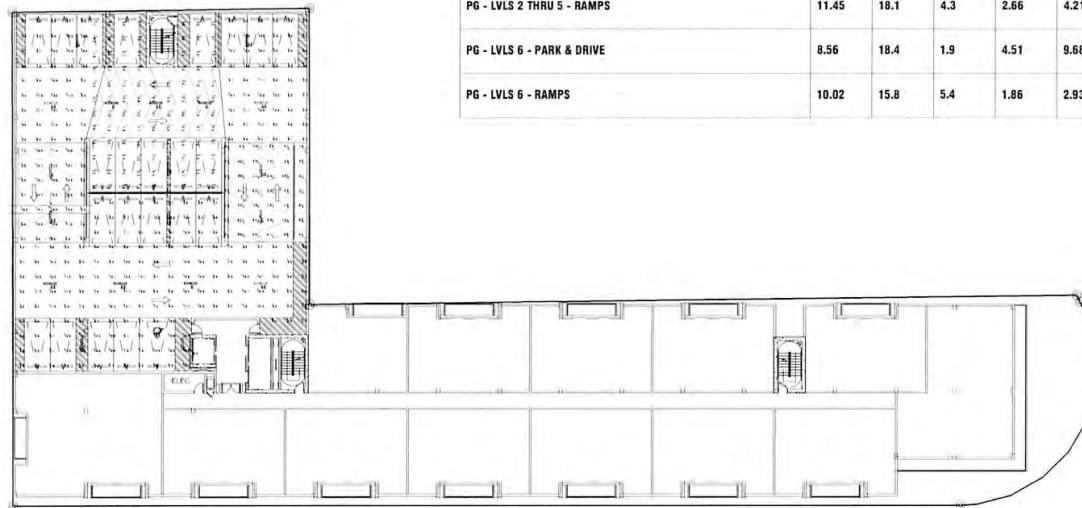


(Emergency)  
1 Photometrics - Ground Ramp  
PH-05 SCALE: 1/16"=1'-0"

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**AVIVA**  
501 SE 6TH AVENUE, FORT LAUDERDALE, FLORIDA

ISSUED FOR : **DEVELOPMENT REVIEW COMMITTEE**



1 Photometrics - Typical Parking (Day)  
PH-06 SCALE: 1/16"=1'-0"

Calculation Summary					
Project: AVIVA, FT LAUDERDALE - PG - DAY --- MAR - 10 - 2021					
Label	Avg	Max	Min	Avg/Min	Max/Min
GND LVL ENTRANCE	58.78	88.2	27.1	2.17	3.25
GND LVL SPEED RAMP EX ENTRANCE	12.21	18.7	9.0	1.36	2.08
PG - LVLS 2 THRU 5 - PARK & DRIVE	8.68	18.2	1.9	4.57	9.58
PG - LVLS 2 THRU 5 - RAMPS	11.45	18.1	4.3	2.66	4.21
PG - LVLS 6 - PARK & DRIVE	8.56	18.4	1.9	4.51	9.68
PG - LVLS 6 - RAMPS	10.02	15.8	5.4	1.86	2.93

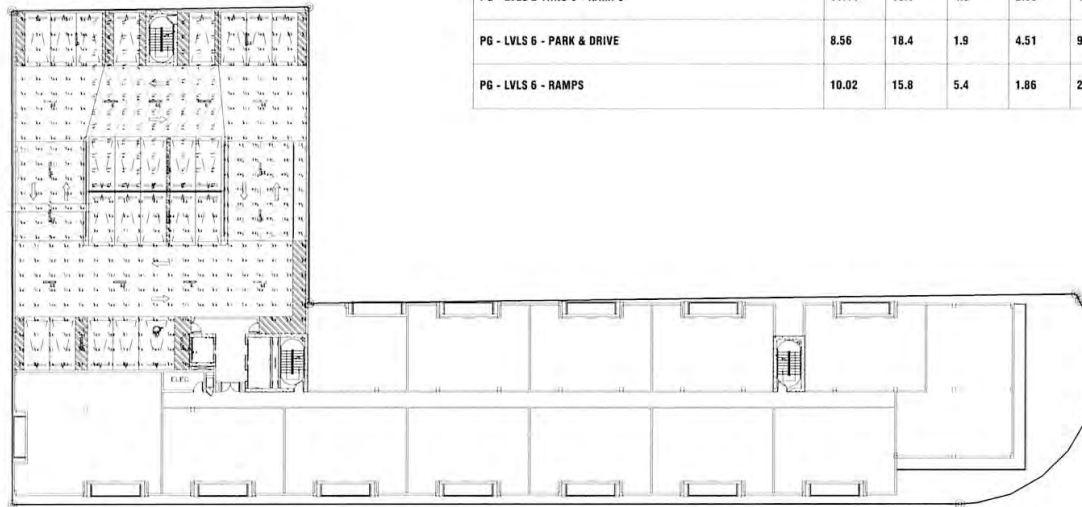
  
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**AVIVA**  
 501 SE 6TH AVENUE, FORT LAUDERDALE, FLORIDA  
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PH-06

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Calculation Summary					
Project: AVIVA, FT LAUDERDALE - PG - NIGHT --- MAR - 10 - 2021					
Label	Avg	Max	Min	Avg/Min	Max/Min
GND LVL ENTRANCE	10.49	13.9	5.7	1.84	2.44
GND LVL SPEED RAMP EX ENTRANCE	10.68	13.4	8.4	1.27	1.60
PG - LVLS 2 THRU 5 - PARK & DRIVE	8.69	18.2	2.0	4.35	9.10
PG - LVLS 2 THRU 5 - RAMPS	11.44	18.1	4.3	2.66	4.21
PG - LVLS 6 - PARK & DRIVE	8.56	18.4	1.9	4.51	9.68
PG - LVLS 6 - RAMPS	10.02	15.8	5.4	1.86	2.93

1 Photometrics - Typical Parking (Night)  
PH-07 SCALE: 1/16"=1'-0"



03-12-2021

**AVIVA**  
501 SE 6TH AVENUE, FORT LAUDERDALE, FLORIDA  
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PH-07

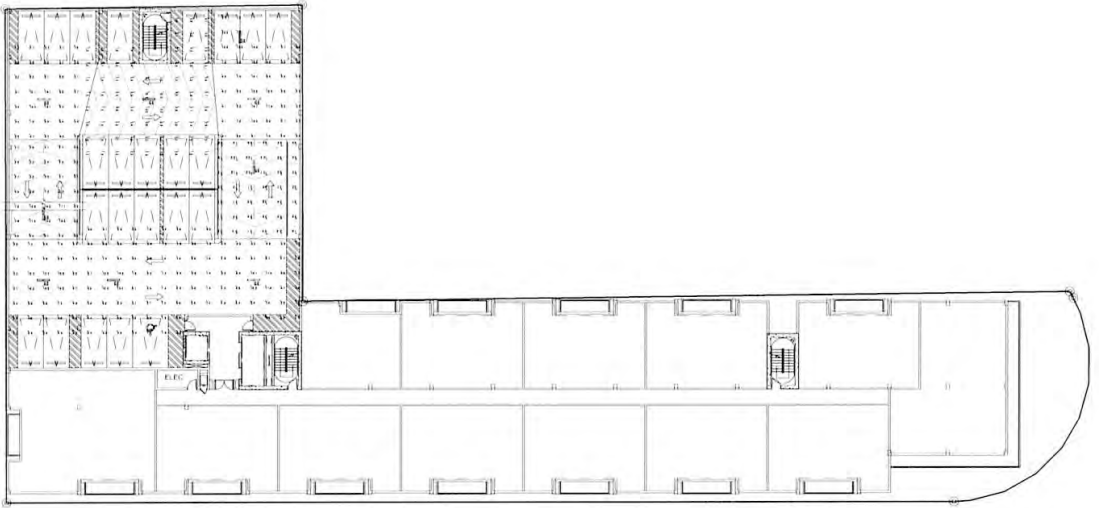
Calculation Summary					
Project: AVIVA, FT LAUDERDALE - PG - EM MODE --- MAR - 10 - 2021					
Label	Avg	Max	Min	Avg/Min	Max/Min
PG - GND LVL	4.70	8.4	2.7	1.74	3.11
PG - LVL 6	4.48	15.5	0.5	8.96	31.00
PG - LVLS 2 THRU 5	5.28	15.8	0.5	10.56	31.60



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(Emergency)  
1 Photometrics - Typical Parking  
PH-08 SCALE: 1/16"=1'-0"

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501 SE 6TH AVENUE, FORT LAUDERDALE, FLORIDA  
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PH-08



## 1. APPLICABLE CODES

- ## 10. INSPECTION AND TESTING

#### IV. SHOP DRAWINGS

4. PRIOR TO CONSTRUCTION FOR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER. RECORD FOR THE FOLLOWING ITEMS: WATER/SEWER MAIN PIPING AND ASSOCIATED FITTINGS, CATCH BASINS AND ALL OTHER DRAINAGE, MANHOLE, FIVE, BALLAST BOX, EXFILTRATION TRENCH FILTER FABRIC. IN ADDITION, SOME STATES, COUNTIES, STATE AND/OR NATIONAL REGULATORY AGENCIES REQUIRE THEIR OWN INDIVIDUAL REVIEW AND APPROVAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY SHOP DRAWING APPROVALS, IF REQUIRED.

#### V. TEMPORARY FACILITIES

1. TEMPORARY FACILITIES
- A. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES, AND ELECTRICITY DURING CONSTRUCTION.
- B. THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE ACCESS (ENTRANCE) TO COMMERCIAL PROPERTIES AT ALL TIMES, IF APPLICABLE.

- C. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH FOR ALL SURFACE WATER DRAINAGE STRUCTURES AND DITCHES DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
- TRAFFIC REGULATION
- A. THE CONTRACTOR SHALL PROVIDE ALL WARNING SIGNALS, SIGNS, LIGHTS AND FLAG PERSONS AS NECESSARY FOR THE MAINTENANCE OF TRAFFIC WITHIN PUBLIC RIGHT-OF-WAYS IN ACCORDANCE WITH MUTCD AND FDOT.
- B. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR HIGHWAYS SHALL BE PROPERLY MAINTAINED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- C. NO TRENCHES OR HOLES NEAR HIGHWAYS, IN HIGHWAYS OR THEIR SHOULDER, ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT THE EXPRESS PERMISSION OF THE CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT.

#### VI. PROJECT CLOSE OUT

5. CLEANUP OF:
- A. EXISTING CONSTRUCTION PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER AND UPON FINAL CLEANUP THE PROJECT SITE SHALL BE LEFT AS CLEAN AS ALL SURROUNDING MATERIAL. THE PROJECT SITE SHALL BE LEFT TO THE DISCRETION OF THE LOCAL AGENCY.
  - B. THE CONSTRUCTION SHALL PROCEED OR REFUSE, WHENEVER IT IS DETERMINED, ANY PUBLIC OF PRIVATE PROPERTY, DAMAGE OF PERSONS OR THINGS BELONGING AND EMPLOYED TO A CONSTRUCTION AT LEAST TO THAT EXTENTING NECESSARY TO BE REASONABLY PROTECTED.
  - C. THE CONSTRUCTION SHALL, WITHOUT ANY OTHER, SUSTAINABLE EVIDENCE, (EVIDENCE, SIGNAGE, FENCES, MARKERS) SHOW AND BE INTERPRETED AS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND TO THE SAME EXTENT AS THE EXISTING PROJECT.
  - D. OTHER MATERIALS OR DEBRIS HAVE BEEN MOVED OR TOWED AWAY, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONSTRUCTION'S OPERATIONS, SHALL BE REMOVED OR DEPOSITED IN ANOTHER LOCATION AND BE SUBJECT OF THE PROGRESS OF THE WORK, AND THE AREA LEFT IN A CLEAN AND NEAT CONDITION.
  - E. ALL OFFICIALS OF DESIGN AND INSPECTED (ENVIRONMENTAL, WILDLIFE, VEGETATION, MARINE AND BIRDING) SHALL BE ADVISED THE LIMITS OF CONSTRUCTION AT A LOCAL OFFICE SITE PROVIDED BY THE CONSTRUCTION AT THE PROJECTS CONFORMANCE, WITH THE PROGRESS OF THE CONSTRUCTION, CLEANED FROM THE SITE SHALL BE IN PROGRESS TO AVOID ANY NEIGHBOR HOUSING PROPERTY.
  - F. ALL PROJECTS INVOLVING OR FORMER REFINERIES, FARMERS OR DESTROYED BY THE CONSTRUCTION DURING CONSTRUCTION SHALL BE DESTROYED IN A STATE OF FLORIDA REGISTERED NEAR SURROUNDING AT THE CONSTRUCTION'S EXPENSE.
6. PROJECT RECORDS DURING:
- A. DURING THE EARLY STAGES OF THE JOB THE CONSTRUCTION SHALL SUBMIT TO HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION LENGTH AND ELEVATION OF ANY FACILITY AND LOCATIONS EXISTING TO PLANS.
  - B. IF THE CONSTRUCTION SHALL PROVIDE THE CONSTRUCTION WITH ALL BEST LOGS AND LOCATIONS OF PAVED HIGHWAYS, RAILROADS AND ALL OTHER RECORDS, THE CONSTRUCTION SHALL BE SUBMITTED TO A CLEARED SURVEYOR REGISTERED IN THE STATE OF FLORIDA AND SHALL BE SUBMITTED TO THE STATE OF FLORIDA'S RECORDS CLAIMS IN THE HANDS. THIS SHALL BE DONE AT NO COST TO THE OWNER.
  - C. CONSTRUCTION TO RETAIN ALL FORMS, NOTES, MAPS AND LOGS.

## VII. STORM DRAINAGE

- GENERIC:
1. PREPARE FIBER PAPER, SUE, BY SELECTING FROM THE MANUFACTURERS AND PAPER TYPE APPROVED BY THE BUREAU OF CONSTRUCTION. REMOVE EXCESSIVE DUST. IT SHALL BE USED TO MAKE ALL SUEETS, BOTTOMS AND TOPS OF THE CONSTRUCTION DRAINAGE. THE SUEETS SHALL BE 18" WIDE BY 12" DEEP. THE MANUFACTURER OF THE SUEETS SHALL BE APPROVED BY THE BUREAU OF CONSTRUCTION. THE SUEETS SHALL BE USED TO MAKE ALL SUEETS, BOTTOMS AND TOPS OF THE CONSTRUCTION DRAINAGE. THE SUEETS SHALL BE 18" WIDE BY 12" DEEP. THE MANUFACTURER OF THE SUEETS SHALL BE APPROVED BY THE BUREAU OF CONSTRUCTION.
  2. SUEETS AND FORMWORK SHALL BE USED TO MAKE ALL SUEETS, BOTTOMS AND TOPS OF THE CONSTRUCTION DRAINAGE. THE SUEETS SHALL BE 18" WIDE BY 12" DEEP. THE MANUFACTURER OF THE SUEETS SHALL BE APPROVED BY THE BUREAU OF CONSTRUCTION.
  3. FORMWORK SHALL BE USED TO MAKE ALL SUEETS, BOTTOMS AND TOPS OF THE CONSTRUCTION DRAINAGE. THE SUEETS SHALL BE 18" WIDE BY 12" DEEP. THE MANUFACTURER OF THE SUEETS SHALL BE APPROVED BY THE BUREAU OF CONSTRUCTION.
  4. ALL SHOWERDRAIN CONSTRUCTION SHALL COMPLY WITH THE CITY OF LOS ANGELES SHOWERDRAIN DESIGN CRITERIA AND SHALL BE LIMITED TO A MAXIMUM OF 18" WIDE BY 12" DEEP. THE MANUFACTURER OF THE SUEETS SHALL BE APPROVED BY THE BUREAU OF CONSTRUCTION.

SEE PAYING.

1. GENERAL
- A. UNDERSTANDING UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMBORG BASE.
- B. ANY EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
- C. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT.
- D. PROPOSED ASPHALT PAVEMENT SHALL BE CONNECTED TO EXISTING GRASS OR CITY OF FORT LAUDERDALE (SIGNALS) DETAILS. CONTRACTOR SHALL MATCH EXISTING LAYOUTS OF ANY SIDEWALK OR NEW PAVEMENT.
- E. CONTRACTOR SHALL REMOVE AND DISPOSAL OF EXISTING CURB, CURBS, CURB, GUTTER, SIDEWALK AND ASPHALT WHERE NEW SIDEWALK, CURB & GUTTER AND MEDIAN IS PROPOSED TO BE CONSTRUCTED.
- F. REMOVAL OF THE EXISTING LIMBORG BASE THAT IS REMOVED IS TO BE INCORPORATED INTO THE PROPOSED LIMBORG BASE.
- G. EXISTENT TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY, CERTIFIED BY THE STATE OF FLORIDA, SELECTED BY THE DISTRICT COURT JUDGE. WORKS DEPARTMENT INSPECTOR OR GEOLOGICAL ENGINEER.

## VIII. PAVEMENT MARKINGS AND TRAFFIC SIGNS.

1. **PAYMENT WARNINGS:**
- A. INSTALLATION OF ALL PAYMENT WARNINGS SHALL BE MADE IN ACCORDANCE WITH FIRST STANDARD;
- B. MATERIALS: (1) WHEN THE PLANS CALL FOR PAINTED PAYMENT WARNINGS, INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FIRST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION; (2) WHEN THE PLANS CALL FOR REFLECTIVE PLASTIC PAYMENT WARNINGS, INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FIRST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- C. PROTECTION: THE CONTRACTOR SHALL NOT ALLOW TRAFFIC TO DRIVE OVER ANY REFLECTIVE PLASTIC PAYMENT STRIPING/WARNINGS UNLESS THEY ARE FULLY SUPPORTED BY THE UNDERLAYING SURFACE. THE CONTRACTOR SHALL, AT HIS OWN DISCRETION, REMOVE AND REPLACE ANY PORTION OF THE PAYMENT STRIPING/WARNINGS DAMAGED BY PROGRESS TRAFFIC OR FROM ANY OTHER CAUSE.
2. **TRAFFIC SIGN:**
- A. INSTALLATION: TRAFFIC SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 4TH EDITION, IN LOCATIONS SHOWN ON PLANS.
- B. MATERIALS: FOLLOW SECTION 801, PART 1, HARBOR SIGNING, OF THE FIRST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND MUTCD.



## GENERAL NOTES AND SPECIFICATIONS

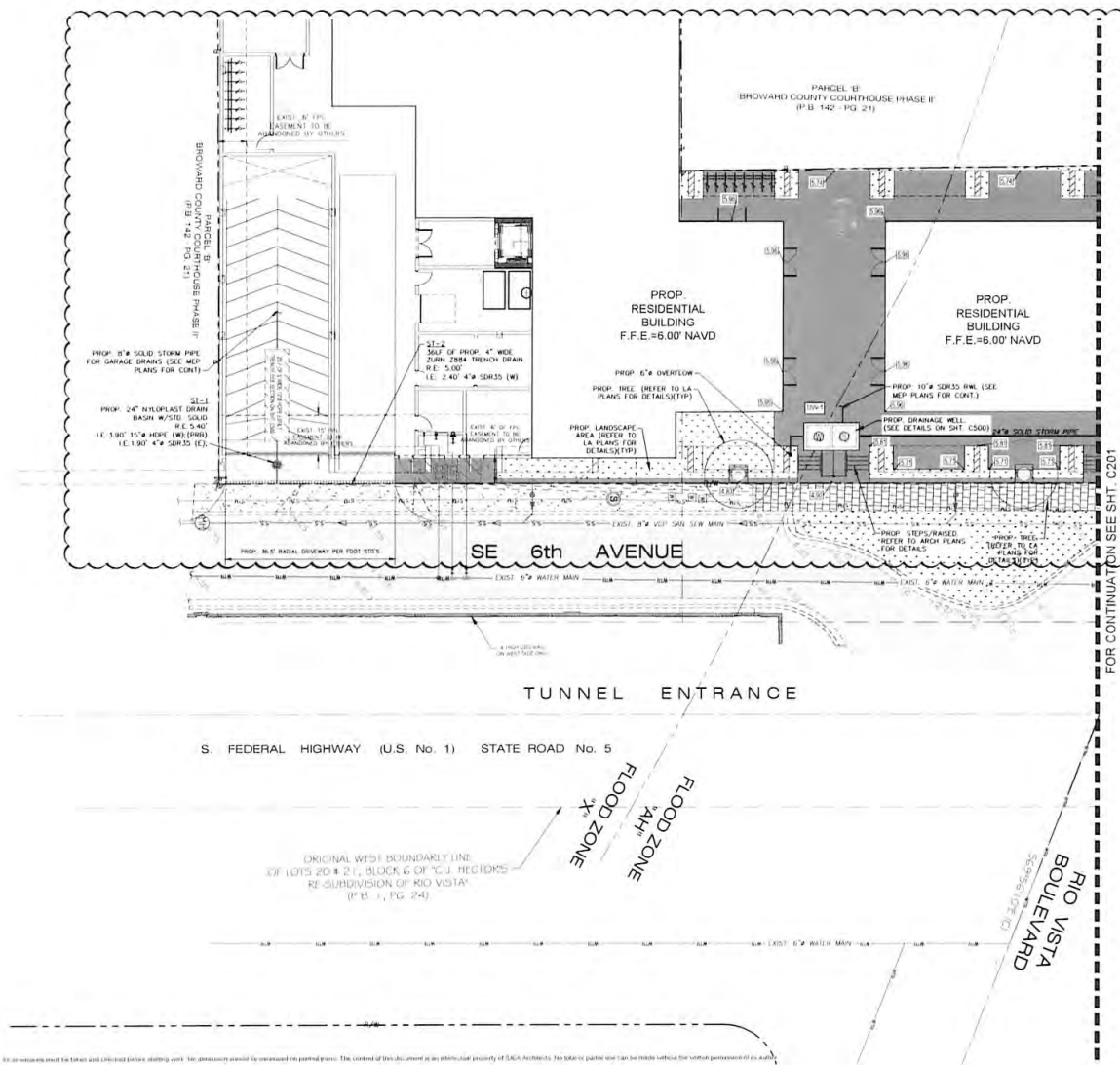
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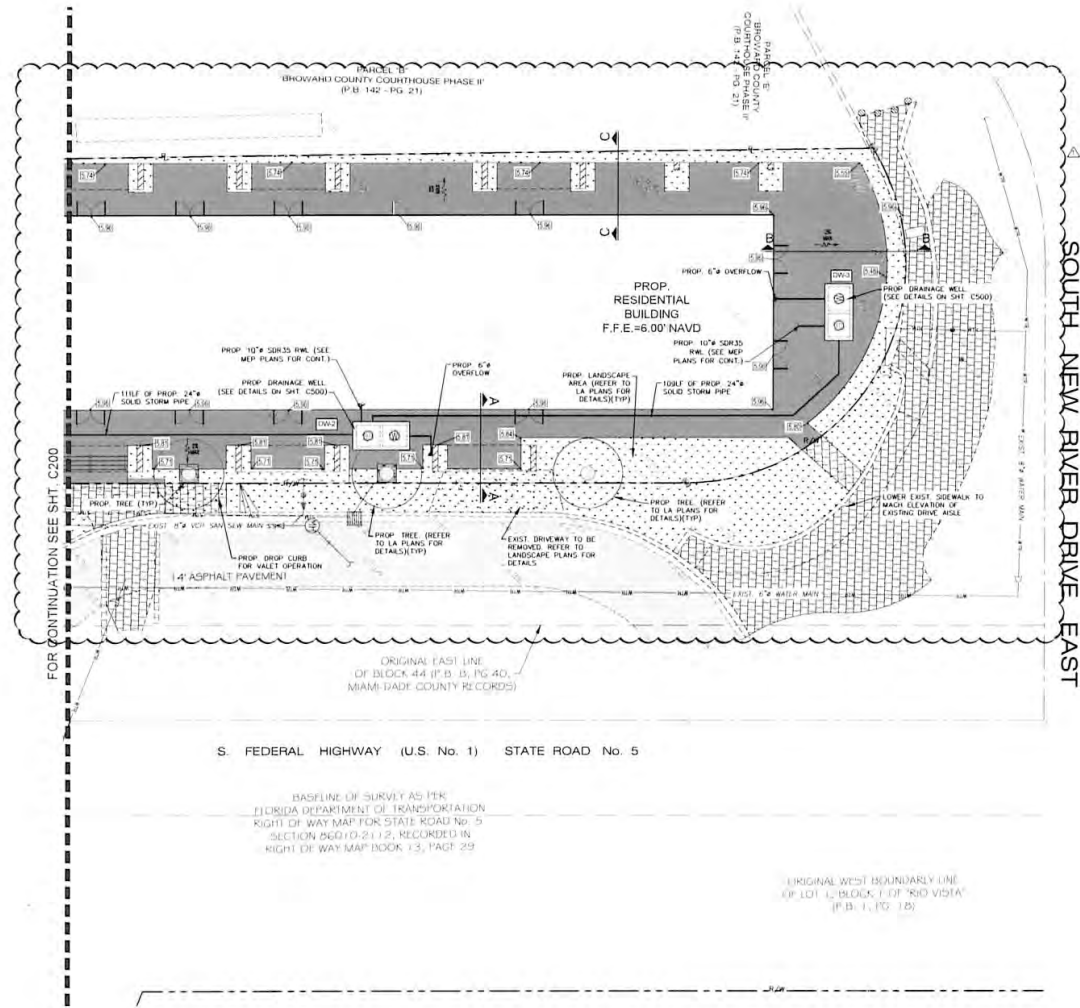
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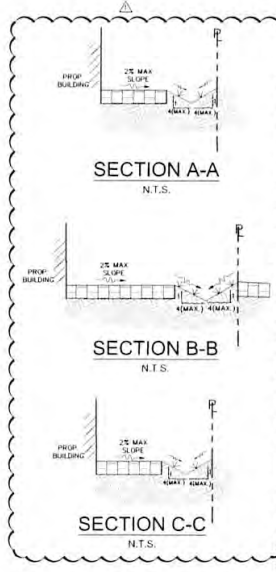
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Exhibit 3  
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**LEGEND:**

- R/W LINE / PROPERTY LINE
- CENTER LINE
- EXISTING CURBING
- EXISTING ELEVATIONS (H.G.V.D.)
- PROP. LANDSCAPE AREA (REFER TO LA PLANS FOR DETAILS)
- PROP. PERVIOUS PAVERS (REFER TO ADUP PLAN FOR DETAILS)
- PROP. GRADE ELEVATION (NAVD)
- DIRECTION OF SURFACE RUNOFF



GET COMMENTS 05/14/21



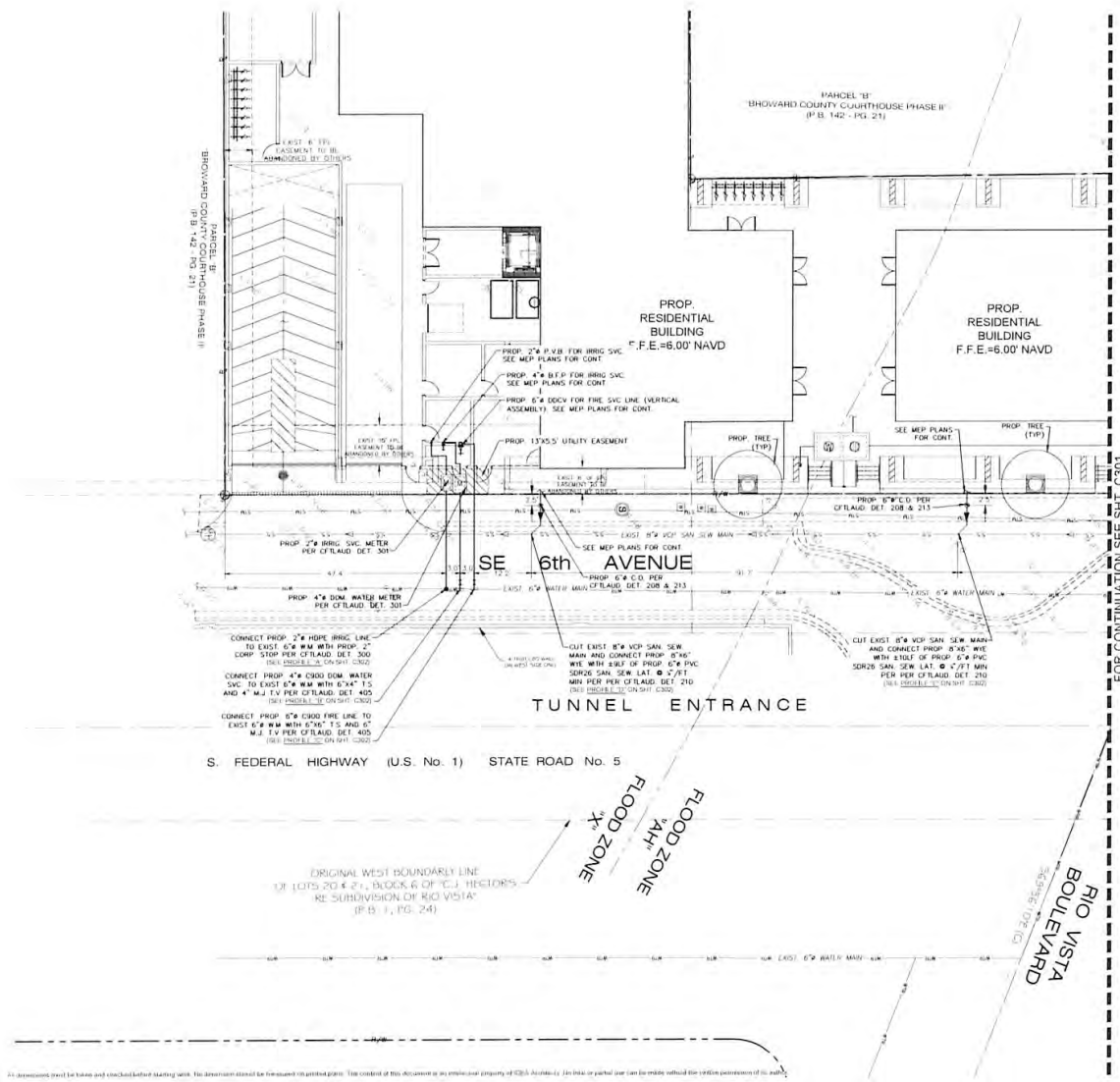
PAVING GRADING AND DRAINAGE PLAN

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WATER AND SEWER PLAN

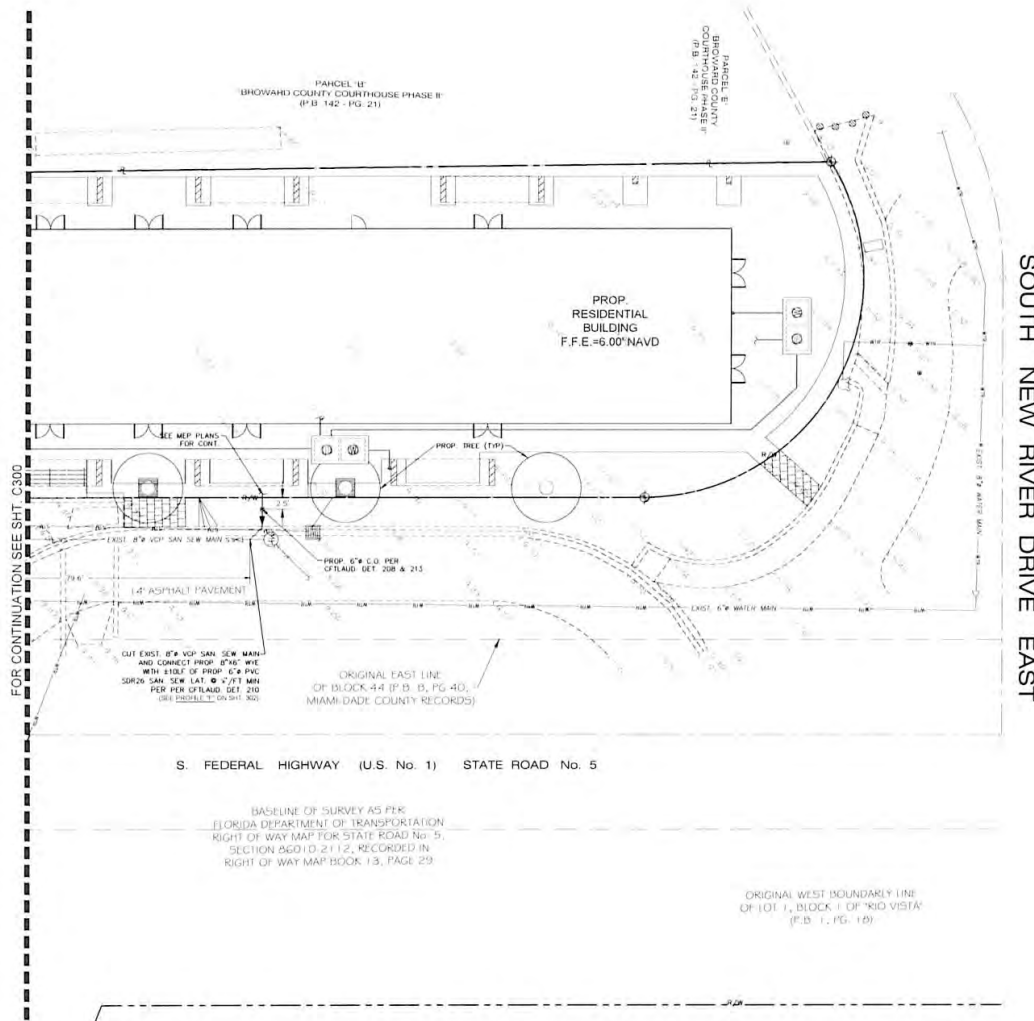
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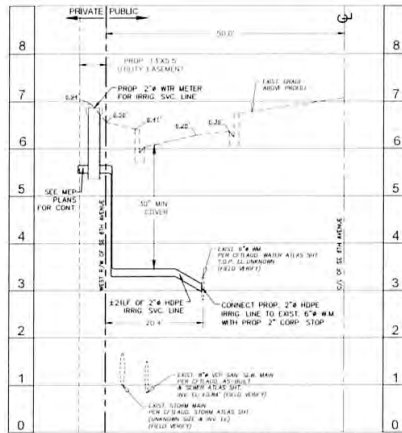
WATER AND SEWER PLAN

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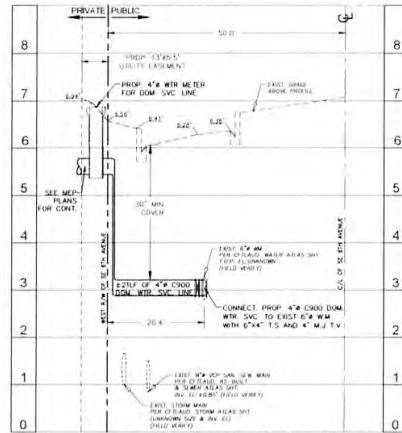
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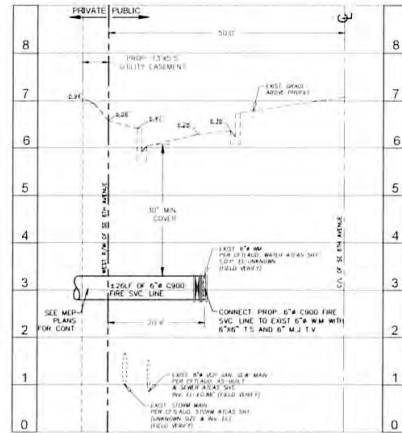
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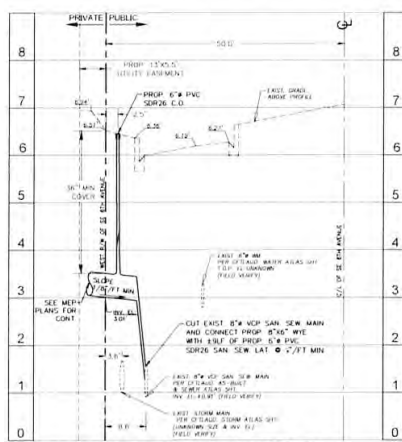
PROP. 2' HDPE IRRIG. SVC. LINE  
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PROFILE "A"



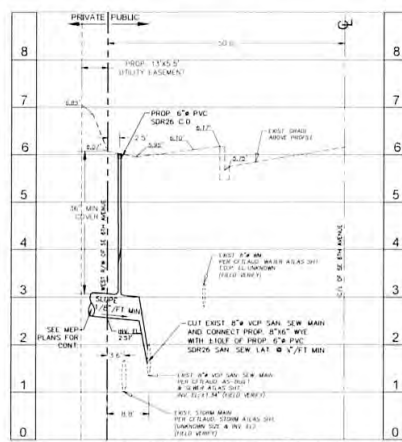
PROP. 4' C900 DOM. WTR. SVC. LINE  
@ SE 6TH AVENUE  
PROFILE "B"



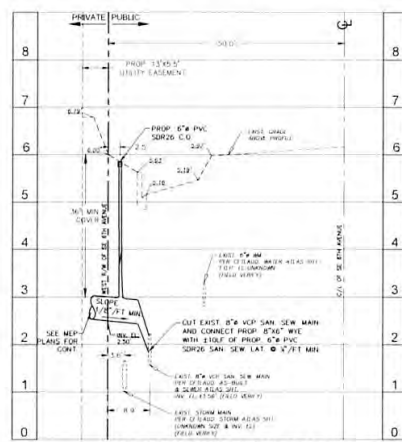
PROP. 6' C900 FIRE SVC. LINE  
@ SE 6TH AVENUE  
PROFILE "C"



PROP. 6' PVC SDR26 SAN. SEW. LAT.  
@ SE 6TH AVENUE  
PROFILE "D"



PROP. 6' PVC SDR26 SAN. SEW. LAT.  
@ SE 6TH AVENUE  
PROFILE "E"



PROP. 6' PVC SDR26 SAN. SEW. LAT.  
@ SE 6TH AVENUE  
PROFILE "F"

- LEGEND:
- R/W LINE / PROPERTY LINE
  - CENTER LINE
  - EXISTING CURBING
  - EXISTING ELEVATIONS (N.G.V.D.)



WATER AND SEWER PLAN

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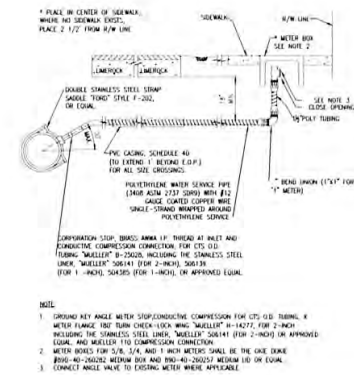
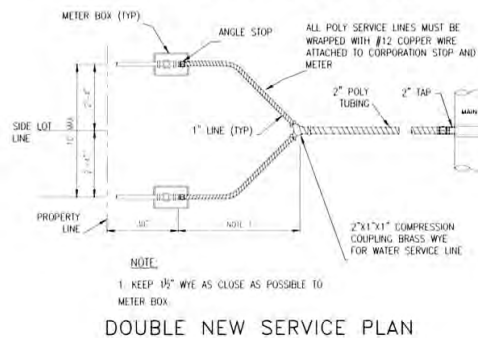
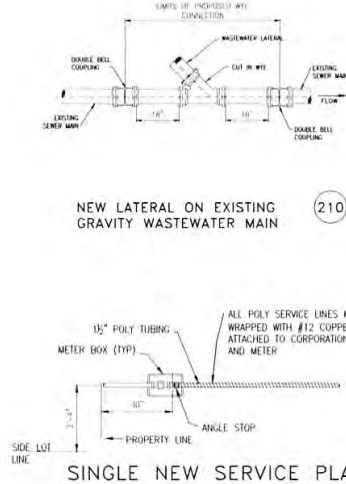
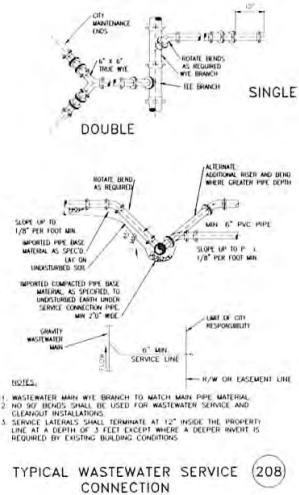
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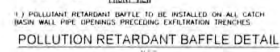
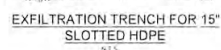
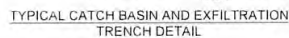
## WATER AND SEWER DETAILS

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C400

CAM #21-0616  
Exhibit 3  
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DRAINAGE WELL SCHEDULE													
SYDNEY	FRAME & LID	W	X	Y	INVERT				MINIMUM	MINIMUM ELEVATION	WELL CLOSING ELEVATION	STRUCTURE FLOOR ELEVATION	LATITUDE / LONGITUDE
					N	E	S	W					
DW-1	(100 x 1000)	5.00	5.00	5.00						6.75	2.75	0.75	
DW-2	(100 x 1000)	5.00	5.00	5.00						6.75	2.75	0.75	
DW-3	(100 x 1000)	5.00	5.00	5.00						6.75	2.75	0.75	

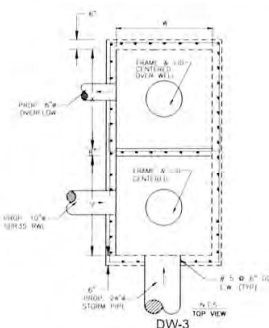
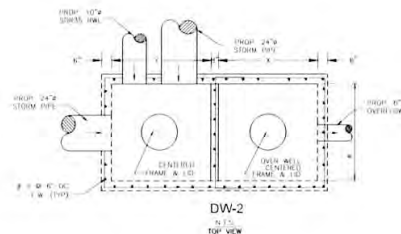
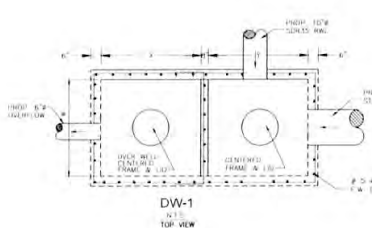
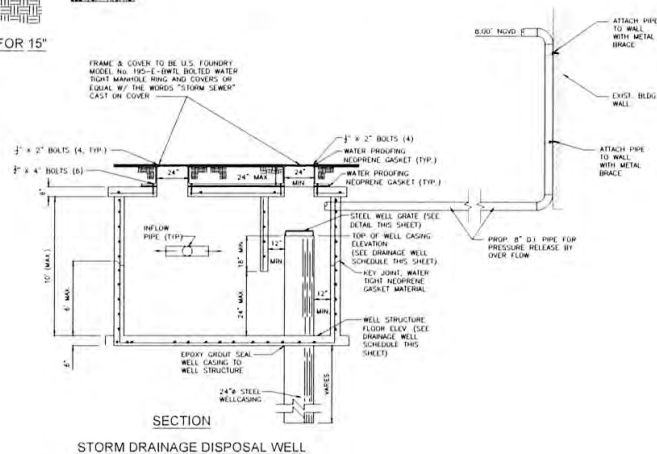
## NOTES FOR DRAINAGE WELL

INJECTION WELL SHALL BE CONSTRUCTED IN ACCORDANCE WITH TSDP CHAPTER 52.528 UNDERGROUND INJECTION CONTROL PROGRAM RULES, AND MUST PROVIDE THE OPTIMUM RECHARGE FLOW RATE INTO THE G-1A AQUIFER. TSDP CHAPTER 52.010 DEFINES THE G-1A AQUIFER AS NON-POTABLE WATER UNCONFINED AQUIFER WITH A DISSOLVED SOLID CONTENT EQUAL TO OR GREATER THAN 10,000 MG/L.

2. DEPTH OF WELL CASING SHALL BE PLACED NO SHALLOWER THAN THE 10,000 MG/L INTERFACE. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD IF THE FIELD CONDITIONS LOCATES THE 10,000 MG/L INTERFACE TO BE SHALLOWER OR DEEPER THAN THE (LIMITS SET) HEREIN. THE OPEN HOLE AREA OF THE WELL SHALL BE PLACED TO PROVIDE THE OPTIMUM FLOW THROUGH THE AQUIFER.

UPON COMPLETION OF THE INSTALLATION OF THE FIRST INJECTION WELL, THE CONTRACTOR SHALL PERFORM A RECHARGE CAPACITY FLOW TEST AND PROVIDE THE RESULTS OF SUCH FLOW TEST TO THE ENGINEER OF RECORD FOR REVIEW, PRIOR TO THE INSTALLATION OF ANY MORE WELLS. IF THE FIELD CONDITIONS DIFFER, AND THE REQUIRED WELL RECHARGE RATE OF 200 GPM/FT OF HEAD CANNOT BE ACHIEVED, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A PLAN OF ACTION TO REMEDY THE DEFICIENT CAPACITY.

45311. WELL JOINT TO BE INSTALLED OVER 24" O.D. WELL. STEEL JOINT TO BE HOT DIPPED GALVANIZED AFTER FABRICATION. COST TO BE INCLUDED IN THE PRICE OF CASING.



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## DRAINAGE DETAILS

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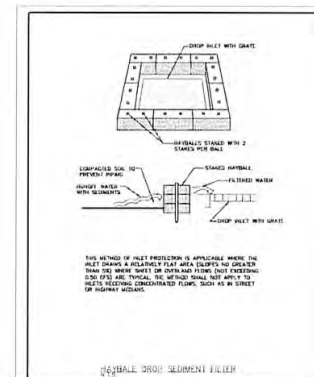
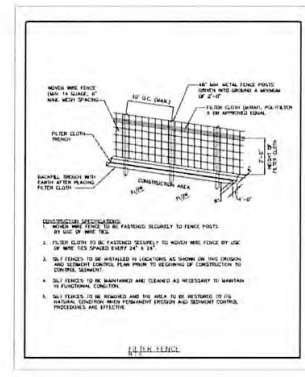
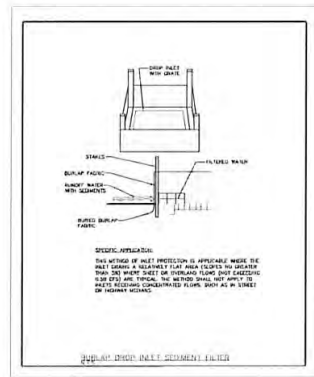
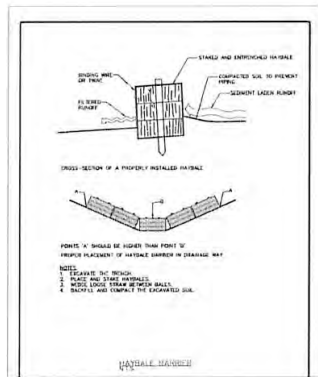
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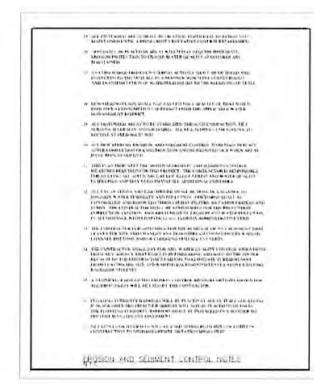
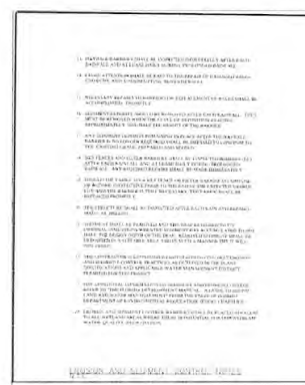
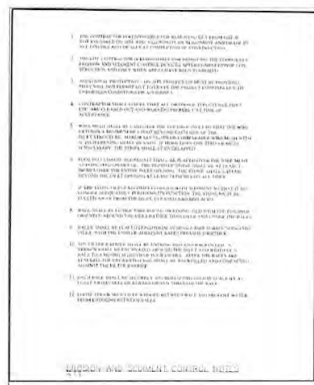
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SEDIMENTATION AND EROSION  
CONTROL NOTES

03-12-2021



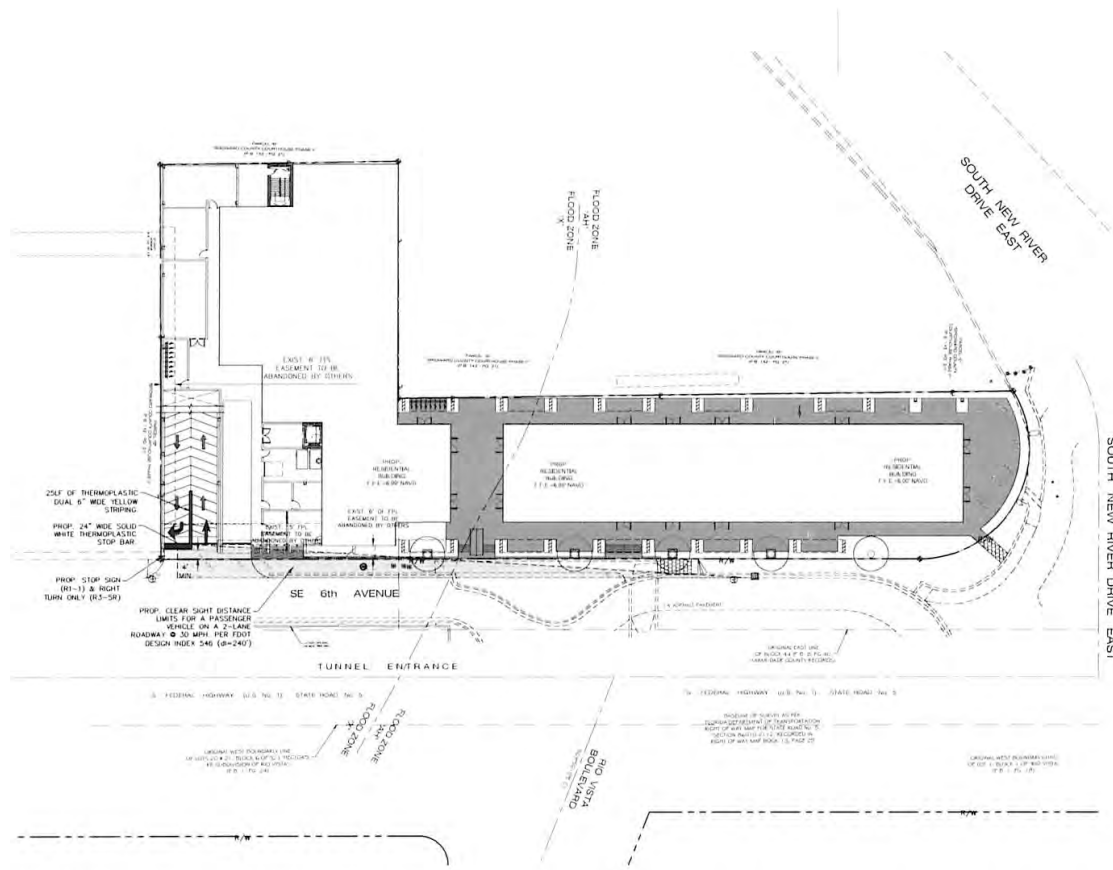
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**LEGEND:**

- R — R/W LINE / PROPERTY LINE
- C — CENTER LINE
- — — EXISTING CURBING



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SIGNAGE AND STRIPING PLAN

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C769

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# SCOPE OF WORK

THE FOLLOWING DRAWINGS ILLUSTRATE THE PROPOSED LANDSCAPE SCOPE OF WORK FOR A NEW MULTI-FAMILY RESIDENTIAL PROJECT ON PROPERTY LOCATED IN THE CITY OF FORT LAUDERDALE.

## PERMITTING NOTES

1. CONTRACTOR TO PROVIDE A SEPARATE SUN-PERMIT APPLICATION FOR TREE REMOVAL, RELOCATION, AND GENERAL LANDSCAPING FOR SITE AT TIME OF MASTER PERMIT SUBMITTAL.
2. CONTRACTOR TO SUBMIT ENGINEERING PERMIT FOR WORK IN THE CITY'S RIGHT OF WAY PRIOR TO PERMIT REVIEW APPROVAL FROM LANDSCAPE DEPT.
3. CONTRACTOR TO SUBMIT A SEPARATE PLANNING SUB PERMIT FOR IRRIGATION AT TIME OF BUILDING PERMIT SUBMITTAL.

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■	L002	THE DISPOSITION NOTES & SCHEDULE	
■	L003	THE PLANTING NOTES & SCHEDULE	
■	L004	THE DISPOSITION PLAN	
■	L200	MATERIALS PLAN	
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■	L500	PLANTING DETAILS	

## LOCATION PLAN



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Date: 2021.05.12 11:58:51  
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LANDSCAPE ARCHITECTURE /  
ARCHITECTURE  
21-803

05-12-2021

**AVIVA**  
501 SE 6TH AVENUE, FORT LAUDERDALE, FLORIDA  
ISSUED FOR : DESIGN REVIEW COMMITTEE

LCVR



## SITWORK GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK BY THE SUBCONTRACTORS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AT JOB SITE AND NOTIFY LANDSCAPE ARCHITECT AND GENERAL CONTRACTOR OF DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING ANY WORK.
3. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. ALL CONTRACTORS MUST COMPLY WITH PERMIT REQUIREMENTS, LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES RULES AND REGULATIONS AND LAND USE APPROVAL CONDITIONS AT ALL TIMES.
4. WORK PERFORMED WITHOUT APPROVAL OF LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES AND/OR NOT IN COMPLIANCE WITH SPECIFICATIONS AND/OR DRAWINGS IS SUBJECT TO REMOVAL AT CONTRACTOR'S EXPENSE.
5. ALL WORK SHALL CONFORM TO THE APPROPRIATE AGENCIES. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR UTILITIES OR STRUCTURES NOT SHOWN ON THE DRAWINGS. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING OVER OR NEAR EXISTING GAS AND ELECTRICAL LINES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESETING ALL LAND MONUMENTS DISRUPTED BY CONSTRUCTION ACTIVITIES OR NEGLIGENCE ON THE PART OF THE CONTRACTOR. RESETS SHALL BE PERFORMED UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR AND MONUMENT RECORDS MUST BE FILED AS REQUIRED BY STATUTE FOR ALL MONUMENTS.
7. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS AND STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED SATISFACTORILY TO THE LANDSCAPE ARCHITECT AT THE CONTRACTOR'S EXPENSE.
8. ALL BARRICADEING AND TEMPORARY TRAFFIC CONTROL DEVICES OR METHODS USED DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES STANDARDS. PROVIDE ADEQUATE TIME FOR REVIEW AND APPROVAL BY THE ABOVE JURISDICTIONS PRIOR TO COMMENCEMENT.
9. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES UTILIZED OR FOR SAFETY PRECAUTIONS OR PROBLEMS IN CONNECTION WITH THE WORK. THE LANDSCAPE ARCHITECT WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACT DOCUMENTS INCLUDE THE CONSTRUCTION DOCUMENT DRAWING SET/TECHNICAL SPECIFICATIONS MANUAL/ASIS.
10. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
11. A SYSTEM OF DIAGNOSTIC SYMBOLS, HATCHES AND NOTATIONS IS USED IN THESE DRAWINGS. REVIEW NOTATIONS CAREFULLY, NOTIFY LANDSCAPE ARCHITECT AND REQUEST CLARIFICATION OF ANY UNCLEAR NOTATION OR DISCREPANCY PRIOR TO COMMENCING WORK.

## SITWORK GENERAL NOTES CONTINUED

1. PROVIDE SLEEVES AS REQUIRED FOR DRAINAGE, IRRIGATION AND ELECTRICAL LINES. IRRIGATION AND ELECTRICAL SLEEVES AND SUBGRADE DRAINAGE SYSTEMS SHALL BE CONSTRUCTED PRIOR TO PAVING AND LANDSCAPE WORK. UTILITY SLEEVES ARE REQUIRED IN ALL PLANT BEDS ISOLATED BY PAVEMENT OR ANY OTHER STRUCTURES.
2. SPECIAL CONSIDERATION IS GIVEN TO THE DESIGN AND INTENDED RELATIONSHIP BETWEEN ARCHITECTURE, PLANTING AREAS AND PAVING SYSTEMS. PAVEMENT, GRADING, PAVING, STONE, FINISHES AND GRADES HAVE BEEN STRICTLY COORDINATED IN THE CONTRACT DOCUMENTS. CONSTRUCTION OF THESE SYSTEMS SHALL BE STRICTLY COORDINATED.
3. VEHICLES, EQUIPMENT AND/OR MATERIALS SHALL NOT BE PARKED OR STORED IN AREAS OF EXISTING VEGETATION, INCLUDING WITHIN THE DRIFLINE OF EXISTING TREES TO REMAIN.
4. CONSTRUCTION WASTE-INCLUDING BUT NOT LIMITED TO: PLANT MATERIAL, BUILDING MATERIALS, DEMOLISHED MATERIALS, PACKAGING, LEFTOVER PAINT AND CONCRETE SLURRY-SHOULD BE PROPERLY REUSED, RECYCLED, DISPOSED OF LEGALLY OFF-SITE OR IN DESIGNATED WASH-OUT AREAS DETERMINED BY THE GENERAL CONTRACTOR.
5. RECYCLING AND TRASH BINS TO BE PROVIDED ON SITE. SEPARATE BINS FOR CARDBOARD, CO-MINGLED, AND OTHER RECYCLABLE/REUSABLE MATERIALS IDENTIFIED BY THE LOCAL JURISDICTION SHALL BE MAINTAINED. ALL BINS TO BE WILDLIFE-PROOF.
6. ON-SITE FUEL STORAGE FOR CONSTRUCTION EQUIPMENT IS DISCOURAGED. CONSTRUCTION EQUIPMENT USED ON SITE TO BE CHECKED REGULARLY TO ASSURE CONTAMINATION CONCERNS FROM OILS AND GREASES ARE ELIMINATED. NO TOXIC MATERIALS SHALL BE STORED ON-SITE.
7. GENERAL CONTRACTOR TO KEEP ALL ITEMS IMPLEMENTED BY LANDSCAPE ARCHITECT IN PROPER WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT.
8. THE CONSTRUCTION SITE TO BE INSPECTED ON A MONTHLY BASIS BY LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER TO ASSURE THAT THE SILT FENCE AND MUD-TRACKING PAD ARE PROPERLY IN PLACE AND FUNCTIONING AS DESIGNED.
9. GREEN BUILDING PRACTICES SHALL BE EMPLOYED TO THE EXTENT FEASIBLE. SUCH PRACTICES INCLUDE: CARPOOLING/VANPOOLING TO JOB SITE, MINIMIZING MATERIALS PACKING BEFORE ARRIVAL TO JOB SITE, REDUCING MATERIAL/RESOURCE INEFFICIENCIES BY COORDINATING WORK.
10. THE PROJECT LIMIT OF CONSTRUCTION AND ALL EXISTING VEGETATION TO REMAIN IS TO BE CLEARLY DEFINED BY STURDY, WEATHERPROOF FENCING AT A MINIMUM OF FOUR (4) FEET HIGH.
11. WATERPROOFING OF SUBGRADE AND OTHER ARCHITECTURAL SPACES BELOW AND/OR ADJACENT TO IMPROVEMENTS DESIGNED BY THE LANDSCAPE ARCHITECT IS TO BE ADEQUATELY DESIGNED AND DETAILED BY OTHERS TO PERMANENTLY REPEL ALL WATER SOURCES INCLUDING, BUT NOT LIMITED TO: PRECIPITATION, STORM WATER RUNOFF, GROUND WATER, IRRIGATION, ROOF RUNOFF, GROUND WATER, AND PLUMBING LEAKS.
12. STRUCTURAL DESIGN TO SUPPORT IMPROVEMENTS DESIGNED BY THE LANDSCAPE ARCHITECT AND LOCATED ABOVE, BELOW, AND/OR ADJACENT TO SUBGRADE AND OTHER ARCHITECTURAL SPACES IS THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER. THE STRUCTURAL DESIGN SHOULD BE ADEQUATELY DESIGNED TO SUPPORT ALL POSSIBLE LOADS INCLUDING, BUT NOT LIMITED TO: BACKFILL, COMPACTION, PLANTINGS, HARDSCAPES, RETAINING AND FREESTANDING SITE WALLS, AND CONSTRUCTION MATERIALS/EQUIPMENT/ACTIVITY.

## SOIL EROSION CONTROL NOTES

1. PRIOR TO BEGINNING ANY EARTH CHANGE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION MEASURES AS SHOWN ON THE CONTRACT DOCUMENTS AND AS REQUIRED BY ANY GOVERNING AGENCIES.
2. ALL EROSION MEASURES TO BE MAINTAINED DAILY.
3. THE CONTRACTOR TO CONDUCT ALL EXCAVATION, FILLING, GRADING, AND CLEANUP OPERATIONS IN A MANNER SUCH THAT SEDIMENT, GENERATED BY WIND OR WATER IS NOT DISCHARGED INTO ANY STORM SEWER, DRAINAGE DITCH, RIVER, LAKE, AIR, OR UNDERGROUND UTILITY SYSTEM. STAGE WORK TO MINIMIZE THE AREA OF EXPOSED SOIL, THEREBY REDUCING THE OPPORTUNITY FOR SOIL EROSION.
4. WATER FROM TRENCHES AND OTHER EXCAVATION TO BE PUMPED INTO A FILTRATION BAG TO REMOVE SEDIMENTS FROM THE WATER.
5. NORTH AMERICAN GREEN SD-150 OR EQUIVALENT EROSION CONTROL FABRIC IS REQUIRED ON ALL DISTURBED SLOPES GREATER THAN 3:1 UNTIL PROJECT AREA IS REVEGETATED PER THE PLANTING PLAN.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
7. CONTRACTOR TO PROVIDE ONSITE WATERING TO REDUCE FUGITIVE DUST LEAVING THE SITE DURING CONSTRUCTION.
8. SOIL EROSION CONTROL MEASURES TO BE PROVIDED FOR ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS.
9. CONSTRUCTION STAGING AND PHASING SHALL OCCUR, WHERE APPLICABLE, TO MINIMIZE SOIL DISTURBANCE TIME.
10. BEST MANAGEMENT PRACTICES (BMPs) SHALL BE ADJUSTED AS NEEDED TO MEET ANY OTHER UNFORESEEN CONDITIONS.
11. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING A MUD TRACKING PAD/WASHING PAD AT THE CONSTRUCTION ENTRANCES TO MINIMIZE MUD DETACHMENT FROM TRUCK TIRES. 1-1/2 INCH SCREENED ROCK TO BE PLACED ON MAINT 140-IN FILTER FABRIC. ADDITIONAL CLEAN GRAVEL TO BE ADDED THROUGHOUT THE DURATION OF CONSTRUCTION AS NEEDED.
12. CONTRACTOR SHALL ABIDE BY THE LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES CONSTRUCTION MANAGEMENT PLAN REQUIREMENTS.
13. RESEEED AS INDICATED IN SEEDING NOTES.

## DEMOLITION NOTES

1. DURING REMOVAL OPERATIONS INSTALL PROTECTION FENCE AROUND ALL UNDERSTORY PLANTING TO REMAIN.
2. PROTECT ROOTS OF PLANT MATERIAL TO REMAIN. USE HAND TOOLS TO REMOVE UNDERSTORY IN ROOT PLANTING.



**A V I V A**  
501 SE 6TH AVENUE, FORT LAUDERDALE, FLORIDA  
ISSUED FOR: DESIGN REVIEW COMMITTEE



# TREE / PALM RELOCATION NOTES

ALL EXISTING PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION. ANY PLANT MATERIAL SCARRED OR DESTROYED DESIGNATED TO REMAIN MUST BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH SIMILAR SPECIES, SIZE AND QUANTITY.

1. VERIFY AND NUMBER ALL TREES / PALMS IDENTIFIED ON THE CONSTRUCTION DRAWINGS AND THOSE IN THE FIELD CORRESPOND AS TO NUMBER AND DESCRIPTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY PRIOR TO PREPARATION.
2. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR TREE / PALM PROTECTION OF ALL SERIALIZED MATERIAL. INSTALL A MIN. 10" PROTECTION BARRIER OR CHAINLINK FENCING TO ENCOMPASS THE CIRCUMFERENCE OF THE TREE / PALM. BARRIER TO REMAIN UNTIL DEVELOPMENT IS COMPLETE.

3. TREE / PALM SHALL BE NOT PRUNED SOONER THAN 90 DAYS PRIOR TO TRANSPORT. THE REMAINING 90% TO BE PRUNED 90 DAYS PRIOR TO RELOCATION.

4. PALMS TO BE RELOCATED MAY BE IMMEDIATELY RELOCATED AFTER DIGGING.

5. ROOTS TO BE PRUNED WITH CLEAN, SHARP TOOLS. ROOTS (2" INCH AND LARGER IN DIAMETER) SHALL BE NEATLY AND CLEANLY CUT WITH A HAND SAW OR OTHER APPROPRIATE CUTTING IMPLEMENTATION.

6. LANDSCAPE CONTRACTOR TO APPLY ANY COMMERCIAL APPLICATION TO ROOTS DURING ROOT PRUNING AND DIGGING OPERATIONS. ALL PRUNING TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PRUNING.

7. BRAD WOOD, CROSSING BRANCHES, AND GENERAL CANOPY PRUNING SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR IMMEDIATELY AFTER COMPLETION OF ROOT PRUNING OF EACH SPECIMEN TO BE RELOCATED. ALL PRUNING TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PRUNING.

8. ROOT BALL SIZE TABLE

(NOTE: ROOT BALL SIZES SHALL MEET MINIMUM STANDARDS SET FORTH IN "GRADING AND STANDARDS FOR NURSERY PLANTS, PART II: PALMS AND TREES, FLORIDA DEPARTMENT OF AGRICULTURE")

TREE / PALM CALIPER MINIMUM ROOT BALL DIAMETER	
1" - 1 1/2"	36"
1 1/2" - 1 3/4"	36"
1 3/4" - 2"	36"
2" - 2 1/2"	36"
2 1/2" - 3"	42"
3" - 3 1/2"	42"
3 1/2" - 4"	48"
4" - 4 1/2"	48"
4 1/2" - 5"	48"
5" - 5 1/2"	48"

THE ROOT BALL OF LARGER CALIPER SIZES SHALL BE INCREASED PROPORTIONALLY AT THREE (3) INCHES OF ROOT BALL DIAMETER FOR EVERY INCH INCREASE OF CALIPER (3 INCH IN CALIPER OR PROPORTION THEREOF).

9. MAINTAIN COMPLETE ROOT BALLS. ROOT BALLS SHALL BE COMPLETELY ENCLOSED WITH A BURLAP COVERING OR STRITCH (WHICH IS COMMONLY USED WITHIN THE HORTICULTURAL INDUSTRY IN TWO COMPLETE LAYERS (THICKNESS)).

10. ALL TREES TO BE RELOCATED FOR 60 DAYS PRIOR TO TRANSPORT.

11. ALL PITS TO BE FILLED THE SAME DAY AND WITH CLEAN FILL IN 18 INCH LAYERS / LAYERS, EACH THEN COMPACTED BEFORE A SUBSEQUENT OR FINAL LAYER IS PLACED. REPEAT UNTIL BACKFILL IS FLUSH WITH THE SURROUNDING GROUND.

12. CORRECT ALL PROBLEMS RELATED TO SETTLEMENT, EROSION, OR OTHER DISTRESS OF EXCAVATED OR BACKFILLED WITHIN WHICH TREE / PALM HAS BEEN RELOCATED. INCLUDING THE COMPLETE AND THOROUGH REMOVAL OF ALL REMNANT ROOTS, STUMPS AND PORTIONS AND PARTS THEREOF.

13. RESTORE THE SURFACE WITH GRAVEL TO MATCH ADJACENT AREAS. MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT. CONTRACTOR TO PROVIDE MINIMUM ONE (1) YEAR WARRANTY ON SETTLING AND PLANT MATERIAL.

14. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL, INCLUDING BUT NOT LIMITED TO BACKFILL MATERIAL, PROTECTIVE FENCING, FLAGGING, ROOT BALL BURLAP OR SHRINK WRAP.

## INSTALLATION

1. VERIFY UNDERGROUND CONSTRUCTIONS OR OBSTRUCTIONS (UTILITIES, SEPTIC SYSTEMS, ETC.) ARE IDENTIFIED, LOCATED AND CLEARLY MARKED AS APPROPRIATE PRIOR TO EXCAVATION OF PLANTING PITS FOR RELOCATED TREES AND PALMS. ANY UNKNOWN TREES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY PRIOR TO INSTALLING AND BACKFILLING.

2. LANDSCAPE CONTRACTOR SHALL FLAG ALL PROPOSED PLANT LOCATIONS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.

3. PLANTING PITS SHALL BE A MINIMUM OF TWO (2) TIMES LARGER IN DIAMETER AND ONE AND A HALF (1 1/2) TIMES LARGER IN DEPTH THAN THE ROOT BALL. REMOVE SIDES AND BOTTOM OF PIT.

4. AFTER EACH PLANTING PIT IS EXCAVATED, PLACE SUFFICIENT PLANTING MIX IN BOTTOM OF OR EXCAVATION, AND LAY PLANT, INSURE TOP OF ROOT BALL IS FLUSH WITH IMMEDIATELY ADJACENT TO FINAL OR PROPOSED GRADE.

5. LANDSCAPE CONTRACTOR TO REMOVE ALL PLANT MATERIAL IS INSTALLED AT THE CORRECT ELEVATION. REFER TO LANDSCAPE GRADING AND/OR CIVIL PLANS.

6. LANDSCAPE CONTRACTOR TO INSURE ALL ROOT LARIES ARE EXPOSED.

7. CENTER EACH RELOCATED TREE / PALM IN ITS PLANTING PIT AND BACKFILL WITH SPECIFIED PLANTING MIX.

8. PLACE PLANTING MIX IN 12" INCH LAYS / LAYS AROUND ROOT BALL AND COMPACT UNTIL ALL Voids ARE FILLED WITH CONTRACTED PLANTING MIX.

9. BUILD SMALL VARIATION OF MOUNDING EXCAVATED SITE AROUND PERIMETER OF EACH PLANTING PIT TO FORM WATERING BASIN. MOUND TO A DEPTH OF 4".

10. PROVIDE STRUCTURAL SIDE WALK UNDER WALK AND ALONG INTERNAL VEHICULAR USE AREAS THAT ADJUT TREES.

## HANDLING AND TRANSPORTATION

1. TREES / PALMS SHALL BE PROPERLY HANDLED DURING EXCAVATION, MOVING, STORAGE, RELOCATION AND REPLANTING. DO NOT SCAR OR OTHERWISE DAMAGE TRUNKS AND BRANCHES, AND AVOID BRUISING LIMBS, BRANCHES, AND FRONDS. DAMAGE TO TREE / PALM MAY BE CAUSE FOR ITS REJECTION, AND MAY REQUIRE IMMEDIATE RELOCATION.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SANITARY WEATHERING OF ALL RELOCATED TREES / PALMS DURING MAINTENANCE PERIOD, UNTIL FINAL ACCEPTANCE OF ALL WORK BY THE LANDSCAPE ARCHITECT AND / OR CLIENT.

3. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TREE / PALM PROTECTION. INSTALL BARRIER OF CHAINLINK FENCING TO ENCOMPASS THE CIRCUMFERENCE OF THE TREE / PALM. BARRIER TO BE LUMP, TAUT, AND STURDY BARRIER TO BE LEFT UP AND MAINTAINED UNTIL DIRECTED TO BE REMOVED BY LANDSCAPE ARCHITECT.

# MITIGATION PLANT LIST

TREE No.	TREE LATIN NAME	TREE COMMON NAME	DIAMETER AT BREAST HEIGHT (inches, unless otherwise noted)	APPROXIMATE HEIGHT (in feet)	CLEAR TRUNK HEIGHT OF PALM TREES (in feet)	CANOPY DIAMETER (in feet)	DISPOSITION	REMOVAL: MUNICIPAL CRITERIA AND NOTES	HEALTH CONDITION %
1	Subal Palm	Cabbage Palm	9	20	16	17	RELOCATE		75
2	Subal Palm	Cabbage Palm	14	26	22	22	RELOCATE		75
3	Chorizan Virginiana	Live Oak	24	40	40	40	RELOCATE		70
4	Chorizan Virginiana	Live Oak	7	16	16	25	RELOCATE		80
5	Avicennia nitens	Black Palm	20	45	45	45	RELOCATE	no permits or replacements required for removal	50
6	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
7	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
8	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
9	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
10	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
11	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
12	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
13	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
14	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
15	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
16	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
17	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
18	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
19	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
20	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
21	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
22	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
23	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
24	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
25	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
26	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
27	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
28	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
29	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
30	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
31	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
32	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
33	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
34	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
35	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
36	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
37	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
38	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
39	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
40	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
41	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
42	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
43	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
44	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
45	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
46	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
47	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
48	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
49	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40
50	Avicennia nitens	Black Palm	18	40	40	40	RELOCATE		40

OFFSITE TREES									
51	Chorizan Virginiana	Live Oak	21	40	40	40	RELOCATE		80
52	Chorizan Virginiana	Live Oak	42	45	45	45	RELOCATE		80
53	Chorizan Virginiana	Live Oak	13	20	20	20	RELOCATE		60
54	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
55	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
56	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
57	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
58	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
59	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
60	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
61	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
62	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
63	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
64	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
65	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
66	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
67	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
68	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
69	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
70	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
71	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
72	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
73	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
74	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
75	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
76	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
77	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
78	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
79	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
80	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
81	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75
82	Chorizan Virginiana	Live Oak	9	20	20	20	RELOCATE		75

## TREE DISPOSITION NOTES & SCHEDULE

SCALE: 1/8" = 1'



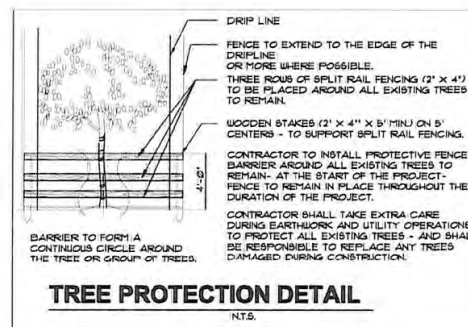
LANDSCAPE ARCHITECTURE ARCHITECTURE

21-803

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ISSUED FOR : DESIGN REVIEW COMMITTEE

TD100



**TREE PROTECTION MATERIALS**

1. BARRIER SHALL BE EXHAUSTIVE FENCING MATERIAL, 8" MINIMUM HEIGHT.
2. POSTS, AND WOOD SUFFICIENT TO HOLD BARRIER MATERIAL PLUMB AND TIGHT.
3. ACCESS, PROVIDE HINGED, LATCHING GATE.
4. DETAIL GATE SHALL PERMIT FREE PASSAGE OF WATER, AIR AND SHALL ACCEPT CONSTRUCTION TRAFFIC WITHOUT EXCESSIVE DEFLECTION.
5. MULCH WHERE AVAILABLE - USE CHIPS PRODUCED FROM ON SITE TREE REMOVALS AND REMEDIAL WORK IS DISINFESTED FREE WHERE ON SITE CHIPS ARE NOT AVAILABLE, PROVIDE DISINFESTED RECYCLED MULCH.
6. SEPARATION PIPE, HIGH-DENSITY POLYETHYLENE (HDPE), 3" DIAMETER X 4 FEET LONG, WITH PERFORATED (CAR-FILL) WITH WASHED #1A GRAVEL.

**WARRANTY**

1. LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM OF ONE (1) YEAR GUARANTEE FOR ALL RELOCATED TREES / PALMS AFTER FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT AND / OR CLIENT.
2. REMOVE COMPLETELY AND DISPOSAL OF JOB SITE, ANY RELOCATED TREE / PALM THAT HAD TO THRIVE AS DETERMINED BY THE LANDSCAPE ARCHITECT.
3. FOR ANY RELOCATED TREE / PALM REIMPOSITION TO ITS FAILURE TO THRIVE, LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING AND INSTALLING WITH A SPECIMEN OF EQUAL OR GREATER SPECIFICATION OF ORIGINAL REPLACEMENT MATERIALS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, PREPARATION OR INSTALLATION.

TREE PROTECTION NOTES & DETAIL  
SCALE: N.T.S.

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SHEET NOTES

1. OFFSITE TREES AND PALMS ARE INDICATED IN THE TREE DISPOSITION PLAN AND PLANTING PLAN HOWEVER THEY ARE NOT IDENTIFIED IN OUR SITE MITIGATION SCHEDULE.

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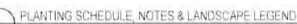


- 1 CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
- 2 PLANT MATERIAL IS TO BE HEALTHY SPECIES FREE FROM DISEASE OR DAMAGE AND IS TO BE MAINTAINED IN EXCELLENT CONDITION WHILE ON THE SITE. LANDSCAPE ARCHITECT WILL INSPECT PLANT MATERIAL UPON ARRIVAL TO JUSTIFY AND WILL REJECT PLANT MATERIAL THAT DOES NOT MEET THE STANDARDS DESCRIBED WITHIN THE CONTRACT DOCUMENTS.
- 3 THE LANDSCAPE ARCHITECT WILL PERIODICALLY INSPECT PLANT MATERIAL SPECIES AND/OR PLANTING METHODS TO INSURE PLANTING METHODS OF CONSTRUCTION PLANT MATERIAL NOT MEETING THE STANDARDS CONTAINED WITHIN CONTRACT DOCUMENTS SHALL BE REPLACED AT NO COST TO THE CONTRACTOR.
- 4 COORDINATE PLANT SUBMITTALS WITH LANDSCAPE ARCHITECT. ALL MATERIAL TO BE RECEIVED PRIOR TO SITE DELIVERY EITHER VIA NURSERY VISITS OR COLOR MATCH BOOKS. ALL MATERIAL BELOW 24" GALLONS WILL BE REQUIRED TO BE REBOTTED TO MEET THE CONTRACT REQUIREMENTS.
- 5 PROVIDE MATCHING SIZES AND FORMS FOR EACH PLANT OF THE SAME SPECIES UNLESS OTHERWISE INDICATED.
- 6 CONTRACTOR TO VERIFY ALL QUANTITIES IN CASES OF DISCREPANCIES, GRAPHICALLY SHOWN QUANTITIES TAKE PRECEDENCE.
- 7 ALL MATERIALS USED SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- 8 ALL PLANT MATERIAL SHALL BE INSTALLED PLUMB AND PER THE SPECIFICATIONS CONTAINED WITHIN THE CONTRACT DOCUMENTS. ANY NECESSARY STAKING AND/OR OTHER SUPPORTS MATERIALS/METHODS SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- 9 THE CONTRACTOR SHALL PLANT EXISTING AND/OR NEW TREES ONLY PER LANDSCAPE ARCHITECT DIRECTION.
- 10 THE CONTRACTOR SHALL STATE THE LOCATIONS OF ALL TREES AND LAYOUT LIMITS OF SURROUNDING LANDSCAPE BEDS FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL PRIOR TO INSTALLATION. FIELD MODIFICATIONS TO LAYOUTS AND FINAL MATERIAL ORIENTATION SHOULD BE EXPECTED.
- 11 ALL ROOT-NOT-PLANTING MATERIALS THAT ARE NOT INDICATED ABOVE SHALL BE REMOVED FROM THE ROOT BALL. ROOT BALLS SHALL BE FREE OF WEEDS.
- 12 SPECIFIED PLANT MATERIAL SIZES SHALL BE CONSIDERED MINIMUM SIZES.
- 13 FINISH GRADE ON PLANTING BEDS SHALL BE ONE (1) INCH BELOW GRADE PLANTWORK UNLESS SPECIFIED OTHERWISE IN THE DRAWINGS.
- 14 MULCH OR PLANTING BED DRESSING SHALL BE PLACED IN ALL PLANTING AREAS AS SPECIFIED. MULCH OR PLANTING BED DRESSING SHALL NOT BE PLACED ON SLOPE OR IN AREAS WHERE IT MAY BE DISRUPTED. MULCH SHOULD BE REAPPLIED ANNUALLY DURING THE AUTUMN TO A THREE (3) INCH DEPTH.
- 15 ALL PLANT MATERIAL SHOULD RECEIVE AN AGREED FERTILIZER IN LIMITED APPLICATION FOLLOWING INSTALLATION. TYPE AND APPLICATION RATE AND METHOD OF APPLICATION TO BE SPECIFIED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT.
- 16 EXCESS FERTILIZER SHALL BE DISPOSED OF PROPERLY OFF-SITE. IT SHALL NOT BE DISPOSED OF IN STORM DRAINS AND/OR RYDRELS.
- 17 STOCKPILED PLANT MATERIAL TO BE PLACED IN THE SHADE AND PROPERLY HAND-WATERED UNTIL PLANTED.
- 18 CONTRACTOR TO SUPPLY REPRESENTATIVE BACKS OF ALL PLANT MATERIAL. NURSERY VISITS FOR CANOPIES AND PLANT TAGGING MAY BE REQUIRED AT THE DISCRETION OF CLIENT AND LANDSCAPE ARCHITECT.
- 19 PRESERVE & PROTECT ALL EXISTING VEGETATION INTENDED TO REMAIN AT ALL TIMES.
- 20 SIX (6) INCH PLANT MIX SHALL BE PROVIDED FOR ALL LAWN, TREE AND NATIVE PLANTING ZONES. THREE (3) INCH PLANT MIX SHALL BE PROVIDED FOR ALL PERENNIAL PLANTING BEDS UNLESS OTHERWISE NOTED.
- 21 LANDSCAPE CONTRACTOR TO FURNISH ALL TREE & PLUM SUPPORTS WITH BENTONITE MIDGE ARBORCOT - SEMI-SOLID PLUG (50% GROUND ASPHALT) & PLUG.
- 22 MAINTENANCE PROTOCOL DURING THE GUARANTEE PERIOD TO INCLUDE WEEKLY WATERING (LANE-DEP) IF IRRIGATION SYSTEM IS NOT PRESENT, QUARTERLY FERTILIZATION (LANE-DEP) APPROPRIATE FOR MATERIAL HEIGHT, FERTILIZER APPLICATION RATE, SOIL TYPE, CLIMATE, SPECIES, HEIGHT OF ALL STAKING AND GUYING TO INSURE MATERIAL REMAINS TRUE AND PLUMB AND MONTHLY WEEDING THROUGHOUT GUARANTEE PERIOD TO BE ONLY BY CONTRACTOR OR SUBSTANTIAL INQUIRY.

[illegible]

TYPE	TAB	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	
<b>TREES</b>						
N.J.	N.D.	BQ	3	BURSERA SIMARUBA	GUIMO LIMBO	TRANSPLANTS
N.J.	N.D.	HQ	1	HANDIRANTHUS CHIRITIFOLIUS	GUIMO TRUMPET TREE	2" CAL. 10" DA HT. MIN
N.J.	N.D.	HQ	3	HANDIRANTHUS CHRYSANTHUS	GOLDEN TRUMPET TREE	3" CAL. 15" DA HT. MIN
N.J.	N.D.	HQ	1	HANDIRANTHUS IMYI TIGRIS	PINK TRUMPET TREE	3" CAL. 15" DA HT. MIN
<b>PALMS</b>						
N.J.	N.D.	SB	7	SABAL PALMETTO	CABAGE PALM	TRANSPLANTS
<b>SHRUBS/ACCENTS</b>						
N.J.	N.D.	CC	60	CAMPARUS CYNOPHALLOPHORA	JAMAICAN CAPER	7 GAL. FULL
N.J.	N.D.	PM	40	HAMELIA PATENS	FIRE BUSH	15 GAL. FULL
N.J.	N.D.	PM	200	PSYCHOTRIA NERUOSA	WILD COFFEY	7 GAL. FULL
N.J.	N.D.	SR	15	SCEROLA REPENS (SILVER)	SILVER SAW PALMETTO	15 GAL. FULL
<b>GROUNDCOVER</b>						
N.J.	N.D.	MS	220	MICROSORUM SCOLOPENDRIA	WART FERN	1 GAL. 16" O.C.
N.J.	N.D.	PH	260	PHILODENDRON BURLE MARX	SAME	1 GAL. 16" O.C.
N.J.	N.D.	PH	450	PHYLLA NODIFLORA	FOGFRUIT	1 GAL. 16" O.C.
<b>VINES</b>						
N.J.	N.D.	FP	1	FICUS PUMILA	CREEPING FIG	1 GAL. 16" O.C.
N.J.	N.D.	TS	20	THUNBERGIA GRANDIFLORA	SKY VINE	1 GAL. 16" O.C.
N.J.	N.D.	AC	20	ALLAMANDA CATHARTICA	YELLOW ALLAMANDA	1 GAL. 16" O.C.
<b>PLANT SCHEDULE - POOL DECK</b>						
<b>TREES</b>						
N.J.	N.D.	BQ	1	BURSERA SIMARUBA	GUIMO LIMBO	2" CAL. 10" DA HT. MIN
<b>PALMS</b>						
N.J.	N.D.	SB	3	SABAL PALMETTO	CABAGE PALM	10" CT (CLEAR TRUNK)
N.J.	N.D.	SL	3	SATAKENTIA LIGULIFENS	SATAKENTIA PALM	12" CT (CLEAR TRUNK)
N.J.	N.D.	TR	3	THINAX RADICATA	FLORENZA THATCH PALM	6" CT (CLEAR TRUNK) M
<b>UNDERSTORY TREES</b>						
N.J.	N.D.	OSA	6	OMALANDIA SANCTUM	LIGNUM VITAE	45 GAL. FULL
N.J.	N.D.	LJA	2	LIGUSTRUM JAPONICUM	JAPANESE PRIVET	45 GAL. FULL
<b>SHRUBS/ACCENTS</b>						
N.J.	N.D.	CN	30	CESTRUM NOCTURNUM	NIGHT BLOOMING JASMINE	7 GAL. FULL
N.J.	N.D.	SR	60	SCERITELZIA REGIAE	BIRD OF PARADISE	15 GAL. FULL
N.J.	N.D.	SR	5	SCEROLA REPENS (SILVER)	SILVER SAW PALMETTO	15 GAL. FULL
<b>GRASSES</b>						
N.J.	N.D.	SB	125	SPARTINA PATENS	DUNE CORNCRASS	7 GAL. FULL
<b>GROUNDCOVER</b>						
N.J.	N.D.	EL	60	ERNODEA LITTORALIS	GOLDEN CREEPER	1 GAL. 16" O.C.
N.J.	N.D.	MS	100	MICROSORUM SCOLOPENDRIA	WART FERN	1 GAL. 16" O.C.
N.J.	N.D.	PN	60	PHYLLA NODIFLORA	FOGFRUIT	1 GAL. 16" O.C.

1 M - INDICATES TREE/PALM COUNTED TOWARD ON SITE MITIGATION  
2 I - INDICATES TREE/PALM COUNTED TOWARD ON SITE LANDSCAPE  
3 S - INDICATES TREE/PALM COUNTED TOWARD STREET TREE  
4 N - INDICATES NATIVE PLANT MATERIAL  
5 D - INDICATES DROUGHT RESISTANT PLANT MATERIAL



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## TREES



BSE  
BUISSIERA SIMARUBA  
OLIVE OMBU



HGH  
HANGKONGANTHUS GYMNOPTERIGIUS  
GOLDEN TRUMPET TREE



HBM  
HANGKONGANTHUS HIRSHII  
PINK TRUMPET TREE



LSA  
LYSLOMA SABICU  
WEeping WILD TAMARIND

## PALMS



SBA  
SABAL PALMETTO  
CARBAGE PALM



SJA  
SATAPANTA LUKUENSIS  
SATAPANTA PALM



TBA  
THREAX RADATA  
FLORIDA THATCH PALM

## UNDERSTORY TREES



OGB  
OLIVACUM SANTUM  
LIGNUM VITAE



LJA  
LIQUSTRUM JAPONICUM  
JAPANESE PRIVET

## GRASSES



SB  
SPARTINA PATENS  
DUNE CORN GRASS

## SHRUBS / ACCENTS



CG  
GAPPARIS CYDONIOLLOPHORA  
JAMAICAN CAPER



CN  
CESTRUM NODIFLORUM  
NIGHT-BLOOMING JASMINE



HP  
HAMMELIA PATENS  
FIRE BUSH



PS  
PSYCHOTRIA NERVOSA  
WILD COFFEE

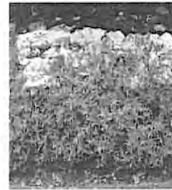


SR  
STRELITZIA REGINAE  
BIRD OF PARADISE



SRS  
SENECEA REPENS (SILVER SAW PALMETTO)

## GROUND COVER



EL  
ENANDEA LITTORALIS  
GOLDEN CREEPER



MS  
MICROSORUM SCLOPHEMIA  
WART FERN



PB  
PHLODENDRON BUILE (MARK SAME)



PH  
PHYLLOPODIFLORA  
FOOT-ROOT

## VINES



FP  
FIGUS HUMILA  
CREEPING FIG



TG  
TRAIENBERGIA GRANDIFLORA  
SKY VINE



AC  
ALLAMANDA CATIARTICA  
YELLOW ALLAMANDA

PLANTING IMAGES  
SHEET 1

**MAK**  
work

LANDSCAPE ARCHITECTURE /  
ARCHITECTURE

21-803

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L405

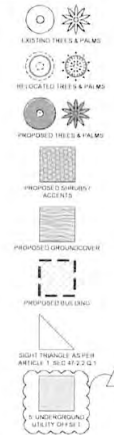


LANDSCAPE ARCHITECTURE  
ARCHITECTURE  
2018-2019  
L410 (21-0616) (21-0616) (21-0616)

21-803

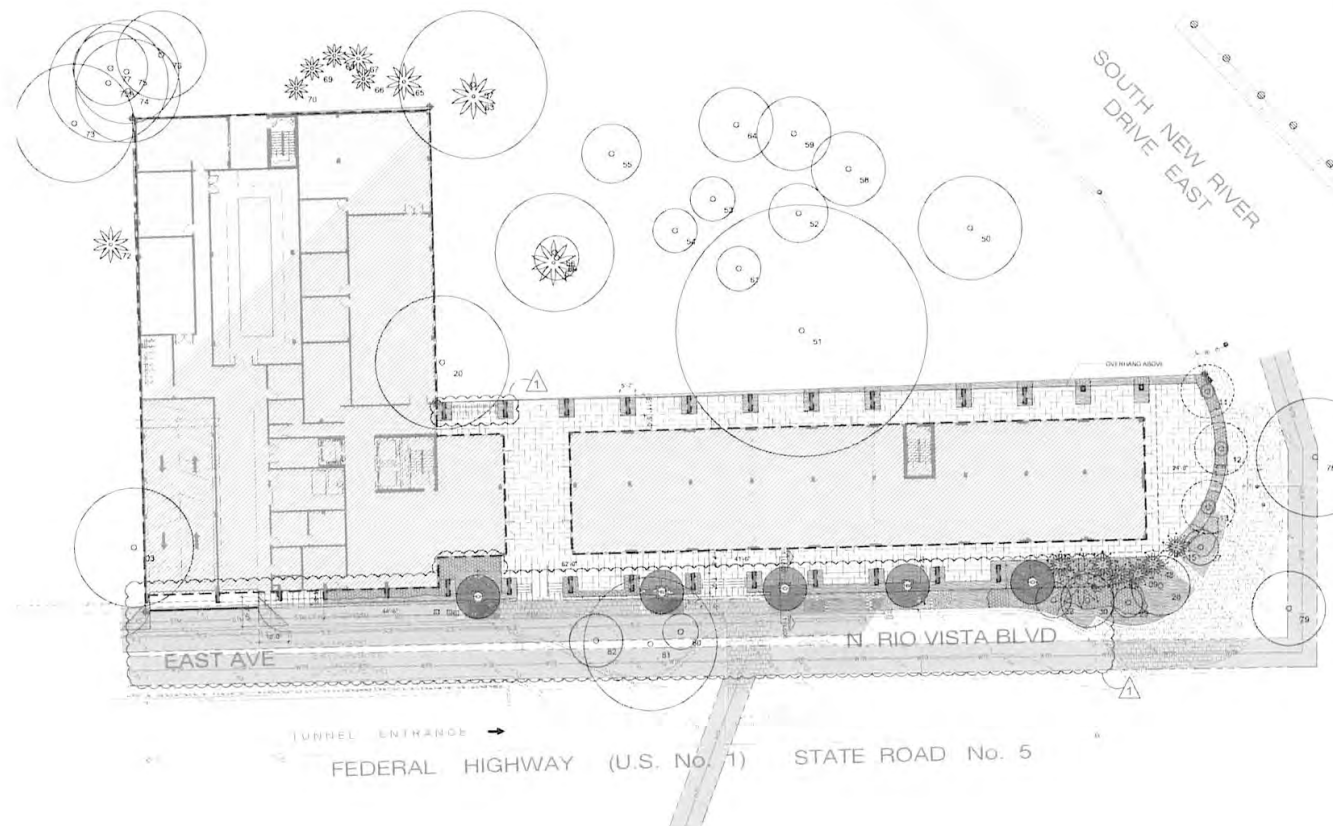
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#### PLANTING LEGEND



#### SHEET NOTES

1. COORDINATE FINAL LOCATIONS OF TREES AND LANDSCAPE WITH CIVIL DRAWINGS AND EXISTING STREET INFRASTRUCTURE TO REMAIN.



PLANTING PLAN - GROUND FLOOR  
SCALE: 1/8" = 1'-0"

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L410

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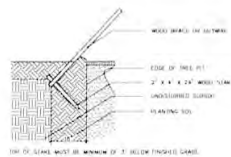


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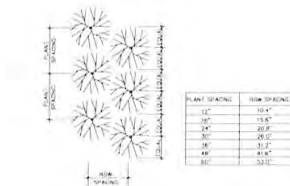


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6 STAKING DETAIL  
SCALE: NOT TO SCALE



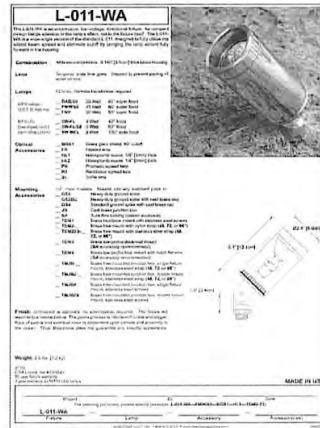


# SITE LIGHTING NOTES

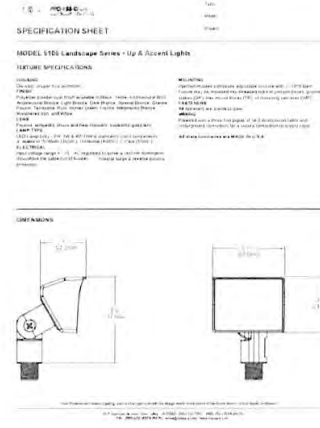
1. PRIMARY CONTROLLERS AND GENERAL FIXTURE LOCATIONS SHOWN ONLY. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR COMPLETE SYSTEM DESIGN (CIRCUITS, SWITCHES, VARS, ETC.) FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. CONTRACTOR TO PROVIDE CODE COMPLIANT SYSTEM DESIGN INCLUDING FOOT CANDLE COVERAGE AND SEA TIGHTLE REQUIREMENTS FOR ENTIRE SITE.
3. COORDINATE LANDSCAPE LIGHTING WITH INTERIOR AND EXTERIOR ARCHITECTURAL LIGHTING. ENSURE COMPATIBILITY WITH ARCHITECTURAL LIGHTING SYSTEM CONTROLLERS.
4. PROVIDE NEMA RATED EQUIPMENT AND ENCLOSURES FOR SYSTEM CONTROLLERS EXPOSED TO THE ELEMENTS. SUBMIT PROPOSED MOUNTING SYSTEM, ENCLOSURES AND LOCATIONS AS PART OF THE SUBMISSION PROCESS.
5. PROVIDE ALL STAKES, RISERS, HANGERS, CABLE, AND HARDWARE NECESSARY TO COMPLETE LIGHTING INSTALLATION. PAINT ALL EXPOSED HARDWARE: BRASS OR BLACK OR DARK BRONZE.
6. COORDINATE MOUNTING LOCATIONS AND HEIGHTS WITH GENERAL CONTRACTOR AND RELATED TRADES. LANDSCAPE ARCHITECT TO APPROVE FINAL LOCATIONS AND ELEVATIONS PRIOR TO FINAL INSTALLATION.
7. REFER TO THE LANDSCAPE, CIVIL AND STRUCTURAL PLANS WHEN TRENCHING TO AVOID DAMAGE TO TREE ROOTS, DRAIN/IRRIGATION LINES AND STRUCTURES.
8. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.

# SITE LIGHTING SCHEDULE

SYM	ABB	QUANTITY	MANUFACTURER	MODEL	NOTES
A	2	2	BEACHSIDE LIGHTING	L-011-WA WITH 4" RISER	ACCENT LIGHT
B	18	18	VISTA	S105	SPOT UPLIGHT



1 TYPE A - ACCENT LIGHT



2 TYPE B - SPOT UPLIGHT



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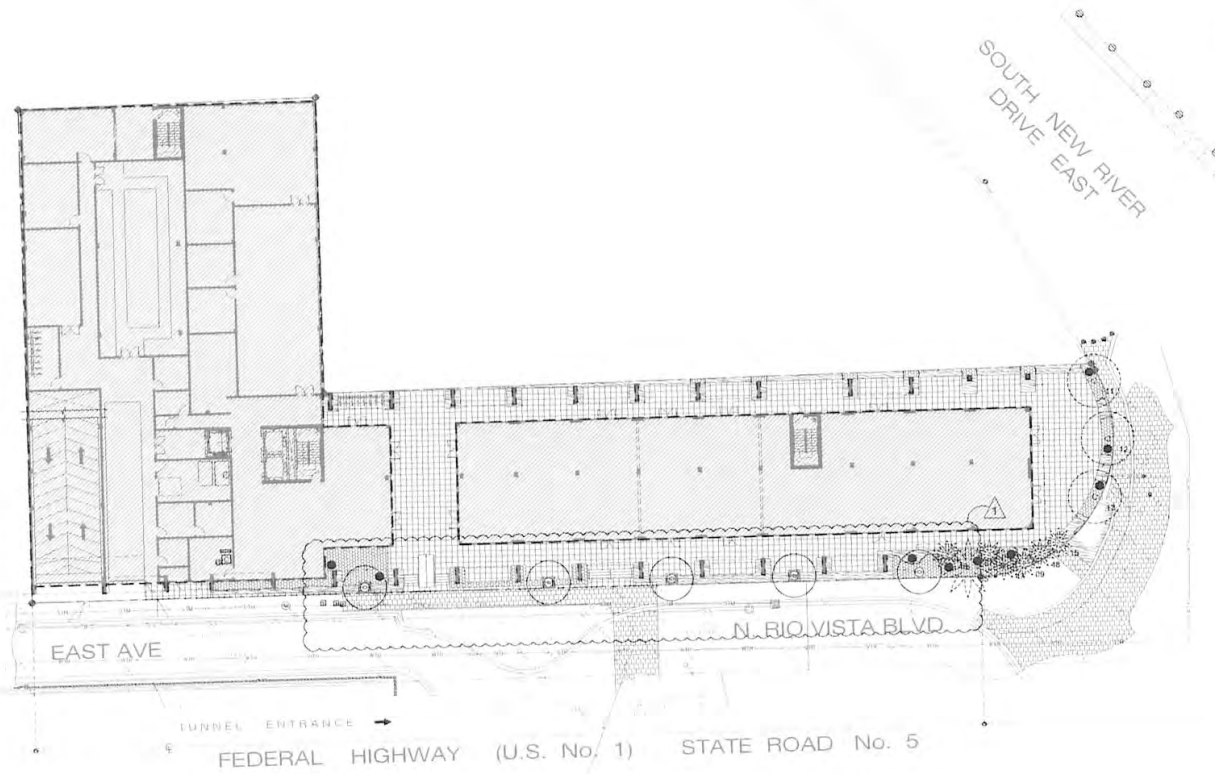
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LIGHTING NOTES AND SCHEDULE

**LIGHTING LEGEND**

-  LIGHTING CONTROLLER AND LIGHT SENSOR
-  TRUNK OR MAIN LIGHT
-  ACCENT LIGHT
-  SPOT UPLIGHT



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**LIGHTING PLAN - GROUND FLOOR**  
SCALE: 1/8" = 1'-0"





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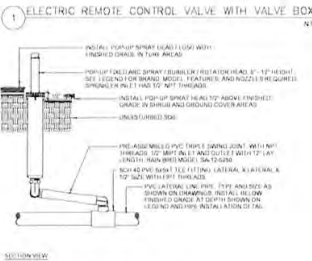
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- LIGHTING LEGEND**
- LIGHTING CONTROLLER AND LIGHT SENSOR
  - TRANSFORMER
  - ACCENT LIGHT
  - SPOT UP LIGHT

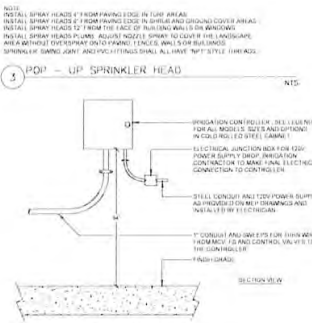
1. IRRIGATION PLAN IS CONCEPTUAL. FURTHER DESIGN TO BE COMPLETED BY IRRIGATION CONTRACTOR/DESIGNER.
2. IRRIGATION SYSTEM SHALL BE DESIGNED TO CONSERVE WATER TO THE EXTENT POSSIBLE THROUGH THE USE OF EFFICIENT HEADS. NECESSARY SPECIALTY TOOLS AND A WEATHER AND WEATHER MONITORING CONTROL STATION.
3. ALL NEW TREES AND SHRUBS TO RECEIVE SPRINKLY IRRIGATION.
4. ALL REVEGETATED AREAS TO RECEIVE SPRINKLY IRRIGATION FOR FIRST TWO GROWING SEASONS MINIMUM.
5. ALL PERMANENT BEDS TO RECEIVE SPRINKLY IRRIGATION.
6. ALL SPRINKLY IRRIGATION TO BE DIRECTED AWAY FROM STRUCTURES.
7. INSTALL SPRINKLY HEADS ALONG SIDEWALKS AND POOPUP RISERS.
8. LOCATE HEADS SO THEY ARE PROTECTED FROM TRAFFIC AND DO NOT CAUSE DAMAGE TO WALLS OR CURBS. BASKETLY USED FOR ARCHITECTURAL SURFACES.
9. ADJUST HEAD LOCATION IF SPRINKLY IS DETERMINED TO BE BLOCKED BY TREES, SHRUBS, OR STRUCTURE. MAINTAIN EVEN COVERAGE OF PLANTING AREAS.
10. GENERAL CONTRACTOR TO COORDINATE SIZE AND LOCATION OF SLAB PENETRATIONS FOR IRRIGATION EQUIPMENT WITH MECHANICAL CONTRACTORS.
11. INSTALL MAIN LATERALS TO SCOPE AT 16" MINIMUM TO MANUAL DRAIN. VALVES LOCATED AT LOW POINTS OF MAIN SYSTEM.
12. INSTALL 3/4" INCH POLYETHYLENE LATERAL LINES TO SCOPE AT 16" MINIMUM TO AUTOMATIC DRAIN VALVES LOCATED AT LOW POINTS OF LATERALS.
13. TRENCHES TO BE OF SUFFICIENT DEPTH TO PROVIDE 18" MINIMUM OF COVER OVER LATERAL LINES. REVEELED LINES SHALL HAVE A MINIMUM COVER OF 24" MINIMUM. TRENCHES ARE TO BE BACKFILLED WITH MATERIAL FREE OF ROCKS GREATER THAN 3/4" INCH IN DIAMETER.
14. INSTALL BACKFLOW PREVENTORS IN COORDINATION WITH GENERAL CONTRACTOR. BACKFLOW PREVENTERS SHALL BE INSTALLED FLUSH AND SQUARE WITH ADJACENT PAVEMENT EDGES OR STRUCTURES CONTROL CURB BLACK.
15. CONTROL VALVE BOX AND HEAD BOX LOCATIONS TO BE APPROVED BY ARCHITECT AND GROUND WITH MATCH. VALVE BOXES TO BE PLACED A MINIMUM OF 12" MINIMUM FROM PARALLEL LINE TO CURBS AND VALVE GROUPED VALVES TO BE EQUALLY SPACED AND PARALLEL. COLOR, BRAND.
16. THE FINAL LOCATION AND EXACT POSITIONING OF THE AUTOMATIC CONTROL LINES SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE OR GROUND WITH MATCH. VALVE BOXES SHALL BE INSTALLED FLUSH WITH FINISH GRADE AND GROUND WITH MATCH. VALVE BOXES SHALL BE OF PLASTIC WITH BOLT DOWN LID.
17. GENERAL CONTRACTOR TO COORDINATE WITH ARCHITECT AND GROUND WITH MATCH. VALVE BOXES TO BE PLACED A MINIMUM OF 12" MINIMUM FROM PARALLEL LINE TO CURBS AND VALVE GROUPED VALVES TO BE EQUALLY SPACED AND PARALLEL. COLOR, BRAND.
18. CONTRACTOR TO MAINTAIN A SET OF "AS-BUILT" DRAWINGS THROUGHOUT THE COURSE OF CONSTRUCTION AND DELIVER THESE DRAWINGS TO OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT UPON COMPLETION OF WORK.
19. EXCAVATIONS TO BE BACKFILLED TO 95% COMPACT, MINIMUM 18" MINIMUM TO BE REPAIRED AND FINISHED FOR USE. REPAIRS TO BE COMPLETED BEFORE WORK TO WARRANT THAT THE SYSTEM WILL BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER COMPLETION OF WORK.
20. EXISTING EXPOSED CRAWL SPACE IN EXCAVATING AND WORKING UNDER EXISTING UTILITIES AND IN EXISTING TREE ROOT ZONES. VERIFY THE LOCATION AND CONDITION OF ALL UTILITIES AND BE RESPONSIBLE FOR THE PROTECTION OF UTILITIES. DAMAGE CAUSED BY OBTAINING THE PERFORMANCE OF WORK TO BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER. FILL AND ADJUST SPRINKLER LOCATIONS SO AS TO AVOID DAMAGE TO UTILITIES AND TREE ROOT ZONES. TRANSFORMERS, ETC.)
21. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
22. IRRIGATION SYSTEM TO BE COMPLETELY DESIGNED TO PREVENT PUMP FROM BURNING PUMP TO FREEZING TEMPERATURES ANNUALLY.
23. PROVIDE SLEEVES AS REQUIRED FOR IRRIGATION LINES. IRRIGATION LINES SHALL BE CONSTRUCTED PRIOR TO PAVING AND LANDSCAPE WORK.



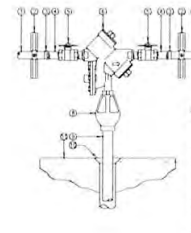
### SECTION VIEW



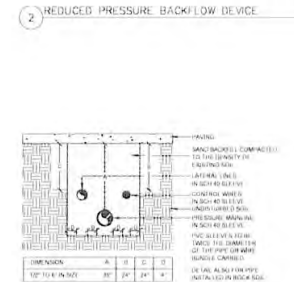
LIVE BOX



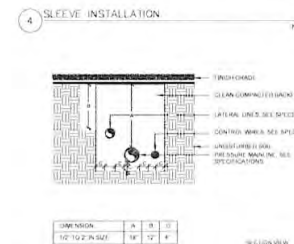
11. *Journal of the American Medical Association*, 271, 1994, 1000-1001.



SECTION VI



### SECTION VIEW

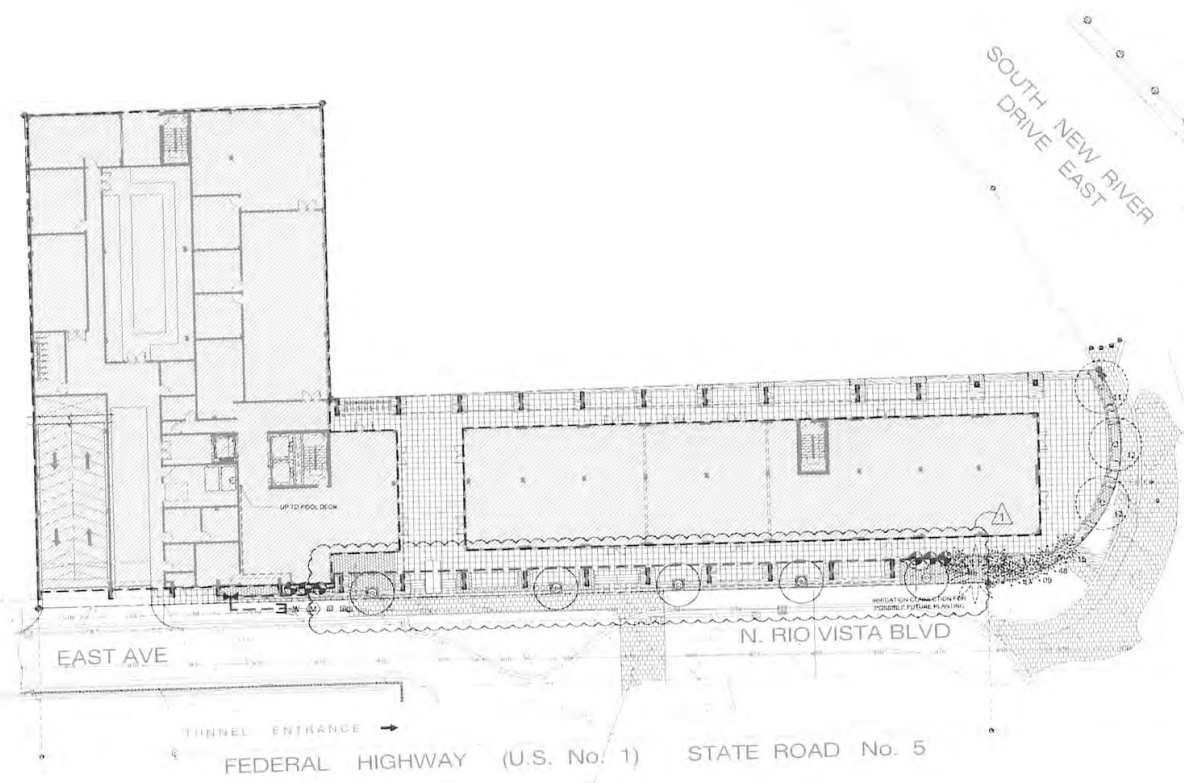


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IRRIGATION NOTES AND DETAILS  
SCALE: N.T.S.



**IRRIGATION LEGEND**

- IRRIGATION WATER TAP AND WATER METER SIZE INDICATED ON PLAN PROVIDED BY THE SITE UTILITY CONTRACTOR, PER LOCAL CODES
- REDUCED PRESSURE BACKFLOW PREVENTION PROVIDED BY IRRIGATION INSTALLER, PER LOCAL CODES, WA/PS 905, OR EQUAL
- IRRIGATION CONTROLLER WITH MAIN SWITCH, NUMBER OF STATIONS INDICATED ON PLAN, 120 VOLT, 3 AMP, ELECTRIC CIRCUIT FROM NEAREST ELECTRICAL PANEL, BY THE BUILDING CONTRACTOR, PROVIDE CONTROLLER DESIGNING WITH 1/2" BORE COPPER PIPE, 5/8" X 1/2" COPPER CLAD GROUND ROD AND CABLED SETTINGS, WELLS WITH HUNTER 1" COIL, SERVED WITH WIRELESS MAIN CLICK
- IRRIGATION CONTROL VALVE, PLASTIC BODY WITH FLOW CONTROL, MOUNT IN 1" DIETANGULAR VALVE BOX, SIZE INDICATED ON PLAN, HUNTER RY VALVE SERIES, OR EQUAL
- IRRIGATION CONTROL VALVE, TAG, INDICATES VALVE LOCATION, STATION NUMBER, SIZE AND CON. FLOW RATE
- IRRIGATION ISOLATION VALVE, SIZE SAME SIZE AS PIP, MOUNT IN 1" RECTANGULAR VALVE BOX WITH 8" NOS DRAIN PNY LATERAL AS NEEDED 2" AND SMALLER, BRONZE TRENDS ON PNY WITH WHEEL HANDLE
- PVC MAIN LINE PIP, CLASS 200, PVC, INSTALL 18" DEEP, 2" AND SMALLER, SOLVENT WELD PVC PIPE AND FITTINGS
- PVC LATERAL LINE PIP, CLASS 200, PVC, INSTALL 12" DEEP, 2" AND SMALLER, SOLVENT WELD PVC PIPE AND FITTINGS
- PVC SLEEVE PIP, CLASS 200, PVC, SOLVENT WELD PVC PIPE AND FITTINGS
- 1" BRASS QUICK COUPLER VALVE MOUNT ON 1/2" BORE TYP SPRING UNIT AND SMALLER IN 1/2" ROUND VALVE BOX, PROVIDE ONE KEY WITH 1/4" NOS SWIVEL, HANGLER FOR TWO QUICK COUPLER VALVES, HUNTER HD-444C VALVE, WITH 1/4"-44 KEY, 1/4" HS-1
- SNIP IRRIGATION LINE

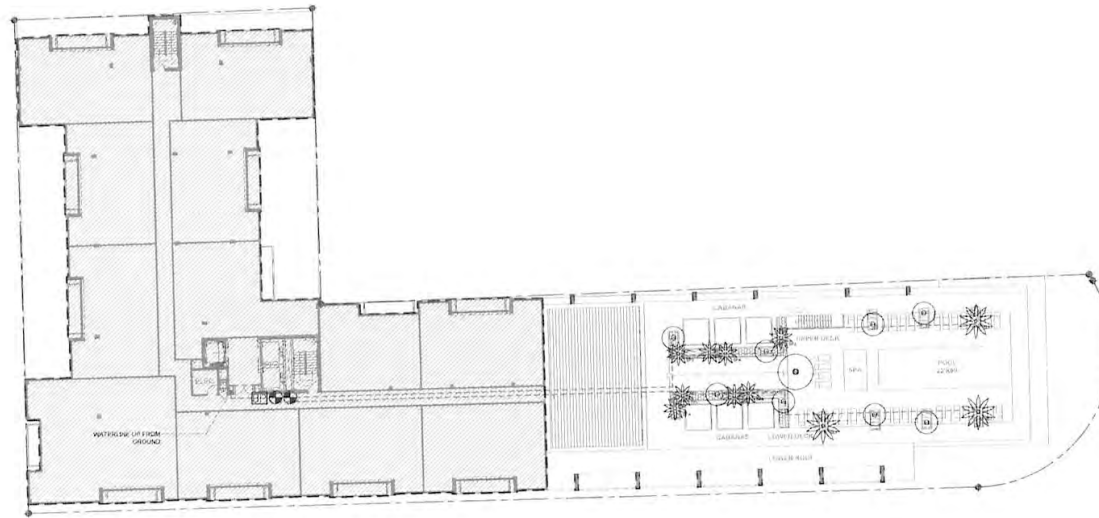
**SHEET NOTES**

1. INFORMATION ON DRAWINGS FOR POINT OF CONSTRUCTION, HPC, VALVE AND MANIFOLD LINES ONLY
2. VALVE QUANTITY REFLECTS INTENDED HYDROZONES AND THEIR GENERAL LOCATIONS
3. A COMPLETE SYSTEM DESIGN DETAILS AND SPECIFICATIONS WILL BE PROVIDED IN THE BUILDING PERMIT PACKAGE

**IRRIGATION PLAN - GROUND FLOOR**  
SCALE: 1/8" = 1'-0"

**AVIVA**  
501 SE 6TH AVENUE, FORT LAUDERDALE, FLORIDA  
ISSUED FOR: DESIGN REVIEW COMMITTEE

IR110



**IRRIGATION LEGEND**

IRRIGATION WATER TAP AND WATER METER SIZE INDICATED ON PLAN. PROVIDED BY THE SITE UTILITY CONTRACTOR, PER LOCAL CODES.

REDUCED PRESSURE BACKFLOW PREVENTER PROVIDED BY IRRIGATION INSTALLER, PER LOCAL CODES. VALVE SIZE, OR EQUAL.

IRRIGATION CONTROLLER WITH MAIN SWITCH. NUMBER OF STATIONS INDICATED ON PLAN. 120 VOL. 3 AMP. ELECTRIC CIRCUIT FROM NEAREST ELECTRICAL PANEL, BY THE BUILDING CONTRACTOR. PROVIDE CONTROLLER WIRING WITH 18 AWG BARE COPPER WIRE, 5/8" X 4' COPPER CLAD GROUND ROD AND CABLED CAPPING. WELD KIT - HUNTER I-GONC SERIES WITH IMPELLOD HARK CLICK.

IRRIGATION CONTROL VALVE. PLASTIC BODY WITH FLOW CONTROL. MOUNT IN 1" RECTANGULAR VALVE BOX. SIZE INDICATED ON PLAN. HUNTER XEV VALVE SERIES, OR EQUAL.

IRRIGATION CONTROL VALVE. TAG INDICATES VALVE LOCATION, STATION NUMBER, SIZE, AND ZONE. 1/2" OR 3/4" WAT.

IRRIGATION ISOLATION VALVE. SIZE SAME SIZE AS PIPE. MOUNT IN 1" RECTANGULAR VALVE BOX WITH 8" NOS. DRAIN PIPE EXTENSION AS NEEDED. 2" AND SMALLER - BRONZE THREAD ON TOP WITH WHEEL HANDLE.

PVC MAIN LINE PIPE. CLASS 200. PVC. INSTALL 18" DEEP. 2" AND SMALLER, SOLVENT WELD PVC PIPE AND FITTINGS.

PVC LATERAL LINE PIPE. CLASS 200. PVC. INSTALL 12" DEEP. 2" AND SMALLER, SOLVENT WELD PVC PIPE AND FITTINGS.

PVC SLEEVE PIPE. CLASS 200. PVC. SOLVENT WELD PVC PIPE AND FITTINGS.

1" BRASS QUICK COUPLER VALVE MOUNT ON 3-RING WPT SPRING ARM AND STAIRCASE IN 1" HOOD VALVE BOX. PROVIDE ONE SOV KEY WITH 1/4" HOSE SWAP. EQUIP WITH TWO QUICK COUPLER VALVES. HUNTER HQ-44/BC VALVE WITH HQ-44 KEY + HQ-1.

DEEP IRRIGATION LINE.

**SHEET NOTES**

1. INFORMATION ON DRAWINGS FOR POINT OF CONNECTION, PIPING, VALVE AND MANHOLE LINE, ONLY.
2. VALVE QUANTITY REFLECTS INTENDED HYDROZONES AND THEIR GENERAL LOCATIONS.
3. COMPLETE SYSTEM DESIGN DETAILS AND SPECIFICATIONS WILL BE PROVIDED IN THE BUILDING PERMIT PACKAGE.

**IRRIGATION PLAN - POOL DECK**  
 DATE 10-11-20

**MAK**  
 work  
 LANDSCAPE ARCHITECTURE /  
 ARCHITECTURE  
 1111 SE 6TH AVENUE, SUITE 1100  
 FORT LAUDERDALE, FL 33316  
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05-12-2021

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 ISSUED FOR : DESIGN REVIEW COMMITTEE

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