



DEPARTMENT OF SUSTAINABLE DEVELOPMENT – URBAN DESIGN & PLANNING

ADMINISTRATIVE REVIEW (AR) – SITE PLAN LEVEL I APPLICATION

Rev: 1 | Revision Date: 11/1/2017 | I.D. Number: DSD-UDP-SPI

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. **Indicate N/A if question does not apply.**

DEADLINE: The Administrative Review Committee meets weekly to review cases. Submittals must be received by **12:00 P.M. Thursday**, in order to be reviewed at the Administrative Review Committee meeting the following Thursday. Applicants will be notified via email, if plans do not meet the submittal requirements and if changes are required.

FEES: All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit.

<input type="checkbox"/> Amendment to previously approved Site Plan Level II: Amended DRC	\$ 1,800.00
<input type="checkbox"/> Amendments to Site Plan Level III Projects	\$ 3,550.00
<input type="checkbox"/> Amendments to Site Plan Level IV Projects	\$ 3,750.00
<input type="checkbox"/> Amendments to Site Plan Level III or IV Projects (<5%)	\$ 2,550.00

Amendments to Site Plan Level III or IV Projects: Per ULDR Section 47-24.2.A.5.b.i

Amendment to a site plan level III or level IV permit which has been approved by the planning and zoning board or the city commission pursuant to the ULDR may be approved by the director without further review or approval by such body as follows:

- Any modification to reduce floor area or height of a proposed or existing building.
- Any modification to allow the alteration of the interior of an existing building which does not alter the external appearance of the building.
- Any modification to allow minor cosmetic alteration of the external facade of an existing building, including new or renovated signage, awnings and architectural detailing, provided that the overall architectural character is not changed.
- Any modification increasing yards, setbacks or both, provided that the zoning district does not have a "build to" requirement, if the removal of any portion of a structure results in an increase in yard or setback, the original architectural and site character must be maintained and the department may impose conditions of approval to ensure this requirement is met.

Amendments to Site Plan Level III or IV Projects (<5%): Per ULDR Section 47-24.2.A.5.b.ii

Amendment to a site plan level III or level IV permit which has been approved by the planning and zoning board or the city commission pursuant to the ULDR may be approved by the director, subject to Commission Request for Review as follows:

- Any modification to increase floor area or height to a proposed or existing building, that does not exceed five percent (5%) of the existing or approved floor area or height.
- Any modification to reduce yards or setbacks up to five percent (5%) of the existing or approved yard or setback, that does not violate the required minimum yard or setback; the building has not already received an approved yard modification; and the original architectural style and site character is maintained.

Amendments to Site Plan Level III or IV Projects (>5%) - Other Amendments: Per ULDR Section 47-24.2.A.5.c

If the applicant wishes to change the development to an extent which exceeds the authority of the department to approve amendments as provided in subsection A.5.b. i or ii, the proposed amendment to the site plan level III or level IV permit will be required to be reviewed by the department and forwarded to the body which gave final approval to the original development permit. All approvals of amendments to a development permit by the Planning and Zoning Board shall be subject to City Commission Request for Review.

Original Case Number (if known)	R18004
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	Crush Law, P.A. Now: Grat Latitude, LLC
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	7715 NW 46 Street, Doral, FL 33186
E-mail Address / Phone Number	Ccrush@Crushlaw.com/ 9546323388
Proof of Ownership	[] Warranty Deed or [x] Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	Crush Law, P.A. - Courtney Callahan Crush
Applicant / Agent's Signature	<i>Courtney Callahan Crush</i>
Address, City, State, Zip	400 SE 12th St. Building C, Fort Lauderdale, FL 33316
E-mail Address / Phone Number	Ccrush@crushlaw.com/ 9546323388
Letter of Consent Submitted	[x] Yes

Development / Project Name	The Terraces
Development / Project Address	527 Orton Ave.
Tax ID Folio Numbers (For all parcels in development)	5042 01 04 0370 and 5042 01 04 0380
Description of Current Request	

Land Use Designation	C-RAC
Zoning Designation	NBRA
Current Use of Property	Residential
Number of Residential Units	18 Units
Non Residential SF (and Type)	N/A
Total Bldg. SF (include structured parking)	83,036 SF
Site Adjacent to Waterway	

Dimensional Requirements	Required	Previously Approved	Proposed
Lot Size (SF / Acreage)	N/A	25,000SF/ 0.57 ACRES	25,000SF/ 0.57 ACRES
Lot Density		18 Units	18 Units
Lot Width		125'X200'	125'X200'
Building Height (Feet / Levels)	Max 120'	75'/6 Levels	115'/10 Levels
Structure Length	Max 200'	156.5'	159.8'
Lot Coverage		12,596SF/50.4%	12,671SF/50.8%
Open Space		11,988SF/48%	11,988SF/48%
Landscape Area		8,282SF/33.1%	8,282SF/33.1%
Parking Spaces	39	39	40

Setbacks (indicate direction N,S,E,W)	Required	Previously Approved	Proposed
Front [N]	20'	20'	20'
Side [N]	1/2 Height of Building - 37.5'	20'	20'
Side [S]	1/2 Height of Building - 37.5'	20'	20'
Rear [S]	20'	20'	20'

One (1) copy of the following documents:

- **Completed Application** with all pages filled out as applicable;
- **Proof of Ownership** (warranty deed or tax record), including corporation documents if applicable;
- **Property Owner's Signature** and/or agent letter signed by the property owner;
- **Project Description Narrative** describing project specifics. Please provide as much detail as possible. These project specifics may include: architectural style and important design elements, trash disposal system, security/gating system, hours of operation, multi-modal experience, site improvements, etc.;
- **ULDR Code Narrative** response referencing all applicable sections of the ULDR, with point-by-point responses of how project complies with criteria. Reference ULDR language that requires project to go through Site Plan Level I review. Narratives must be on letterhead, dated, and with author indicated;
- **Address Verification Form** To obtain for please contact Devon Anderson at 954-828-5233 or GSutcliffe@fortlauderdale.gov
- **One Digital Submittal** (CD or USB) containing each of the above documents combined into one PDF file named the following: "Insert Project Name" Documents.pdf

Plan sets should include the following:

- **Cover sheet** including project name and table of contents;
- **Current survey(s)** of property, signed and sealed, showing existing conditions. The survey should consist of the proposed project site alone excluding adjacent properties or portions of lands not included in the proposal;
- **Original** approved plan sheets;
- **To avoid confusion as to which revision is being submitted for review, the following format must be used in all revisions:**
 - A revision box in reverse order (from the bottom up) should be drawn near the title box of each sheet. The revision box should consist of three columns: revision number, item being revised, and revision date.
 - A cloud should be drawn around each detail being revised. Do not cloud the entire sheet. Delta triangles with revision numbers should be marked next to each applicable cloud.
 - With each subsequent submission, all previous clouds are to be erased. However, revision numbers should remain.
 - Any revision not presented in the required format will not be considered an official submission and will not be reviewed.
- **Plans** "A" thru "H" may be found below and all elements of those plans are listed under Technical Specifications. *Only include the plans which relate to the proposed Administrative Review submittal.*
 - A. Site Plan
 - B. Details
 - C. Floor Plans
 - D. Building Elevations
 - E. Additional Renderings
 - F. Landscape Plans
 - G. Photometric Diagram
 - H. Engineering Plans
- **One Digital Submittal** (CD or USB) containing each of the above plan sets combined into one PDF file named the following: "Insert Project Name" Plans.pdf.

The following number of Plan sets:

- ☐ Two (2) signed and sealed sets at 24" x 36";

(Additional sets will be requested at time of approval. 2 of which will be applicants permit submittal sets and 2 copies, 1 retained for record by Urban Design & Planning)

NOTE: All plans and documents must be clear and legible, provide and bound, stapled and folded to 8 1/2" x 11" and all copy sets must be clear and legible and should include any graphic material in color.

APPLICANT AFFIDAVIT: I acknowledge that the Required Documentation and Technical Specifications of the application are met:

Print Name	Courtney Callahan Crush	Today's Date	11.6.2020
Signature	<i>Courtney Callahan Crush</i>		

Staff Intake Review						
For Urban Design & Planning Division use only:						
Staff Member Consulted	Application Reviewed By	Sets Provided	Accela	Digital Submitted	Version	Fee Paid

Technical Specifications For Plan Submittal

A. SITE PLAN

1. Title Block including project name and design professional's address and phone number
2. Scale (1" = 30' min., must be engineer's scale)
3. North indicator
4. Location map showing relationship to major arterials
5. Drawing and revision dates, as applicable
6. Full legal description
7. Site Plan Data Table
 - Current use of property and intensity
 - Land Use designation
 - Zoning designation
 - Water/wastewater service provider
 - Site area (sq. ft. and acres)
 - Building footprint coverage
 - Residential development: number of dwelling units, type, floor area(s), site density (gross and net)
 - Non-residential development: uses, gross floor area
 - Parking data: parking required (#), parking provided (#), loading zones (if applicable), ADA spaces
 - Floor Area Ratio (FAR) (total building square footage, including structured parking, divided by site area)
 - Building height (expressed in feet above grade)
 - Structure length
 - Number of stories
 - Setback table (required vs. provided)
 - Open space
 - Vehicular use area (as defined by Sec. 47-58.2, in sq. ft.)
 - Open space (in sq. ft.)
 - Landscape area (in sq. ft.)
8. Site Plan Features (graphically indicated)
 - Municipal boundaries (as applicable)
 - Zoning designation of adjacent properties with current use listed
 - Adjacent rights-of-way to opposite property lines (indicate all nearby curb cuts)
 - Waterway width, if applicable
 - Outline of adjacent buildings (indicate height in stories and approximate feet)
 - Property lines (dimensioned)
 - Building outlines of all proposed structures (dimensioned)
 - Ground floor plan
 - Dimension of grade at center line of road, at curb, and finished floor elevation
 - Dimension for all site plan features (i.e. sidewalks, building lengths and widths, balconies, parking spaces, street widths, etc.)
 - Mechanical equipment dimensioned from property lines
 - Setbacks and building separations (dimensioned)
 - Driveways, parking areas, pavement markings (including parking spaces delineated and dimensioned as well as handicapped spaces as applicable)
 - On-site light fixtures
 - Proposed ROW improvements (ie. bus stops, curbs, tree plantings, etc.)
 - Pedestrian walkways (including public sidewalks and on-site pedestrian paths)
 - Project signage

- Traffic control signage
- Catch basins or other drainage control devices
- Fire hydrants (including on-site and adjacent hydrants)
- Easements (as applicable)

B. DETAILS

1. Provide details of the following (Scale 1/4" = 1' min.)
 - Ground floor elevation
 - Storefronts, awnings, entryway features, doors, windows
 - Fence/wall
 - Dumpster
 - Light fixtures
 - Balconies, railings
 - Trash receptacles, benches, other street furniture
 - Pavers, concrete, hardscape ground cover material

C. FLOOR PLANS

1. Delineate and dimension, indicating use of spaces
2. Show property lines and setbacks on all plans
3. Typical floor plan for multi-level structure
4. Floor plan for every level of parking garage
5. Roof plan

D. BUILDING ELEVATIONS

1. All building facades with directional labels (ie. North, South) and building names if more than one building
2. Dimensions, including height and width of all structures
3. Dimensions of setbacks and required setbacks from property lines
4. Dimension grade at crown of road, at curb, sidewalk, building entrance, and finished floor
5. Indicate architectural elements, materials and colors
6. Include proposed signage

E. ADDITIONAL RENDERINGS (as applicable)

For projects subject to Sec. 47-25.3 Neighborhood Compatibility, and/or new buildings 55' or five stories or more in height, the following are required:

- Street-level perspective drawings as one would view the project from a pedestrian level, with ground truths to depict and determine appropriate scale of project
- Oblique aerial drawings from opposing view which indicate the mass outline of all proposed structures, including the outlines of adjacent existing and previously approved structures
- Context plan indicating proposed development and outline of nearby properties with uses and height labeled

F. LANDSCAPE PLAN

1. Site Plan information (in tabular form on plans)
2. Title block including project name and design professional's address and phone number
3. Scale (1" = 30' min., must be engineer's scale)
4. North indicator
5. Drawing and revision dates, as applicable
6. Landscape Plan Information (in tabular form on plans)
 - Site area (sq. ft. and acres)

GROUP LATITUDE, LLC

April 12, 2021

Jeff Modarelli
City Clerk
100 N. Andrews Avenue
City of Fort Lauderdale, FL 33301

Re: Development approvals for the Property located at 527 Orton Avenue in Fort Lauderdale, FL (the "Property")

Dear Mr. Modarelli:

Crush Law, P.A., specifically Courtney Crush and Jason Crush are authorized to represent Group Latitude, LLC, for the purpose of pursuing development rights for the Property.

Sincerely,



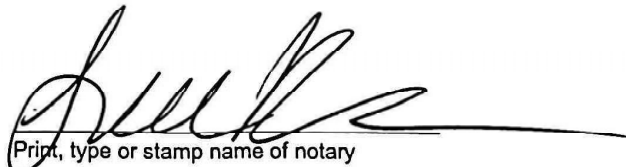
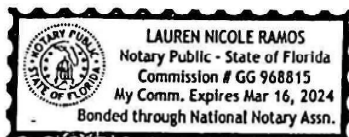
Carlos Lopez, Manager
Group Latitude, LLC

STATE OF FLORIDA
COUNTY OF _____

Sworn to and subscribed before me this 12 day of April, 2021, by Carlos Lopez who is an Authorized Agent.

Personally known to me X
OR Produced Identification _____
Type of Identification Produced _____

Notary Public, State of Florida



Print, type or stamp name of notary

My Commission Expires: March 16, 2024



Site Address	527 ORTON AVENUE, FORT LAUDERDALE FL 33304	ID #	5042 01 04 0370
Property Owner	GROUP LATITUDE LLC	Millage	0312
Mailing Address	240 CRANDON BLVD #285 KEY BISCAYNE FL 33149	Use	08
Abbr Legal Description	BIRCH OCEAN FRONT SUB 19-26 B LOT 4 BLK 5		

The just values displayed below were set in compliance with [Sec. 193.011](#), Fla. Stat., and include a reduction for costs of sale and other adjustments required by [Sec. 193.011\(8\)](#).

* 2021 values are considered "working values" and are subject to change.					
Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2021*	\$375,880	\$581,080	\$956,960	\$956,960	
2020	\$375,880	\$581,080	\$956,960	\$956,960	\$19,336.95
2019	\$375,880	\$644,940	\$1,020,820	\$1,020,820	\$19,904.62
2021* Exemptions and Taxable Values by Taxing Authority					
	County	School Board	Municipal	Independent	
Just Value	\$956,960	\$956,960	\$956,960	\$956,960	
Portability	0	0	0	0	
Assessed/SOH	\$956,960	\$956,960	\$956,960	\$956,960	
Homestead	0	0	0	0	
Add. Homestead	0	0	0	0	
Wid/Vet/Dis	0	0	0	0	
Senior	0	0	0	0	
Exempt Type	0	0	0	0	
Taxable	\$956,960	\$956,960	\$956,960	\$956,960	
Sales History				Land Calculations	
Date	Type	Price	Book/Page or CIN	Price	Factor
10/29/2020	WD*-E	\$3,375,000	116858685	\$30.07	12,500
3/15/2017	WD*-E	\$2,600,000	114271834		
3/1/2017	DR*-T	\$100	114271832		
6/13/2005	SW*	\$3,450,000	39883 / 658		
1/24/1992	WD*	\$100	19106 / 365		
				Adj. Bldg. S.F. (Card, Sketch)	
				Units	
				Eff./Act. Year Built: 1954/1953	

* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F1		
R								
3						3		



Site Address	ORTON AVENUE, FORT LAUDERDALE FL 33304	ID #	5042 01 04 0380
Property Owner	GROUP LATITUDE LLC	Millage	0312
Mailing Address	240 CRANDON BLVD #285 KEY BISCAYNE FL 33149	Use	00
Abbr Legal Description	BIRCH OCEAN FRONT SUB 19-26 B LOT 5 BLK 5		

The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

* 2021 values are considered "working values" and are subject to change.					
Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2021*	\$2,062,500		\$2,062,500	\$2,062,500	
2020	\$1,062,500		\$1,062,500	\$1,062,500	\$19,765.73
2019	\$1,062,500		\$1,062,500	\$1,062,500	\$19,746.26
2021* Exemptions and Taxable Values by Taxing Authority					
	County	School Board	Municipal	Independent	
Just Value	\$2,062,500	\$2,062,500	\$2,062,500	\$2,062,500	
Portability	0	0	0	0	
Assessed/SOH	\$2,062,500	\$2,062,500	\$2,062,500	\$2,062,500	
Homestead	0	0	0	0	
Add. Homestead	0	0	0	0	
Wid/Vet/Dis	0	0	0	0	
Senior	0	0	0	0	
Exempt Type	0	0	0	0	
Taxable	\$2,062,500	\$2,062,500	\$2,062,500	\$2,062,500	
Sales History				Land Calculations	
Date	Type	Price	Book/Page or CIN	Price	Factor
10/29/2020	WD*-E	\$3,375,000	116858685	\$165.00	12,500
3/15/2017	WD*-E	\$2,600,000	114271834		
3/1/2017	DR*-T	\$100	114271832		
6/13/2005	SW*	\$3,450,000	39883 / 658		
1/24/1992	WD*	\$100	19106 / 365		
				Adj. Bldg. S.F.	

* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03						F3		
L								
1						12500		



The Terraces 527 Orton Avenue

Project Overview

Orton Place, LLC, (Applicant) proposes to amend its approved 18-unit condominium located on a .57 acre site – 612; 620; & 630 Bayshore Drive in the Central Breach Area of the City of Fort Lauderdale. The project was approved pursuant to DRC Case #R18004. The project site is located within the Central Regional Activity Center land use designation and NBRA (North Beach Residential Area) zoning designation.

The approved site plan presents a 6 story, multifamily residential building. The proposed amendment would increase the side yard setbacks and increase the height of the building – thereby presenting a taller-thinner building form. The concept continues to be to provide as much open space on the site as possible and designing the street scape to be enhanced by maintaining openness of the site. The massing of the residential structure will be revised to have a smaller footprint once over the podium, and is designed to be contemporary in feeling with cantilevered terraces that break up the mass of the structure. The materials used for the building will be tinted grey glass and floor to ceiling windows, white painted aluminum surfaces and terraces, the terrace parapet will also be glass and aluminum.

Much care and thought has gone into the landscaping concept of the site which should greatly enhance the urban feeling of Orton Drive as one walks or drives by. There will be bump-out landscape islands along Orton Drive which will have large street trees and landscaping in them.

Uniform Land Development Regulations (“ULDR”) Sections:

Sec. 47-24.2.A.5.c Amendments

This amendment is requested pursuant to ULDR Sec. 47-24.2.A.5.c where the Applicant wishes to change the development to an extent which exceeds the authority of the department to approve amendments as provided in subsection A.5.b. i or ii, the proposed amendment to the site plan level III or level IV permit will be required to be reviewed by the department and forwarded to the body which gave final approval to the original development permit. All approvals of amendments to a development permit by the Planning and Zoning Board shall be subject to City Commission Request for Review.

Sec. 47-12.5 District requirements and limitations



E. North Beach Residential Area (NBRA) District.

1. Setbacks.

- a. Front yard: twenty (20) feet.

RESPONSE: *Approved Front Setback = 20' (East)*

Proposed Front Setback = 24'-10" (East)

- b. Side yard: one-half ($\frac{1}{2}$) the height of the building.

RESPONSE: *Approved Side yard = 20' at base (North)*

Proposed Side yard = 20' at base – 34'-9" up to floor nine and 52'-2" at floor ten (North)

Approved Side yard = 20' at base (South)

Proposed Side yard = 20' at base – 59'-11" on floor three – 44'-5" floors four through nine and 53"-4" on floor ten. (South)

- c. Rear yard: one-half ($\frac{1}{2}$) the height of the building.

RESPONSE: *Approved Rear yard = 20' at base (West)*

Proposed Rear yard = 20' at base up to floor three and 24'-0" up to floor ten (West)

- d. If a development is approved as a development of significant impact, the side and rear yard requirements may be reduced as follows:

RESPONSE: *Proposed development was submitting for review as a development of significant impact (Site Plan Level IV) and is being amended as such.*

- i. Side yard. For structures greater than one hundred fifteen (115) feet in height: forty (40) feet; for structures greater than seventy-five (75) feet in height: thirty (30) feet; for structures greater than thirty-five (35) feet in height: twenty (20) feet; for structures up to thirty-five (35) feet in height: ten (10) feet.

RESPONSE:

As Approved, a 20' setback is provided at the ground level on both the North & South sides.

As Proposed, the portion of the structure between 0' and 35' in height has a 20' setback is provided at the ground level on both the North & South sides.

- ii. Rear yard: twenty (20) feet.

RESPONSE: *The Approved rear yard (WEST) = 20' at base.*



The Proposed Rear yard = 20' at base up to floor three and 24'-0" up to floor ten (West)

- e. The final reviewing authority may permit the minimum side yard setbacks to be reduced to ten (10) feet when the side of the property where the setback is proposed to be reduced is adjacent to a waterway or dedicated open space and it is found that allowing a reduction is compatible with the Design and Community Compatibility Criteria provided in Sec. 47-12.7
- 2. Height. No structure shall exceed one hundred twenty (120) feet.
RESPONSE: ***Approved height = 75'***
 Proposed height = 115'
- 3. Density.
 - a. Residential: thirty-two (32) dwelling units per acre.
RESPONSE: ***The Approved density remains unchanged per this amendment at 0.57 acres = 18 units max with 18 units Approved.***
 - b. Hotels: fifty (50) rooms per acre.
RESPONSE: ***N/A***
 - c. An increase in the maximum density may be permitted if approved as part of a Site Plan Level IV development permit if the following conditions are met:
RESPONSE: ***N/A***
 - i. The increased units are transferred from property zoned IOA; and
 - ii. The IOA property is within three hundred (300) feet of the parcel in NBRA proposed for development; and
 - iii. A single development plan is submitted for development of the IOA and NBRA parcels; and
 - iv. The transfer of density from IOA to NBRA will result in protection of the view from and to the Intracoastal Waterway.
 - v. A document executed by the department is recorded in the Public Records of Broward County evidencing the revised density limitations for both development sites.
- 4. List of permitted uses—NBRA district.
 - a. Site Plan Level IV Development.
 - i. Hotels, suite hotels.
 - ii. Motels.
 - iii. Restaurants located within a residential high-rise structure or hotel.
 - b. Site Plan Level III Development.



- i. Residential.
 - ii. Accessory commercial retail uses fully confined in a building.
 - c. Site Plan Level II Development with City Commission Request for Review pursuant to Section 47-26.A.2.
 - i. Uses provided in Section 47-12.5.1
 - d. Site Plan Level I Development.
 - i. Accessory buildings and structures; improvements outside of the principal structure including but not limited to fences, walls, landscaping, parking, signs and nonstructural alterations to the exterior of structures located on a parcel; and expansion or change of a permitted use within an existing structure.
5. Length and width. The maximum length and width of a structure shall be two hundred (200) feet.
RESPONSE: *The Approved building is 84' x 153'.*
The Proposed building is 80.03 x 159.7' at grade.
6. Minimum distance between buildings. The minimum distance between buildings on a development site shall be twenty (20) feet or twenty (20) percent of the tallest building, whichever is greater. For purposes of this subsection, a parking garage shall be considered a building.
RESPONSE: *N/A*

Adequacy Requirements 47-25.2

Sec. 47-25.2. Adequacy requirements.

- A. Applicability. The adequacy requirements set forth herein shall be used by the city to evaluate the demand created on public services and facilities created by a proposed development permit.
RESPONSE: *Plans are in accordance with requirements.*
- B. Communications network. Buildings and structures shall not interfere with the city's communication network. Developments shall be modified to accommodate the needs of the city's communication network, to eliminate any interference a development would create or otherwise accommodate the needs of the city's communication network within the development proposal.
RESPONSE: *The Proposed project is proposed to include one 10 story building. This proposed development should not impose any interference with the City's communication network.*



- C. Drainage facilities. Adequacy of storm water management facilities shall be evaluated based upon the adopted level of service requiring the retention of the first inch of runoff from the entire site or two and one-half (2 1/2) inches of runoff from the impervious surface whichever is greater.

RESPONSE: Application shall be made to Broward County ELBPD and the applicant shall satisfy all current criteria for surface water requirements and obtain all local and state licenses.

- D. Environmentally sensitive lands.

1. In addition to a finding of adequacy, a development shall be reviewed pursuant to applicable federal, state, regional and local environmental regulations. Specifically, an application for development shall be reviewed in accordance with the following Broward County Ordinances, which address environmentally sensitive lands and wellfield protection which ordinances are incorporated herein by reference:
 - a. Broward County Ordinance No. 89-6.
 - b. Section 5-198(I), Chapter 5, Article IX of the Broward County Code of Ordinances.
 - c. Broward County Ordinance No. 84-60.
2. The applicant must demonstrate that impacts of the proposed development to environmentally sensitive lands will be mitigated.

RESPONSE: The development does not impact environmentally sensitive lands.

- E. Fire protection. Fire protection service shall be adequate to protect people and property in the proposed development. Adequate water supply, fire hydrants, fire apparatus and facilities shall be provided in accordance with the Florida Building Code, South Florida Fire Code and other accepted applicable fire and safety standards.

RESPONSE: See Architectural and Civil plans for compliance. All fire protection services will be provided as required by current regulations.

- F. Parks and open space.

1. For all residential plats, a minimum of three (3) acres property per anticipated one thousand (1,000) residents, or cash equivalent value, or combination thereof as determined by the department shall be provided by the applicant to meet the needs for additional parks. In addition, contribution to subregional and regional parks in accordance with the Broward County Land Development Code is required, and an applicant shall provide documentation to the department that such contribution has been satisfied.
2. If there is adequate acreage available to service the proposed residential development, the city shall reserve the capacity necessary to serve the development.



3. Open space requirements provided in the ULDR shall be in addition to and shall not replace the park and open space required by this subsection F.

RESPONSE: The project includes open space that exceeds the code requirements. 45.7% of the project site is included in the open space.

- G. Police protection. Police protection service shall be adequate to protect people and property in the proposed development. The development shall provide improvements, which are consistent with Crime Prevention Through Environmental Design (CPTED) to minimize the risk to public safety and assure adequate police protection.

RESPONSE: All exterior glazing for the project will meet the requirements of the Florida Building Code and good lighting photometrics as outlined in the City of Fort Lauderdale's ULDR will be met. The developer has taken steps to design with CPTED in mind providing for open space territorial reinforcement.

- H. Potable water.

1. Adequate potable water service shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements, which may be needed for the installation and maintenance of potable water systems in accordance with city engineering standards, the Florida Building Code, and applicable health and environmental regulations. The existing water treatment facilities and systems shall have sufficient capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which potable water treatment capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended from time to time. Improvements to the potable water service and system shall be made in accordance with city engineering standards and other accepted applicable engineering standards.

2. Potable water facilities.

- a. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.
- b. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the development.
- c. Where the county is the projected service provider, a similar written assurance will be required.



RESPONSE: Existing potable water facilities are available for connection to service the property. An updated letter from City of Fort Lauderdale Public Works Department shall be obtained verifying that sufficient potable water and sanitary sewer facilities exist for the proposed water demand and sewer generation.

- I. Sanitary sewer.
 - 1. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from the design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.
 - 2. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the proposed development.
 - 3. Where the county is the projected service provider, a written assurance will be required.
 - 4. Where septic tanks will be utilized, the applicant shall secure and submit to the city a certificate from the Broward County Health Unit that certifies that the site is or can be made suitable for an on-site sewage disposal system for the proposed use.

RESPONSE: Existing Sanitary Sewer facilities are available for connection to service the property. An updated letter from City of Fort Lauderdale Public Works Department shall be obtained verifying that sufficient potable water and sanitary sewer facilities exist for the proposed water demand and sewer generation.

- J. Schools. For all residential plats, the applicant shall contribute to school facilities in accordance with the Broward County Land Development Code and shall provide documentation to the city that such contribution has been satisfied.

RESPONSE: This amendment does not change the school impacts.

- K. Solid waste.
 - 1. Adequate solid waste collection facilities and service shall be obtained by the applicant in connection with the proposed development and evidence shall be provided to the city demonstrating that all solid waste will be disposed of in a manner that complies with all governmental requirements.
 - 2. Solid waste facilities. Where the city provides solid waste collection service and adequate service can be provided, an adequacy finding shall be issued. Where there is another service provider, a written assurance will be required. The impacts of the proposed development will be determined based on Table 4, Solid Waste, on file with the department.

RESPONSE: Solid Waste collection will be handled by private licensed provider per current applicable codes.



- K. Stormwater. Adequate stormwater facilities and systems shall be provided so that the removal of stormwater will not adversely affect adjacent streets and properties or the public stormwater facilities and systems in accordance with the Florida Building Code, city engineering standards and other accepted applicable engineering standards.

RESPONSE: See civil drawings for stormwater compliance. All applicable licenses will be obtained prior to submittal for building permit.

- M. Transportation facilities.

1. The capacity for transportation facilities shall be evaluated based on Table 1, Generalized Daily Level of Service Maximum Volumes, on file with the department. If a development is within a compact deferral area, the available traffic capacity shall be determined in accordance with Table 2, Flowchart, on file with the department.
2. Regional transportation network. The regional transportation network shall have the adequate capacity, and safe and efficient traffic circulation to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the adopted traffic elements of the city and the county comprehensive plans, and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is needed in order to evaluate the impacts of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit such a study to the city, which will be considered by the DRC in its review. Roadway improvements needed to upgrade the regional transportation network shall be made in accordance with the city, the county, and Florida Department of Transportation traffic engineering standards and plans as applicable.

RESPONSE: The proposed project provides no adverse impact to the regional transportation network.

3. Local streets. Local streets shall have adequate capacity, safe and efficient traffic circulation, and appropriate functional classification to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the city's comprehensive plan and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is required in order to evaluate the impact of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit to the city such a study to be considered as part of the DRC review. Street improvements needed to upgrade the capacity or comply with the functional classification of local streets shall be made in



accordance with the city engineering standards and acceptable applicable traffic engineering standards. Local streets are those streets that are not classified as federal, state or county roadways on the functional classification map adopted by the State of Florida.

RESPONSE: The project design provides for removal of existing back out parking. The proposed parking is consolidated to a fully enclosed and secured parking garage with one driveway connection to the local street.

4. Traffic impact studies.
 - a. When the proposed development may generate over one thousand (1,000) daily trips; or
 - b. When the daily trip generation is less than one thousand (1,000) trips; and (1) when more than twenty percent (20%) of the total daily trips are anticipated to arrive or depart, or both, within one-half (1/2) hour; or (2) when the proposed use creates varying trip generation each day, but has the potential to place more than twenty percent (20%) of its maximum twenty-four (24) hour trip generation onto the adjacent transportation system within a one-half (1/2) hour period; the applicant shall submit to the city a traffic impact analysis prepared by the county or a registered Florida engineer experienced in traffic ways impact analysis which shall:
 - i. Provide an estimate of the number of average and peak hour trips per day generated and directions or routes of travel for all trips with an external end.
 - ii. Estimate how traffic from the proposed development will change traffic volumes, levels of service, and circulation on the existing and programmed traffic ways.
 - iii. If traffic generated by the proposed development requires any modification of existing or programmed components of the regional or local traffic ways, define what city, county or state agencies have programmed the necessary construction and how this programming relates to the proposed development.
 - iv. A further detailed analysis and any other information that the review committee considers relevant.
 - v. The traffic impact study may be reviewed by an independent licensed professional engineer contracted by the city to determine whether it adequately addresses the impact and the study supports its conclusions. The cost of review by city's consultant shall be reimbursed to the city by the applicant.
 - vi. When this subsection M.4.b. applies, the traffic study shall include an analysis of how the peak loading will affect the transportation system including, if



necessary, an operational plan showing how the peak trips will be controlled and managed.

RESPONSE: The project includes 18 residential units which does not exceed the threshold of 1,000 trips per day to require a traffic study.

5. Dedication of rights-of-way. Property shall be conveyed to the public by plat, deed or grant of easement as needed in accordance with the Broward County Traffic ways Plan, the city's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards.

RESPONSE: Any required dedications or easements shall be satisfied by the applicant prior to building permit issuance.

6. Pedestrian facilities. Sidewalks, pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and along roadways to adjacent properties. Transit service facilities shall be provided for as required by the city and Broward County Transit. Pedestrian facilities shall be designed and installed in accordance with city engineering standards and accepted applicable engineering standards.

RESPONSE: Improved sidewalks and walkways are planned within the development to enhance the pedestrian experience.

7. Primary arterial street frontage. Where a proposed development abuts a primary arterial street either existing or proposed in the traffic ways plan, the development review committee (DRC) may require marginal access street, reverse frontage with screen planting contained in a nonaccess reservation along the rear property line, deep lots with or without rear service alleys, or such other treatment as may be necessary for adequate protection of residential properties and to assure separation of through and level traffic.

RESPONSE: The property is not located on an arterial or primary street.

8. Other roadway improvements. Roadways adjustments, traffic control devices, mechanisms, and access restrictions may be required to control traffic flow or divert traffic, as needed to reduce or eliminate development generated traffic.

RESPONSE: A consolidated driveway is proposed as well as improved pedestrian sidewalk.

9. Street trees. In order to provide for adequate landscaping along streets within the city, street trees shall be required along the length of the property abutting a street. A minimum of fifty percent (50%) of the required street trees shall be shade trees, and the remaining street trees may be provided as flowering or palm trees. These percentages may be varied based on existing or proposed physical conditions which

may prevent the ability to comply with the street tree requirements of this subsection. The street trees shall be planted at a minimum height and size in accordance with the requirements of Section 47-21, Landscape and Tree Preservation Requirements, except in the downtown RAC districts the requirements of Sec. 47-13.20.H.8 shall apply. The location and number of street trees shall be determined by the department based on the height, bulk, mass and design of the structures on the site and the proposed development's compatibility to surrounding properties. The requirements for street trees, as provided herein, may be located within the public right-of-way as approved by the entity with jurisdiction over the abutting right-of-way.

RESPONSE: Street trees are proposed in accordance with requirements. See Landscape Plans for street tree compliance.

N. Wastewater.

1. Wastewater. Adequate wastewater services shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements, which may be needed for the installation and maintenance of a wastewater and disposal system in accordance with applicable health, environmental and engineering regulations and standards. The existing wastewater treatment facilities and systems shall have adequate capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which wastewater treatment or disposal capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended for time to time. Improvements to the wastewater facilities and system shall be made in accordance with the city engineering and accepted applicable engineering standards.

RESPONSE: Existing sanitary sewer facilities are available for connection to service the property. An updated letter from City of Fort Lauderdale Public Works Department shall be obtained verifying that sufficient potable water and sanitary sewer facilities still exist for the proposed water demand and sewer generation. Any capital expansion charges determined applicable shall be paid for by the applicant.

O. Trash management requirements. A trash management plan shall be required in connection with non-residential uses that provide prepackaged food or beverages for off-site consumption. Existing non-residential uses of this type shall adopt a trash management plan within six (6) months of the effective date of this provision.

RESPONSE: The trash service is handled within the building and will be collected at a central trash room located at the garage with direct access to the entry drive for ease of service. All solid waste and recycle materials will be contained within the project site for pick up by a private contractor.

- P. Historic and archaeological resources.
1. If a structure or site has been identified as having archaeological or historical significance by any entity within the State of Florida authorized by law to do same, the applicant shall be responsible for requesting this information from the state, county, local governmental or other entity with jurisdiction over historic or archaeological matters and submitting this information to the city at the time of, and together with, a development permit application. The reviewing entity shall include this information in its comments.

RESPONSE: The site has not been identified as having archaeological or historical significance.

- Q. Hurricane evacuation. If a structure or site is located east of the Intracoastal Waterway, the applicant shall submit documentation from Broward County or such agency with jurisdiction over hurricane evacuation analysis either indicating that acceptable level of service of hurricane evacuation routes and hurricane emergency shelter capacity shall be maintained without impairment resulting from a proposed development or describing actions or development modifications necessary to be implemented in order to maintain level of service and capacity.

RESPONSE: The project falls within the density prescribed for the area and should not result in any impact to the existing hurricane evacuation route.

Very truly yours,



Courtney Callahan Crush

THE TERRACES
FORT LAUDERDALE, FLORIDA



DRAWING INDEX

—	SURVEY	A-1.25-1	APPROVED 5TH FLOOR PLAN	A-2.02-1	PROPOSED ELEVATIONS	LAPL-2	APPROVED ROOF PLANTING PLAN	PGD-2	SITE DETAILS
—	PLAN	A-1.24	PROPOSED 5TH FLOOR PLAN	A-2.03	APPROVED PERSPECTIVE VIEWS	LAPL-2-1	APPROVED ROOF PLANTING PLAN	PGD-3	SITE SECTIONS
—	AERIAL	A-1.25	PROPOSED 6TH FLOOR PLAN	A-2.03-1	PROPOSED PERSPECTIVE VIEWS	LAPL-3	APPROVED LANDSCAPE DETAILS AND NOTES	PGD-4	DRAINAGE DETAILS
C1	APPROVED SITE PLAN	A-1.26	PROPOSED 7TH FLOOR PLAN	A-2.04	APPROVED CONTEXT PLAN	LAPL-3-1	PROPOSED LANDSCAPE DETAILS AND NOTES	WSS-1	WATER AND SEWER NOTES
C1-1	PROPOSED SITE PLAN	A-1.27	PROPOSED 8TH FLOOR PLAN	A-2.04-1	PROPOSED CONTEXT PLAN	LAPL-4	PLANTING SPECIFICATIONS AND DETAILS	CS	APPROVED WATER AND SEWER PLAN
A-1.01-1	APPROVED GROUND FLOOR PLAN	A-1.28	PROPOSED 9TH FLOOR PLAN	A-2.05	APPROVED GROUND FLOOR ELEVATION DETAIL	LAPL-5	PLANTING ZONES	WSS-2	WATER AND SEWER PLAN
A-1.01	PROPOSED GROUND FLOOR PLAN	A-1.28-1	APPROVED 9TH FLOOR PLAN	A-2.05-1	PROPOSED GROUND FLOOR ELEVATION DETAIL	LAPL-6	IRRIGATION PLAN	WSS-3	WATER DETAILS
A-1.01-1	PROPOSED 2ND FLOOR PLAN	A-1.10	PROPOSED 10TH FLOOR PLAN	A-2.06	APPROVED SUN STUDY	LAPL-7	IRRIGATION SPECIFICATIONS AND DETAILS	WSS-4	SEWER DETAILS
A-1.02-1	APPROVED 2ND FLOOR PLAN	A-1.01-1	APPROVED ROOF PLAN	A-2.06-1	PROPOSED SUN STUDY	COVER	COVER SHEET, LOCATION MAPS AND NOTES	SWPPP-1	STORMWATER POLLUTION PREVENTION NOTES
A-1.02	PROPOSED 3RD FLOOR PLAN	A-1.11	PROPOSED ROOF PLAN	LAPL-8	APPROVED DISPOSITION PLAN	CS-1	GENERAL NOTES	SWPPP-2	STORMWATER POLLUTION PREVENTION PLAN
A-1.03-1	APPROVED 3RD FLOOR PLAN	A-2.01	APPROVED ELEVATIONS	LAPL-8-1	PROPOSED DISPOSITION PLAN	CS-2	APPROVED GRADING AND DRAINAGE PLAN	CS-1	CONSULTER PLAN
A-1.03	PROPOSED 4TH FLOOR PLAN (TYPICAL)	A-2.01-1	PROPOSED ELEVATIONS	LAPL-1	APPROVED GROUND FLOOR PLANTING PLAN	PMS-1	PAVING MARKING AND SIGNAGE PLAN	IE-10	ARRIVAL/PARKING SITE PHOTOMETRIC PLAN
A-1.04-1	APPROVED 4TH FLOOR PLAN	A-2.02	APPROVED ELEVATIONS	LAPL-1-1	PROPOSED GROUND FLOOR PLANTING PLAN	PGD-1	PAVING GRADING DRAINAGE PLAN	IE-11	LIGHTING FIXTURE CUT SHEET

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FL

ORTON PLACE, LLC
2405 WILSON BLVD.
SUITE 200
KEY BISCANE, FL 33149

GARCIA STROMBERG
GS4studios
ARCHITECTS
1001 N. WILSON BLVD., SUITE 200
FORT LAUDERDALE, FL 33304
TEL: 954.333.1111
WWW.GS4STUDIOS.COM

PROPOSED DRC 01/28/2021

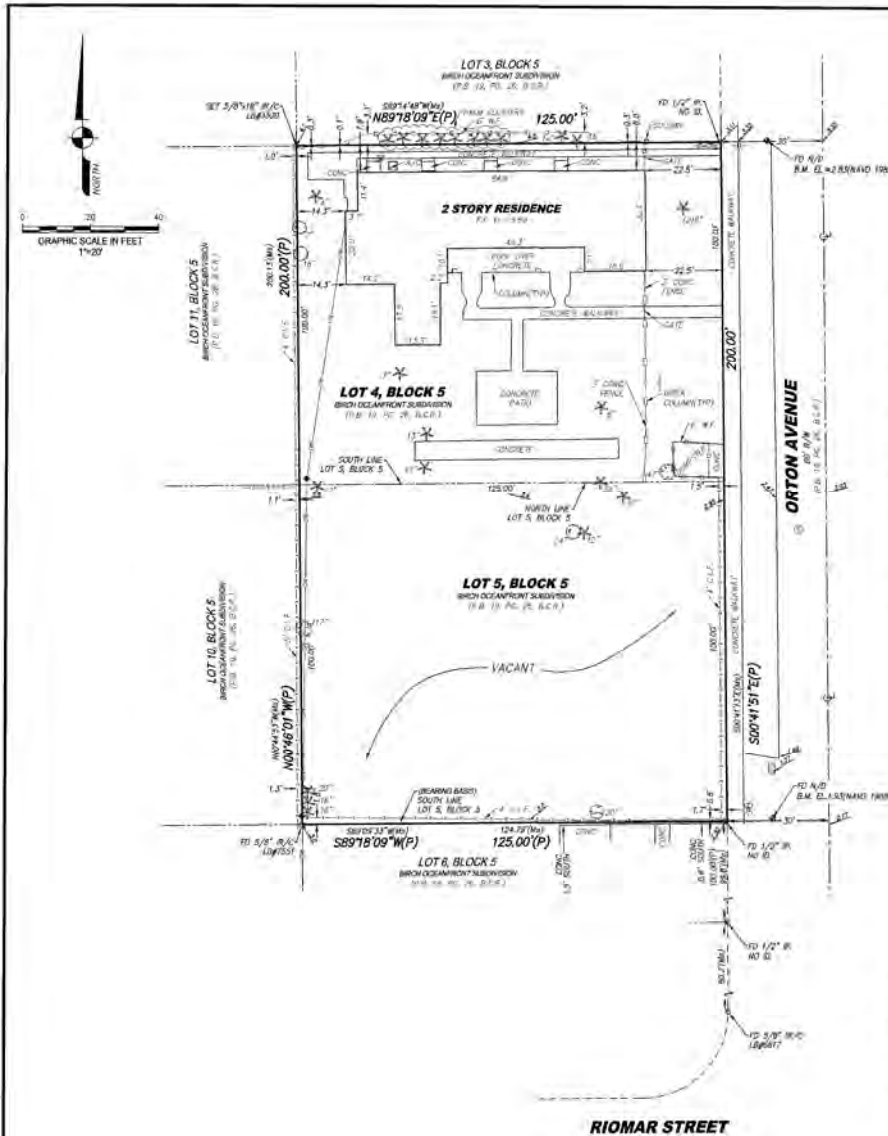
COVER

CV-1

DATE: 01/28/2021
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

INDEX

NO.	DESCRIPTION	DATE
1	COVER SHEET	
2	GENERAL NOTES	
3	ARRIVAL/PARKING SITE PHOTOMETRIC PLAN	
4	CONSULTER PLAN	
5	STORMWATER POLLUTION PREVENTION PLAN	
6	STORMWATER POLLUTION PREVENTION NOTES	
7	SEWER DETAILS	
8	WATER DETAILS	
9	WATER AND SEWER PLAN	
10	APPROVED WATER AND SEWER PLAN	
11	DRAINAGE DETAILS	
12	SITE SECTIONS	
13	SITE DETAILS	
14	PAVING GRADING DRAINAGE PLAN	
15	PAVING MARKING AND SIGNAGE PLAN	
16	IRRIGATION SPECIFICATIONS AND DETAILS	
17	IRRIGATION PLAN	
18	PLANTING ZONES	
19	PLANTING SPECIFICATIONS AND DETAILS	
20	PROPOSED LANDSCAPE DETAILS AND NOTES	
21	APPROVED LANDSCAPE DETAILS AND NOTES	
22	APPROVED ROOF PLANTING PLAN	
23	APPROVED ROOF PLANTING PLAN	
24	PROPOSED ELEVATIONS	
25	APPROVED ELEVATIONS	
26	APPROVED DISPOSITION PLAN	
27	PROPOSED DISPOSITION PLAN	
28	APPROVED SUN STUDY	
29	PROPOSED SUN STUDY	
30	APPROVED GROUND FLOOR ELEVATION DETAIL	
31	PROPOSED GROUND FLOOR ELEVATION DETAIL	
32	PROPOSED CONTEXT PLAN	
33	APPROVED CONTEXT PLAN	
34	PROPOSED PERSPECTIVE VIEWS	
35	APPROVED PERSPECTIVE VIEWS	
36	APPROVED 5TH FLOOR PLAN	
37	PROPOSED 5TH FLOOR PLAN	
38	APPROVED 6TH FLOOR PLAN	
39	PROPOSED 6TH FLOOR PLAN	
40	APPROVED 7TH FLOOR PLAN	
41	PROPOSED 7TH FLOOR PLAN	
42	APPROVED 8TH FLOOR PLAN	
43	PROPOSED 8TH FLOOR PLAN	
44	APPROVED 9TH FLOOR PLAN	
45	PROPOSED 9TH FLOOR PLAN	
46	APPROVED 10TH FLOOR PLAN	
47	PROPOSED 10TH FLOOR PLAN	
48	APPROVED ROOF PLAN	
49	PROPOSED ROOF PLAN	
50	APPROVED 2ND FLOOR PLAN	
51	PROPOSED 2ND FLOOR PLAN	
52	APPROVED 3RD FLOOR PLAN	
53	PROPOSED 3RD FLOOR PLAN	
54	APPROVED 4TH FLOOR PLAN (TYPICAL)	
55	PROPOSED 4TH FLOOR PLAN	
56	APPROVED 5TH FLOOR PLAN	
57	PROPOSED 5TH FLOOR PLAN	
58	APPROVED 6TH FLOOR PLAN	
59	PROPOSED 6TH FLOOR PLAN	
60	APPROVED 7TH FLOOR PLAN	
61	PROPOSED 7TH FLOOR PLAN	
62	APPROVED 8TH FLOOR PLAN	
63	PROPOSED 8TH FLOOR PLAN	
64	APPROVED 9TH FLOOR PLAN	
65	PROPOSED 9TH FLOOR PLAN	
66	APPROVED 10TH FLOOR PLAN	
67	PROPOSED 10TH FLOOR PLAN	
68	APPROVED ROOF PLAN	
69	PROPOSED ROOF PLAN	
70	APPROVED 2ND FLOOR PLAN	
71	PROPOSED 2ND FLOOR PLAN	
72	APPROVED 3RD FLOOR PLAN	
73	PROPOSED 3RD FLOOR PLAN	
74	APPROVED 4TH FLOOR PLAN (TYPICAL)	
75	PROPOSED 4TH FLOOR PLAN	
76	APPROVED 5TH FLOOR PLAN	
77	PROPOSED 5TH FLOOR PLAN	
78	APPROVED 6TH FLOOR PLAN	
79	PROPOSED 6TH FLOOR PLAN	
80	APPROVED 7TH FLOOR PLAN	
81	PROPOSED 7TH FLOOR PLAN	
82	APPROVED 8TH FLOOR PLAN	
83	PROPOSED 8TH FLOOR PLAN	
84	APPROVED 9TH FLOOR PLAN	
85	PROPOSED 9TH FLOOR PLAN	
86	APPROVED 10TH FLOOR PLAN	
87	PROPOSED 10TH FLOOR PLAN	
88	APPROVED ROOF PLAN	
89	PROPOSED ROOF PLAN	
90	APPROVED 2ND FLOOR PLAN	
91	PROPOSED 2ND FLOOR PLAN	
92	APPROVED 3RD FLOOR PLAN	
93	PROPOSED 3RD FLOOR PLAN	
94	APPROVED 4TH FLOOR PLAN (TYPICAL)	
95	PROPOSED 4TH FLOOR PLAN	
96	APPROVED 5TH FLOOR PLAN	
97	PROPOSED 5TH FLOOR PLAN	
98	APPROVED 6TH FLOOR PLAN	
99	PROPOSED 6TH FLOOR PLAN	
100	APPROVED 7TH FLOOR PLAN	
101	PROPOSED 7TH FLOOR PLAN	
102	APPROVED 8TH FLOOR PLAN	
103	PROPOSED 8TH FLOOR PLAN	
104	APPROVED 9TH FLOOR PLAN	
105	PROPOSED 9TH FLOOR PLAN	
106	APPROVED 10TH FLOOR PLAN	
107	PROPOSED 10TH FLOOR PLAN	
108	APPROVED ROOF PLAN	
109	PROPOSED ROOF PLAN	
110	APPROVED 2ND FLOOR PLAN	
111	PROPOSED 2ND FLOOR PLAN	
112	APPROVED 3RD FLOOR PLAN	
113	PROPOSED 3RD FLOOR PLAN	
114	APPROVED 4TH FLOOR PLAN (TYPICAL)	
115	PROPOSED 4TH FLOOR PLAN	
116	APPROVED 5TH FLOOR PLAN	
117	PROPOSED 5TH FLOOR PLAN	
118	APPROVED 6TH FLOOR PLAN	
119	PROPOSED 6TH FLOOR PLAN	
120	APPROVED 7TH FLOOR PLAN	
121	PROPOSED 7TH FLOOR PLAN	
122	APPROVED 8TH FLOOR PLAN	
123	PROPOSED 8TH FLOOR PLAN	
124	APPROVED 9TH FLOOR PLAN	
125	PROPOSED 9TH FLOOR PLAN	
126	APPROVED 10TH FLOOR PLAN	
127	PROPOSED 10TH FLOOR PLAN	
128	APPROVED ROOF PLAN	
129	PROPOSED ROOF PLAN	
130	APPROVED 2ND FLOOR PLAN	
131	PROPOSED 2ND FLOOR PLAN	
132	APPROVED 3RD FLOOR PLAN	
133	PROPOSED 3RD FLOOR PLAN	
134	APPROVED 4TH FLOOR PLAN (TYPICAL)	
135	PROPOSED 4TH FLOOR PLAN	
136	APPROVED 5TH FLOOR PLAN	
137	PROPOSED 5TH FLOOR PLAN	
138	APPROVED 6TH FLOOR PLAN	
139	PROPOSED 6TH FLOOR PLAN	
140	APPROVED 7TH FLOOR PLAN	
141	PROPOSED 7TH FLOOR PLAN	
142	APPROVED 8TH FLOOR PLAN	
143	PROPOSED 8TH FLOOR PLAN	
144	APPROVED 9TH FLOOR PLAN	
145	PROPOSED 9TH FLOOR PLAN	
146	APPROVED 10TH FLOOR PLAN	
147	PROPOSED 10TH FLOOR PLAN	
148	APPROVED ROOF PLAN	
149	PROPOSED ROOF PLAN	
150	APPROVED 2ND FLOOR PLAN	
151	PROPOSED 2ND FLOOR PLAN	
152	APPROVED 3RD FLOOR PLAN	
153	PROPOSED 3RD FLOOR PLAN	
154	APPROVED 4TH FLOOR PLAN (TYPICAL)	
155	PROPOSED 4TH FLOOR PLAN	
156	APPROVED 5TH FLOOR PLAN	
157	PROPOSED 5TH FLOOR PLAN	
158	APPROVED 6TH FLOOR PLAN	
159	PROPOSED 6TH FLOOR PLAN	
160	APPROVED 7TH FLOOR PLAN	
161	PROPOSED 7TH FLOOR PLAN	
162	APPROVED 8TH FLOOR PLAN	
163	PROPOSED 8TH FLOOR PLAN	
164	APPROVED 9TH FLOOR PLAN	
165	PROPOSED 9TH FLOOR PLAN	
166	APPROVED 10TH FLOOR PLAN	
167	PROPOSED 10TH FLOOR PLAN	
168	APPROVED ROOF PLAN	
169	PROPOSED ROOF PLAN	
170	APPROVED 2ND FLOOR PLAN	
171	PROPOSED 2ND FLOOR PLAN	
172	APPROVED 3RD FLOOR PLAN	
173	PROPOSED 3RD FLOOR PLAN	
174	APPROVED 4TH FLOOR PLAN (TYPICAL)	
175	PROPOSED 4TH FLOOR PLAN	
176	APPROVED 5TH FLOOR PLAN	
177	PROPOSED 5TH FLOOR PLAN	
178	APPROVED 6TH FLOOR PLAN	
179	PROPOSED 6TH FLOOR PLAN	
180	APPROVED 7TH FLOOR PLAN	
181	PROPOSED 7TH FLOOR PLAN	
182	APPROVED 8TH FLOOR PLAN	
183	PROPOSED 8TH FLOOR PLAN	
184	APPROVED 9TH FLOOR PLAN	
185	PROPOSED 9TH FLOOR PLAN	
186	APPROVED 10TH FLOOR PLAN	
187	PROPOSED 10TH FLOOR PLAN	
188	APPROVED ROOF PLAN	
189	PROPOSED ROOF PLAN	
190	APPROVED 2ND FLOOR PLAN	
191	PROPOSED 2ND FLOOR PLAN	
192	APPROVED 3RD FLOOR PLAN	
193	PROPOSED 3RD FLOOR PLAN	
194	APPROVED 4TH FLOOR PLAN (TYPICAL)	
195	PROPOSED 4TH FLOOR PLAN	
196	APPROVED 5TH FLOOR PLAN	
197	PROPOSED 5TH FLOOR PLAN	
198	APPROVED 6TH FLOOR PLAN	
199	PROPOSED 6TH FLOOR PLAN	
200	APPROVED 7TH FLOOR PLAN	
201	PROPOSED 7TH FLOOR PLAN	
202	APPROVED 8TH FLOOR PLAN	
203	PROPOSED 8TH FLOOR PLAN	
204	APPROVED 9TH FLOOR PLAN	
205	PROPOSED 9TH FLOOR PLAN	
206	APPROVED 10TH FLOOR PLAN	
207	PROPOSED 10TH FLOOR PLAN	
208	APPROVED ROOF PLAN	
209	PROPOSED ROOF PLAN	
210	APPROVED 2ND FLOOR PLAN	
211	PROPOSED 2ND FLOOR PLAN	
212	APPROVED 3RD FLOOR PLAN	
213	PROPOSED 3RD FLOOR PLAN	
214	APPROVED 4TH FLOOR PLAN (TYPICAL)	
215	PROPOSED 4TH FLOOR PLAN	
216	APPROVED 5TH FLOOR PLAN	
217	PROPOSED 5TH FLOOR PLAN	
218	APPROVED 6TH FLOOR PLAN	
219	PROPOSED 6TH FLOOR PLAN	
220	APPROVED 7TH FLOOR PLAN	
221	PROPOSED 7TH FLOOR PLAN	
222	APPROVED 8TH FLOOR PLAN	
223	PROPOSED 8TH FLOOR PLAN	
224	APPROVED 9TH FLOOR PLAN	
225	PROPOSED 9TH FLOOR PLAN	
226	APPROVED 10TH FLOOR PLAN	
227	PROPOSED 10TH FLOOR PLAN	
228	APPROVED ROOF PLAN	
229	PROPOSED ROOF PLAN	
230	APPROVED 2ND FLOOR PLAN	
231	PROPOSED 2ND FLOOR PLAN	
232	APPROVED 3RD FLOOR PLAN	
233	PROPOSED 3RD FLOOR PLAN	
234	APPROVED 4TH FLOOR PLAN (TYPICAL)	
235	PROPOSED 4TH FLOOR PLAN	
236	APPROVED 5TH FLOOR PLAN	
237	PROPOSED 5TH FLOOR PLAN	
238	APPROVED 6TH FLOOR PLAN	
239	PROPOSED 6TH FLOOR PLAN	
240	APPROVED 7TH FLOOR PLAN	
241	PROPOSED 7TH FLOOR PLAN	
242	APPROVED 8TH FLOOR PLAN	
243	PROPOSED 8TH FLOOR PLAN	
244	APPROVED 9TH FLOOR PLAN	
245	PROPOSED 9TH FLOOR PLAN	
246	APPROVED 10TH FLOOR PLAN	
247	PROPOSED 10TH FLOOR PLAN	
248	APPROVED ROOF PLAN	
249	PROPOSED ROOF PLAN	
250	APPROVED 2ND FLOOR PLAN	
251	PROPOSED 2ND FLOOR PLAN	
252	APPROVED 3RD FLOOR PLAN	
253	PROPOSED 3RD FLOOR PLAN	
254	APPROVED 4TH FLOOR PLAN (TYPICAL)	
255	PROPOSED 4TH FLOOR PLAN	
256	APPROVED 5TH FLOOR PLAN	
257	PROPOSED 5TH FLOOR PLAN	
258	APPROVED 6TH FLOOR PLAN	
259	PROPOSED 6TH FLOOR PLAN	
260	APPROVED 7TH FLOOR PLAN	
261	PROPOSED 7TH FLOOR PLAN	
262	APPROVED 8TH FLOOR PLAN	
263	PROPOSED 8TH FLOOR PLAN	
264	APPROVED 9TH FLOOR PLAN	
265	PROPOSED 9TH FLOOR PLAN	
266	APPROVED 10TH FLOOR PLAN	
267	PROPOSED 10TH FLOOR PLAN	
268	APPROVED ROOF PLAN	
269	PROPOSED ROOF PLAN	
270	APPROVED 2ND FLOOR PLAN	
271	PROPOSED 2ND FLOOR PLAN	
272	APPROVED 3RD FLOOR PLAN	
273	PROPOSED 3RD FLOOR PLAN	
274	APPROVED 4TH FLOOR PLAN (TYPICAL)	
275	PROPOSED 4TH FLOOR PLAN	
276	APPROVED 5TH FLOOR PLAN	
277	PROPOSED 5TH FLOOR PLAN	
278	APPROVED 6TH FLOOR PLAN	
279	PROPOSED 6TH FLOOR PLAN	
280	APPROVED 7TH FLOOR PLAN	
281	PROPOSED 7TH FLOOR PLAN	
282	APPROVED 8TH FLOOR PLAN	
283	PROPOSED 8TH FLOOR PLAN	
284	APPROVED 9TH FLOOR PLAN	
285	PROPOSED 9TH FLOOR PLAN	
286	APPROVED 10TH FLOOR PLAN	
287	PROPOSED 10TH FLOOR PLAN	
288	APPROVED ROOF PLAN	
289	PROPOSED ROOF PLAN	
290	APPROVED 2ND FLOOR PLAN	
291	PROPOSED 2ND FLOOR PLAN	
292	APPROVED 3RD FLOOR PLAN	
293	PROPOSED 3RD FLOOR PLAN	
294	APPROVED 4TH FLOOR PLAN (TYPICAL)	
295	PROPOSED 4TH FLOOR PLAN	
296	APPROVED 5TH FLOOR PLAN	
297	PROPOSED 5TH FLOOR PLAN	
298	APPROVED 6TH FLOOR PLAN	
299	PROPOSED 6TH FLOOR PLAN	
300	APPROVED 7TH FLOOR PLAN	
301	PROPOSED 7TH FLOOR PLAN	
302	APPROVED 8TH FLOOR PLAN	
303	PROPOSED 8TH FLOOR PLAN	
304	APPROVED 9TH FLOOR PLAN	
305	PROPOSED 9TH FLOOR PLAN	
306	APPROVED 10TH FLOOR PLAN	
307	PROPOSED 10TH FLOOR PLAN	
308	APPROVED ROOF PLAN	
309	PROPOSED ROOF PLAN	
310	APPROVED 2ND FLOOR PLAN	
311	PROPOSED 2ND FLOOR PLAN	
312	APPROVED 3RD FLOOR PLAN	
313	PROPOSED 3RD FLOOR PLAN	
314	APPROVED 4TH FLOOR PLAN (TYPICAL)	
315	PROPOSED 4TH FLOOR PLAN	
316	APPROVED 5TH FLOOR PLAN	
317	PROPOSED 5TH FLOOR PLAN	
318	APPROVED 6TH FLOOR PLAN	
319	PROPOSED 6TH FLOOR PLAN	
320	APPROVED 7TH FLOOR PLAN	
321	PROPOSED 7TH FLOOR PLAN	
322	APPROVED 8TH FLOOR PLAN	
323	PROPOSED 8TH FLOOR PLAN	
324	APPROVED 9TH FLOOR PLAN	
325	PROPOSED 9TH FLOOR PLAN	
326	APPROVED 10TH FLOOR PLAN	
327	PROPOSED 10TH FLOOR PLAN	
328	APPROVED ROOF PLAN	
329	PROPOSED ROOF PLAN	
330	APPROVED 2ND FLOOR PLAN	
331	PROPOSED 2ND FLOOR PLAN	
332	APPROVED 3RD FLOOR PLAN	
333	PROPOSED 3RD FLOOR PLAN	
334	APPROVED 4TH FLOOR PLAN (TYPICAL)	
335	PROPOSED 4TH FLOOR PLAN	
336	APPROVED 5TH FLOOR PLAN	
337	PROPOSED 5TH FLOOR PLAN	
338	APPROVED 6TH FLOOR PLAN	
339	PROPOSED 6TH FLOOR PLAN	
340	APPROVED 7TH FLOOR PLAN	
341	PROPOSED 7TH FLOOR PLAN	
342	APPROVED 8TH FLOOR PLAN	
343	PROPOSED 8TH FLOOR PLAN	
344	APPROVED 9TH FLOOR PLAN	
345	PROPOSED 9TH FLOOR PLAN	
346	APPROVED 10TH FLOOR PLAN	
347	PROPOSED 10TH FLOOR PLAN	
348	APPROVED ROOF PLAN	
349	PROPOSED ROOF PLAN	
350	APPROVED 2ND FLOOR PLAN	



ELEVATIONS
NAVD 1988

LAND DESCRIPTION:

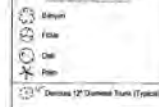
Lots 4 and 5, Block 5, BIRCH OCEAN FRONT SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 19, Page 26, of the Public Records of Broward County, Florida.

Said land lying in Broward County, Florida and contains 25,000 square feet, more or less.

SURVEYOR'S REPORT:

1. Reproductions of this Sketch are not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing party.
2. No Title Opinion or Abstract to the subject property has been provided. It is possible that there are Easements, or other instruments (recorded or unrecorded) which may affect the subject property. No search of the Public Records has been made by the Surveyor.
3. The land description shown herein is based on the instrument of record.
4. No underground improvements were located.
5. Bearings, distances and/or angles shown herein are in accordance with the plat and/or deed of record and agree with the survey measurements, unless otherwise noted. Bearings are based on the south line of Lot 5, Block 5 having a bearing of S89°18'09"W.
6. The property described herein lies within Flood Zone AE Elevation 3 feet, as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map, Community Panel No. 125705 0388 H, dated 05/15/14.
7. Directions shown herein are in feet and based on the North American Vertical Datum of 1988 (NAVD 1988).
8. Benchmark Description: Florida Department of Transportation Dist. Northwest corner of bridge, Los Olas Boulevard and Intracoastal Waterway, Elevation 9.505 (NGVD 1929), Elevation 7.717 (NAVD 1988).
9. Symbols shown herein and in the legend may have been enlarged for clarity. These symbols have been plotted at the center of the field location and may not represent the actual shape or size of the feature.
10. This map is intended to be displayed at a scale of 1"=20' (1:240).
11. Units of measurement are in U.S. Survey Feet and decimal parts thereof. Well identified features in this survey were field measured to a horizontal positional accuracy of 0.10'.
12. The species of trees as shown herein were identified to the best of knowledge and ability of the surveyor, without the benefit of an arborist or biologist. It is the responsibility of the end user to verify the identity of the species.
13. Abbreviation Legend: A/C = Air conditioner; B.C.R. = Broward County Records; B.M. = Benchmark; CONC. = Concrete; C. = Centerline; C.L.F. = Chain Link Fence; E.L. = Elevation; F.F. = Finished Floor; ID = Identification; IR = Iron Rod; IR/C = Iron Rod & Cap; IP = Iron Pipe; LB = Licensed Business; (M) = Measured; NAVD = North American Vertical Datum; NGVD = National Geodetic Vertical Datum; (P) = Plat; P.B. = Plat Book; PG = Page; P.L.S. = Professional Land Surveyor; R/W = Right-of-Way; TYP = Typical; W.F. = Wood Fence.

TREE LEGEND



LEGEND



CERTIFICATION:

I HEREBY CERTIFY that the attached Boundary & Topographic Survey of the herein described property is true and correct to the best of my knowledge and belief as surveyed in this field under my direction. I FURTHER CERTIFY that this Boundary & Topographic Survey meets the Standards of Practice set forth in Chapter 63-17.080 through 63-17.082, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Date: 1/30/2010

John T. Doogan
JOHN T. DOOGAN, P.L.S.
Florida Registration No. 4409
AVIROM & ASSOCIATES, INC.
L.B. No. 3300
EMAIL: john@aviromsurvey.com

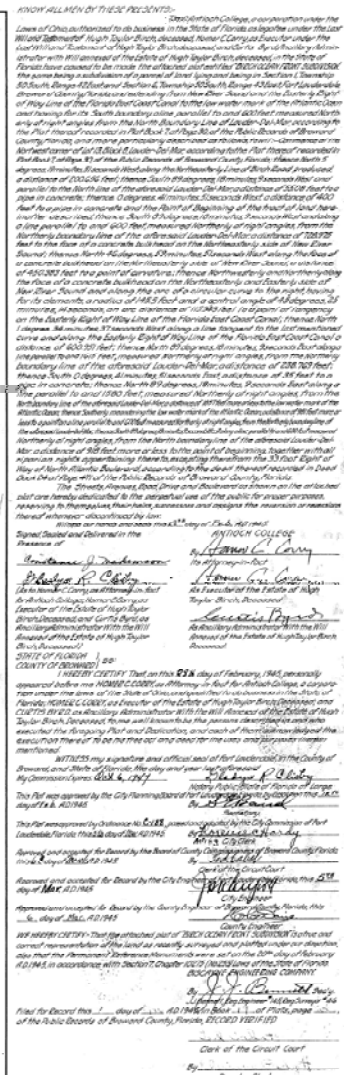
AVIROM & ASSOCIATES, INC.
SURVEYING & MAPPING
5615 W. 2nd AVENUE, SUITE 102
BOCA RATON, FLORIDA 33433
TEL: 561-994-4400 FAX: 561-994-4401
WWW.AVIROMSURVEY.COM



REVISIONS	DATE	BY	CD

BOUNDARY & TOPOGRAPHIC SURVEY
LOTS 4 & 5
BLOCK 5
BIRCH OCEAN FRONT SUBDIVISION
(P.B. 19 PG. 26 B.C.R.)
BROWARD COUNTY, FLORIDA

JOB #	10709
SCALE	1"=20'
DATE	01/30/2010
BY	KSB
CHECKED	J.T.D.
P.B.	19 PG. 26
SHEET	1 OF 1

[illegible]

Permission to copy this photograph is granted, providing that the copies are not
resold, distributed, or otherwise made available to the public. The user must
include the following text on all copies: "To copy or otherwise redistribute requires a
fee and/or the specific permission of Broward County."
Broward County makes no claim or guarantee regarding the accuracy of any copies.



BROWARD COUNTY, FL.

DATE OF FLIGHT SECTION TOWNSHIP RANGE
2015 01 50S 42E



TYP. PARKING

3/16" = 1'-0"

1/4" = 1'-0"

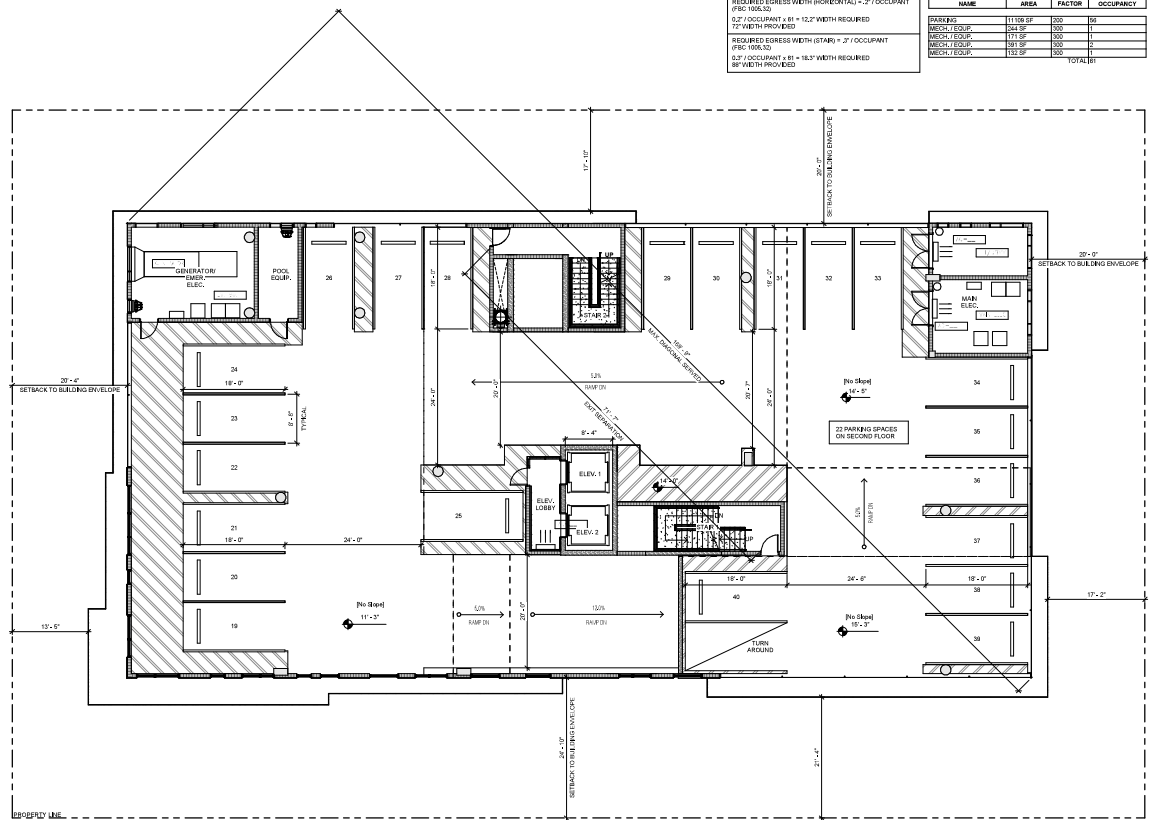
HANDICAP PARKING

3/16" = 1'-0"

1/4" = 1'-0"

EGRESS WIDTH	
TOTAL OCCUPANTS = 61	
REQUIRED EGRESS WIDTH (HORIZONTAL) = 2' / OCCUPANT (IBC 103.10.2)	
0.2' / OCCUPANT x 61 = 12.2' WIDTH REQUIRED	
72' WIDTH PROVIDED	
REQUIRED EGRESS WIDTH (STAIR) = 2' / OCCUPANT (IBC 103.10.3)	
0.2' / OCCUPANT x 61 = 12.2' WIDTH REQUIRED	
88' WIDTH PROVIDED	

2ND FLOOR AREAS			
NAME	AREA	LOAD FACTOR	OCCUPANCY
ROCKERS	111 SQ. FT.	100	20
MECH. ROOM	244 SQ. FT.	100	1
MECH. ROOM	121 SQ. FT.	100	1
MECH. ROOM	121 SQ. FT.	100	1
MECH. ROOM	121 SQ. FT.	100	1
MECH. ROOM	121 SQ. FT.	100	1
TOTAL			



SECOND FLOOR - P2

1/8" = 1'-0"

PROPOSED 2ND FLOOR PLAN

A-1.01P

THE TERRACES

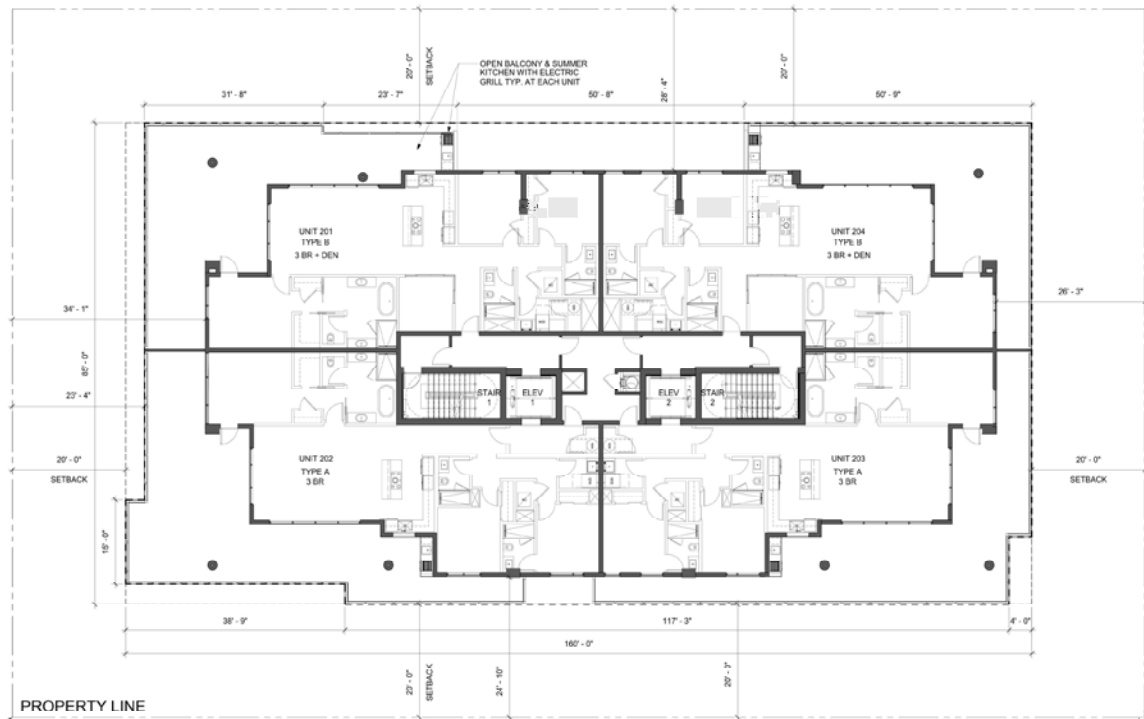
527 ORTON AVENUE
FORT LAUDERDALE, FL

ORTON PLACE, LLC
2405 WILSON BLVD.
SUITE 200
KEY BISCANE, FL 33149

GARCIA STROMBERG
GS4studios

DATE: 01/28/2021

REV.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		



RESIDENTIAL PLAN - LEVEL 02

APPROVED

DRC SUBMISSION

RESIDENTIAL PLAN
LEVEL 02

A-1.02-1

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FLORIDA

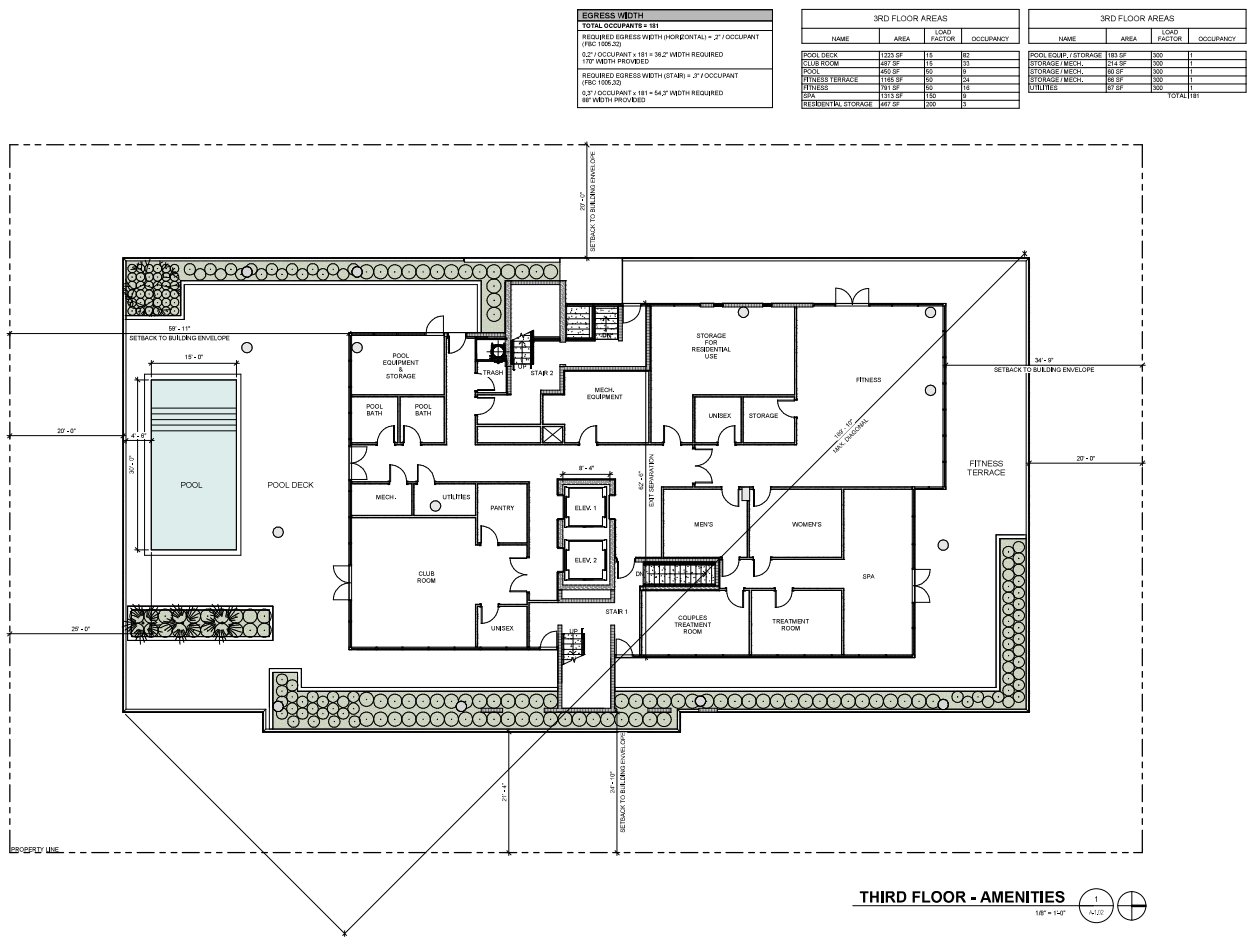
Orion Pines, LLC
7114 1st Ave SE
Dania, FL 33138

GS4studios
architectural & interior design

Orion Pines, LLC
7114 1st Ave SE
Dania, FL 33138

GS4studios
architectural & interior design

Revision	By	Date
1	GS4	10/1/2021



PROPOSED DRC 01/28/2021

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FL

ORION PLACE, LLC
2405 PRINCETON BLVD.
SUITE 200
KEY BISCANE, FL 33149

GARCIA STROMBERG
GSA studios

527 ORTON AVENUE
FORT LAUDERDALE, FL 33149

PROPOSED 3RD FLOOR PLAN

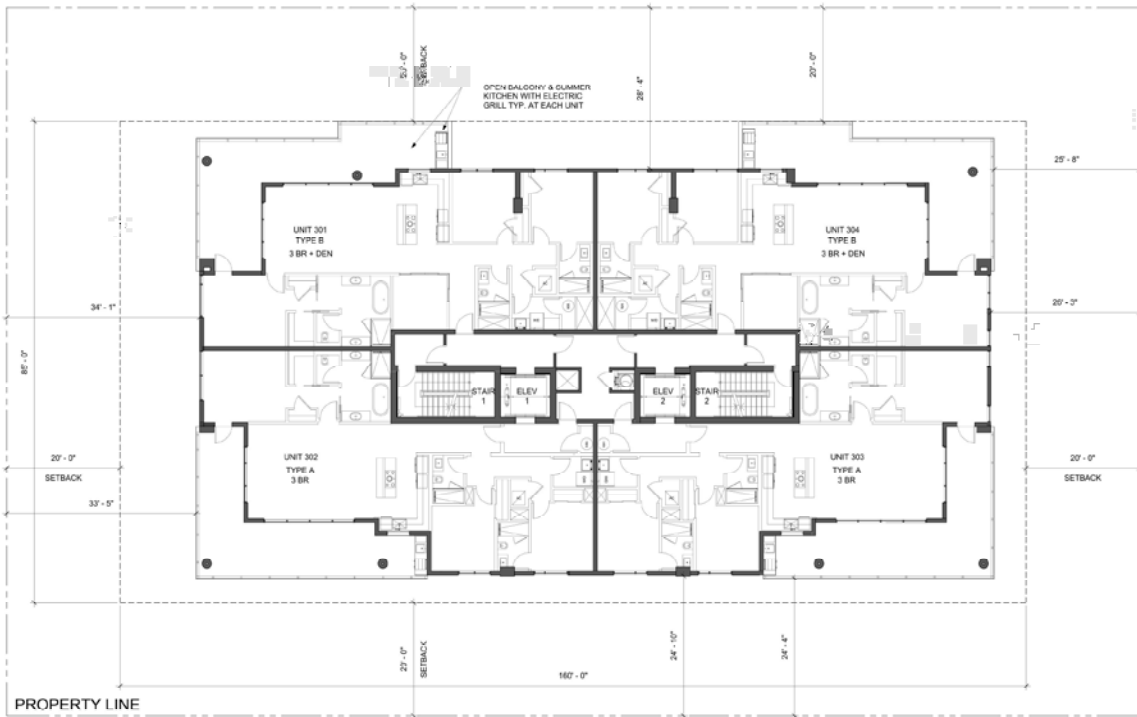
A-1.02

DATE: 01/28/2021

BY: [Signature]

FOR: [Signature]

18" = 14'



RESIDENTIAL PLAN - LEVEL 03

APPROVED

DRC SUBMISSION

PROJECT NUMBER
A-1.03-1

RESIDENTIAL PLAN
LEVEL 03

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FLORIDA

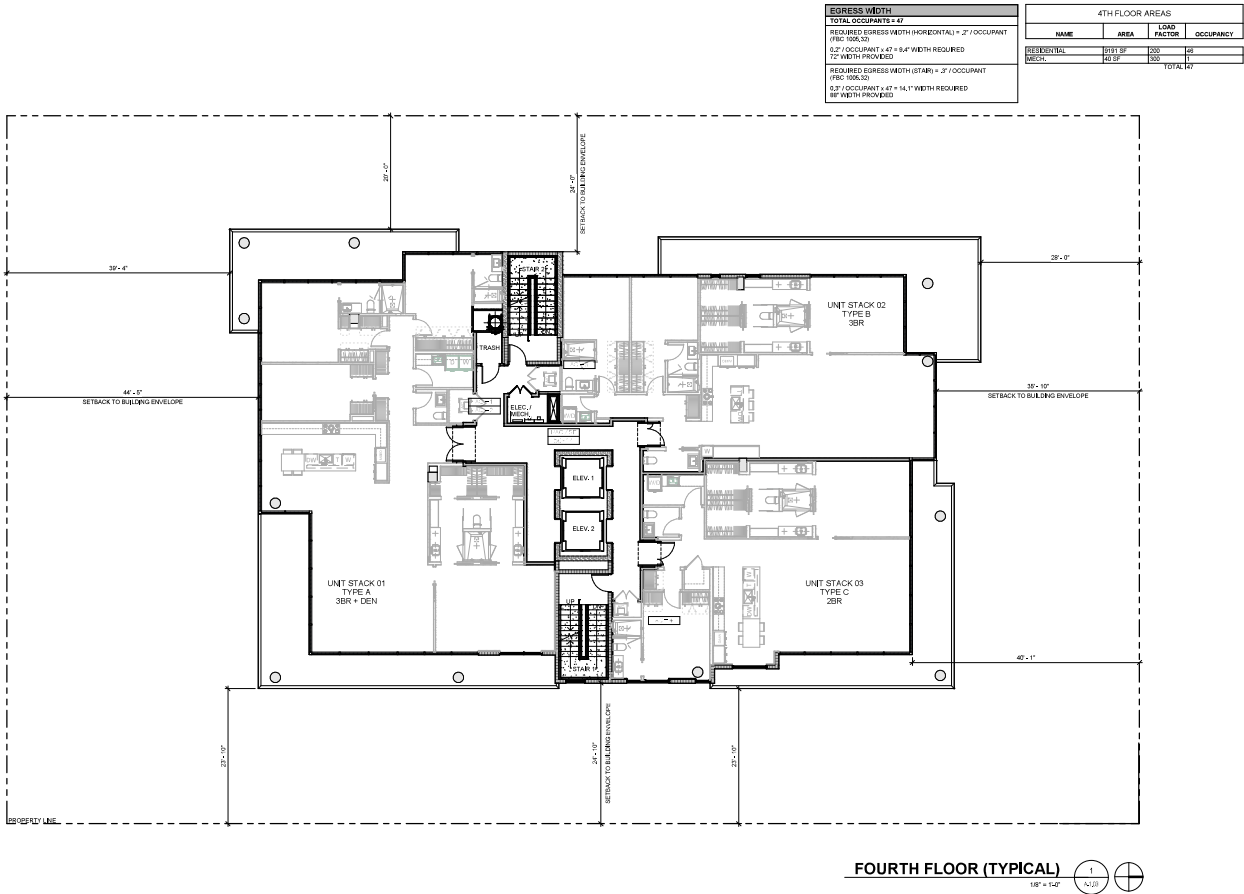
Owner: Pines, LLC
7114 1st Ave SE
Dania, FL 33138

GS4studios
architectural & interior design

Architect: GS4studios
Architect's Seal: [Seal]

Rev.	Date	By	Description

To the best of the architect's knowledge, the plans and specifications comply with the applicable laws, codes and regulations of the State of Florida and the local jurisdiction. The architect does not warrant the accuracy or completeness of the information provided by the owner or third parties.



PROPOSED DRC 01/28/2021

DATE: 01/28/2021

PROJECT: **THE TERRACES**
527 ORTON AVENUE
FORT LAUDERDALE, FL

PROPOSED
4TH FLOOR
PLAN
A-1.03
(TYPICAL)

ORION PLACE, LLC
2405 ORATION BLVD.
SUITE 200
KEY BISCANE, FL 33149

GARCIA STROMBERG
GS4studios
10000 W. BOCA BLVD.
SUITE 100
MIRAGE, FL 33448

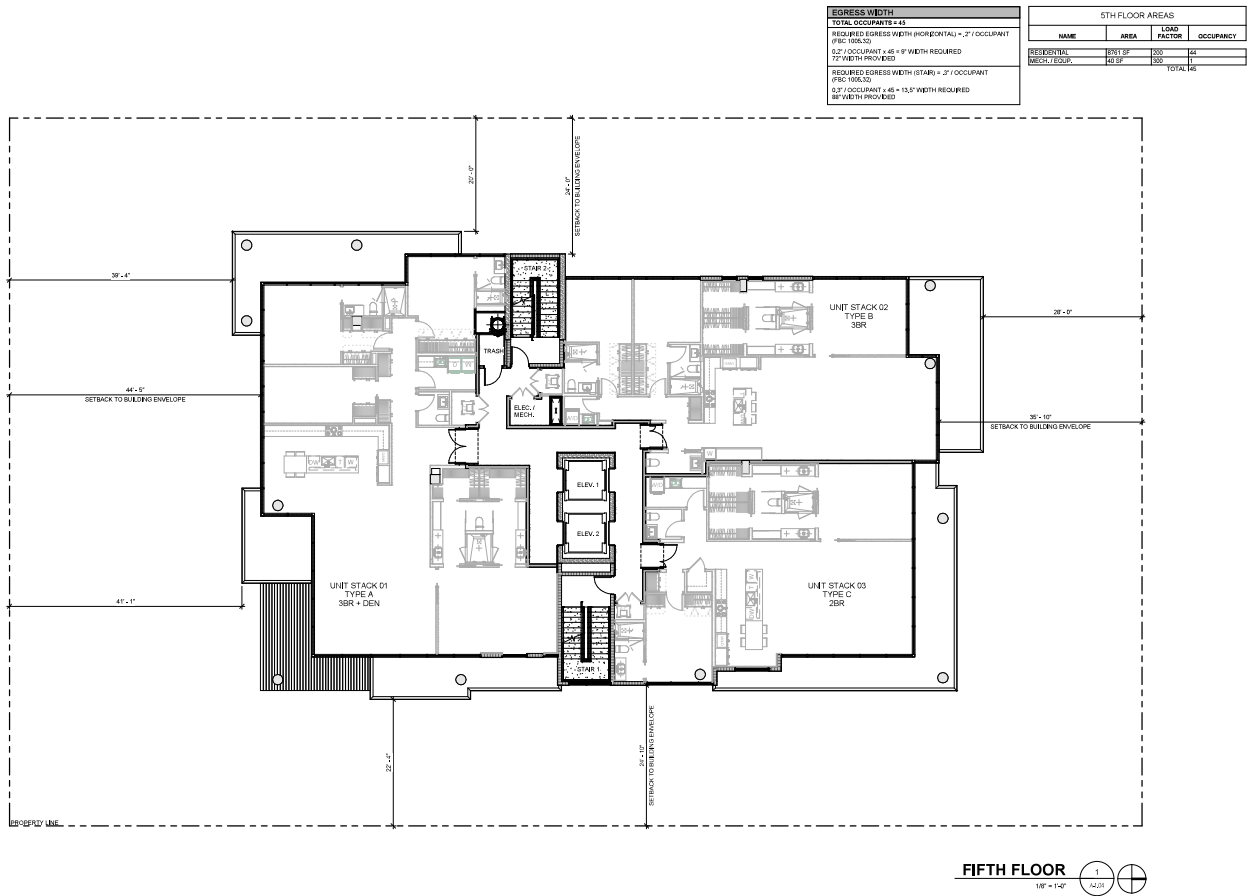
DESIGNER: GARCIA STROMBERG
ARCHITECTS
10000 W. BOCA BLVD.
SUITE 100
MIRAGE, FL 33448

DATE: 01/28/2021
BY: GARCIA STROMBERG
CHECKED: GARCIA STROMBERG
SCALE: 1/8" = 1'-0"

NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FBC AND ALL OTHER APPLICABLE CODES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FBC AND ALL OTHER APPLICABLE CODES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FBC AND ALL OTHER APPLICABLE CODES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FBC AND ALL OTHER APPLICABLE CODES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FBC AND ALL OTHER APPLICABLE CODES.



SHEET NUMBER
A-1.04-1
DRAWN BY
DATE 01/10/2018 10:28:47 AM



PROPOSED DRC 01/28/2021

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FL

ORION PLACE, LLC
525 ORTON BLVD.
SUITE 200
FORT LAUDERDALE, FL 33304

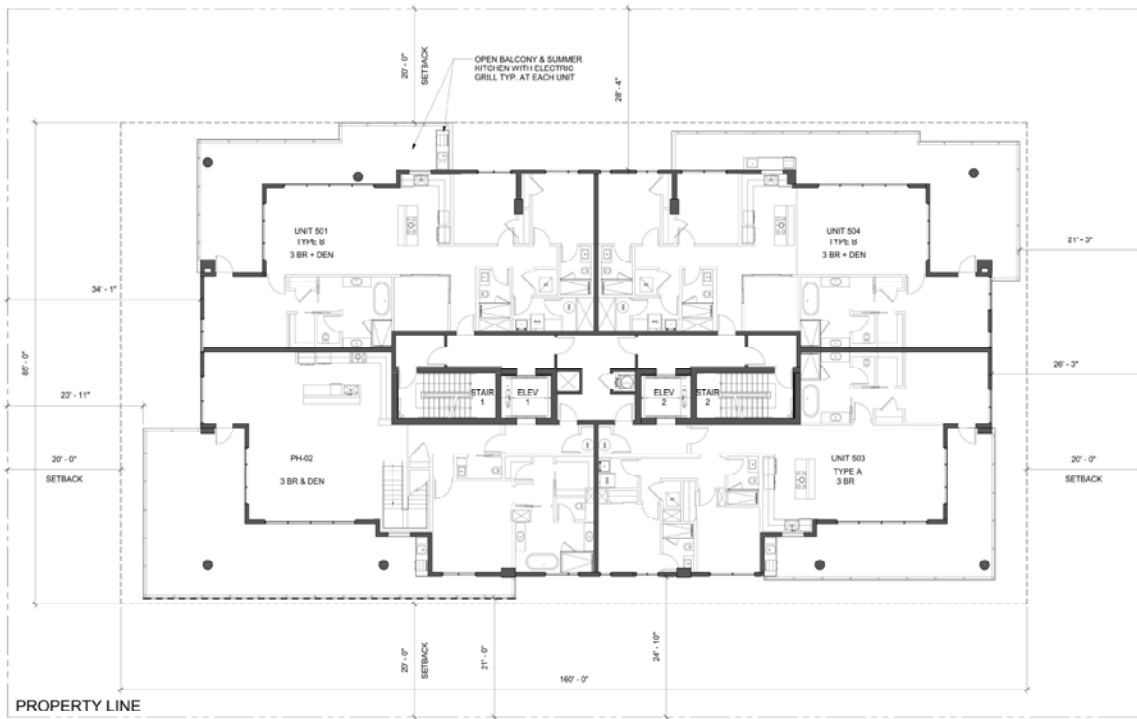
GARCIA STROMBERG
GS4studios

527 ORTON AVENUE
SUITE 200
FORT LAUDERDALE, FL 33304

© 2021 GS4studios

A-1.04

PROPOSED
5TH FLOOR
PLAN



RESIDENTIAL PLAN - LEVEL 05

1/8" = 1'-0"



APPROVED

DRC SUBMISSION

RESIDENTIAL PLAN
LEVEL 05

A-1.05-1

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FLORIDA

Orion Pines, LLC
7714 1st Ave SE
Dania, FL 33118

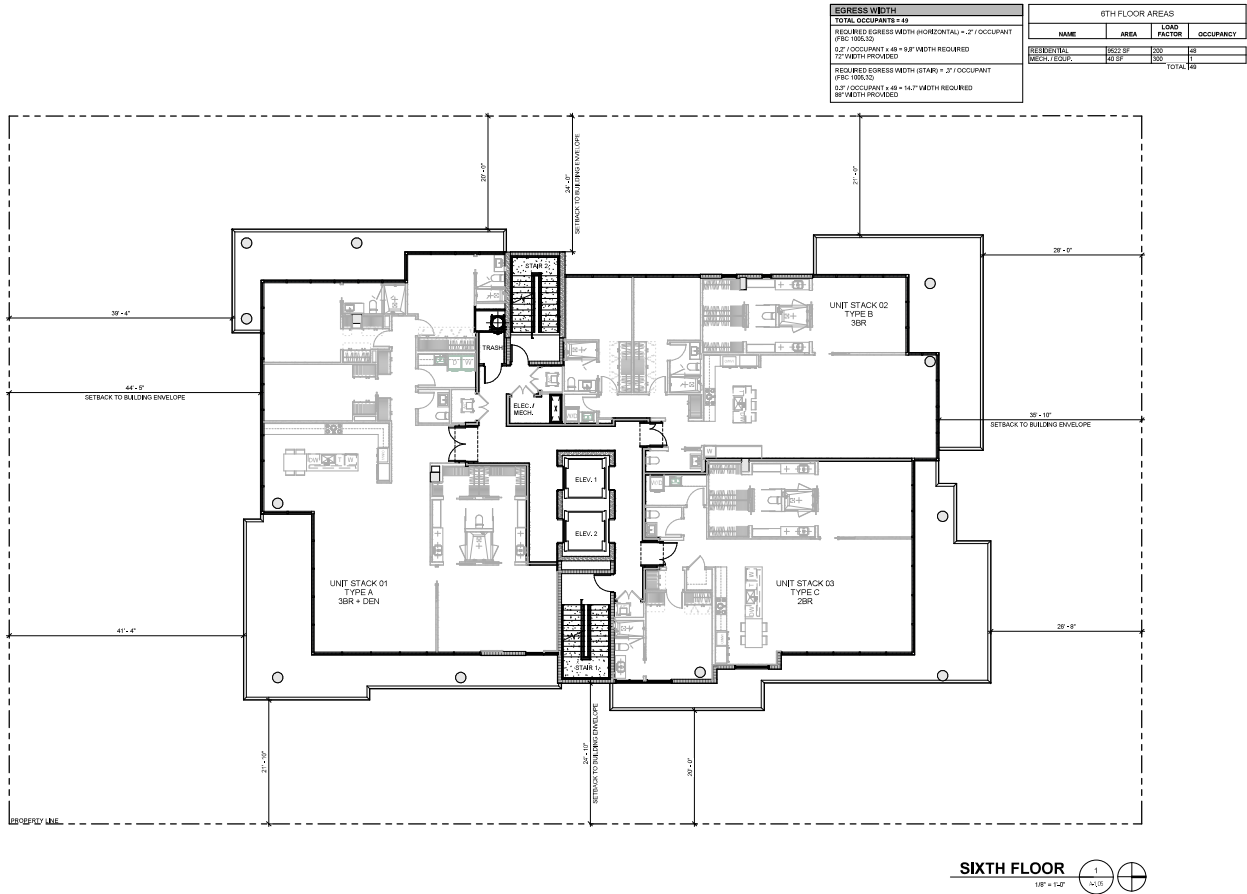
GS4studios
architectural & interior design

GS4studios, LLC
7714 1st Ave SE
Dania, FL 33118

Rev.	Date	By	Description

© GS4 studios

To the best of the architect's knowledge, the plans and specifications herein comply with the applicable building codes and regulations of the State of Florida and the local jurisdiction. The architect does not warrant the accuracy or completeness of the information provided herein.



PROPOSED DRC 01/28/2021

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FL

PROPOSED
6TH FLOOR
PLAN

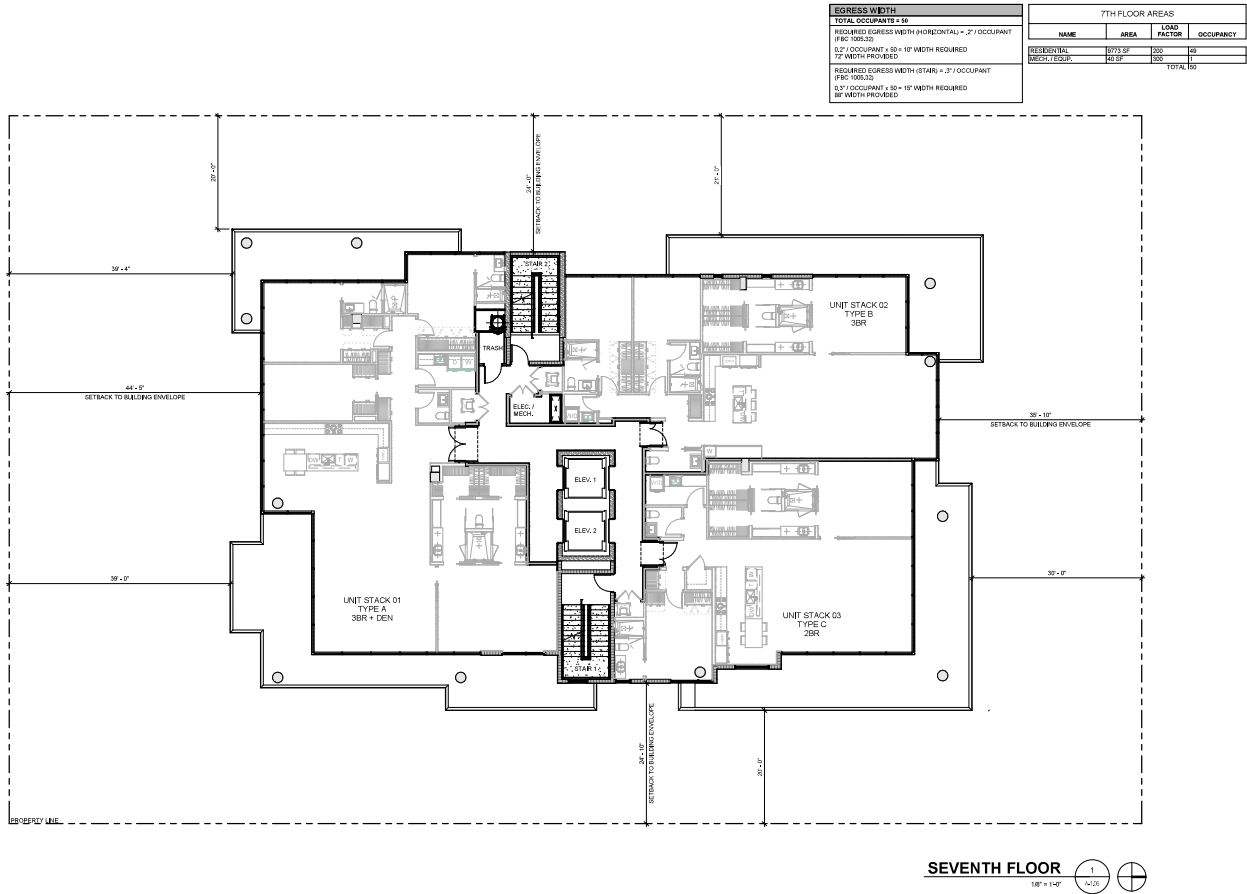
A-1.05

ORION PLACE, LLC
2405 ORANGE BLVD.
SUITE 200
FORT LAUDERDALE, FL 33304

GARCIA STROMBERG
GS4studios
1000 N. W. 10th Ave.
Fort Lauderdale, FL 33304

DATE: 01/28/2021
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]

1/8" = 1'-0"



PROPOSED DRC 01/28/2021

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FL

ORION PLACE, LLC
525 ORTON BLVD.
SUITE 200
FORT LAUDERDALE, FL 33304

GARCIA STROMBERG
ARCHITECTS
1000 N. W. 10th Ave., Suite 1000
Fort Lauderdale, FL 33304

DATE: 01/28/2021
PROJECT: THE TERRACES
SHEET: A-1.06
DRAWN BY: J. STROMBERG
CHECKED BY: J. STROMBERG
SCALE: 1/4" = 1'-0"

NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FBC AND ALL APPLICABLE CODES.
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING.
4. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL TRADES AND SUBCONTRACTORS.
5. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
6. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL RECORD DRAWINGS.
7. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
8. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL RECORD DRAWINGS.



8TH FLOOR AREAS			
NAME	AREA	LOAD FACTOR	OCCUPANCY
RESIDENTIAL	5092 SF	200	47
MECH. / EQUIP.	46 SF	300	1
TOTAL		48	

131001	3271200203	A34

0000000000

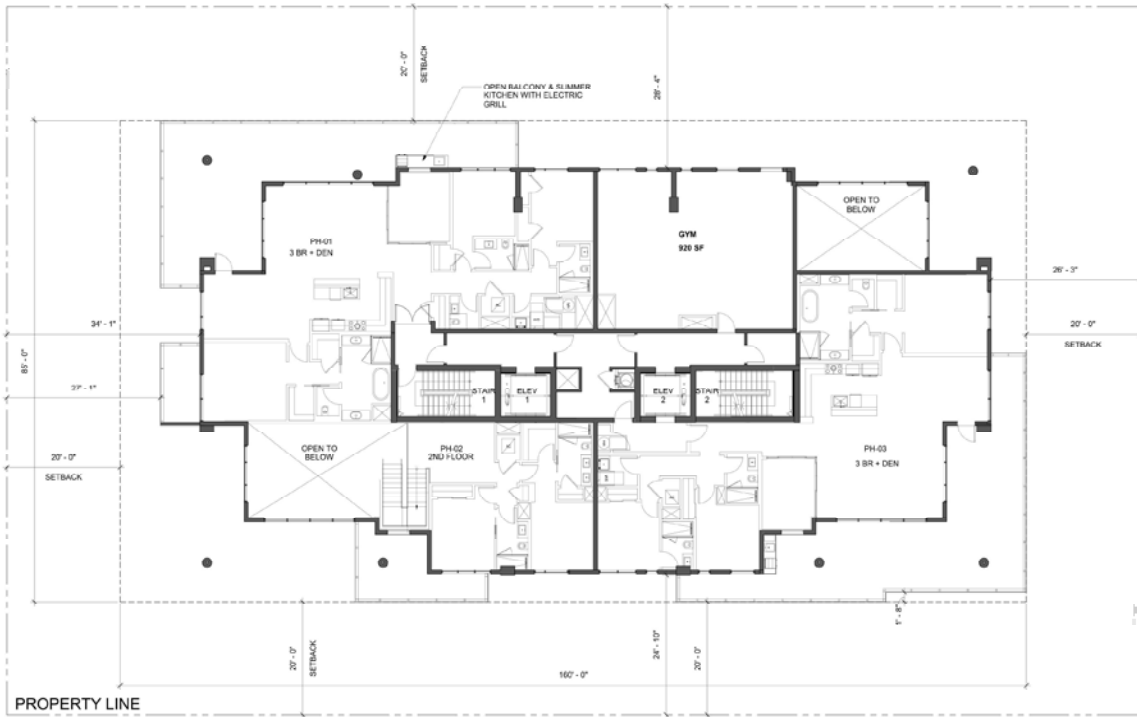
2265 UNIV PARKWAY, FLOOR 16 | NEW YORK, NY 10021 | TEL: 951-752-0885 | Copyright License # 44-2052382
Angela M. Gorman, RN, NC-CRRP | Angela M. Gorman, RN, NC-CRRP
Chief Executive Officer | President
ANGELAGORMAN.COM | ANGELAGORMAN.COM

KEY BISCANE, FL 33149

FORT LAUDERDALE, FL

PRINT DATE:
12/1/2021 2:48:24 PM





RESIDENTIAL PLAN - LEVEL 06

1/8" = 1'-0"



APPROVED

DRC SUBMISSION

RESIDENTIAL PLAN
LEVEL 06

A-1.06-1

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FLORIDA

Owner: Pines, LLC
7714 NW 4th St.
Davie, FL 33318

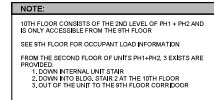
GS4studios
architectural & interior design

GS4studios, LLC
7714 NW 4th St.
Davie, FL 33318

DATE: 04/14/2024
BY: [Signature]

Rev.	Date	By	Description
1	04/14/2024	[Signature]	Initial Design
2	04/14/2024	[Signature]	Revised Design
3	04/14/2024	[Signature]	Final Design

To the best of the architect's knowledge, the plans and specifications herein comply with all applicable laws, codes, and regulations, and are not intended to be construed as a warranty or representation of any kind.



REV	DESCRIPTION	DATE

To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as determined by the local authority in

© C&A studios

GARCIA STROMBERG
GS4studios

2015 VANDERBILT TALK # 36 | **Guest:** PETER T. HENNING, Ph.D., NCARB
 JAMES M. GORDON, Ph.D., NCARB
 Chief Executive Officer
 AIA/CACTUS

Peter T. Henning, Ph.D., NCARB
 President
 AIA/CACTUS

2015 VANDERBILT TALK # 34 | **TEL:** 601-756-0895 | **COMPANY:** LIAISON AIA/CACTUS

ORTON PLACE, LLC
240 CRANDON BLVD.
SUITE 285
KEY BISCANE, FL 33149

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FL

PROPOSED DRC 01/28/2021

PROPOSED
10TH FLOOR
PLAN

PROJECT NUMBER: 2005
PROJECT NUMBER
A-1.10
SHEET DATE:
12/1/2011 2:48:22 PM

DOI: 10.1002/anie.201200000
 Received: 12/11/2012
 Accepted: 12/11/2012



PERSPECTIVE AERIAL FROM SOUTH EAST

NOTE: TO THE BEST OF OUR KNOWLEDGE AND ABILITY THESE 3-DIMENSIONAL REPRESENTATIONS OF THE PROPOSED DEVELOPMENT ARE TRUE AND ACCURATE RELATIVE TO HEIGHT, WIDTH AND LENGTH OF ANY ADJACENT OR PROXIMATE EXISTING STRUCTURES.



SOUTH ELEVATION



EAST ELEVATION

APPROVED

DRC SUBMISSION

REVISION	DATE	BY	DESCRIPTION
1	08/11/2021	CS	ISSUED FOR PERMIT

CS4studios

CS4studios, LLC
7714 1st Ave SE
Fort Lauderdale, FL 33324
(954) 571-1111
www.cs4studios.com

CS4studios, LLC
7714 1st Ave SE
Fort Lauderdale, FL 33324
(954) 571-1111
www.cs4studios.com

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FLORIDA

EXTERIOR ELEVATIONS

A-2.01



CONTEXT ELEVATIONS

4
A-2.03



NORTH EAST STREET LEVEL PERSPECTIVE

3
A-2.03



SOUTH EAST STREET LEVEL PERSPECTIVE

2
A-2.03



WEST STREET LEVEL PERSPECTIVE

1
A-2.03

NOTE: TO THE BEST OF OUR KNOWLEDGE AND ABILITY THESE 3-DIMENSIONAL REPRESENTATIONS OF THE PROPOSED DEVELOPMENT ARE TRUE AND ACCURATE RELATIVE TO HEIGHT, WIDTH AND LENGTH OF ANY ADJACENT OR PROXIMATE EXISTING STRUCTURES.

THIS PLAN IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR FOR THE RESULTS OF THE DESIGN OR CONSTRUCTION.

REVISION	DATE	BY	DESCRIPTION

DATE: 04/14/2023
BY: GSK/STUDIOS

GS4studios
ARCHITECTURE & INTERIOR DESIGN
7714 NW 40th St.
Fort Lauderdale, FL 33318
Tel: 954.561.1234
Fax: 954.561.1235
www.gs4studios.com

OWNER: Orion Procs, LLC
7714 NW 40th St.
Fort Lauderdale, FL 33318
Tel: 954.561.1234
Fax: 954.561.1235
www.orionprocs.com

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FLORIDA

PERSPECTIVE VIEW

DRC SUBMISSION

A-2.03



NOTE: TO THE BEST OF OUR KNOWLEDGE AND ABILITY THESE 3-DIMENSIONAL REPRESENTATIONS OF THE PROPOSED DEVELOPMENT ARE TRUE AND ACCURATE RELATIVE TO HEIGHT, WIDTH, AND LENGTH OF ANY ADJACENT OR PROXIMATE EXISTING STRUCTURES.

[illegible]

To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as determined by the local authority in accordance with this section and Chapter 833, Florida Statutes.

© 2000 Blackwell Science Ltd

GARCIA STROMBERG
GS4studios

ORTON PLACE, LLC
240 CRANDON BLVD.
SUITE 285
KEY BISCANE, FL 33149

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FL

PROPOSED
PERSPECTIVE
VIEWS

PROPOSED DRC 01/28/2021

DATE RECEIVED
A-2.03-1
DATE
10/2/2021 4:45:25 PM



ALUMINUM TRELLIS
REFERENCE IMAGE



DECORATIVE TILE VENEER
REFERENCE IMAGE



MECHANICAL SCREENING
REFERENCE IMAGE



PRIVACY LOUVERS
REFERENCE IMAGE



OBLIQUE AERIAL FROM SOUTH WEST



OBLIQUE AERIAL FROM SOUTH EAST



NOTE: TO THE BEST OF OUR KNOWLEDGE AND ABILITY THESE 3-DIMENSIONAL REPRESENTATIONS OF THE PROPOSED DEVELOPMENT ARE TRUE AND ACCURATE RELATIVE TO HEIGHT, WIDTH AND LENGTH OF ANY ADJACENT OR PROXIMATE EXISTING STRUCTURES.

CONTEXT PLAN
SCALE NTS

APPROVED

TO THE BEST OF OUR KNOWLEDGE AND ABILITY THESE 3-DIMENSIONAL REPRESENTATIONS OF THE PROPOSED DEVELOPMENT ARE TRUE AND ACCURATE RELATIVE TO HEIGHT, WIDTH AND LENGTH OF ANY ADJACENT OR PROXIMATE EXISTING STRUCTURES.

REVISION	DATE	BY	DESCRIPTION
1	01/11/2024	GS4studios	INITIAL DESIGN

GS4studios
ARCHITECTURAL
7714 1st Ave SE
Fort Lauderdale, FL 33316
Phone: 954.373.1818
www.gs4studios.com

GS4studios
ARCHITECTURAL
7714 1st Ave SE
Fort Lauderdale, FL 33316
Phone: 954.373.1818
www.gs4studios.com

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FLORIDA

CONTEXT PLAN

CONTEXT PLAN

A-2.04

[illegible]

To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as determined by the local authority in accordance with this section and Chapter 633, Florida Statutes.

© CISA Studies

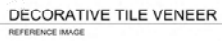
GARCIA STROMBERG
GS4studios

ORTON PLACE, LLC
240 CRANDON BLVD.
SUITE 285
KEY BISCANE, FL 33149

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FL

PROPOSED CONTEXT PLAN

A-2.04-1



EAST ELEVATION A  1
1/4" = 1'-0" A-2.05

To be listed in the directory it is essential to demonstrate that you and your business comply with the applicable various building codes and the applicable fire safety standards as determined by the local authority.

[illegible]

GARCIA STROMBERG

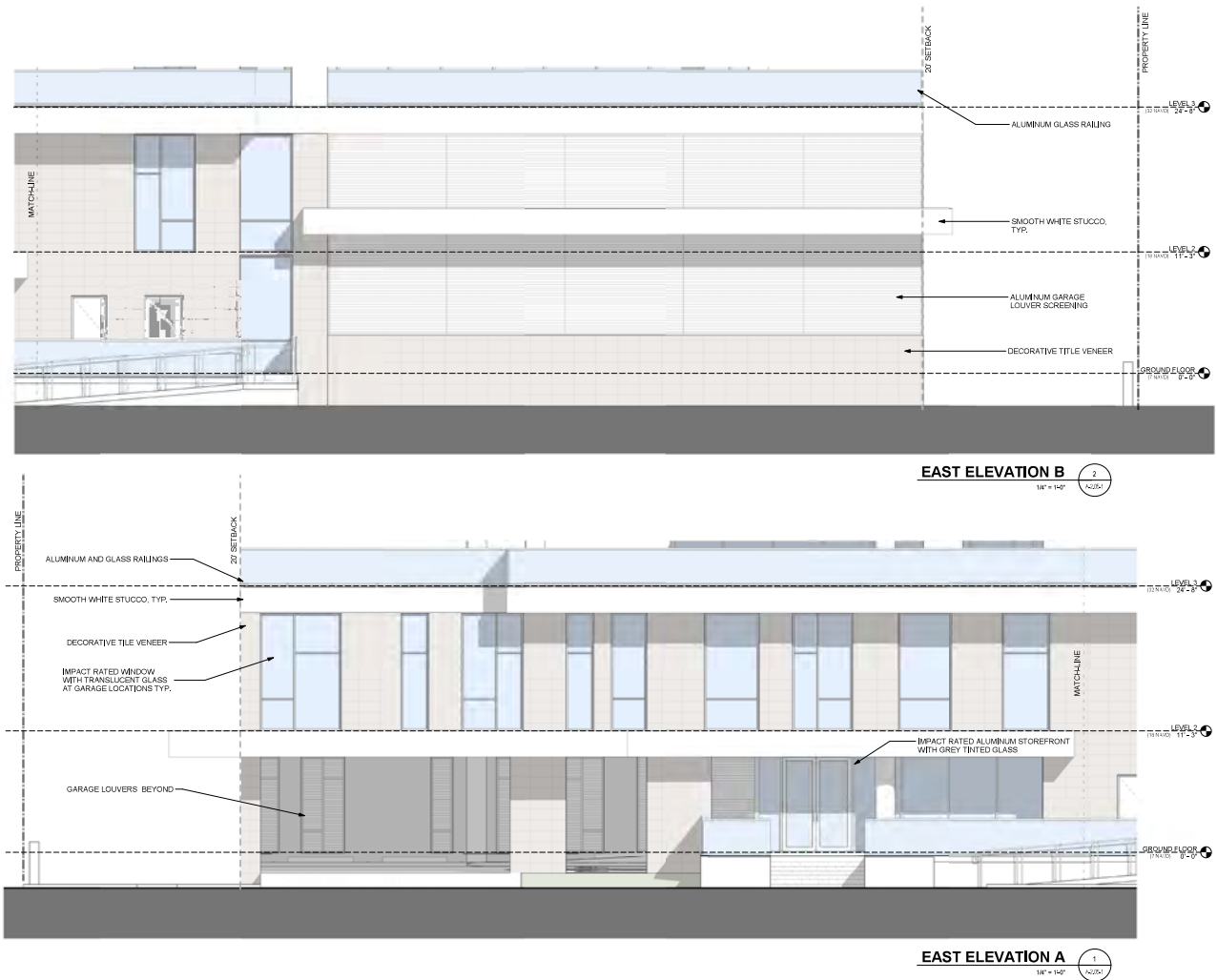
Orton Place, LLC

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FLORIDA

GROUND FLOOR
ELEVATION DETAIL

A-2.05
SHEET NUMBER
PROJECT NUMBER

DRC SUBMISSION



PROPOSED DRC 01/28/2021

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FL

PROPOSED GROUND FLOOR ELEVATION DETAIL

A-2.05-1

GARCIA STROMBERG GS studios
1000 W. UNIVERSITY BLVD., SUITE 100
FORT LAUDERDALE, FL 33311
TEL: 954.473.1111
WWW.GARCIASTROMBERG.COM

ORTON PLACE LLC
2400 ORTON BLVD.
SUITE 200
KEY BISCANE, FL 33149

DATE: 01/28/2021
BY: [Signature]
CHKD: [Signature]
APPD: [Signature]

REVISIONS:

NO.	DESCRIPTION	DATE

For the use of this drawing, the user must first obtain the necessary permits from the appropriate local, state, and federal agencies. The user must also obtain the necessary insurance coverage for the use of this drawing. The user must also obtain the necessary professional liability insurance coverage for the use of this drawing. The user must also obtain the necessary professional liability insurance coverage for the use of this drawing.



MARCH 21 - 9:00 AM



MARCH 21 - 12:00 PM



MARCH 21 - 4:00 PM



DECEMBER 22 - 9:00 AM



DECEMBER 22 - 12:00 PM



DECEMBER 22 - 4:00 PM

APPROVED

The City of Fort Lauderdale is not responsible for the accuracy of the data and the results of the analysis. The City of Fort Lauderdale is not responsible for the accuracy of the data and the results of the analysis.

Project Name	City	County	State
THE TERRACES	Fort Lauderdale	Broward	FL

© 2018 GS4studios

GS4studios
7714 NW 4th St.
Fort Lauderdale, FL 33311

GS4studios
7714 NW 4th St.
Fort Lauderdale, FL 33311

GS4studios
7714 NW 4th St.
Fort Lauderdale, FL 33311

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FLORIDA

SHADOW STUDY

A-2.06

DRC SUBMISSION



SUN - MARCH 21 9AM 1



SUN - DECEMBER 21 9AM 3



SUN - MARCH 21 12PM 6



SUN - DECEMBER 21 12PM 5



SUN - MARCH 21 4PM 2



SUN - DECEMBER 21 4PM 4

N. TYPICAL

PROPOSED DRC 01/28/2021

THE TERRACES
527 ORTON AVENUE
FORT LAUDERDALE, FL

ORION PLACE LLC
2405 ORANGE BLVD.
SUITE 200
MIAMI BEACH, FL 33149

GARCIA STROMBERG
GSI studios
1000 W. PALM BLVD., SUITE 100
FORT LAUDERDALE, FL 33304

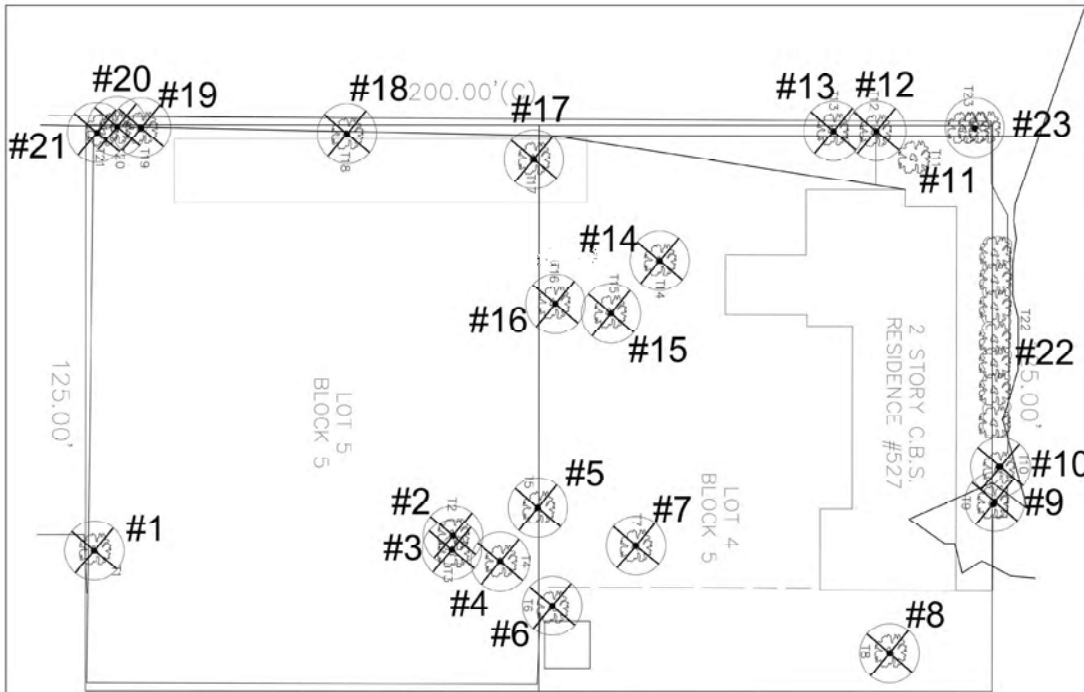
DATE: 01/28/2021
BY: [Signature]

A-2.06-1

18.00.0000

REV.	DESCRIPTION	DATE

© GSI Studios



Treelid	Common Name	Genus Species	Overall Height Feet	Canopy Width Feet	Clear Height Feet	Quantity	DBH Inches	Health Condition	Health Condition %	Notes	EcoPlan Action
1	Fig	<i>Ficus benjamina</i>	25	25	1	22	1	Propr	100	Shed bark (Lateral)	TO BE REMOVED
2	Yellow Star	<i>Buddleia buxifolia</i>	45	45	1	24	1	Fair	100	Trapping/Releasing ants	TO BE REMOVED
3	Palmetto	<i>Sabal palmetto</i>	28	12	18	1	12	Good	80	Trunk	TO BE REMOVED
4	Palmetto	<i>Sabal palmetto</i>	16	11	7	1	10	Good	80	Trunk	TO BE REMOVED
5	Palmetto	<i>Sabal palmetto</i>	20	11	10	1	10	Fair	50	Trunk	TO BE REMOVED
6	Leaved Indian	<i>Platanus indica</i>	30	30	1	30	1	Fair	50	Trunk	TO BE REMOVED
7	Palmetto	<i>Sabal palmetto</i>	26	18	10	1	10	Good	80	Trunk	TO BE REMOVED
8	Palmetto	<i>Sabal palmetto</i>	18	11	12	1	10	Good	80	Trunk	TO BE REMOVED
9	Palmetto	<i>Sabal palmetto</i>	25	25	1	25	1	Fair	100	Trunk	TO BE REMOVED
10	Palmetto	<i>Sabal palmetto</i>	28	18	10	1	10	Propr	100	Trunk	TO BE REMOVED
11	Red Tamed	<i>Cupressus sempervirens</i>	12	12	1	12	1	Fair	50	Trunk	TO BE REMOVED
12	Carriacou	<i>Cupressus sempervirens</i>	12	12	1	12	1	Fair	50	Trunk	TO BE REMOVED
13	Carriacou	<i>Cupressus sempervirens</i>	12	12	1	12	1	Fair	50	Trunk	TO BE REMOVED
14	Palmetto	<i>Sabal palmetto</i>	12	12	1	12	1	Fair	50	Trunk	TO BE REMOVED
15	Palmetto	<i>Sabal palmetto</i>	12	12	1	12	1	Fair	50	Trunk	TO BE REMOVED
16	Palmetto	<i>Sabal palmetto</i>	12	12	1	12	1	Fair	50	Trunk	TO BE REMOVED
17	Palmetto	<i>Sabal palmetto</i>	12	12	1	12	1	Fair	50	Trunk	TO BE REMOVED
18	Palmetto	<i>Sabal palmetto</i>	12	12	1	12	1	Fair	50	Trunk	TO BE REMOVED
19	Palmetto	<i>Sabal palmetto</i>	12	12	1	12	1	Fair	50	Trunk	TO BE REMOVED
20	Palmetto	<i>Sabal palmetto</i>	12	12	1	12	1	Fair	50	Trunk	TO BE REMOVED
21	Palmetto	<i>Sabal palmetto</i>	12	12	1	12	1	Fair	50	Trunk	TO BE REMOVED
22	Palmetto	<i>Sabal palmetto</i>	12	12	1	12	1	Fair	50	Trunk	TO BE REMOVED
23	Palmetto	<i>Sabal palmetto</i>	12	12	1	12	1	Fair	50	Trunk	TO BE REMOVED

APPROVED 811

Know what's below. Call before you dig.

Scale: 1" = 10'-00"

North

PREPARED BY: ECOPLAN

PREPARED FOR: GARCIA STRONCK

DRC SUBMITTAL

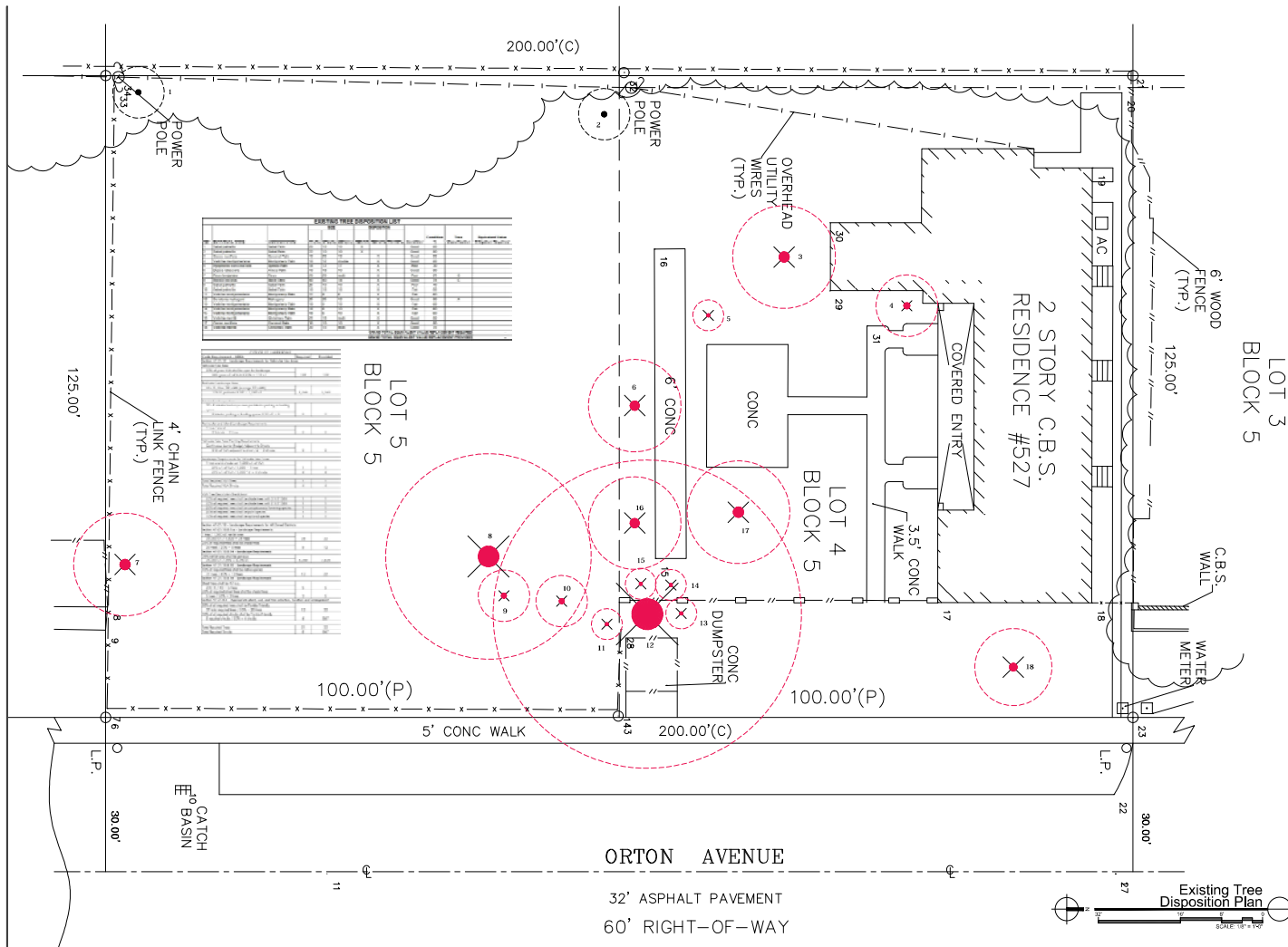
527 ORTON AVE
FORT LAUDERDALE, FL

Tree Disposition Plan

DATE: 5/18/18
PROJECT NUMBER: 018
DRAWN BY: J. CHANCEY
SCALE: AS SHOWN
REVISION: DATE: BY:

12 16 18
SHEET 14-LAPL-0

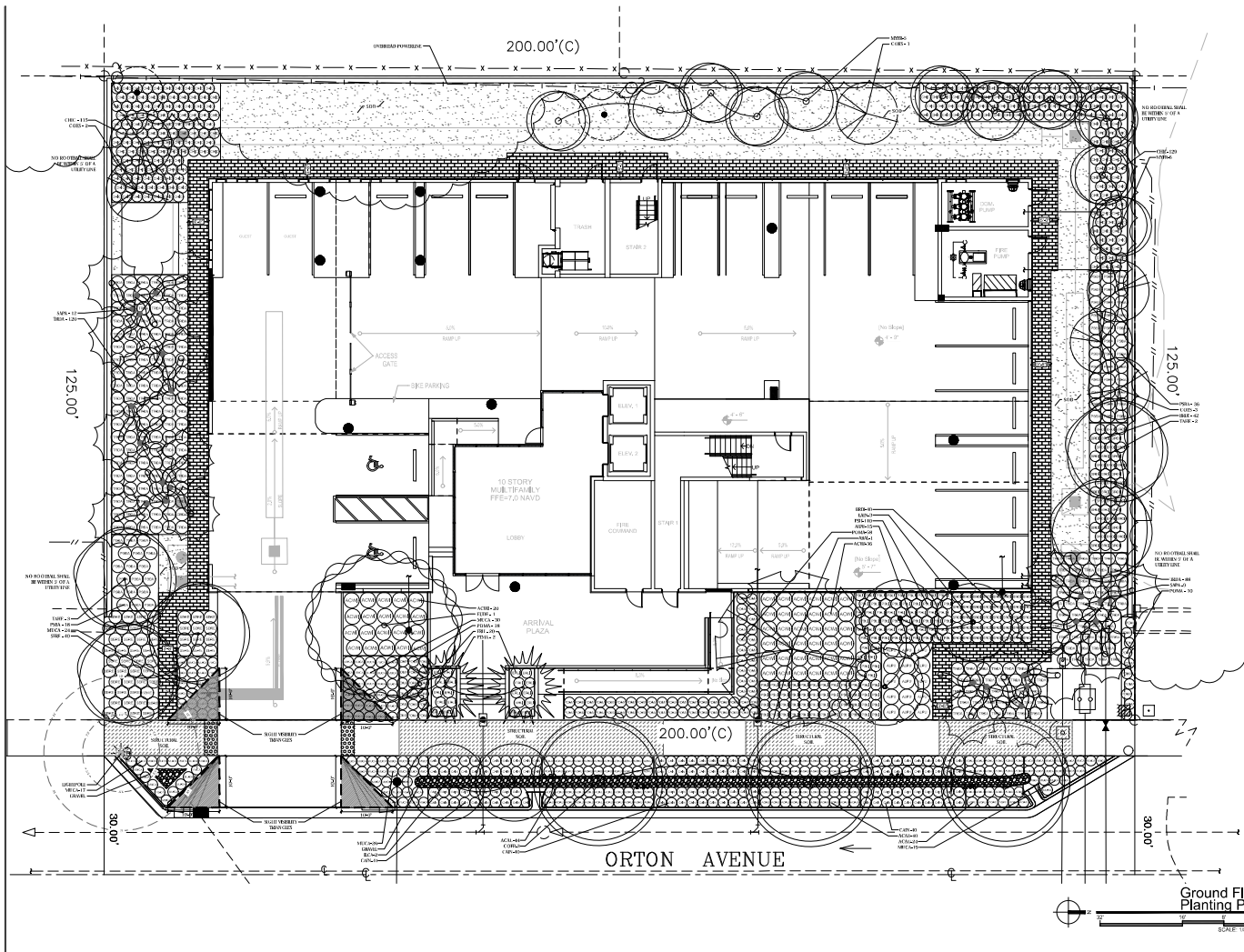
LAPL-0

[illegible]

[illegible][illegible]

811

12.18.18
SHEET NUMBER:
LAPL-1



GS DESIGN

527 ORTON AVENUE
St. Louisville, IL

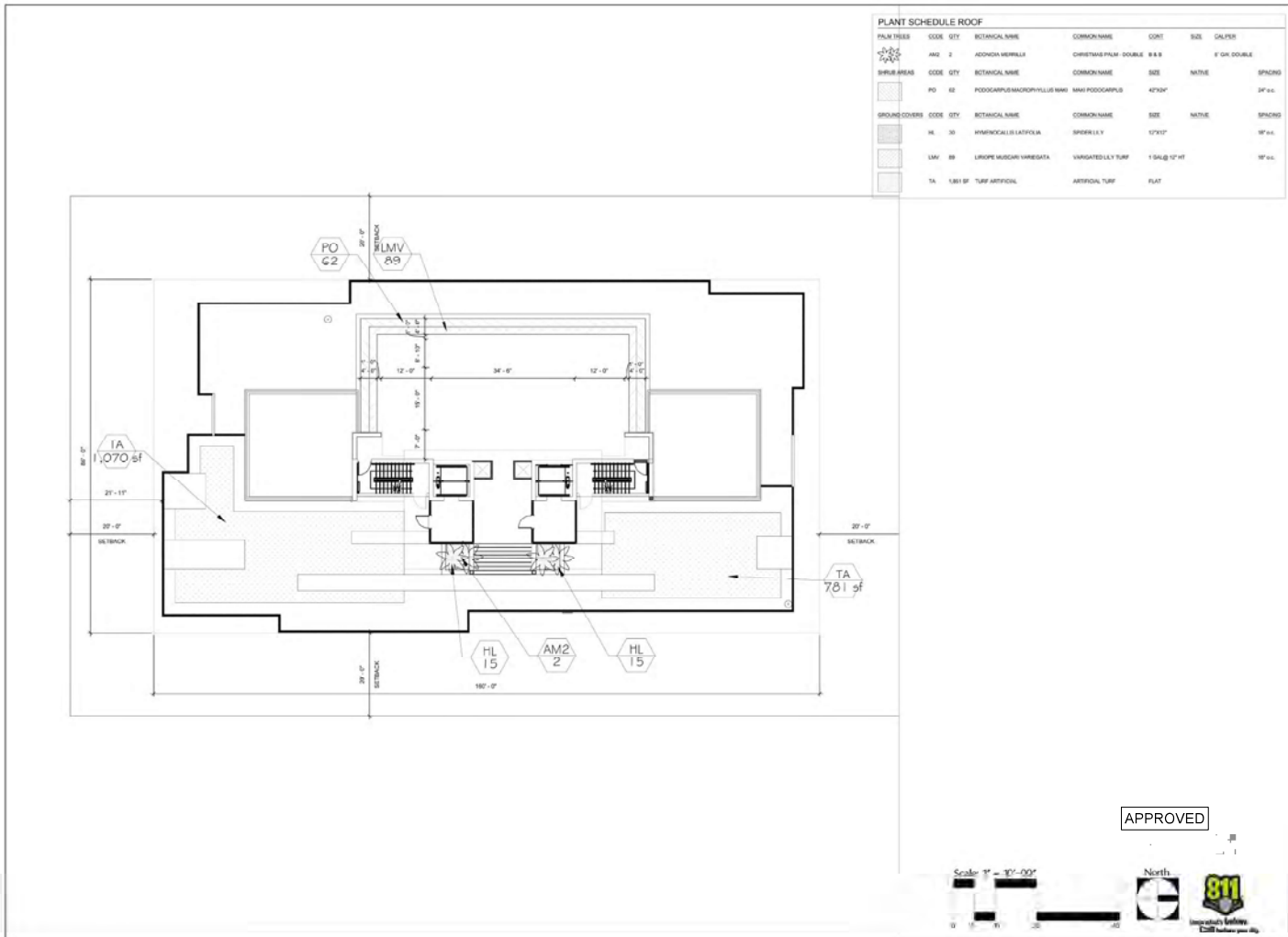
PROGRESS SET

GROUND FLOOR PLANTING PLAN

Digitally signed by Kenneth P. Gardner
Date: 2023.01.26
132763-4500

10.23.2020

LA-102





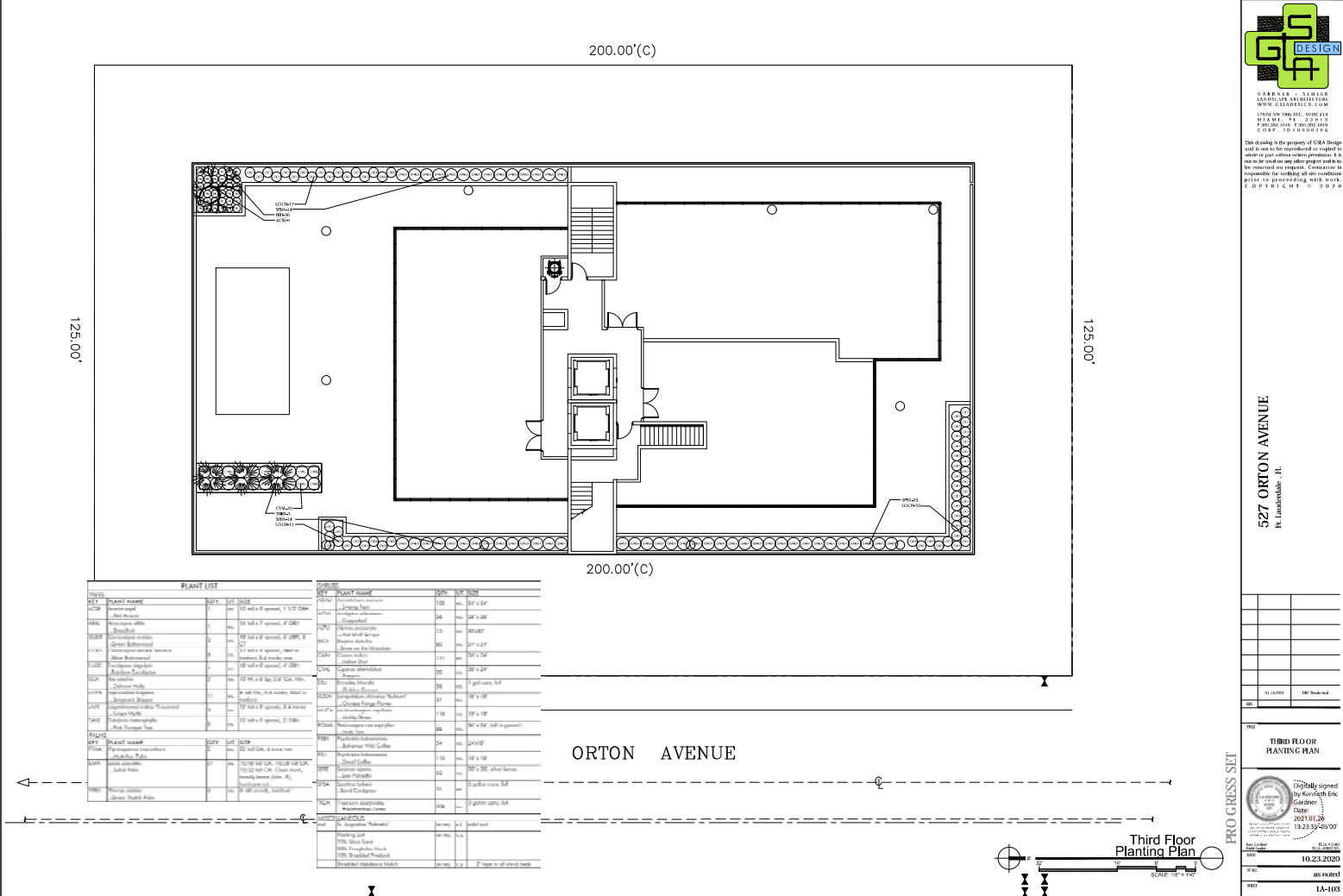
GSA DESIGN
LANDSCAPE ARCHITECTS
10000 10th Ave, Suite 210
Northridge, CA 91329
Tel: 818.708.2000
Fax: 818.708.2001
www.gsa-design.com

This drawing is the property of GSA Design and is not to be reproduced or copied in whole or part without written permission. It is to be used only on the project and is not to be used on any other project and is to be returned to GSA Design upon completion. No responsibility is assumed for any errors or omissions prior to the proceeding with work.
COPYRIGHT © 2020

527 ORTON AVENUE
Rt. Lancaster, CA 93534



PROGRESS SET

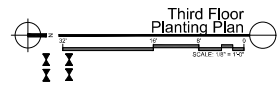


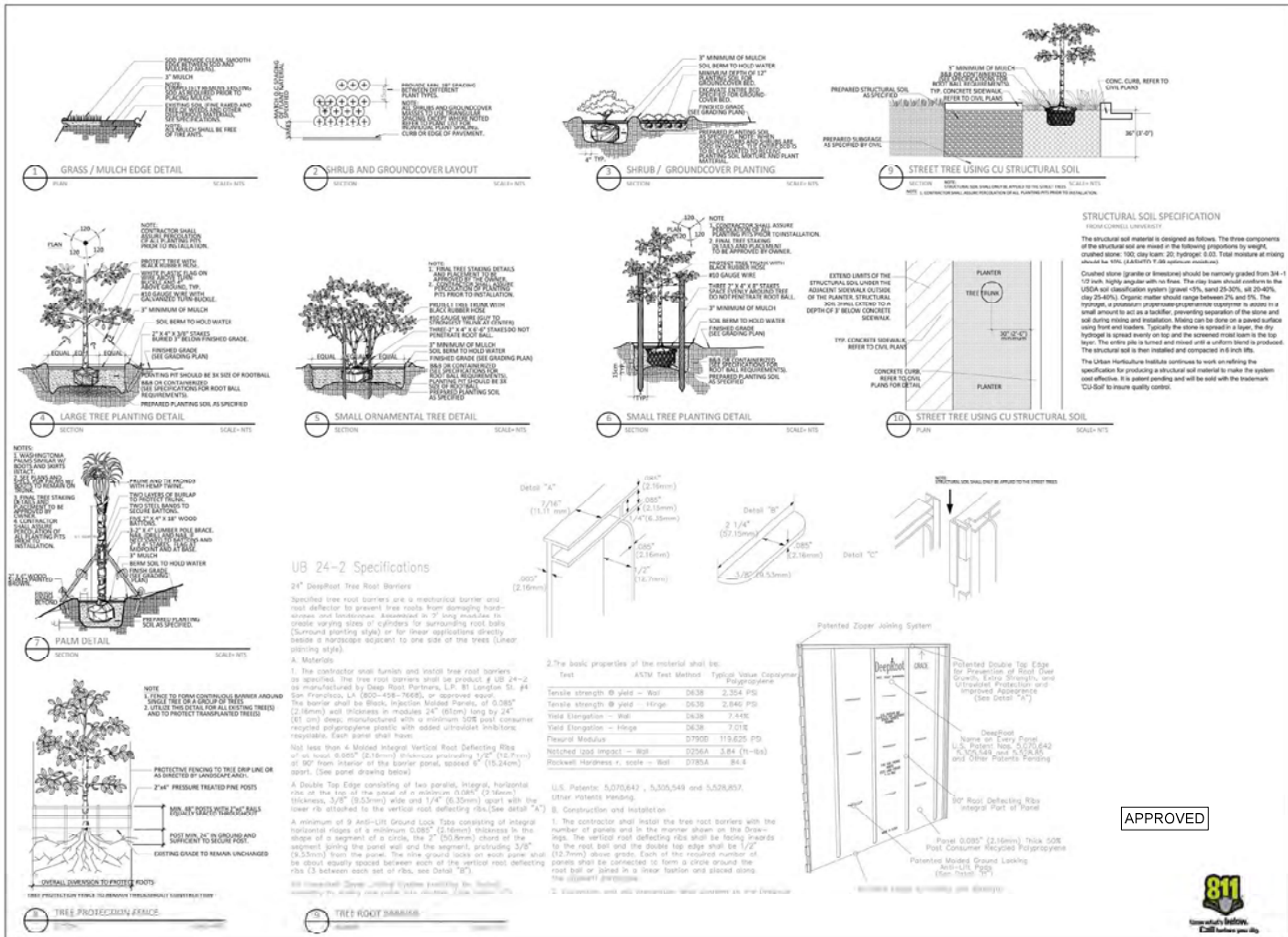
PLANT LIST			
SYMBOL	PLANT NAME	QTY	NOTES
1	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
2	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
3	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
4	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
5	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
6	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
7	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
8	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
9	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
10	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
11	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
12	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
13	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
14	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
15	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
16	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
17	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
18	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
19	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
20	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH

PLANT LIST			
SYMBOL	PLANT NAME	QTY	NOTES
21	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
22	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
23	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
24	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
25	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
26	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
27	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
28	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
29	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
30	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
31	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
32	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
33	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
34	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
35	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
36	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
37	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
38	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
39	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
40	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH

PLANT LIST			
SYMBOL	PLANT NAME	QTY	NOTES
41	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
42	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
43	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
44	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
45	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
46	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
47	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
48	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
49	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
50	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
51	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
52	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
53	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
54	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
55	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
56	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
57	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
58	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
59	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH
60	Parsonsia aculeata	1	10' tall, 8' spread, 1 1/2" DBH

ORTON AVENUE





PREPARED BY:
ECOPLAN
Landscape Architecture
10000 N. 10th Ave., Suite 100
Denver, CO 80231
Tel: 303.733.1111
Fax: 303.733.1112
www.ecoplan.com

PREPARED FOR:
GARCIA STRONICK
10000 N. 10th Ave., Suite 100
Denver, CO 80231
Tel: 303.733.1111
Fax: 303.733.1112
www.garciastronick.com

DRC
SUBMITTAL

527 ORTON AVE
FORT LAUDERDALE, FL

Landscape
Details and Notes

DATE	5/18/18
PROJECT NUMBER	178
DRAWN BY	
CHECKED BY	
SCALE	
REVISION	DATE BY

12.16.18
SHEET 14-AB01
LAPL-3

APPROVED



SITE PLAN DRAWINGS
FOR
THE TERRACES
527 Orton Avenue
FT. LAUDERDALE, FLORIDA 33304



LOCATION MAP
N.T.S.

FOID NO.: 5042-01-04-0120,
5042-01-04-0380

LEGAL DESCRIPTION

LOTS 4 AND 8, BLOCK 8, BIRCH OAK FRONT SUBDIVISION, ACCORDING TO THE
PLAN THEREOF, AS RECORDED IN PLAT BOOK 19, PAGE 26, OF THE PUBLIC
RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LAND LYING IN BROWARD COUNTY, FLORIDA AND CONTAINS 25,000 SQUARE
FEET, MORE OR LESS.

STRIPING AND SIGNAGE NOTES

- ALL STRIPING IN RIGHT-OF-WAY AND ALL ON-SITE STOP BARS SHALL BE THERMOPLASTIC WITH A Mixture of 85 PERCENT GLASS SPHERES AND 15 PERCENT SHARP SILICA SAND APPLIED AT A RATE OF 0.35 PSF IN ACCORDANCE WITH FOOT SECTION 711.
- ALL SIGNAGE SHALL BE IN ACCORDANCE WITH "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION, AND MATCH EXISTING.
- ALL TRAFFIC SIGNALS AND PAYMENT MARKINGS TO BE PROVIDED ON THE SITE PLAN IN CONFORMANCE WITH BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BCTED) AND AUSTIN STANDARDS.
- ALL OFFSITE PAYMENT MARKINGS AND SIGNAGE SHALL BE APPROVED BY BCTED.
- STOP SIGNS SHALL BE MOUNTED WITH 7" CLEAR FROM SIGN BOTTOM TO GRADE. WHERE INDICATED, ADDITIONAL SIGNAGE SHALL BE MOUNTED BELOW STOP SIGN.
- REFLECTIVE PAVEMENT MARKINGS TO BE IN ACCORDANCE WITH FOOT STANDARD INDEX AND SECTION 706 AND SECTION 870 OF THE FOOT STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. CONTRACTOR TO REPLACE ANY BROKEN OR MISSING RPM'S IN ALL WORK AREAS, WHETHER SPECIFICALLY SHOWN OR NOT.

INDEX OF DRAWINGS

SHT. NO.	TITLE
COVER	COVER SHEET, LOCATION MAP AND NOTES
C-1	GENERAL NOTES
PMS-1	PAVING MARKING AND SIGNAGE PLAN
PGD-1	PAVING-GRADING-DRAINAGE PLAN
PGD-2	SITE DETAILS
PGD-3	SITE SECTIONS
PGD-4	DRAINAGE DETAILS
WS-1	WATER AND SEWER NOTES
WS-2	WATER AND SEWER PLAN
WS-3	WATER DETAILS
WS-4	SEWER DETAILS
SWPPP-1	STORMWATER POLLUTION PREVENTION NOTES
SWPPP-2	STORMWATER POLLUTION PREVENTION PLAN
D-1	DEMOLITION PLAN

PAVING-GRADING-DRAINAGE NOTES

- ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988.
- BENCHMARK DESCRIPTION: FLORIDA DEPARTMENT OF TRANSPORTATION DISK, NORTHEAST CORNER OF BRIDGE, LAS OLAS BOULEVARD AND INTRACOASTAL WATERWAY, ELEVATION 9.305 (NOVD 1929), ELEVATION 7.717 (DAVD 1988).
- HORIZONTAL AND VERTICAL CONTROL POINTS SHALL BE PROVIDED BY THE OWNER. ALL CONSTRUCTION LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. IN THE EVENT THAT CONTROL POINTS ARE DISTURBED BY CONTRACTOR, CONTRACTOR SHALL PAY FOR ALL RESETTING OF CONTROL POINTS.
- GRADING SHALL CONSIST OF ALL EXCAVATION, FILLING, SHAPING AND SLOPING NECESSARY FOR THE CONSTRUCTION, PREPARATION AND COMPLETION OF ALL SUBURBS, SHOULDER, SLOPES, INTERSECTIONS, PAVEMENTS AND OTHER AREAS, ALL IN ACCORDANCE WITH THE ALIGNMENT AND GRADES SHOWN IN THESE DRAWINGS.
- DRAINAGE STRUCTURES SHALL BE AS DETAILED IN THESE DRAWINGS. DRAINAGE PIPE TO BE CORRUGATED POLYETHYLENE.
- WHERE APPLICABLE, SAWCUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
- ASPHALTIC PAVEMENTS SHALL CONSIST OF COMPACTED SUBGRADE, COMPACTED LIMELOCK SUBBASE AND TYPE 1-3 ASPHALTIC CONCRETE, AND/OR SHALL MEET CITY OF FT. LAUDERDALE STANDARDS IN ROADWAY RIGHT-OF-WAY.
- CONCRETE CURB, SIDEWALK AND SLABS SHALL CONSIST OF 3,000 PSI PORTLAND CEMENT CONCRETE, AS SHOWN IN THESE DRAWINGS.
- ALL EXPOSED CONCRETE SURFACES SHALL RECEIVE A LIGHT BROOM FINISH, UNLESS OTHERWISE DIRECTED.
- ALL REINFORCING, ALL SIZES, SHALL CONFORM TO ASTM A615, GRADE 60.
- FINAL GRADING OF LANDSCAPING AREAS SHALL BE COORDINATED IN THE FIELD WITH ENGINEER/LANDSCAPE ARCHITECT. COMPACTED FILL IN LANDSCAPED AREAS SHALL BE PLACED SUCH THAT 8 INCHES OF TOP SOIL MAY BE PLACED BETWEEN THE COMPACTED FILL AND FINISHED GRADE.
- TESTING LABORATORY SHALL BE RETAINED BY THE CONTRACTOR TO VERIFY SPECIFIED COMPACTION DENSITY AND CONCRETE STRENGTH. FAILURE OF ANY TESTING TO MEET SPECIFIED REQUIREMENTS SHALL BE DEEMED NON-COMPLYING.
- ALL SIGNAGE SHALL BE IN ACCORDANCE WITH "THE MANUAL ON UNIFORM TRAFFIC DEVICES".
- COORDINATE ALL SPECIALTY PAVEMENTS WITH ARCHITECTURAL AND LANDSCAPE DRAWINGS.

UTILITY CONTACTS

CITY OF FT. LAUDERDALE
MR. CRAIG BARRETT
100 N. ANDREWS AVENUE
LAUDERDALE, FLORIDA 33309
PHONE : (854) 828-5875

CROWN CASTLE
FIBERONE TEAM
1500 CORPORATE DRIVE
PALATKA, FLORIDA 32177
PHONE : (888) 632-0831 EXT. 2

FLORIDA POWER & LIGHT
MR. JOEL BEAT
2900 CATHERINE STREET
PALATKA, FLORIDA 32177
PHONE : (800) 888-9584

COMCAST CABLE
MR. LEONARD MAXWELL-NEWBOLD
2801 S.W. 14TH AVENUE
MIAMI, FLORIDA 33127
PHONE : (305) 334-7083

AT&T / DISTRIBUTION
MR. DINO FARRUGIO
8025 LAUREL ROAD
WEST PALM BEACH, FLORIDA 33411
PHONE : (561) 683-2728

TECO PEOPLES GAS-SOUTH FLORIDA
MS. JOAN JOHNSON
8416 PALM RIVER ROAD
TAMPA, FLORIDA 33619
PHONE : (813) 278-3785

HOTWIRE COMMUNICATIONS
MR. WALTER DAVILA
10360 USA TODAY WAY
MIAMI, FLORIDA 33163
PHONE : (305) 278-3785

USCIB INVESTIGATIONS
700 WESTON PARKWAY
CARY, NORTH CAROLINA 27513-2119
PHONE : (408) 888-4091

GENERAL NOTES

- ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (DAVD 1988). BENCH MARK USED: FLORIDA DEPARTMENT OF TRANSPORTATION DISK, NORTHEAST CORNER OF BRIDGE, LAS OLAS BOULEVARD AND INTRACOASTAL WATERWAY, ELEVATION 9.305 (NOVD 1929), ELEVATION 7.717 (DAVD 1988).
- HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE CONTRACTOR'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION SUPPLIED BY OTHERS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MEET WITH ALL APPLICABLE UTILITY COMPANIES TO VERIFY ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE ALL SUCH DAMAGE.
- EXISTING GRADES WERE TAKEN FROM THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY REFLECT PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH CURRENT SITE CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING WORK.
- REFERENCE SHALL BE MADE TO THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATIONS, SIZE AND DETAILS OF ALL UTILITY SERVICES TO THE BUILDINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RECTIFYING ALL DISTURBED EXISTING MANHOLE COVERS, VALVE BOXES, BLOW-OFF RISERS, ETC. TO NEW ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THESE DRAWINGS OR NOT.
- BOUNDARY AND TOPOGRAPHIC DATA BASED UPON SURVEY PREPARED BY AYNOR & ASSOCIATES, INC., BOCA RATON, FLORIDA, DATED JANUARY 30, 2018, LAST UPDATED OCTOBER 22, 2020.
- THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONE AE ELEVATION 8 FEET, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 120108 02B II, DATED AUGUST 16, 2014.

ADA COMPLIANCE NOTES

- THIS SET OF DOCUMENTS HAS BEEN DESIGNED TO COMPLY WITH 2010 & FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AND PER APPLICABLE FOOT INDEXES 304, 310 & 315.
- ALL RELATED SECTIONS OF THE CODE ARE NOTED IN THESE DOCUMENTS AND STRIVE FOR COMPLIANCE IS REQUIRED BY ALL CONSTRUCTION TRADES, CONSTRUCTION QUALITY AND COMPLIANCE OF THE FINAL PRODUCT ARE THE RESPONSIBILITY OF THE VENDOR CONTRACTOR.
- ALL ACCESSIBLE ROUTES MUST NOT EXCEED A SLOPE OF 1:20 (5.00%), CURB CUT RAMPS AND RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.33%), RAMPS THAT EXCEED 6 FEET IN LENGTH REQUIRE HANDRAILS. ALL CROSS SLOPES MUST NOT EXCEED A SLOPE OF 1:50 (2.00%).
- PLANTERS, TREE GRATES AND OTHER ELEMENTS MUST BE FLUSH AND ADA COMPLIANT. PAVES ON PEDESTRIAN PATH MUST BE FLUSH, FIRM, STABLE AND HAVE NO OPEN JOINTS.
- ALL DETECTABLE WARNING TO BE IN ACCORDANCE WITH FLORIDA COUNTY ARTICLE 527 TESTED MATERIAL, TYPE & COLOR, LATEST EDITION (7/7/14).

DEMOLITION NOTES

- EXISTING CONDITIONS SHOWN BASED UPON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS PRIOR TO INITIATING WORK. SEE SURVEY PREPARED BY AYNOR & ASSOCIATES, INC., BOCA RATON, FLORIDA, DATED JANUARY 30, 2018.
- ALL EXCAVATION SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES.
- ASPHALTIC PAVEMENT DESIGNATED FOR DEMOLITION SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT AN APPROVED LOCATION. SAWCUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
- LIMELOCK SUBBASE SHALL BE SCARIFIED TO ITS FULL DEPTH, IN NO CASE SHALL REMOVED LIMELOCK SUBBASE BE USED AS SUBBASE FOR NEW ROADWAYS, DRIVEWAYS, OR PARKING AREAS.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND OWNER PRIOR TO DEMOLISHING ANY EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY SERVICE LINES PRIOR TO START OF CONSTRUCTION AND DETERMINE THE REQUIREMENTS FOR THEIR PROTECTION.
- THE CONTRACTOR SHALL ARRANGE FOR THE PROPER DISCONNECTION AND CAPPING OF ALL UTILITIES BY THE APPROPRIATE CERTIFIED TECHNICIAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL UTILITIES DESIGNATED TO REMAIN AND TO REPAIR ANY DAMAGED UTILITIES.
- ALL EXISTING UTILITIES INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, GAS, POWER & TELEPHONE SHALL BE TERMINATED AT PROPERTY LINE (AND WORK LIMITS) AND REMOVED WITHIN THE DEMOLITION LIMITS. CONTRACTOR SHALL COORDINATE WITH EACH AFFECTED UTILITY COMPANY.
- ALL DEMOLITION DEBRIS, EQUIPMENT AND APPURTENANCES SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE DISPOSED OF OFF-SITE IN AN APPROVED MANNER, UNLESS OTHERWISE DESIGNATED BY THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL HAUL ROUTES, TO AND FROM THE SITE, FROM ALL RELEVANT AGENCIES/MUNICIPALITIES.

GR&EF

8400 South Dickland Boulevard
Suite 601
Miami, FL 33156
305 / 378.5555
305 / 279.4553 fax

www.graeffusa.com

CERTIFICATE OF AUTHORIZATION NO. 4279
SEAL / SIGNATURE:



FOR THE FIRM:
NELSON H. ORTIZ
PE-57556 (CIVIL)

PROJECT TITLE

THE TERRACES
527 Orton Avenue
Fort Lauderdale, Florida 33304
Folio No. 5042-01-04-0370/0380

LATITUDE GROUP
250 Grandon Boulevard
Key Biscayne, Florida 33149

NO. DATE REVISIONS BY
1/28/21 DRC REVISION

PROJECT INFORMATION

PROJECT NUMBER: 2020-7031
DATE: 09-25-20
DRAWN BY: S.D.
CHECKED BY: N.H.O.
APPROVED BY: N.H.O.
SCALE: AS SHOWN

SHEET TITLE

COVER SHEET

SHEET NUMBER

COVER

X:\MVA\2020\20207031\Design\Design Files\Drawings\3_C-1 (General Notes).dwg
1/26/2021 4:58 PM

GENERAL CONSTRUCTION NOTES

1. NO CONNECTIONS FOR THE PURPOSE OF OBTAINING WATER SUPPLY DURING CONSTRUCTION SHALL BE MADE TO ANY FIRE HYDRANT OR BLOW-OFF STRUCTURE WITHOUT FIRST OBTAINING PERMISSION AND A CONSTRUCTION METER FROM THE CITY OF FORT LAUDERDALE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, MOVING AND RELOCATING OR REPLACING ALL WATER SERVICES OR SEWER LATERALS WHICH ARE ENCOUNTERED DURING EXCAVATION. THE CONTRACTOR SHALL SUBMIT A WRITTEN PLAN FOR WATER SERVICE AND WASTEWATER SERVICE DISRUPTION FOR APPROVAL 7 (SEVEN) CALENDAR DAYS PRIOR TO THE ANTICIPATED DISRUPTION. THE CONTRACTOR SHALL NOTIFY THE PROPERTY OWNER 48 HOURS IN ADVANCE OF ANY WORK ON THESE SERVICES. THIS WORK SHALL BE CONSIDERED INCIDENTAL.
3. THE CONTRACTOR MUST USE EXTREME CARE TO AVOID DAMAGE OR DISRUPTION TO ANY EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. ALL PLAN LOCATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED. CONTRACTOR IS TO CONTACT BROWARD STATE ONE CALL OF FLORIDA AT 1-800-485-4770 AND ALL OTHER PARTICIPATING UTILITIES 2 FULL BUSINESS DAYS PRIOR TO CONSTRUCTION FOR FIELD MARKUP LOCATIONS OF EXISTING UTILITIES AND FACILITIES.
4. THE CONTRACTOR MUST INFORM THE CITY AT LEAST 48-HOURS IN ADVANCE OF CONSTRUCTION, IN WRITING IF ANY CONFLICT IS DISCOVERED DURING POT HOLE OPERATIONS FOR CLARIFICATION BY THE CITY.
5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITIES DEPARTMENT OF THE CITY OF FORT LAUDERDALE AT LEAST TWO (2) BUSINESS DAYS IN ADVANCE TO COORDINATE ANY ACTIVITY TO BE PERFORMED BY THE CITY'S UTILITIES DEPARTMENT.
6. CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE EXISTING RIGHTS-OF-WAY.
7. IN GENERAL, EXISTING STRUCTURES AND UTILITIES ARE NOTED AS EXISTING AND/OR SHOWN IN THIN LINES. NEW CONSTRUCTION IS IN HEAVY LINES AND/OR UNBROKEN.
8. ALL WORK WITHIN STATE DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAYS SHALL BE IN CONFORMANCE WITH FDOT SPECIFICATIONS AND PERMIT REQUIREMENTS.
9. ALL WORK WITHIN BROWARD COUNTY RIGHT-OF-WAYS SHALL BE IN CONFORMANCE WITH THE BROWARD COUNTY MINIMUM STANDARDS AND/OR REQUIREMENTS.
10. CONTRACTOR SHALL COMPLY WITH ALL LOCAL CITY, COUNTY AND STATE REGULATIONS PERTAINING TO THE CLOSING OF PUBLIC STREETS FOR USE OF TRAFFIC DURING CONSTRUCTION.
11. CONTRACTOR SHALL PREPARE AND SUBMIT MAINTENANCE OF TRAFFIC (MOT) PLANS TO FDOT, CITY OF FORT LAUDERDALE, BROWARD COUNTY AS REQUIRED FOR WORK TO BE DONE WITHIN THEIR R/W PRIOR TO COMMENCEMENT OF WORK. SPECIFIC AGENCY MOT REQUIREMENTS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
12. STATIONS SHOWN ON THE DRAWINGS ARE BASED ON THE ESTABLISHED BASELINE AND SHALL NOT BE CONSIDERED AS DISTANCES OR AS A MEASURE OF THE LINEAR FOOTAGE OF PIPE TO BE INSTALLED.
13. THE GENERAL INTENT IS TO PROVIDE SEWER SERVICE LATERALS FOR EACH PROPERTY. ALL LATERAL LOCATIONS SHALL BE FIELD ADJUSTED.
14. CONTRACTOR SHALL MAINTAIN ACCESS TO PRIVATE PROPERTY AT ALL TIMES.
15. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAY OR WALKWAY SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
16. TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS SHALL NOT BE LEFT OPEN DURING NIGHT HOURS WITHOUT ADEQUATE PROTECTION.
17. CONTRACTOR SHALL PROMPTLY REPAIR AND RESTORE EXISTING PAVEMENT, SIDEWALKS, CURBS, DRIVEWAYS, PIPES, RESIDENTIAL AND COMMERCIAL SPRINKLER LINES, CONDUIT, CABLES, ETC. AND LANDSCAPE AREAS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES.
18. CONTRACTOR SHALL PROVIDE TEMPORARY FENCINGS AS REQUIRED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT AND/OR WHEN REQUIRED FOR PUBLIC SAFETY.
19. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF WORK, FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
20. LOCATION OF AIR RELEASE VALVES MAY BE FIELD ADJUSTED BY THE ENGINEER OR CITY OF FORT LAUDERDALE AS NECESSARY.
21. CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND HOLES, PULL BOXES, BUILTS AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAPPED WITH ASPHALT.
22. EXISTING TRAFFIC SIGNS SHALL BE RESET UPON COMPLETION PER FDOT STANDARDS. COST SHALL BE CONSIDERED INCIDENTAL. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED TRAFFIC SIGNAL LOOPS PER BROWARD COUNTY TRAFFIC ENGINEERING SPECIFICATIONS. COST SHALL BE INCIDENTAL.
23. CONTRACTOR SHALL RESTORE EXISTING PAVEMENT AND PAVEMENT MARKINGS/DAMAGE TO ORIGINAL PRE-CONSTRUCTION CONDITION OR AS OTHERWISE SPECIFIED IN CONTRACT DOCUMENTS. THIS WORK SHALL BE CONSIDERED INCIDENTAL.
24. ALL CONSTRUCTION WITHIN FDOT R/W MUST COMPLY WITH FDOT SPECIFICATIONS, STANDARDS, AND PERMIT REQUIREMENTS. NO WORK SHALL COMMENCE WITHIN FDOT R/W WITHOUT AN FDOT PERMIT. FULL LANE WIDTH RESTORATION TO MATCH EXISTING PAVEMENT SECTION IS REQUIRED IN ACCORDANCE WITH FDOT STANDARDS FOR PROPOSED WORK WITHIN FDOT R/W.
25. SEWER LATERALS SHALL BE PROVIDED FOR EACH PROPERTY.
26. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND ELEVATIONS BEFORE STARTING CONSTRUCTION.
27. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988.

GENERAL NOTES - TRAFFIC CONTROL PLAN

1. THE TRAFFIC CONTROL PLANS FOR THE PROJECT SHALL COMPLY WITH THE LATEST EDITION OF THE ROADWAY AND TRAFFIC DESIGN STANDARDS, INDEX NO. 600-666, MUTCD AND THE STANDARD SPECIFICATIONS. THE CONTRACTOR'S RESPONSE THAT TO ALL REPORTED MALFUNCTIONS OF TRAFFIC SIGNALS WITHIN THE PROJECT LIMITS SHALL BE NO MORE THAN TWO (2) HOURS AND SHALL RESTORE ALL MALFUNCTIONING TRAFFIC SIGNAL EQUIPMENT TO ITS LEVEL OF OPERATION PRIOR TO THE MALFUNCTIONING WITHIN TWENTY-FOUR (24) HOURS DURING THE TIME THE CONTRACTOR SHALL PROVIDE AT HIS EXPENSE TEMPORARY TRAFFIC CONTROL DEVICES, FLAGGER PERSONNEL AND LAW ENFORCEMENT PERSONNEL AS NECESSARY TO MAINTAIN A SAFE AND EFFICIENT FLOW OF TRAFFIC AT THE AFFECTED WORK ZONE. THE ENGINEER OR THE CITY OF FORT LAUDERDALE SHALL APPROVE ALL MODIFICATIONS PRIOR TO THEIR IMPLEMENTATION.
2. THE CONTRACTOR SHALL MAINTAIN PROPER OPERATION OF ALL TRAFFIC SIGNAL LOOP ASSEMBLIES AND LOOP DETECTOR WITHIN THE PROJECT LIMITS. THE CONTRACTOR SHALL CORRECT ALL LOOP ASSEMBLY/DETECTOR MALFUNCTIONS WITHIN 24 HOURS OF NOTIFICATION OF SUCH MALFUNCTIONS BY THE ENGINEER.
3. THE AGENCY RESPONSIBLE FOR MAINTENANCE OF THE TRAFFIC SIGNALS AND RELATED EQUIPMENT IS BROWARD COUNTY TRAFFIC ENGINEERING.
4. A REGULATORY SPEED OF 25 MPH SHALL BE POSTED WITHIN THE LIMITS OF THE WORK ZONE.
5. EXISTING SIGNS AND PAVEMENT MARKINGS THAT CONFLICT WITH CONSTRUCTION SIGNS AND MARKINGS SHALL BE REMOVED DURING CONSTRUCTION. ALL EXISTING SIGNS THAT ARE REMOVED SHALL BE STOCKPILED IN A SECURE PLACE AND REINSTALLED AFTER CONSTRUCTION. REMOVE AND REPLACE ANY GROUND MOUNT SIGN BY USE OF INDEX NO. 811.
6. THE CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE PATTERNS AND PREVENT ADVERSE FLOODING OF THE TRAVEL LANES DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE CITY OF FORT LAUDERDALE FOR ANY AND ALL CONSTRUCTION ACTIVITIES TO BE PERFORMED AT NIGHT. NO LANE CLOSURE SHALL BE ALLOWED BETWEEN THE HOURS OF 6:00 AM TO 8:00 AM AND 4:00 PM TO 7:00 PM, MONDAY THROUGH FRIDAY UNLESS APPROVED BY THE ENGINEER.
8. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY TWO (2) BUSINESS DAYS IN ADVANCE OF ANY EXCAVATION INVOLVING ITS UTILITIES SO THAT A COMPANY REPRESENTATIVE CAN BE PRESENT. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. SEE SPEC FOR LIST OF UTILITY COMPANIES.
9. TRAFFIC CONTROL ON ALL COUNTY RIGHTS-OF-WAY SHALL MEET THE ADDITIONAL REQUIREMENTS OF THE BROWARD COUNTY ENGINEERING DEPARTMENT.
10. THE AGENCY RESPONSIBLE FOR MAINTENANCE OF THE TRAFFIC SIGNALS AND RELATED EQUIPMENT IS BROWARD COUNTY TRAFFIC ENGINEERING.
11. CONTRACTOR SHALL PREPARE AND SUBMIT MAINTENANCE OF TRAFFIC PLAN (NOT) WHERE REQUIRED BY FEDERAL, STATE, COUNTY, OR LOCAL AGENCIES HAVING JURISDICTION. CONTRACTOR SHALL OBTAIN ALL REQUIRED APPROVALS AND PERMITS ASSOCIATED WITH THE MOT'S. ALL MOT'S TO BE AT'S CETERIS.
12. THE CONTRACTOR SHALL ALSO COORDINATE THE CONSTRUCTION SCHEDULE WITH FDOT, BROWARD COUNTY AND THE CITY OF FORT LAUDERDALE TO AVOID LANE CLOSURES WHICH WOULD ADVERSELY AFFECT TRAFFIC DURING RUSH HOUR.

MAINTENANCE OF TRAFFIC SCHOOL/PEDESTRIAN

1. THE MAINTENANCE OF TRAFFIC PLAN, PROVIDED BY THE CONTRACTOR, SHALL INCLUDE PROVISIONS FOR PEDESTRIAN AND/OR SCHOOL STUDENT TRAFFIC AS WELL AS VEHICULAR TRAFFIC. THE FOLLOWING ARE MINIMUM REQUIREMENTS:
 - A. THE SAFE WALK ROUTE FOR ALL SCHOOL STUDENTS WITHIN THE VICINITY OF THE CONSTRUCTION ZONE SHALL BE MAINTAINED DURING THE TIMES STUDENTS ARE ARRIVING AT OR LEAVING SCHOOL. IF THE CURRENT WALKING SURFACE CAN NOT BE MAINTAINED, THEN A TEMPORARY ROAD-ROCK 4' WALK WAY SHALL BE CREATED. THE SAFE WALK ROUTE SHALL BE SEPARATED FROM THE CONSTRUCTION ACTIVITY BY THE 4' HIGH ORANGE CONSTRUCTION FENCE FOR THE ENTIRE LENGTH OF THE PROJECT OR THE LENGTH OF THE WALK ROUTE, WHICHEVER IS LESS.
 - B. ALL CONSTRUCTION EQUIPMENT AROUND ANY DESIGNATED CROSSWALK SHALL CEASE TO OPERATE DURING THE TIMES STUDENTS ARE ARRIVING AT OR LEAVING SCHOOL. ALL CONSTRUCTION EQUIPMENT ADJACENT TO A DESIGNATED WALK ROUTE SHALL CEASE OPERATING UNLESS SATISFACTORILY BARRICADED FROM THE WALK ROUTE.
 - C. IN THE CASE THAT A DESIGNATED CROSSING OR ANY PORTION OF THE DESIGNATED WALK ROUTE CAN NOT BE MAINTAINED, THEN THE CONTRACTOR SHALL NOTIFY THE SPECIAL PROJECTS COORDINATOR AT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION, (854) 847-2871, A MINIMUM OF TEN (10) WORKING DAYS PRIOR TO CLOSING THAT ROUTE IN ORDER THAT AN ALTERNATE CROSSING/ROUTE CAN BE ESTABLISHED.
 - D. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ANY NECESSARY PAVEMENT, ROAD ROCK, PAVEMENT MARKINGS AND SIGNAGE AND/OR ANY PEDESTRIAN SIGNALIZATION AND/OR SIGNAL MODIFICATION TO ACCOMMODATE AN EXISTING OR ALTERNATE WALK ROUTE.
 - E. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE STATE CERTIFIED SCHOOL CROSSING GUARDS OR OFF DUTY POLICE OFFICERS TO CROSS STUDENTS AT ANY LOCATIONS OTHER THAN THOSE PREVIOUSLY DESIGNATED. THE CONTRACTOR MAY USE LANE MEN ONLY IF THEY ARE STATE CERTIFIED AS A SCHOOL CROSSING GUARD.
 - F. THIRTY (30) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE SPECIAL PROJECTS COORDINATOR AT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION, (854) 847-2871, TO ARRANGE A PRE-CONSTRUCTION - SCHOOL SAFETY MEETING.
 - G. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE BROWARD COUNTY SCHOOL BOARD PUBLIC TRANSPORTATION DEPARTMENT, (774) 261-4440, TO ARRANGE A PRE-CONSTRUCTION - SCHOOL BUS ROUTE MEETING. THIS MEETING IS TO DETERMINE ALL BUS ROUTES AND TO MAKE ANY NECESSARY ARRANGEMENTS FOR RESCHOOLING. THIS MEETING SHALL INCLUDE THE SPECIAL PROJECTS COORDINATOR FROM BROWARD COUNTY TRAFFIC ENGINEERING DIVISION, (854) 847-2871.
 - H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SAFE AND ADEQUATE WALKING SURFACE FOR ALL SCHOOL CHILDREN/PEDESTRIANS. THE SAFE WALK ROUTE SHALL BE PART OF THE MAINTENANCE OF TRAFFIC PLAN.

GENERAL NOTES-BROWARD COUNTY TRAFFIC ENGINEERING DEPT.

ALL PARTIES-NOTE THE FOLLOWING:

DIRECTIONAL SIGNS, UTILITY CONNECTIONS, THE PLACEMENT OF NOT AND ADVANCE SIGNAGE MAY BY THEIR PLACEMENT, DAMAGE/DESTROY THE COMMUNICATIONS CABLE/CONDUIT LOCATED NEARBY AND OFFERS THE PROJECT AREA. ADDITIONALLY, CUMULATIVE/SUCCESSIVE REMOVAL/PLACEMENT/RELOCATION OF TREES, LANDSCAPING ACTIVITIES AND IRRIGATION ACTIVITIES ARE POTENTIAL CAUSES FOR DAMAGE TO BROWARD COUNTY COMMUNICATIONS CABLE/CONDUIT. ALL PARTIES SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN PROXIMITY TO THE COMMUNICATIONS CABLE/CONDUIT.

ANY ABOVE PROJECT ACTIVITY, INCIDENTAL OR OTHERWISE, WHICH IMPACTS OR DAMAGES THE COMMUNICATIONS CABLE/CONDUIT, SHALL BE SUBJECT TO THE FOLLOWING NOTES AND CONDITIONS BELOW.

COMMUNICATIONS NOTES

THE AGENCY RESPONSIBLE FOR MAINTENANCE OF THE TRAFFIC SIGNALS AND RELATED EQUIPMENT IS BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (ETED). ALL SYSTEM COMMUNICATIONS EQUIPMENT, CABLEING AND RELATED MATERIAL SHALL COMPLY WITH BROWARD COUNTY'S LATEST EDITION OF MINIMUM STANDARDS AS EXPRESSED IN THE "STANDARDS AND SPECIFICATIONS - COMMUNICATION INFRASTRUCTURE" DOCUMENT. ALSO REFER TO THE COUNTY'S COMMUNICATIONS PROCEDURES AND POLICES. BROWARD COUNTY TRAFFIC ENGINEERING DIVISION WILL NOT ACCEPT ANY PROJECTS THAT DO NOT MEET THESE STANDARDS AND SPECIFICATIONS. FOR A COPY OF THESE STANDARDS REFER TO BROWARD COUNTY WEB SITE AT WWW.BROWARD.ORG/TRAFFIC UNDER PUBLICATIONS OR CONTACT ROBERT ROBERT, COMMUNICATIONS MANAGER AT RROBERT@BROWARD.ORG.

INCLUDE BROWARD COUNTY TRAFFIC ENGINEERING (ETED) IN ANY NOTICE OF UTILITY OWNERSHIP OR WITHIN A "UTILITY OWNERS/CONTACT PERSON" TABLE AS: BROWARD COUNTY TRAFFIC ENGINEERING 854-887-5745 (FOR SIGNS).

IF FIBER OPTIC PULL BOXES ALREADY EXIST AT AN INTERSECTION, NO ADDITIONAL PULL BOXES WILL BE INSTALLED.

ALL NOTED COMMUNICATIONS CABLE/CONDUIT SHALL BE LOCATED IN A MINIMUM OF 48 HOURS IN ADVANCE.

BROWARD COUNTY TRAFFIC ENGINEERING DIVISION PROCEDURE FOR NOTIFICATION OF COMMUNICATION DISRUPTION

WHEN COMMUNICATIONS TO AN INTERSECTION MUST BE INTERRUPTED BY A CONTRACTOR TO PERFORM WORK, THE CONTRACTOR SHALL PROVIDE AN ADVANCE TWO DAY NOTICE IN WRITING TO THE BROWARD COUNTY TRAFFIC ENGINEERING DIVISION. THIS NOTIFICATION SHALL BE CONVEYED VIA ELECTRONIC MAIL (EMAIL) TO THE COMMUNICATIONS MANAGER AT RROBERT@BROWARD.ORG. NOTIFICATION SHALL INCLUDE CONTACT PERSON, TELEPHONE NUMBER, PURPOSE, LOCATION AND DURATION. THE DISRUPTION SHALL LAST FOR NO MORE THAN 3 CONSECUTIVE BUSINESS DAYS, WHERE POSSIBLE, THE DISRUPTION SHALL BE AT OFF PEAK HOURS BEGINNING AT 8:00AM AND ENDING AT 5:00PM.

UTILITY DEMOLITION NOTES

1. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY SERVICE LINES PRIOR TO START OF CONSTRUCTION AND DETERMINE THE REQUIREMENTS FOR THEIR PROTECTION.
2. THE CONTRACTOR SHALL ARRANGE FOR THE PROPER DISCONNECTION AND CAPPING OF ALL UTILITIES BY THE APPROPRIATE CERTIFIED TECHNICIAN.
3. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND OWNER PRIOR TO DEMOLISHING ANY EXISTING UTILITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL UTILITIES DESIGNATED TO REMAIN AND TO REPAIR ANY DAMAGED UTILITIES.

FAITHWORK NOTES

1. ALL DEMOLITION DEBRIS AND EXCESS MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND DISPOSED OF AT AN APPROVED OFF-SITE LOCATION IN AN APPROVED MANNER, UNLESS OTHERWISE DESIGNATED BY THE OWNER.
2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL DRAIN ROUTES, TO AND FROM THE SITE, FROM ALL REQUIRED AGENCIES/MUNICIPALITIES.



9400 South Oakland Boulevard
Suite 601
Miami, FL 33156
305 / 378 5555
305 / 279 4553 fax

www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 670

SEAL / SIGNATURE



FOR THE FIRM:
NELSON H. ORTIZ
PE-57056 (FPA)
THE REMAINS HEREIN ARE THE PROPERTY OF GRAEF-USA, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM GRAEF-USA, INC.

PROJECT TITLE

THE TERRACES
527 Orch Avenue
Fort Lauderdale, Florida 33304
Folio No. 5042-01-04-0370/0380

LATITUDE GROUP
250 Oran Boulevard
Key Biscayne, Florida 33149

ISSUE

NO.	DATE	REVISIONS	BY
1	1/26/21	DRC REVISION	

PROJECT INFORMATION

PROJECT NUMBER: 2020-7031
DATE: 09-25-20
DRAWN BY: S.D.
CHECKED BY: N.H.O.
APPROVED BY: N.H.O.
SCALE: AS SHOWN

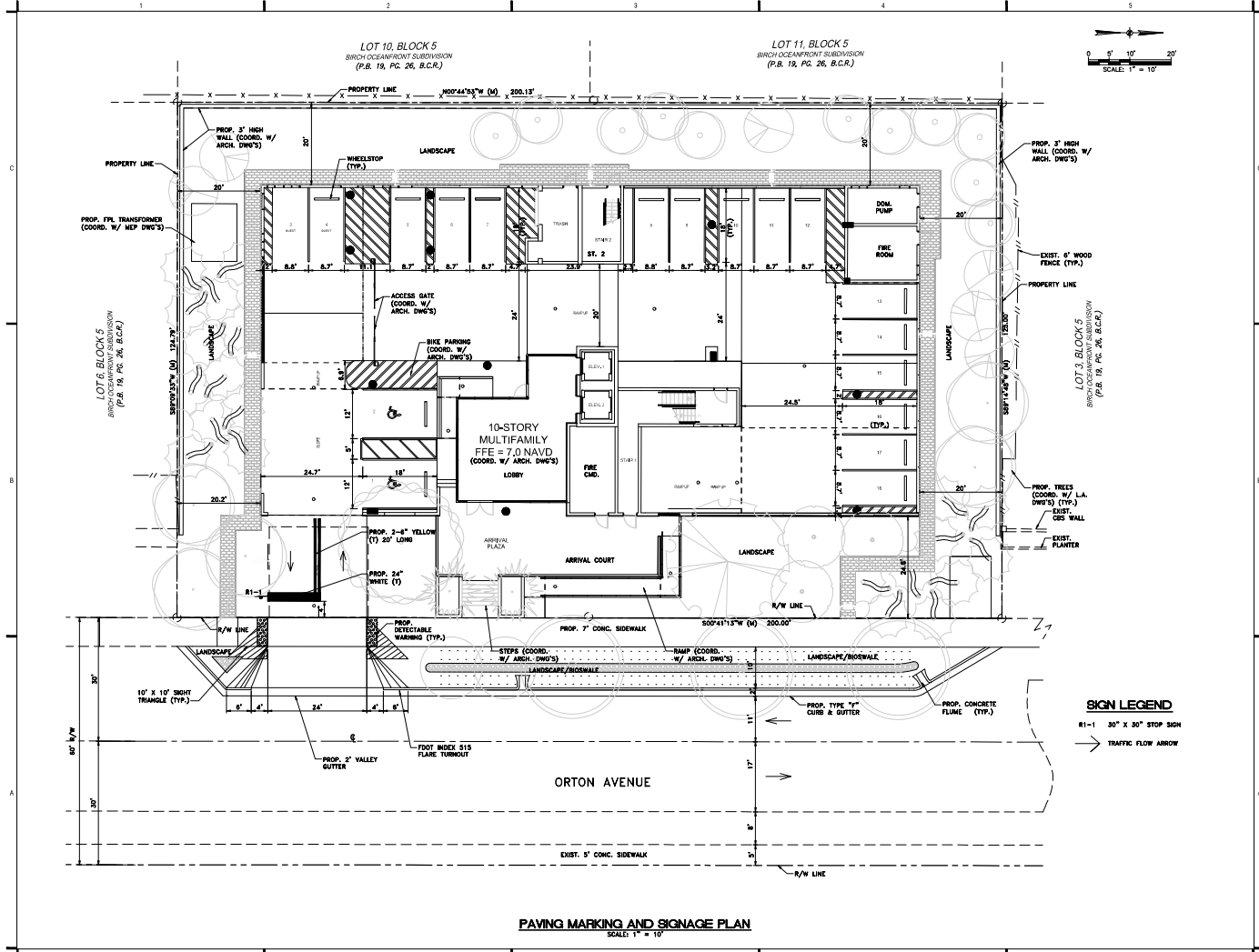
SHEET TITLE

GENERAL NOTES

SHEET NUMBER

C-1

X:\MIA\2020\20207031\Design\Drawings\4_PMS-1
1/26/2021 4:58 PM



9400 South Oakland Boulevard
Suite 601
Miami, FL 33156
305 / 378 5555
305 / 279 4553 fax

www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 6270
SEAL / SIGNATURE



FOR THE FIRM: NELSON H. ORTIZ (P.E.)
FE-57555
THESE PLANS HAVE BEEN REVIEWED AND APPROVED FOR THE PROJECT AND THE DATE OF REVIEW IS AS SHOWN. THE REVIEWER'S SIGNATURE AND SEAL MUST BE PLACED ON THESE PLANS. THE REVIEWER'S SIGNATURE AND SEAL MUST BE PLACED ON THESE PLANS.

PROJECT TITLE

THE TERRACES
527 Orion Avenue
Fort Lauderdale, Florida 33304
Folio No. 5042-01-04-03700380

LATITUDE GROUP
250 Oran Boulevard
Key Biscayne, Florida 33149

ISSUE:
NO. DATE REVISIONS BY
1/26/21 DRC REVISION

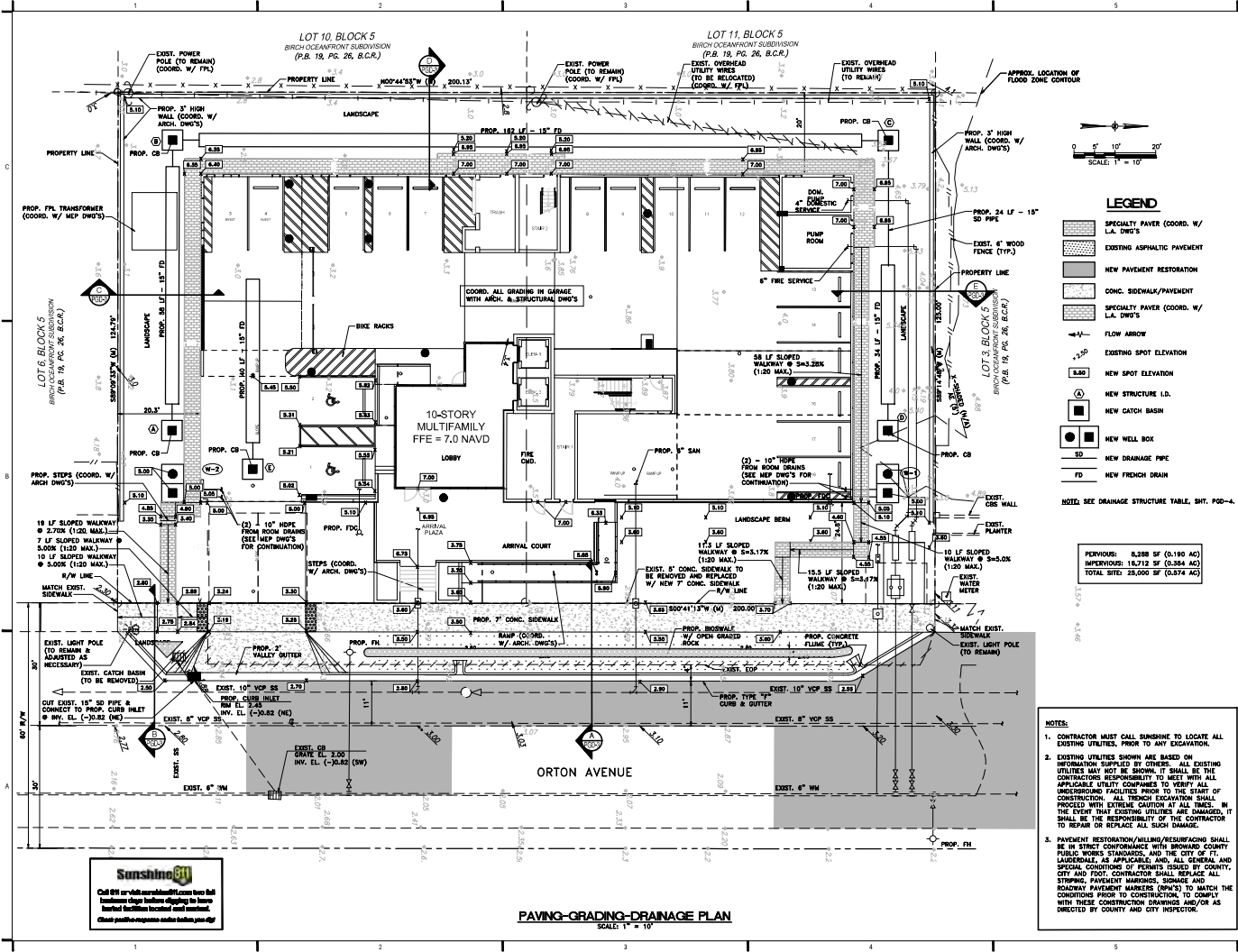
PROJECT INFORMATION
PROJECT NUMBER: 2020-7031
DATE: 09-25-20
DRAWN BY: S.D.
CHECKED BY: N.H.O.
APPROVED BY: N.H.O.
SCALE: AS SHOWN

SHEET TITLE

PAVING MARKING AND SIGNAGE PLAN
SHEET NUMBER

PMS-1

X:\MVA\2020\20207031\Design\Drawings\Final\PGD-1 (Plan).dwg
1/26/2021 4:58 PM



GRaEF
9400 South Oakland Boulevard
Suite 601
Miami, FL 33156
305 / 378 5555
305 / 279 4553 fax

www.graef-usa.com
CERTIFICATE OF AUTHORIZATION NO. 6270
SEAL / SIGNATURE



FOR THE FIRM: NELSON J. ORTIZ (P.E.)
PROJECT TITLE

THE TERRACES
527 Ortiz Avenue
Fort Lauderdale, Florida 33304
Folio No. 5042-01-04-03700380

LATITUDE GROUP
250 Orndorff Boulevard
Key Biscayne, Florida 33149

NO. DATE REVISIONS BY
1/26/21 DRC REVISION

PROJECT INFORMATION
PROJECT NUMBER: 2020-7031
DATE: 09-25-20
DRAWN BY: S.D.
CHECKED BY: N.H.O.
APPROVED BY: N.H.O.
SCALE: AS SHOWN

PAVING-GRADING-DRAINAGE PLAN
SHEET NUMBER

PGD-1

LEGEND

- SPECIALTY PAVEMENT (COORD. W/ L.A. DWG'S)
- EXISTING ASPHALTIC PAVEMENT
- NEW PAVEMENT RESTORATION
- CONC. SIDEWALK/PAVEMENT
- SPECIALTY PAVEMENT (COORD. W/ L.A. DWG'S)
- FLOW ARROW
- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- NEW STRUCTURE I.D.
- NEW CATCH BASIN
- NEW WELL BOX
- SD NEW DRAINAGE PIPE
- FD NEW FRENCH DRAIN

NOTE: SEE DRAINAGE STRUCTURE TABLE, SHY. PGD-4

PERVIOUS: 6,388 SF (0.190 AC)
IMPERVIOUS: 16,712 SF (0.384 AC)
TOTAL SITE: 23,100 SF (0.534 AC)

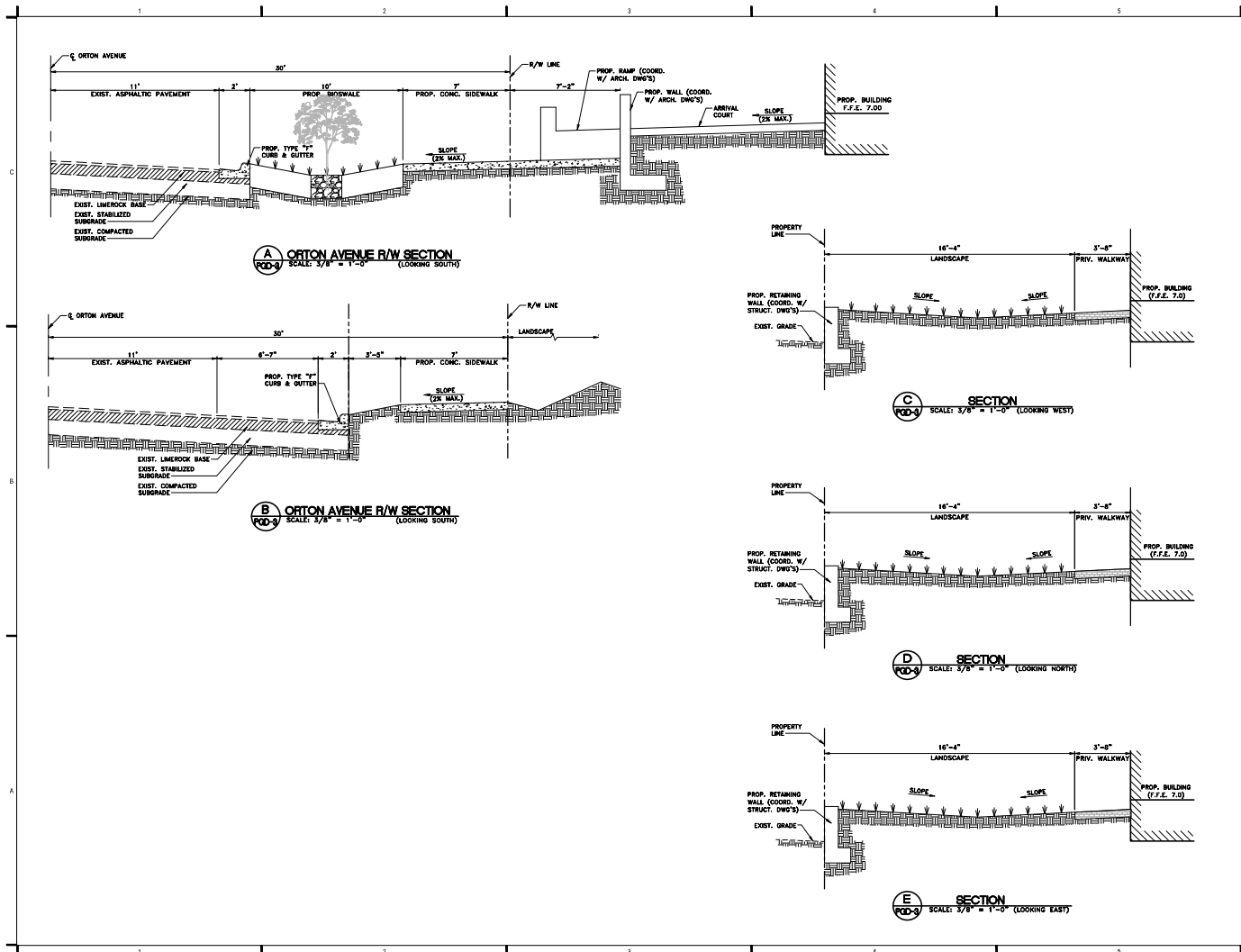
NOTES:

- CONTRACTOR MUST CALL SUNSHINE TO LOCATE ALL EXISTING UTILITIES, PRIOR TO ANY EXCAVATION.
- EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION SUPPLIED BY OTHERS. ALL EXISTING UTILITIES MAY NOT BE SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MEET WITH ALL APPLICABLE UTILITY COMPANIES TO VERIFY ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE ALL SUCH DAMAGE.
- PAVEMENT RESTORATION/WELLS/RESURFACING SHALL BE IN STRICT CONFORMANCE WITH BROWARD COUNTY PUBLIC WORKS STANDARDS, AND THE CITY OF FT. LAUDERDALE, AS APPLICABLE, AND ALL GENERAL AND SPECIAL CONDITIONS OF PERMITS ISSUED BY COUNTY, CITY AND FOOT. CONTRACTOR SHALL REPLACE ALL STORM, PAVEMENT MARKERS, SIGNS AND ROADWAY PAVEMENT MARKERS (RWPM'S) TO MATCH THE CONDITIONS PRIOR TO CONSTRUCTION TO COMPLY WITH THESE CONSTRUCTION DRAWINGS AND/OR AS DIRECTED BY COUNTY AND CITY INSPECTOR.

Sunshine
Call 877 or visit sunshinefl.com for full
business change before applying to have
buried facilities located and marked.
Check your response under business page 02



X:\MVA\2020\20270310\Design\Drawings\Final\Drawings\Final_PG03-3 (Sections Details)
1/29/2021 4:58 PM



9400 South Oakland Boulevard
Suite 601
Miami, FL 33156
305 / 378 5555
305 / 279 4553 fax

www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 4279

SEAL / SIGNATURE



FOR THE FIRM:
REG-5756 NELSON H. ORTIZ
(P.E.)

PROJECT TITLE

THE TERRACES

527 Orton Avenue
Fort Lauderdale, Florida 33304
Folio No. 5042-01-04-03700380

LATITUDE GROUP
250 Crandon Boulevard
Key Biscayne, Florida 33149

ISSUE

NO.	DATE	REVISIONS	BY
1/29/21		DRC REVISION	

PROJECT INFORMATION

PROJECT NUMBER: 2020-7031
DATE: 09-25-20
DRAWN BY: S.D.
CHECKED BY: N.H.O.
APPROVED BY: N.H.O.
SCALE: AS SHOWN

SHEET TITLE

SITE SECTIONS

SHEET NUMBER

PGD-3

WATER SYSTEM NOTES

- PIPE D.I.P.
- DUCTILE IRON WATER MAIN PIPE SHALL CONFORM TO THE REQUIREMENTS OF A.N.S.I./A.W.W.A. C-151/A-21.01-02 AND LINED AND COATED PER A.N.S.I./A.W.W.A. C-16/A-21.01-03, 20" AND SMALLER PIPE SHALL BE PRESSURE CLASS 350, 24" AND LARGER, PIPE SHALL BE PRESSURE CLASS 250.
 - ALL DIP SHALL HAVE ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION AND IT SHALL BE USED ONLY IF AS DETERMINED BY THE DESIGN ENGINEER, BASED ON FIELD CONDITIONS.
 - ALL DIP SHALL BE INSTALLED IN ACCORDANCE WITH A.N.S.I./A.W.W.A. C-600-89, OR LATEST REVISION.
- PIPE P.V.C.
- ALL P.V.C. MAINS SHALL BE SERIES 1120, CLASS 150 (DN 18) PRESSURE PIPE, CONFORMING TO A.N.S.I./A.W.W.A. C-600-87, OR LATEST REVISION, AND SHALL HAVE PUSH ON JOINTS, AND IRON PIPE END.
 - ALL P.V.C. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UMI-BELL PLASTIC PIPE ASSOCIATION'S "GUIDE FOR INSTALLATION OF P.V.C. PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEMS". WATER DISTRIBUTION PIPE SHALL BE OF "BUILT" COLOR. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-355.330 F.A.C. (FLORIDA ADMINISTRATIVE CODES).
 - DETECTOR TAPE ON ALL P.V.C. MAINS SHALL BE INSTALLED 18" ABOVE THE WATER MAIN.
 - ALL P.V.C. MAINS MUST HAVE #8 COPPER WIRE, SINGLE STRAND, PLACED ON TOP OF PIPE, SHALL BE ELECTRICALLY CONTINUOUS OVER THE ENTIRE LENGTH OF THE PIPE, AND FASTENED EVERY 10' WITH A #12 WIRE.
- FITTINGS
- FITTINGS SHALL BE DUCTILE IRON MEETING A.N.S.I./A.W.W.A. C105/21.00 AND SHALL BE COATED WITH 6 TO 8 MIL THICKNESS COAL TAR EPOXY CONFORMING TO THE REQUIREMENTS OF A.N.S.I./A.W.W.A. C200-08 AND C114/A-21.11-00.
 - RESTRAINED JOINT PIPE SHALL BE USED FOR ALL BENDS, TEES, CROSSSES, PLUGS, AND FIRE HYDRANTS. THRUST BLOCKS SHALL NOT BE ALLOWED.
 - ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITER'S LABORATORY FOR 250 P.S.I. MINIMUM WATER PRESSURE RATING.
 - GLANDS SHALL BE CLOW CORPORATION MODEL F-1058, STANDARD FIRE PROTECTION EQUIPMENT COMPANY, OR APPROVED EQUAL.
- VALVES
- TAPPING VALVES SHALL BE MUELLER H&B OR APPROVED EQUAL.
 - TAPPING SLEEVES SHALL BE MUELLER H&B OR APPROVED EQUAL.
 - GATE VALVES 3" OR LESS SHALL BE WISCO T-135 OR T-156 WITH MALLEABLE IRON WHEELS. NO SUBSTITUTIONS ALLOWED.
 - GATE VALVES 4" OR LARGER SHALL MEET A.W.W.A. C-500-02 SPECIFICATION (LATEST REVISION). VALVES SHALL BE MUELLER CO. OR APPROVED EQUAL.
 - ALL VALVES SHALL BE FURNISHED WITH EXTENSION TYPE CAST IRON VALVE BOXES OF PROPER LENGTH FOR PIPE DEPTH. ALL BOXES SHALL CONFORM WITH A.W.W.A. SPECIFICATIONS WITH A SHAFT OF NO LESS THAN 6 INCHES AND HAVE THE WORD "WATER" CAST IN THE COVER. BASE OF VALVE BOX SHALL HAVE A FLARED SECTION TO FIT OVER STUFFING BOX OF VALVE.
- HYDRANTS
- FIRE HYDRANTS SHALL BE BREAKAWAY MUELLER CO. CENTURION MODEL #A-423, OR METROPOLITAN 250 BODY COMPRESSION TYPE F.A.C. OR APPROVED EQUAL.
 - FIRE HYDRANTS SHALL BE INSTALLED WITH THE CENTER OF THE NOZZLE 18" ABOVE FINISHED GRADE.
 - DEAD-END WATER MAINS 6" OR LARGER SHALL TERMINATE WITH A FIRE HYDRANT.
- PLACEMENT
- THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" EXCEPT WHERE SHOWN DIFFERENTLY ON PLANS.
 - A CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED. BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND THE PIPE AS SHOWN ON THE PLANS AND/OR CITY OF FORT LAUDERDALE CONSTRUCTION STANDARDS AND SPECIFICATIONS. SANDY 1/2" HOLES OR STONES LARGER THAN 3/4" DIAMETER FOUND IN THE TRENCH SHALL BE REMOVED FOR A DEPTH OF AT LEAST 6" BELOW THE BOTTOM OF THE PIPE.
 - PIPE DEFLECTION SHALL NOT EXCEED 75% OF THE MAXIMUM DEFLECTION RECOMMENDED BY THE MANUFACTURER.
- SEPARATION
- SANITARY SEWERS AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18" BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.
 - WHERE SANITARY SEWER FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18" VERTICAL SEPARATION, BOTH THE SEWER AND WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6" MUST BE MAINTAINED AT ALL CROSSINGS.
 - A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
 - THE PREFERRED SEPARATION BETWEEN WATER MAINS AND SEWER MAINS SHALL BE 10 FEET. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 6 FOOT HORIZONTAL SEPARATION BETWEEN THE WATER MAINS AND SEWER MAINS, ONE OF THE FOLLOWING CONDITIONS MUST BE MET. THE MINIMUM SEPARATION BETWEEN WATER AND SEWER MAINS SHALL BE 3 FEET.

SEPARATION (CONT'D)

- THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
 - THE SEWER OR FORCE MAIN IS ENCASED IN CONCRETE OR A WATERPROOF CARRIER PIPE.
 - BOTH THE SEWER AND THE WATER MAIN ARE CONSTRUCTED OF PRESSURE PIPE TESTED TO 150 P.S.I.
 - WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18" IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP, WITH A MINIMUM VERTICAL CLEARANCE OF 6". THE WATER MAIN SHOULD BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM THE JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
 - ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIVALENT FROM THE POINT OF CROSSING (PIPS CENTERED ON THE CROSSING).
 - WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 18" VERTICAL CLEARANCE, THE NEW PIPE SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS ABOVE.
- TESTING, DISMANTLING
- PIPE SHALL BE TESTED UNDER CONSTANT PRESSURE OF 150 P.S.I. FOR A MINIMUM TEST PERIOD OF 2 HOURS AND SHALL NOT EXCEED THE LEAKAGE REQUIREMENTS AS PER A.N.S.I./A.W.W.A. SPECIFICATIONS OF C-600-03 LEAKAGE FORMULA:
 $Q = (SD/P)^2 / 148,000$
Q = ALLOWABLE LEAKAGE, IN GALLONS PER HOUR
D = DIAMETER OF THE PIPE TESTED, IN INCHES
S = TOTAL LENGTH OF PIPE TESTED, IN FEET
P = AVERAGE TEST PRESSURE, IN POUNDS PER SQUARE INCH.
 - THE CITY OF FORT LAUDERDALE PUBLIC SERVICES DEPARTMENT WILL TAKE ALL BACTERIOLOGICAL TESTS TO BE SCHEDULED VIA INSPECTOR. IF OTHERWISE SPECIFIED IN CONTRACT DETAILED SPECIFICATION AND/OR AUTHORIZED BY THE ENGINEER OF RECORD. BACTERIOLOGICAL TESTS MAY BE PERFORMED BY A CERTIFIED ENVIRONMENTAL TESTING LABORATORY.
 - DISINFECTION OF MAINS SHALL COMPLY WITH A.N.S.I./A.W.W.A. C-681-08 STANDARD. BACTERIOLOGICAL SAMPLING POINTS SHALL BE DESIGNATED ON THE ENGINEERING PLANS. MINIMUM ONE SAMPLING POINT AT EACH END. MAXIMUM SPACE BETWEEN SAMPLING POINTS IS 1200 FEET.
 - ALL CONNECTIONS TO EXISTING MAINS SHALL BE MADE UNDER THE DIRECTION OF THE CITY OF FORT LAUDERDALE.
 - THERE SHALL BE NO CONNECTION TO AN EXISTING WATER MAIN UNTIL PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN CONDUCTED AND THE RESULTS ARE APPROVED AND ACCEPTED BY THE CITY OF FORT LAUDERDALE.
 - ALL METER SERVICE CONNECTIONS SHALL BE BRONZE FROM PLUG VALVE. NO GATE VALVES ARE TO BE USED (2" OR LESS).
 - SERVICE SADDLES SHALL BE DUCTILE IRON WITH STAINLESS STEEL STRAPS. SADDLES SHALL BE DOUBLE STRAP TYPE. ALL SERVICE SADDLES SHALL CONFORM TO A.N.S.I./A.W.W.A. C 111/A-21.11-00 AND A.S.T.M. A588.
 - ALL SERVICE LINES SHALL BE COPPER TUBING, TYPE "K", OR PLASTICIZED POLYETHYLENE 3408, A.S.T.M. D-2737, S.D.R. 9, 200 P.S.I.



SECTION 01 TOWNSHIP 50 SOUTH RANGE 42 EAST
LOCATION MAP
R.T.S.
FILED NO. 5042-01-04-0180, 5042-01-04-0180

LEGAL DESCRIPTION

LOTS 4 AND 5, BLOCK 5, BIRCH OCEAN FRONT SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 18, PAGE 25, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
Said land lying in Broward County, Florida and contains 25,000 square feet, more or less.

AVERAGE DAILY WATER AND SEWER DEMANDS			
EXISTING		PROPOSED	
WATER:		WATER:	
DOMESTIC: RESIDENTIAL	= 300 GPD	DOMESTIC: FIVE (5) - 3 BEDROOM UNITS	= 1,500 GPD
		THIRTEEN (13) - 4 BEDROOM UNITS	= 5,200 GPD
	TOTAL = 300 GPD	IRRIGATION: 1.5 IN./WEEK	
		PERVIOUS AREA = 0.925 AC = 8,288 SF	
		(1.5 IN./12 IN. x 8,288 SF) x (7.485 GAL/CF) = 1,108 GPD	
			TOTAL = 7,808 GPD
SEWER: RESIDENTIAL		SEWER: DOMESTIC: FIVE (5) - 3 BEDROOM UNITS	= 1,500 GPD
	= 300 GPD	THIRTEEN (13) - 4 BEDROOM UNITS	= 5,200 GPD
	TOTAL = 300 GPD		TOTAL = 6,700 GPD



9400 South Oakland Boulevard
Suite 601
Miami, FL 33156
305 / 378 5555
305 / 279 4553 fax

www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 670

SEAL / SIGNATURE



FOR THE FIRM: NELSON HORITZ (P.E.)
P.E.#57556

PROJECT TITLE

THE TERRACES
527 Orch Avenue
Fort Lauderdale, Florida 33304
Folio No. 5042-01-04-03700380

ISSUE

NO. DATE REVISIONS BY
1/28/21 DRC REVISION

PROJECT INFORMATION

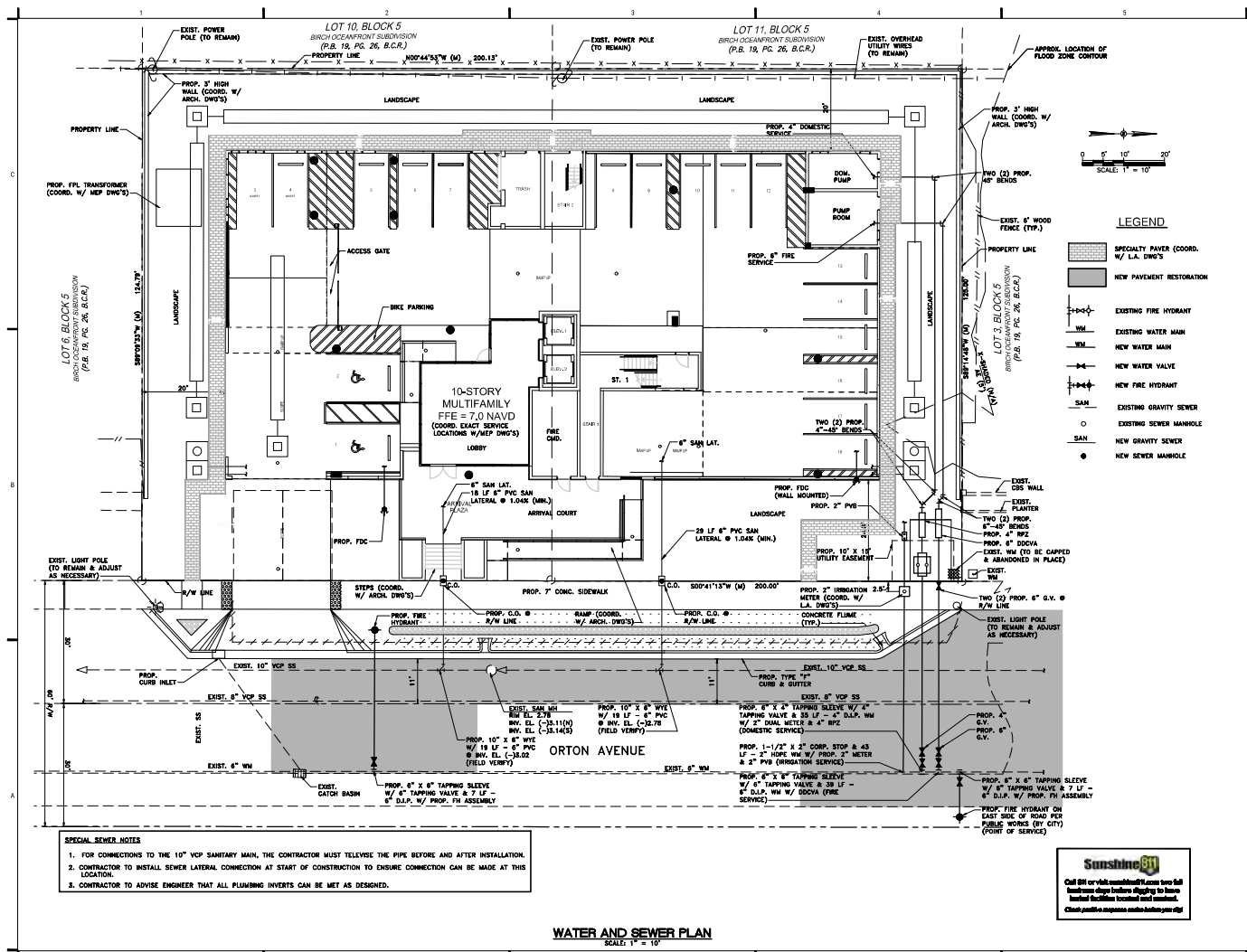
PROJECT NUMBER: 2020-7031
DATE: 09-25-20
DRAWN BY: S.D.
CHECKED BY: N.H.O.
APPROVED BY: N.H.O.
SCALE: AS SHOWN

SHEET TITLE

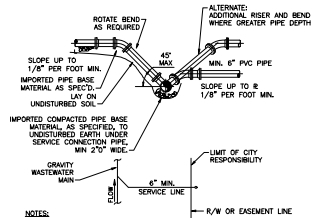
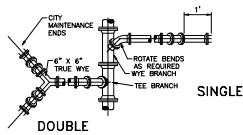
WATER AND SEWER NOTES

SHEET NUMBER

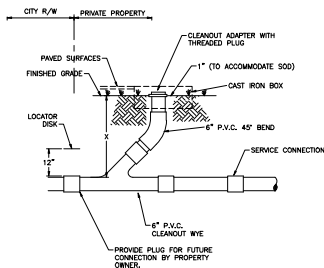
WS-1



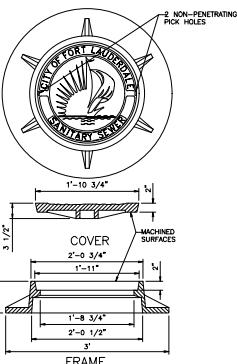




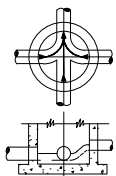
TYPICAL WASTEWATER SERVICE CONNECTION (208)
N.T.S.



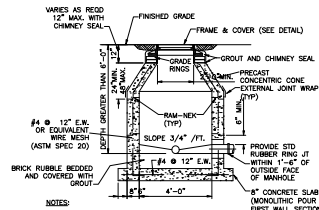
TYPICAL CLEANOUT INSTALLATION (209)
N.T.S.



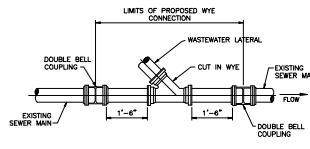
MANHOLE FRAME & COVER-PAVED AREAS (200)
N.T.S.



INVERT FLOW CHANNELS (202)
N.T.S.



STANDARD MANHOLE (203)
N.T.S.



NEW LATERAL ON EXISTING GRAVITY WASTEWATER MAIN (210)
N.T.S.



GR&E

5400 South Dadeland Boulevard
Suite 501
Miami, FL 33156
305 / 378 5555
305 / 279 4553 fax

www.gr&e-usa.com

CERTIFICATE OF AUTHORIZATION NO. 427
SEAL / SIGNATURE



THESE PLANS HAVE BEEN EXAMINED AND FOUND TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BOARD OF PROFESSIONAL ENGINEERS. THE ENGINEER'S SIGNATURE IS REQUIRED ON ALL SHEETS OF THESE PLANS.

FOR THE FIRM: NELSON R. NELSON
PE-57588

PROJECT 11

THE TERRACES
527 Orion Avenue
Fort Lauderdale, Florida 33304
Folio No. 5042-01-04-0370/0380

LATITUDE GROUP
250 Oran Boulevard
Key Biscayne, Florida 33149

NO. DATE REVISIONS
12/8/21 DRC REVISION

PROJECT INFORMATION

PROJECT NUMBER: 2020-7031

DATE: 09-25-20

DRAWN BY: S.D.

CHECKED BY: N.H.O.

APPROVED BY: N.H.O.

SCALE: AS SHOWN

SHEET 11

SEWER DETAILS

SHEET NUM

WS-4

X:\WA\2020\20207031\Design\Drawings\12_SWPPP-1
1/28/2021 4:59 PM

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) NOTES

A. GENERAL NOTES

1. ENVIRONMENTAL CONTROL FEATURES AS PROVIDED IN PLANS ARE TO BE INSTALLED AT ALL AREAS OF EXCAVATION OR FILL FOR DRAINAGE SYSTEM OR STRUCTURE CONSTRUCTION PRIOR TO SUCH EXCAVATION OR FILL. INLET ENTRANCES ARE ALSO TO BE PROTECTED FROM INFLUENCE AS DETAILED IN THE FOOT STANDARDS.
2. ALL ENVIRONMENTAL CONTROL FEATURES ARE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN ACCORDANCE WITH FDOT MPDES REQUIREMENTS. THE CONTRACTOR MUST ENSURE THAT ALL EROSION CONTROL FEATURES FUNCTION PROPERLY AT ALL TIMES.
3. ALL EROSION AND MATERIAL DEPOSITS MUST BE CONTAINED WITHIN THE PROJECT LIMITS.
4. CONTRACTOR'S SUBMITTALS:
THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE FOLLOWING ITEMS TO FDEP IN ORDER FOR THE MPDES PERMIT TO BE PROCESSED:
 - a. IF THIS SWPPP IS ADOPTED BY THE CONTRACTOR, THE SWPPP SHEETS AND OTHER PLAN SHEETS SHALL BE INCLUDED BY REFERENCE IN THE NOTICE OF INTENT (NOI) SUBMITTAL. THE CONTRACTOR MAY ELECT TO SUBMIT A REVISED SWPPP THAT IS IN COMPLIANCE WITH THE STORM WATER REGULATIONS AT 40 C.F.R. (22.240)(1-4) AND STATE WATER QUALITY STANDARDS.
 - b. SIGNED CONTRACTOR CERTIFICATION FORMS (2). THESE FORMS MUST BE SIGNED BY BOTH THE PRIME CONTRACTOR AND SUB-CONTRACTOR (IF APPLICABLE) PERFORMING SOIL-DISTURBING ACTIVITIES.
 - c. HAZARDOUS MATERIAL SPILL CONTROL PLAN.
 - d. STAGING AREAS, STORAGE LOCATIONS AND STABILIZATION PRACTICES.
 - e. BRIDGE CONSTRUCTION METHOD AND SEQUENCING.
 - f. DEMATERING PLAN (IF APPLICABLE).
5. NO SOIL DISTURBING ACTIVITIES CAN BE CONDUCTED UNTIL THE MPDES PACKAGE HAS BEEN MAILED TO THE FDEP. THE CONTRACTOR'S MODIFIED SWPPP MUST ALSO RECEIVE APPROVAL FROM FOOT PERMITS OFFICE PRIOR TO IMPLEMENTATION.
6. DITCH BOTTOM INLETS SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL PROJECT IS COMPLETE. ELEVATION OF GROUND OUTSIDE INLET TOP SHALL NOT BE HIGHER THAN INLET TOP. ROCK BAGS SHALL BE INSTALLED AROUND INLET TOP. COMPLETED INLETS IN PAVED AREAS SHALL ALSO BE PROTECTED WITH ROCK BAGS TO PREVENT SEDIMENT INTAKE FROM OTHER AREAS.
7. CURB INLETS ALSO SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL THE PROJECT IS COMPLETE. ALL FILL, EMBANKMENT AND GRADED AREAS SHALL BE PROTECTED AGAINST EROSION BY METHODS STATED IN "SECTION 604" FOOT STANDARDS SPECIFICATIONS FOR BRIDGE AND ROAD CONSTRUCTION.
8. INSPECTION OF EROSION CONTROL MEASURES AND CONDITION OF ADJACENT PROPERTIES SHALL BE PERFORMED DAILY BY THE CONTRACTOR'S REPRESENTATIVE AND THE PROJECT ENGINEER. DEFICIENCIES SHALL BE NOTED AND CORRECTED.
10. ANY OFFSITE SEDIMENT DISCHARGE TO A MUNICIPAL SEPARATE STORM SEWER SYSTEM ARISING FROM THE CONTRACTOR'S ACTIVITIES SHALL HAVE EROSION CONTROLS PROVIDED FOR THOSE INLETS.
11. THE ADEQUATE LAYER OF ALL CONSTRUCTION ENTRANCE GRAVEL BEDS MUST BE AT LEAST 6 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR LANE AND CROSS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 80 FEET. THE ENTRANCE MUST WIDEN AT ITS CONNECTION TO THE ROADWAY IN ORDER TO ACCOMMODATE THE TURNING RADIUS OF LARGE TRUCKS.

B. SITE DESCRIPTION

1. CONSTRUCTION ACTIVITY:
DRAINAGE AND UTILITY INSTALLATION, BUILDING AND ROAD CONSTRUCTION, LAND DEVELOPMENT.
PROJECT LIMITS:
ORTON AVENUE TO THE EAST, AND PRIVATE PROPERTY TO THE NORTH, SOUTH AND WEST.
PROJECT DESCRIPTION:
LAND DEVELOPMENT AT 537 ORTON AVENUE PROJECT WILL INCLUDE A 6-STORY RESIDENTIAL BUILDING WITH PARKING. THE DRAINAGE SYSTEMS WILL CONSIST OF INTERCONNECTED EXFILTRATION TRENCH AND DRAINAGE WELLS.
2. MAJOR SOIL DISTURBING ACTIVITIES:
CLEARING AND DRUBBING, EXCAVATION FOR STORMWATER FACILITIES AND OTHER UTILITIES, PLACEMENT OF FILL, FOUNDATIONS, AND GRADING FOR RETENTION AREAS.
3. TOTAL PROJECT AREA: 0.574 ACRES
4. LOCATIONS OF ON-SITE DRAINAGE AREAS:
SEE ATTACHED PLAN.
5. THE DRAINAGE SYSTEM FOR THIS PROJECT IS A CLOSED SYSTEM WITH NO DIRECT DISCHARGE TO ADJACENT SURFACE WATERS. HOWEVER, RECEIVING WATERS IN THE EVENT OF A MAJOR STORM EVENT WILL BE THE INTERCOASTAL WATERWAY, LATITUDE AND LONGITUDE 28°07'40.32"N, 80°08'28.64"W.
6. AREA OF DISCHARGE FOR THIS PROJECT IS 0.574 ACRES = 25,000 SQ. YD.
7. SOILS ARE CLASSIFIED AS URBAN LANDS AND QUALITY OF DISCHARGE IS LIKESLOD FILL, PLAT AND SAND.
8. LATITUDE AND LONGITUDE OF DISCHARGE POINT IS NOT APPLICABLE SINCE THIS IS A CLOSED SYSTEM WITH NO DIRECT DISCHARGE TO ADJACENT SURFACE WATERS. HOWEVER, LATITUDE AND LONGITUDE OF THIS PROJECT AS INDICATED IN THE NOI IS 28°07'40.32"N, 80°08'28.61"W AND LATITUDE AND LONGITUDE OF THE INTERCOASTAL WATERWAY IS 28°07'40.52"N, 80°08'28.14"W.

C. CONTROLS

- NARRATIVE - SEQUENCE OF SOIL DISTURBING ACTIVITIES AND IMPLEMENTATION OF CONTROLS.
- CONSTRUCTION OF THE 537 ORTON AVENUE PROJECT WILL INCLUDE A 6-STORY RESIDENTIAL BUILDING WITH PARKING TO BE BOUNDED BY ORTON AVENUE TO THE EAST, AND PRIVATE PROPERTY TO THE NORTH, SOUTH, AND WEST. THE DRAINAGE SYSTEM WILL INCLUDE EXFILTRATION TRENCH AND DRAINAGE WELLS.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES, ALL EROSION CONTROLS MUST BE IMPLEMENTED.
- TEMPORARY STABILIZATION:
DISTURBED PORTIONS OF THE SITE (E.G. EMBANKMENT AT TEMPORARY RAMPS) WHERE CONSTRUCTION ACTIVITY CEASES FOR AT LEAST 21 DAYS, SHALL BE STABILIZED WITH TEMPORARY SOO OR TEMPORARY SEEDING AND MULCHING NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
- PERMANENT STABILIZATION:
DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY PERMANENTLY CEASES SHALL BE STABILIZED WITH SOO NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.
1. EROSION AND SEDIMENT CONTROLS:
 - (1) STABILIZATION PRACTICES:
 - X TEMPORARY SOOING
 - X TEMPORARY GRASSING
 - X PERMANENT SOOING, SEEDING OR SEED & MULCH
 - X TEMPORARY MULCHING
 - X ARTIFICIAL COVERING
 - X BUFFER ZONES
 - X PRESERVATION OF NATURAL RESOURCES
 - OTHER:
 - (2) STRUCTURAL PRACTICES:
 - X SAND BAGGING
 - X ROCK BAGS
 - X ROPS
 - X DIVERSION, INTERCEPTOR, OR PERIMETER DITCHES
 - X BMP SLOPE GRASS
 - X FLUMES
 - X ROCK BEDDING AT CONSTRUCTION EXIT
 - X THUNDER BEDDING AT CONSTRUCTION EXIT
 - X DITCH LINER
 - X SEDIMENT TRAPS (DURING DE-WATERING)
 - X SEDIMENT BASINS
 - X STORM INLET SEDIMENT TRAP
 - X STONE OUTLET STRUCTURES
 - X STORM DRAIN OUTLET
 - X CURBS AND DITCHES
 - X TURBOGY TURNER
 2. DESCRIPTION OF STORM WATER MANAGEMENT:
THE STORMWATER MANAGEMENT SYSTEM CONSISTS OF CATCH BASINS AND STORM SEWERS THAT CONVEY STORMWATER INTO THE EXFILTRATION TRENCHES THAT TREAT THE WATER QUALITY REQUIREMENTS AND THE DRAINAGE WELLS FOR WATER QUANTITY REQUIREMENTS.
 3. OTHER CONTROLS:
 - (1) WASTE DISPOSAL:
IN APPROVED OFFSITE AREAS PROVIDED BY THE CONTRACTOR.
 - (2) OFFSITE VEHICLE TRACKING:
 - X WASH RINSE DUMPED FOR DUST CONTROL
 - X LOADED TRAIL TRUCKS TO BE COVERED WITH TARP/AULIN
 - X EXCESS DIRT ON ROAD REDUCED DAILY
 - X STABILIZED CONSTRUCTION ENTRANCE
 - OTHER:
 - (3) SANITARY WASTE:
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NECESSARY OR AS REQUIRED BY LOCAL REGULATION OF A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.
 - (4) FERTILIZERS AND PESTICIDES:
FERTILIZER TO BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER MUST BE WORKED INTO THE SOIL TO AVOID EXPOSURE TO STORMWATER. IF STORED ON-SITE, STORAGE WILL BE IN COVERED SHED. THE CONTENT OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEPARATE PLASTIC BIN TO AVOID SPILLS.
 - (5) NON-STORM WATER DISCHARGE (INCLUDING SPILL REPORTING)
THE CONTRACTOR IS RESPONSIBLE FOR REPORTING SPILLS TO THE BROWARD COUNTY ENGINEERING DEPARTMENT (BCE), IF CONTAMINATED SOIL OR GROUNDWATER IS ENCOUNTERED OR HAZARDOUS SPILLS OCCUR DURING CONSTRUCTION, THE BROWARD COUNTY ENGINEERING DEPARTMENT (BCE) SHALL BE CONTACTED.
 - DEMATERING ACTIVITIES IS NOT ANTICIPATED FOR THIS PROJECT. IN THE EVENT THAT DEMATERING IS REQUIRED, THE CONTRACTOR MUST SECURE THE REQUIRED DEMATERING PERMITS FROM THE BROWARD COUNTY ENVIRONMENTAL PROTECTION DEPARTMENT AND THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT.
 4. APPROVED STATE, LOCAL PLANS, OR STORM WATER PERMITS:
CITY OF FT. LAUDERDALE AND BROWARD COUNTY ENGINEERING DEPARTMENT.
 - D. MAINTENANCE
 - ITEM:
 - SILT FENCE
 - ROCK BAGS
 - MAINTENANCE:
ALL CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES DURING CONSTRUCTION.
IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF BEING NOTED IN CONTRACTOR'S DAILY INSPECTION REPORT.
 - CONSTRUCTION ENTRANCE GRAVEL BED
WHEN THE CONSTRUCTION ENTRANCE GRAVEL BEDS BECOME LOADED WITH SEDIMENTS, NEWER BEDS TO DISPLACE SEDIMENT LOAD AND RE-ESTABLISH EFFECTIVENESS OF THE GRAVEL BEDS.
 - E. INSPECTION
THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL FEATURES AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5" OR GREATER. IN ADDITION, A DAILY REVIEW OF THE LOCATION OF SILT FENCES SHALL BE MADE IN AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CHANGED THE NATURAL CORTION AND DRAINAGE RUNOFF. IN ORDER TO INSURE THAT SILT FENCES AND OTHER EROSION CONTROL DEVICES ARE PROPERLY LOCATED FOR EFFECTIVENESS, A FORM ACCEPTABLE TO THE FDEP WILL BE USED TO REPORT ALL INSPECTION FINDINGS AND CORRECTIVE ACTIONS TAKEN AS A RESULT OF THE INSPECTION. EACH INSPECTION REPORT SHALL BE SIGNED AND SUBMITTED WEEKLY TO THE PROJECT ENGINEER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF BEING NOTED IN CONTRACTOR'S INSPECTION REPORT.



LEGAL DESCRIPTION

LOTS 4 AND 5, BLOCK 5, BROWN OCEAN FRONT SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 18, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAND LAND LYING IN BROWARD COUNTY, FLORIDA AND CONTAINS 25,000 SQUARE FEET, MORE OR LESS.

PERMIT SET
NEEDED OR LOCATED AT ALL
TIMES DURING CONSTRUCTION

MATERIALS
ALL MATERIALS AND INSTALLATIONS
WITHIN THE PUBLIC RIGHT OF WAY OR
EASEMENTS SHALL BE IN ACCORDANCE WITH
BROWARD COUNTY HIGHWAY CONSTRUCTION
AND ENGINEERING DEPARTMENT SPECIFICATIONS.

NOTICE INSPECTION
REQUIRED
24 HOURS PRIOR TO COMMENCING ANY WORK IN
THE PUBLIC RIGHT OF WAY CONTACT THE
BROWARD COUNTY HIGHWAY CONSTRUCTION
AND ENGINEERING DEPARTMENT AT (954) 671-4800
FOR INSPECTION.

NOTE
APPROVAL OF THIS PLAN DOES NOT
CONSTITUTE A PERMIT FOR CONSTRUCTION.
A PERMIT FOR CONSTRUCTION MUST BE
OBTAINED FROM THE BROWARD COUNTY
HIGHWAY CONSTRUCTION AND ENGINEERING
DIVISION PRIOR TO COMMENCED
CONSTRUCTION IN THE PUBLIC RIGHT OF WAY.

BROWARD COUNTY HIGHWAY CONSTRUCTION
AND ENGINEERING DIVISION

- ☐ PLAN CONSENT
WITH PLAT REQUIREMENTS
- ☐ PUBLIC RIGHT OF WAY APPROVAL
FOR PAVING, GRADING AND DRAINAGE
- BY: _____ DATE: _____
DOES NOT INCLUDE APPROVAL
OF PAVEMENT, MARKINGS & SIGNS



9400 South Oakland Boulevard
Suite 601
Miami, FL 33156
305 / 378 5555
305 / 279 4553 fax

www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 6270

SEAL / SIGNATURE



FOR THE FIRM: NELSON H. ORTIZ (P.E.)
FE-15756

PROJECT TITLE

THE TERRACES
537 Orton Avenue
Fort Lauderdale, Florida 33304
Folio No. 5042-01-04-0370/0380

LATITUDE GROUP
250 Orandon Boulevard
Key Biscayne, Florida 33149

ISSUE

NO. DATE REVISIONS BY
1/28/21 DRC REVISION

PROJECT INFORMATION

PROJECT NUMBER: 2020-7031
DATE: 09-25-20
DRAWN BY: S.D.
CHECKED BY: N.H.O.
APPROVED BY: N.H.O.
SCALE: AS SHOWN

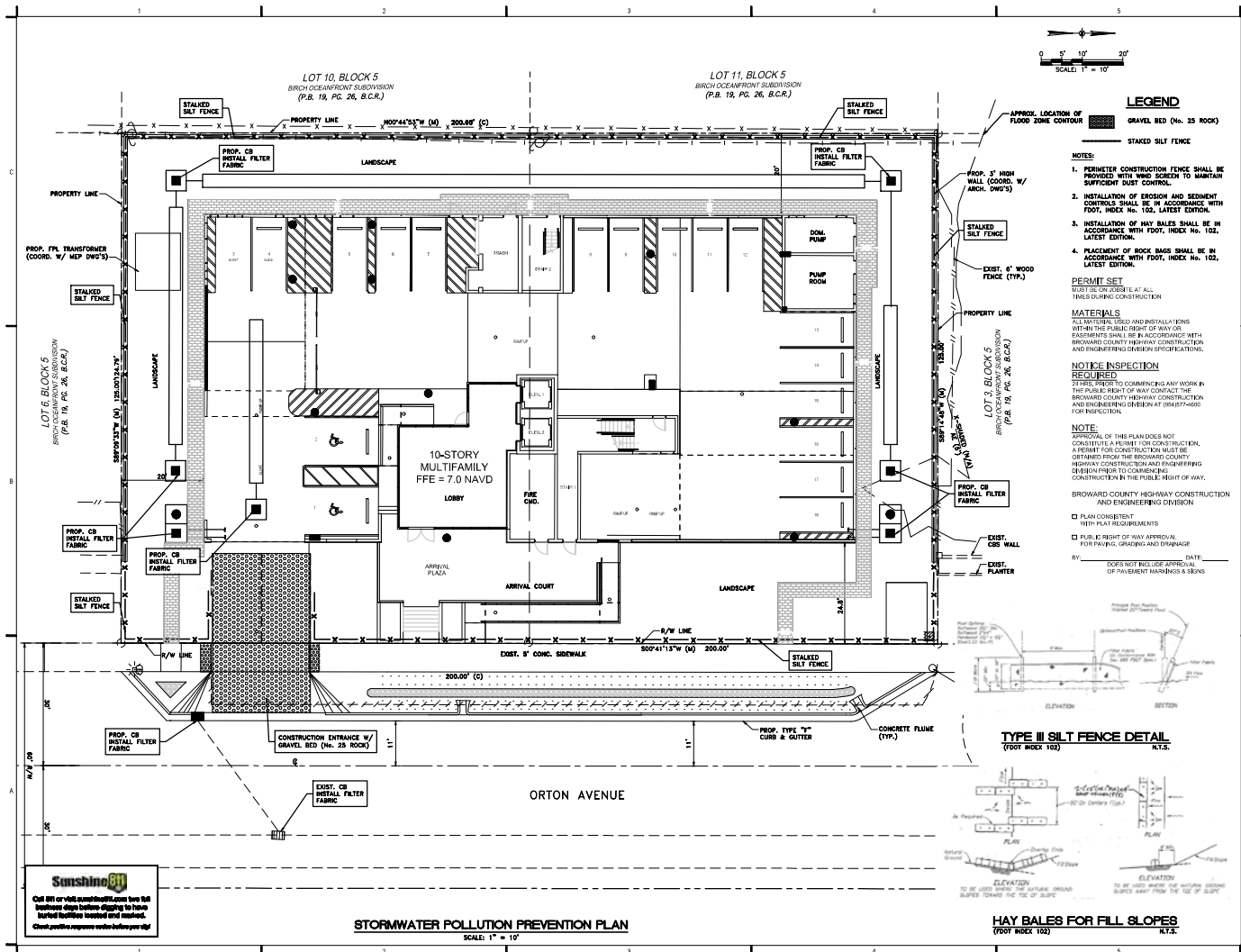
SHEET TITLE

STORMWATER POLLUTION
PREVENTION NOTES

SHEET NUMBER

SWPPP-1

X:\MIA\2020\20207031\Design\Drawings\3_SWPPP-2
1/29/2021 5:00 PM



GRaEF
9400 South Dadeland Boulevard
Suite 501
Miami, FL 33156
305 / 378 5555
305 / 279 4553 fax
www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 4270
SEAL / SIGNATURE

FOR THE FIRM: NELSON H. ORTIZ (CIVIL)
PE-51595

PROJECT TITLE
THE TERRACES
527 Orion Avenue
Fort Lauderdale, Florida 33304
Folio No. 5042-01-04-03700380

LATITUDE GROUP
250 Oran Boulevard
Key Biscayne, Florida 33149

ISSUE
NO. DATE REVISIONS BY
1/29/21 DRC REVISION

PROJECT INFORMATION
PROJECT NUMBER: 2020-7031
DATE: 09-25-20
DRAWN BY: S.D.
CHECKED BY: N.H.O.
APPROVED BY: N.H.O.
SCALE: AS SHOWN

SHEET TITLE
STORMWATER POLLUTION PREVENTION PLAN
SHEET NUMBER

SWPPP-2



9400 South Oakland Boulevard
Suite 601
Miami, FL 33156
305 / 378 5555
305 / 279 4553 fax

www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 6279
SEAL / SIGNATURE



PROJECT
THE TERRACES
327 Orion Avenue
Fort Lauderdale, Florida 33304
Folio No. 5042-01-044-03700380

FOR THE FIRM: NELSON PLORTZ (CHA)
FE575756

PROJECT TITLE

THE TERRACES
327 Orion Avenue
Fort Lauderdale, Florida 33304
Folio No. 5042-01-044-03700380

LATITUDE GROUP
250 Oran Boulevard
Key Biscayne, Florida 33149

ISSUE
NO. DATE REVISIONS BY

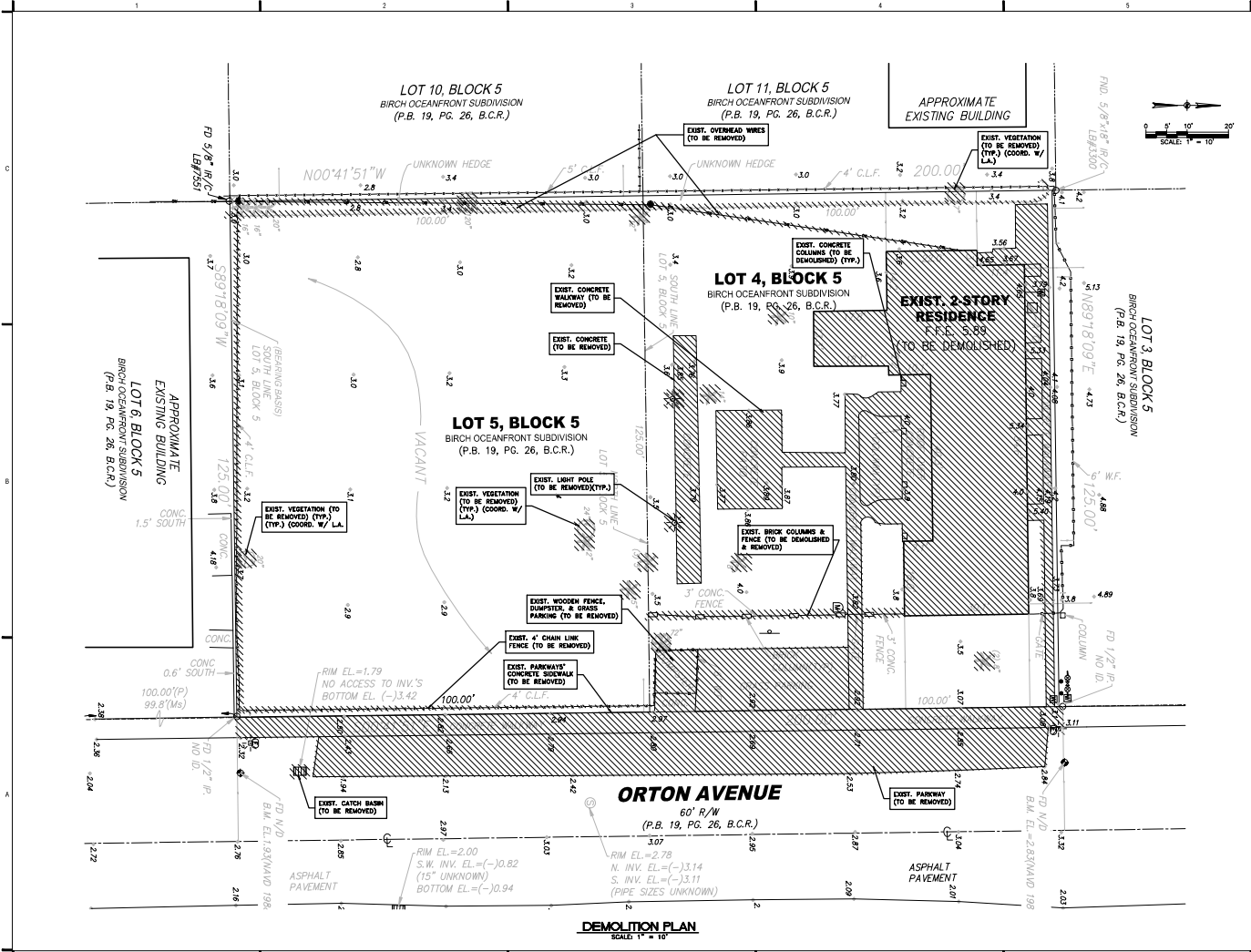
PROJECT INFORMATION
PROJECT NUMBER: 2020-7031
DATE: 09-25-20
DRAWN BY: S.D.
CHECKED BY: N.H.O.
APPROVED BY: N.H.O.
SCALE: AS SHOWN

SHEET TITLE

DEMOLITION PLAN

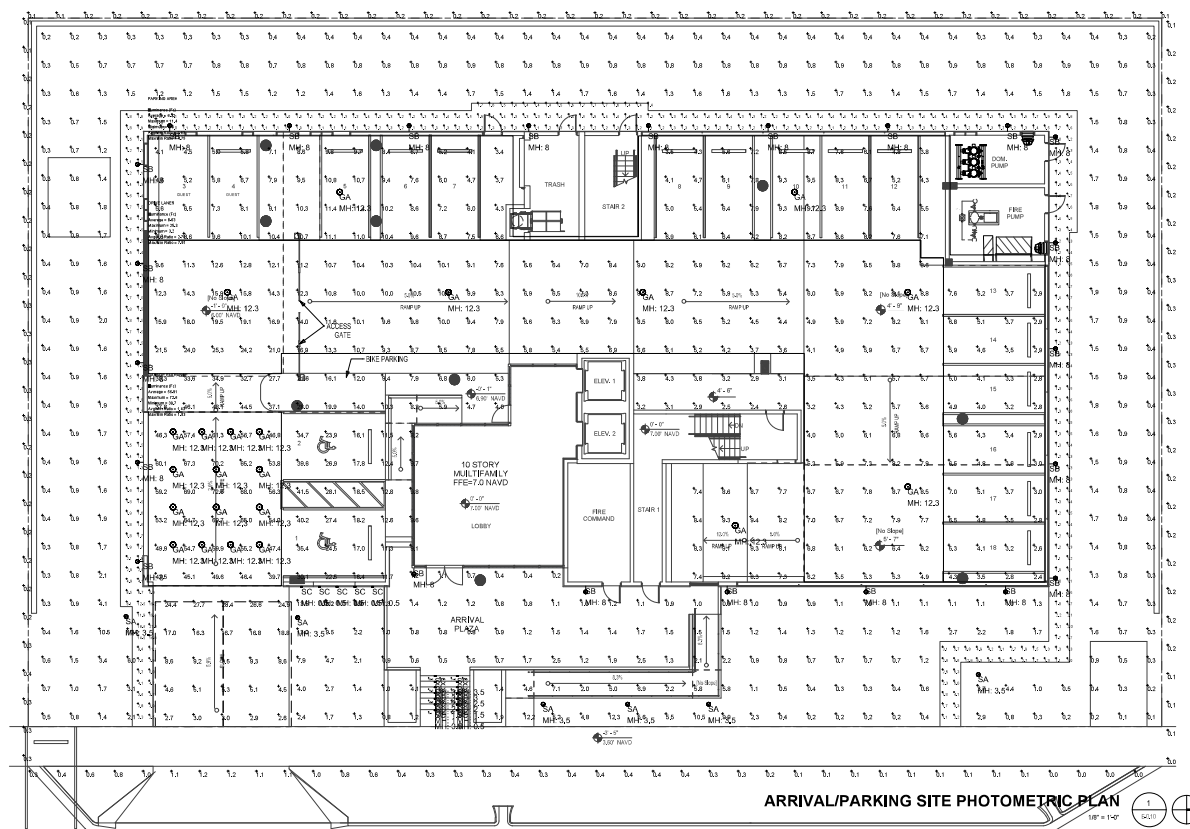
SHEET NUMBER

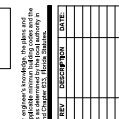
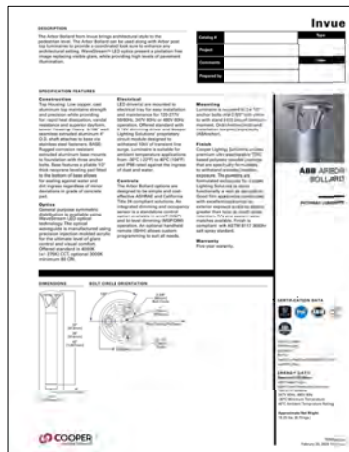
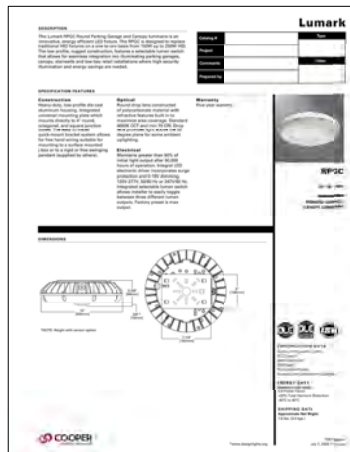
D-1



X:\MIA\2020\20207031\Design\Drawings\CL-1
1/15/2021 5:07 PM

Calculation Summary		Calc Type	Units	Aug	Aug	Max	Min	Avg/Min	Max/Min
INROAD	W	W	ft	1,158	781	218	218	2.16	2.16
ENTERING VOLUMES		W	ft	1,256	215	1.8	2.08	21.53	
PLAZA STRESS		W	ft	267.9	261.1	6.6	6.22	12.33	
PROPERTY LINE - EAST		W	ft	12.9	0.0	0.0	0.0	12.9	
PROPERTY LINE - NORTH		W	ft	6.19	0.2	0.1	1.80	2.00	
PROPERTY LINE - WEST		W	ft	1.3	0.0	0.0	0.0	1.3	
PROPERTY LINE - SOUTH		W	ft	0.25	0.4	0.1	2.30	4.0	
DEP		W	ft	1.41	13.5	5.1	16.0	196.30	
DEP		W	ft	26.3	3.3	3.2	2.70	18.0	
GRASSWAY ENTRANCE		W	ft	0.631	7.26	36.7	1.43	1.45	
GRASSWAY ENTRANCE		W	ft	0.63	7.26	36.7	1.43	1.45	

[illegible]



To the best of the architect's or engineer's knowledge, the plans and specifications comply with the applicable minimum building codes and the

GS4 studios

1200 Broadview Avenue
Arlington Heights, IL 60017-7000
Tel: 847/399-7000
Fax: 847/399-7000
E-mail: info@broadview.com

PROPOSED DRC 12/14/2020

LIGHTING FIXTURE

THE TERRACES

ORTON PLACE, LLC

GARCIA S TROMBERG

[illegible]

1200 Broadview Avenue
Arlington Heights, IL 60017-7000
Tel: 847/399-7000
Fax: 847/399-7000
E-mail: info@broadview.com