

Trisha Logan

From: Trisha Logan
Sent: Wednesday, September 09, 2020 10:01 AM
To: Melody Renne
Subject: RE: [-EXTERNAL-] SBHD Survey

Good Morning, Melody.

Thank you for your feedback – this will be shared with the Historic Preservation Board, Planning and Zoning Board, and City Commission once this proposal is scheduled for each respective public hearing.

The properties located at 1490 W. Broward Blvd and 1500 W. Broward Blvd (lots 1-4) are identified as a Non-contributing Properties in the Architectural Resource Survey; however 27 SW 15th Terrace is identified as a Contributing Property. Identification of properties as either Contributing or Non-Contributing was conducted through a thorough analysis as part of the Architectural Resource Survey Update of the Sailboat Bend Historic District. For more information, please take a look at the Architectural Resource Survey Update report and other information available on our website: <https://www.fortlauderdale.gov/departments/sustainable-development/urban-design-and-planning/historic-preservation/sailboat-bend-historic-district>

If you have any additional questions or comments at this time, please let me know.
Regards,

Trisha Logan, AICP | Historic Preservation Planner | Historic Preservation Board Liaison
City of Fort Lauderdale | Urban Design and Planning Division
700 NW 19th Avenue | Fort Lauderdale FL 33311
P: (954) 828-7101 E: tlogan@fortlauderdale.gov



From: Melody Renne <melody@sevensesyachtsales.com>
Sent: Wednesday, September 02, 2020 3:35 PM
To: Trisha Logan <TLogan@fortlauderdale.gov>
Subject: [-EXTERNAL-] SBHD Survey

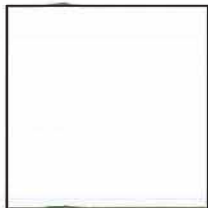
Hi Trisha,

We would prefer the SBHD use non-contributing on certain buildings in the neighborhood so homeowners can easily update their non-contributing property.

We own:
1490 W. Broward Blvd
1500 W. Broward Blvd (lots 1-5)
27 SW 15th Terrace

Thanks,

Melody Renne



Seven Seas Yacht Sales, Inc.

1500 W. Broward Blvd

Fort Lauderdale, FL 33312

B 954-463-8143

C 954-325-9789

F 954-463-6411

www.SevenSeasYachtSales.com

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Trisha Logan

From: Trisha Logan
Sent: Wednesday, September 09, 2020 2:53 PM
To: Bernard Petreccia
Subject: RE: [-EXTERNAL-] SBHD 11 SW Palm Ave.
Attachments: DOC090920.pdf

Good Afternoon, Bernie.

The proposal for the adjustment of the boundary for the Sailboat Bend Historic District is not moving forward through the public hearing process. Attached is a letter from Anthony Fajardo, the Director of the Department of Sustainable Development, that you received earlier today. This letter is in response to your letter to Vice-Mayor Glassman which is also similar to the communication that you sent to me.

For your comment regarding traffic, you may want to reach out to the Transportation and Mobility Division. General inquiries about Transportation Division plans, programs projects, policies, or initiatives, call 954-828-4TAM (4826) or email transportation@fortlauderdale.gov.

If you have any additional questions at this time, please let me know.
Regards,

Trisha Logan, AICP | Historic Preservation Planner | Historic Preservation Board Liaison
City of Fort Lauderdale | Urban Design and Planning Division

700 NW 19th Avenue | Fort Lauderdale FL 33311

P: (954) 828-7101 E: tlogan@fortlauderdale.gov



From: Bernard Petreccia <bernie2p@gmail.com>
Sent: Wednesday, September 02, 2020 5:25 PM
To: Trisha Logan <TLogan@fortlauderdale.gov>
Subject: [-EXTERNAL-] SBHD 11 SW Palm Ave.

Trisha:

Attached letter identifies the reason we are requesting to return the North Boundary of SBHD back to 2nd Street as it was originally set in 1988.

The City has not put enough emphasis on the traffic between I-95 and Downtown Fort Lauderdale.

During rush-hours the traffic through SBHD is overwhelming and needs to be curbed.

The Planning department and the City Commission need to address the Broward Corridor.

Should you have any questions, please do not hesitate to e-mail or call me.

Bernie

(954-701-4100)

Bernard (Bernie) Petreccia
11SW11, LLC
4900 N. Ocean Drive Suite 716
Lauderdale by the Sea, Florida, 33308
Bernie2n@gmail.com (954) 701-4100

Sent via e-mail: tlogan@fortlauderdale.gov

September 2, 2020

Trisha Logan, Historic Preservation Planner
City of Fort Lauderdale
700 NW 19th Ave.
Fort Lauderdale, Florida 33311

Subject: Sailboat Bend Historic District. (SBHD)

Following is the feedback and recommendations that we wish you to consider. Attached is the supporting materials.

Please review the attached "Sailboat Bend Historic District Background".

Figure 1- Original Historic District Boundaries (1988). The SBHD north boundary is on SW 2nd Ave.

When the DDA was established, the planning department established Broward Blvd. Corridor as the main entrance to Downtown Fort Lauderdale from I-95, the AMTRAK Rail Station and the Florida Turnpike. The Broward Corridor was to include a people mover.

In 1992 the City Commission, under Ordinance No.C-92-49, changed the North boundary of the SBHD to Broward Blvd. as it is today. This decision did not take into consideration the Broward Boulevard Corridor, the Kennedy Residences and the Police Station.

As a result of the lack of planning the SBHD is inundated with traffic during rush hour. The Broward Blvd Corridor is the major entry to Downtown Ft. Lauderdale and must be planned accordingly.

We are the owners of the property at 11 SW Palm Ave., which borders onto the properties of Broward Blvd. Our property is on the very small city block between the Police Station to the West, the Kennedy Property to the East, Broward Blvd. to the North and 1st street to the south.

We are asking that our property be excluded from the SBHD. We strongly recommend that the SBHD boundary be moved back to 2nd Street, as originally defined in 1988.

If you wish to meet and discuss further, please do not hesitate to call me.


Bernie

III. SAILBOAT BEND HISTORIC DISTRICT BACKGROUND

The SBHD was created in 1988 by action of the City Commission with boundaries that encompassed the lower Southeast corner of the current district. These original boundaries included the New River boundary to the south, SW 2nd Street to the north, SW 11th Avenue to the west, and SW 7th Avenue to the east.

The 1985 Survey

This original 1988 designation was sought by the "Historic Committee" of the Sailboat Bend Civic Association that was formed in 1986 in response to an Architectural and Historical Survey of Fort Lauderdale: Original Town Limits that was compiled by Historic Property Associates in 1985. Within the acknowledgements of this survey report, the author credits "the persistence and hard work of residents and organization of that [Fort Lauderdale's] community..."¹



Figure 1: Original Historic District Boundaries (1988)²

As part of the 1985 survey, the original Sailboat Bend Historic District was identified as an area eligible for local designation, providing the following description:

Bryan Subdivision Area located immediately to the west of the current historic district, this section of Fort Lauderdale, in addition to the New River Inn area, is one of the most historically and architecturally significant early twentieth century mixed use neighborhoods within the original city limits. Not only was it one of the first to develop, it also contains the best and most extensive collection of Boom-period Mediterranean Revival architecture in the survey area. Bryan Subdivision area is roughly bounded by West Broward Boulevard, the New River, Southwest 5th Avenue, and Southwest 9th Avenue.

The 1991 Survey

Between 1989 through 1991, a study of Sailboat Bend was conducted through a Neighborhood Master Plan program by planning consultant Duany Plater-Zyberk (DPZ) who were hired by the Sailboat Bend Civic Association. This study covered a larger area using the New River boundary to the west and to the south, West Broward Boulevard to the north and Southwest 7th Avenue to the East with the intent to "analyze the district and recommend new zoning which would address the needs of the community."³ A summary report of this study was prepared in 1991 by the Historic District Committee and Land Use/Zoning Subcommittee of the Neighborhood Master Plan Committee of the Sailboat Bend Civic Association entitled the "Sailboat Bend Historic District Study" (SBHD Study).

¹ Historic Property Associates. "Architectural and Historical Survey of Fort Lauderdale: Original Town Limits." St. Augustine, Florida. 1985.

² Sheridan, Terry. "Sailboat Bend Fort Lauderdale Birthplace Reborn." *The Miami Herald*, Miami, Florida. January 13, 1991. Section J, Page 1.

³ "Sailboat Bend Historic District Study." Historic District Committee and Land Use/Zoning Subcommittee of the Neighborhood Master Plan Committee of the Sailboat Bend Civic Association, 1991.

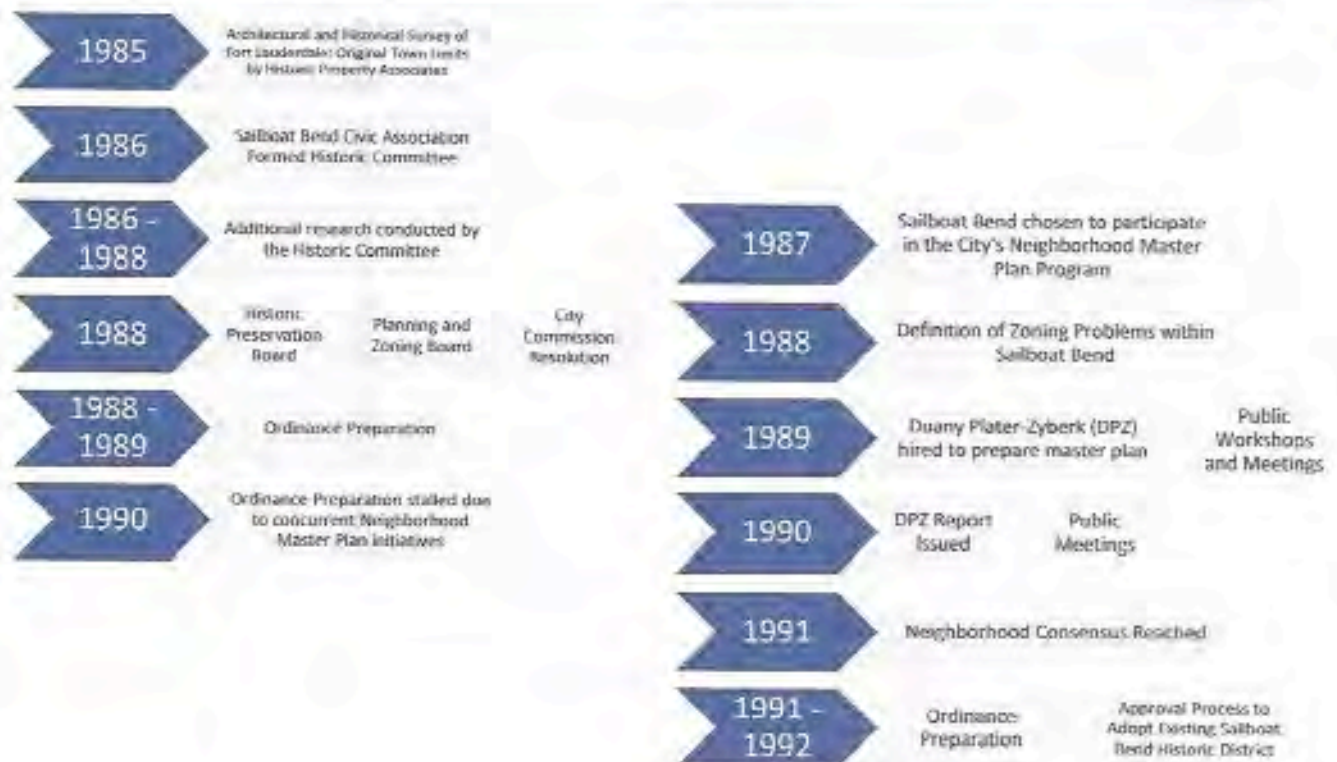
Within the SBHD Study, structures built prior to 1940 were identified as the most significant to the district. A caveat was included stating that if a structure was built later, (specifically in the 1940s-1950s) it could be considered "significant" if it had "appearance" of those in the previous decade. The SBHD Study states: "we have chosen the date of 1940 because the Second World War interrupted development, and structures built during the post-war development boom are markedly different from those of the pre-war years." The 1940 date also marked a period of time for properties that were 50-years and older, a common method of defining a historic context and establishing a period of significance.



Figure 2: Current Sailboat Bend Historic District Boundary

The study's Statement of Significance was, in part, that, "Sailboat Bend is the oldest extant working-class community in Fort Lauderdale, perhaps in South Florida, with the majority of pre-1940 residences dating from 1900-1925..." The SBHD and its now current boundaries were approved by the City Commission in 1992 under Ordinance No. C-92-49. In approving the SBHD, the City Commission found that the application and documentation submitted, which included the SBHD Study, met the criteria for its designation as a historic district.

TIMELINE FOR ADOPTION OF THE SAILBOAT BEND HISTORIC DISTRICT



CAM #21-0432
Exhibit 14
Page 7 of 109

Exhibit 14

Page 7 of 109



August 31, 2020

Bernie and Rita Petreccia
4900 North Ocean Dr., Unit 716
Lauderdale-By-The-Sea, Florida 33308

Re: 11 SW 11th Avenue, Sailboat Bend Historic District

Dear Mr. and Mrs. Petreccia,

Vice-Mayor Glassman forwarded your letter to me concerning your comments on the modification to the boundary of the Sailboat Bend Historic District (SBHD).

An Architectural Resource Survey of the SBHD was conducted to provide updates to the historic district which initially included two proposals. The first proposal was for a modification to the existing boundary lines of the SBHD and the second proposal for the assignment of "Contributing" or "Non-Contributing" status to each property within the historic district as well as updates to the ordinance.

The initial proposal for the modifications to the existing boundary lines of the SBHD was heard by the Historic Preservation Board (HPB) on January 6, 2020, for their recommendation to the City Commission. The HPB recommended denial of the proposed modification to the boundary and sent a Communication to the City Commission which was heard at the January 21, 2020, City Commission Conference Meeting. At that meeting, the City Commission gave direction to staff to not move forward with the modification to the boundary of the SBHD and the item did not move forward to the Planning and Zoning Board.

The second proposal for assignment of "Contributing" or "Non-Contributing" status to each property within the Sailboat Bend Historic District and proposed amendments to Unified Land Development Regulations is now available for review and we invite you to submit your feedback.

You can find the draft documents related to this second proposal on our website by entering the following address into your web browser:

<https://tinyurl.com/SBHDDUpdates>

If you have any additional questions at this time, please contact Trisha Logan, Historic Preservation Planner, at tlogan@fortlauderdale.gov or 954.828.7101.

Sincerely,

Anthony Greg Fajardo, Director
Department of Sustainable Development



Trisha Logan

From: Trisha Logan
Sent: Thursday, October 01, 2020 10:51 AM
To: bernie2p@gmail.com
Subject: RE: [-EXTERNAL-] SBHD Architectural Resource Survey
Attachments: DOC090920.pdf

Good Morning, Bernard.

Thank you for your feedback – this will be shared with the Historic Preservation Board, Planning and Zoning Board, and City Commission once this proposal is scheduled for each respective public hearing. You are also welcome to attend each of these public hearings to share your feedback.

As previously mentioned - the proposal for the adjustment of the boundary for the Sailboat Bend Historic District is not moving forward through the public hearing process. Attached is a letter from Anthony Fajardo, the Director of the Department of Sustainable Development, that you received a few weeks ago.

If you would like to discuss further, please let me know.
Regards,

Trisha Logan, AICP | Historic Preservation Planner | Historic Preservation Board Liaison
City of Fort Lauderdale | Urban Design and Planning Division
700 NW 19th Avenue | Fort Lauderdale FL 33311
P: (954) 828-7101 E: tlogan@fortlauderdale.gov



From: fortlauderdale@enotify.visioninternet.com <fortlauderdale@enotify.visioninternet.com>
Sent: Saturday, September 26, 2020 9:51 AM
To: Trisha Logan <TLogan@fortlauderdale.gov>
Subject: [-EXTERNAL-] SBHD Architectural Resource Survey

A new entry to a form/survey has been submitted.

Form Name: SBHD Architectural Resource Survey
Date & Time: September 26, 2020 9:51 AM
Response #: 7
Submitter ID: 47284
IP address: 2600:1700:19d0:edb0:9c45:6824:285b:feee
Time to complete: 30 min. , 53 sec.

Survey Details

Page 1

1. Contact Info

Name Bernard Petreccia
Email bernie2p@gmail.com
Phone Number (954) 701-4100

2. Property address or addresses in Sailboat Bend that you own or rent

Address(es):
11 SW Palm Ave., Ft. Lauderdale, FL.,

3. Feedback

Provide any feedback or comments on the proposed assignment of "Contributing" and "Non-Contributing" status for each property:

11 SW Palm Avenue has been assigned a contributing status because one of the original structures was built in the 1920's.

Provide any feedback or comments on the proposed updates to the Unified Land Development Regulations:

There are two structures on the site spaced about 50 feet apart.

Both buildings were in such disrepair that they were totally rebuilt, maintaining the same architecture, in 2012/2013.

This property abuts to the properties on Broward Blvd and should be included in the re-development of the properties on Broward Blvd.

11SW Palm Ave., is the only property between SW 1st Street and Broward Blvd. included in the SBHD.

We are requesting that this property be excluded from the SBHD.

Provide any general feedback or comments on the proposed updates:

Broward Blvd. between SW 11 Ave and 12 Ave needs major cleaning up and development. 11 Palm Ave., the property in question, abuts the properties on Broward Blvd.

The City of Fort Lauderdale is updating the Sailboat Bend Historic District therefore it's an opportune time, with a minor modification, to exclude this property from the SBHD.

We are requesting that the SBHD boundary be relocated from the centerline of Broward Blvd to the centerline of SW 1st street.

4. Would you like staff to contact you?

(o) Yes

5. Preferred method of contact

(o) Email

6. Attach Files (Optional)

File #1

File #2

Thank you,
City of Fort Lauderdale, FL

This is an automated message generated by the Vision Content Management System™. Please do not reply directly to this email.

Trisha Logan

From: Trisha Logan
Sent: Tuesday, September 15, 2020 3:26 PM
To: 'ruthclarke222@bellsouth.net'
Cc: Christopher Cooper
Subject: RE: [-EXTERNAL-] SBHD Architectural Resource Survey - 1504 Argyle Drive
Attachments: 1504 Argyle Drive - Architectural Integrity.pdf

Good Afternoon, Dr. Clarke.

Thank you again for providing the additional information concerning past alterations at your property.

After further research and review, the two additions to the front façade of the residence detract from the original design intent and architectural characteristics of the residence, and the original architectural elements are no longer recognizable. This property has lost its architectural integrity through the following two additions:

- 2004 addition of a new bedroom, bath, porch and entry attached at an angle on the street-side elevation of the house.
- 2009 demolition of the existing carport and new construction of a one-story, two-car garage and a den within the main section of the house.

For further information, please see the attached documentation showing the comparison between the original drawings of the residence and the recent additions to the front elevation.

The proposed status of this property will be changed from "Contributing" to "Non-Contributing" in the final draft of the Architectural Resource Survey Update report and within the supporting documentation.

If you have any additional questions at this time, please let me know.

Regards,

Trisha Logan, AICP | Historic Preservation Planner | Historic Preservation Board Liaison

City of Fort Lauderdale | Urban Design and Planning Division

700 NW 19th Avenue | Fort Lauderdale FL 33311

P: (954) 828-7101 E: tlogan@fortlauderdale.gov



From: Trisha Logan
Sent: Wednesday, September 09, 2020 9:44 AM
To: ruthclarke222@bellsouth.net
Subject: RE: [-EXTERNAL-] SBHD Architectural Resource Survey

Good Morning, Dr. Clarke.

Thank you for your feedback. I will review the information you provided and will provide you with a response within the next week.

Regards,

Trisha Logan, AICP | Historic Preservation Planner | Historic Preservation Board Liaison



From: fortlauderdale@enotify.visioninternet.com <fortlauderdale@enotify.visioninternet.com>
Sent: Monday, September 07, 2020 2:28 PM
To: Trisha Logan <TLogan@fortlauderdale.gov>
Subject: [-EXTERNAL-] SBHD Architectural Resource Survey

A new entry to a form/survey has been submitted.

Form Name: SBHD Architectural Resource Survey
Date & Time: September 07, 2020 2:28 PM
Response #: 4
Submitter ID: 46105
IP address: 2600:1702:1f20:e780:a5d3:8668:9f94:55ef
Time to complete: 17 min. , 13 sec.

Survey Details

Page 1

1. Contact Info

Name Ruth Clarke
Email ruthclarke222@bellsouth.net
Phone Number (954) 593-8845

2. Property address or addresses in Sailboat Bend that you own or rent

Address(es):
1504 Argyle Drive

3. Feedback

Provide any feedback or comments on the proposed assignment of "Contributing" and "Non-Contributing" status for each property:

The property is designated as contributing due to the 50-year standard. However additions to the entire front of the house, including the garage [2009], front room [2004], and back of house porch [2019] have completely changed the appearance and character of the house. Permits are available for these additions. There is no significant architectural style.

I petition to have my house designated as non-contributing.

I do not have copies of the plans online but you can look up the permits on the City website to confirm.

My neighbors at 1512 and 1516 have both had additions in front "Garage built-in front; Loss of Integrity" and are defined as non-contributing. Both have identified architects as well.

Site Number: 15

Address: 1512 Argyle DR

Status: Non Contributing

Folio Number: 504209180130

Year Built: 1958

Architect: George B. Cunningham

Architectural Style: None

Altered: Garage built in front; Loss of Integrity

Provide any feedback or comments on the proposed updates to the Unified Land Development Regulations:

Not answered

Provide any general feedback or comments on the proposed updates:

Not answered

4. Would you like staff to contact you?

(o) Yes

5. Preferred method of contact

(o) Email

6. Attach Files (Optional)

File #1

[COO.pdf](#)

File #2

[Clarke A-1 site.pdf](#)

Thank you,
City of Fort Lauderdale, FL

This is an automated message generated by the Vision Content Management System™. Please do not reply directly to this email.

1504 Argyle Drive

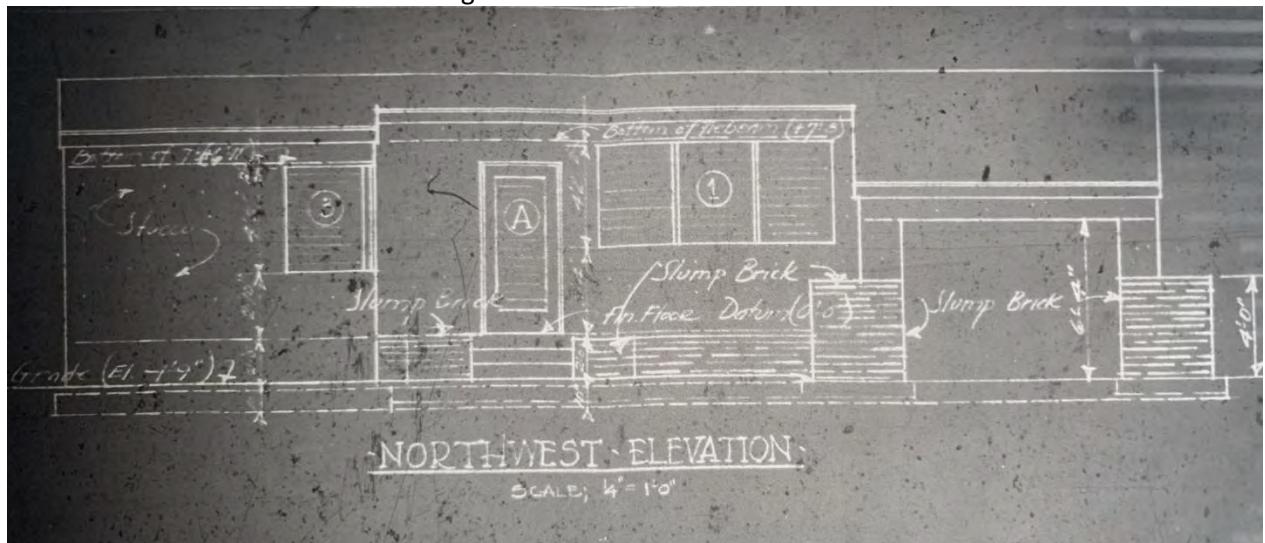
Date of Construction: 1952

Architect: Theodore Meyer

This property has undergone two additions to the front façade of the residence which detract from the original design intent and architectural characteristics which are no longer recognizable. This property has lost its architectural integrity through the following two additions:

- 2004 addition of a new bedroom, bath, porch and entry attached at an angle on the street-side elevation of the house.
- 2009 demolition of the existing carport and new construction of a one-story, two-car garage and a den within the main section of the house.

These modifications are evident through the illustrations below:



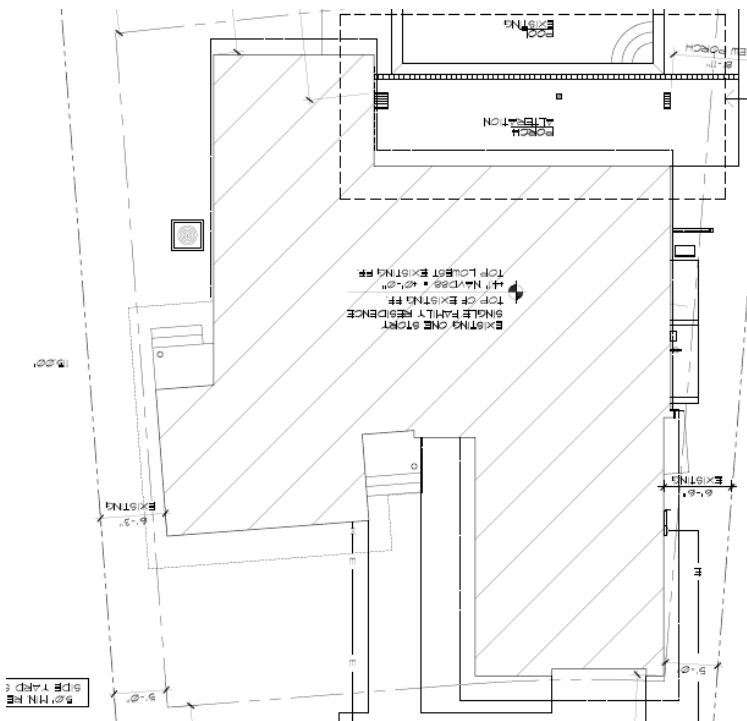
Original Front Elevation – 1952 Permit



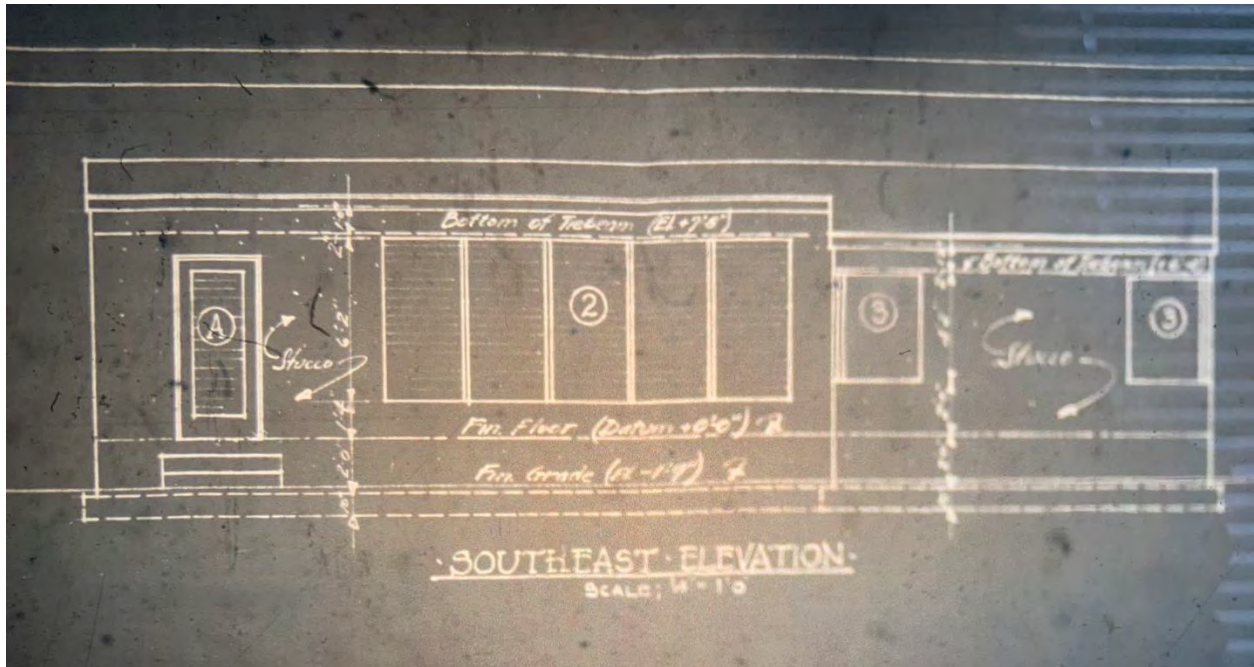
Current Photo of Front Elevation



Original Floor Plan – 1952 Permit



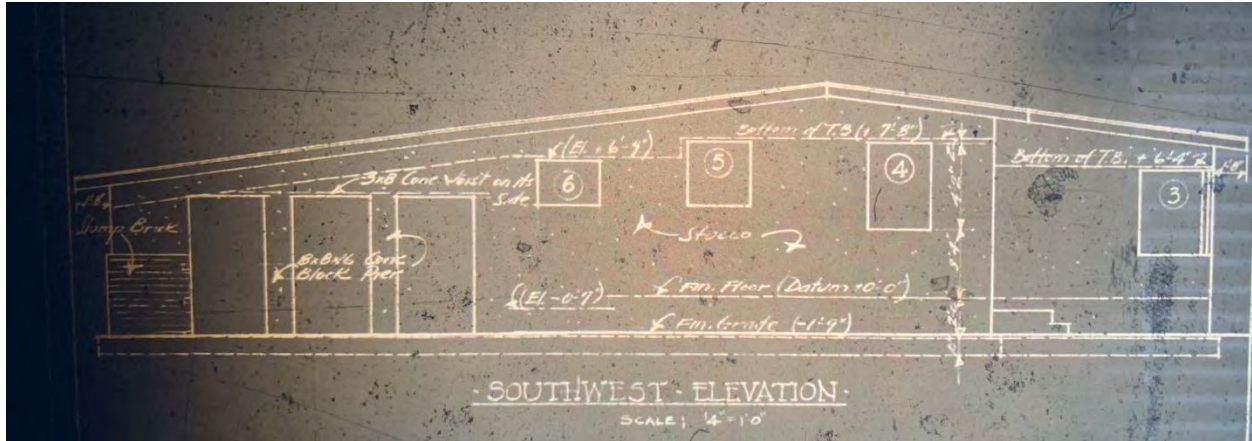
Current Building Footprint



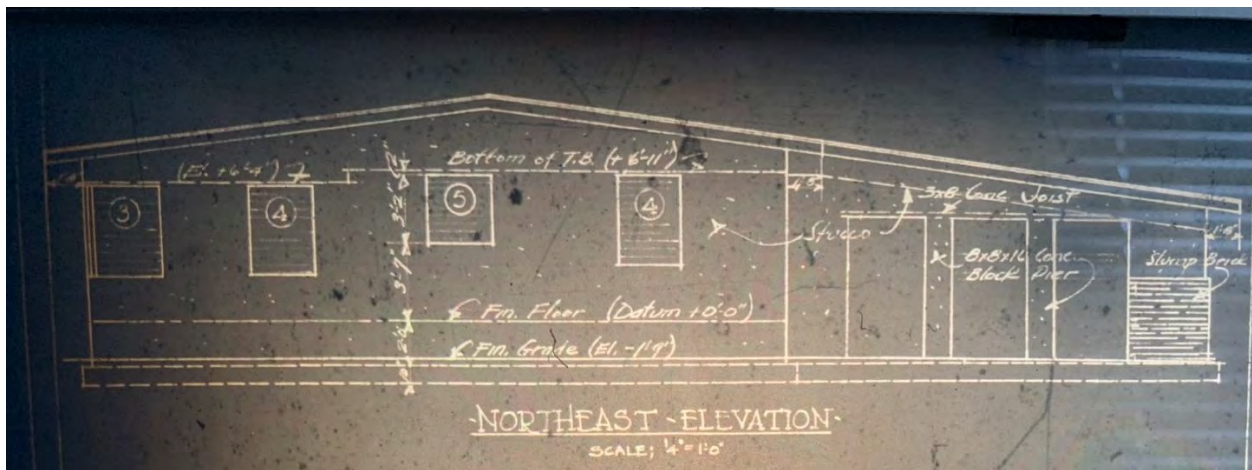
Original Rear Elevation – 1952 Permit



Current Photo of Rear Elevation



Original Side Elevation – 1952 Permit



Original Side Elevation – 1952 Permit

Trisha Logan

From: Trisha Logan
Sent: Friday, September 18, 2020 5:04 PM
To: fscott404@aol.com
Cc: Dean Trantalis; Steven Glassman; Anthony Fajardo; Christopher Cooper
Subject: RE: [-EXTERNAL-] SBHD Architectural Resource Survey - 408 SW 9th Avenue

Good Afternoon, Frank.

Thank you for your email. The draft Architectural Resource Survey Update Report was prepared by myself and Ellen Ugucioni, Historic Preservation Consultant with History Fort Lauderdale. We both meet and exceed the Secretary of the Interior's Professional Qualifications Standards for professionals in Architectural History.

Sailboat Bend is an existing Historic District that was approved by the City Commission in 1992 under Ordinance No. C-92-49. You can read more about the background of the district and the efforts of the community to designate the district [here](#). Moving forward, adoption of the proposed changes to the existing historic district would need to go through multiple public hearings which include going before the Historic Preservation Board, the Planning and Zoning Board, and the City Commission. This process is further outlined within the survey report [here](#).

The timeline that has been set forth for consideration of this proposal includes the current preliminary review that is currently open to all members of the public which is available until October 25th and then the proposal would move through the following steps in this order:

- Historic Preservation Board in December 2020/January 2021
- Planning and Zoning Board in January/February 2021
- City Commission in February/March 2021

As mentioned above, the review of this proposal goes through several public hearings and as such the process and the ability to comment is open to all members of the public – whether or not they are property owners.

Regards,

Trisha Logan, AICP | Historic Preservation Planner | Historic Preservation Board Liaison
City of Fort Lauderdale | Urban Design and Planning Division
700 NW 19th Avenue | Fort Lauderdale FL 33311
P: (954) 828-7101 E: tlogan@fortlauderdale.gov



From: fscott404@aol.com <fscott404@aol.com>
Sent: Thursday, September 17, 2020 4:06 PM
To: Trisha Logan <TLogan@fortlauderdale.gov>
Cc: fscott404@aol.com; Dean Trantalis <DTrantalis@fortlauderdale.gov>; Steven Glassman <SGlassman@fortlauderdale.gov>
Subject: Re: [-EXTERNAL-] SBHD Architectural Resource Survey - 408 SW 9th Avenue

Hi Trisha,

Thank you for your response.

Regarding the process the city takes to define "someone else's property" to be historic, is there a council or board of people making this decision? (what group of experts create the Architectural Resource Survey?).

It seems to me the contributing architectural style you outline in your e mail is nothing unique and is similar to thousands and thousands of other duplexes in South Florida.

Also I strongly request that this whole process be postponed due to the challenges created by COVID-19. As a property owner whose use of the property is being affected, I need to have the time and resources to represent my interests. Will you consider delaying this process (if that is not your decision then who should I talk to)?

My other question I asked is: are renters opinions being considered in this process? If so why, as they have no financial interest in the outcome.

I look forward to your response,

Frank Scott

CC: Mayor Dean Trantalis
Vice Mayor Steve Glassman

Frank Scott
FRANK SCOTT GROUP
Broker Associate - Gala Real Estate Services
997 E. Oakland Park Blvd.
Oakland Park, Florida 33334
954-552-8229

This e mail and any attachments are not guaranteed or warranted for accuracy

-----Original Message-----

From: Trisha Logan <TLogan@fortlauderdale.gov>
To: fscott404@aol.com <fscott404@aol.com>
Sent: Thu, Sep 17, 2020 11:15 am
Subject: RE: [-EXTERNAL-] SBHD Architectural Resource Survey - 408 SW 9th Avenue

Good Morning, Frank.

Thank you for your feedback – this will be shared with the Historic Preservation Board, Planning and Zoning Board, and City Commission once this proposal is scheduled for each respective public hearing. You are also welcome to attend each of these public hearings to share your feedback.

The property located at 408 SW 9th Avenue has been identified as a contributing property in the draft of the Architectural Resource Survey. The property fits within the criteria for evaluation as a contributing structure since it fits within the historic context due to its date of construction (1957), its architectural style - Masonry Vernacular, and the fact that it is a residential property type. Additionally the property's architectural integrity remains intact and has the following distinguishing architectural features – low hipped roof with prominent deep eaves, asymmetrical front façade that is further accentuated through the multi-level roof plan, a L-shaped plan that creates a niched raised entryway for access to both units, decorative metal porch support, and the slump brick planter that lines the front elevation.

Identification of properties as either Contributing or Non-Contributing was conducted through a thorough analysis as part of the Architectural Resource Survey Update of the Sailboat Bend Historic District. For more information, please take a look at the Architectural Resource Survey Update report and other information available on our website: <https://www.fortlauderdale.gov/departments/sustainable-development/urban-design-and-planning/historic-preservation/sailboat-bend-historic-district>

If you have any additional questions or comments at this time, please let me know.
Regards,

Trisha Logan, AICP | Historic Preservation Planner | Historic Preservation Board Liaison
City of Fort Lauderdale | Urban Design and Planning Division
700 NW 19th Avenue | Fort Lauderdale FL 33311
P: (954) 828-7101 E: tlogan@fortlauderdale.gov

From: fortlauderdale@enotify.visioninternet.com <fortlauderdale@enotify.visioninternet.com>
Sent: Tuesday, September 15, 2020 3:42 PM
To: Trisha Logan <TLogan@fortlauderdale.gov>
Subject: [-EXTERNAL-] SBHD Architectural Resource Survey

A new entry to a form/survey has been submitted.

Form Name: SBHD Architectural Resource Survey
Date & Time: September 15, 2020 3:41 PM
Response #: 5
Submitter ID: 46718
IP address: 75.74.190.143
Time to complete: 20 min. , 46 sec.

Survey Details

Page 1

1. Contact Info

Name Frank Scott
Email fscott404@aol.com
Phone Number (954) 552-8229

2. Property address or addresses in Sailboat Bend that you own or rent

Address(es):
408 SW 9th Ave
Fort Lauderdale, FL 33315

OWNER

3. Feedback

Provide any feedback or comments on the proposed assignment of "Contributing" and "Non-Contributing" status for each property:

Dear Trisha,

I believe my property is NON Contributing as the only feature it has according to your definition of contributing is that it was built in 1957. Otherwise it has no distinguishing characteristics that would cause it to be unique or representative of a certain time period. Furthermore, it has been modified in the past including new architectural features, window replacements and enclosures.

When I purchased this property I was informed that my property would NOT be considered of historical value as it was not built before 1940 and has no unique historical features or values.

Please confirm that my property will NOT be considered contributing.

Best Regards,

Frank Scott

Provide any feedback or comments on the proposed updates to the Unified Land Development Regulations:

Not answered

Provide any general feedback or comments on the proposed updates:

QUESTION: Are renters' opinions being considered in this process?

4. Would you like staff to contact you?

☐ Yes

5. Preferred method of contact

☐ Email

6. Attach Files (Optional)

File #1

File #2

Thank you,
City of Fort Lauderdale, FL

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Trisha Logan

From: Trisha Logan
Sent: Monday, September 21, 2020 1:55 PM
To: gcarbonell@gjcarch.com
Subject: RE: [-EXTERNAL-] SBHD Architectural Resource Survey

Good Afternoon, Gus.

Thank you for your feedback – this will be shared with the Historic Preservation Board, Planning and Zoning Board, and City Commission once this proposal is scheduled for each respective public hearing. You are also welcome to attend each of these public hearings to share your feedback.

Over the last few years there have been multiple updates to the Historic Preservation program which include updates to the main historic preservation ordinance to provide a more streamlined process and allow for additional items to be reviewed and approved at an administrative level. Additionally, several new incentives have been incorporated or are currently proposed. These amendments are outlined and listed in further detail on the main historic preservation page: <https://www.fortlauderdale.gov/departments/sustainable-development/urban-design-and-planning/historic-preservation>

At this time, updates that are proposed specifically for the Sailboat Bend Historic District aim to streamline and add a certain level of confidence to processes. Within the next week, the proposed text amendments will be available to view here:

<https://www.fortlauderdale.gov/departments/sustainable-development/urban-design-and-planning/historic-preservation/sailboat-bend-historic-district/sbhd-proposed-ordinance-updates>

If you would like to discuss further, please let me know.
Regards,

Trisha Logan, AICP | Historic Preservation Planner | Historic Preservation Board Liaison
City of Fort Lauderdale | Urban Design and Planning Division
700 NW 19th Avenue | Fort Lauderdale FL 33311
P: (954) 828-7101 E: tlogan@fortlauderdale.gov



From: fortlauderdale@enotify.visioninternet.com <fortlauderdale@enotify.visioninternet.com>
Sent: Friday, September 18, 2020 6:30 PM
To: Trisha Logan <TLogan@fortlauderdale.gov>
Subject: [-EXTERNAL-] SBHD Architectural Resource Survey

A new entry to a form/survey has been submitted.

Form Name: SBHD Architectural Resource Survey
Date & Time: September 18, 2020 6:29 PM
Response #: 6
Submitter ID: 46931
IP address: 96.92.17.178

Survey Details

Page 1

1. Contact Info

Name Gustavo J. Carbonell
Email gcarbonell@gjcarch.com
Phone Number (954) 494-4248

2. Property address or addresses in Sailboat Bend that you own or rent

Address(es):
320-322 SW 7TH AVE

3. Feedback

Provide any feedback or comments on the proposed assignment of "Contributing" and "Non-Contributing" status for each property:

I agree that my property is non contributing, it was hugely altered when I purchased it many years ago with texture 111 modern siding, flat roof with overhangs and zero architectural detailing or style. It was completely transformed into a Mission Style but recent remodeling.

Provide any feedback or comments on the proposed updates to the Unified Land Development Regulations:

I believe very little is yet proposed.

As a property owner and architect who has designed many projects in the area I have a lot of input I would like to share. To start with I have refused to do any work in Sailboat Bend for many years and advise prospective clients to stay away. It shows that not only I but many I know have a similar opinion and this once beautiful area with superb location and tree canopy has not seen much redevelopment the past 15 years and actually seems very unkept in many places. Since Lennar built at the end of West Las Olas not much has been built or rehabilitated.

Provide any general feedback or comments on the proposed updates:

I think a new ordinance in keeping with a Historic District needs to be created and not the typical zoning districts that do not adapt to a Historic District.

Better guidelines that assure a project can be approved and not have to wait for months of review and at the end hear a denial.

The lending institutions, developers, and designers do not want to engage into so much uncertainty.

I and my clients have lost thousands of dollars. Those that went thru the process have said never again.

4. Would you like staff to contact you?

☐ Yes

5. Preferred method of contact

☐ Email

6. Attach Files (Optional)

File #1

File #2

Thank you,
City of Fort Lauderdale, FL

Trisha Logan

From: Trisha Logan
Sent: Thursday, October 22, 2020 5:35 PM
To: 87andsunny@gmail.com
Subject: RE: [-EXTERNAL-] SBHD Architectural Resource Survey
Attachments: RE: Agenda Comment - 1213 W. Las Olas Blvd; 72 - BD02792 - 1217 W Las Olas.pdf

Good Afternoon, DeAnna.

Thank you for your feedback – this will be shared with the Historic Preservation Board, Planning and Zoning Board, and City Commission once this proposal is scheduled for each respective public hearing. You are also welcome to attend each of these public hearings to share your feedback.

The original permit record that we have for the property lists the structure as being built in 1938 and it is also the date of construction listed on the Florida Master Site File Historic Structures Form (see attached).

You had previously contacted me concerning the property located at 1213 W. Las Olas Boulevard in 2019 and I have attached my response for your reference. Since then, we have updated our notice requirements for any new construction projects to now require a sign notice to be posted at the site (15) days prior to a Historic Preservation Board meeting.

If you have any additional questions, please let me know.
Regards,

Trisha Logan, AICP | Historic Preservation Planner | Historic Preservation Board Liaison
City of Fort Lauderdale | Urban Design and Planning Division
700 NW 19th Avenue | Fort Lauderdale FL 33311
P: (954) 828-7101 E: tlogan@fortlauderdale.gov



From: fortlauderdale@enotify.visioninternet.com <fortlauderdale@enotify.visioninternet.com>
Sent: Tuesday, October 20, 2020 7:25 PM
To: Trisha Logan <TLogan@fortlauderdale.gov>
Subject: [-EXTERNAL-] SBHD Architectural Resource Survey

A new entry to a form/survey has been submitted.

Form Name: SBHD Architectural Resource Survey
Date & Time: October 20, 2020 7:25 PM
Response #: 8
Submitter ID: 48495
IP address: 73.56.17.172
Time to complete: 17 min. , 9 sec.

Survey Details

1. Contact Info

Name DeAnna Padgett
Email 87andsunny@gmail.com
Phone Number (786) 547-9830

2. Property address or addresses in Sailboat Bend that you own or rent

Address(es):
1217 West Las Olas Blvd, 33312

3. Feedback

Provide any feedback or comments on the proposed assignment of "Contributing" and "Non-Contributing" status for each property:

Happy to be a contributing residence. Is there a plaque with an established date or any signifier for contributing structures? The Original build date we have for the house 1936 from Broward county public records. This report shows 1938. It's hard to get the factual date.

Somehow the property next door was quit claimed/sold to Fly Boyz LLC, split into 2 lots (originally it was an historic single family home that was abandoned and left to rot and condemned - it happens too much here). I don't think this company can move forward with their 2 story (ugly and barely conforming) townhouse. I'd like to buy it and build a single family house that keeps true to the nature, style and spirit of the neighborhood, but the fly Boyz are...elusive and MIA.

We also have a disproportionate amounts of renters and Airbnb's.

Any new builds should be held to a standard that reflects the historic nature of this neighborhood.

Provide any feedback or comments on the proposed updates to the Unified Land Development Regulations:

I think the changes will help bring the Neighborhood up.

Provide any general feedback or comments on the proposed updates:

I would like to see a moratorium on any new low income housing developments. We have more than our share and we're surrounded by social services like huzienga, Salvation Army, 1/2 way houses, rehab houses...all within this small area. It's getting worse as there seems to be less and less services for indigents, homeless, etc. Also, traffic restrictions would be helpful. We have city employee traffic all day long, we have commuters using side streets as a work around to Broward Blvd traffic jams. It's dangerous and takes a toll on our streets and neighborhood. More help from the city/county is needed or this potential, historic jewel in Fort Lauderdale.

Thank you!!

4. Would you like staff to contact you?

(o) Yes

5. Preferred method of contact

(o) Email

6. Attach Files (Optional)

File #1
File #2

Thank you,
City of Fort Lauderdale, FL

This is an automated message generated by the Vision Content Management System™. Please do not reply directly to this email.

Trisha Logan

From: Trisha Logan
Sent: Wednesday, October 28, 2020 5:35 PM
To: Sum Lin
Subject: RE: [-EXTERNAL-] SBHD Architectural Resource Survey

Good Afternoon, Sum.

Thank you again for your feedback – this will be shared with the Historic Preservation Board, Planning and Zoning Board, and City Commission once this proposal is scheduled for each respective public hearing. You are also welcome to attend each of these public hearings to share your feedback.

I have responded to your questions below in red.

If you have any further questions, please let me know.

Regards,

Trisha Logan, AICP | Historic Preservation Planner | Historic Preservation Board Liaison
City of Fort Lauderdale | Urban Design and Planning Division
700 NW 19th Avenue | Fort Lauderdale FL 33311
P: (954) 828-7101 E: tlogan@fortlauderdale.gov



From: Sum Lin <sumlin@earthlink.net>
Sent: Wednesday, October 28, 2020 1:43 AM
To: Trisha Logan <TLogan@fortlauderdale.gov>
Subject: RE: [-EXTERNAL-] SBHD Architectural Resource Survey

Hi Trisha,

I appreciate your review of the 705 SW 4 Place property and glad that it is to be reclassified as non-contributing.

I have a follow up question on the fence height requirements being set to a maximum of 3' and the reasoning behind it to have some consistency in look and feel and promote pedestrian traffic by not covering up the front view.

As you are aware after the review of my property, it is fronted by three streets. I assume in this case, all three sides would have a limit of 3' maximum height. Currently I have 6' high fences all around. Whenever the next major storm hits and my current fences fall over, new fences on all three sides would have to be limited to 3' fences correct?

At this time under the current regulations - for a full replacement of a fence staff would only be able to approve up to a 3'-0" high fence at an administrative level. If the permit is for repair or partial replacement of the existing fence, that request may be reviewed and processed at an administrative level.

- (1) To my immediate east is Cooley's Landing, it has a lot of pedestrian traffic and vehicular traffic, people walking by and vehicles with boats towed behind. Every Saturday, Sunday and Monday morning, I walk around the outside of the property and pick up broken beer bottles, liquor bottles, cigarettes, candy wraps, half eaten burgers and pizzas. People on Friday and Saturday night drive home with their boats towed behind, half drunk, toss glass bottles towards my house, most of the time it's the fence they hit. I don't know how much of the trash would end up on the inside of the yard, if the fences are lowered by three feet.

- (2) I have a pool and a spa in the back yard, I have a koi pond in the front, and both of them have fence requirements such as being minimum of 4' in height, the latch being 54" minimum from the bottom rail, not climbable etc etc etc...in a case when the safety code and the historic preservation guidelines are in conflict, which one governs?

I understand there are several options for meeting the requirements of the State Statute that covers the Residential Swimming Pool Safety Act. Depending on the specifics of the request, the HPB may need to review but the proposed change to the ordinance is to increase the height limitation of a fence to 4 feet with the gate allowed to be an additional 8 inches higher.

- (3) By setting it the fence to 3' on the side and rear, my pool, spa and even the pump and filter are all completely visible from the streets, it's a complete loss of privacy. Such a loss of privacy would have enough impact to the point that I would consider the outside space of the property no longer usable. A typical property with only the front door facing the street, the other three sides facing other neighbors, is not limited like mine, why should a property be so heavily restricted just because it has a unique location within a block?

The proposed change to the ordinance is to increase the height limitation of a fence to 4 feet with the gate allowed to be an additional 8 inches higher for the front elevation and for side and rear property lines that are street facing. This proposal will be considered by the HPB, PZB, and City Commission. Your comments will be provided to the HPB initially for their consideration where they may provide further direction to staff in preparation a final draft of the proposed ordinance.

Please let me know your thoughts and whether this is something that can be addressed. I know in most cities a request for an exception is to apply for a variance, I am not familiar with what that means with the HPB.

Regards,

Sum

From: Trisha Logan [<mailto:TLogan@fortlauderdale.gov>]
Sent: Tuesday, October 27, 2020 10:23 AM
To: 'sumlin@earthlink.net'
Subject: RE: [-EXTERNAL-] SBHD Architectural Resource Survey

Good Afternoon, Sum.

Thank you again for providing the additional information concerning past alterations at your property.

After review of the information provided and additional research, it is evident that there have been several alterations to the front elevation of the structure. For further information, please see the attached documentation.

The proposed status of this property will be changed from "Contributing" to "Non-Contributing" in the final draft of the Architectural Resource Survey Update report and within the supporting documentation.

If you have any additional questions at this time, please let me know.

Regards,

Trisha Logan, AICP | Historic Preservation Planner | Historic Preservation Board Liaison

City of Fort Lauderdale | Urban Design and Planning Division

700 NW 19th Avenue | Fort Lauderdale FL 33311

P: (954) 828-7101 E: tlogan@fortlauderdale.gov



From: Trisha Logan
Sent: Friday, October 23, 2020 11:11 AM
To: sumlin@earthlink.net
Subject: RE: [-EXTERNAL-] SBHD Architectural Resource Survey

Good Morning, Sum.

Thank you for your feedback and sending the additional information. I will review the information that you sent and will provide you with a response within the next week.

Regards,

Trisha Logan, AICP | Historic Preservation Planner | Historic Preservation Board Liaison
City of Fort Lauderdale | Urban Design and Planning Division
700 NW 19th Avenue | Fort Lauderdale FL 33311
P: (954) 828-7101 E: tlogan@fortlauderdale.gov



From: fortlauderdale@enotify.visioninternet.com <fortlauderdale@enotify.visioninternet.com>
Sent: Thursday, October 22, 2020 1:51 AM
To: Trisha Logan <TLogan@fortlauderdale.gov>
Subject: [-EXTERNAL-] SBHD Architectural Resource Survey

A new entry to a form/survey has been submitted.

Form Name: SBHD Architectural Resource Survey
Date & Time: October 22, 2020 1:50 AM
Response #: 9
Submitter ID: 48568
IP address: 2601:580:c080:c040:354c:e8c1:7f27:6f4a
Time to complete: 3 min. , 46 sec.

Survey Details

Page 1

1. Contact Info

Name Sum Lin
Email sumlin@earthlink.net
Phone Number (954) 854-7582

2. Property address or addresses in Sailboat Bend that you own or rent

Adress(es):
705 SW 4 PLACE
1221 SW 4 COURT
1225 SW 4 COURT

3. Feedback

Provide any feedback or comments on the proposed assignment of “Contributing” and “Non-Contributing” status for each property:

I would urge the city to reclassify 705 SW 4 PLACE as non-contributing. I have attached a PDF document with my reasoning as well as supporting information. Please review and advise.

Provide any feedback or comments on the proposed updates to the Unified Land Development Regulations:

I do have some questions and feedback to the proposed ULDR updates. Please review the second PDF file attachment and advise.

Provide any general feedback or comments on the proposed updates:

Not answered

4. Would you like staff to contact you?

(o) Yes

5. Preferred method of contact

(o) Email

6. Attach Files (Optional)

File #1 [705 SW 4 PL Integrity Analysis.pdf](#)

File #2 [SBHD Ordinance Update Questions.pdf](#)

Thank you,
City of Fort Lauderdale, FL

This is an automated message generated by the Vision Content Management System™. Please do not reply directly to this email.

Site Number: 439
Address: 705 SW 4th PL
Status: Contributing
Folio Number: 504210390080
Year Built: 1941
Architect: Courtney Stewart
Architectural Style: Masonry Vernacular

Date: 10/20/2020
By: Sum Lin, P.E.

I would like to provide a detailed summary of the major work performed at this address which I believe will lead to the conclusion that this property no longer has the historical integrity of the original building and the design intent of the original architect has been eradicated.

ORIGINAL 1941 HOME

The original 1941 design was a single story home with two bedrooms and one bathroom. It was designed by architect Courtney Stewart for the original owner George B. Bryan.

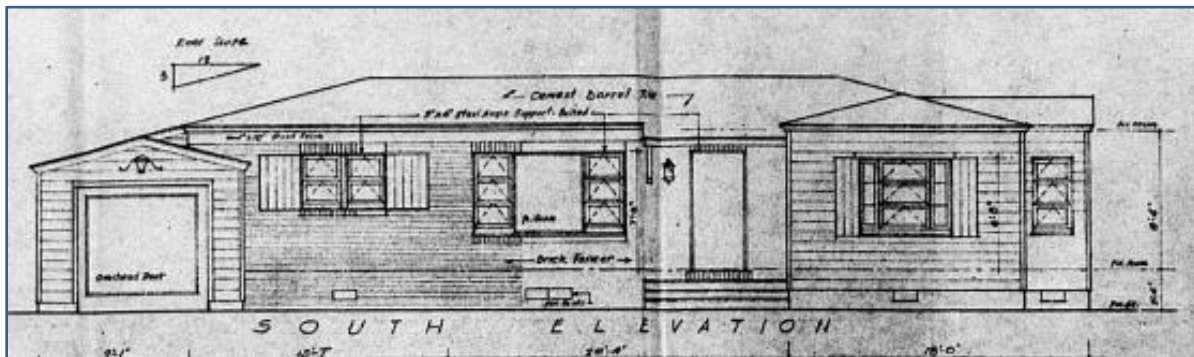


Figure 1: Original 1941 Front South Elevation

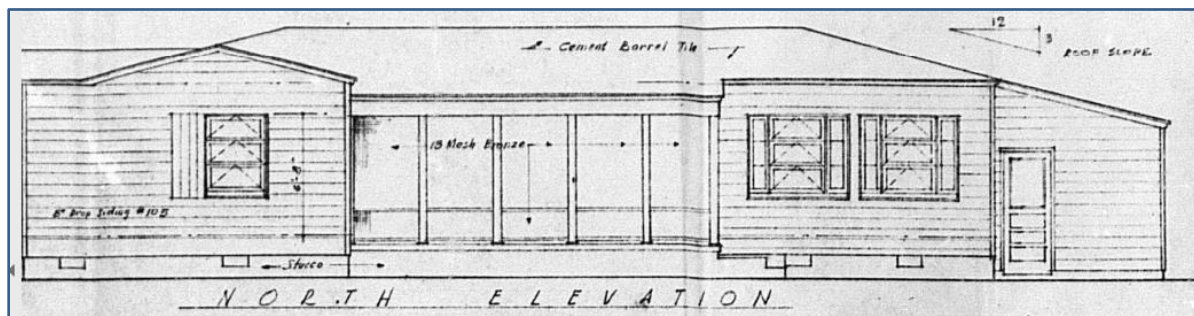


Figure 2: Original 1941 Rear North Elevation

As shown in the figures above, the original house has brick veneer on the front façade, and 8" wood drop sidings on the rest of the exterior walls. Original single crank operator awning wood framed windows have wood louver shutters on either side.

The current building in 2020 looks drastically different from the 1941 original after numerous major renovations and additions over the years.



Figure 3: House in 2019

I have listed below, chronologically, all the major work that's been done based on my review of old permits, plans and archives, as well as from conversations with previous owners and neighbors.

1960 NORTH BEDROOM ADDITION

In 1960, a 16'x16' bedroom addition was made at the north west end of the building, making this a three bedroom one bath home. This work was done for a different owner Willy T. Hiis, the architect's name is not legible on the older plans. As shown in Figure 4, the exterior of the addition appears to match the existing original 1941 design, including wood sidings, same style windows and roofing tiles. However, this addition was later on completely erased by the 1993 addition at the same location.

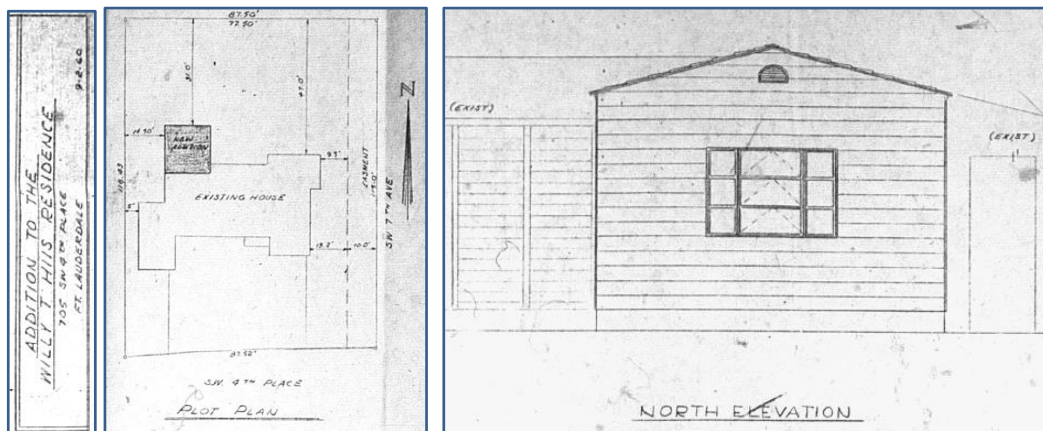


Figure 4: 1960 Bedroom Addition Plot Plan and North Elevation

1992 EAST WING RECONSTRUCTION AFTER MAJOR FIRE

In 1992, there was a fire in the east wing of the home, with severe structural damages to the exterior and interior portions of the home, affecting two of the bedrooms, one bathroom, one hallway closet and the living room. The extent of the reconstruction included complete roof structure replacement, exterior and interior walls and floors, all plumbing and electrical of the east wing.

ABRAHAM ALLISON RESIDENCE

1.0 **PARTICULARS:**

1.1 On September 19, 1992, a site visit was made to the residence of Abraham Allison, 705 Southwest 4 Place, Fort Lauderdale, FL, to review the damages caused to the structure during a fire.

1.1.1 Present were Lakdas Nanayakkara, P.E., of Lakdas/Yohalem Engineering, Inc. and Mr. William I. Zdravkovic, A.I.A., of WIZ Architects, Inc.

3.0 **CONCLUSION & RECOMMENDATIONS:**

3.1 Fire has camaged a 10' wide area of the roof, the entire width of the east wing, where the fire damage is localized.

3.2 This office recommends replacing all the roof, floor and wall members within the fire damaged area.

3.2.1 It is our considered opinion that a majority of the roof and wall members do not comply with the current building code requirements.

Figure 5: Exerpts from Engineer's Fire Damage Report

This rebuild was designed by architect William I. Zdravkovic of Wiz Architects for then owner Abraham Allison. It was this rebuild that started the subsequent series of renovations and additions that ultimately changed the design, materials, workmanship and feeling aspects of this building.

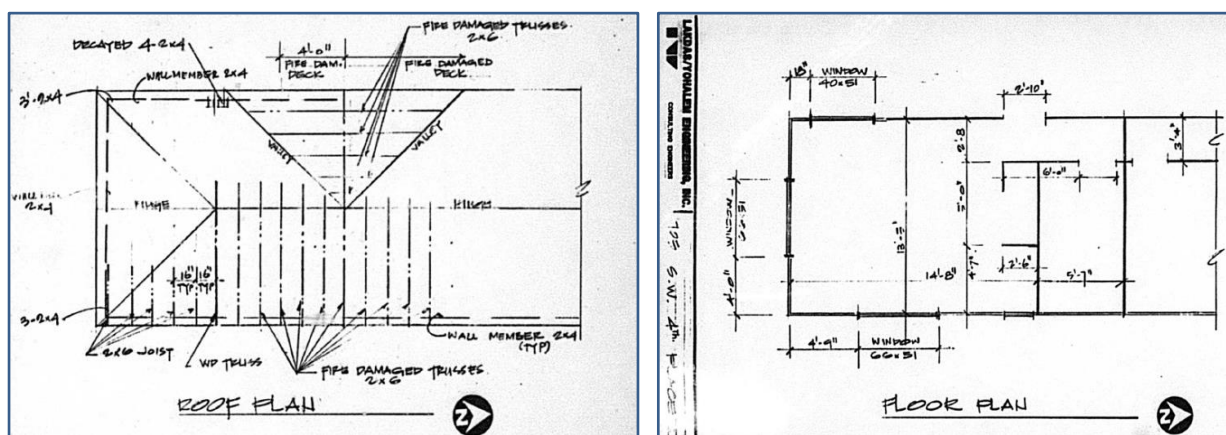


Figure 6: Rebuild Roof and Floor Plan

1993 TWO STORY ADDITION

In 1993, a new 900SF two story addition was constructed. The architect, William I. Zdravkovic of Wiz Architects, was the same architect used for the 1992 post fire east wing rebuild. This addition extended the 1960 bedroom addition further to the north, that bedroom was converted to a bar/den/staircase, then a completely new second story bedroom/bath/balcony was added above it as an overhang. The changes made downstairs on the north side not only completely changed the appearance of the structure, but also nullified all the previous changes made in the 1960 addition. Shown below are site plan, floor plan and elevations of the new addition.

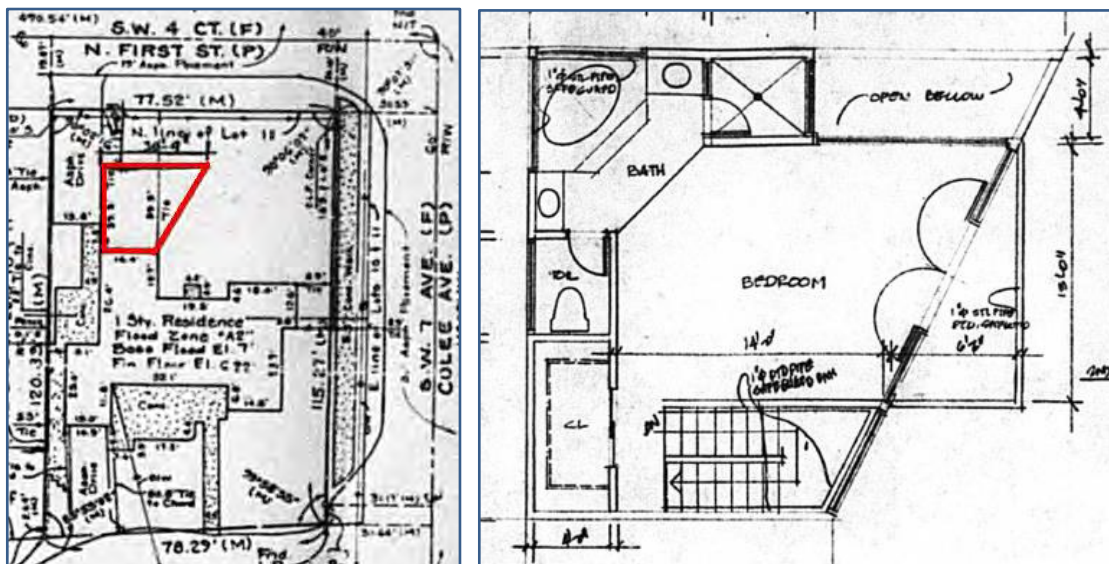


Figure 7: 1993 Second Floor Addition Site and Floor Plans

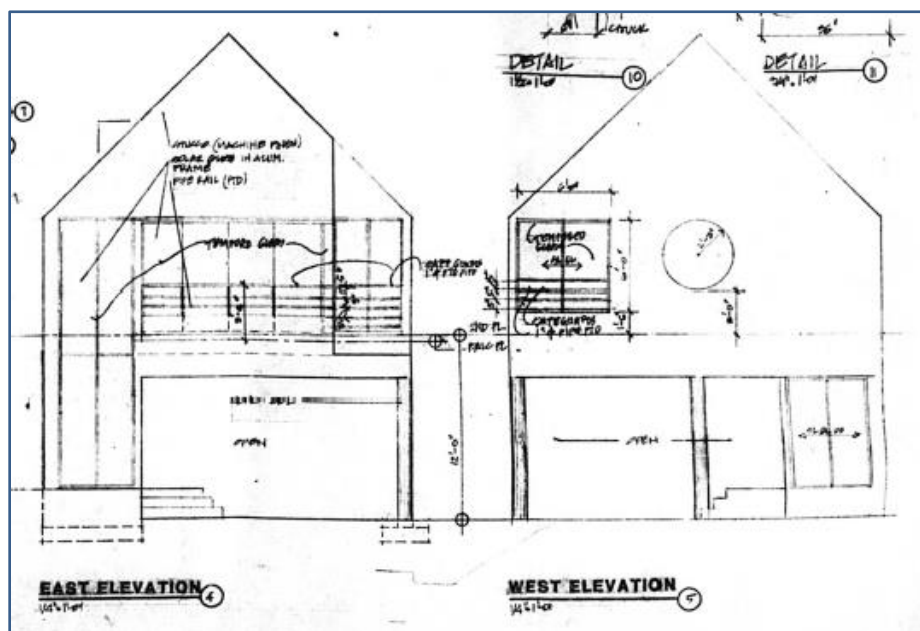


Figure 8: New Addition East and North Elevation

The new addition continued the departure from the original design to a contemporary design embracing minimalism with clean lines and bold geometric shapes. On the exterior the use of a very steep metal roof, clerestory windows, floor to ceiling glass, bold contrasting colors with asymmetrical shapes.



Figure 9: 1993 New Addition Exterior Photographs

1993 POOL/SPA/CONCRETE BENCHES EXTERIOR RENOVATION

That same year, after the second story addition, another major exterior alteration was added on the north side. This work was designed by Homer Fellcella Consulting Engineers. This modification included a new in ground swimming pool, a spa, and a massive concrete bench/stair area.

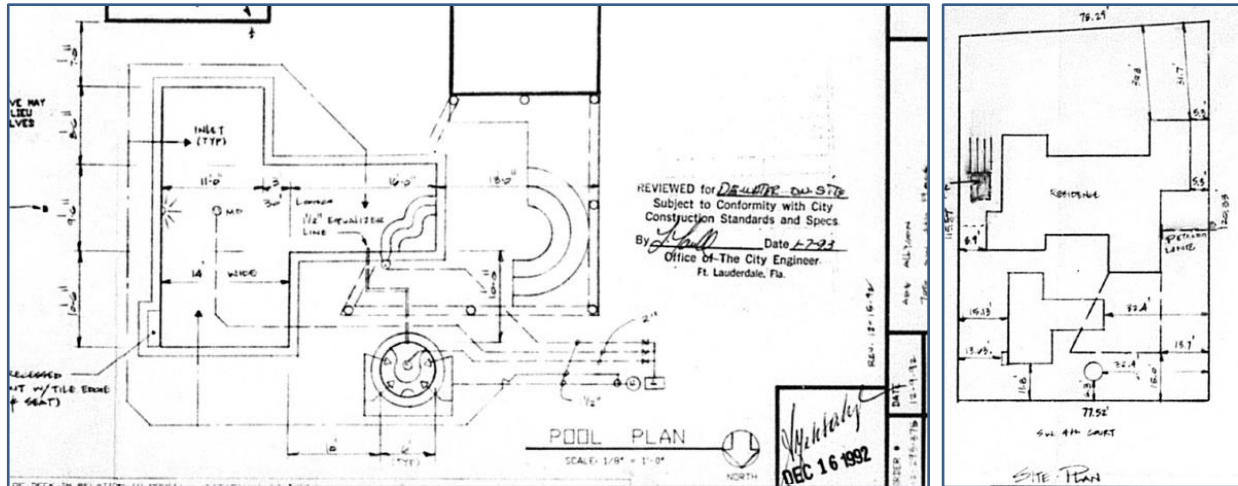


Figure 10: Pool Plan Showing Locations of Pool, Spa and Concrete Benches

The swimming pool is a "T" shaped pool that extends into the second floor addition's overhang footprint with a 5' round spa to its north. A semi-circular concrete structure containing three concentric tiers of seating/stair area about 14' long, 8' wide and 42" tall was constructed directly under the second story addition.



Figure 11: Swimming Pool and Spa



Figure 12: Semi-Circular Benches/Stairs

The new exterior features, along with the family room addition below and the second floor addition above, the entire property has drastically changed in terms of style, form and space inside and outside.

2003 GARAGE COMPLETE REBUILD

In 2003, the front garage was renovated, the original roof and all exterior walls were removed and rebuilt completely. This work was designed by W.T. Patterson for then owner Abraham Allison. During this renovation, the original side window and the back garage doors were removed and replaced with new aluminum metal window and door. A new hurricane impact overhead garage door was installed in the front.

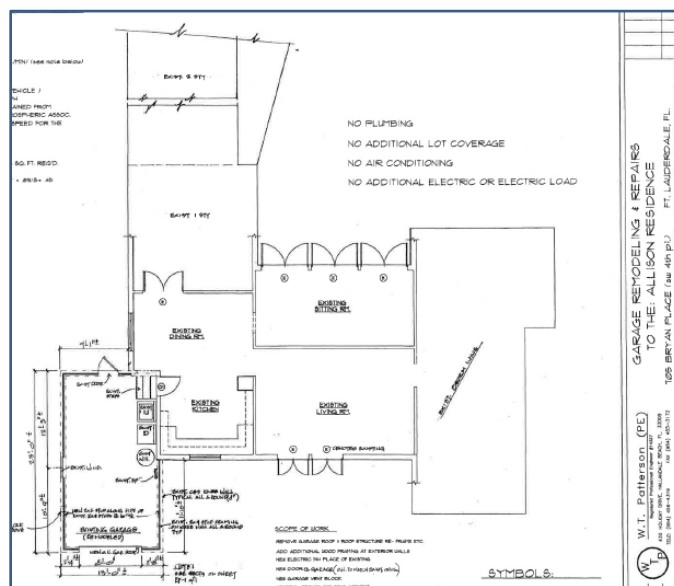


Figure 13: Garage Rebuild Plan

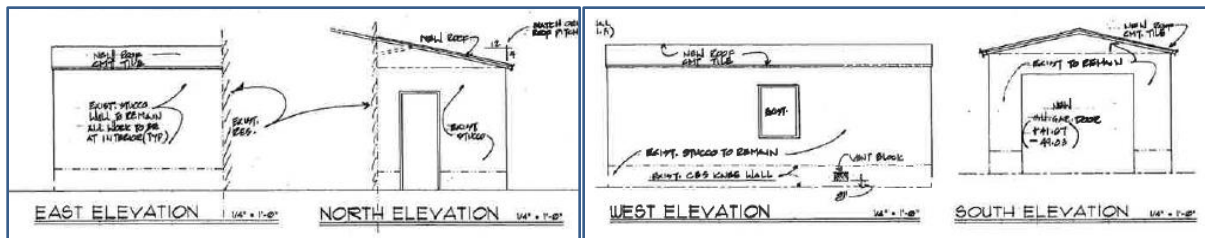


Figure 14: Easr/North/West/South Elevation

MAJOR LANDSCAPE ALTERATIONS

In addition to the changes made to the structure, there have also been major changes made to the landscaping over the years affecting the structure as viewed from the street, and from the structure to the street, both in the front and rear. It is unclear whether these landscape changes were made progressively over the years by various owners, or made as a single major redesign. Shown below are two surveys (1992 vs 2003) side by side showing some of the notable landscape changes made since 1992.

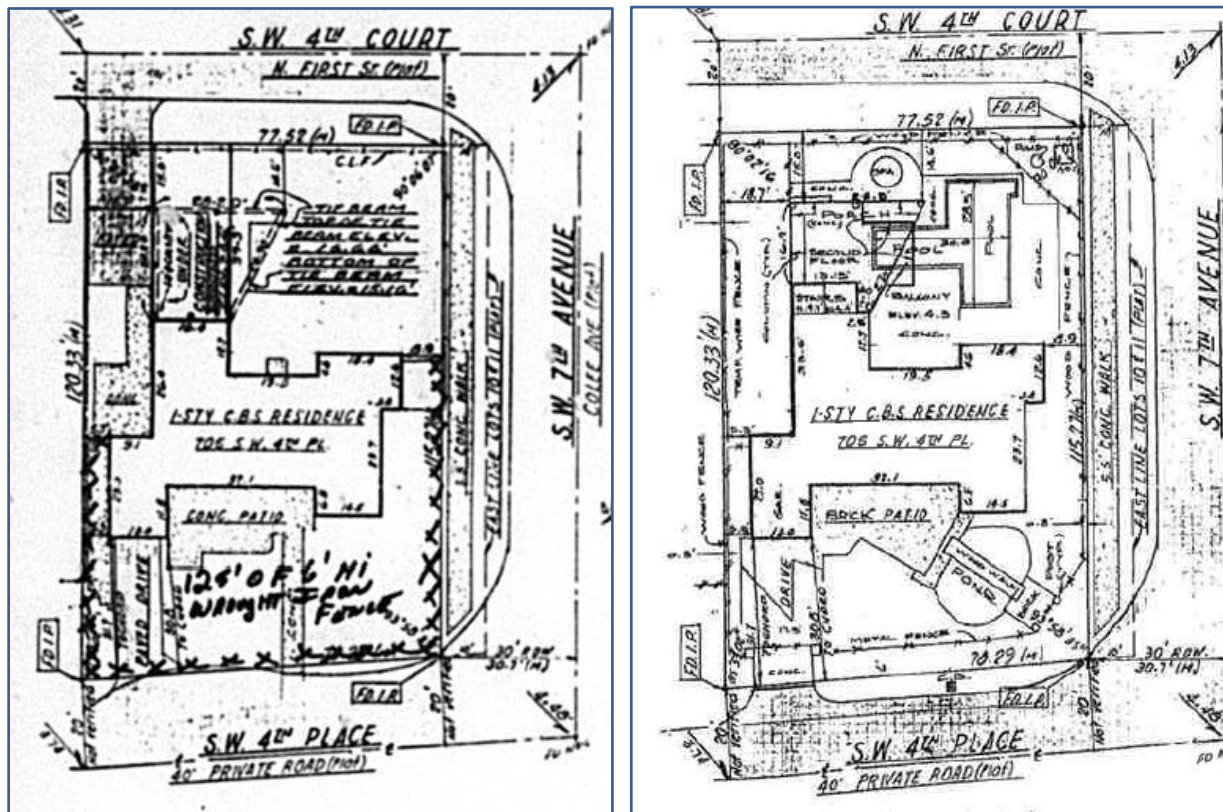


Figure 15: Side by Side Survey 1992 vs 2003

The survey on the left was completed in 1992, when the property owner pulled a permit to erect a metal fence on the front side of the property. This survey most likely represent most faithfully the original setting of the property as the only major additions prior was on the north wing addition and the east wing post fire rebuild.

It shows the front of the property is clearly visible from the street, without any obstruction, a narrow concrete walkway in the center leading to a concrete patio, with an asphalt paved driveway south of the garage to the west.

The survey on the right was completed in 2003, as part of the plans submittal for the garage complete rebuild project. It can be seen the front looks totally different. The front patio has been extended, and a 400SF koi pond has been added at the southeast corner, where the entrance walkway has been relocated as a bridge over the pond. Across the entire front, several layers of landscape changes were implemented. Firstly, the entire front patio area has been raised 24" higher from the original grade, topped with reclaimed clay bricks. Further south, tall rock boulders were erected across the front, from the pond to the edge of the driveway. then multiple ficus trees, traveler's palms, Chinese fan palms were planted to the south of these boulders. Finally, a 6' tall metal fence were erected across the front, anchored at the ends by four 24" x 24" X 60"H concrete columns. The following pictures show these features as viewed from the roof and from the ground.

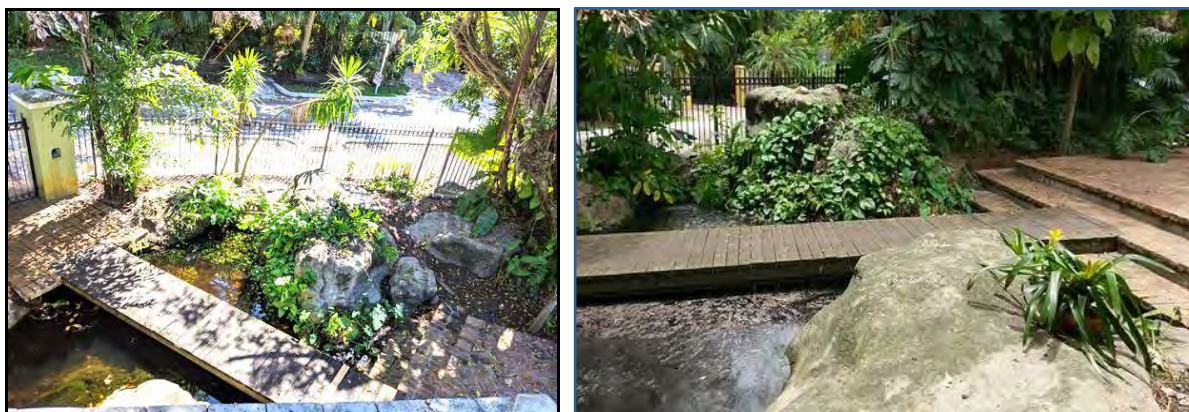


Figure 16: Front Landscape Alterations Post 1992

These landscape features raised the front area much higher, along with the groups of mature trees, obscured the house when viewed from the street. In fact, the only parts of the house that is still visible from the street are the 2003 rebuilt garage and the second story addition behind it.



Figure 17: House Front View from Street

Not only is the house largely obscured when viewed from the street, the street is also being obscured when viewed from the house.

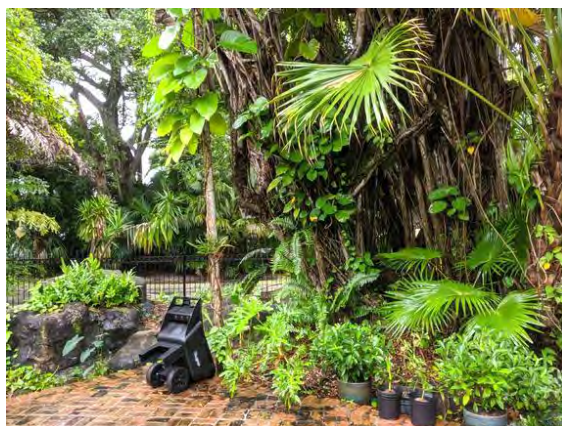


Figure 18: Street View from House

Here is a summary of notable changes made to the structure since the 1941 original construction:

- Original 8" exterior wood sidings removed.
- A standard three coat smooth stucco was applied to the entire exterior, and at a later date another layer of finish with a Spanish Lace texture was applied.
- All the original louvre shutters on the left/right sides of the windows were removed and replaced with new blue power coated Bahama shutters with tilt rods.
- New bedroom addition in 1960 on north end resulted in the deletion of two original windows and one side door, and addition of three new windows.
- Major rebuild on the east wing in 1992 after a fire, resulting in new exterior walls, windows and roof with 4 new skylights.
- In 1993 the 1960 bedroom addition was renovated to be a bar/den area, addition further extended to accommodate a stair case and landing area. Extended use of continuous glasses in the entire downstairs renovated section.
- In 1993 a second story addition with a new overhanging bedroom, bath and balcony.
- 1993 addition of a swimming pool, spa and semi-circular three tiered bench/stair structure.
- Of the 17 original windows from the 1941 house, seven were deleted due to some space being made interior, one was replaced, one was changed to glass blocks, one was repurposed as an opening for a windows AC unit, and seven remain. A total of 22 new windows and 4 skylights were added with the various renovations and additions.
- Of the 5 original entry doors from the 1941 house, three were deleted due to some space being made interior, and two were replaced – one is the garage overhead door and the other is the garage north exit aluminum screen door. Seven new double French doors were added. With the exception of the two garage doors, none of the original 1941 doors survived in their original locations.
- Extended and raised front patio area by 24" in height, eliminated front walkway from the street and installed reclaimed Chicago bricks over the entire front patio and driveway.
- Added a 400SF koi pond on the south east end with large tall landscape boulders and waterfall features.
- Installed four 24"X24" concrete columns across the front driveway and a new south east facing gate.

- Deleted original center front walkway from the street and installed new walkway to align with the south east facing metal gate.
- Installed metal fence across the entire front, with a motor operated sliding metal gate.
- Planted a series of trees and palms in the front area that has since matured, today these trees are so tall, wide and dense they obscured most of the house when viewed from the street, and most of the street when viewed from the house.

In terms of DESIGN, it is abundantly clear the modifications that occurred since 1960 has drastically changed the form, style, spatial organization, proportion, scale, materials, color and texture of the 1941 structure. After three major additions (1960, 1992, 1993) and two significant renovations (1993, 2003) by four different architects/engineers, the original defining elements of the 1941 house are no longer recognizable.

In terms of MATERIALS and WORKMANSHIP, the original exterior materials consisted of wood and brick veneer. These materials have been replaced by different materials on all sides. Today the exterior materials are of concrete blocks, stucco, ceramic tiles and reclaimed Chicago bricks. Similarly, with all the changes none of the original workmanship is appreciable.

In terms of FEELING, there is virtually no surviving physical feature expressing any historic character.

In terms of SETTING, the original front of the structure was visibly unobstructed from the street (SW 4th Place) and the rear was also visible from SW 4th Court. After 1992, due to the addition of a swimming pool and spa in the back, all sides of the property have been fully fenced. Then a series of substantial landscape alterations were made in the front area – raising the grade, erecting landscape boulders, a koi pond, a dense clusters of mature trees and palms, resulting in a very different view and setting. The house does not appear as it did historically.

In conclusion, the original design of architect Courtney Stewart has been erased by all the additions and alterations, and as a result there is a loss of all aspects of historical integrity. I would recommend the city to consider attributing this property as “non-contributing”.

Below are responses to your questions and comments in red.

QUESTIONS AND COMMENTS on the proposed Section 47-16 Historic Districts Ordinance (Sailboat Bend Historic District Section Only)

Sec. 47-16.8.2.B.3.f. Accordion hurricane shutters are prohibited on the front elevation or elevations visible from the right-of-way but may be placed on rear and secondary elevations that are not visible from the right-of-way. Visibility from the right-of-way shall be determined by the Historic Preservation Planner.

- (1) Please clarify “rear and secondary elevations”. If a property’s rear is also street facing (property occupies both sides of a block), does it mean the property can erect accordion shutters on its rear facing windows? In other words, does “rear” here means “rear as long as it’s not street facing”? or “rear” means the opposing side to the front?
- (2) Does visibility take into account the existence of a fence? If a front facing window is obscured from the right-of-way by a 6’ tall fence or a dense hedge, does it mean it is permissible to install accordion shutters on that window?

Rear is the opposing side to the front elevation and in most cases is not visible from the right-of-way, although there are exceptions. Any elevation that is street-facing – even if it is considered a rear or secondary elevation – accordion shutters would not be permitted.

Visibility does not take into account the existence of a fence since it is a removable element on the site. If a window that is on the front elevation currently has a hedge blocking the view, it would still not be permissible to install an accordion shutter.

Sec. 47-16.8.2.C.1.b. Dimensions. Height limitations of fences, gates, walls, piers, and hedges are provided in Table 1.

- (3) Table 1 includes height and visibility limits for fences, gates, walls, piers and hedges. I have the same question as in question 1, the definition of front and rear. Does rear means the rear property line regardless if it’s street facing or not? In other words, can one plant 6’ tall hedges along its rear property line even if it’s street facing?
- (4) Front fences and gates are limited to 3’ and 4’8” in heights respectively with a minimum visibility of 30%. Is “visibility” here the same definition as transparency in zoning code where they dictate certain fences must have a minimum transparency?
- (5) I would like to suggest changing the maximum of front fence heights and gates to 6’. This new height limits will impact the neighborhood greatly. All it takes is one major storm when many of the existing 6’ tall fences and gates will suffer damages, and when homeowners in distress trying to repair their fences (which is typically not covered by insurance due to them being not a primary structure), they are faced with having to replace or repair it to a much lower height. There are discussions amongst homeowners who are speculating the primary motivation for the reduced heights of fences/gates are to increase the visibility which in turn increase what the HPB can regulate. Standard, established, typical fence heights have been 4’ and 6’ for a long time.

A 6' tall hedge or fence along a rear property line that is fronting a street would not be permitted for review at staff level and a Certificate of Appropriateness from the Historic Preservation Board would need to be obtained.

Visibility is not the exact same definition as transparency in the ULDR, but it is a similar concept.

Your suggestion will be passed along to the Historic Preservation Board, however, currently fences in the front yard are limited to a height of 3'-0" which is the height limit set within the Historic Preservation Design Guidelines. A lower fence height within historic districts, particularly in the front yard, is to allow for a consistent pattern throughout the district acting as a major streetscape element, visibility to the front elevation of a property, and to promote a pedestrian friendly environment.

Sec. 47-16.8.2.C.2.b. Backout parking spaces at multi-family or commercial sites are limited to two (2) consecutive spaces and a total width of twenty (20) feet. A minimum separation of eight (8) feet from the adjacent parking space(s) shall be provided within the same property for the entire length of the parking space. The area between the parking spaces must be a pervious landscaped area. Backout parking must meet all requirements in Section 47-20.15 of the ULDR.

- (6) Does this mean a 4 unit multi-family single story building on a narrow lot with a 50' wide frontage, with enough space in the front for 4 consecutive 9' wide spaces, one for each unit, with a 14' wide walking path on one side leading up to the front, will have to completely redesign and rework it's parking to two spaces maximum, making it no longer viable to remain as a multifamily rental property? This seems unreasonable and I strongly object to this new standard.

The proposed regulations will not compel any property owner with an existing parking configuration to redesign their site. Regulations apply when a permit is applied for new construction projects or for new paving.

705 SW 4th Place

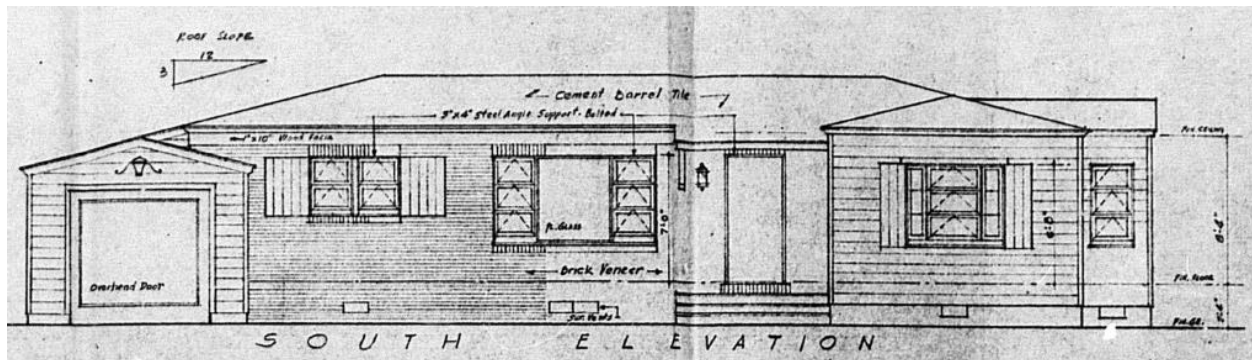
Date of Construction: 1941

Architect: Courtney Stewart

Architectural Integrity Review

705 SW 4th Place is located on the southwest corner of SW 7th Avenue and SW 4th Court and faces south. As such, the residence is visible from three different street elevations. The property was identified as “contributing” in the current architectural resource survey because of its masonry vernacular qualities. The current property owner has provided an in-depth overview of the modifications that have occurred to this structure. Staff has reviewed these materials and conducted additional research.

The original character of the residence appears in plan to have been a long, rectangular body with two projecting wings on either side. The west projection contained the one car garage. Materials shown on the exterior were wood siding with a brick veneer on a portion of the front façade.



Original South Elevation

Documents provided by the owner show a 1960 bedroom addition to the north (rear) façade. The north façade has been considerably changed by subsequent alterations and a two-story addition. The 1960 bedroom addition has been completely obscured by the two-story addition. Additionally, documents provided show the reconstruction of the single car garage that is street facing to match the original. The combination of this work does not automatically disqualify a structure from being considered as contributing when it adds to the overall character of the historic district.

After review of the materials submitted as well as further research, it is evident that there have been a series of modifications to the principal façade. Those changes detract from the original design intent as the architectural characteristics are no longer recognizable. This property has lost its architectural integrity through the following modifications:

- Reconfiguration of the front entrance including removal of the front entry door and picture window flanked by awning style windows; enclosure of a portion of the wall; and installation of (2) sets of French doors.

- Reconfiguration of the roof line to remove the overhang above the original front entrance.
- Alteration of the original exterior wall materials including the removal of the wood siding and brick veneer, and application of a stucco coating throughout the structure.
- Stucco applied over original brick window headers and sills.



Current Photo of South Elevation

After full consideration of the aspects of physical integrity affecting the primary facade, the proposed status of this property will be changed from “Contributing” to “Non-Contributing” in the final draft of the Architectural Resource Survey Update report and any supporting documents will reflect this change.

Trisha Logan

From: fortlauderdale@enotify.visioninternet.com
Sent: Thursday, October 22, 2020 3:37 PM
To: Trisha Logan
Subject: [-EXTERNAL-] SBHD Architectural Resource Survey

A new entry to a form/survey has been submitted.

Form Name: SBHD Architectural Resource Survey
Date & Time: October 22, 2020 3:37 PM
Response #: 10
Submitter ID: 48609
IP address: 64.132.148.246
Time to complete: 8 min. , 12 sec.

Survey Details

Page 1

1. Contact Info

Name Don Wikin
Email dwilkin@aecmworld.com
Phone Number (954) 609-8089

2. Property address or addresses in Sailboat Bend that you own or rent

Adress(es):
301 Kennelworth Place

3. Feedback

Provide any feedback or comments on the proposed assignment of "Contributing" and "Non-Contributing" status for each property:

The original intent of the Ordinance was to provide compatibility guidelines for materials in the context of pre-1947 structures in Sailboat Bend. Continuing to move the date that properties are contributing based on 50 years was not and still is not the intent. In fact ridding SBHD of many post WW II developments was one of the primary reasons for creating the District.

Provide any feedback or comments on the proposed updates to the Unified Land Development Regulations:

The proposed changes essentially abolishes the Sailboat Bend Historic District Ordinance in it's current form and makes it part of the citywide Historic Preservation District Ordinance (Section 47-16) which is then 'aligned' with Section 47.24.11 which controls any & all historic properties, landmarks. landmark sites and other potentially historic resources in the City.

This proposed 'alignment' makes the process for upgrading and improving properties in Sailboat Bend more extensive, difficult and costly both in dollars and time than is already required under the current SBHD Ordinance.

Section 47-17, as intended, is an overlay of the existing zoning requirements for residential and commecial properties.....period.

The only intent and purpose of the ordinance was ,and still is, to provide material guidelines for the appearance of buildings

and allowing setback modifications based on specific performance criteria for improvements to buildings and properties in the community. That's all!!

Requiring the residential property owners of SB to adhere to additional Historic requirements currently only required by a historically designated 'commercial district' in the City is beyond the original intent and current requirements of the District.

What is proposed is WAY BEYOND the original intent and current requirements of property owners in Sailboat Bend.

Provide any general feedback or comments on the proposed updates:

Not answered

4. Would you like staff to contact you?

(o) No

5. Preferred method of contact

Not answered

6. Attach Files (Optional)

File #1

File #2

Thank you,
City of Fort Lauderdale, FL

This is an automated message generated by the Vision Content Management System™. Please do not reply directly to this email.

Trisha Logan

From: fortlauderdale@enotify.visioninternet.com
Sent: Friday, October 23, 2020 10:33 AM
To: Trisha Logan
Subject: [-EXTERNAL-] SBHD Architectural Resource Survey

A new entry to a form/survey has been submitted.

Form Name: SBHD Architectural Resource Survey
Date & Time: October 23, 2020 10:32 AM
Response #: 11
Submitter ID: 48641
IP address: 2601:582:4900:5a0:8c0a:3041:62aa:a252
Time to complete: 11 min. , 22 sec.

Survey Details

Page 1

1. Contact Info

Name Ken Powell
Email kenpowell1216@gmail.com
Phone Number (801) 860-8877

2. Property address or addresses in Sailboat Bend that you own or rent

Adress(es):
1216 SW 4th Court (own)
709 SW 4th Place (own)

3. Feedback

Provide any feedback or comments on the proposed assignment of "Contributing" and "Non-Contributing" status for each property:

I disagree with any proposed assignment of "Contributing" and "Non-Contributing" status to any property in Sailboat Bend.

Provide any feedback or comments on the proposed updates to the Unified Land Development Regulations:

I am in total support of the current position of the majority voice of the Sailboat Bend Civic Association that the Sailboat Bend Historic District should be rescinded. The reasons the SBHD should be eliminated are really quite simple: in essence, historic preservation was not the original need expressed by the neighborhood; the current District is much larger than the area originally asserted as historic; the current District does not meet any other Historic Preservation agency's requirements for designating a historic district; the administration of the District by the City's HPB is arbitrary and capricious; the benefits envisioned by the originators has not been realized and, indeed, are no longer the goals of the vast majority of the neighborhood as acknowledged by several originators of the District idea; and the health of the neighborhood is dependent on elimination of the area's restrictive regulations.

Those in the neighborhood on a daily basis see that many homes are in good condition, but considerable portions of the neighborhood border on slums. Those areas are in dire need of redevelopment. It seems safe to assume that much of the redevelopment will be multi-family based on predominant underlying zoning (RML 25 (Residential Multifamily Low Rise/Medium High Density); RMM 25 (Residential Multifamily Mid Rise/Medium High Density). Regardless, the sooner these structures are replaced, the better assuming they're replaced with structures of good architecture.

Historic Preservation was not the original need expressed by the Neighborhood. According to the Sailboat Bend Historic District Study, the original impetus for the SBHD emanated from residents' concern over early evidence of lower socioeconomic infiltration into the neighborhood. The study narrative reveals that designation of the SBHD was a vehicle for preventing further tear-down of homes to make way for larger apartment buildings that were increasingly out of scale with the neighborhood's small homes.

SBHD is much larger than the originally-proposed 18-block area asserted by the neighborhood to be historically significant ("representative of a working class neighborhood"). No professional services were available during the development of the District, and City Commissioners expressed concern that the proposed District might not be sufficiently comprised of historically significant resources.

According to the Sailboat Bend Historic District Study, in the spring of 1988, data was provided to the City supporting an 18-block area comprised of approximately 250 primary structures (not all of which could be documented). Still in the development stages, in 1992 at the urging of the then-City Attorney, the district area was expanded to the current area to coincide with the Civic Association's boundaries, with approximately 481 primary structures. The study indicates that the expanded boundary diluted the composition of the proposed District with less than 45% of the structures thought to have been constructed during the period of significance (1900 - 1939). The study's authors noted that they could document less than 80 structures or less than 17% of the neighborhood's principle structures as being constructed during the period.

SBHD does not meet the eligibility requirements and has never been evaluated by the State Historic Preservation Office. This is the key point, and illuminates why the SBHD regulations aren't working for Sailboat Bend. According to the Sailboat Bend Historic District Study, a SBHA committee undertook the study to provide the necessary quantity, quality and historic value data needed by the HPB and City to consider establishing the historic district. Due to the lack of financial resources dedicated to the effort, the Association committee developed and provided the needed information as best they could, using existing (older) plans and consultant studies to shore up the assertions so that a legal basis for the District could be asserted. Understanding this background, and the original impetus for the District designation, helps explain how the requirements for designating a historic district might have been misconstrued.

The SBHD designation is based on three flawed assertions:

- Historic Significance - The mere existence of resources that are at least fifty years old and retain their historic character is not sufficient justification to determine them significant. The resources must be evaluated in light of their historical context. What were the events and circumstances that led to their creation? The historical context for the SBHD is its existence in as a working class neighborhood. Simply being representative of a working class neighborhood is not distinctive enough to support a historic district designation.
- Period of Significance - Historic District neighborhoods should be evaluated within a tight period of time (period of significance), typically 10 to 20 years. Apparently in an effort to "capture" a larger number of older homes, SBHD's period of significance was established as 1900 - 1939, a period of 40 years. I have been unable to find another historic district spanning such a lengthy period of time, likely because nothing stays static for such a long period of time such that the entire period "looks the same"—the period of significance is intended to represent a single period in time.
- Quantitative composition - Historic Distinct neighborhoods should be largely comprised of historic structures harkening from the period of significance and exhibiting the historic significance of the period. The criteria cite a standard of 80% -90% of the neighborhood's structures. According to the 1992 Sailboat Bend Historic District Study, even with such a lengthy period of significance, only 45% of the then-existing 474 structures in Sailboat Bend were asserted to be built during that period and less than 17% of them could be documented to be built during that period. Fewer remain today.

A few years ago there were a pair of bills being proposed in the Michigan State Legislature. House Bill 5232 and Senate Bill 720 which would have ended or sunset all Michigan Historic Districts designations after 10 years. Residents and the preservation community would have to apply all over again to win the designation of historic district and the bills would have set a much higher bar for preservationists to jump over. This method of reevaluation would be a more rational approach as to if a Historic District is achieving the results it was originally intended. As to how this relates to Sailboat Bend, I think the neighborhood attempted to use the historic designation as a fix for a problem area. This is no longer the goals of the vast majority of the neighborhood; and the health of the neighborhood is dependent on elimination of the area's restrictive regulations.

I ask that all members of Historic Preservation Board, Planning and Zoning Board and the City Commission vote to deny the proposed revisions to Section 47-17 Sailboat Bend Historic District.

Respectfully,
Ken Powell

Provide any general feedback or comments on the proposed updates:

Not answered

4. Would you like staff to contact you?

(o) Yes

5. Preferred method of contact

(o) Email

6. Attach Files (Optional)

File #1

File #2

Thank you,
City of Fort Lauderdale, FL

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Trisha Logan

From: fortlauderdale@enotify.visioninternet.com
Sent: Friday, October 23, 2020 3:18 PM
To: Trisha Logan
Subject: [-EXTERNAL-] SBHD Architectural Resource Survey

A new entry to a form/survey has been submitted.

Form Name: SBHD Architectural Resource Survey
Date & Time: October 23, 2020 3:17 PM
Response #: 12
Submitter ID: 48667
IP address: 2601:582:4900:91b:b1df:97f4:9efc:8fec
Time to complete: 20 min. , 22 sec.

Survey Details

Page 1

1. Contact Info

Name	Stephanie Wedgeworth
Email	sjwedgeworth@gmail.com
Phone Number	Not answered

2. Property address or addresses in Sailboat Bend that you own or rent

Adress(es):
915 SW 2nd Ct
Fort Lauderdale, FL 33312

3. Feedback

Provide any feedback or comments on the proposed assignment of "Contributing" and "Non-Contributing" status for each property:

I strongly disagree with these changes to the historic overlay. I absolutely do not want a city of Fort Lauderdale ordinance that adds even more restrictions and limitations to contributing homeowners. I live in a contributing home. My cute, bungalow style house needs work. The extra expenses I need to spend for HPB approved windows alone would set me back. The city of Fort Lauderdale does not assist any historically designated homes with grants, incentives or tax breaks. Yet they benefit by having my property and many others zoned as multi family. Is that fair? No. My home insurance options were 2. Only 2 companies in the entire state would provide insurance for my home when we bought it because of the age pf the home and the fact that it is wood frame. I love this area and I love my house but it is simply not fair to put a historic designation ordinance on an area and then pick and chose what is contributing and what is non-contributing. The original vision for the historic overlay has never been realized. The city has ignored this area, completely ignore it! No incentives, inaccurate zoning and new development that is not historic!!! Why is this change necessary? This is not a change for the better. This is not a change to help and incentify the homeowner but to give the city more control over an area. Re-evaluate every 50 years!!!! Is that a joke! Are you serious? So you buy a home that is non-contributing and once it reaches a certain age you are screwed. How would you like to own a home that is a moving target of uncertainty. If you are going to use the National Register to determine or justify the use of this 50 year period, then is there state or federal funding going to be made available for those contributing homes?

I believe you said 179 homes are contributing and 278 are non-contributing. If the majority of the homes are non-

contributing then doesn't it make more sense to get rid of the historic designation all together?

I want to see the historic designation lifted off of this area permanently. If individual home owners want to have their homes designated then that is their prerogative. A historic designation on an area that has more non-historic homes than historic homes is ridiculous and not meaningful. If I come to Fort Lauderdale to see a designated historic area, the first settlement of Fort Lauderdale, I would be hugely disappointed if I went to Sailboat Bend.

I implore you to reconsider this ordinance and instead strip Sailboat Bend of this historic designation for the betterment of this community and its homeowners.

Provide any feedback or comments on the proposed updates to the Unified Land Development Regulations:

The historic designation is preventing community development. Developers are staying away from this area because of the red tape and rules. This prevents homeowners from realizing increased value of their properties. The historic designation should be removed.

Making it mandatory to get a COA for alterations from the HPB that is certified by Florida Dept. of State and not offering the homeowner any incentive or relief for additional fees incurred should be a violation of my rights as a property owner. Using guidelines like the US Secretary of the Interior's Standards as a guide for homeowners when making alterations is unfair, unless the state is going to compensate the homeowner for these expensive and specific alteration requirements.

Provide any general feedback or comments on the proposed updates:

All comments provided above

4. Would you like staff to contact you?

☐ No

5. Preferred method of contact

Not answered

6. Attach Files (Optional)

File #1

File #2

Thank you,
City of Fort Lauderdale, FL

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Trisha Logan

From: Trisha Logan
Sent: Monday, October 26, 2020 5:14 PM
To: 'wandabeachum89@gmail.com'
Cc: 'jebeachum@gmail.com'
Subject: RE: [-EXTERNAL-] 724 SW 1st Street
Attachments: 724 SW 1 St.pdf

Good Afternoon, Wanda and Justin.

Thank you again for providing the additional information concerning past alterations at your property.

After review of the information provided and additional research, it is evident that there have been several alterations to the front elevation of the structure. For further information, please see the attached documentation.

The proposed status of this property will be changed from "Contributing" to "Non-Contributing" in the final draft of the Architectural Resource Survey Update report and within the supporting documentation.

If you have any additional questions at this time, please let me know.
Regards,

Trisha Logan, AICP | Historic Preservation Planner | Historic Preservation Board Liaison
City of Fort Lauderdale | Urban Design and Planning Division
700 NW 19th Avenue | Fort Lauderdale FL 33311
P: (954) 828-7101 E: tlogan@fortlauderdale.gov



From: Trisha Logan
Sent: Friday, October 23, 2020 11:11 AM
To: wandabeachum89@gmail.com
Cc: jebeachum@gmail.com
Subject: RE: [-EXTERNAL-] 724 SW 1st Street

Good Morning, Wanda.

Thank you for your feedback and sending the additional information. I will review the information that you sent and will provide you with a response within the next week.

Regards,

Trisha Logan, AICP | Historic Preservation Planner | Historic Preservation Board Liaison
City of Fort Lauderdale | Urban Design and Planning Division
700 NW 19th Avenue | Fort Lauderdale FL 33311
P: (954) 828-7101 E: tlogan@fortlauderdale.gov



From: wandabeachum89@gmail.com <wandabeachum89@gmail.com>
Sent: Wednesday, October 21, 2020 9:42 AM
To: Trisha Logan <TLogan@fortlauderdale.gov>
Cc: jebeachum@gmail.com
Subject: [-EXTERNAL-] 724 SW 1st Street

Good morning Trisha,

I appreciate your time yesterday in discussing my concerns with regards to the ordinance proposal. Please feel free to call for any follow up, Justin and I look forward to your response.

Thank you,
Wanda Beachum

Justin and Wanda Beachum

724 SW 1st Street, Fort Lauderdale, FL 33312

Phone: 704-221-9130

► **Trisha Logan, AICP | Historic Preservation Planner | Historic Preservation Board Liaison**

City of Fort Lauderdale | Urban Design and Planning Division

700 NW 19th Avenue | Fort Lauderdale FL 33311

RE:

724 SW 1st Street Status: CONTRIBUTING Date: 1936 Architect: Unknown Style: Frame Vernacular Folio 504210270282 Parcel ID: 0210270282 House moved from 715 SW 1st Street in 1998; Garage addition on s 2005.

Hello Ms. Logan,

This letter is to express our concern with the proposal to establish our home as a contributing property in the Sailboat Bend Historic District. We feel that with the criteria that has been used in establishing other properties as non-contributing; our property would be considered non-contributing as demonstrated by alterations, additions, location, and surrounding structures. It is important to note that this request to be non-contributing does not denote any personal derision to the establishment of the Historic District in the City of Fort Lauderdale.

The first element to denote is that the property was moved to the current site and was not established in the original historical area designation or even at the original location as established by neighborhood support in the late 1980's. In fact, the City passed another ULDR review and broadened the district to include additional properties resulting in our property being added to the SBHD.

Secondly, our home has had numerous additions and alterations that contribute to the loss of historical integrity as noted below:

- a. Garage Addition that was mentioned in the proposed ordinance updates
- b. Bonus Room/Family room addition approximately 360 sq ft which is attached to the garage addition
- c. Front Façade modified with covered porch addition
- d. West Façade altered with covered porch and extension to the back of house, visible from the west street view, roof line does not denote addition
- e. South Façade addition of approximately 400 sq ft and additional extended overhangs and porch addition along the back of the property.

In comparison, the property located at 105 Ave of the Arts, on the same block as my property, was determined as non-contributing secondary to "multiple alterations and loss of integrity". This does not hold the same metric, as our property has had multiple additions and alterations on all facades and elevations, as noted by pictorial evidence included with this letter. The baseline, of the multitude of alterations and additions, alone would result in our property being considered non-contributing.

Next, our property's location is bound by Broward Boulevard and SW 7th Avenue/Avenue of the Arts, these streets contain primarily commercial properties with non-contributing attributes. In fact, Ms. Logan you have promoted that the properties located on Broward Boulevard should be removed from the Historic District changing the boundaries of the SBHD. Furthermore, the adjacent properties to our property include a religious property with no architectural significance, an auto repair/junk yard, a small engine repair and several 1960 era properties considered non-contributing as per your evaluation. However, I cannot exclude the other 'contributing property' located right beside our property, a small 900 sq ft house in major disrepair and owned by a "slum lord" as reported by an employee of the Housing Authority.

In conclusion, we would appreciate the examination of the provided information and to be determined as a non-contributing property. Clearly, our home located at 724 SW 1st/Arpeika Street, is a 1930's replica, but not the standard that should exist to be considered a true contributing property. These multiple facts make the decision clear to classify our property as a non-contributing property.

Sincerely,

Justin and Wanda Beachum

October 20, 2020











724 SW 1st Street

Date of Construction:

Architect: Unknown

Architectural Integrity Review

724 SW 1st Street is located on a corner lot and is visible from SW 1st Street and SW 8th Avenue. The main elevation faces north onto SW 1st Street. The residence was moved to its current location in 1998 from 715 SW 1st Street. The current property owner has provided an overview of the modifications that have occurred to this structure. Staff has reviewed these materials and has also conducted additional research.

The alterations and additions that the property owner outlined include:

- a. Garage Addition that was mentioned in the proposed ordinance updates
- b. Bonus Room/Family room addition approximately 360 sq ft which is attached to the garage addition
- c. Front (North) Façade modified with covered porch addition
- d. West Façade altered with covered porch and extension to the back of house, visible from the west street view, roof line does not denote addition
- e. South Façade addition of approximately 400 sq ft as well as additional extended overhangs and porch addition along the back of the property.

The design for the garage addition and family room addition was approved by the Historic Preservation Board in 2005 (HPB Case No. 3-H-05). This modification as well as the aforementioned additions to the rear do not alone disqualify a structure within a historic district from being considered contributing.

Several photos were provided of the house which provide insight into modifications that have been made over time which have affected the original design of the residence. It appears that the original plan had an open porch under the forward projecting roof eave on the north front facing elevation. The existing front façade, which appears as though it was once most likely open or partially open, is now enclosed with a new front entry door and windows added to this elevation. Additionally, a front porch with railings and sheltered by a shed roof was also added.



**Photo provided from property owner
(looking at Northeast Elevation)**



Current photo of front (north) elevation

An additional photo that had been previously catalogued in the Florida Master Site File (an archive maintained by the State of Florida's Division of Historical Resources) shows that the structure was previously modified, prior to its relocation, with the enclosure of the once open front porch.



Photo from FMSF (c.1985)



Photo provided from property owner

In summary, the alterations to the main façade have greatly altered the original design. After full consideration of the aspects of physical integrity affecting the primary facade, the proposed status of this property will be changed from “Contributing” to “Non-Contributing” in the final draft of the Architectural Resource Survey Update report and within the supporting documentation.

From: Trisha Logan
Sent: Friday, October 23, 2020 11:11 AM
To: sumlin@earthlink.net
Subject: RE: [-EXTERNAL-] SBHD Architectural Resource Survey

Good Morning, Sum.

Thank you for your feedback and sending the additional information. I will review the information that you sent and will provide you with a response within the next week.

Regards,

Trisha Logan, AICP | Historic Preservation Planner | Historic Preservation Board Liaison
City of Fort Lauderdale | Urban Design and Planning Division
700 NW 19th Avenue | Fort Lauderdale FL 33311
P: (954) 828-7101 E: tlogan@fortlauderdale.gov



From: fortlauderdale@enotify.visioninternet.com <fortlauderdale@enotify.visioninternet.com>
Sent: Thursday, October 22, 2020 1:51 AM
To: Trisha Logan <TLogan@fortlauderdale.gov>
Subject: [-EXTERNAL-] SBHD Architectural Resource Survey

A new entry to a form/survey has been submitted.

Form Name: SBHD Architectural Resource Survey
Date & Time: October 22, 2020 1:50 AM
Response #: 9
Submitter ID: 48568
IP address: 2601:580:c080:c040:354c:e8c1:7f27:6f4a
Time to complete: 3 min. , 46 sec.

Survey Details

Page 1

1. Contact Info

Name Sum Lin
Email sumlin@earthlink.net
Phone Number (954) 854-7582

2. Property address or addresses in Sailboat Bend that you own or rent

Adress(es):
705 SW 4 PLACE
1221 SW 4 COURT
1225 SW 4 COURT

3. Feedback

Provide any feedback or comments on the proposed assignment of “Contributing” and “Non-Contributing” status for each property:

I would urge the city to reclassify 705 SW 4 PLACE as non-contributing. I have attached a PDF document with my reasoning as well as supporting information. Please review and advise.

Provide any feedback or comments on the proposed updates to the Unified Land Development Regulations:

I do have some questions and feedback to the proposed ULDR updates. Please review the second PDF file attachment and advise.

Provide any general feedback or comments on the proposed updates:

Not answered

4. Would you like staff to contact you?

(o) Yes

5. Preferred method of contact

(o) Email

6. Attach Files (Optional)

File #1 [705 SW 4 PL Integrity Analysis.pdf](#)

File #2 [SBHD Ordinance Update Questions.pdf](#)

Thank you,
City of Fort Lauderdale, FL

This is an automated message generated by the Vision Content Management System™. Please do not reply directly to this email.

Trisha Logan

From: fortlauderdale@enotify.visioninternet.com
Sent: Sunday, October 25, 2020 2:11 PM
To: Trisha Logan
Subject: [-EXTERNAL-] SBHD Architectural Resource Survey

A new entry to a form/survey has been submitted.

Form Name: SBHD Architectural Resource Survey
Date & Time: October 25, 2020 2:10 PM
Response #: 13
Submitter ID: 48749
IP address: 2601:580:c080:c040:426:b8c5:7317:75d2
Time to complete: 4 min. , 8 sec.

Survey Details

Page 1

1. Contact Info

Name Sum Lin
Email sumlin@earthlink.net
Phone Number (954) 854-7582

2. Property address or addresses in Sailboat Bend that you own or rent

Adress(es):
1221 SW 4 CT
1225 SW 4 CT
705 SW 4 PLACE

3. Feedback

Provide any feedback or comments on the proposed assignment of "Contributing" and "Non-Contributing" status for each property:

Not answered

Provide any feedback or comments on the proposed updates to the Unified Land Development Regulations:

Not answered

Provide any general feedback or comments on the proposed updates:

I have attached a PDF document summarizing my feedback which is specific to the period of significance. Please review and advise.

4. Would you like staff to contact you?

(o) Yes

5. Preferred method of contact

(o) Email

6. Attach Files (Optional)

File #1 [SBHD Period of Significance.pdf](#)
File #2

Thank you,
City of Fort Lauderdale, FL

This is an automated message generated by the Vision Content Management System™. Please do not reply directly to this email.

Sum Lin
10/23/2020

Below are responses to your questions in blue.

I have some comments regarding the rationale used to capture additional contributing properties beyond the original period of significance ending in the 1940s by extending the period to include the 50s and 60s. I support the idea to include and preserve properties based on their historic character and significance, but not if it involves diluting further the period of significance as a means to do so.

In the Sailboat Bend Historic District Architectural Resource Survey Update document, specifically section VI. HISTORIC CONTEXT AND STATEMENT OF SIGNIFICANCE, I quoted the following text on the subject matter.

Within the original designation of the SBHD (1991), the following trends and patterns were noted:

- ☐ *That the structures built prior to 1940 were the most significant to the district as their numbers have vastly declined and they represent the City's earliest pioneering families.*
- ☐ *That if a structure **was built in the decades after the Period of Significance** (specifically the 1940s and 1950s); and had the appearance of the earlier period of significance, **it could be considered significant** (i.e. Contributing).*
- ☐ *That the district illustrated the evolution of the City, beginning from its early 1920s examples through to the **Mid-Century Modernisms of the 1950s and 1960s**.*

In the current Architectural Resource Survey of the SBHD (2018-2020), the historic context was extended to capture structures that were constructed during the 1940s and 1950s. The decision to include them was a result of the basis of original designation 'the known dates of construction and the physical integrity of the structure.

Pre-Development (Prior to the 19th Century) Minimal physical evidence of this area prior to development exists, however it can be seen through divisions of the streets created by early plats. This area is also an Archaeologically Significant Zone and through prior Archaeological Surveys there is evidence of pre-historic periods.

Pioneer Settlement (1910-1944) Records indicate the earliest structure in the district, the property located at 409 SW 9th Avenue, was constructed in 1910. Within this period of significance, architecture style represented include Bungalow, Frame Vernacular, Masonry Vernacular, Mediterranean Revival, Minimal Traditional and Mission Revival.

Post War (1945-1961) Within this Period of Significance, architectural styles represented include Minimal Traditional, Ranch, and Mid-Century Modern.

I do not support creating a new "Post War Period of Significance" or extending the original, accepted and recognized period of significance to capture more structures.

Firstly, by extending the period of significance, it appears the property's year of construction is the single most important criteria in determining a property's being designated Contributing vs Non-contributing. I, as well as many of my neighbors, feel that many properties are being lumped into the Contributing group by default. In reviewing those properties designated as Contributing, there is no additional description, except for year built, architect and architectural style. Does it mean these are the three most important pieces of data used in the analysis of whether a property is Contributing vs Non-contributing? If not, can the City document what additional criteria were used?

As outlined in Section IV of the draft Architectural Resource Survey Report for the Sailboat Bend Historic district, the following information is provided as a description of the Criteria for Evaluation:

Historic districts typically contain both contributing and non-contributing resources. Evaluations of significance for each property are conducted using data gathered through field observations of existing conditions; data such as folio numbers, parcel IDs, and dates of construction that are in the City's GIS system; original permits (when available); and past permits as well as consideration of the architectural integrity that is assessed for each structure. The evaluation of each structure was based on the overall analysis that combines the date of construction; the physical integrity of the structure; and the ability of the resource to convey the overall historic context of the setting. Each of these evaluation types are described further below:

Historic Context

Each property is evaluated for its relationship to the historic context established for this Architectural Resource Survey of the SBHD as described in Section VI below.

Dates of Construction

A majority of the dates of construction were determined utilizing data included within the [Broward County Property Appraiser \(BCPA\) website](#). In select instances, further research was conducted utilizing Sanborn Maps as well as past building permits to determine whether the property was constructed at an earlier date.

Property Types

The survey revealed that during the period of significance, the area was comprised primarily of residential properties (either single-family or multi-family) as well as select civic and commercial properties that provided service to the residents of the neighborhood or the immediately surrounding community.

Integrity

"Integrity" as used in the context of historic preservation refers to the physical character of a property. If the original characteristics of a building have been compromised (by additions or alterations) to the degree that the original design is no longer present, the building is deemed to have lost its integrity. [National Register Bulletin #15](#), published by the National Park Service, which describes the "Seven Aspects of Integrity" was used to judge the level of integrity for buildings. The "Seven Aspects of Integrity" are: Location; Design; Setting; Material; Workmanship; Feeling; and Association.

Additionally, in the final draft of the report – there will be an additional appendix that provides an architectural description of each Contributing property.

Secondly, it is my understanding that a building is not automatically considered to have acquired significance just because it was constructed inside a period of significance or by virtue of the building's age. I believe a better approach is to keep the original period of significance ending in the early 1940s, as originally intended, then identify individual properties that were built after those years, regardless of their years of construction, and designate them as Contributing hopefully with the owners' blessing if they are of similar design and harmonious in styles. Let the buildings that expresses true historical characters be designated Contributing on their own merit, and not because it falls into an extended period of significance.

Properties were not considered to be considered Contributing simply because of the date of construction within the identified Period of Significance.

Thirdly, the period of significance was a subject of debate in the past. In a 2005 letter. City Attorney Communication No. 05-561, **"Re: The period of significance for the Sailboat Bend Historic District"**, which I included in its entirety at the end of this document, the City Attorney stated:

"my review of the research material and City memoranda that were presented to the City Commission during the creation and amendment of the ordinance demonstrate that the expectation of the researchers and of staff was that the period of historic worthy of preservation in Sailboat Bend occurred before World War II." and "CONCLUSION: The Sailboat Bend Historic District Study, which supported the creation of the SBHD clearly shows that the intent of it's drafters was to protect a particular historic period of significance, i.e. 1940 pre-war construction."

I believe, by extending the period of significance, it confuses and blurs the intent of the original designation. This sends a clear signal to property owners that the period of significance may continue to creep later and later on subsequent surveys to suit other purposes. In various meetings it was stated the goal is to make things simpler, clearer, less complicated and less subjective for the property owners. I believe this is a reversal of this goal.

Within the 1991 Sailboat Bend Historic District (SBHD) Study, structures built prior to 1940 were identified as the most significant to the district. A caveat was included stating that if a structure was built later, (specifically in the 1940s-1950s) it could be considered "significant" if it had "appearance" of those in the previous decade. The SBHD Study states: "we have chosen the date of 1940 because the Second World War interrupted development, and structures built during the post-war development boom are markedly different from those of the pre-war years." The 1940 date also marked a period of time for properties that were 50-years and older, a common method of defining a historic context and establishing a period of significance.

Within this updated report, the statement above that identifies properties through the 1950s has not changed and this information was used as a basis in developing the updated Historic Context and Period of Significance.

It is typical to reassess historic districts periodically, usually every ten years, to maintain an inventory of designated historic resources. That reassessment is a requirement through the designation of the City as a Certified Local Government (CLG) by the State of Florida. This reassessment allows for the consideration of properties that may have achieved significance

since the survey was originally conducted and to incorporate historic resources where information may not have been available at the time to properly assess a structure. Updating an existing survey also provides an opportunity to identify and document physical changes that have occurred to a property and its surroundings since the last survey, and to identify sites where historic properties have since been moved or demolished. Finally, as architectural values were often the only criterion for significance in older surveys and resources were frequently only evaluated for the National Register, a survey update also provides for the ability to reevaluate properties within a defined historic context.

Fourthly, the end of SB's period of significance, before 1940, is clearly associated with World War II, and it marks the last years until after the war in which there was any substantial new building in the neighborhood, or the entire country. 1939, 40, 41 were associated with many other historic districts in the country for the same reason, and none of them to my knowledge have extended their period of significance to capture more properties because it would render the original period of significance insignificant.

Revisions to historic districts in order to extend the period of significance is nothing new. A good example of revisiting the period of significance (and in this case expanding the boundaries as well) is the National Register Historic District called the Architecture of Miami Beach (aka Miami Beach Art Deco District), which was originally listed in the National Register in 1979 with a Period of Significance from 1920-1945. On January 4, 2001, the original Period of Significance was extended to include 1945-1950 which resulted in the addition of 130 buildings labeled as Contributing resources. In 2012, the Period of Significance was once again extended to include 1950-1965 adding twelve additional significant structures that were built during this time frame and the continued postwar building boom.

Fifthly, it is widely accepted that the National Register has a rule, that places can only be listed if they achieved significance more than 50 years ago, listing places younger than 50 years old requires demonstrating that they are of "exceptional importance." A historic district whose development stretches into the period more recent than 50 years may be listed without having to meet the "exceptional importance" standard, but only if the preponderance of its buildings meets the 50-year guideline. The "present" from which the "50 year in the past" is measured is not "now", but the time when the district was nominated to the National Register. Sailboat Bend was designated in the 1992, the 50 year rule requires that the period of significance cannot be any younger than 1941. The "Pioneer Settlement (1910-1944)" period referenced above already stretched beyond the 50 year rule, having an additional post war period of significance or extending the existing period of significance not only violate the 50 year rule, but also introduce a segmentation in the history, a history where most people living in Sailboat Bend experience as continuous, an important criteria The National Register require when drawing chronological lines.

National Historic Preservation Act (NHPA), which was enacted by Congress in 1966, and from this act, the National Register of Historic Places was created. Outlined within the criteria for placement on the National Register are exceptions, one of which is the exception of the fifty-year age requirement. While not considered as "inflexible" as a "rule" — in 1966 when the Federal language was adopted, it clearly established a point at which, from an observer's perspective, there might be adequate time with which to judge historic implications. In other words, looking back at the past from a fifty-year vantage point, allows the "objectification"

of historical information.

If it were true by extending the Period of Significance from 1941 violates the “fifty-year rule” the historical documentation of Fort Lauderdale would not include the phenomenon of post-war housing, life-changing technological advance, attitudes about contemporary design, or the beginnings of Florida's Space Age industry to name just a sample of historic contexts. History is a continuum—not to treat it as such would be distorting history's impact on the area.

Finally, it is my opinion that Sailboat Bend should not have been designated as a historic district in 1992 in the first place because there were already too many intruding and incompatible buildings within the boundaries being designed and built up till that point, that the historic distinctions required by the National Register were an exaggeration of the way the residents understood their neighborhood's history. In 2020, the neighborhood does not look as it did in 1992, and not close to what it looked like pre 1940.

I would like the city to reconsider and vote to deny the capture of contributing structures built after 1940 based on an extension of period of significance but designate individual structures as contributing if they truly meet the standards of historic distinction.

Memorandum

No. 05-561

City Attorney's Office

To: Mayor Jim Naugle
Vice-Mayor Christine Teel
Commissioner Dean J. Trantalis
Commissioner Carlton B. Moore
Commissioner Cindi Hutchinson
George Gretsas, City Manager
Jonda K. Joseph, City Clerk

From: Harry A. Stewart, City Attorney/5037

Date: May 12, 2005

Re: The period of historical significance for the Sailboat Bend Historic District,

A recent decision by the City's Historic Preservation Board (HPB) to deny certificates of appropriateness for the demolition of four, one-story multi-family buildings and for the construction of six, three-story townhouses at 1101-1113 Waverly Road (HPB Case No. 12-H-04(SB)) resulted in a *de novo* hearing of the case by the City Commission on April 19, 2005. At that hearing, as you know, the City Commission rejected the HPB's decision and permitted both the demolition and the new construction. The City Commission's decision has generated a significant amount of criticism from the members of the HPB and from residents of the Sailboat Bend Historic District (SBHD). Consequently, I have been asked to provide a brief explanation of the period of historical significance for the SBHD as well as an analysis of the City Commission's decision to reject the HPB's denials.

It is my opinion that in Case No. 12-H-04(SB), the majority of the members of the HPB, in supporting a recommendation for denial of the application, misinterpreted the City ordinances that provide the criteria for the basis of their decision. Conversely, the decision of the City Commission to reject the HPB's decision and approve the application was entirely appropriate. The City Commission's decision was based firmly on the standards set in our ordinances and provided the correct resolution for this case.

The SBHD is a zoning overlay district created in 1992 by ordinance C-92-49, which was codified in the City's Zoning Code. In 1997 the City Commission amended the Zoning Code to create the Unified Land Development Regulations (ULDR). It

appears that the SBHD ordinances were incorporated without change into the ULDR. The SBHD ordinances are found in Section 47-17 of the ULDR. I have attached a copy of Section 47-17 for your review.

You can see that Section 47-17.2.A. of the ULDR explains that a study was conducted to identify the building materials and building designs that exemplify the historic character of the SBHD neighborhood. (The study was the Sailboat Bend Historic District Study ("the Study") and City staff can provide you with a copy of the Study should you wish to review it.) In the Study, the researchers analyzed the differences in design and construction found between houses built before 1940 and houses built subsequent to 1940. In the Study, the researchers state, "We have chosen the date of 1940 because the Second World War interrupted development, and structures built during the post-war development boom are markedly different from those of the pre-war years."¹

Elsewhere in the Study, the researchers explain that during the Great Depression, which, the Study asserts, ran in Fort Lauderdale from 1926 to 1941, and during and following World War II, there was very little construction taking place in the Sailboat Bend neighborhood. The Study acknowledges that many multi-family residences existed prior to 1940, but warns that these residences, should they be permitted to proliferate as they did in the post-war period, could overwhelm the neighborhood. It seems that the researchers wanted to preserve a type of Fort Lauderdale neighborhood that existed prior to World War II where single-family houses having front porches and street-facing windows were built close to the street without any suburban-style buffer created by a large front lawn. Most of the building materials and building designs identified in the Study are characteristics of single-family residences.²

A significant result of the Study was the incorporation of this list of building materials and building designs into a set of material and design guidelines for the SBHD. These guidelines are codified in Section 47-17.7.B. of the ULDR. The purpose of adopting this set of guidelines is set forth in Section 47-17.2.A.1. of the ULDR, which provides, "The purpose of the guidelines is to identify a range of material and design options which will encourage development compatible with the historic character of

¹Sailboat Bend Historic District Study, Section II.A. Introduction and Overview

²Ibid., Section IV.A. Material and Design Guidelines

the SBHD and discourage introduction of incompatible features.” The applicability of the guidelines is set forth in Sub-section A of Section 47-17.7 and it is this part of the ULDR that appears to have caused the present confusion.

Section 47-17.7.A, is comprised of one introductory paragraph and four sub-sections. Each sub-section provides the manner in which the guidelines are to be applied to a different aspect of development within the SBHD. The aspects of development are new construction, alteration, relocation, and demolition. Sub-section 47-17.7.A.1. provides that the guidelines are to be used to assure that new construction is compatible with the buildings that were built prior to 1940 and that exhibit the historic character and features of the district as identified in the SBHD study. (The 1997 version of this sub-section required that new construction be compatible with the existing character of visually related buildings. This language proved difficult to understand and in 1999, the ordinance was amended to its present form.) Consequently, buildings constructed after 1940 are not to be used for compatibility purposes for new construction, regardless of whether these buildings are similar to buildings constructed before 1940.

The back-up material provided to the City Commission as part of the 1999 amendment to this sub-section, explained that the proposed amendment would clarify that new construction and alterations were to be compatible with historic buildings: “In this instance, that the building/structure/object was constructed in the historic period – pre-1940s – as identified by the SBHD study.”³ Other back-up material explains that the purpose of this amendment was to eliminate confusion because not every building in the SBHD was a “contributing” building. An earlier City staff memo used the date of 1946 as end of the historic period, but this date is not found in the material that was presented to the City Commission during the ordinance amendment process.⁴

Page after page of the Study contrasts pre- and post-1940 buildings and while the Study does state that some post-1940 buildings could “contribute” to the historic

³City Manager Memo 99-03, December 21, 1998, Table 1, attached as Exhibit 2.

⁴ See City Manager Memo 98-0838, May 28, 1998, Exhibit 1 “3.b - Historic Preservation Regulations”, April 28, 1998, page 4, which states, “The ‘contributing’ buildings were those built prior to 1946 (*sic*) and which are representative of the stated Historic Period of the district as identified by the SBHD study.”

character, the Study does not identify with particularity those post-1940 buildings that "contribute". Likewise, the ordinance that is based on the Study makes no reference to post-1940 buildings. The only reference to the year 1940 that appears in the ordinance regards, as I've stated, the requirement that new construction be compatible with buildings that were built prior to 1940. Although the sub-section that regards demolition (§47-17.7.A.4.) does not state that post-1940 buildings may be demolished, the remainder of the ordinance provides that these are not the buildings that are important from a preservation standpoint. Common sense requires that if these buildings were not important to the preservationists, these buildings can be demolished without harm to the SBHD even if these buildings are similar in appearance to the earlier buildings.

Although the ordinance could be more explicit, my review of the research material and City memoranda that were presented to the City Commission during the creation and amendment of the ordinance demonstrate that the expectation of the researchers and of staff was that the period of history worthy of preservation in Sailboat Bend occurred before World War II. Nothing in the City Commission minutes from any of the hearings on the proposed ordinances indicate that the City Commissioners challenged staff's expectation. The only logical way to read the ordinance is to conclude that the period of significance for the SBHD ended in 1940.

Conclusion:

The Sailboat Bend Historic District Study, which supported the creation of the SBHD clearly shows that the intent of its drafters was to protect a particular historic period of significance, i.e. 1940 pre-war construction. If it is now the desire of the City Commission to add age of the structure as a criteria, I would suggest an amendment to the existing regulatory scheme which would create a rolling period of significance to the SBHD regulations.

Attachments

cc: Historic Preservation Board

HAS/cbb/ms

L:\HAS\MEMOS\2005\COMM0561_CC.WPD

Sec. 47-16.22. Site amenity requirements.

The minimum site amenities for any building or use, erected, altered, relocated, installed or maintained, shall conform to all applicable ULDR. The board shall consider the protection and separation of contiguous and nearby property and the interest of public safety and convenience; therefore, the board may specify additional requirements for the relocation of walks, malls, yards, terraces, open space, landscaping, walls, fences, hedges, parking areas, loading areas and outdoor waste disposal facilities.

(Ord. No. C-97-19, § 1(47-16.10), 6-18-97)

Sec. 47-16.23. Parking exemption.

The H-1 district, as described in Sec. 47-20.3.E., is exempt from the ULDR's parking & loading requirements, however, all non-required parking spaces shall meet the requirements of Section 47-20, Parking and Loading Requirements, and is subject to the criteria and guidelines provided in Sec. 47-24.11.C.

(Ord. No. C-99-14, § 7, 3-16-99)

SECTION 47-17. SAILBOAT BEND HISTORIC DISTRICT**Sec. 47-17.1. List of districts.**

SBHD - Sailboat Bend Historic District.

(Ord. No. C-97-19, § 1(47-17.1), 6-18-97)

Sec. 47-17.2. Intent and purpose.

A. *SBHD - Sailboat Bend Historic District* is intended to provide additional guidelines for the review of an application for a certificate of appropriateness for buildings and structures within the SBHD. A study was conducted of the building materials, surfaces, textures and design of buildings and structures which exemplify the historic character of the SBHD neighborhood. From this study guidelines were developed to serve as a baseline description against which plans requiring a certificate of appropriateness pursuant to Section 47-24, Development Permits and Procedures, can be reviewed for harmony, compatibility and appropriateness. The study which is the basis for these guidelines is entitled the Sailboat Bend Historic District Study ("Study"). The material and design guidelines developed as a result of this study are provided in Sec. 47-17.7.

1. The purpose of the guidelines is to identify a range of material and design options which will encourage development compatible with the historic character of the SBHD and discourage introduction of incompatible features. The intent of the material and design guidelines is not to require particular architectural features or dictate architectural style. Contemporary designs and materials may be permitted if used in a manner compatible with the sense of the past that is being preserved. Economic feasibility and durability of proposed improvements, along with visual harmony, are primary concerns.

2. In addition to the review of materials and design of buildings and structures within the SBHD, the study includes a review of existing yard requirements. It was found that in the RS-8 and RML-25 zones, existing yards of historically

significant buildings differed from the yard requirements presently required in RS-8 and RML-25 zoned districts as provided by the ULDR. The purpose of the provisions allowing a reduction in yard requirements for buildings and structures in the SBHD, in RS-8 and RML-25 zoned districts and other residential districts when used for a use permitted in an RS-8 or RML-25 zoning district, is to promote construction which is compatible with the historic character of the district.

(Ord. No. C-97-19, § 1(47-17.2), 6-18-97; Ord. No. C-99-14, § 8, 3-16-99)

Sec. 47-17.3. Applicability.

All provisions of Section 47-24, Development Permits and Procedures, shall be applicable to the SBHD except to the extent that such provisions are modified by this section.

(Ord. No. C-97-19, § 1(47-17.3), 6-18-97)

Sec. 47-17.4. Application for alterations or new construction.

A. The provisions of Sec. 47-24.11.C as they apply to an application for alteration or new construction of structures or buildings located in the SBHD shall be revised as follows:

1. An application for a certificate of appropriateness for alteration or new construction shall be reviewed by the department. If such application meets the criteria provided in Sec. 47-24.11.C and the material and design guidelines as provided in Sec. 47-17.7, the department may approve the application. If the department determines that the application does not meet existing guidelines provided in Sec. 47-24.11.C, Certificate of Appropriateness; and the material and design guidelines, the application shall be submitted and reviewed by the historic preservation board as a new application for a certificate of appropriateness in accordance with the provisions of Sec. 47-24.11.C, but no additional fee will be required.

2. No certificate of appropriateness for alteration or new construction granted by the department shall be effective for a period of fifteen (15) days subsequent to the department's decision. The department shall, within five (5) days after its grant of a certificate of appropriateness, advise the members of the historic preservation board and city commission of its decision. If during that fifteen (15) day period the historic preservation board or city commission wishes the application to be reviewed, the decision of the department shall automatically be stayed and the application shall be reviewed by the historic preservation board as a new application for a certificate of appropriateness in accordance with the procedures provided in Sec. 47-24.11.C, Certificate of Appropriateness, but no additional fee will be required.

(Ord. No. C-97-19, § 1(47-17.4), 6-18-97; Ord. No. C-99-14, § 9, 3-16-99)

Sec. 47-17.5. Application for yard and minimum distance separation reduction.

A. **Yards.** The historic preservation board may authorize a reduction in yards and minimum distance separation requirements for residences located in RS-8, RML-25 and other residential zoning districts located within the SBHD when the historic preservation board finds a reduction in yards does not interfere with the light, air and view of adjacent

properties and:

1. Reducing the required yard is compatible with the yards or abutting properties, and yards across from the yard proposed for reduction;
2. The yards proposed to be reduced are consistent with the yards existing in connection with contributing structures in SBHD; or
3. A reduction in the required yard is necessary to preserve a structural or landscaping feature found by the historic preservation board to contribute to the historical character of the SBHD; or
4. In other residential zoning districts within the SBHD, the board may authorize yard reductions subject to criteria in subsections A.1 through 3 if the proposed use and dimensions of a development are the same as those permitted in RS-8 and RML-25 zoning districts. Once a yard reduction or minimum distance separation requirement is approved, uses and structures in these zoning districts may not be altered without the issuance of a certificate of appropriateness.

B. Reduction of yards may be permitted as follows:

1. *RS-8 zoning district.* Principal residential structures: Front yard: fifteen (15) feet.
2. *RML-25 zoning district.* Principal residential structures: Front yard: fifteen (15) feet, side yard: five (5) feet, rear yard: fifteen (15) feet.
3. *RS-8 and RML-25 zoning district.* Accessory structures: Rear yard: five (5) feet.
4. Minimum distance between principal residential and accessory structures: five (5) feet, unless otherwise required by the Florida Building Code.
5. In other residential districts, when the use and dimensions meet the requirements of subsection A.4, the yards may be reduced to the dimensions provided in subsections B.1 through 4.

C. An application for a reduction in yard requirements shall be made to the historic preservation board in the same manner, subject to the same procedures as an application for a certificate of appropriateness as provided in Sec. 47-24.11.C.

(Ord. No. C-97-19, § 1(47-17.5), 6-18-97; Ord. No. C-99-14, § 10, 3-16-99; Ord. No. C-03-23, § 2, 7-1-03)

Sec. 47-17.6. Alterations to nonconforming structures.

A. Notwithstanding the provisions of Section 47-3, Nonconforming Uses, Structures and Lots, alterations to non-conforming structures which exceed fifty percent (50%) of the replacement value of the structure may be permitted by the historic preservation board if it is found that:

1. Present exterior elevations and material types are maintained; or
2. Present exterior elevations and material types are proposed to be changed in accordance with the SBHD material and design guidelines as provided in Sec. 47-17.7.

B. An application for alterations which exceed fifty percent (50%) of the replacement value of the property shall be made to the historic preservation board in the same manner, and subject to the same procedures as an application for a certificate of appropriateness as provided in Sec. 47-24.11.C.

(Ord. No. C-97-19, § 1(47-17.6), 6-18-97)

Sec. 47-17.7. Material and design guidelines.

A. *Applicability.* The SBHD material and design guidelines shall be read in conjunction with the existing guidelines provided in this section and shall be utilized as additional criteria for the consideration of an application for a certificate of appropriateness for the following:

1. *New construction.* The material and design guidelines shall be used to determine if the new construction is compatible with buildings which were built prior to 1940 and which exhibit the historic character and features of the district as identified in the SBHD study.
2. *Alteration.* The material and design guidelines shall be used in identifying existing features of the original structure and encourage restoration in line with these features and to encourage inclusion of historical features when compatible with the character of the original structure.
3. *Relocation.* The material and design guidelines shall be used to insure that buildings moved to sites within the district are compatible with the surrounding buildings and are suitably situated on the lot.
4. *Demolition.* The material and design guidelines shall be used to identify existing features of a structure which conform to the guidelines and determine the feasibility of alternatives to the demolition of a structure.

B. *Materials and designs.*

1. *Exterior building walls.*

a. *Materials and finish.*

- i. Stucco: float finish, smooth or coarse, machine spray, dashed or trowled.
- ii. Wood: clapboard, three and one-half (3 1/2) inches to seven (7) inches to the weather; shingles, seven (7) inches to the weather; board and batten, eight (8) inches to twelve (12) inches; shiplap siding smooth face, four (4) inches to eight (8) inches to the weather.
- iii. Masonry: coral, keystone or split face block; truncated or stacked bond block.

2. *Windows and doors.*

a. *Materials.*

- i. Glass (clear, stained, leaded, beveled and non-reflective tinted).
- ii. Translucent glass (rear and side elevations only).
- iii. Painted and stained wood.
- iv. Aluminum and vinyl clad wood.
- v. Steel and aluminum.
- vi. Glass block.

- vii. Flat skylights in sloped roofs.
 - viii. Domed skylights on flat roofs behind parapets.
 - b. *Configurations.*
 - i. Doors: garage nine (9) feet maximum width.
 - ii. Windows: square; rectangular; circular; semi-circular; semi-ellipse; octagonal; diamond; triangular; lited only to gable ends.
 - c. *Operations.*
 - i. Windows: single and double hung; casement; fixed with frame; awning; sliders (rear and side only); jalousies and louvers.
 - d. *General.*
 - i. Wood shutters sized to match openings (preferably operable).
 - ii. Wood and metal jalousies.
 - iii. Interior security grills.
 - iv. Awnings.
 - v. Bahama shutters.
 - vi. Screened windows and doors.
- 3. *Roofs and gutters.*
 - a. *Roof--materials.*
 - i. Terra cotta.
 - ii. Cement tiles.
 - iii. Cedar shingles.
 - iv. Steel standing seam.
 - v. 5-V crimp.
 - vi. Galvanized metal or copper shingles (Victorian or diamond pattern).
 - vii. Fiberglass/asphalt shingles.
 - viii. Built up roof behind parapets.
 - b. *Gutters.*
 - i. Exposed half-round.
 - ii. Copper.
 - iii. ESP aluminum.
 - iv. Galvanized steel.
 - v. Wood lined with metal.
 - c. *Configurations.*
 - i. Roof: The pitch of new roofs may be matched to the pitch of the roof of existing structures on the lot. Simple gable and hip, pitch no less than 3:12 and no more than 8:12. Shed roofs attached to a higher wall, pitch no less than 3:12. Tower roofs

may be any slope. Rafters in overhangs to be exposed. Flat with railings and parapets, where permitted, solar collectors and turbine fans at rear port.

4. *Outbuildings.*

a. *Materials and finish.*

- i. Stucco: float finish, smooth or coarse, machine spray, dashed or trowled.
- ii. Wood: clapboard, three and one-half (3 1/2) inches to seven (7) inches to the weather; shingles, seven (7) inches to the weather; board and batten, eight (8) inches to twelve (12) inches; shiplap siding smooth face, four (4) inches to eight (8) inches to the weather.
- iii. Masonry: coral, keystone or split face block; truncated or stacked bond block.

5. *Garden walls and fences.*

a. *Materials and style.*

- i. Stucco: float finish, smooth or coarse, machine spray, dashed or trowled.
- ii. Wood: picket, lattice, vertical wood board.
- iii. Masonry: coral, keystone or split face block; truncated or stacked bond block.
- iv. Metal: wrought iron, ESP aluminum, green vinyl coated chain link.

b. *Configurations.*

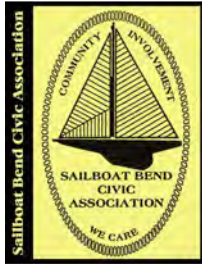
- i. Front: spacing between pickets maximum six (6) inches clear.

6. *Arcades and porches.*

a. *Materials and finish.*

- i. Stucco (at piers and arches only): float finish, smooth or coarse, machine spray, dashed or trowled.
- ii. Wood: posts and columns.
- iii. Masonry (at piers and arches only): coral, keystone or split face block; truncated or stacked bond block.
- iv. Metal (at railings only): wrought iron, ESP aluminum.

(Ord. No. C-97-19, § 1(47-17.7), 6-18-97; Ord. No. C-99-14, § 11, 3-16-99)



Sailboat Bend Civic Association

P.O. Box 1776, Fort Lauderdale, FL 33302-1776

October 30, 2020

Dear Mayor, Vice-Mayor, City Commissioners, HPB Members, and P&Z Board Members,

The property owners of Sailboat Bend are strongly opposed to the Sailboat Bend Historic District Ordinance changes proposed by the City. Imposing additional restrictions on property owners who have already been negatively impacted by the current ordinance is unacceptable. In fact, based on recent polling, a majority of owners have voted to rescind the current historic district ordinance altogether.

Since 2013 the Sailboat Bend Civic Association (SBCA) membership has continued to vote in favor of abolishing the historic district ordinance. At the direction of the SBCA membership over 400 ballots were recently mailed to the property owners identified in the City's 2020 Sailboat Bend Architectural Resource Survey. This voting process was a YES or NO vote to a Proposition to Rescind Section 47-17 of the ULDR - Sailboat Bend Historic District. The purpose of this mailing was to extend beyond the Civic Association's Membership and provide an opportunity for the property owners, who are directly impacted, to voice their position relating to the Sailboat Bend Historic District Ordinance.

The vote returns were collected and unopened until October 28, 2020, at which time the ballots were opened and counted in the presence of 7 members of the neighborhood representing a broad and diverse interest in this initiative. Of the 173 ballots returned, 148 voted YES, representing 86% and 25 voted NO representing 14% of the total vote. This landslide majority vote speaks loudly to the fact that most of the neighborhood supports having the Sailboat Bend Historic District rescinded and abolished.

There are multiple reasons the Sailboat Bend Historic District should be eliminated all of which can be summarized by the fact that the benefits envisioned by the originators have not been realized and in reality the Ordinance has had a negative effect on the health of the neighborhood.

As the 1st steps in rescinding the Sailboat Bend Historic District we request that the Historic Preservation Board, the Planning and Zoning Board and the City Commission vote to deny the proposed revisions to Section 47-17 Sailboat Bend Historic District. Furthermore, we request that the City respect the vote of the neighborhood and move to rescind the Sailboat Bend Historic District and restore the same rights and privileges afforded all other property owners in all other neighborhoods of the City to the property owners in Sailboat Bend.

Sailboat Bend Residents are not asserting that history is not important. We do object to the manner in which history is being forcefully preserved at the expense of a relatively few property owners for the benefit of a City that has examples of early-20th Century architecture scattered throughout many neighborhoods in the City.

Thank you in advance for your thoughtful consideration.

Respectfully,

Board of Directors
Sailboat Bend Civic Association

Dr. Ruth Clarke - President
Stephanie Wedgeworth - Vice President
Jim Paras - Secretary
Sharon Wilkin - Treasurer
Dean Williams - Director at Large

Trisha Logan

From: fortlauderdale@enotify.visioninternet.com
Sent: Wednesday, December 16, 2020 9:45 AM
To: Trisha Logan; Suellen Robertson; Yvonne Redding
Subject: [-EXTERNAL-] HPB Speaker Card

A new entry to a form/survey has been submitted.

Form Name: HPB Speaker Card
Date & Time: December 16, 2020 9:44 AM
Response #: 22
Submitter ID: 50728
IP address: 2601:582:4900:5a0:a1fb:8fab:29a5:eebe
Time to complete: 2 min. , 9 sec.

Survey Details

Page 1

1. Meeting Date

☐ December 21, 2020 at 5:00 pm

2. Meeting Session

☐ Historic Preservation Board (HPB)

3. Contact Info

Name Ken Powell
Street Address 1216 SW 4th Court
City Fort Lauderdale, FL 33312
Email kenpowell1216@gmail.com
Phone Number (that you will use to call in to the meeting) 801-860-8877

4. Speaking on Requester's Behalf

☐ No

5. Requester Designated Representative of:

Not answered

6. View

☐ Opposes

7. Agenda Item or Items

☒ Proposed Sailboat Bend Historic District Updates

8. Attach File (Optional)

If you have files that you want to present during your three-minute speech, please attach them here.

File 1 [Guidelines for District Nominations.pdf](#)

File 2 [Compare SBHD to National Criteria.pdf](#)

Thank you,
City of Fort Lauderdale, FL

This is an automated message generated by the Vision Content Management System™. Please do not reply directly to this email.

GUIDELINES FOR PREPARING DISTRICT NOMINATIONS FOR THE NATIONAL REGISTER

(Revised August 2005, August 2007, October 2009, June 2011)

NOTE: Until notified otherwise, please continue to use the Florida Nomination Proposal, available upon request from the Bureau of Historic Preservation, for your nomination proposals, rather than the new form available on the National Park Service's National Register website.

District: A district possesses a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development.

Examples: central business districts; residential areas; industrial complexes; college campuses; civic centers; rural villages; canal systems; collections of habitation and limited activity sites; irrigation systems; large estates, farms, ranches, or plantations; transportation networks; and large landscaped parks.

I. Guidelines for Evaluating and Stating Significance

Fundamental to the evaluation of a district is an understanding what its essential significance is. The mere existence of resources that are at least fifty years old and retain their historic character is not sufficient justification to determine them significant. The resources must be evaluated in light of their historical context. What were the events and circumstances that led to their creation? Essential to this evaluation is a determination of the appropriate period or periods of significance.

The tightly related events and circumstances can be defined by a period or several distinct periods of significance. Districts that encompass an **entire community or its commercial area** may have a very long period of significance that includes the interconnected broad developments, such as the construction of the residential, commercial, governmental, religious, and educational resources during the historic period. **Distinct neighborhoods**, however, should be evaluated within much tighter periods of time, usually limited to the construction dates of the vast majority (80-90%) of the neighborhood's historic resources. For example, a 1920s boom time subdivision in which 80-90% of the resources date from the 1920s up to World War II would have a period of significance of say, 1923-1941. Resources dating from other periods of significant development separated by a long break in years when there was not much construction, should be given separate periods of significance, (e.g., important post-World War II resources).

Each period of significance must be documented with information about the context, circumstances, and people associated with the resources, e.g., architects, builders, developers, residents, proprietors, and social history. Discussions should also address the important architectural developments the district exhibits. What were the technological changes that affected design (e.g., air conditioning, and the expanded use of the automobile)? The following questions should be addressed in developing an understanding of the district's significance.

It should be noted that **resources that pre-date a district's period of significance** may, because they were present during the period of significance, be considered contributing resources. They may have been part of what made the area attractive for development. For example: a subdivision was laid out in the early 1900s in an area that was the site of large homestead dating from the 1870s. The house from the 1870s remains, and two other houses were built (1905 and 1912), but the subdivision was not significantly developed until 1922-1926, during the Florida Land Boom. The district's significance, however, is tied to the development of the subdivision. The period of significance for the district, therefore, would be 1922-1926. Because the 1870s, 1905, and 1912 buildings were part of the 1922-1926 development, they could be counted as contributing resources.

- a. What are the features and characteristics that distinguish the district?
- b. What are the origins and historical developments of the district? Are any architects, builders, designers, or planners important to the district's development?
- c. Does the district convey a sense of historic or architectural cohesiveness through its design, setting, materials, workmanship, or association?
- d. How do the architectural styles or elements within the district contribute to the feeling or time and place?
- e. How have significant individuals or events contributed to the development of the district?
- f. How has the district affected the historical development of the community, region, or state? How does the district reflect the historical development of the community, region, or state?
- g. How have intrusions and noncontributing structures and buildings affected the district's ability to convey a sense of significance?
- h. What are the qualities that distinguish the district from its surroundings?
- i. How does the district compare to other similar areas in the locality, region, or state?

- j. If there are any preservation or restoration activities in the district, how do they affect the significance of the district?
- k. What is the significance of any resources lying outside the period of significance that should be considered contributing? For example, did resources predating the district's period(s) of significance set the stylistic tone of the district, or contribute to the street layout and spatial patterns of development? Did they make the area attractive for later development?
- l. If the district has industrial significance, how do the industrial functions or processes represented relate to the broader industrial or technological development of the locality, region, state or nation? How important were the entrepreneurs, engineers, designers, and planners who contributed to the development of the district? How do the remaining buildings, structures, sites and objects within the district reflect industrial production or processes?
- m. If the district is rural, how are the natural and man-made elements of the district linked historically or architecturally, functionally, or by common ethnic or social background? How does the open space constitute or unite significant features of the district?
- n. Does the district have any resources of possible archaeological significance? If so, how are they likely to yield important information?

II. Guidelines for Describing Districts

Once the district's significance is identified, it is possible to determine which resources visually convey that significance.

Include discussion of:

- a. The natural and man-made elements comprising the district, including prominent topographical features and structures, buildings, sites, objects, and other kinds of development;
- b. Architectural styles or periods represented and predominant characteristics such as scale, proportions, materials, color, decoration, workmanship, and quality of design;
- c. The general physical relationship of buildings to each other and to the environment: facade lines, street plans, squares, open spaces, density of development, landscaping, principal vegetation, and important natural features. Discuss any changes to these relationships over time. Some of this information may be provided on the map of the district;

- d. The appearance of the district during the period(s) when the district achieved significance and any changes or modifications since;
- e. The general character of the district, such as residential, commercial or industrial and the types of buildings, including outbuildings, found in the district;
- f. The general condition of buildings, including alterations and additions, and any restoration or rehabilitation activities;
- g. The identity of the buildings, groups of buildings or other resources that do and do not contribute to the district's significance. (See attached sheets on contributing and noncontributing resource). These should be evaluated in relationship to the descriptive characteristics and the areas and periods of significance of the overall property. Specific information about each resource including its date, function, associations, information potential, and physical characteristics should be considered. All resources should be keyed as contributing or noncontributing on the map of the district submitted with the form;
- h. The ratio of primary noncontributing buildings, sites, structures, and objects to the total number of resources within the district;
- i. Primary contributing buildings, sites, structures, and objects;
- j. The qualities distinguishing the district from its surroundings, i.e., the qualities that make the district a distinct entity;
- k. The presence of any archaeological resources and their potential to yield important information; and
- l. Open spaces such as parks, agricultural areas, wetlands, and forests; open spaces that once contained significant structures.
- m. For Industrial Districts:**
 - 1. Industrial activities and processes that took or are taking place within the district; important natural and geographical features related to these processes or activities such as waterfalls, quarries, or mines;
 - 2. Original and other historic machinery still in place;
 - 3. Linear systems within the district such as canals, railroads, and roads, including their approximate length and width and the location of terminal points.

n. For Rural Districts:

1. Geographical and topographical features such as valleys, vistas, mountains, and bodies of water that convey a sense of cohesiveness or give the district its rural or natural characteristics;
2. Examples and types of vernacular, folk, and other architecture, including outbuildings, within the district;
3. Man-made features and relationship making up the historic and contemporary landscape, including the arrangement and character of fields, roads, irrigation systems, fences, bridges, and vegetation; and
4. The historic appearance and current condition of natural features such as vegetation, principal plant materials, open space, cultivated fields, or a forest.

III. Assessing Historical Integrity

The second critical consideration in evaluating eligibility for listing in the National Register is integrity, the degree to which a property retains its historical character. The following is taken from “Historic Residential Suburbs in the United States, 1830-1960,” a Multiple Property Submission cover document prepared for the National Park Service by Linda Flint McClelland and Sarah Dillard Pope, Historians with the National Park Service, and David L. Ames, University of Delaware. Although developed for evaluating suburbs, the guidelines are useful in evaluating non-archaeological districts in general. The guidelines state:

For National Register eligibility, a historic residential suburb must possess historic integrity, that is, it must visibly reflect the overall physical appearance it gained during the period of historical significance. Historic integrity is the composite of seven qualities: location, design, setting, materials, workmanship, feeling and association. Historic integrity requires that the various features that made up the neighborhood in the historic period be present today in the same configuration and similar condition. These qualities are applied to dwellings, as well as roadways, open spaces, garages, and other aspects of the historic design.

The presence of certain characteristics may be more important than others. Where the general plan of development has importance, integrity should be present in the original boundaries, circulation pattern of streets, and walkways, and the division of housing lots. Where architectural design is of greatest significance, integrity will depend heavily on the design, materials, and workmanship of individual houses. Elements such as roadways, the arrangement of house lots, walls, plantings, walkways, parkland, ponds, statuary, and fountains may likewise contribute strongly to importance in landscape architecture. Although historic plantings generally enhance historic integrity, it is important to

recognize that as trees, shrubs, and other vegetation mature, they may sometimes erase intended vistas.

Changes and additions to the neighborhood since the period of significance, including infill development substantial additions, widened roads, and nonhistoric recreational facilities, diminish historic integrity and are considered noncontributing. Historic subdivisions containing such changes are eligible for listing despite these changes if the overall historic plan is intact and a substantial number of historic characteristics possessing integrity of design, location, materials, and workmanship are present. The amount of infill and other changes that a historic neighborhood can withstand before losing integrity will depend on its size and scale, and the presence of significant features, and the suburban context in which it developed. The division of suburban lots beyond that specified in historic plans and deed restrictions threatens a historic neighborhood's integrity of design and should be viewed as a compatible pattern of development only if the subdivisions occurred as a result of historically important events during the period of significance.

The seven qualities of integrity are applied to historic neighborhoods in the following ways:

Location is the place where significant activities that shaped the neighborhood took place. This quality requires that to a large extent the boundaries that historically defined the suburb remain intact and correspond to those of the historic district being nominated. It also requires that the location of streets and the size and shape of the house lots have remained constant. The location of historic suburbs was often determined by proximity to transportation corridors . . . and accessibility to places of employment. While the presence of historic transportation systems may add to a district's significance their loss or relocation does not detract in a major way from the integrity of the district.

Design is the composition of elements comprising the form, plan, and spatial organization of a historic neighborhood. This includes the arrangement of streets, division of blocks into house lots, arrangement of yards and construction of houses and other buildings. Design may have resulted from conscious planning decisions set forth in the historic plat, project specifications, building contracts or deed restriction, or it may be the result of the personal tastes and individual efforts of homeowners to shape their domestic environment. Integrity of design can be affected by changes to the size of housing lots by recent subdivision or consolidation and alterations to individual dwellings in the form of additions, siding, window replacements, and other changes. Small-scale additions, such as the construction of modest porches or garages, may not detract in a major way from the historic character of individual homes and the neighborhood. Large-scale additions, however, that double the elevation, add substantially to the mass of a historic house or alter the spatial relationship between house and street generally threaten integrity of design.

Setting is the physical environment within and surrounding a historic suburb. Many historic neighborhoods were designed to provide a semi-rural environment within commuting distance of the city joining nature and urban amenities. A semi-rural character was often created through the design of an open, park-like setting of landscaped streets, private yards, and sometimes, public parks. Subdivisions were often surrounded by buffers of trees or bordered by undeveloped stream valleys to reinforce the separation of city and suburb. Integrity of setting requires that a strong sense of historical setting be maintained within the boundaries of the nominated property. This relies to a large extent on the retention of built resources, street plantings, parks and open space. Elements of design greatly affect integrity of setting, and those consistent with the neighborhood's historic character or dating from the period of significance add to integrity. Small-scale elements such as individual planting, gateposts, fences, swimming pools, playground equipment, and parking lots detract from the integrity of setting unless they date to the period of significance. The setting outside many historic neighborhoods will have changed substantially since the period of significance. Evidence of early streetcar or railroad systems in large part has disappeared, and arterial corridors have been widened and adapted to serve modern automobile traffic. Historic train stations, stores, churches, schools and community buildings, however, may still be present, and may be nominated separately, or, if located within or on adjoining parcels, may be included within the boundaries of a historic residential suburb.

Materials include the construction materials of dwellings, garages, roadways, walkways, fences, curbing, and other structures, as well as vegetation, planted as lawns, shrubs, trees, and gardens. The presence of particular building materials (e.g., stone, stucco, brick, or horizontal or vertical siding) may be important indicators of architectural style and methods of construction that give some neighborhoods a cohesive historic character. Integrity of materials in an architecturally significant neighborhood requires that the majority of dwellings retain the key exterior materials that marked their identity during the historic period. The retention of original materials in individual dwellings may be less important in assessing the integrity of a neighborhood significant for its plan or landscape design. Original plant materials may enhance the integrity, but their loss does not necessarily destroy it. Vegetation similar in historic species, scale, type and visual effect will generally convey integrity of setting although integrity of materials may be lost.

Workmanship is evident in the ways materials have been fashioned for functional and decorative purposes to create houses, other buildings and structures and a landscaped setting. This includes the treatment of materials in house design, the planting and maintenance of vegetation, as well as the construction methods of small-scale features such as curbs and walls. Integrity of workmanship requires that architectural features in the landscape, such as portals, pavement curbs, and walls, exhibit the artistry of craftsmanship of their builders and that the vegetation historically planted for decorative and esthetic purposes be maintained in an appropriate fashion and replaced in kind when damaged or destroyed.

Feeling, although intangible, is evoked by the presence of physical characteristics that convey the sense of past time and place. Integrity of feeling reflects the cumulative effect of setting, design, materials, and workmanship. A streetcar suburb retaining its original street pattern, lot sizes, and variety of housing types and materials will reflect patterns of suburban life reminiscent of the late nineteenth and early twentieth centuries.

Association is the direct link between a historic suburb and the important events that shaped it. Continued residential use and community traditions, as well as the renewal of design covenants and deed restrictions, help maintain a neighborhood's integrity of association. Additions and alterations that introduce new land use and erase the historic principles of design threaten integrity. Integrity of association requires that a historic neighborhood convey the period when it achieved importance and that despite changing patterns of ownership, it continues to reflect the design principles and historic associations that shaped it during the historic period.

III. Guidelines for Selecting Boundaries

Carefully select boundaries to encompass, but not exceed, the full extent of the significant resources making up the district. The area to be registered should be large enough to include all the features of the district, but should not include "buffer zones" or acreage not directly contributing to the significance of the district.

For historic and architectural districts, select the boundaries for a single parcel of land that encompasses the significant concentration of buildings, sites, structures, or objects making up the district. Boundaries may be used on:

- a. visual barriers that mark a change in the historic character of the area or that break the continuity of the district, such as a new construction, highways, or development of a different character;
- b. boundaries at a specific time in history, such as the original city limits or the legally recorded boundaries of a housing subdivision, estate or ranch;
- c. visual changes in the character of the area due to different architectural styles, types or periods, or to a decline in the concentration of contributing resources;
- d. natural topographic features such as a ridge, valley, river, or forest;
- e. clearly differentiated patterns of historical development, such as commercial versus residential or industrial; and
- f. man-made features such as the inside edges of highways, streets, and roads, or the edges of new construction or other structures.

- g. Avoid “ragged edge” or “broken tooth” boundaries, where the boundary lines are drawn to exclude buildings in the middle of a block.

Verbal Boundary Description

Provide a verbal description of the precise boundaries for the district. The verbal boundary description should precisely delineate the acreage rather than merely indicate the general location of the district. It may be the name of a city lot, a sequence or metes and bounds, or the dimensions of a parcel of land fixed upon a given point such as the intersection of two streets, a natural feature or a man-made structure. If only a portion of a city lot is included, identify the specific portion, for example the south ½ of Lot 36 or the eastern 20 feet of Lot 57.

The verbal boundary description may also refer to a line drawn on a base map accompanying the nomination form, if the map is drawn to a scale of at least 1 inch = 200 feet, and if boundaries of the district are clearly drawn on the map in relationship to standing structures or natural or man-made features such as rivers, highways, or shorelines. The scale and a north arrow must appear on all maps used for this purpose.

A verbal boundary description may indicate street names, property lines, geographical features and other lines of convenience if the previously mentioned option is not feasible. Such a description should commence at a fixed reference point and proceed to follow the perimeter of the district, incorporating both dimensions and direction. When streets, highways, and other roadways or similar rights-of-way are used, proceed along one of the edges of the corridor, not along the center line. If the corridor is historically associated with the district, use the outer edge or curb line. If not, run the boundary along the inner edge.

Examples:

1. The boundary of Livermore Plantation is shown as the dotted line on the accompanying map entitled “Survey Livermore Plantation, 1958.”
2. Beginning at a point on the east bank of the Lazy River and 60’ south of the center of Maple Avenue, proceed east 150’ along the rear property lines of 212-216 Maple Avenue to the west curblineline of Main Street. Then proceed north 150’ along the west curblineline of Main Street, turning west for 50’ along the rear property line of 217 Maple Avenue. Then proceed north 50’ to the rear property line of 215 Maple Avenue, turning west for 100’ to the east bank of the Lazy River. Then proceed south along the river bank to the point of origin.

Boundary Justification

Provide a brief and concise narrative explaining the rationale for selecting the boundaries that encompass the district. The justification should state the basis for determining each boundary and should conform to the “Guidelines for Selecting Boundaries.”. The complexity of the discussion depends on the nature of the property, the irregularity of the boundaries, and the methods used to determine the boundaries.

Examples:

1. The boundary includes the farmhouse, outbuildings, fields, orchards, and forest that have historically been part of Meadowbrook Farm and that maintain historic integrity. That parcel of the original farm south of Highway 61 has been excluded because it has been subdivided and developed into a residential neighborhood.
2. The boundaries of the district are irregular and reflect the concentrated development of the district from c1886 to c1928. They are defined by usage and historical and visual continuity. The rough boundaries are Church Street on the north, Florida Avenue on the west, Howry Avenue on the south, and the rear property lines of the buildings along Woodland Boulevard on the east. The boundaries mark the historical congested area of downtown DeLand and the transition from the business sector and the surrounding residential areas. Although present commercial usage extends both north and south of the historic district along Woodland Boulevard, those buildings outside the district boundaries represent a later period of development and building styles dissimilar to the contributing structures located within the Downtown DeLand Historic District. Note that the justification is explicit, explaining why some things are within and others are outside of the boundaries.

IV. District Maps

Submit at least one detailed map, preferably drawn in AutoCAD for large districts, or a sketch map for small districts. Hand-drawn sketch maps may be used for small districts (fifteen buildings or fewer). Information must be clearly displayed on maps by cross-hatching, numbering, or other graphic techniques. Color can be used, if the meaning of the colors can be easily differentiated on black and white copies of the map.

A district map does not need to be precise in scale (unless it also substitutes for the verbal boundary description), but should identify or be keyed to identify:

- a. the boundaries of the district, carefully delineated, and showing what is historic and non-historic in the areas immediately outside the district (approximately 2 blocks) to show the physical context.
- b. buildings and structures should be represented by their footprint outlines as represented on aerial or Sanborn fire insurance maps whenever possible. Contributing buildings should be

represented as filled or crosshatched shapes, while noncontributing buildings are shown as simple outlines.

- c. The names of streets and highways should appear on the map, and street address numbers should appear in the front of buildings near the street curb line. Other resources to be labeled include railroad line, lakes, and parks. For rural districts, land use, and natural features, for example, woods, fields, orchards, and quarries may appear on the map.
- d. Maps require both a north arrow and scale. The direction of north may be approximate. Although number scales, e.g. 1" = 200', are allowed, a scale bar is better, especially on maps drawn in AutoCAD, since maps may be printed at a variety of sizes and still be relatively accurate.
- e. Photographs of contributing and noncontributing building accompanying the nomination proposal should be keyed to map, using the sequence numbers of the photos.
- f. Resources such as sculptures, monuments, and memorials found in such public spaces as parks should also be included in those photographed.

V. Photographs

Submit as many photographs as necessary to depict a cross-section of building types and styles, pivotal buildings, and important topographical or spatial elements that define the character of the district. Photographs of both individual buildings and streetscape views are recommended. Photographs should also depict representative noncontributing resources and their setting. Key all photographs to the map for the district.

Number each photograph on the back in pencil only. Do not write any other information on the back of the photos. Provide the following information, in the order given below, for each photograph in the final section of the continuation sheets of the nomination proposal:

- 1) the name of the property (if appropriate) followed by the street address and the name of the district.
- 2) city, county, and state where the property is located
- 3) name of photographer
- 4) date of photograph
- 5) location of original negative or photograph
- 6) description of view indicating direction of camera
- 7) photograph number, e.g. Photo 2 of 22

The National Register has expanded its policy for accepting archival quality photographs to include digitally produced prints in light of the increasing unavailability of traditional photographic processing of black and white prints. To view all these changes, you can go to the following web site: <http://www.nps.gov/history/nr/policyexpansion.htm>.

Black-and-white prints produced from digital images that have been demonstrated to meet or exceed a 75-year permanence standard also are acceptable. The Federal government does not endorse any particular commercial product or process. A non-comprehensive list of photographic ink and paper combinations that have been demonstrated to meet the 75-year permanence standard may be found under the Digital Photographs section as guidance for implementing this policy expansion.

Prints produced from digital photographs submitted as official documentation must be accompanied by corresponding electronic image files. Electronic image files must be saved as uncompressed .TIF (Tagged Image File format) files on CD-R media. The size of each image must be 1600x1200 pixels at 300 ppi (pixels per inch) or larger. It is recommended that digital images be saved in 8-bit (or larger) color format, which provides maximum detail even when printed in black-and-white. The file name for each electronic image saved on the CD-R must correspond with the photo log included in the nomination and the information labeled on the back of each photograph, and it should also reference the state and county in which the property is located. For example, the image files for the James Smith House in Jefferson County, Alabama, would be saved as "AL_JeffersonCounty_Smith0001.tif," "AL_JeffersonCounty_Smith0002.tif," and so forth.

Submit as many photographs as necessary to depict a cross-section of building types and styles, pivotal buildings, and important topographical or spatial elements that define the character of the district. Photographs of both individual buildings and streetscape views are recommended. Photographs should also depict representative noncontributing resources and their setting. Key all photographs to the map for the district.

VI. Contributing/Noncontributing Resources

Number of Resources within the District: Enter the number of contributing and noncontributing buildings, sites, structures, and objects that make up the district and have not previously been listed in the National Register. Total each column.

For the purposes of completing National Register forms, the term "resource" refers to the elements comprising a documented property. Use the definitions found in the instructions (p.1) to determine whether the resources comprising the district are buildings, structures, sites, or objects. Then apply the following definitions to classify a component resource as "contributing" or "noncontributing"

1. A **contributing** building, site, structures, or object adds to the historic architectural qualities, historic associations, or archaeological values for which a district is significant because a) it was present during the period of significance, and possesses historic integrity reflecting its character at that time, or is capable of yielding important information about the period, or b) it independently meets the National Register criteria.

2. A **noncontributing** building, site, structure, or object does not add to the historic architectural qualities, historic associations, or archaeological values for which a district is significant because, a) it was not present during the period of significance, b) due to alterations, disturbances, additions, or other changes, it no longer possesses historic integrity reflecting its character at that time, or is incapable of yielding important information about the period, or c) it does not independently meet the National Register criteria.

Guidelines for Counting Contributing and Noncontributing Resources

1. Only count buildings, structures, sites, and objects located within the district's boundaries that are substantial in size and scale. For instance, a primary residence, garage apartment, garage and large shed found on a property should all be included in the resource count and shown on the district map. Minor structures or objects incapable of providing human shelter (small sheds, bird baths, etc.) need not be counted or shown on the map.
2. When a resource made up of elements representing different resource types is being counted (for example, a lighthouse and attached keeper's dwelling), the most historically important element should be used to classify the resource.
3. A ruin is a building or structure no longer possessing original design or structural integrity and is classified as a "site." For instance, a visible masonry building foundation should be classified as a site and may be either contributing or noncontributing depending on the date of construction or on the significance of the overall property.

Example: A district consisting of 267 residences, 15 garage apartments, 40 garages, a small landscaped park, and a bridge built during the district's period of significance; and 35 houses, 23 garages built after the period of significance counts as 324 contributing resources, and 58 noncontributing resources.

Guidelines for Creating the Resource List

Lists of contributing and noncontributing resources should be separate lists, arranged by streets presented in alphabetical order. Columns for contributing resources should include: building number (address), style (if appropriate), current use, year built, and Florida Master Site File number. Columns for noncontributing resources should indicate the address, type of resource (building, structure, site, or object), style (if appropriate), year built, and the reason it is non-contributing. Those reasons usually are that the property does not date from a period of significance (too early or too late) or that although it dates from a period of significance, it no longer retains its historic character (too altered). Be specific about this. If altered, what alterations have been made that render it noncontributing? This is valuable information for future use, especially as it

relates to tax credits. Some alterations can be reversed and the status of the building changed to contributing.

**ADDITIONAL CHECKLIST FOR
DISTRICT NOMINATIONS**

1. Do all the contributing resources fit the historic context(s) _____
historic context(s) established for the district?
 - a. Are the periods or period of significance appropriate for the district? _____
 - b. Is the contextual and specific historic significance for the each _____
period sufficiently documented?
2. Does the boundary accurately reflect the contributing resources? _____
3. Does the list of properties indicate:
 - Contributing and noncontributing? _____
 - Date of construction for each? _____
 - Correct address for each? _____
 - Historic name of each? _____
 - Individual architectural style? _____
4. Does the map show:
 - Contributing and noncontributing properties? _____
 - Correct address for each property? _____
 - Vacant areas within boundaries? _____
 - Properties within two blocks outside the district? _____
 - Key to indicate where photos were taken _____
 - Boundaries correctly placed (not on center lines of streets)? _____
 - North directional arrow? _____
 - Scale of at least 1 inch = 200 feet? _____

Names of streets, highways, and natural features if applicable
(ex. rivers, lakes, etc.)? _____

5. Photographs:

Photos of properties mentioned in the text
Streetscape views? _____

Examples of noncontributing buildings in district? _____

Keyed to the district map? _____

6. Do the property list, map, photographs, and text agree? _____

Criteria for Eligibility as a Historic District

Following are key criteria used by the Florida State Historic Preservation Officer and the Keeper of the National Register in determining whether or not an area is eligible for listing in the *National Register for Historic Places* as a historic district. The criteria information summarized on this page is used in the following table to illustrate that the Sailboat Bend Historic District does not come close to complying with the criteria. (The State historic preservation program mirror's and coordinates with the National Register of Historic Places program. There are no other independent industry sources of historic preservation guidelines.) (Bold type was added for emphasis.)

"To be considered eligible, a property must meet the National Register **Criteria for Evaluation**. This involves examining the property's age, integrity, and significance.

Age and Integrity. Is the property old enough to be considered historic (generally **at least 50 years old**) and does it **still look much the way it did** in the past?"

Historic District Integrity: "For a district to retain integrity as a whole, the majority of the components that make up the district's historic character must possess integrity even if they are individually undistinguished. In addition, the relationships among the district's components must be **substantially unchanged** since the period of significance. When evaluating the impact of intrusions upon the district's integrity, take into consideration the relative **number, size, scale, design, and location of the components that do not contribute to the significance**. A district is not eligible if it contains so many alterations or new intrusions that it no longer conveys the sense of a historic environment. A component of a district cannot contribute to the significance if: it has been substantially altered since the period of the district's significance or it does not share the historic associations of the district."

"Significance. Is the property **associated with events, activities, or developments that were important** in the past? With the lives of **people who were important** in the past? With **significant architectural history**, landscape history, or engineering achievements? Does it have the **potential to yield information through archeological investigation** about our past?"

"Criteria of Evaluation for Significance: The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and:

- A. That are associated with **events** that have made a significant contribution to the broad patterns of our history; or
- B. That are associated with the lives of **persons** significant in our past; or
- C. That embody the distinctive characteristics of a **type, period, or method of construction**, or that represent the **work of a master**, or that possess **high artistic values**, or that represent a **significant and distinguishable** entity whose components may lack individual distinction; or
- D. That have yielded or may be likely to **yield, information important in history** or prehistory."

The excerpts shown on the left side of the following side-by-side table were cut and pasted from the Florida Department of State, Division of Historic Resources' "Guidelines for Preparing District Nominations for the National Register." As an alternative to reviewing the side-by-side comparative table, the source document provided as an Attachment " (Bold type was added for emphasis.)

“Guidelines for Preparing District Nominations for the National Register”	Sailboat Bend Historic District’s Noncompliance
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<p>Fundamental to the evaluation of a district is an understanding what its essential significance is. The mere existence of resources that are at least fifty years old and retain their historic character is not sufficient justification to determine them significant. The resources must be evaluated in light of their historical context. What were the events and circumstances that led to their creation? Essential to this evaluation is a determination of the appropriate period or periods of significance.</p>	<p>A structure's age alone does not qualify it as a significant resource: the structure must have historical significance. What is the historical significance of the Sailboat Bend working class neighborhood?</p> <p>What were the unique events or circumstances that lead to the creation of the Sailboat Bend working class neighborhood? Without such unique conditions, Sailboat Bend does not qualify as a historic district.</p>
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<p>The tightly related events and circumstances can be defined by a period or several distinct periods of significance. Districts that encompass an entire community or its commercial area may have a very long period of significance that includes the interconnected broad developments, such as the construction of the residential, commercial, governmental, religious, and educational resources during the historic period. Distinct neighborhoods, however, should be evaluated within much tighter periods of time, usually limited to the construction dates of the vast majority (80-90%) of the neighborhood’s historic resources. For example, a 1920s boom time subdivision in which 80-90% of the resources date from the 1920s up to World War II would have a period of significance of say, 1923-1941. Resources dating from other periods of significant development separated by a long break in years when there was not much construction, should be given separate periods of significance, (e.g., important post-World War II resources).</p>	<p>Requires tightly limited period of significance & 80%-90% of the District structures must date from that period. According to the 1992 "Sailboat Bend Historic District Study," the period of significance is 40 years (1900-1939), hardly a "tight" period of time; and only 45% of the then-existing 474 structures in Sailboat Bend were asserted to be built during that period--and less than 17% could be documented to be built during that period.</p>
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“Guidelines for Preparing District Nominations for the National Register”	Sailboat Bend Historic District’s Noncompliance
<p>Each period of significance must be documented with information about the context, circumstances, and people associated with the resources, e.g., architects, builders, developers, residents, proprietors, and social history. Discussions should also address the important architectural developments the district exhibits.</p>	<p>A period of significance is not just a period of time long ago; it's a period of time during which unique context, circumstances and people are associated with the district's historic resources, and important architectural accomplishments are exhibited. What are the Sailboat Bend working class neighborhood's unique context, circumstances or people as relates to the period of significance (1900-1939)?</p>
<p>It should be noted that resources that pre-date a district's period of significance may, because they were present during the period of significance, be considered contributing resources. They may have been part of what made the area attractive for development.</p> <p>g. How have intrusions and noncontributing structures and buildings affected the district's ability to convey a sense of significance?</p> <p>h. What are the qualities that distinguish the district from its surroundings?</p> <p>i. How does the district compare to other similar areas in the locality, region, or state?</p>	<p>Intrusions and noncontributing structures dominate SBHD today, severely compromising the District's ability to convey its period of significance (1900-1939). At the time of the 1992 "Sailboat Bend Historic District Study," only 45% of the then-existing 474 structures in Sailboat Bend were asserted to be built during the period of significance--and less than 17% could be documented to be built during that period.</p> <p>Sailboat Bend is not distinguishable by its structures or layout from Tarpon River, Riverside Park or any other of the City's working class neighborhoods.</p>
<p>Once the district's significance is identified, it is possible to determine which resources visually convey that significance. Include discussion of:</p> <p>d. The appearance of the district during the period(s) when the district achieved significance and any changes or modifications since;</p> <p>f. The general condition of buildings, including alterations and additions, and any restoration or rehabilitation activities;</p>	<p>The sheer number of modifications to and demolitions of historic resources have significantly altered the neighborhood's appearance from the period of significance. The construction of the police and public works facilities, and the School Board complex--later replaced by a 258-unit multi-family project--have significantly diminished the neighborhood's historical integrity.</p> <p>Many structures constructed during the period of significance were of wood and are in poor condition. Many of those as well as others in better repair have undergone major alterations and additions to make them viable given today's living standards.</p>

“Guidelines for Preparing District Nominations for the National Register”	Sailboat Bend Historic District’s Noncompliance
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<p>Once the district’s significance is identified, it is possible to determine which resources visually convey that significance. Include discussion of:</p> <p>h. The ratio of primary noncontributing buildings, sites, structures, and objects to the total number of resources within the district;</p>	<p>At the time of the 1992 "Sailboat Bend Historic District Study," only 80 structures (less than 17%) of the then-existing 474 structures in Sailboat Bend could be documented to have been built in 1940 or earlier. Current-day estimates are much lower.</p>
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<p>Once the district’s significance is identified, it is possible to determine which resources visually convey that significance. Include discussion of:</p> <p>j. The qualities distinguishing the district from its surroundings, i.e., the qualities that make the district a distinct entity;</p>	<p>Sailboat Bend is not distinguishable by its structures or layout from Tarpon River, Riverside Park or any other of the City's working class neighborhoods.</p>
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<p>For National Register eligibility, a historic residential suburb must possess historic integrity, that is, <u>it must visibly reflect the overall physical appearance it gained during the period of historical significance.</u> Historic integrity is the composite of seven qualities: location, design, setting, materials, workmanship, feeling and association. Historic integrity requires that the various features that made up the neighborhood in the historic period be present today in the same configuration and similar condition. These qualities are applied to dwellings, as well as roadways, open spaces, garages, and other aspects of the historic design.</p>	<p>The sheer number of modifications to and demolitions of significance period resources have significantly altered the neighborhood's appearance from the period of significance.</p>
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“Guidelines for Preparing District Nominations for the National Register”	Sailboat Bend Historic District’s Noncompliance
<p>Changes and additions to the neighborhood since the period of significance, including infill development substantial additions, widened roads, and nonhistoric recreational facilities, diminish historic integrity and are considered noncontributing. Historic subdivisions containing such changes are eligible for listing despite these changes if the overall historic plan is intact and a substantial number of historic characteristics possessing integrity of design, location, materials, and workmanship are present. The amount of infill and other changes that a historic neighborhood can withstand before losing integrity will depend on its size and scale, and the presence of significant features, and the suburban context in which it developed. The division of suburban lots beyond that specified in historic plans and deed restrictions threatens a historic neighborhood’s integrity of design and should be viewed as a compatible pattern of development only if the subdivisions occurred as a result of historically important events during the period of significance.</p>	<p>The sheer number of modifications to and demolitions of historic resources have significantly altered the neighborhood's appearance from the period of significance. Construction of the police and public works facilities, and the School Board complex (subsequently replaced by a 258-unit multi-family project) have significantly diminished the neighborhood's historical integrity.</p> <p>Well over half the homes built during the period of significance (1900 – 1939) have altered the setting (one of the aspects of Integrity) with the addition of block-wall or stockade fences. This alteration alone makes the structure noncontributing.</p>

<p>The seven qualities of integrity are applied to historic neighborhoods in the following ways: Materials include the construction materials of dwellings, garages, roadways, walkways, fences, curbing, and other structures, as well as vegetation, planted as lawns, shrubs, trees, and gardens. The presence of particular building materials (e.g., stone, stucco, brick, or horizontal or vertical siding) may be important indicators of architectural style and methods of construction that give some neighborhoods a cohesive historic character. Integrity of materials in an architecturally significant neighborhood requires that the majority of dwellings retain the key exterior materials that marked their identity during the historic period.</p>	<p>Because (exterior) materials utilized in the construction of Sailboat Bend's working class homes during the period of significance were largely wood rather than more enduring brick, concrete, stone or steel, these materials are 1) not sustainable, and 2) not cost-effective from a property owner's perspective in maintaining a viable residence.</p>

“Guidelines for Preparing District Nominations for the National Register”	Sailboat Bend Historic District’s Noncompliance
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<p>III. Guidelines for Selecting Boundaries Carefully select boundaries to encompass, but not exceed, the full extent of the significant resources making up the district. The area to be registered should be large enough to include all the features of the district, but should not include “buffer zones” or acreage not directly contributing to the significance of the district.</p> <p>For historic and architectural districts, select the boundaries for a single parcel of land that encompasses the significant concentration of buildings, sites, structures, or objects making up the district.</p>	<p>SBHD boundaries vastly exceed the area of structures built during the period of significance, disqualifying the current district from being designated based on State & National guidelines.</p> <p>SBHD is not comprised of a significant concentration of historic resources, disqualifying it as a historic district. State & Federal guidelines require 80%-90% concentrations, where the 1992 "Sailboat Bend Historic District Study" asserted only 45% but acknowledged less than 17% could be documented.</p>
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<p>A contributing building, site, structures, or object adds to the historic architectural qualities, historic associations, or archaeological values for which a district is significant because a) it was present during the period of significance, and possesses historic integrity reflecting its character at that time, or is capable of yielding important information about the period, or b) it independently meets the National Register criteria.</p>	<p>The City's designation of "contributing" structures is based entirely on the age of the structure, ignoring historic integrity or its capability of yielding important information about the period of significance (1900 – 1939).</p>
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<p>A noncontributing building, site, structure, or object does not add to the historic architectural qualities, historic associations, or archaeological values for which a district is significant because, a) it was not present during the period of significance, b) due to alterations, disturbances, additions, or other changes, it no longer possesses historic integrity reflecting its character at that time, or is incapable of yielding important information about the period, or c) it does not independently meet the National Register criteria.</p>	<p>The SBHD is comprised largely of noncontributing structures that were either not in existence during the period of significance (1900 – 1939), or were but have been dramatically altered to accommodate current standards of living and safety. There are no other designated historic districts in which most of the structures are noncontributing. State and National designations require contributing structures to comprise 80% to 90% of the district's structures.</p>

“Guidelines for Preparing District Nominations for the National Register”	Sailboat Bend Historic District’s Noncompliance
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<p>Guidelines for Creating the Resource List</p> <p>Lists of contributing and noncontributing resources should be separate lists, arranged by streets presented in alphabetical order. . . . Columns for noncontributing resources should indicate the address, type of resource (building, structure, site, or object), style (if appropriate), year built, and the reason it is non-contributing. Those reasons usually are that the property does not date from a period of significance (too early or too late) or that although it dates from a period of significance, it no longer retains its historic character (too altered). Be specific about this.</p>	<p>SBHD is dominated by noncontributing structures of the two most common types identified here. Based on the <i>Sailboat Bend Historic District Study</i>’s own findings, Sailboat Bend would not have been designated as a historic district.</p>
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Good Evening, my name is Sharon Wilkin I reside at 301 Kennelworth Place in Sailboat Bend. I have lived in SBB since 1985. I own a non contributing home that was built in 1971; 50 years of age in 2021.

I would like to share with you how the historic district came to be. In the 80's SBB was a crime riddled, drug infested, scary place to live. To me and some of my neighbors it felt like SBB didn't have a voice at city hall, we felt like the Cinderella neighborhood and we desperately wanted our voices to be heard to help improve our situation. A group of about 25 - 30 neighbors came together and brainstormed ways to save SBB and out of those meetings the idea of the historic overlay was borne. We circulated a petition to support our position **but it is very important to know that this effort was NOT carried out in a manner that included all property owners, specifically, those property owners who would in fact be impacted.** Rather, we asked anyone who was willing to sign our petition to sign. I've asked many, many times where are the petitions because I'd like to see how many of those who did sign still actually live and own property in the neighborhood. I would bet it's not more than a half dozen. Let me be very clear as this is an important point, the majority of the properties were occupied by renters, and as such the property owners were not the majority of the residents who signed the petition. I even asked a woman passing through the neighborhood pushing a Winn Dixie cart with what appeared to be all of her belongings to sign the petition. **The point I'm illustrating is that it was a very small percentage of property owners who made a very big decision for an entire neighborhood of property owners.** I deeply regret participating in that movement as it has caused such divisiveness and polarization in this little community. The truth is, in retrospect the only thing we really needed was patience. As the city has prospered, grown, and re-developed...so too would have SBB; more effectively and timely as we have seen in all other areas of the city **without** the historic overlay.

I have so much more I could share with each of you and I believe myself and my husband are among the few remaining originators of the ordinance that can tell the entire story of the historic district overlay but of course I'm faced with a 3 minute time limit to speak and I have a very important request to make of this board.

I implore each of you to ask every person who speaks tonight if they live in a property that was given a site number in the Architectural Resource Study and therefore determined to be impacted by the historic overlay. There may be SBB residents signed up to speak who live in condominiums, townhouses, and multi family apartments; additionally, there may very well be renters along with owners who are wishing to speak. Many of those neighbors have lived in SBB for a short time and this ordinance has zero impact on their property rights. Although all community members should be allowed and encouraged to speak, it is pertinent to remember if the neighborhood became undesirable to live in, those who rent can simply pack their belongings and move to a new neighborhood. **It is those of us who have invested time, money, and sweat equity whose voices should be heard first and foremost.**

I would also like to bring to the attention of this board that one of our original community meeting houses was an old building on the school board property now the Lennar PUD, that meeting house sat almost exactly where the single family water view homes sit today. That community meeting house is gone, razed to make room for the Lennar development. The Waverly townhouses were built after structures were razed to make room for that development. The same can be said of the Kennedy Home apartments, even the Symphony House had an old marina on it's site; not to mention the entire Himmarshee district and all the structures that were disposed of to make room for re-development. My point is, it's not fair for neighbors who are enjoying the benefits of progress, re-development, and change to speak in favor of the historic district and demand that no further changes take place. Not only is this hypocritical, by doing so they are asking many of us to pay dearly and not be allowed to enjoy the very same opportunities that they themselves are enjoying daily.

Do as I say NOT as I do - this is simply put, not fair!

I am **NOT** against development nor re-development, I think change is unavoidable and part of progress. What I am against is the ability of neighbors and government impacting my property rights. Owning a home is the number one way the majority of Americans build financial security, to diminish, harm, or affect this right is simply wrong. Please hear us and don't continue down this path that has created such insecurity and feelings of hopelessness for so many of us in Sailboat Bend.

My conclusion is that the historic district was a heartfelt experiment that has not worked out as intended and I respectfully request that the designation be removed from Sailboat Bend. I suppose it goes without saying that **I do not support the additional restrictions the new ordinance will place on Sailboat Bend; to be absolutely clear, I do not support the new proposed ordinance changes for SBB.**

Before I close I would like to share with each of you that on a very personal level I deeply appreciate and love old historic homes and buildings; Don and I both spent our most impressionable years, and graduated from High School in the quintessential New England town of East Greenwich, Rhode Island. East Greenwich is overflowing with rich history and buildings that have been lovingly preserved to save its history. My mother and father in-law, with the help of my husband, restored a beautiful old farmhouse that was built in the late 1700's. I saw firsthand the sweat equity and financial commitment necessary to complete the restorations. When I say I have known historic structures and I love historic structures this comes from my heart. I do believe there is a smattering of worthy homes in our little neighborhood that **if the owners agree**, should be saved. Rather than focusing on designating the entire neighborhood perhaps time would be better spent working towards tax abatement or the complete removal of taxes for property owners **willing to register their homes as historic structures**. Additionally, a grant writer should be part of this endeavor to save these few homes

to help offset the incredible expenses that will be ongoing. There are solutions but it requires compromise and negotiation. I believe if you were to allow those of us who want out of the "historic district" out, you would find all of the neighborhood working together to help save and restore those properties **whose owners are willing to do so**. Many of those property owners are overwhelmed with the tedious processes put before them and as a result often times they do absolutely nothing to preserve their little homes and the structures fall in to total disrepair further deteriorating our neighborhood and property values. Please take a new approach and begin treating SBB as you treat all other neighborhoods in the city of Fort Lauderdale by identifying specific homes that are truly historic and worth saving. Once identified, work with the individual property owners to determine if they are willing to designate their home to be saved as a historic structure and then please make assistance available to see that goal to fruition.

I sincerely thank you for time and dedication; volunteer work is indeed an honorable gift to our community and I am grateful for your service.

Most sincerely,
Sharon Wilkin