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BOTEK THURLOW ENGINEERING, INC.
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LANDSCAPE ARCHITECT CONSULTANTS, INC.
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MARTIN - VILATO ASSOCIATES
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SUITE 402
MIAMI, FLORIDA 33129
PH. 305.854.6977



1217 - 1223 N.W. 6th STREET , FORT LAUDERDALE, FLORIDA 33311 - 0000

PROJECT No. 2019-09, SISTRUNK WRIGHT • DRC / DRT SUBMITTAL SET • 07.07.20



MR. DENNIS WRIGHT
3566 SW 50th STREET
FORT LAUDERDALE, FLORIDA 33312

MIXED-USE (COMMERCIAL & RESIDENTIAL)
CLASS 'A' DEVELOPMENT ENTITLED:

WRIGHT
DYNASTY

1217-1223 N.W. 6th STREET
FORT LAUDERDALE, FL 33311-0000

KURT A. PETGRAVE, FL AR0096049

7.07.20

[illegible]

DWG. TITLE:	COVER SHEET
SCALE:	N/A
PROJECT No.	019-09.SISTRUNK WRIGHT
DATE:	06.00.20
SHEET NUMBER:	A-000

APPLICABLE BUILDING CODES

GOVERNING ZONING CODE:	CITY OF FORT LAUDERDALE CODE OF ORDINANCES
BUILDING CODE:	FLORIDA BUILDING CODE 2017 EDITION, 8th EDITION
ACCESSIBILITY (as applicable):	FLORIDA BUILDING CODE 2017 - ACCESSIBILITY
FIRE PROTECTION (as applicable):	FLORIDA FIRE PREVENTION CODE 5th Edition / N.F.P.A 72 (2013), N.F.P.A. 70 (2017)
ELECTRICAL (as applicable):	NATIONAL ELECTRIC CODE (NEC) 2014

BUILDING OCCUPANCY: BUSINESS GROUP B, MERCANTILE GROUP M, RESIDENTIAL GROUP R - R-2,
STORAGE GROUP S - S-2 (@ PARKING GARAGE AREAS - OPEN)

TYPE OF CONSTRUCTION:	TYPE I-B, SPRINKLERED
ALLOWABLE BUILDING HEIGHT:	160'-0" (TABLE 503)
ALLOWABLE BUILDING AREA:	UNLIMITED SQUARE FOOTAGE / FLOOR (@ B, M, R-2 OCCUPANCY) 79,000 SQUARE FOOTAGE / FLOOR (@ STORAGE, S-2 OCCUPANCY) MAXIMUM No. OF STORIES IS ELEVEN (11)

ARCHITECTURAL DRAWINGS:

A-000	COVER SHEET	A-403	RESIDENTIAL UNIT FLOOR PLAN (Level 400-Partial)
A-001	DRAWING INDEX, ABBREVIATIONS & SYMBOLS	A-403a	RESIDENTIAL UNIT FLOOR PLAN (Level 400-Partial)
A-002	ARCHITECTURAL GENERAL NOTES	A-403b	RESIDENTIAL UNIT FLOOR PLAN (Level 400-Partial)
A-003	FLORIDA ACCESSIBILITY CODE DETAILS	A-403c	RESIDENTIAL UNIT FLOOR PLAN (Level 400-Partial)
A-004	FLORIDA ACCESSIBILITY CODE DETAILS	A-404	RESIDENTIAL UNIT FLOOR PLAN (L 500-600 Partial)
A-005	FLORIDA ACCESSIBILITY CODE DETAILS	A-404a	RESIDENTIAL UNIT FLOOR PLAN (L 500-600 Partial)
A-006	FLORIDA ACCESSIBILITY CODE DETAILS	A-500	ENLARGED UNIT FLOOR PLANS (Unit A & Unit B)
A-007	PROJECT 3-DIMENSIONAL RENDERINGS	A-501	ENLARGED UNIT FLOOR PLANS (Unit B-1)
A-100	EXISTING SITE PLAN / PROPERTY BOUNDARIES	A-700	BUILDING ELEVATIONS (Front Elevation)
A-100a	EXISTING SITE PLAN / PROPERTY AERIAL	A-701	BUILDING ELEVATIONS (Right-Side Elevation)
A-101	ARCHITECTURAL SITE PLAN & PROJECT NOTES	A-702	BUILDING ELEVATIONS (Rear Elevation)
A-101a	ARCHITECTURAL SITE PLAN AERIAL	A-1000	TRANSVERSE BUILDING SECTION A - A
A-300	ARCHITECTURAL GROUND FLOOR PLAN	A-1001	TRANSVERSE BUILDING SECTION B - B
A-301	ARCHITECTURAL SECOND FLOOR PLAN		
A-302	ARCHITECTURAL THIRD FLOOR PLAN		
A-303	RESIDENTIAL UNIT FLOOR PLAN (Level 400)		
A-304	RESIDENTIAL UNIT FLOOR PLAN (Level 500-600)		
A-305	ARCHITECTURAL ROOF PLAN		
A-400	ARCHITECTURAL GROUND FLOOR PLAN (Partial)		
A-400a	ARCHITECTURAL GROUND FLOOR PLAN (Partial)		
A-400b	ARCHITECTURAL GROUND FLOOR PLAN (Partial)		
A-400c	ARCHITECTURAL GROUND FLOOR PLAN (Partial)		
A-401	ARCHITECTURAL SECOND FLOOR PLAN (Partial)		
A-401a	ARCHITECTURAL SECOND FLOOR PLAN (Partial)		
A-401b	ARCHITECTURAL SECOND FLOOR PLAN (Partial)		
A-401c	ARCHITECTURAL SECOND FLOOR PLAN (Partial)		
A-402	ARCHITECTURAL THIRD FLOOR PLAN (Partial)		
A-402a	ARCHITECTURAL THIRD FLOOR PLAN (Partial)		
A-402b	ARCHITECTURAL THIRD FLOOR PLAN (Partial)		
A-402c	ARCHITECTURAL THIRD FLOOR PLAN (Partial)		





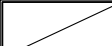




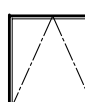






LANDSCAPE ARCHITECTURE DRAWINGS:

<i>TS-1</i>	EXISTING TREE INVENTORY PLAN
<i>LP-1</i>	LANDSCAPE PLAN, EXISTING TREE SURVEY AND AREA CALCULATIONS
<i>IR-1</i>	IRRIGATION PLAN, GENERAL IRRIGATION NOTES AND TYPICAL DETAILS

CIVIL ENGINEERING DRAWINGS:

C-0	CIVIL ENGINEERING COVER SHEET
C-1	PAVING, GRADING AND DRAINAGE ENGINEERING PLAN
C-2	WATER AND SANITARY SEWER PLAN

STRUCTURAL DRAWINGS:





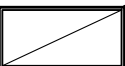













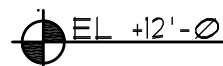
			
2x2 HVAC SUPPLY	2x2 HVAC RETURN	DOWNLIGHT / "HI-HAT" LIGHT FIXTURE	2x4 FLUORESCENT LIGHT FIXTURE
			
2x4 FLUORESCENT LIGHT FIXTURE ON EMERGENCY CIRCUIT	2x2 FLUORESCENT LIGHT FIXTURE	2x2 FLUORESCENT LIGHT FIXTURE ON EMERGENCY CIRCUIT	1x4 FLUORESCENT LIGHT FIXTURE
			
HVAC LINEAR SUPPLY DIFFUSER	ACCESS PANEL / SCUTTLE	EXIT LIGHT W/ DIRECTION ARROW	FIRE SPRINKLER
			
SURFACE MOUNTED CLOCK	RECESS MOUNTED SPEAKER	SURFACE MOUNTED SMOKE DETECTOR	SURFACE MOUNTED MOTION DETECTOR

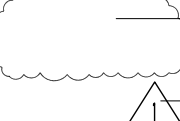







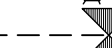

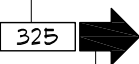

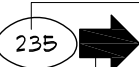

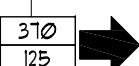


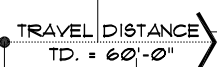



MECHANICAL DRAWINGS:

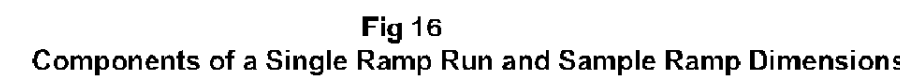
PLUMBING DRAWINGS:

REFLECTED CEILING SYMBOLS LEGEND

REFLECTED CEILING SYMBOLS LEGEND

			
2x2 HVAC SUPPLY	2x2 HVAC RETURN	DOWNLIGHT / "HI-HAT" LIGHT FIXTURE	2x4 FLUORESCENT LIGHT FIXTURE
			
2x4 FLUORESCENT LIGHT FIXTURE ON EMERGENCY CIRCUIT	2x2 FLUORESCENT LIGHT FIXTURE	2x2 FLUORESCENT LIGHT FIXTURE ON EMERGENCY CIRCUIT	1x4 FLUORESCENT LIGHT FIXTURE
			
HVAC LINEAR SUPPLY DIFFUSER	ACCESS PANEL / SCUTTLE	EXIT LIGHT W/ DIRECTION ARROW	FIRE SPRINKLER
			
SURFACE MOUNTED CLOCK	RECESS MOUNTED SPEAKER	SURFACE MOUNTED SMOKE DETECTOR	SURFACE MOUNTED MOTION DETECTOR
			
FIRE ALARM	EMERGENCY LIGHTING W/ BATTERY PACK	CEILING HEIGHT ABOVE FINISHED FLOOR	

<u>REVISONS</u>		DENOTES REVISED AREA
		DENOTES REVISION NUMBER
<u>DRAWING TITLE</u>		INDICATES DRAWING TITLE LABEL
		SCALE OF DRAWING
		INDICATES DRAWING NUMBER
<u>PROFILE OR STEP DESIGNATION</u>		INDICATES STEP HEIGHT OR DEPTH OF PROFILE
<u>SLOPE RATIO DESIGNATION</u>		INDICATES SLOPE LABEL
		INDICATES SLOPE / RATIO
<u>MATCH-LINE DESIGNATION</u>		LETTER INDICATES CORRESPONDING MATCH
		LETTER INDICATES CORRESPONDING SHEET
<u>POPULATION & EGRESS</u>		NUMBER INDICATES OCCUPANT LOAD
		ARROW INDICATES DIRECTION OF EGRESS
<u>START OF EXIT AND POPULATION</u>		NUMBER INDICATES OCCUPANT LOAD
		ARROW INDICATES DIRECTION OF EGRESS
<u>POPULATION CAPACITY</u>		INDICATES THE MAXIMUM OCCUPANT LOAD/CAPACITY
		ARROW INDICATES DIRECTION OF EGRESS
		INDICATES THE ACTUAL OCCUPANT LOAD/CAPACITY
<u>PATH OF TRAVEL TO EXIT / EGRESS</u>		LINE INDICATES THE PATH OF TRAVEL
		ARROW INDICATES DIRECTION OF TRAVEL/EGRESS
		INDICATES THE TOTAL TRAVEL DISTANCE
		INDICATES THE ORIGIN OF THE TRAVEL DISTANCE



ELEVATION

SECTION

CURB

WALL

VERTICAL GUARD RAIL

RAILING WITH EXTENDED PLATFORM

Dimensions shown in ELEVATION:

- 18 min
- 465
- 18 min
- 465
- < 27
- 305
- 34.38
- 305
- 12 min
- 305

Dimensions shown in SECTION:

- 36 min
- 915
- 36 min
- 915
- 36 min
- 915
- 2 min
- 50

Fig 17
Examples of Edge Protection and Handrail Extensions

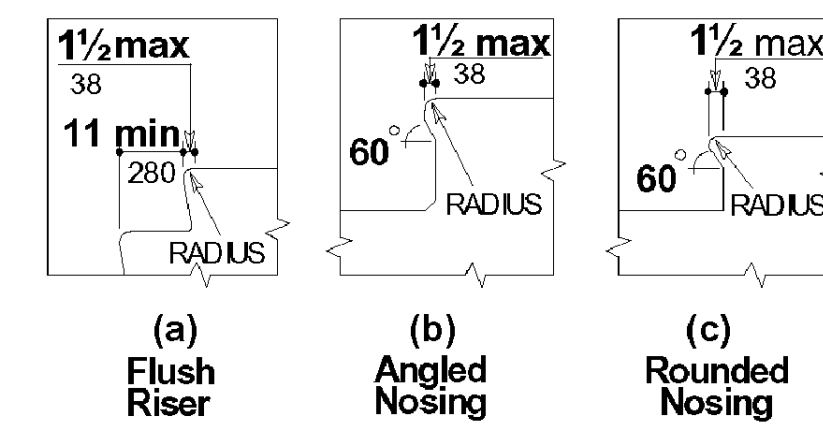


Fig 18
Usable Tread Width and Examples of Acceptable Nosings



Fig 20
Hoistway and Elevator Entrances

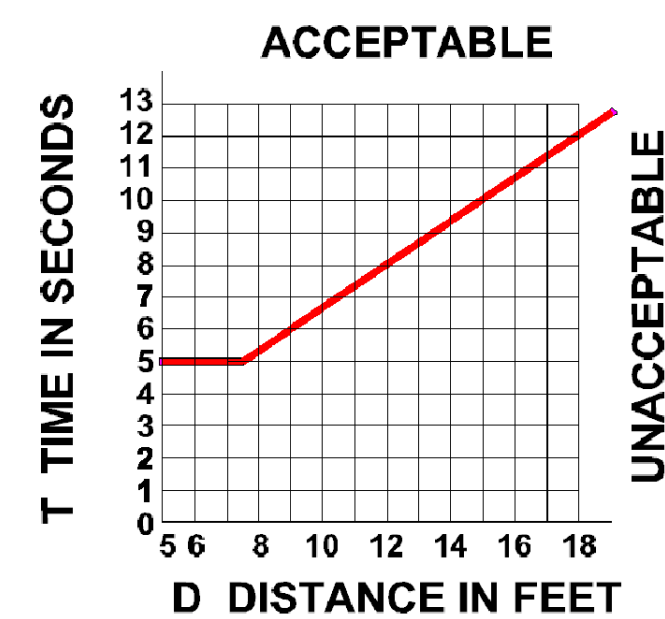


Fig 21
Graph of Timing Equation

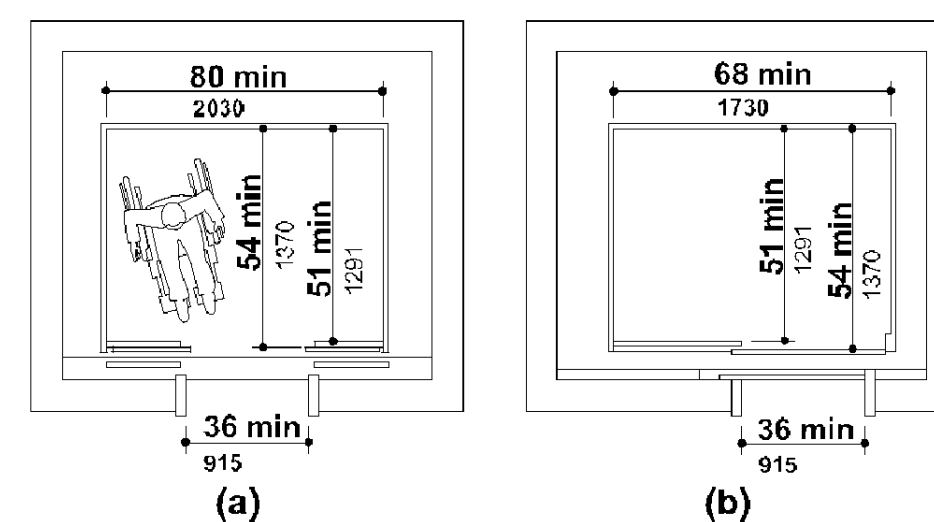


Fig 22
Minimum Dimensions of Elevator Cars

22(b) Illustrates an elevator with door providing a minimum 36 in (915 mm) clear width, located to one side of the elevator. The width of the elevator car is a minimum of 68 in (1730 mm). The depth of the elevator car measured from the back wall to the elevator door is a minimum of 54 in (1370 mm). The depth of the elevator car measured from the back wall to the control panel is a minimum of 51 in (1291 mm).

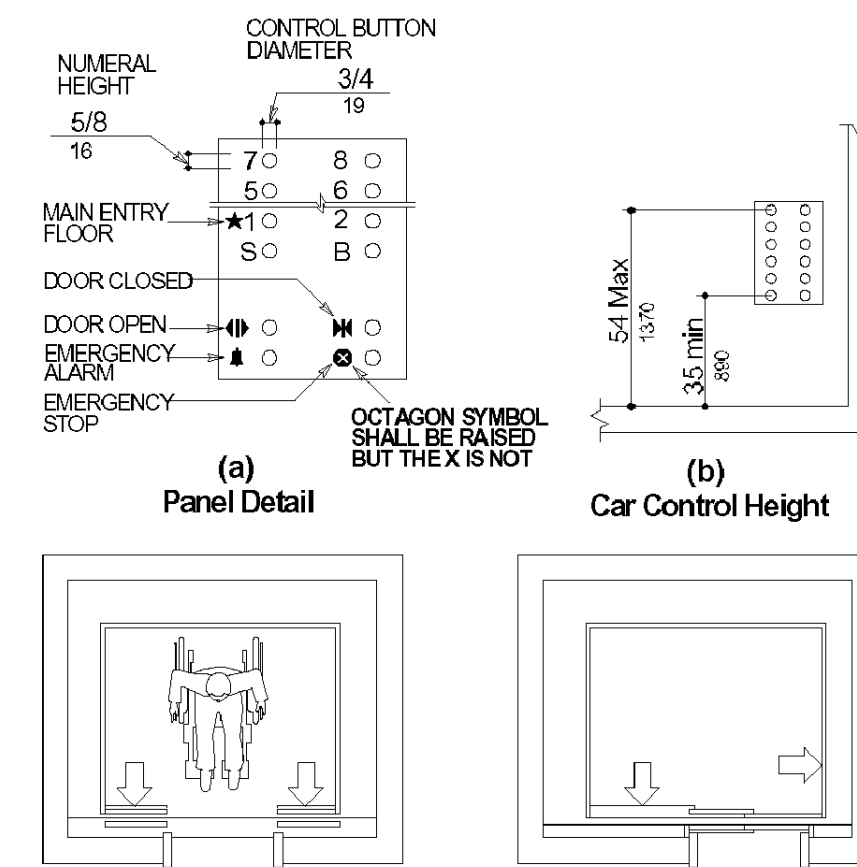


Fig 23
Car Controls

23(a) Panel Detail. The diagram illustrates the symbols used for the following control buttons: main entry floor, door closed, door open, emergency alarm, and emergency stop. The diagram further states that the octagon symbol for the emergency stop shall be raised but the X (inside the octagon) is not.

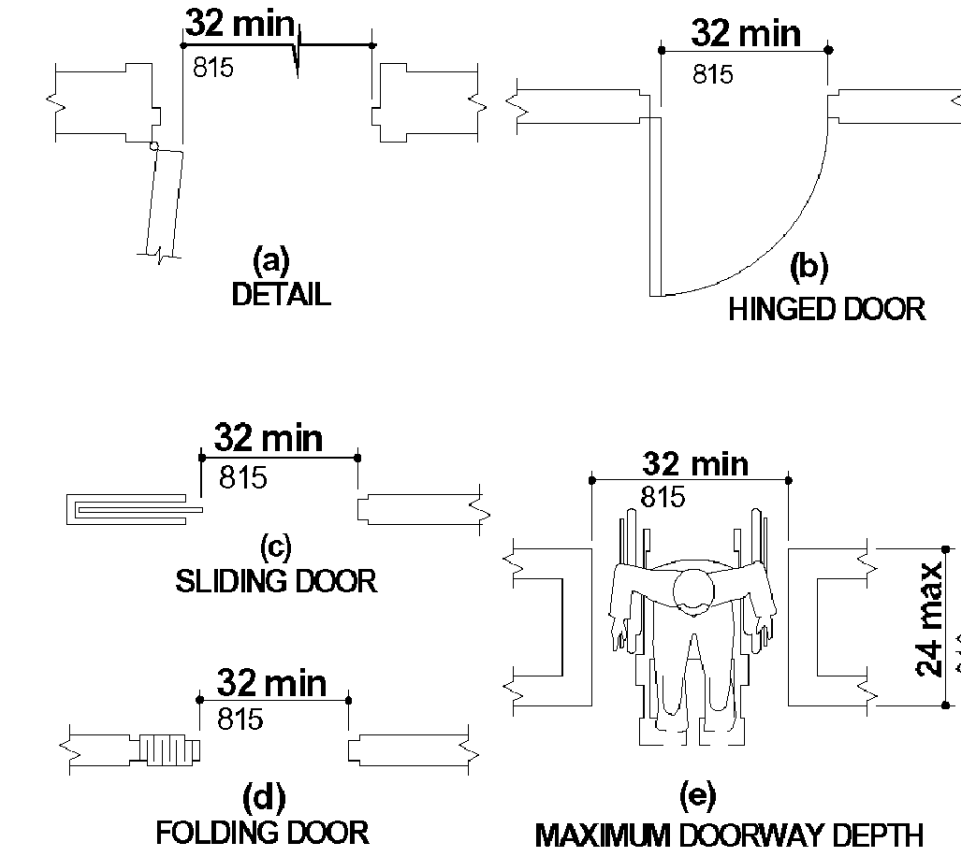
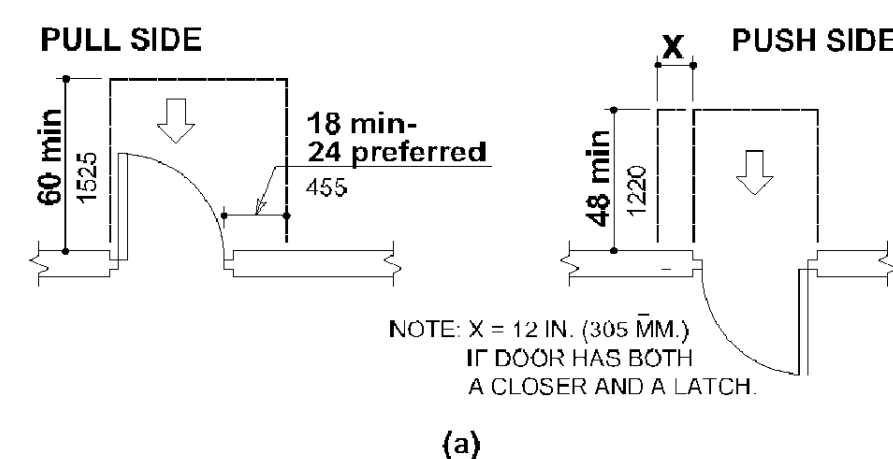


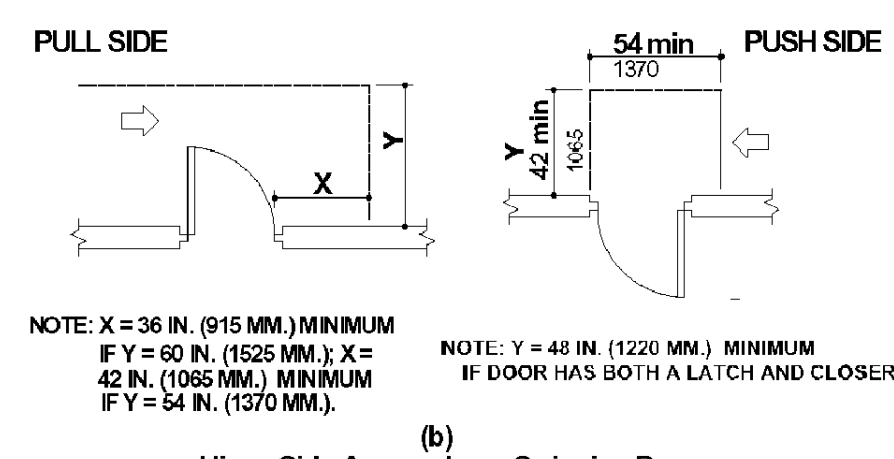
Fig 24
Clear Doorway Width and Depth



Front Approaches - Swinging Doors

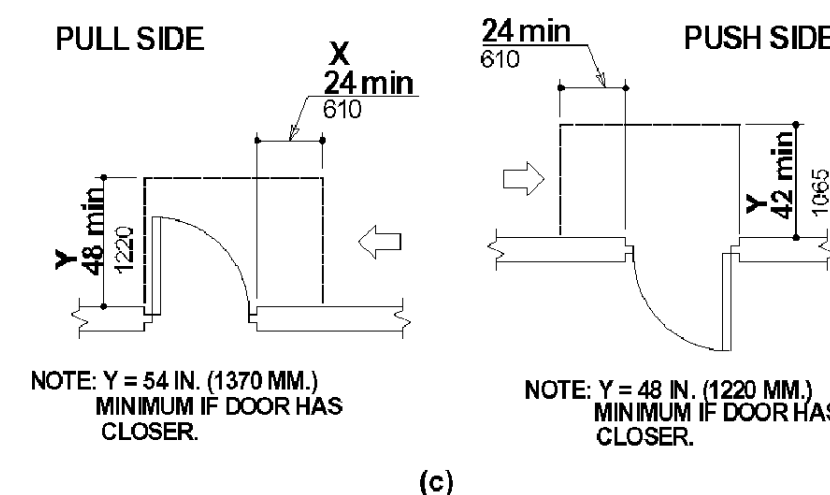
Fig 25
Maneuvering Clearance at Doors

Front approaches to push side of swinging doors, if not equipped with latch and closer, shall have maneuvering space that is the same width as door opening and extends 48 in (1220 mm) minimum perpendicular to the doorway.



Hinge Side Approaches - Swinging Doors

Maneuvering Clearance at Doors (Continued)



(c)
Latch Side Approaches - Swinging Doors

Fig 25
Maneuvering Clearance at Doors (Continued)

Latch-side approaches to push side of swinging doors, if not equipped with closers, shall have maneuvering space that extends 24 in (610 mm) minimum parallel to the doorway beyond the latch side of the door and 42 in (1065 mm) minimum perpendicular to the doorway.

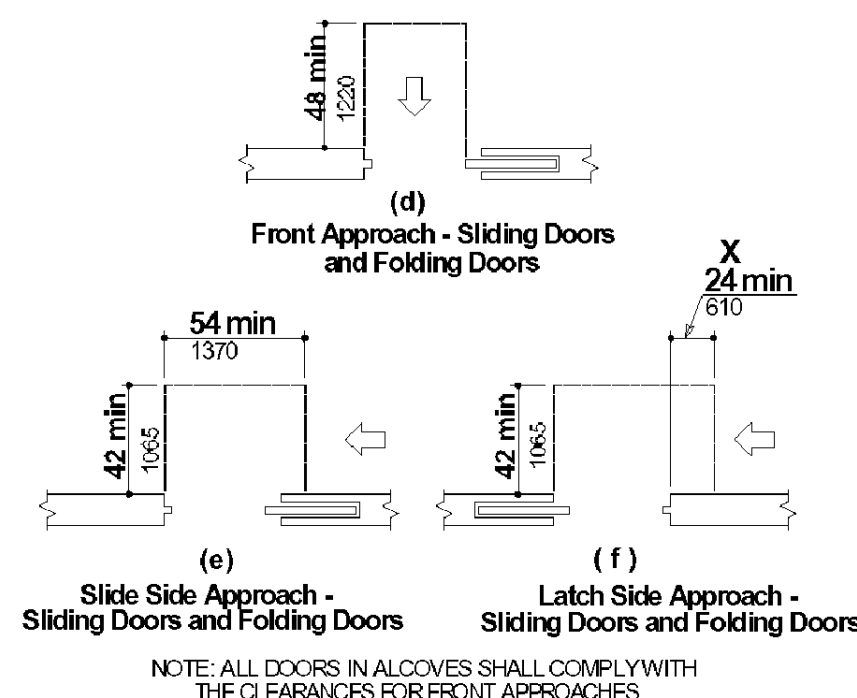


Fig 25
Maneuvering Clearance at Doors (Continued)

25(f) Latch Side Approach - Sliding Doors and Folding Doors. Latch-side approaches to sliding doors and folding doors shall have a maneuvering space that extends 24 in (610 mm) minimum beyond the latch side of the door and extends 42 in (1065 mm) minimum perpendicular to the doorway.

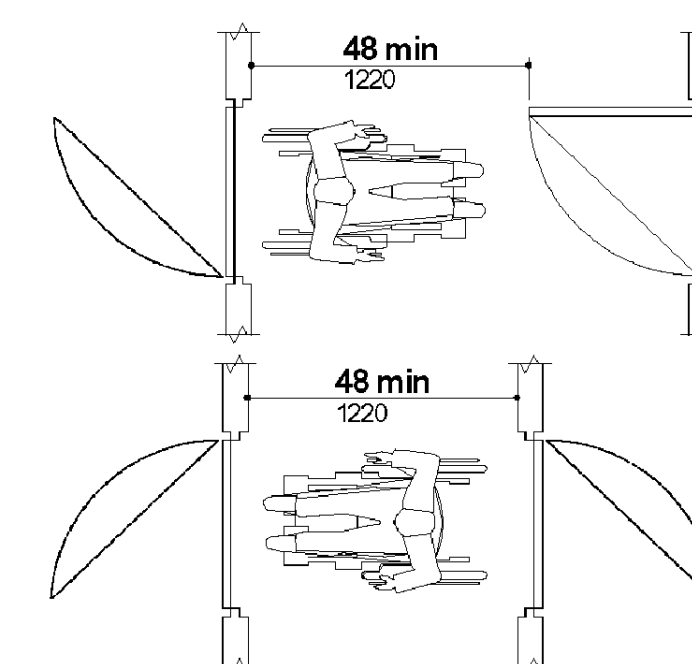
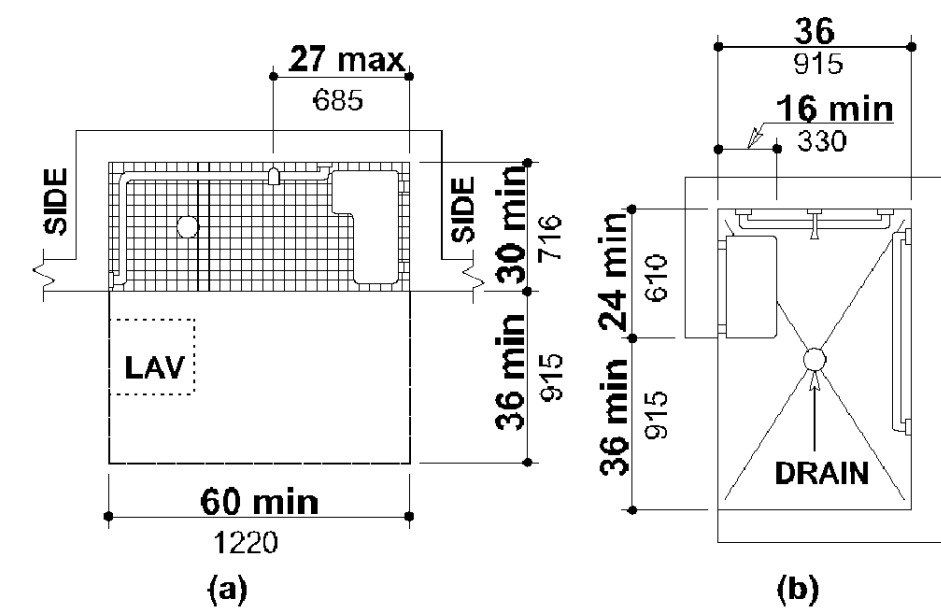
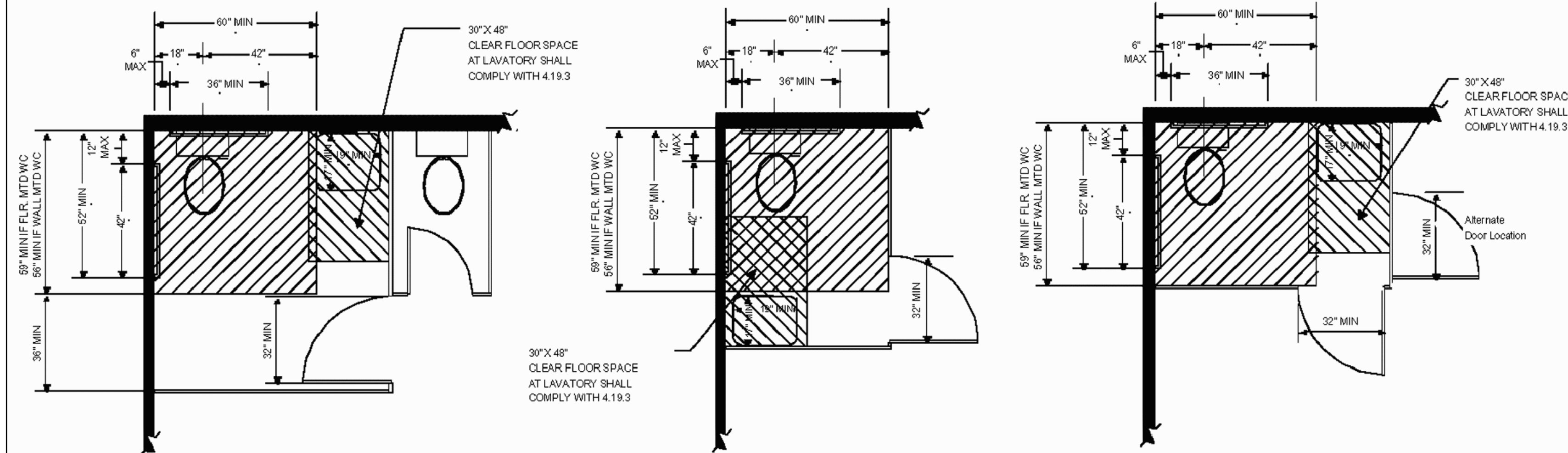
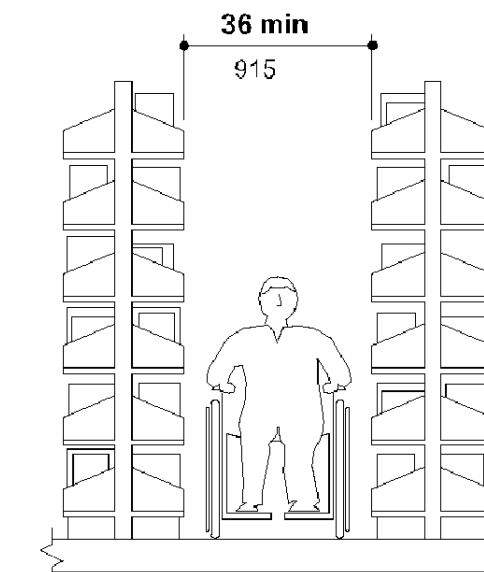
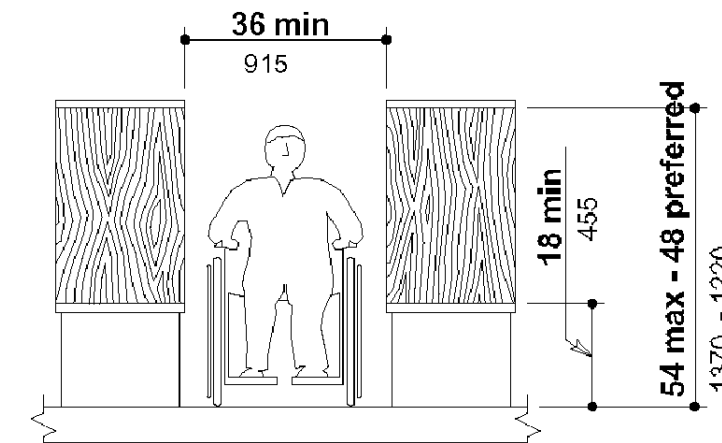
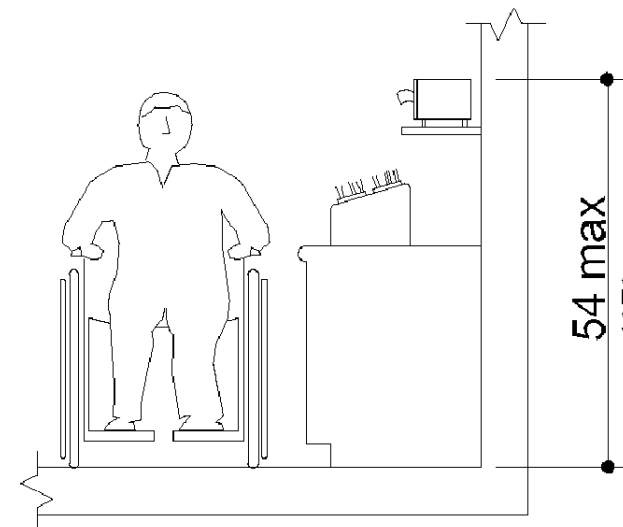
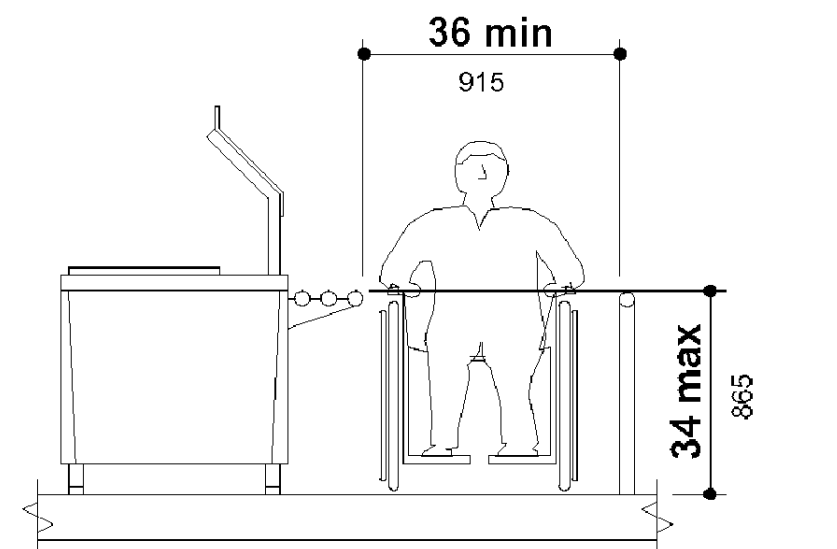
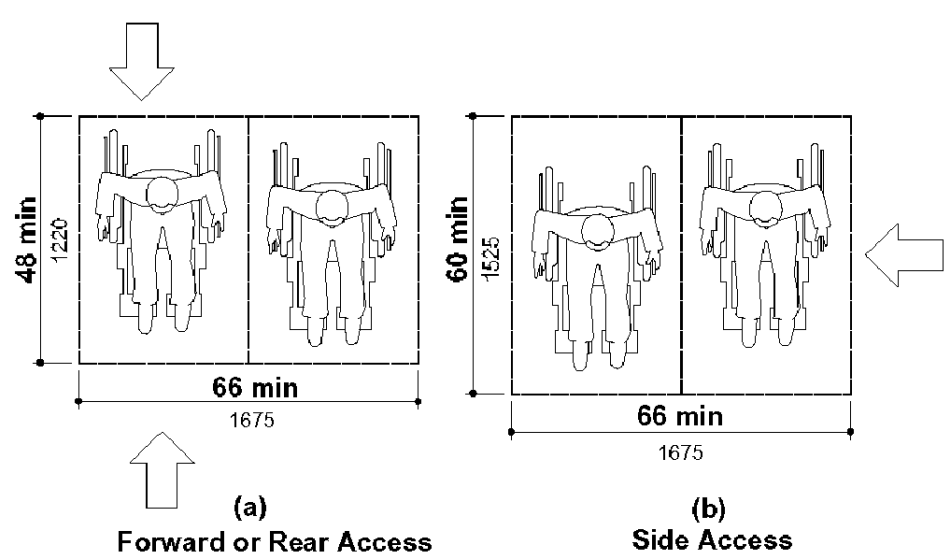
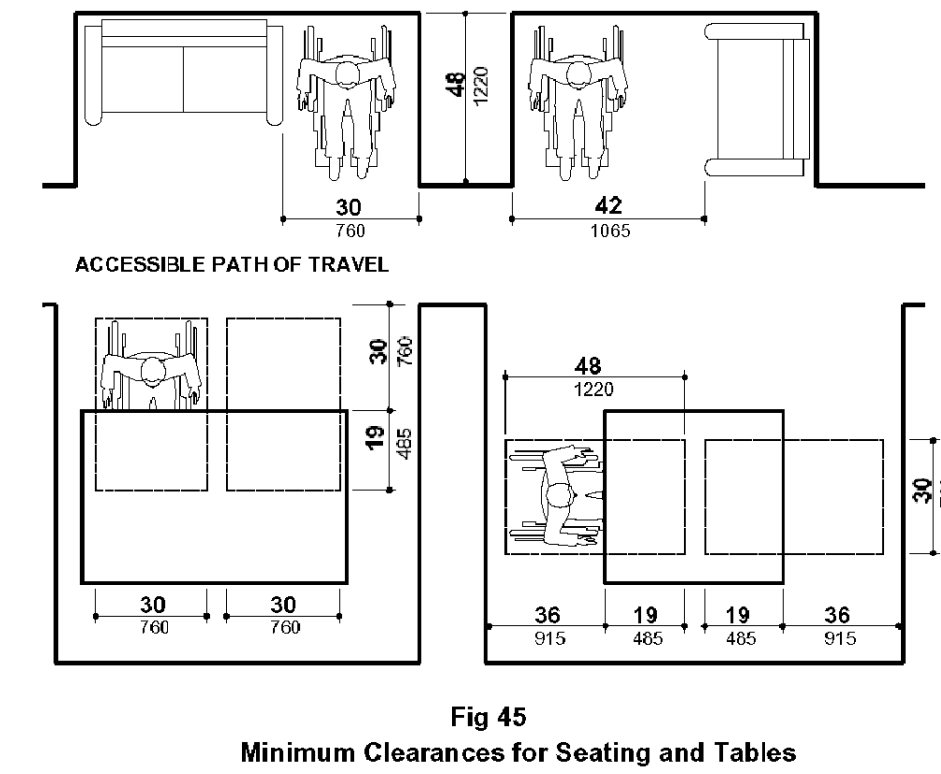
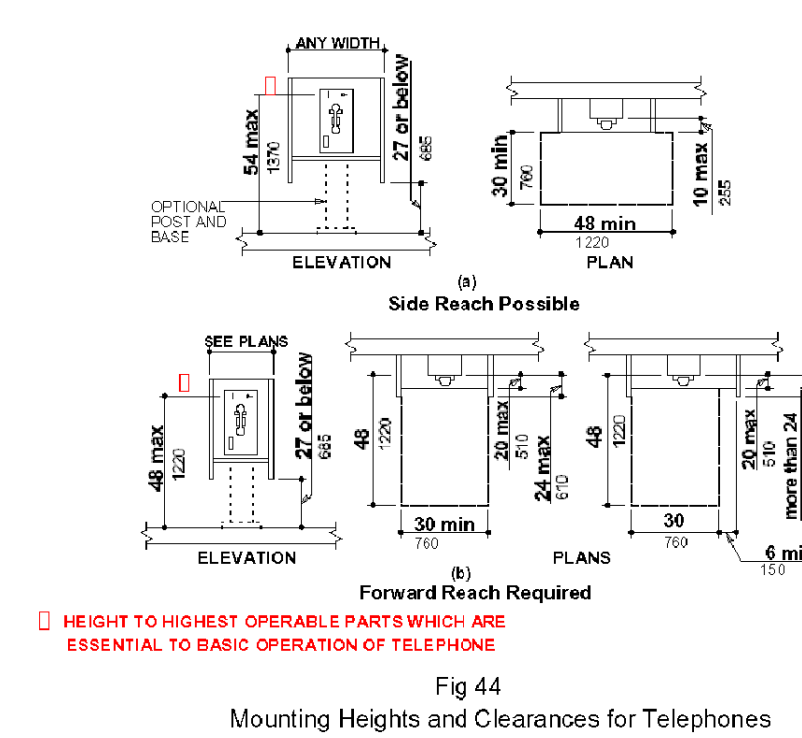
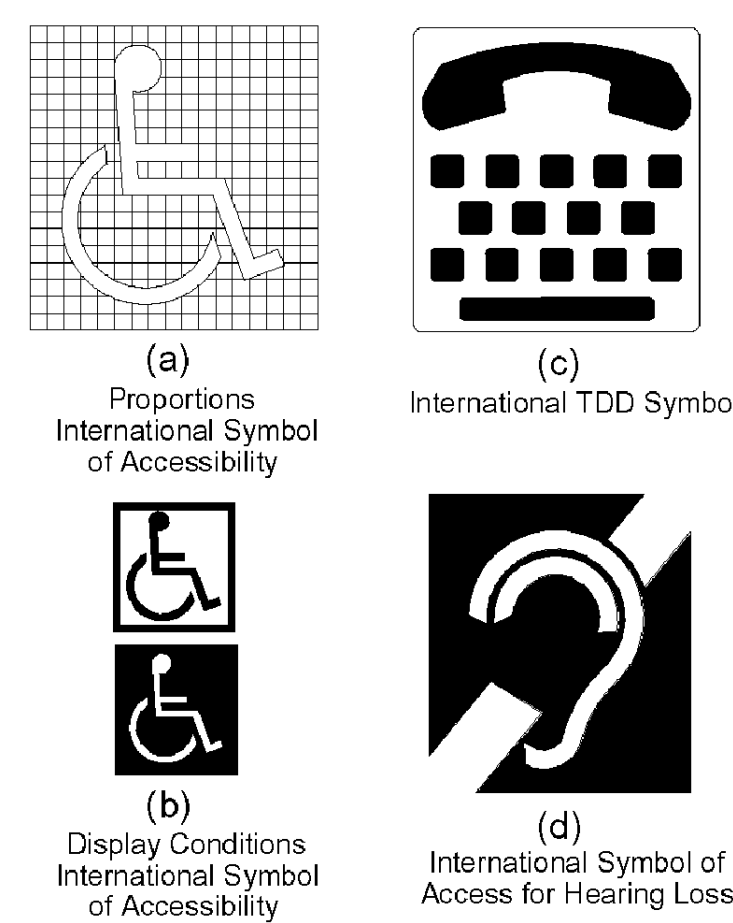
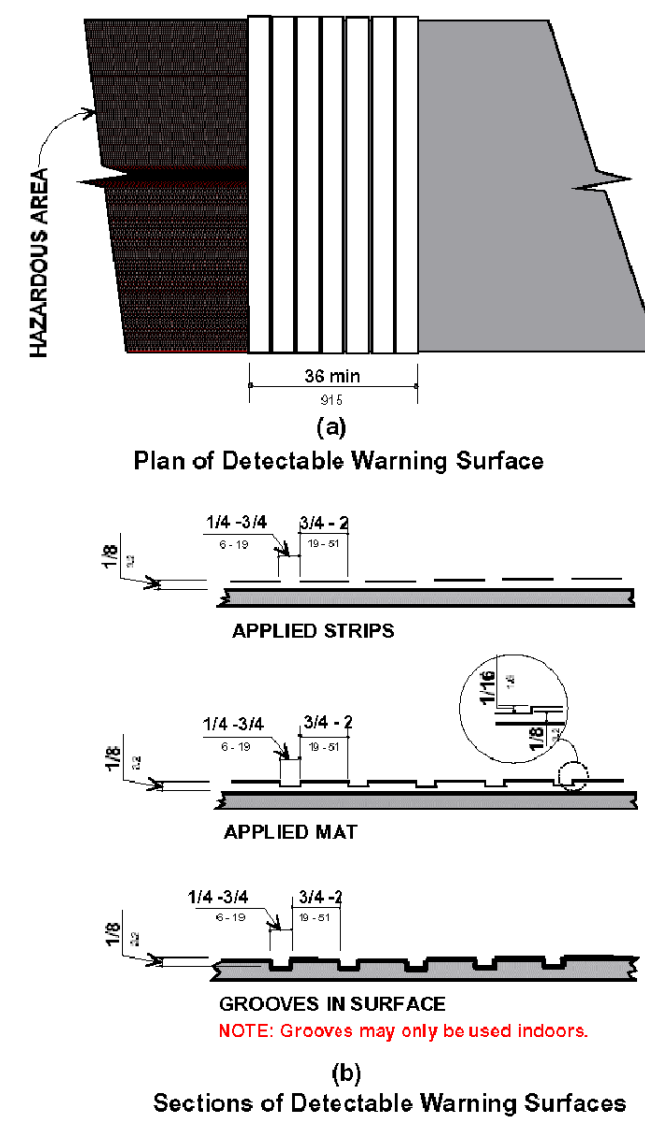
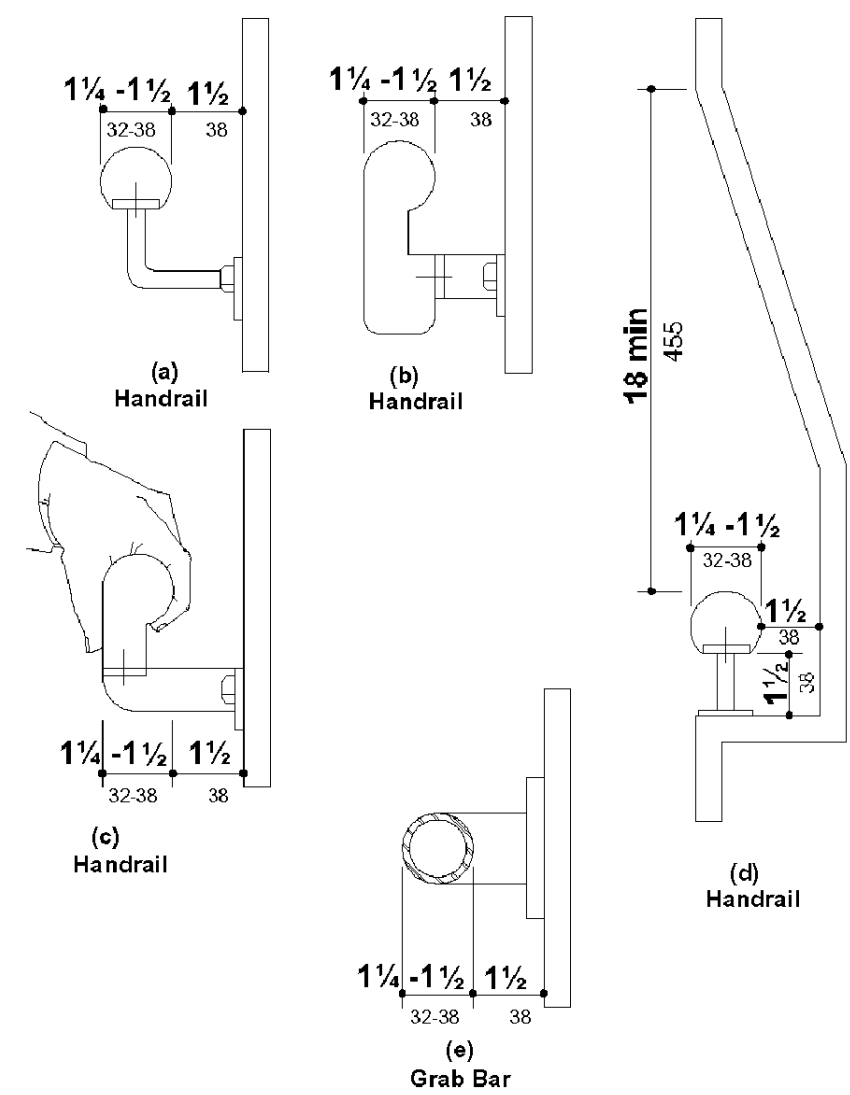


Fig 26
Two Hinged Doors in Series

CONTRACTOR NOTE:

The information depicted here are excerpts from the Florida Building Code Accessibility 2017 for Building Construction. It is the intention of the Architect to comply with this code wherever it applies; and the Contractor's responsibility to inform the Architect of any discrepancies between this code and the Architectural drawings that follow.



CONTRACTOR NOTE:

KAP
arch

681 SW 161th Terrace • Miramar, FL • 33027
m. 305.753.9653 • p. 954.441.5027
e. kurt@kaparch.net
aa # 26002578

architect of record:
kurt a. petgrave, r.a., ncarb
at # 90049

project consultants

MR. DENNIS WRIGHT
566 SW 50th STREET
FORT LAUDERDALE, FLORIDA 33312

**MIXED-USE (COMMERCIAL & RESIDENTIAL)
CLASS 'A' DEVELOPMENT ENTITLED:**

WRIGHT
DYNASTY

217-1223 N.W. 6th STREET
FORT LAUDERDALE, FL 33311-0000

KURT A. PETGRAVE, FL AR0096049

7.07.20

[illegible]

NO. TITLE:	
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PROJECT RENDERINGS

N/A

19-09.SISTRUNK WRIGHT

TE: 000000

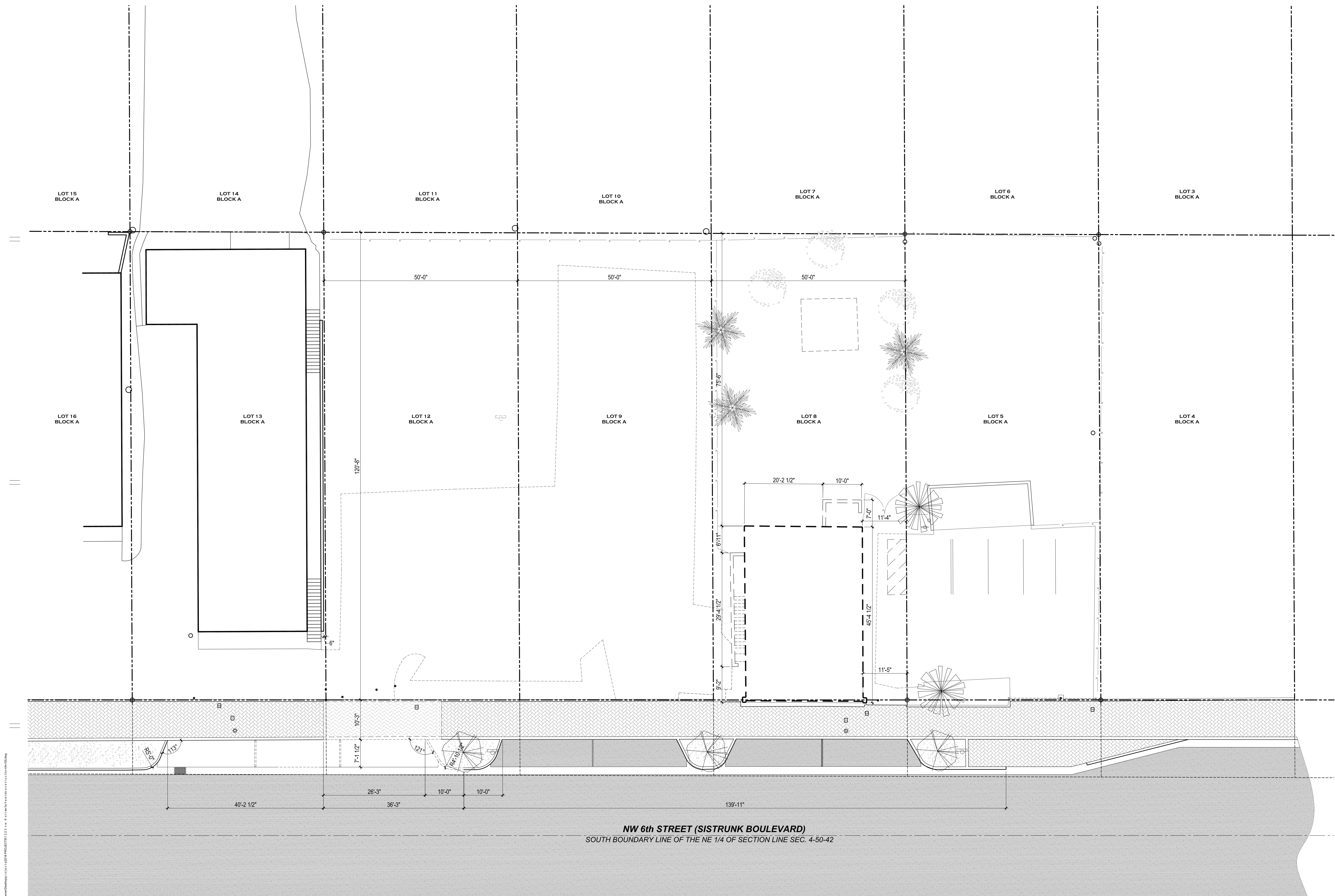
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217-1223 N.W. 6th STREET
FORT LAUDERDALE, FL 33311-0000

KURT A. PETGRAVE, FL AR0096049

[illegible]

DWG. TITLE:	EXISTING SITE PLAN / BOUNDARIES
SCALE:	N/A
PROJECT No.	2019-09.SISTRUNK WRIGHT
DATE:	06.00.20
SHEET NUMBER:	A-100



EXISTING SITE PLAN / PROPERTY BOUNDARIES
SCALE: 3/32" = 1'-0"

1. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF FORT LAUDERDALE ENGINEERING / PUBLIC WORKS DEPARTMENT.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
3. THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES THAT ARE IDENTIFIED.
4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.

Lot 8, 9 and 12, Block 'A', 'Home Beautiful Park', according to the Plat thereof as recorded in Plat Book No. 2, Page No. 47 of the Public Records of Broward County, Florida, Less Road Right of Way.

1217 - 1223 N.W. 6th Street, Fort Lauderdale, Florida 33311-7932

NOTE:

PROPERTY LEGAL DESCRIPTION AND BOUNDARY INFORMATION
OBTAINED FROM SURVEY PREPARED BY:

COUSINS SURVEYORS & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS, LAND PLANNERS AND MAPPERS
CERTIFICATE OF AUTHORIZATION : L.B. NO. 6448 STATE OF FLORIDA
DRAWING DATE : 02.23.17
CONTROL PANEL No.: 125105-0368-H
COMMUNITY No. 125105
FOLIO No. 5041-13-14-1600

ZONING CLASSIFICATION: NWRC-MUW				
MAXIMUM HEIGHT:	65'-0"			
BUILD-TO-LINE:	FRONT	CORNER		
Primary Street:	0'-0"	0'-0"		
Secondary Street:	5'-0"	5'-0"		
SETBACKS:				
Primary Street:	SIDE	REAR		
	0'-0" *	0'-0" *		
Secondary Street:	0'-0" *	0'-0" *		
* side/rear setbacks = 15'-0" when abutting existing residential				
SHOULDER REQUIREMENTS:				
	MINIMUM	MAXIMUM		
	2 stories or 25'	5 stories or 65'		
(developments abutting residential shall provide a max. 4 stories or 45')				
MIN. TOWER SETBACKS:				
Primary Street:	FRONT	CORNER	SIDE	REAR
	12'-0"	12'-0"	(Dependent on floor)	
Secondary Street:	15'-0"	15'-0"	(Dependent on floor)	
MAX. FLOOR PLATE / MIN. TOWER SEPARATION:				
	COMMERCIAL		RESIDENTIAL	
	32,000 SF (30' S&R)		12,000 SF (30' S&R)	
	20,000 SF (25' S&R)		10,000 SF (25' S&R)	
	16,000 SF (20' S&R)		8,000 SF (20' S&R)	

ZONING CLASSIFICATION:	NWRAC-MUW
GROSS SITE AREA:	18,071 SF or (0.141853 AC)
FLOOD ZONE:	X / 0.2 pct
BASE FLOOD ELEVATION:	7.0 (2 feet)
WATER PROVIDER:	PORT LAUDERDALE MUNICIPAL WATER
SEWER PROVIDER:	PORT LAUDERDALE MUNICIPAL WASTEWATER
ELECTRIC AND GAS:	FLORIDA POWER AND LIGHT
NUMBER OF STORIES:	SIX (6) Stories
BUILDING FOOTPRINT:	15,320 GSF @ (Grade) or 85% (1,848) of Site
- Garage Entry / Ramp:	4,042 sf
- Building Support:	4,594 sf
- Residential Services:	1,884 sf
- Retail:	2,495 sf
- Covered Terraces:	1,315 sf
PARKING GARAGE AREA:	31,294 GSF
- Parking Level 200:	15,696 sf
- Parking Level 300:	15,698 sf
RESIDENTIAL TOWER:	37,018 GSF
- Residential Level 400:	10,122 sf
- Terraces @ Level 400:	5,344 sf
- Residential Lvl 500 - 600:	1,844 sf
- Balconies @ 500 - 600:	1,306 sf

RESIDENTIAL FLOORS: UNITS PER FLOOR:	THREE (3) LEVELS EIGHT (8) UNITS / FLOOR
TOTAL RESIDENTIAL UNITS:	TWENTY-FOUR (24) UNITS
One Bedroom:	One (1) Unit / Floor: Three (3) Total
One Bedroom + Den:	One (1) Unit / Floor: Three (3) Total
Two Bedroom:	Six (6) Units / Floor: Eighteen (18) Total
PARKING REQUIREMENTS	DATA:
REQUIRED RETAIL PARKING RATIO:	1 / 250 SF GFA
REQUIRED RESIDENTIAL PARKING RATIO:	
One Bedroom:	1.75 per Dwelling Unit
One Bedroom + Den:	2.00 per Dwelling Unit
Two Bedroom:	2.00 per Dwelling Unit
PARKING REQUIRED:	SIXTY-TWO (62) SPACES
3,485 SF (Retail) / 250 sf =	13.94 ~ 14 Parking Spaces
3 Units / Floor (Room) x 1.75 =	5.25 ~ 6 Parking Spaces
One Bedroom + Den x 2.0 =	6.00 ~ 6 Parking Spaces
18 Units / Floor (Room) x 2.0 =	Thirty-six (36) Parking Spaces
PARKING PROVIDED:	SEVENTY-ONE (71) SPACES
Existing On-Site:	Eleven (11) Parking Spaces
Parking Level 200:	Twenty-four (24) Parking Spaces
Parking Level 300:	Thirty-six (36) Parking Spaces



SCALE: 3/32" = 1'-0"

MR. DENNIS WRIGHT
3566 SW 50th STREET
FORT LAUDERDALE, FLORIDA 33312

**MIXED-USE (COMMERCIAL & RESIDENTIAL)
CLASS 'A' DEVELOPMENT ENTITLED:**

WRIGHT
DYNASTY

1217-1223 N.W. 6th STREET
FORT LAUDERDALE, FL 33311-0000

KURT A. PETGRAVE, FL AR0096049

07.07.20

DATE REVISION

DWG. TITLE:	ARCHITECTURAL SITE PLAN
SCALE:	N/A
PROJECT No.	2019-09.SISTRUNK WRIGHT
DATE:	06.00.20
SHEET NUMBER:	





project 93c

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1500

KURT A. PETGRAVE, FL AR0096049

7.07.20

06.00.20

EET NUMBER: A 000

AM #20-0849
Exhibit 3
Page 16 of 50



DATE	REVISION

NO. TITLE: TYP. RESIDENTIAL
UNITS FLOOR PLAN (L.5 - 6)

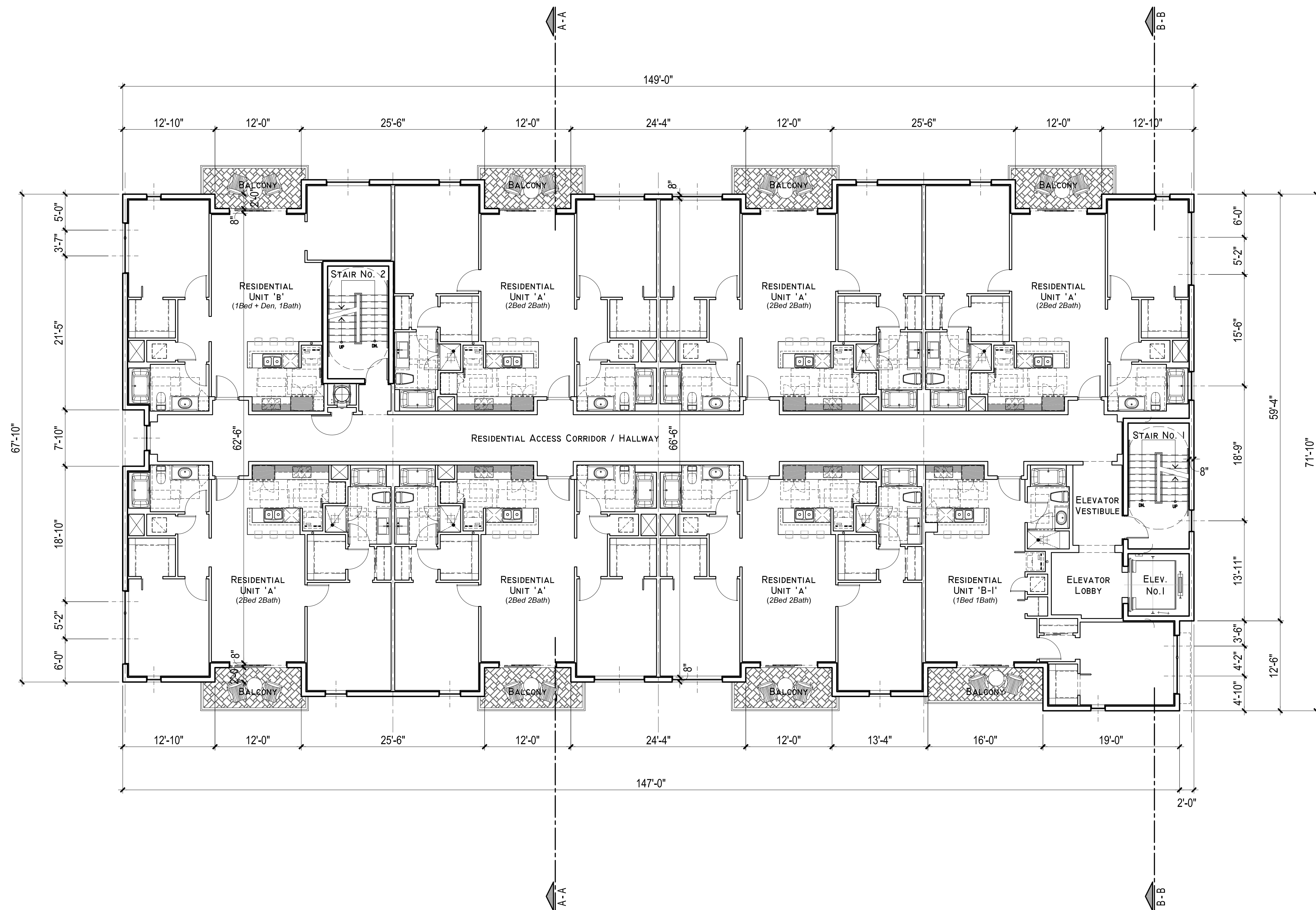
N/A

OBJECT No. _____
60-90-CLERK IN CHARGE DATE _____

TE:

06.00.20

-304|



TYP. RESIDENTIAL UNITS FLOOR PLAN (LEVELS 500 - 600)

SCALE: 1/8" = 1'-0"

[illegible]

DWG. TITLE: ARCHITECTURAL
ROOF PLAN (L. 700)

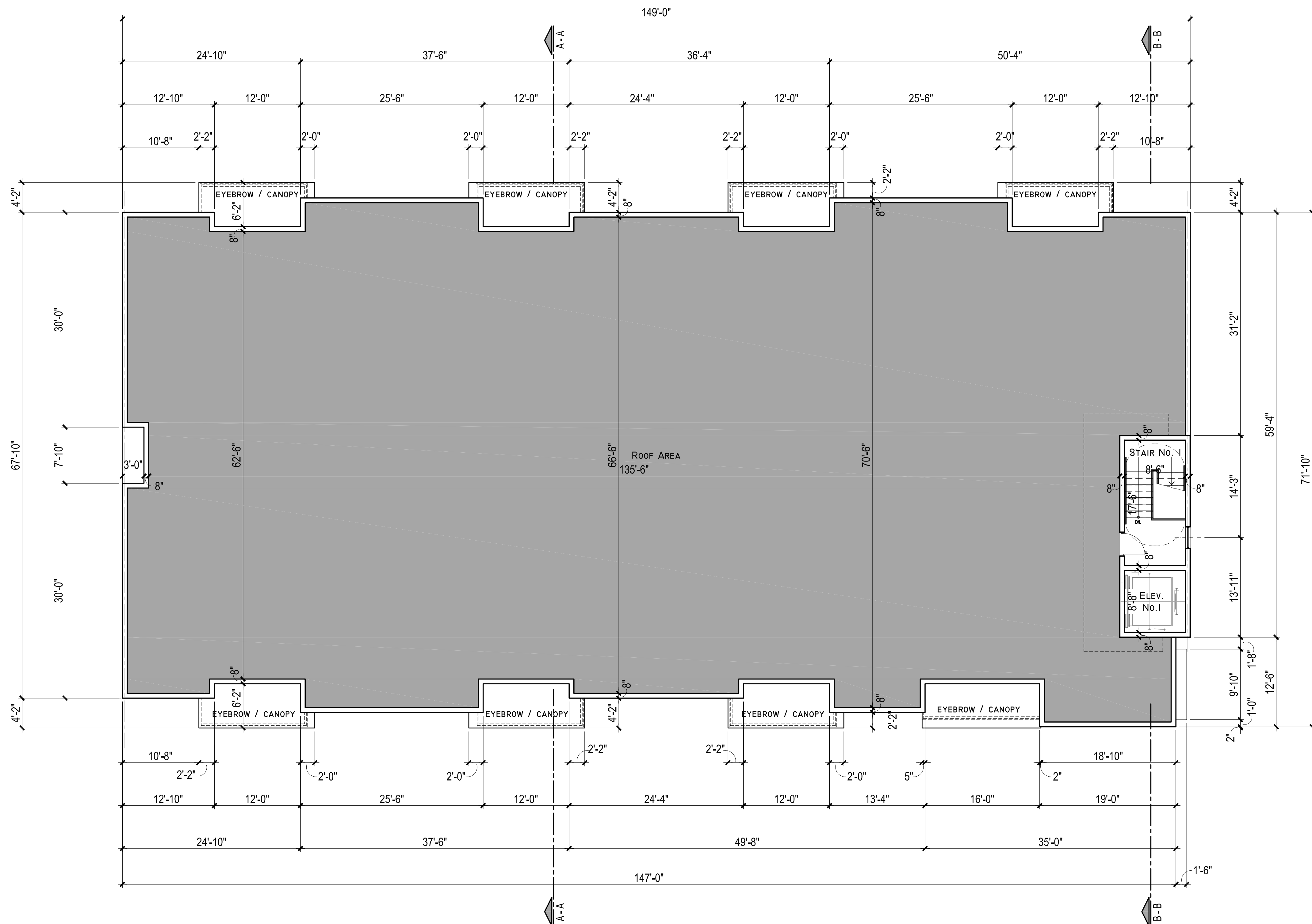
SCALE: N/A

PROJECT No. 2019-09 SISTRLINK WRIGHT

DATE: 06.00.20

SHEET NUMBER: 4-305

CAM #20-084
Exhibit
Page 18 of 5



ARCHITECTURAL ROOF PLAN (LEVEL 700)

SCALE: 1/8" = 1'-0"

kurt a. pelgrawe, f.a., ncarb
or # 96049

kurt a. pelgraves, r.a., ncarb
ar # 96049

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project files

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DYNASTY

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FORT LAUDERDALE, FL 33311-0000

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KURT A, PETGRAVE, FL AR00960

07.07.20

[illegible]

DWG. TITLE: *PARTIAL SECOND
FLOOR PLAN*

SCALE:

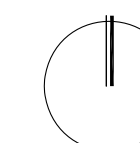
PROJECT No. _____

DATE: _____

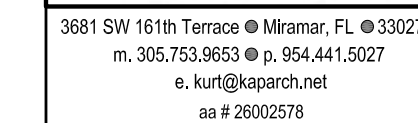
SHEET NUMBER: 06.00.20

A-401a

CAM #20-084

Exhibit
Page 24 of 5

SCALE: 1/4" = 1'-0"



architect of record
kurt a. pelgraves, r.a., ncarb
ar # 56049

project consultants

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FORT LAUDERDALE, FL 33311-0000

KURT A, PETGRAVE, FL AR0096049

07.07.20

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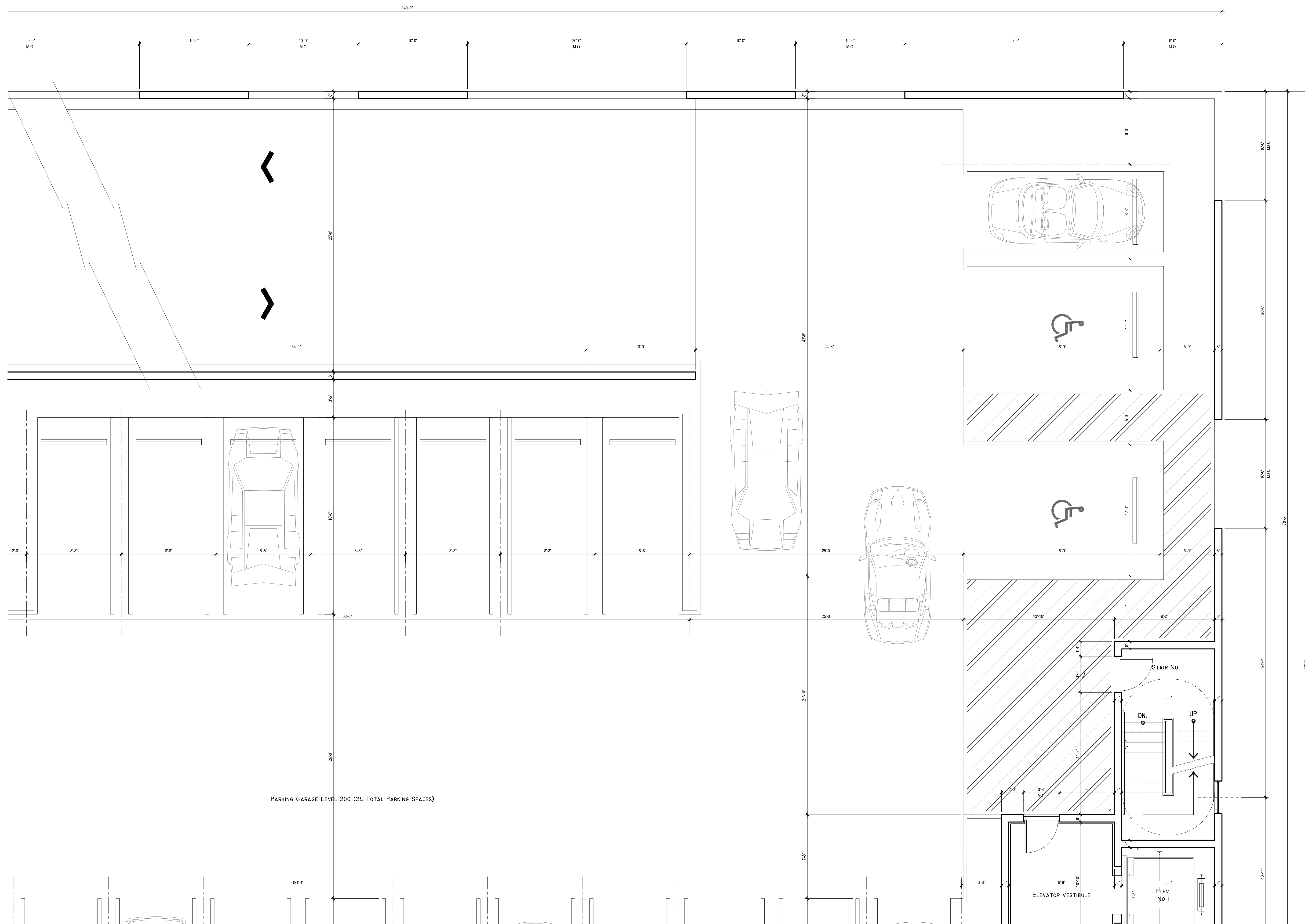
DWG. TITLE: *PARTIAL SECOND FLOOR PLAN*

SCALE:

PROJECT No.
2019-09.SISTRUNK WRIGH

DATE: 06.00.
SHEET NUMBER: A-401

CAM #20-0849
Exhibit 3
Page 25 of 50



ARCHITECTURAL SECOND FLOOR PLAN (PARTIAL)
SCALE: 1/4" = 1'-0"



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FORT LAUDERDALE, FL 33311-0000

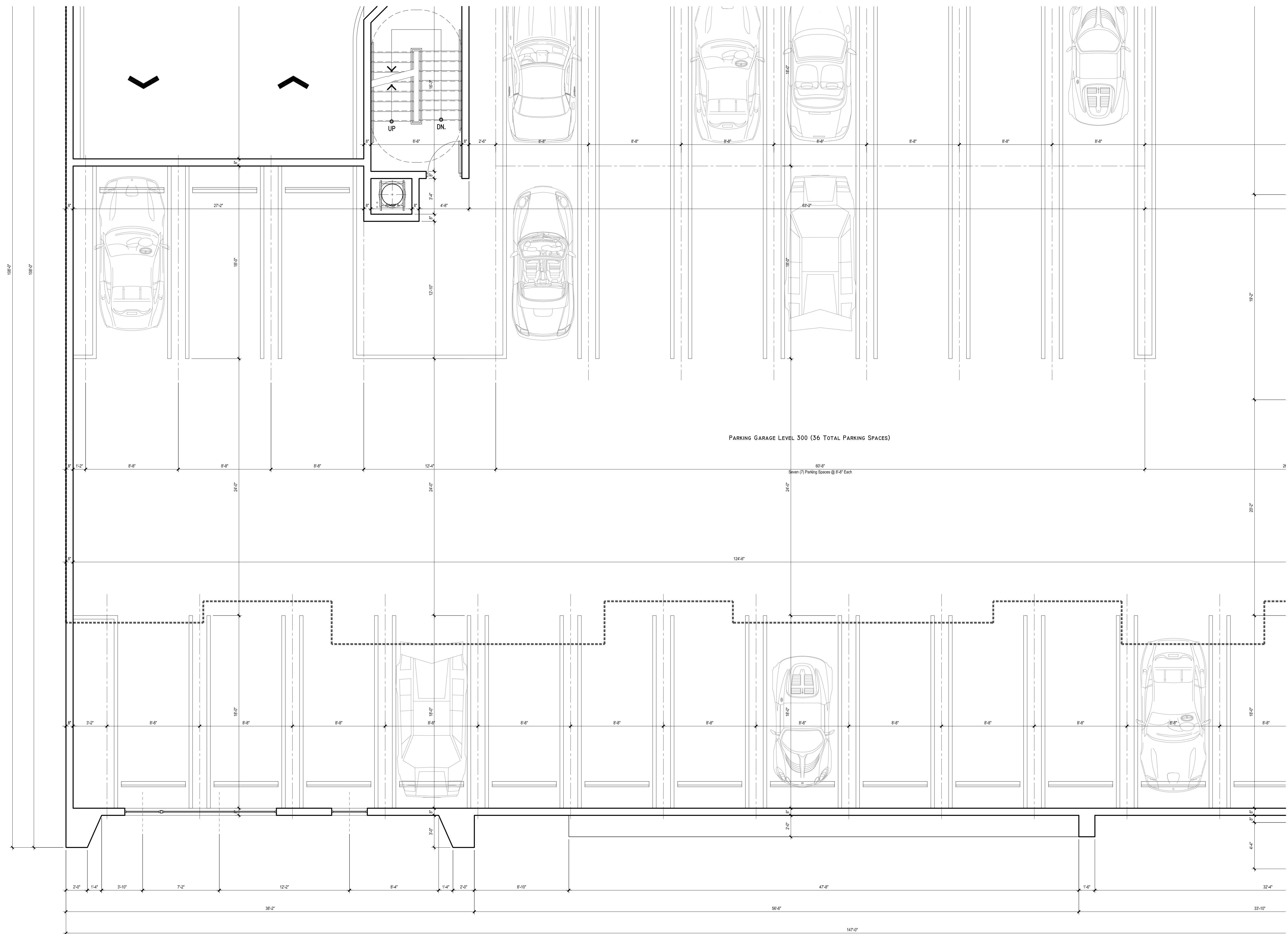
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KURT A, PETGRAVE, FL AR0096049

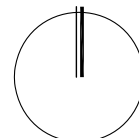
07.07.20

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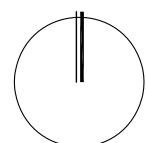
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SCALE:	N/A
PROJECT NO.	
2019-09.SISTRUNK WRIGHT	
DATE:	06.00.20
SHEET NUMBER:	A-402a



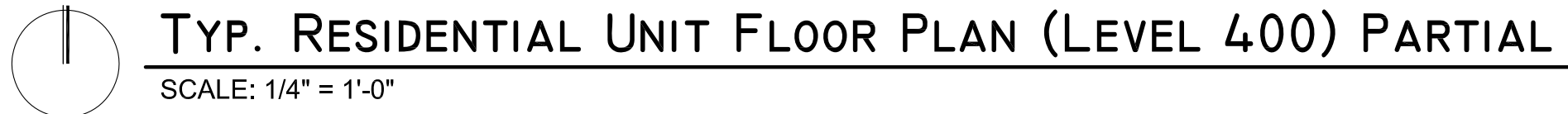
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SCALE: 1/4" = 1'-0"

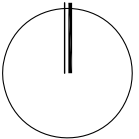


DWG. TITLE:	<i>PARTIAL UNIT FLOOR PLAN (L. 4)</i>
SCALE:	<i>N/A</i>
PROJECT No.	<i>2019-09.SISTRUNK WRIGHT</i>
DATE:	<i>06.00.20</i>
SHEET NUMBER:	<i>A-403</i>

[illegible]

CAM #20-0849
Exhibit 3
Page 32 of 50





DWG. TITLE: *PARTIAL UNIT
FLOOR PLAN (L. 5 - 6)*

SCALE: *N/A*

PROJECT No. *2019-09.SISTRUNK WRIGHT*

DATE: *06.00.20*

SHEET NUMBER: *A-404a*



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kurt a. pelgrave, r.a., ncarb

project consultants

client:

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MIXED-USE (COMMERCIAL & RESIDENTIAL)
CLASS 'A' DEVELOPMENT ENTITLED:

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DYNASTY

1217-1223 N.W. 6th STREET
FORT LAUDERDALE, FL 33311-0000

KURT A, PETGRAVE, FL AR0096049

07.07.20

DATE _____
REVISION _____

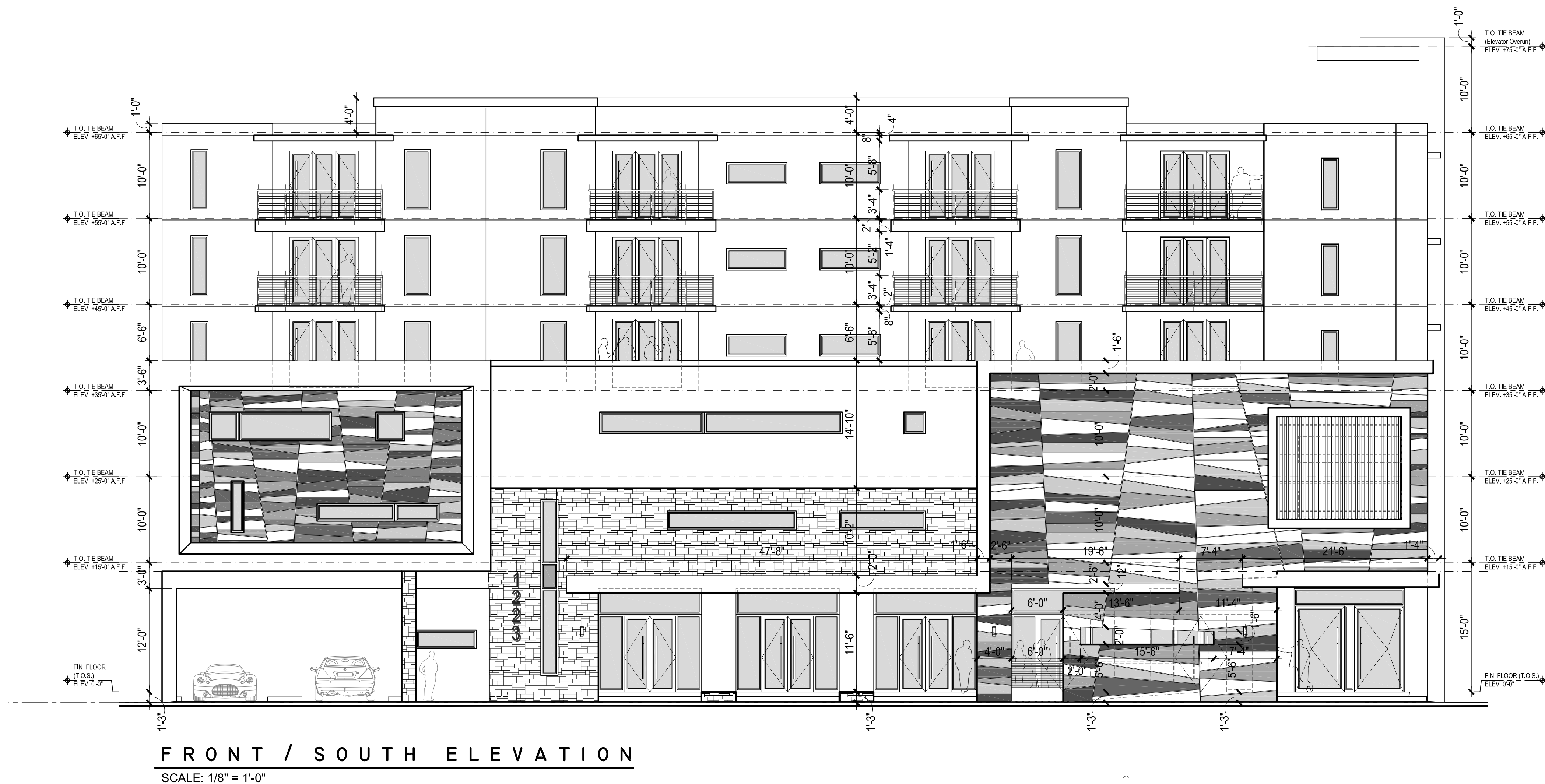
DWG. TITLE:	ENLARGED UNIT FLOOR PLANS (Typical)
SCALE:	N/A
PROJECT No.	2019-09.SISTRUNK WRIGHT
DATE:	06.00.20
SHEET NUMBER:	A-500



UNIT DESIGN	Unit Type	Unit Area	Unit Count	Unit Percentage
UNIT A	2 Bedroom, 2 Bath	1,075 sf	18 Total Units	75%
UNIT B	1 Bed + Den, 1 Bath	872 sf	3 Total Units	12.5%
UNIT B-1	1 Bedroom, 1 Bath	720 sf	3 Total Units	12.5%

ENLARGED UNIT FLOOR PLANS

SCALE: 3/8" = 1'-0"

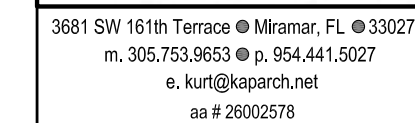


FRONT / SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR BUILDING ELEVATIONS

SCALE: 1/8" = 1'-0"



architect of record:
kurt a. pelgraves, f.a., ncarb
pc # 56049

Kurt A. Pelgrame, P.E., Inc.
PC # 99049

project consultants

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FORT LAUDERDALE, FL 33311-0061

KURT A. PETGRAVE, EL AB0085049

KURT A. PETGRAVE, EL AR0095049

07.07.20

[illegible]

DWG. TITLE: **ARCHITECTURAL
BUILDING ELEVATION**

SCALE: _____

PROJECT No. _____

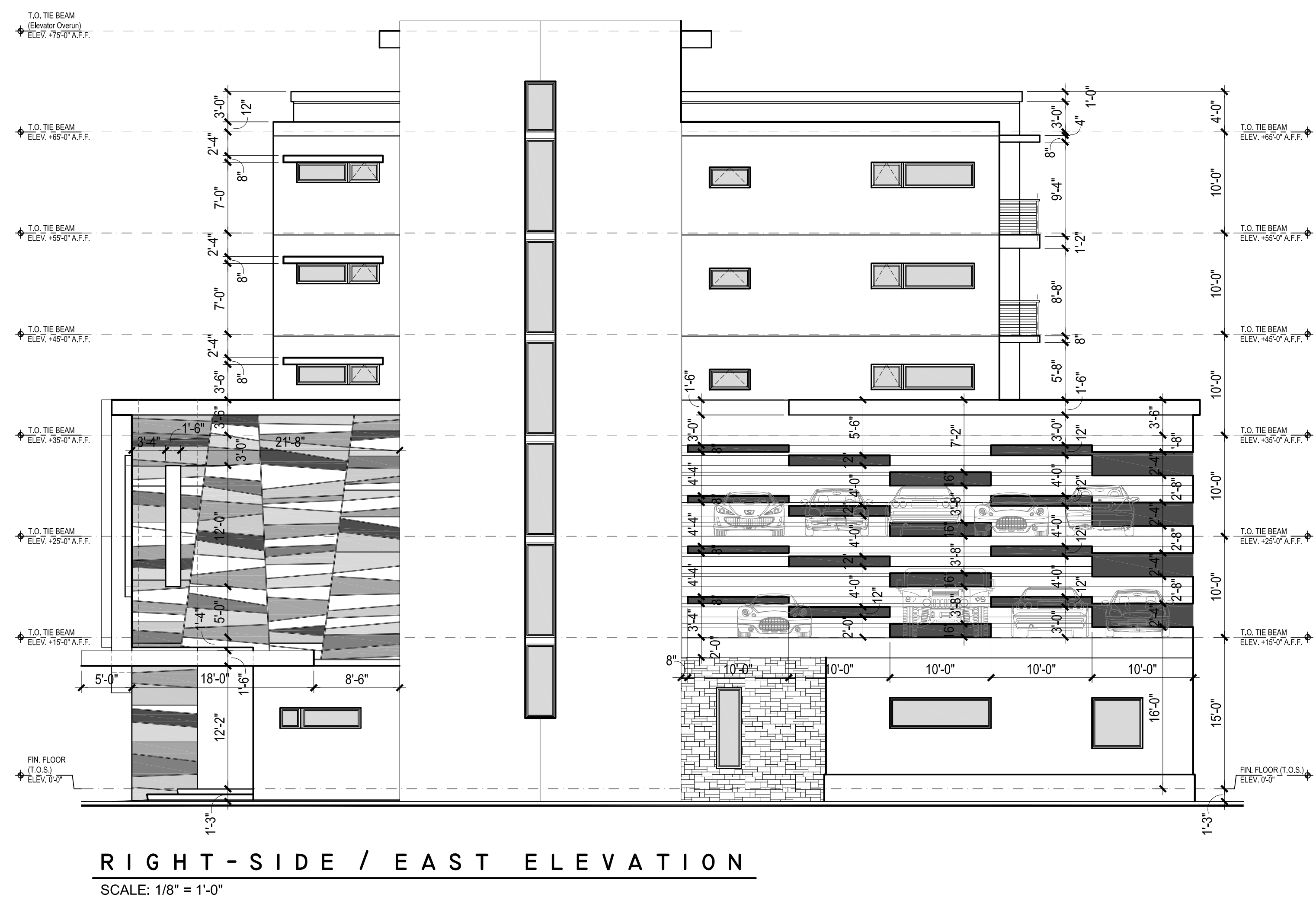
2019-09.SISTRUNK WRIGH

DATE: _____

_____ 06.00.2

SHEET NUMBER: _____

A-70



RIGHT-SIDE / EAST ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR BUILDING ELEVATIONS

SCALE: 1/8" = 1'-0"



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ar # 96049

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FORT LAUDERDALE, FL 33311-0000

KURT A. PETGRAVE, FL AR0096049

07.07.20

DATE REVISION

DWG. TITLE: **ARCHITECTURAL
BUILDING SECTIONS**

SCALE:

PROJECT No. **N/A**

2019-09. SISTRUNK WRIGHT

DATE: **06.00.20**

SHEET NUMBER: **A-1000**



SCALE: 1/8" = 1'-0"



project consultant

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FORT LAUDERDALE, FL 33311-0000

KURT A. PETGRAVE, FL AR0096049

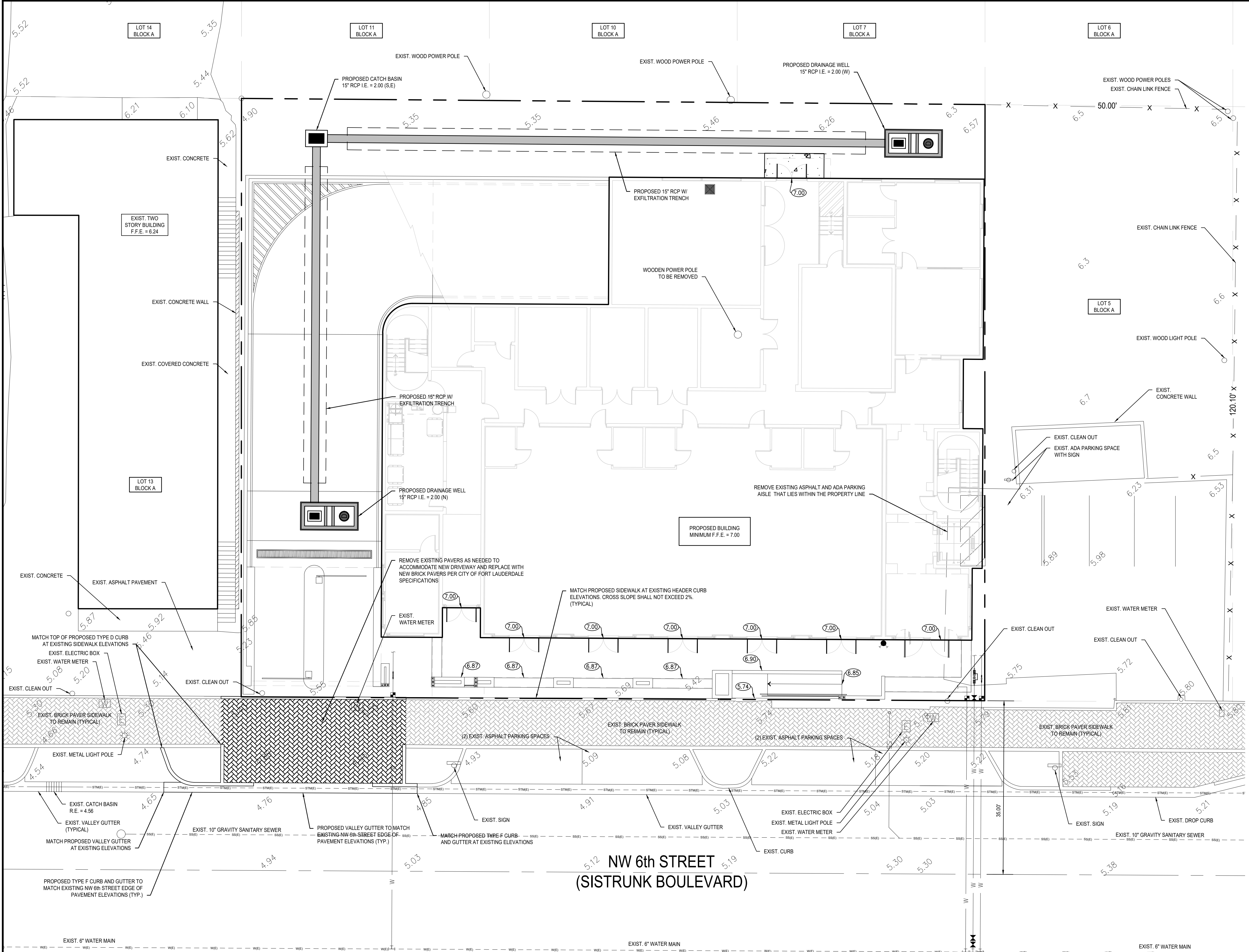
07.07.20

DATE _____ REVISION _____

DWG. TITLE:	ARCHITECTURAL BUILDING SECTIONS
SCALE:	N/A
PROJECT NO.	
2019-09.SISTRUNK WRIGHT	
DATE:	06.00.20
SHEET NUMBER:	A-1001



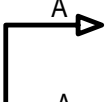




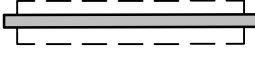
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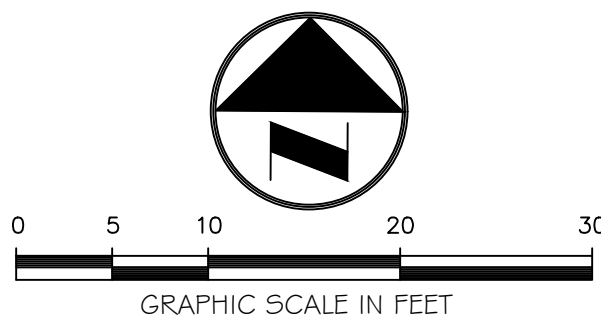


GENERAL PAVING, GRADING AND DRAINAGE NOTES:

1. CONTRACTOR TO RESTORE ALL EXISTING PAVEMENT, PAVEMENT MARKINGS, SIDEWALK, LANDSCAPING, IRRIGATION, ETC. DAMAGED DURING CONSTRUCTION INCLUDING ANY DAMAGE TO EXISTING ROADWAY IN PUBLIC R.O.W.
2. EXISTING GRADES SHOWN $\times \times \times$ ARE FOR REFERENCE ONLY. FINISHED GRADES INDICATED BY $\bigcirc \times \times \times$ GOVERN.
3. ALL ELEVATIONS SHOWN HEREON REFER TO NAVD 1988 UNLESS NOTED OTHERWISE.
4. CROSSWALKS AND HC RAMPS TO CONFORM TO ADA W/ DETECTABLE WARNING SURFACE.
5. EXACT LOCATION OF METERS AND BFPs TO BE COORDINATED IN THE FIELD.
6. ALL ROOF DRAINS TO BE CONNECTED TO THE NEAREST STORM DRAINAGE STRUCTURE.
7. REFER TO PAVING, GRADING, AND DRAINAGE DETAILS AND SECTIONS FOR ADDITIONAL INFORMATION.
8. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL EXISTING DRAINAGE WITHIN THE PUBLIC RIGHT OF WAY THAT HAS BEEN AFFECTED BY THE CONSTRUCTION.
9. DURING CONSTRUCTION ACTIVITIES INLET PROTECTION SHALL BE PROVIDED FOR ALL DRAINAGE INLETS ADJACENT TO THE PROJECT SITE. REFER TO POLLUTION/EROSION CONTROL PLAN.
10. RESTORE ANY PAVEMENT MARKINGS AFFECTED BY THE INSTALLATION OF THE TYPE 'F' CURB AND GUTTER PER BROWARD COUNTY MINIMUM STANDARDS.
11. SHOULD DEWATERING BE REQUIRED, CONTRACTOR IS RESPONSIBLE FOR OBTAINING REQUIRED AGENCY APPROVALS AND OR PERMITS.
12. THE PROPOSED DRAINAGE WELLS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR ANY DEWATERING PURPOSES.
13. ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE EXISTING UTILITY INFORMATION SHOWN HERE IS FOR THE CONTRACTOR'S CONVENIENCE AND THE E.O.R. ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. BEFORE COMMENCING CONSTRUCTION CONTRACTOR TO CALL FOR UTILITY LOCATES. VERIFY ALL EXISTING UTILITIES' LOCATIONS AND DEPTHS, AND NOTIFY E.O.R. OF ANY CONFLICTS.

LEGEND

PROPERTY or R/W LINE	ABBREVIATIONS
CENTER LINE	I.E. INVERT ELEVATION
NON VEHICULAR ACCESS LINE	R.E. RIM ELEVATION
	G.E. GRATE ELEVATION
	M.H. MANHOLE
	C.B. CATCH BASIN
	D.W. DRAINAGE WELL
	PROP. PROPOSED
	EXIST. EXISTING
	
	 PROP. DRAINAGE WELL
	 PROP. YARD DRAIN
	PROP. DRAINAGE PIPE
	PROP. EXFILTRATION TRENCH
	



BTE REF DATE: 5-20-20	
REVISIONS	
DATE	
#	

SEAL:

PAVING, GRADING, AND DRAINAGE PLAN

1223 NW 6th STREET

1217-1223 NW 6th Street

Fort Lauderdale, Florida 33311

Botek Thurlow

Engineering, Inc.

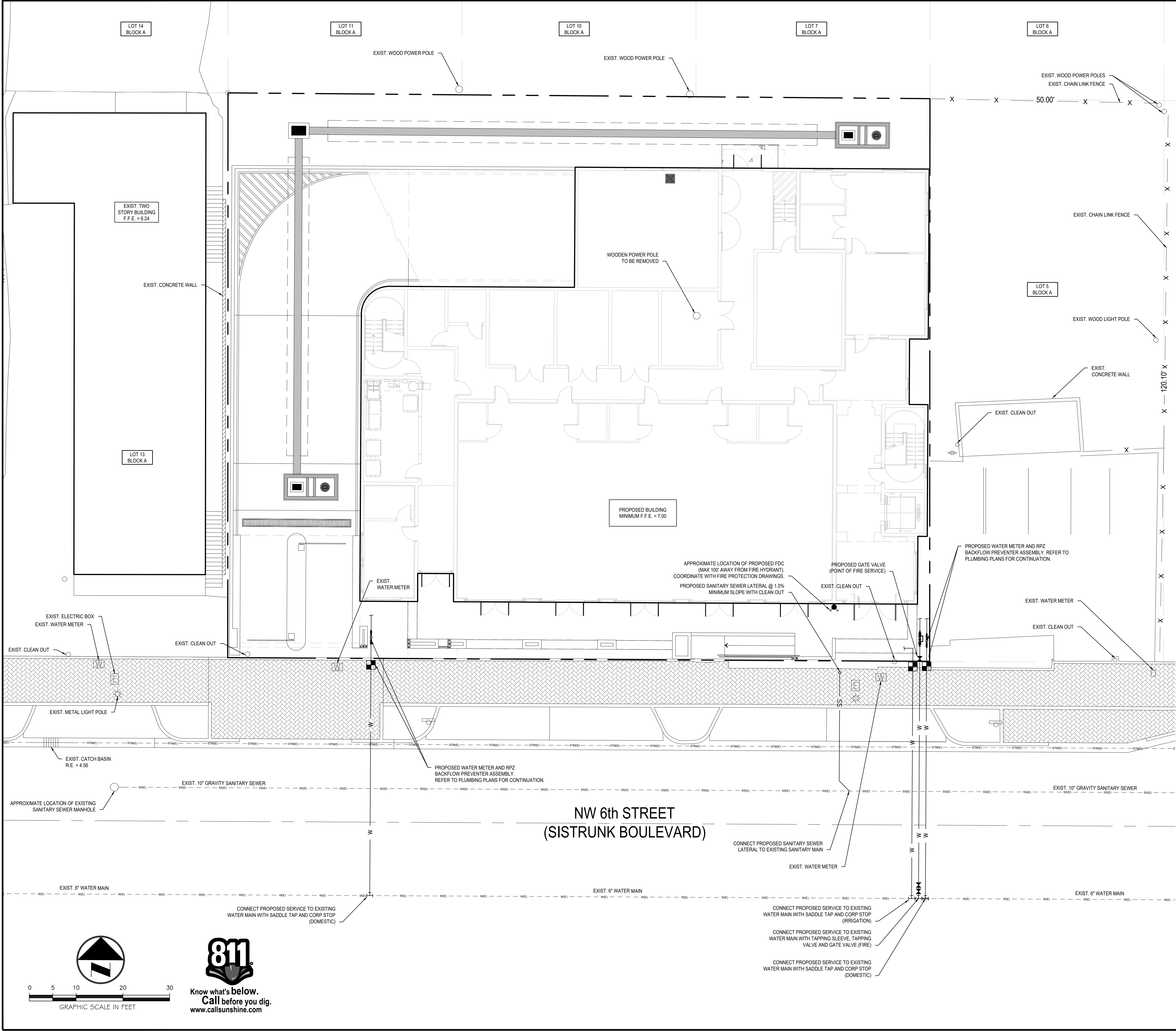
3409 NW 9th Avenue, Suite 102, Ft. Lauderdale, FL 33309
www.botekthurlow-eng.com P: 954-568-0888 F: 954-568-0757
FL Certificate of Authorization # 20787

BTE PROJECT #: 19-0903

PROJECT DATE: 00-00-00

SHEET #:

C-1



WATER AND SEWER LEGEND	
	DOUBLE DETECTOR CHECK VALVE
	RP2 BACKFLOW PREVENTORS
	GATE VALVE
	METER
	TEE / TAP
	FIRE HYDRANT
	FIRE DEPT. CONNECTION
	EXIST. SANITARY SEWER MANHOLE
	PROP. SANITARY SEWER MANHOLE
	PROP. SANITARY CLEAN OUT
	PROP. METER VAULT
	PROP. BACTERIOLOGICAL SAMPLE
	PROP. REDUCER
	PROP. PLUG / CAP
EXISTING SANITARY SEWER PIPE	
EXISTING WATER PIPE	
PROPOSED SANITARY SEWER PIPE	
PROPOSED WATER PIPE	

SYMBOLS FOR FITTINGS, VALVES, ETC. ARE DIAGRAMMATIC ONLY AND DO NOT REFLECT ACTUAL SIZE. FOR ACTUAL DIMENSIONS REFER TO MANUFACTURER'S SPECIFICATIONS.

WATER & SEWER NOTES

- NO GATE VALVES IN CURBS.
- SLOPE OR PITCH SANITARY SEWER MANHOLE CASTINGS WITH DESIGN ROAD SECTIONS.
- ALL SANITARY SEWER CLEANOUTS LOCATED IN ROADWAY ARE TO BE TRAFFIC-RATED.
- WATER SHALL BE AVAILABLE TO FIRE HYDRANTS BEFORE INTERIOR BUILDING CONSTRUCTION CAN BEGIN.
- ALL EXISTING WATER AND SANITARY SERVICES TO THE PROPERTY THAT ARE NOT BEING RE-USED SHALL BE CUT AND CAPPED AND ABANDONED IN ACCORDANCE WITH THE PUBLIC UTILITY'S MINIMUM STANDARDS.
- AFTER WATER AND SEWER CONNECTIONS, RESTORE ALL RIGHT OF WAY (PAVEMENT, SIDEWALK, CURB, ETC) IN ACCORDANCE WITH CITY OF FORT LAUDERDALE AND/OR BROWARD COUNTY MINIMUM STANDARDS.
- ALL ELEVATIONS SHOWN IN THIS PLAN ARE IN THE NAVD DATUM.
- ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE EXISTING UTILITY INFORMATION SHOWN HERE IS FOR THE CONTRACTOR'S CONVENIENCE AND THE E.O.R. ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. BEFORE COMMENCING CONSTRUCTION, CONTRACTOR TO CALL FOR UTILITY LOCATES. VERIFY ALL EXISTING UTILITIES' LOCATIONS AND DEPTHS, AND NOTIFY E.O.R. OF ANY CONFLICTS.

FIRE LINE NOTES:

- ALL PROPOSED FIRE MAINS, SERVICES, "SIAMESE" CONNECTION LINES ETC. MUST BE INSTALLED BY A STATE LICENSED FIRE LINE CONTRACTOR PER FLORIDA STATUTE 633.
- ALL FIRE LINES ARE TO BE INSPECTED BY CERTIFIED FIRE LINE INSPECTORS PRIOR TO BEING PLACED INTO SERVICE.
- UPON COMPLETION OF REQUIRED TESTING A STATE LICENSED FIRE LINE CONTRACTOR SHALL ISSUE A "LICENSED UNDERGROUND TEST CERTIFICATE". THE CERTIFICATE MUST BE ISSUED AND THE FIRE LINE MUST BE ACCEPTED BY THE BROWARD COUNTY HEALTH DEPT. (WHERE APPLICABLE) PRIOR TO BEING PLACED INTO SERVICE.
- FIRE LINE SYSTEM COMPONENTS (FDC, ODCV, FIRE LINE PIPING, ETC.) SHOWN ON THESE PLANS ARE TO BE COORDINATED WITH THE FIRE PROTECTION DRAWINGS AND DESIGN AND FIRE PROTECTION SHOP DRAWINGS. NOTIFY ENGINEER OF ANY DISCREPANCY PRIOR TO INSTALLATION OF ANY PORTION OF THE FIRE PROTECTION SYSTEM.

UNDERGROUND UTILITIES NOTES:

- SITE MAY CONTAIN EXISTING UTILITIES (DOMESTIC WATER, IRRIGATION, TELEPHONE, ELECTRIC, GAS, STORM DRAINAGE, SANITARY SEWER AND OTHERS).
- NOT ALL** EXISTING UTILITIES ARE SHOWN HEREON. SOME ARE SHOWN ON THIS PLAN AS OBTAINED FROM UTILITY LOCATES, ATLASES AND THE SURVEY.
- ALL EXISTING UTILITIES WITHIN THE BOUNDARY OF THE SITE ARE TO BE REMOVED - EXCEPT WHERE NOTED OTHERWISE (SUCH AS "TO REMAIN" TO BE RELOCATED" ETC.). THIS PLAN IS LIMITED TO WATER AND SANITARY SEWER ONLY. NO DESIGN OF FPL, COMCAST, GAS, TELEPHONE IS SHOWN HEREON.
- CONTRACTOR IS RESPONSIBLE FOR SEQUENCING ALL UTILITY REMOVAL/RELOCATION SUCH THAT NO OTHER USER OF SAID IS AFFECTED.

BTE REF DATE: 5-20-20	
REVISIONS	DATE
#	

SEAL:

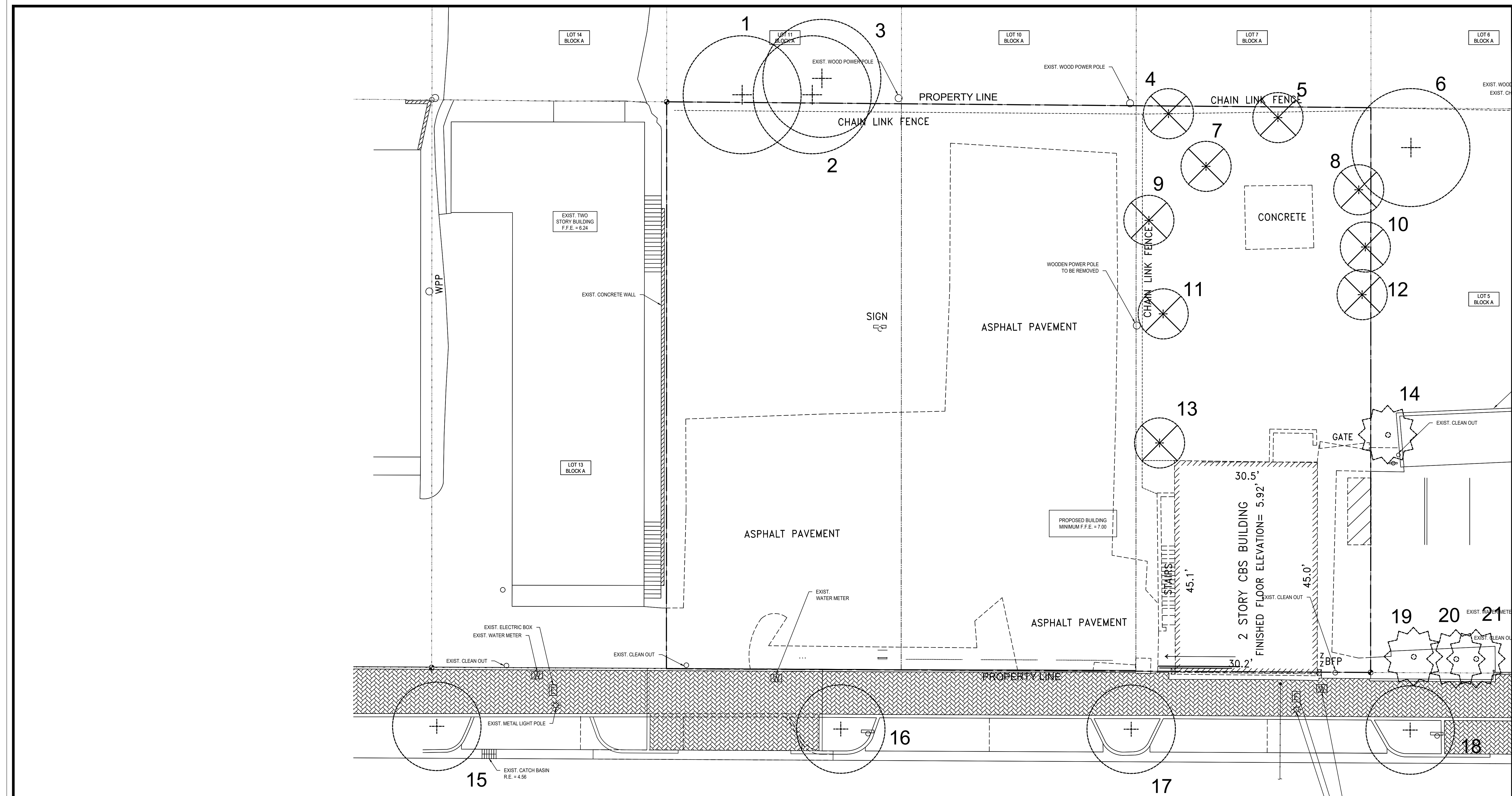
WATER AND SANITARY SEWER PLAN
1223 NW 6th STREET
1217-1223 NW 6th Street
Fort Lauderdale, Florida 33311

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3409 NW 9th Avenue, Suite 102, Ft. Lauderdale, FL 33309
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FL Certificate of Authorization # 20787

BTE PROJECT #:
19-0903

PROJECT DATE:
00-00-00

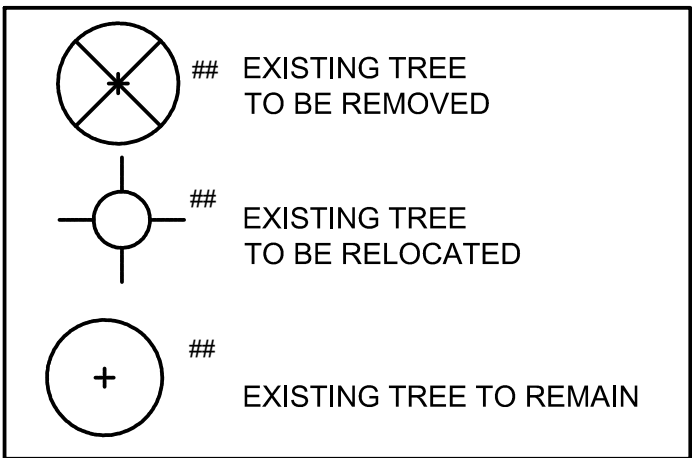
SHEET #:
C-2



EXISTING TREE SURVEY									
1223 NW 6th St									
NUMBER	BOTANICAL NAME	COMMON NAME	CALIPER D.B.H. INCHES	APPROXIMATE HEIGHT IN FEET or CLEAR TRUCK	APPROXIMATE CANOPY DIAMETER IN FEET	CONDITION Excellent = 100% Good = 80% Fair = 60% Poor = 40% Very Poor = 20%	DESCRIPTION	PLAN ACTION	CLASS A = 100% CLASS B = 80% CLASS C = 60% CLASS D = 40% CLASS E = 20% CLASS F = 0%
1	Quercus virginiana	LIVE OAK	20	35	20	80%	adjacent property shade tree	remain	100%
2	Quercus virginiana	LIVE OAK	18	35	20	80%	adjacent property shade tree	remain	100%
3	Quercus virginiana	LIVE OAK	16	35	20	80%	adjacent property shade tree	remain	100%
4	Quercus virginiana	LIVE OAK	2	6	6	60%	large oak shrub	REMOVE	
5	Mangifera indica	MANGO	20	15	12	60%	poor banch structure	REMOVE	
6	Quercus virginiana	LIVE OAK	30	35	25	60%	adjacent property shade tree	remain	100%
7	Mangifera indica	MANGO	4	12	12	60%	poor banch structure	REMOVE	60%
8	Mangifera indica	MANGO	16	35	20	40%	no leaves low third branches	REMOVE	60%
9	Sabal palmetto	SABAL PALM		8		60%	five feet for low overhead wires	REMOVE	
10	Sabal palmetto	SABAL PALM		16		80%	within tree 12 canopy	REMOVE	
11	Cocos nucifera	COCONUT PALM		4		60%	five feet for low overhead wires	REMOVE	
12	Mangifera indica	MANGO	6	20	15	60%	leaning southward	REMOVE	60%
13	Sabal palmetto	SABAL PALM		12		80%	adjacent to building to be demo	remain	
14	Sabal palmetto	SABAL PALM		18		80%	adjacent property palm tree	REMOVE	
15	Quercus virginiana	LIVE OAK	4	14	10	80%	street tree	remain	100%
16	Quercus virginiana	LIVE OAK	4	14	10	80%	street tree	remain	100%
17	Quercus virginiana	LIVE OAK	4	14	10	80%	street tree	remain	100%
18	Quercus virginiana	LIVE OAK	4	14	10	80%	street tree	remain	100%
19	Livistona chinensis	CHINESE FAN PALM		20		80%	adjacent to palm tree	remain	
20	Adonidia merrillii	CHRISTMAS PALM		7		80%	adjacent to palm tree	remain	
21	Livistona chinensis	CHINESE FAN PALM		20		80%	adjacent to palm tree	remain	

NW 6th STREET
(SISTRUNK BOULEVARD)

GRAPHIC KEY



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LC-28000422
Thomas J. Laubenthal, RLA
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LA-000063

DATE	REVISIONS:

DATE:	06-18-20
SCALE:	1" = 10'
DRAWING BY:	AD
DESIGNED BY:	AD

PROJECT: D. WRIGHT DEVELOPMENT (1223 NW 6TH ST)

BROWARD COUNTY

FORT LAUDERDALE, FLORIDA

TREE INVENTORY PLAN:

PROJECT NO.	20-025
SHEET:	TS-1 of 1

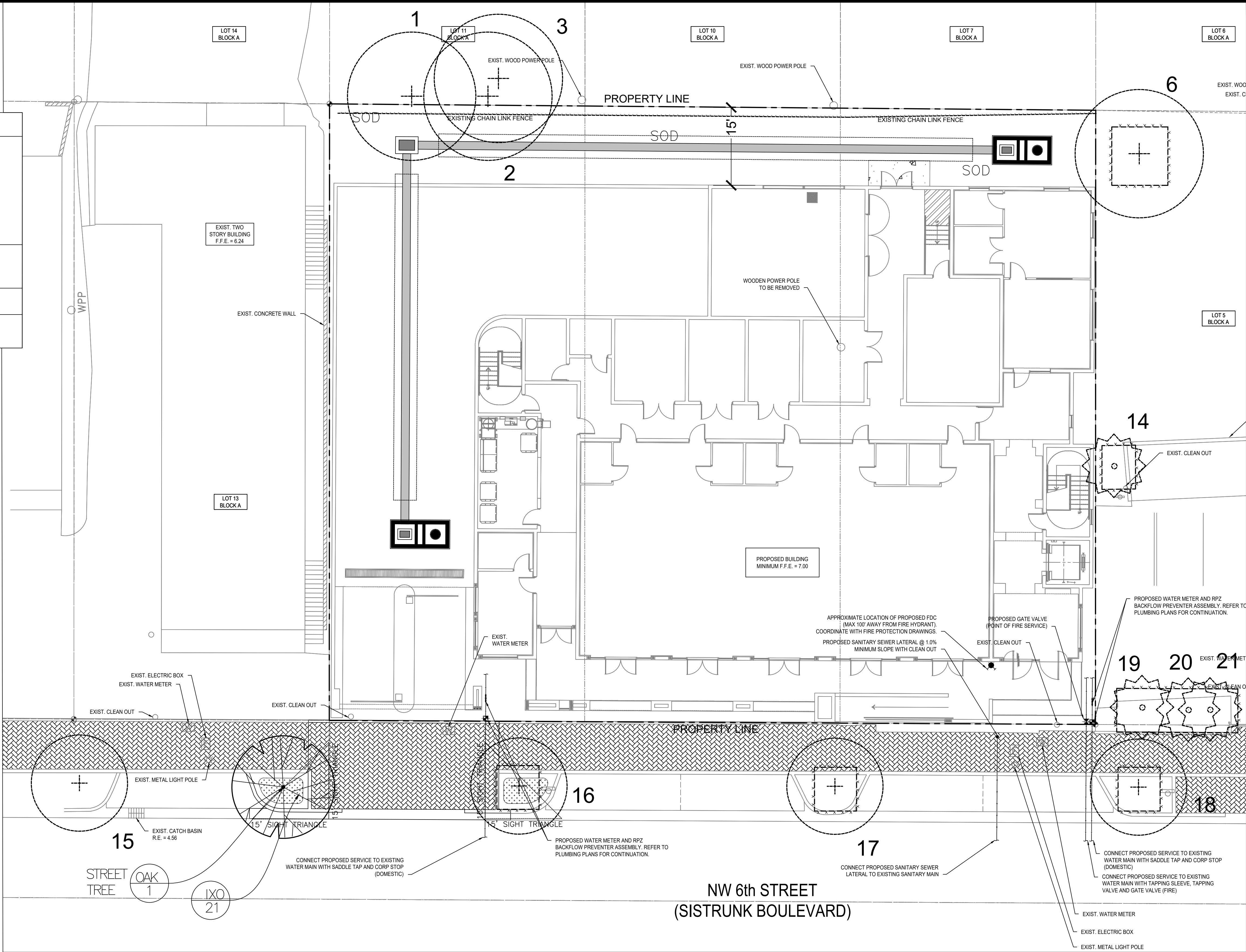
DATE:	THOMAS J. LAUBENTHAL
	#LA-0000563 #LC-28000422

SITE CALCULATIONS	AREA	PERCENTAGE
GROSS LOT AREA	18,071 SQ FT	100.00%
TOTAL BUILDING AREA	##	##
TOTAL HARDSCAPE AREA	##	##
TOTAL GREEN AREA	##	##

LANDSCAPE CODE CALCULATIONS	REQUIRED	PROVIDED
SEC. 47-21.11. - MAINTENANCE.		
A. THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE PROPER MAINTENANCE AND PROTECTION OF LANDSCAPING AND IRRIGATION SYSTEMS EXISTING OR HEREAFTER INSTALLED. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, MOWING, FERTILIZING, TREATING, MULCHING, TRIMMING, REMOVAL OR REPLACEMENT OF DEAD OR DISEASED PLANTS AND REMOVAL OF REFUSE AND DEBRIS ON A REGULAR BASIS SO AS TO CONTINUE A HEALTHY GROWING CONDITION AND PRESENT A NEAT AND WELL-KEPT APPEARANCE AT ALL TIMES.	YES	NOTED
B. SHADE TREES SHALL BE MAINTAINED AT A MINIMUM CANOPY DIAMETER OF THIRTY (30) FEET IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE, A-300 STANDARDS OR SIMILAR ACCEPTED STANDARDS AS PUBLISHED.	YES	YES
C. A LANDSCAPED SIGHT TRIANGLE SHALL BE PROVIDED AND VISIBILITY MAINTAINED AS PROVIDED IN SECTION 47-2.2.	YES	YES
D. PLANT MATERIALS WHICH BLOCK VISIBILITY SHALL BE REMOVED BY THE PROPERTY OWNER OR MAINTAINED SO AS TO ALLOW CLEAR VISIBILITY OF ONCOMING TRAFFIC.	YES	YES

NATIVE PLANTS

KEY	PLANT DESCRIPTION	SPECIFICATIONS	QTY
OAK	Quercus virginiana Live Oak	12'-14' ht.x 6'-8" Spr. 6" CT, 3" cal DBH	1
IXO	Ixora taiwanensis Dwarf Ixora	18" Ht X 18" Spr. 18" O.C. sp.	21
SOD	Paspalum notatum Bahia Grass	Solid sod tight joints, weed free	as needed



GRAPHIC KEY

- EXISTING TREE TO REMAIN
- NEW LOCATION OF EXISTING TREE TO BE RELOCATED

NORTH

0' 10' 0'

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DATE	REVISIONS:

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DESIGNED BY:	AD

PROJECT: D. WRIGHT DEVELOPMENT (1223 NW 6TH ST)

BROWARD COUNTY

FORT LAUDERDALE, FLORIDA

LANDSCAPE PLAN:

PROJECT NO.	20-025
SHEET:	LP-1 of 2

DATE:	THOMAS J. LAUBENTHAL #LA-0000563 #LC-26000422
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PLANTING NOTES

1. All sizes for plant material shown on plan are to be considered as minimums. All plant material must meet or exceed all minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan will also be required for final acceptance.
2. All plant material furnished by the Landscape Contractor shall be Florida No.1 or better, unless otherwise specified , and shall be installed as specified in the most current edition of Grades and Standards for Nursery Plants, Part I by the Florida Department of Agriculture, Consumer Services Division, State Plant Board of Florida.
3. Landscape Design and installation shall conform to xeriscape landscape principles as included in the South Florida Water Management District's xeriscape Principle Guide II, updated version. Xeriscape requirements apply to all materials required by code. Additional plantings over and above code are provided to develop a higher aesthetic than code requires, and are not bound by these minimum standards.
4. In addition to these requirements all local landscape codes and requirements shall be met as a part of this base bid and contract in order to satisfy the review and approval of the governing municipality.
5. Quantities for landscape materials as noted on plans supersede any quantities listed in summary tables or lists.
6. All landscaping scheduled to occur in vehicular use areas shall be protected from vehicular encroachment by curbing or other durable barriers.
7. All planting holes shall have a minimum diameter of 2 1/2 times the diameter of the plant ball and have a minimum of 12" of soil on all sides of the plant ball. All planting holes shall be excavated to remove all objectionable materials, such as asphalt, sub-base, concrete, rock, caustic materials with an excessive soil Ph, or similar materials not suited for landscape planting. Planting hole(s) shall be dug to a depth that is 90% the height of the root ball, with the installed root ball resting on undisturbed soil. Top of root ball to be 10% above final grade. For small caliper trees of 4" or less, plant the root ball above grade 1" for every 1" caliper. (i.e. if you have a 3" caliper tree plant the rootball 3" above grade. For all shrubs and ground cover plant the rootball minimum 2" above grade.
8. All plant material shall be installed in planting soil that is delivered to the site in a clean, loose and friable condition. All soil shall have well draining characteristics. Soil must be free of all rocks, sticks, objectionable debris including weeds and weed seed. Minimum soil depth requirements may vary with each municipality. See details and local codes for clarification.
9. All plant materials shall be thoroughly watered in at the time of planting. No dry planting shall be permitted.
10. Local codes require specific formulas for the use of native plants, as well as calculations for required number of code size trees by type and caliper inch. See code calculation tables provided with plan drawings.
11. Plans and new plantings shall be required to provide for safe sight lines at all access and egress points from the site, as well as intersections. All emergency equipment such as fire hydrants shall be maintained as visible and accessible, free of obstruction by new plantings. Trees require setbacks from lighting poles and fixtures. The contractor is required to field adjust the location of plant materials to meet these standards as work in contract.
12. Fertilizer shall be applied directly to the surface of the plant bed immediately after installation and prior to mulching.

- Turf Areas - Sunnland Fertilizer 16-4-8, applied per mfg. recommendation noted on the bag.
- Shrub Areas - Atlantic Fertilizer 12-6-8 plus Minors, applied per mfg. recommendation noted on the bag.
- Canopy Trees- Atlantic Fertilizer 12-6-8 plus Minors, applied per mfg. recommendation noted on the bag.
- Palm Trees - Atlantic Fertilizer Palm Mix 8-4-12 plus Minors, applied per mfg. recommendation noted on the bag.

13. All landscape areas not covered by shrubs or ground cover shall be planted with sod, and conversely all areas not covered by sod shall be covered with mulch to a minimum depth of (3) three inches of cover when settled. Mulch shall be kept 3" away from the face of the trunk (tree or palm). Eco-Cypress mulch or Eco-Melaleuca mulch shall be used; see natural mulch products at www.mulchingsolutions.com for product information or call 561-499-8148.

14. Sod shall be (as noted) solid sod, and shall be laid on a smooth planting base which has been graded to meet the drainage characteristics of the site. All sod shall be laid with closely fitted joints, and shall be in a green and healthy growing condition at planting. Sod shall be free of disease, debris, sticks, rocks and weeds. Variety as specified in plans. Where sod is abutting shrub and/or ground cover beds, the sod line shall be cut in a clean smooth line (radial or straight) free of any jagged or crooked edges.

15. All landscape areas shall be finished graded such that they are flush and level with the surrounding paved surfaces as not to impede the flow of drainage into landscape areas and to prevent the back wash of mulch and debris onto paved areas.

16. All new landscaped areas shall be excavated of all road rock, existing site fill down to a depth of 12" minimum from top of curb. SEE DETAIL THIS SHEET FOR SPECIFICS.

17. All landscape areas shall be irrigated by a fully automatic system adjusted to provide 100% coverage. All heads shall be adjusted to minimum 100% overlap.

18. The irrigation system shall be equipped with a rain sensor shutoff device, hard wired to over ride the time clock, controller or pump station in the event of rain or equally wet conditions. This requirement conforms to the County and SFWMD ordinance.

19. Any existing trees and their root zones on site shall be protected from damage during construction. All trees/palms to be removed or relocated shall require proper permitting and documentation of size, species, condition and proposed action. Established values for mitigation is required in the case of removals. Trees to be relocated shall be free of any hazardous defects and/or characteristics including but not limited to: Girdling roots, codominant leaders with bark inclusions, active trunk decay, stub cuts, open trunk wounds and broken leader(s). All permitting and review processes must be completed prior to any work being done. Any relocation's shall be root pruned in advance except for palm species. Palm fronds shall be hurricane cut in advance for any Sabal Palms to be relocated.

20. All selective trimming of existing and/or relocated trees on site, shall be done applying the standards of the American National Standards Institute, ANSI 300, 2001.

21. All new trees and relocated trees shall be guyed and braced applying the Standards of the National Arborist Association Guide Lines 1988 edition or most current.

22. All trees and palms shall be setback from roadways, walks and utility clear zones as required to conform to safety standards of the local municipality, FDOT and/or the utility companies, whether the plans show dimensions or not. These standards shall supersede all plan documents and are included in the work required by the contractor to complete the project.

23. Any substitutions to plant materials for areas addressed on the plans shall be approved by the governing municipality prior to work performed.

24. Landscape materials shall be maintained during construction as part of this base contract and any materials that die or decline below grades and standards shall be replaced immediately for final acceptance.

25. All landscape materials are guaranteed for full replacement including the material and labor for a period of one year from the time of final acceptance. This applies to any materials which are dead or have declined below grades and standards. The guarantee is void only in cases of 75 mph hurricane force winds at the site and/or a freeze below 35 degrees when established by the weather bureau as effecting the project location.

26. Medium and large maturing palms shall be planted at least 3' (feet) from all hardscapes and at least their typical frond length from a building or light pole.

27. Medium and large maturing trees shall be planted at least 5' (feet) from all hardscapes (e.g. sidewalks, driveways, pavers, curbs, etc.) They shall be planted a minimum of 10' (feet) from a building or light pole.



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DATE	REVISIONS:

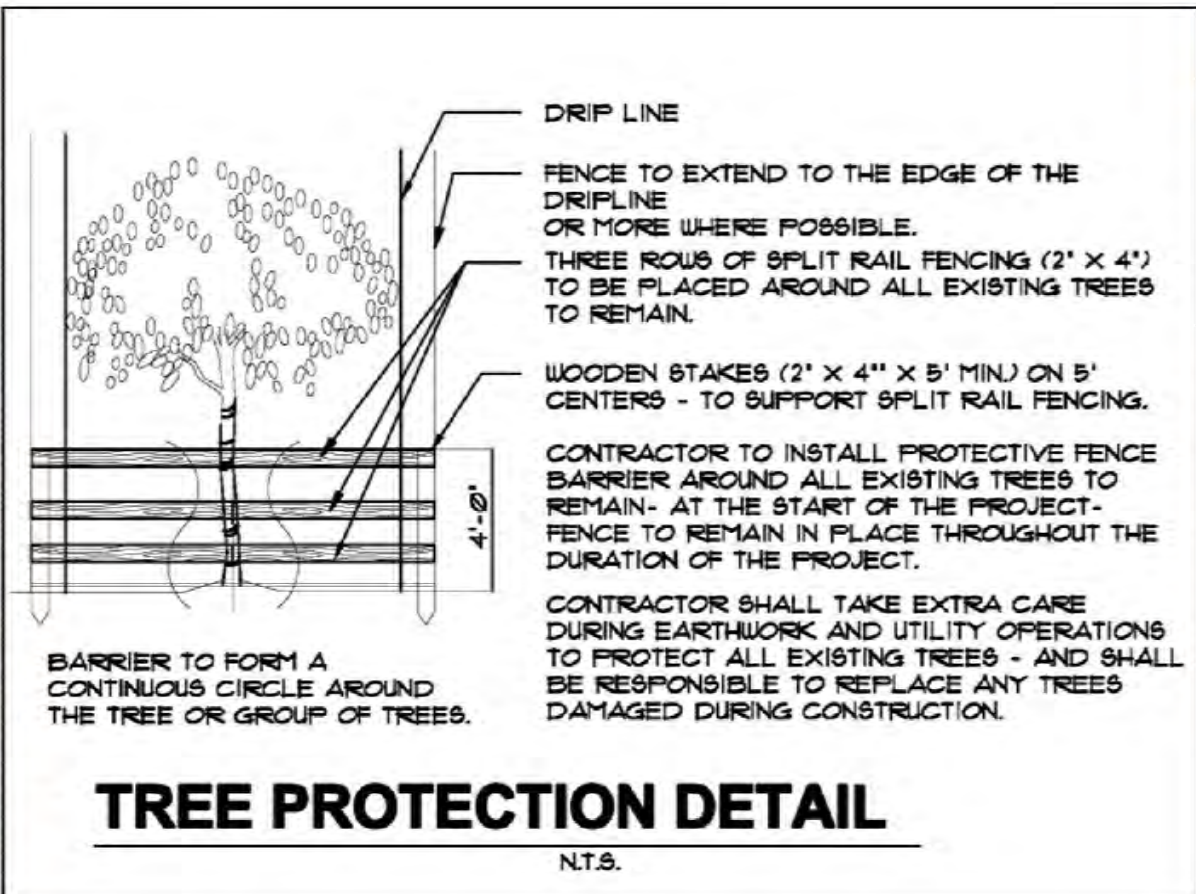
DATE: 05-28-20
SCALE: N.T.S.
DRAWING BY: AD
DESIGNED BY: AD

PROJECT: D. WRIGHT DEVELOPMENT (1223 NW 6TH ST)
FORT LAUDERDALE, FLORIDA
BROWARD COUNTY
LANDSCAPE NOTES & DETAILS:

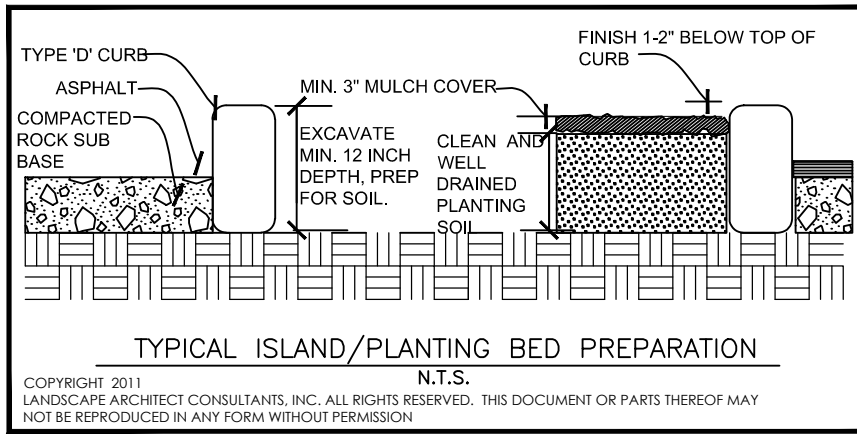
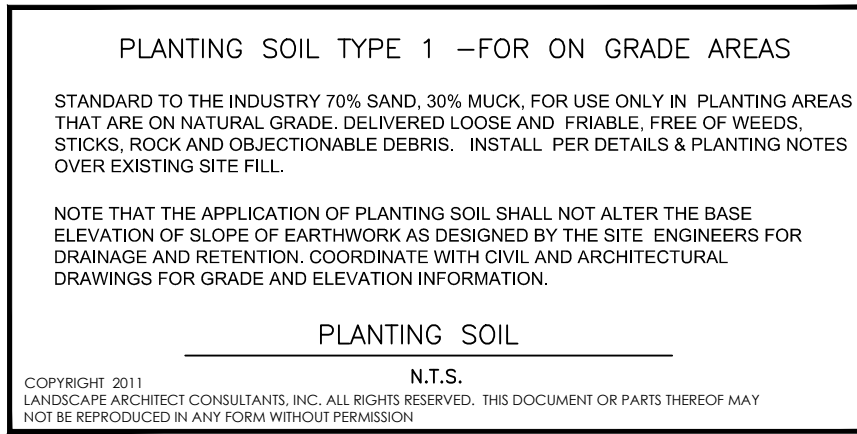
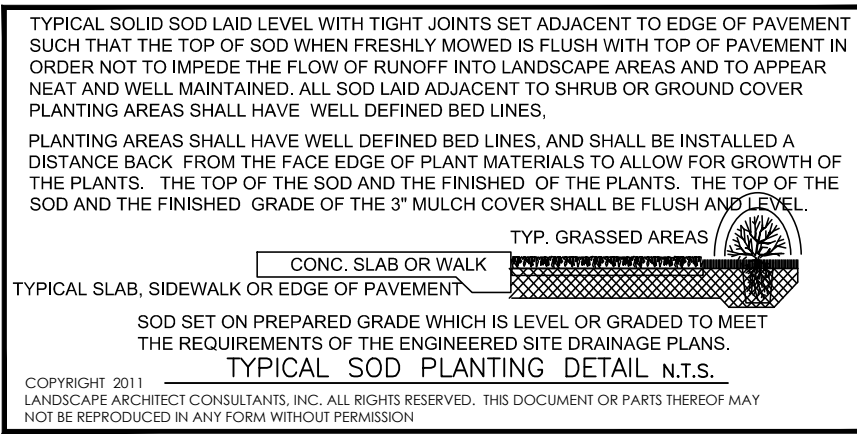
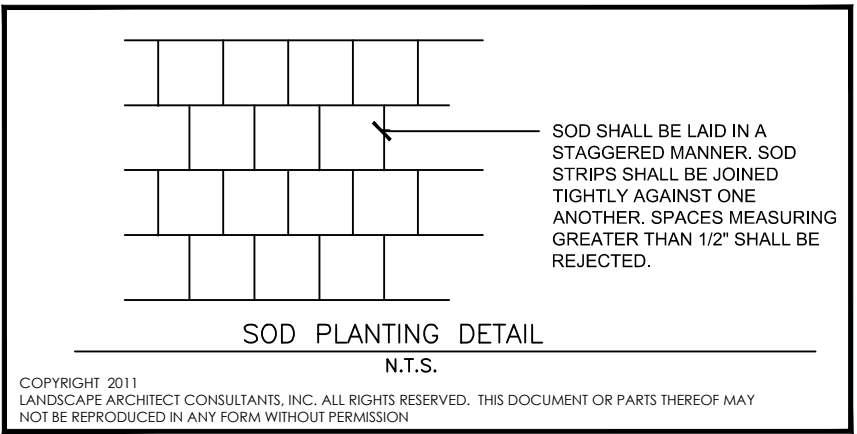
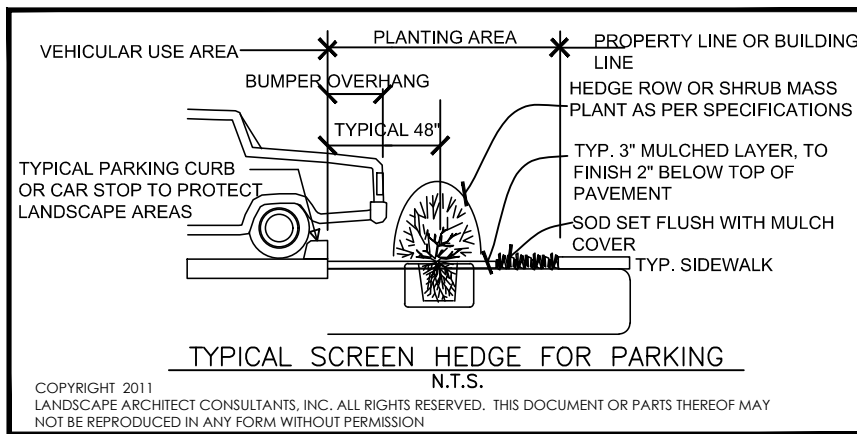
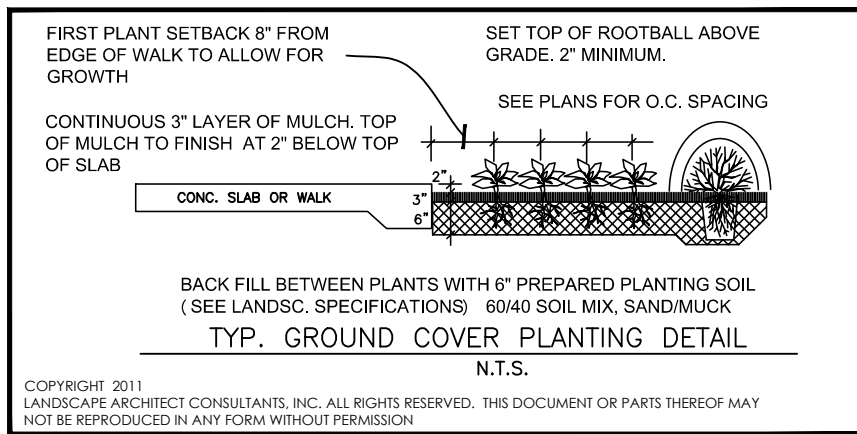
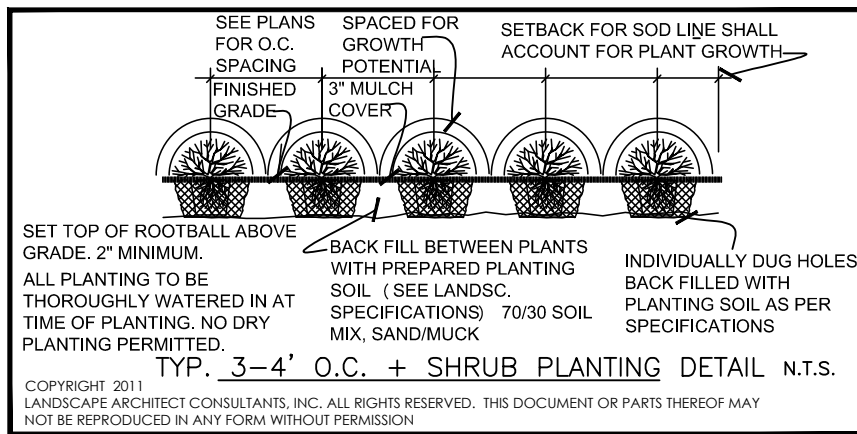
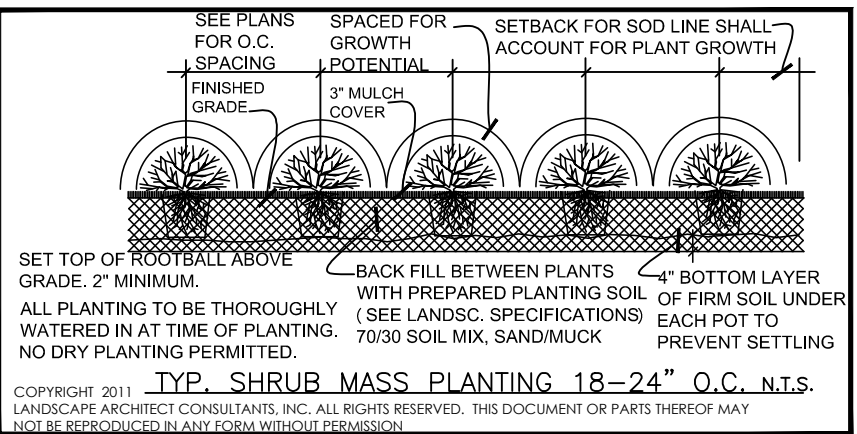
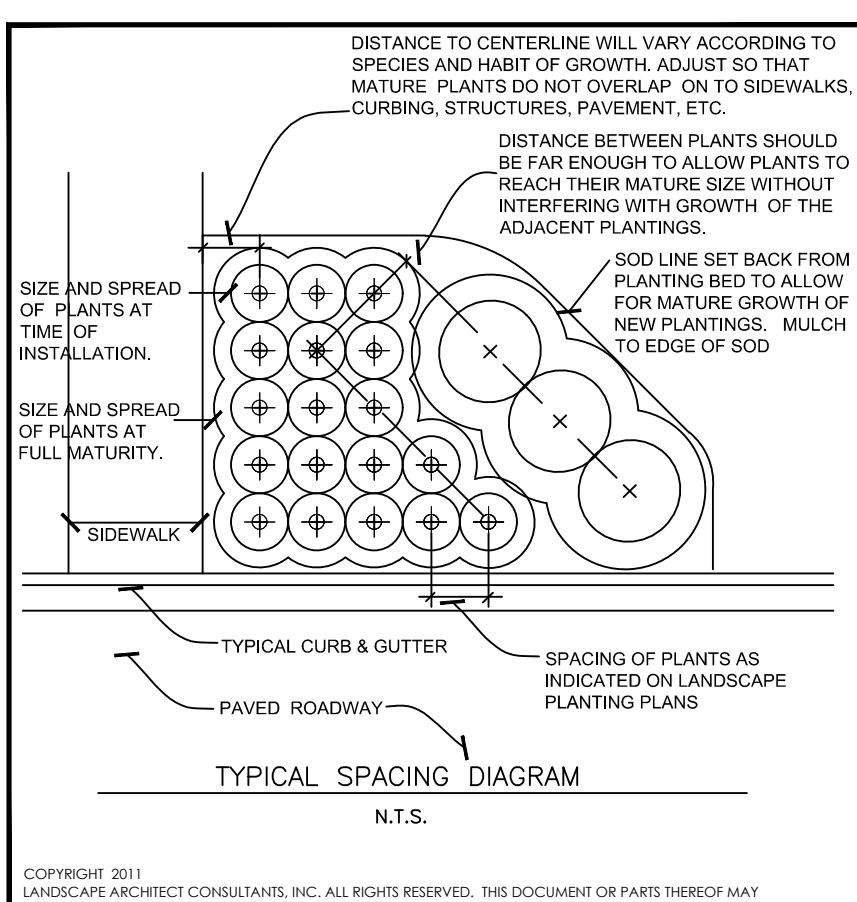
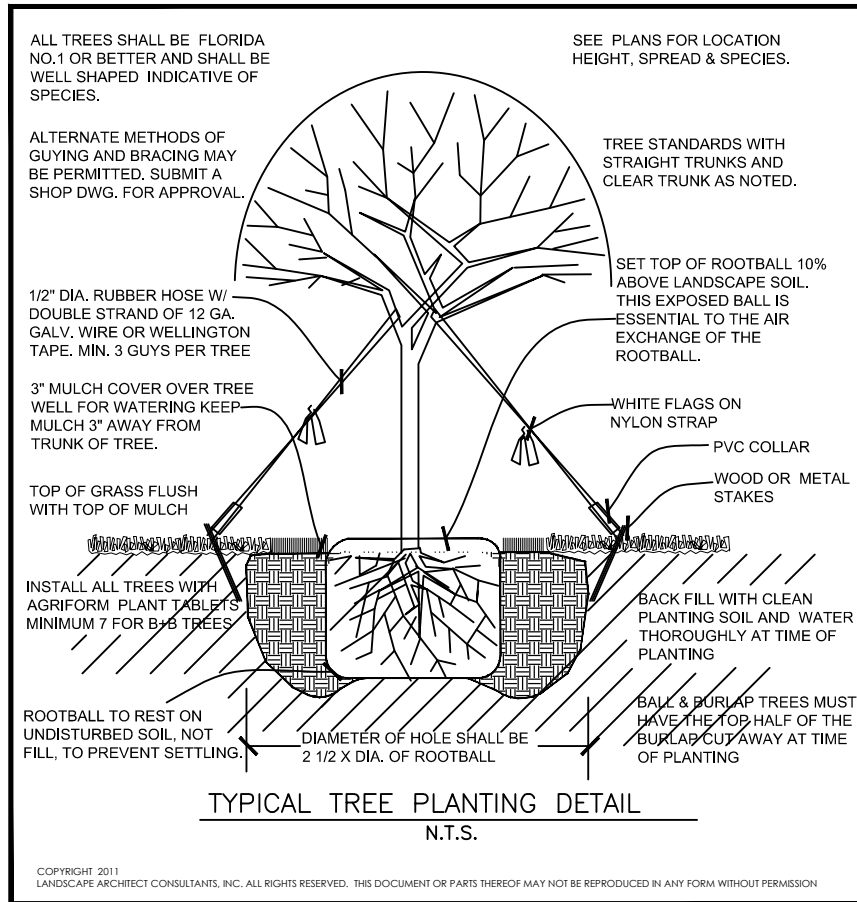
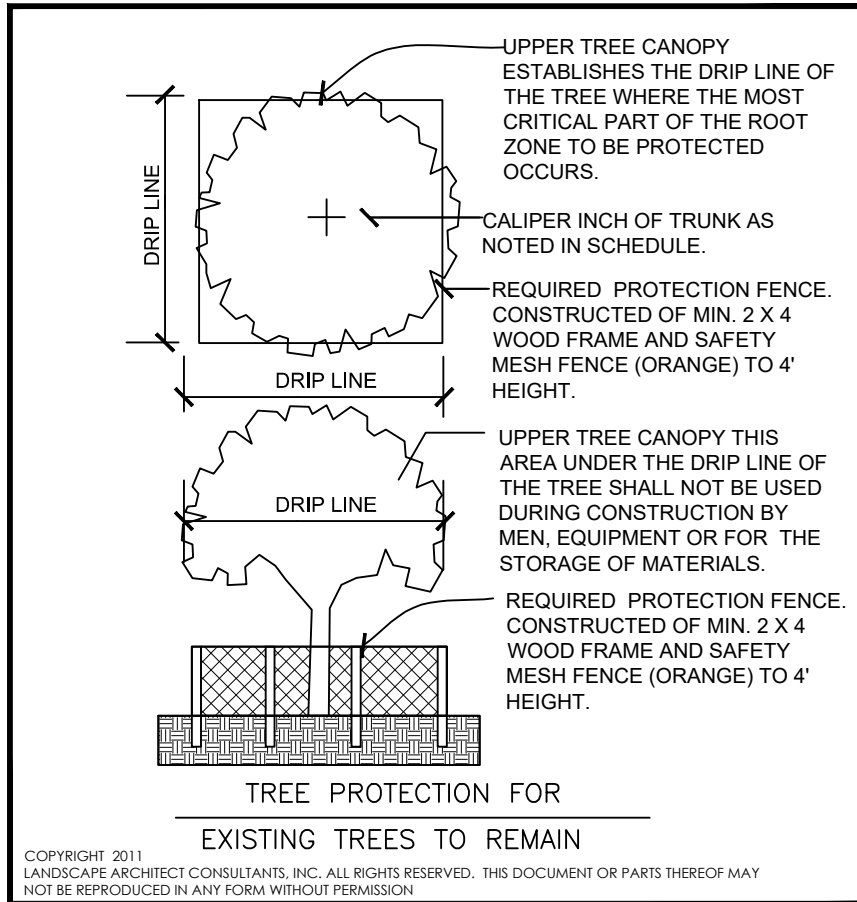
PROJECT NO.
20-025
SHEET:
LP-2 of 2

DATE:
THOMAS J. LAUBENTHAL
#LA-0000561 #LC-20000422

DEPARTMENT OF SUSTAINABLE DEVELOPMENT - UD&P
TREE PROTECTION DETAIL
Rev. 1 | Revision Date: 4/10/2018 | L.O. Number: PD

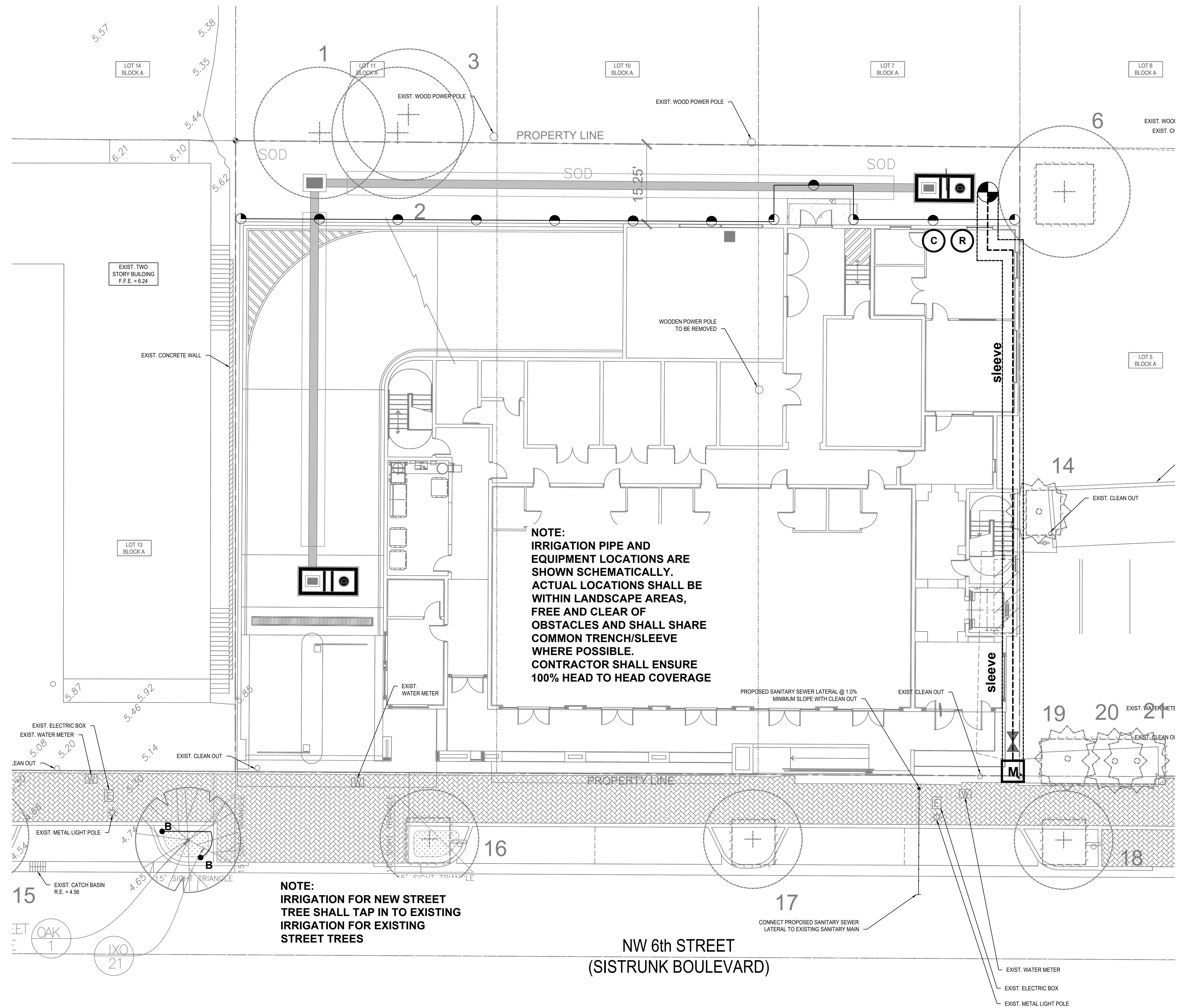


Approved by: Bill Porter, Urban Design and Planning Manager
Landscape Architect, City of Fort Lauderdale



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PROJECT: **D. WRIGHT DEVELOPMENT (1223 NW 6TH ST)**

BROWARD COUNTY FORT LAUDERDALE, FLORIDA

IRRIGATION PLAN:

DATE:
THOMAS J. LAUBENTHAL
#LA-0000563 #LC-26000422

1. THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH ALL OTHER DRAWINGS OF THE PROJECT TO RESOLVE COORDINATION AND POTENTIAL CONFLICTS WITH EXISTING UNDERGROUND PIPES AND UTILITIES OR WORK BY OTHERS, PRIOR TO ANY WORK BEING DONE. MOST MAIN LINES SHARE ALIGNMENT WITH PERIMETER UTILITY EASEMENTS & SIGNIFICANT LANDSCAPE BUFFER PLANTINGS. AVOID CONFLICTS WITH FOOTBALL AREA OF TREES.
2. THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO CALL FOR LOCATIONS AND TO COORDINATE WITH LOCAL AGENCIES TO IDENTIFY LINES, PIPES, CABLES OF EASEMENTS WITHIN THE EFFECTED AREAS, PRIOR TO WORK. ALL WORK SHALL CONFORM TO THE FLORIDA BUILDING CODE PLUMBING SECTION, APPENDIX F FOR IRRIGATION.
3. THE INSTALLING CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN LICENSE, AND PERMITS WITHIN THE MUNICIPALITY AND MIAMI-DADE COUNTY AS WELL AS THE RELATED FEES WITHIN THE CONTRACT PRICE. PERMITS FOR SOUTH FLORIDA WATER MANAGEMENT DISTRICT ARE PULLED BY THE OWNER. (QUALIFIED APPLICANT 104.6.1.2) PERMITS WILL ONLY BE ISSUED TO QUALIFIED PEOPLE OR FIRMS. QUALIFICATION SHALL BE IN ACCORDANCE WITH; THE RULES OF THE BROWARD COUNTY CENTRAL EXAMINING BOARD, ORDINANCE 78-9 AND CHAPTER 9 OF THE COUNTY CODES; STATE DBPR, CHAPTER 489, PART 1 OF FLORIDA STATE STATUTES; OR OTHER EXAMINING BOARDS APPROVED BY THE BROWARD BOARD OF RULES AND APPEALS.
4. THE HORIZONTAL CONTROL FOR THE PROJECT WILL BE ESTABLISHED BY THE GENERAL CONTRACTOR WHO WILL LOCATE AND STAKE PROPERTY LINES, ALL RECORDED EASEMENTS, LIMIT OF WORK LINE, LIGHT POLES, PAVED AREAS, PARKING ISLANDS, DRAINAGE STRUCTURES AND RELATED FEATURES.
5. ALL MAINS AND SECTION LINES ARE SHOWN SCHEMATICALLY. LINES WHERE EVER POSSIBLE SHALL BE CONSOLIDATED INTO COMMON TRENCHES. THE CONTROL WIRES IN GRAY ELECTRICAL CONDUIT SHALL BE LOCATED UNDER THE MAIN FOR PROTECTION.
6. ALL MAIN LINES SHALL BE BURIED A UNIFORM 24" BELOW GRADE. ALL SECTION LINES SHALL BE INSTALLED A MINIMUM OF 12" BELOW GRADE.
7. SLEEVES UNDER ROADWAYS MAY BE DEEPER THAN 24" TO COORDINATE WITH ROADWAY CONSTRUCTION REQUIREMENTS OR TO COORDINATE WITH UTILITIES. SLEEVES UNDER PAVED PARKING AREAS WILL TYPICALLY MAINTAIN A 24" DEPTH TO ALIGN WITH MAIN LINE INSTALLATION DEPTHS.
8. ALL MAIN LINE PIPE SHALL BE SCHEDULE 40 PVC NEW PIPE ONLY. TYPE 1, PIPE, ASTM D-2241.
9. ALL SECTION LINE PIPE FROM 3/4" TO 2" I.D. SHALL BE SCHEDULE 40 PVC NEW PIPE ONLY. TYPE 1, PIPE, ASTM D-2241. ALL SECTION LINE PIPE FROM 2.5" TO 6" SHALL BE SDR-26 (160 PSI) PVC 1120 TYPE 1 PIPE
10. ALL PIPING IS SIZED TO MEET DESIGN CALCULATIONS FOR GPM FLOW AND FOR A PRE-DESIGNED CUSHION TO ALLOW FOR NOMINAL REPAIRS AND FOR MODIFICATIONS TO THE SYSTEM WHICH OCCUR OVER TIME IN NORMAL OPERATION OF THE SYSTEM. THERE SHALL BE INSTALLED TO THE SIZE AS SHOWN IN PLANS. DOWN SIZING LINES IS NOT PERMITTED WITHOUT A CHANGE ORDER AND A REVISION OF THE DRAWING. THE CONTRACTOR MAY SUGGEST REVISION OR VALUE ENGINEERING WITH THE LANDSCAPE ARCHITECT FOR REVIEW AND WRITTEN APPROVALS PRIOR TO IMPLEMENTATION.

FLORIDA FRIENDLY CODE REQUIREMENTS FOR IRRIGATION PLANS AND DETAILS			
CODE #	REQUIREMENT	STATUS	METHOD
A-1	IRRIGATION PLANS SHOWN AS FULL SCHEMATICS	PROVIDED	SEE PLANS
A-2a	SOURCE CONNECTION AND REGION CAPACITY	PROVIDED	SEE PLANS
A-2b	WATER PRESSURE AT POINT OF CONNECTION (POC)	PROVIDED	PUMP SPECS
A-2c	WATER METER SIZE	N.A.	N.A.
A-2d	BACK FLOW PREVENTOR TYPE	N.A.	N.A.
A-2e	FULL PUMP STATION SPECIFICATION AND DETAILS	PROVIDED	PUMP SPECS
A-3	PREDICTION RATE EXPRESSED IN INCHES PER HOUR	PROVIDED	DETAILS+SPEC
A-4	FLUX RATE CALCULATED WITH 15 MINUTE CHART	PROVIDED	DETAILS+SPEC
A-2a	COMPLETE IRRIGATION LEGEND FOR HEADS & VALVES	PROVIDED	DETAILS+SPEC
B-1	IRRIGATION SYSTEM MATCHED TO PLANT MATERIAL, TYPE	PROVIDED	SEE PLANS
B-2	SEPARATION OF TURF AND SHRUB WHERE PRACTICAL	PROVIDED	SEE PLANS
B-3	PRODUCTS LIST AND SPECIFICATION FOR ALL EQUIPMENT	PROVIDED	PLAN KEY
B-4	HEAD SPACING DIAGRAM AND SCHEDULING OVERLAP	PROVIDED	DETAILS+SPEC
B-5	FREE FLOW CONDITION PROTECT FROM BACK FLOWS	PROVIDED	DETAILS+SPEC
B-6	RAIN SENSITIVITY SWITCH OR SOIL PROBE (Sect. 37.62.65)	PROVIDED	DETAILS+SPEC
B-7	PROGRAMMABLE CONTROLLER SPECIFIED W/ REQ. OPTIONS	PROVIDED	DETAILS+SPEC
B-8	NO ITEM LISTED IN CODE FOR THIS NUMBER	N.A.	N.A.
B-9	AUTOMATIC CONTROLLER W/ SEASONAL SETTING ADJUST	PROVIDED	DETAILS+SPEC
B-10	TIME OF DAY CONTROLLER REQUIREMENTS	PROVIDED	DETAILS+SPEC
B-10a	PROGRAMMABLE FOR MINUTES, DAYS OF W. & T. OF DAY	PROVIDED	DETAILS+SPEC
B-10b	PROGRAMMABLE FOR MULTIPLE START TIMES	PROVIDED	DETAILS+SPEC
B-10c	AUTOMATIC SHUT-OFF AFTER ADEQUATE RAIN FALL	PROVIDED	DETAILS+SPEC
B-10d	MAINTAIN BACK-UP POWER & PROGRAM FOR MIN. 3 DAYS	PROVIDED	DETAILS+SPEC
B-10e	PROGRAMS ADJUSTABLE TO WATER RESTRICTION REQ.	PROVIDED	DETAILS+SPEC
B-11	RECOMMENDED MAINTENANCE SCHEDULE FOR IRR. EQUIPT.	PROVIDED	DETAILS+SPEC
B-12	HEADS ON SAME ZONES W/ MATCHED PRECIPITATION RATE	PROVIDED	DETAILS+SPEC
B-13	DESIGN UNIFORMITY FOR EMITTER TYPE,SPACING,PRESSURE	PROVIDED	DETAILS+SPEC
B-14	MEASURABLE IRR. WATER USE FOR SYSTEM OVER 70 GPM	PROVIDED	DETAILS+SPEC
B-15	PLANS TO INCLUDE FINAL SYSTEM TESTING REQUIREMENTS	PROVIDED	DETAILS+SPEC
B-16	SCHEMATIC DESIGN TO DEFINE ZONES & PLANT TYPES	PROVIDED	SEE PLANS
B-17	RAIN SENSITIVITY SWITCH OR SOIL PROBE (Sect. 37.62.65)	PROVIDED	SEE PLANS
B-18	HEADS TRACER IRR. WITH MAIN 15" MIN. 2" DIA.	PROVIDED	DETAILS+SPEC
B-19	WELL BASES SYSTEMS REQUIRE PUMP CYCLE CONTROL	N.A.	N.A.
B-20	HEADS ON HIGH SLOPES WILL REQUIRE CHECK VALVES	N.A.	N.A.
B-21	NOZZLE PRECIPITATION RATES MATCHED WITHIN 20%	PROVIDED	DETAILS+SPEC
B-22	NO WATER SPRAY UNDER ROOF OVERHANGS.	N.A.	N.A.
B-23	APPLY SMALL AREA EMITTERS FOR AREAS UNDER 4 FT.	PROVIDED	SEE PLANS
B-24	PRESSURE REGULATING VALVES REQUIRED OVER 50 PSI	PROVIDED	PROVIDED
C	REQUIREMENTS PROVIDED FOR END USER	—	—
C.1	IRRIGATION SCH. INFO. PROVIDED + INSTRUCTION	AT C.O.	AT C.O.
C-2	AS-BUILT PLANS TO BE PROVIDED TO END USER	AT C.O.	AT C.O.
C-3	OPERATION SCHEDULES FOR ESTABLISHMENT + REG. USE	AT C.O.	AT C.O.
C-4	EQUIPMENT MAINTENANCE SCHEDULES FOR END USER	AT C.O.	AT C.O.
C-5	WHERE POSSIBLE MAINT. INFO. TRANSFER TO NEXT OWNER	N.A.	N.A.
D	BACK FLOW PREVENTOR TO BE RECERTIFIED ANNUALLY	N.A.	N.A.

- A. 24 STATION CLOCK W/ MULTIPLE PROGRAMMABLE FEATURES FOR A, B, C AND D (DRIP CYCLES)
- B. INDIVIDUAL ZONE SETTINGS IN 1-120 MINUTE INCREMENTS, WITH TIME OF DAY, MULTIPLE START TIMES, 365 DAY CALENDAR. PLUS OOD-EVEN DAY WATERING OPTIONS.
- C. WATER BUDGET AND SEASONAL PROGRAM ADJUSTMENTS WITHIN 1% TO 300% ADJUSTMENT RANGE
- D. DEFAULT PROGRAM SETTING TO RETAIN MEMORY IN CASE OF POWER LOSS.
- E. BATTERY BACK UP RESERVE POWER FOR MINIMUM 3 DAYS.
- F. RAIN AND MOISTURE SENSOR BYPASS TO OVER RIDE SYSTEM
- G. EASY PROGRAMMING GUIDE IN FACE PANEL OF UNIT.
- H. DIAGNOSTIC SELF TEST CIRCUIT BREAKER FOR WIRE FAULTS
- J. 120VAC +10%, 60 HZ WITH 26.5 VAC, 1.9 AMP OUTPUT

RAIN-GAUGE SENSOR TO BE MOUNTED OUTSIDE WHERE IT WILL PROVIDE ACCURATE READINGS OF RAINFALL AS INTENDED BY MFG. (WIRELESS SYSTEM OR HARD WIRED SYSTEMS)

Rainbird Model ESP-XMC XX STATIONS PROVIDED BY PUMP STATION MFG. AS PART OF THEIR COMPLETE ASSEMBLY. POWER SOURCE TO CLOCK INCLUDED. COORDINATE WITH PUMP STATION MFG. TO EITHER HAVE CLOCKS INSTALLED TO BE MOUNTED OUTSIDE. ASSEMBLY TO INCLUDE RAIN SENSOR DEVICE.

MOUNTING HEIGHT OF CONTROLLER CONFORMS TO ELECTRICAL CODES.

CIRC. SIZ.

GRADE

MAIN LINE PIPE "18" BELOW GRADE

CONTROL WIRING IN PVC GRAY ELECTRIC CONDUIT BURIED WITH MAIN LINE IN COMMON TRENCH

ALL LOW VOLTAGE CONTROL WIRING & THE ELECTRIC CONDUIT BURIED WITH MAIN LINE SHALL BE IN PROTECTION CONTAINER.

RAINBIRD RAIN SENSOR UNIT CAN BE WALL MOUNTED (RSD-BEX) OR PVC PIPE MOUNTED (RSD-CBX) INCLUDES TWO 3 VOLT (GP03032) BATTERIES WITH 5 YEAR LIFE AND 300 FOOT RANGE (LINE OF SIGHT)

RAINBIRD MODEL WRSR WIRELESS TRANSMITTER UNIT POWERED BY CONTROLLER

SPRINKLER CLOCK HAVE A CIRCUIT DEDICATED TO THE RAIN SENSOR OVER-RIDE. CONNECT BATTERY OPERATE WIRELESS TRANSMITTER TO SIDE OF CLOCK AND WIRED DIRECTLY TO CIRCUIT INSIDE.

ORDER SET AS A RAINBIRD – WRSR WIRELESS RAIN SENSOR COMBO INCLUDES 1 RECEIVER 1 TRANSMITTER AS A FULL SET.

CONTROL VALVES IN CONDUIT TO REMOTE VALVES

Diagram illustrating a drip irrigation system for pots and urns. The system consists of a vertical riser pipe (3/4" SCH 80 THREADED RISER) connected to a horizontal PVC LATERAL pipe. A 3/4" TEE is used to connect the riser to the lateral. A DRIP TUBE ADAPTER is fitted to the top of the riser, which is then connected to a ONE DRIP TUBE TO EACH POT. The diagram also shows the FINISHED GRADE and a SECTION LINE DEDICATED TO DRIP IRRIGATION SYSTEM FOR POTS AND URNS FED FROM DRIP TUBES.

Diagram illustrating the components and wiring of a locking valve assembly:

- NO MALE ADAPTERS USED WITH VALVE ASSEMBLY
- FINAL GRADE
- ELECTRIC VALVE
- LOCKING VALVE BOX AS PER SPECIFICATIONS, FLUSH WITH FINAL GRADE
- WIRE CONNECTORS
- CONTROL WIRE
- COMMON WIRE BACK TO THE CONTROLLER
- WIRES IN GRAY ELECT. CONDUIT
- COMMON WIRE TO VALVES ON SAME CONTROLLER
- PVC MAIN
- PVC FITTINGS
- WIRE TRACING FOAM ON TOP OF MAIN—LARGER THAN 2"
- PVC LATERAL
- THREADED NIPPLES ON BOTH ENDS
- 1/2" DEPTH

Diagram illustrating the construction of a trench for a clean sand fill, showing the following components and dimensions:

- ROADWAY SURFACE
- ASPHALT PATCH (12" width)
- 18" COMPACTED ROCK TO MATCH EXISTING
- 6" MINIMUM COVER (SAND)
- CLEAN SAND FILL
- ELECT. CONDUIT OR PVC IRRIGATION LINE
- SCH. 40 PVC PIPE SLEEVE
- MINIMUM 6" COVER
- SCH. 40 PVC PIPE SLEEVE

USE WHERE ROADWAY IS UNDER CONSTRUCTION

NOTE:
FLOOD SAND FILL INTO PLACE AND VIBRATE WITH CONCRETE VIBRATOR

Diagram illustrating the installation of a direct burial cable using a sleeve and sand fill:

- The cable is placed inside a SCH. 40 PVC PIPE SLEEVE.
- The sleeve is surrounded by CLEAN SAND FILL.
- The fill is compacted using a CONCRETE VIBRATOR.
- The installation is covered by a layer of GRADE.
- Dimensions shown: 12" width for the sand fill and 24" height for the sand fill above the pipe.

NOTE:
FLOOD SAND FILL INTO PLACE AND VIBRATE WITH CONCRETE VIBRATOR.

NOTE: SEE PIPE SLEEVE SCHEDULE FOR SLEEVE SIZES. FOR PIPES 2 1/2" AND OVER THERE SHOULD BE A 2" MINIMUM BETWEEN THE INSIDE WALL OF THE SLEEVE AND THE OUTSIDE WALL OF THE PIPE.

PIPE SLEEVE SCHEDULE

PIPE SIZE	SLEEVE SIZE
1"	2"
1 1/4"	2 1/2"
1 1/2"	3"
2"	4"
2 1/2"+	6"

SLEEVES THAT PROTECT TWO OR MORE LATERALS AND/OR MAINS IN THE SAME SLEEVE SHALL BE SIZED BY THE CONTRACTOR WITH THE SAME MINIMUM 2" CLEARANCE STANDARD FOR ALL PIPES.

MAIN LINE PIPE SHALL BE INSTALLED WITH A MINIMUM OF 18" OF COVER. NO ROCK SHALL BE IN CONTACT WITH PIPE.

MAIN LINE PIPE SHALL BE SCHEDULE 40 PVC PIPE ONLY, WITH SOLVENT WELDED FITTINGS, INSTALLED AS PER THE MANUFACTURERS RECOMMENDATIONS INCLUDING PIPE CLEANER AND SOLVENT WELDING.

ALL NEW CONSTRUCTED MAIN LINES MUST BE PRESSURE CHECKED PRIOR TO BACK FILLING. PRESSURE CHECKS SHALL INCLUDE INSTALLED VALVE ASSEMBLIES, WITH TEMPORARY CAPS TO CLOSE THE SYSTEM. PRESSURE SHALL BE BROUGHT UP TO 100 PSI, WITH A PRESSURE GAUGE IN PLACE, AND LEFT AT THAT PRESSURE FOR 24 HOURS. ANY PRESSURE LOSS OF GREATER THAN 5 PSI IN 24 HOURS IS A FAILURE OF THE MAIN.

ANY LEAKS OR BREAKS IN THE MAIN SHALL BE LOCATED AND REPAIRED, THEN THE MAIN LINE SHALL BE RETESTED BY THE SAME PROCEDURE, FOR FINAL APPROVAL AND ACCEPTANCE.

PIPES ARE SIZED SPECIFICALLY TO THE ANTICIPATE THE USE OF THE APPROPRIATE NOZZLE REQUIRED FOR ADEQUATE COVERAGE WITHOUT OVERSPRAY. THE PIPE SIZE IS DESIGNED WITH A REASONABLE MINIMUM CUSHION IN THE LINE SIZE THAT WILL ALLOW THE OWNER THE LATITUDE TO EFFECT NORMAL REPAIRS AND CHANGES OVER COMING YEARS. IT DOES NOT REDUCE THE LINE SIZES FROM THE SCHEDULE SHOWN.

NO PVC PIPE AND FITTINGS, SMALLER THAN 3/4" PIPE SHALL BE PERMITTED, EXCEPT FOR SWING JUNT ADAPTERS TO FLEX PIPE FITTINGS. ALL SECTION LINE PIPE SHALL BE STANDARD INDUSTRY PIPE SIZES 3/4", 1" 1/4", 1 1/2", 2" 1/2", 3", AND 4" PIPE, WITH APPROPRIATE NEW SCH. 40 PVC FITTINGS FOR SOLVENT WELDED ASSEMBLY USING CLEANERS/FITTERS.

IT IS THE INTENT OF THE LANDSCAPE ARCHITECT / DESIGNER TO PROVIDE A SCHEMATIC DRAWING DEMONSTRATING THE RECOMMENDED PIPING LAYOUT. THE CONTRACTOR SHALL CONFORM TO THAT PLAN DRAWING WHEREVER POSSIBLE. WHEN A CHANGE IN THE LAYOUT IS DEEMED NECESSARY DUE TO A CONFLICTS, ADJUST PIPE AS NEEDED AND PROVIDE AS-BUILT DATA.

CONTRACTORS SHALL EMPLOY THE FULL SPECTRUM OF NOZZLE PATTERNS AVAILABLE FROM THE MANUFACTURER TO PROVIDE THE CORRECT NOZZLES TO COVER THE LANDSCAPE AREAS AND AVOID OVERSPRAY ON PAVED AREAS. THIS WOULD INCLUDE BUT NOT BE LIMITED TO, ADJUSTABLE ARC NOZZLES, CENTER STRIP, END STRIP & SIDE STRIP NOZZLES, AND OTHER BASIC NOZZLES DESIGNED TO CONTROL OVERSPRAY ON AREAS NOT INTENDED TO GET WET OR REQUIRE COVERAGE. THE USE OF THESE NOZZLE TYPES IS IMPLIED AS PART OF THE BASE BID PRICE AND REPRESENTS A SYSTEM INSTALLATION THAT IS STANDARD TO THE INDUSTRY AND REQUIRED BY LOCAL CODES FOR WATER CONSERVATION AND SAFETY PROTECTION AGAINST WET SURFACES, SLIP & FALL SITUATIONS OR SKID ACCIDENT.

PIPES ARE SIZED SPECIFICALLY TO THE ANTICIPATE THE USE OF THE APPROPRIATE NOZZLE REQUIRED TO ACHIEVE THE COVERAGE WITHOUT OVERSPRAY. THE PIPE SIZE IS DESIGNED WITH A REASONABLE MINIMUM CUSHION IN THE LINE SIZE THAT WILL ALLOW THE OWNER THE LATITUDE TO EFFECT NORMAL REPAIRS AND CHANGES OVER COMING YEARS. DO NOT REDUCE THE LINE SIZES FROM THE SCHEDULE SHOWN.