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CIVIL ENGINEER:

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LANDSCAPE ARCHITECT:

LANDSCAPE ARCHITECT CONSULTANTS, INC. 5215 WEST BROWARD BOULEVARD PLANTATION, FL 33317 PH. 954.581.1110 e. tom@lacfl.com

A MIXED-USE (COMMERCIAL / RESIDENTIAL) DEVELOPMENT PROJECT ENTITLED: WRIGHT DYNAST F H F 1217 - 1223 N.W. 6th STREET, FORT LAUDERDALE, FLORIDA 33311 - 0000 PROJECT No. 2019-09, SISTRUNK WRIGHT • DRC / DRT SUBMITTAL SET • 07.07.20

M, E, P & FIRE PROTECTION

MARTIN - VILATO ASSOCIATES CONSULTING ENGINEERS 2730 S.W. 3rd AVENUE SUITE 402 MIAMI, FLORIDA 33129 PH. 305.854.6977





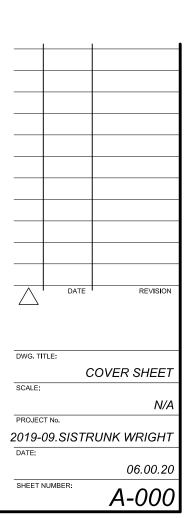
MR. DENNIS WRIGHT 3566 SW 50th STREET FORT LAUDERDALE, FLORIDA 33312

MIXED-USE (COMMERCIAL & RESIDENTIAL) CLASS 'A' DEVELOPMENT ENTITLED:

WRIGHT DYNAST 217-1223 N.W. 6th STREE FORT LAUDERDALE, FL 33311

KURT A. PETGRAVE. FL AR0096049

07.07.20



CAM #20-0849 Exhibit 3 Page 1 of 50

	ACOUS.	ACOUSTIC / ACOUSTICAL	G	GA.	GAUGE	R	R.	RISER
	A.C.	AIR CONDITIONING		GAL.	GALLON		R.D.	ROOF DRAIN
	A.D.			GALV.	GALVANIZED		R.O.	
	ADJ. AGGR.	ADJUSTABLE AGGREGATE		G.C. GL.	GENERAL CONTRACTOR GLASS		R.W.L. RAD.	RAIN WATER LEADER RADIUS
	ALUM.	ALUMINUM		GND.	GROUND		REF.	REFERENCE
	APPROX.	APPROXIMATE		GR.	GRADE		REFG.	REFRIGERATOR
	ARCH. ASB.	ARCHITECTURAL ASBESTOS		GYP. G.W.B.	GYPSUM GYPSUM WALLBOARD		REFL. REINF.	REFLECTED REINFORCED
	ASB. ASPH.	ASPHALT		G.W.B.	GIPSOM WALLBOARD		REINF. REQ.	REQUIRED
	AT -1	ACOUSTICAL TILE (2x2)					REINF.	REINFORCED
	AT - 2	w/ TEGULAR EDGE ACOUSTICAL TILE (2x4)	H	H.B.	HOSE BIBB		RESIL.	RESILIENT
	AT -2 AT -3	ACOUSTICAL TILE (2x4)		н.с.	HOLLOW CORE		RGTR. RM.	REGISTER ROOM
		ABUSE RESISTANT		HD. WD.	HARD WOOD		RWD.	REDWOOD
				HDWE.	HARDWARE			
B	BD.	BOARD		HGT. H.M.	HEIGHT HOLLOW METAL			
	BITUM. BLDG.	BITUMINOUS BUILDING		HORIZ.	HORIZONTAL	S	S.	SOUTH
	BLK.	BLOCK		HR.	HOUR		S.C.	SOLID CORE
	BLKG.	BLOCKING					S.C.D.	SEAT COVER DISPEN
	BLKHD.	BULKHEAD					S.C.P. S.D.	SKIM COAT PLASTER SOAP DISPENSER
	BM. BOTT.	BEAM BOTTOM		I.D.	INSIDE DIAMETER		S.N.D.	SANITARY NAPKIN DI
				I.I.C.	IMPACT INSULATION		S.N.R.	SANITARY NAPKIN RE
				IN.	CLASS INCH		S.T.C. S.SK.	SOUND TRANSMISSIC SERVICE SINK
$\sim C$	CAB.	CABINET		INSUL.	INSULATION		S.STL.	STAINLESS STEEL
	CARP.			INT.	INTERIOR		SABF.	SOUND ATTENUATIO
	C. BAC. C. BAT.	CEMENT BACKER BOARD CATCH BASIN		INV.	INVERT		SCHED.	FIBER BLANKET SCHEDULE (D)
	C. OPNG.	CASED OPENING					SECT.	SECTION
	CEM.	CEMENT					SH.	SHELF
	CER. C.G.	CERAMIC CORNER GUARD	J	JAN. JST.	JANITOR JOIST		SHT.	SHEET
	C.G. C.I.	CORNER GUARD CAST IRON		JST. JT.	JOINT		SHWR. SIM.	SHOWER SIMILAR
	CLG.	CEILING					SPEC.	SPECIFICATION
	CLKG.						SQ.	SQUARE
	CLOS. CLR.	CLOSET CLEAR	$\sim K$	KIT.	KITCHEN		STA.	STATION
	CLR. C.M.U.	CLEAR CONCRETE MASONRY UNIT					STC. STD.	SPRAY TEXTURE CEIL STANDARD
	CNTR.	COUNTER					STL.	STEEL
	C.O.	CLEAR OPENING		LAB.			STO.	STONE
	COL. CONC.	COLUMN CONCRETE		LAM.			STOR.	STORAGE
	CONC. SLD.	CONCRETE SEALED		LAV. L.F.	LAVATORY LINEAR FEET		STRL. STU.	STRUCTURAL STUCCO
	CONST.	CONSTRUCTION		LT.	LIGHT		SUSP.	SUSPEND
	CONT.	CONTINUOUS		LTG.	LIGHTING		SYM.	SYMMETRICAL
	CORR. CTSK.	CORRIDOR COUNTERSUNK		LTWT.	LIGHT WEIGHT			
	C.T.	CERAMIC TILE				—		
	CTR.	CENTER	N/I	MACH.	MACHINE		Т.В.	TOWEL BAR
				MAX.			T.BM.	
D				M.C. MECH.	MEDICINE CABINET MECHANICAL		Т.С. Т.О.В.	TOP OF CURB TOP OF BEAM
\mathcal{D}	DBL. D.D.	DOUBLE DECK DRAIN		MEMB.	MEMBRANE		T.O.C.	TOP OF CONCRETE
	DEPT.	DEPARTMENT		MET.	METAL		Т.О.Р.	TOP OF PAVEMENT
	DET.	DETAIL		MFR. MH.	MANUFACTURER MANHOLE		T.O.S. T.O.W.	TOP OF SLAB TOP OF WALL
	D.F.			MIN.	MINIMUM		T.P.	TOP PLATE
	DIA. DIM.	DIAMETER DIMENSION		MIR.	MIRROR		T.P.D.	TOILET PAPER DISPE
	DISP.	DISPENSER		MISC.	MISCELLANEOUS		Т.V.	TELEVISION
	DN.	DOWN		M.L. M.O.	MATCH LINE MASONRY OPENING		T.W.F. T & G	TEXTURED WALL FINI TONGUE AND GROOV
	D.O.	DOOR OPENING		M.R.G.B.	MOISTURE-RESISTANT		TEL.	TELEPHONE
	DR. D.S.	DOOR DOWN SPOUT			GYPSUM WALLBOARD		TEMP.	TEMPERED
	D.S.P.	DRY STANDPIPE		MTD. MUL.	MOUNTED MULLION		TERR.	TERRAZZO
	DWG.	DRAWING		MUL.	MATCH LINE		THK. TOIL.	THICK TOILET
	DWR.	DRAWER					TRD.	TREAD
		DRAWER						
		DRAWER					TYP.	TYPICAL
F	F		N	N	NORTH			TYPICAL
E	E. EA.	EAST EACH	N	N. N.A.V.D.	NORTH NORTH AMERICAN			TYPICAL
E	EA. E.B.	EAST	N	N.A.V.D.	NORTH AMERICAN VERTICAL DATUM	U		
E	EA. E.B. E.J.	EAST EACH EXPOSED BLOCK EXPANSION JOINT	N		NORTH AMERICAN	U	TYP.	UNLESS NOTED OTHE
E	EA. E.B. E.J. EL.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION	N	N.A.V.D. N.G.V.D. NI.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE	U	TYP. U.N.O. U.L. U.O.N.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE
E	EA. E.B. E.J.	EAST EACH EXPOSED BLOCK EXPANSION JOINT	N	N.A.V.D. N.G.V.D. NI. N.I.C.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT	U	TYP. U.N.O. U.L. U.O.N. UF.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED
E	EA. E.B. E.J. EL. ELEC. ELEV. EMER.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY	N	N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#)	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE	U	TYP. U.N.O. U.L. U.O.N.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE
E	EA. E.B. E.J. EL. ELEC. ELEV. EMER. ENCL.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE	N	N.A.V.D. N.G.V.D. NI. N.I.C.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER	U	TYP. U.N.O. U.L. U.O.N. UF.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED
E	EA. E.B. EL. ELEC. ELEC. EMER. ENCL. E.O.S.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY	N	N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#) NOM.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER NOMINAL	U	TYP. U.N.O. U.L. U.O.N. UF.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED
E	EA. E.B. EL. ELEC. ELEC. EMER. ENCL. E.O.S. E.P.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EMERGENCY OVERFLOW SCUPPER EPOXY PAINT	N	N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#) NOM.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER NOMINAL	U	TYP. U.N.O. U.L. U.O.N. UF.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED
E	EA. E.B. E.J. EL. ELEC. ELEV. EMER. ENCL. E.O.S. E.P. E.P.B.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EMERGENCY OVERFLOW SCUPPER EPOXY PAINT ELECTRICAL PANEL BOARD	N	N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#) NOM. N.T.S.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE		TYP. U.N.O. U.L. U.O.N. UF. UR.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED URINAL
E	EA. E.B. E.J. EL. ELEC. ELEV. EMER. ENCL. E.O.S. E.P. E.P.B. EQ.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EMERGENCY OVERFLOW SCUPPER EPOXY PAINT ELECTRICAL PANEL BOARD EQUAL		N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#) NOM.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER NOMINAL	U	TYP. U.N.O. U.L. U.O.N. UF.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED
E	EA. E.B. E.J. EL. ELEC. ELEV. EMER. ENCL. E.O.S. E.P. E.P.B.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EMERGENCY OVERFLOW SCUPPER EPOXY PAINT ELECTRICAL PANEL BOARD		N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#) NOM. N.T.S. OA. OBS. O.C.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL OBSCURE ON CENTER	U	TYP. U.N.O. U.L. U.O.N. UF. UR. V. V. V. V. V. V. V. V.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED URINAL VINYL VAPOR BARRIER VINYL COMPOSITE TIL
E	EA. E.B. E.J. EL. ELEC. ELEV. EMER. ENCL. E.O.S. E.P. E.P.B. EQ. EQUIP. E.S. E.W.C.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EMERGENCY OVERFLOW SCUPPER EPOXY PAINT ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EXPOSED STRUCTURE ELECTRIC WATER COOLER		N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#) NOM. N.T.S. OA. OBS.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL OBSCURE ON CENTER OUTSIDE DIAMETER	U	TYP. U.N.O. U.L. U.O.N. UF. UR. V. V. V.B. V.C.T. V.I.F.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED URINAL VINYL VAPOR BARRIER VINYL COMPOSITE TIL VERIFY IN FIELD
E	EA. E.B. E.J. EL. ELEC. ELEV. EMER. ENCL. E.O.S. E.P. E.P.B. EQ. EQUIP. E.S. E.W.C. EX.F.P.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EMERGENCY OVERFLOW SCUPPER EPOXY PAINT ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EXPOSED STRUCTURE ELECTRIC WATER COOLER EPOXY FLOOR PAINT		N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#) NOM. N.T.S. OA. OBS. O.C.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL OBSCURE ON CENTER	V	TYP. U.N.O. U.L. U.O.N. UF. UR. V. V. V.B. V.C.T. V.I.F. V.T.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED URINAL VINYL VAPOR BARRIER VINYL COMPOSITE TII VERIFY IN FIELD VINYL TILE
E	EA. E.B. E.J. EL. ELEC. ELEV. EMER. ENCL. E.O.S. E.P. E.P.B. EQ. EQUIP. E.S. E.W.C. EX.F.P. EX.F.P. EXIST.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EMERGENCY OVERFLOW SCUPPER EPOXY PAINT ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EXPOSED STRUCTURE ELECTRIC WATER COOLER EPOXY FLOOR PAINT EXISTING		N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#) NOM. N.T.S. OA. OBS. O.C. O.D. OFF. OPNG.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL OBSCURE ON CENTER OUTSIDE DIAMETER / DIMENSION OFFICE OPENING	V	TYP. U.N.O. U.L. U.O.N. UF. UR. V. V. V.B. V.C.T. V.I.F.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED URINAL VINYL VAPOR BARRIER VINYL COMPOSITE TII VERIFY IN FIELD VINYL TILE
E	EA. E.B. E.J. EL. ELEC. ELEV. EMER. ENCL. E.O.S. E.P. E.P. B. EQ. EQUIP. E.S. E.W.C. EX.F.P. EXIST. EXP. EXP. EXPO.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EMERGENCY OVERFLOW SCUPPER EPOXY PAINT ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EXPOSED STRUCTURE ELECTRIC WATER COOLER EPOXY FLOOR PAINT EXISTING EXPANSION EXPOSED		N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#) NOM. N.T.S. OA. OBS. O.C. O.D. OFF. OPNG. OPP.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL OBSCURE ON CENTER OUTSIDE DIAMETER / DIMENSION OFFICE OPENING OPPOSITE	V	TYP. U.N.O. U.L. U.O.N. UF. UR. V. V. V.B. V.B. V.C.T. V.I.F. V.T. V.W.C.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED URINAL VINYL VAPOR BARRIER VINYL COMPOSITE TIL VERIFY IN FIELD VINYL TILE VINYL WALL COVERIN
E	EA. E.B. E.J. EL. ELEC. ELEV. EMER. ENCL. E.O.S. E.P. E.P.B. EQ. EQUIP. E.S. E.W.C. EX.F.P. EXIST. EXP.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EMERGENCY OVERFLOW SCUPPER EPOXY PAINT ELECTRICAL PANEL BOARD EQUIPMENT EXPOSED STRUCTURE ELECTRIC WATER COOLER EPOXY FLOOR PAINT EXISTING EXPANSION		N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#) NOM. N.T.S. OA. OBS. O.C. O.D. OFF. OPNG.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL OBSCURE ON CENTER OUTSIDE DIAMETER / DIMENSION OFFICE OPENING	V	TYP. U.N.O. U.L. U.O.N. UF. UR. V. V. V.B. V.C.T. V.I.F. V.T. V.W.C. VERT.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED URINAL VINYL VAPOR BARRIER VINYL COMPOSITE TIL VERIFY IN FIELD VINYL TILE VINYL WALL COVERIN VERTICAL
	EA. E.B. E.J. EL. ELEC. ELEV. EMER. ENCL. E.O.S. E.P. E.P. B. EQ. EQUIP. E.S. E.W.C. EX.F.P. EXIST. EXP. EXP. EXPO.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EMERGENCY OVERFLOW SCUPPER EPOXY PAINT ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EXPOSED STRUCTURE ELECTRIC WATER COOLER EPOXY FLOOR PAINT EXISTING EXPANSION EXPOSED	0	N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#) NOM. N.T.S. OA. OBS. O.C. O.D. OFF. OPNG. OPP.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL OBSCURE ON CENTER OUTSIDE DIAMETER / DIMENSION OFFICE OPENING OPPOSITE		TYP. U.N.O. U.L. U.O.N. UF. UR. V. V. V.B. V.C.T. V.I.F. V.T. V.W.C. VERT.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED URINAL VINYL VAPOR BARRIER VINYL COMPOSITE TIL VERIFY IN FIELD VINYL TILE VINYL WALL COVERIN VERTICAL
E	EA. E.B. E.J. EL. ELEC. ELEV. EMER. ENCL. E.O.S. E.P. E.P.B. EQ. EQUIP. E.S. E.W.C. EX.F.P. EXIST. EXP. EXPO. EXT.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EMERGENCY OVERFLOW SCUPPER EPOXY PAINT ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EXPOSED STRUCTURE ELECTRIC WATER COOLER EPOXY FLOOR PAINT EXISTING EXPANSION EXPOSED EXTERIOR		N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#) NOM. N.T.S. OA. OBS. O.C. O.D. OFF. OPNG. OPP. OP. HD. P.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL OBSCURE ON CENTER OUTSIDE DIAMETER / DIMENSION OFFICE OPENING OPPOSITE OPPOSITE HAND	V	TYP. U.N.O. U.L. U.O.N. UF. UR. V. V.B. V.C.T. V.B. V.C.T. V.I.F. V.T. V.W.C. VERT. VEST. W.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED URINAL VINYL VAPOR BARRIER VINYL COMPOSITE TIL VERIFY IN FIELD VINYL TILE VINYL WALL COVERIN VERTICAL VESTIBULE
	EA. E.B. E.J. EL. ELEC. ELEV. EMER. ENCL. E.O.S. E.P. E.P.B. EQ. EQUIP. E.S. E.W.C. EX.F.P. EXIST. EXP. EXIST. EXP. EXT. F.A. F.A. F.A.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EMERGENCY OVERFLOW SCUPPER EPOXY PAINT ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EXPOSED STRUCTURE ELECTRIC WATER COOLER EPOXY FLOOR PAINT EXISTING EXPANSION EXPOSED EXTERIOR	0	N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#) NOM. N.T.S. OA. OBS. O.C. O.D. OFF. OPNG. OPP. OP. HD. P. P.C.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL OBSCURE ON CENTER OUTSIDE DIAMETER / DIMENSION OFFICE OPENING OPPOSITE OPPOSITE HAND PAINT PRECAST CONCRETE	V	TYP. U.N.O. U.L. U.O.N. UF. UR. V. V.B. V.C.T. V.B. V.C.T. V.I.F. V.T. V.W.C. VERT. VEST. W. W.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED URINAL VINYL VAPOR BARRIER VINYL COMPOSITE TH VERIFY IN FIELD VINYL TILE VINYL WALL COVERIN VERTICAL VESTIBULE
	EA. E.B. E.J. EL. ELEC. ELEV. EMER. ENCL. E.O.S. E.P. E.P.B. EQ. EQUIP. E.S. E.W.C. EX.F.P. EXIST. EXP. EXPO. EXT.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EMERGENCY OVERFLOW SCUPPER EPOXY PAINT ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EXPOSED STRUCTURE ELECTRIC WATER COOLER EPOXY FLOOR PAINT EXISTING EXPANSION EXPOSED EXTERIOR	0	N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#) NOM. N.T.S. OA. OBS. O.C. O.D. OFF. OPNG. OPP. OP. HD. P.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL OBSCURE ON CENTER OUTSIDE DIAMETER / DIMENSION OFFICE OPENING OPPOSITE OPPOSITE HAND	V	TYP. U.N.O. U.L. U.O.N. UF. UR. V. V.B. V.C.T. V.I.F. V.U.F. V.T. V.W.C. VERT. VEST. W. W. W.C. W.R.	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED URINAL VINYL VAPOR BARRIER VINYL COMPOSITE TH VERIFY IN FIELD VINYL TILE VINYL WALL COVERIN VERTICAL VESTIBULE
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	EA. E.B. E.J. EL. ELEC. ELEV. EMER. ENCL. E.O.S. E.P. E.P. B. EQ. EQUIP. E.S. E.W.C. EX.F.P. EXIST. EXP. EXIST. EXP. EXT. F.A. F.B. F.D. F.E. F.E. F.E. F.F. F.H.C.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EMERGENCY OVERFLOW SCUPPER EPOXY PAINT ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EXPOSED STRUCTURE ELECTRIC WATER COOLER EPOXY FLOOR PAINT EXISTING EXPANSION EXPOSED EXTERIOR FIRE ALARM FLAT BAR FLOOR DRAIN FIRE EXTINGUISHER FIRE FLOOR FIRE HOSE CABINET	0	N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#) NOM. N.T.S. OA. OBS. O.C. O.D. OFF. OPNG. OPP. OP. HD. P. P.C. P.L. P.LAM. PL. PLAS. PLYWD.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL OBSCURE ON CENTER OUTSIDE DIAMETER / DIMENSION OFFICE OPENING OPPOSITE OPPOSITE OPPOSITE HAND PAINT PRECAST CONCRETE PROPERTY LINE PLASTIC LAMINATE PLASTER PLASTER PLYWOOD		TYP. U.N.O. U.L. U.O.N. UF. UR. V. V.B. V.C.T. V.I.F. V.T. V.W.C. VERT. VEST. W. W. W.C. W.R. WD. W.P. WSCT. W/	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED URINAL VINYL VAPOR BARRIER VINYL COMPOSITE TH VERIFY IN FIELD VINYL TILE VINYL WALL COVERIN VERTICAL VESTIBULE WEST WATER CLOSET WEATHER-RESISTANT WOOD WATERPROOF WAINSCOT WITH
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	EA. E.B. E.J. EL. ELEC. ELEV. EMER. ENCL. E.O.S. E.P. E.P. B. EQ. EQUIP. E.S. E.W.C. EX.F.P. EXIST. EXP. EXIST. EXP. EXIST. EXP. EXIST. EXP. EXIST. EXP. EXIST. F.A. F.A. F.B. F.D. F.E. F.E. F.E. F.H.C. FL. FLASHG. FLR.	EAST EACH EXPOSED BLOCK EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE EMERGENCY OVERFLOW SCUPPER EPOXY PAINT ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EXPOSED STRUCTURE ELECTRIC WATER COOLER EPOXY FLOOR PAINT EXISTING EXPANSION EXPOSED EXTERIOR FIRE ALARM FLAT BAR FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE EXTINGUISHER FIRE HOSE CABINET FOUNDATION FINISH FLOURESCENT FLASHING FLOOR	0	N.A.V.D. N.G.V.D. NI. N.I.C. NO. (#) NOM. N.T.S. OA. OBS. O.C. O.D. OFF. OPNG. OPP. OP. HD. P. P.C. P.L. P.LAM. PL. PLAS. PLYWD. POL. PR. PRCST. P.T. P.T.D.	NORTH AMERICAN VERTICAL DATUM NATIONAL GEODETIC VERTICAL DATUM NICHE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL OBSCURE ON CENTER OUTSIDE DIAMETER / DIMENSION OFFICE OPENING OPPOSITE HAND PAINT PRECAST CONCRETE PROPERTY LINE PLASTIC LAMINATE PLATE PLASTER PLYWOOD POLISHED PAIR PRECAST PRESSURE TREATED PAPER TOWEL DISPENSER		TYP. U.N.O. U.L. U.O.N. UF. UR. V. V.B. V.C.T. V.B. V.C.T. V.I.F. V.T. V.W.C. VERT. VEST. W. W. W.C. W.R. WD. W.P. WSCT. W/	UNLESS NOTED OTHE UNDERWRITERS' LAB UNLESS OTHERWISE UNFINISHED URINAL VINYL VAPOR BARRIER VINYL COMPOSITE TH VERIFY IN FIELD VINYL TILE VINYL WALL COVERIN VERTICAL VESTIBULE WEST WATER CLOSET WEATHER-RESISTANT WOOD WATERPROOF WAINSCOT WITH
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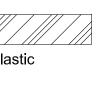
T I O N S			
	O	Ν	S

DRAWING S

	BUILDING SECTION	A-A A-45
	WALL SECTION	5 A-3.Ø
	DETAILS	3 A-5.0
	WALL TYPES	
SER ACLE ASS	INTERIOR ELEVATION	2 A-2.5 4 3
	COLUMN GRID	2
	ELEVATION	
	FIXTURE / KEYED NOTE	A-4.4
	FINISH DESIGNATION	(GB-Ø2)
	ROOM NUMBER	225
	WINDOW DESIGNATION	
	DOOR NUMBER	(204)
	LOUVER DESIGNATION	
	CEILING DESIGNATION	GB Ø'-Ø"-
	DATUM DESIGNATION	
	DATOM DESIGNATION	
	NORTH ARROW	
E	REVISIONS	
D	DRAWING TITLE	PENTHOUSE FLOOR PLAN SCALE: 1/0"+1"-0"
	PROFILE OR STEP DESIGNATION	
		ТЛЛЛД 6" ЛЛЛЛЛД,
		OPE FLOOR
	SLOPE RATIO DESIGNATION	A-A
	SLOPE RATIO DESIGNATION MATCH-LINE DESIGNATION	<u>OPE</u> FLOOR 1/8" PER FT.
	SLOPE RATIO DESIGNATION MATCH-LINE DESIGNATION POPULATION & EGRESS	OPE FLOOR 1/8" PER FT.

ING SY	MBOLS LEGEND	
	INDICATES DIRECTION OF CUTTING PLANE	
	LETTER INDICATES BUILDING SECTION	alumin
5	SHEET NUMBER WHERE SECTION IS DRAWN (TYP.)	
	NUMBER INDICATES WALL SECTION	c.m.u.
	SHEET NUMBER WHERE SECTION CAN BE FOUND	
	NUMBER INDICATES	rigid in:
	DETAIL NUMBER	
\wedge	DETAIL IS DRAWN	stone
	LETTER INDICATES PARTITION/WALL TYPE	wood -
5 4	NUMBER INDICATES ELEVATION NUMBER	
	SHEET NUMBER WHERE ELEVATION IS DRAWN	glass -
)		+ + + + + + + + + + + + + + + + + + +
4	INDICATES VIEW DIRECTION AND ELEVATION NUMBER SHEET NUMBER WHERE ELEVATION IS DRAWN	resilien
	LETTER OR NUMBER DESIGNATED NOTE	
	LAST TWO DIGITS INDICATE FINISH NUMBER	
2 2	FIRST DIGIT INDICATES	
	LAST TWO DIGITS INDICATE	FIRE SURF (N
	FIRST DIGIT INDICATES	(Iv
>	LAST TWO DIGITS INDICATE	
)	DOOR NUMBER	TYF
	FIRST DIGIT INDICATES FLOOR LEVEL	-
>	INDICATES CEILING FINISH	
GB Ø'-Ø"	INDICATES CEILING HEIGHT ABOVE FINISH FLOOR	2 HO WAI
	DATUM POINT DESCRIPTION	
ELEV.	DATUM ELEVATION HEIGHT ABOVE FINISH FLOOR	I
	INDICATES DIRECTION OF COMPASS TRUE NORTH	
<u>}</u>	DENOTES REVISED AREA	
	DENOTES REVISION NUMBER	
	INDICATES DRAWING TITLE/ LABEL	2x2 HV
<u> </u>	SCALE OF DRAWING INDICATES DRAWING NUMBER	
6"	INDICATES STEP HEIGHT OR DEPTH OF PROFILE	2x4 FLU
	INDICATES SLOPE LABEL	LIGHT F EMERGEI
	INDICATES SLOPE / RATIO	
↓	LETTER INDICATES CORRESPONDING MATCH LINE LETTER INDICATES	HVAC
0	CORRESPONDING SHEET No.	SUPPLY
	OCCUPANT LOAD	F
	DIRECTION OF EGRESS	SURFAC Cl
	OCCUPANT LOAD	
	DIRECTION OF EGRESS	FIRE
	OCCUPANT LOAD/CAPACITY ARROW INDICATES DIRECTION OF EGRESS	1 11 \
	INDICATES THE ACTUAL OCCUPANT LOAD/CAPACITY	
	LINE INDICATES THE PATH OF TRAVEL	
BTANCE	ARROW INDICATES DIRECTION OF TRAVEL/EGRESS INDICATES THE TOTAL	
	TRAVEL DISTANCE INDICATES THE ORIGINATION OF THE TRAVEL DISTANCE	

		MATER	AL LEGENE
aluminum	break-a-way wall system	concrete (large scale)	concrete (small scale)
c.m.u.	earth or	grout / mortar	batt insulation
rigid insulation	compacted fill	plaster, stucco sand fill	steel
stone	precast stone	sprayed	wood - rough
wood - finish	marble	fireproofing	ceramic or
glass - section	// // // glass -	glass block	quarry tile
resilient tile	elevation	gypsum board	
	LIFE S/	AFETY SYMBO	LS LEGENI
			8'-4"
SURFACE MOUNTED (NO CABINET)	RECESS MO W/ CABIN	UNTED S	STRING
-			
TYPICAL LEADER	4 HOUR FIRE WALL / PAR		R FIRE RATED / PARTITION
2 HOUR FIRE RATED WALL / PARTITION	1 HOUR FIRE WALL / PAR		KE BARRIER / PARTITION
WALL / PARTITION	WALL / PAR		/ PARTITION
WALL / PARTITION	WALL / PAR	TITION WALL	DLS LEGEN
WALL / PARTITION BREAKLINE REAKLINE	FLECTED CE	TITION WALL EILING SYMBO \$- DOWNLIGHT / "HI-HAT"	PARTITION
WALL / PARTITION BREAKLINE REAKLINE	FLECTED CE	TITION WALL EILING SYMBO \$- DOWNLIGHT / "HI-HAT"	PARTITION
WALL / PARTITION BREAKLINE REAKLINE 2x2 HVAC SUPPLY 2x4 FLUORESCENT LIGHT FIXTURE ON	WALL / PAR	TITION WALL EILING SYMBO -O- DOWNLIGHT / "HI-HAT" LIGHT FIXTURE 2x2 FLUORESCENT LIGHT FIXTURE ON EMERGENCY CIRCUIT TOTOL	/ PARTITION
WALL / PARTITION BREAKLINE BREAKLINE RE 2x2 HVAC SUPPLY	WALL / PAR	TITION WALL	/ PARTITION
WALL / PARTITION BREAKLINE BREAKLINE RE 2x2 HVAC SUPPLY 2x4 FLUORESCENT LIGHT FIXTURE ON MERGENCY CIRCUIT HVAC LINEAR	WALL / PAR	TITION WALL EILING SYMBO - - - - - - - - - - - - -	/ PARTITION DLS LEGENI 2x4 FLUORESCEN LIGHT FIXTURE 1x4 FLUORESCEN LIGHT FIXTURE C FIRE SPRINKLER
WALL / PARTITION BREAKLINE BREAKLINE REAKLINE RE 2x2 HVAC SUPPLY CALINEAR SUPPLY DIFFUSER HVAC LINEAR SUPPLY DIFFUSER	WALL / PAR	TITION WALL EILING SYMBO CONNLIGHT / "HI-HAT" LIGHT FIXTURE 2X2 FLUORESCENT LIGHT FIXTURE ON EMERGENCY CIRCUIT CONNERCENT LIGHT W/ DIRECTION ARROW EDI	/ PARTITION DLS LEGENI 2x4 FLUORESCEN LIGHT FIXTURE 1x4 FLUORESCEN LIGHT FIXTURE C FIRE SPRINKLER SURFACE MOUNTE
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APPLICABLE BUILDING CODES

CITY OF FORT LAUDERDALE CODE OF ORDINANCES FLORIDA BUILDING CODE 2017 EDITION, 6th EDITION FLORIDA BUILDING CODE 2017 - ACCESSIBILITY FLORIDA FIRE PREVENTION CODE 5th Edition / N.F.P.A 72 (2013), N.F.P.A. 70 (2017) NATIONAL ELECTRIC CODE (NEC) 2014

BUILDING CLASSIFICATIO

BUILDING OCCUPANCY: BUSINESS GROUP B, MERCANTILE GROUP M, RESIDENTIAL GROUP R - R-2, STORAGE GROUP S - S-2 (@ PARKING GARAGE AREAS - OPEN) TYPE -I-B, SPRINKLERED

ALLOWABLE BUILDING HEIGHT:

ALLOWABLE BUILDING AREA:

TYPE OF CONSTRUCTION:

GOVERING ZONING CODE:

ACCESSIBILITY (as applicable):

ELECTRICAL (as applicable):

FIRE PROTECTION (as applicable):

BUILDING CODE:

160'-0" (TABLE 503)

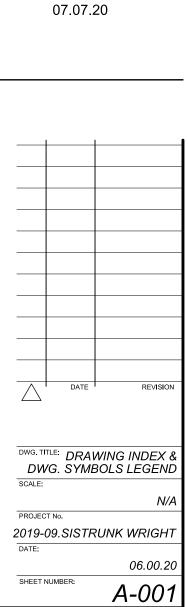
UNLIMITED SQUARE FOOTAGE / FLOOR (@ B, M, R-2 OCCUPANCY) 79,000 SQUARE FOOTAGE / FLOOR (@ STORAGE, S-2 OCCUPANCY) MAXIMUM No. OF STORIES IS ELEVEN (11)

DRAWING INDEX

			ARCHITECTURAL DRAWINGS:	
A-000	COVER SHEET	A-403	RESIDENTIAL UNIT FLOOR PLAN (<i>Level 400-Partial</i>)	
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A-002	ARCHITECTURAL GENERAL NOTES	A-403b	RESIDENTIAL UNIT FLOOR PLAN (Level 400-Partial)	
A-003	FLORIDA ACCESSIBILITY CODE DETAILS	A-403c	RESIDENTIAL UNIT FLOOR PLAN (Level 400-Partial)	
A-004	FLORIDA ACCESSIBILITY CODE DETAILS	A-404	RESIDENTIAL UNIT FLOOR PLAN (L 500-600 Partial)	
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A-100a	EXISTING SITE PLAN / PROPERTY AERIAL	A-701	BUILDING ELEVATIONS (Right-Side Elevation)	
A-101	ARCHITECTURAL SITE PLAN & PROJECT NOTES	A-702	BUILDING ELEVATIONS (Rear Elevation)	
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A-300 A-301	ARCHITECTURAL GROUND FLOOR PLAN ARCHITECTURAL SECOND FLOOR PLAN	A-1001	TRANSVERSE BUILDING SECTION B - B	
A-302	ARCHITECTURAL THIRD FLOOR PLAN			
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A-305	ARCHITECTURAL ROOF PLAN			
A-400 A-400a	ARCHITECTURAL GROUND FLOOR PLAN (Partial)			
A-400a A-400b	ARCHITECTURAL GROUND FLOOR PLAN (<i>Partial</i>) ARCHITECTURAL GROUND FLOOR PLAN (<i>Partial</i>)			
A-400c	ARCHITECTURAL GROUND FLOOR PLAN (Partial)			
A-401	ARCHITECTURAL SECOND FLOOR PLAN (Partial)			
A-401a	ARCHITECTURAL SECOND FLOOR PLAN (Partial)			
A-401b	ARCHITECTURAL SECOND FLOOR PLAN (Partial)			
A-401c A-402	ARCHITECTURAL SECOND FLOOR PLAN (<i>Partial</i>) ARCHITECTURAL THIRD FLOOR PLAN (<i>Partial</i>)			
A-402 A-402a	ARCHITECTURAL THIRD FLOOR PLAN (<i>Partial</i>) ARCHITECTURAL THIRD FLOOR PLAN (<i>Partial</i>)			
A-402b	ARCHITECTURAL THIRD FLOOR PLAN (Partial)			client:
A-402c	ARCHITECTURAL THIRD FLOOR PLAN (Partial)			MR. DENNIS WRIGHT
		ם א א ו	CAPE ARCHITECTURE DRAWINGS:	3566 SW 50th STREET FORT LAUDERDALE, FLORIDA 33312
		LAND	CAPE ARCHITECTORE DRAWINGS.	
TS-1 LP-1	EXISTING TREE INVENTORY PLAN LANDSCAPE PLAN, EXISTING TREE SURVEY AND /	ARFA CAI	CULATIONS	
IR-1	IRRIGATION PLAN, GENERAL IRRIGATION NOTES			project title:
				MIXED-USE (COMMERCIAL & RESIDENTIAL) CLASS 'A' DEVELOPMENT ENTITLED:
			CIVIL ENGINEERING DRAWINGS:	
C-0				
	CIVIL ENGINEERING COVER SHEET			
C-1	PAVING, GRADING AND DRAINAGE ENGINEERING	PLAN		WRIGHT
		PLAN		
C-1	PAVING, GRADING AND DRAINAGE ENGINEERING	PLAN		DYNASTY
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PLUMBING DRAWINGS:





- 1. THE CONTRACTOR AGREES THAT HE, HIS MANAGEMENT TEAM (ESTIMATOR, PROJECT MANAGER. PROJECT ENGINEERS. SUPERINTENDENTS. AND SUBCONTRACTORS AND PRINCIPAL SUPERVISORY PERSONNEL) HAS VISITED THE SITE, EXAMINED THE SITE AND THE LOCATION OF THE PROPOSED WORK, AND EXISTING IMPROVEMENTS, AND CONDITIONS AND PHYSICAL CHARACTERISTICS OF THE JOB. THE CONTRACTOR(S) SHALL INCLUDE IN HIS BUDGET ALL COSTS ASSOCIATED WITH, AND PERTAINING TO, THE SATISFACTORY COMPLETION OF THE PROJECT AND THE COMPLETE INSTALLATION OF ALL ASSOCIATED SYSTEMS, INCLUDING THE REMOVAL AND RELOCATION OF ANY AND ALL OBJECTS OR OBSTRUCTIONS THAT MAY BE ENCOUNTERED IN THE COMPLETION OF THE WORK THAT MAY NOT HAVE BEEN PREVIOUSLY DOCUMENTED IN THE CONSTRUCTION DOCUMENTS.
- 2. THE WORK DESCRIBED HEREIN INVOLVES THE ASSOCIATED CONSTRUCTION ACTIVITY FOR THE PROPOSED SIX (6) STORY MIXED-USE DEVELOPMENT, AND OTHER SITEWORK AS DOCUMENTED THROUGHOUT THESE DRAWINGS. THE CONTRACTOR SHALL CORRELATE ALL WORK DESCRIBED ON THE DRAWINGS WITH THE ACTUAL CONDITIONS IN THE FIELD. CONTRACTORS SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY SITUATION WHICH ENDANGERS THE INTEGRITY OF THE BUILDING OR PREVENTS HIM/HER FROM SUCCESSFULLY ATTAINING THE PROPOSED DESIGN INTENT.
- 3. THE WORK SHALL INCLUDE THE FURNISHING OF ALL LABORS, MATERIALS, EQUIPMENT, TRANSPORTATION AND SERVICES NECESSARY TO DO A COMPLETE AND THOROUGH JOB. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE DRAWINGS AS PREPARED THEREFORE BY THE OFFICE OF rGLOBE, INC.
- 4. WORK NOT INCLUDED IN CONTRACT: WORK NOTED "N.I.C." OR BY OTHERS ON THE DRAWINGS OR SPECIFICATIONS. IF ANY MATERIALS, EQUIPMENT OR BOTH, INDICATED "N.I.C." ARE TO BE INSTALLED BY THE CONTRACTOR, THEY WILL BE SO NOTED ON THE DRAWINGS OR SPECIFIED IN THE SPECIFICATIONS.
 - 5. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS, SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK SO INVOLVED. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE. AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
 - 6. THE CONTRACTOR ACKNOWLEDGES THAT HE HAS INFORMED HIMSELF FULLY REGARDING REQUIREMENTS OF DRAWINGS, SPECIFICATIONS, & REGULATIONS PERTAINING TO THE PROJECT.
 - 7. THE CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS, PERMIT DOCUMENTS, DIMENSIONS, JOB-SITE CONDITIONS, AND COORDINATE WITH FIELD DIMENSIONS, AND PROJECT SHOP DRAWINGS PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL MAKE NOTE OF ANY AND ALL DISCREPANCIES THAT PREVENT THE INSTALLATION OF ANY ASPECT OF THE CONSTRUCTION TO ACHIEVE THE CHARACTER AND APPEARANCE DEFINED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL REPORT ANY AND ALL DISCREPANCIES REGARDLESS OF THEIR NATURE TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK, ALLOWING SUFFICIENT TIME FOR THE ARCHITECT AND ENGINEERS TO REASONABLY ASSESS THE CONDITION AND DETERMINE AN APPROPRIATE SOLUTION.
 - 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASCERTAINING THE REQUIREMENTS OF AND ADHERING TO ALL NOISE ORDINANCES OR OTHER ORDINANCES THAT MAY RESTRICT THE ACTIVITIES OF THE WORK ON THIS JOB.
 - 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO THE COMMENCEMENT OF WORK AND FOR THE REQUESTING AND COORDINATION OF ALL INSPECTIONS AND APPROVAL OF ALL ASPECTS OF HIS WORK, AND OBTAINING ALL TEMPORARY AND FINAL CERTIFICATES OF OCCUPANCY.
 - 10. THE CONTRACTOR SHALL MAINTAIN A COPY OF ALL APPLICABLE CODES AND STANDARDS RELEVANT TO THIS PROJECT ON SITE AT ALL TIMES, AND SHALL COMPLY WITH ALL REQUIREMENTS OF THE CURRENT FLORIDA BUILDING CODE. AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS, AND LAWS.
 - 11. THE CONTRACTOR SHALL MAINTAIN A COMPLETE AND CURRENT SET OF PERMIT DRAWINGS ON-SITE AT ALL TIMES ALONG WITH ALL REVISIONS TO THE PERMIT, INCLUDING PERMITTED SHOP DRAWINGS AND CALCULATIONS. SAID DRAWINGS ALONG WITH ALL INSPECTION LOGS, AND PERMITS SHOULD BE MAINTAINED IN AN EASILY ACCESSIBLE SPACE FOR THE OWNER, ARCHITECT, ENGINEERS, AND BUILDING OFFICIALS TO REVIEW.
 - 12. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT THE DRAWINGS. NO "CHANGE ORDERS" FOR MISSED ITEMS IN OTHER SECTIONS OF THE WORK WILL BE PERMITTED. THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF AMBIGUITY, INCONSISTENCY OR ERROR WHICH THEY DISCOVER UPON EXAMINATION OF THE CONTRACT DOCUMENTS, THE SITE, OR LOCAL CONDITIONS.
 - 13. THE CONTRACTOR SHALL PERFORM ALL WORK IN A FIRST CLASS WORKMANSHIP LIKE MANNER. ALL LABOR INSTALLATION SHALL BE PERFORMED IN THE BEST POSSIBLE MANNER BY SKILLED AND EXPERIENCED WORKMEN TRAINED IN THEIR RESPECTIVE TRADES.
 - 14. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR, THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION, FABRICATION, PROCUREMENT SHIPMENT, DELIVERY, OR INSTALLATION, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK OR TO MEET THEIR SCHEDULES FOR DELIVERY OF COMPLETION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR AND ALL SUBCONTRACTORS ARE SOLEY RESPONSIBLE FOR DAMAGES OR INJURIES DUE TO HIS ACT OR NEGLECT.
- 15. THE CONTRACTOR AND ALL SUBCONTRACTORS ARE TO HOLD HARMLESS THE ARCHITECT. ENGINEERS, AND OWNER OF ALL LAWSUITS AND CLAIMS WHICH ARISE FROM WORK PERFORMED BY OR MATERIALS SUPPLIED BY THE CONTRACTOR AND THE SUBCONTRACTORS.
 - 16. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS, EQUIPMENT AND APPLIANCES THAT ARE TO BE USED. PROVIDE A PROJECT SECURITY PROGRAM TO PROTECT WORK, MATERIAL, APPLIANCES AND EQUIPMENT FROM THEFT, VANDALISM, WEATHER, DUST, NOISE AND ANY OTHER SOURCE OF DAMAGE OR LOST. CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY STOLEN OR VANDALIZED WORK, MATERIAL, APPLIANCE AND EQUIPMENT AT NO ADDITIONAL COST TO OWNER, UNTIL COMPLETED PROJECT IS ACCEPTED BY OWNER.
 - 17. ALL FINISH MATERIAL SHALL BE PROTECTED AT ALL TIMES AGAINST SUBSEQUENT DAMAGE, UNTIL FINAL ACCEPTANCE BY THE OWNER.
 - 18. PROTECTION OF ADJACENT BUILDINGS AND PROPERTY: EXERCISE ALL REQUIRED PRECAUTIONS NECESSARY TO PROTECT ALL BUIDINGS AND OTHER CONSTRUCTIONS ON PROPERTY ADJACENT TO THAT OF THE WORK OF THIS CONTRACT. CONTRACTOR SHALL BE RESONSIBLE FOR, AND PAY FOR, ALL DAMAGES TO SUCH ADJACENT BUILDINGS AND CONSTRUCTION ON ACCOUNT OF OPERATIONS UNDER THE CONTRACT.
 - 19. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, AND PLUMBING (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT) AND THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE MENTIONED EQUIPMENT ARE PROVIDED.
 - 20. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UNDERGROUND UTILITIES AND/OR STRUCTURES SHOWN AND ANY OTHER UTILITIES OR STRUCTURES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

- WITH NO STAINS.
- IS READILY ACCESSIBLE FOR REVIEW BY THE OWNER AND OR ARCHITECT.
- Α. THAT MAY THREATEN THE JOB.
- В.
- THE OWNER WITHIN 72 HOURS OF A LOSS.
- COMPLETED
- PERSONNEL AND PROPERTY.
- THE CONTRACTOR.
- THE COMMENCEMENT OF WORK FOR CLARIFICATION.
- INDUSTRY STANDARDS FOR THE TYPE OF CONSTRUCTION OF THE BUILDING.
- WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION.
- THEY FIRST OCCUR.
- В. ELEVATIONS.
- ENGINEER.
- DIRECTED BY THE ARCHITECT/ENGINEER
- NOTED OTHERWISE.
- CONSTRUCTION.
- 35. CLEANING OWNER/CONTRACTOR.

THOROUGHLY CLEAN THE PREMISES TO MAKE READY FOR OPENING. CLEAN ALL SURFACES INTERIOR AND EXTERIOR, FREE OF ALL DIRT AND REFUSE CAUSED BY DEBRIS FROM ALL INSTALLATION TECHNIQUES OF THE TRADES INCLUDING: A) POLISHING ALL HARDWARE: B) THOROUGHLY CLEANING ALL CABINETS INSIDE AND OUT: C) CLEANING SHELVES INSIDE AND OUT: D) ALL MIRRORS, GLASS STOREFRONTS, AND TERRACES, WINDOWS AND, METAL FRAMING TO BE CLEANED INSIDE AND OUT, WHERE POSSIBLE: E) REMOVE ANY SPOTS FROM AND CLEAN ALL CARPETING AND TILES: F) CLEAN BUILDING FINISHES AND FLOORING THOROUGHLY INCLUDING BASES: G) CLEAN OR TOUCHUP ALL PAINTED SURFACES WHICH ARE SOILED.

IN GENERAL, CONTRACTOR IS TO DELIVER TO THE OWNER A CLEAN BUILDING PRIOR TO OPENING TO THE PUBLIC.

36. USE OF DRAWINGS : ORDERS, ALTERATIONS BY OTHERS, EXISTING FIELD CONDITIONS, ETC.

THESE DRAWINGS AND RELATED DOCUMENTS DETAIL WORK FOR THIS SPECIFIC PROJECT INDICATED BY NUMBER AND LOCATION. THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF KAP architecture.inc. AND MAY NOT BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN PERMISSION OF KAP architecture, inc.

THE ARCHITECT AND ENGINEERS WILL NOT PROVIDE TO THE CONTRACTOR OR HIS SUBCONTRACTORS ANY DISKS OR ELECTRONIC MEDIA PREVIOUSLY/CURRENTLY USED IN THE PREPARATION OF THE CONSTRUCTION DRAWINGS. DO NOT REPRODUCE THE DRAWINGS FOR USE AS SHOP DRAWINGS.

21. THE CONTRACTOR SHALL REMOVE FROM THE SITE AND LEGALLY DISCARD IN A TIMELY MANNER ALL CONSTRUCTION DEBRIS THAT WILL NOT BE REUSED OR RELOCATED ELSEWHERE IN THE PROJECT. ALL APPLICABLE TRADES, SHALL AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIAL OR RUBBISH CAUSED BY THEIR WORK. PROVIDE CLEAN-UP AND DISPOSE OF ALL DEBRIS, FOR A NEAT AND CLEAN JOB SITE CONDITION THROUGHOUT THE IENTIRE CONSTRUCTION PROCESS. AT THE COMPLETION OF THE WORK. LEAVE THE PAVEMENT AREA IN A BROOM CLEAN CONDITION

22. THE CONTRACTOR SHALL PREPARE AND MAINTAIN A HURRICANE/WINDSTORM PREPAREDNESS PLAN. THE CONTRACTOR SHALL MAINTAIN SAID PLAN IN A LOCATION THAT

> THE HURRICANE PLAN SHALL INCLUDE A LIST OF CONTACTS IN THE EVENT THAT A HURRICANE WATCH IS POSTED AND WILL ALSO ADDRESS WHAT MEASURES ARE TO BE TAKEN TO SECURE THE CONSTRUCTION SITE IN THE EVENT OF NOTIFICATION BY THE NATIONAL WEATHER SERVICE OF AN IMPENDING HURRICANE OR WINDSTORM

> THE HURRICANE PLAN SHALL ADDRESS HOW THE CONTRACTOR WILL MOBILIZE THE PROJECT FOLLOWING A WIND OR HURRICANE EVENT AND DOCUMENTATION OF DAMAGES AND HOW REPAIRS WILL BE HANDLED IN THE EVENT OF A LOSS.

23. IN THE EVENT OF DAMAGES TO THE BUILDING WHICH REQUIRE ASSESSMENT FOR AN INSURANCE CLAIM, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE OWNER OF THE CIRCUMSTANCES SURROUNDING THE LOSS, DOCUMENT DAMAGES, DETERMINE AND PRICE REPAIRS. DETERMINE IMPACT TO THE PROJECT SCHEDULE. SUBMIT ALL INFORMATION TO

24. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AT THE TIME THE WORK IS PERFORMED. NO ADDITIONAL PAYMENTS SHALL BE MADE FOR THE CONTRACTOR'S FAILURE TO CORRECT CONFLICTING FIELD CONDITIONS AFTER THE WORK HAS BEEN

25. THE CONTRACTOR SHALL WORK AND RETAIN COOPERATION WITH THE OWNER IN SCHEDULING THEIR WORK IN ORDER TO CAUSE THE LEAST INCONVENIENCE TO

26. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED TESTS. PAYMENT OF ALL TEST SHALL BE AS INDICATED IN THE AGREEMENT BETWEEN THE OWNER/CONCTRACTOR OR GENERAL CONDITIONS. IF NOT SPECIFICALLY DEFINED, THESE COSTS SHALL BE BORNE BY

27. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF ANY DISCREPANCIES ARISE THE ARCHITECT IS TO BE NOTIFIED PRIOR TO

28. THE ABSENCE OF A DETAIL DESCRIBING A PARTICULAR METHOD OF CONSTRUCTION SHALL IMPLY THAT THE CONTRACTOR SHALL CONSTRUCT SAID DETAIL IN COMPLIANCE WITH

29. CONTRACTOR SHALL RESOLVE QUESTIONS REGARDING APPLICABILITY OF TYPICAL DETAILS WITH THE ARCHITECT/ENGINEER. DETAILS LABELED AS "TYPICAL DETAILS, OR TYP. ON THE DRAWINGS APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED OR EXISTING AT THE SITE. SUCH DETAILS APPLY

A. "TYPICAL" OR "TYP." SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. UNLESS OTHERWISE NOTED, SECTIONS /DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" OR "TYP." ONLY ONCE WHEN

"SIMILAR" OR "SIM" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATIONS ON PLANS AND

30. IF A THRESHOLD ENGINEER IS PRESENT ON SITE AND NOT THE ENGINEER OF RECORD, ALL QUESTIONS AND DIRECTIVE MUST BE ADDRESSED WITH THE ENGINEER OF RECORD.

31. DO NOT CUT OR DRILL ANY STRUCTURAL MEMBER OTHER THAN DESCRIBED ON THE STRUCTURAL DRAWINGS WITHOUT PRIOR WRITTEN APPROVAL FROM THE STRUCTURAL

32. CUT ALL NECESSARY OPENINGS FOR ANY REQUIRED PURPOSE AND REPAIR WHERE NECESSARY, AFTER CUTTING. INSOFAR AS POSSIBLE, ALL PROTRUSIONS, MARKS, CRACKS OR OTHER EVIDENCE OF A DEFICIENT OR DAMAGED CONDITION SHALL BE ELIMINATED UNLESS SPECIFICALLY NOTED OTHERWISE. ANY PARTS WHICH ARE SPLIT. CRACKED. CHIPPED, SPALLED, BROKEN, MISSING OR OUT OF LINE OR ADJUSTMENT. MECHANICALLY OR STRUCTURALLY UNSAFE OR UNSOUND, BENT, TORN, OR OTHERWISE DEFICIENT OR INJURED IN ANY MANNER, SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER AND REMOVED, REPLACED, RESTORED, OR SATISFACTORILY REPAIRED AS

33. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR OTHER SUPPORT, FOR ALL BUILDING EQUIPMENT AND ACCESSORIES SHOWN ON PLANS, REGARDLESS OF WHOM SUPPLIES SAID EQUIPMENT OR ACCESSORY UNLESS

34. VEHICULAR ACCESS MUST BE PROVIDED AND MAINTAINED SERVICEABLE THROUGHOUT

PROVIDE CLEANING AS INDICATED IN THE CONTRACT FOR CONSTRUCTION BETWEEN THE

THESE DRAWINGS ARE BEING PREPARED FOR THE PURPOSE OF THE PROPOSED SIX (6) STORY MIXED-USE (BUSINESS / MERCANTILE / RESIDENTIAL / STORAGE) BUILDING ONLY. THESE DRAWINGS ARE NOT TO BE USED FOR MAINTENANCE PURPOSES AS ACTUAL CONDITIONS MAY VARY FROM THOSE SHOWN ON THESE DRAWINGS DUE TO CHANGE

37. WALL DIMENSIONS

UNLESS NOTED OTHERWISE, ALL DIMENSIONS INDICATED ON ARCHITECTURAL PLANS ARE NOMINAL AND ARE AS FOLLOWS:

AT INTERIOR WALL DIMENSIONS ARE FACE-OF-STUD TO FACE-OF-STUD. ALL EXTERIOR WALL DIMENSIONS ARE TO FACES OF BLOCK WALLS.

ALL STUDS ARE TO EXTEND TO THE UNDERSIDE OF STRUCTURE ABOVE UNLESS OTHERWISE NOTED. REFER TO WALL SECTIONS AND WALL TYPES FOR DETAILED WALL CONSTRUCTION INFORMATION.

- 38. OWNER FURNISHED MATERIALS
 - A. FOR ANY MATERIAL FURNISHED BY THE OWNER WHICH ARE TO BE INSTALLED BY THE CONTRACTOR (F.O.I.C.) ITEMS: UNPACK AND VERIFY THE QUANTITY AND CONDITION. NOTIFY THE OWNER OF ANY DISCREPANCIES IN QUANTITY AND DAMAGES WITHIN TWELVE HOURS (12) OF RECEIVING SHIPMENT. FAILURE TO DO SO PLACES RESPONSIBILITY ON THE CONTRACTOR
 - B. ALL OWNER-FURNISHED MATERIAL, IF ANY, ARE TO BE FURNISHED TAILGATE DELIVERY ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE UNLOADING, EXAMINATION AND TRANSPORTATION OF OWNER FURNISHED MATERIALS FROM THE POINT OF OFF-LOADING TO THE JOB-SITE OR STORAGE AREA AS APPLICABLE. MATERIALS WILL BE DELIVERED TO THE CLOSEST AVAILABLE TRUCK DOCK OR ALTERNATE LOCATION AS DIRECTED BY THE OWNER.

39. SUBSTITUTIONS:

- A. SUBSTITUTION OF MATERIALS OR EQUIPMENT OTHER THAN SPECIFIED SHALL BE PERMITTED UPON WRITTEN AUTHORIZATION FROM THE ARCHITECT AND OWNER.
- B. THE CONTRACTOR SHALL BEAR THE BURDEN OF PROOF THAT SUCH SUBSTITUTION IS EQUAL TO SPECIFIED ITEM AND CAN BE OBTAINED IN A TIMELY MANNER
- C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL SUBSTITUTE ITEMS WITH ALL ASSOCIATED/IMPACTED TRADES.
- D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DESIGN COSTS ASSOCIATED WITH A SUBSTITUTION.

40. PERMANENT FIRE EXTINGUISHERS :

FIRE EXTINGUISHERS OF THE TYPE AND QUANTITY APPROVED BY THE LOCAL FIRE OFFICIAL AND THE OWNERS CASUALTY INSURER ARE TO BE PROVIDED IN RECESSED/ FLUSH MOUNTED CABINETS U.O.N. ON THE PLANS.

THE CONTRACTOR SHALL PROVIDE SUFFICIENT ALLOWANCE TO INSTALL ALL REQUIRED FIRE EXTINGUISHERS.

THE CONTRACTOR MAY NOT ALLOCATE ANY TEMPORARY CONSTRUCTION USE FIRE EXTINGUISHERS AS PERMANENT FIRE EXTINGUISHERS.

41. FRAMING :

ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, OR STUCCO SHALL BE PRESSURE-TREATED MATERIAL OR ISOLATED FROM CONTACT.

ALL FRAMING LUMBER AND WOOD BLOCKING SHALL BE FIRE RETARDANT TREATED (F.R.T.) LUMBER. NO F.R.T. MATERIAL MAY BE USED IN THE CEILINGS PLENUM OR ABOVE SPRINKLER COVERAGE, OR AS REQUIRED/RETRICTED BY LOCAL GOVERNING CODE.

42. COATINGS :

- A. THE CONTRACTOR SHALL ENSURE THAT ALL STRUCTURAL STEEL IS PAINTED WITH ONE COAT OF PRIMER AND ONE COAT OF RUST INHIBITING PAINT PRIOR TO ENCLOSURE.
- B. ALL EXPOSED EXTERIOR ALUMINUM SHALL BE COATED WITH A HIGH GLOSS, HIGH PERFORMANCE COATING. THE HIGH PERFORMANCE COATING SHALL BE SUFFICIENT TO PREVENT CORROSION OR DEGRADATION OF THE MATERIAL FOR A PERIOD OF15 YEARS. HIGH PERFORMANCE COATINGS SHALL BE INSTALLED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS OR AS OTHERWISE REQUIRED BY THE MANUFACTURER.
- 43. ALL MATERIAL USED IN THE INTERIOR OF THE PROJECT MUST MEET THE FLAME SPREAD RATINGS PER THE GOVERNING CODE. PROOF OF THESE FLAME SPREAD RATINGS MUST BE INCLUDED AS A PART OF A FINAL INSPECTION PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

THE FLAME SPREAD RATING FOR THE PROJECT IS AS FOLLOWS:

OCCUPANCY	EXITS	ACCESS TO EXITS	OTHER SPACES
GROUP-M: MERCANTILE	А	A	A

44. AUTOMATIC SPRINKLERS

WHERE A COMPLETE STANDARD SYSTEM OF AUTOMATIC SPRINKLERS IS INSTALLED, INTERIOR WALL AND CEILING FINISH WITH FLAME SPREAD RATING NOT OVER CLASS-"C" MAY BE USED IN ANY LOCATION WHERE CLASS-"B" IS REQUIRED AND CLASS-"B" BE IN ANY LOCATION WHERE CLASS-"A" IS REQUIRED. SIMILARILY CLASS-II INTERIOR FLOOR FINISH MAY BE USED IN ANY LOCATION WHERE CLASS-I IS REQUIRED AND NO CRITICAL RADIANT FLUX IS REQUIRED WERE CLASS-II IS REQUIRED. EXPOSED PORTIONS OF STRUCTURAL MEMBERS COMPLYING WITH THE REQUIREMENTS FOR HEAVY TIMBER CONSTRUCTION ARE PERMITED (AS PER THE 1997 EDITION OF THE LIFE SAFETY CODE HANDBOOK).

CONTRACTOR TO PROVIDE DESIGN AND INSTALLATION OF A FULLY FUNCTIONAL FIRE SPRINKLER SYSTEM MEETING ALL APPLICABLE CODES & STANDARDS. SUBMIT SHOP DRAWINGS SIGNED BY A LICENSED ENGINEER TO THE ARCHITECT/ENGINEER FOR REVIEW AND PRIOR TO INSTALLATION.

45. SIGNAGE

ALL ROOMS ACCESSIBLE TO THE PUBLIC, INCLUDING RESIDENTIAL UNITS, STORAGE AREAS, MECHANICAL, AND ELECTRICAL ROOMS SHALL RECEIVE IDENTIFICATION SIGNAGE. AN ALLOWANCE FOR ANCILLARY SIGNAGE SHALL BE PROVIDED FOR SUCH ANCILLARY SIGNAGE. THE CONTRACTOR IS TO WORK WITH ARCHITECT TO ESTABLISH THE TYPE OF SIGNAGE TO USED.

46. COMPLETENESS OF WORK

ANY MATERIAL OR LABOR, NEITHER SHOWN ON THE DRAWINGS, NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE OR TO COMPLY WITH ALL CODES SHALL BE FURNISHED WITHOUT ADDITIONAL COST.

ALL WORK STARTED BY THE CONTRACTOR SHALL BE COMPLETED IN ITS ENTIRETY TO ITS FINAL COMPLETED STATE WHETHER COMPLETELY DEFINED IN THE DRAWINGS OR NOT.

GENERAL NOTES

47. DOCUMENTATION :

THE GENERAL CONTRACTOR SHALL CREATE AN ONGOING RECORD SET OF DRAWINGS OF ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS. HE SHALL NEATLY AND CORRECTLY ENTER IN COLORED PENCIL, ANY DEVIATIONS ON THE DRAWINGS AFFECTED AND SHALL KEEP THE DRAWINGS AVAILABLE FOR INSPECTION. AN EXTRA SET OF DRAWINGS WILL BE FURNISHED FOR THIS PURPOSE UPON COMPLETION OF THE JOB, AND BEFORE FINAL APPROVAL. THE GENERAL CONTRACTOR WILL MAKE ANY FINAL CORRECTIONS TO DRAWINGS AND SHALL CERTIFY TO THE ACCURACY OF EACH PRINT THAT THE WORK IS COMPLETED ACCORDING TO THE DRAWINGS BY SIGNATURE THEREON AND DELIVER SAME TO THE ARCHITECT.

48. FINISHED FLOORING :

GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTING FINISHED FLOORING SURFACES FROM DAMAGE BY SUB-CONTRACTORS.

THE CONTRACTOR SHALL EXAMINE THE FLOOR SLAB CONDITION TO DETERMINE TO WHAT EXTENT FLOOR PREPARATION, LEVELING, CHIP HAMMERING, ETC. WILL BE NECESSARY TO FURNISH A SMOOTH, LEVEL SUBSTRATE FOR THE PROPER INSTALLATION OF ALL FLOORING MATERIALS. THE COST OF SUCH WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. UNEVEN SUBSTRATE WILL NOT BE ACCEPTED AS AN EXCUSE FOR POORLY INSTALLED FLOORING MATERIALS.

49. DOOR AND HARDWARE :

REFER TO DOOR SCHEDULE FOR HARDWARE TYPES.

PROVIDE U.L. LABLED DOORS AND FRAMES, WHERE REQUIRED, AS PER APPLICABLE NATIONAL, STATE, AND LOCAL CODES. ALL LABLED DOORS TO BE EQUIPT WITH SELF CLOSURE, FIRE RATED FRAME AND HARDWARES, AS MAYBE INDICATED IN THE DOOR/HARDWARE SCHEDULE.

CONTRACTOR MY NOT FIELD MODIFY OR DRILL HOLES IN LABLED DOORS AND/OR FRAMES WHICH MAY COMPROMISE THE FIRE RESISTANCE RATING AND/OR INTEGRITY OF THE DOOR OR FRAME. CONTRACTOR MUST OBTAIN WRITTEN APPROVAL FROM DOOR/FRAME MANUFACTURER AS TO THE SIZE AND/OR LOCATIONS OF ALL PENETRATIONS FOR REVIEW AND ACCEPTANCE BY THE ARCHITECT.

EVERY EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE.

FABRICATE AND ERECT DOORS AND FRAMES TRUE, PLUMB AND SQUARE AS SPECIFIED AND DETAILED, AND AS PER MANUFACTURERS' WRITTEN RECOMMENDATIONS.

50. DELEGATED ENGINEER :

AS A MINIMUM, THE FOLLOWING SYSTEMS AND COMPONENTS REQUIRE FABRICATION AND ERECTION DRAWINGS WITH INPUT BY A DELEGATED PRACTICING FLORIDA REGISTERED PROFESSIONAL ENGINEER:

PRECAST CONCRETE TILT WALL PANEL LIGHT GAUGE EXTERIOR WALL SYSTEMS GLAZED EXTERIOR WALL SYSTEMS

OPEN WEB STEEL JOISTS JOIST GIRDERS SHORING.

51. STRUCTURAL ALUMINUM :

THE DESIGN, FABRICATION, AND ASSEMBLY OF STRUCTURAL ALUMINUM FOR BUILDINGS OR STRUCTURES SHALL CONFORM TO SPECIFICATIONS FOR ALUMINUM STRUCTURES, ALUMINUM CONSTRUCTION MANUAL, SECTION 1, OF ALUMINUM ASSOCIATION.

52. STOREFRONT SYSTEM :

TRULITE "RESISTOR 3100" STOREFRONT / WINDOW WALL GLAZING SYSTEM (OR APPROVED EQUAL BY ARCHITECT) WITH TEMPERED GLASS. GLASS AND FRAMING COLOR TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD COLOR PALLETTE. THE FRAMING LAYOUT SHOWN ON THESE DRAWINGS IS DIAGRAMATIC ONLY - FABRICATOR SHALL DESIGN THE FRAMING SYSTEM INCLUDING MULLION LAYOUT AND PRECISE DOOR LOCATIONS AND SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR HIS REVIEW PRIOR TO FABRICATION. PROVIDE DE-MOUNTABLE CORRUGATED METAL HURRICANE SHUTTERS FOR IMPACT PROTECTION ON ALL GLAZING, OR, PROVIDE IMPACT RESISTANT GLASS AS AN ALTERNATE.

53. SHOP DRAWINGS

THE CONTRACTOR SHALL SUBMIT AS MANY SETS AS REQUIRED BY G.C. PLUS ONE SET EACH FOR ARCHITECT, ENGINEER AND OWNER OF STAMPED AND APPROVED SHOP DRAWINGS CALLED FOR ON THE CONTRACT DOCUMENTS AND/OR REQUIRED BY OWNER AND/OR BUILDING OFFICIALS TO THE ARCHITECT IN SUFFICIENT TIME TO BE REVIEWED AND PROCESSED SO AS TO CAUSE NO DELAY. DRAWINGS WILL NOT BE REVIEWED UNLESS APPROVED AND STAMPED BY CONTRACTOR. ITEMS REQUIRING SUBMITTAL INCLUDES BUT NOT LIMITED TO :

METAL FABRICATIONS HARDWARE AND DOORS GLAZING ASSEMBLIES STOREFRONT AND WINDOWS WALL AND ROOF INSULATION TILES, PAVERS AND GROUT VARNISH, SEALERS AND COATINGS PAINTS AND STAINS SEALANTS AND CAULKING PRECAST CONCTETE COMPONENTS

SIGNAGE AND GRAPHICS TOILET PARTITIONS ELEVATORS FIRE SPRINKLER SYSTEM PLUMBING FIXTURES AND DRAINS H.V.A.C. EQUIPMENT AND CONTROLS H.V.A.C. VIBRATION AND NOISE ISOLATION H.V.A.C. GRILLES LIGHTING FIXTURES

54. SUBSTITUTIONS:

BRAND NAMES, MODEL NUMBERS, OR SPECIFIC MANUFACTURERS ARE INDICATED TO ESTABLISH A STANDARD OF QUALITY. CONTRACTOR MAY, WITH OWNER'S APPROVAL. SUBSTITUTE MATERIALS OR EQUIPMENT OF EQUIVALENT QUALITY. THIS IS ASSUMED RATHER THAN INDICATING "OR EQUIVALENT" IN ANY CASE. ALL INSTALLATIONS AND HANDLING SHALL BE PER MANUFACTURER'S PUBLISHED INSTRUCTIONS AND PER OSHA STANDARDS (IF APPLICABLE).

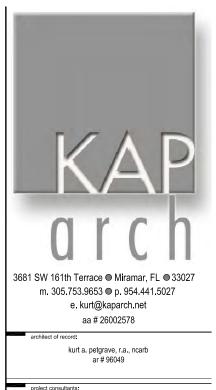
SUBSTITUTIONS, OR "APPROVED EQUIVALENT" PRODUCTS, ARE TO BE REVIEWED BY OWNER/ARCHITECT PRIOR TO PURCHASE AND/OR INSTALLATION. ALL MATERIALS AND/OR PRODUCTS ARE TO BE ORDERED IN A TIMELY MANNER AND WILL NOT CONSTITUTE REASON FOR SUBSTITUTIONS.

55. GUARANTEE PERIOD:

ACCEPTANCE DATE STARTING 1 YEAR GUARANTEE PERIOD TO BE EARLIEST OF FOLLOWING DATES:

- 1. FINAL PAYMENT
- 2. OCCUPANCY OF THE RESIDENCE
- 3. MUTUALLY AGREED UPON DATE BETWEEN OWNER AND CONTRACTOR

GUARANTEE: FOR CERTAIN ITEMS OF WORK WITH GUARANTEE PERIODS LONGER THAN ONE YEAR, EXCEPT AS OTHERWISE NOTED, AND AS CONDITION PRECEDENT TO FINAL PAYMENT, EACH SUBCONTRACTOR IN UNDERTAKING WORK UNDER APPLICABLE HEADING, HEREBY GUARANTEES MATERIALS AND WORKMANSHIP AGAINST DEFECTS FOR ONE YEAR AFTER ACCEPTANCE OF COMPLETED JOB AND AGREES TO CORRECT, AT HIS OWN EXPENSE, WORK SHOWING SUCH DEFECTS.



MR. DENNIS WRIGHT 3566 SW 50th STREET FORT LAUDERDALE, FLORIDA 33312

project title

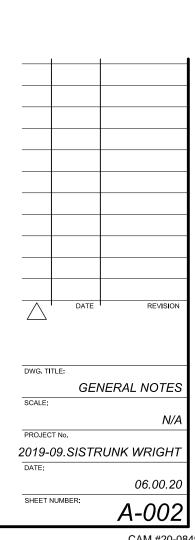
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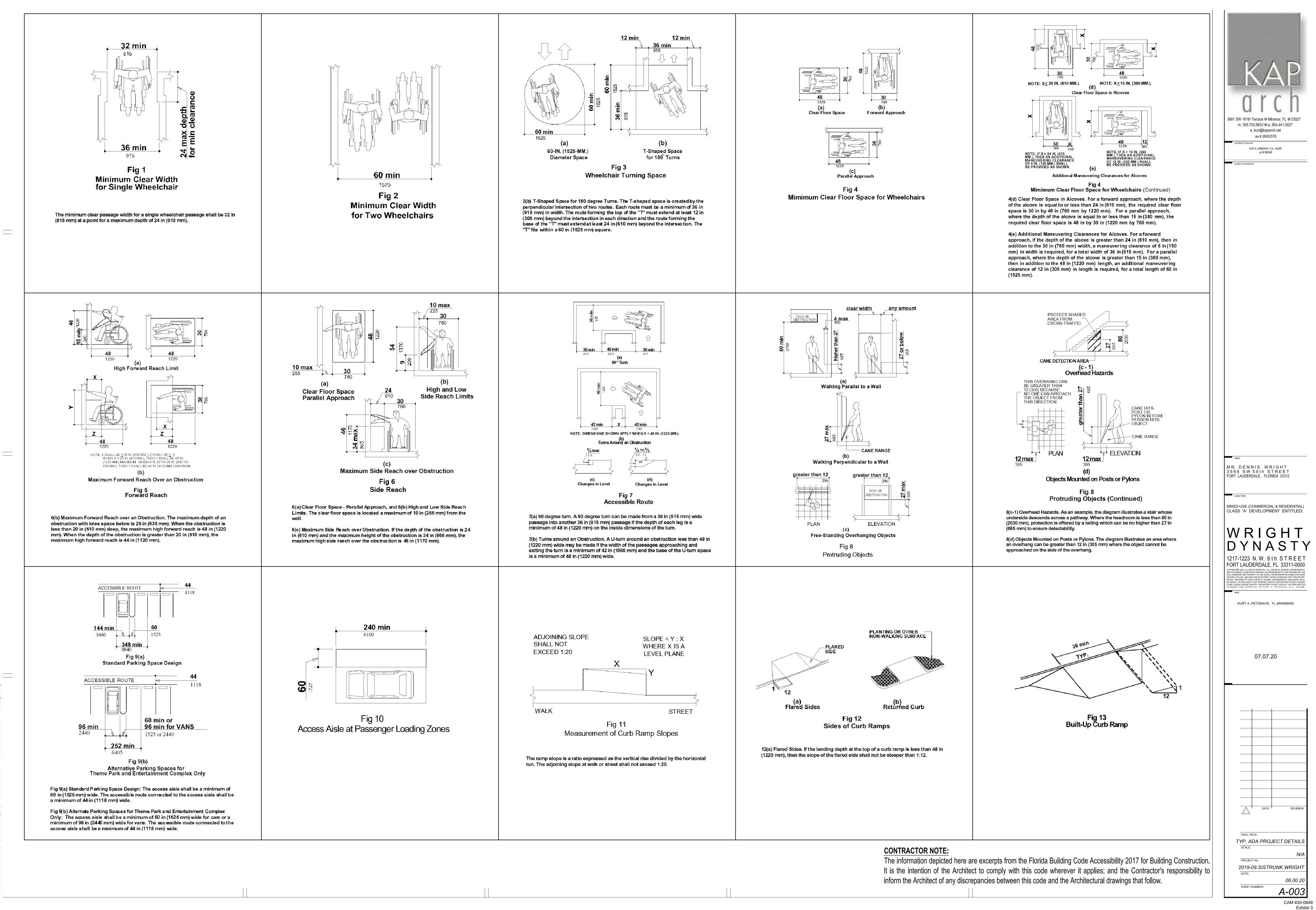


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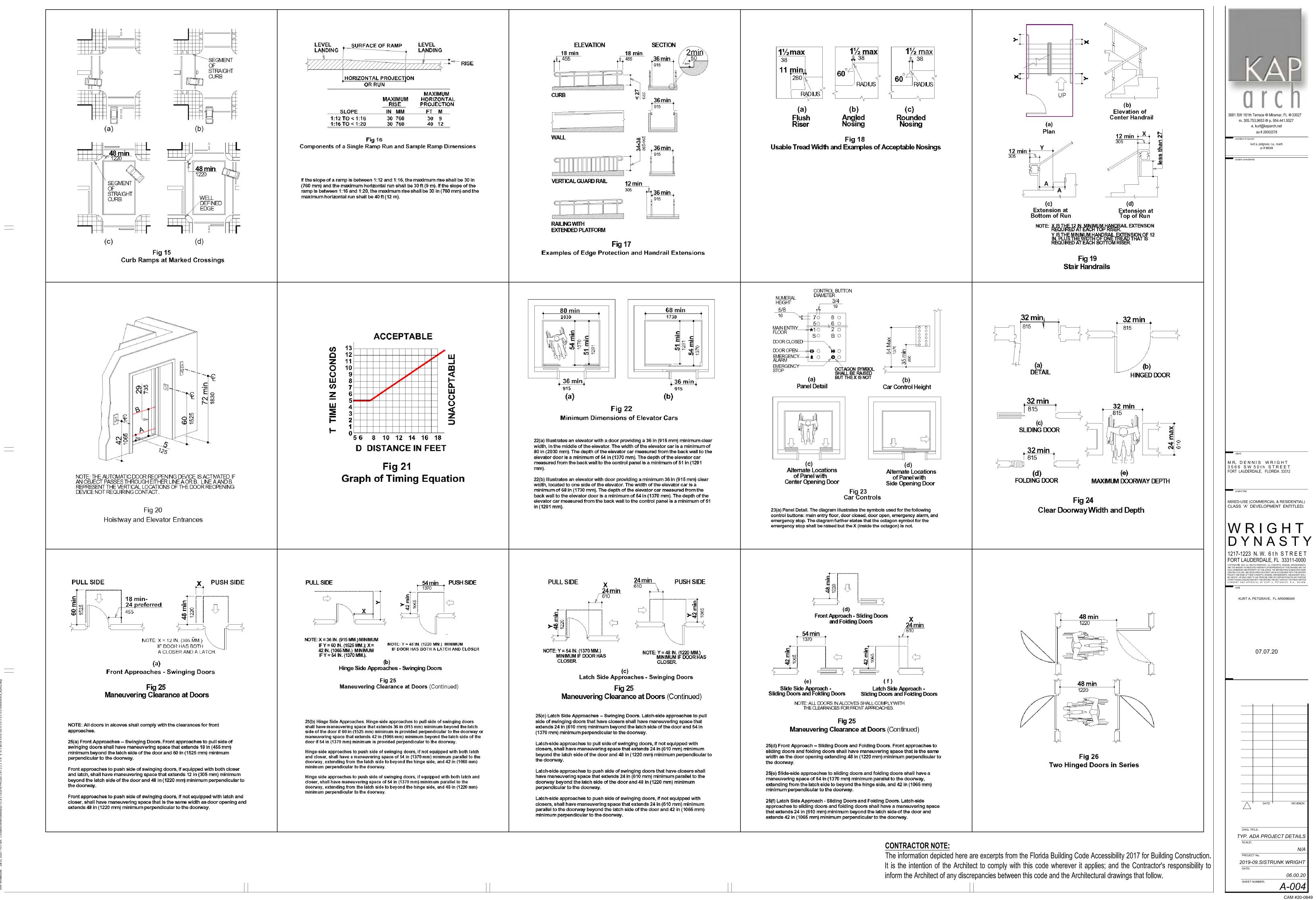
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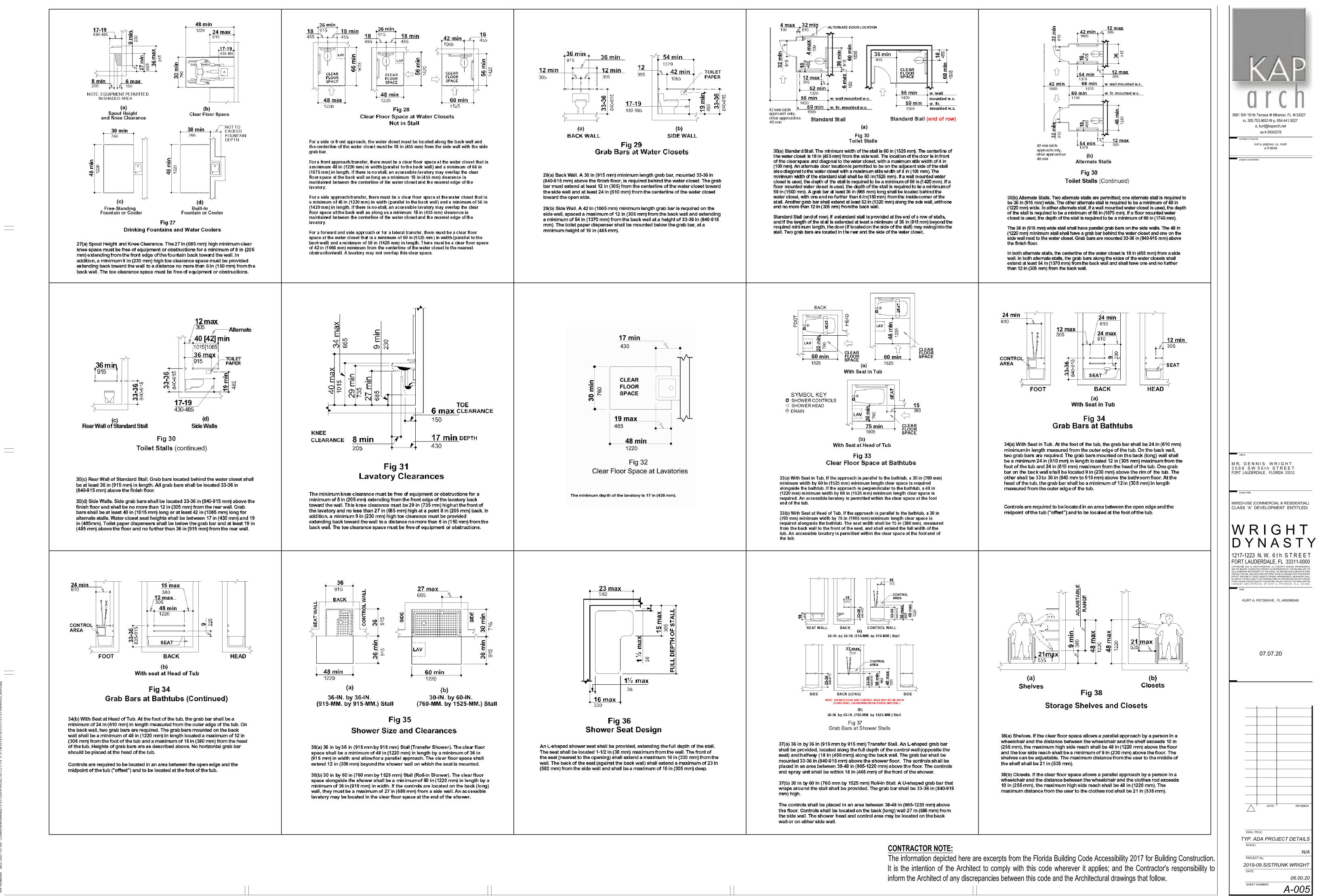


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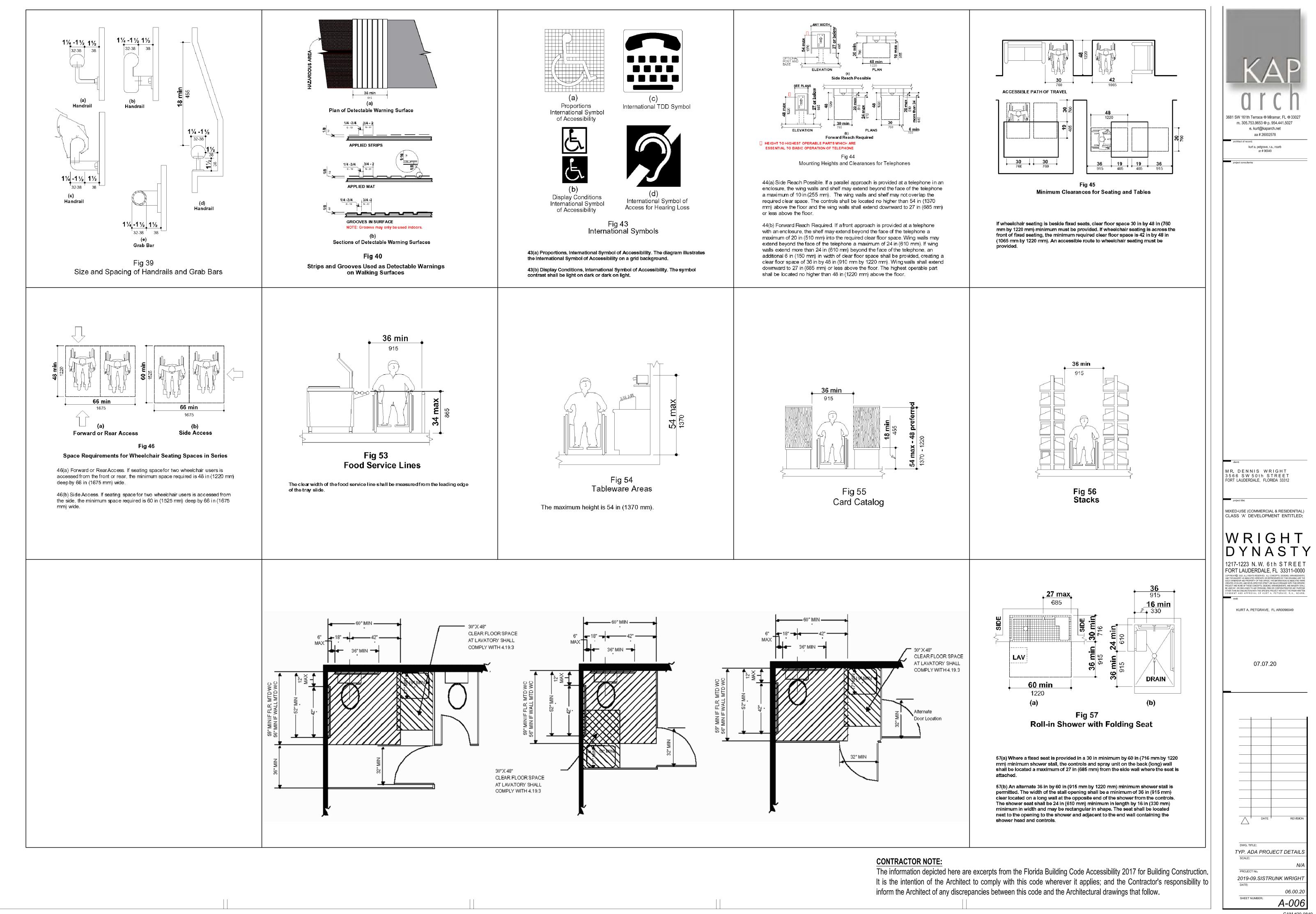


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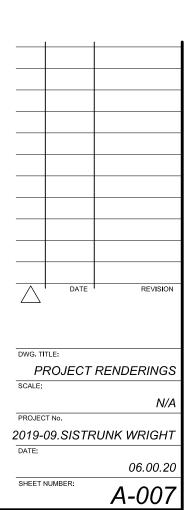
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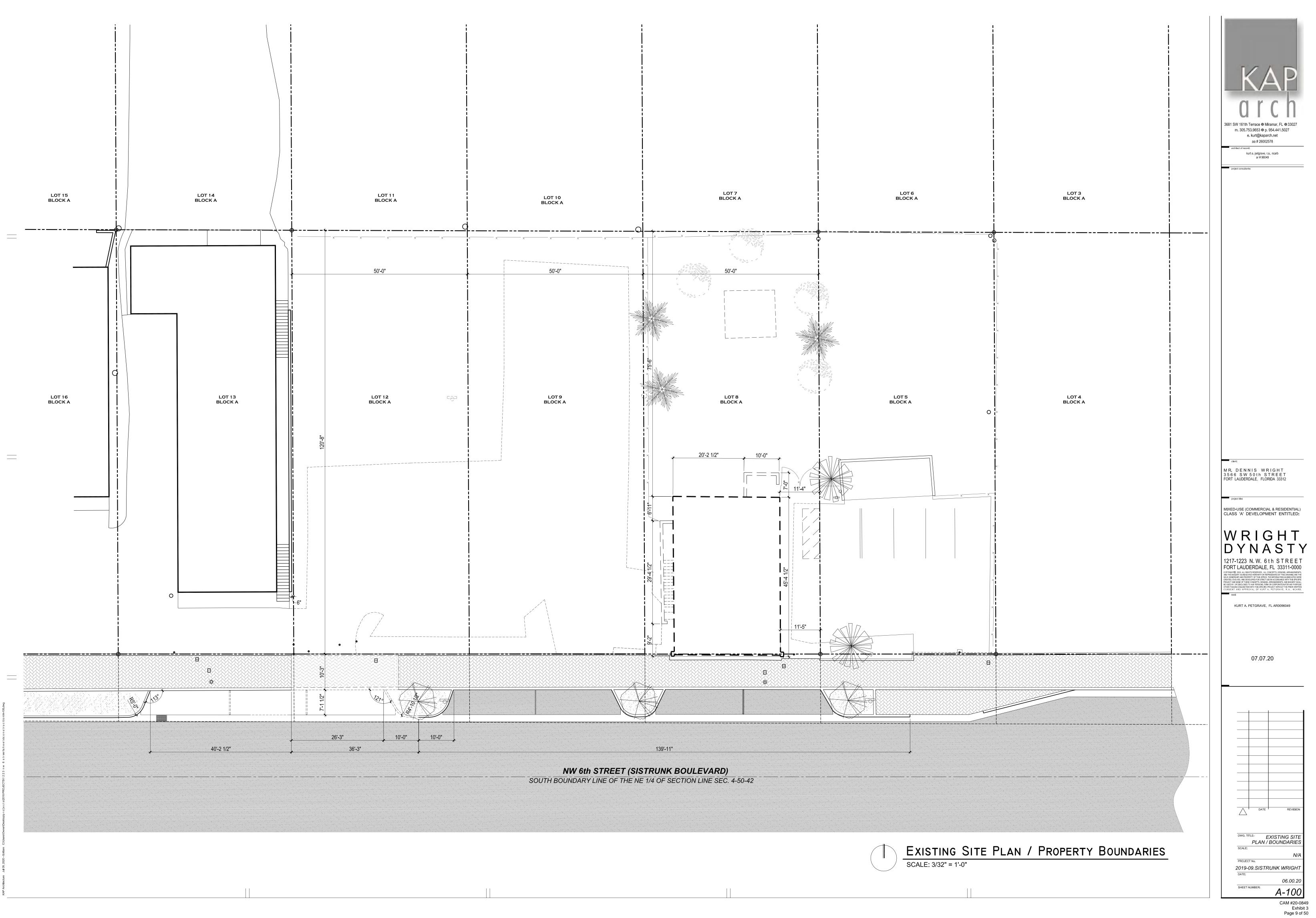
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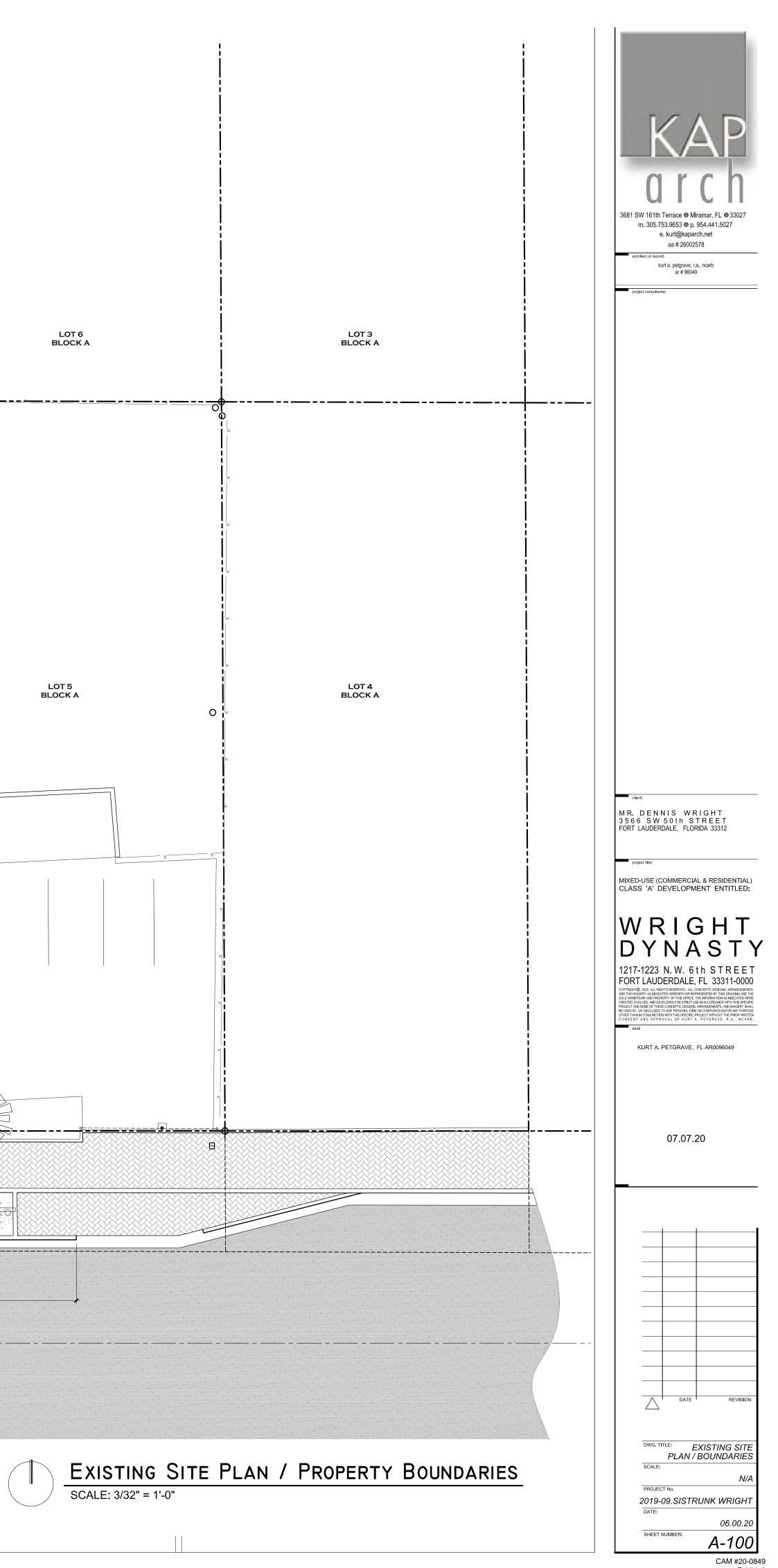
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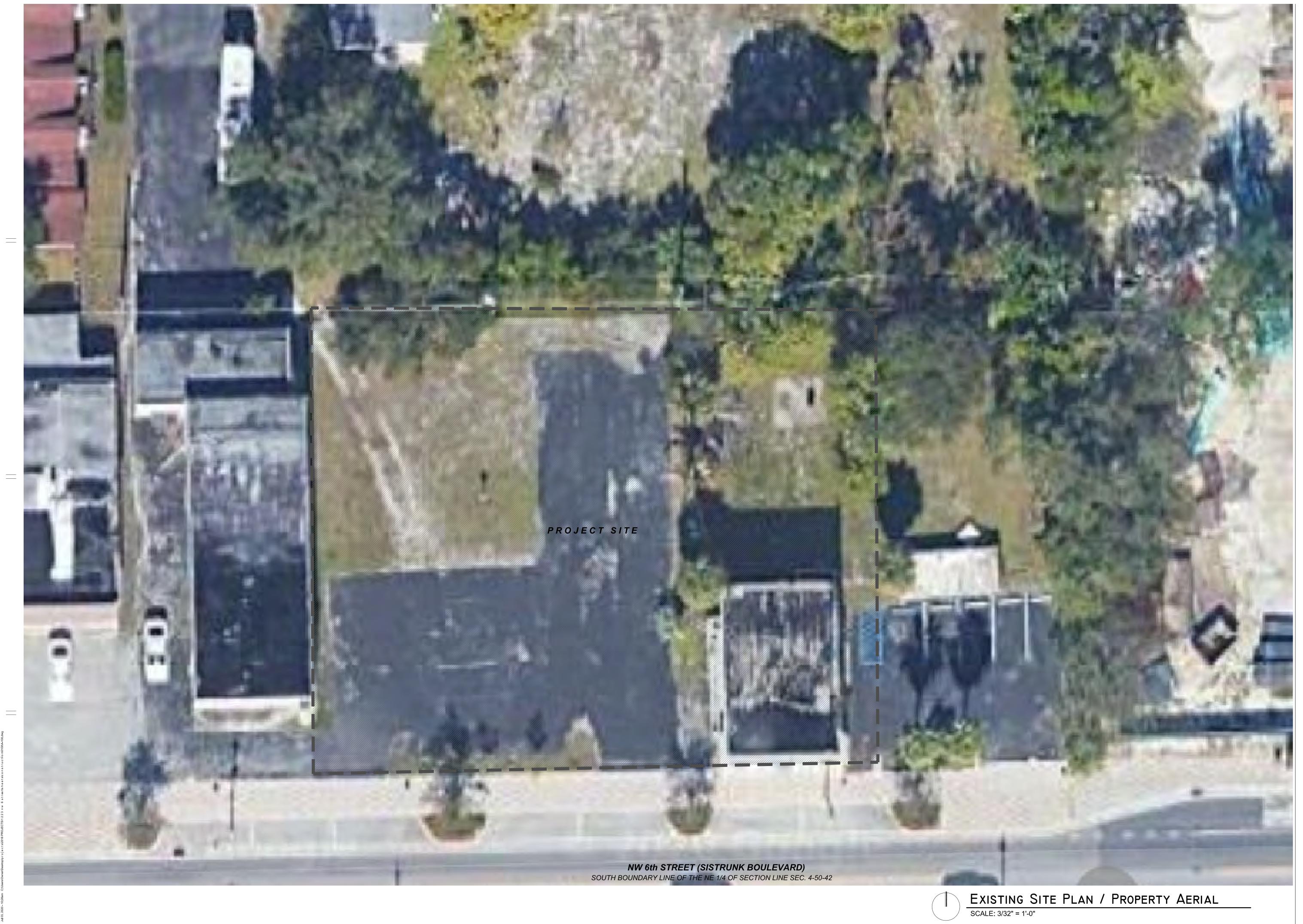
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MR. DENNIS WRIGHT 3566 SW 50th STREET FORT LAUDERDALE, FLORIDA 33312

project title:

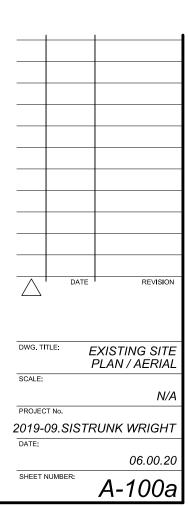
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KURT A. PETGRAVE, FL AR0096049

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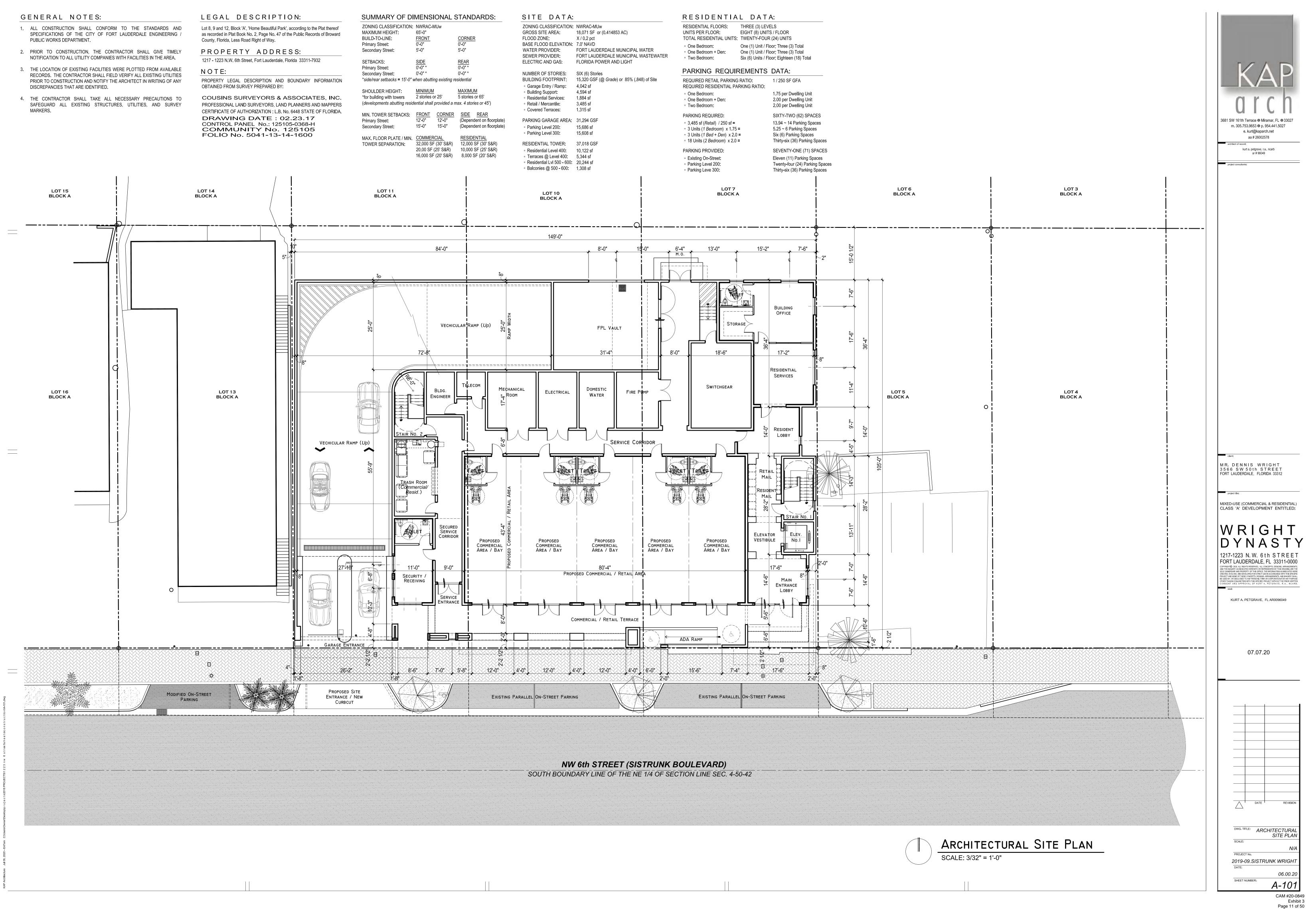
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- DISCREPANCIES THAT ARE IDENTIFIED.
- MARKERS.

ZONING CLASSIFICATION:	NWRAC-MUw
MAXIMUM HEIGHT:	65'-0"
BUILD-TO-LINE:	FRONT
Primary Street	0'-0"
Secondary Street:	5'-0"
SETBACKS:	<u>SIDE</u>
Primary Street:	0'-0" *
Secondary Street:	0'-0" *
*side/rear setbacks = 15'-0" v	vhen abutting e
SHOULDER HEIGHT:	MINIMUM
4 C 1 11 11 14 14 1	0 - 1 - 1 0/







MR. DENNIS WRIGHT 3566 SW 50th STREET FORT LAUDERDALE, FLORIDA 33312

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MIXED-USE (COMMERCIAL & RESIDENTIAL) CLASS 'A' DEVELOPMENT ENTITLED:

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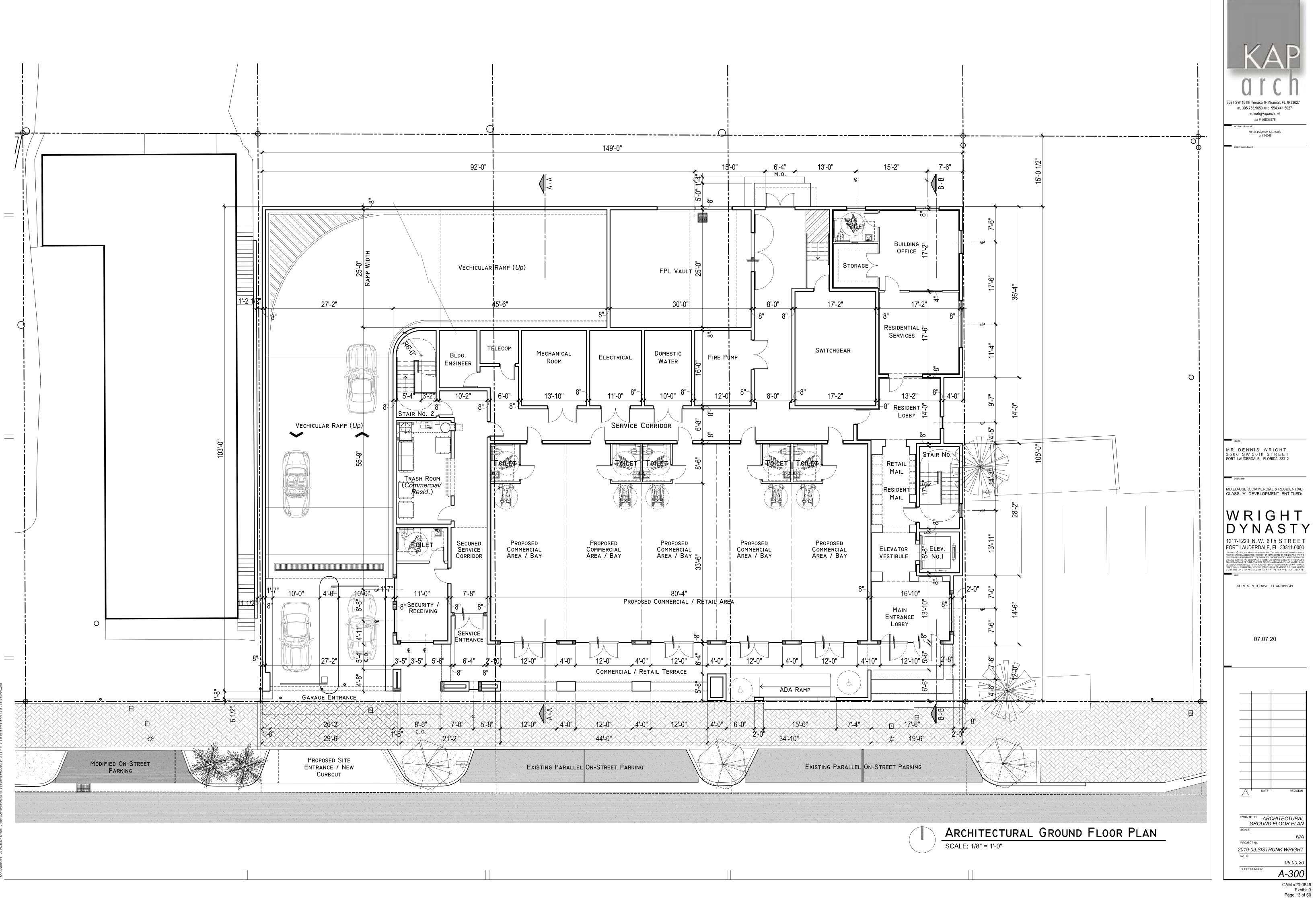
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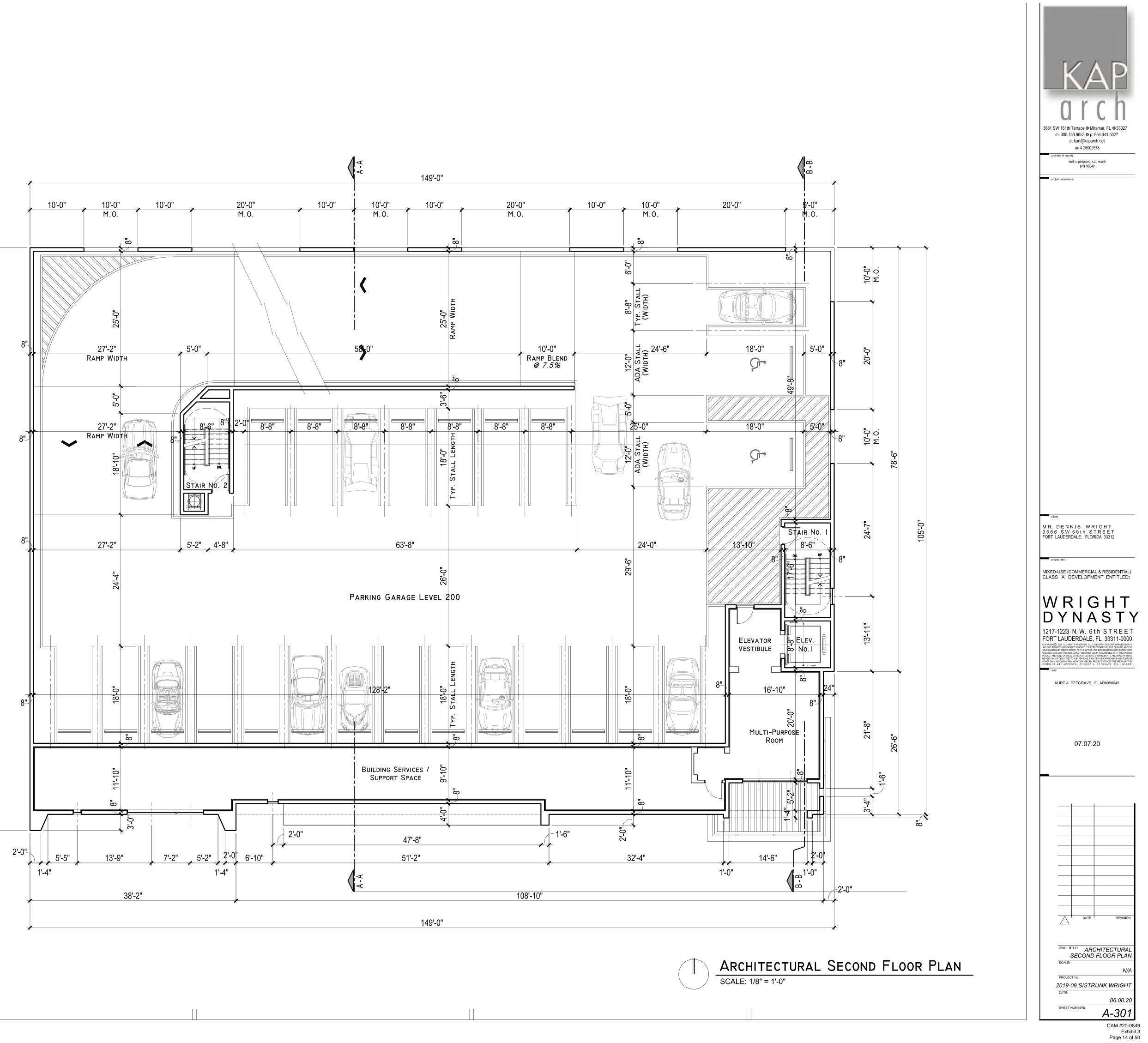
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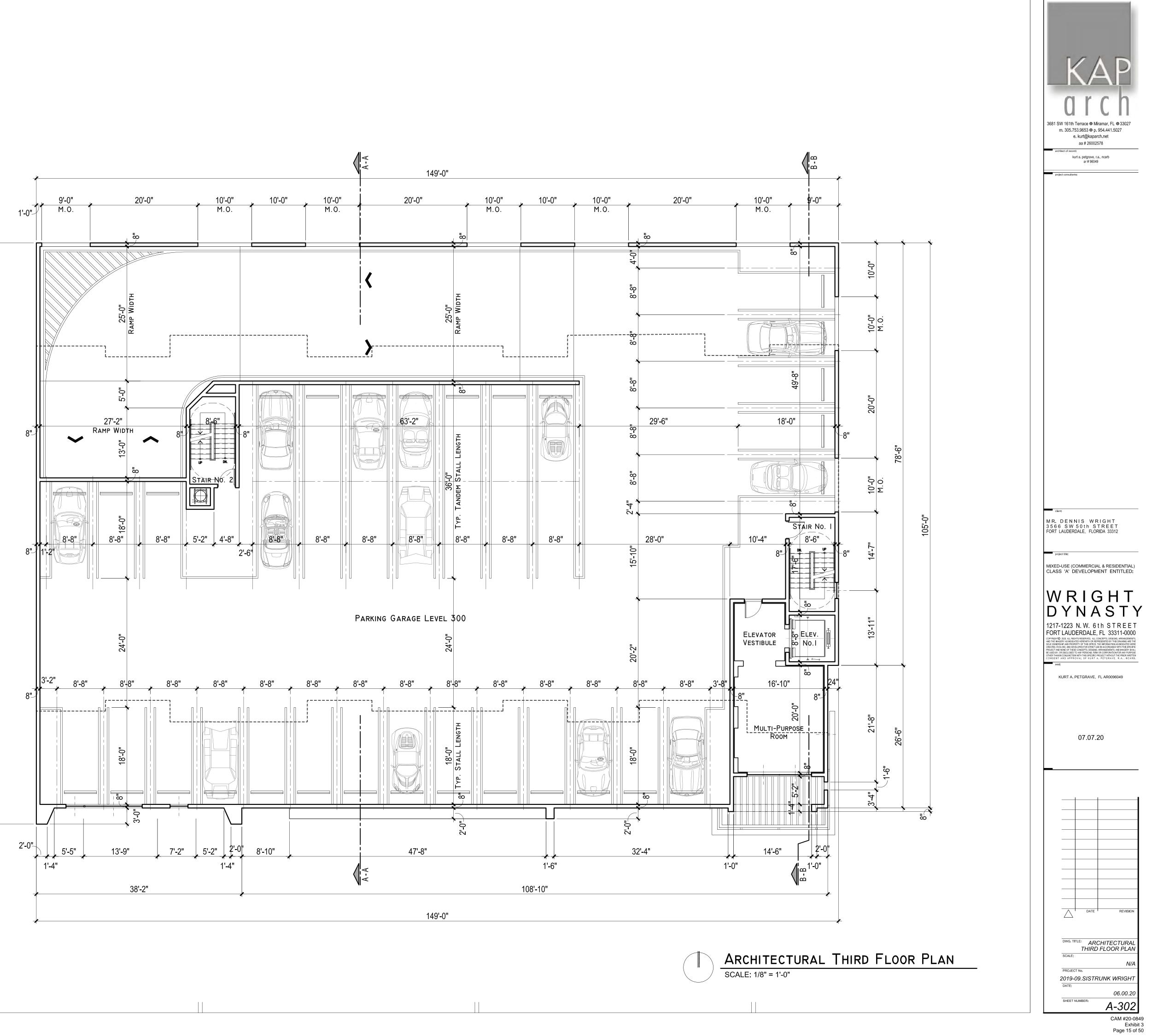
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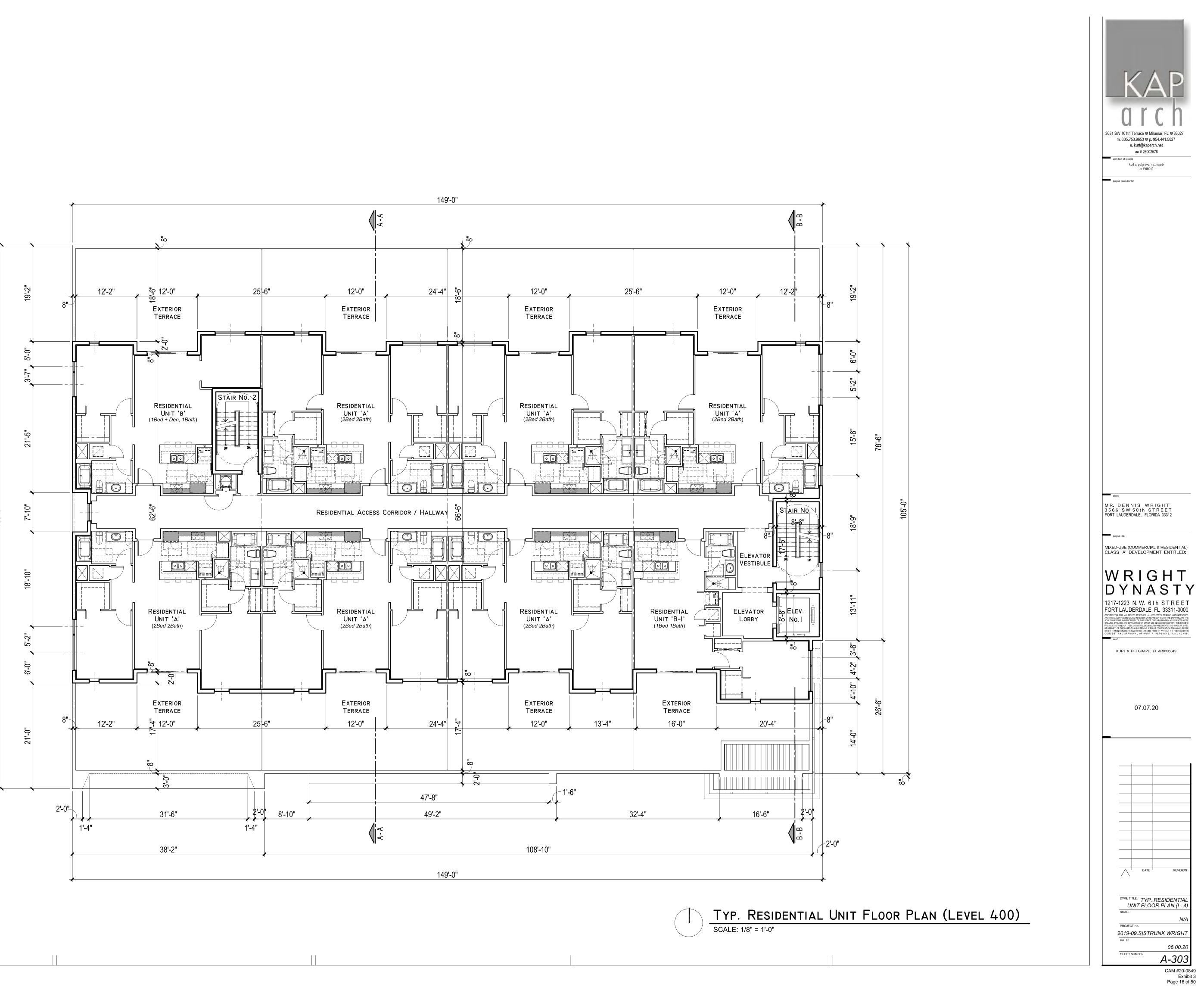
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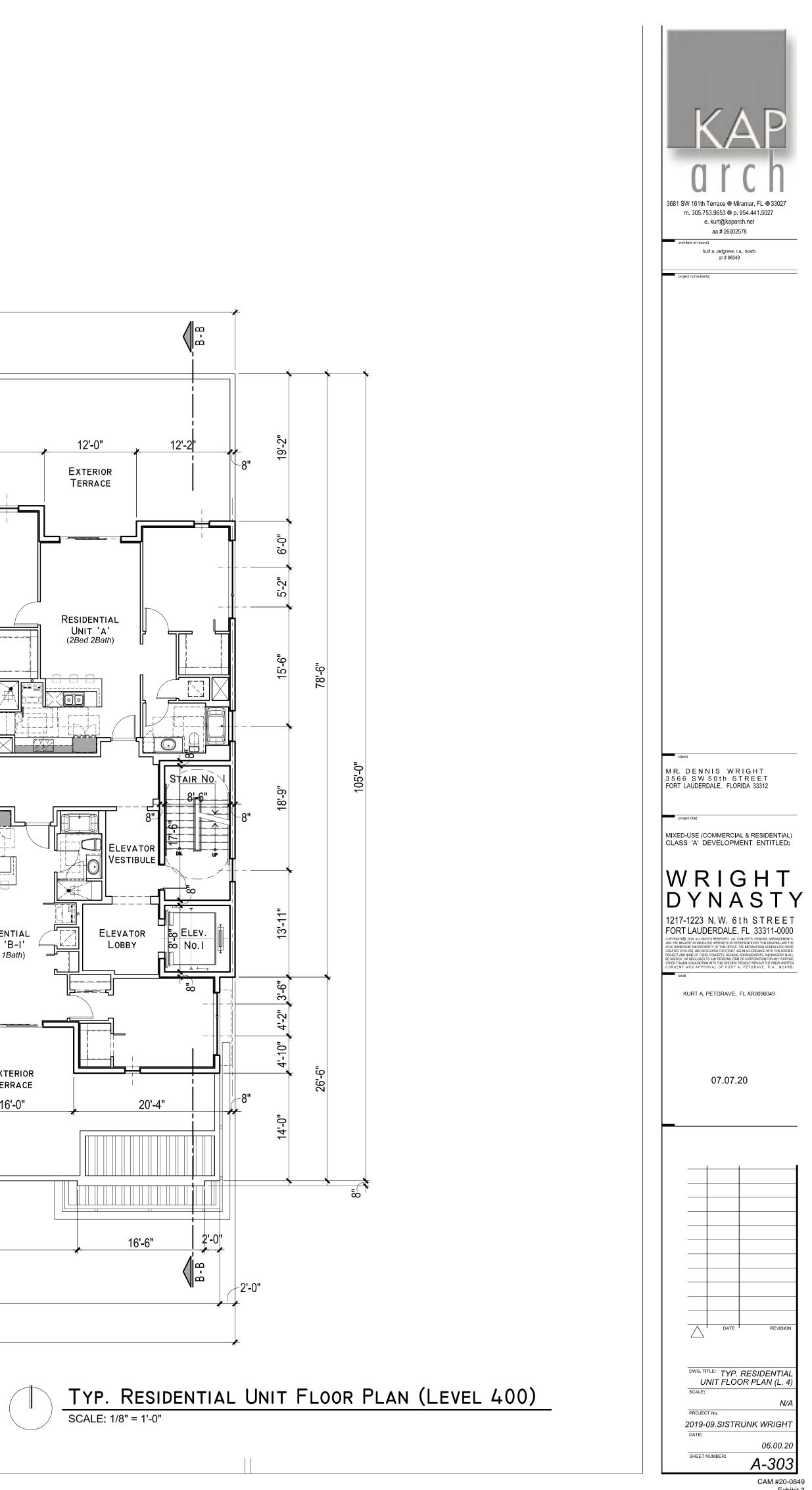




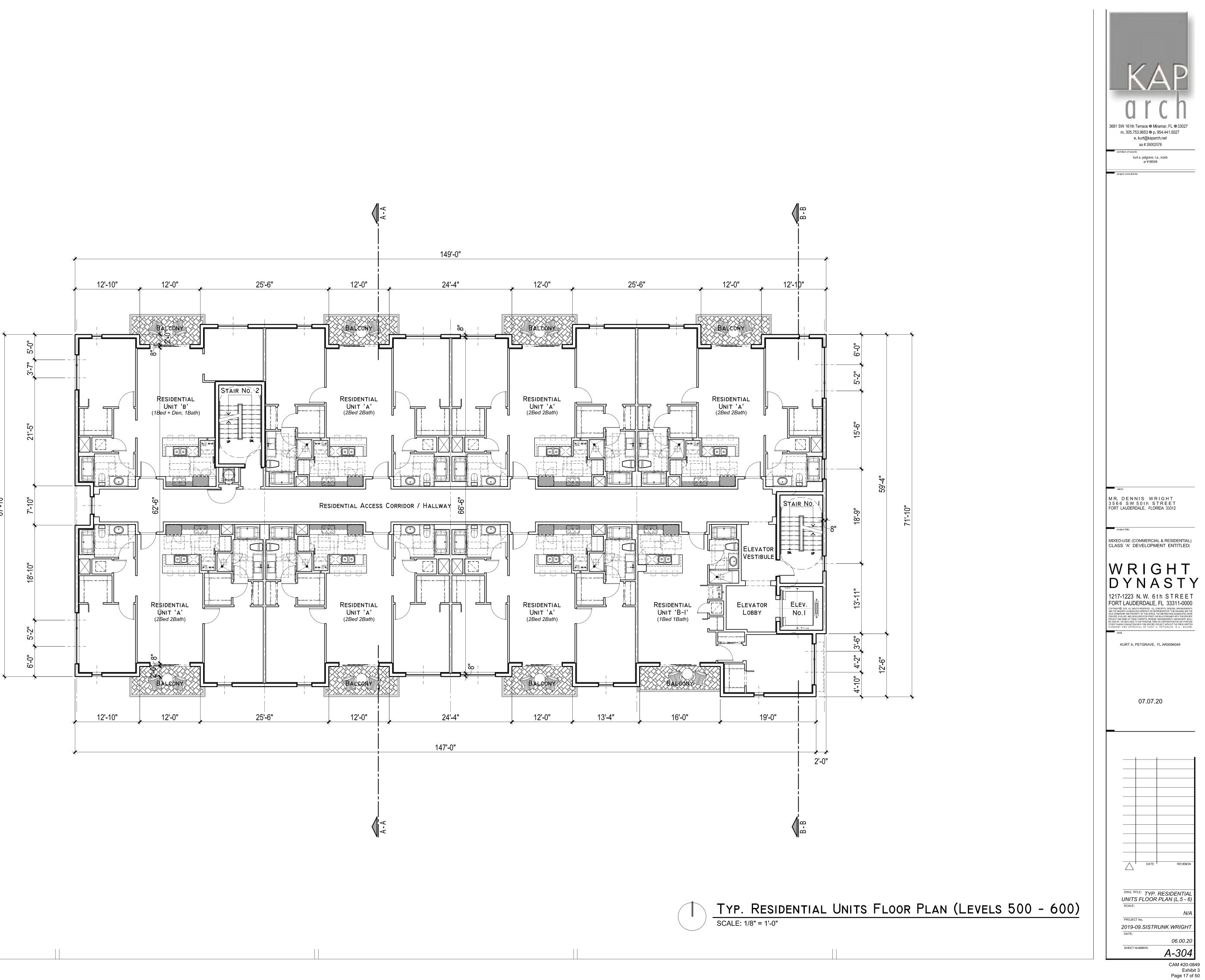


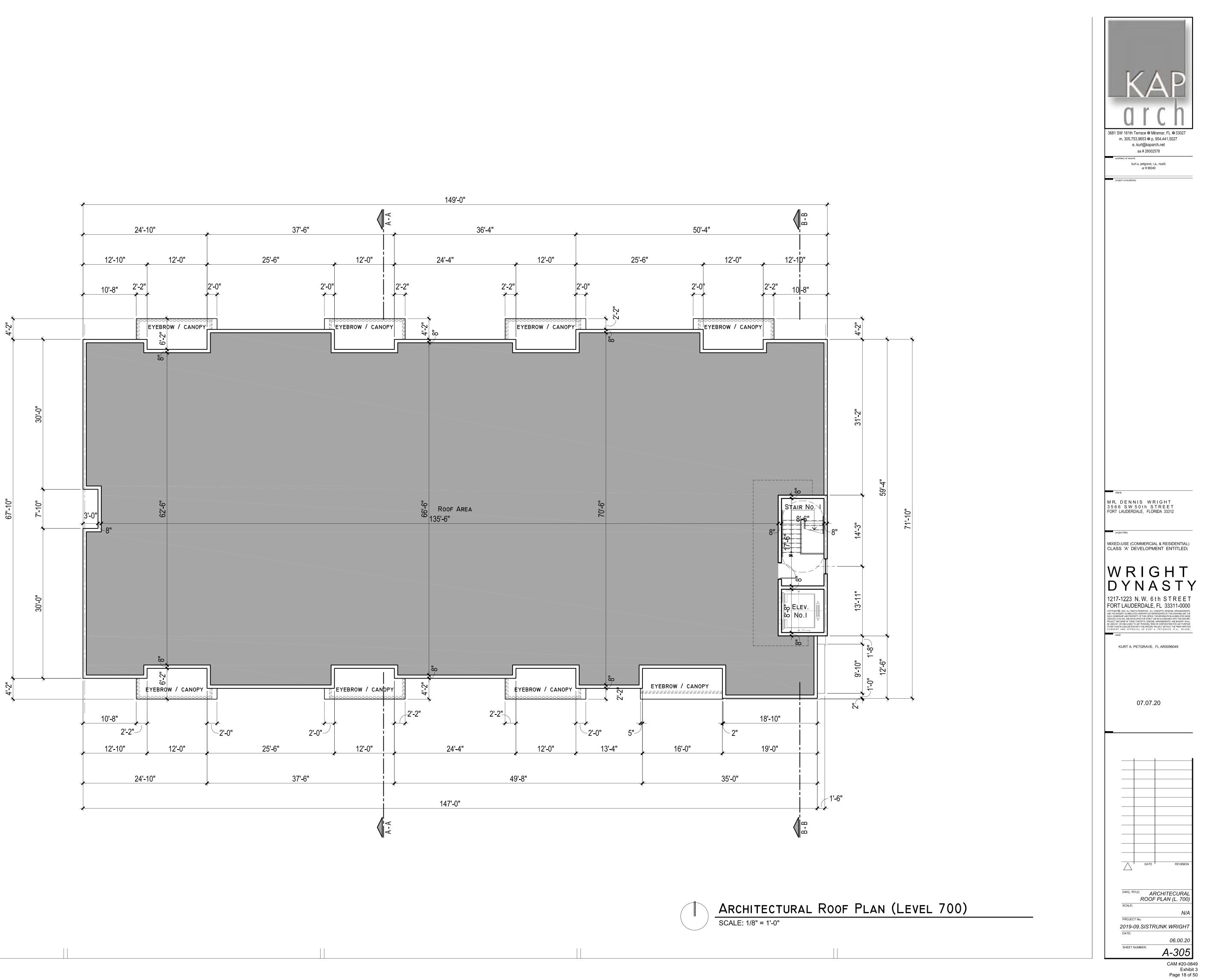


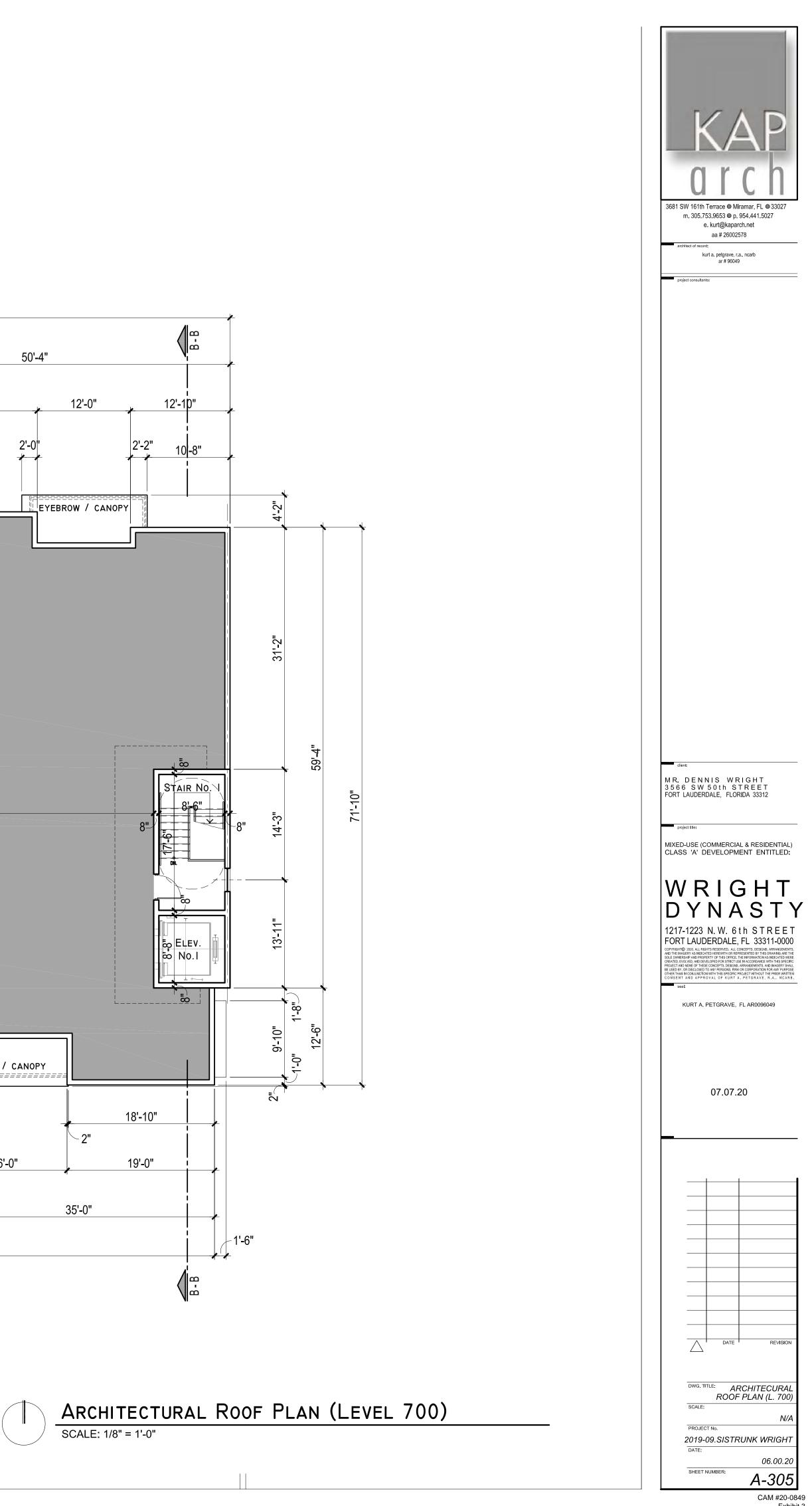


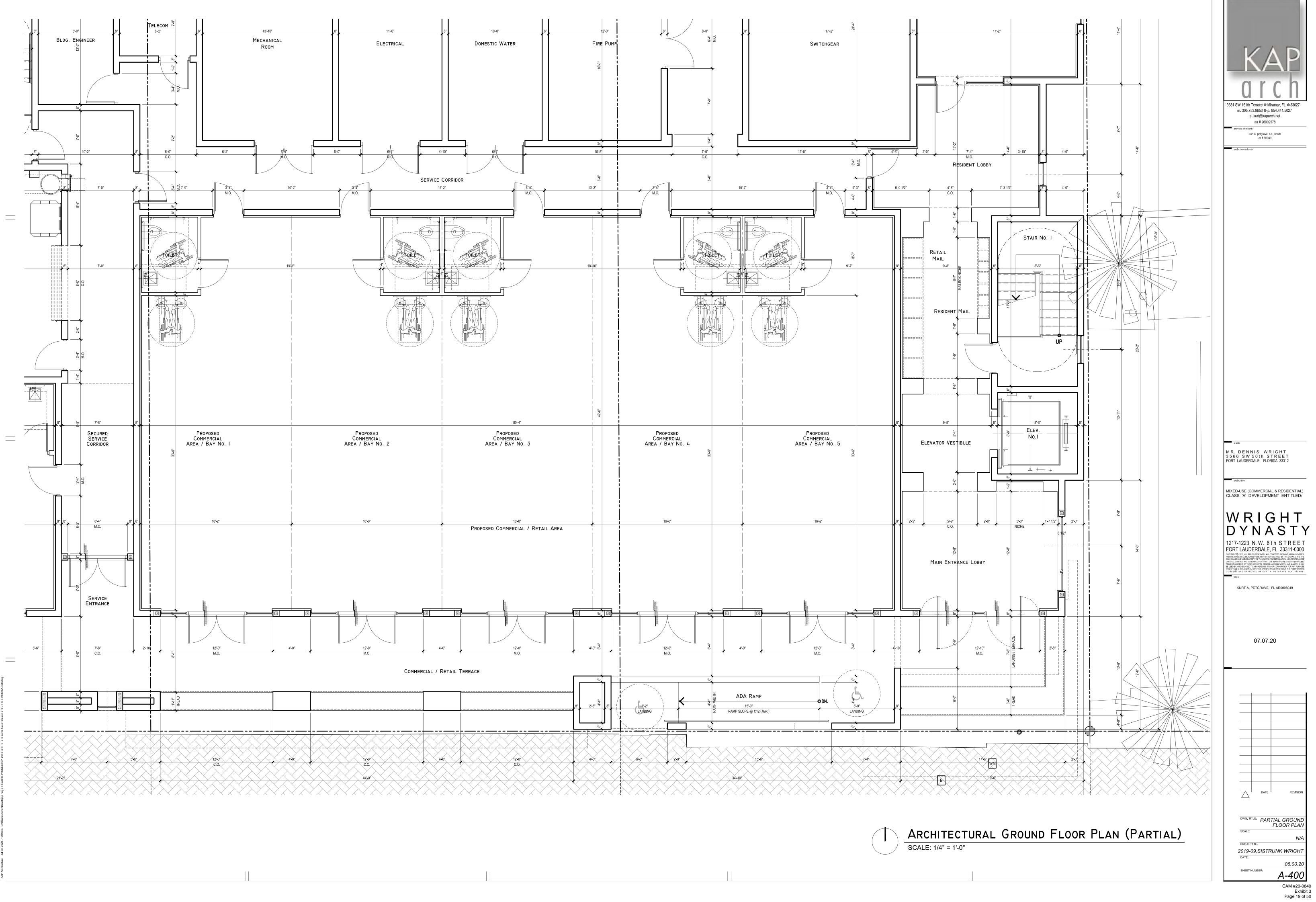


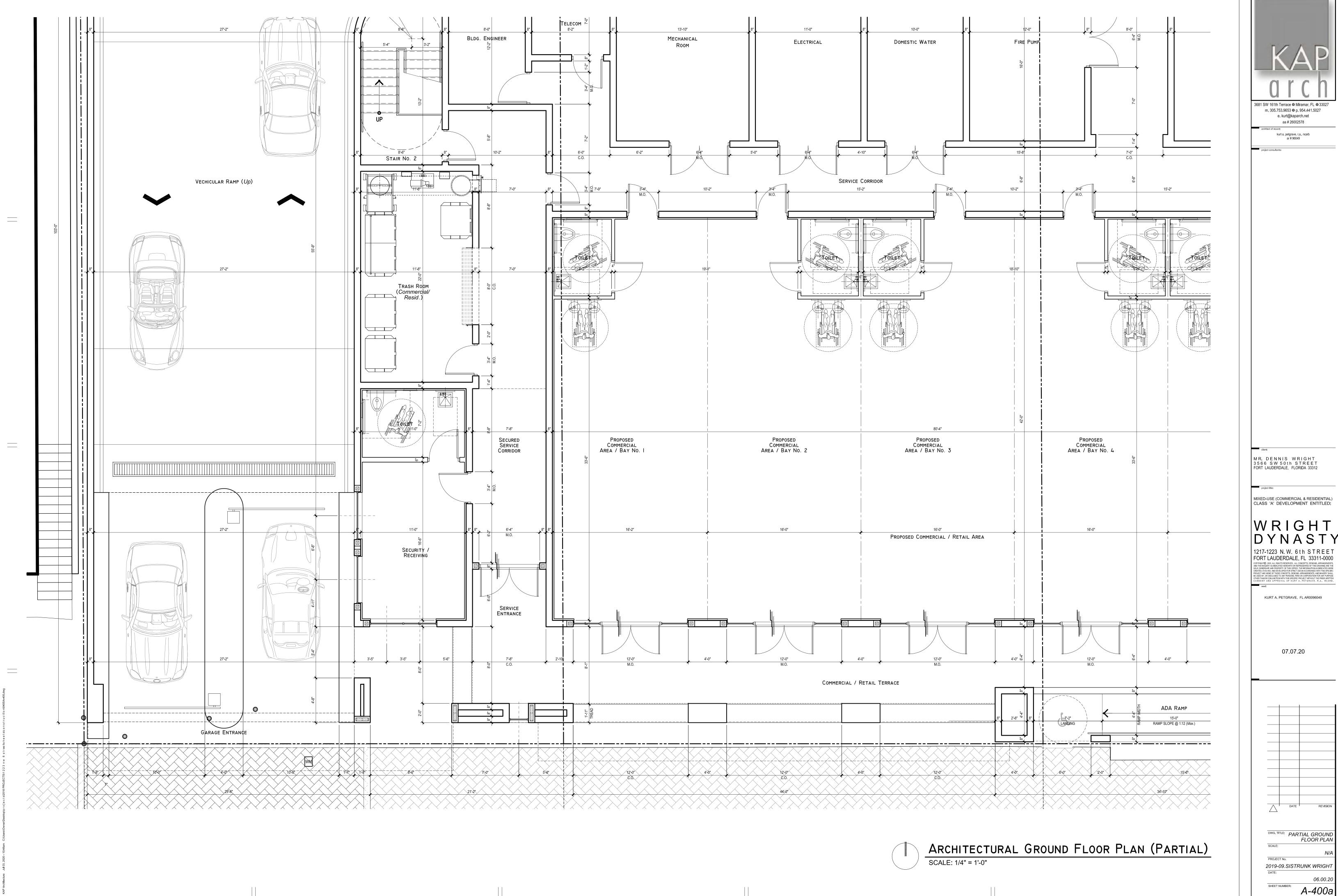




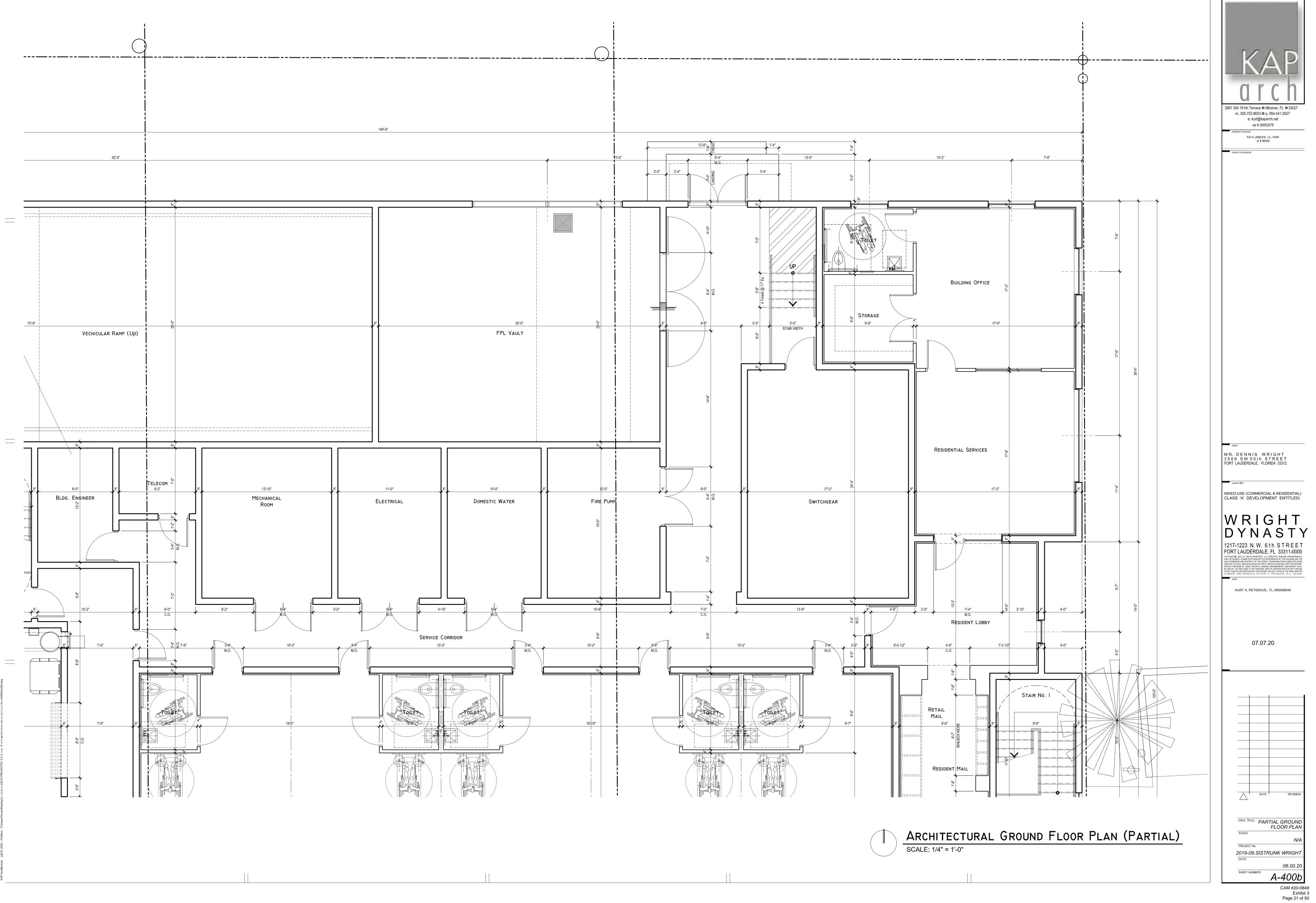


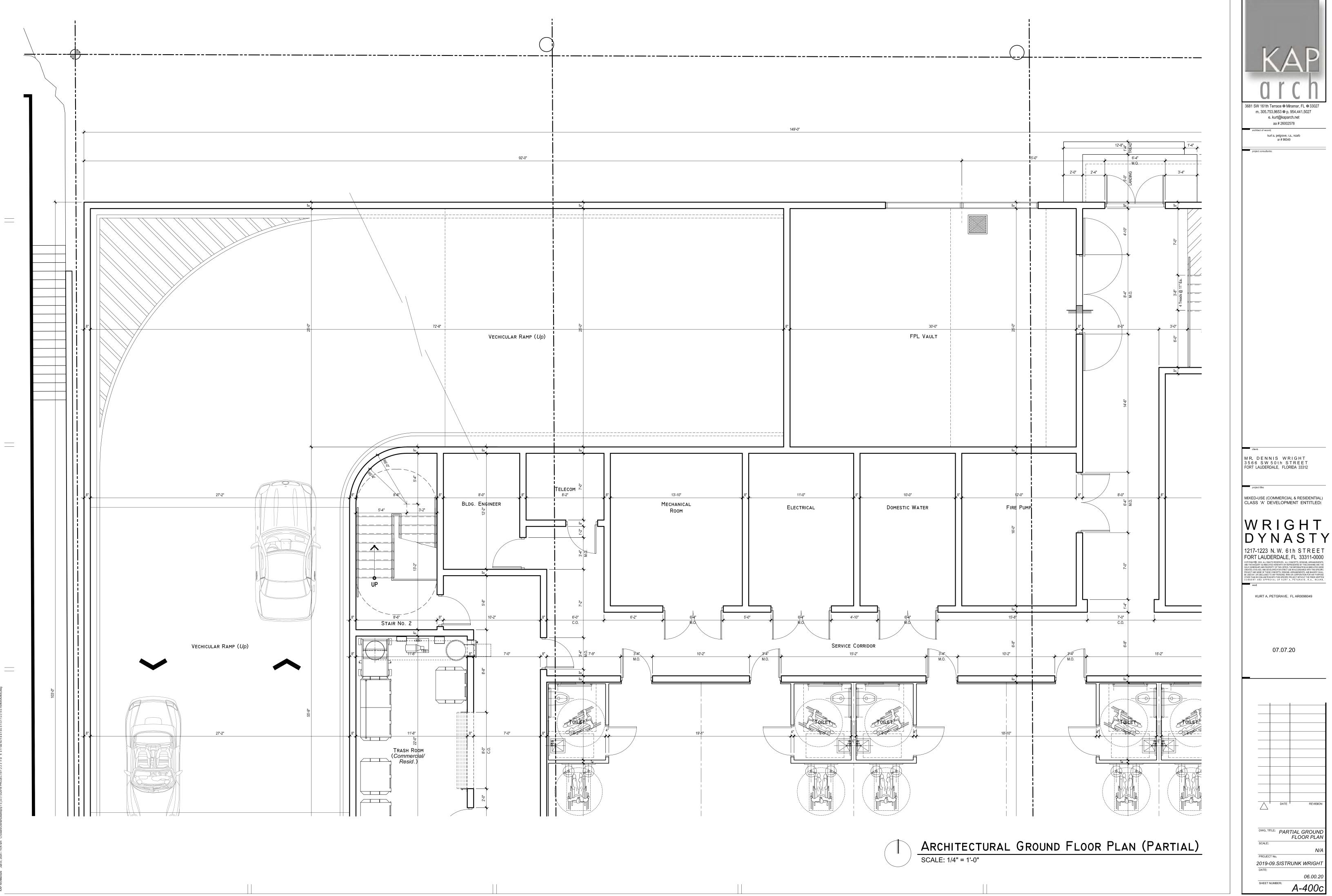






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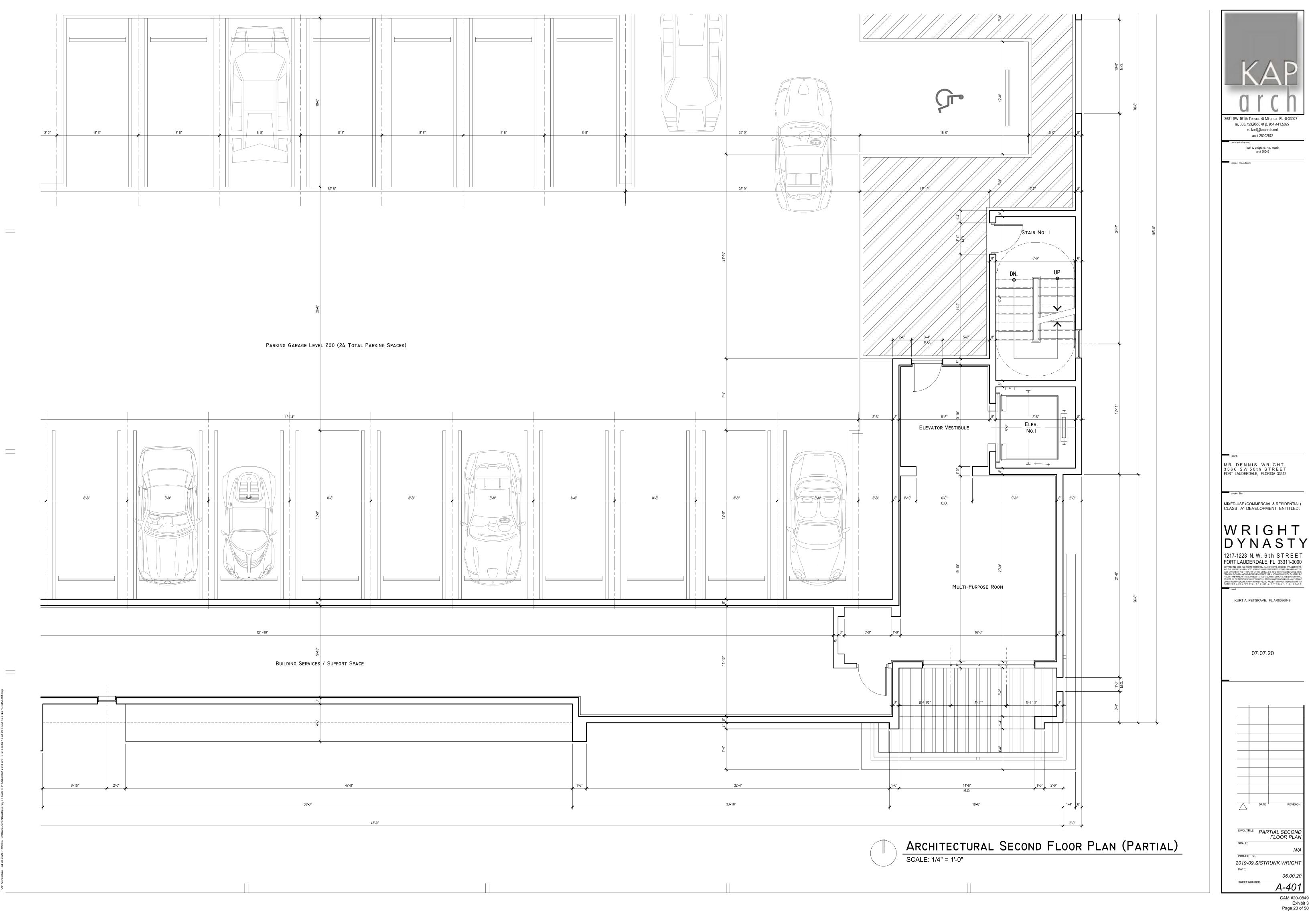


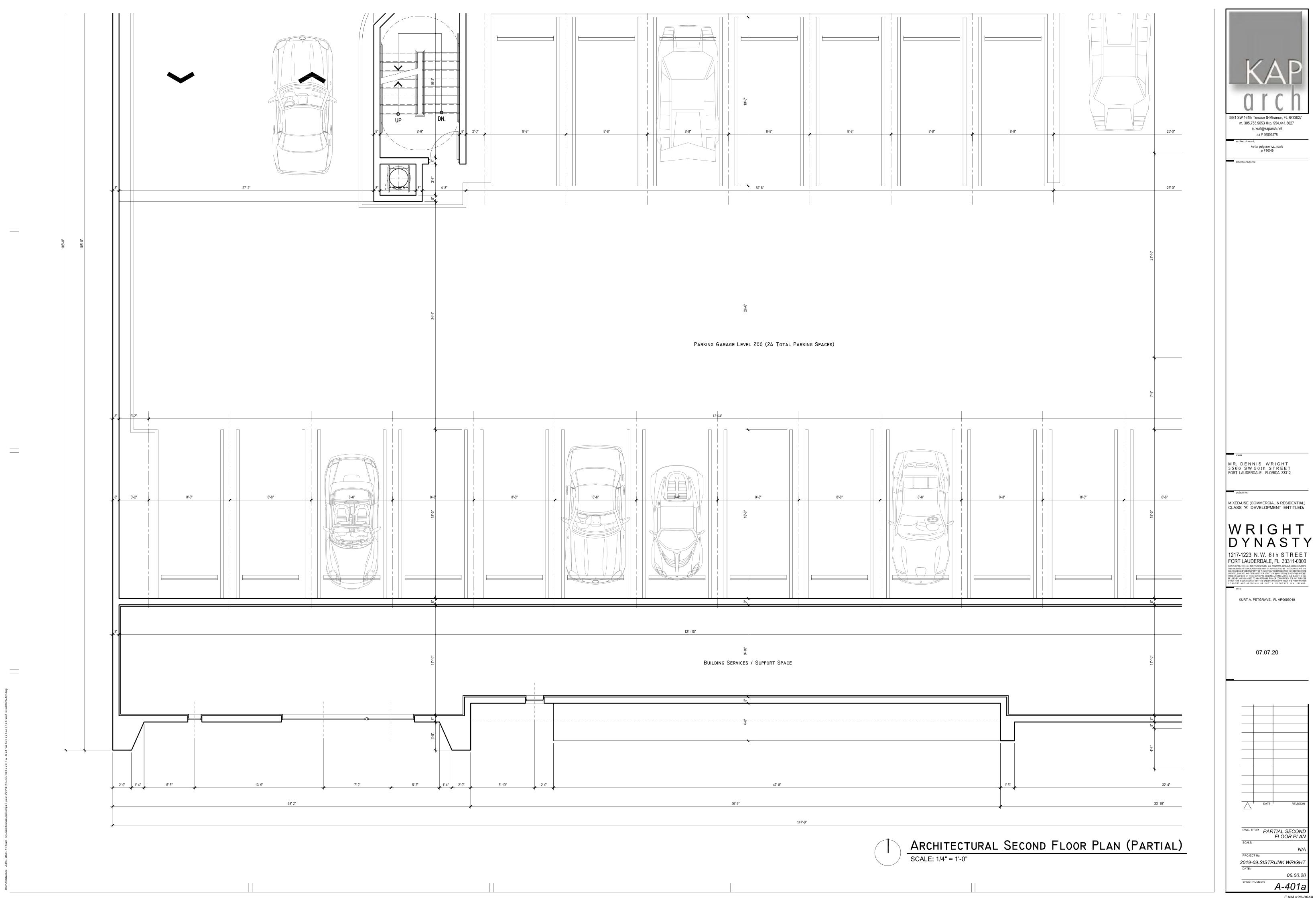


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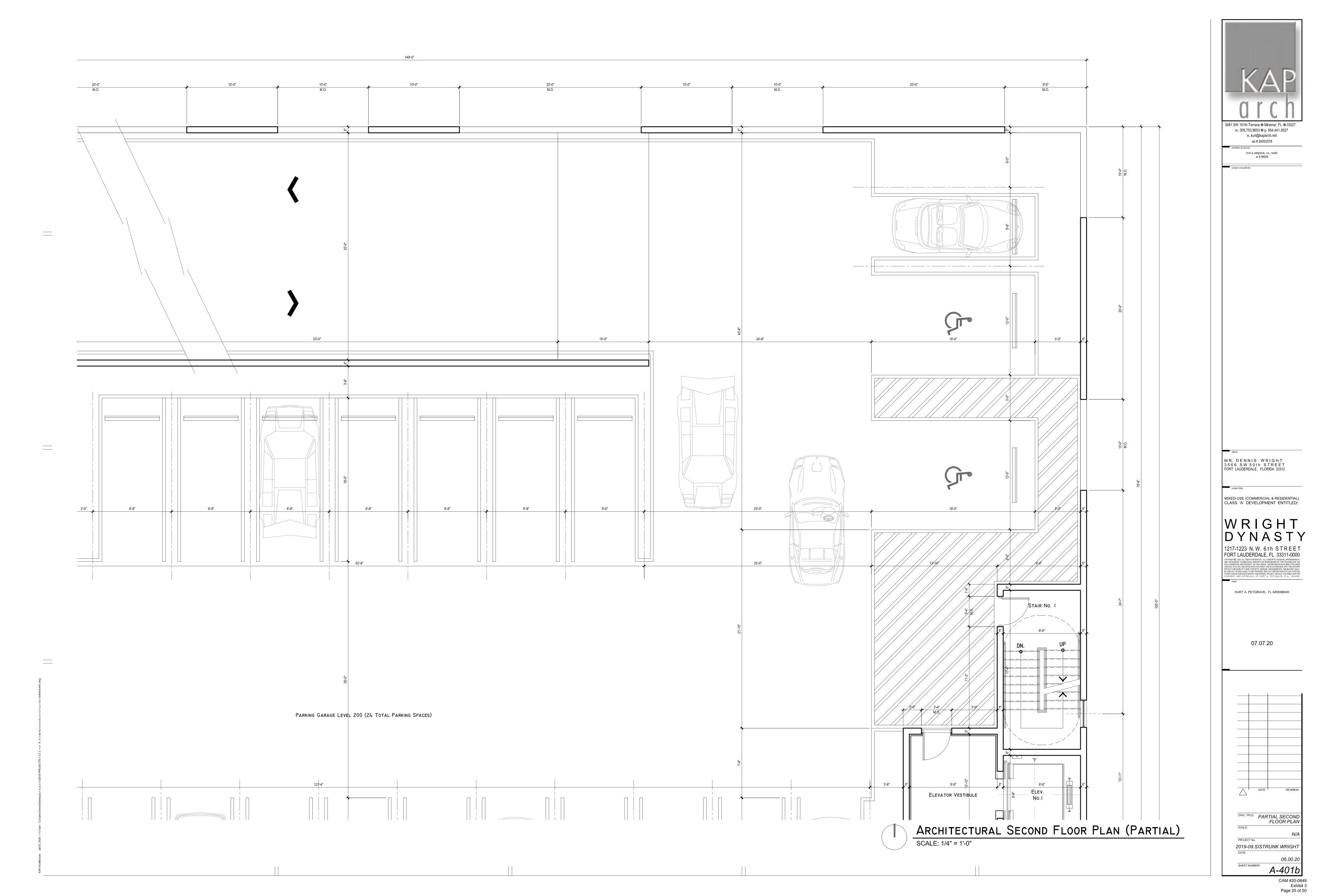
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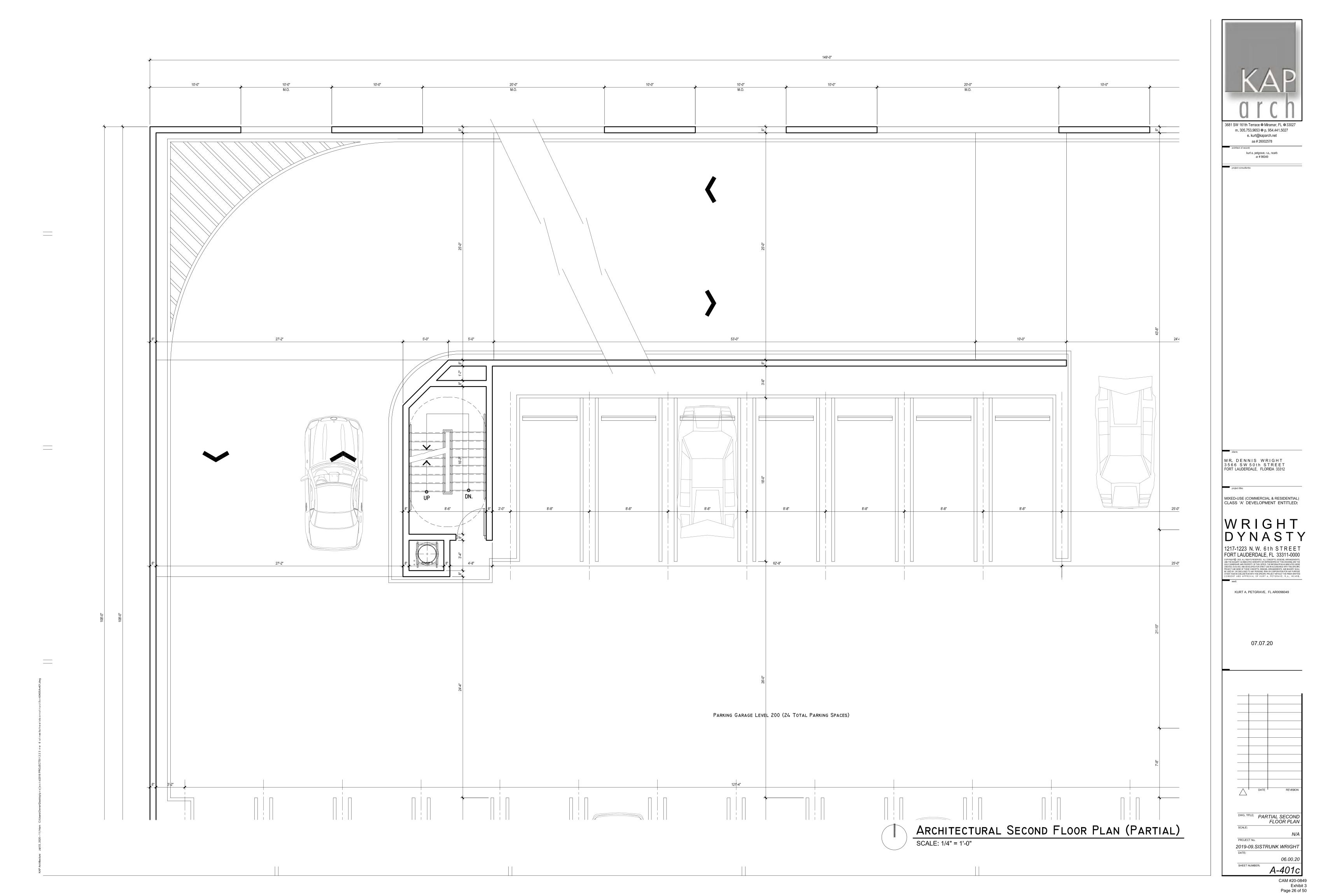
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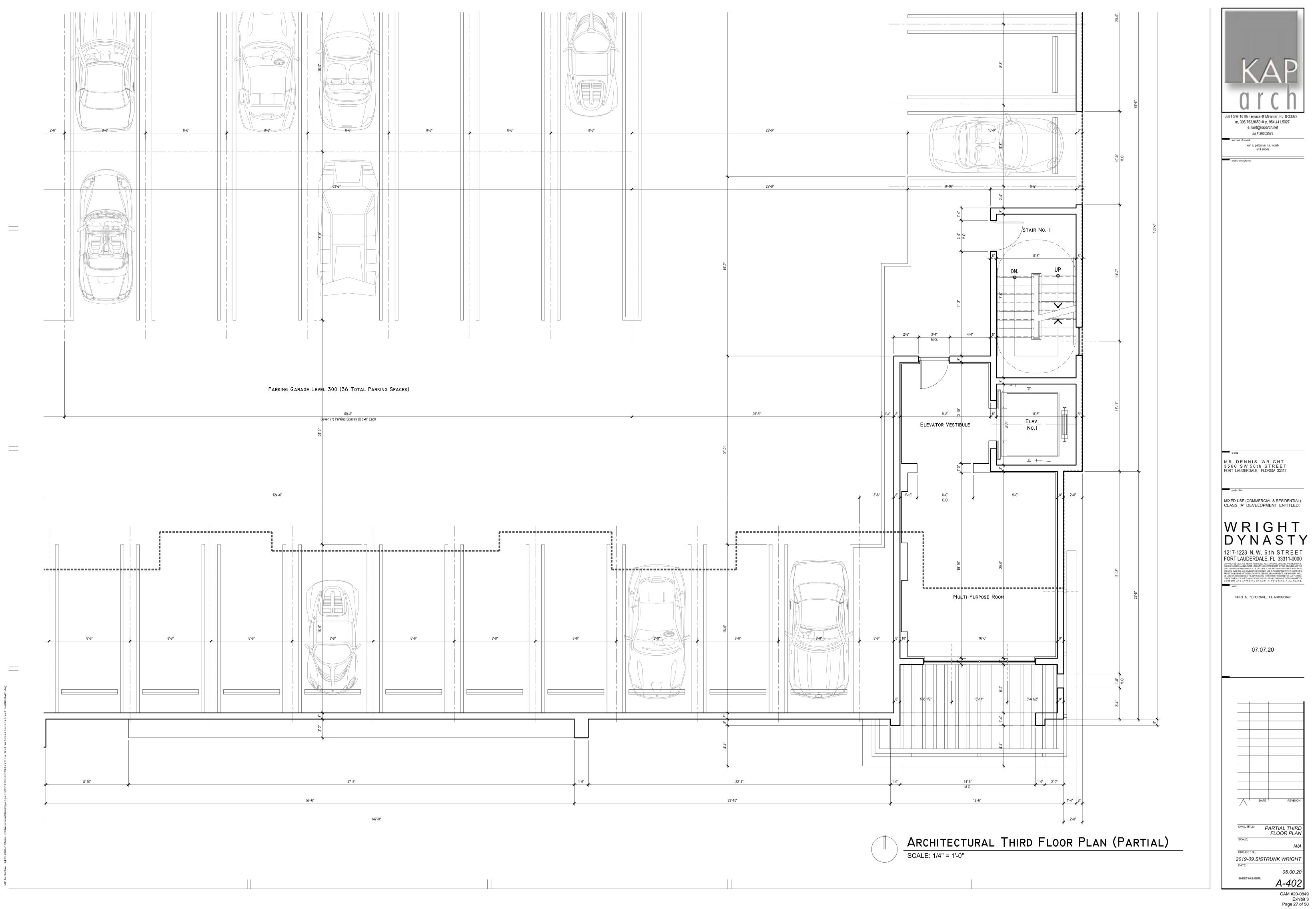


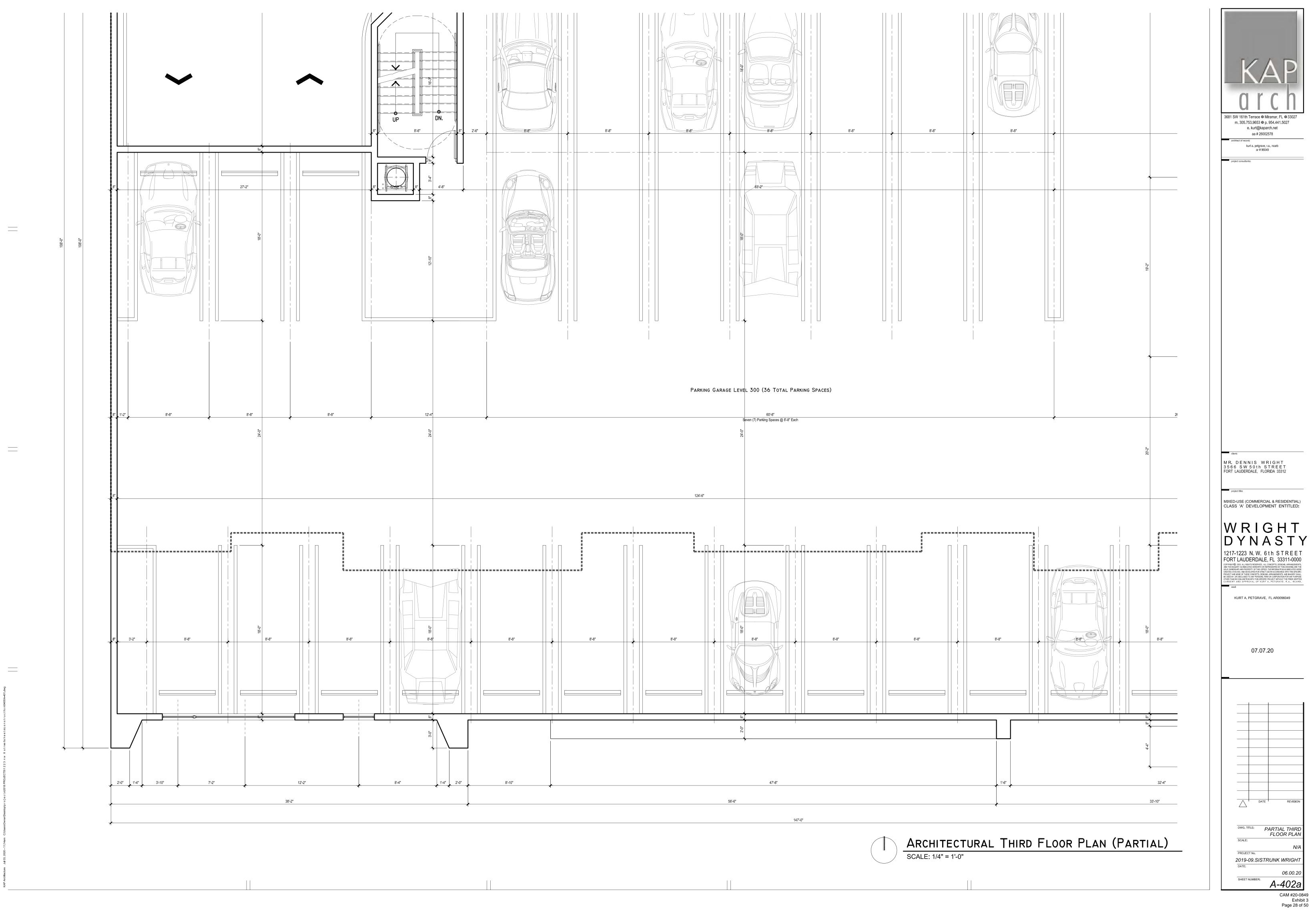


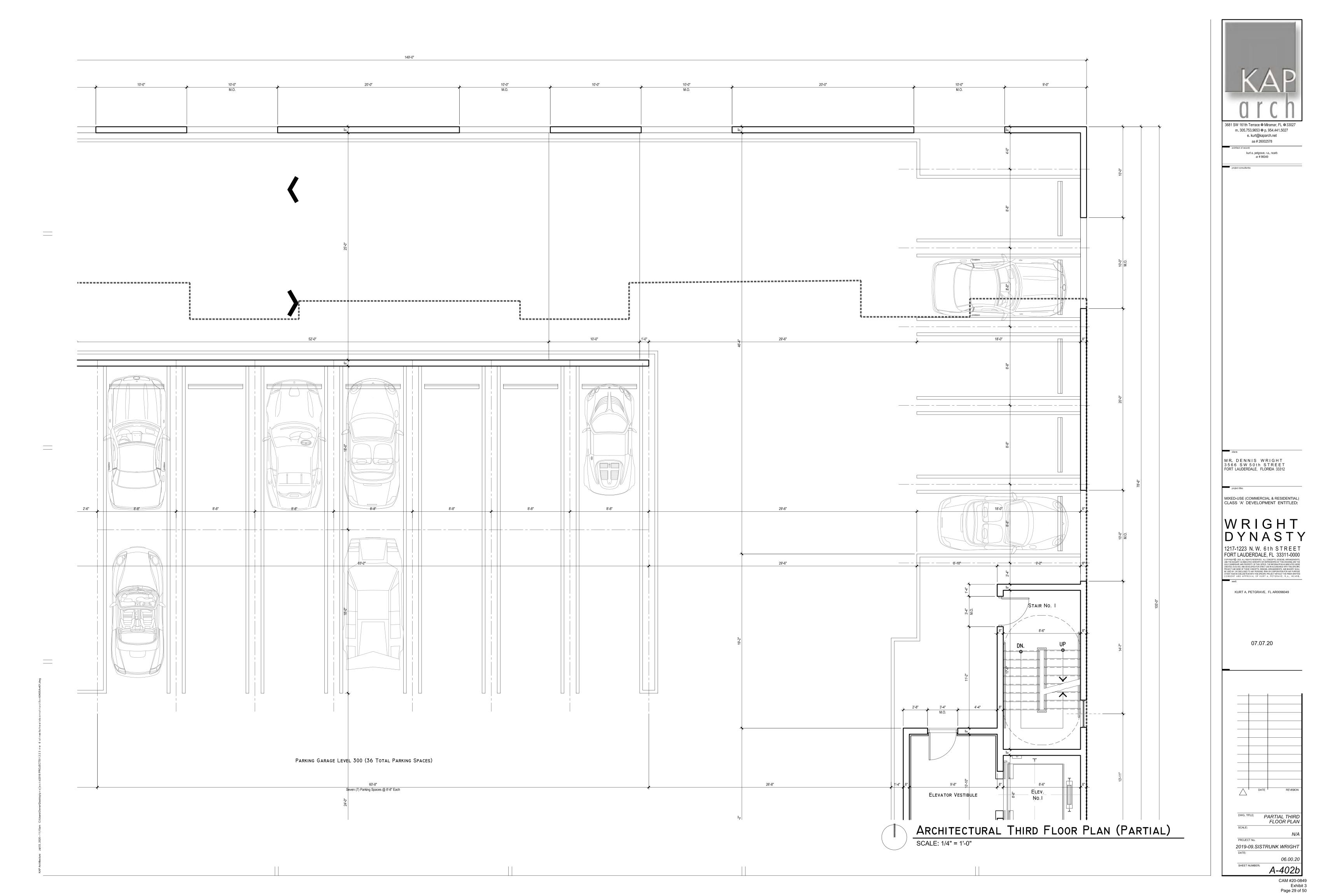
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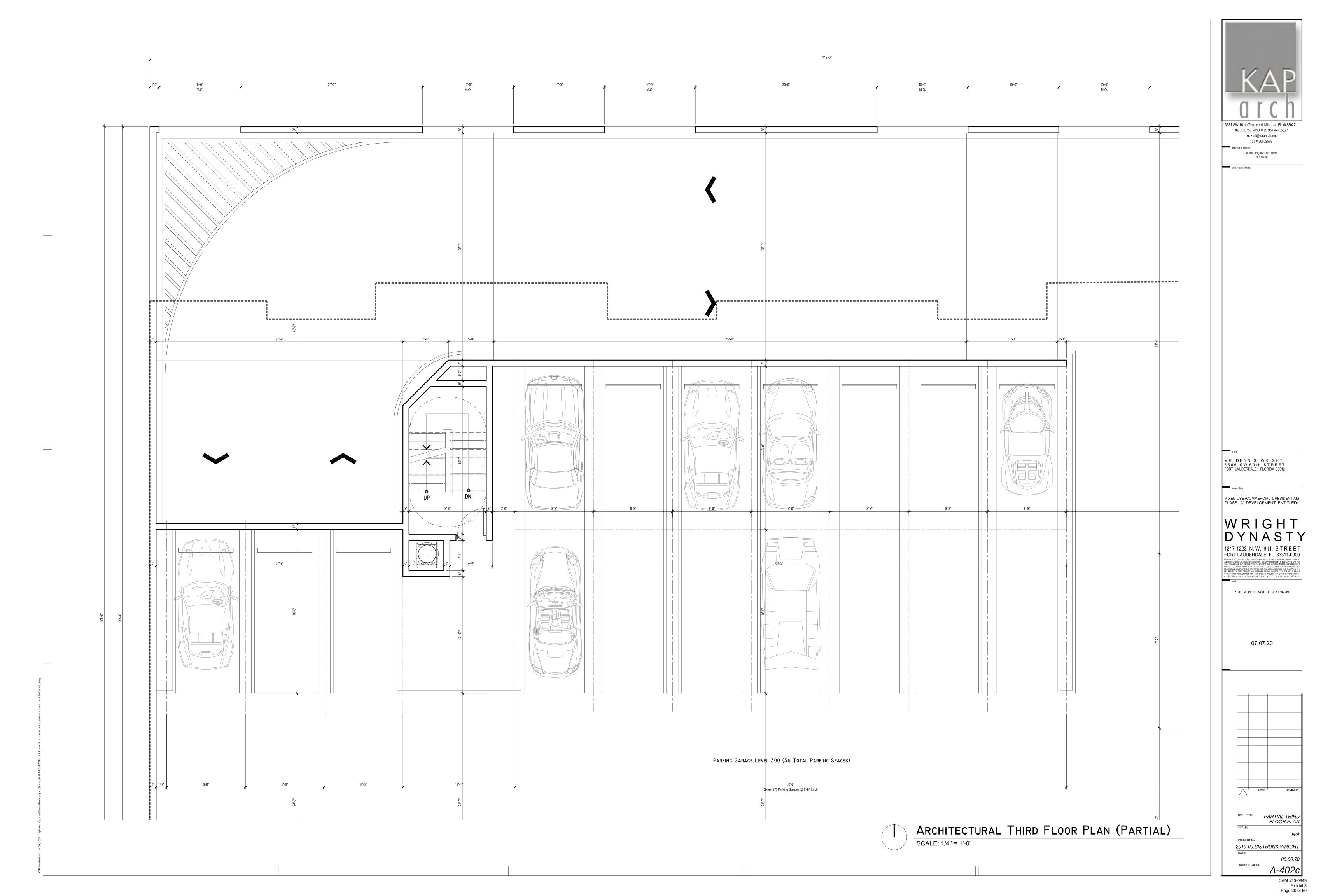


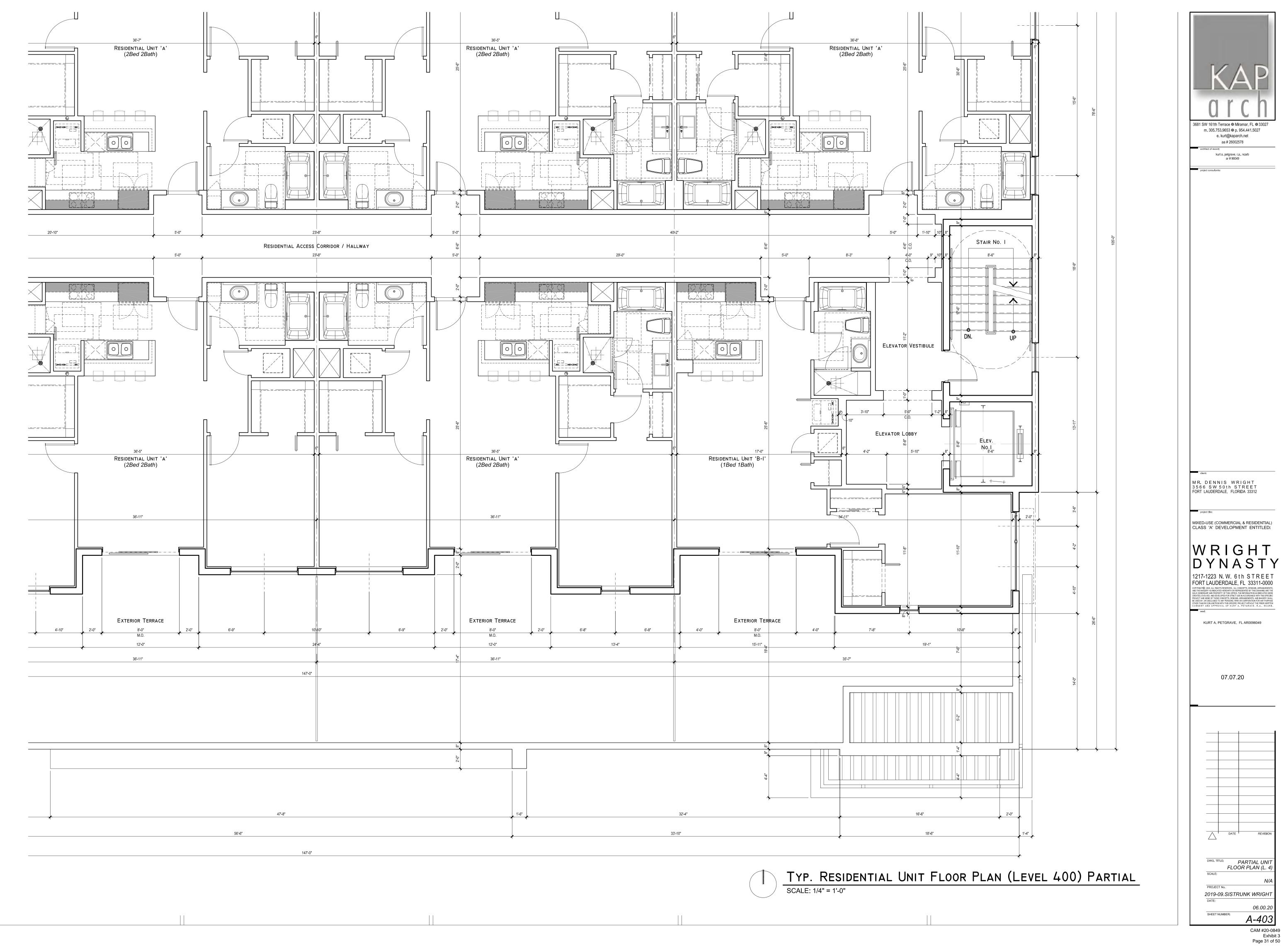


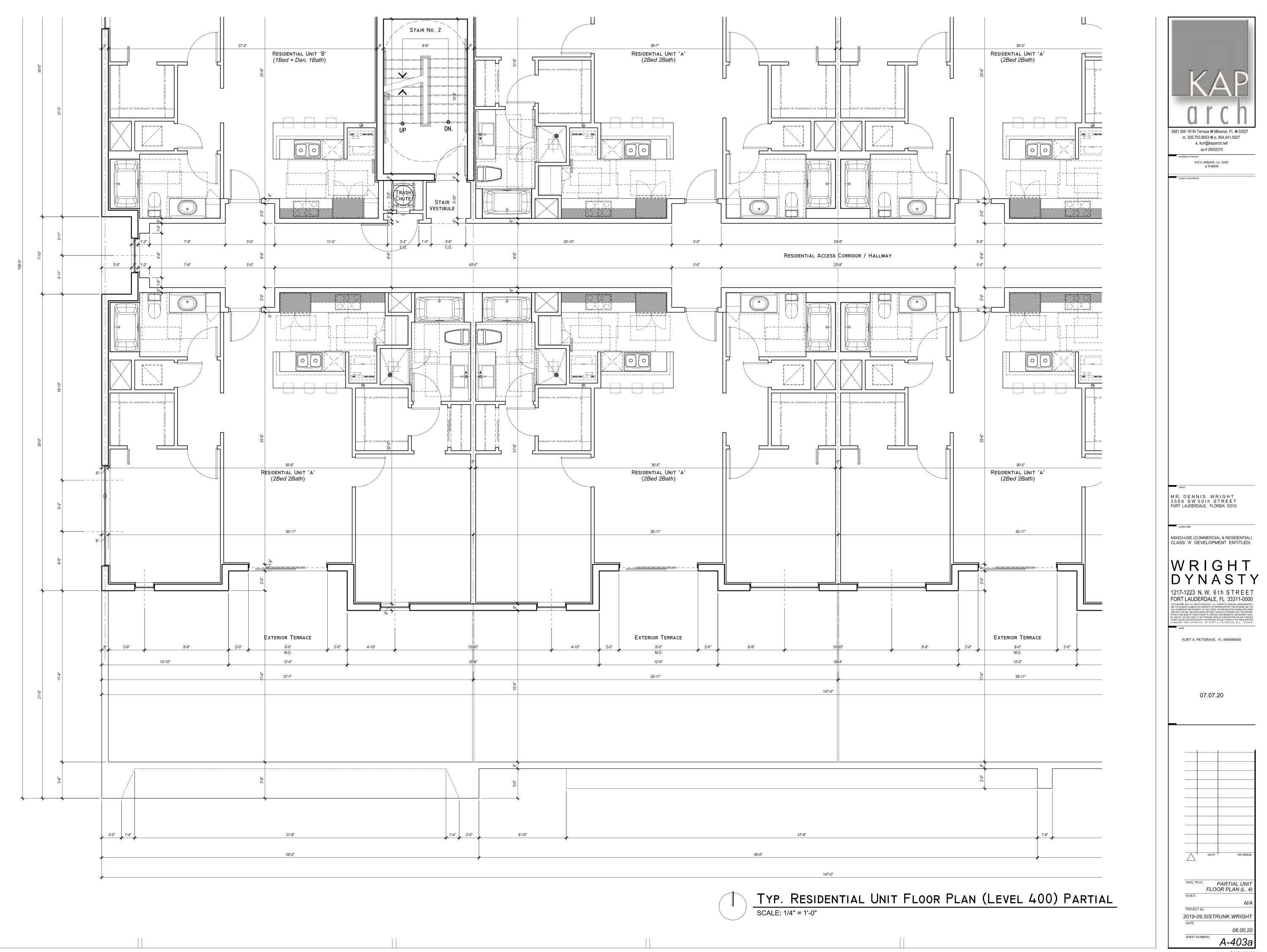






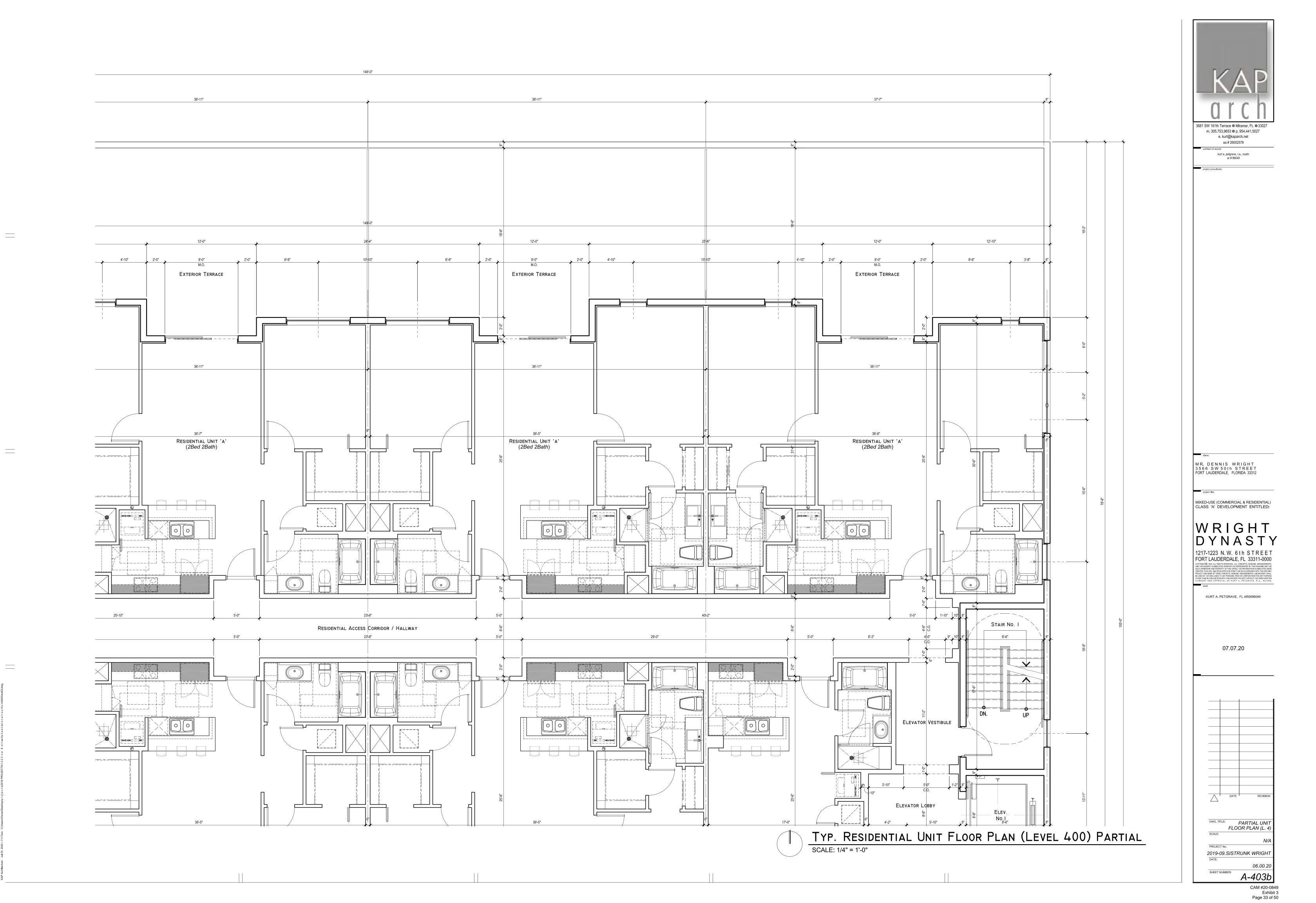




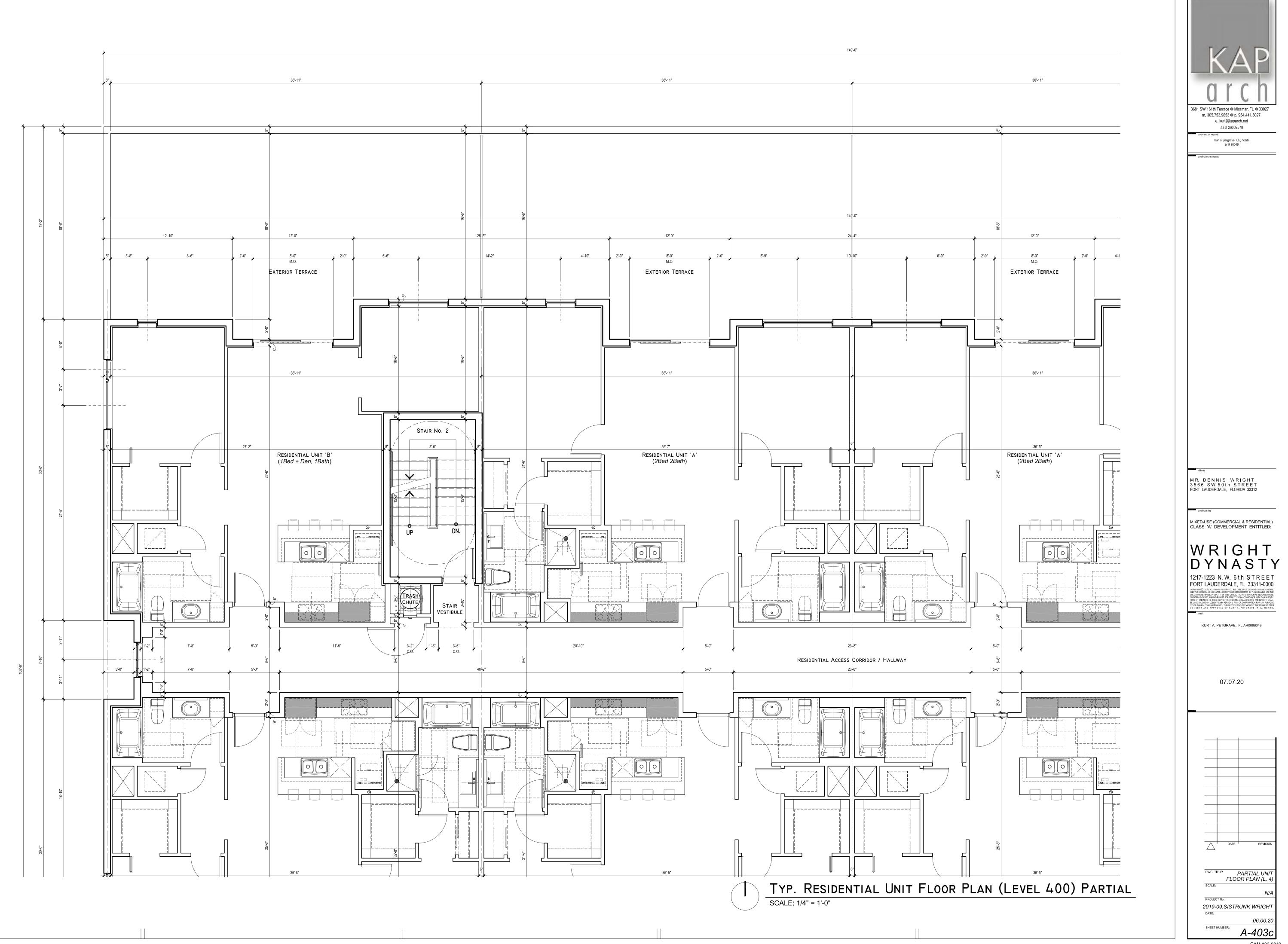


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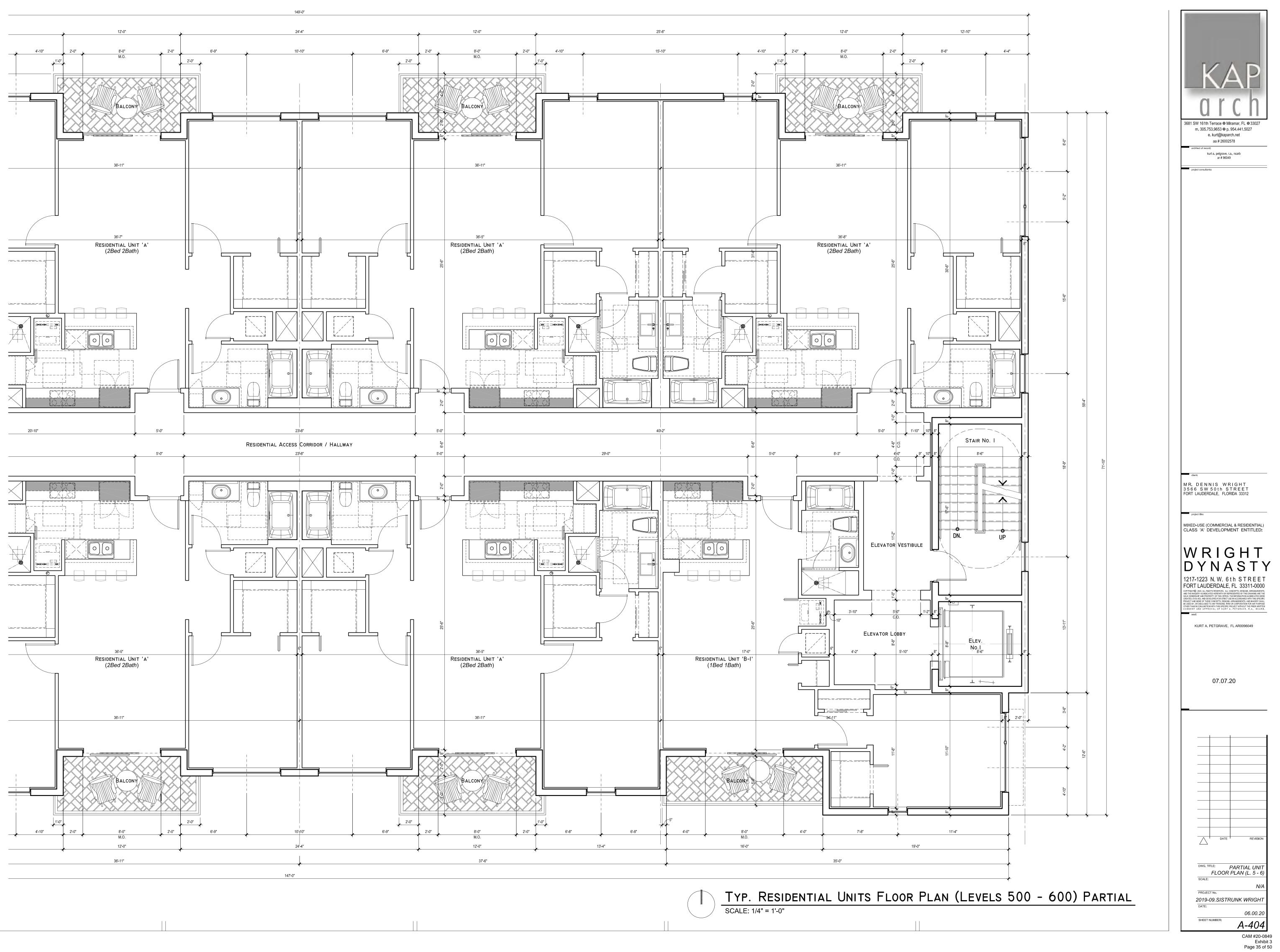


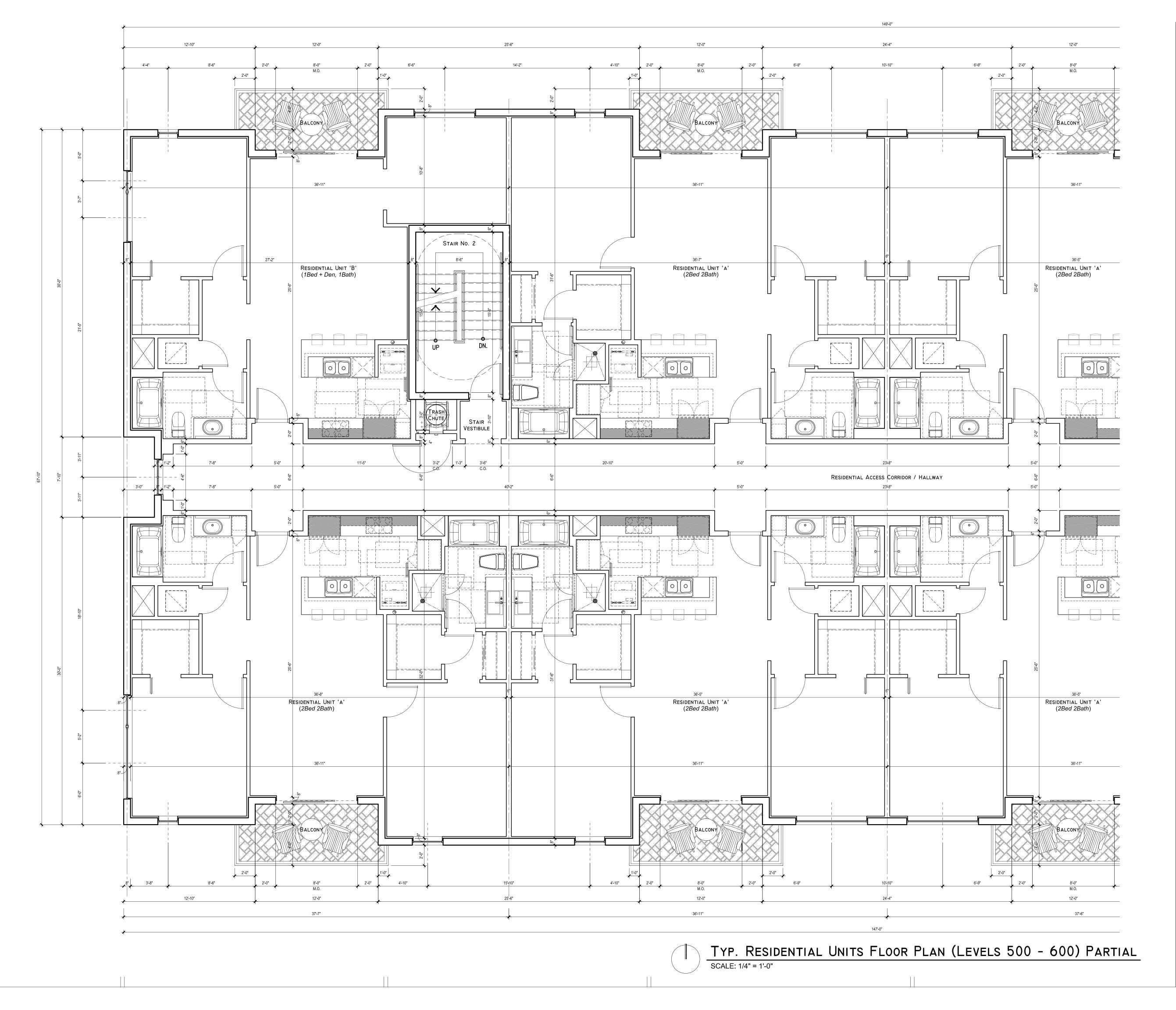




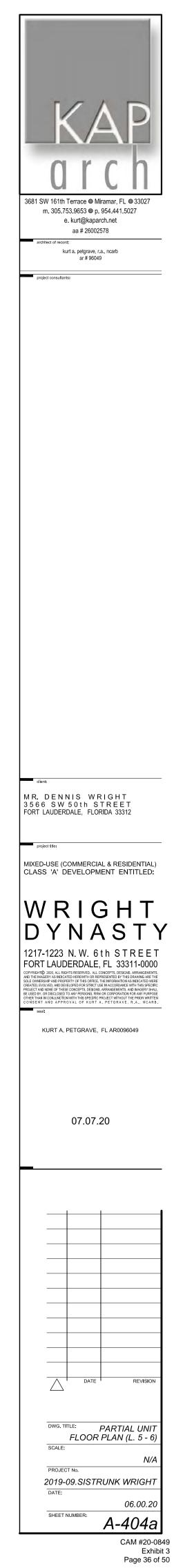


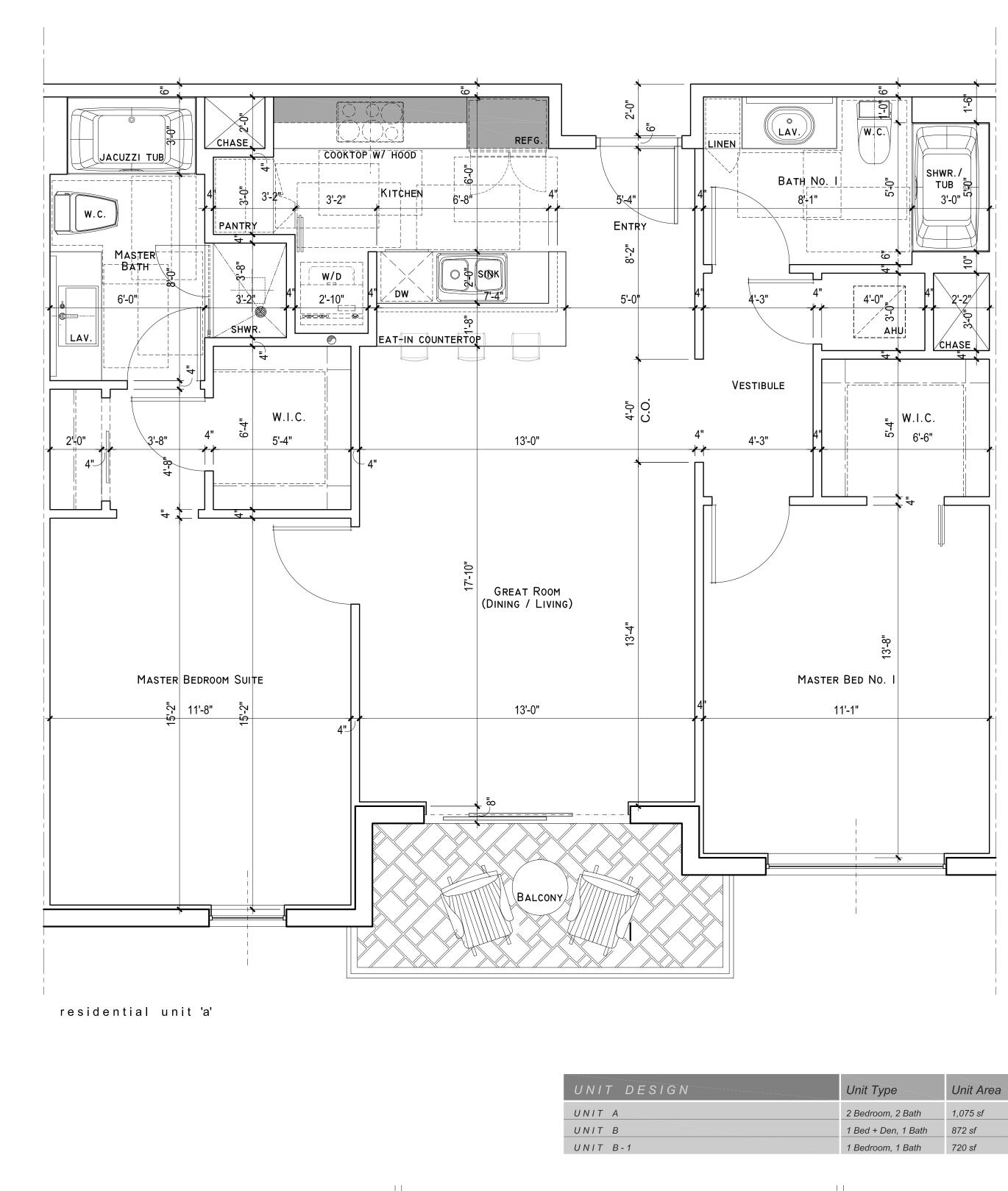
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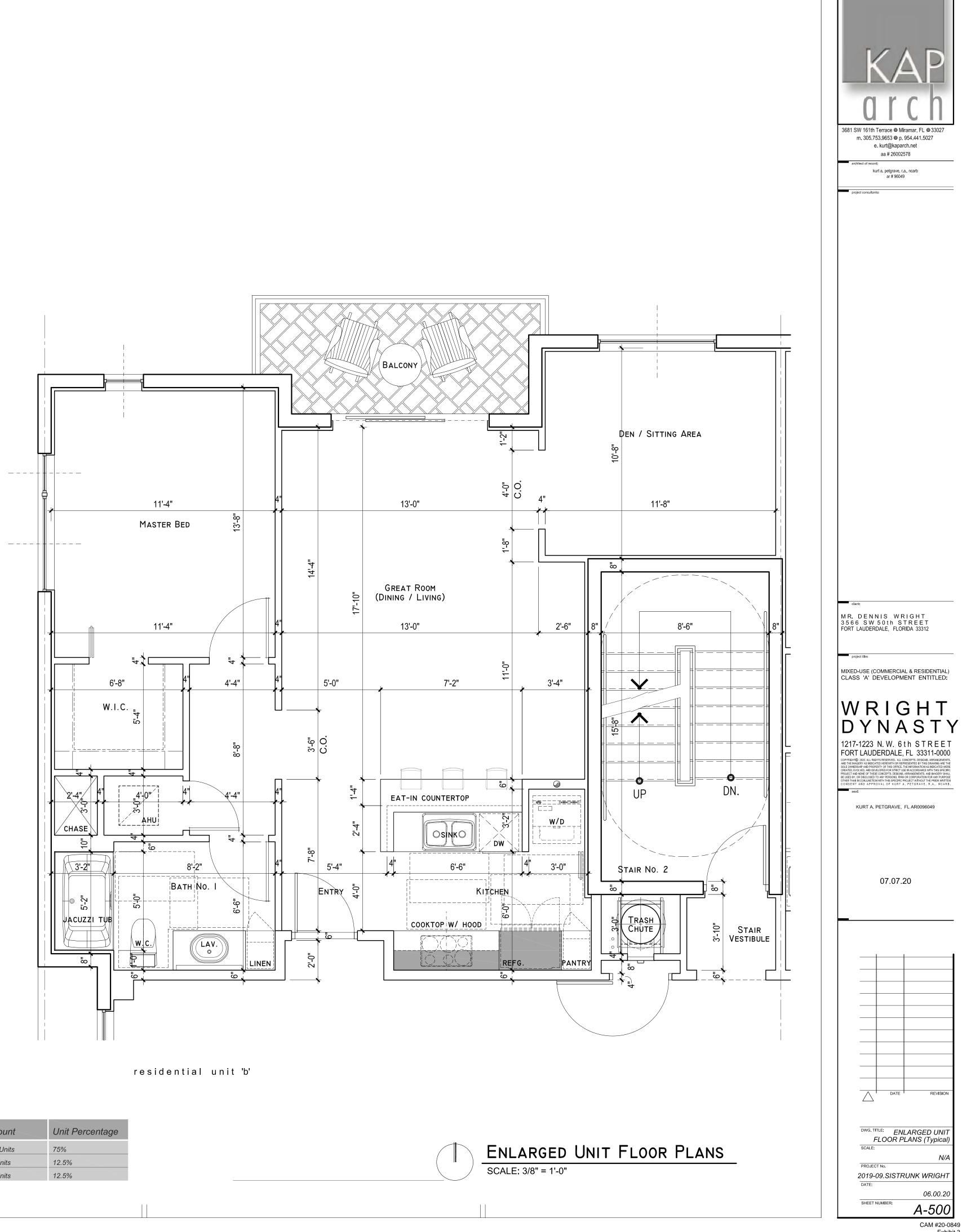












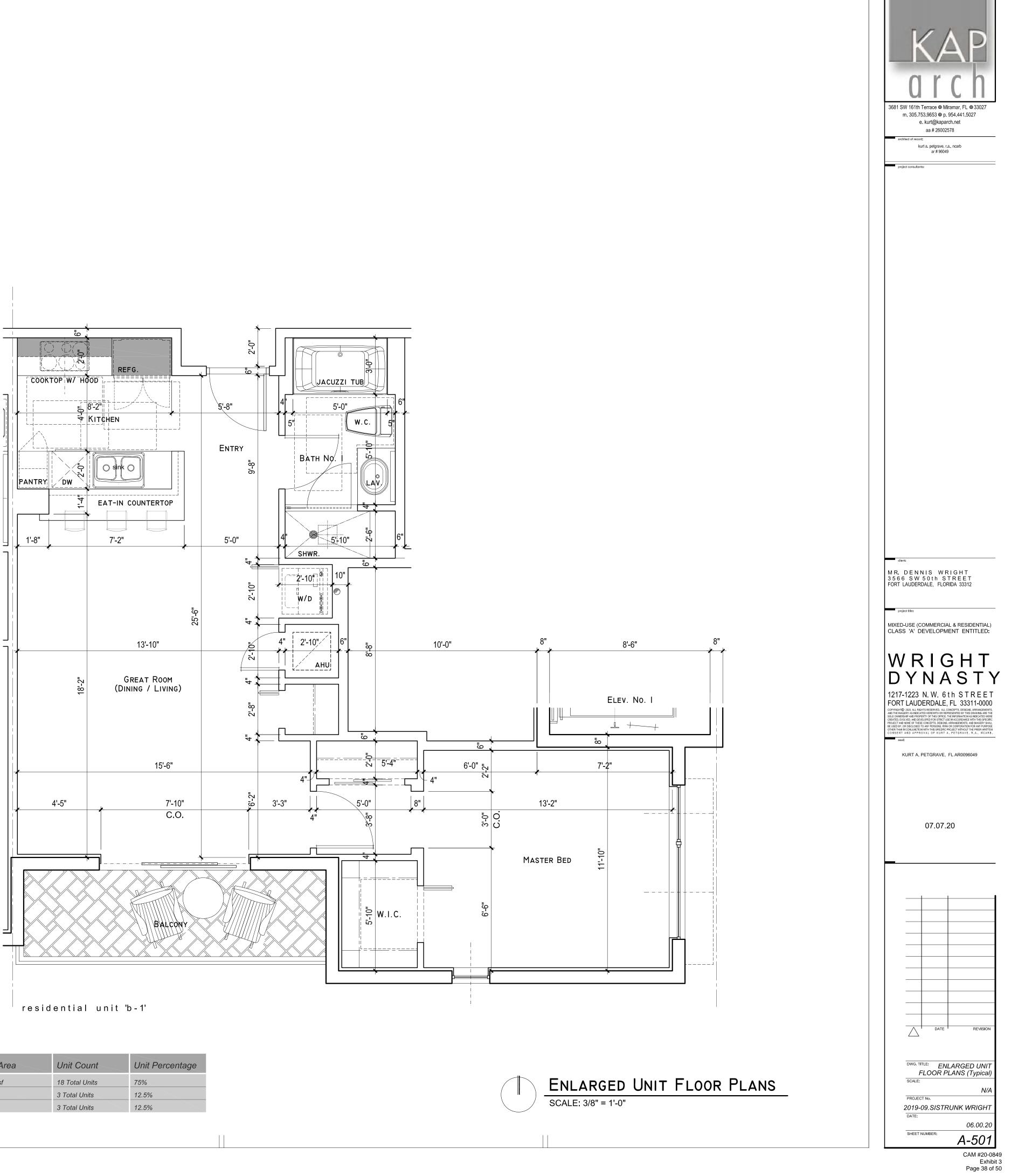
REVISION

06.00.20

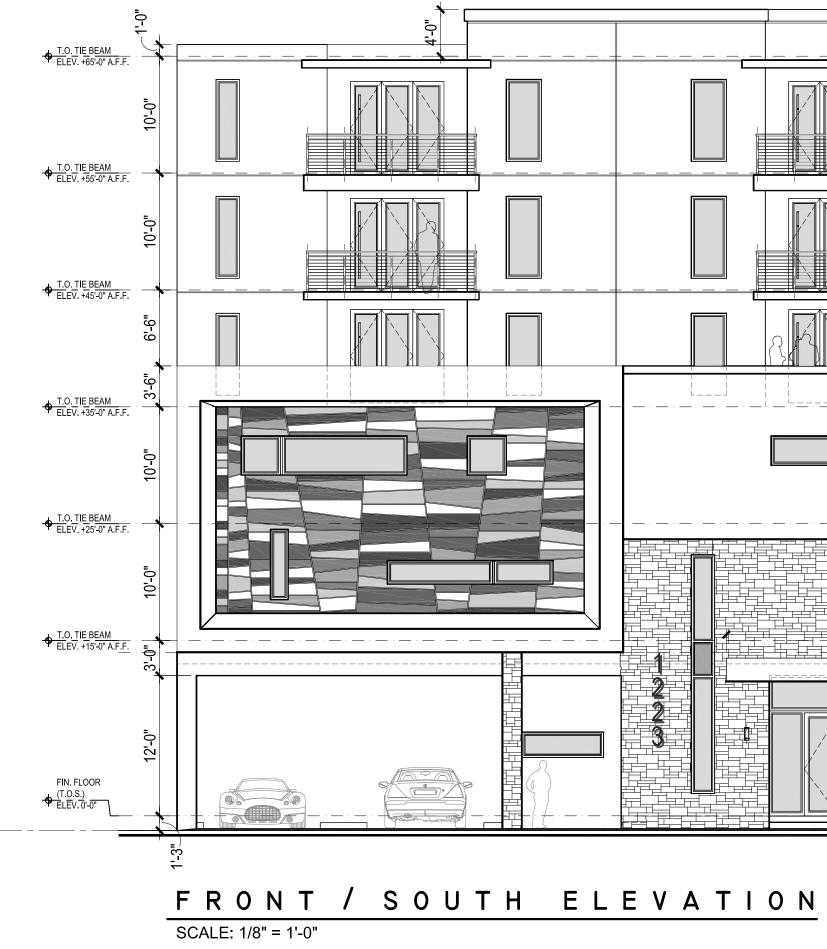
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 Unit Type	Unit Area	Unit Count	Unit Percentage
2 Bedroom, 2 Bath	1,075 sf	18 Total Units	75%
1 Bed + Den, 1 Bath	872 sf	3 Total Units	12.5%
1 Bedroom, 1 Bath	720 sf	3 Total Units	12.5%

UNI	T DES	IGN
UNIT	A	
UNIT	В	
UNIT	B - 1	



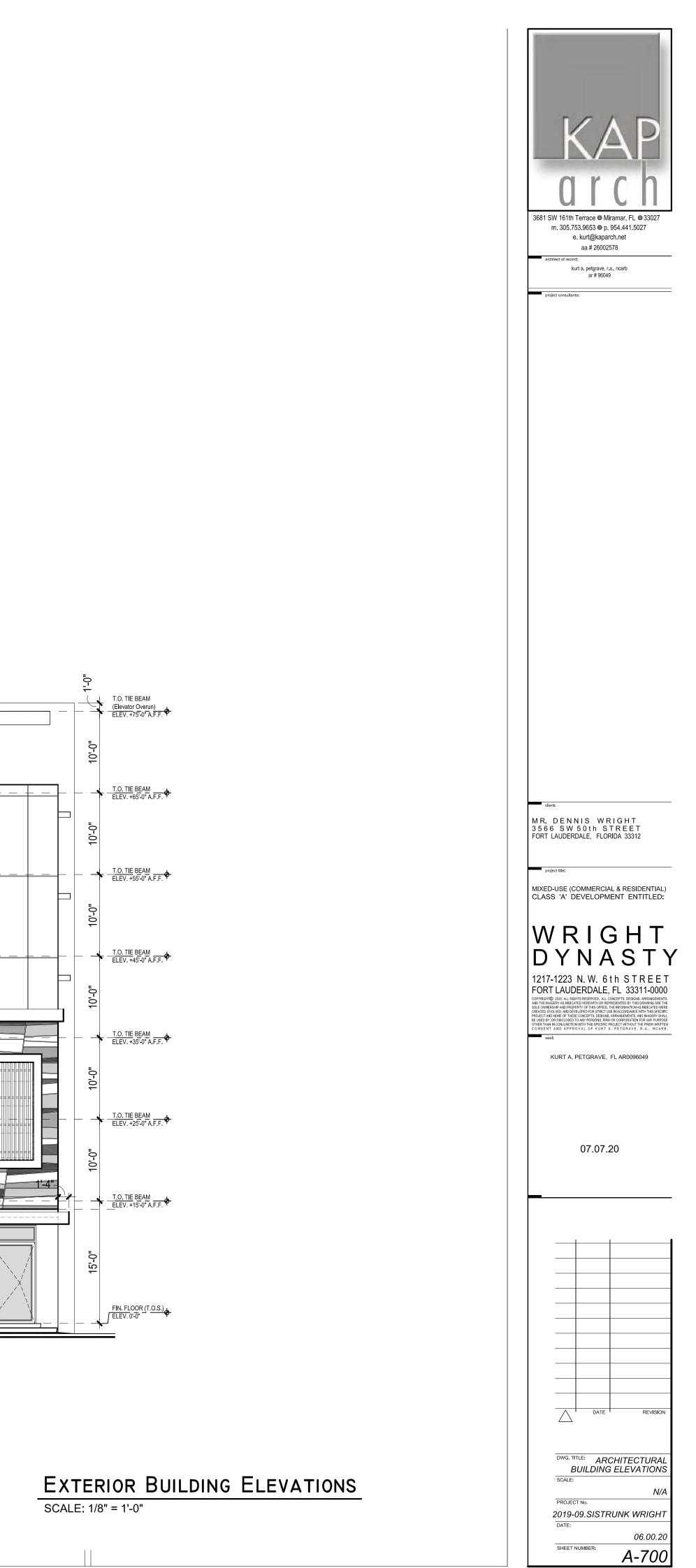
 Unit Type	Unit Area	Unit Count	Unit Percentage
2 Bedroom, 2 Bath	1,075 sf	18 Total Units	75%
1 Bed + Den, 1 Bath	872 sf	3 Total Units	12.5%
 1 Bedroom, 1 Bath	720 sf	3 Total Units	12.5%



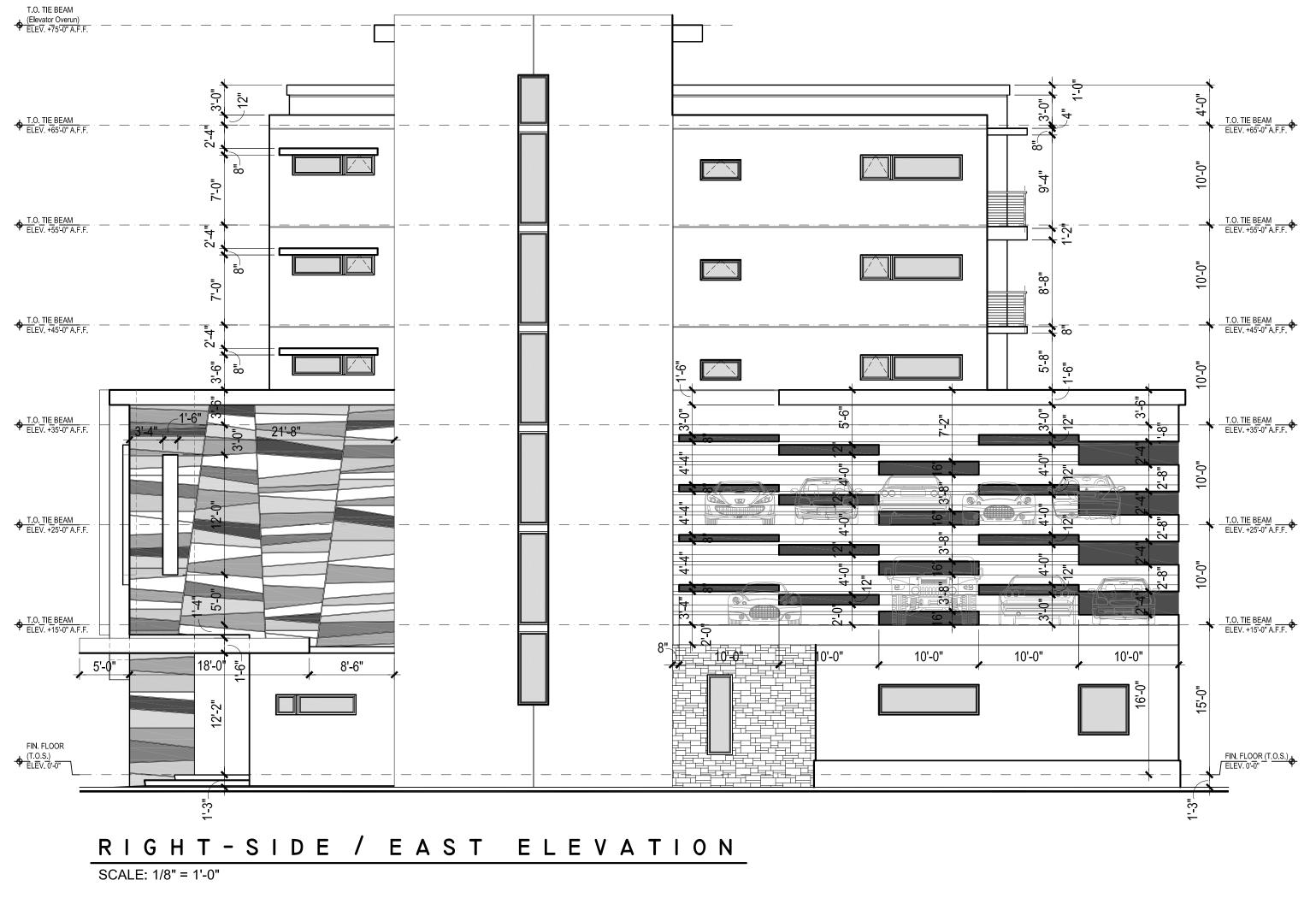
4-0- 			
14'-10"			
	2'-6"		-21'-6"
1-3"	1-3"	1-3"	

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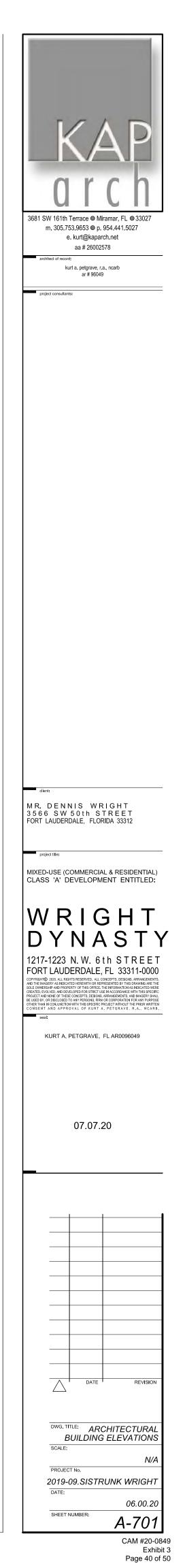
	21'-6"



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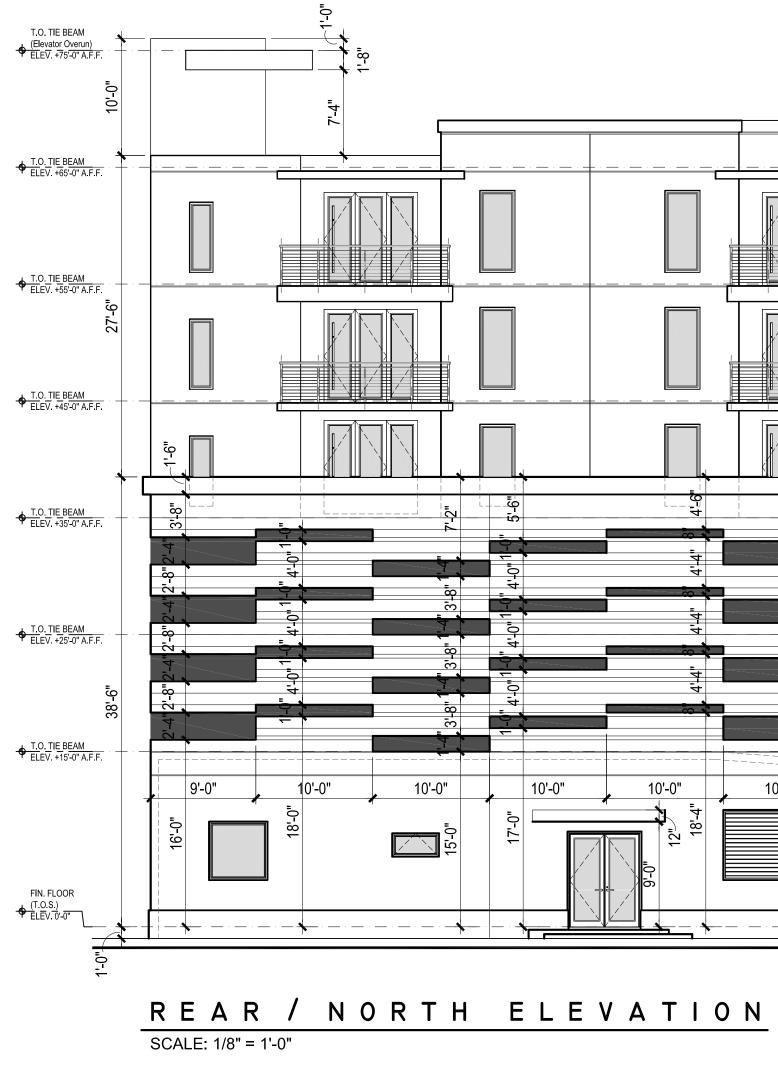






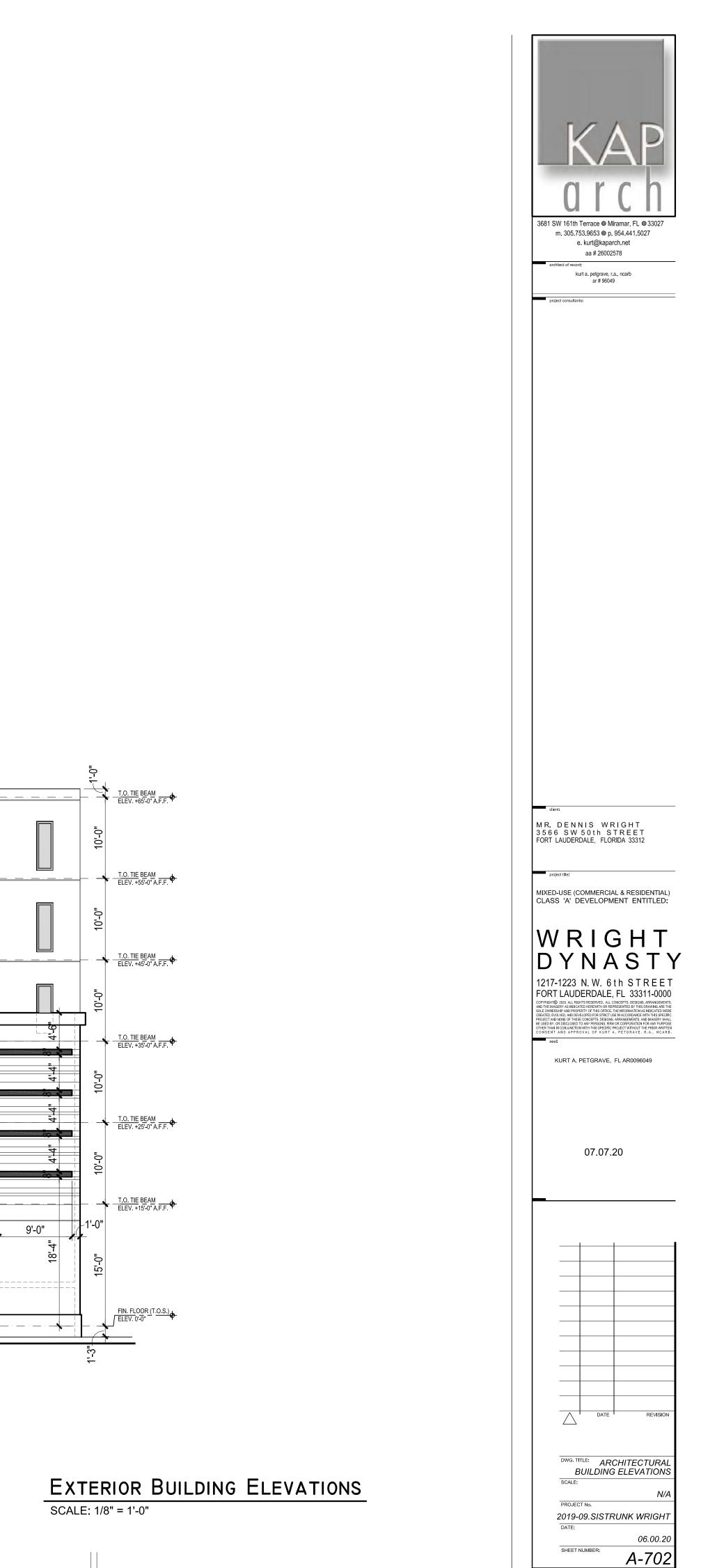
EXTERIOR BUILDING ELEVATIONS

SCALE: 1/8" = 1'-0"

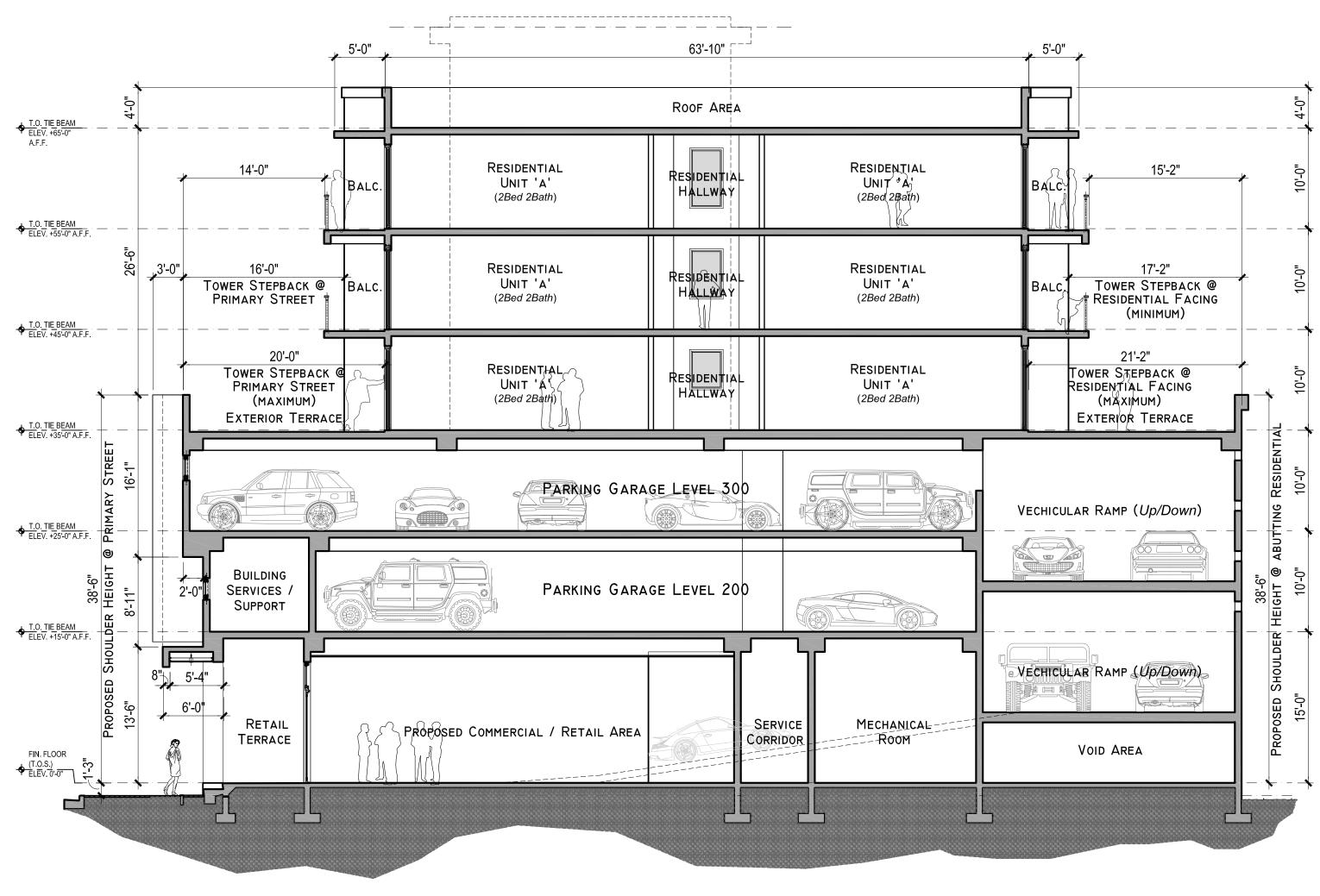




	2	2'-0, 4'-6"		4'-4"	5-00 5-				
4'-4"	2'-0' 2'-0' 3'-0' 3'-0'' 2'-0' 2'-0' 2'-0'	20, 3:-0, 20, 3:-0,	 1-0" 4'-0" 1-0" 4'-0"	8 4'4" 8 4'-4" 8 4'	3'-0" 2'-0" 2'-0" 3'-0"		3'-8" -1-4" 3'-8" -1-4" 3'-8" -1-4"	1 -0" 4 '-0" 1 -0" 4 '-0"	
			 10'-0" 	10'-0"	10'-0"	10'-0" ī-2-	10'-0"	10'-0" -0- -2-	



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SCALE: 1/8" = 1'-0"

TRANVERSE BUILDING SECTION A-A

velocity velocity
clent: M.R. D.E.N.N.S. W.R.I.G.H.T. 3.5.6.6. S.W.5.0.t.h.S.T.R.E.E.T. FORT LAUDERDALE, FLORIDA 33312 project lifle: MIXED-USE (COMMERCIAL & RESIDENTIAL)
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PROJECT NO. 2019-09.SISTRUNK WRIGHT DATE: 06.00.20

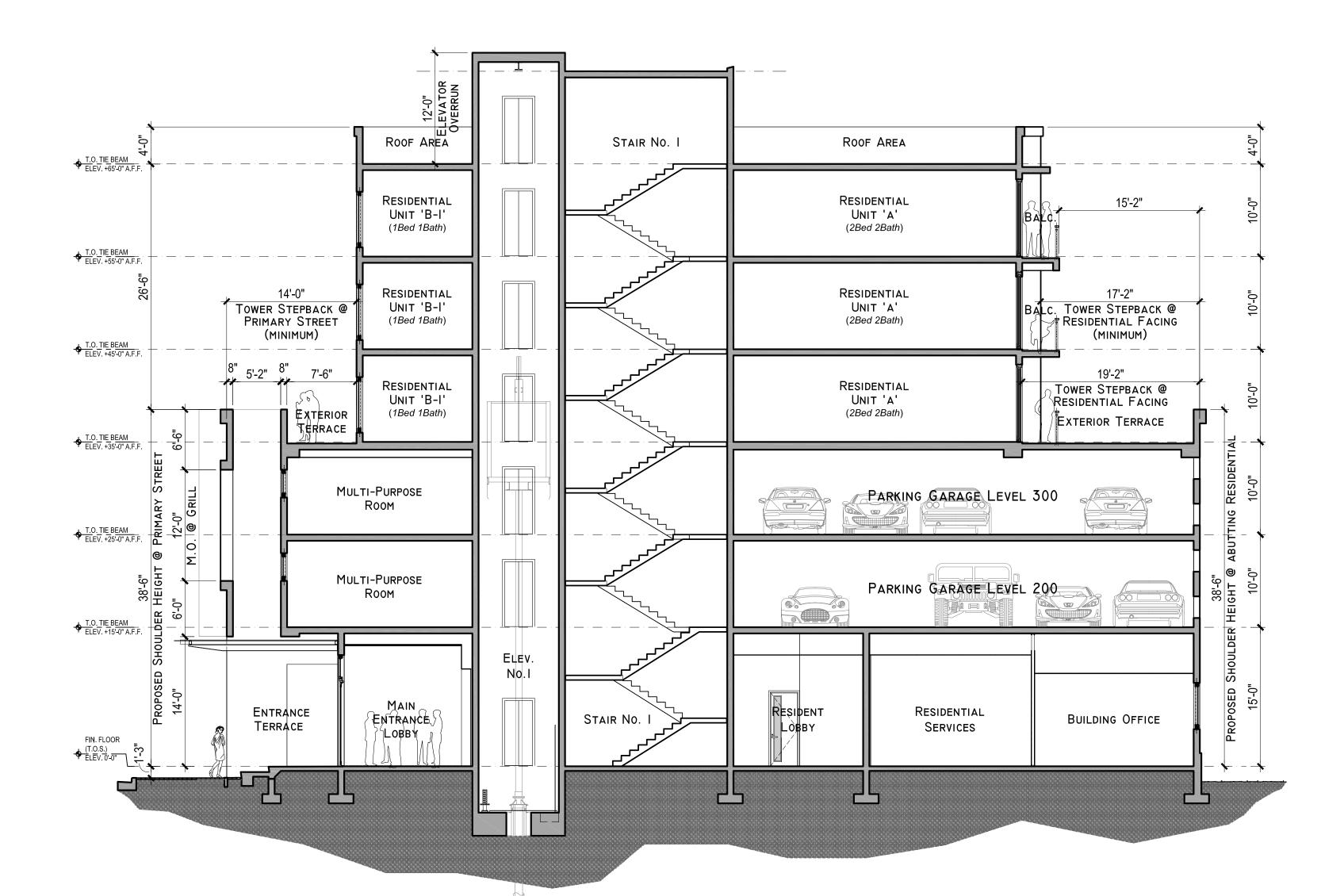
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A-1000

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OVERALL BUILDING SECTIONS

SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

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TRANVERSE BUILDING SECTION B-B

Jack Apple Alexandree
architect of record: kurt a. petgrave, r.a., ncarb ar # 96049
project consultants:
MR. DENNIS WRIGHT 3566 SW 50th STREET FORT LAUDERDALE, FLORIDA 33312
MIXED-USE (COMMERCIAL & RESIDENTIAL) CLASS 'A' DEVELOPMENT ENTITLED:
WIRDLESS State State State <td< th=""></td<>
07.07.20
DWG. TITLE: ARCHITECTURAL BUILDING SECTIONS
SCALE: N/A PROJECT No. 2019-09.SISTRUNK WRIGHT DATE:

06.00.20

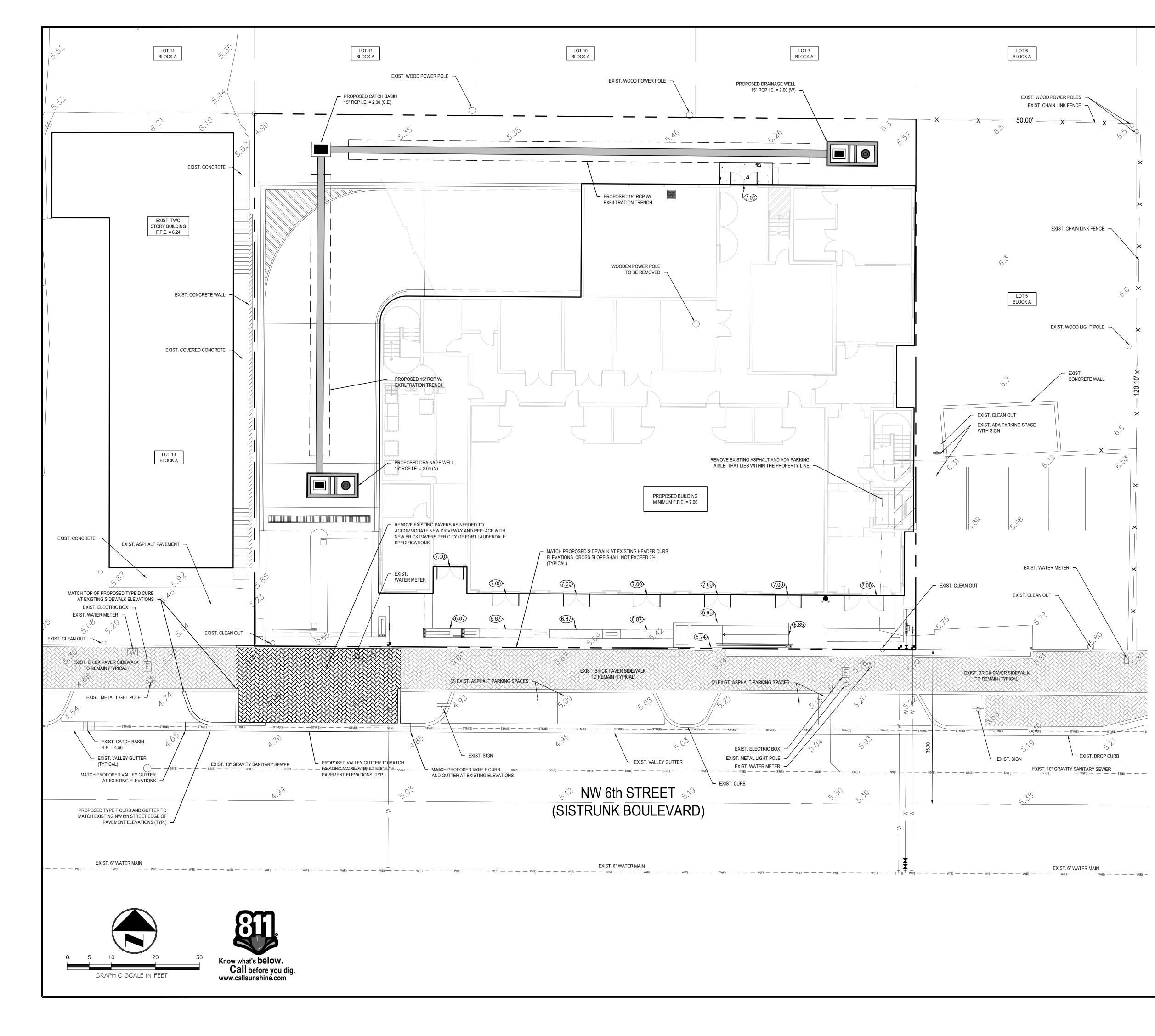
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A-1001

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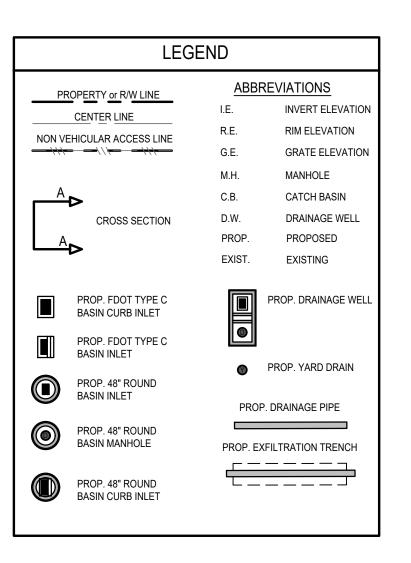
OVERALL BUILDING SECTIONS

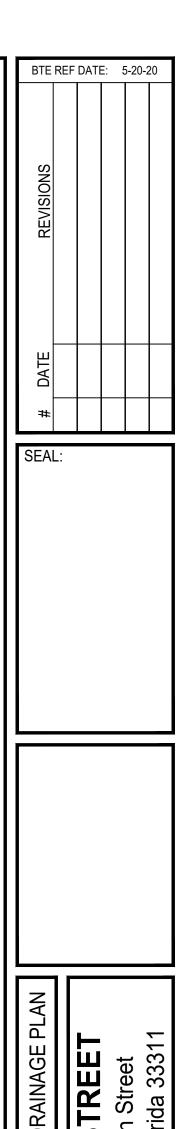
SCALE: 1/8" = 1'-0"



GENERAL PAVING, GRADING AND DRAINAGE NOTES:

- 1. CONTRACTOR TO RESTORE ALL EXISTING PAVEMENT, PAVEMENT MARKINGS, SIDEWALK, LANDSCAPING, IRRIGATION, ETC. DAMAGED DURING CONSTRUCTION INCLUDING ANY DAMAGE TO EXISTING ROADWAY IN PUBLIC R.O.W.
- 2. EXISTING GRADES SHOWN +. ARE FOR REFERENCE ONLY. FINISHED GRADES INDICATED BY (X,XX) GOVERN.
- ALL ELEVATIONS SHOWN HEREON REFER TO NAVD 1988 UNLESS NOTED OTHERWISE.
 CROSSWALKS AND HC RAMPS TO CONFORM TO ADA W/ DETECTABLE WARNING SURFACE.
- 5. EXACT LOCATION OF METERS AND BFPs TO BE COORDINATED IN THE FIELD.
- 6. ALL ROOF DRAINS TO BE CONNECTED TO THE NEAREST STORM DRAINAGE STRUCTURE.
- 7. REFER TO PAVING, GRADING, AND DRAINAGE DETAILS AND SECTIONS FOR ADDITIONAL INFORMATION.
- 8. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL EXISTING DRAINAGE WITHIN THE PUBLIC RIGHT OF WAY THAT HAS BEEN AFFECTED BY THE CONSTRUCTION.
- 9. DURING CONSTRUCTION ACTIVITIES INLET PROTECTION SHALL BE PROVIDED FOR ALL DRAINAGE INLETS ADJACENT TO THE PROJECT SITE. REFER TO POLLUTION/EROSION CONTROL PLAN.
- 10. RESTORE ANY PAVEMENT MARKINGS AFFECTED BY THE INSTALLATION OF THE TYPE 'F' CURB AND GUTTER PER
- BROWARD COUNTY MINIMUM STANDARDS.11. SHOULD DEWATERING BE REQUIRED, CONTRACTOR IS RESPONSIBLE FOR OBTAINING REQUIRED AGENCY APPROVALS AND OR PERMITS.
- 12. THE PROPOSED DRAINAGE WELLS SHOWN ON THIS PLAN ARE NOT TO BE USED FOR ANY DEWATERING PURPOSES.
- 13. ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE EXISTING UTILITY INFORMATION SHOWN HERE IS FOR THE CONTRACTOR'S CONVENIENCE AND THE E.O.R. ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. BEFORE COMMENCING CONSTRUCTION CONTRACTOR TO CALL FOR UTILITY LOCATES, VERIFY ALL EXISTING UTILITIES' LOCATIONS AND DEPTHS, AND NOTIFY E.O.R. OF ANY CONFLICTS.





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Engineering, og NW 9th Avenue, Suite 1102, Ft. Lauder vw.botekthurlow-eng.com p: 954-568-0888

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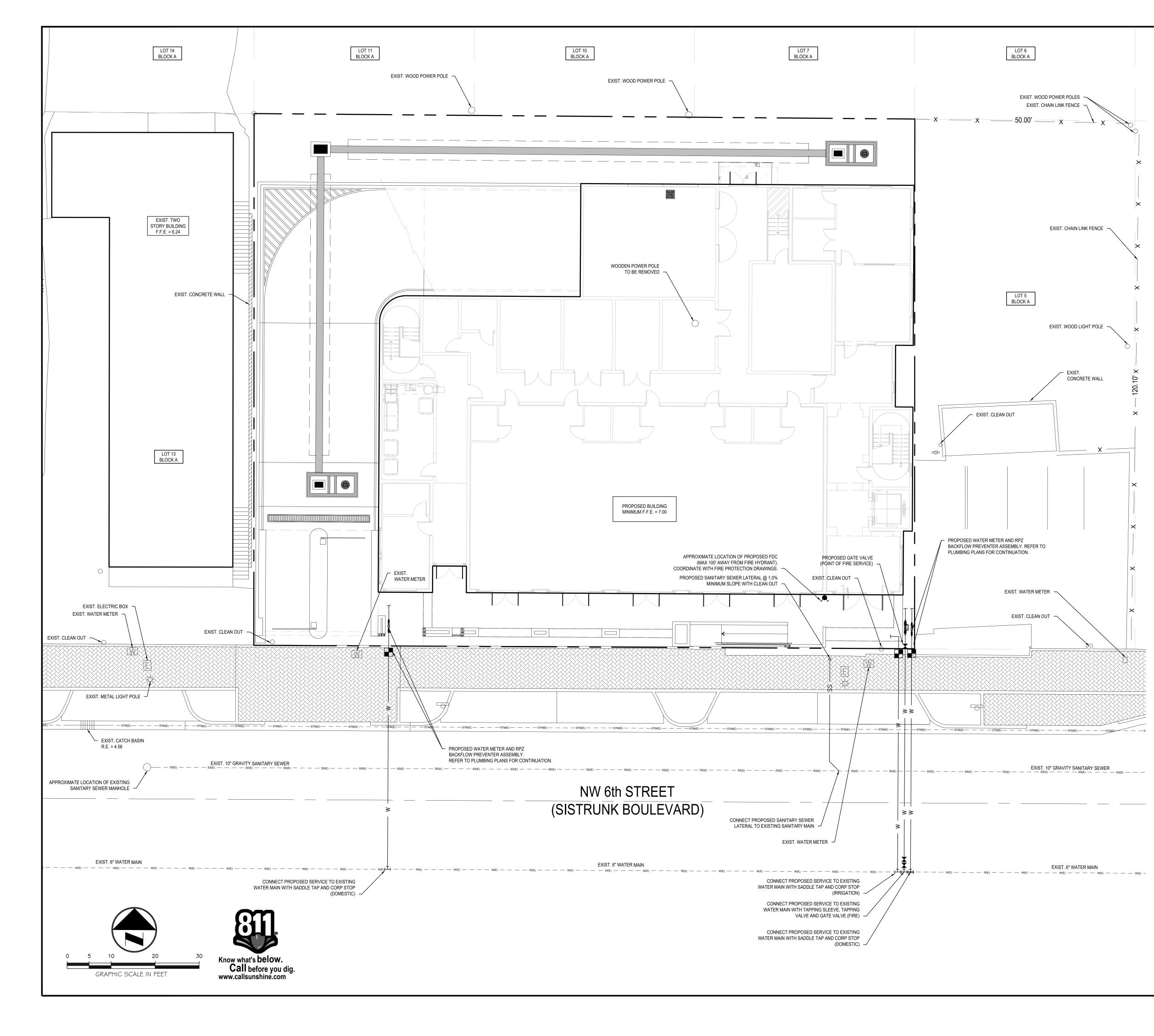
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	WATER AND SEWER	LEGEND
-111_00011->	DOUBLE DETECTOR CHECK VALVE \bigcirc	EXIST. SANITARY SEWER MANHOLE
- 80008 -	RPZ BACKFLOW PREVENTORS	PROP. SANITARY SEWER MANHOLE
M	GATE VALVE o	PROP. SANITARY CLEAN OUT
III 円	METER TEE / TAP	PROP. METER VAULT
	FIRE HYDRANT	PROP. BACTERIOLOGICAL SAMPLE
€,	FIRE DEPT. CONNECTION	PROP. REDUCER
	C	PROP. PLUG / CAP
— — s	EXISTING SANITARY SEWER PIPE s(e) — … <th>— ss(e) — — —</th>	— ss(e) — — —
— — v	EXISTING WATER PIPE (E)	— W(E) — — —
s	SS SS SS SS	
	w WATER PIPE w w	

SYMBOLS FOR FITTINGS, VALVES, ETC. ARE DIAGRAMMATIC ONLY AND DO NOT REFLECT ACTUAL SIZE; FOR ACTUAL DIMENSIONS REFER TO MANUFACTURER'S SPECIFICATIONS.

WATER & SEWER NOTES

1. NO GATE VALVES IN CURBS.

- 2. SLOPE OR PITCH SANITARY SEWER MANHOLE CASTINGS WITH DESIGN ROAD SECTIONS.
- 3. ALL SANITARY SEWER CLEANOUTS LOCATED IN ROADWAY ARE TO BE TRAFFIC-RATED.
- WATER SHALL BE AVAILABLE TO FIRE HYDRANTS BEFORE INTERIOR BUILDING CONSTRUCTION CAN BEGIN.
 ALL EXISTING WATER AND SANITARY SERVICES TO THE PROPERTY THAT ARE NOT BEING RE-USED SHALL
- BE CUT AND CAPPED AND ABANDONED IN ACCORDANCE WITH THE PUBLIC UTILITY'S MINIMUM STANDARDS.
 6. AFTER WATER AND SEWER CONNECTIONS, RESTORE ALL RIGHT OF WAY (PAVEMENT, SIDEWALK, CURB, ETC) IN ACCORDANCE WITH CITY OF FORT LAUDERDALE AND/OR BROWARD COUNTY MINIMUM STANDARDS.
- 7. ALL ELEVATIONS SHOWN IN THIS PLAN ARE IN THE NAVD DATUM.
- 8. ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE EXISTING UTILITY INFORMATION SHOWN HERE IS FOR THE CONTRACTOR'S CONVENIENCE AND THE E.O.R. ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. BEFORE COMMENCING CONSTRUCTION CONTRACTOR TO CALL FOR UTILITY LOCATES, VERIFY ALL EXISTING UTILITIES' LOCATIONS AND DEPTHS, AND NOTIFY E.O.R. OF ANY CONFLICTS.

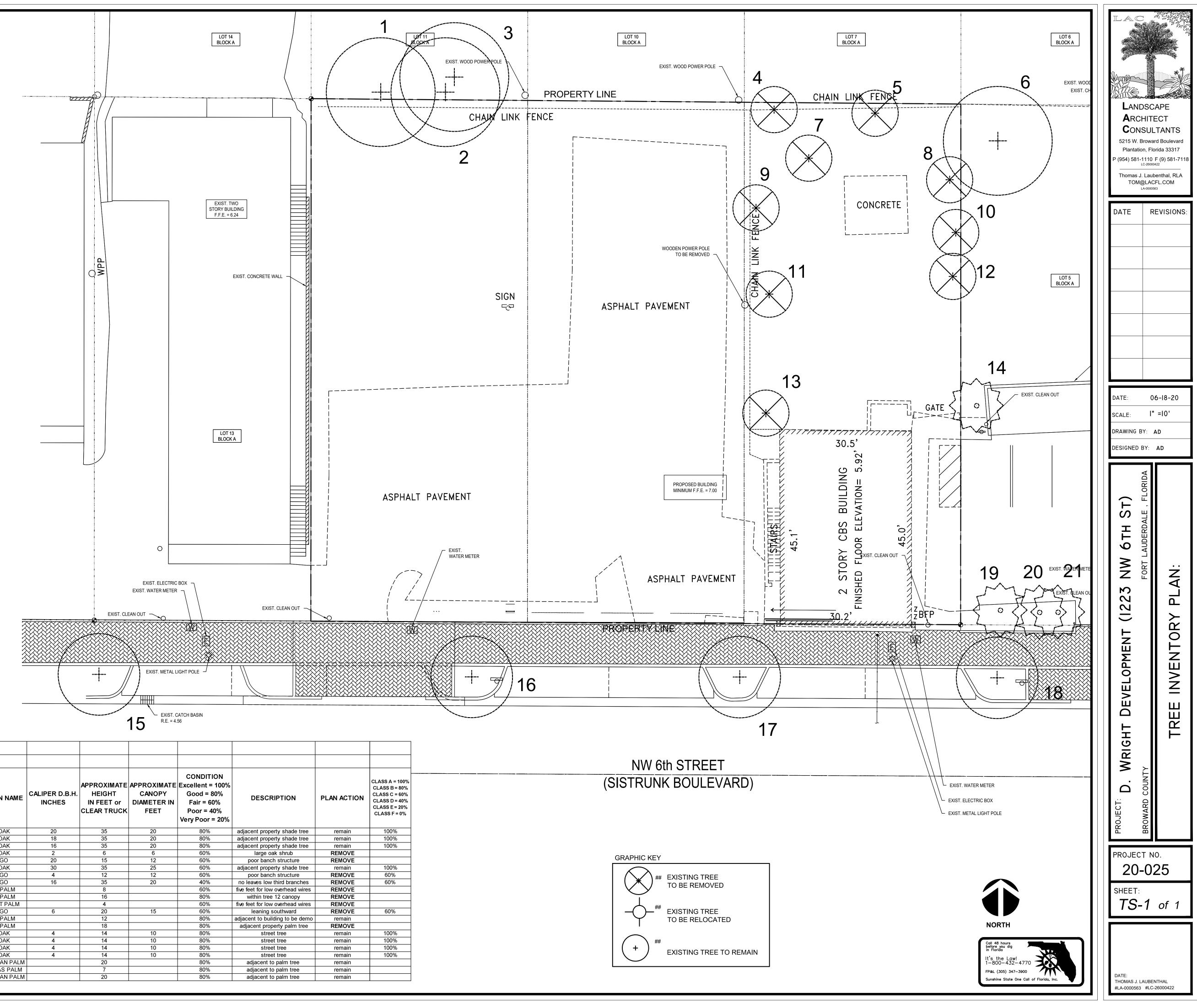
FIRE LINE NOTES:

- 1. ALL PROPOSED FIRE MAINS, SERVICES, "SIAMESE" CONNECTION LINES ETC. MUST BE INSTALLED BY A STATE LICENSED FIRE LINE CONTRACTOR PER FLORIDA STATUTE 633.
- ALL FIRE LINES ARE TO BE INSPECTED BY CERTIFIED FIRE LINE INSPECTORS PRIOR TO BEING PLACED INTO SERVICE.
- UPON COMPLETION OF REQUIRED TESTING A STATE LICENSED FIRE LINE CONTRACTOR SHALL ISSUE A "LICENSED UNDERGROUND TEST CERTIFICATE". THE CERTIFICATE MUST BE ISSUED AND THE FIRE LINE MUST BE ACCEPTED BY THE BROWARD COUNTY HEALTH DEPT. (WHERE APPLICABLE) PRIOR TO BEING PLACED INTO SERVICE.
- 4. FIRE LINE SYSTEM COMPONENTS (FDC, DDCV, FIRE LINE PIPING, ETC.) SHOWN ON THESE PLANS ARE TO BE COORDINATED WITH THE FIRE PROTECTION DRAWINGS AND DESIGN AND FIRE PROTECTION SHOP DRAWINGS. NOTIFY ENGINEER OF ANY DISCREPANCY PRIOR TO INSTALLATION OF ANY PORTION OF THE FIRE PROTECTION SYSTEM.

UNDERGROUND UTILITIES NOTES:

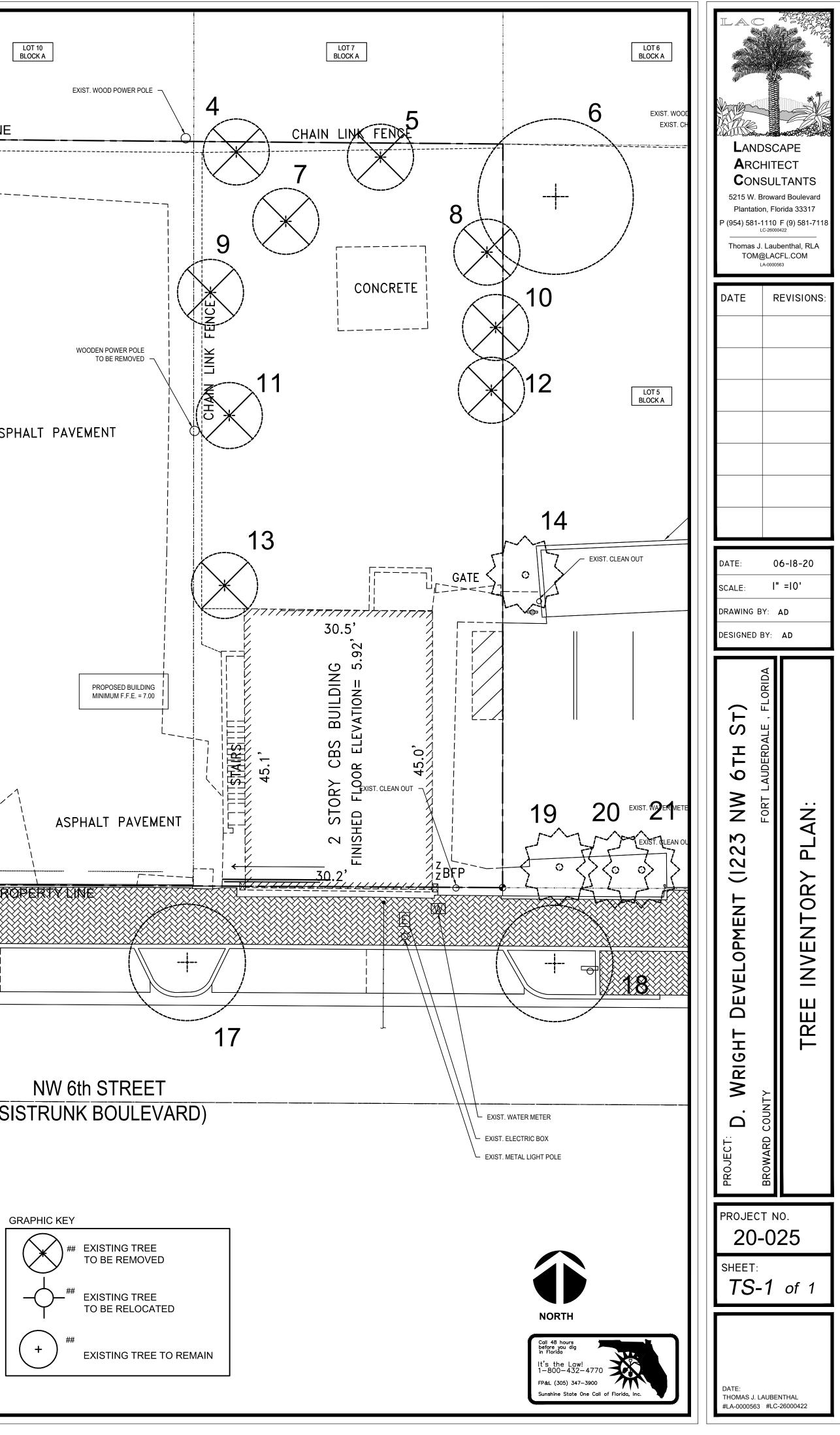
- SITE MAY CONTAIN EXISTING UTILITIES (DOMESTIC WATER, IRRIGATION, TELEPHONE, ELECTRIC, GAS, STORM DRAINAGE, SANITARY SEWER AND OTHERS).
- 2. <u>NOT ALL</u> EXISTING UTILITIES ARE SHOWN HEREON. SOME ARE SHOWN ON THIS PLAN AS OBTAINED FROM UTILITY LOCATES, ATLASES AND THE SURVEY.
- ALL EXISTING UTILITIES WITHIN THE BOUNDARY OF THE SITE ARE TO BE REMOVED EXCEPT WHERE NOTED OTHERWISE (SUCH AS "TO REMAIN" TO BE RELOCATED" ETC.). THIS PLAN IS LIMITED TO WATER AND SANITARY SEWER ONLY, NO DESIGN OF FPL, COMCAST, GAS, TELEPHONE IS SHOWN HEREON.
- 4. CONTRACTOR IS RESPONSIBLE FOR SEQUENCING ALL UTILITY REMOVAL/RELOCATION SUCH THAT NO OTHER USER OF SAID IS AFFECTED.





EXIST	ING TREE SU	RVEY							
1223 N	IW 6th St								
NUMBER	BOTANICAL NAME	COMMON NAME	CALIPER D.B.H. INCHES	APPROXIMATE HEIGHT IN FEET or CLEAR TRUCK	CANOPY DIAMETER IN	CONDITION Excellent = 100% Good = 80% Fair = 60% Poor = 40% Very Poor = 20%	DESCRIPTION	PLAN ACTION	CLASS A = 100% CLASS B = 80% CLASS C = 60% CLASS D = 40% CLASS E = 20% CLASS F = 0%
1	Quercus virginiana	LIVE OAK	20	35	20	80%	adjacent property shade tree	remain	100%
2	Quercus virginiana	LIVE OAK	18	35	20	80%	adjacent property shade tree	remain	100%
3	Quercus virginiana	LIVE OAK	16	35	20	80%	adjacent property shade tree	remain	100%
4	Quercus virginiana	LIVE OAK	2	6	6	60%	large oak shrub	REMOVE	
5	Mangifera indica	MANGO	20	15	12	60%	poor banch structure	REMOVE	
6	Quercus virginiana	LIVE OAK	30	35	25	60%	adjacent property shade tree	remain	100%
7	Mangifera indica	MANGO	4	12	12	60%	poor banch structure	REMOVE	60%
8	Mangifera indica	MANGO	16	35	20	40%	no leaves low third branches	REMOVE	60%
9	Sabal palmetto	SABAL PALM		8		60%	five feet for low overhead wires	REMOVE	
10	Sabal palmetto	SABAL PALM		16		80%	within tree 12 canopy	REMOVE	
11	Cocos nucifera	COCONUT PALM		4		60%	five feet for low overhead wires	REMOVE	
12	Mangifera indica	MANGO	6	20	15	60%	leaning southward	REMOVE	60%
13	Sabal palmetto	SABAL PALM		12		80%	adjacent to building to be demo	remain	
14	Sabal palmetto	SABAL PALM		18		80%	adjacent property palm tree	REMOVE	
15	Quercus virginiana	LIVE OAK	4	14	10	80%	street tree	remain	100%
16	Quercus virginiana	LIVE OAK	4	14	10	80%	street tree	remain	100%
17	Quercus virginiana	LIVE OAK	4	14	10	80%	street tree	remain	100%
18	Quercus virginiana	LIVE OAK	4	14	10	80%	street tree	remain	100%
19	Livistona chinensis	CHINESE FAN PALM		20		80%	adjacent to palm tree	remain	
20	Adonidia merrillii	CHRISTMAS PALM		7		80%	adjacent to palm tree	remain	
21	Livistona chinensis	CHINESE FAN PALM		20		80%	adjacent to palm tree	remain	

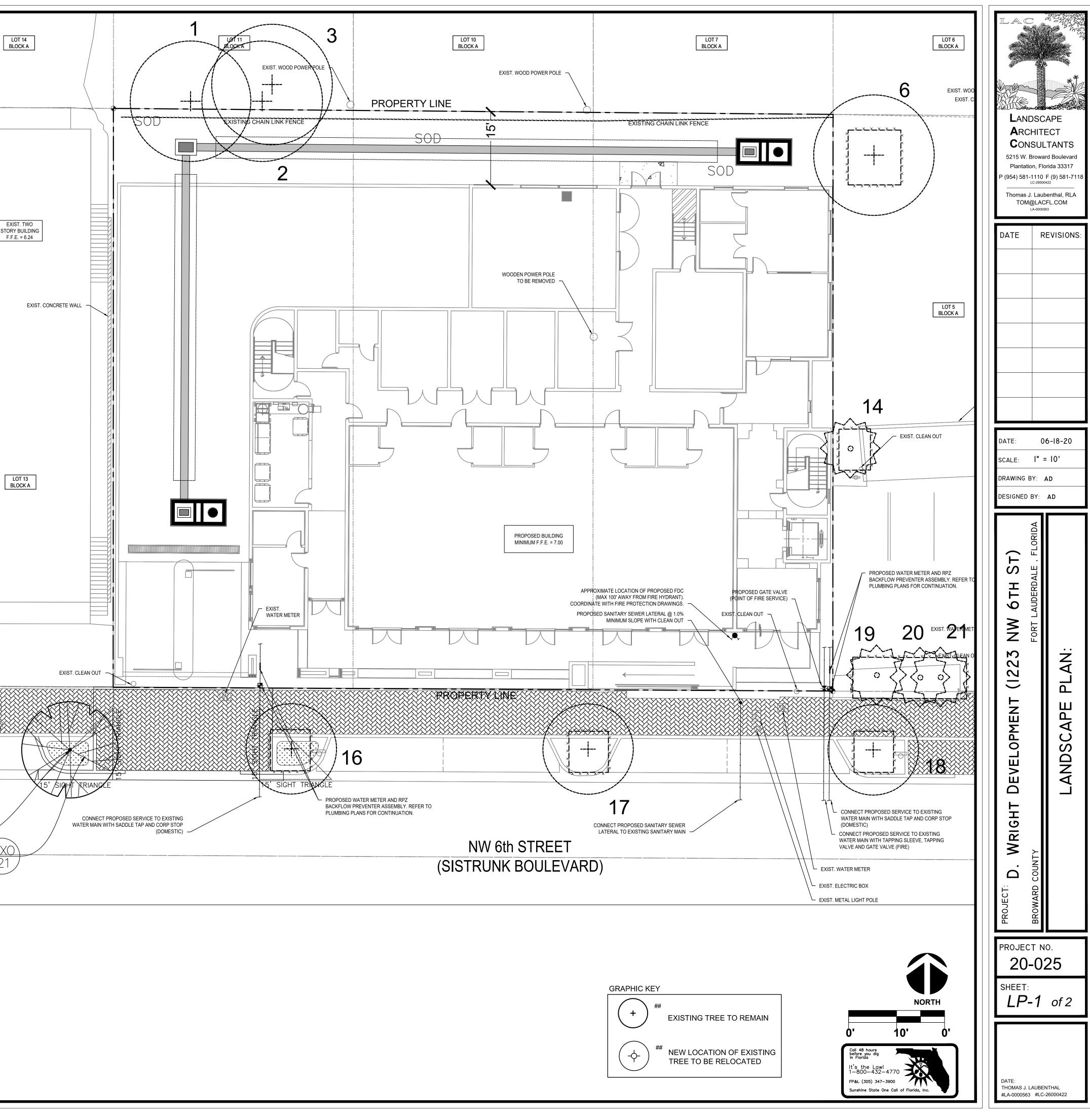




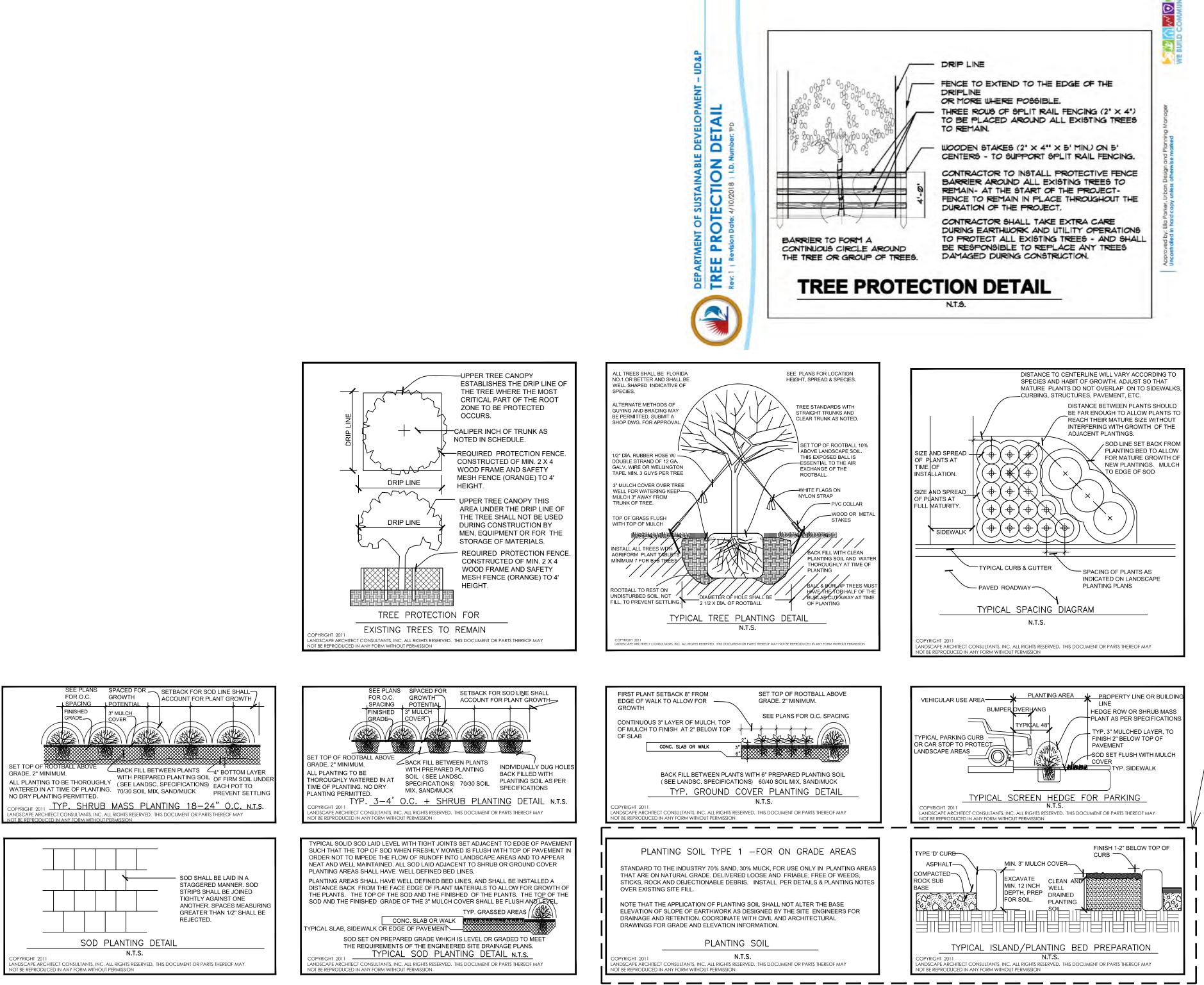
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$T \cap T'$	SS LOT AREA AL BUILDING AREA	18,071 SQ FT ##	100.00% ##			
	AL HARDSCAPE AREA	##	##			
	AL GREEN AREA	##	##]		
LAND	SCAPE CODE CALCULAT	TIONS	REQUIRED	PROVIDED		
SEC. 47-	21.11 Maintenance.					
JO MA SY SH TR DE ON CO	IE OWNER, TENANT AND THEIR AGENT, IF INTLY AND SEVERALLY RESPONSIBLE FOR INTENANCE AND PROTECTION OF LANDSCA STEMS EXISTING OR HEREAFTER INSTALLE ALL INCLUDE WATERING, WEEDING, MOWING EATING, MULCHING, TRIMMING, REMOVAL OF AD OR DISEASED PLANTS AND REMOVAL OF A REGULAR BASIS SO AS TO CONTINUE A NDITION AND PRESENT A NEAT AND WELL- L TIMES.	THE PROPER PING AND IRRIGATION D. MAINTENANCE G, FERTILIZING, PR REPLACEMENT OF F REFUSE AND DEBRIS A HEALTHY GROWING	YES	NOTED		
DIA Am	IADE TREES SHALL BE MAINTAINED AT A MAMETER OF THIRTY (30) FEET IN ACCORDA MERICAN NATIONAL STANDARDS INSTITUTE SIMILAR ACCEPTED STANDARDS AS PUBLIS	ance with the e, A-300 standards	YES	YES		
	LANDSCAPED SIGHT TRIANGLE SHALL BE P SIBILITY MAINTAINED AS PROVIDED IN SEC		YES	YES	MPP (
тн	ANT MATERIALS WHICH BLOCK VISIBILITY S E PROPERTY OWNER OR MAINTAINED SO AS SIBILITY OF ONCOMING TRAFFIC.		YES	YES		
ΙΧΟ	Ixora taiwanensis Dwarf Ixora	18" Ht X 18" 18" O.C. sp.	Spr.	21		
KEY	ATIVE PLAN PLANT DESCRIPTION	SPECIFICAT	IONS	QTY		
	Quercus virginiana Live Oak	12'-14' ht.x 6 6' CT, 3" cal	DBH			
	Dwarf Ixora	18" O.C. sp.		21		
SOD	Paspalum notatum Bahia Grass	Solid sod tight joints,	weed free	as needed		
						0
					EXIST. (C EXIST. ELECTRIC BOX EXIST. WATER METER
					EXIST. (EXIST. ELECTRIC BOX





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CERTIFIED SOIL MIX 70% SAND, 20% MUCK, 10% ORGANIC. FOR USE ONLY IN PLANTING AREAS THAT ARE ON NATURAL GRADE. DELIVERED LOOSE AND FRIABLE, FREE OF WEEDS, STICKS, ROCK AND OBJECTIONABLE DEBRIS. INSTALL PER DETAILS & PLANTING NOTES OVER EXISTING SITE FILL

will also be required for final acceptance.

3. Landscape Design and installation shall conform to xeriscape landscape principles as included in the South Florida Water Management District's xeriscape Principle Guide II, updated version. Xeriscape requirements apply to all materials required by code. Additional plantings over and above code are provided to develop a higher aesthetic than code requires, and are not bound by these minimum standards.

4. In addition to these requirements all local landscape codes and requirements shall be met as a part of this base bid and contract in order to satisfy the review and approval of the governing municipality.

5. Quantities for landscape materials as noted on plans supersede any quantities listed in summary tables or lists. 6. All landscaping scheduled to occur in vehicular use areas shall be protected from vehicular encroachment by curbing or other durable barriers.

7. All planting holes shall have a minimum diameter of $2^{1/2}$ times the diameter of the plant ball and have a minimum of 12" of soil on all sides of the plant ball. All planting holes shall be excavated to remove all objectionable materials, such as asphalt, sub-base, concrete, rock, caustic materials with an excessive soil Ph, or similar materials not suited for landscape planting. Planting hole(s) shall be dug to a depth that is 90% the height of the root ball, with the installed root ball resting on undisturbed soil. Top of root ball to be 10% above final grade. For small caliper trees of 4" or less, plant the root ball above grade 1" for every 1" caliper. (i.e. if you have a 3" caliper tree plant the rootball 3" above grade. For all shrubs and ground cover plant the rootball minimum 2" above grade.

8. All plant material shall be installed in planting soil that is delivered to the site in a clean, loose and friable condition. All soil shall have well draining characteristics. Soil must be free of all rocks, sticks, objectionable debris including weeds and weed seed. Minimum soil depth requirements may vary with each municipality. See details and local codes for clarification.

9. All plant materials shall be thoroughly watered in at the time of planting. No dry planting shall be permitted.

10. Local codes require specific formulas for the use of native plants, as well as calculations for required number of code size trees by type and caliper inch. See code calculation tables provided with plan drawings.

11. Plans and new plantings shall be required to provide for safe sight lines at all access and egress points from the site, as well as intersections. All emergency equipment such as fire hydrants shall be maintained as visible and accessible, free of obstruction by new plantings. Trees require setbacks from lighting poles and fixtures. The contractor is required to field adjust the location of plant materials to meet these standards as work in contract.

Palm Trees - Atlantic Fertilizer Palm Mix 8-4-12 plus Minors, applied per mfg. recommendation noted on the bag. 13. All landscape areas not covered by shrubs or ground cover shall be planted with sod, and conversely all areas not covered by sod shall be covered with mulch to a minimum depth of (3) three inches of cover when settled. Mulch shall be kept 3" away from the face of the trunk (tree or palm). Eco-Cypress mulch or Eco-Melaleuca mulch shall be used; see natural mulch products at www.mulchingsolutions.com for product information or call 561-499-8148.

14. Sod shall be (as noted) solid sod, and shall be laid on a smooth planting base which has been graded to meet the drainage characteristics of the site. All sod shall be laid with closely fitted joints, and shall be in a green and healthy growing condition at planting. Sod shall be free of disease, debris, sticks, rocks and weeds. Variety as specified in plans. Where sod is abutting shrub and/or ground cover beds, the sod line shall be cut in a clean smooth line (radial or straight) free of any jagged or crooked edges.

15. All landscape areas shall be finished graded such that they are flush and level with the surrounding paved surfaces as not to impede the flow of drainage into landscape areas and to prevent the back wash of mulch and debris onto paved areas. 16. All new landscaped areas shall be excavated of all road rock, existing site fill down to a depth of 12" minimum from

top of curb. SEE DETAIL THIS SHEET FOR SPECIFICS.

17. All landscape areas shall be irrigated by a fully automatic system adjusted to provide 100% coverage. All heads shall be adjusted to minimum 100% overlap. 18. The irrigation system shall be equipped with a rain sensor shutoff device, hard wired to over ride the time clock, controller or

19. Any existing trees and their root zones on site shall be protected from damage during construction. All trees/palms to be removed or relocated shall require proper permitting and documentation of size, species, condition and proposed action. Established values for mitigation is required in the case of removals. Trees to be relocated shall be free of any hazardous defects and/or characteristics including but not limited to: Girdling roots, codominant leaders with bark inclusions, active trunk decay, stub cuts, open trunk wounds and broken leader(s). All permitting and review processes must be completed prior to any work being done. Any relocation's shall be root pruned in advance except for palm species. Palm fronds shall be hurricane cut in advance for any Sabal Palms to be relocated.

20. All selective trimming of existing and/or relocated trees on site, shall be done applying the standards of the American National Standards Institute, ANSI 300, 2001.

21. All new trees and relocated trees shall be guyed and braced applying the Standards of the National Arborist Association Guide Lines 1988 edition or most current.

22. All trees and palms shall be setback from roadways, walks and utility clear zones as required to conform to safety standards of the local municipality, FDOT and/or the utility companies, whether the plans show dimensions or not. These standards shall supersede all plan documents and are included in the work required by the contractor to complete the project.

23. Any substitutions to plant materials for areas addressed on the plans shall be approved by the governing municipality prior to work performed.

24. Landscape materials shall be maintained during construction as part of this base contract and any materials that die or decline below grades and standards shall be replaced immediately for final acceptance.

25. All landscape materials are guaranteed for full replacement including the material and labor for a period of one year from the time of final acceptance. This applies to any materials which are dead or have declined below grades and standards. The guarantee is void only in cases of 75 mph hurricane force winds at the site and/or a freeze below 35 degrees when established by the weather bureau as effecting the project location.

26. Medium and large maturing palms shall be planted at least 3' (feet) from all hardscapes and at least their typical frond length from a building or light pole.

27. Medium and large maturing trees shall be planted at least 5' (feet) from all hardscapes (e.g. sidewalks, driveways, pavers, curbs, etc.) They shall be planted a minimum of 10' (feet) from a building or light pole.

PLANTING NOTES

1. All sizes for plant material shown on plan are to be considered as minimums. All plant material must meet or exceed all minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan

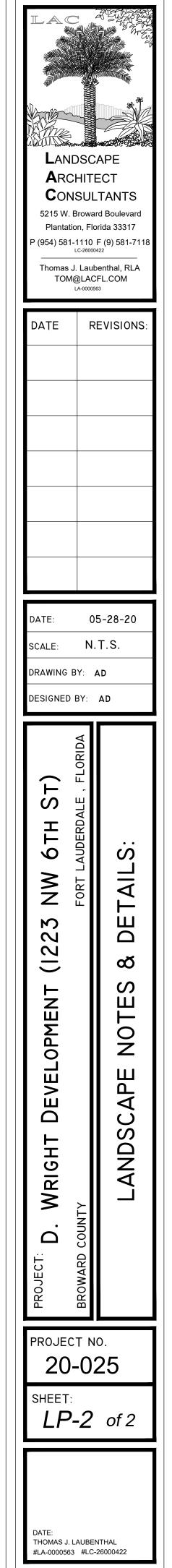
2. All plant material furnished by the Landscape Contractor shall be Florida No.1 or better, unless otherwise specified, and shall be installed as specified in the most current edition of Grades and Standards for Nursery Plants, Part I by the Florida Department of Agriculture, Consumer Services Division, State Plant Board of Florida.

12. Fertilizer shall be applied directly to the surface of the plant bed immediately after installation and prior to mulching. Turf Areas - Sunniland Fertilizer 16-4-8, applied per mfg. recommendation noted on the bag. Shrub Areas - Atlantic Fertilizer 12-6-8 plus Minors, applied per mfg. recommendation noted on the bag.

Canopy Trees- Atlantic Fertilizer 12-6-8 plus Minors, applied per mfg. recommendation noted on the bag.

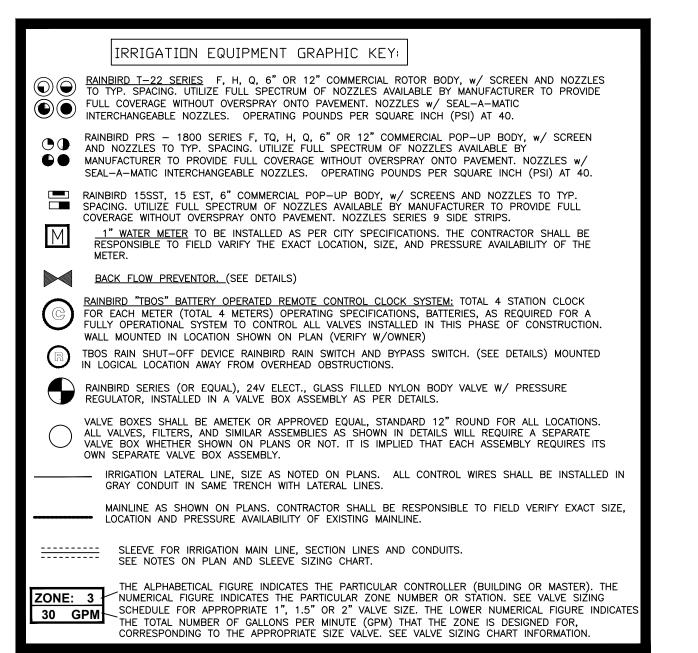
pump station in the event of rain or equally wet conditions. This requirement conforms to the County and SFWMD ordinance.

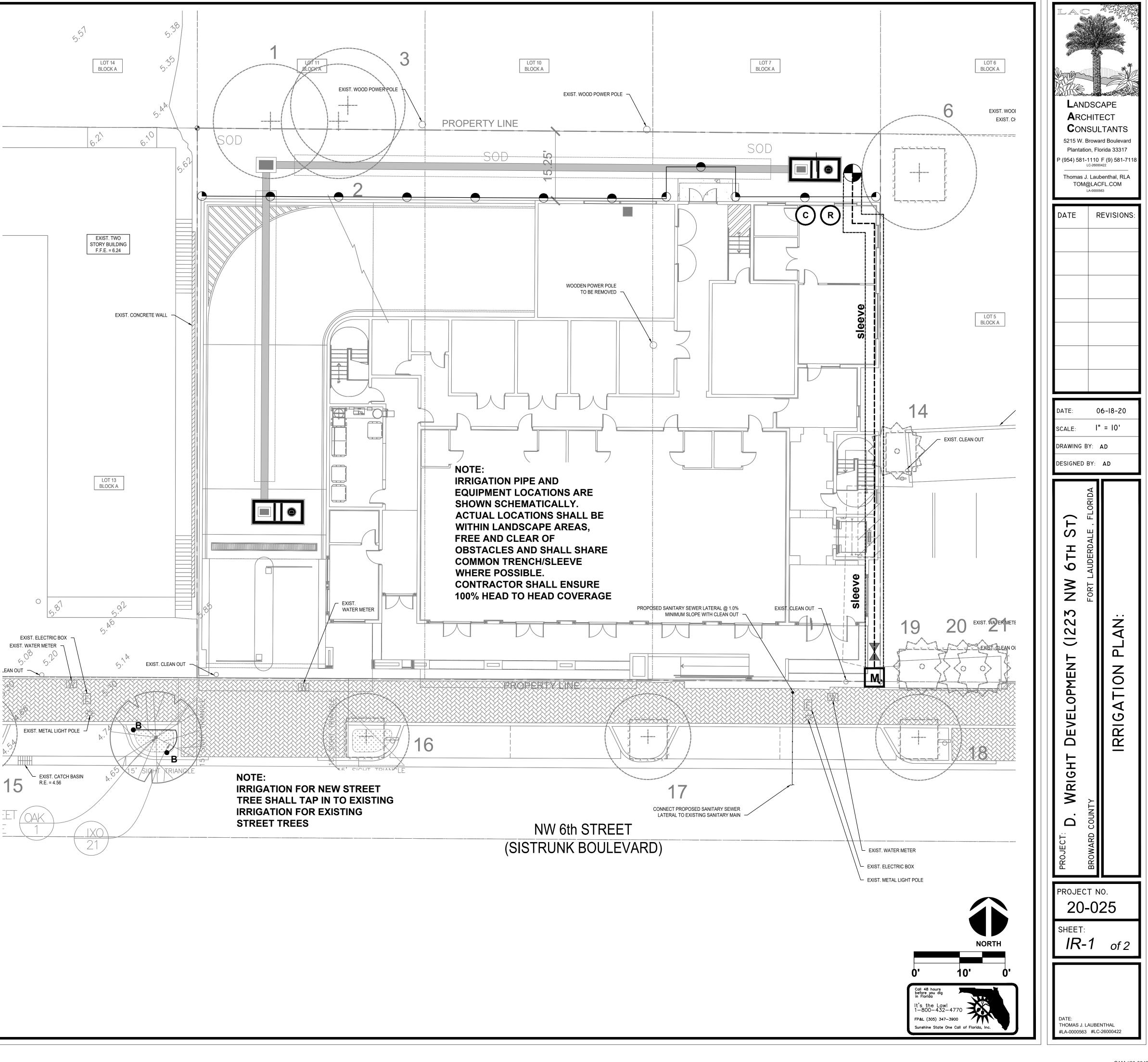




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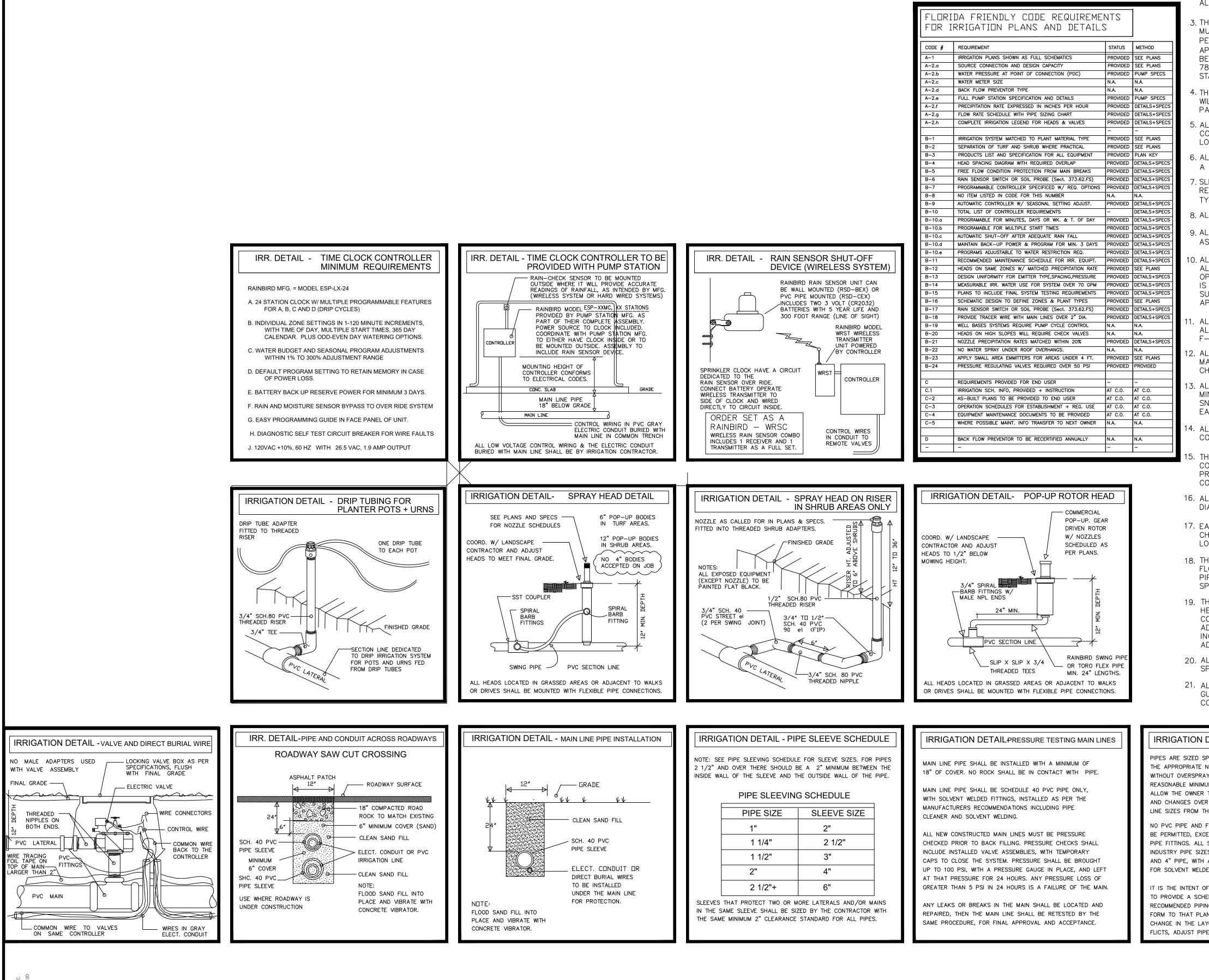
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GENERAL SPRINKLER NOTES: WITH ROOTBALL AREA OF TREES.

- F 656
- EACH AND ALL WIRES.

- SPECIFICATIONS.

- PIPES ARE SIZED SPECIFICALLY TO THE ANTICIPATE THE USE OF THE APPROPRIATE NOZZLE REQUIRED FOR ADEQUATE COVERAGE WITHOUT OVERSPRAY. THE PIPE SIZE IS DESIGNED WITH A REASONABLE MINIMUM CUSHION IN THE LINE SIZE THAT WILL ALLOW THE OWNER THE LATITUDE TO EFFECT NORMAL REPAIRS AND CHANGES OVER COMING YEARS. DO NOT REDUCE THE LINE SIZES FROM THE SCHEDULE SHOWN.
- NO PVC PIPE AND FITTINGS, SMALLER THAN 3/4" PIPE SHALL BE PERMITTED, EXCEPT FOR SWING JOINT ADAPTERS TO FLEX PIPE FITTINGS. ALL SECTION LINE PIPE SHALL BE STANDARD INDUSTRY PIPE SIZES 3/4", 1" 1 1/4", 1 1/2", 2" 2 1/2", 3', AND 4" PIPE, WITH APPROPRIATE NEW SCH. 40 PVC FITTINGS FOR SOLVENT WELDED ASSEMBLY USING CLEANERS/PRIMERS.
- IT IS THE INTENT OF THE LANDSCAPE ARCHITECT / DESIGNER TO PROVIDE A SCHEMATIC DRAWING DEMONSTRATING THE RECOMMENDED PIPING LAYOUT. THE CONTRACTOR SHALL CON-FORM TO THAT PLAN DIAGRAM WHEREVER POSSIBLE. WHEN A CHANGE IN THE LAYOUT IS DEEMED NECESSARY DUE TO A CON-FLICTS, ADJUST PIPE AS NEEDED AND PROVIDE AS-BUILT DATA.

IRRIGATION CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH ALL OTHER DRAWINGS OF THE PROJECT TO RESOLVE COORDINATION AND POTENTIAL CONFLICTS WITH EXISTING UNDERGROUND PIPES AND UTILITIES OR WORK BY OTHERS, PRIOR TO ANY WORK BEING DONE. MOST MAIN LINES SHARE ALIGNMENT WITH PERIMETER UTILITY EASEMENTS & SIGNIFICANT LANDSCAPE BUFFER PLANTINGS. AVOID CONFLICTS

2. THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO CALL FOR LOCATIONS AND TO COORDINATE WITH LOCAL AGENCIES TO IDENTIFY LINES, PIPES, CABLES OF EASEMENTS WITHIN THE EFFECTED AREAS, PRIOR TO WORK. ALL WORK SHALL CONFORM TO THE FLORIDA BUILDING CODE PLUMBING SECTION, APPENDIX F FOR IRRIGATION.

3. THE INSTALLING CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN LICENSE, AND PERMITS WITHIN THE MUNICIPALITY AND MIAMI-DADE COUNTY AS WELL AS THE RELATED FEES WITHIN THE CONTRACT PRICE. PERMITS FOR SOUTH FLORIDA WATER MANAGEMENT DISTRICT ARE PULLED BY THE OWNER. (QUALIFIED APPLICANT 104.6.1.2) PERMITS WILL ONLY BE ISSUED TO QUALIFIED PEOPLE OR FIRMS. QUALIFICATION SHALL BE IN ACCORDANCE WITH: THE RULES OF THE BROWARD COUNTY CENTRAL EXAMINING BOARD, ORDINANCE 78-9 AND CHAPTER 9 OF THE COUNTY CODES; STATE DBPR, CHAPTER 489, PART 1 OF FLORIDA STATE STATUTES; OR OTHER EXAMINING BOARDS APPROVED BY THE BROWARD BOARD OF RULES AND APPEALS.

4. THE HORIZONTAL CONTROL FOR THE PROJECT WILL BE ESTABLISHED BY THE GENERAL CONTRACTOR WHO WILL LOCATE AND STAKE PROPERTY LINES, ALL RECORDED EASEMENTS, LIMIT OF WORK LINE, LIGHT POLES, PAVED AREAS, PARKING ISLANDS, DRAINAGE STRUCTURES AND RELATED FEATURES.

5. ALL MAINS AND SECTION LINES ARE SHOWN SCHEMATICALLY. LINES WHERE EVER POSSIBLE SHALL BE CONSOLIDATED INTO COMMON TRENCHES. THE CONTROL WIRES IN GRAY ELECTRICAL CONDUIT SHALL BE LOCATED UNDER THE MAIN FOR PROTECTION.

6. ALL MAIN LINES SHALL BE BURIED A UNIFORM 24" BELOW GRADE. ALL SECTION LINES SHALL BE INSTALLED A MINIMUM OF 12" BELOW GRADE.

7. SLEEVES UNDER ROADWAYS MAY BE DEEPER THAN 24" TO COORDINATE WITH ROADWAY CONSTRUCTION REQUIREMENTS OR TO COORDINATE WITH UTILITIES. SLEEVES UNDER PAVED PARKING AREAS WILL TYPICALLY MAINTAIN A 24" DEPTH TO ALIGN WITH MAIN LINE INSTALLATION DEPTHS.

8. ALL MAIN LINE PIPE SHALL BE SCHEDULE 40 PVC NEW PIPE ONLY. TYPE 1, PIPE, ASTM D-2241.

9. ALL SECTION LINE PIPE FROM 3/4" TO 2" I.D. SHALL BE SCHEDULE 40 PVC NEW PIPE ONLY. TYPE 1, PIPE, ASTM D-2241. ALL SECTION LINE PIPE FROM 2.5" TO 6" SHALL BE SDR-26 (160 PSI) PVC 1120 TYPE 1 PIPE

O. ALL PIPING IS SIZED TO MEET DESIGN CALCULATIONS FOR GPM FLOW AND FOR A PRE-DESIGNED CUSHION TO ALLOW FOR NOMINAL REPAIRS AND FOR MODIFICATIONS TO THE SYSTEM WHICH OCCUR OVER TIME IN NORMAL OPERATION OF SYSTEM. LINE SHALL BE INSTALLED TO THE SIZE AS SHOWN IN PLANS. DOWN SIZING LINES IS NOT PERMITTED WITHOUT A CHANGE ORDER AND A REVISION OF THE DRAWING. THE CONTRACTOR MAY SUGGEST REVISION OR VALUE ENGINEERING WITH THE LANDSCAPE ARCHITECT FOR REVIEW AND WRITTEN APPROVALS PRIOR TO IMPLEMENTATION.

. ALL PVC SOLVENT WELDED ASSEMBLY SHALL BE CLEANED AND PRIMED PRIOR TO THE SOLVENT WELD. ALL PVC CEMENT SHALL CONFORM TO ASTM D-2564. ALL PVC PIPE CLEANER SHALL CONFORM TO ASTM

12. ALL WORK SHALL BE DONE IN A GOOD WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND STANDARDS OF THE FLORIDA IRRIGATION SOCIETY, BROWARD CHAPTER AND FLORIDA BUILDING CODE APPENDIX F.

. ALL CONTROL WIRES SHALL BE U.L. APPROVED DIRECT BURIAL TYPE PLASTIC COATED WIRE, AWG SIZE MINIMUM 14 GAUGE SOLID OR 12 STRAND WIRE. ALL SPLICES SHALL BE MADE WITH RAINBIRD ST-03 SNAP TIGHT WATERPROOF CONNECTORS. ALL WIRES SHALL BE MARKED WITH DURABLE TAGS IDENTIFYING

4. ALL CONTROL WIRES SHALL BE INSTALLED IN U.L. APPROVED SIZE OF CLASS 160 GRAY ELECTRICAL CONDUIT WITH SWEEPS UP INTO A PULL BOX OR VALVE BOX ASSEMBLY.

THE IRRIGATION CONTRACTOR SHALL BRING THE CONTROL WIRES TO THE TIMECLOCK/CONTROLLER AND CONNECT ALL WIRING ON THE LOW VOLTAGE SIDE OF THE PANEL. ALL HIGH VOLTAGE WIRING AND POWER IS PROVIDED BY THE PUMP MANUFACTURER AND THE OWNER. LABEL ALL CONTROL WIRES AT THE PANEL TO CONFORM TO THOSE IN THE FIELD

16. ALL VALVE BOXES AND PULL BOXES FOR CONTROL WIRES SHALL BE AN AMETEX BOX, MINIMUM 10" DIAMETER ROUND BOX. ONE PER EACH VALVE.

17. EACH LENGTH OF MAIN LINE BETWEEN THE PUMP STATION AND EACH ISOLATION VALVE SHALL BE PRESSURE CHECKED AND INSPECTED BY THE DESIGN PROFESSIONAL. PRESSURE MUST MAINTAIN A MINIMUM OF 5 PSI LOSS IN 24 HOURS FROM A 100 PSI PRIMING FOR ANY GIVEN TEST LENGTH

18. THE SPRINKLER CONTRACTOR SHALL COORDINATE WITH THE WATER DEPARTMENT TO INSTALL THE BACK FLOW PREVENTOR ACCORDING TO LOCAL CODES & STANDARDS ADJUSTING TO SCHEDULES OF EQUIPMENT. PIPING, MATERIALS FOR SIGN OFF AND APPROVALS. CODE REQUIREMENTS TAKE PRECEDENT OVER DETAILS &

19. THE FULL SPECTRUM OF NOZZLES, NOZZLE ANGLES, FULL CIRCLE, PART CIRCLE & ADJUSTABLE PATTERN HEADS IS TO BE EMPLOYED IN THIS CONSTRUCTION. THE CONTRACTOR SHALL ADJUST THE SYSTEM FOR COMPLETE COVERAGE WITH THE MANUFACTURERS RECOMMENDED 100% OVERLAP. AND UTILIZE THE ADJUSTABLE PATTERN HEADS TO AVOID OVERSPRAY TO PAVED SURFACES. THE CONTRACTOR IS ALSO TO INCLUDE IN HIS BID AND PROVIDE FOR THE INSTALLATION OF ANY ADDITIONAL HEADS REQUIRED TO BE ADDED TO INSURE COVERAGE FOR THE PROJECT.

20. ALL HEADS SHALL BE SET USING THE MANUFACTURES RECOMMENDED SWING JOINT ASSEMBLIES INCLUDING SPIRAL BARB FITTINGS AND THICK WALL PIPE OR SUBMIT SHOP DRAWINGS FOR APPROVAL.

21. ALL MATERIALS ARE GUARANTEED FREE FROM DEFECTS AND ALL WORKMANSHIP AND INSTALLATION ARE GUARANTEED FOR THE COST OF FULL REPLACEMENT FOR A PERIOD OF ONE YEAR FROM THE TIME OF COMPLETION AND FINAL ACCEPTANCE OF EACH SEPARATE, COMPLETED, AND FULLY OPERATIONAL SYSTEM.

IRRIGATION DETAIL - PIPE SIZING NOTES

IRRIGATION DETAIL - PIPE SIZING & NOZZLE NOTES

CONTRACTORS SHALL EMPLOY THE FULL SPECTRUM OF NOZZLE PATTERS AVAILABLE FROM THE MANUFACTURER TO PROVIDE THE CORRECT NOZZLES TO COVER THE LANDSCAPE AREAS AND AVOID OVERSPRAY ONTO PAVED AREAS. THIS WOULD INCLUDE BUT NOT BE LIMITED TO, ADJUSTABLE ARC NOZZLES, CENTER STRIP, END STRIP & SIDE STRIP NOZZLES, AND OTHER BASIC NOZZLES DESIGNED TO CONTROL OVERSPRAY ONTO AREAS NOT INTENDED TO GET WET OR REQUIRED COVERAGE. THE USE OF THESE NOZZLE TYPES IS IMPLIED AS PART OF THE BASE BID PRICE AND REPRESENTS A SYSTEM INSTALLATION THAT IS STANDARD TO THE INDUSTRY AND REQUIRED BY LOCAL CODES FOR WATER CONSERVATION AND SAFETY PROTECTION AGAINST WET SURFACES, SLIP & FALL SITUATIONS OR SKID ACCIDENT.

PIPES ARE SIZED SPECIFICALLY TO THE ANTICIPATE THE USE OF THE APPROPRIATE NOZZLE REQUIRED FOR ADEQUATE COVERAGE WITHOUT OVERSPRAY. THE PIPE SIZE IS DESIGNED WITH A REASONABLE MINIMUM CUSHION IN THE LINE SIZE THAT WILL ALLOW THE OWNER THE LATITUDE TO EFFECT NORMAL REPAIRS AND CHANGES OVER COMING YEARS. DO NOT REDUCE THE LINE SIZES FROM THE SCHEDULE SHOWN.



DATE REVISIONS: BRONGLI NRIGHT DEVELOPMENT (123 NW 6H ST) DATE: 02-58-50 SCALE: I." = XX. DESIGNED BY: V DESIGNED BY: V IRAWING BY: V IRAMING BY: AD ISIGNED BY: AD ISIGNED BY: AD	LANDSCAPE ARCHITECT CONSULTANTS 5215 W. Broward Boulevard Plantation, Florida 33317 P (954) 581-1110 F (9) 581-7118 LC-2600422 Thomas J. Laubenthal, RLA TOM@LACFL.COM	
D. WRIGHT DEVELOPMENT (1223 NW 6TH ST) DESIGNED BJ. VAIGHT BALE , FLORIDA FORT LAUDERDALE , FLORIDA IRRIGATION NOTES & DETAILS:	DATE	REVISIONS:
D. WRIGHT DEVELOPMENT (1223 NW 6TH ST COUNTY FOR LAUDERDALE , FORT LAUDERDALE , IRRIGATION NOTES & DETAILS:	SCALE: DRAWING B	" = XX' Y: AD
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