

EXHIBIT 3



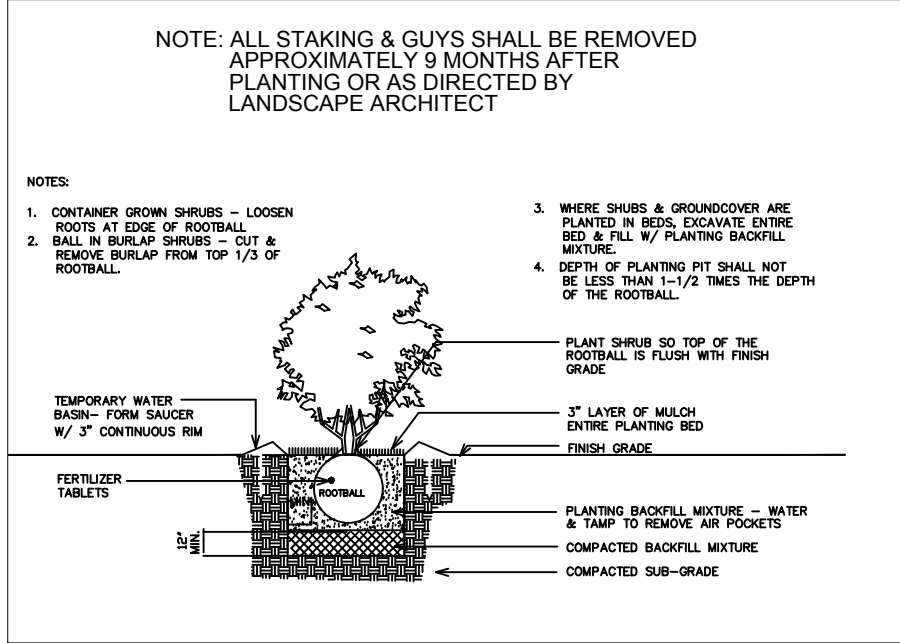
AXONOMETRIC - SOUTH-EAST CORNER



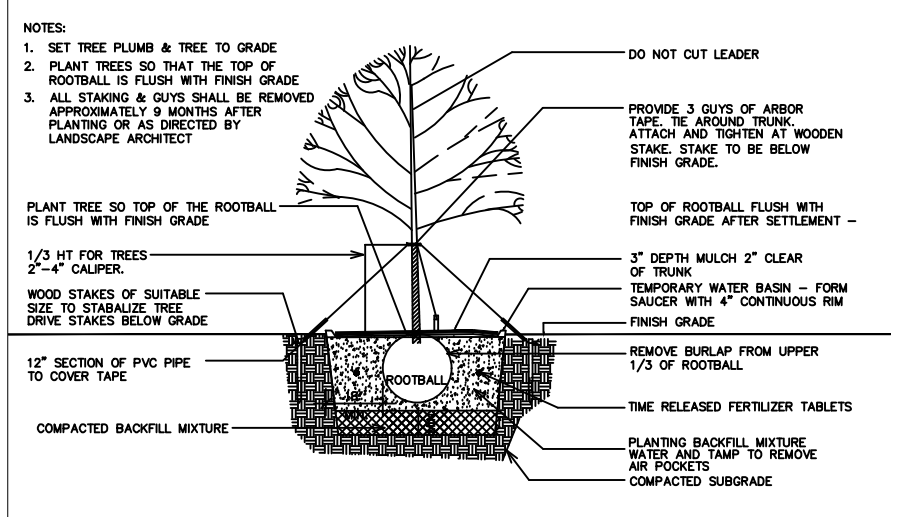
AXONOMETRIC - NORTH-EAST CORNER

LANDSCAPE NOTES

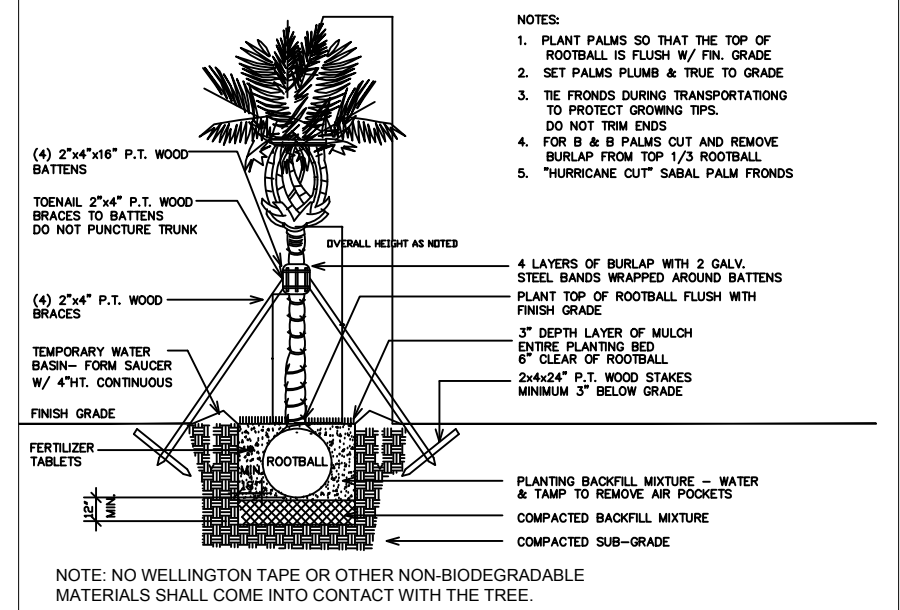
- 1- All plant material shall be Florida No. 1 or better as given in the current Florida Grades and Standards for Nursery Plants, 2015, Florida Department of Agriculture and Consumer Services.
- 2- All plant materials shall be subject to inspection and approval by the Landscape Architect at place of growth and upon delivery for conformity to specification.
- 3- All plants shall be true to species and variety and shall conform to measurements specified. All substitutions shall be submitted to the City and Landscape Architect for final approval.
- 4- All plants shall be exceptionally heavy, symmetrical, tight knit and so trained in appearance as to be superior to form, branching and symmetry.
- 5- Contractor shall notify Sunshine 811 (call 811) for locations of existing utility lines 48 hours prior to beginning work. Contractor shall verify location of all utility lines and easements prior to commencing any work. Excavation in the vicinity of underground utilities shall be undertaken with care and by hand, if necessary. The Contractor bears full responsibility for this work and disruption or damage to utilities shall be repaired immediately at no expense to Owner.
- 6- Grade B+, shredded sterilized Melaleuca or Eucalyptus mulch shall be used in all mass planting beds and for individual tree pits. All trees shall have a mulch ring with a depth of 3" and a diameter of 3'-4" around their base. All mulch shall be kept 4" from base of all plant material. Mulch beds shall be a minimum of 12" wider than plants measured from outside edge of foliage.
- 7- Sod shall be St Augustine and free of weeds, insects, fungus and disease, laid with alternating and abutting joints.
- 8- All trees and shrubs shall be backfilled with a suitable planting soil consisting of 50 percent sand and 50 percent approved compost. All plant materials shall be planted with a minimum of 6 to 18 inches of planting soil around the root ball. Refer to planting details. Planting soil to be backfilled into plant pits by washing in. Planting beds shall be free from road, pea, egg or colored rock, building materials, debris, weeds, noxious pests and disease.
- 9- All sodded areas to have a minimum of 2" of planting soil as described in note #8.
- 10- All trees shall be warranted by the Contractor and will be healthy and in flourishing condition of active growth one year from date of final acceptance.
- 11- All shrubs, groundcovers, vines and sod shall be fully warranted for 90 days under same condition as above.
- 12- All synthetic burlap, synthetic string or cords or wire baskets shall be removed before any trees are planted. All synthetic tape shall be removed from trunks, branches, etc before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before trees are backfilled. Planting soil to be backfilled into pits by washing in.
- 13- All trees and palms shall be planted with the top of their rootballs 1"-2" above finished grade. All other plants shall be planted with top of their rootballs no deeper than the final grade surrounding the planting area.
- 14- In areas where paved surfaces abut sod or mulch, the final level of both surfaces should be even.
- 15- All planting shall be installed with fertilizer at time of planting.
- 16- All planting shall be installed in a sound, workmanlike manner and according to good planting procedures. Installation shall include watering, weeding, fertilizing, mulching, selective pruning and removal of refuse and debris on a regular basis so as to present a neat and well kept appearance at all times.
- 17- All landscape and sod areas shall have an automatic irrigation system installed. Coverage should be 100% with 50% minimum overlap using rust free water to all landscape and sod areas. Spray upon public sidewalks, streets and adjacent properties should be minimized. Sodded areas and shrub/ groundcover beds should be on separate irrigation zones for a more efficient system. Irrigation system shall be installed with a rainswitch device.
- 18- All landscape and irrigation shall be installed in compliance with all local codes.
- 19- The plan shall take precedence over the plant list, should there be any discrepancy between the two.



SHRUB PLANTING DETAIL



TREE STAKING DETAIL



PALM PLANTING DETAIL

Plant List

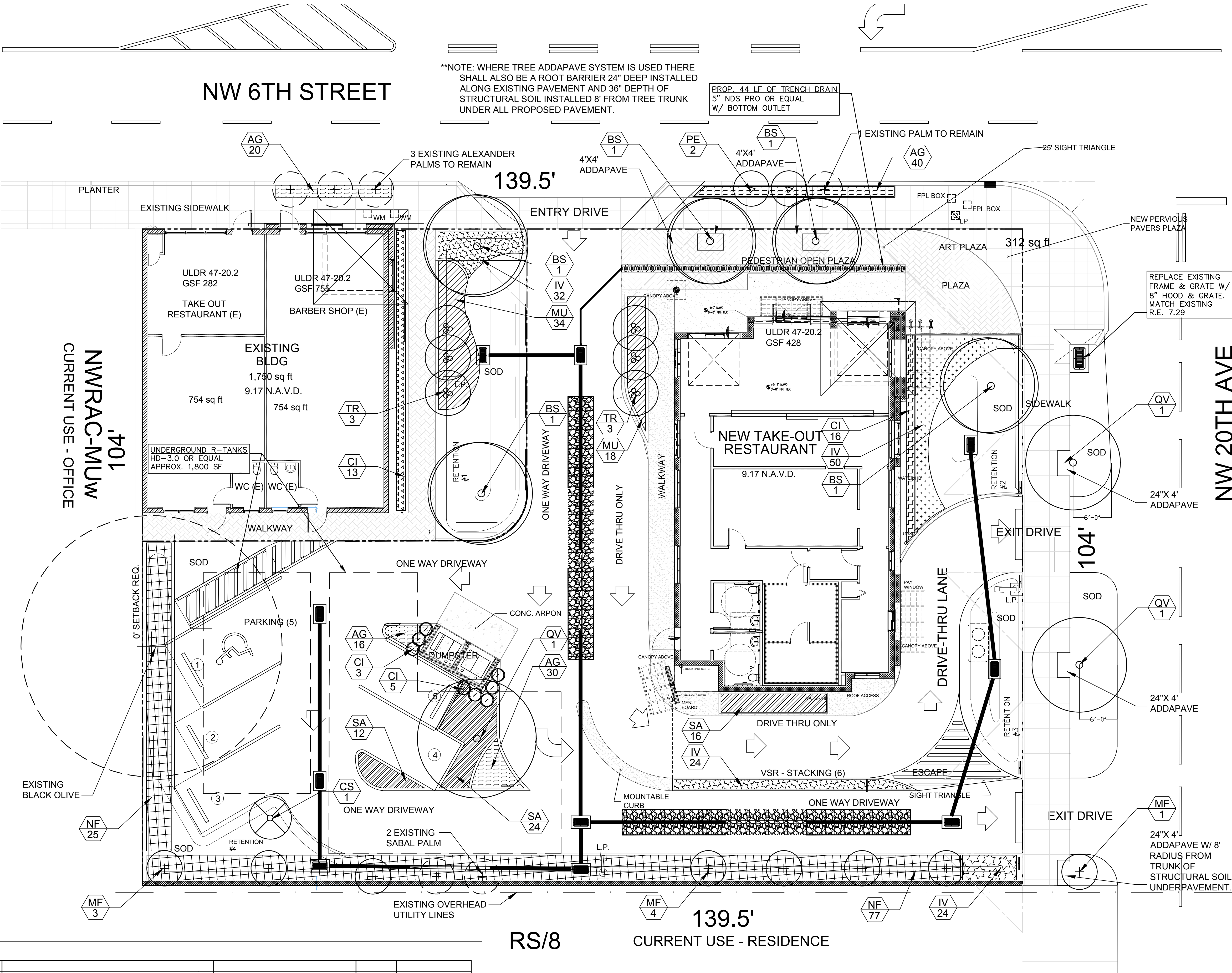
Trees/ Palms					
Sym	Qty	Botanical / Common Name	Size	Native	Drought Tolerance
QV	3	Quercus virginiana/ Live oak	12' Ht x 4' Spr, 2" cal	Yes	High
MF	8	Myrcianthes fragrans / Simpson's Stopper	10' Ht. x 4' Spr., 2" cal.	Yes	High
BS	5	Bursera simaruba/ Gumbo Limbo	12' Ht x 4' Spr, 2" cal	Yes	High
pe	2	Ptychosperma elegans/ Solitaire palm	14' OA Ht.	No	Medium
CS	1	Cordia sebestena/ Orange Geiger Tree	10' Ht x 5' Spr, 2" cal	Yes	High
TR	6	Thrinax radiata/ Thatch Palm	8' CT	Yes	High
Shrubs/Groundcovers					
AG	106	Arachis glabrata/ Rhizoma Peanut	4"x 10", 18" O.C.	No	High
CI	37	Chrysobalanus icaco / Cocoplum	24"x 24", 24" O.C.	Yes	Medium
IV	165	Ilex vomitoria 'Stokes Dwarf'/ Dwarf Ilex	10" x 10", 18" O.C.	Yes	High
NF	102	Nephrolepis falcata/ Macho Fern	20" x 20", 24" O.C.	No	Medium
MU	52	Muhlenbergia capillaris/ Muhly Grass	24" x 24", 24" O.C.	Yes	High
SA	52	Schefflera arboricola 'Trinette'/ Var. Arboricola	24" x 24", 24" O.C.	No	High
Sod		St. Augustine			
Mulch		Shredded Melaleuca or Eucalyptus			

RS/8

CURRENT USE - RESIDENCE

Landscape Code Requirements

Description	Application	Calculation	Required	Provided
Site Trees	1 tree/ 1000 sf	2942 sf/ 1000	3	10
Site Canopy Trees	20%	3 (20)	1	6
Site Shrubs	12/ 1000 sf	2942 sf/1000 x 12	36	372
VUA Trees	1 tree/ 1000 sf	5923 sf/ 1000	6	6
VUA Shrubs	6 shrubs/1000s sf	5923 sf/1000 x 6	36	366
Native Trees	40%	9 (40)	4	16
Native Shrubs	40%	408 (40)	163	254
Sod	50% max	2942 Sf (.50)	1471 sf max	1200 sf
Street Trees	1/40'	NW 20th Ave 85/ 40 NW 6th Street 139/ 40	3 4	2 palms + 4 Existing palms



LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

NEW PROJECT For:

SISTRUNK QUARTERS
DONNA'S CARIBBEAN RESTAURANT
2012-14 NW 6TH STREET
FORT LAUDERDALE, FL. 33311

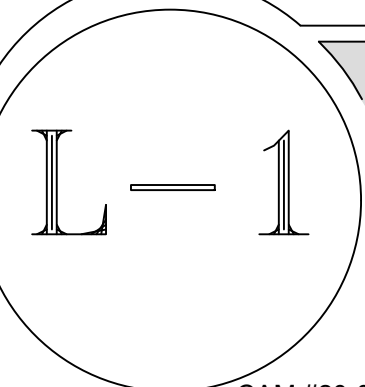
Kimberly Moyer, RLA
Landscape Architecture
(954) 592-3695
Lic. No. #LA0000952

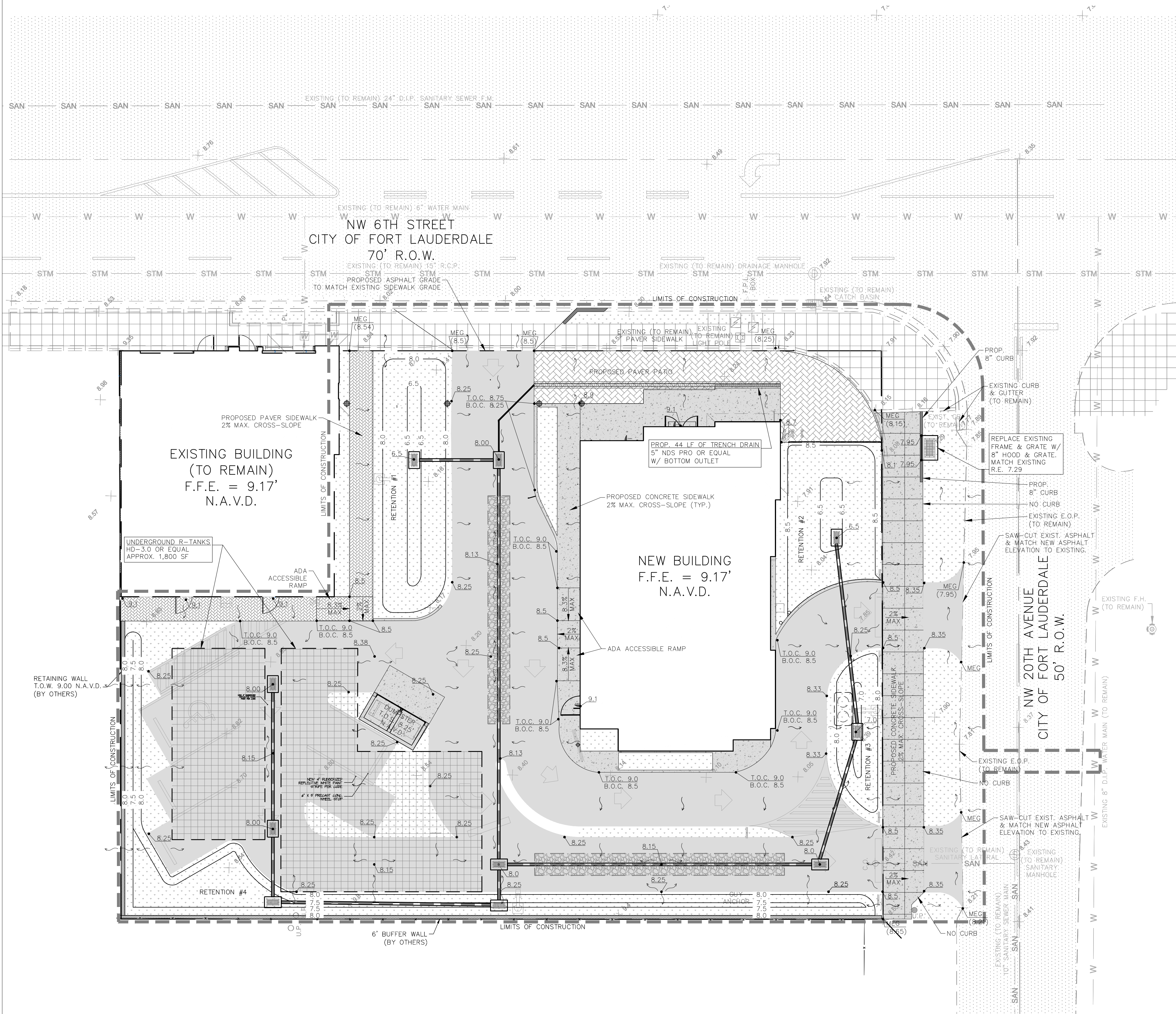
REVISIONS:	
04-08-2020	

Sheet Title:

LANDSCAPE PLAN

FILE NAME:
PROJECT NO. 2019-2012FG
PROJECT NO. 2019-2012FG
DATE: 20 JAN 2020
DRAWN BY: K.M.
CHECKED BY: K.M.





Sunshine
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
Check positive response codes before you dig!

LEGEND

PROPERTY LINE

EXISTING BUILDING

EXISTING OVERHEAD LINE

EXISTING WATER LINE

EXISTING SANITARY SEWER LINE

EXISTING CHAIN LINK FENCE

EXISTING ASPHALT

PROPOSED BRICK PAVERS

PROPOSED SOD

PROPOSED ASPHALT

PROPOSED CONCRETE

PROPOSED EARTHEN BERM

PROPOSED CONTOUR LINE

PROPOSED GRADE

MATCH EXISTING GRADE (MEG)

FLOW ARROW

PROPOSED CATCH BASIN (CB)

PROPOSED DRAINAGE MANHOLE (MH)

PROPOSED YARD DRAIN (YD)

PROPOSED CLEAN OUT (CO)

PROPOSED DRAINAGE PIPE

PROPOSED DRAINAGE PIPE W/ EXFILTRATION TRENCH

- NOTES:**
1. EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE LOCATIONS AND HAVE BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. CONTRACTOR TO FIELD VERIFY ANY CONFLICTS WITH TREES AND/OR UTILITIES AND DRAINAGE. CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS BEFORE PROCEEDING WITH ANY SOLUTION TO THE CONFLICT.

3. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES AND UTILITIES. ANY DAMAGE DONE TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NOT EXPENSE TO THE SUBJECT UTILITY. CALL "SUNSHINE" 48 HOURS BEFORE DIGGING.

4. CONTRACTOR IS TO RESTORE ANY CURB, LANDSCAPE, ASPHALT, ETC. (NOT SCHEDULED FOR DEMOLITION) DAMAGED DURING CONSTRUCTION TO A CONDITION EQUAL TO WHAT IS EXISTING.

5. ALL EXISTING AND PROPOSED ELEVATIONS SHOWN ON THE CONSTRUCTION DOCUMENTS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM 1988 (NAV8).

DCS	4/6/20			
DESIGNED BY	DATE			
DCS	4/6/20			
DRAWN BY	DATE			
RR	4/6/20			
CHECKED BY	DATE			
RR	4/6/20			
APPROVED BY	DATE	No.	DATE	REVISIONS

SISTRUNK RESTAURANT
2012-2014 NW 6TH STREET
FORT LAUDERDALE, FL 33311



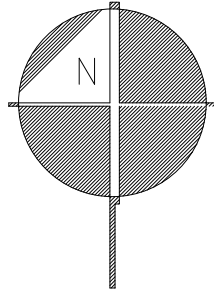
3325 S. UNIVERSITY DRIVE, SUITE 111
DAVIE, FLORIDA 33328
(954)318-0624 (954)358-0190 FAX
CERTIFICATE OF AUTHORIZATION No. 9808

ROBERT J. ROSS, P.E.
FLORIDA P.E. No. 59485
DATE: 4/6/2020

DRB: 80% PROGRESS PLANS
PAVING GRADING AND DRAINAGE PLAN

SCALE: 1"=10'

SHEET No. C-2

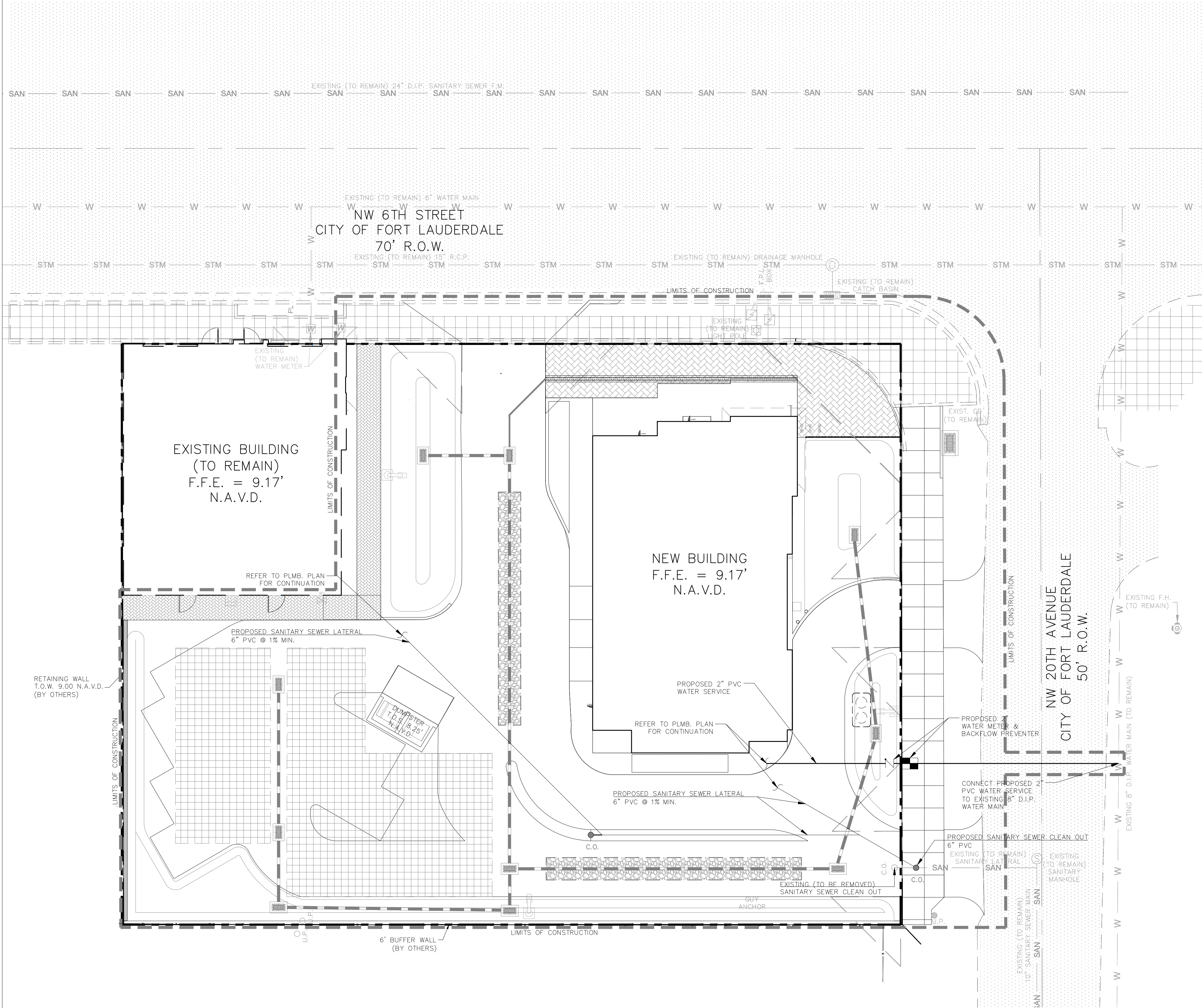


LEGEND

- PROPOSED WATER SERVICE
- PROPOSED BACKFLOW PREVENTER
- PROPOSED WATER METER
- PROPOSED SANITARY LATERAL
- C.O. PROPOSED CLEAN OUT

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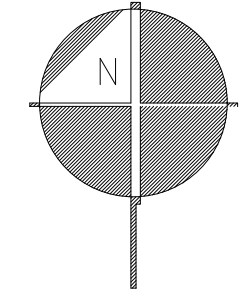
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ROBERT J. ROSS, P.E.
FLORIDA P.E. No. 59485
DATE: 4/6/2020

DRB: 80% PROGRESS PLANS
WATER AND SANITARY SEWER PLAN

SCALE: 1"=10'

SHEET No. C-3



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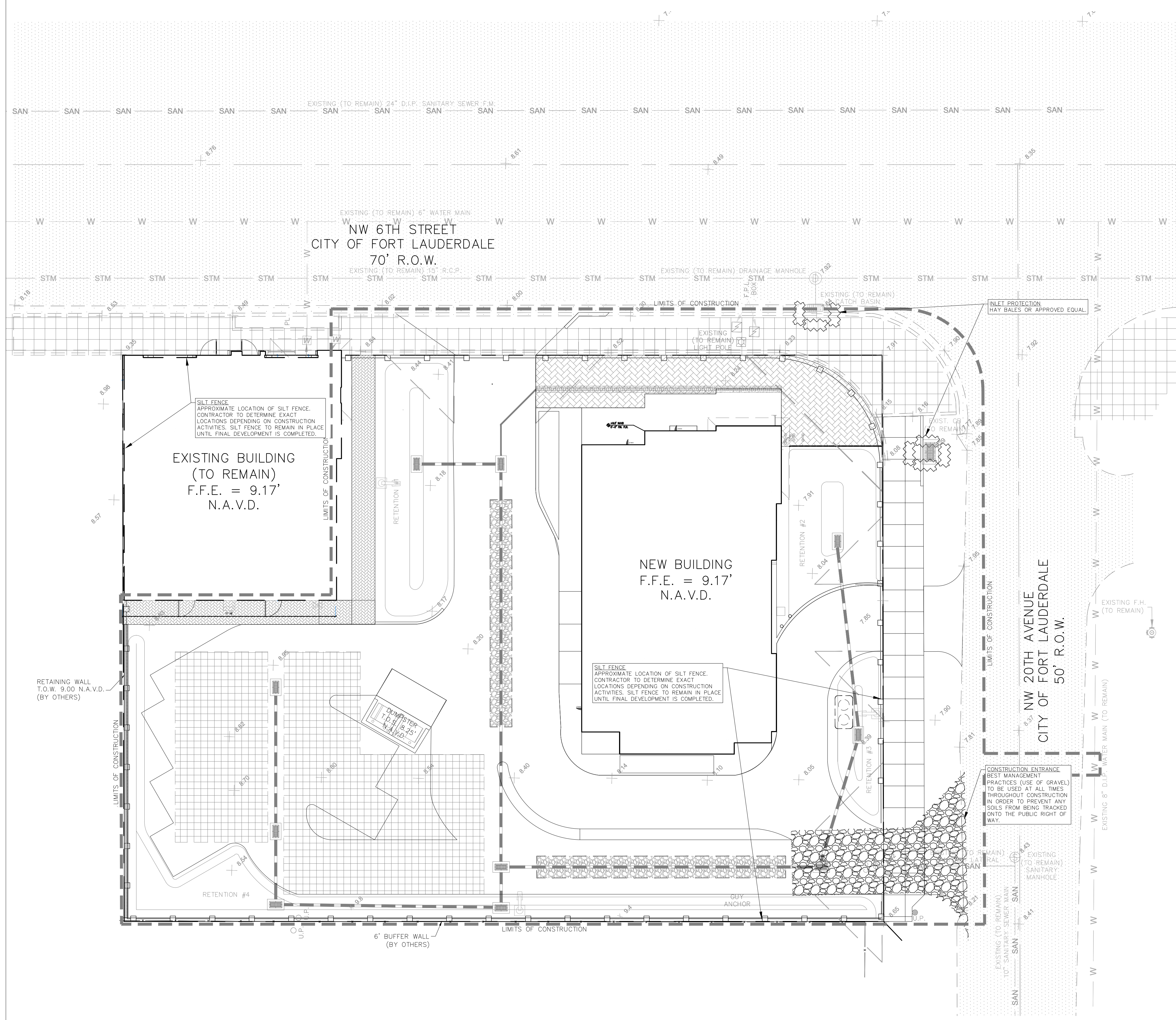
LEGEND

PROPERTY LINE

SILT FENCE

HAY BALE

CONSTRUCTION ENTRANCE (GRAVEL)



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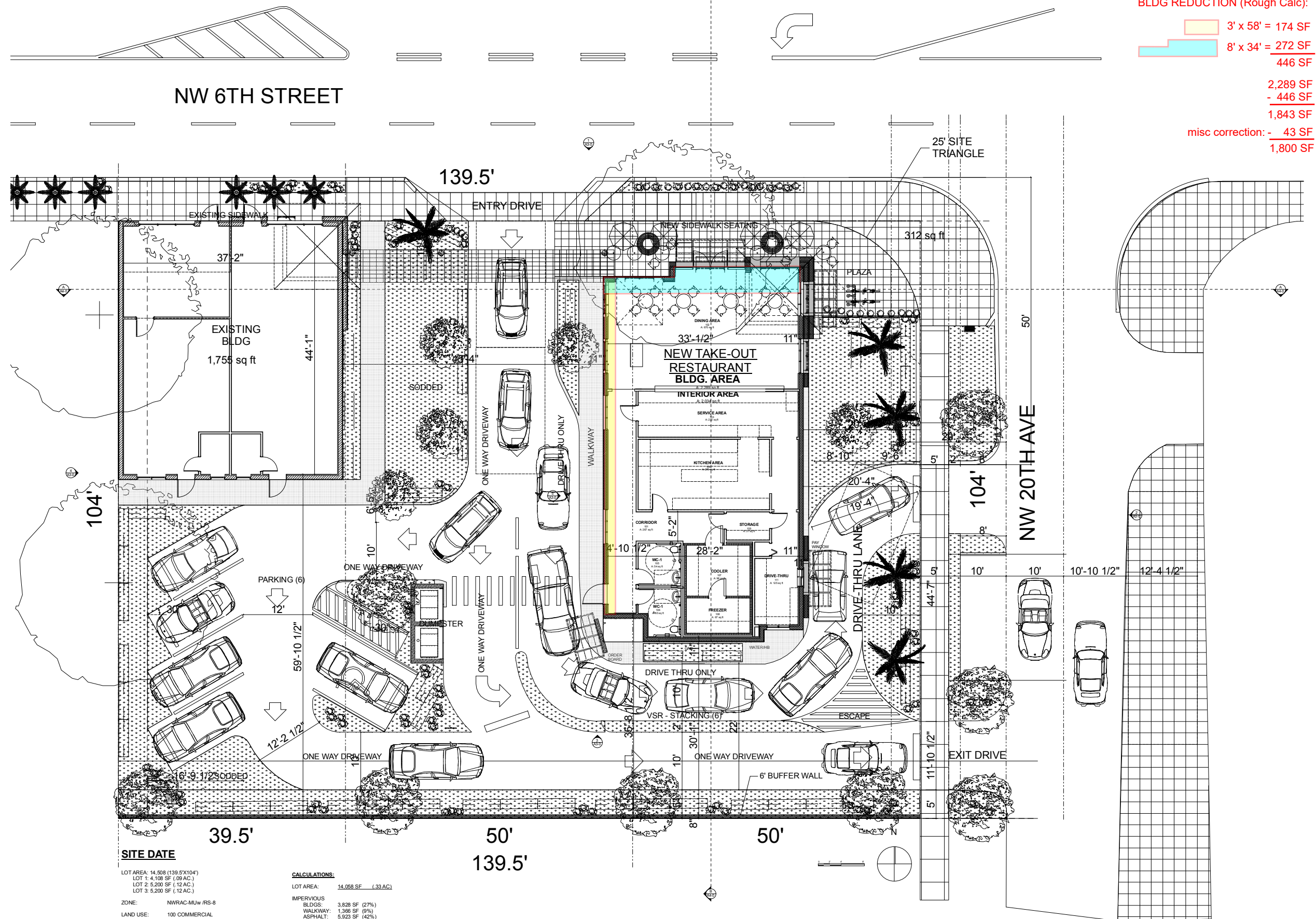
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DRB: 80% PROGRESS PLANS
POLLUTION PREVENTION CONTROL PLAN



BLDG REDUCTION (Rough Calc):

3' x 58' = 174 SF
8' x 34' = 272 SF
446 SF
2,289 SF
- 446 SF
1,843 SF
misc correction: - 43 SF
1,800 SF

SITE DATE

LOT AREA: 14,508 (139.5'x104')
 LOT 1: 4,106 SF (29 AC.)
 LOT 2: 5,200 SF (12 AC.)
 LOT 3: 5,200 SF (12 AC.)

ZONE: NWRAC-MUw/RS-8

LAND USE: 100 COMMERCIAL

USE TYPE: RESTUARANT

BUILDING AREA:
 EXIST. BLDG.: 1,794 SF (BARBER
 SHOP + RESTAURANT)
 NEW BLDG.: 2,034 SF
 TOTAL BLDG.: 3,828 SF

BUILDING HEIGHTS:
 EXIST. BLDG.: 14' (1 STORY)
 NEW BLDG.: 24' (1 STORY W/MEZZ)

FLOOD ZONE: AH

PARKING: REQUIRED - 9 PROVIDED - 6

CALCULATIONS:

LOT AREA: 14,058 SF (33 AC.)

IMPERVIOUS:
 BLDGS: 3,828 SF (27%)
 WALKWAY: 1,368 SF (9%)
 ASPHALT: 5,923 SF (42%)

PERVIOUS:
 SOD: 2,942 SF (22%)

PARKING CALCULATIONS:
 REQUIRED: 250/SF = 3628/250 = 15 SPACES
 REQUIRED X .60 = 9 SPACES REQUIRED
 6 SPACES PROVIDED