

PROJECT:

SHERWIN WILLIAMS ON 4TH AVE

1051, 1071 NE 4TH AVENUE, Fort Lauderdale FL 33304

PROJECT TEAM:

ARCHITECT

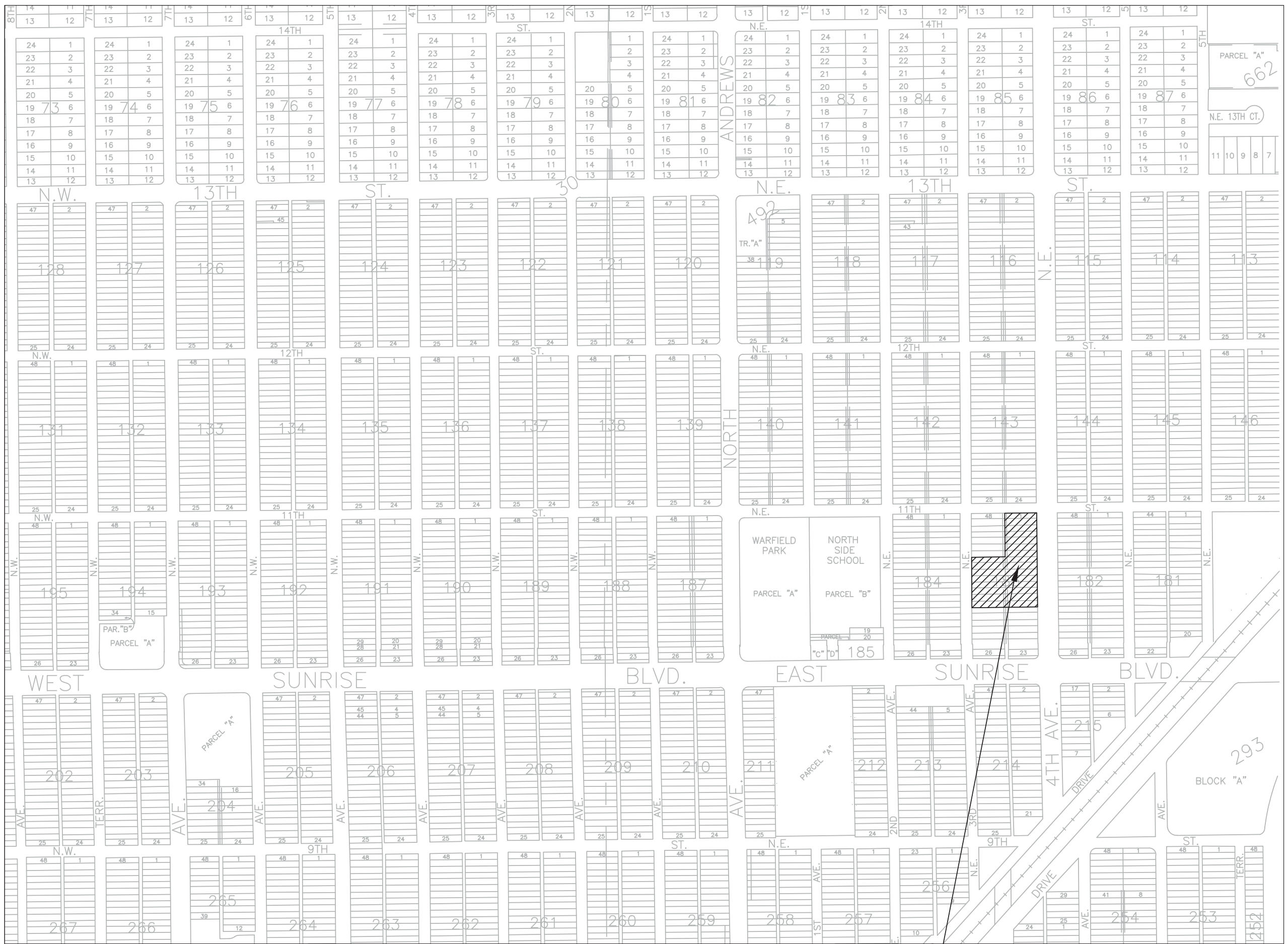
DAVIDSON ARCHITECTURE AND ENGINEERING
4301 Indian Creek Parkway, Overland Park, KS
913.451.9380

CIVIL ENGINEER

FLYNN ENGINEERING SERVICES, PA
241 Commercial Blvd., Lauderdale-by-the-Sea, FL
954.522.1004

LANDSCAPE ARCHITECT

ECO PLAN
888 S Andrews Ave, Suite 303, Ft. Lauderdale, FL
954.524.3722



LOCATION SKETCH

SECTION 34, TOWNSHIP 50S, RANGE 42E

Site Location



DRC SHEET INDEX

SURVEY

C1.0 SITE PLAN

A2.1 GROUND FLOOR PLAN - BUILDING A
A2.1 GROUND FLOOR PLAN - BUILDING B
A2.2 ROOF PLAN - BUILDING A
A2.2 ROOF PLAN - BUILDING B
A3.1 BUILDING ELEVATIONS - BUILDING A
A3.1 BUILDING ELEVATIONS - BUILDING B

LAPL-0 TREE DISPOSITION PLAN
LAPL-1 LANDSCAPE PLAN
LAPL-2 PLANTING DETAILS

E-1 SITE PHOTOMETRIC PLAN

C2.0 CONCEPTUAL PAVING GRADING & DRAINAGE PLAN
C3.0 CONCEPTUAL WATER & SEWER PLAN

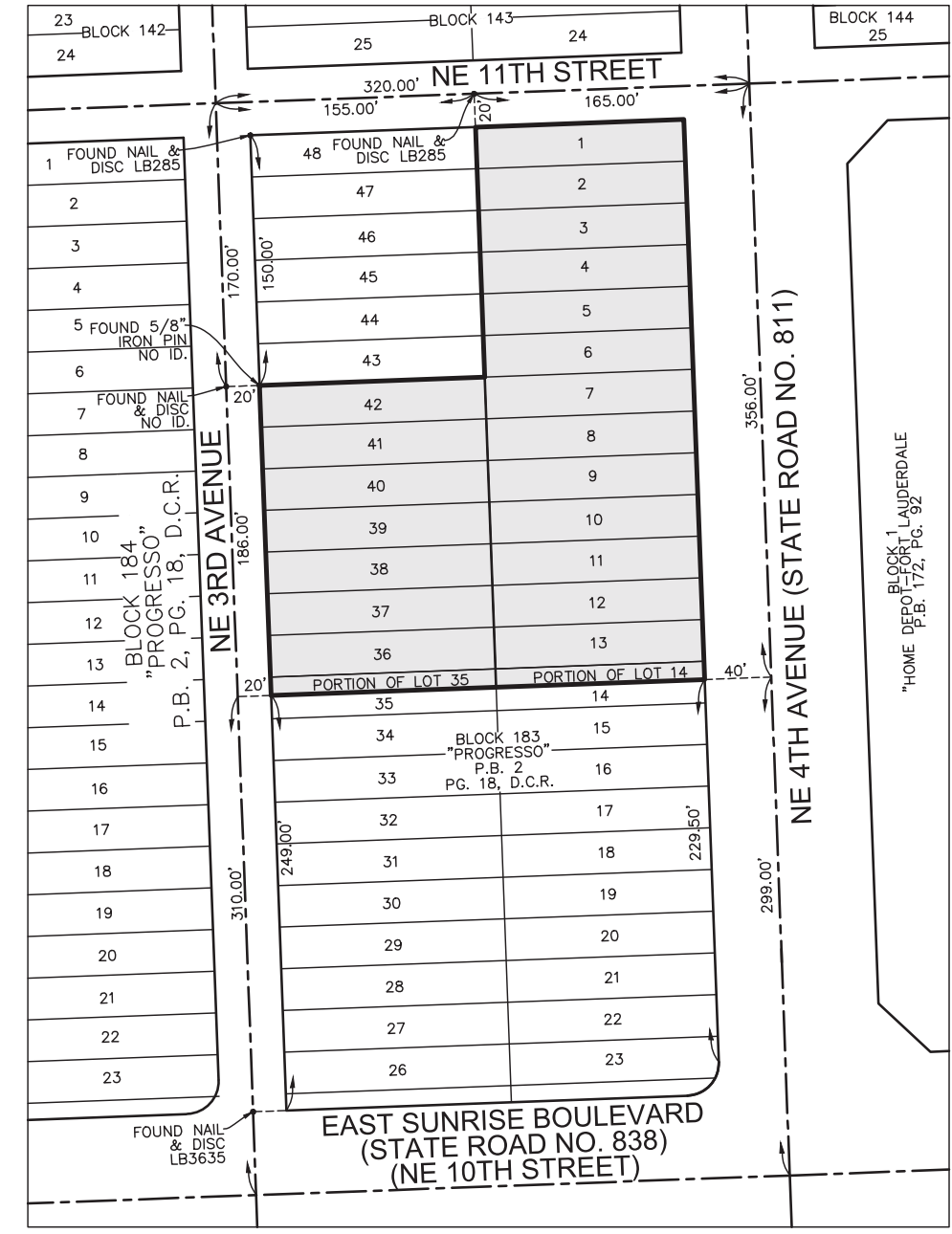


241 COMMERCIAL BLVD., LAUDERDALE-BY-THE-SEA, FL 33308
PHONE: (954) 522-1004 | WWW.FLYNNENGINEERING.COM
E# 6578

Drawn by MDI	Date 10/09/19
Proj. Mgr. DTR	Plot Date 10/09/19
Appr. by JMF	Job No. 19-1523.00

LEGEND

	CONCRETE
	ASPHALT PAVEMENT
	PAVERS
	ELEVATION
	OVERHEAD WIRES
	UNDERGROUND STORM SEWER LINE
	UNDERGROUND SANITARY SEWER LINE
	NON-VEHICULAR ACCESS LINE
	CENTERLINE
	O.R.B. OFFICIAL RECORDS BOOK
	P.B. PLAT BOOK
	PG. PAGE
	F.D.O.T. FLORIDA DEPT. OF TRANSPORTATION
	R/W RIGHT-OF-WAY
	D.C.R. MIAMI-DADE COUNTY RECORDS
	TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
	FPL FLORIDA POWER & LIGHT COMPANY
	N/A NOT AVAILABLE
	LB LICENSED BUSINESS
	PALM TREE
	OAK TREE
	PINE TREE
	MANGO TREE
	BLACK OLIVE TREE
	TAMARIND TREE
	UNIDENTIFIED TREE



VICINITY MAP
NOT TO SCALE

LEGAL DESCRIPTION:
LOTS 1 THROUGH 13, INCLUSIVE, AND THE NORTH 11.00 FEET OF LOT 14, LESS THE EAST 10.00 FEET THEREOF; TOGETHER WITH THE NORTH 11.00 FEET OF LOT 35 AND ALL OF LOTS 36 THROUGH 42, INCLUSIVE, ALL IN BLOCK 183 OF "PROGRESSO", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 18, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

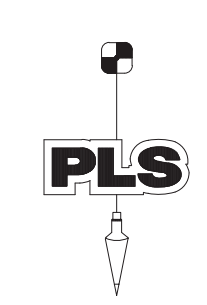
SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA. CONTAINING 67,110 SQUARE FEET (1.5406 ACRES) MORE OR LESS.

- NOTES:**
- 1) ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. BROWARD COUNTY BENCHMARK #1875; ELEVATION: 6.059.
 - 2) FLOOD ZONE: AH; BASE FLOOD ELEVATION: 6'; PANEL #125105 0369H; MAP DATE: 08/18/14.
 - 3) THIS SITE LIES IN SECTION 34, TOWNSHIP 49 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
 - 4) BEARINGS ARE BASED ON THE EAST RIGHT-OF-WAY LINE OF NE 3RD AVENUE BEING N02°07'10"W.
 - 5) REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
 - 6) THIS SURVEY IS CERTIFIED EXCLUSIVELY TO: PLAZA STREET PARTNERS.
 - 7) THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.2'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.1'.
 - 8) THIS SITE CONTAINS NO MARKED PARKING SPACES.
 - 9) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF COMMITMENT FOR TITLE INSURANCE. ONLY PLATTED OR KNOWN EASEMENTS ARE DEPICTED HEREON.
 - 10) ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY RECORDS UNLESS OTHERWISE NOTED.

5		
4		
3		
2		
1		
NO.	REVISIONS	BY

SHERWIN WILLIAMS SITE
NE 4TH AVENUE & NE 11TH STREET
FORT LAUDERDALE, BROWARD COUNTY
FLORIDA 33304

BOUNDARY AND TOPOGRAPHIC SURVEY



PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@puliceandsurveyors.com
WEBSITE: www.puliceandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

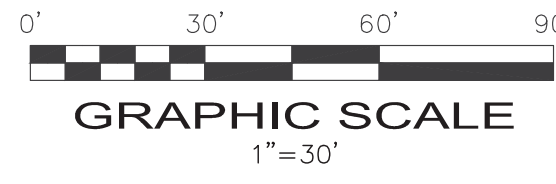
DRAWN BY: B.E.	SCALE: 1" = 30'	FILE: PLAZA STREET PARTNERS
CHECKED BY: J.F.P.	SURVEY DATE: 07/30/19	ORDER NO.: 66254

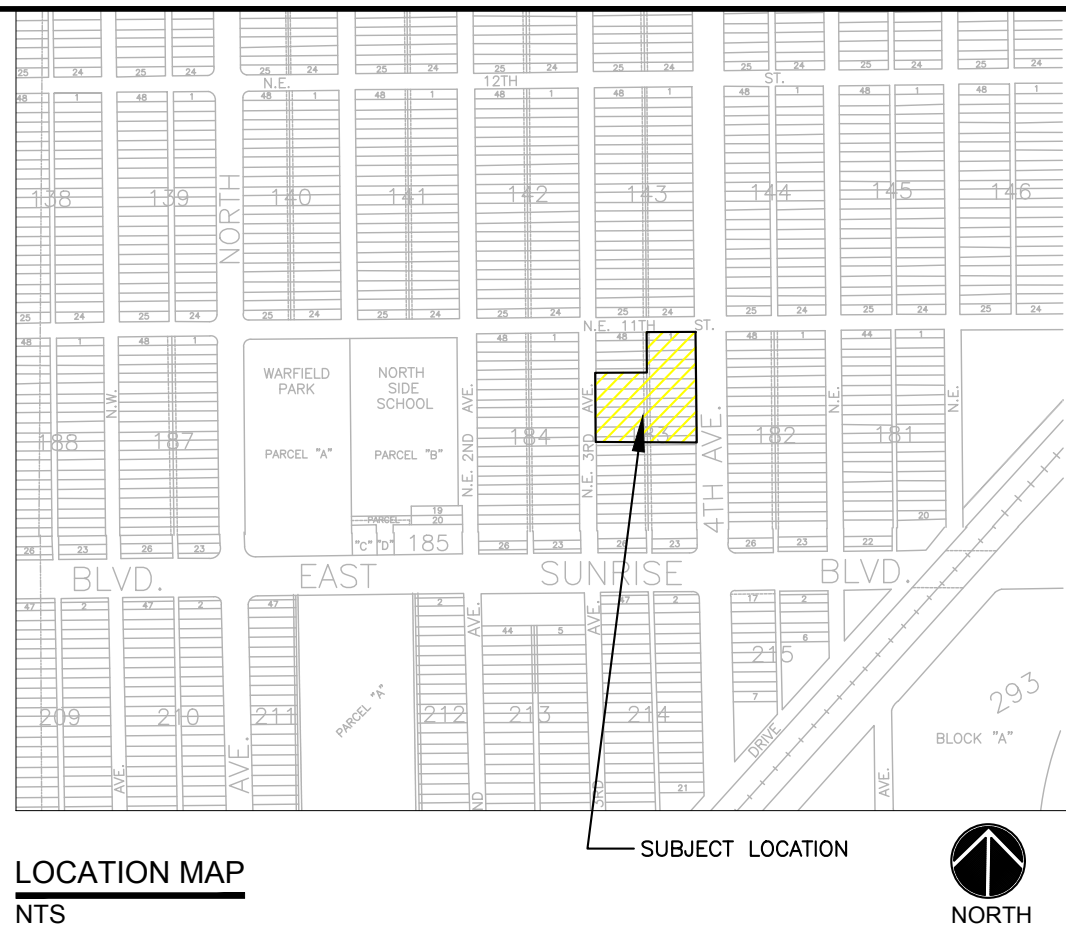
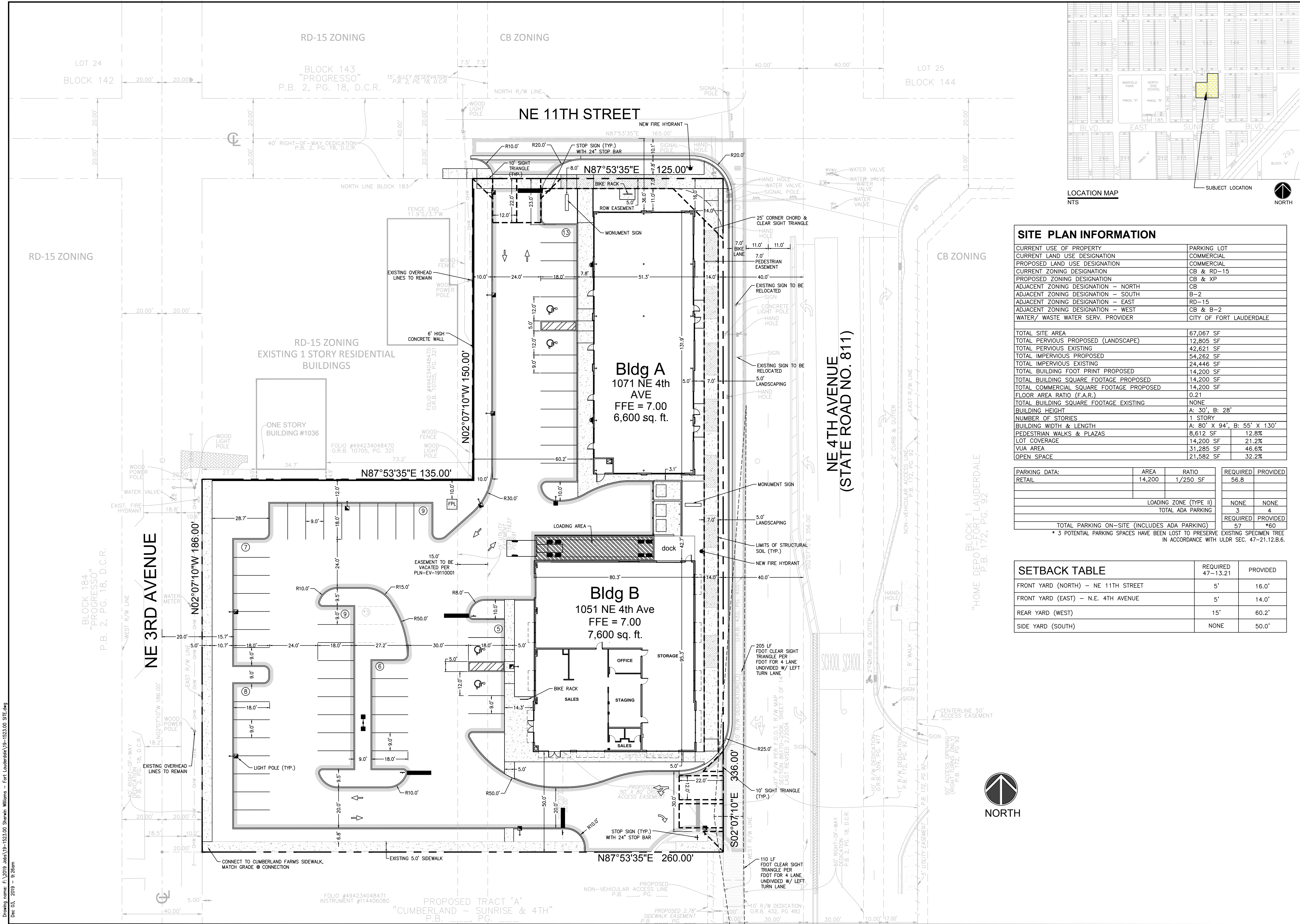
CERTIFICATION:
I HEREBY CERTIFY: THAT THIS SKETCH OF SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES ("DOACS") CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

- ☐ JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
- ☐ BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
- ☐ VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
- STATE OF FLORIDA

COPYRIGHT 2019 BY PULICE LAND SURVEYORS, INC. ALL RIGHTS RESERVED. NO PART OF THIS SURVEY MAY BE REPRODUCED, IN ANY FORM OR BY ANY MEANS, WITHOUT PERMISSION IN WRITING FROM AN OFFICER OF PULICE LAND SURVEYORS, INC.





SITE PLAN INFORMATION	
CURRENT USE OF PROPERTY	PARKING LOT
CURRENT LAND USE DESIGNATION	COMMERCIAL
PROPOSED LAND USE DESIGNATION	COMMERCIAL
CURRENT ZONING DESIGNATION	CB & RD-15
PROPOSED ZONING DESIGNATION	CB & XP
ADJACENT ZONING DESIGNATION - NORTH	CB
ADJACENT ZONING DESIGNATION - SOUTH	B-2
ADJACENT ZONING DESIGNATION - EAST	RD-15
ADJACENT ZONING DESIGNATION - WEST	CB & B-2
WATER/ WASTE WATER SERV. PROVIDER	CITY OF FORT LAUDERDALE
TOTAL SITE AREA	67,067 SF
TOTAL PERVIOUS PROPOSED (LANDSCAPE)	12,805 SF
TOTAL PERVIOUS EXISTING	42,621 SF
TOTAL IMPERVIOUS PROPOSED	54,262 SF
TOTAL IMPERVIOUS EXISTING	24,446 SF
TOTAL BUILDING FOOT PRINT PROPOSED	14,200 SF
TOTAL BUILDING SQUARE FOOTAGE PROPOSED	14,200 SF
TOTAL COMMERCIAL SQUARE FOOTAGE PROPOSED	14,200 SF
FLOOR AREA RATIO (F.A.R.)	0.21
TOTAL BUILDING SQUARE FOOTAGE EXISTING	NONE
BUILDING HEIGHT	A: 30', B: 28'
NUMBER OF STORIES	1 STORY
BUILDING WIDTH & LENGTH	A: 80' X 94', B: 55' X 130'
PEDESTRIAN WALKS & PLAZAS	8,612 SF 12.6%
LOT COVERAGE	14,200 SF 21.2%
VUA AREA	31,285 SF 46.6%
OPEN SPACE	21,582 SF 32.2%

PARKING DATA:	AREA	RATIO	REQUIRED	PROVIDED
RETAIL	14,200	1/250 SF	56.8	
		LOADING ZONE (TYPE II)	NONE	NONE
		TOTAL ADA PARKING	3	4
		TOTAL PARKING ON-SITE (INCLUDES ADA PARKING)	57	*60
* 3 POTENTIAL PARKING SPACES HAVE BEEN LOST TO PRESERVE EXISTING SPECIMEN TREE IN ACCORDANCE WITH ULDJR SEC. 47-21.12.B.6.				

SETBACK TABLE	REQUIRED 47-13.21	PROVIDED
FRONT YARD (NORTH) - NE 11TH STREET	5'	16.0'
FRONT YARD (EAST) - N.E. 4TH AVENUE	5'	14.0'
REAR YARD (WEST)	15'	60.2'
SIDE YARD (SOUTH)	NONE	50.0'

SITE PLAN

SHERWIN WILLIAMS ON 4TH AVE

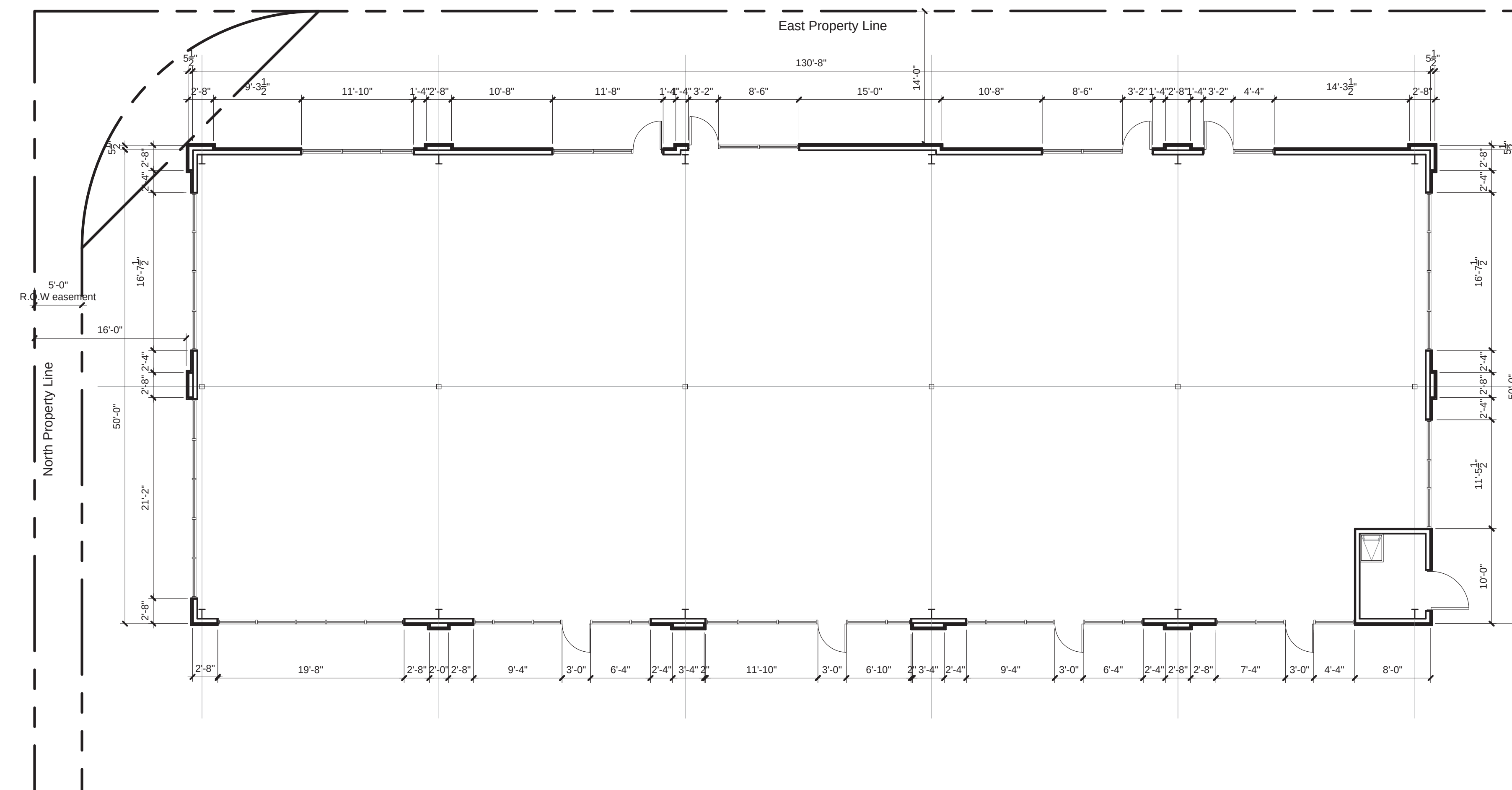
1051, 1071 NE 4TH AVE, FORT LAUDERDALE FL

Phase:
DRC
DOCUMENTS

Revisions

Scale:	1"= 20.0'	Date	11/21/19
Job No.	19-1523.00	Plot Date	12/03/19
Drawn by	MDI	Sheet No.	C1.0
Proj. Mgr.	DTR		
Appr. by	JMF		1 of 3

Do not contact the architect for bidding information or questions, as the architect is not involved in bidding!



1 floor plan Building A
scale: 1/8" = 1'-0"



a new

date
09.27.2019
drawn by
DAE
checked by
DAE
revisions

sheet number

A2.1

drawing type
preliminary

project number
19055

NW Corner of E. Sunrise Blvd. & NE 4th St.
Fort Lauderdale, Florida

4301 Indian Creek Parkway
Overland Park, KS 66207
phone: 913.451.9390
fax: 913.451.9391
www.davidsonae.com

In association with the architect:
RH Sweers II, Proprietor
RH Sweers Architect
rhs@sweersarch.com

This drawings has been prepared under my supervision and I disclaim responsibility for existing building, construction or site conditions/ improvements, or any documents which do not bear my signature and seal.

Do not contact the architect for bidding information or questions, as the architect is not involved in bidding!

a new

Sherwin Williams

NW Corner of E. Sunrise Blvd. & NE 4th St.
Fort Lauderdale, Florida

date

09.27.2019

drawn by

DAE

checked by

DAE

revisions

sheet number

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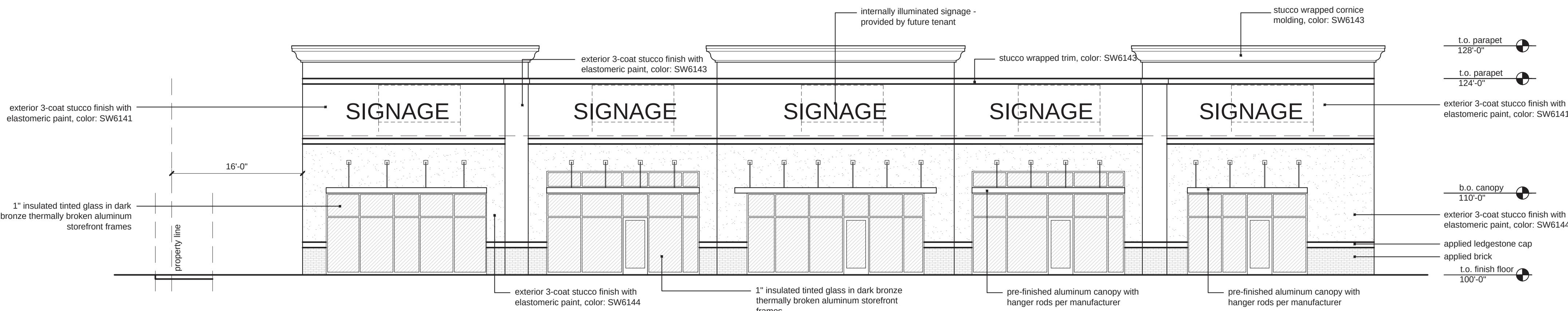
1

floor plan - building B

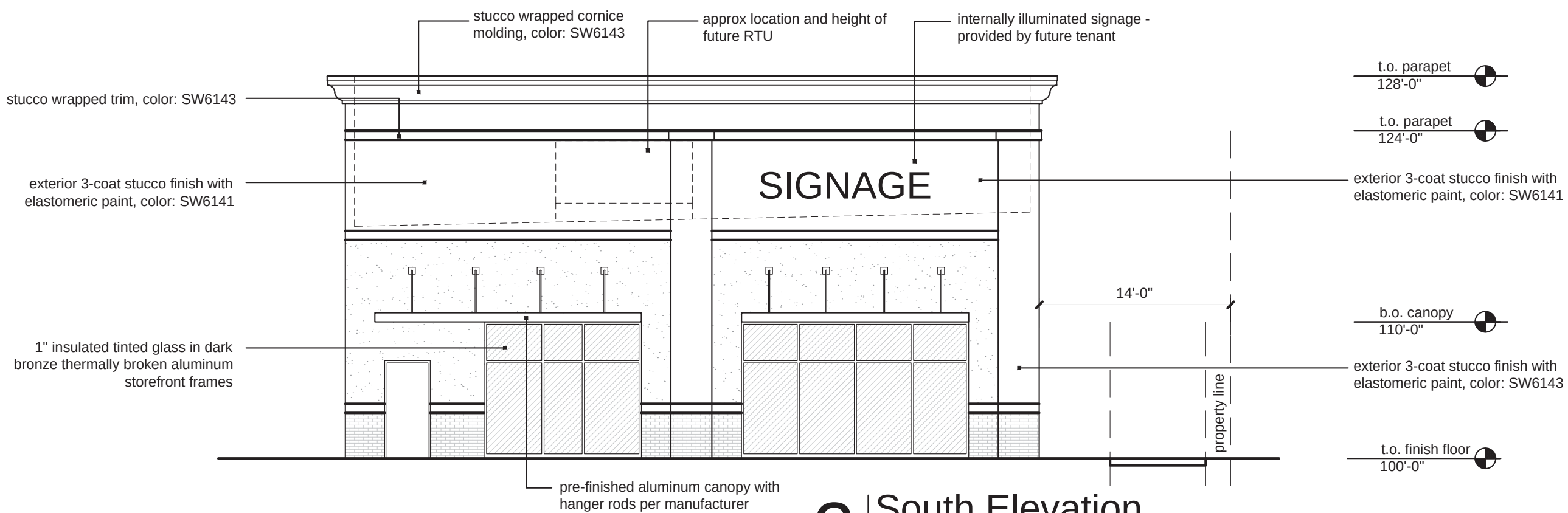
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north

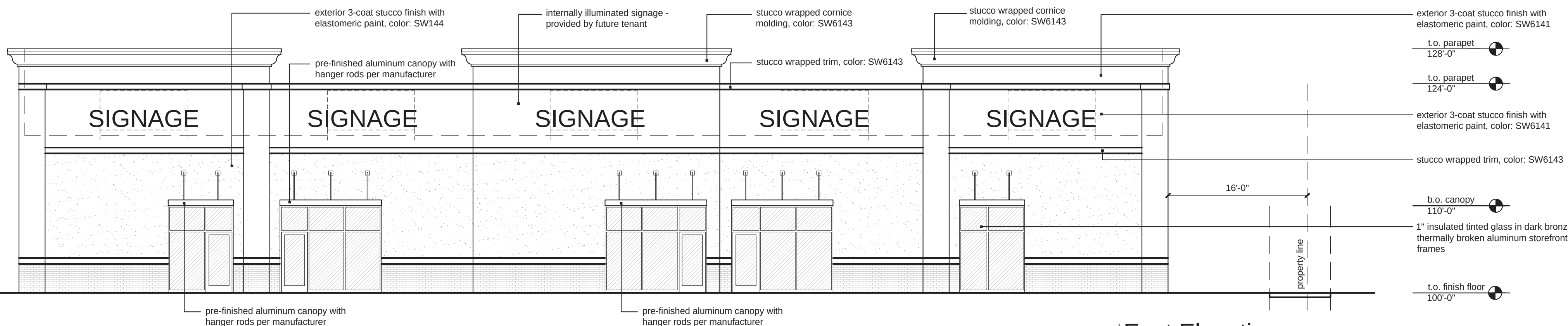
- exterior materials and finishes
- stucco
ST1 - fine texture finish, Sherwin Williams, color: SW 6144
Dapper Tan
ST2 - fine texture finish, Sherwin Williams, color: SW 6141
Softer Tan
ST3 - fine texture finish, Sherwin Williams, color: SW 6143
Basket Beige
- brick:
Glen-Gery, color: Elyria or approved equal
- metal canopies:
pre-finished Lumishade sun control canopy, Mapes Industries, color: Mapes Bronze
- flashing:
pre-finished metal cap flashing, color to match ST1 - SW6144
Dapper Tan
- mortar:
integral color: buff
- storefront:
anodized aluminum frame, color: dark bronze
- glass:
1" insulated tinted glass with argon fill
*use SOLARBAN 60 as basis
- hollow metal door:
Sherwin Williams, painted to match ST1 - SW6144 Dapper Tan



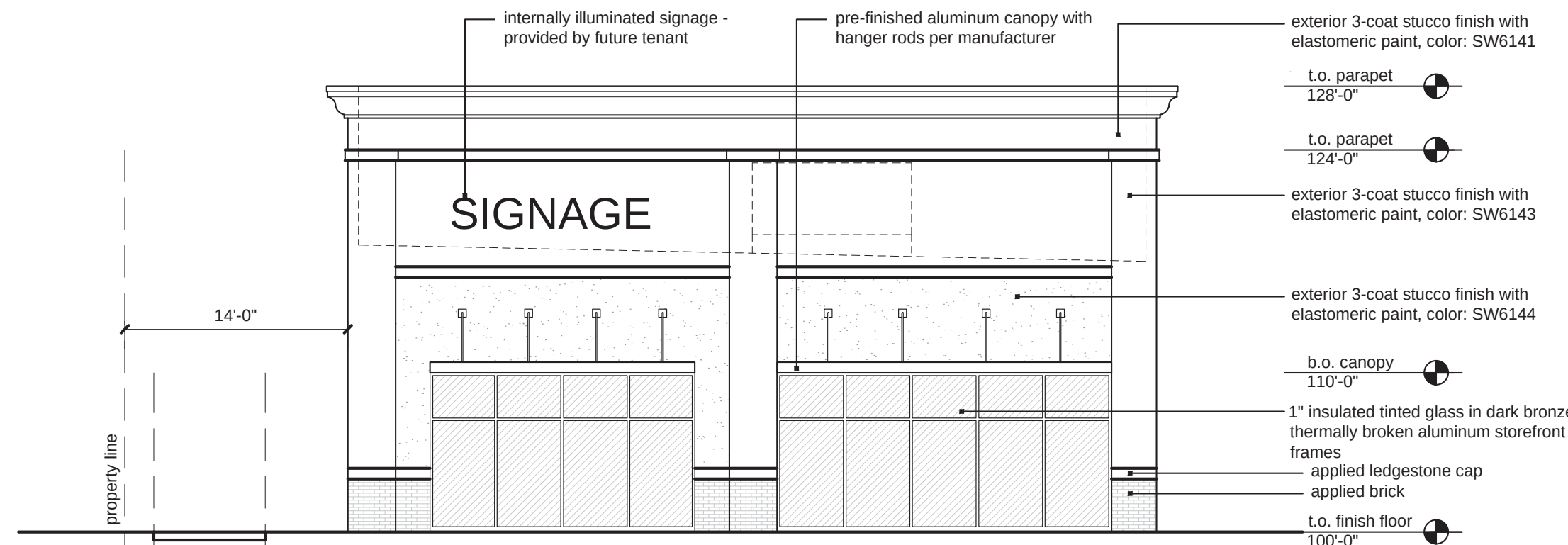
1 West Elevation
scale: 1/8" = 1'-0"



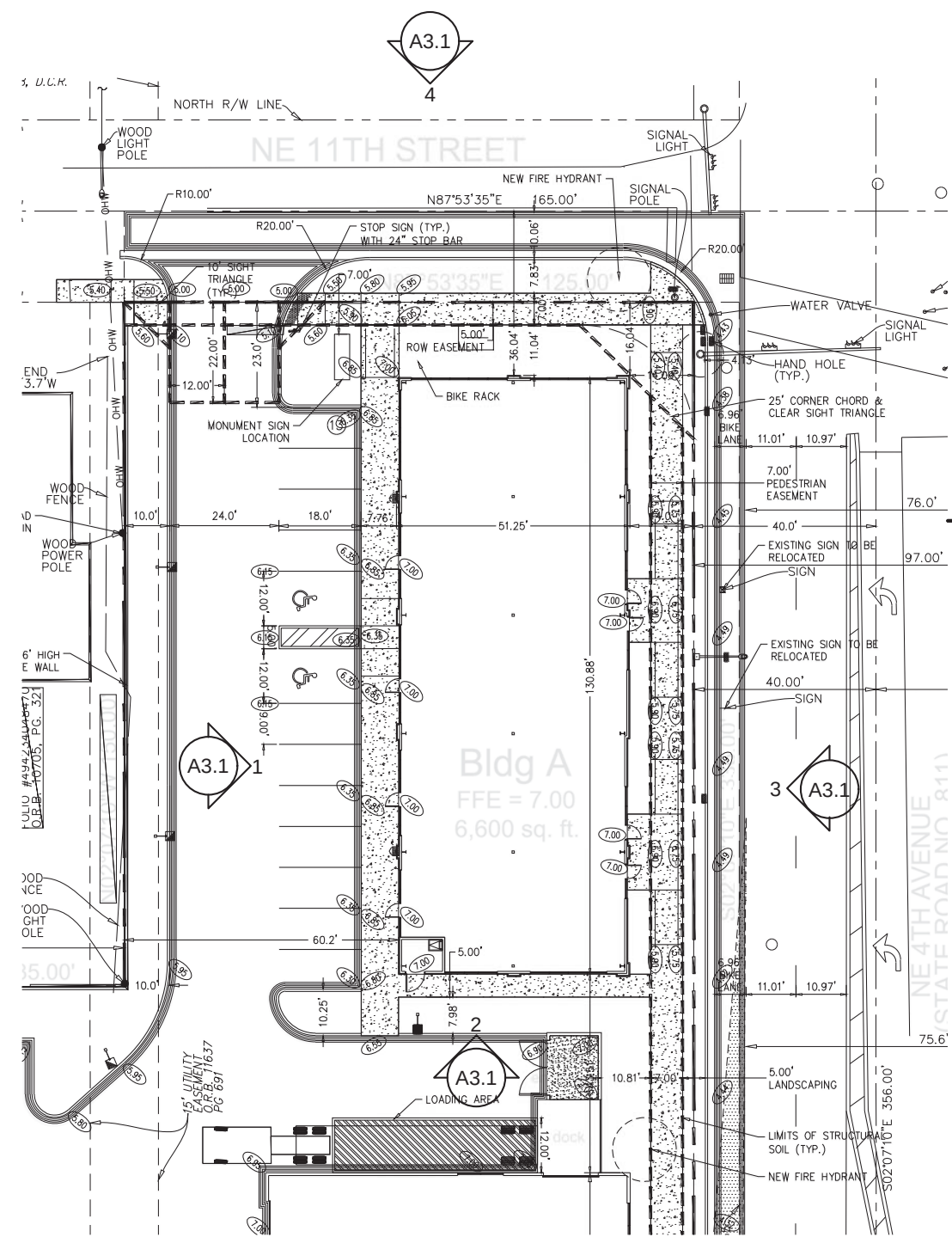
2 South Elevation
scale: 1/8" = 1'-0"



3 East Elevation
scale: 1/8" = 1'-0"



4 North Elevation
scale: 1/8" = 1'-0"



4 Key Plan
scale: not to scale

This drawings has been prepared under my supervision and I disclaim responsibility for existing building, construction or site conditions/ improvements, or any documents which do not bear my signature and seal.

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a new development for
Sherwin Williams
NW Corner of E. Sunrise Blvd. & NE 4th St.
Fort Lauderdale, Florida

date
09.27.2019
drawn by
DAE
checked by
DAE
revisions

sheet number

A3.1

drawing type
preliminary

project number
19055

STUCCO

ST1 - fine texture finish, Sherwin Williams, color: SW 6144
Dapper Tan

ST2 - fine texture finish, Sherwin Williams, color: SW 6141
Softer Tan

ST3 - fine texture finish, Sherwin Williams, color: SW 6143
Basket Beige

brick:

Glen-Gery, color: Elyria or approved equal

metal canopies:

pre-finished Lumishade sun control canopy, Mapes Industries,
color: Mapes Bronze

flashing:

pre-finished metal cap flashing, color to match ST1 - SW6144
Dapper Tan

mortar:

integral color: buff

storefront:

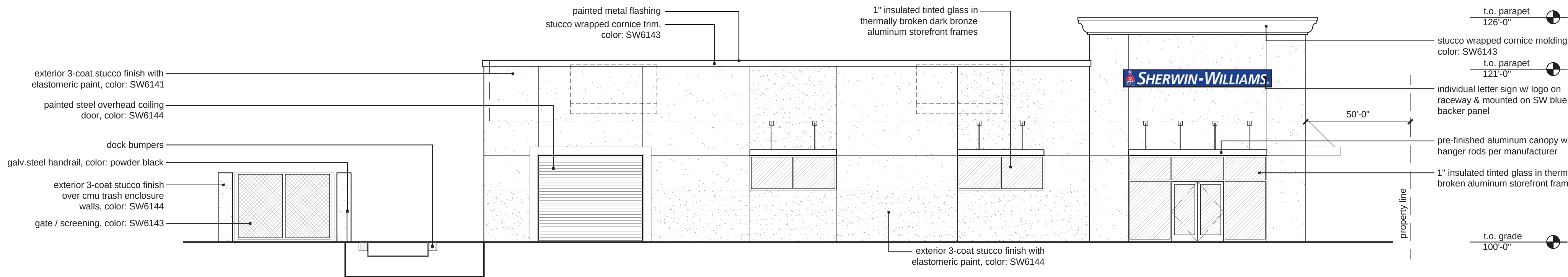
anodized aluminum frame, color: dark bronze

glass:

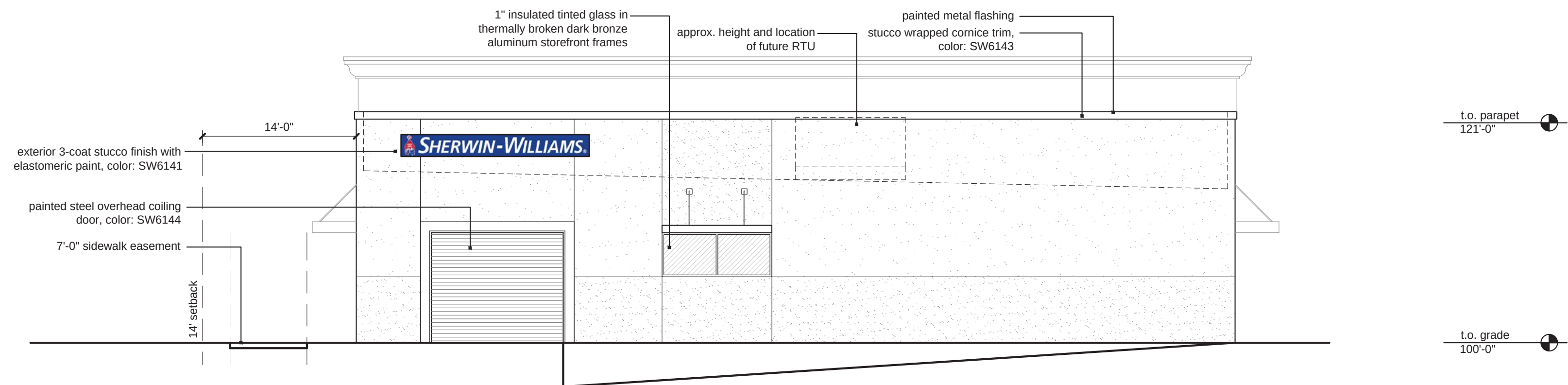
1" insulated tinted glass with argon fill
*use SOLARBAN 60 as basis

hollow metal door:

Sherwin Williams, painted to match ST1 - SW6144 Dapper Tan

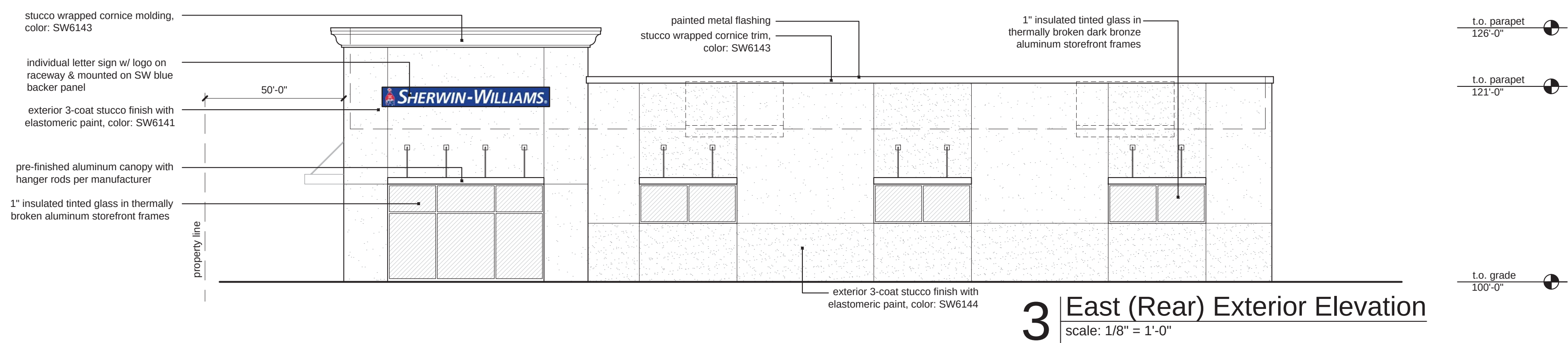


1 | West (Front) Exterior Elevation

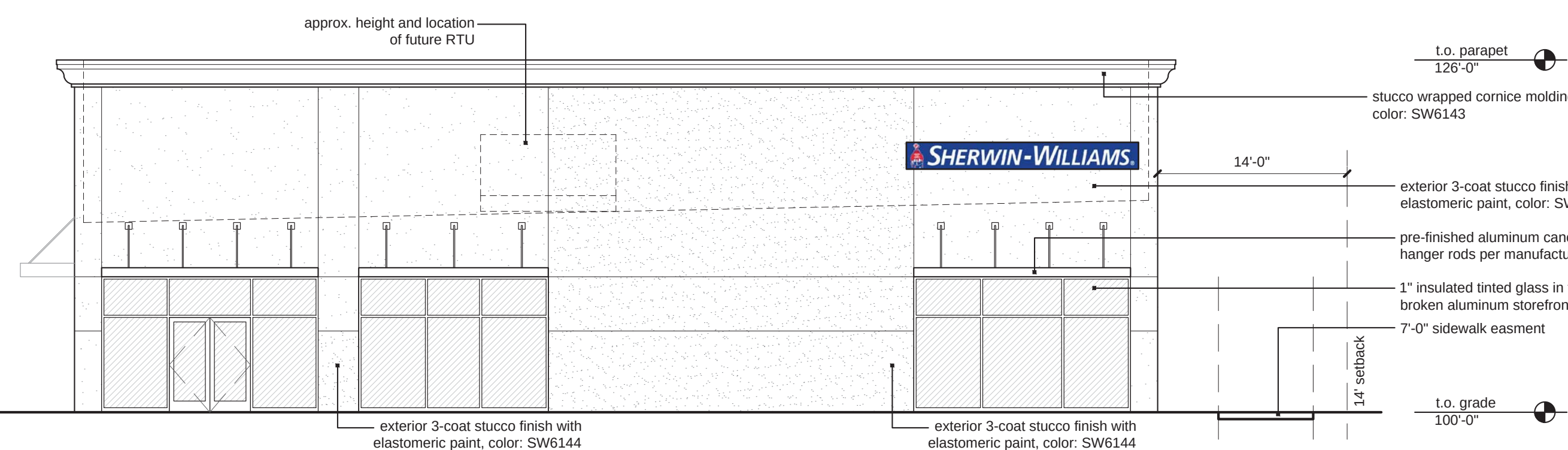


2 | North (Side) Exterior Elevation

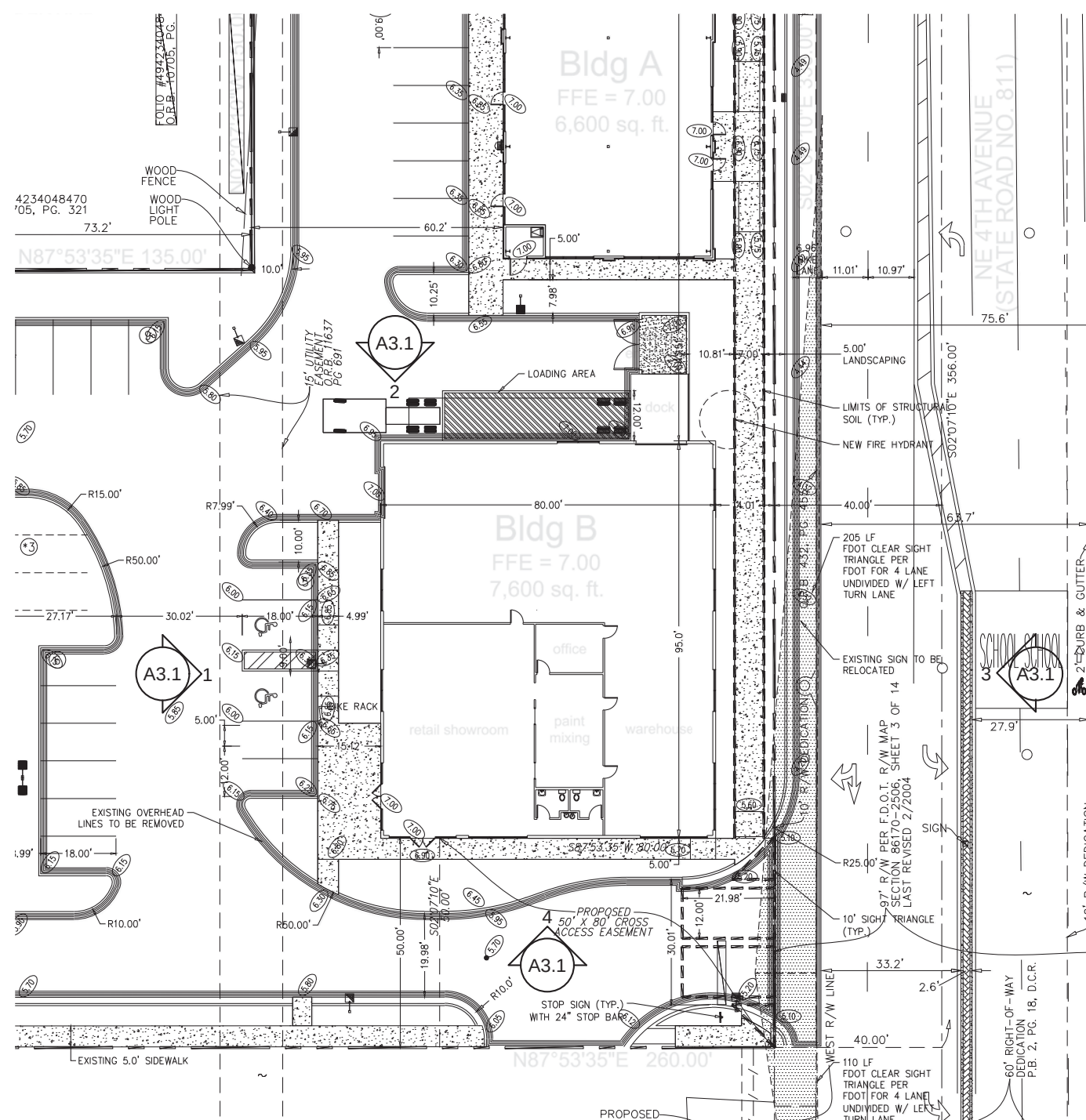
scale: 1/8" = 1'-0"



3 | East (Rear) Exterior Elevation

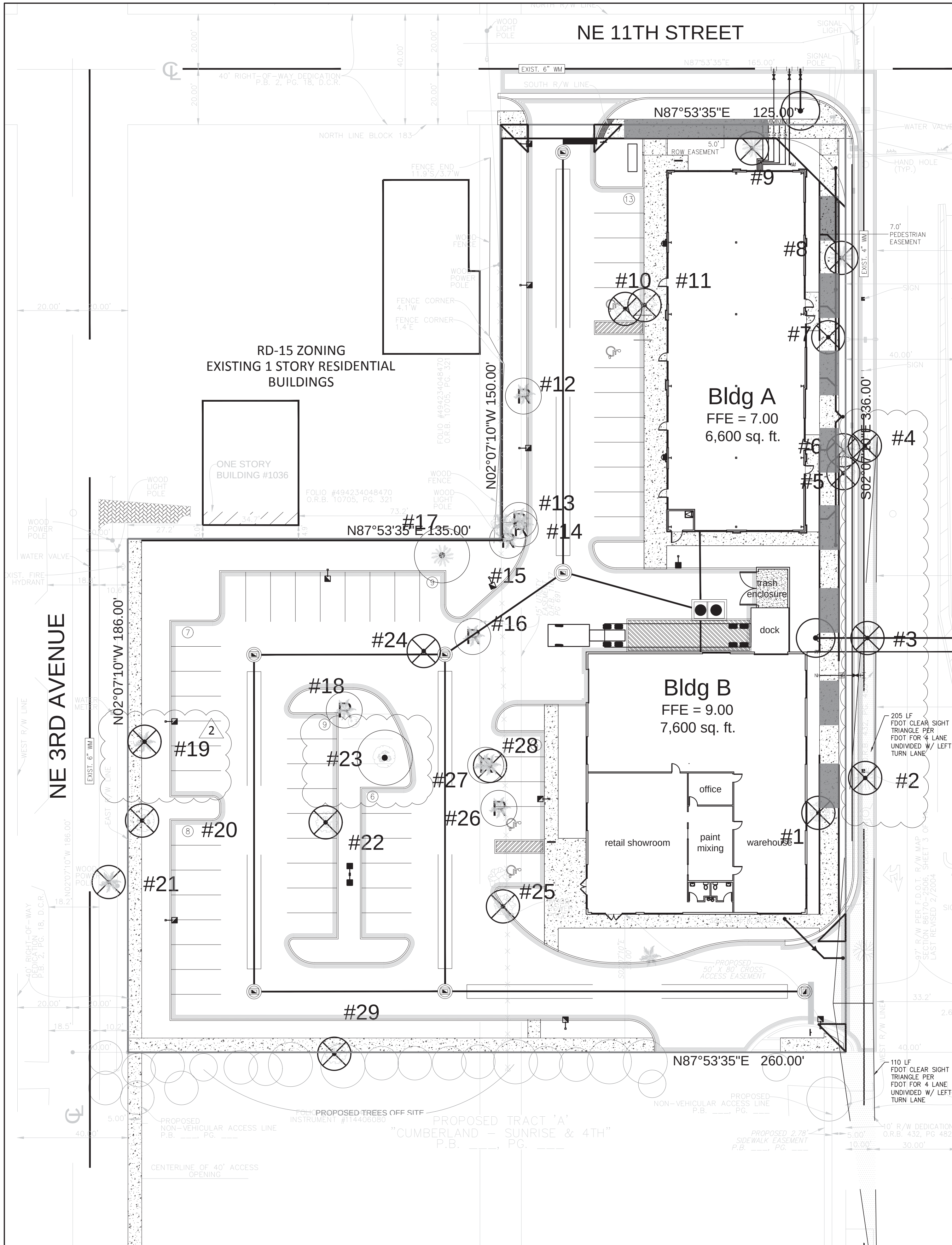


4 | South (Side) Exterior Elevations



4 | Key Plan

scale: not to scale



#	SCIENTIFIC NAME	COMMON NAME	HEIGHT (FT) OR CLEAR TRUNK (CT)	CALIPER (IN)	NATIVE	CATEGORY	CONDITION %	COMMENTS	ACTION	DBH TO BE REPLACED
1	TERMINALIA BUCERAS	BLACK OLIVE	20'	15	N	C	50		TO BE REMOVED	5
2	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	25	16	Y	A	57		TO BE REMOVED	9
3	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	25	16	Y	A	57		TO BE REMOVED	9
4	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	25	16	Y	A	57		TO BE REMOVED	9
5	ALBIZIA JULIBRISSIN	MONKEY POD	10	8	N	F	0	INVASIVE	TO BE REMOVED	0
6	SABAL PALMETTO	SABAL PALM	0	10	Y	F	50	NO CT, IN CONCRETE	TO BE REMOVED	0
7	ALBIZIA JULIBRISSIN	MONKEY POD	8	2	N	F	0	INVASIVE	TO BE REMOVED	0
8	CASUARINA EQUISETIFOLIA	AUSTRALIAN PINE	50	36	N	F	0	INVASIVE	TO BE REMOVED	0
9	PINUS ELLIOTTII	SLASH PINE	30	15	Y	A	50		TO BE REMOVED	8
10	ACACIA AURICULIFORMIS	EARLEAF ACACIA	20	10	N	F	0	INVASIVE	TO BE REMOVED	0
11	ACACIA AURICULIFORMIS	EARLEAF ACACIA	20	10	N	F	0	INVASIVE	TO BE REMOVED	0
12	SABAL PALMETTO	SABAL PALM	4	10	Y	F	50		TO BE RELOCATED	0
13	SABAL PALMETTO	SABAL PALM	6	10	Y	F	50		TO BE RELOCATED	0
14	SABAL PALMETTO	SABAL PALM	8	10	Y	F	50		TO BE RELOCATED	0
15	SABAL PALMETTO	SABAL PALM	10	10	Y	F	50		TO BE RELOCATED	0
16	SABAL PALMETTO	SABAL PALM	4	10	Y	F	50		TO BE RELOCATED	0
17	PINUS ELLIOTTII	SLASH PINE	30	16	Y	A	57		TO REMAIN	0
18	SABAL PALMETTO	SABAL PALM	12	10	Y	F	50		TO BE RELOCATED	0
19	COCOS NUCIFERA	COCONUT PALM	20	12	N	F	50		TO BE REMOVED	6
20	TAMARINDUS INDICA	TAMARIND TREE	25	12	N	C	63		TO BE REMOVED	6
21	SABAL PALMETTO	SABAL PALM	30	10	Y	F	50	GROWING INTO POLE	TO BE REMOVED	0
22	MANGIFERA INDICA	MANGO	25	14	N	C	47	UNEVEN CROWN	TO BE REMOVED	4
23	LYSILOMA LATISLIQUUM	FALSE TAMARIND	40	24	Y	A	77	SPECIMEN	TO REMAIN	0
24	PLUMERIA RUBRA	PLUMERIA	12	3	N	C	32		TO BE REMOVED	0
25	FICUS BENJAMINA	FICUS CLUSTER / HEDGE	12	12	N	F	0	INVASIVE	TO BE REMOVED	0
26	SABAL PALMETTO	SABAL PALM	8	10	Y	F	50		TO BE RELOCATED	0
27	SABAL PALMETTO	SABAL PALM	20	10	Y	F	50		TO BE RELOCATED	0
28	CALOPHYLLUM BRASILIENSE	SOLITARY PALM	20	3	N	C	40		TO BE REMOVED	2
29	MANGIFERA INDICA	MANGO	15	8	N	C	25	DAMAGED / DYING	TO BE REMOVED	52

Arborist Report/Tree Evaluation
Prepared by The Tree Team, Inc.
Arborist License FL-0721A
September 4, 2019
Sherwin Williams - NE 4th Avenue
Fort Lauderdale, FL 33305

Tree 1:
Identification: Black Olive (Bucida Buceras)
Size: 20 foot overall height
20 foot canopy spread
15 inch caliper trunk
Poor branch structure
Condition: Condition rate 50%
1. Roots
Structure 2 + Health 2 = 4
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 2 + Health 2 = 4
4. Small Branches and Twigs
Health: 3
5. Foliage and/or Buds
Health: 2
Total Points: 18
Replacement Required: 60 x 15 x 50 = 5 caliper inches

Tree 2:
Identification: Live Oak (Quercus Virginiana)
Size: 25 foot overall height
15 foot canopy spread
16 inch caliper trunk
Condition: Condition rate 57%
1. Roots
Structure 2 + Health 2 = 4
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 2 + Health 2 = 4
4. Small Branches and Twigs
Health: 3
5. Foliage and/or Buds
Health: 2
Total Points: 18
Replacement Required: 60 x 15 x 50 = 5 caliper inches

Tree 3:
Identification: Live Oak (Quercus Virginiana)
Size: 25 foot overall height
15 foot canopy spread
16 inch caliper trunk
Condition: Condition rate 57%
1. Roots
Structure 2 + Health 2 = 4
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 2 + Health 2 = 4
4. Small Branches and Twigs
Health: 3
5. Foliage and/or Buds
Health: 2
Total Points: 18
Replacement Required: 60 x 15 x 50 = 5 caliper inches

Tree 4:
Identification: Monkey Pod (Samanea Saman)
Size: 10 foot overall height
8 foot canopy spread
8 inch caliper trunk
Invasive species
o Replacement Value

Tree 5:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%
1. Roots
Structure 2 + Health 2 = 4
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 2 + Health 2 = 4
4. Small Branches and Twigs
Health: 3
5. Foliage and/or Buds
Health: 2
Total Points: 18
Replacement Required: 60 x 15 x 50 = 5 caliper inches

Tree 6:
Identification: Earleaf Acacia (Acacia Auriculiformis)
Size: 20 foot overall height
22 foot canopy spread
10 inch caliper trunk
Invasive species
o Replacement Value

Tree 7:
Identification: Monkey Pod (Samanea Saman)
Size: 10 foot overall height
8 foot canopy spread
8 inch caliper trunk
Invasive species
o Replacement Value

Tree 8:
Identification: Australian Pine (Casuarina Equisetifolia)
Size: 50 foot overall height
36 inch caliper trunk
Invasive Species
o Replacement Value

Tree 9:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%
1. Roots
Structure 2 + Health 2 = 4
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 2 + Health 2 = 4
4. Small Branches and Twigs
Health: 3
5. Foliage and/or Buds
Health: 2
Total Points: 18
Replacement Required: 60 x 15 x 50 = 5 caliper inches

Tree 10:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%
1. Roots
Structure 2 + Health 2 = 4
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 2 + Health 2 = 4
4. Small Branches and Twigs
Health: 3
5. Foliage and/or Buds
Health: 2
Total Points: 18
Replacement Required: 60 x 15 x 50 = 5 caliper inches

Tree 11:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%
1. Roots
Structure 2 + Health 2 = 4
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 2 + Health 2 = 4
4. Small Branches and Twigs
Health: 3
5. Foliage and/or Buds
Health: 2
Total Points: 18
Replacement Required: 60 x 15 x 50 = 5 caliper inches

Tree 12:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%
1. Roots
Structure 2 + Health 2 = 4
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 2 + Health 2 = 4
4. Small Branches and Twigs
Health: 3
5. Foliage and/or Buds
Health: 2
Total Points: 18
Replacement Required: 60 x 15 x 50 = 5 caliper inches

Tree 13:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%
1. Roots
Structure 2 + Health 2 = 4
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 2 + Health 2 = 4
4. Small Branches and Twigs
Health: 3
5. Foliage and/or Buds
Health: 2
Total Points: 18
Replacement Required: 60 x 15 x 50 = 5 caliper inches

Tree 14:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%
1. Roots
Structure 2 + Health 2 = 4
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 2 + Health 2 = 4
4. Small Branches and Twigs
Health: 3
5. Foliage and/or Buds
Health: 2
Total Points: 18
Replacement Required: 60 x 15 x 50 = 5 caliper inches

Tree 15:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%
1. Roots
Structure 2 + Health 2 = 4
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 2 + Health 2 = 4
4. Small Branches and Twigs
Health: 3
5. Foliage and/or Buds
Health: 2
Total Points: 18
Replacement Required: 60 x 15 x 50 = 5 caliper inches

Tree 16:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%
1. Roots
Structure 2 + Health 2 = 4
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 2 + Health 2 = 4
4. Small Branches and Twigs
Health: 3
5. Foliage and/or Buds
Health: 2
Total Points: 18
Replacement Required: 60 x 15 x 50 = 5 caliper inches

Tree 17:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%
1. Roots
Structure 2 + Health 2 = 4
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 2 + Health 2 = 4
4. Small Branches and Twigs
Health: 3
5. Foliage and/or Buds
Health: 2
Total Points: 18
Replacement Required: 60 x 15 x 50 = 5 caliper inches

Tree 18:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%
1. Roots
Structure 2 + Health 2 = 4
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 2 + Health 2 = 4
4. Small Branches and Twigs
Health: 3
5. Foliage and/or Buds
Health: 2
Total Points: 18
Replacement Required: 60 x 15 x 50 = 5 caliper inches

Tree 19:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%
1. Roots
Structure 2 + Health 2 = 4
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 2 + Health 2 = 4
4. Small Branches and Twigs
Health: 3
5. Foliage and/or Buds
Health: 2
Total Points: 18
Replacement Required: 60 x 15 x 50 = 5 caliper inches

Tree 20:
Identification: Tamarind Tree (Tamarindus Indica)
Size: 25 foot overall height
15 foot canopy spread
12 inch caliper trunk
Trunk on decline
Condition: Condition rate 63%
1. Roots
Structure 3 + Health 3 = 6
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 2 + Health 2 = 4
4. Small Branches and Twigs
Health: 3
5. Foliage and/or Buds
Health: 3
Total Points: 24
If remove, estimate due is \$12,000

Tree 21:
Identification: Plumeria (Plumeria Rubra)
Size: 12 foot overall height
5 foot canopy spread
3 inch caliper trunk
Volunteer
Condition: Condition rate 32%
1. Roots
Structure 1 + Health 1 = 2
2. Trunk
Structure 1 + Health 1 = 2
3. Scaffold Branches
Structure 1 + Health 1 = 2
4. Small Branches and Twigs
Health: 2
5. Foliage and/or Buds
Health: 2
Total Points: 10
50 Replacement Value

Tree 22:
Identification: Mangro Tree (Mangifera Indica)
Size: 25 foot overall height
15 foot canopy spread
14 inch caliper trunk
Poor branch structure
Condition: Condition rate 47%
1. Roots
Structure 2 + Health 2 = 4
2. Trunk
Structure 2 + Health 2 = 4
3. Scaffold Branches
Structure 1 + Health 2 = 3
4. Small Branches and Twigs
Health: 2
5. Foliage and/or Buds
Health: 2
Total Points: 15
Replacement Required: 60 x 15 x 47 = 4 caliper inches

Tree 23:
Identification: False Tamarind Tree (Lythium Latifolium)
Size: 40 foot overall height
30 foot canopy spread
24 inch caliper trunk
Condition: Condition rate 30%

Tree 24:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%

Tree 25:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%

Tree 26:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%

Tree 27:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%

Tree 28:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%

Tree 29:
Identification: Sabal Palmetto (Cabbage Palm)
Size: 30 foot overall height
10 inch caliper trunk
Condition: Condition rate 50%

Scale: 1" = 20'-00"

North

811
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PREPARED FOR:

SHERWIN WILLIAMS
FORT LAUDERDALE, FL
NE 4TH AVE

DATE: 7/25/19

PROJECT NUMBER: 1919

DRAWN BY: HAP

CHECKED BY: JH

SCALE: 1/20

REVISION: DATE BY:

1 DRC CMVT 10/2/19 HAP

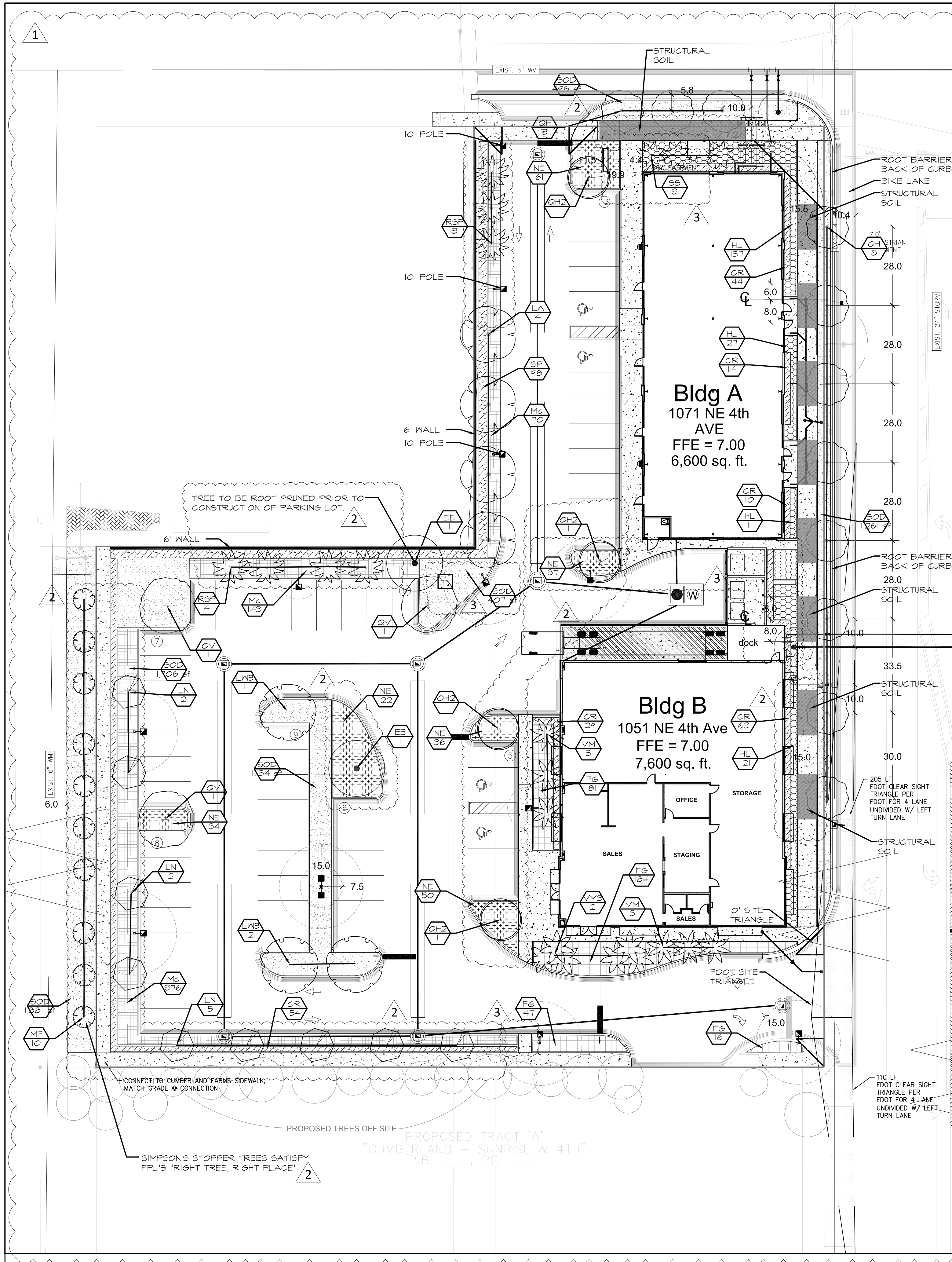
2 DRC CMVT 10/24/19 HAP

SEAL

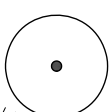
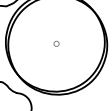
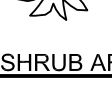
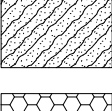
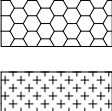
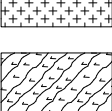
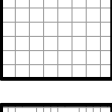
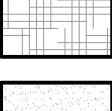
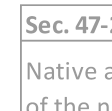
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SHEET NUMBER:

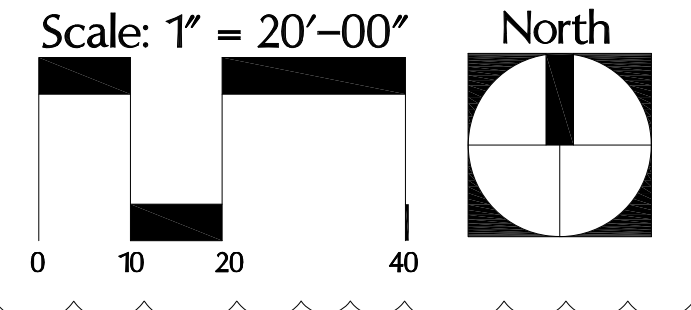
LAPL-0



PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	DBH	QTY
	EE	Existing Tree	Existing Tree	---			7
	LN	Lagerstroemia x 'Natchez'	Crape Myrtle	FG/BB	12' HT, 5-6' SPR	2.5" MIN	9
	LW	Lysitoma latisliqua	Wild Tamarind	FG/BB	12' HT, 5-6' SPR	2.5" MIN	4
	LW3	Lysitoma latisliqua	Wild Tamarind	FG/BB	12' HT, 5-6' SPR	3.5" MIN	3
	MF	Myrcianthes fragrans	Simpson's Stopper	FG/BB	10' HT, X 5' SPR.		10
	QV	Quercus virginiana	Southern Live Oak	FG/BB	14' HT, X 7' SPR.	3.5" MIN	3
	QH2	Quercus virginiana 'High Rise'	High Rise Live Oak	FG/BB	12' HT, 4'-5' SPR	2.5" MIN	4
	QH	Quercus virginiana 'High Rise'	High Rise Live Oak	FG/BB	16'-18' HT, 4'-5' SPR, 6' CT	3.5" MIN	11
	SS	Sabal palmetto	Cabbage Palmetto	FG/BB	10-14' CT		3
PALMS	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	DBH	QTY
	VM3	Veitchia montgomeryana	Montgomery Palm - Triple	FG/BB	18' - 24' CT		2
	VM	Veitchia montgomeryana	Montgomery Palm	FG/BB	20' CT		6
RELOCATED TREES	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	DBH	QTY
	RSP	Sabal palmetto	Cabbage Palmetto	---	Transplant		7
SHRUB AREAS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	SPACING	QTY
	CR	Chrysobalanus icaco 'Red Tip'	Red Tip Cocoplum	24"HT, 24" SPR		24" o.c.	320
	HL	Hymenocallis latifolia	Spider Lily	18" x 18"		24" o.c.	292
	NE	Nephrolepis exaltata	Boston Fern	18" x 18"		24" o.c.	350
	SP	Syzygium paniculatum	Brush Cherry	48" HT x 30" SPR		36" o.c.	98
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	SPACING	QTY
	FG	Ficus microcarpa 'Green Island'	Green Island Ficus	16" HT, 16" SPR		24" o.c.	328
	Mc	Muhlenbergia capillaris	Pink Muhly	16" X 16"		24" o.c.	694
	SOD	Stenotaphrum secundatum 'St. Augustine'	Seville Sod	---			5,802 sf

Landscape Calculations - Sherwin Williams			
Site Area		67,067 SF	
Sec. 47-21.8-R		Required	Provided
Irrigated turfgrass no more than 50% of the landscaped area	Landscaped area = 12,805 sf	<6,403 sf turf	5,802 sf
Sec. 47-21.8-S		Required	Provided
Native and drought-tolerant landscaping must be a minimum of 50% of the non-turfgrass landscaped area	Non-turfgrass landscaped area = 7,003	50%	75%
Sec. 47-21.12-A-1		Required	Provided
Landscaping shall be provided in a square foot area equal to a minimum of 20% of the gross VUA	VUA = 31,285 sf	6,257 sf	8,756 sf
Sec. 47-21.12-A-3		Required	Provided
Interior landscape area. At least thirty (30) square feet of interior landscape area shall be provided for every interior parking and loading space and shall not be part of any perimeter landscape area. Perimeter landscape area	57 spaces	1,710 sf	7,809 sf
Sec. 47-21.12-C-1		Required	Provided
One (1) tree and (6) six shrubs shall be required for every one thousand (1,000) sf of VUA	VUA = 31,285 sf	31 trees, 186 shrubs	32 trees, +200 shrubs
25% of the required trees shall be shade species with 3.5" minimum caliper. 25% with 2.5" shade species, 20% should be flowering, 20% should be palms, 10% optional species.		16 shade trees 6 flowering 6 palms 3 other	16 shade trees (2 are existing) 8 flowering 8 palms
Sec. 47-21.13-1		Required	Provided
There shall be at least (1) tree for each one thousand (1,000) sf of net lot area - in addition to VUA requirements - 20% shall be shade trees	Net lot area = 6,548 sf	7 trees (1 shade)	4 trees (1 shade)
Sec. 47-21.13-2		Required	Provided
See Sec. 47-21.12-A-1 and Sec. 47-21.12-C-1 above			
Sec. 47-21.13-10		Required	Provided
Diversity of tree mix - Of the overall number of trees required, not more than one-half of the required tree count can be of (1) genus. At least 40% of all required trees shall consist of native species.	58 required trees total = < 29 of one species and >40% native	18 of one species and >80% native required trees	
Sec. 47-21.13-16		Required	Provided
Street trees shall be planted in an area located between the roadway and the property line. A minimum of 50% of the required street trees shall be shade trees. Street trees shall be provided at a ratio of one street tree per 40 feet of street frontage. If overhead utilities exist, required street trees may be small trees provided at a ratio of one street tree per 20 feet of street frontage. Minimum heights in Section 47-21.	4th Ave = 335.7' / 40 = 8 trees, NE 11 St = 174' / 40 = 3 trees, NE 3 Ave = 180' / 20 = 9 trees overhead utilities @ 3rd Ave	4th Ave = 8 trees NE 11 St = 3 trees NE 3 Ave = 9 trees	4th Ave = 8 shade trees NE 11 St = 3 shade trees NE 3 Ave = 10 trees



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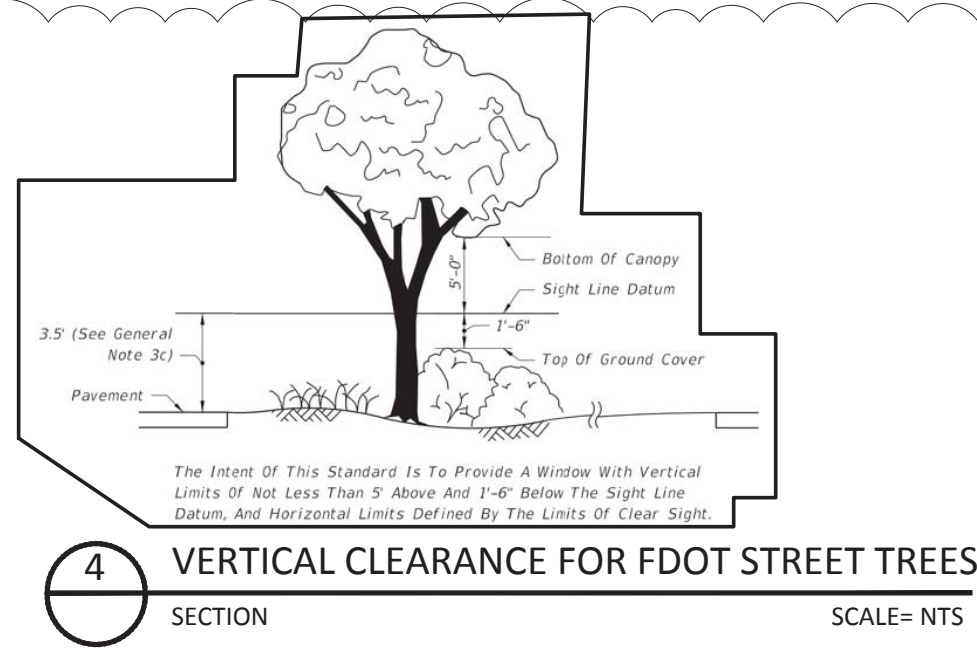
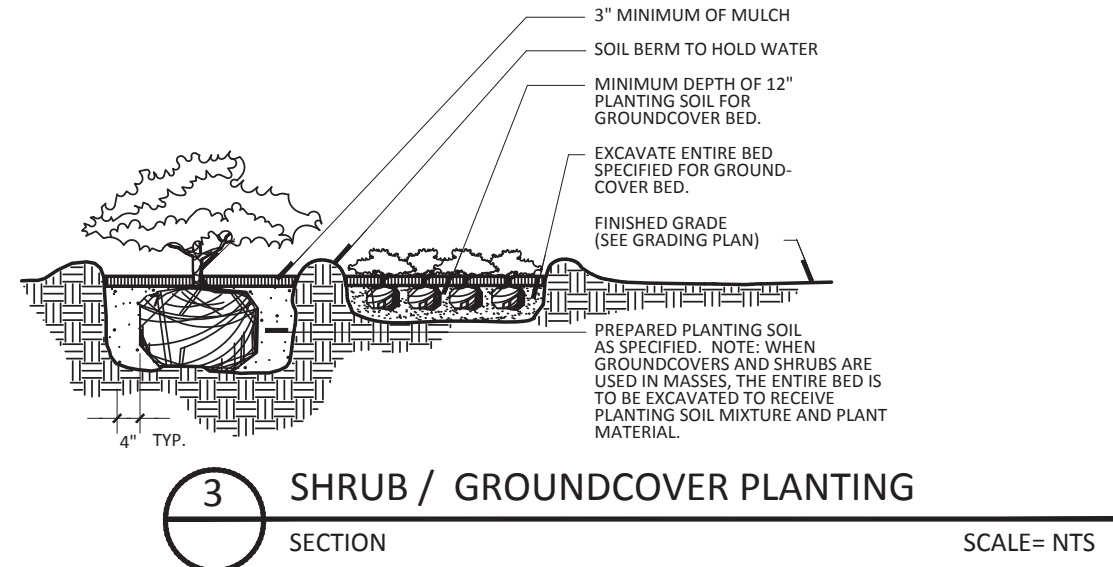
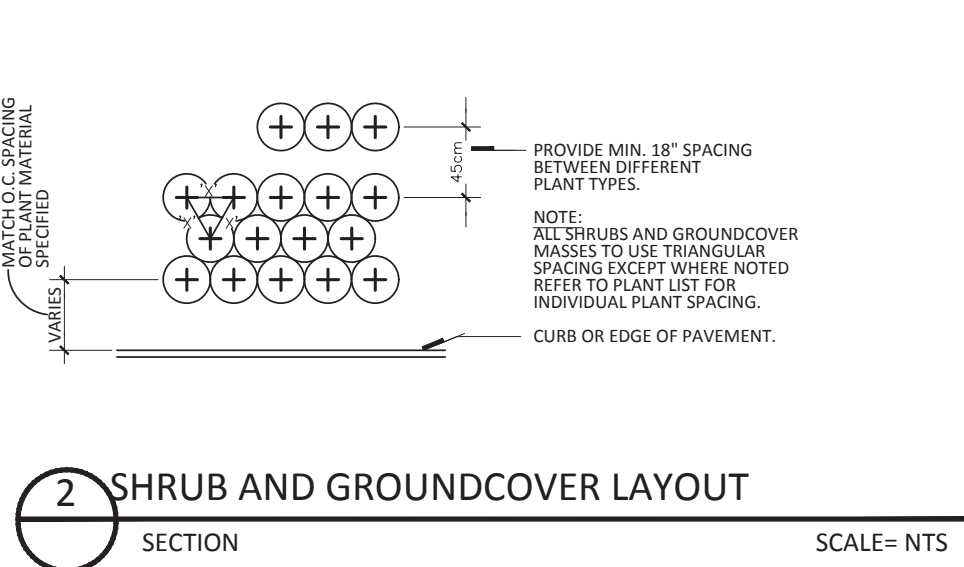
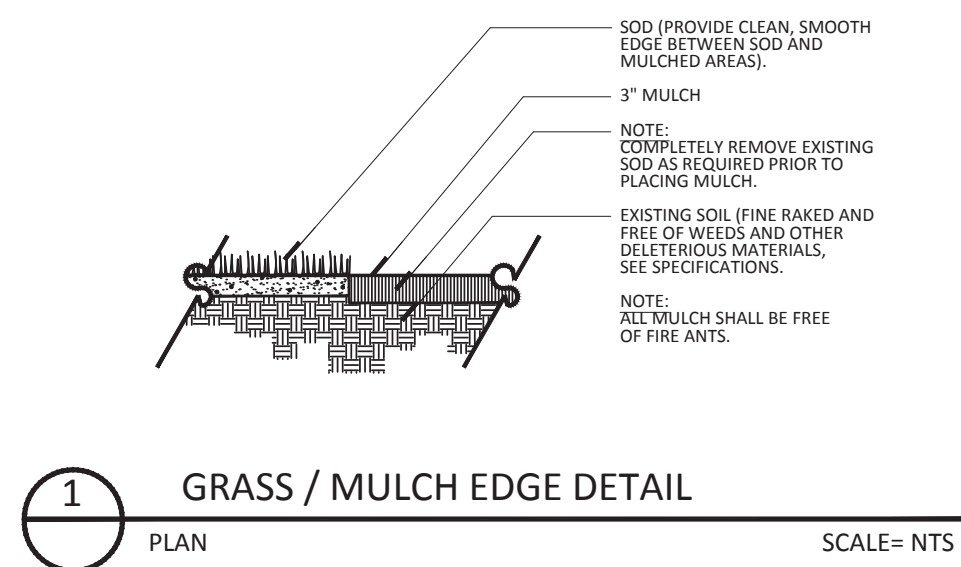
SHERWIN WILLIAMS
FORT LAUDERDALE, FL
NE 4TH AVE

PLANTING PLAN

DATE: 7/25/19
PROJECT NUMBER: 1919
DRAWN BY: HAP
CHECKED BY: JH
SCALE: 1/20
REVISION: DATE: BY:
1 DRC CMNT 10/2/19 HAP
2 DRC CMNT 10/24/19 HAP
3 DRC CMNT 12/6/19 HAP



12.6.19
SHEET NUMBER:
LAPL-1

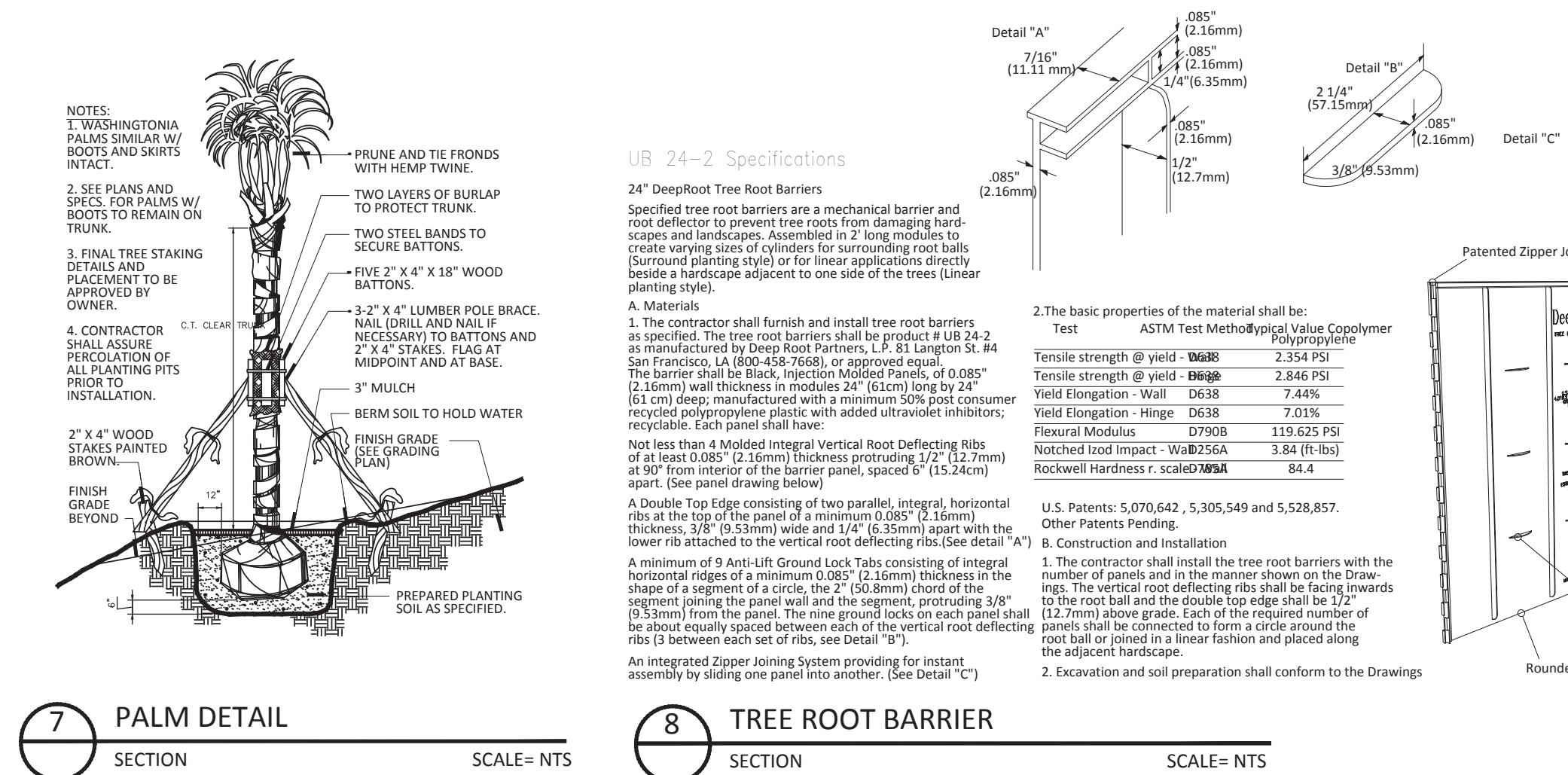
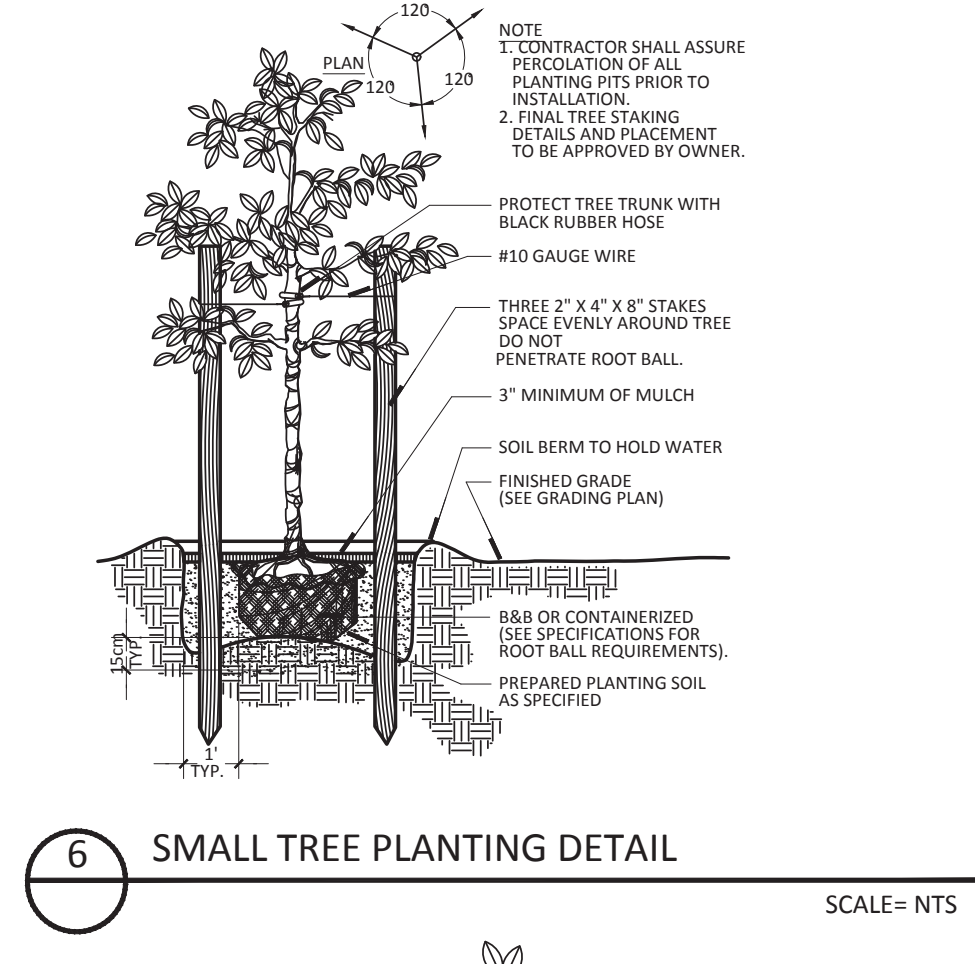
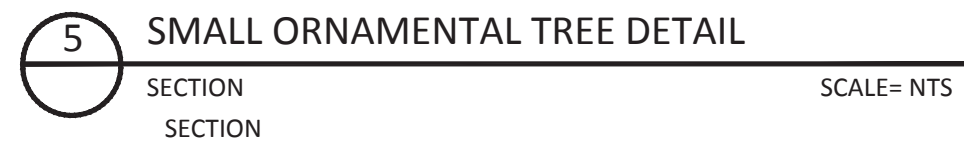
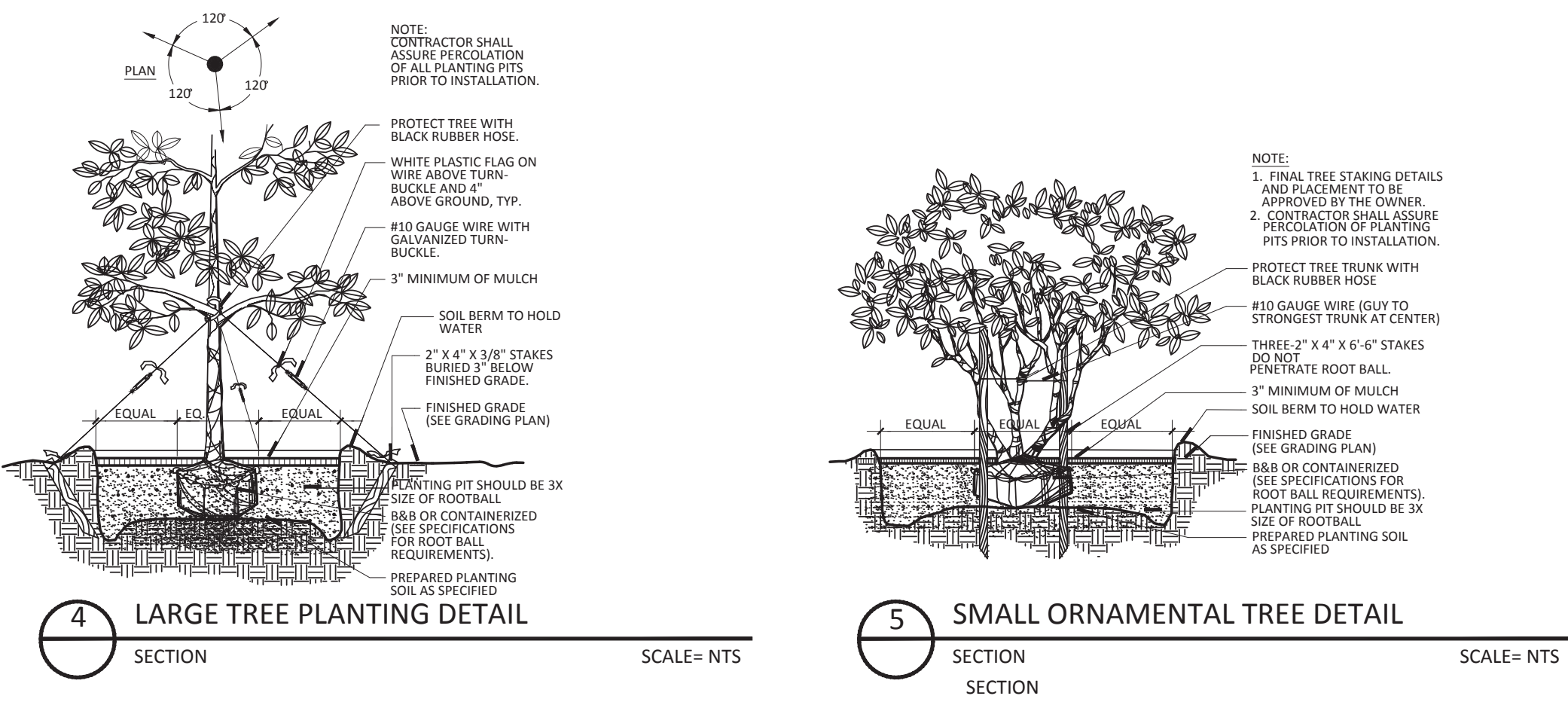


STRUCTURAL SOIL SPECIFICATION FROM CORNELL UNIVERSITY

The structural soil material is designed as follows. The three components of the structural soil are mixed in the following proportions by weight, crushed stone: 100; clay loam: 20; hydrogel: 0.03. Total moisture at mixing should be 10% (AASHTO T-99 optimum moisture).

Crushed stone (granite or limestone) should be narrowly graded from 3/4 - 1 1/2 inch, highly angular with no fines. The clay loam should conform to the USDA soil classification system (gravel <5%, sand 25-30%, silt 20-40%, clay 25-40%). Organic matter should range between 2% and 5%. The hydrogel, a potassium propenote-propenamide copolymer is added in a small amount to act as a tackifier, preventing separation of the stone and soil during mixing and installation. Mixing can be done on a paved surface using front end loaders. Typically the stone is spread in a layer, the dry hydrogel is spread evenly on top and the screened moist loam is the top layer. The entire pile is turned and mixed until a uniform blend is produced. The structural soil is then installed and compacted in 6 inch lifts.

The Urban Horticulture Institute continues to work on refining the specification for producing a structural soil material to make the system cost effective. It is patent pending and will be sold with the trademark 'CU-Soil' to insure quality control.



24" Deeproot Tree Root Barriers

24" Deeproot Tree Root Barriers
Specified tree root barriers are a mechanical barrier and root deflector to prevent tree roots from damaging landscapes and landscapes. Assembled in 2' long modules to create varying sizes of cylinders for surrounding root balls (surround planting style) or for linear applications directly beside a hardscape adjacent to one side of the trees (linear planting style).

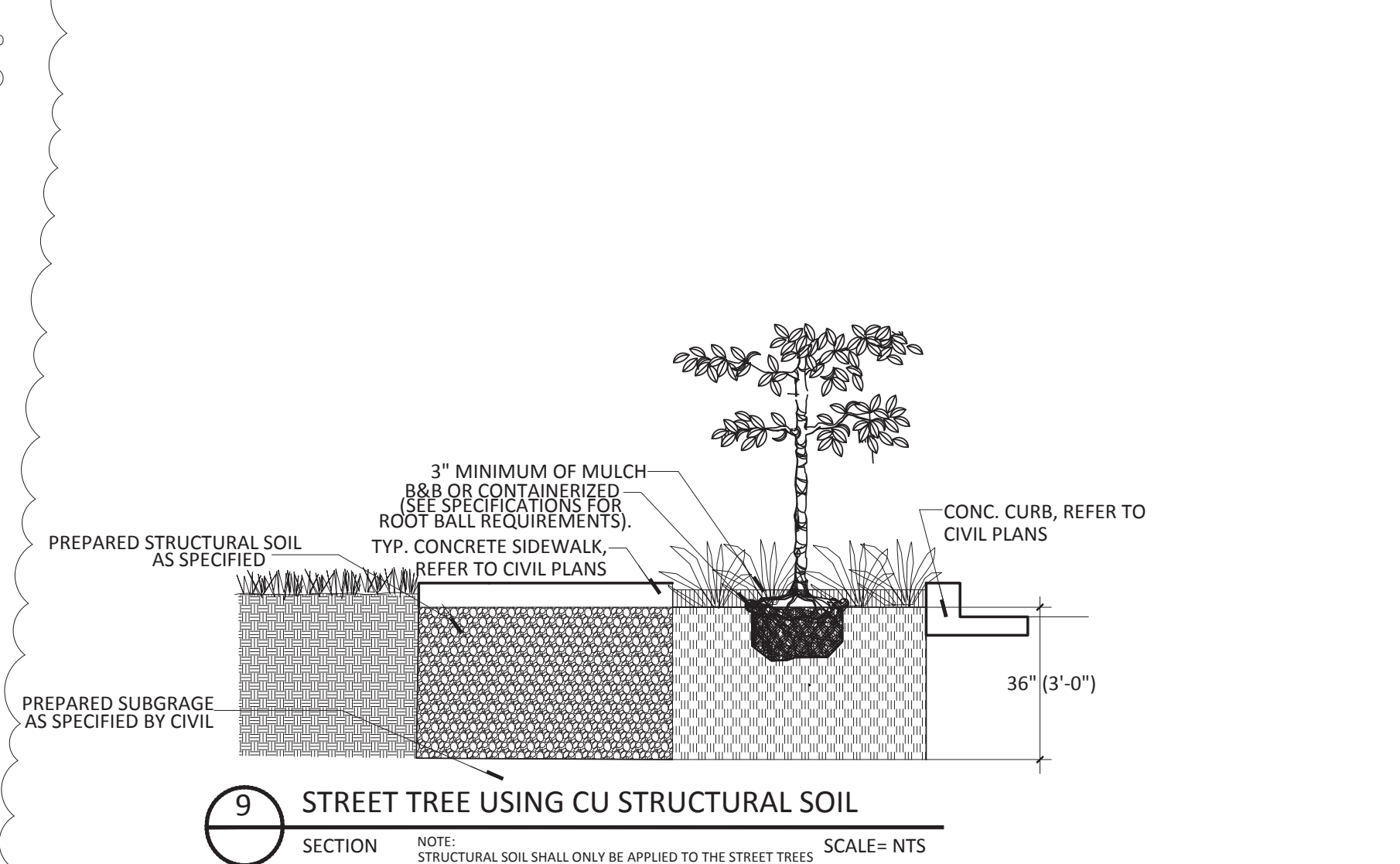
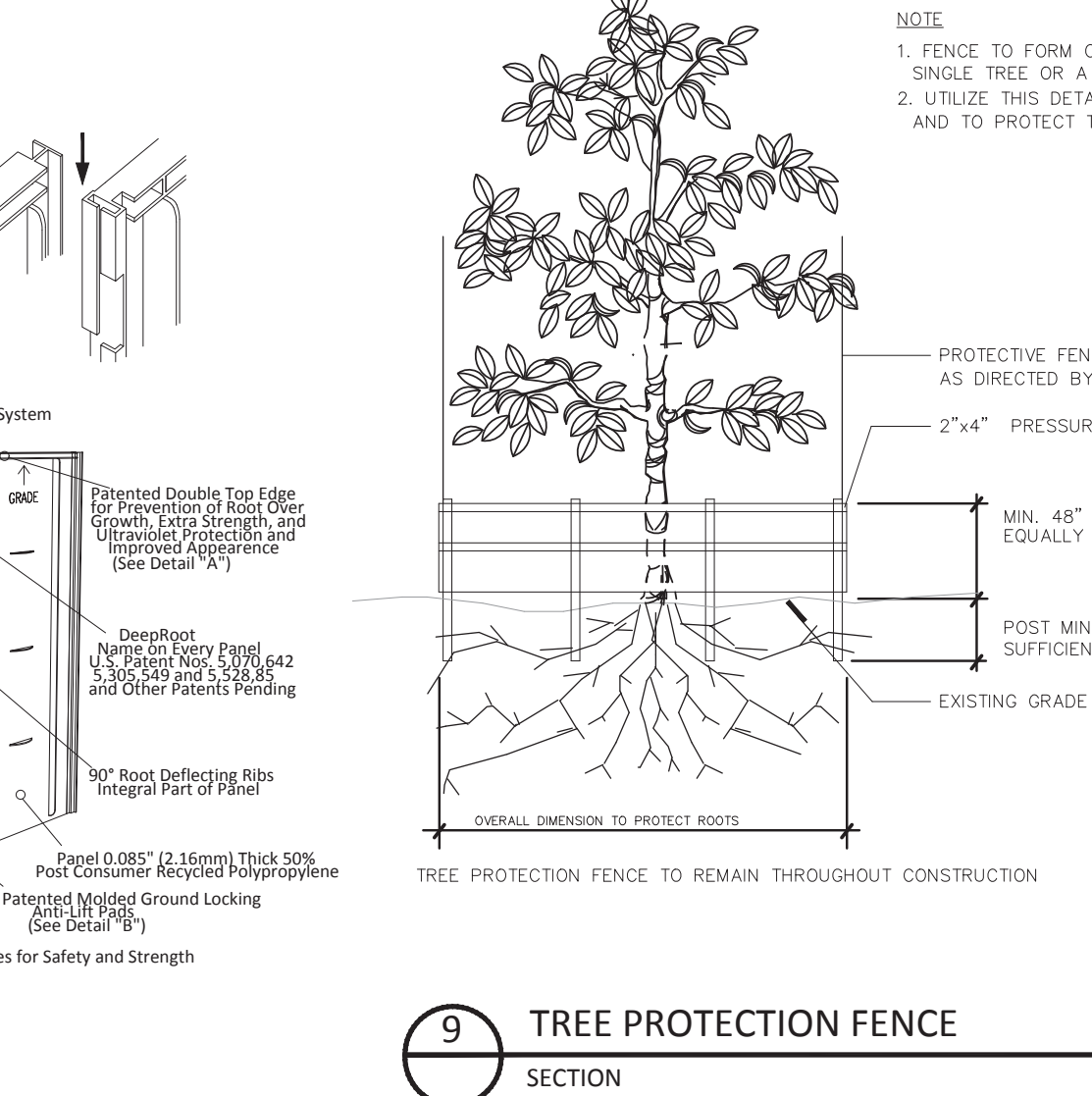
A. Materials
1. The contractor shall furnish and install tree root barriers as specified. The tree root barriers shall be product # UB 24-2 as manufactured by Deep Root Barriers, LP, 81 Landon St. #4 San Francisco, CA 94103-1000, or approved equal. The barrier shall be black, injection molded panels, 0.085" (2.16mm) wall thickness in modules 24" (61cm) long by 24" (61 cm) deep, manufactured with a minimum 50% post consumer recycled polypropylene plastic with added ultraviolet inhibitors; recyclable. Each panel shall have:
Not less than 4 Molded Integral Vertical Root Deflecting Ribs of at least 0.085" (2.16mm) thickness protruding 1/2" (12.7mm) in the shape of a segment of a circle, the 2" (50.8mm) chord of the segment joining the panel wall and the segments, protruding 3/8" (9.5mm) from the panel. The nine ground locks on each panel shall be about equally spaced between each of the vertical root deflecting ribs (3 between each set of ribs, see Detail "A").
An Integrated Zipper Joining System providing for instant assembly by sliding one panel into another. (See Detail "C")

2. The basic properties of the material shall be:
Test ASTM Test Method
Tensile strength @ yield - 2,354 PSI
Tensile strength @ break - 2,845 PSI
Yield Elongation - Wall - 663%
Yield Elongation - Hinge - 663%
Flexural Modulus - 0.7988
Notched Irod Impact - W8B256A
Rockwell Hardness r. scale - 84.4

U.S. Patents: 5,070,642; 5,305,549 and 5,528,857. Other Patents Pending.

B. Construction and installation
1. The contractor shall install the tree root barriers with the number of panels and in the manner shown on the Drawings. The vertical root deflecting ribs shall be facing towards the root ball and the double top edge shall be 22" (12.7mm) above grade. Each of the segments of panels shall be connected to form a circle around the root ball or joined in a linear fashion and placed along the adjacent hardscape.

C. Excavation and soil preparation shall conform to the Drawings



LANDSCAPE NOTES

- THE WORK CONSISTS OF THE COMPLETE PLANT MATERIAL INSTALLATION ON THE DRAWINGS AND AS HEREIN SPECIFIED. THIS WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, THE SUPPLYING OF ALL PLANT MATERIAL SPECIFIED, THE FURNISHING OF LABOR, EQUIPMENT, APPLIANCES AND ALL MATERIALS CALLED FOR, AND IN PERFORMING ALL OPERATIONS IN CONNECTION WITH THE LANDSCAPE INSTALLATION ON THESE PLANS. FURTHER, THE WORK SHALL INCLUDE THE MAINTAINING OF ALL PLANTS AND PLANTING AREAS UNTIL ACCEPTANCE BY THE OWNER, AND THE FULFILLING OF ALL GUARANTEE PROVISIONS AS HEREIN SPECIFIED.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
- IN THE EVENT OF VARIATION BETWEEN THE PLANT LIST AND THE ACTUAL NUMBER OF PLANTS SHOWN ON THE PLANS, THE PLANS SHALL CONTROL.
- PLANT MATERIALS WILL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AT THE JOB SITE PRIOR TO INSTALLATION. WHEN INSPECTION WORK DOES NOT COMPLY WITH THE REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REINSPECTED AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS FROM THE PLANTING SITE WITHIN 48 HOURS AND REPLACE WITH ACCEPTABLE MATERIALS.
- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. THE OWNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO DIRECT THE REMOVAL AND REPLACEMENT OF ANY ITEMS WHICH, IN HIS OPINION, DO NOT PRESENT AN ORDERLY AND REASONABLE NEAT OR WORKMANLIKE APPEARANCE, PROVIDED SUCH ITEMS CAN BE PROPERLY INSTALLED IN AN ORDERLY WAY BY TYPICAL INSTALLATION METHODS.
- ALL PLANTING BEDS WITHIN FDOT RIGHT OF WAYS SHALL BE MULCHED WITH 3" OF RECYCLED MULCH CERTIFIED BY THE MULCH AND SOIL COUNCIL (MSC). SUBMIT PROOF OF CERTIFICATION TO THE FDOT DISTRICT OPERATIONS PERMIT LANDSCAPE INSPECTOR UPON INSPECTION. ALL ON SITE PLANTING BEDS SHALL BE MULCHED WITH 3" OF RECYCLED MULCH. NO RED COLORED MULCH WILL BE ACCEPTED.

- ALL TREES 6' TALL OR LARGER SHALL BE STAKED AND GUYED WITH VERTICAL 2" X 2" PINE STAKES OR 4" DIAMETER POST IN DETAILS. NO DEVIATIONS UNLESS APPROVED IN WRITING.
- PLANTING SOIL FOR ALL PLANT MATERIALS SHALL CONSIST OF TWO (2) PARTS OF TOPSOIL WITH ONE (1) PART PEAT MOSS AND .9 kg FERTILIZER PER CUBIC METER, WELL MIXED.
- ALL PLANT MATERIALS SHALL BE WATERED BY THE CONTRACTOR THOROUGHLY WHEN PLANTED AND DURING THE PLANTING TIME PERIOD UP TO FINAL ACCEPTANCE BY OWNER.
- PROVIDE NEW TOPSOIL FOR TURF IN ALL SODDED AND SEEDING AREAS. TOPSOIL SHALL BE FERTILE, BLACK IN COLOR, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 3 cm IN ANY DIMENSION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO SOD GROWTH. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 10 cm. DO NOT OBTAIN FROM BOGS OR MARSHES. THE CONTRACTOR SHALL PROVIDE A SOILS TEST REPORT SHOWING pH AND NUTRIENTS; - pH SHALL BE 5.5 TO 6.0. IF NOT THEN USE THE APPROPRIATE SOIL AMENDMENTS TO REACH 5.5 TO 6.0.
- CONTRACTOR TO VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY DIGGING.
- THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICT OR DISCREPANCY IN PLANS PRIOR TO PERFORMING ANY WORK IN THE AFFECTED AREA.
- CONTRACTOR SHALL CLEAN UP AND REMOVE FROM THE PREMISES ALL SURPLUS AND DISCARDED MATERIALS AND RUBBISH FROM HIS CONSTRUCTION.
- ALL SHRUBS, GROUNDCOVERS, AND SOD SHALL BE GUARANTEED FROM NINETY (90) DAYS AFTER FINAL ACCEPTANCE BY OWNER. ALL TREES SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE BY OWNER.

- FINAL INSPECTION WILL NOT TAKE PLACE UNTIL ALL MATERIALS ARE PLANTED/INSTALLED CORRECTLY. CONTRACTOR WILL REQUEST A FINAL INSPECTION BY WRITTEN LETTER TO OWNER.
- UPON NOTICE OF FINAL ACCEPTANCE, THE OWNER WILL ASSUME MAINTENANCE AND THE GUARANTEE/ WARRANTY PERIOD BEGINS.
- ALL SODDED AREAS SHALL BE HAND WATERED UNTIL TURF IS ESTABLISHED.
- CONTRACTOR TO NOTIFY/VERIFY WITH LANDSCAPE ARCHITECT, THE AVAILABILITY (QUANTITY & QUALITY PRESCRIBED IN THE DRAWINGS) OF ALL PLANT MATERIAL SPECIFIED AT THE TIME OF THE BID.
- CONTRACTOR INSTALLING THE PLANT MATERIAL AT THE SITE WILL BE RESPONSIBLE FOR MAINTAINING THE CONDITION AND HEALTH OF THE MATERIAL (AS DOCUMENTED IN THE PHOTOGRAPHS AT THE TIME OF INSPECTION) FROM THE TIME OF INSTALLATION TO THE TIME OF TURNING OVER THE PROJECT TO THE OWNER OR OPERATOR. IF THE CONTRACTOR FAILS TO MAINTAIN THE MATERIAL AS SPECIFIED, THAT PLANT MATERIAL WILL BE REJECTED.
- REPLACE EXISTING SOD WHERE DAMAGED BY CONSTRUCTION ACTIVITIES.
- ALL PLANT MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
- ALL PROHIBITED PLANT SPECIES SHALL BE ERADICATED FROM THE SITE.
- SOD AND IRRIGATION SHALL BE PROVIDED WITHIN THE UNPAVED PORTION OF THE RIGHT-OF-WAY ADJACENT TO THE PROPERTY LINE.
- REINFORCED CONCRETE CURBING AT LEAST SIX (6) INCHES IN HEIGHT SHALL BE PROVIDED AROUND ALL LANDSCAPE ISLANDS AND AS A SEPARATOR BETWEEN ALL LANDSCAPED AREAS THAT ARE ADJACENT TO VEHICULAR USE AREAS UNLESS SUCH CURBING WILL INTERFERE WITH THE DRAINAGE.

PREPARED BY:
ECOPLAN
ECOLOGICAL / ENVIRONMENTAL LAND PLANNING
LAND USE ANALYSIS - LANDSCAPE ARCHITECTURE
888 SOUTH ANDREWS AVENUE, SUITE 303
FORT LAUDERDALE, FLORIDA 33304
PHONE 954-534-3722 FAX 954-534-4529
www.ecoplan.com

PREPARED FOR:

DRC SUBMITTAL

SHERWIN WILLIAMS
FORT LAUDERDALE, FL
NE 4TH AVE

PLANTING DETAILS

DATE: 7/25/19
PROJECT NUMBER: 1919
DRAWN BY: HAP
CHECKED BY: JH
SCALE: 1/20
REVISION: DATE BY:
1 DRC CMW 10/2/19 HAP

SEAL



10_3_19

SHEET NUMBER:

LAPL-2



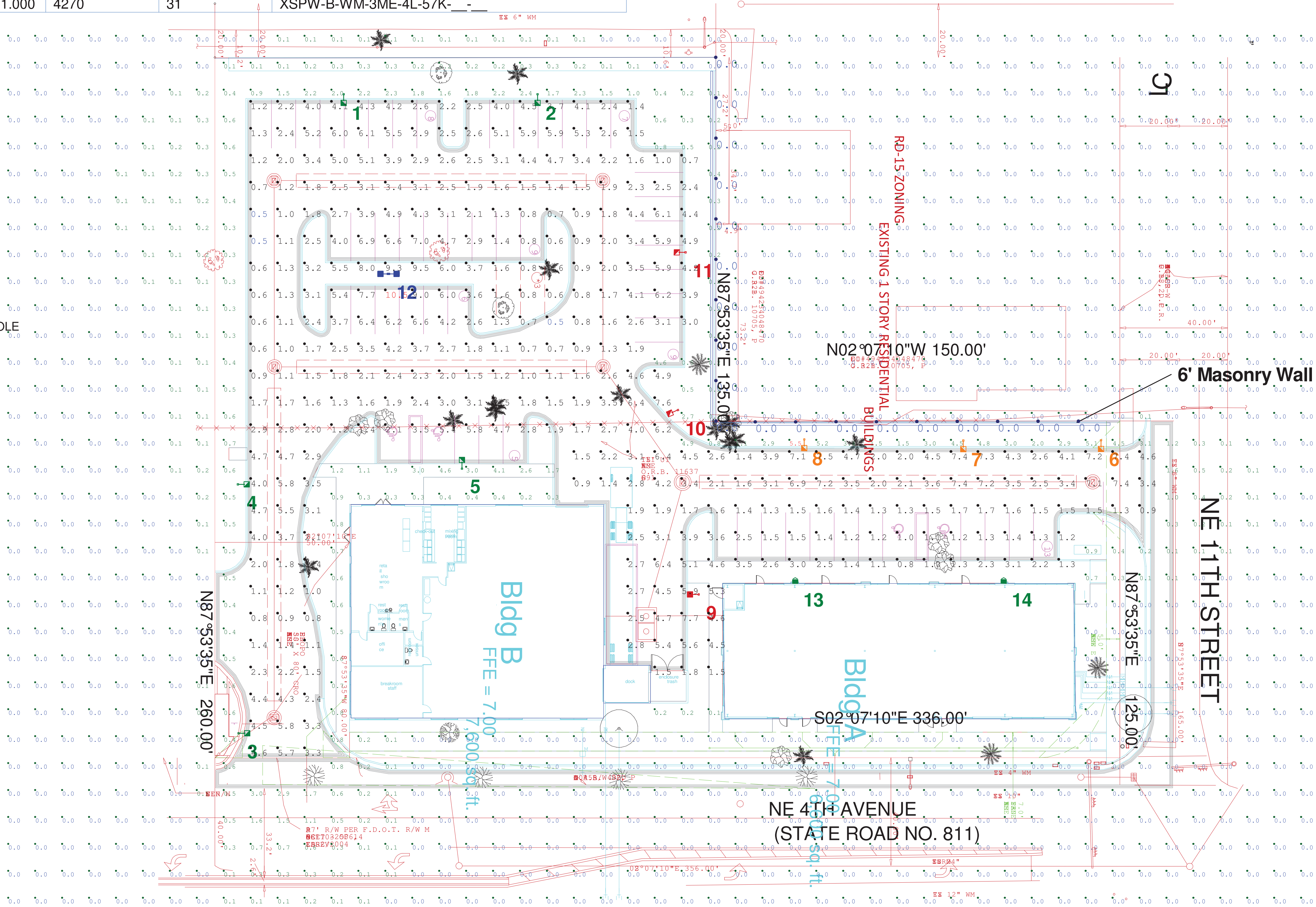
Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	3	3MB2	SINGLE	1.010	5996	93	ARE-EDG-3MB-DA-04-E-UL-BZ-700-57K-DIM
	5	3MB	SINGLE	1.010	8891	134	ARE-EDG-3MB-DA-06-E-UL-BZ-700-57K-DIM
	1	4M	SINGLE	1.010	12678	134	ARE-EDG-4M-DA-06-E-UL-BZ-700-57K-DIM
	2	4MB	SINGLE	1.010	9549	134	ARE-EDG-4MB-DA-06-E-UL-BZ-700-57K-DIM
	1	5M-2	D180°	1.010	13336	134	ARE-EDG-5M-DA-06-E-UL-BZ-700-57K-DIM
	2	X-3M-4L	SINGLE	1.000	4270	31	XSPW-B-WM-3ME-4L-57K- -

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED AREA	Fc	3.02	10.5	0.5	6.04	21.00
Property Line	Fc	0.00	0.0	0.0	N.A.	N.A.
UNDEFINED AREA	Fc	0.17	5.5	0.0	N.A.	N.A.

Luminaire Location Summary		
LumNo	Label	MH
1	3MB	15
2	3MB	15
3	3MB	15
4	3MB	15
5	3MB	15
6	3MB2	10
7	3MB2	10
8	3MB2	10
9	4M	15
10	4MB	15
11	4MB	15
12	5M-2	15
13	X-3M-4L	14
14	X-3M-4L	14

Poles by Other
ALL POLE MOUNTED FIXTURES ARE MOUNTED ON A 15FT POLE
ATOP A CONCRETE BASE FLUSH AT GRADE.

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND
CATALOGUE NUMBER PRIOR TO PLACING ORDER ***



CREE LIGHTING
A COMPANY OF IDEAL INDUSTRIES, INC.
9201 Washington Ave, Racine, WI 53406 <https://creelighting.com> - (800) 236-6800

Illumination results shown on this lighting design are based on project parameters provided to Cree Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting or energy code.

Project Name: Sherwin Williams NW Corner of E. Sunrise Blvd. & NE 4th St.

SR-37749

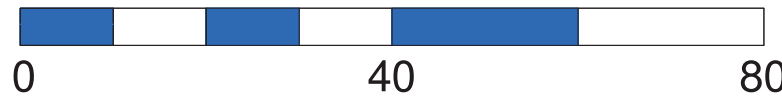
Footcandles calculated at grade

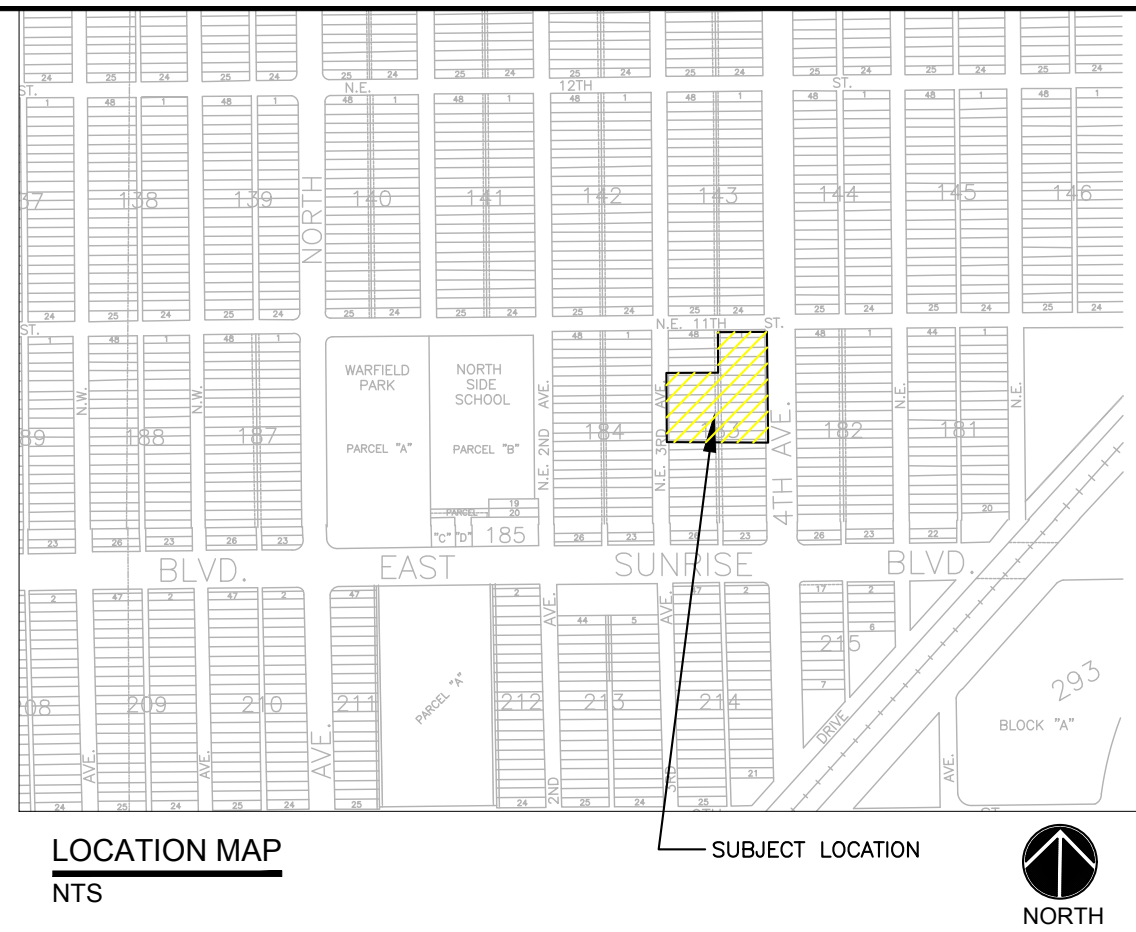
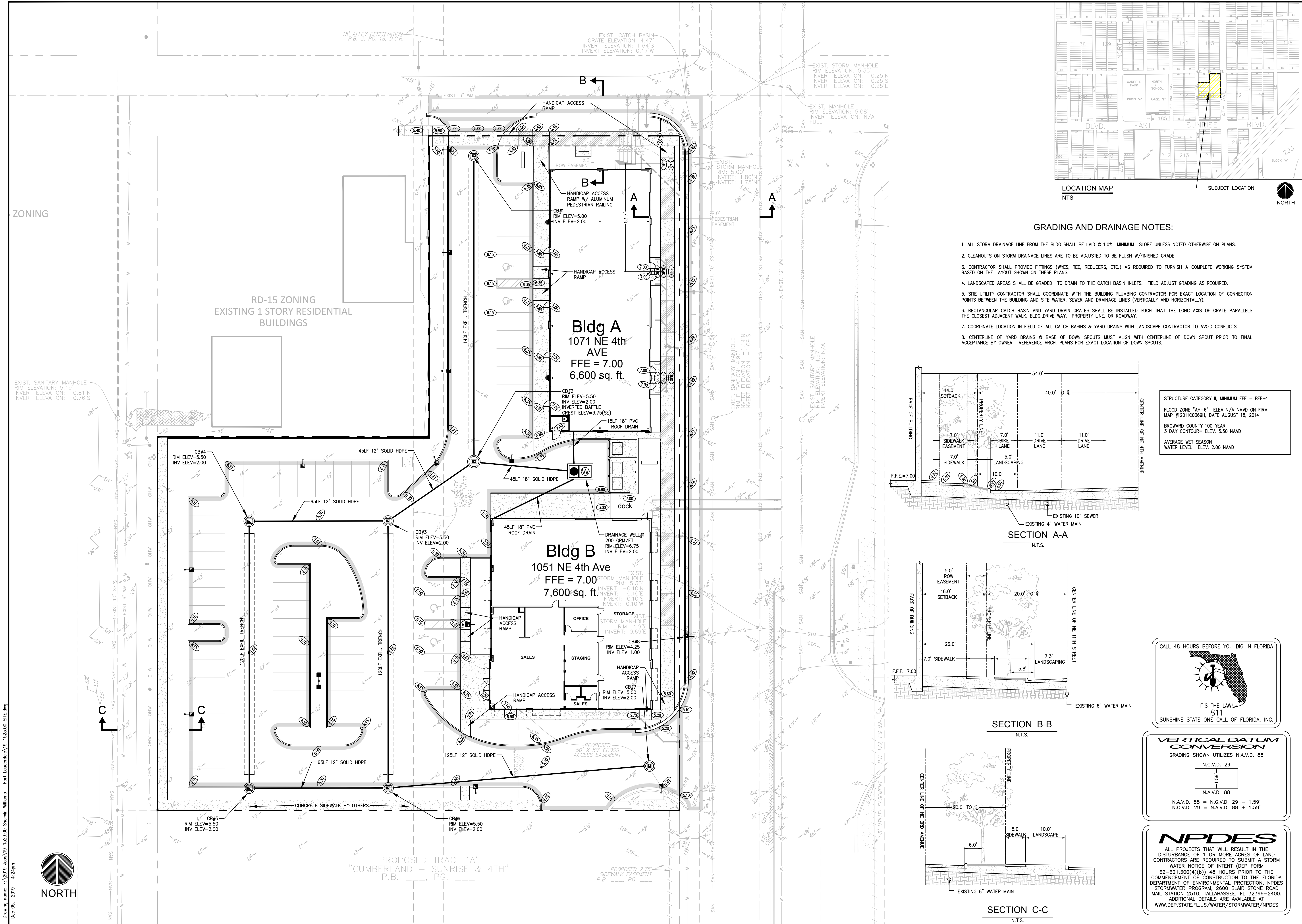
Filename: SW-190715FLFLBAFR2.A

Layout By: Ben Foster

Date: 9/26/2019

Scale 1" = 20'





CONCEPTUAL PAVING GRADING
& DRAINAGE PLAN

SHERWIN WILLIAMS ON 4TH AVE

1051, 1071 NE 4TH AVE, FORT LAUDERDALE FL

Phase:
DRC
DOCUMENTS

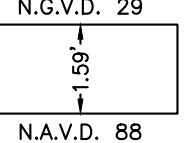
Revisions

Scale:	Date:
1" = 20.0'	08/14/19
Job No:	Plot Date:
19-1523.00	12/05/19
Drawn by:	Sheet No:
MDI	C2.0
Proj. Mgr:	DTR
Appr. by:	JMF
	2 of 3

Drawing name: F:\2019 jobs\19-1523.00 Sherwin Williams - Fort Lauderdale\19-1523.00 SITE.dwg
Dec-05, 2019 - 4:25pm

VERTICAL DATUM CONVERSION

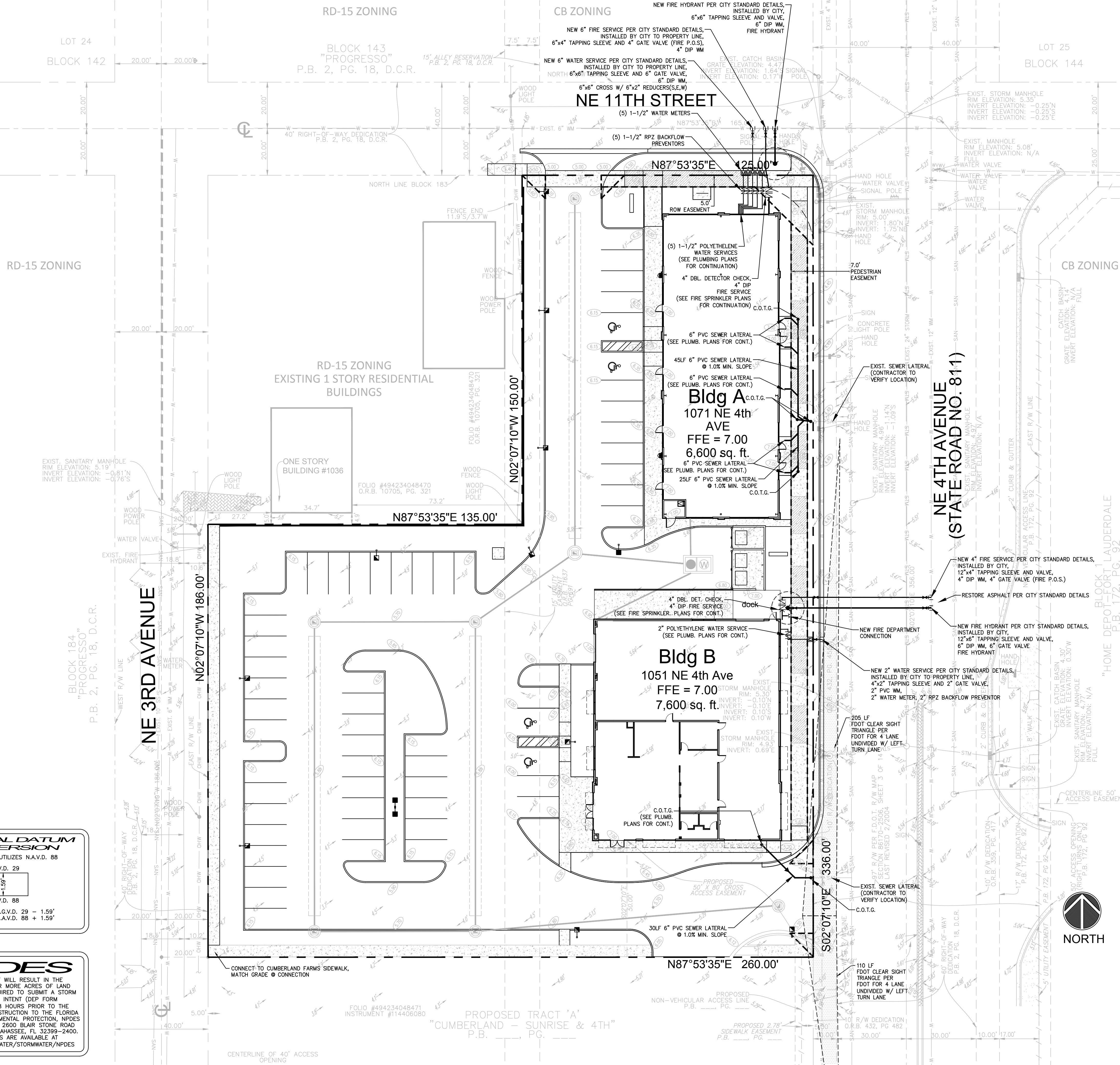
GRADING SHOWN UTILIZES N.A.V.D. 88



N.A.V.D. 88 = N.G.V.D. 29 - 1.59'
N.G.V.D. 29 = N.A.V.D. 88 + 1.59'

NPDES

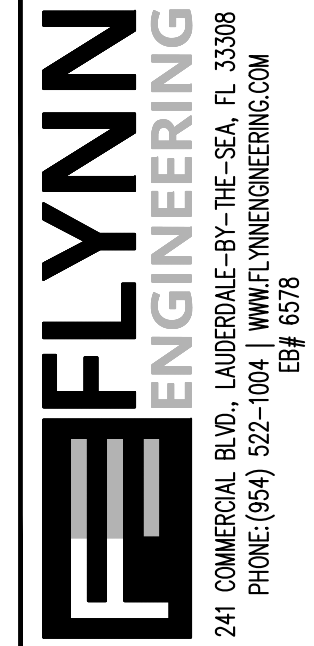
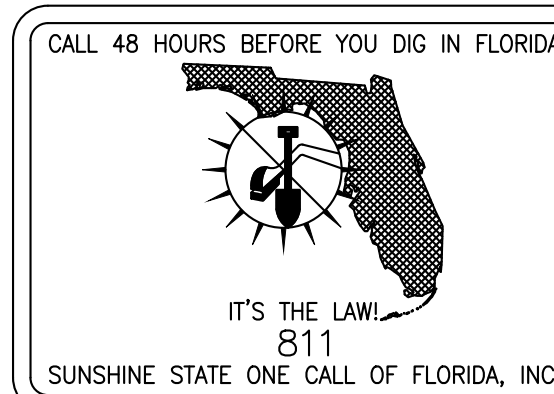
ALL PROJECTS THAT WILL RESULT IN THE DISTURBANCE OF 1 OR MORE ACRES OF LAND CONTRACTORS ARE REQUIRED TO SUBMIT A STORM WATER NOTICE OF INTENT (DEP FORM 62-621.300(4)(b)) 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, NPDES STORMWATER PROGRAM, 2600 BLAIR STONE ROAD MAIL STATION 2610, TALLAHASSEE, FL 32399-2400. ADDITIONAL DETAILS ARE AVAILABLE AT WWW.DEF.STATE.FL.US/WATER/STORMWATER/NPDES



LOCATION MAP
NTS

WATER AND SEWER NOTES:

- CLEANOUTS AND MANHOLES ON SANITARY LINES ARE TO BE ADJUSTED TO BE FLUSH WITH FINISHED GRADE.
- CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
- CONTRACTOR SHALL PROVIDE ANY EASEMENT DOCUMENTATION AROUND MH'S, BACKFLOW PREVENTORS, MAINLINES, METERS, ETC. AS REQUIRED BY THE CITY SO THAT THE OWNER MAY RECORD ANY EASEMENTS WITH THE CITY. CONTRACTOR'S SURVEYOR MUST COORDINATE WITH THE CITY AND PROVIDE ALL NECESSARY EASEMENT DOCUMENTATION TO THE OWNER. THE OWNER MUST THEN PROVIDE ALL RECORDED UTILITY EASEMENT DOCUMENTS TO THE CITY PRIOR TO FINAL ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT. ANY WATER MAIN CONNECTIONS, UTILITY CONNECTIONS AND SCHEDULE MUST BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION. THE CONTRACTOR IS REQUIRED TO PAY FOR ALL COSTS ASSOCIATED WITH THIS WORK REGARDLESS OF WHETHER OR NOT THE UTILITY OR THE CONTRACTOR PERFORMS THE WORK.
- W.M./S.S. MAINS TO BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BOXES, CULVERTS, ETC. W.M./S.S. MAINS MUST BE LOCATED 5' FROM TREES. F.H.'S MUST HAVE A 7.5' CLEAR RADIUS FROM ALL.
- SITE UTILITY CONTRACTOR SHALL COORDINATE W/ THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES VERTICALLY AND HORIZONTALLY.
- PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE BROWARD COUNTY HEALTH DEPARTMENT STANDARDS.
- ALL SANITARY SEWER LATERALS SHALL CROSS UNDER WATER MAINS WITH A MINIMUM OF 18" SEPARATION UNLESS OTHERWISE NOTED. A 20 FOOT SECTION OF DUCTILE IRON PIPE WATER MAIN CENTERED CROSSING IS REQUIRED IF LESS THAN 18" VERTICAL SEPARATION OCCURS BETWEEN THE SEWER LATERAL AND WATER MAIN.
- ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE "CAPPED OFF" AT THE POINT NEAREST TO THE UTILITIES OR DRAINAGE LINES THAT WILL REMAIN IN SERVICE. NOTIFY THE ENGINEER OF RECORD BEFORE REMOVING ANY UTILITIES THAT ARE CURRENTLY IN SERVICE. THE CONTRACTOR SHALL NOT REMOVE ANY UTILITY SERVICE TO ANY EXISTING BUILDING THAT WILL REMAIN AND SHALL DIG UP AND COMPLETELY REMOVE AND/OR ABANDON ANY UTILITY SERVICE THAT IS NO LONGER REQUIRED. THE CONTRACTOR SHALL INFORM AND CONSULT THE ENGINEER OF RECORD PRIOR TO REMOVING ANY LINES.
- CONTRACTOR SHALL VERIFY EXISTING WATER MAIN LOCATION AND ELEVATION AND NOTIFY THE ENGINEER OF ANY DIFFERENCE FROM THE DESIGN PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
- PROPOSED FIRE LINES (I.E. MAINS, SERVICES, SIAMOSE CONNECTION LINES, ETC.) TO BE INSTALLED BY A STATE LICENSED FIRE LINE CONTRACTOR PER F.S. 633.
- FIRE LINES TO BE INSPECTED BY A CERTIFIED FIRE LINE INSPECTOR.
- STATE LICENSED FIRE LINE CONTRACTOR, UPON COMPLETION OF REQUIRED TESTING, SHALL ISSUE A "LICENSED UNDERGROUND TEST CERTIFICATE" PRIOR TO ACCEPTANCE FOR PLACING FIRE LINE INTO SERVICE.



CONCEPTUAL WATER AND SEWER PLAN

Sheet Title

SHERWIN WILLIAMS ON 4TH AVE

1051, 1071 NE 4TH AVE, FORT LAUDERDALE FL

Job Title

Phase:
DRC
DOCUMENTS

Revisions

Scale: 1"= 20.0'	Date 08/14/19
Job No. 19-1523.00	Plot Date 12/05/19
Drawn by MDI	Sheet No. C3
Proj. Mgr. DTR	
Appr. by JMF	3 of 3





