

October 7, 2019

Mr. Benjamin Restrepo, P.E.
City of Fort Lauderdale Transportation & Mobility
290 NE 3rd Avenue
Fort Lauderdale, FL 33301

**Re: Marriott Residence Inn - Fort Lauderdale, Florida
Parking Statement**

Dear Benjamin:

Danielsen Consulting Engineers, Inc. (DC Engineers, Inc.) has been retained to prepare this parking statement specific to development of a 150-room Marriott Residence Inn along the west side of Seabreeze Boulevard (southbound SR A1A) generally between SE 5 Street (Hall of Fame Drive) and East Las Olas Boulevard within municipal limits of the City of Fort Lauderdale. The new hotel is proposed to be constructed on property currently occupied by a paved area providing overflow parking for the Courtyard by Marriott across the street. Figure 1, included as Attachment A, shows the location of the project site and the existing Courtyard by Marriott. The following is a summary of our findings.

Parking Requirement

According to Unified Land Development Regulations (ULDR's) specific to the City of Fort Lauderdale, the proposed Marriott Residence Inn should provide 101 parking spaces as shown in Table 1 below. A current site plan is included as Attachment B. The existing 261-room Courtyard by Marriott across the street from the project site is required to provide 175 parking spaces according to current ULDR parking rates but has only 71 spaces on site.

Table 1: ULDR Parking Requirement

Land Use	Intensity	ULDR Rate	Parking Spaces
Existing			
Courtyard by Marriott	261 rooms	0.67 spaces/room	175
Proposed			
Marriott Residence Inn	150 rooms	0.67 spaces/room	101
Total			276

The two (2) Marriott properties are linked by an Attendant Off-Street Parking Agreement executed in July 1997 which requires the Marriott Residence Inn property to provide overflow parking for the existing Courtyard by Marriott. As a result, the proposed Marriott Residence Inn is required to provide 101 parking spaces for its own use and 104 overflow parking spaces for use by the existing Courtyard by Marriott for a total 205 parking spaces. As the site plan shows 181 parking spaces are proposed to be constructed on site, this parking analysis will assess adequacy of the proposed parking supply through review of actual demand at the existing hotel.

A parking reduction is, therefore, requested in accordance with **Section 47-20-3.5.b** of the City's ULDR's. This section acknowledges 'the use, site, structure or any combination of same, evidences characteristics which support a determination that the need for parking for the development is less than that required by the ULDR for similar uses'.

Parking Demand Analysis

As the existing Courtyard by Marriott requires all visitors to valet park, data was obtained from hotel staff for both a typical weekday and a typical weekend day. The data as transmitted is included as Attachment C and is summarized below.

Weekday

Typical weekday parking data was obtained for the 24-hour period between Tuesday May 8, 2018 at 7:00 AM and Wednesday May 9, 2018 at 7:00 AM. The peak cumulative number of vehicles parked was noted to be 132 vehicles at 7:00 AM on Tuesday May 9, 2018 encompassing 111 valet vehicles and 21 employee vehicles. On Wednesday May 9, 2018 at 7:00 AM, 259 of 261 rooms were occupied according to hotel management. An appropriate parking rate for the existing Marriott property is therefore (132 spaces/259 rooms) 0.51 parking spaces per occupied room on a typical weekday.

Weekend

Similarly, typical weekend parking data was obtained for the 24-hour period between Saturday May 19, 2018 at 1:00 AM and Sunday May 20, 2018 at 1:00 AM. The peak cumulative number of vehicles parked was noted to be 126 vehicles at 10:00 AM on Saturday May 19, 2018 encompassing 95 valet vehicles and 31 employee vehicles. On Saturday May 19, 2018 at 10:00 AM, 258 of 261 rooms were occupied. An appropriate parking rate for the existing Marriott property is therefore (126 spaces/258 rooms) 0.49 parking spaces per occupied room on a typical weekend day.

Incorporating the more conservative rate (0.51 spaces/room) noted on a typical weekday, the following parking supply is proposed for both hotel properties:

Table 2: Actual Parking Demand

Land Use	Intensity	Rate	Parking Spaces
Existing			
Courtyard by Marriott	261 rooms	0.51 spaces/room	133
Proposed			
Marriott Residence Inn	150 rooms	0.51 spaces/room	77
Total			210

Between the two properties 252 parking spaces are proposed to be provided (71 at the Existing Courtyard by Marriott and 181 at the proposed Marriott Residence Inn). With 252 parking spaces provided and 276 required under current ULDR's, a 24-space (8.70%) reduction in parking space supply is requested.

As a site specific parking demand of 210 spaces has been established in Table 2 above, it is our opinion that 252 parking spaces will comfortably accommodate the expected parking demand of the existing Courtyard by Marriott and the proposed Marriott Residence Inn. Even if the proposed hotel's parking demand were to be calculated at the ULDR rate of 0.67 (for 101 parking spaces) an adequate number of parking spaces is still expected to be available for use by both guests and employees of the two (2) Marriott properties.

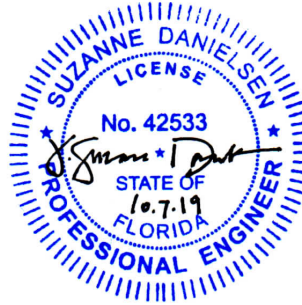
DC ENGINEERS, INC.

Of course, please call or email with any questions you may have.

DANIELSEN CONSULTING ENGINEERS, INC.



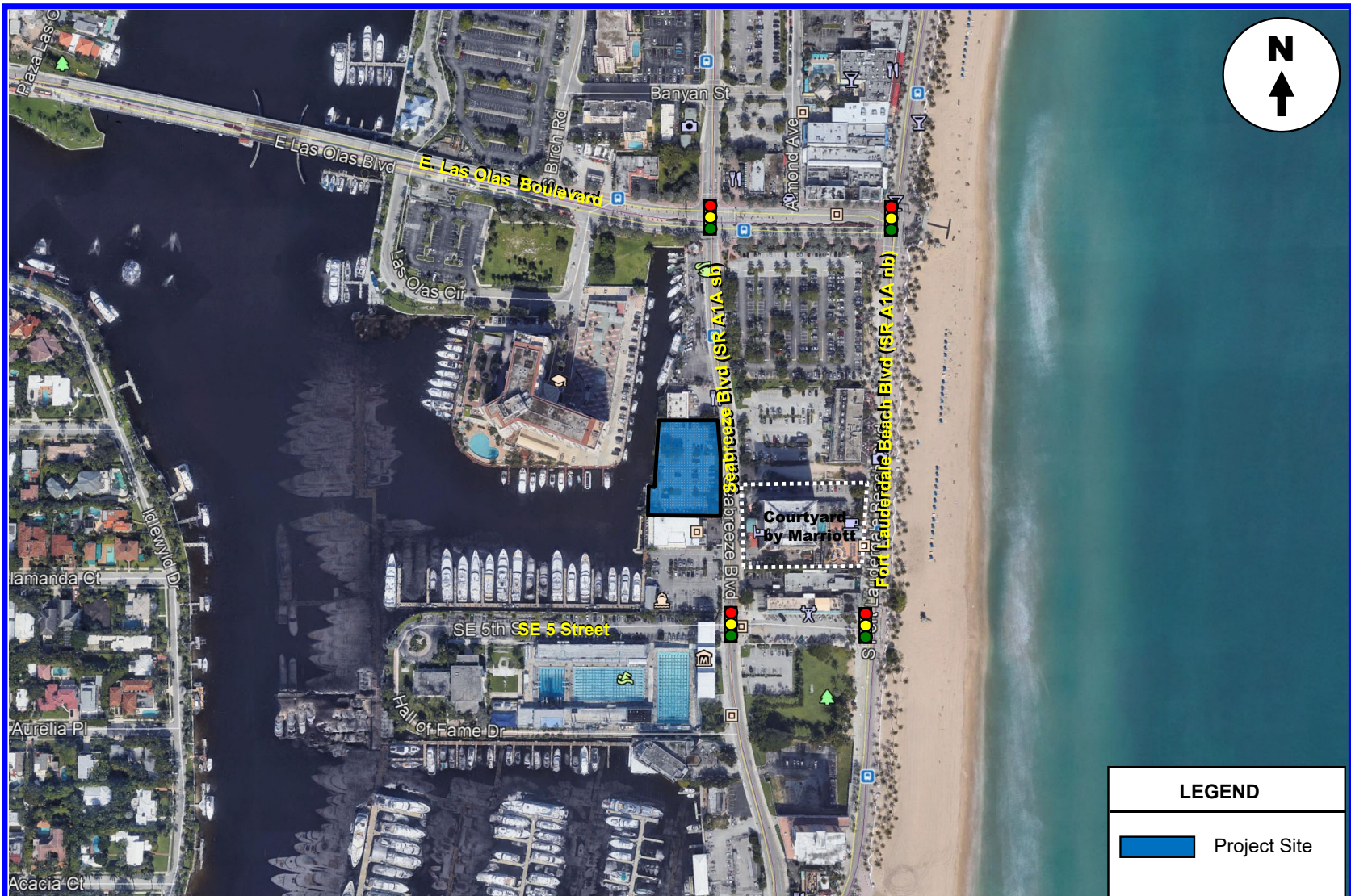
J. Suzanne Daniels, P.E.
Senior Transportation Engineer



J. Suzanne Daniels, P.E.
Florida Registration Number 42533
Danielsen Consulting Engineers, Inc.
12743 NW 13th Court
Coral Springs, FL 33071
CA # 3202

12743 NW 13th Court, Coral Springs, Florida 33071
Tel: (954) 798-0926

Attachment A
Project Location

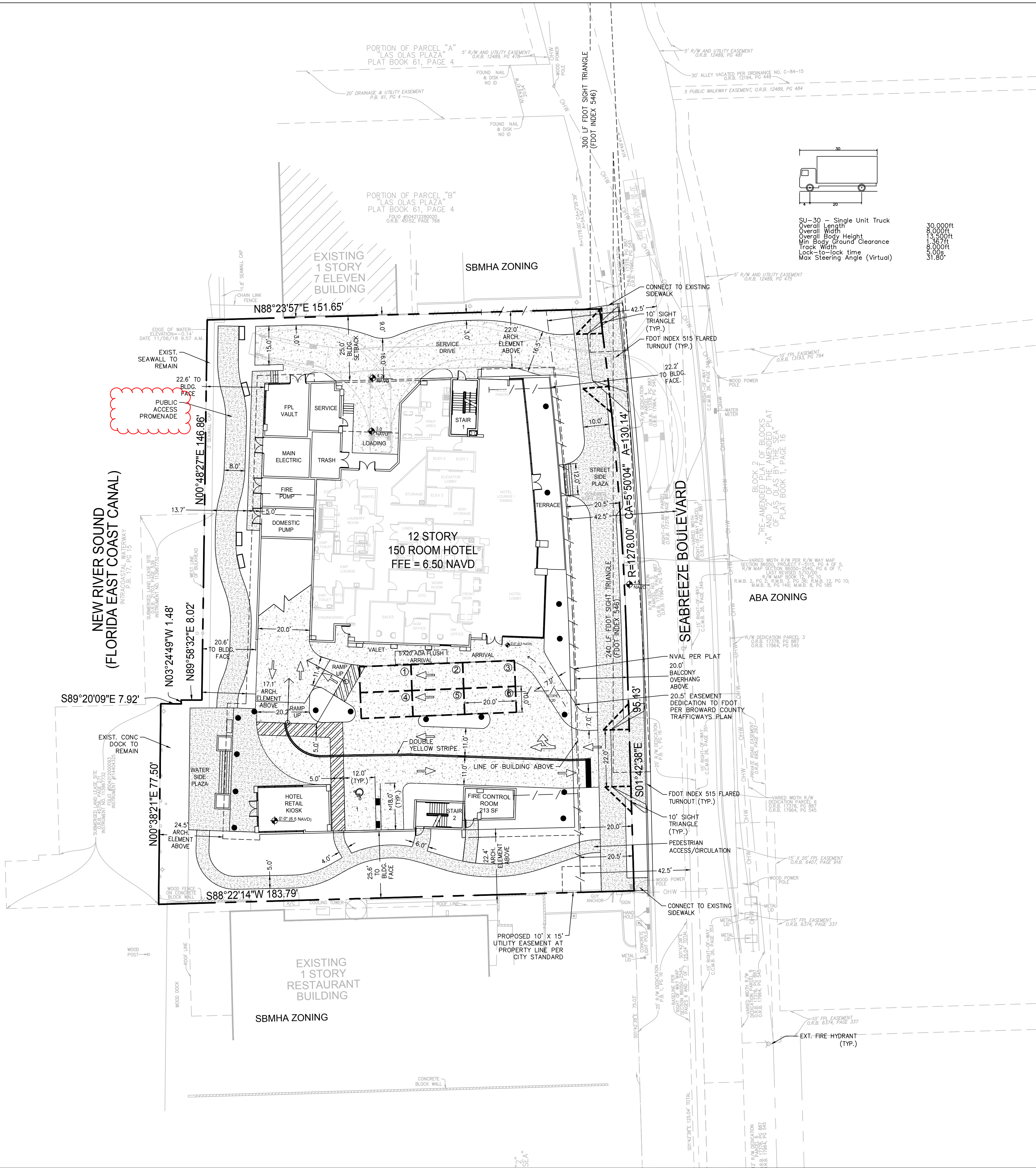


DC Engineers, Inc.

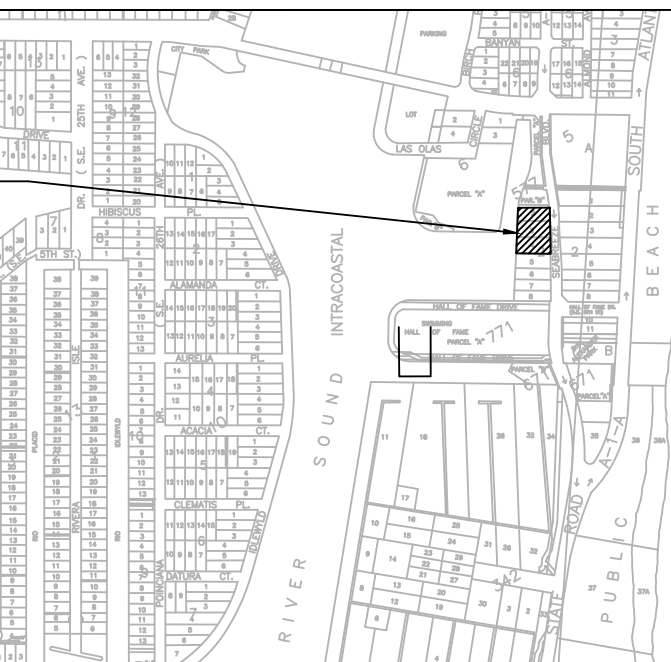
Project Location Map

FIGURE 1
Residence Inn
Fort Lauderdale, Florida

Attachment B
Site Plan



PROJECT SITE



LOCATION MAP
NTS



LAND DESCRIPTION

PARCEL 2

PORTIONS OF LOTS 2, 3 AND 4, IN BLOCK 2, LAS OLAS BY THE SEA, A SUBDIVISION OF PART OF LOT 1 OF SECTION 12, TOWNSHIP 50 SOUTH, RANGE 42 EAST AND A PART OF LOT 1 OF SECTION 7, TOWNSHIP 50 SOUTH, RANGE 43 EAST, ACCORDING TO THE RE-AMENDED PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 16, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LYING WEST OF THE EXISTING WESTERLY RIGHT OF WAY LINE OF SEABREEZE BOULEVARD.

PARCEL 3

PARCEL OF LAND LYING WEST OF LOTS 2, 3 AND 4, IN BLOCK 2, LAS OLAS BY THE SEA, A SUBDIVISION OF PART OF LOT 1 OF SECTION 12, TOWNSHIP 50 SOUTH, RANGE 42 EAST AND A PART OF LOT 1 OF SECTION 7, TOWNSHIP 50 SOUTH, RANGE 43 EAST, ACCORDING TO THE RE-AMENDED PLAT THEREOF, RECORDED IN PLAT BOOK 1, PAGE 16, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, UP TO THE EXISTING BULKHEAD OF NEW RIVER SOUND AND LYING BETWEEN THE NORTH LINE OF SAID LOT 2, IN BLOCK 2 OF SAID PLAT, EXTENDED TO SAID BULKHEAD AND THE SOUTH LINE OF SAID LOT 4 IN BLOCK 2 OF SAID PLAT, EXTENDED TO SAID BULKHEAD.

SAID LANDS SITUATE IN THE CITY OF FT. LAUDERDALE, BROWARD COUNTY, FLORIDA AND CONTAINING 36,267 SQUARE FEET MORE OR LESS.

SITE PLAN INFORMATION

CURRENT USE OF PROPERTY	SURFACE PARKING LOT
PROPOSED USE OF PROPERTY	HOTEL
CURRENT LAND USE DESIGNATION	CENTRAL REGIONAL ACTIVITY CENTER
PROPOSED LAND USE DESIGNATION	CENTRAL REGIONAL ACTIVITY CENTER
CURRENT ZONING DESIGNATION	SBMHA (SOUTH BEACH MARINA & HOTEL AREA)
PROPOSED ZONING DESIGNATION	SBMHA (SOUTH BEACH MARINA & HOTEL AREA)
ADJACENT ZONING DESIGNATION	ABA
WATER/WASTE WATER SERV. PROVIDER	CITY OF FORT LAUDERDALE
TOTAL SITE AREA-NET	0.8649 ACRES TOTAL/ 36,676 S.F.
TOTAL PERVIOUS EXISTING (LANDSCAPE)	7,840 S.F. (21.6%)
TOTAL PERVIOUS PROPOSED (LANDSCAPE)	7,068 S.F. (19.3%)
TOTAL IMPERVIOUS EXISTING	28,427 S.F. (78.4%)
TOTAL IMPERVIOUS PROPOSED	29,608 S.F. (80.7%)
TOTAL BUILDING FOOT PRINT EXISTING	N/A
TOTAL BUILDING FOOT PRINT PROPOSED	21,181 S.F. (58.4%)

PARKING DATA:	UNITS	RATIO	REQUIRED	PROVIDED
SPACES PROVIDED WITH LIFTS			N/A	93
SPACES PROVIDED WITHOUT LIFTS			N/A	88
TOTAL PARKING	150	.67/ROOM .51/ROOM	101 PER ULDR *77 PER STUDY	*181
PROPOSED RESIDENCE INN				
TOTAL OFF-SITE PARKING PROVIDED FOR COURTYARD MARRIOTT PARKING AGREEMENT			(**104)	(**104)
TOTAL ADA PARKING INCL.			6	6
LOADING ZONE			N/A	N/A
100% VALET VRS			6	6
TOTAL BUILDING SQUARE FOOTAGE (GROSS)			172,833 S.F.	
FLOOR AREA RATIO (F.A.R.)			4.71	
BUILDING HEIGHT			120'	
NUMBER OF STORIES			12	
BUILDING WIDTH & LENGTH			175' X 125'	
LOT WIDTH			224.4' X 173.9'	
LOT COVERAGE			21,181 S.F.	
OPEN SPACE			12,561 S.F.	
LANDSCAPE AREA			7,068 S.F.	
VEHICULAR USE AREA (VUA)			2,934 S.F.	

**104 SPACES ARE ALLOCATED TO SATISFY AMENDED PARKING AGREEMENT WITH COURTYARD MARRIOTT (FOUO # 5042 12 01 0120) PER THE AMENDED SHARED PARKING STUDY DATED AUGUST 2019.

SETBACKS

REQUIRED PER (14-12.4) SBMHA	MIN REQUIRED	1/2 HEIGHT	PROVIDED
FRONT (EAST)	20'	60'	22' ** 20' TO BUILDING STRUCTURE AT 16'-6" ABOVE FFE (6.5 NAVD)
BACK (WEST)	20'	60'	20.1' ** 17'-1" TO ARCHITECTURAL ELEMENT AT HEIGHT OF 10' ABOVE FFE (6.5 NAVD)
SIDE (NORTH)	10'	60'	25' ** 22' TO ARCHITECTURAL ELEMENT AT HEIGHT OF 13'-2" ABOVE FFE (6.5 NAVD)
SIDE (SOUTH)	10'	60'	25' ** 22' TO ARCHITECTURAL ELEMENT AT HEIGHT OF 10'-8" ABOVE FFE (6.5 NAVD)

** DEVELOPMENT OF SIGNIFICANT IMPACT.

NOTES:

PROJECT COMPLIES WITH ULDR 47-12.5.F.5



NORTH

Attachment C
Parking Data

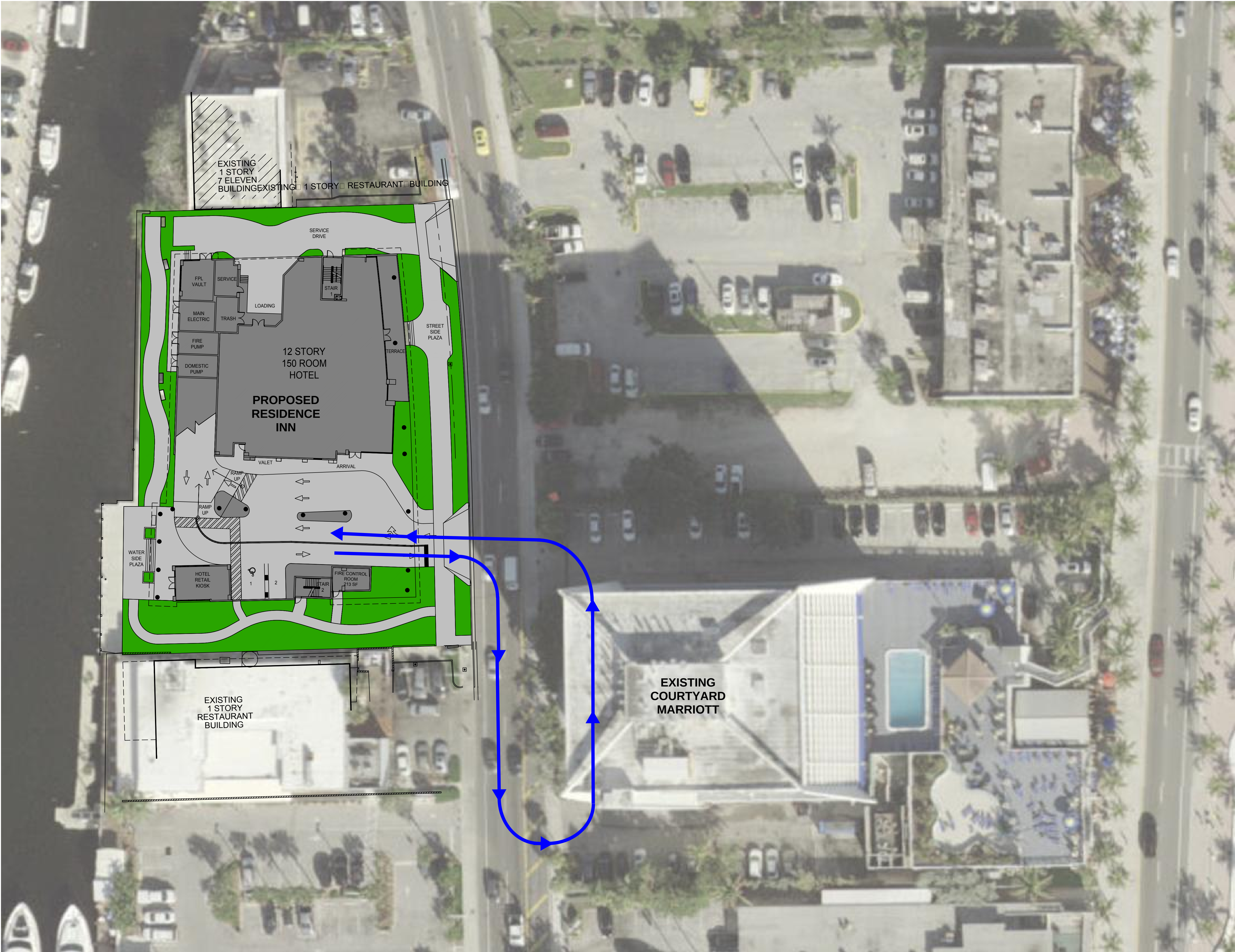
Courtyard Marriott Ft. Lauderdale Beach Vehicle Counts By Hour

Date	Time	Valet Vehicles	Employee Vehicles	Total Vehicle Count
19-May	1:00 AM	89	6	95
19-May	2:00 AM	94	6	100
19-May	3:00 AM	95	6	101
19-May	4:00 AM	95	6	101
19-May	5:00 AM	95	6	101
19-May	6:00 AM	95	9	104
19-May	7:00 AM	95	17	112
19-May	8:00 AM	95	23	118
19-May	9:00 AM	95	27	122
19-May	10:00 AM	95	31	126
19-May	11:00 AM	85	31	116
19-May	12:00 PM	87	32	119
19-May	1:00 PM	86	34	120
19-May	2:00 PM	82	34	116
19-May	3:00 PM	77	27	104
19-May	4:00 PM	86	22	108
19-May	5:00 PM	86	22	108
19-May	6:00 PM	86	20	106
19-May	7:00 PM	86	18	104
19-May	8:00 PM	86	18	104
19-May	9:00 PM	86	16	102
19-May	10:00 PM	95	15	110
19-May	11:00 PM	95	12	107
19-May	12:00 AM	106	7	113
20-May	1:00 AM	108	7	115

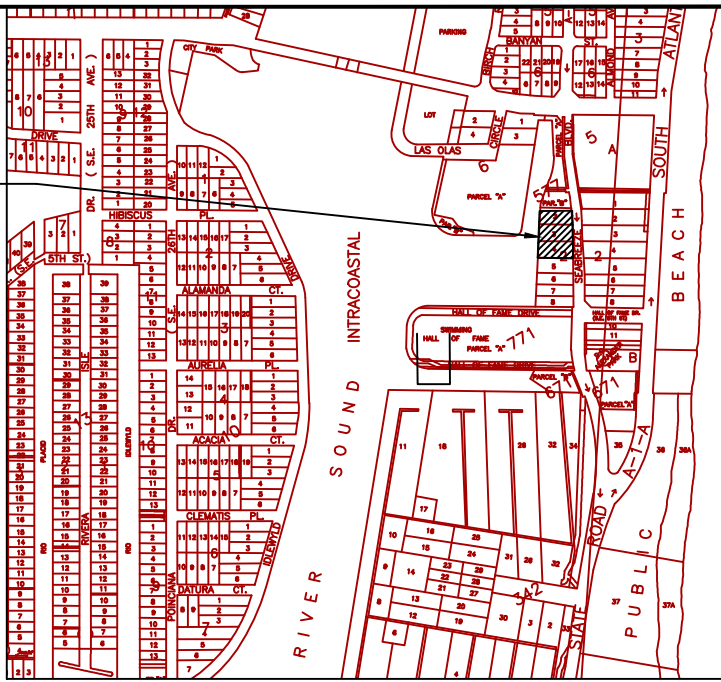
Courtyard Marriott Ft. Lauderdale Beach Vehicle Counts By Hour

Date	Time	Valet Vehicles	Employee Vehicles	Total Vehicle Count
8-May	7:00 AM	110	19	129
8-May	8:00 AM	90	23	113
8-May	9:00 AM	81	29	110
8-May	10:00 AM	68	33	101
8-May	11:00 AM	64	37	101
8-May	12:00 PM	63	37	100
8-May	1:00 PM	60	33	93
8-May	2:00 PM	63	31	94
8-May	3:00 PM	65	32	97
8-May	4:00 PM	65	29	94
8-May	5:00 PM	64	27	91
8-May	6:00 PM	78	19	97
8-May	7:00 PM	90	14	104
8-May	8:00 PM	98	14	112
8-May	9:00 PM	100	14	114
8-May	10:00 PM	106	11	117
8-May	11:00 PM	109	9	118
8-May	12:00 AM	112	5	117
9-May	1:00 AM	112	5	117
9-May	2:00 AM	113	5	118
9-May	3:00 AM	113	5	118
9-May	4:00 AM	113	5	118
9-May	5:00 AM	112	8	120
9-May	6:00 AM	111	14	125
9-May	7:00 AM	111	21	132

Proposed Valet Parking Circulation



PROJECT SITE



LOCATION MAP
NTS



Sheet Title

Job Title

Phase:
EXHIBIT

Revisions

Scale:	Date
Job No.	Plot Date
18-1418.00	12/05/19
Drawn by	Sheet No.
MDI	
Proj. Mgr.	
Appr. by	— of —

