

City of Fort Lauderdale

Northwest-Progresso-Flagler Heights Community Redevelopment Agency (NWPF CRA)



APPLICATION FOR CRA FUNDING ASSISTANCE

Name of Principal Owner in Charge TOMMY BOLDEN		Tel. No. 954 394-0989		E-Mail Address OVERVIEW SERVICES	
Primary Contact for this CRA Request TOMMY BOLDEN		Tel. No. " "		E-Mail Address mec@gmail.com	
Name of Business V&R FAMILY ENTERPRISES		Tax I.D. No. 46-3756331		Company Website NA	
Business Address 1553 NW 4 ST		Tel. No. " "		Fax No. NA	
City 33311 FORT LAUDERDALE FL		State FL		Zip Code 33311	
Commencement Date to Begin Project:				JOB INFORMATION	
Completion Date for Project: 2020				Full Time Equivalent (FTE) Jobs to be created 2	
Check Appropriate Description		Project Type		Facility Description	
†Existing Business <input checked="" type="checkbox"/>		†Expansion <input checked="" type="checkbox"/>		Existing Space 1000 sq. ft.	
†New Business <input type="checkbox"/>		†Relocation <input type="checkbox"/>		New Space 0 sq. ft.	
NAICS Code / Industry Type		Date of Incorporation 9/2008		State where the business was incorporated FL	
Proposed Project Location/City FORT LAUDERDALE		Proposed Address 1227 NW 6 ST			
Property Control Number(s)		Property Owner ROSA VIRGIL RENO CABAE LIV. TRUST			
Owner Tel. No. (include Area Code) 954 394-0989		Is there a lien on the property? Yes No		TYPE OF BUSINESS	
Bank(s) Where Business Accounts for Projects Are Held		Sole Proprietor _____			
1.		Partnership _____			
2.		Joint Venture _____			
Name of Participating Bank/Lender CITY OF FORT LAUDERDALE (CDRG PROGRAM)		Corporation X			
Amount \$ 295,000		Contact Person HCD FORT LAUDERDALE		Cooperative _____	
Name of Other Financial Source		Limited Liability Company _____			
Amount \$		Contact Person		Non-Profit Org. _____	
Name of Other Financial Source		Other: _____			
Amount \$		Contact Person		Tel. No. (include Area Code)	
Name of Other Financial Source		Fax No. (include Area Code)			
Amount \$		Contact Person		Tel. No. (include Area Code)	
Name of Other Financial Source		Fax No. (include Area Code)			
Amount \$		Contact Person		Tel. No. (include Area Code)	
Name of Other Financial Source		Fax No. (include Area Code)			
Project Purpose and Economic Impact AFFORDABLE HOUSING AND BASKET BALL FOR COMMUNITY.					

NOTE 1: If the project receives funds via another City, County, Federal or State program which also requires job creation/retention, the jobs created/retained for those programs must be in addition to the jobs required under this program.

NOTE 2: If project includes the purchase of equipment using CRA funds, then there must not be another UCC filing for the equipment.

Management: Owners, partners, officers, all holders of outstanding stock — 100% of ownership must be shown (use separate sheet if necessary).

Name	Complete Address	% Owned	From	To
VIRGIL BOLDEN	1553 NW 4 ST	25%	2008	2019
Name	Complete Address	% Owned	From	To
ROSA BOLDEN	" "	25%	2008	2019
Name	Complete Address	% Owned	From	To
MERDINE MITCHELL		25%	2008	2019
Name	Complete Address	% Owned	From	To
TOMMY BOLDEN	401 NW 15 AVE	25%	2008	2019
Name	Complete Address	% Owned	From	To
	33311			

PROJECT/ACTIVITY COST SUMMARY	
1. Please state the overall project cost:	\$ 725,598 CONSTRUCTION
2. Please state the overall project costs related to the CRA's assisted activity?	\$ 350,000
3. Please indicate the sources and uses of funds for the project on the following table.	

Project Source(s) of Funding	Amount	Rate	Term
Bank Loan (specify)			
City funds	295,000	FORGIV.	10 YRS
CRA funds	350,000		
Company's current cash assets	80,958		
Owner equity (specify) PROPERTY VALUE	277,810		
Other (specify)			
Other (specify)			
Other (specify)			
Total Sources	725,598	EXCLD LAND	
Select the Use(s) of Funds and the Amount Need for Each	Sources of Funds (Yes or No)	Amount	
Land Acquisition	NA		
Real Property Acquisition			
Utility and road infrastructure improvements			
New construction of commercial and industrial buildings			
Rehabilitation of commercial and industrial buildings		620,268	
Purchase and installation of equipment and fixtures			
Other (specify) ARCHITECTURAL		105,330	
Other (specify) PERMITTING & FEES		10,000	
Other (specify)			
Total Uses		725,598	

NOTE 3: Other "uses" include Architectural/Engineering Fees, Application Fees, Permit Fees Impact Fees

BUSINESS INDEBTEDNESS: Furnish the following information on all outstanding installment debts, code and other liens, notes and mortgages payable that relate to this project. The present balances should agree with the latest balance sheet submitted (use a separate sheet if necessary).

To Whom Payable	Original Amount	Original Date	Present Balance	Rate of Interest	Maturity Date	Monthly Payment
Name: <u>CITY OF FOOT LAUD</u>	\$ <u>295,000</u>	<u>2017</u>	\$ <u>295,000</u>	% <u>0</u>	<u>10 yrs</u>	\$ <u>NA</u>
Name: <u>CITY OF FOOT LAUD</u> <u>CODE LIENS</u>	\$ <u>5564</u>	<u>BOARDUP</u>	\$ <u>5564</u>	% <u></u>	<u>NA</u>	\$ <u>NA</u>
Name: <u></u>	\$ <u>300/day</u>	<u>40 yr inspection</u>		% <u></u>		\$ <u></u>
Name: <u></u>	\$ <u></u>		\$ <u></u>	% <u></u>		\$ <u></u>
Name: <u></u>	\$ <u></u>		\$ <u></u>	% <u></u>		\$ <u></u>

THE FOLLOWING ITEMS MUST BE COMPLETED AND SUBMITTED WITH YOUR APPLICATION

1. A business plan which describes the company mission, market analysis, applicant capacity, economic analysis and project feasibility, a brief history and description of the company (including the founding of the company), overview of operations, product information, customer base, method and areas of distribution, primary competitors and suppliers within the County. **ATTACHED**
2. A list of general and limited partners, officers, directors and shareholders of the company. Please provide a resume for all the principals and key management. **PROVIDED**
3. Corporate income tax returns for the last three years (personal returns may also be requested). **PROVIDED**
4. Two separate lists that detail the existing jobs on your payroll and the new jobs to be created (within the list please provide the job title of each position, a brief description of each position, annual salary for existing and new positions and the industry average salary for those positions). **SEE ATTACHED**
5. If machinery and equipment are being purchased with CRA funds, provide a list of all the items to be purchased, with quotes on vendor's letterhead. Include a statement from the manufacturer, attesting to the economic life of the equipment. **NA**
6. If business is a franchise, include a copy of the franchise agreement. **NA**
7. Bank Commitment Letter detailing the conditions of the loan approval. **NA**
8. Copy of IRS determination letter as a non-profit organization (required for all non-profit organizations only).
9. Signed copy of resolution or minutes from the meeting of the governing body authorizing submission of the application (required for all non-profit organizations only). **NA**
10. Articles of Incorporation or Division of Corporations information identifying authorized signatories. **PROVIDED**
11. Copy of the Property Deed (if the applicant is the owner). **PROVIDED**
12. Copy of By-Laws (required for all non-profit organizations only).
13. Please sign and submit Statement of Personal History and Credit Check Release (as attached). **PROVIDED**
14. If project involves construction, please provide a minimum of two (2) detailed cost estimates prepared by Architect/Engineer and/or General Contractor, preliminary plans and specifications, Architectural Illustration and photos of existing conditions. **PROVIDED BY CITY - PROJECT MANAGER**
15. Attach a street map showing the location of the proposed project, Property Folio number and Legal Description.
16. Preliminary Project Schedule. **PROVIDED**

The following items are also needed, if your funding request is \$500,000 or more
(not applicable for Commercial Façade, Streetscape Enhancement and Property and Business Improvement Incentive requests)

17. CPA audited corporate financial statements for the last three years (Profit and Loss Statement and a Balance Sheet).
18. If the most recent business return and/or financial statement is more sixty (60) days old, please submit a current Interim Financial Statement.
19. Three year financial pro formas which include operating statements, balance sheets, funding sources, and use details.
20. Ten year revenue and expense projection for the project
21. Copy of sales/purchase agreement when purchasing land or a building (or an executed lease if applicable).
22. Provide details regarding any credit issues, bankruptcies and lawsuits by any principal, owning 20% or more of the business.
23. The names of all affiliates and/or subsidiary companies, and their previous three (3) years financial statements and Interim Financial Statements if the financial statements are more than sixty (60) days old.
24. Letter from the Department of Sustainable Development (DSD) approving the proposed project with zoning and land use designations, and Plan Development Review number and comments.
25. Identification and qualifications of project development team (i.e., attorney, engineer, architect, general contractor, etc.).

26. Current Broward County Assessed Value, new capital investment dollars and total estimated new assessment when completed and placed into service. **277,810**
27. Existing Leases, Lease commitments and tenant makeup (if applicable).
28. Copy of Environmental Report showing there are no Environmental issues (if applicable).
29. Copy of Appraisal Report (if applicable).

THE FOLLOWING ITEMS ARE REQUIRED AFTER CRA BOARD APPROVAL AND PRIOR TO EXECUTION OF AN AGREEMENT AND RELEASE OF FUNDS

30. Evidence that all funds are in-place to fully fund the project. **CRA**
31. A copy of the City approved project plans, contract with General Contractor and permits (Prior to Release of Funds) **CRA**
32. Scope of work and all project costs **\$750,000**
33. Copies of Insurance Certificates (Builders Risk/All Risk Policy, Commercial General Liability, Workers Compensation with the City of Fort Lauderdale and the Fort Lauderdale CRA listed as Additional Insured.

APPLICANTS CERTIFICATION

By my signature, I certify that I have read and understand the application, criteria, loan fees and program requirements. I further certify that all the information I (we) supplied is correct and accurate. All of the owners of the company/organization (regardless of ownership percentage) are aware of this loan and are in full agreement with the business securing financing for this project. My (our) signature(s) represent my (our) agreement to comply with City of Fort Lauderdale Community Redevelopment Agency, as it relates to this CRA funding request.

Each Proprietor, General Partner, Limited Partner and Business Owner, owning 20% or more must sign below. For all Non-Profit Organizations, all guarantors must be approved by City of Fort Lauderdale Community Redevelopment Agency.

Business Name: VSR Family Enterprise

By: [Signature] Pres. 08/9/2018
Signature and Title Date

Guarantors: [Signature] President 08/9/2018
Signature and Title Date

[Signature] Vice President 08/9/2018
Signature and Title Date

[Signature] President 08/9/2018
Signature and Title Date

[Signature] Director 08/9/2018
Signature and Title Date

Signature and Title Date



Northwest-Progresso-Flagler Heights Community Redevelopment Agency

APPLICATION REQUEST SUPPLEMENTAL INFORMATION

CRA Incentive Programs

Please select the incentive(s) you are applying for and insert the amount of funding assistance you are seeking:

<input type="checkbox"/> COMMERCIAL FAÇADE IMPROVEMENT PROGRAM	\$ <u>125,000</u>
<input type="checkbox"/> PROPERTY AND BUSINESS IMPROVEMENT PROGRAM	\$ <u>225,000</u>
<input type="checkbox"/> STREETScape ENHANCEMENT PROGRAM	\$ _____
<input type="checkbox"/> DEVELOPMENT INCENTIVE PROGRAM	\$ _____
<input type="checkbox"/> PROPERTY TAX REIMBURSEMENT PROGRAM	\$ _____

Please provide a supplement sheet responding to the following numbered questions:

1. Please describe your project. BANQUET HALL / + 5 AFFORDABLE RENTAL UNITS
2. What is the address, folio number and legal description of the property. PROVIDED
3. What is the existing and proposed use of the property? Please note that certain uses are not eligible for CRA assistance. This includes convenience stores, pawn shops, check cashing stores, tattoo parlors, massage parlors, liquor stores and other uses as may be determined by the CRA that are inconsistent with the CRA Community Redevelopment Plan. Please note that there will be restrictive covenants placed on the property for minimum of 5 years restricting use of the property to only those uses for which CRA funding was provided. VACANT BLDG
4. Are the proposed improvements to the property being made on behalf of a proposed tenant for the property. If so, please provide a copy of the lease agreement. OWNER IS TENANT / THEIR BUSINESS
5. What is the zoning of the property? NW RAE MUN
6. Are you the property owner? Please provide a copy of the deed of the property. You must be the owner of the property to apply. YES
7. Is your project new construction or is it renovation? RENOVATION
8. What is the total capital investment of your project and what is your hard construction and soft cost? (While property acquisition cost is not an eligible CRA expense, it may be included in your total capital investment) 725,598 (SEE ATTACHED) \$620,268 (HARD) 115,330 (SOFT)
9. What is the current Broward County Assessed Value of the property? \$ 277,810
10. Is there a mortgage on the property? Please provide OR Book and Page. Please note that CRA funding is in the form of a 0% interest forgivable loan, forgiven after 5 year of project completion secured by a first

mortgage or subordinate mortgage on the property. Projects receiving over \$225,000 in CRA assistance will be secured by a forgivable loan forgiven after 7 years to 10 years depending on the level of CRA funding. Other forms of security in lieu of a forgivable mortgage will be considered on a case by case basis.

11. Are there any other liens or pending liens on the property? Please provide OR Book and Page. **YES SEE**
12. Are there any code violations on the property? Identify. **NO PER INSPECTION REQUIREMENT ATTACHED**
13. Is the property listed "For Sale." Please note that properties listed for sale may not apply for CRA program funding. **NO**
14. How many new permanent jobs will be created by the project? Please describe the jobs to be created and projected salaries. **SEE ATTACHED**
15. What is the estimated construction commencement date of the project? Please note that no work is to commence on the project unless a Program Agreement is approved and fully executed between the CRA and the property owner and that work must commence within 90 days of CRA funding approval. **ASAP**
16. What is the estimated completion date of the project? Please note that all approved projects must be completed within a maximum of three (3) years. **2020**
17. Please provide proof of your matching funds (i.e. bank statement, line of credit, etc.) and identify other proposed forms of financing for your project. **PROVIDED SPACE COAST CREDIT UNION**
18. Do you have general liability and fire and casualty insurance on the property? You will be required to demonstrate proof of insurance and may include bonding requirements as required by the City/CRA prior to commencement of work. The cost of insurance may be included as part of your total project cost funded by the program.
19. Have you previously received funding from the CRA? Explain. **NO**

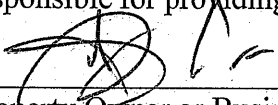
If you are applying for funding from the Commercial Façade Improvement Program, Property & Business Improvement Program and/or Streetscape Enhancement Program, please also complete the following:

20. Do you have a detailed scope of work? If so, please include for CRA review and approval. **SEE ATTACHED**
21. Do you have completed architectural drawings for the scope of work to be performed? Please include along with architectural illustration(s) of the proposed work, material specifications, color selections, etc. Please note that architectural cost may be included as part of your total project cost. **YES**
22. Have your project plans been submitted for City Development Review and/or permitting and if so what are the status of the plans and the plan review number? All work must be permitted and approved by the Building Official. **YES**
23. Do you have detailed, written contractor cost estimates? If so, please provide. **PROVIDED BY CRA**
24. Have you selected a contractor from the attached City/CRA Approved Contractor List? Please note if your contractor is not on the City/CRA approved list, it may be possible to have your contractor become an approved CRA Contractor. He/She will need to complete the attached Contractor Application for consideration. **TO BE BID BY CRA PROJECT MAN.**
25. If you are applying for the Facade Program or Property and Business investment Program, and if you are not using a City /CRA Approved Contractor, you must secure two detailed licensed and insured contractor cost estimates and CRA funding is limited to 60% of the lowest cost estimate not to exceed \$50,000 which can only be funded on a reimbursement basis, rather than a direct payment to the contractor. In addition, all

projects over \$50,000 may be assigned a CRA Construction Review Specialist who will determine the scope of work to be funded and will secure contractor pricing for the project, manage funding request and provide general project oversight. ~~USING CRA PROJECT MAN/CONST REVIEW SPECIALIST~~

26. For Streetscape Enhancement Program projects, see additional requirements for projects in excess of \$300,000 as required by Florida Statute 255.20.

I Tommy Bolden attest that the information is correct to the best of my knowledge. I further understand that the CRA program benefits are contingent upon funding availability and CRA approval and are not to be construed as an entitlement or right of a property owner/applicant. I further understand that I am responsible for providing all documentation required by The CRA.



Property Owner or Business Owner Signature of

Tommy Bolden president

Print Name

List of all Jobs to be Created

Job Title	#	Brief Job Description	Annual Average Salary	Industry Average Salary	Experience/Education/Skills Required
BANQUET MANAGER	1	LEASING COORDINATING MANAGING	NA		PROF EXPERIENCE
FACILITIES MANAGER	1	MAINTENANCE/CLEANING SERVICES	NA		PROF EXPERIENCE
ADDITIONAL LABOR		PER ASSIGNMENT			
AS NEEDED TO BE AGREED TO CLIENT					
(10 SERVERS, WAIT STAFF, VALET)					

*USE ADDITIONAL SHEETS IF NECESSARY

BANQUET MANAGER & FACILITIES MANAGER POSITIONS TO BE FILLED BY BUS/PROF OWNERS TOMMY BOWEN & MERDINE MITCHELL

II CRA INCENTIVE APPLICATION

Last Updated: September 16, 2016



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

Detail by Entity Name

Florida Profit Corporation
V & R FAMILY ENTERPRISES, CORP.

Filing Information

Document Number P13000077360
FEI/EIN Number 46-3756331
Date Filed 09/16/2013
State FL
Status ACTIVE

Principal Address

1553 NW 4TH STREET
FORT LAUDERDALE, FL 33311

Mailing Address

1553 NW 4TH STREET
FORT LAUDERDALE, FL 33311

Registered Agent Name & Address

BOLDEN, TOMMY LEE
401 NW 15TH AVENUE
FORT LAUDERDALE, FL 33311

Name Changed: 04/27/2017

Address Changed: 10/29/2014

Officer/Director Detail

Name & Address

Title P

BOLDEN, TOMMY LEE
1553 NW 4TH STREET
FORT LAUDERDALE, FL 33311

Title VP

BOLDEN, ROSA M
1553 NW 4TH STREET
FORT LAUDERDALE, FL 33311

Title D

MITCHELL, MERDINE
2540 NW 16TH STREET
FORT LAUDERDALE, FL 33311

Title D

BOLDEN, VIRGIL
401 NW 15TH AVENUE
FORT LAUDERDALE, FL 33311

Annual Reports

Report Year	Filed Date
2017	04/27/2017
2018	04/30/2018
2019	04/26/2019

Document Images

04/26/2019 -- ANNUAL REPORT	View image in PDF format
04/30/2018 -- ANNUAL REPORT	View image in PDF format
04/27/2017 -- ANNUAL REPORT	View image in PDF format
04/29/2016 -- ANNUAL REPORT	View image in PDF format
04/30/2015 -- ANNUAL REPORT	View image in PDF format
10/29/2014 -- Reg. Agent Change	View image in PDF format
04/25/2014 -- ANNUAL REPORT	View image in PDF format
09/16/2013 -- Domestic Profit	View image in PDF format

Florida Department of State, Division of Corporations

**Exhibit 2**

**CITY OF FORT LAUDERDALE
COMMUNITY REDEVELOPMENT AGENCY**

Commercial Rehabilitation Estimate

Property Owner: V. Bolden and R. Bolden Revocable Living Trust

Property Address: 1227 Sistrunk Boulevard, Fort Lauderdale, FL 33311

Demolition	\$25,000.00
Roof	23,500.00
Second Floor Trusses and Flooring	18,000.00
Stucco	30,000.00
Structural Steel	18,000.00
Millwork	25,000.00
Aluminum Rails	12,000.00
Floor and Wall Tile	24,000.00
Steel Canopy	12,000.00
Window and Storefront	27,500.00
Concrete and Masonry	30,000.00
Doors and Hardware	17,000.00
Drywall	21,500.00
Plumbing	15,000.00
Electrical	36,000.00
HVAC	44,000.00
Sitework	65,500.00
Subtotal	444,000.00
General Contractor Fee	119,880.00
Contingency	56,388.00
TOTAL	<u>620,268.00</u>

COMMUNITY REDEVELOPMENT AGENCY

914 SISTRUNK BOULEVARD, SUITE 200, FORT LAUDERDALE, FL 33311

TELEPHONE (954) 828-6130

WWW.FORTLAUDERDALE.GOV

CAM # 19-1068

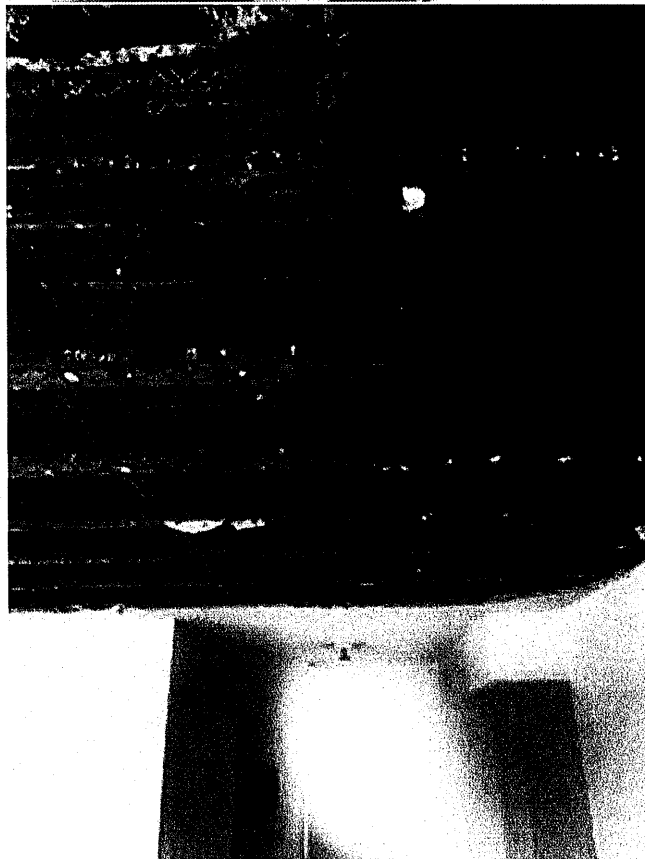
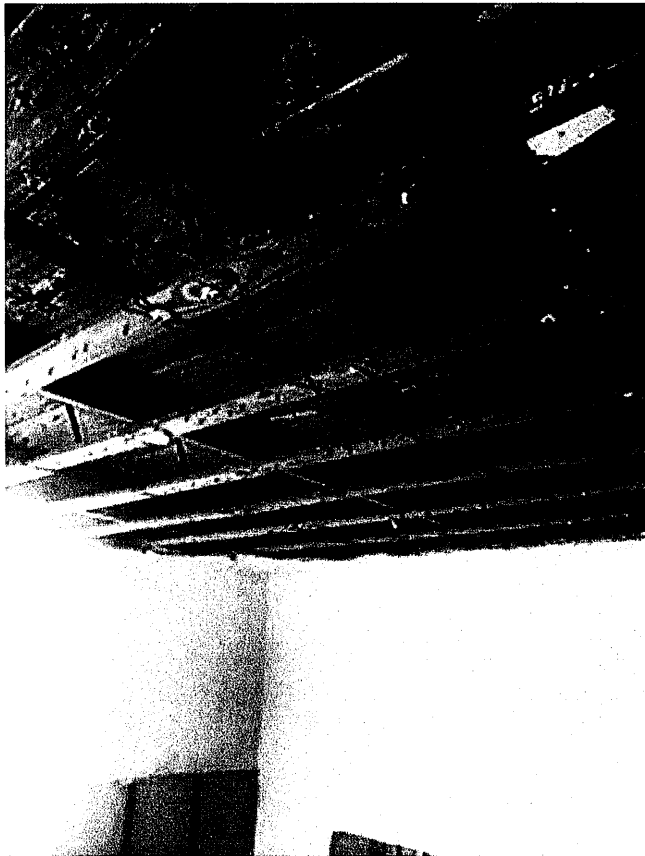
Exhibit 4

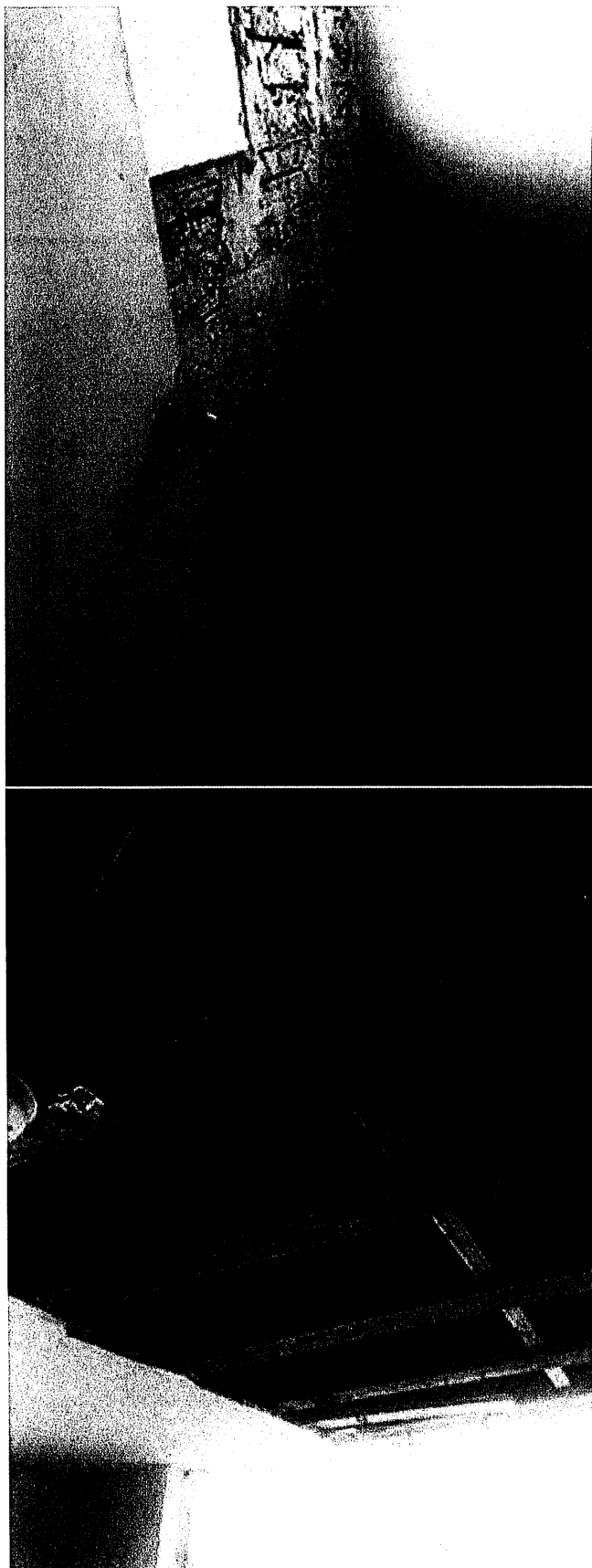
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1227 Sistrunk Blvd – Existing Conditions









MARTY KIARD
BROWARD
 COUNTY
 PROPERTY APPRAISER

Site Address	1227 NW 6 STREET, FORT LAUDERDALE FL 33311	ID #	5042 04 04 0090
Property Owner	V BOLDEN & R BOLDEN REV LIV TR	Millage	0312
Mailing Address	401 NW 15 AVE FORT LAUDERDALE FL 33311	Use	12
Abbr Legal Description	HOME BEAUTIFUL PARK 2-47 B LOT 13 LESS RD BLK A		

The just values displayed below were set in compliance with Sec. 193.011, Fla. Stat., and include a reduction for costs of sale and other adjustments required by Sec. 193.011(8).

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2019	\$66,430	\$138,030	\$204,460	\$204,460	
2018	\$66,430	\$138,030	\$204,460	\$204,460	\$5,817.88
2017	\$66,430	\$138,030	\$204,460	\$204,460	\$5,883.47

2019 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$204,460	\$204,460	\$204,460	\$204,460
Portability	0	0	0	0
Assessed/SOH	\$204,460	\$204,460	\$204,460	\$204,460
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$204,460	\$204,460	\$204,460	\$204,460

Sales History				Land Calculations		
Date	Type	Price	Book/Page or CIN	Price	Factor	Type
10/3/2013	WD*-T	\$100	111885492	\$11.00	6,039	SF
6/18/2007	WD*-Q	\$326,000	44296 / 1449			
5/31/2005	SW*	\$350,000	39784 / 328			
1/9/2004	CE*	\$165,000	36766 / 152			
5/14/2002	WD*	\$180,000	33269 / 510			
				Adj. Bldg. S.F. (Card, Sketch)		5246
				Units		5
				Eff./Act. Year Built: 1960/1959		

* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03								
S								
5246								



MARTY KIAR
BROWARD
 COUNTY
 PROPERTY APPRAISER

Site Address	NW 6 COURT, FORT LAUDERDALE FL 33311	ID #	5042 04 04 0100
Property Owner	V BOLDEN & R BOLDEN REV LIV TR	Millage	0312
Mailing Address	1553 NW 4 ST FORT LAUDERDALE FL 33311	Use	28
Abbr Legal Description	HOME BEAUTIFUL PARK 2-47 B LOT 14 BLK A		

The just values displayed below were set in compliance with Sec. 193.011, Fla. Stat., and include a reduction for costs of sale and other adjustments required by Sec. 193.011(8).

Property Assessment Values					
Year	Land	Building / Improvement	Just / Market Value	Assessed / SOH Value	Tax
2019	\$64,750	\$8,600	\$73,350	\$73,350	
2018	\$77,000	\$8,600	\$85,600	\$85,600	\$1,554.03
2017	\$77,000	\$8,600	\$85,600	\$85,600	\$1,581.47

2019 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$73,350	\$73,350	\$73,350	\$73,350
Portability	0	0	0	0
Assessed/SOH	\$73,350	\$73,350	\$73,350	\$73,350
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$73,350	\$73,350	\$73,350	\$73,350

Sales History			
Date	Type	Price	Book/Page or CIN
10/3/2013	WD*-T	\$100	111885492
6/18/2007	WD*-Q	\$326,000	44296 / 1449
5/31/2005	SW*	\$350,000	39784 / 328
1/9/2004	CE*	\$165,000	36766 / 152
5/14/2002	WD*	\$180,000	33269 / 510

Land Calculations		
Price	Factor	Type
\$9.25	7,000	SF
Adj. Bldg. S.F. (Card, Sketch)		

* Denotes Multi-Parcel Sale (See Deed)

Special Assessments								
Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
03								
L								
1								

Banquet Hall Rental Business Plan – 1227 Sistrunk Boulevard Fort Lauderdale, Florida 33311

Industry Overview

Banquet halls are halls that are rented for the purpose of hosting events such as professional seminars, corporate award ceremonies, weddings, family reunions, church benefits, association fund-raisers and any other events. Aside from the fact that the owners of banquet halls rent their halls and make money, most of them are also engaged in other complimentary services such as party rental services and event planning services.

The Banquet Hall Rental / Party Rental Industry is indeed a large and vibrant industry not only in the United States of America, but in most countries of the world. Statistics has it that the Banquet Hall Rental / Party Rental industry in the United States of America, is worth \$5 billion, with an estimated growth rate of 2.3 percent.

There are about 9,645 registered and licensed party rental / banquet hall rental businesses in the United States and they are responsible for employing about 50,470 people. Only Classic Party Rental Company can boast of having a lion market share in the industry. Despite that, the industry is still very much open for competitions from aspiring investors.

In the United States, the regions that have the greatest concentration of banquet hall rental / party supply rental companies are the Southeast, the West, the Great Lakes and the Mid-Atlantic. The distribution of companies is based mainly on the number of households and median income levels by region.

Besides, banquet hall rental / party rental companies tend to locate near major metropolitan areas, which generate a steady stream of demand for corporate and social events. The Southeast is the most populated region of the United States; therefore, given the high proportion of households, there is a greater demand for rental supplies for social events and corporate events.

A banquet hall that is well positioned and equipped will surely attract regular clients and the hall can be well booked all through the year.

Banquet Hall Rental Business Plan – Executive Summary

J & R Family Enterprises Banquet Hall Rentals is a first hall rental and event planning company that will be based in Fort Lauderdale Florida. Aside from running a banquet hall rental business, the company will also handle all aspects of event planning such as wedding planning, children's parties, annual general meetings to corporate events, end of year parties, party rental services, and other services related to rental and event planning.

J & R Family Enterprises Banquet Hall Rentals is a client-focused and result driven banquet hall rentals and event planning outfit that provides broad-based experience at an affordable fee, with a primary focus on serving the needs of the Fort Lauderdale Northwest Community.

We will offer standard and professional event planning services to all our clients. We will ensure that we work hard to meet and surpass our clients' expectations whenever they contract their events to our organization.

J & R Family Enterprises Banquet Hall Rentals has a philosophy that our client's best interest would always come first, and everything we do is guided by our values and professional ethics. We will ensure that we hire professionals who are well experienced in a wide variety of rental services and event planning, et al.

J & R Family Enterprises Banquet Hall Rentals will at all times demonstrate her commitment to sustainability, both individually and as a firm, by actively participating in our communities and integrating sustainable business practices wherever possible.

We will ensure that we hold ourselves accountable to the highest standards by meeting our clients' needs precisely and completely. We will cultivate a working environment that provides a human, sustainable approach to earning a living, and living in our world, for our partners, employees and for our clients.

Our plan is to position the business to become the leading brand in the banquet hall rental and event planning line of business in the area, with a focus on community rentals, church groups, funeral repass and other local needs.

J & R Family Enterprises Banquet Hall Rentals was founded by Rosa Bolden. The organization will be managed by the Bolden family member Merdine Mitchell since she has the experience working at various capacities within the event planning industry.

- **Our Product and Services**

J & R Family Enterprises Banquet Hall Rentals is going to offer a variety of services within the scope of banquet hall rental services and the event planning industry. Our intention of starting our banquet hall rental and event planning outfit is to make profits from the industry and we will do all that is permitted by the law in the US to achieve our aim and ambition.

Our business offering consists of:

- Wedding Planning
- Repass Planning
- Corporate Event Planning
- Outdoor Party Planning
- Annual General Meetings

- Children's Party and Birthdays Party Planning
- Party supply rental
- Wedding supply rental
- Birthday rentals
- Corporate event rentals
- Graduation event Planning
- Community Meeting Planning
- Other event rentals

Our Vision Statement

Our vision is to build a banquet hall rental and event planning brand that will become the number one choice for both individual clients and corporate clients in the area. Our vision reflects our values: integrity, service, excellence and teamwork.

• Our Mission Statement

Our mission is to rent a well – equipped and standard banquet hall, and to provide professional and trusted event planning services that assist individuals, businesses and non-profit organizations in organizing all of their events.

We are to position the business to become the leading brand in the banquet hall rental and event planning line of business in the area.

Our Business Structure

At J & R Family Enterprises Banquet Hall Rentals, LLC, we will ensure that we hire people when necessary that are qualified, hardworking, creative, customer centric and are ready to work to help us build a prosperous business that will benefit all the stake holders (the owners, workforce, and customers). Permanent management staff consist of:

- Merdine Mitchell: Banquet Manager, Business Developer and Event Planner
- Tommy Bolden: Facilities Manager

Roles and Responsibilities

Banquet Manager

- Achieves maximum profitability and over-all success by controlling costs and quality of service.
- Controls of Banquet china, cutlery, glassware, linen and equipment.
- Completion of forecast and actual budget function sheets, Function Summary Sheets and weekly payroll input.
- Ensure adequate and consistent levels of service

- Supervision of Banquet Bar Requisitions. Following of proper purchasing and requisitioning procedures.
- Works with the outside catering Companies to ensure all arrangements and details are dealt with.
- Inspection of Meeting Room prior to guest arrival ensuring that client specifications have been met.

Event Planning

- Responsible for interviewing and hiring vendors, selecting and ordering materials, negotiating rates, coordinating the sequence of events, following up with guests and vendors and producing full-scale events.
- Plans, designs and produces events while managing all project delivery elements within time limits
- Liaises with clients to identify their needs and to ensure customer satisfaction
- Conduct market research, gather information and negotiate contracts prior to closing any deals
- Provides feedback and periodic reports to stakeholders
- Proposes ideas to improve provided services and event quality
- Organizes facilities and manage all event's details such as decor, catering, entertainment, transportation, location, invitee list, special guests, equipment, promotional material etc
- Ensures compliance with insurance, legal, health and safety obligations
- Specifies staff requirements and coordinate their activities
- Cooperates with marketing and PR to promote and publicize event
- Proactively handle any arising issues and troubleshoot any emerging problems on the event day
- Conducts pre- and post – event evaluations and report on outcomes
- Researches market, identify event opportunities and generate interest

Business Development

- Identifies, prioritizes, and reaches out to new partners, and business opportunities et al
- Identifies development opportunities; follows up on development leads and contacts; participates in the structuring and financing of projects; assures the completion of development projects.
- Writes winning proposal documents, negotiate fees and rates in line with company policy
- Responsible for handling business research, marker surveys and feasibility studies for clients
- Client Outreach

- Facilities Manager co-ordinates the general housekeeping of the Ballroom, Lower Lobby, Lower public washrooms, kitchen, storage areas, entrance areas, etc.

Facilities Management

- Provides all services with regard to maintenance of facility
- Assures that facility is clean and ready for next event
- Assures that facility is looking its best both internally and externally at all times to make the maximum positive impression for rental clients.
- Utility coordination.

J & R Family Enterprises Banquet Hall Rentals Banquet Hall Rental Business Plan – SWOT Analysis

- **Strength:**

Aside from the fact that our banquet hall is well positioned and well – equipped to meet the 21st century demand of both high profile corporate and individual clients, our team will go all the way to give our clients value for their money; a team that will pay attention to details. We are well positioned and we know we will attract clients from the first day we open our doors for business.

- **Weakness:**

As a new banquet hall rental and event planning outfit, it might take some time for our organization to break into the market and gain acceptance in the already saturated event planning and party rental industry; that is perhaps our major weakness.

- **Opportunities:**

The opportunities in the event planning and party rental industry is massive considering the number of corporate events, weddings, parties and other events that takes places on a daily basis in the United States. As an all – round banquet hall rental and event planning outfit, we are ready to take advantage of any opportunity that comes our way.

- **Threat:**

Some of the threats that we are likely going to face as a banquet hall rental and event planning outfit operating in the United States are unfavorable government policies, the arrival of a competitor within our location of operations and global economic downturn which usually affects purchasing power. There is hardly anything we can do as regards these threats other than to be optimistic that things will continue to work for our good.

Banquet Hall Rental Business Plan – MARKET ANALYSIS

- **Market Trends**

One thing is certain; it is difficult to find a business that is strictly into just banquet hall rentals. This is so because such business will find it difficult to maintain its overhead and operational cost or generate enough income needed for business expansion.

In recent time, it is common to find banquet hall rental companies engage in other complimentary services such as party rentals and event planning services et al.

The event planning and party rental industry is in a continuous state of evolution and as such, ground breaking strategies and ideas that are once highly successful are no longer as productive as they were in time past. Close observation of the trend in the industry reveals that the past few years have seen the rise and proliferation of social media and new tech tools.

The trend also extends to increased attention paid to engagement and new market segments, adopting eco-friendly measures and sustainability when planning events, and of course increase in demands from event sponsors.

As a matter of fact, social media has now become one of the most important tools event planners leverage on to disseminate information about their events, interact with attendees, solicit feedback, and create year-round engagement with their target audience.

Furthermore, new software apps and emerging technology have made it easier for event and wedding planners to gather all the needed data and information that will help them plan and project for the future.

In recent time, mobile event apps are becoming more popular; event planner can now successfully host events via social media platforms / online platforms. In the United States for example, there several vendors providing mobile apps with more event planners patronizing the apps.

Over and above, with the invention of event apps, it is now compulsory for event planners and venue owners (banquet halls) to offer Wi-Fi throughout the event, in all meeting rooms. The truth is that it will no longer be acceptable to not have Wi-Fi accessible at events; people will hardly rent halls without Wi-Fi facility.

- **Our Target Market**

Although J & R Family Enterprises Banquet Hall Rentals will target community clients:

Below is a list of the people and organizations that we have specifically design our products and services for;

- Potential Couples / Young Adults
- Corporate Organizations
- Religious Organizations
- Funeral Homes
- Political Parties / Politicians
- Households / Families
- The Government (Public Sector)
- Schools (High Schools, Colleges and Universities)
- Sport Organizations
- Entrepreneurs and Start – Ups

Our Competitive Advantage

We are quite aware that to be highly competitive in the event planning and party rental industry means that your banquet hall must be well – positioned and well – equipped with enough parking space and security, you should be able to deliver consistent quality service, your clients should be able to experience remarkable difference and improvement and you should be able to meet the expectations of both participants and organizers of events.

J & R Family Enterprises Banquet Hall Rentals: Our banquet hall must be well – positioned and well – equipped with enough parking space and security. A police substation is right next door to provide added security. A large number of churches and funeral homes are within walking distance and are in desperate need of a meeting facility for their client needs. There is no competition in the NW area. These are part of what will count as a competitive advantage for us.

Banquet Hall Rental Business Plan – SALES AND MARKETING STRATEGY

We will also ensure that our excellent job delivery speaks for us in the market place; we want to build a standard banquet hall rental and event planning business that will leverage on word of mouth advertisement from satisfied clients (*both individuals and corporate organizations*).

Our goal is to grow our banquet hall rental and event planning company by at least 25% annually.

J & R Family Enterprises Banquet Hall Rentals is set to make use of the following marketing and sales strategies to attract clients;

- Introduce our business by sending introductory letters alongside our brochure to corporate organizations, schools, households and key stake holders in the area
- Advertise our business in community newspapers, and radio station.
- List our business in local directories

- Make direct contact to all churches and businesses in the area. Create different packages for different category of clients in order to work with their budgets and still deliver quality event planning services to them
- Leverage on the internet, social media and website to promote our business
- Engage direct marketing approach
- Encourage word of mouth marketing from loyal and satisfied clients

Sources of Income

J & R Family Enterprises Banquet Hall Rentals is established with the aim of maximizing profits in the event planning and party rental industry and we are going to go all the way to ensure that we do all it takes to attract clients on a regular basis

J & R Family Enterprises Banquet Hall Rentals will generate income by offering the following event planning / rental services for individuals and for corporate organizations;

- Wedding Planning
- Repass and Other Funerary Events
- Church Events and Meeting
- Community and Organizational Events
- Graduation Events
- Holiday Events
- Government Events and Meetings
- Corporate and Business Events
- Annual General Meetings
- Children's Party and Birthdays Party Planning
- Party supply rental
- Corporate party and banquet equipment rental
- Wedding supply rental
- Birthday rentals
- Corporate event rentals
- Graduation event rental
- Holiday event rental
- Other event rentals

Sales Forecast

One thing is certain, there would always be parties and events in the United States of America and as such the services of event planning and banquet hall / party rental companies will always be needed.

We are well positioned to take on the available market and we are quite optimistic that we will meet our set target of generating enough income / profits from the first six month of operations and grow the business and our clientele base.

We have been able to critically examine the event planning and party rental market and we have analyzed our chances in the industry and we have been able to come up with the following sales forecast.

Below is our **conservative** sales projection for J & R Family Enterprises Banquet Hall Rentals.

- **First Fiscal Year-:** \$24,000
- **Second Fiscal Year-:** \$30,000
- **Third Fiscal Year-:** \$37,500
- **Fourth Fiscal Year-:** \$46,875
- **Fifth Fiscal Year -:** \$58,593

This projection is done based on the assumption that there won't be any major economic meltdown and natural disasters within the period stated above. There won't be any major competitor offering same additional services as we do within same location. Please note that the above projection might be lower and at the same time it might be higher.

- **Our Pricing Strategy**

Just like in rental and consulting business, hourly billing for event planning / event management and rental services is also a long – time tradition in the industry. However, for some types of event planning / management services, flat fees make more sense because they allow clients to better predict the overall service charges. As a result of this, J & R Family Enterprises Banquet Hall Rentals will charge our clients both flat fee and hourly billing as long as it favors both parties.

At J & R Family Enterprises Banquet Hall Rentals we will keep our fees below the average market rate for all of our clients by keeping our overhead very low and by collecting payment in advance. In addition, we will also offer special discounted rates to start – ups, nonprofits, cooperatives, and small social enterprises and re-occurring clients.

We are aware that there are some clients that would need regular access to event planning consulting and party / banquet hall rental services, we will offer flat rate for such services that will be tailored to take care of such clients' needs.

- **Payment Options**

At J & R Family Enterprises Banquet Hall Rentals, our payment policy will be all inclusive because we are quite aware that different people prefer different payment options as it suits them. Here are the payment options that we will make available to our clients;

- Payment by via bank transfer
- Payment via check

- Payment with cash
- Payment via credit card

Banquet Hall Rental Business Plan – Publicity and Advertising Strategy

Below are the platforms we intend to leverage on to promote and advertise J & R Family Enterprises Banquet Hall Rentals;

- Place adverts on both print (community based newspapers and magazines) and electronic media platforms
- Sponsor relevant community based events / programs
- Leverage on the internet and social media platforms like; Instagram, Facebook, twitter, YouTube, Google + et al to promote our brand
- Exterior signage
- Direct canvassing and personal introduction to potential clients including churches funeral homes and local businesses.
- Distribute our fliers and handbills in target areas
- Ensure that all our workers wear our branded shirts and all our vehicles are well branded with our company's logo et al.

Banquet Hall Rental Business Plan – Financial Projections and Costing

Estimated cost for Banquet Hall/Planning company:

- The budget for basic insurance policy covers, permits and business license – \$2,500
- The Amount needed to renovate the proposed facility – \$620,268/\$80,958.
- The Cost for equipping the office (computers, software applications, printers, fax machines, furniture, telephones, filing cabins, safety gadgets and electronics et al.) – \$2,000
- The Cost of Launching an official Website – \$600
- Budget for paying at least 2 months utility bills – \$1,500
- Additional Expenditure (Business cards, Signage, Adverts and Promotions et al.) – \$2,500
- Miscellaneous: \$1,000

J & R Family Enterprises Banquet Hall Rentals will need about ninety-one thousand dollars (\$91,000) U.S. dollars to successfully set up our event planning business.

Generating Funding for J & R Family Enterprises Banquet Hall Rentals

J & R Family Enterprises Banquet Hall Rentals is a family business that will be owned by the Bolden Family. They are the sole financial backers of the firm, but may likely welcome capital for the business in the future to help grow the business.

These are the areas we intend generating our start – up capital;

- Generate from personal savings
- Source for soft loans from family members and friends
- Apply for loan from my Bank

We have been able to generate over a \$150,000 in equity from our existing residential rental apartment business component available for this business. J & R Family Enterprises Banquet Hall Rentals will be providing \$80,958 for construction, have secured \$295,000 forgivable loan from the City of Fort Lauderdale CDBG Program for construction and are seeking an additional \$350,000 Community Redevelopment Agency forgivable loan for construction.

Other Sources of Revenue

Renovation of the building at 1227 Sistrunk includes placing five affordable rental units in service that will generate an additional \$51,000 annually in gross income at this location.

Operating Expenses

\$15,000 Property Taxes
 \$15,000 All Risk Property Policy and Windstorm Insurance
 \$ 2,500 Liability Insurance, business license/misc.
 \$20,000 Utilities/Maintenance
\$ 5,000 Marketing
 \$57,500

Note: Property is Owner managed and maintained. Special services requiring contracted labor will be charged to client.

5 Year Proforma					
Year	1	2	3	4	5
Operating income					
Residential Rentals	\$51,000	\$51,500	\$53,045	\$54,636	\$56,275
Banquet Hall	\$24,000	\$30,000	\$37,500	\$46,875	\$58,593
Total Operating Income	\$75,000	\$81,500	\$90,545	\$101,511	114,868
Mortgage	0	0	0	0	0
Operating Expenses					
Property Tax	\$15,000	\$15,000	\$15,000	\$15,000	\$15,000
Property Insurance	\$15,000	\$15,000	\$15,000	\$15,000	\$15,000
Business Insur/License/misc	\$2,500	\$2,500	\$2,500	\$2,500	\$2,500
Utilities/Maintenance	\$20,000	\$20,000	\$20,000	\$20,000	\$20,000
Marketing	\$5,000	\$5,000	\$5,000	\$5,000	\$5,000
Total Operating Expenses	\$57,500	\$57,500	\$57,500	\$57,500	\$57,500
Net income	\$17,500	\$24,000	\$33,045	\$44,011	\$57,368

Note: Residential rental income projected to increase by 3% annually.
 Banquet Hall income projected to increase by 25% annually.

LOT 11
BLOCK A



LOT 15
BLOCK A

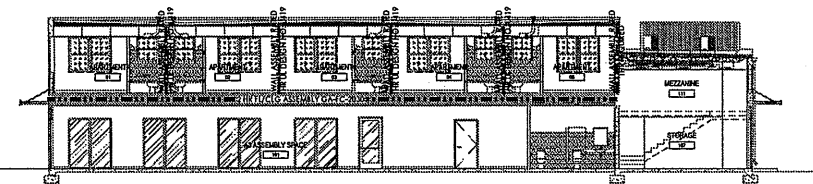
EXISTING 2 STORY CBS BUILDING
FINISHED FLOOR ELEVATION 6.24'

NW 4TH COURT

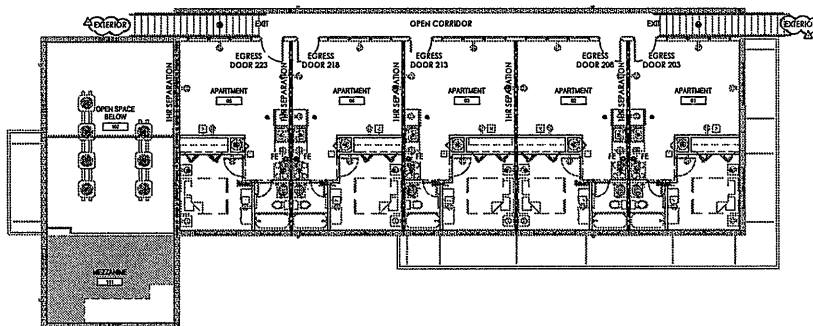
NW 4TH STREET
(STRUNK BOULEVARD)

GENERAL SITE PLAN

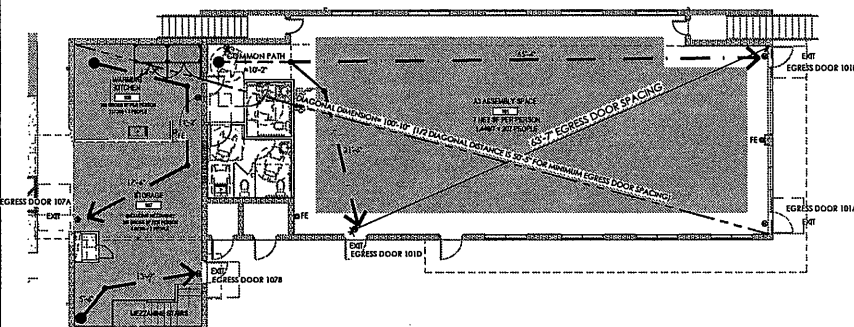
	
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LICENSE NO. AA350015863	
<p style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold; margin: 0;">EXISTING BUILDING RENOVATION PLANS FOR:</p>  <p style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold; margin: 0;">BOLDEN BUILDING</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold; margin: 0;">1227 NW 6TH ST. FORT LAUDERDALE, FL 33009</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg); font-weight: bold; margin: 0;">CLIENT: CITY OF FORT LAUDERDALE CRA</p>	
APPROVED BY: _____ ARCHITECT: _____ ALTERNATE: _____ DATE: _____	REVIEWED BY: _____ ENGINEER: _____ DATE: _____
DESIGN DELIVERABLE: PERMITS SET REV 1 ISSUE DATE: 1/17/19	
PROJECT NUMBER: 0339-180420 DRAWN BY: AG CHECKED BY: NA <small>Copyright © 2019 by STYLIZED ROMANTIC SCRIPT LLC All Rights Reserved.</small>	
<h2 style="margin: 0;">COVER SHEET</h2>	
REVISIONS: <div style="font-size: 2em; font-weight: bold; text-align: center; margin-top: 10px;">G-001</div>	



4 LIFE SAFETY SECTION
SCALE: 1/8" = 1'-0"



3 LIFE SAFETY SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 LIFE SAFETY GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING CODE SUMMARY

Name of Project: EXISTING BUILDING RENOVATION PLANS FOR BOLDEN BUILDING
Address: 1227 NW 6TH ST., FORT LAUDERDALE, FL 33309
Proposed Use: MIXED USE
Owner or Authorized Agency: CITY OF FORT LAUDERDALE - CRA
Owned By: City of County of Florida
Code Enforcement Jurisdiction: City of County of
LEAD DESIGN PROFESSIONAL: MANUEL SYNALOVSKI
DESIGNER: FIRM: NAME: LICENSE # PHONE # E-MAIL: manuel.synalowski@gmail.com

Architectural: Manuel Synalowski, AIA, AIA 1438, 554-941-6854, manuel.synalowski@gmail.com
Civil: _____
Electrical: _____
Fire Alarm: _____
Plumbing: _____
Mechanical: _____
Slope/Staircase: _____
Structural: _____
Other: _____

YEAR EDITION OF CODE: 2017 FLORIDA BUILDING CODE - 2017 SPFC 2012 NFPA 101
☐ New Construction ☒ Renovation (Existing Bldg.) ☐ Upfit ☐ Alteration

BUILDING DATA

Construction Type: ☐ I-A ☐ I-B ☐ I-C ☐ I-D ☐ I-E ☐ I-F ☐ I-G ☐ I-H
Mixed Construction: ☐ No ☐ Yes
Spiral Stairs: ☐ No ☐ Yes
Standpipes: ☐ No ☐ Yes
Fire District: ☐ No ☐ Yes
Building Height: 21 Feet
Number of Stories: 2
Unlimited per: _____
Aluminum: ☐ No ☐ Yes
High Rise: ☐ No ☐ Yes
Control Reference Steel # (if provided): _____
Gross Building Area (sq. ft.): _____
FLOOR: EXISTING NEW UPTIT
Ground Floor: 3,317 3,317
Second Floor: 2,819 2,819
TOTAL BUILDING: 6,136 6,136

NOTES:
1. PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE WITH SPECIFICATIONS AND LOCAL JURISDICTION.
2. PORTABLE 2-A FIRE EXTINGUISHERS PROVIDED ON GROUND FLOOR - MAX. DISTANCE 75'
3. PORTABLE 2-A FIRE EXTINGUISHERS PROVIDED FOR EACH RESIDENTIAL UNIT ON SECOND FLOOR

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: ☐ No ☒ Yes
Exit Signs: ☐ No ☒ Yes
Fire Alarm: ☐ No ☒ Yes
Smoke Detection System: ☐ No ☒ Yes
Panic Hardware: ☐ No ☒ Yes

CODE DATA

2017 FLORIDA BUILDING CODE - EXISTING BUILDING, 6TH EDITION
EXISTING BUILDING - SHELL RENOVATION AND INTERIOR BUILD-OUT - EXISTING FLORIDA BUILDING CODE
- WORK AREA COMPLIANCE METHOD - ALTERNATE LEVEL 3-B RESIDENTIAL UNIT 2ND FLOOR, AND CHANGE OF OCCUPANCY 2 GROUND FLOOR, PER 2017 EXISTING BUILDING CODE, SECTIONS 505 & 506.

2017 FLORIDA BUILDING CODE - ACCESSIBILITY, 6TH EDITION

OCCUPANCY COUNT

Primary Occupancy: ☐ Assembly ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
☐ Business ☐ Education ☐ Factory/Industrial ☐ I-1 ☐ I-2 ☐ I-3
☐ High-Rise ☐ H-1 ☐ H-2 ☐ H-3 ☐ H-4 ☐ H-5
☐ Institutional ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4 ☐ I-5
☐ Use Condition ☐ U-1 ☐ U-2 ☐ U-3 ☐ U-4 ☐ U-5
☐ Mercantile ☐ M-1 ☐ M-2 ☐ M-3 ☐ M-4 ☐ M-5
☐ Storage ☐ S-1 ☐ S-2 ☐ S-3 ☐ S-4 ☐ S-5
☐ Utility and Maintenance ☐ Parking Garage ☐ Open ☐ Enclosed ☐ Repair

Secondary Occupancy: ☐ No ☒ Yes
Altered Occupancy: ☐ No ☒ Yes
Separation: ☐ No ☒ Yes
Exception: _____

OCCUPANCY CLASSIFICATION	NET GROSS SF PER OCCUPANT	FORMULA	COUNT
ASSEMBLY A-1	NET 7	1,400 ÷ 7	207
KITCHEN B	GROSS 200	220 ÷ 200	2
STORAGE S-1	GROSS 300	614 ÷ 300	3
RESIDENTIAL R-2	GROSS 200	(4500) ÷ 200	12
BUILDING TOTAL COUNT			224

NOTE: PROVIDE A MAX CAPACITY SIGNAGE FOR THE ASSEMBLY USE AT THE MAIN EXIT (207 PEOPLE)

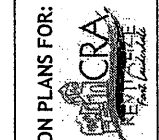
1 LIFE SAFETY AND CODE DATA



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www.synalowski.com

Manuel Synalowski, AIA
AIA 1438
SEAL

LICENSE NO. AA38001863



EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BUILDING
1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE - CRA

NO.	DATE	REVISION
1	1/7/19	PERMIT SET

DESIGN DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 1/7/19

PROJECT NUMBER: 1535-180425
DRAWN BY: AG
CHECKED BY:
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LIFE SAFETY PLAN

REVIEWED:

G-101

<p>29 REF. SECTIONS 703.4.2, 703.6, 703.7 & 704 NOT TO SCALE</p>	<p>28 REF. SECTIONS 604.8 NOT TO SCALE</p>	<p>27 REF. SECTIONS 505.5, 505.6 AND 505.7 NOT TO SCALE</p>	<p>26 REF. SECTIONS 406.2, 406.3 AND 406.4 NOT TO SCALE</p>	<p>25 REF. SECTION 307 NOT TO SCALE</p>	<p>24 REF. SECTIONS 703.2.5, 703.3.2 AND 703.4.1 NOT TO SCALE</p>	<p>23 REF. SECTIONS 604.5 AND 604.7 NOT TO SCALE</p>
<p>24 REF. SECTIONS 703.2.5, 703.3.2 AND 703.4.1 NOT TO SCALE</p>	<p>23 REF. SECTIONS 604.5 AND 604.7 NOT TO SCALE</p>	<p>22 REF. SECTION 505.4 NOT TO SCALE</p>	<p>21 REF. SECTIONS 405.7 AND 405.9 NOT TO SCALE</p>	<p>20 REF. SECTION 404.2.4.1 NOT TO SCALE</p>	<p>19 REF. SECTIONS 306 NOT TO SCALE</p>	<p>18 REF. SECTIONS 605 AND 609 NOT TO SCALE</p>
<p>18 REF. SECTIONS 605 AND 609 NOT TO SCALE</p>	<p>17 REF. SECTIONS 604.2 AND 604.3 NOT TO SCALE</p>	<p>16 REF. SECTION 504.5 NOT TO SCALE</p>	<p>15 REF. SECTION 404.2.6 NOT TO SCALE</p>	<p>14 REF. SECTION 404.2.3 NOT TO SCALE</p>	<p>13 REF. SECTIONS 304 AND 305 NOT TO SCALE</p>	<p>12 REF. SECTIONS 604.8.1.6 AND 604.8.2 NOT TO SCALE</p>
<p>12 REF. SECTIONS 604.8.1.6 AND 604.8.2 NOT TO SCALE</p>	<p>11 REF. SECTIONS 602.05 NOT TO SCALE</p>	<p>10 REF. SECTION 406.7 NOT TO SCALE</p>	<p>9 REF. SECTION 404.2.4.3 NOT TO SCALE</p>	<p>8 REF. SECTION 403 NOT TO SCALE</p>	<p>7 REF. SECTIONS 302 AND 303 NOT TO SCALE</p>	<p>6 REF. SECTION 604.8.1.4 NOT TO SCALE</p>
<p>6 REF. SECTION 604.8.1.4 NOT TO SCALE</p>	<p>5 REF. SECTION 505.10 NOT TO SCALE</p>	<p>4 REF. SECTION 406.6 NOT TO SCALE</p>	<p>3 REF. SECTION 404.2.4.2 NOT TO SCALE</p>	<p>2 REF. SECTION 308 NOT TO SCALE</p>	<p>1 GRAPHIC CONVECTION FOR FIGURES NOT TO SCALE</p>	<p>1 REF. SECTION 307 NOT TO SCALE</p>



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Alonzo Sinalovski, AIA
AA 0011628
SRA

LICENSE NO. AA32601843

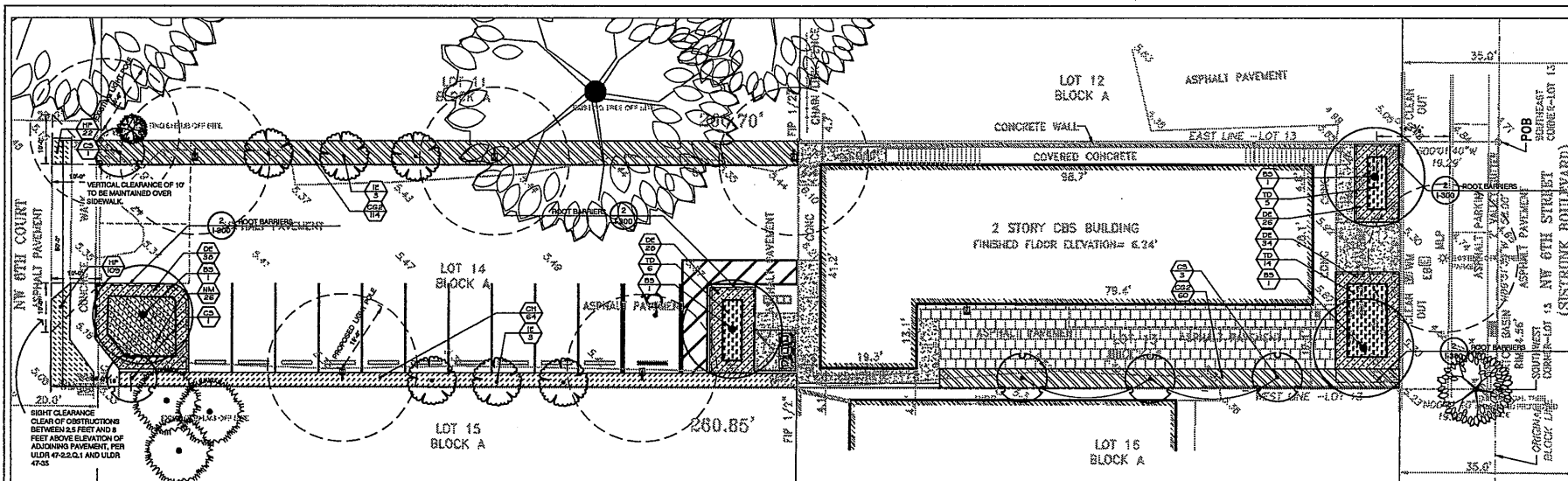


EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BUILDING
1323 NW 5TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE, FLA.










NO.	REV.	DESCRIPTION
1	1	ISSUED FOR PERMIT

DESIGN DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 1/7/19
PROJECT NUMBER: 1535-180420
DRAWN BY: AG
CHECKED BY:
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FBC 2017 ACCESSIBILITY TYPICAL DETAILS

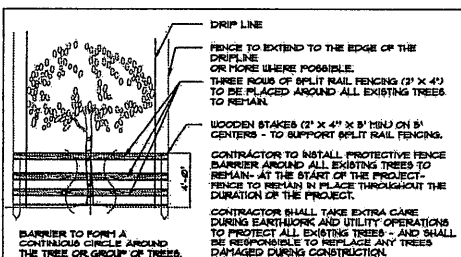
DETAIL: **G-501**



PLANT SCHEDULE

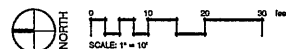
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	GAL	CONTAINER	MIN PLANT SIZE	MATURE SIZE	DROUGHT	NATIVE	
	BS	4	Bumelia sinuata	Gumbo Limbo	FG	3" Cal	12" STD	60' X 40'	HIGH	NATIVE	
	CS	6	Cordia alliodora	Orange Ginger Tree	FG	2" Cal	12" OA	20' X 15'	HIGH	NATIVE	
	IE	6	Illex attenuata "East Palatka"	East Palatka Holly	FG	2" Cal	10" STD	30' X 15'	MED	NATIVE	
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTE	PLANTED SIZE	MATURE SIZE	DROUGHT	NATIVE	SPACING
	CH	64	Chrysobalanus icaco	Cocoplum	3 gal	24"x24"	FULL	20' x 20'	MED	NATIVE	50' o.s.
	CG2	174	Clusia guifera	Clusia	3 gal	24"x24"	FULL	Maintained hedge 4'	HIGH	NATIVE	30' o.s.
	DE	128	Duranta erecta "Gold Mound"	Duranta	3gal	18"x18"	FULL	Maintained 30"	HIGH	NATIVE	24' o.s.
	HP	131	Halepalm polyphyllum	Pineland haliscope	3 gal	FULL	6"	12"	HIGH	NATIVE	12' o.s.
	NM	26	Naprolepis bilamata	"Macho Fern"	3 gal	18" x 18" FULL	FULL	4'-5"	MED	FL-FRIENDLY	30' o.s.
	TD	25	Tillpeaum dactyloides nana	Dwarf Falahatchiae	3 gal	24"x24"	FULL	3' x 3'	HIGH	NATIVE	36' o.s.

EXISTING TREES AND PALMS OFF SITE, NO EXISTING TREES ON SITE. PROTECT NEIGHBORING TREES AS PER CITY DETAIL.



TREE PROTECTION DETAIL

N.T.A.



LANDSCAPE CALCULATIONS			
(parcel 1= 6,039 sf parcel 2= 7,000 sf)			
SITE AREA	13,039 SQFT	PERCENT OF SITE	
BUILDING FOOTPRINT	3,317 SQFT	25%	
Vehicle Use Area VUA	5,721 SQFT	44%	
OPEN SPACE	3,991 sf	30%	
	TOTAL		
	sidewalk/patio	12%	
	permeable	17%	
	REQUIRED	PROVIDED	
NET LOT AREA (1 tree per 1000sq ft)	4.00	6.00	
	EXISTING TREES		
	REQUIRED	PROVIDED	
STREET TREE (50% must be shade trees)	0.00	1 existing	
Sistrunk boulevard	50' existing streetscape	1.00	
NW 6 court	history trees provided site conflicts	2.00	
VUA Landscape Area (min 20% of VUA including portions of perimeter)	REQUIRED	PROVIDED	
VUA TREES (5731/1000)	6	6	
	Shade Tree (25% of VUA) 3.5" cal	2	
	Shade Tree (25% of VUA) 2.5" cal	2	
	Flowering Trees (20% of VUA)	1	
	Palm (25% of VUA)	1	
VUA SHRUBS (594/1000)*	5	100+	
TOTAL TREES	13.00	14.00	
TREE MITIGATION	0	0	
	Caliper *	0	
	PALMS	0	
Diversity	REQUIRED	PROVIDED	
	Tree/Palm Native Proposed	40%	100%
	Florida Friendly	50%	100%
	Tree Diversity	2	3
TURF MAX	REQUIRED	PROVIDED	
	50% Max within property line	3,355 sf	0 sf



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EXISTING BUILDING RENOVATION PLANS FOR
BOLDEN BUILDING
3327 NW 6TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE, FLA

NO.	REV.	DATE	DESCRIPTION
1	1	08/07/20	ISSUED FOR PERMITS

DESIGNER: SYNALOVSKI ROMANIKOS
CHECKED: PEARMY SET REV 1
DATE: 08/07/20

PROJECT NO.: 20-001
PROJECT NAME: 3327 NW 6TH ST., 1095-1000
CLIENT: CITY OF FORT LAUDERDALE, FLA

PROPOSED
LANDSCAPE PLAN

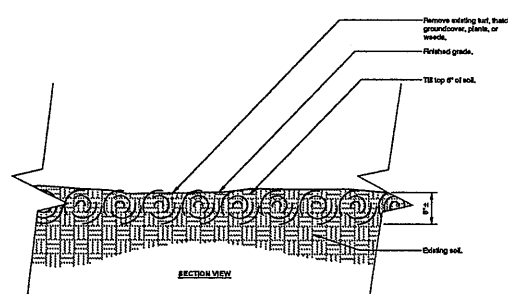
△ L-200

NO.	REV.	DATE	DESCRIPTION
1	1	09/27/23	

REVISION
1. 09/27/23: PERMIT SET REV 1
2. 09/27/23: 1. 09/27/23
3. 09/27/23: 2. 09/27/23
4. 09/27/23: 3. 09/27/23
5. 09/27/23: 4. 09/27/23

LANDSCAPE
DETAILS

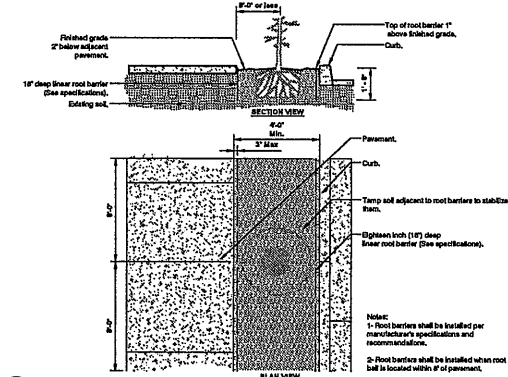
L-300



3 EXISTING SOIL - MINOR MODIFICATION
3/4" = 1'-0"

Notes:
1- See planting soil specifications for additional requirements.

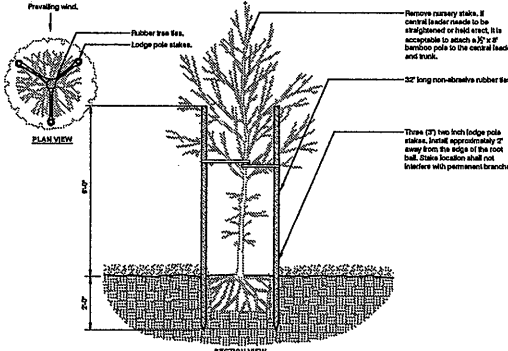
UNIVERSITY FLORIDA LANDSCAPE ARCHITECTURE
OPEN SOURCE FILE TO USE
FX-PL-FX-SOIL-13



4 ROOT BARRIERS
3/4" = 1'-0"

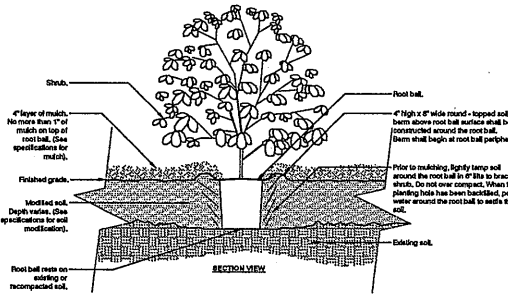
Notes:
1- Root barriers shall be installed per manufacturer's specifications and recommendations.
2- Root barriers shall be installed when root ball is located within 12 inches of pavement.

UNIVERSITY FLORIDA LANDSCAPE ARCHITECTURE
OPEN SOURCE FILE TO USE
FX-PL-FX-SOIL-08



5 TREE STAKING - LODGE POLES (3)
1/2" = 1'-0"

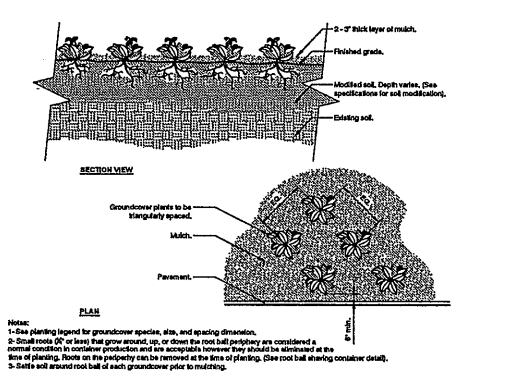
UNIVERSITY FLORIDA LANDSCAPE ARCHITECTURE
OPEN SOURCE FILE TO USE
FX-PL-FX-TREE-08



6 SHRUB - MODIFIED SOIL
3/4" = 1'-0"

Notes:
1- Shrubs shall be of quality prescribed in the root observation detail and specifications.
2- See specifications for further requirements related to this detail.

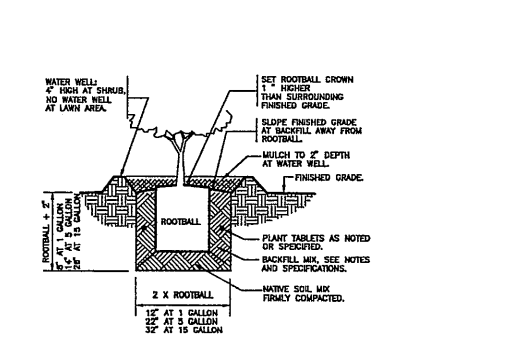
UNIVERSITY FLORIDA LANDSCAPE ARCHITECTURE
OPEN SOURCE FILE TO USE
FX-PL-FX-SHUB-03



7 GROUND COVER
3/4" = 1'-0"

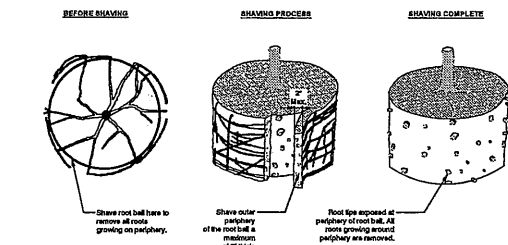
Notes:
1- See planting legend for groundcover species, size, and spacing dimension.
2- Small roots (2" or less) that grow around, up, or down the root ball periphery are considered a normal condition in container production and are acceptable however they should be minimized at the time of planting. Roots on the periphery can be removed at the time of planting. See root ball shaving container detail.
3- Settle soil around root ball of each groundcover prior to mulching.

UNIVERSITY FLORIDA LANDSCAPE ARCHITECTURE
OPEN SOURCE FILE TO USE
FX-PL-FX-GRCV-01



8 SHRUB PLANTING
1" = 1'-0"

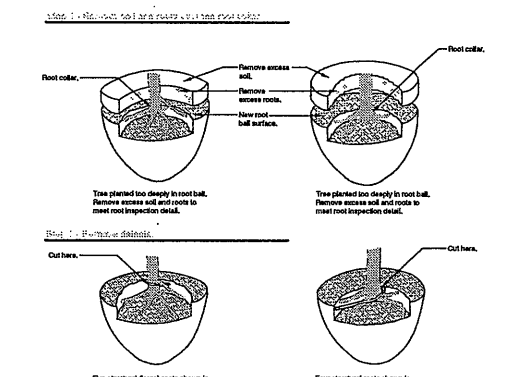
UNIVERSITY FLORIDA LANDSCAPE ARCHITECTURE
OPEN SOURCE FILE TO USE
FX-PL-FX-SHUB-07



9 ROOT BALL SHAVING CONTAINER DETAIL
3/4" = 1'-0"

Notes:
1- Shaving to be conducted using a sharp blade or hand saw eliminating no more than needed to remove all roots on the periphery of root ball.
2- Shaving can be performed just prior to planting or after placing in the hole.

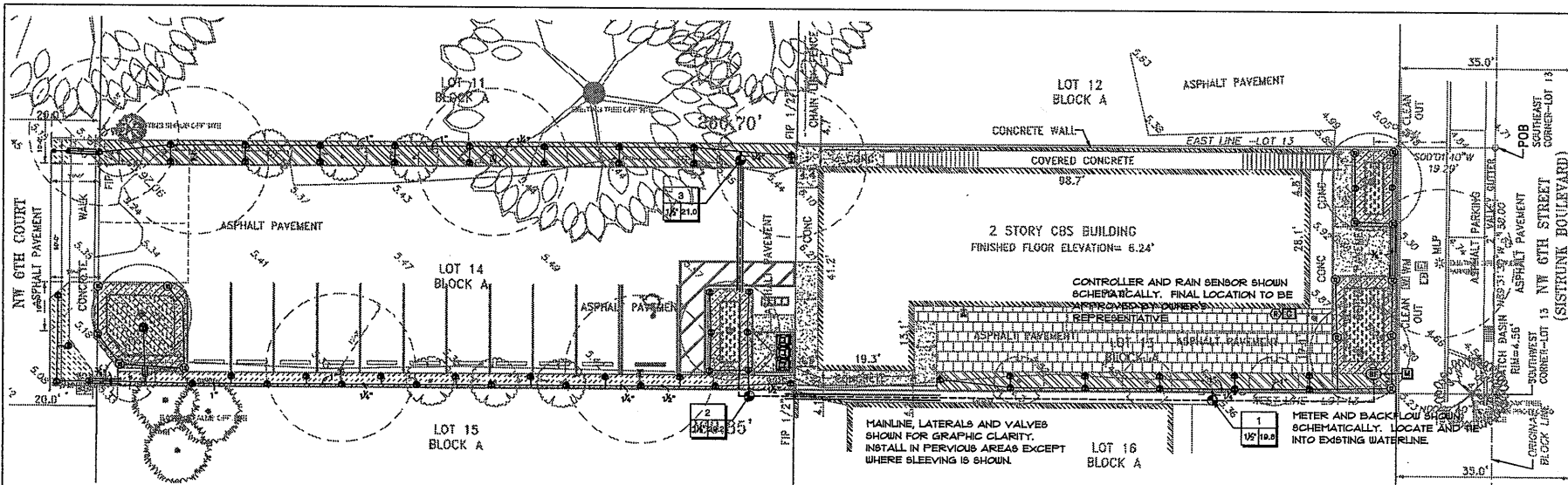
UNIVERSITY FLORIDA LANDSCAPE ARCHITECTURE
OPEN SOURCE FILE TO USE
FX-PL-FX-CORR-01



10 ROOT CORRECTION DETAIL - BALLED AND BURLAPPED
1 1/2" = 1'-0"

Notes:
1- All trees shown are rejectable unless they undergo recommended correction.
2- First step 1, then step 2. Adjust hole depth to allow for the removal of excess soil and roots over the root collar.
3- Roots and soil may be removed during the correction process; substrate shall be replaced after the correction has been completed.
4- Trees shall pass root observation detail following correction.

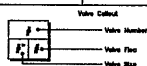
UNIVERSITY FLORIDA LANDSCAPE ARCHITECTURE
OPEN SOURCE FILE TO USE
FX-PL-FX-CORR-03



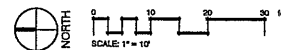
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
● ● ● ● ●	Rain Bird 1812 SG Series	2
● ● ● ● ●	Shrub Spray 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Side and Bottom Inlet, 1/2" NPT Female Threaded Inlet	47
● ● ● ● ●	Rain Bird 1812 15 Strip Series	1
● ● ● ● ●	Shrub Spray 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Side and Bottom Inlet, 1/2" NPT Female Threaded Inlet	24
● ● ● ● ●	Rain Bird 1812 10 Series MPR	1
● ● ● ● ●	Shrub Spray 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Side and Bottom Inlet, 1/2" NPT Female Threaded Inlet	3
● ● ● ● ●	Rain Bird 1812 HE-VAN Series	1
● ● ● ● ●	Shrub Spray 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal, Side and Bottom Inlet, 1/2" NPT Female Threaded Inlet	1
● ● ● ● ●	Rain Bird PEB	1
● ● ● ● ●	1-1/2" Plastic Industrial Valves, Low Flow Operating Capability, Globe Configuration	1
● ● ● ● ●	Fabco 785 1" Pressure Vacuum Breaker, brass with ball valve SOV, install 12" (3054mm) above highest downstream outlet and the highest point in the downstream piping	1
● ● ● ● ●	Rain Bird ESPRIMO 8 Station Capable Commercial Controller, Mounted on a Plastic Wall Mount	1
● ● ● ● ●	Rain Bird RSD-BER	1
● ● ● ● ●	Rain Sensor, with metal latching bracket, extension wire	1
● ● ● ● ●	Water Meter 1"	1
● ● ● ● ●	Irrigation Lateral Line: PVC Schedule 40, minimum 1/2" in size	700 LL
● ● ● ● ●	Irrigation Mainline: 2" PVC Schedule 40, run with 1 1/2" grey electrical conduit	180 LL
● ● ● ● ●	Pipe Sleeves: PVC Schedule 40, size per sleeve chart	50 LL

PIPE SIZE	SLEEVE SIZE
3/4"	2 1/2"
1"	3"
1 1/4"	3"
1 1/2"	4"
2"	4"
2 1/2"	6"
3"	6"
4"	8"
6"	10"
8"	12"



VALVE SCHEDULE	MODEL	SIZE	TYPE	GPM
1	Rain Bird PEB	1-1/2"	Shrub Spray	18.76
2	Rain Bird PEB	1-1/2"	Shrub Spray	20.30
3	Rain Bird PEB	1-1/2"	Shrub Spray	20.99



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www.sinalovaromans.com



EXISTING BUILDING RENOVATION PLANS FOR
BOLDEN BUILDING
1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE, FLA

NO.	DATE	DESCRIPTION
1	12/10/10	ISSUED FOR PERMIT

DESIGNED BY: SINALOVA ROMANOS
ISSUED DATE: 12/10/10
PROJECT NO: 10-00000000-00000000
DRAWN BY: SINALOVA ROMANOS
CHECKED BY: SINALOVA ROMANOS
SCALE: AS SHOWN
DATE: 12/10/10

PROPOSED IRRIGATION PLAN

IR-200



1801 E. Hwy 10, Suite 100
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754.961.1807

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Hansel Symonick, AIA
AIA 001569
BSA

License No. A33001843

Existing Building Renovation Plans for: BOLDEN BUILDING

1222 NW 6TH ST.
FORT LAUDERDALE, FL 33307

CLIENT: CITY OF FORT LAUDERDALE

NO.	DATE	DESCRIPTION
1	10/31/2018	PER F&E, 2017, 6TH EDITION
2	10/31/2018	PER F&E, 2017, 6TH EDITION
3	10/31/2018	PER F&E, 2017, 6TH EDITION
4	10/31/2018	PER F&E, 2017, 6TH EDITION
5	10/31/2018	PER F&E, 2017, 6TH EDITION
6	10/31/2018	PER F&E, 2017, 6TH EDITION
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8	10/31/2018	PER F&E, 2017, 6TH EDITION
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16	10/31/2018	PER F&E, 2017, 6TH EDITION
17	10/31/2018	PER F&E, 2017, 6TH EDITION
18	10/31/2018	PER F&E, 2017, 6TH EDITION
19	10/31/2018	PER F&E, 2017, 6TH EDITION
20	10/31/2018	PER F&E, 2017, 6TH EDITION

DESIGN
DELIVERABLE:
ISSUE DATE: 10/31/2018

PROJECT NUMBER: 1525-180415
DRAWN BY: CAP
CHECKED BY: SEN

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NOTES

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1801 E. Hwy 10, Suite 100
Fort Lauderdale, FL 33314
754.961.1806
754.961.1807
www.sr5inc.com

HEET NAME:

S-0

THRESHOLD INSPECTION PLAN

GENERAL:

- SPECIAL INSPECTOR SHALL BE LICENSED AND REGISTERED IN THE STATE OF FLORIDA, AND SHALL CARRY A MINIMUM ERROR AND OMISSION INSURANCE FOR \$100,000.00.
- SPECIAL INSPECTOR SHALL APPLY AND FILL OUT AN INSPECTION FORM WITH THE CITY OR COUNTY WHICH HAS JURISDICTION OVER THE PROJECT TO GET APPROVAL FROM EACH ENTITY PRIOR TO START INSPECTION.
- SPECIAL INSPECTOR SHALL VISUALLY INSPECT ALL STRUCTURAL COMPONENTS OF THE BUILDING TO ENSURE THAT THE WORK IS IN COMPLIANCE WITH THE APPROVED STRUCTURAL DOCUMENTS, SPECIFICATIONS, APPROVED SHOP DRAWINGS, AND ANY BOND AND SEALED ADDENDUM LETTERS OR SKETCHES BY THE STRUCTURAL ENGINEER OF RECORD.
- SPECIAL INSPECTOR CANNOT MODIFY DETAILS OR SPECIFICATION TO PLEASE CONTRACTOR UNLESS THE MODIFICATIONS ARE SUMMITED IN WRITING AND VIA SKETCHES TO THE CONTRACTOR TO THE STRUCTURAL ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO THE ACTUAL WORK.
- SPECIAL INSPECTOR SHALL ATTEND THE FIRST JOB SITE CONSTRUCTION MEETING TO COORDINATE WITH THE G.C. THE PHASES OF CONSTRUCTION AND THANK FOR THE INSPECTIONS. G.C. SHALL CALL AND E-MAIL THE INSPECTOR AHEAD OF THIS TO SCHEDULE ANY INSPECTION.
- SPECIAL INSPECTOR SHALL SUBMIT BOND AND SEALED WRITTEN REPORTS WEEKLY TO THE BUILDING DEPARTMENT. COPIES OF THESE REPORTS SHALL BE MAILED TO THE OWNER, ARCHITECT OF RECORD, STRUCTURAL ENGINEER OF RECORD, AND THE CONTRACTOR.
- REPORTS SHALL HAVE THE FOLLOWING ITEMS:
DATE, TIME, WEATHER CONDITION, ITEMS INSPECTED, LOCATION OF ITEMS INSPECTED.
ANY FAILED INSPECTION SHALL HAVE ITS OWN SUB-REPORT AND SHALL BE SIGNED BY THE G.C. OR THE SUPERINTENDENT IN CHARGE ACKNOWLEDGING THE DEFICIENCY.
- ONCE ALL THE INSPECTIONS OF THE STRUCTURAL COMPONENTS OF THE BUILDING ARE COMPLETED, THE SPECIAL INSPECTOR SHALL ISSUE A BOND AND SEALED FINAL CERTIFICATE OF COMPLETION STATING ALL THE REPORTS NUMBERS, AND THAT ALL THE STRUCTURAL ITEMS WERE INSPECTED AND IN COMPLIANCE WITH THE APPROVED STRUCTURAL DOCUMENTS, SPECIFICATIONS, APPROVED SHOP DRAWINGS, AND ANY BOND AND SEALED ADDENDUM LETTERS OR SKETCHES BY THE STRUCTURAL ENGINEER OF RECORD.

ITEMS TO HAVE PRIOR TO INSPECTION

SOIL REPORTS: MAKE SURE SIGNED AND SEALED GEOTECHNICAL REPORT IS AVAILABLE PRIOR TO STARTING ANY INSPECTION.
STRUCTURAL DOCUMENTS: MAKE SURE YOU HAVE A COPY OF THE LATEST STRUCTURAL DOCUMENTS.
SHOP DRAWINGS: MAKE SURE YOU HAVE THE LATEST APPROVED SHOP DRAWINGS.
CONCRETE INSPECTION: MAKE SURE YOU HAVE COPIES OF THE APPROVED MIXES.
SUBSURFACES: MAKE SURE SIGNED AND SEALED REPORTS FROM THE TESTING COMPANY REGARDING PASSING THE SOIL PREPARATION, COMPACTION AND DENSITY.

REMARKS TO BE INSPECTED:

FOUNDATION: SIZE (LENGTH, WIDTH, THICKNESS), REINFORCING (AMOUNT, SIZE, SUPPORT, COVERAGE, EMBEDMENT, LENGTH AND TYPE)
CONCRETE MIX (SPECIFICATION, SLUMP, CYLINDER FILLING, MAKE SURE A TESTING COMPANY REPRESENTATIVE IS DURING THE TESTS)
MONITOR CONCRETE POUR, NO ADDED WATER SHALL BE PERMITTED.

STEEL CHANNEL: SIZE, ANCHORING, WELDS

CONCRETE COLUMNS: SIZE (WIDTH, THICKNESS), REINFORCING (AMOUNT, SIZE, SUPPORT, COVERAGE, EMBEDMENT, LENGTH AND TYPE)
CONCRETE MIX (SPECIFICATION, SLUMP, CYLINDER FILLING, MAKE SURE A TESTING COMPANY REPRESENTATIVE IS DURING THE TESTS)
MONITOR CONCRETE POUR, NO ADDED WATER SHALL BE PERMITTED.

CONCRETE BEAMS: SIZE (WIDTH, THICKNESS), REINFORCING (AMOUNT, SIZE, SUPPORT, COVERAGE, EMBEDMENT, LENGTH AND TYPE)

CONCRETE MIX (SPECIFICATION, SLUMP, CYLINDER FILLING, MAKE SURE A TESTING COMPANY REPRESENTATIVE IS DURING THE TESTS)
MONITOR CONCRETE POUR, NO ADDED WATER SHALL BE PERMITTED.

STRUCTURAL STEEL (2ND FL. AND MEZZANINE)

STEEL COLUMN: SIZE, ANCHORING
STEEL BEAM: (LOCATION, ORIENTATION, SPACING, BEARING LENGTH)
STAR CASE: BEARING SIZE, WELDS
CONNECTIONS:
BRACKETS (SIZE, AMOUNT, LENGTH, SPACING, TOP/ENDS)
WELDS: MAKE SURE WELDS ARE DETAILLED, GET A COPY OF THE CERTIFICATION.
VISUALLY INSPECT WELD (PROPER LENGTH).
BRACING: SIZE, LOCATION, SPACING, WELD
STEEL CHANNELS: SIZE, SPACING, LOCATION.
VERIFY STEEL CORROSION PROTECTION AS PER SPECIFICATIONS.

UNIT MASONRY: REINFORCING (SIZE, SPACING, COVERAGE)

STEEL WALL LAYOUT

STEEL WALL LAYOUT

STEEL WALL LAYOUT

STEEL WALL LAYOUT

STEEL WALL LAYOUT

STEEL WALL LAYOUT

STEEL WALL LAYOUT

STEEL WALL LAYOUT

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STEEL WALL LAYOUT

STRUCTURAL STEEL

- STRUCTURAL STEEL CONSTRUCTION SHALL CONFORM WITH THE REQUIREMENTS OF THE "AISC'S SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL OR BALANCE", LATEST EDITION.
- STRUCTURAL STEEL PLACEMENT DRAWINGS AND MATERIAL LISTS SHALL CONFORM TO AISC'S STRUCTURAL STEEL DETAILING, LATEST EDITION.
- A FLORIDA LICENSED PROFESSIONAL ENGINEER AND SUBMITTED FOR REVIEW PRIOR TO FABRICATION. (SEE (S) 3.1)
- ALL STRUCTURAL MEMBERS AND WELDS SHALL CONFORM WITH ASTM A-36 UNLESS NOTED.
- SHOP CONNECTIONS SHALL BE WELDED IN ACCORDANCE WITH AWS D1.1, "STRUCTURAL WELDING CODE", USE EXTERIOR CONNECTIONS.
- ALL FIELD BOLTS SHALL BE ASTM A-324 3/4" BOLTS.
- STEEL TUBING TO BE ASTM A-500 GRADE (M40).
- WELD JOINTS SHALL BE 1/4" AND 3/8" AND 5/8" AND 1" AND 1 1/2" AND 2" AND 3" AND 4" AND 6" AND 8" AND 10" AND 12" AND 14" AND 16" AND 18" AND 20" AND 22" AND 24" AND 26" AND 28" AND 30" AND 32" AND 34" AND 36" AND 38" AND 40" AND 42" AND 44" AND 46" AND 48" AND 50" AND 52" AND 54" AND 56" AND 58" AND 60" AND 62" AND 64" AND 66" AND 68" AND 70" AND 72" AND 74" AND 76" AND 78" AND 80" AND 82" AND 84" AND 86" AND 88" AND 90" AND 92" AND 94" AND 96" AND 98" AND 100" AND 102" AND 104" AND 106" AND 108" AND 110" AND 112" AND 114" AND 116" AND 118" AND 120" AND 122" AND 124" AND 126" AND 128" AND 130" AND 132" AND 134" AND 136" AND 138" AND 140" AND 142" AND 144" AND 146" AND 148" AND 150" AND 152" AND 154" AND 156" AND 158" AND 160" AND 162" AND 164" AND 166" AND 168" AND 170" AND 172" AND 174" AND 176" AND 178" AND 180" AND 182" AND 184" AND 186" AND 188" AND 190" AND 192" AND 194" AND 196" AND 198" AND 200" AND 202" AND 204" AND 206" AND 208" AND 210" AND 212" AND 214" AND 216" AND 218" 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SYNAROVSKI/ROMANOWSKI
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Harriet Synarowski, AIA
AR 0061683
SEAL

LICENSE NO. AA32601843

Existing Building Renovation Plans for:
BOLDEN BUILDING

1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309

CLIENT: CITY OF FORT LAUDERDALE

REV	BY	DESCRIPTION
1	SR	ISSUED FOR PERMITTING
2	SR	REVISION
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DESIGN
DELIVERABLE:
ISSUE DATE: 10/31/2018

PROJECT NUMBER: 1535-180128

DRAWN BY: CAP

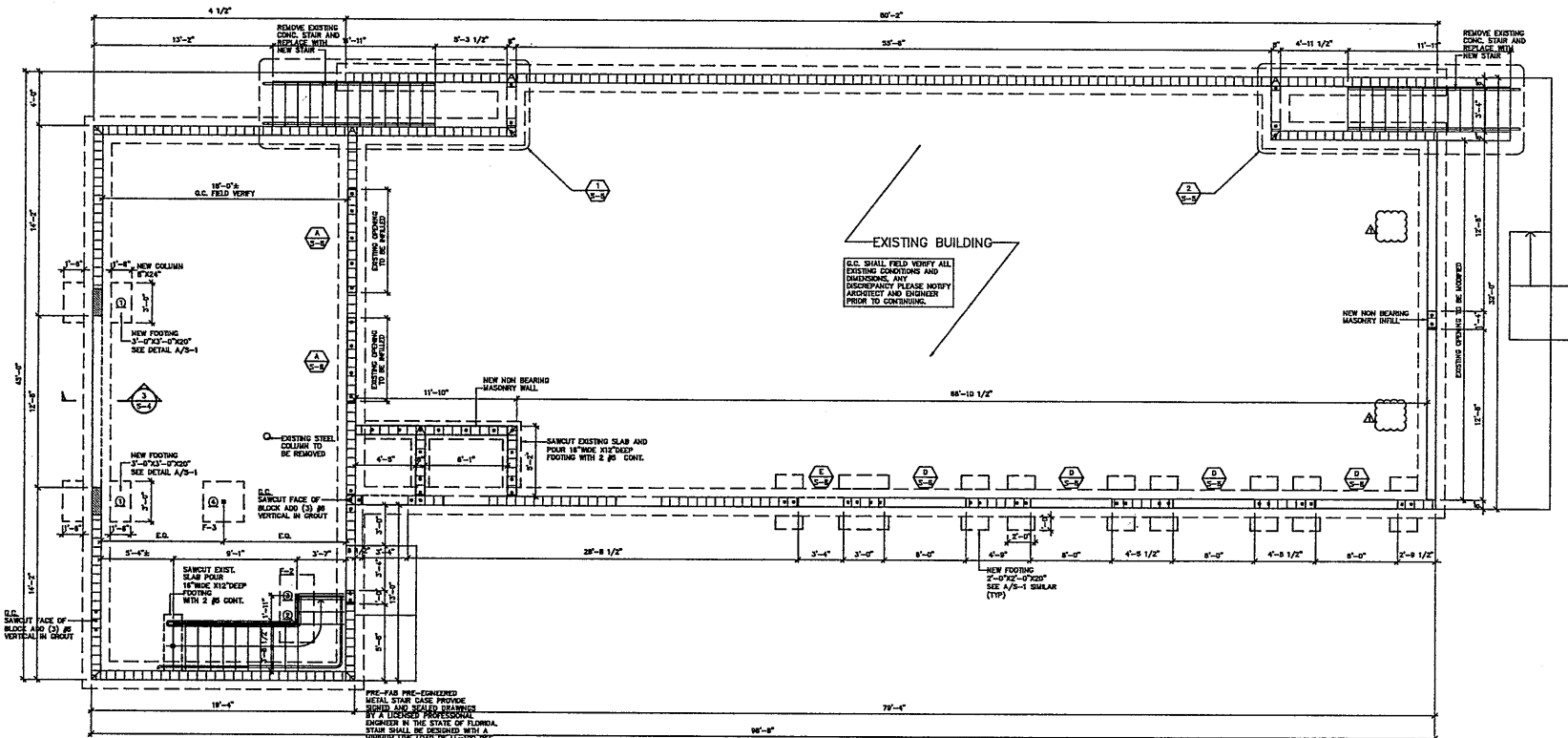
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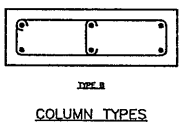
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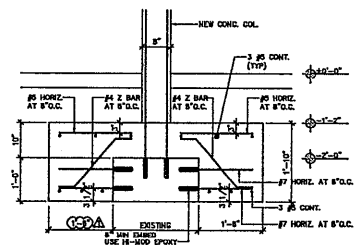
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COLUMNS			
WHEN VERTICAL STEEL IS SPACED 8" O.C. OR MORE HAIR PINE SHALL BE REQUIRED			
MARK	SIZE	VERT. / CAP PLATE	REMARKS
1	8" X 8"	8" #4	#4 AT 8" O.C.
2	10" X 10" X 1/2"	BY STAR ENGINEER	8" X 8" X 3/4" (3) 3/4" A.S.
3	10" X 10" X 1/2"	BY STAR ENGINEER	8" X 8" X 3/4" (3) 3/4" A.S.
4	10" X 10" X 1/2"	8" X 8" X 3/4" FULLY WELDED	8" X 8" X 3/4" (3) 3/4" A.S.



REINFORCED CONCRETE FOOTINGS			
CORNER BARS SHALL BE REQUIRED AT ALL FOOTING INTERSECTIONS AT 30 EACH DIRECTION			
MARK	SIZE	CONT.	REMARKS
F-1A	8" X 8"	8" #4	SEE A/S-1
F-2	8" X 8"	8" #4	SEE A/S-1
F-3	8" X 8"	8" #4	SEE A/S-1



EXISTING
FOOTING REINFORCING
SCALE: 3/4" = 1'-0"

R.C. SHALL FIELD VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS. ANY
DISCREPANCY PLEASE NOTIFY
ARCHITECT AND ENGINEER
PRIOR TO CONTINUING.



MODIFICATION
TO EXISTING BUILDING

SCALE: 1/4" = 1'-0"

- ELEVATION TOP OF EXISTING FOOTINGS TO BE -2'-0" G.C. FIELD VERIFY ASSUMED DATUM 84'-0" IS EQUAL TO FINISHED FLOOR SLAB.
- PROVIDE 1 #6 VERTICAL IN FILLER CELL ADJACENT TO ANY WINDOW AND DOOR OPENINGS WHERE NO COLUMN IS INDICATED. REIN. TO EXTEND FROM FOUNDATION TO BEAM ABOVE.
- ALL MASONRY WALLS TO HAVE #6 LADDER TYPE DURO WALL HORIZONTAL J ONLY REINFORCING EVERY 2ND BLOCK COURSE. EXISTING REINFORCING MINIMUM 4" INTO CONC. COLUMNS.
- ALL SLOPES, DRAINS AND RECESSES IN FLOOR SLAB, COORDINATE W/ ARCH. AND MECHANICAL DRAWINGS PRIOR TO POURING FLOOR SLAB.
- #6 INDICATES 1 #6 VERTICAL WELDED CELL AT AS SHOWN (TYP); DRILL AND DOWEL TOP AND BOTT. 8" MINIMUM EMBEDMENT USE 16-MOD EPOXY
- WHERE TWO FOOTINGS INTERSECT PROVIDE (3) #7 AT 8" O.C. TOP AND BOTTOM X 4'-0" LONG CENTER AT INTERSECTION (TYP)

SAID IL-HAGE P.E. #42300
CERTIFICATE OF AUTHORIZATION #00000001
JULY 2018-12/31



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Harriet Synalovsk, AIA
Professional Seal

LICENSE NO. A23001843

Existing Building Renovation Plans for: BOLDEN BUILDING

1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309

CLIENT: CITY OF FORT LAUDERDALE

NO.	DATE	DESCRIPTION
1	10/31/2018	EXISTING SECOND FLOOR EXTERIOR TO REMAIN
2	10/31/2018	EXISTING SECOND FLOOR EXTERIOR TO REMAIN
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100	10/31/2018	EXISTING SECOND FLOOR EXTERIOR TO REMAIN

DESIGN DELIVERABLE:
ISSUE DATE: 10/31/2018
PROJECT NUMBER: 1835-180432
DRAWN BY: CAP
CHECKED BY: KEM
Consulting Engineer's Seal
10/31/2018

EXISTING
2ND FLOOR

SAID EL-HAGE P.E. #42290
CONSULTING ENGINEERS, INC.
1001 N. W. 10th Ave., Suite 200
Fort Lauderdale, FL 33309
Phone: 954.561.4800 Fax: 954.561.4807
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MODIFICATION TO EXISTING 2ND FLOOR

SCALE: 1/4" = 1'-0"

1. SHORE UP EXISTING STEEL JOIST
2. CHIP CONCRETE THE BEAM AND REMOVE SPALLING CONCRETE
3. CHIP AROUND RUSTED REBARS AND PASS 12" EACH END
4. CLEAN OUT ALL DUST AND DEBRIS
5. WELL #6 HORIZONTAL TO EXIST.
6. APPLY SEALANT
7. APPLY SEALANT

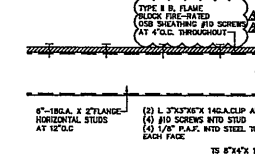
PER F.E.C. 2017, 8TH EDITION
ASCE 7-10
V-170 MPH (ULTIMATE)
V-170 MPH (ULTIMATE)
EXPOSURE - C
ROOF CATEGORY - II
ENCLOSED BUILDING
SCHEDULE 40
ROOF MEAN HEIGHT
FG - 40.0
FG - 40.0
FG - 40.0

E.C. SHALL FIELD VERIFY ALL
EXISTING CONDITIONS AND
DIMENSIONS. ANY
DISCREPANCY PLEASE NOTIFY
ARCHITECT AND ENGINEER
PRIOR TO CONTINUING.



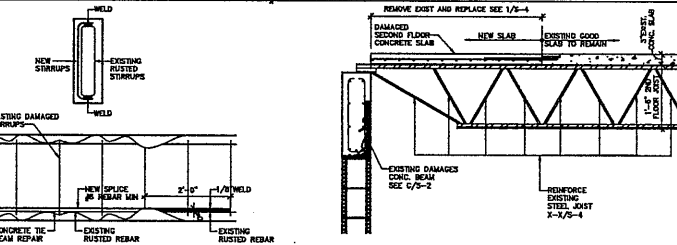
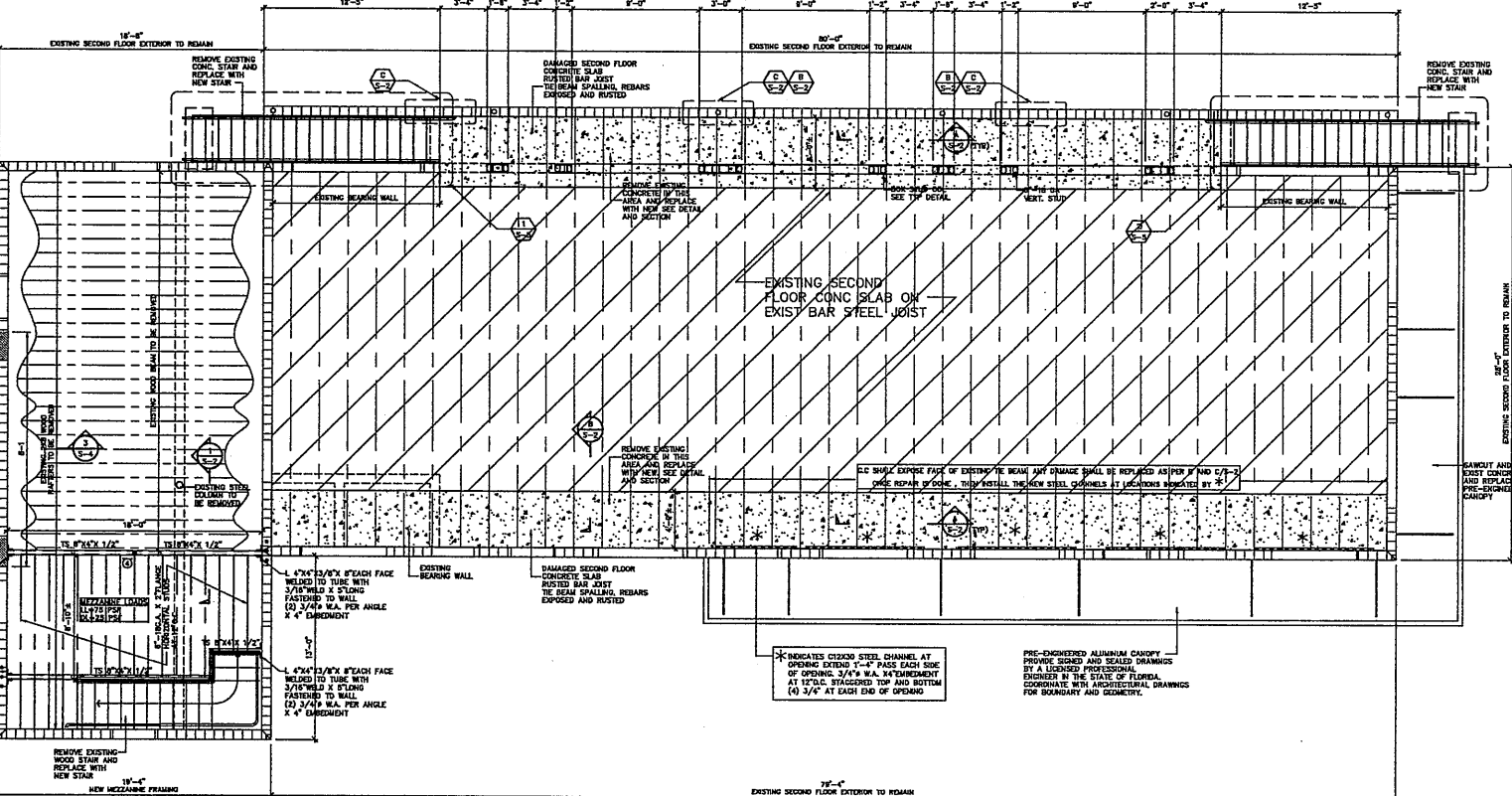
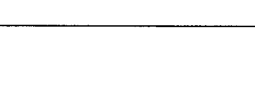
DETAIL (EXIST 2ND FLOOR)

SCALE: 3/4" = 1'-0"



DETAIL (NEW MEZZANINE FRAMING)

SCALE: 3/4" = 1'-0" (HORIZONTAL STUD TO FACE OF STEEL TUBE)



DETAIL

SCALE: 3/4" = 1'-0"

DAMAGED CONCRETE BEAM REPAIR NOTES:

1. CHIP EXIST DAMAGED AND SPALLING CONCRETE (CHOP UNTIL U REACH SOUND CONCRETE)
2. EXPOSE EXISTING REBARS (ALL RUSTED REBARS AND STIRRUPS HAS TO BE EXPOSED)
3. SAND BLAST THE REMAINING STEEL
4. WIRE BRUSH ALL RUSTED STEEL AND CLEAN IT
5. PROVIDE #6 HORIZONTAL REINFORCING ADJACENT TO EXISTING RUSTED ONE (EXTEND 2'-0" PASS RUST, WELD WITH 1/8" ROD X 1' LONG EVERY 3' O.C.)
6. PROVIDE #6 OPEN STIRRUPS WELD TO EXISTING RUSTED ONE OVERLAP 4" MIN USE 1/8" FULLY WELD
7. APPLY BONDING AGENT
8. APPLY Sika ADD MIXTURE CONCRETE 5,000 PSI MIN

PRE-ENGINEERED ALUMINUM CANOPY
PROVIDE SIGNED AND SEALED DRAWINGS
BY A LICENSED PROFESSIONAL
ENGINEER IN THE STATE OF FLORIDA.
COORDINATE WITH ARCHITECTURAL
DRAWINGS FOR BOUNDARY AND GEOMETRY.



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Architect Synalowski, AIA
28 0351603
SEAL

LICORSE NO. AA38001843

Existing Building Renovation Plans for: BOLDEN BUILDING

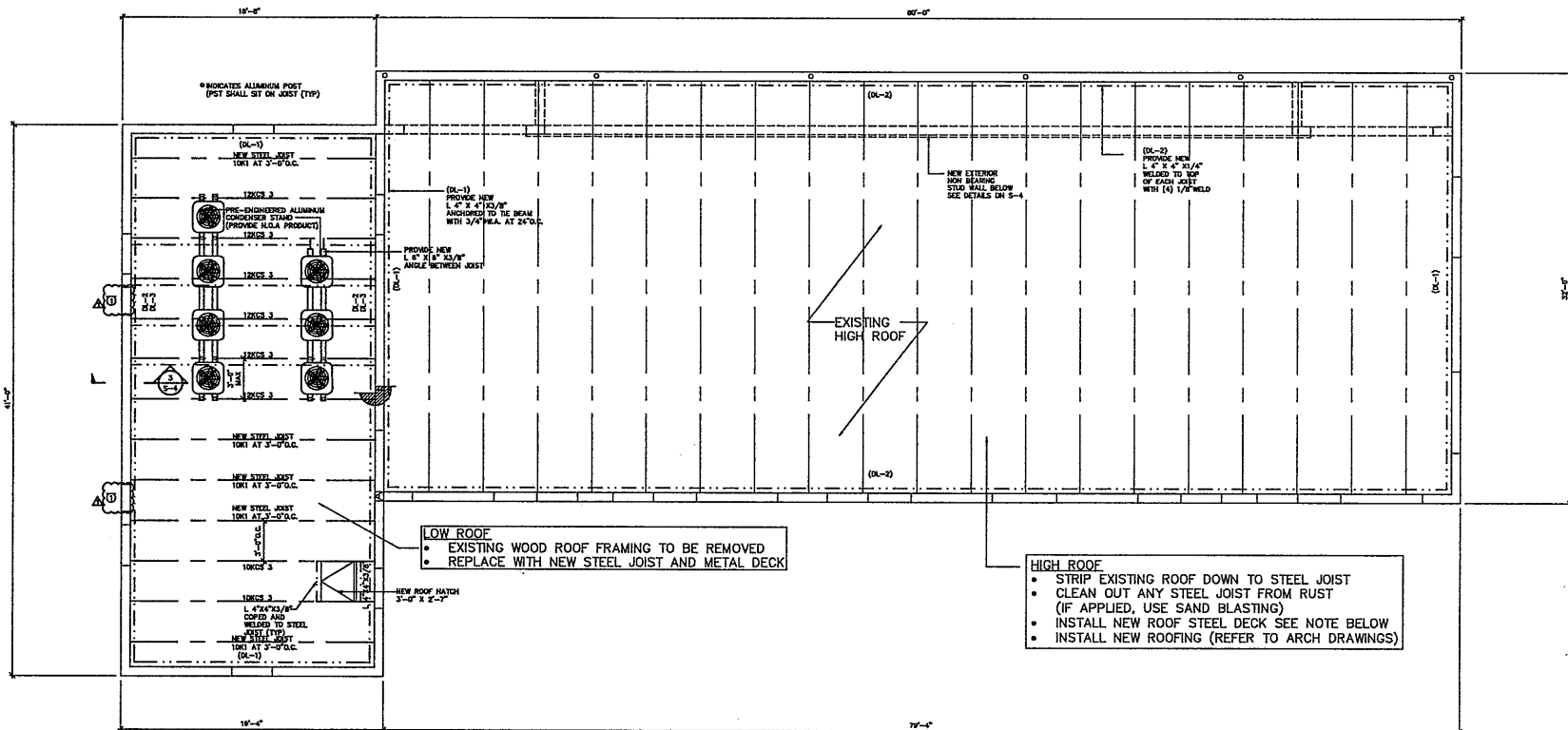
1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE

REV	DATE	DESCRIPTION
1	10/31/2018	ISSUED FOR PERMIT REVIEW

DESIGN DELIVERABLE:
ISSUE DATE: 10/31/2018
PROJECT NUMBER: 1935-180435
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CHECKED BY: SEN
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EXISTING
ROOF PLAN

SHEET NUMBER:
S-3

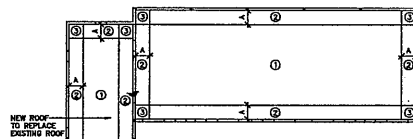
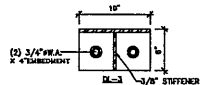


LOW ROOF
• EXISTING WOOD ROOF FRAMING TO BE REMOVED
• REPLACE WITH NEW STEEL JOIST AND METAL DECK

HIGH ROOF
• STRIP EXISTING ROOF DOWN TO STEEL JOIST
• CLEAN OUT ANY STEEL JOIST FROM RUST (IF APPLIED, USE SAND BLASTING)
• INSTALL NEW ROOF STEEL DECK SEE NOTE BELOW
• INSTALL NEW ROOFING (REFER TO ARCH DRAWINGS)

LOW ROOF
ROOF JOIST MEMBRANE BASED ON 10.56 FT.
ZONE 1 PUP = C-100/A
ZONE 2 PUP = C-100/A
ZONE 3 PUP = C-100/A
NEW ROOF DECK
@ 1 1/2" - 22GA, TYPE B G-90 GALVANIZED
FASTENERS
SUPPORT - 3/4" (5/8" PIVOT WELD)
SKELAP - 10 #10 TEX SCREWS
PERIMETER - 5/8" PIVOT WELD AT 8" O.C.
ROOF DESIGN LOADS:
- LIVE LOAD: 30 PSF
- DEAD LOAD: 30 PSF

- DL-3 INDICATES 18" X 41" X 2" L.V. STEEL ANGLE PROVIDE NEW (SITS UNDER EACH STEEL JOIST SEAT)
- DL-2 INDICATES 1 1/2" X 4" X 1/4" ANGLE WELDED TO TOP OF STEEL JOIST WITH 4" X 4" X 3/8" ANGLE WELD (TYP)
- DL-1 INDICATES 1 1/2" X 4" X 3/8" ANGLE WELD WITH 3/4" P.W.A. AT 24" O.C. X 4" EMBROIDMENT



HIGH ROOF
ROOF JOIST MEMBRANE BASED ON 10.56 FT.
ZONE 1 PUP = C-100/A
ZONE 2 PUP = C-100/A
ZONE 3 PUP = C-100/A
NEW ROOF DECK
@ 1 1/2" - 22GA, TYPE B G-90 GALVANIZED
FASTENERS
SUPPORT - 3/4" (5/8" PIVOT WELD)
SKELAP - 10 #10 TEX SCREWS
PERIMETER - 5/8" PIVOT WELD AT 8" O.C.
ROOF DESIGN LOADS:
- LIVE LOAD: 30 PSF
- DEAD LOAD: 25 PSF

MODIFICATION TO EXISTING ROOF

SCALE: 1/4" = 1'-0"

NOTE: SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. ANY DISCREPANCY PLEASE NOTIFY ARCHITECT AND ENGINEER PRIOR TO CONTINUING.

PER F.L.C. 2017, 8TH EDITION
ASCE 7-10
10-10 WIND (ULTIMATE)
Y NORMAL DESIGN-135.6 MPH
EXPOSURE - C
RISK CATEGORY - II
ENCLOSURE BUILDING
COEF=0.85
ROOF MEAN HEIGHT
Kz=0.90
Kd=0.85
A-C-SET

SAAD EL-HAGE P.E. #42200
CERTIFICATE OF AUTHORIZATION #00000001
JUNE 218-104



SYNAGLOVE ROMANTICISTS

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F584561-0027
www.srsinc.com

Harriet Symonov, AIA
AS 0515102
SEAL

LICENSE NO. A22601943

Existing Building Renovation Plans for:
BOLDEN BUILDING
1227 NW 5TH ST.
FORT LAUDERDALE, FL 33309

CLIENT: CITY OF FORT LAUDERDALE

REV	DATE	DESCRIPTION
1	10/13/2018	ISSUED FOR PERMIT

DESIGN DELIVERABLE:
ISSUE DATE: 10/13/2018

PROJECT NUMBER: 1535-180428
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CHECKED BY: EDN

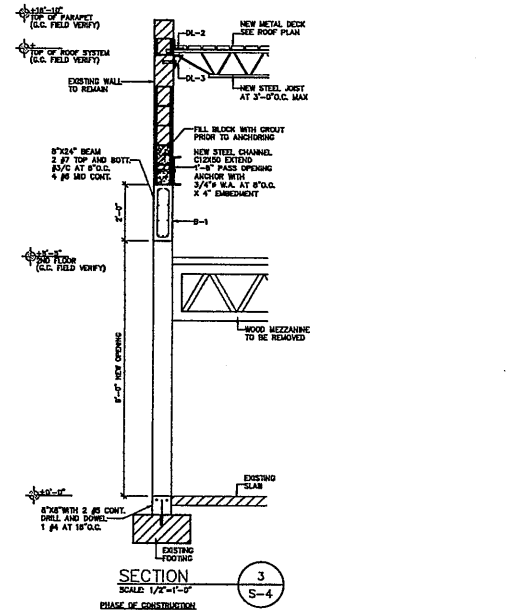
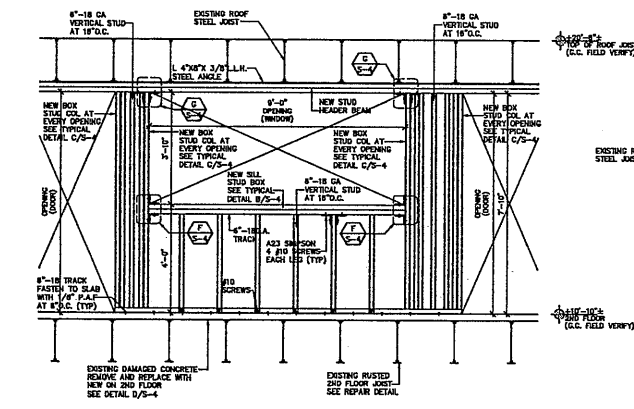
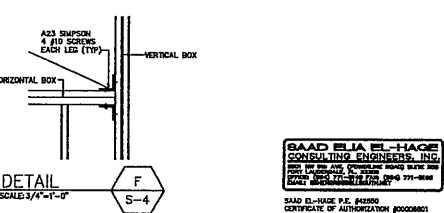
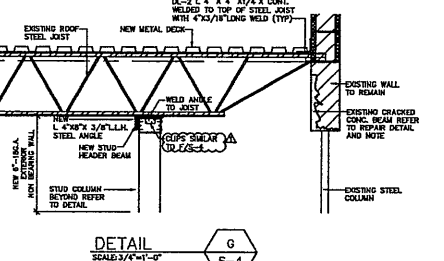
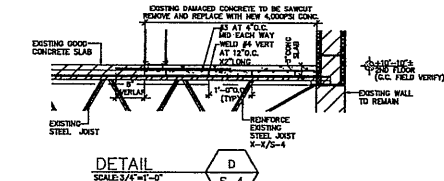
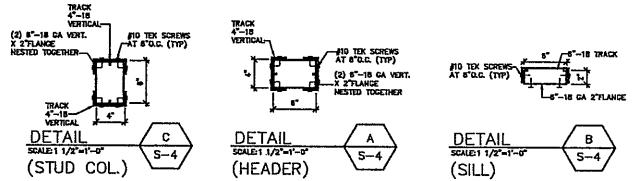
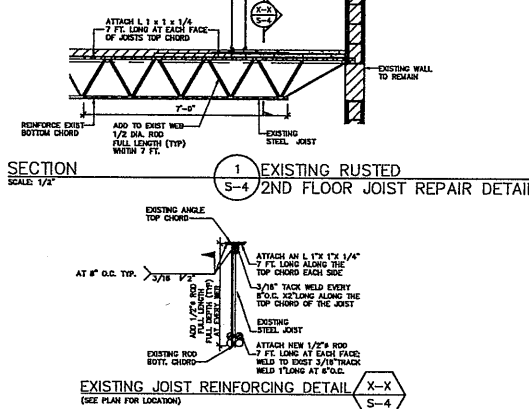
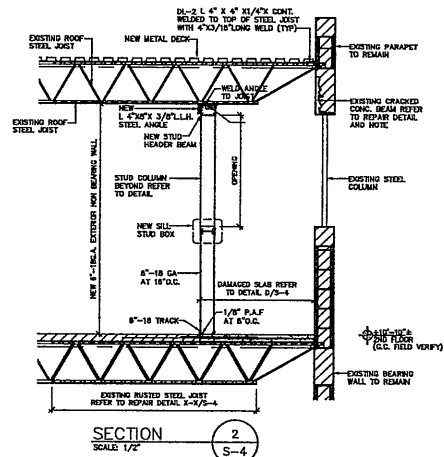
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DETAILS

SHEET NUMBER:
S-4

SAAD EL-HAGE
CONSULTING ENGINEERS, INC.
1001 NW 10TH AVE., SUITE 200
FORT LAUDERDALE, FL 33311
PHONE: 754-551-1111
FAX: 754-551-1112
WWW.SAAD-EL-HAGE.COM

SAAD EL-HAGE P.E. #42800
CERTIFICATE OF AUTHORIZATION #00000001
JULY 2016-034



- 1. CUT SLAB AT NEW FOOTING LOCATION**
2. POUR NEW FOOTING
3. CUT VERTICAL IN EXISTING BLOCK AT NEW COLUMN LOCATION
4. "POUR NEW CONCRETE BLOCK" (NEW CONCRETE EXIST TO EXIST FROM FOOTING UP TO EXISTING ROOF THE BEAM)
5. CONCRETE COLUMN DRILL AND DOWEL INTO EXISTING FOOTING BELOW AND EXISTING ROOF BEAM ABOVE 3" MIN. DOWEL USE AS WAS FORM
6. PROVIDE HORIZONTAL STEEL CHANNEL AND ANCHOR ABOVE TO HOLD EXISTING BLOCK ABOVE
7. SAWCUT EXISTING BLOCK IN NEW OPENING AND REMOVE
8. POUR NEW CONCRETE BEAM
NO HAMMERING ALLOWED



Harriet Synelowski, AIA
AR 0017683
SEAL

LICENSE NO. AA26001M3

1227 NW 6TH ST.

CLIENT: CITY OF FORT LAUDERDALE

DESIGN
DELIVERABLE:
ISSUE DATE: 10/31/2018

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ISSUE DATE: 10/31/2018

PROJECT NUMBER: 1535-180423

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CHECKED BY: SEM

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NEXT ITEM:

STAIR SECTIONS

100

1

1

Well lunch:

С Б

3-3

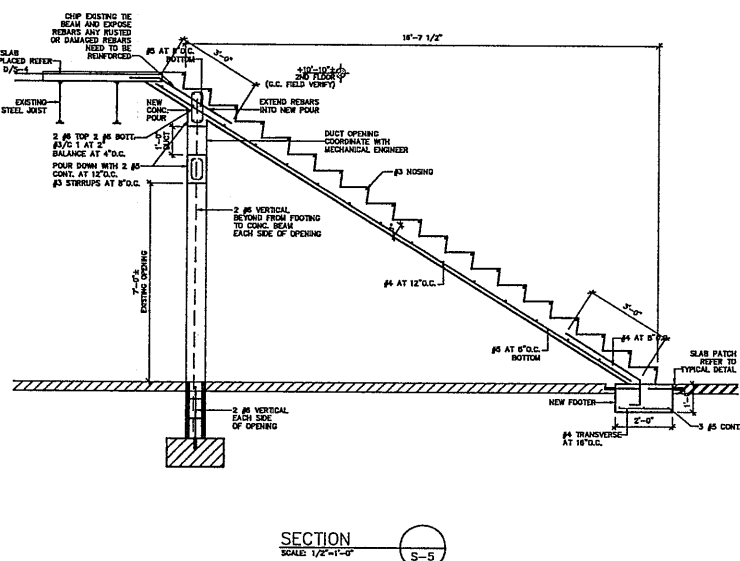
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Exhibit 4

100

of 90

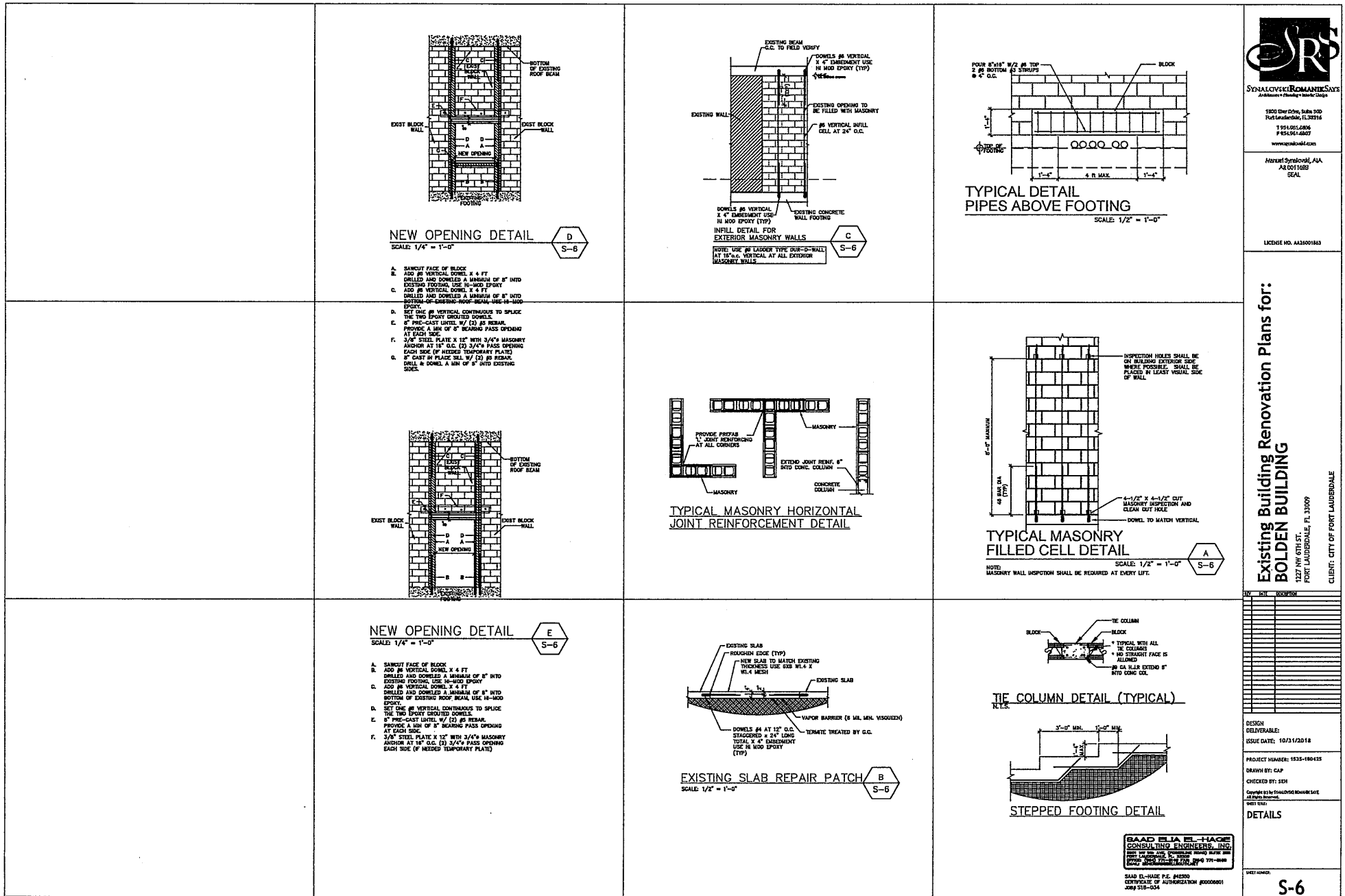


SAAD ELIA EL-HAG
CONSULTING ENGINEERS, INC.

SAAD EL-HADE P.E. #42550
 CERTIFICATE OF AUTHORIZATION #00006801
 DBA 518-DXA

ORDER NUMBER

S-5





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www.srsarchitect.com

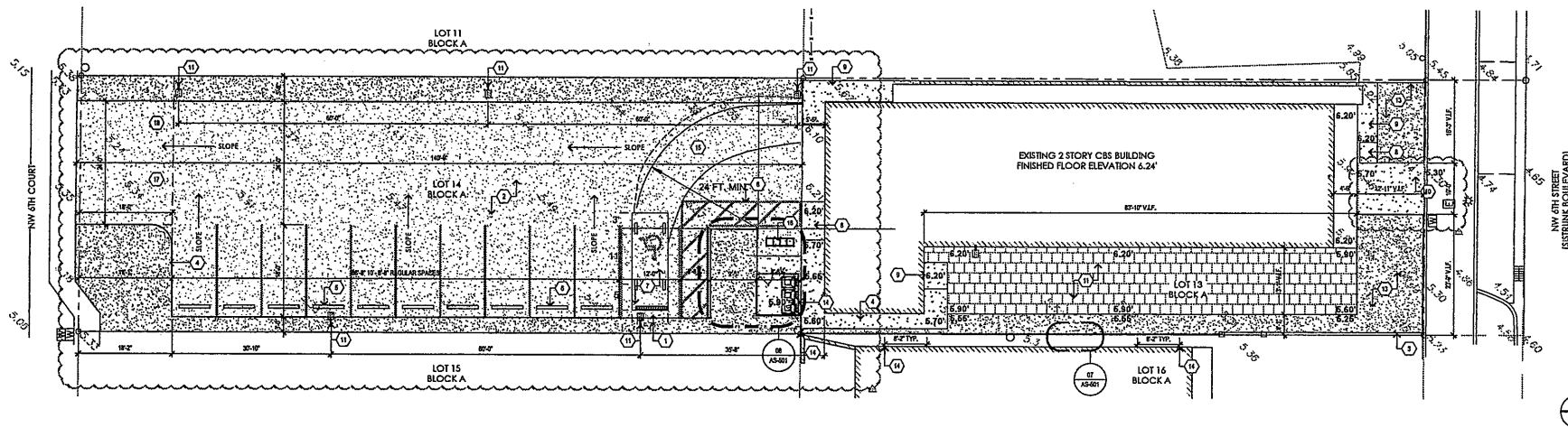
Marek Sygalowski, AIA
JAN051162B
SEAL

LICENSE NO. A238001863

EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BUILDING



1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE CRA



2 ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'

- 1 PROVIDE ACCESSIBLE PARKING SPACE AT EACH ACCESSIBLE PARKING SPACE. SEE DETAIL 01AS-01.
- 2 MILL AND REPLACE ASPHALT PAVING. PROVIDE NEW STRIPING PER PLAN.
- 3 NEW 12" CONCRETE CURB - SEE DETAIL 01AS-01.
- 4 NEW CONCRETE SIDEWALK FLUSH WITH ASPHALT. SEE DETAIL 01AS-01.
- 5 RUBBER PARKING BUMPERS - NEW IF RECYCLED RUBBER PARKING BLOCK.
- 6 PAINTED PARKING MARKINGS - SEE DETAIL 01AS-01.
- 7 TYPICAL ACCESSIBLE PARKING SPACE WITH ACCESSIBLE PAVEMENT MARKING. SEE DETAIL 01AS-01.
- 8 NEW ACCESSIBLE CURB RAMP FROM NEW SIDEWALK TO EXISTING RAISED SIDEWALK. SLOPE MAX 1:5.
- 9 NEW ACCESSIBLE PARKED RAMP LANDSCAPE. SLOPE MAX 2:1.
- 10 EXISTING TO REMAIN SIDEWALK.
- 11 NEW CONCRETE ORNAMENTAL POLE WITH LED LIGHT FIXTURE (MAX 11 FEET TALL) BY VERNAPLEX LIGHTING.
- 12 NEW CONCRETE PAVEMENT.
- 13 NEW PLANTING AREA.
- 14 NEW PVC FENCING - SEE DETAIL 01AS-01.

1. PROJECT 1013 BROWARD AVENUE, EFFECTIVE THROUGH ALL APPLICANTS TO PROVIDE CONTRACT DOCUMENTS SIGNED BETWEEN OWNER AND CONTRACTOR REGARDING THE TOTAL VALUE OF WORK, INCLUDING MATERIALS AND LABOR, FOR WHICH THE PERMIT IS BEING ISSUED.
2. PROJECT 1013 BROWARD AVENUE, PROVIDE LEGIBLE INVOICES OF HOAS AND/OR FLORIDA PRODUCT APPROVALS FOR THE HOAS REVIEWED, ACCEPTED, BILLED AND SHIPPED BY THE ARCHITECT OR ENGINEER OF RECORD CONFIRMING THAT THE CONTRACTOR MEETS THE PERFORM REQUIREMENTS OF THE PLAN, A, HANDBOOK, LOGS AND STATEMENTS, ETC. ETC.
3. PROJECT 1013 BROWARD AVENUE, PROVIDE LEGIBLE INVOICES OF HOAS AND/OR FLORIDA PRODUCT APPROVALS FOR THE HOAS REVIEWED, ACCEPTED, BILLED AND SHIPPED BY THE ARCHITECT OR ENGINEER OF RECORD CONFIRMING THAT THE CONTRACTOR MEETS THE PERFORM REQUIREMENTS OF THE PLAN, A, HANDBOOK, LOGS AND STATEMENTS, ETC. ETC.
4. PROJECT 1013 BROWARD AVENUE, PROVIDE SEPARATE PERMIT AND SHOP DRAWINGS FOR CANOPY, SHOP DRAWINGS REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER.
5. PROJECT 1013 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PRODUCT APPROVAL INVOICES REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE VISIT THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.GOV/HOMEANDBUSINESS/DOCUMENTS/1013](http://www.fortlauderdale.gov/homeandbusiness/documents/1013)
6. PROJECT 1013 BROWARD AVENUE, PROVIDE SEPARATE PERMIT APPLICATION FOR CANOPY ENCLOSURE WITH ENGINEERED PLANS FOR POLES OVER 8 FEET, PROVIDE SHOP DRAWINGS FOR THE GATE.

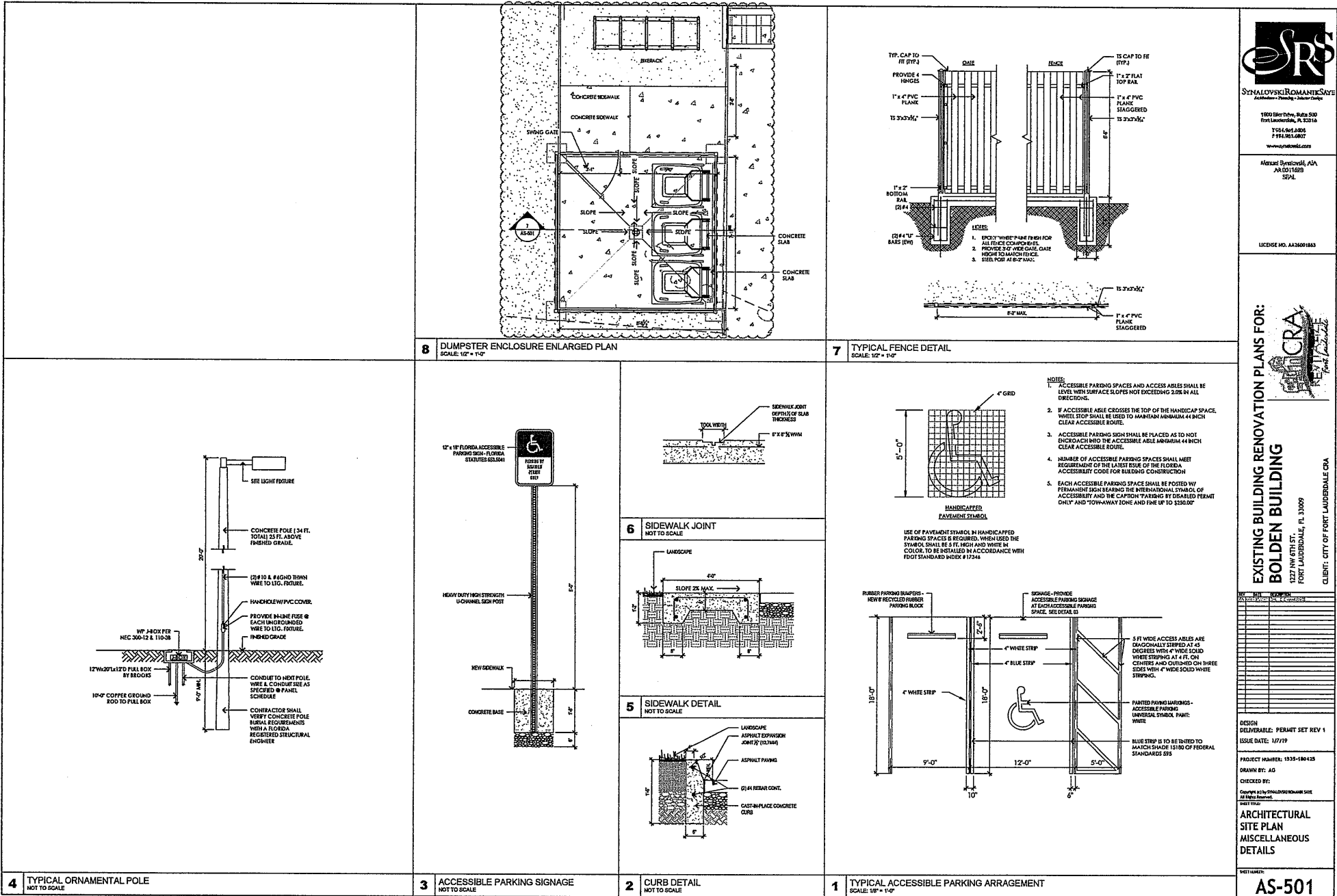
1 ARCHITECTURAL SITE PLAN NOTES

DESIGN
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ISSUE DATE: 1/17/19

PROJECT NUMBER: 1935-180425
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ARCHITECTURAL
SITE PLAN

SHEET NUMBER:
AS-101



SYNALOVSKI ROMANTIC
ARCHITECTS
1800 Silver Lake, Suite 300
Fort Lauderdale, FL 33316
TEL: 561-480-1807
WWW.SRARCHITECTS.COM

Michael Sydalowski, AIA
JANUARY 15, 2019
SEAL

LICENSE NO. AA36001883

EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BUILDING
1227 NW 6TH ST.
FORT LAUDERDALE, FL 33609
CLIENT: CITY OF FORT LAUDERDALE CRA

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ARCHITECTURAL SITE PLAN
MISCELLANEOUS DETAILS

AS-501



Markus Synthesis, AIA
AR 05:1628
SEN.

LICENSE NO. AA26001843

EXISTING BUILDING RENOVATION PLANS FOR: BOLDEN BUILDING



1. *Journal of the American Medical Association*, 2000; 283: 2689-2694.

[illegible]

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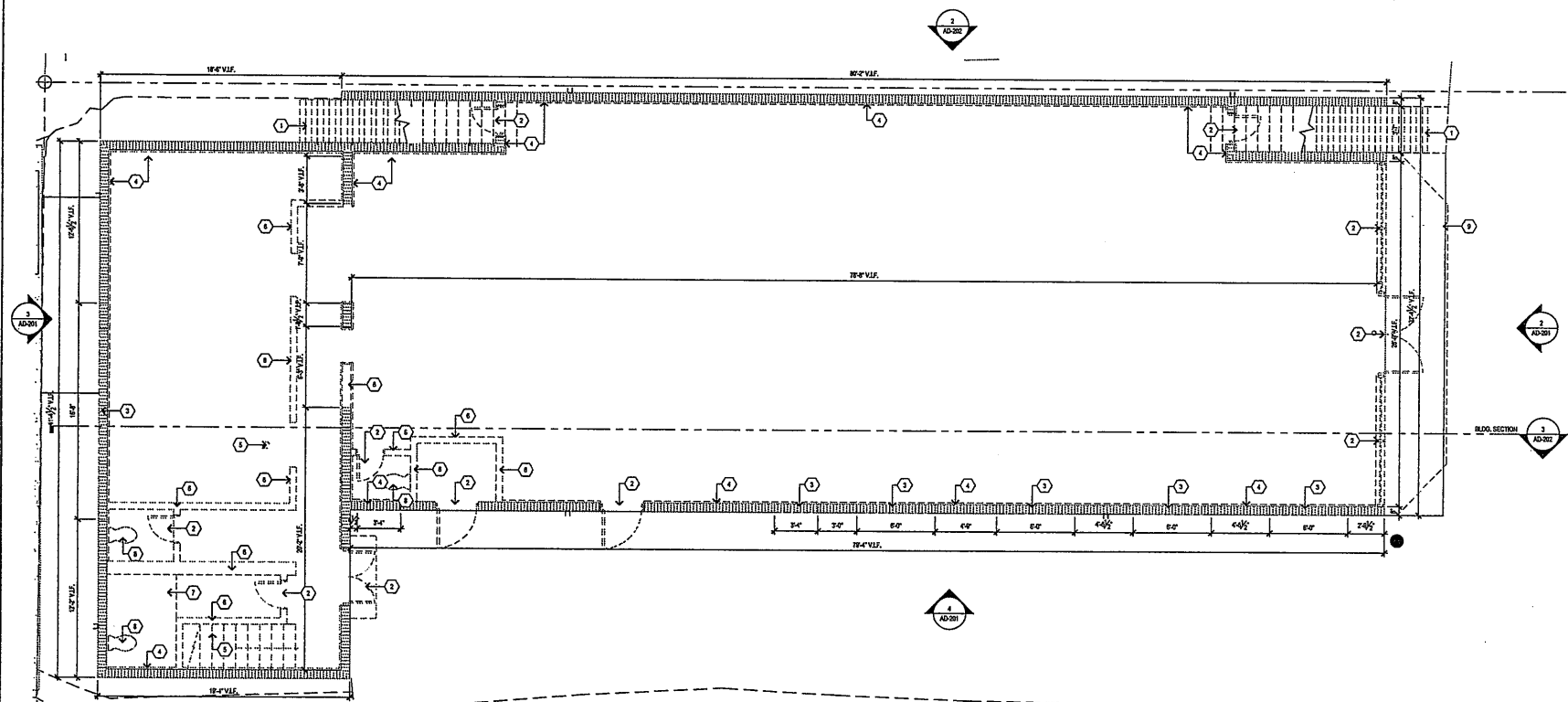
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DRAWN BY: AG

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SHEET TITLE:

**FIRST FLOOR
DEMOLITION PLAN**

1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26

AD-101



2 EXISTING 1st LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

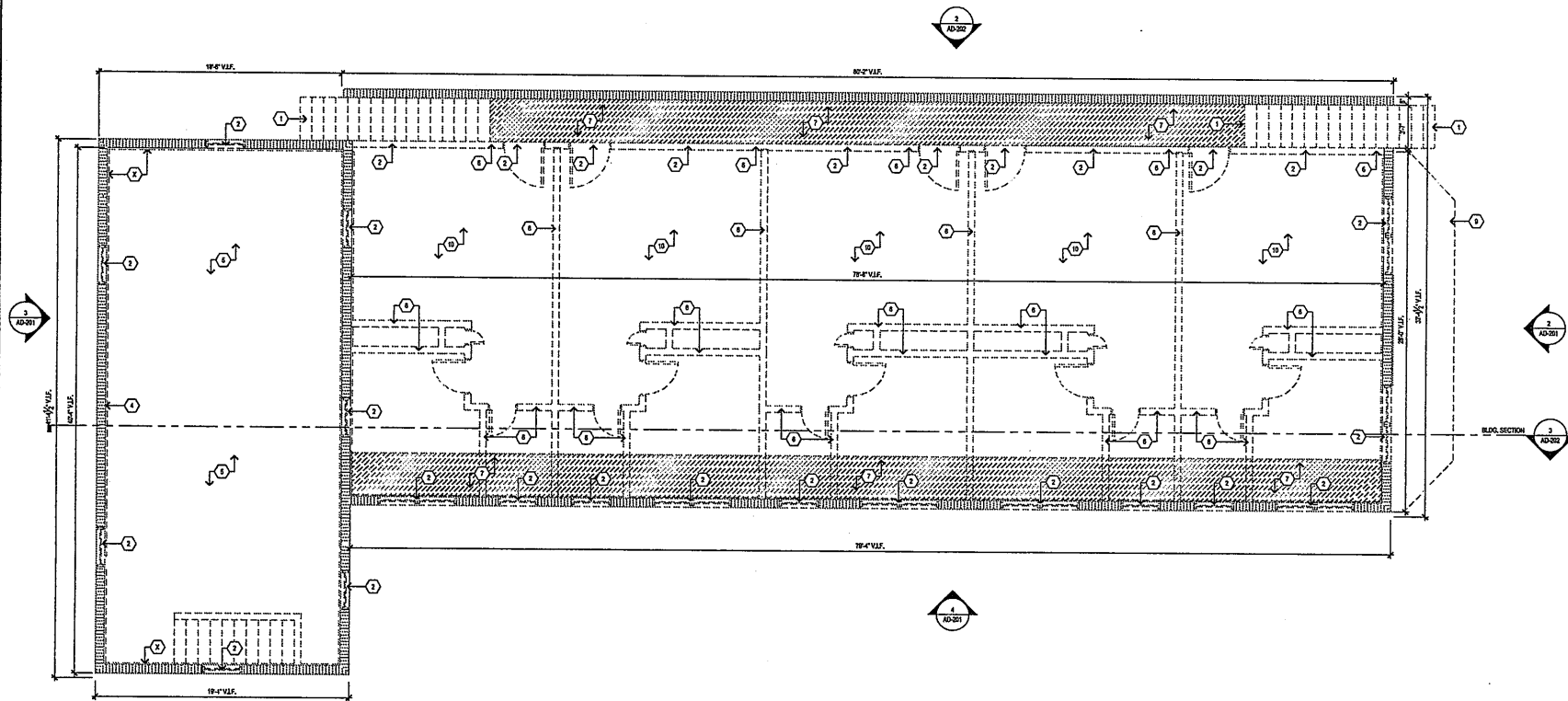
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1	DEMOLITION NOTES AND FLOOR PLAN KEYNOTE LEGEND
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DEMOLITION NOTES:

- 1 EXISTING CONCRETE STAIRS TO SECOND FLOOR TO BE DEMOLISHED.
- 2 REMOVE AND DISPOSE ALL EXISTING DOORS, WINDOWS AND WINDOWS, PROTECT BUILDING FROM INTERIOR ALL AT TIMES.
- 3 NEW OPENINGS AT EXISTING CORREAR WALL, MANTAIN STRUCTURAL STABILITY OF WALL AT ALL TIMES. FOLLOW STRUCTURAL RECOMMENDATIONS, SEE STRUCTURAL PLANS FOR DETAILS.
- 4 REMOVE AND DISPOSE INTERIOR WALL FINISHES AND FRAMING. PREPARE WALL FOR NEW FINISH.
- 5 REMOVE AND DISPOSE EXISTING MEZZANINE WOOD AND STEEL STRUCTURE AND ALL AT TIMES.
- 6 REMOVE EXISTING WALL PARTITION.
- 7 PARTIAL FLOOR SLAB TO BE DEMOLISHED.
- 8 REMOVE AND DISPOSE EXISTING PLUMBING FIXTURES.
- 9 CONCRETE EXTERIOR TO BE DEMOLISHED.
- 10 REMOVE ALL EXISTING FLOOR FINISHES, INTERIOR PARTITIONS, FURNITURE, COUNTERS, CEILING FINISHES, PLACERS, RENTED EQUIPMENT, MECHANICAL AND ALL AT TIMES.
- 11

- 10 REMOVE ALL EXISTING FLOOR FINISHES, INTERIOR PARTITIONS, FURNITURE, CABINETS, CEILING FINISHES, FASCIAS, KITCHEN EQUIPMENT, MECHANICAL AND PLUMBING EQUIPMENT.**



2 EXISTING 2ND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

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DEMOLITION NOTES:

- 1 REMOVE EXISTING CONCRETE SLABS TO SECOND FLOOR FLOOR TO BE DEMOLISHED.
- 2 DEMOLISH AND DISPOSE ALL EXISTING STRENGTHOLDS, DOORS AND WINDOWS. PORTAL BUILDING FROM INTERIORS AT ALL TIMES.
- 3 NEW HORIZONTAL AT EXISTING CAN BE EXPOSED WALL. MAINTAIN STRUCTURAL INTEGRITY AT ALL TIMES. PROVIDE PROTECTIVE BRACING AND SHORING. PROVIDE STRUCTURAL RECOMMENDATIONS. SEE STRUCTURAL PLANS FOR DETAILS.
- 4 REMOVE AND DISPOSE INTERIOR WALLS FINISHED AND DRYWALL. PROVIDE PROTECTIVE BRACING AND SHORING.
- 5 REMOVE AND DISPOSE EXISTING MEZZANINE WOOD AND STEEL STRUCTURE AND NEW FLOOR.
- 6 REMOVE EXISTING HALL PARTITION.
- 7 PARTIAL FLOOR SLAB TO BE DEMOLISHED.
- 8 REMOVE AND DISPOSE EXISTING PLUMBING FEATURES.
- 9 REMOVE EXTERIOR TO BE DEMOLISHED.
- 10 REMOVE ALL EXISTING FLOOR FINISHES, INTERIOR PARTITIONS, FURNITURE, CABINETS, CEILING FINISHES, FASCIA, INTERIOR WALLS, MECHANICAL AND PLUMBING EQUIPMENT, AND ELECTRICAL WIRING, ROOF SYSTEMS.

1 DEMOLITION NOTES AND FLOOR PLAN KEYNOTE LEGEND

1

[illegible]

DESIGN
DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 1/7/19

PROJECT NUMBER: 1535-180425

DRAWN BY: AG

CHECKED BY:

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DATE & TITLE:

SECOND FLOOR

DEMOLITION PLAN

1

REFUGEE:

AD 102

AD-102

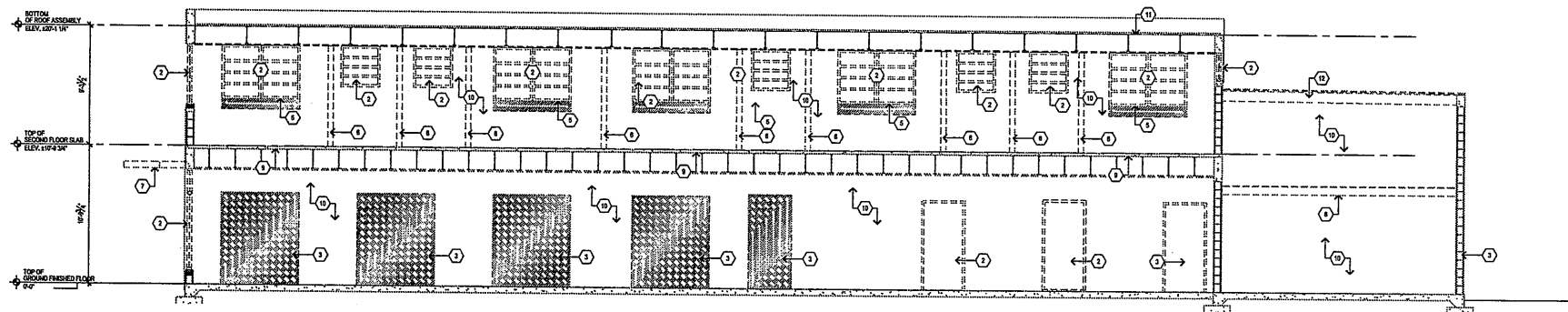
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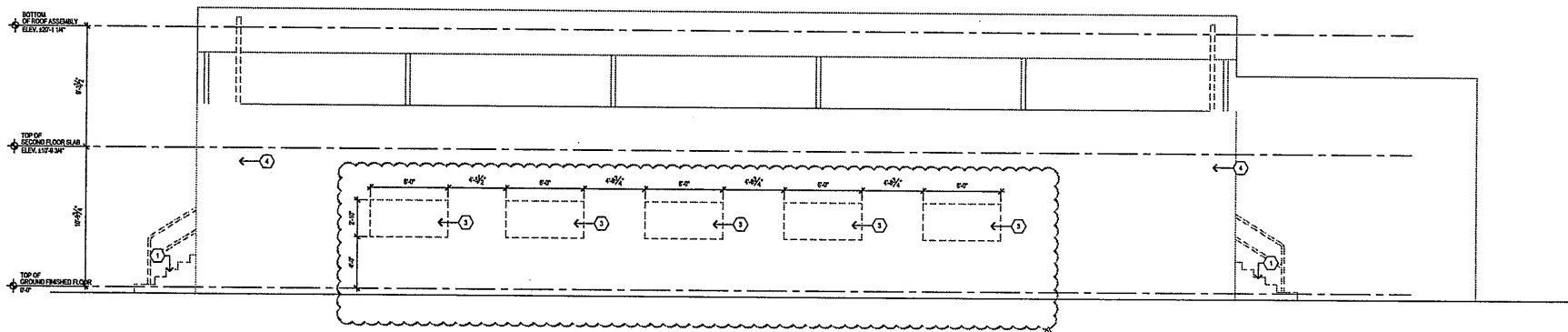
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4

90



3 EXISTING BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 EXISTING BUILDING EAST ELEVATION
SCALE: 1/4" = 1'-0"

- [illegible]

- [illegible]

- [illegible]

DEMOLITION NOTES:

- | NO. | DESCRIPTION | NO. | DESCRIPTION |
|-----|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|---------------------------------------------------------|
| 1 | EXISTING CONCRETE STAIRS TO SECOND FLOOR TO BE DEMOLISHED. | 12 | EXISTING ROOF AND WOOD ROOF STRUCTURE TO BE DEMOLISHED. |
| 2 | REMOVE AND DISPOSE ALL EXISTING ELECTRONICS, DOORS AND WINDOWS. PROTECT BUILDING FROM INTRUSION AT ALL TIMES. | | |
| 3 | NEW OPENINGS AT EXISTING CML BEARING WALL. MAINTAIN STRUCTURAL STABILITY OF WALL AT ALL TIMES. FOLLOW STRUCTURAL RECOMMENDATIONS, SEE STRUCTURAL PLANS FOR DETAILS. | | |
| 4 | REMOVE ALL EXISTING DOWNSPUTS AND GUTTERS | | |
| 5 | ENLARGED OPENINGS FOR NEW WINDOW SIZES AT CML WALL. FINAL OPENING SIZE WILL BE DETERMINED BY WINDOW SUBMITTAL AND SHOP DRAWINGS. | | |
| 6 | REMOVE EXISTING WALL PARTITION. | | |
| 7 | CONCRETE EXTERIOR TO BE DEMOLISHED. | | |
| 8 | REMOVE AND DISPOSE EXISTING MIZZANNE WOOD AND STEEL STRUCTURE AND STAIRS. | | |
| 9 | PARTIAL FLOOR SLAB TO BE DEMOLISHED. | | |
| 10 | REMOVE ALL EXISTING FLOOR FINISHES, INTERIOR PARTITIONS, PAINTWORK, CABINETS, CEILING, PLUMBING, KITCHEN EQUIPMENT, MECHANICAL AND PLUMBING EQUIPMENT, AND ELECTRICAL WIRES, BOXES AND CONDUITS. | | |
| 11 | EXISTING ROOF TO BE SELECTIVELY DEMOLISHED. SEE STRUCTURAL DRAWINGS FOR ROOF REMAIN. ALL STEEL LEFT EXISTING TO REMAIN. | | |

1	DEMOLITION NOTES AND FLOOR PLAN KEYNOTE LEGEND
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Monica Synnott, AL
AR00:1623
SEN

LICENSE NO. A4360184



EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BUILDING

1227 NW 6TH ST.
FORT LAUDERDALE, FL 33009

100

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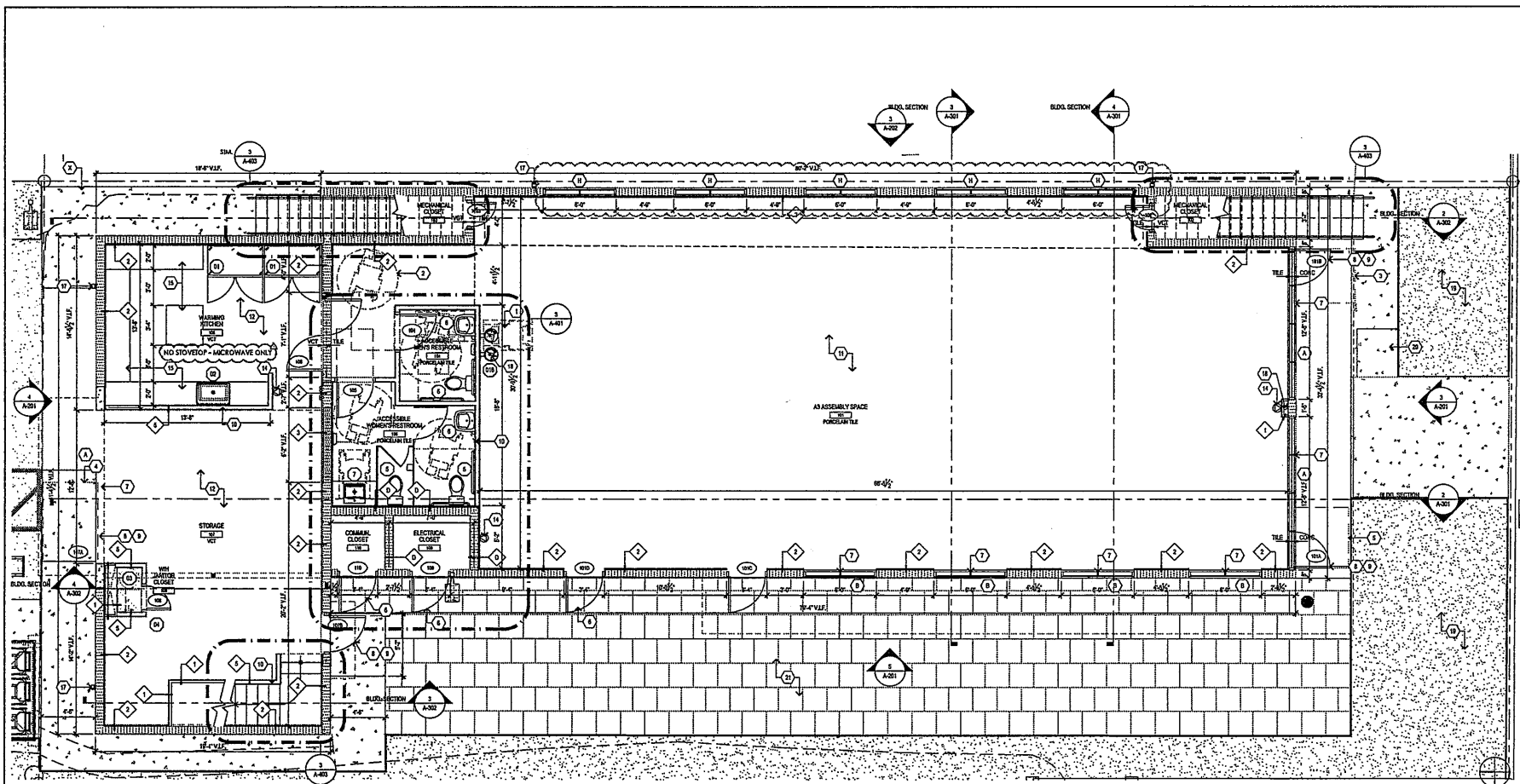
DESIGN
DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 1/7/19

PROJECT NUMBER: 1535-180425
DRAWN BY: AG
CHECKED BY:
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**BUILDING
ELEVATIONS
& SECTION
DEMOLITION**

DECEMBER

AD-202



3 1st LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

- KEYNOTES**
1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THE ARCHITECT AWARE OF ANY DISCREPANCIES REGARDING THE SCOPE OF WORK, EXISTING CONDITIONS, AND/OR MATERIAL. A WRITTEN CLARIFICATION FROM THE ARCHITECT IS REQUIRED PRIOR TO PROCEEDING WITH THE WORK OR REQUEST.
 2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL EXISTING DOORS, WINDOWS, STRUCTURAL COMPONENTS AND INSTALLED EQUIPMENT OF THE BUILDING. ANY ANCHORAGE OR BRACING REQUIRED TO THE BUILDING MUST BE ADDRESSED BEFORE COMMENCING THE WORK.
 3. COORDINATE WITH ELECTRICAL SCHEDULES FOR ALL EQUIPMENT, AND FLOOR WALLS AND CEILING DETAILS.
 4. PLUMBING REQUIRES: DOOR CLEARANCES, TOILET PARTITIONS, BATHROOM ACCESSORIES MUST COMPLY WITH ADA REGULATIONS AND FEDERAL LAW. REFER TO SHEET 04-01 FOR REFERENCE TO ADA REGULATIONS AND FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS TO COMPLY.
 5. PROVIDE NECESSARY ANCHORS AND SUPPORT FOR ALL PLUMBING FIXTURES AND ACCESSORIES AS REQUIRED BY CODE AND FOLLOWING MANUFACTURER'S SPECIFICATIONS.
 6. ALL MEASUREMENTS ARE MEASURED TO COMPLY WITH CODE. DO NOT SCALE DRAWINGS. CONTRACTOR MUST SUBMIT AN RFI TO THE ARCHITECT OF RECORD FOR CLARIFICATION.
 7. COORDINATE WITH ELECTRICAL CONTRACTOR ALL WALL WIRING DEVICES AND FIRE ALARMS DEVICES PRIOR TO FINISHING WALLS.
 8. ALL DRYWALL PARTITIONS AND PARTITIONS ARE TO BE FINISHED TO A LEVEL 4. THE FINISHED SURFACE SHALL BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF FINAL FINISHES. FINAL FINISHES SHALL NOT BE APPLIED PRIOR TO ARCHITECT'S APPROVAL.
1. 30" X 48" ADA CLEAR FLOOR SPACE REQUIRED.
 2. REQUIRED MANEUVERING SPACE AT DOORWAY. REFER TO DETAIL 04-04 ON SHEET 04-01.
 3. REQUIRED MANEUVERING SPACE AT DOORWAY. REFER TO DETAIL 04-05 ON SHEET 04-01.
 4. REQUIRED MANEUVERING SPACE AT DOORWAY. REFER TO DETAIL 04-06 ON SHEET 04-01.
 5. REQUIRED MANEUVERING SPACE AT DOORWAY. REFER TO DETAIL 04-07 ON SHEET 04-01.
 6. 18" X 18" HOLLOW METAL DOORS AND FRAMES. REFER TO SHEET A-01 FOR DOORS AND FRAMES SCHEDULES ON SHEET A-01.
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 100. 18" X 18" HOLLOW METAL DOORS AND FRAMES. REFER TO SHEET A-01 FOR DOORS AND FRAMES SCHEDULES ON SHEET A-01.

2 FLOOR PLAN KEYNOTE LEGEND
NO SCALE

- 1** SYMBOL LEGEND
NO SCALE
- GRID LETTER ON "X" AXIS
 - GRID NO. ON "Y" AXIS
 - DOOR NUMBER
 - WINDOW/STOREFRONT
 - ELEVATION NUMBER SHEET NUMBER
 - WALL TYPE
 - KEY NUMBER
 - ROOM NAME
 - ROOM NUMBER
 - NOTE - FINISH
 - CEILING HEIGHT
 - CENTER LINE
 - CHANGE OF FLOOR FINISH
 - EQUIPMENT NUMBER
 - DRAWING NUMBER
 - SHEET NUMBER
 - DRAWING NUMBER
 - SHEET NUMBER
 - DRAWING NUMBER
 - SHEET NUMBER
 - REVISION MARK



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MARCE SYNALOVSKI, AIA
ARCHITECT
SEAL

LICENSE NO. AA3001883

EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BUILDING
1227 NW 10TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE, FLA

NO.	DATE	DESCRIPTION
1	10/1/19	ISSUED FOR PERMIT
2	10/1/19	ISSUED FOR PERMIT
3	10/1/19	ISSUED FOR PERMIT
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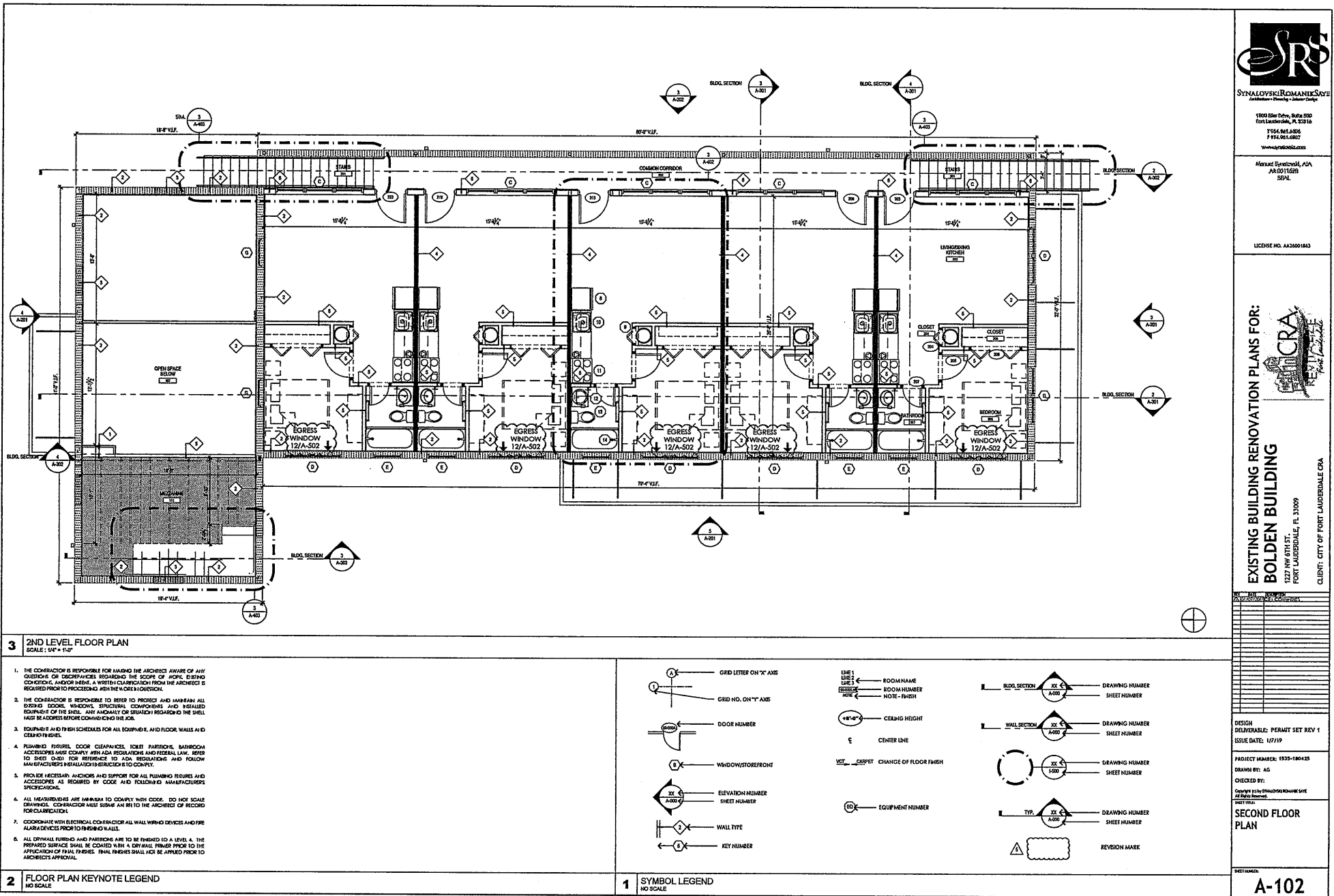
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ISSUE DATE: 10/1/19

PROJECT NUMBER: 1533-1804-05
DRAWN BY: AG
CHECKED BY:

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FIRST FLOOR PLAN

DATE: 10/1/19
A-101



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Marcus Synolowski, AIA
AIA 0011528
SPL

LICENSE NO. AA36001843

EXISTING BUILDING RENOVATION PLANS FOR:

BOLDEN BUILDING

1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309

CLIENT: CITY OF FORT LAUDERDALE CRA

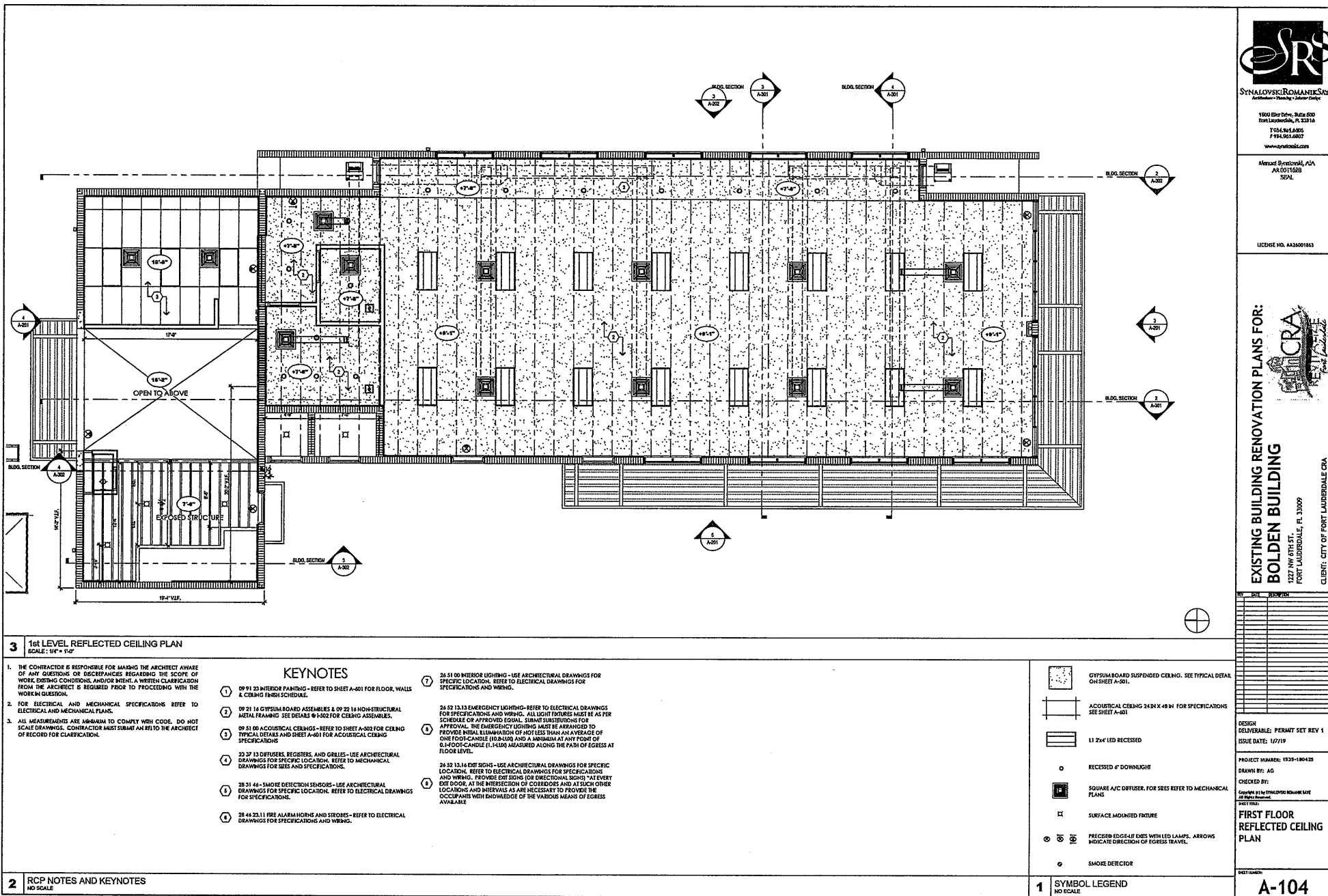
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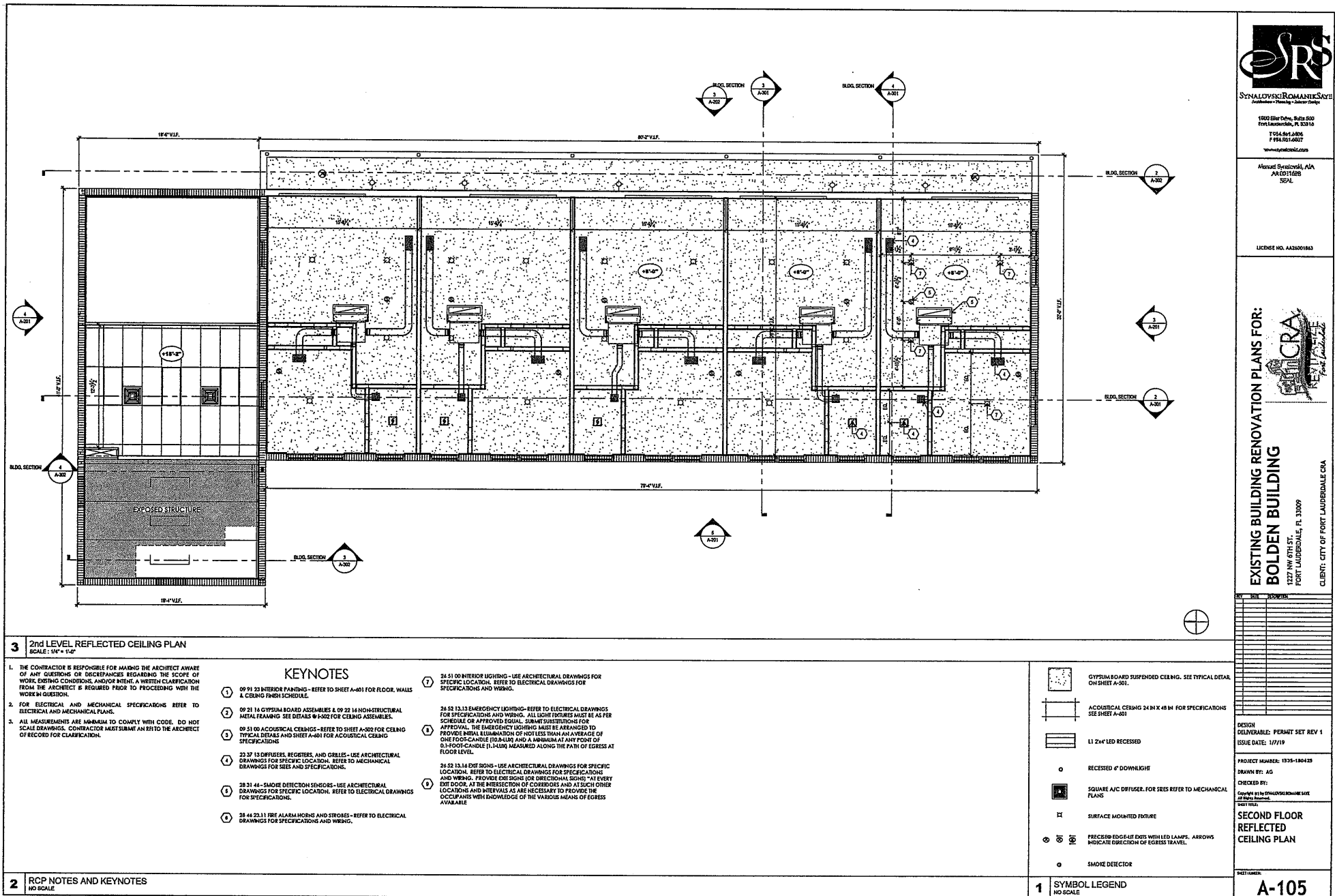
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DRAWN BY: AG
CHECKED BY:
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SECOND FLOOR PLAN

SHEET NUMBER:

A-102





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Marek Sygalowski, AIA
AIA 65011028
SIPA

LICENSE NO. A33201963



EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BUILDING

1327 NW 6TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE CRA

REV	DATE	DESCRIPTION
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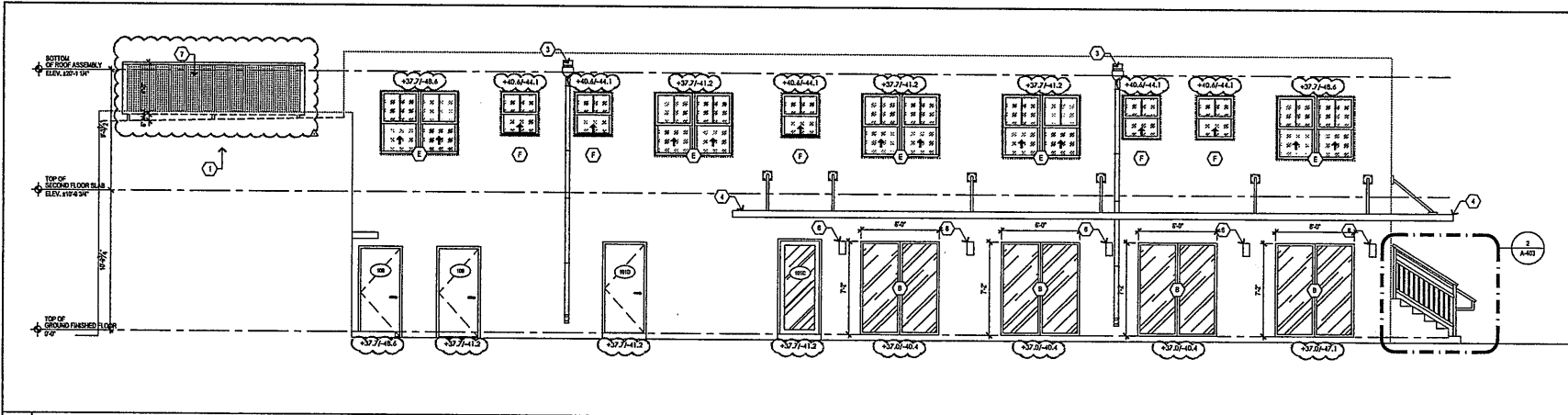
DESIGN
DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 10/1/19

PROJECT NUMBER: 1939-180425
DRAWN BY: AG
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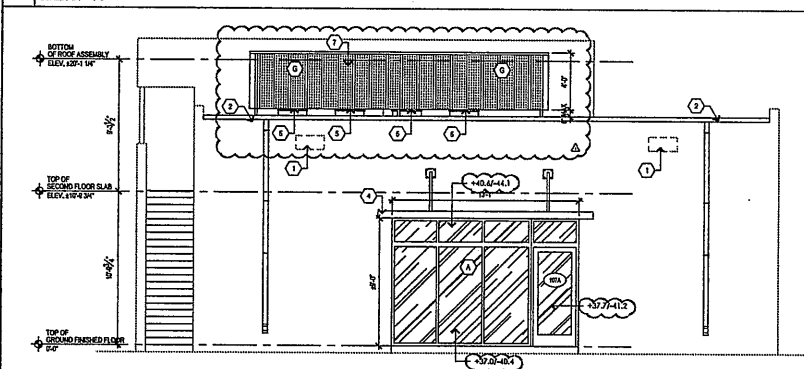
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BUILDING ELEVATIONS

DATE: 10/1/19
A-201



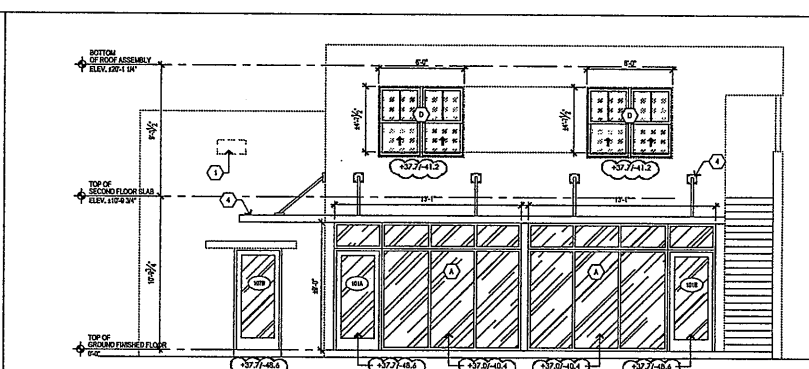
6 BUILDING WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 BUILDING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

- CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY WORK NECESSARY TO COMPLETE THE PROPER INSTALLATION OF EXTERIOR WINDOWS AND DOORS.
- ALL EXTERIOR WINDOWS AND STOREFRONTS SHALL BE LARGE WEATHER IMPACT RESISTANT, SUBMIT MANUFACTURE CERTIFICATE AND APPROVAL.
- ALL EXTERIOR WINDOW FRAMES AND STOREFRONTS ANCHOR PER PRODUCT APPROVAL.
- ALL EXTERIOR WINDOWS AND STOREFRONTS MUST BE SEALED WITH AN APPROVED EXTERIOR GRADE SEALANT APPLIED PER MANUFACTURER'S RECOMMENDATION.
- ULTIMATE DESIGN WINDOW SPEED RATED 2 SECOND CLASS (UL 34A PER UL 34A) AND HAVING DESIGN WIND SPEED VAS AS DETERMINED IN ACCORDANCE WITH SECTION 1104.1.
- RISK CATEGORY FROM TABLE 1104.1 OF ASCE 7.
- WIND EXPOSURE - WHERE MOORE THAN ONE WIND EXPOSURE IS UTILIZED, THE WIND EXPOSURE AND APPLICABLE WIND DIRECTION SHALL BE INDICATED.
- THE APPLICABLE EXPOSURE CLASSIFICATION AND THE INTERNAL PRESSURE COEFFICIENT (IF DETERMINED WITH ASCE 7).
- COMPONENTS AND CLADDING - THE DESIGN WIND PRESSURES IN TERMS OF PIP (PSF) TO BE USED FOR THE SELECTION OF EXTERIOR COMPONENT CLADDING MATERIALS NOT SPECIFICALLY DESCRIBED BY THE RECORDED DESIGN PROFESSIONAL.
- WHEN WINDOW BACKS (INCLUDING STANDARD 1 1/2" PRESSURE TREATED BRUHS LESS THAN 1-1/2" BACK) THICK ENCLOSED WINDOW ATTACHMENT WILL REQUIRE FASTENERS PENETRATING THROUGH THE BACK AND INTO THE SUBSTRATE AS RECOMMENDED BY THE MANUFACTURER.
- WHEN WINDOW BACKS 1-1/2" THICK OR THICKER ARE USED, THE BACK MUST BE ATTACHED IN A MANNER THAT TRANSFERS THE LOAD DIRECTLY TO THE SUBSTRATE, WINDOW MUST BE ATTACHED TO THE BACK.
- THE WINDOW BACK MUST EXTEND BEYOND THE INTERIOR LIP OF THE WINDOW, UNLESS OTHERWISE TESTED.
- WINDOW AND DOOR ASSEMBLIES SHALL BE ANCHORED IN ACCORDANCE WITH THE PUBLISHED MANUFACTURER'S RECOMMENDATION TO ACHIEVE THE DESIGN PRESSURE SPECIFIED.
- WHEN WINDOW WALLS (ATTACHING MULTIPLE WINDOWS TOGETHER) WALLS SHALL DEMONSTRATE (AS PER ASCE 7) USING ACCEPTED ENGINEERING PRACTICE OR TEST REPORTS.

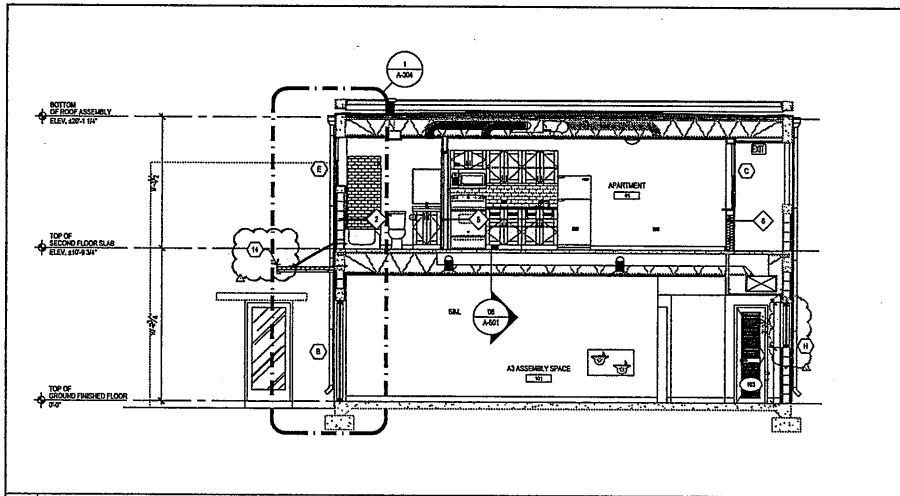
2 RENOVATION PLAN KEYNOTE LEGEND
NO SCALE



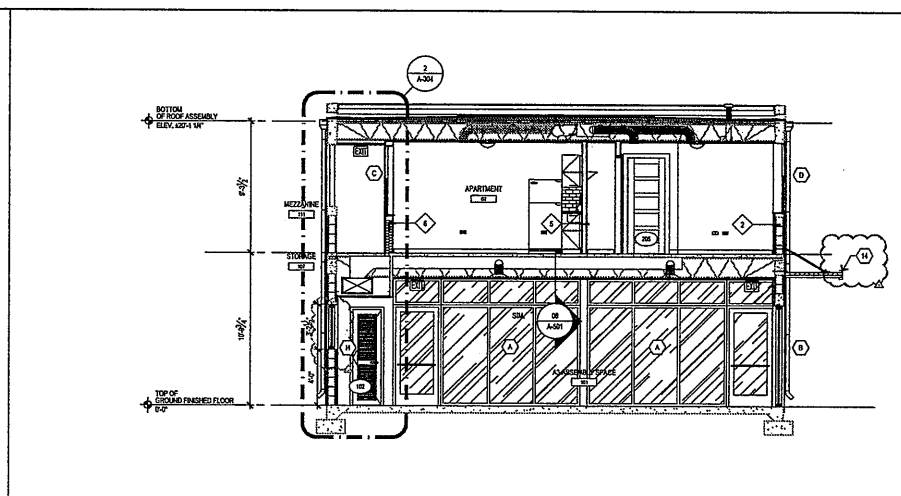
3 BUILDING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

- EXISTING OPENING CLOSED AS PER WALL TYPE
- RAIN OUTLET - SEE TYPICAL DETAIL TA-001
- SCREED - SEE TYPICAL DETAIL SA-001
- STEEL CANOPY - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. ANCHOR TO EXISTING STRUCTURE AS PER REQUIRED IBC DOCUMENTS. UNDER SEPARATE PERMIT.
- HVAC EQUIPMENT - SEE MECH. DRAWINGS FOR DETAILS
- WALL SCIENCE
- HVAC EQUIPMENT ROOF TOP SYSTEM, 24" DIA STEEL 2" DEEP 18" OVER HORIZONTAL STEEL BRACKET AND 2" SQUARE STEEL COLUMN, FINISH FACTORY APPLIED EXTERIOR. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. ANCHOR TO NEW ROOF STRUCTURE AS PER REQUIRED IBC DOCUMENTS.
- GLASS IN FRONT OF OPERABLE PANEL ADJACENT TO OR WITHIN 4" FROM EDGE OF DOOR & WHERE BOTTOM EDGE OF GLASS IS LESS THAN 18" ABOVE FLOOR SHALL BE SAFETY GLASS GLC IF GLC IS LESS THAN 8" IF OR GLC IS MORE THAN 8" PER IBC 103.3
- GLASS IN FRONT OF OPERABLE PANEL SHALL BE SAFETY GLASS GLC IF PER IBC 103.3 WHEN ALL OF THE FOLLOWING CONDITIONS APPLY: GLASS PANEL EXCEEDS 6" BOTTOM EDGE, LESS THAN 18" ABOVE FLOOR TOP EDGE GREATER THAN 36". DISCLOSED A PROTECTIVE BAR PER IBC 103.3. GLASS OF WITHIN 18" A HOLE, GLC OF WITHIN 18" IS LOCATED ON THE ACCESSIBLE SIDE TO 18" ABOVE FLOOR.
- DOOR OPENING - SEE DOOR SCHEDULE SH-1 A-001
- BUILDING ELEVATION
- CHANGE OF FLOOR FINISH
- WALL TYPE - SEE WALL TYPE DETAILS SH-1 A-001
- KEYNOTE
- FURNITURE ID
- BLDG. SECTION
- WALL SECTION
- DETAIL M07
- SECTION DETAIL
- REVISION WORK
- EXISTING CMU WALL
- EXISTING INTERIOR PARTITION TO REMAIN
- EXISTING WINDOW OPENING TO BE REPLACED
- DENOTES ROOM NAME & NUMBER
- DENOTES WINDOW TYPE
- DENOTES DESIGN PRESSURE FOR OPENING

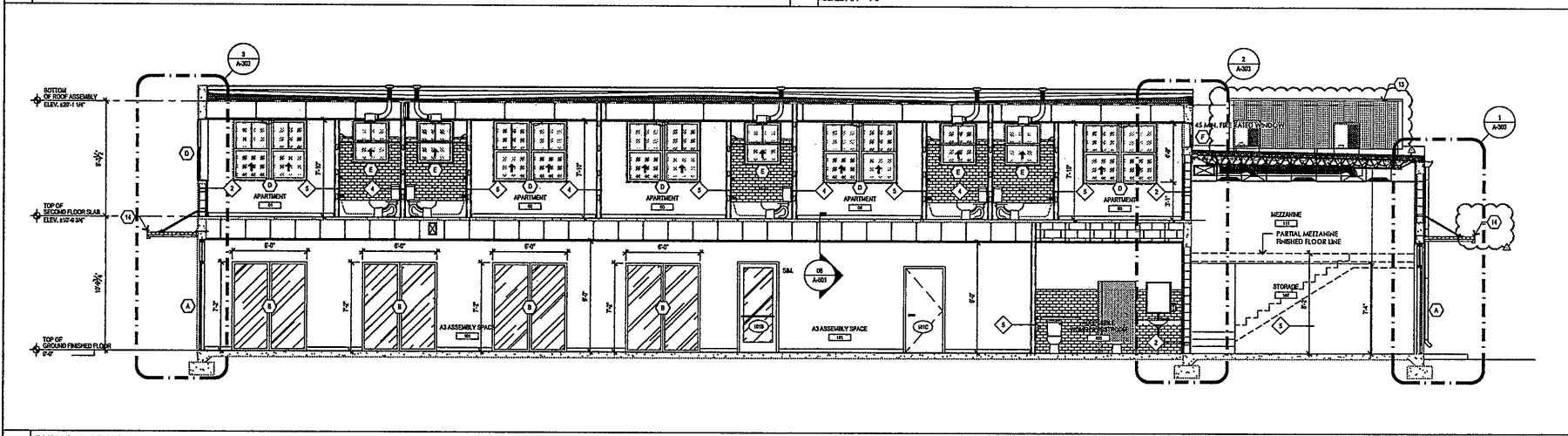
1 SYMBOL LEGEND
NO SCALE



4 BUILDING SECTION
SCALE: 1/4" = 1'-0"



3 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"

- THE CONTRACTOR IS RESPONSIBLE FOR MAKING THE ARCHITECT AWARE OF ANY CHANGES OR DISCREPANCIES REGARDING THE SCOPE OF WORK, EXISTING CONDITIONS, AND/OR INTER. A WRITTEN CLARIFICATION FROM THE ARCHITECT IS REQUIRED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- THE CONTRACTOR IS RESPONSIBLE TO REFER TO PROJECT AND MANUFACTURER'S LITERATURE, AND/OR INQUIRY, TO DETERMINE THE CORRECT MATERIALS AND METHODS OF CONSTRUCTION. ANY AMBIGUITY OR QUESTION REGARDING THE SHELL MUST BE ADDRESSED BEFORE COMMENCING THE JOB.
- EQUIPMENT AND FINISH SCHEDULES FOR ALL EQUIPMENT, AND FLOOR, WALLS AND CEILING FINISHES.
- FINISHING MATERIALS, DOOR CLEARANCES, SINKS, FIREPROOF, BATHROOM ACCESSORIES MUST COMPLY WITH ADA REGULATIONS AND FEDERAL L.A.H. REFER TO SHEET Q-001 FOR REFERENCE TO ADA REGULATIONS AND FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS TO COMPLY.
- PROVIDE NECESSARY ANCHORS AND SUPPORT FOR ALL FINISHING MATERIALS AND ACCESSORIES AS REQUIRED BY CODE AND FOLLOWING MANUFACTURER'S SPECIFICATIONS.
- ALL MEASUREMENTS ARE IN INCHES TO COMPLY WITH CODE. DO NOT SCALE DIMENSIONS. CONTRACTOR MUST SUBMIT ALL INFO TO THE ARCHITECT FOR RECORD FOR CLARIFICATION.
- COORDINATE WITH ELECTRICAL CONTRACTOR ALL WALL WIRING DEVICES AND FIRE ALARM DEVICES PRIOR TO FINISHING WALLS.
- ALL ORIGINAL FINISHES AND PARTITIONS ARE TO BE REFINISHED TO A LEVEL 4. THE PREPARED SURFACE SHALL BE COATED WITH A DRYWALL FINISH PRIOR TO THE APPLICATION OF FINAL FINISHES. FINAL FINISHES SHALL NOT BE APPLIED PRIOR TO ARCHITECT'S APPROVAL.


KEYNOTES

- 20 11 13 HOLLOW METAL DOORS AND FRAMES. REFER TO SHEET A-001 FOR DOORS AND FRAMES SCHEDULES. ON SHEET A-001.
- 08 41 24 ALL-GLASS ENTRANCES AND STOREROOMS - SEE SHEET A-002 FOR ELEVATION AND DETAILS.
- 08 42 13 ALUMINUM-FRAMED ENTRANCES - ALUMINUM AND GLASS INTERIOR ENTRANCE DOOR. REFER TO DOORS AND FRAMES SCHEDULE ON SHEET A-001.
- 08 71 00 DOOR HARDWARE. REFER TO SHEET A-001 FOR HARDWARE SCHEDULE.
- 09 21 14 GYPSUM BOARD ASSEMBLIES & 09 25 14 NON-STRUCTURAL METAL FRAMING. SEE DETAILS B-A-000 FOR CEILING ASSEMBLIES.
- 09 51 00 ACOUSTICAL CEILINGS - REFER TO SHEET A-001 FOR CEILING DETAIL AND SHEET A-001 FOR ACOUSTICAL CEILING SPECIFICATIONS.
- 09 53 00 ACOUSTICAL CEILING SUSPENSION ASSEMBLIES. ALL HANGERS MUST BE ATTACHED TO TOP CORD OF STEEL JOIST.

- 09 45 12 13 RESIDENT BASE - REFER TO SHEET A-001 FOR FLOOR AND WALLS FINISH SCHEDULE.
- 09 91 20 INTERIOR PAINTING - REFER TO SHEET A-001 FOR FLOOR, WALLS & CEILING FINISH SCHEDULE.
- 12 35 30 13 KITCHEN CASEWORK. SEE KITCHEN CABINETS ELEVATIONS AND SECTIONS FOR DETAILS.
- 26 00 00 ELECTRICAL - DUPLEX OUTLET FOR SMALL APPLIANCE. SEE ELECTRICAL DRAWINGS FOR DETAILS.
- 26 51 00 INTERIOR LIGHTING - USE ARCHITECTURAL DRAWINGS FOR SPECIFIC LOCATION. REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS AND WIRING. ALL LIGHT FIXTURES MUST BE AS PER SCHEDULE OR APPROVED EQUAL. SUBMIT SUBSTITUTIONS FOR APPROVAL.
- INAC EQUIPMENT ROOFTOP SCREEN, 1/2" DIA STEEL 2" DEEP RUN OVER HORIZONTAL STEEL WEAVERS AND 7" INSULATED STEEL COLLARS. FINISH FACTORY APPLIED FINISH. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. ANCHOR TO NEW ROOF STRUCTURE AS PER REQUIRED HOA DOCUMENTS.

STEEL CANOPY, CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. ANCHOR TO EXISTING STRUCTURE AS PER REQUIRED HOA DOCUMENTS. UNDER SEPARATE PERMIT.

1 SECTION KEYNOTES
NO SCALE




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5574

LICENSE NO. AR36091663



CRA
CONSTRUCTION REVIEW ASSOCIATION

**EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BUILDING**

1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309

CLIENT: CITY OF FORT LAUDERDALE CRA

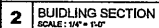
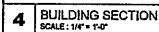
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100	1/1/19	ISSUED FOR PERMIT

DESIGN
DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 1/1/19

PROJECT NUMBER: 1535-180425
DRAWN BY: AG
CHECKED BY:
DATE: 1/1/19
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BUILDING SECTIONS

PREPARED BY:
A-301



- ## KEYNOTES

- 14 HVAC EQUIPMENT ROOFTOP SCREEN, 24GA STEEL, 3" DEEP RIB OVER HORIZONTAL STEEL H-HATS AND 2" SQUARE STEEL COLUMNS, FINISH: FACTORY APPLIED KYNAR. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. ANCHORS TO NEW CONCRETE STRUTS AS PER REINFORCED CONCRETE.



SYNALOVSKI ROMANTİK SAYI#

1800 Elder Drive, Suite 500

rt Lauderdale, FL 33316

Y 934.941.5306
5 934.941.5307

www.dorland.com

Manuel Sison, AIA
AR 051623
SEA

LICENSE NO. AA26001863

EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BLUDDING

CRASH
RESTRICTION
First Candidate

CLIENT: CITY OF FORT LAUDENDALE CRA

[illegible]

DESIGN
DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 1/7/19

PROJECT NUMBER: 1535-180425

DRAWN BY: AG

CHECKED BY: _____

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BUILDING

BUILDING
SECTIONS

SECTION 10

100

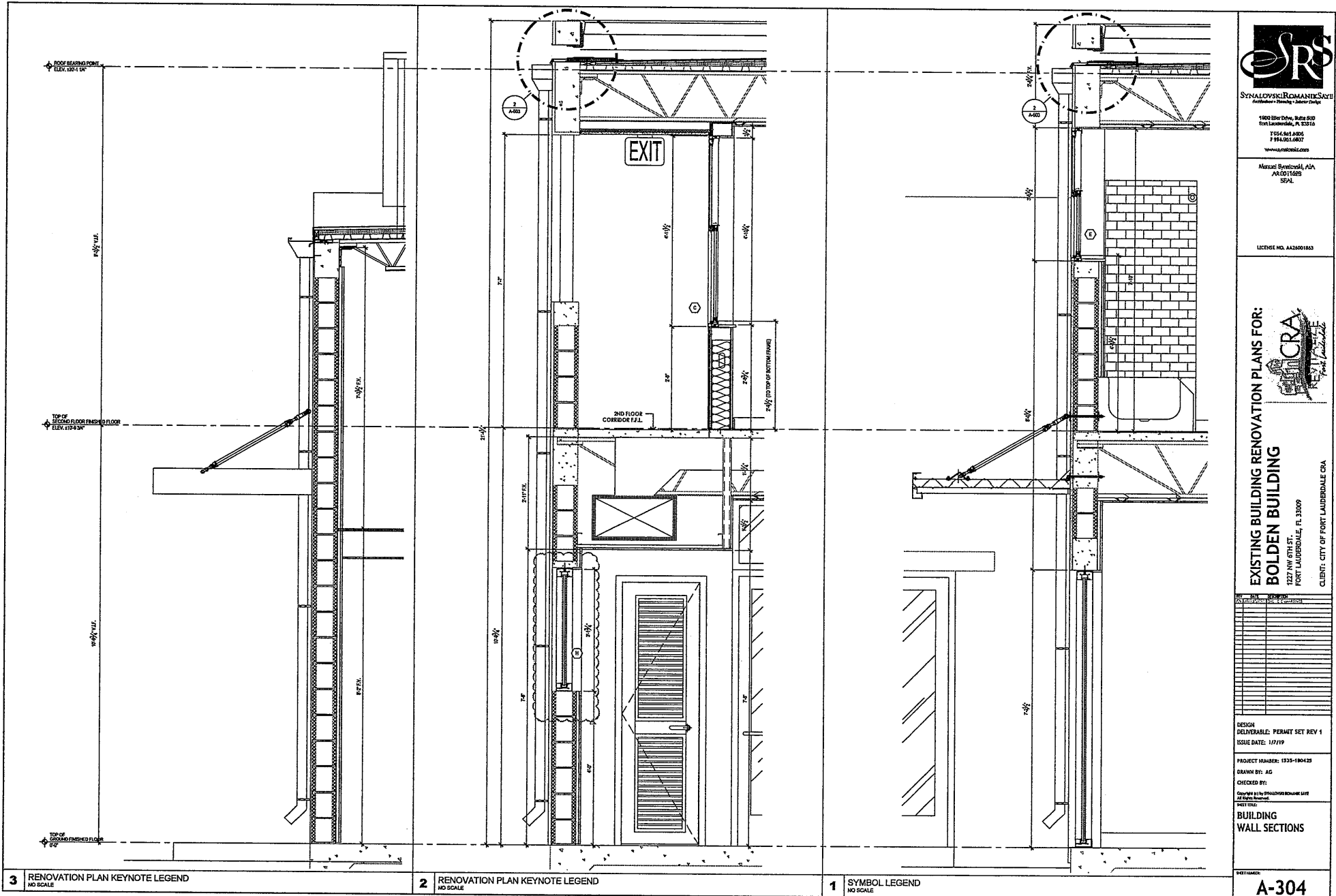
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DEFINITION:

A-302

A-502

1. *What is the purpose of this study?*

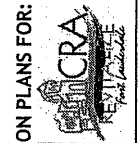


SYNLOVSKI ROMANTSKI

1800 Blue Ridge, Suite 200
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754.461.1800
754.461.1805
www.srn.com

Marcel Synlovski, AIA
AR-0011625
SFL

LICENSE NO. A23601863



EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BUILDING
1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309

CLIENT: CITY OF FORT LAUDERDALE, FLA

NO.	REV.	DESCRIPTION
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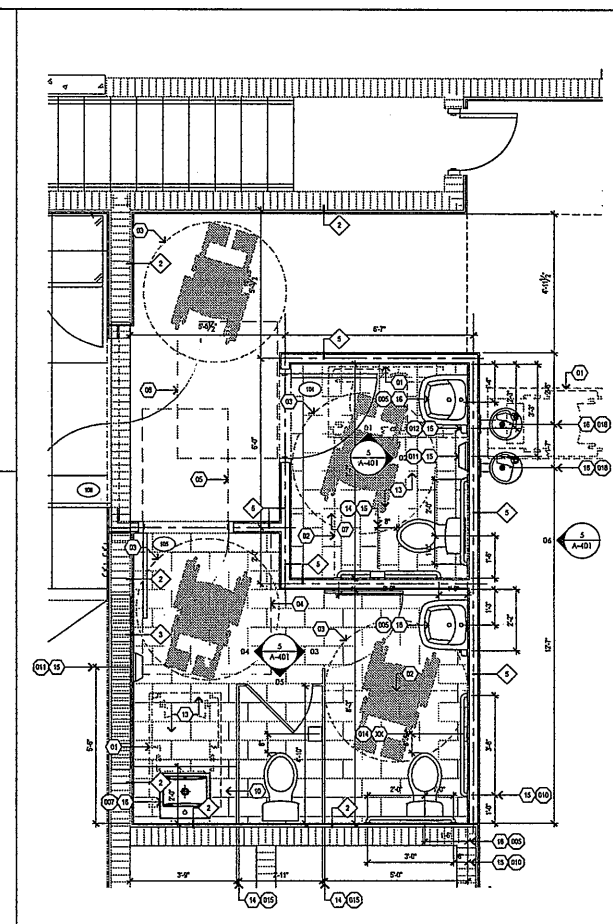
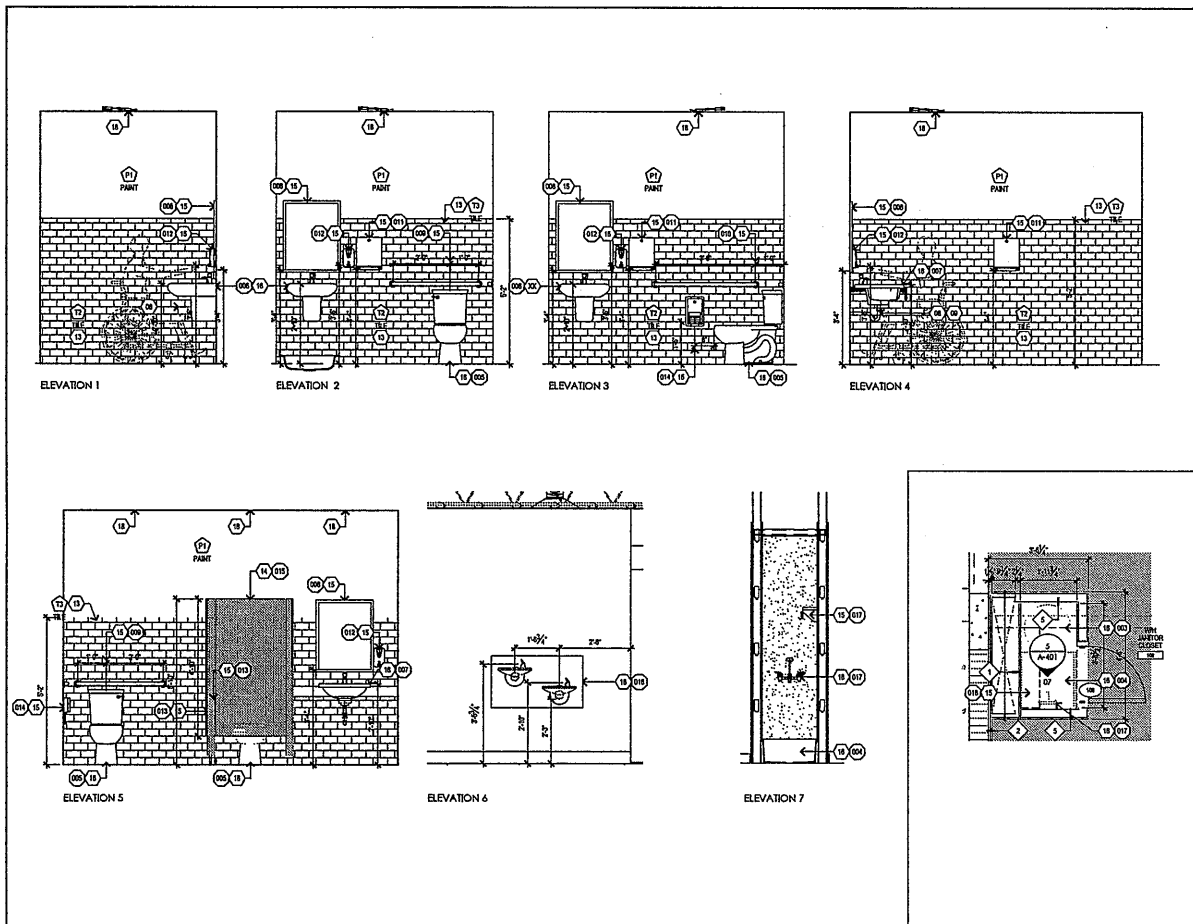
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DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 1/7/19

PROJECT NUMBER: 1535-190425
DRAWN BY: AG
CHECKED BY:

REVIEWED BY: (Signature)
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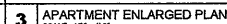
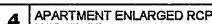
DATE: 1/7/19
BUILDING
WALL SECTIONS

PREPARED BY:
A-304



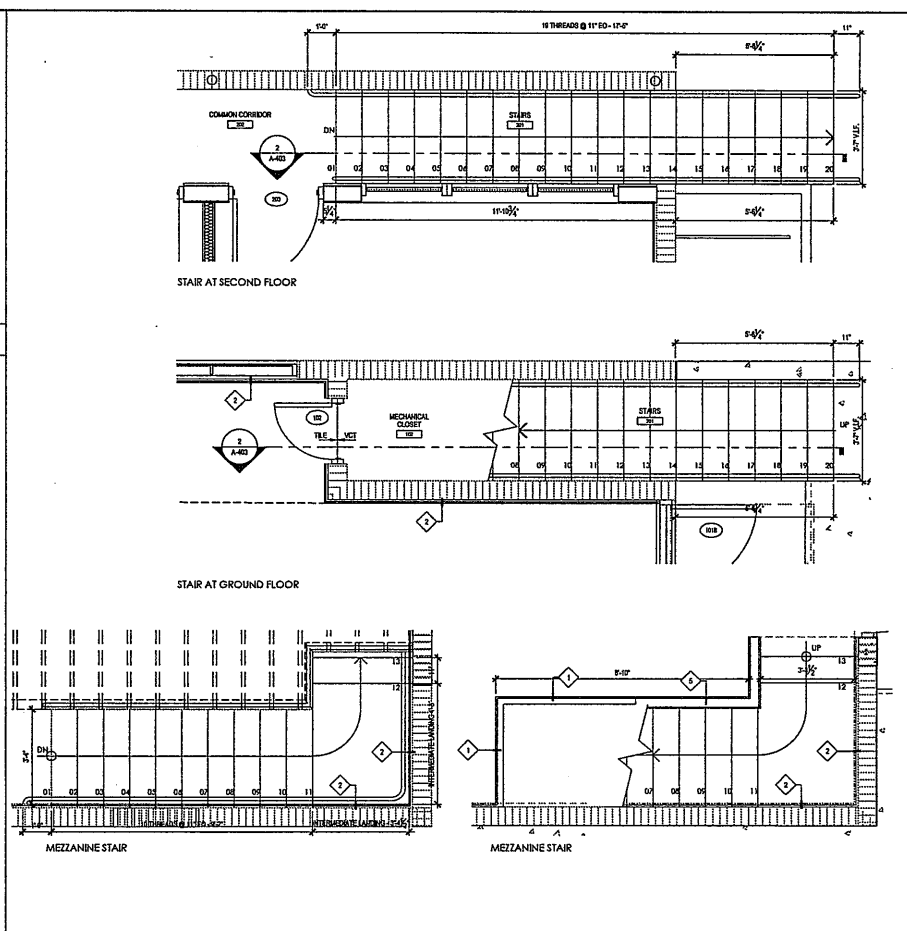
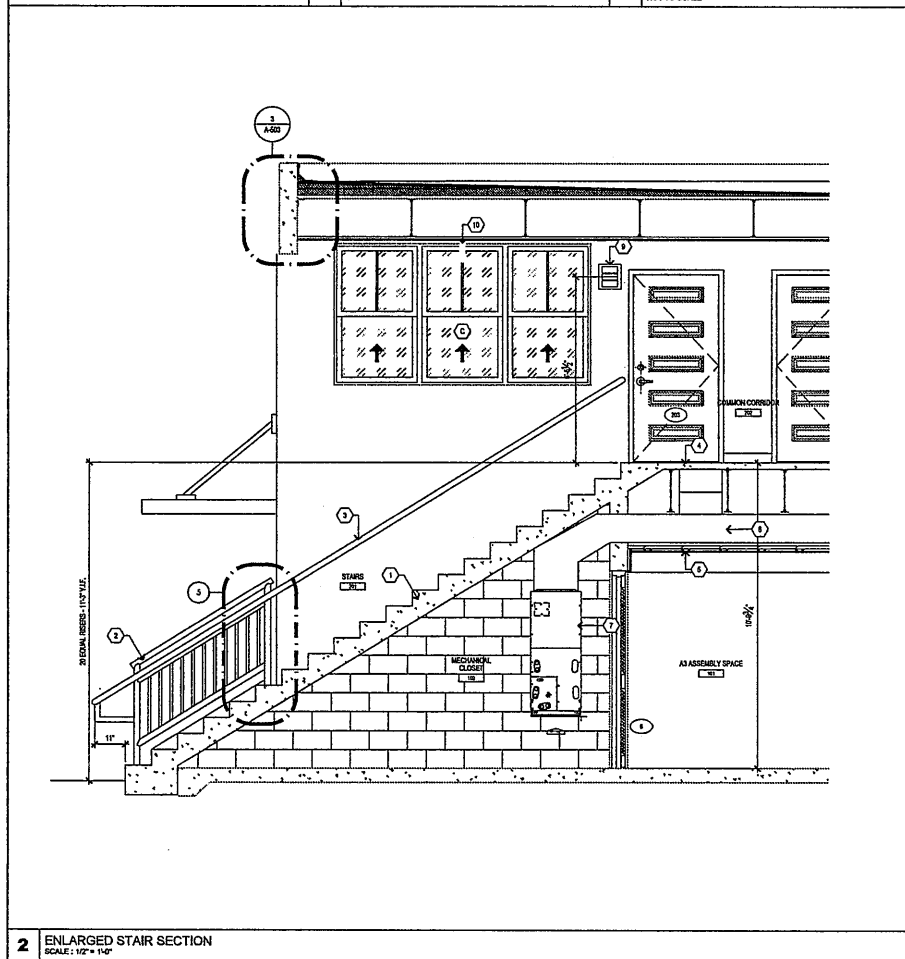
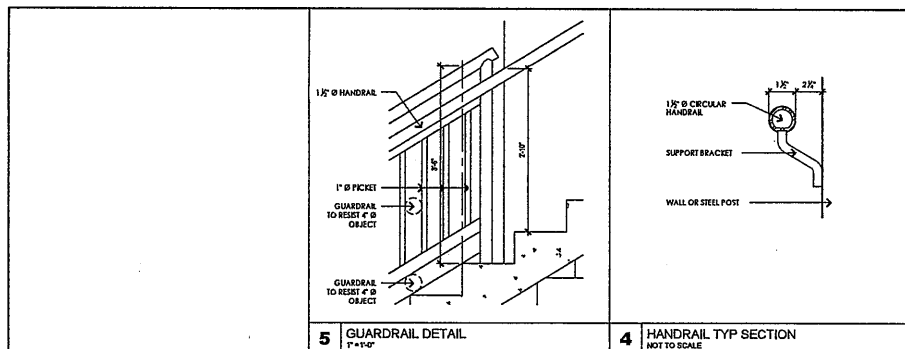
<div> <div> 2 ENLARGED INTERIOR ELEVATIONS SCALE: 1/32" = 1'-0" </div> <div> <p>1. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THE ARCHITECT AWARE OF ANY QUESTIONS OR DISCREPANCIES REGARDING THE SCOPE OF WORK, EXISTING CONDITIONS, ANNOTED SCHEDULE, A WRITTEN CLARIFICATION FROM THE ARCHITECT IS REQUIRED PRIOR TO PROCEEDING WITH THE WORKING QUESTION.</p> <p>2. REFER TO EQUIPMENT AND FINISH SCHEDULES FOR ALL EQUIPMENT, AND FLOOR, WALLS AND CEILING FINISHES.</p> <p>3. INFORM ARCHITECT OF RECORD OF ANY DISCREPANCIES AND SITUATIONS DOCUMENTED AT JOB SITE PRIOR TO EXECUTION. ALL PLUMBING FUTURES TO COMPLY WITH F.A.C. 2017 PLUMBING FINISHING CLARIFICATIONS & SCHEDULE REQUIREMENTS.</p> <p>4. PLUMBING FUTURES, DOOR, CLOSET/ENTRY, TRAILER PARTITION, BATHROOM ACCESSORIES MUST COMPLY WITH F.A.C. ACCESSIBILITY 2017 ADA REGULATIONS AND FEDERAL LAW. REFER TO SHEET 300 FOR REFERENCE TO ASH REGULATIONS AND FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS TO COMPLY.</p> <p>5. PROVIDE NECESSARY ANCHORS AND SUPPORT FOR ALL PLUMBING FUTURES AND ACCESSORIES AS REQUIRED BY CODE AND FOLLOWING MANUFACTURER'S SPECIFICATIONS.</p> <p>6. ALL MEASUREMENTS ARE MINIMUM TO COMPLY WITH CODE. DO NOT SCALE DIMENSIONS. CONTRACTOR MUST SUBMIT ASHES TO THE ARCHITECT OF RECORD FOR CLARIFICATION.</p> </div> <div> <p>1 30" X 48" ADA CLEAR FLOOR SPACE REQUIRED.</p> <p>2 56" X 56" ADA CLEAR FLOOR SPACE REQUIRED. REFER TO DETAIL 5-1 ON PAGE C-001.</p> <p>3 REQUIRED 24" (603) CLEAR TURNING DIAMETER.</p> <p>4 REQUIRED LAMINATING SPACE AT DOORWAY. REFER TO DETAIL 010-6 ON SHEET C-001.</p> <p>5 REQUIRED LAMINATING SPACE AT DOORWAY. REFER TO DETAIL 010-6 ON SHEET C-001.</p> <p>6 REQUIRED LAMINATING SPACE AT DOORWAY. REFER TO DETAIL 010-6 ON SHEET C-001.</p> <p>7 REQUIRED LAMINATING SPACE AT DOORWAY. REFER TO DETAIL 010-6 ON SHEET C-001.</p> <p>8 REQUIRED CLEAR FLOOR SPACE, KICK AND TOE CLEARANCE PER DETAILS 03 & 04 ON PAGE C-001.</p> <p>9 PROVIDE INSULATION JACKETS FOR ALL PIPES UNDER COUNTER SINKS. REFER TO PLUMBING DRWINGS.</p> <p>10 06.00 FINISHED CARPENTRY, PLASTIC LAMINATE COUNTERTOP, FRAMES AND SUBSTRATE MUST BE SUPPORTED AND SECURED TO BLOCK AND SUE WALLS ONLY. SUBMIT SHOP DRAWINGS FOR APPROVAL.</p> <p>11 08.11 HOLLOW METAL DOORS AND FRAMES. REFER TO SHEET A-001 FOR DOORS AND FRAMES SCHEDULES.</p> </div> <div> <p>12 08.21 BUCKING HARDWARES. REFER TO SHEET A-001 FOR HARDWARE SCHEDULES.</p> <p>13 09.31 1/4 THICK CERAMIC TILES. REFER TO SHEET A-001 FOR FLOOR AND WALLS FINISH SCHEDULES.</p> <p>14 10.21 13.19 PLASTIC LAMINATE-CLAD TOILET COMPARTMENTS. REFER TO SHEET A-001 FOR BATHROOM EQUIPMENT & ACCESSORIES SCHEDULES.</p> <p>15 10.28 13.13 COMMERCIAL TOILET ACCESSORIES. REFER TO SHEET A-001 FOR BATHROOM EQUIPMENT & ACCESSORIES SCHEDULES.</p> <p>16 25.45 06 COMMERCIAL PLUMBING FUTURES. REFER TO SHEET A-001 FOR BATHROOM EQUIPMENT & ACCESSORIES SCHEDULES.</p> <p>17 24.47 13 DRINKING FOUNTAINS. REFER TO SHEET A-001 FOR BATHROOM EQUIPMENT & ACCESSORIES SCHEDULES.</p> <p>18 26.51 19.10 INTERIOR LIGHTING - LITHONIA LIGHTING 4" WATER LEAD DONALDSON TFL LED USE 4</p> </div> </div>	<div> <div> 5 JANITOR CLOSET ENLARGED PLAN SCALE: 1/32" = 1'-0" </div> <div> <p>GRID LETTER ON "X" AXIS</p> <p>GRID NO. ON "Y" AXIS</p> <p>DOOR NUMBER</p> <p>WINDOW/STOREFRONT</p> <p>ELEVATION NUMBER</p> <p>WALL TYPE</p> <p>KEY NUMBER</p> </div> </div>	<div> <div> 6 RESTROOMS ENLARGED PLAN SCALE: 1/32" = 1'-0" </div> <div> <p>LINE 1 LINE 2 ROOM NAME ROOM NUMBER NOTE - FINISH</p> <p>CEILING HEIGHT</p> <p>CENTER LINE</p> <p>CHANGE OF FLOOR FINISH</p> <p>EQUIPMENT NUMBER</p> <p>REVISION MARK</p> </div> </div>
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[illegible]



PATIENT: CITY OF FORT LAUDERDALE CRA

50



SRS
SYNALOVSKI ROMANIKAS
Architects + Planners + Interior Designers
1900 West Delta, Suite 100
Fort Lauderdale, FL 33316
754.464.1406
754.464.1407
www.srsarchitect.com

Manuel Syntoski, AIA
AIA 0015625
SENL

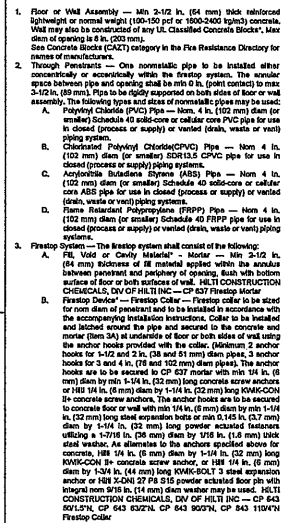
LICENSE NO. A432001843

EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BUILDING
1227 NW 4TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE CRA

DESIGN
DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 1/7/19
PROJECT NUMBER: 1335-180435
DRAWN BY: AG
CHECKED BY:
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**STAIRS
ENLARGED PLAN
AND SECTION**

SECTION: **A-403**



LICENSE NO. A431021863

PORT LAUDERDALE, FL 33009

11 STUCCO OVER DENSEGLASS ASSEMBLY
NOT TO SCALE

10 SLAB REPAIR DETAIL.
NOT TO SCALE

TYPICAL DRYWALL CEILING DETAIL NOT TO SCALE	8
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2 HR FL/CLG ASSEMBLY GA-FC-2030
NOT TO SCALE

7	SYSTEM NO. C-AJ-2630 2HR PENETRATION NOT TO SCALE
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[illegible][illegible]

	Year 1 (or longer)	

NOT TO SCALE

NOT TO SCALE

NOT TO SCALE

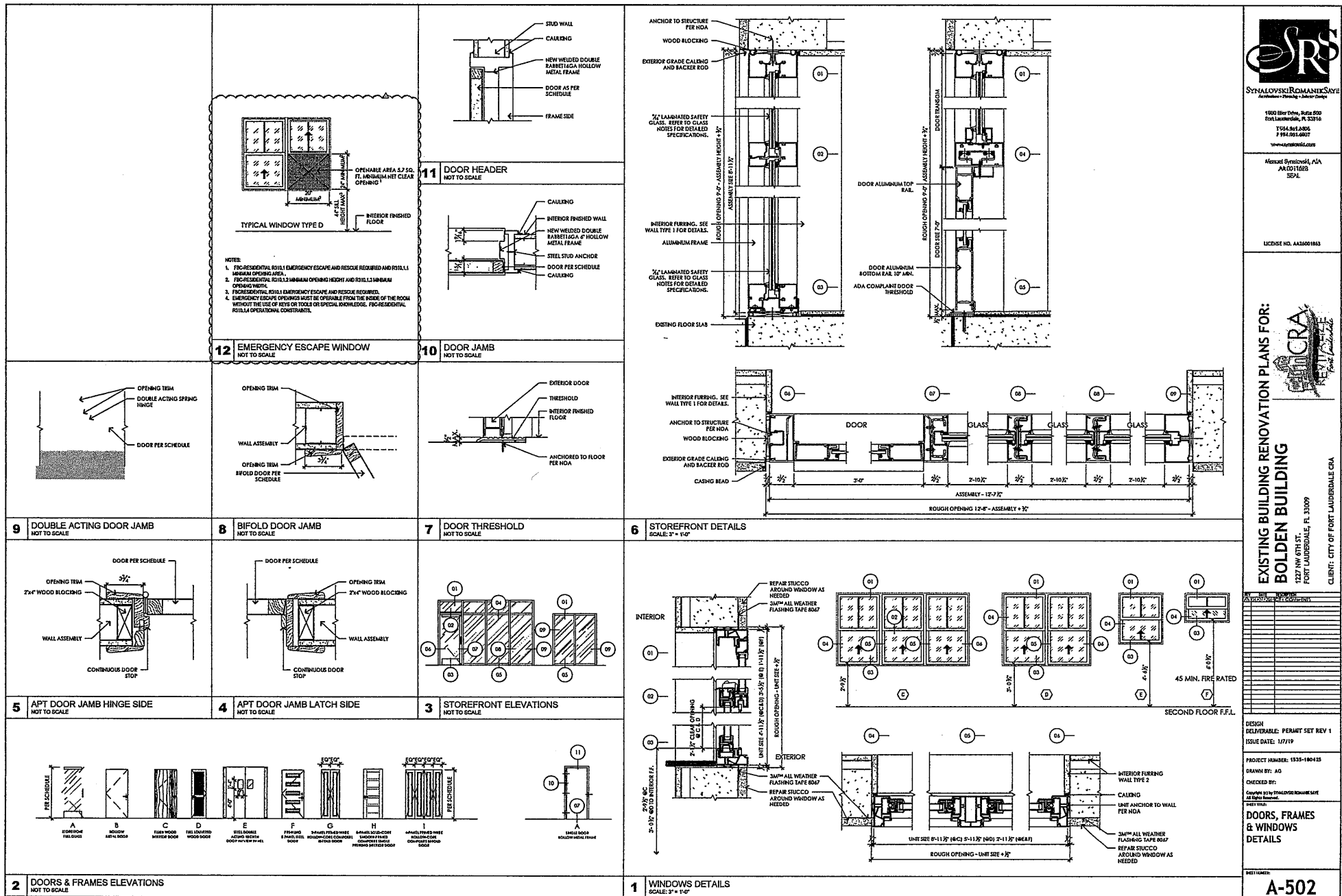
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ISSUE DATE: 1/7/19

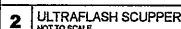
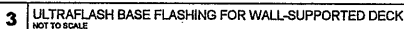
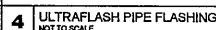
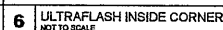
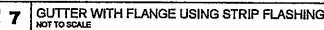
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SHEET TITLE:

**WALL TYPES
& DETAILS**

DATE: 11/11/11
A-501

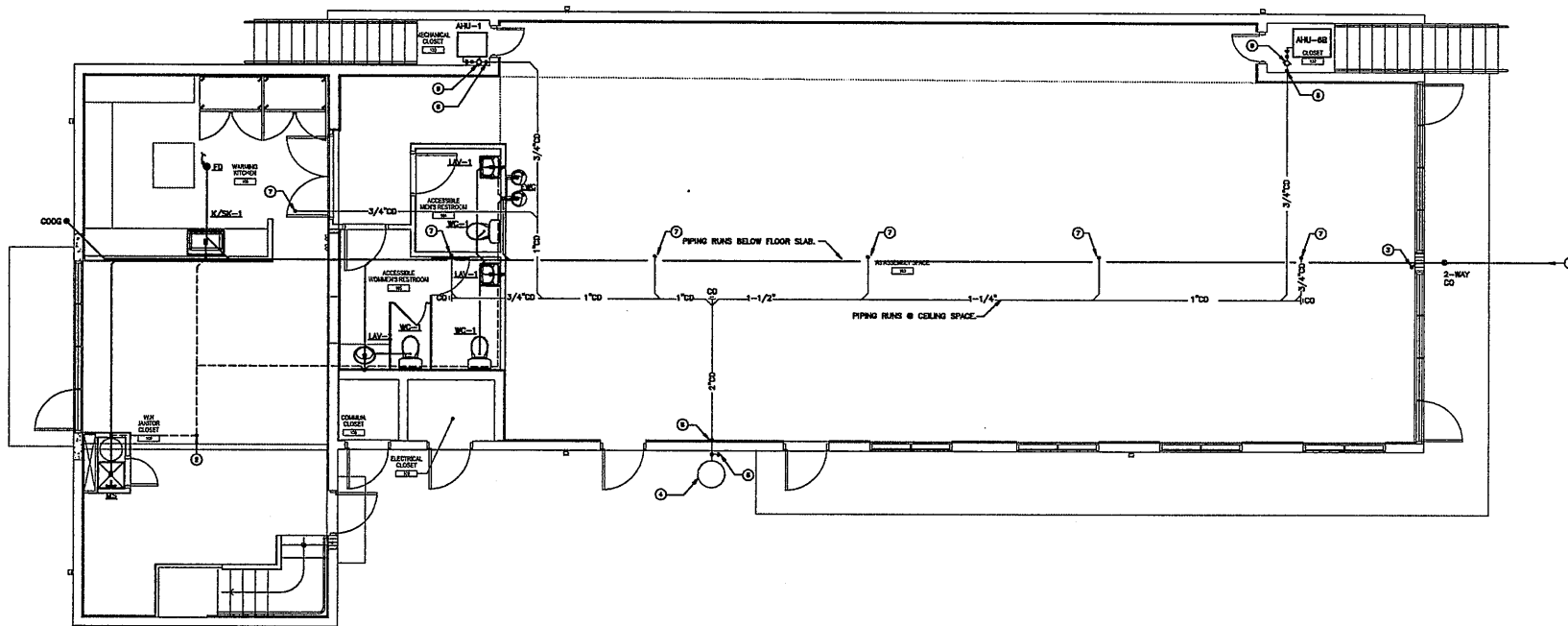




1	ROOF SYSTEM NOTES
---	-------------------

SHEET (ANGER):
A-503

A-601



1 1st LEVEL SANITARY FLOOR PLAN
SCALE: 1/4" = 1'-0"

- KEY NOTES**
- ① 4" SANITARY LINE (NO DPU) @ 1/8" / FT. SEE CIVIL DRAWINGS FOR CONTINUATION
 - ② 3" VENT LINE UP TO 3" VTR.
 - ③ SANITARY LINE FROM 2ND. FLOOR AND DOWN TO BELOW FLOOR SLAB.
 - ④ CONDENSATE DRYWELL. SEE SHEET P-100 FOR DETAIL.
 - ⑤ CONDENSATE RELIEF VENT.
 - ⑥ 3/4" CONDENSATE LINE UP TO CEILING.
 - ⑦ 3/4" CONDENSATE LINE FROM FLOOR ABOVE.
 - ⑧ 2" CONDENSATE LINE DOWN TO BELOW FLOOR SLAB.
 - ⑨ CONDENSATE PUMP ABOVE CEILING LITTLE GIANT MODEL PGL-244LS/233301 (120V, 80W, 1PH, 2.5 A, 148W)



Manual Synalowski, P.A.
AR 02/18/08
SRL

LICENSE NO. A33001813

Existing Building Renovation Plans for:
BOLDEN BUILDING

1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309

CLIENT: CITY OF FORT LAUDERDALE, FLA

NO.	DATE	DESCRIPTION
1	10/22/18	ISSUED FOR PERMITS

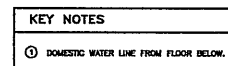
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DELIVERABLE:
ISSUE DATE: 10/22/18

PROJECT NUMBER: 1835-180415
DRAWN BY: HD, BA, RT
CHECKED BY: AWG

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**FIRST LEVEL
SANITARY
FLOOR PLAN**

P-101.1



2 2nd LEVEL DOMESTIC WATER PLAN
SCALE: 1/4" = 1'-0"



SYNALOVSKI ROMANTIKSA

14000 Elder Drive, Suite 100
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F 954.961.8807
www.mechanical.com

Marlene Byrdson, AIA
AR 001628
SEA

LICENSE NO. AA26001863

Existing Building Renovation Plans for:
BOLDEN BUILDING

1227 NW 6TH ST.

CLIENT: CITY OF EORTLAND, IDAHO

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DESIGN
DELIVERABLE:
ISSUE DATE: 10/22/18

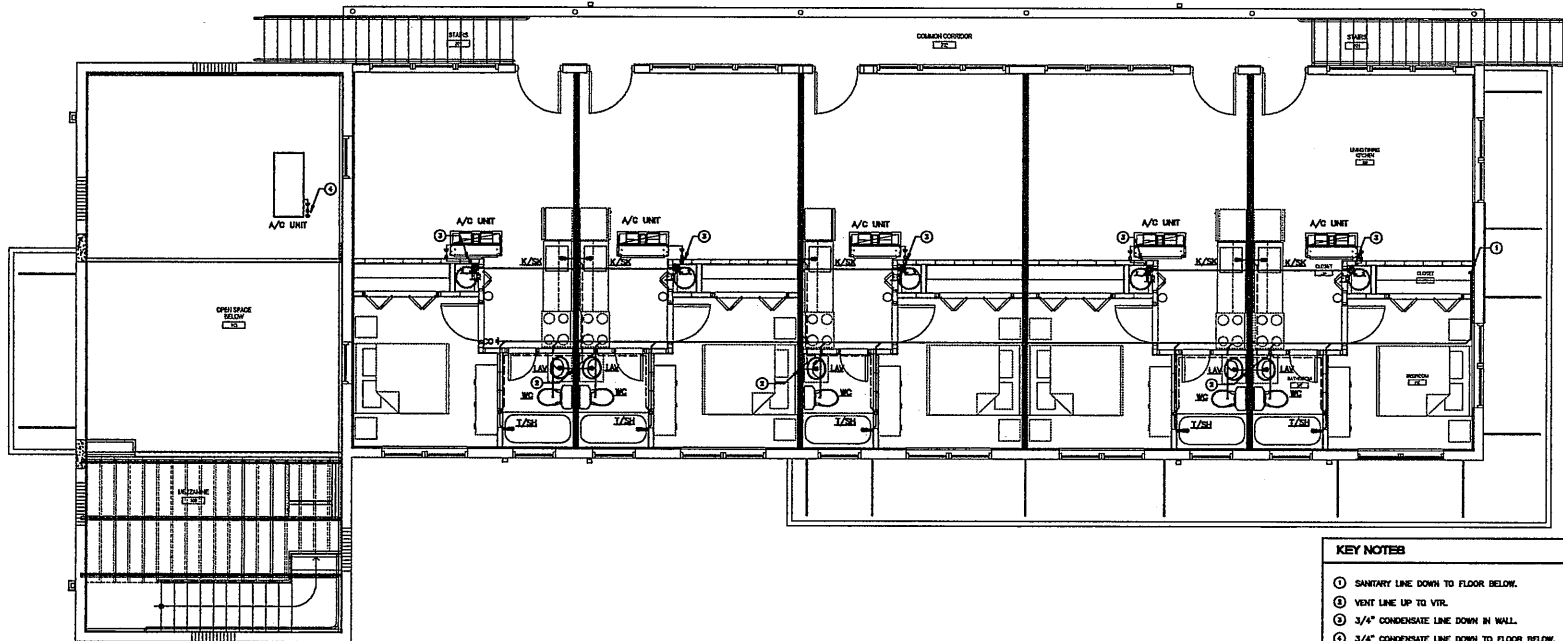
PROJECT NUMBER: 1535-180423
DRAWN BY: MO, RM, RT
CHECKED BY: MXG

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SECOND LEVEL
DOMESTIC WATER
PLAN

FILE NUMBER:
P-102





- KEY NOTES**
- ① SANITARY LINE DOWN TO FLOOR BELOW.
 - ② VENT LINE UP TO VTL.
 - ③ 3/4" CONDENSATE LINE DOWN IN WALL.
 - ④ 3/4" CONDENSATE LINE DOWN TO FLOOR BELOW.

2 2nd LEVEL SANITARY PLAN
SCALE: 1/4" = 1'-0"

CRS
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Fort Lauderdale, FL 33316
TEL: 561-555-1808
FAX: 561-555-1807
www.crsarchitect.com

Norval Davidson, AIA
AS 001488
SEAL

LICENSE NO. AA3001863

Existing Building Renovation Plans for:
BOLDEN BUILDING
1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE, FLA

REV	DATE	DESCRIPTION
1	10/22/18	ISSUE FOR PERMIT

DESIGN DELIVERABLE:
ISSUE DATE: 10/22/18
PROJECT NUMBER: 1935-180425
DRAWN BY: AG, RA, RT
CHECKED BY: ANG
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**SECOND LEVEL
SANITARY
PLAN**

HEET NUMBER
P-102.1

**DELTA G CONSULTING
ENGINEERS, INC.**
707 P.E. DR. & AVE. SUITE 100
FORT LAUDERDALE, FL 33304
(954) 587-1118
dave@delta-g.com
P.E. MICHAEL RAY CONSULTING GEORGE BARTON, P.E.
PROJECT #: 190616 FLORIDA LICENSE #46550

AIR DISTRIBUTION SCHEDULE					
STATION	LINE	TYPE	MEASUREMENT ELEVATION	REMARKS	ACCEPTANCE
01	100' V	TRANS	THIS TO - 10'	- 10' END WIDE	O.S.D.
02	100' V	WELLS	THIS 10'	- 10' END WIDE	O.S.D.
03	100' V	WELLS	THIS 100'	---	O.S.D.
040	100' V	WELLS	THIS 100'	SURFACE TREAT	---
05	100' V	WELLS	THIS 100'	SURFACE TREAT	---
06	100' V	WELLS	THIS 100'	SURFACE TREAT	---
07	100' V	WELLS	---	---	---
08	100' V	WELLS	---	---	---
09	100' V	WELLS	---	---	---
10	100' V	WELLS	---	---	---
11	100' V	WELLS	---	---	---
12	100' V	WELLS	---	---	---
13	100' V	WELLS	---	---	---
14	100' V	WELLS	---	---	---
15	100' V	WELLS	---	---	---
16	100' V	WELLS	---	---	---
17	100' V	WELLS	---	---	---
18	100' V	WELLS	---	---	---
19	100' V	WELLS	---	---	---
20	100' V	WELLS	---	---	---
21	100' V	WELLS	---	---	---
22	100' V	WELLS	---	---	---
23	100' V	WELLS	---	---	---
24	100' V	WELLS	---	---	---
25	100' V	WELLS	---	---	---
26	100' V	WELLS	---	---	---
27	100' V	WELLS	---	---	---
28	100' V	WELLS	---	---	---
29	100' V	WELLS	---	---	---
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31	100' V	WELLS	---	---	---
32	100' V	WELLS	---	---	---
33	100' V	WELLS	---	---	---
34	100' V	WELLS	---	---	---
35	100' V	WELLS	---	---	---
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42	100' V	WELLS	---	---	---
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53	100' V	WELLS	---	---	---
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63	100' V	WELLS	---	---	---
64	100' V	WELLS	---	---	---
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67	100' V	WELLS	---	---	---
68	100' V	WELLS	---	---	---
69	100' V	WELLS	---	---	---
70	100' V	WELLS	---	---	---
71	100' V	WELLS	---	---	---
72	100' V	WELLS	---	---	---
73	100' V	WELLS	---	---	---
74	100' V	WELLS	---	---	---
75	100' V	WELLS	---	---	---

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE TIME AND COLOR OF ALL AIR DISTRIBUTION.

MECHANICAL EQUIPMENT NOTES:

1. ALL WELDING SHALL BE IN ACCORDANCE WITH THE WELDING CODE OF THE ASME BOILER AND PRESSURE VESSEL CODE, SECTION II, PART D, SUBSECTION 1, AND THE WELDING CODE OF THE ASME BOILER AND PRESSURE VESSEL CODE, SECTION II, PART D, SUBSECTION 2.
2. THE DESIGN OF THE EQUIPMENT SHALL BE IN ACCORDANCE WITH THE DESIGN CODE OF THE ASME BOILER AND PRESSURE VESSEL CODE, SECTION II, PART D, SUBSECTION 1, AND THE DESIGN CODE OF THE ASME BOILER AND PRESSURE VESSEL CODE, SECTION II, PART D, SUBSECTION 2.
3. THE EQUIPMENT SHALL BE DESIGNED TO OPERATE AT A MAXIMUM PRESSURE OF 150 PSIG AND A MAXIMUM TEMPERATURE OF 350°F.
4. THE EQUIPMENT SHALL BE DESIGNED TO OPERATE AT A MAXIMUM PRESSURE OF 150 PSIG AND A MAXIMUM TEMPERATURE OF 350°F.
5. THE EQUIPMENT SHALL BE DESIGNED TO OPERATE AT A MAXIMUM PRESSURE OF 150 PSIG AND A MAXIMUM TEMPERATURE OF 350°F.
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9. THE EQUIPMENT SHALL BE DESIGNED TO OPERATE AT A MAXIMUM PRESSURE OF 150 PSIG AND A MAXIMUM TEMPERATURE OF 350°F.
10. THE EQUIPMENT SHALL BE DESIGNED TO OPERATE AT A MAXIMUM PRESSURE OF 150 PSIG AND A MAXIMUM TEMPERATURE OF 350°F.

[illegible]

STANDARD DUCT SEALING REQUIREMENTS		
(BASED ON INCHES)		
DUCT CLASS	SEALING REQUIREMENTS	APPLICABLE STATIC PRESSURE, CONSTRUCTION STANDARD
A	ALL TRANSVERSE JOINTS, LONGITUDINAL, FLANGE AND DUCT WALL PENETRATIONS	4" WG AND UP (DIN 2400)
B	ALL TRANSVERSE JOINTS AND LONGITUDINAL, REARS ONLY	2" WG (DIN 2400)
C	TRANSVERSE JOINTS ONLY	2" WG (DIN 2400)

NOTE: IN ADDITION TO THE ABOVE, ALL TRANSVERSE JOINTS MUST EXCEED 4" (DIN 2400) AND 1/2" WG (DIN 2400) CONSTRUCTION CLASS THAT IS SUPERIOR TO THE JOINT. REARS MUST MEET CLASS C.

HVAC DESIGN REQUIRES	YES	NO
DUCT INSULATION	*	
FIRE DAMPERS		*
SMOKE DAMPERS		*
FIRE RATED ENCLOSURE		*
FIRE RATED ROOF/ FLOOR CEILING ASSEMBLY		*
FIRE STOPPING		*
SMOKE CONTROL		*

NOTE TO CONTRACTOR

CONTRACTOR TO CLEAN IRING SYSTEM AFTER CONSTRUCTION AND DURING REBALANCING.

CONDENSATE PIPING NOTES

NOTE:
DIMENSIONS/DETAILS ARE TO BE CONSIDERED DIAGNOSTIC, NOT NECESSARILY
BINDING IN DETAIL OR TO SCALE ALL MINOR ITEMS. UNLESS
DIMENSIONS ARE SHOWN, THE STRUCTURAL, ARCHITECTURAL, AND SITE CONDITIONS
SHALL DETERMINE EXIST LOCATIONS. CONTRACTOR SHALL FOLLOW DIMENSIONS IN
LAYING OUT WORK, AND CHECK/COORDINATE DIMENSIONS OF ALL THINGS

MARK	SELECTION BASED ON		TYPE	CFM	TSP MBH	RPM	PWR (W)	MOTOR DATA		DRIVE	SIZES OR INCH	LIMIT WOOD/1	REMARKS
	NAME	MODEL, NLS						RPM	VOLTS-1PH-42				
EF- 1,2,3,4,5	GREENWICH	SP-100	CEILING MTD	25	0.50	800	18 W	850	120-1-40	DIRECT	48		1, 2, 3, 4, 5
EF- 6	GREENWICH	SP-11101	CEILING MTD	50	0.75	850	80 W	850	120-1-40	DIRECT	47		6
EF- 7	GREENWICH	SP-12201	CEILING MTD	100	0.75	1100	1700 W	1100	120-1-40	DIRECT	58		7
EF- 8	GREENWICH	SP-14101	CEILING MTD	80	0.75	1050	128 W	1100	120-1-40	DIRECT	49		8

1. PROVIDE MOTOR STATISTCS, DISCONNECTS AND ALL ASSOCIATED CONTROLS ON ALL FANS.	2. PROVIDE DISCONNECTS ON ALL EXHAUST FANS.
3. PROVIDE ALL ADJUST DEVICES.	4. COORDINATE WITH ELECTRICAL CONTRACTOR BEFORE BIDDING OR ORDERING ANY EQUIPMENT.
5. SET GENERAL AIR CONDITIONING EXHAUST MOTORS FOR OTHER FIELD SUPPLIED FANS.	6. PROVIDE FACTORY FAN MOUNTING SUPPORTS - UBR, CURS, HANGING CLIPS, ETC.
7. PROVIDE ALL EXTERIOR LIGHT WITH DISCONNECT.	8. EF-4,7-8 SHALL INCLUDE LIGHT FIXTURE WITH EXHAUST FAN.

1. SPEED CONTROL.
2. INTERLOCK W/ LIGHT
3. W/ DAMPER
4. W/ 3/4" V.T.O.
5. T-STAT

SCOPE OF WORK


BRAND NEW INRAC SYSTEM FOR THE 1ST AND 2ND FLOOR, 2ND FLOOR IS FOR NONRESIDENTIAL AND MULTI-PURPOSE OCCUPANCY. THE FLOOR SHALL BE MULTI-PURPOSE OCCUPANCY. ALL EXISTING MECHANICAL SYSTEMS HAVE BEEN DEMOLISHED PRIOR TO INSTALLATION OF THESE CONSTRUCTION DOCUMENTS.

COORDINATION WITH EXISTING CONDITIONS AND BID PROCESS

1. PRIOR TO THE CONTRACTOR SHALL PERFORM A SITE SURVEY TO DETERMINE ALL EXISTING CONDITIONS.
2. CONTRACTOR SHALL REVIEW THE ALL OF THE EXISTING AND TENDERS.
3. CONTRACTOR TO INCLUDE IN THE ALL OF THE EXISTING AND TENDERS.
4. CONTRACTOR TO INCLUDE IN THE ALL OF THE EXISTING AND TENDERS.
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[illegible]

SYMBOL	DESCRIPTION
	THERMOCOUP WITH BARBARE
	CASING RELATED MACHINE TOPOLOGICAL SYMBOL
	SUPPLY LINE (FUNCTION OF SHAFT)
	SHAFT
	COUPLING
	SHAFT WITH INPUT
	SHAFT WITH OUTPUT
	MACHINE VOLUME NUMBER
	MECHANICAL CONTROL DAMPER
	BRAKE SYMBOL
	SHAFT DRIVE
	NOT CONNECTED TO OUTPUT
	OUTPUT SYMBOL
	RETURN TO SHELL
	AIR INLET
	SHELL SYMBOL
	AIR INLET AND SHELL
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<u>MECHANICAL INDEX</u>			
	<u>DRAWING</u>		
1	M-100 ELECTRICAL INDEX, SYMBOL, LEGEND AND NOTES		
2	M-101 FIRST LEVEL MECHANICAL PLAN		
3	M-102 SECOND LEVEL AND ROOF MECHANICAL PLAN		
4	M-300 MECHANICAL DETAILS		
5			
6			
7			
8			
9			
10			

SHOP DRAWING REQUIREMENTS

1. CONTRACTOR SHALL SUBMIT 6 COPIES OF COMPLETED SHOP DRAWINGS, TOGETHER WITH ONE TRUE AND FAITH COPY THEREOF, TO THE ARCHITECT. ALL SUBMITTALS SHALL BE MADE WITHIN 20 DAYS OF THE DATE OF THE REQUEST FOR SUBMITTALS.
2. ALL SUBMITTALS MUST CLEARLY IDENTIFY WHAT PART OR PARTS ARE BEING PROVIDED FOR THE PROJECT.
3. SUBMITTALS SHALL BE LIMITED TO ONE OF THE ALTERNATES LISTED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE APPROVAL AND ACCEPTANCE BY THE ENGINEER, ARCHITECT AND OWNER (LULU) OF EACH DRAWING TO BE MADE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, VENDOR APPROVALS AND APPROVALS FROM THE CITY OF MIAMI BEACH, FLORIDA, AND THE FLORIDA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS (FDOT) FOR ALL WORK TO BE DONE UNDER THE CONTRACT.
5. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EACH ITEM BE. HE/SHOULD NOT MAKE MORE THAN ONE CORRECTION TO ANY SHOP DRAWING. ALL SHOP DRAWINGS WILL BE ACCEPTED BY A PURCHASER ORDER FROM THE CONTRACTOR.
6. CIRCUMSTANCES REQUIRING A REQUEST TO THE PERMITTING AGENCIES MAY BE REASON FOR A REQUEST FOR A CORRECTION TO A SHOP DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS, VENDOR APPROVALS AND APPROVALS FROM THE CITY OF MIAMI BEACH, FLORIDA, AND THE FLORIDA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS (FDOT) FOR ALL WORK TO BE DONE UNDER THE CONTRACT.
7. SUBMITTALS FROM THE SHOP DRAWING REQUIREMENTS TO THE PERMITTED CONTRACTOR SHALL BE LIMITED TO ONE OF THE ALTERNATES LISTED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE APPROVAL AND ACCEPTANCE BY THE ENGINEER, ARCHITECT AND OWNER (LULU) OF EACH DRAWING TO BE MADE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, VENDOR APPROVALS AND APPROVALS FROM THE CITY OF MIAMI BEACH, FLORIDA, AND THE FLORIDA DEPARTMENT OF TRANSPORTATION AND HIGHWAYS (FDOT) FOR ALL WORK TO BE DONE UNDER THE CONTRACT.
9. CONTRACTOR SHALL SUBMIT 6 COPIES OF EQUIPMENT LOGS OF ALL ELECTRICAL, MECHANICAL, AND PLUMBING EQUIPMENT TO BE USED ON THE PROJECT. THE EQUIPMENT LOGS SHALL BE IN THE FORM OF A BINDER OR FOLDER, WITH THE EQUIPMENT LOGS BEING COPIES OF PLUM VIEWS OF A BINDER OR FOLDER.

COORDINATION NOTES

1. A/E CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE HIS WORK FOR THE PROJECT WITH ALL OTHER CONTRACTORS AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL PROJECTS ARE COORDINATED AND TO MAKE SURE THAT THERE IS NO OBSTRUCTION FOR ANY OTHER PROJECTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL PROJECTS ARE COORDINATED AND TO MAKE SURE THAT THERE IS NO OBSTRUCTION FOR ANY OTHER PROJECTS.
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9. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL PROJECTS ARE COORDINATED AND TO MAKE SURE THAT THERE IS NO OBSTRUCTION FOR ANY OTHER PROJECTS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL PROJECTS ARE COORDINATED AND TO MAKE SURE THAT THERE IS NO OBSTRUCTION FOR ANY OTHER PROJECTS.

GENERAL DEMOLITION NOTES

1. PRIOR TO CONSTRUCTION OF ANY NEW OR IMPROVED LANE OR DRIVEWAY THE EXISTING DRIVEWAY SHALL BE REMOVED AND CONSIDERED AS A TYPE B DEMOLITION PROJECT. THE EXISTING DRIVEWAY SHALL BE DEMOLISHED AND GRASS SHALL BE MAINTAINED TO REMAIN AS A GRASSY AREA. THE EXISTING DRIVEWAY SHALL BE DEMOLISHED TO THE EXISTING DRIVEWAY LINE AND THE EXISTING DRIVEWAY SHALL BE MAINTAINED TO REMAIN AS A GRASSY AREA.
2. THE EXISTING DRIVEWAY SHALL BE DEMOLISHED TO THE EXISTING DRIVEWAY LINE AND THE EXISTING DRIVEWAY SHALL BE MAINTAINED TO REMAIN AS A GRASSY AREA.
3. THE EXISTING DRIVEWAY SHALL BE DEMOLISHED TO THE EXISTING DRIVEWAY LINE AND THE EXISTING DRIVEWAY SHALL BE MAINTAINED TO REMAIN AS A GRASSY AREA.
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6. THE EXISTING DRIVEWAY SHALL BE DEMOLISHED TO THE EXISTING DRIVEWAY LINE AND THE EXISTING DRIVEWAY SHALL BE MAINTAINED TO REMAIN AS A GRASSY AREA.
7. THE EXISTING DRIVEWAY SHALL BE DEMOLISHED TO THE EXISTING DRIVEWAY LINE AND THE EXISTING DRIVEWAY SHALL BE MAINTAINED TO REMAIN AS A GRASSY AREA.


REQUIREMENTS FOR SUBMITTALS

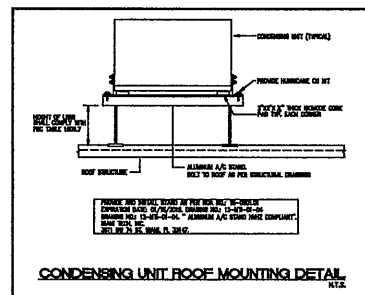
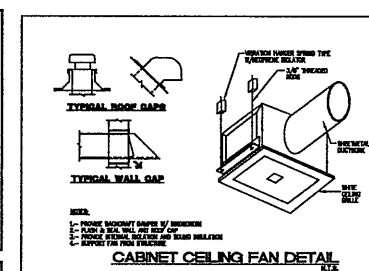
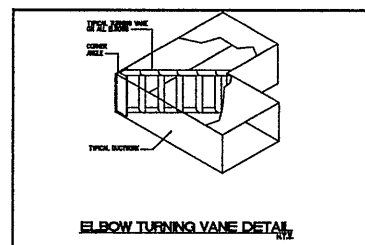
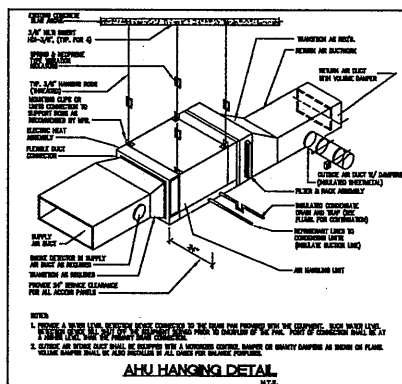
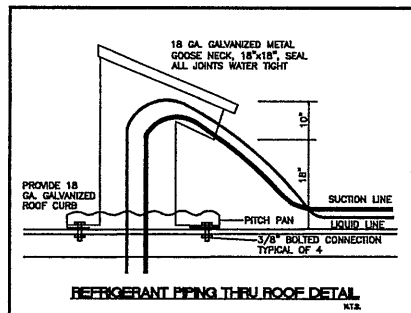
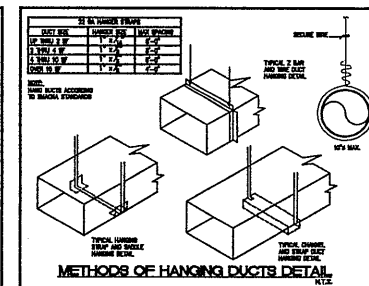
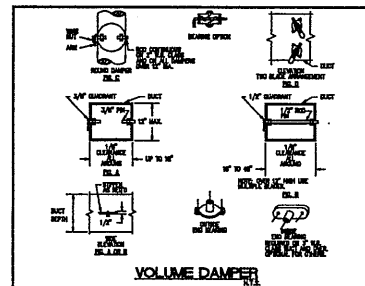
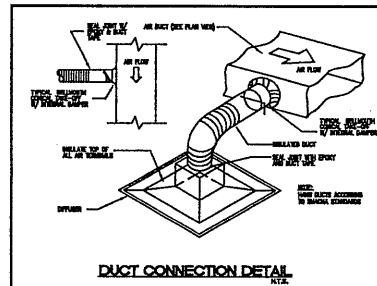
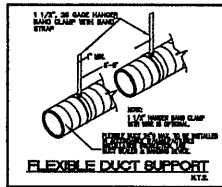
IF CONTRACTOR WANTS A DIFFERENT EQUIPMENT SPECIFICATION THAN THE CONTRACT SPECIFICATIONS, HE MUST FIRST OBTAIN WRITTEN APPROVAL FROM THE DISTRICT ENGINEER. ANY CHANGES TO THE EQUIPMENT SPECIFICATIONS OF THE ORIGINAL CONTRACT DOCUMENTS, INCLUDING MODIFICATIONS,

THE FOLLOWING REQUIREMENTS SHALL ALSO BE CONSIDERED WITH THE FOLLOWING:

- CAPACITY
- EFFICIENCY
- PERFORMANCE
- ELECTRICAL DATA
- WEIGHT
- AUTOMATIC CONTROL
- ANY SPECIAL NOTE OR ACCESSORY LISTED ON SCHEDULES

[illegible]

 SYNALOVERS ROMANTICS SOCIETY 16800 Lehigh Valley, Suite 200 Fort Lauderdale, FL 33309 TEL: 954.361.8200 F: 954.361.8207 www.synalovers.com	
Marnel Brinkhoff, AIA Architect No. 0011688 FL	
LICENSE NO. AA3091613	
<h1 style="margin: 0;">Existing Building Renovation Plans for:</h1> <h1 style="margin: 0;">BOLDEN BUILDING</h1>	
1227 NW 6TH ST. FORT LAUDERDALE, FL 33309	
CLIENT: CITY OF FORT LAUDERDALE, FLA	
BY	DATE
DESIGNED BY	10/22/18
CHECKED BY	
ISSUED BY	
PROJECT NO.	1535-100-013
DRAWN BY	MD, RA, RT
CHECKED BY	JAGS
City of Fort Lauderdale 1227 NW 6TH ST. FORT LAUDERDALE, FL 33309	
MECHANICAL INDEX, SYMBOL, LEGEND, SCHEDULES AND NOTES PLAN	
M-100	

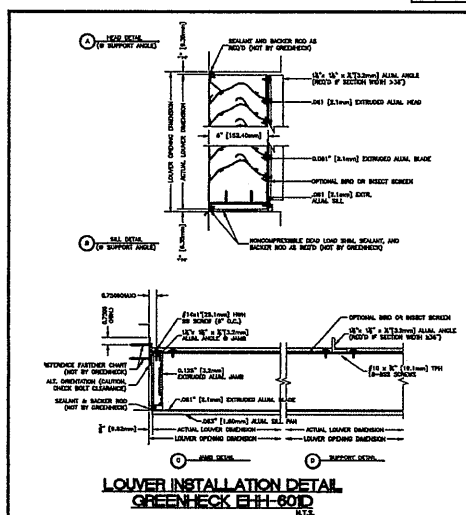
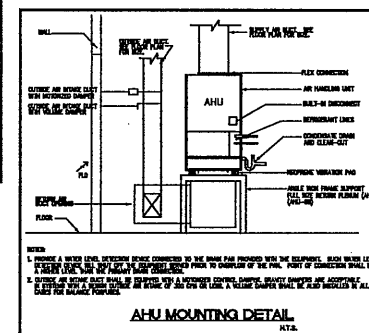


CLEARANCE BELOW RAISED ROOF MOUNTED MECHANICAL UNITS

(BASED ON 10' MIN. CLEARANCE - SEE FIG. 1)

TYPE OF MECHANICAL UNIT	MINIMUM CLEARANCE ABOVE UNIT (FEET)
UP TO 30"	10'
30" TO 40"	12'
40" TO 50"	14'
50" TO 60"	16'
60" TO 70"	18'
70" TO 80"	20'
80" TO 90"	22'
90" TO 100"	24'

NOTE: NEVER ADD TO TEMPORARY INSTALLATION.



Normal Personnel, AIA
SEAL

LICENSE NO. A22001843

Existing Building Renovation Plans for:
BOLDEN BUILDING
1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE, FLA

NO.	DATE	DESCRIPTION
1	10/27/10	1. REVISION: SEE REVISIONS

DESIGN
DATE: 10/27/10

PROJECT NUMBER: 1535-180-425
DRAWN BY: AIA, RA, RT
CHECKED BY: AIA

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MECHANICAL
DETAILS

M-200





SYNALOVSKI ROMANIK & SONS

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Fort Lauderdale, FL 33314
TEL: 954.561.4866
FAX: 954.561.4867
www.srsinc.com

Marcel Synalowski, AIA
AIA 0011658
SFL

LICENSE NO. A434001843

Existing Building Renovation Plans for:
BOLDEN BUILDING
1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE, FLA

REV	NO	DESCRIPTION	DATE
1	1	ISSUED FOR PERMIT	10/22/18

DESIGN
DELIVERABLE:
ISSUE DATE: 10/22/18

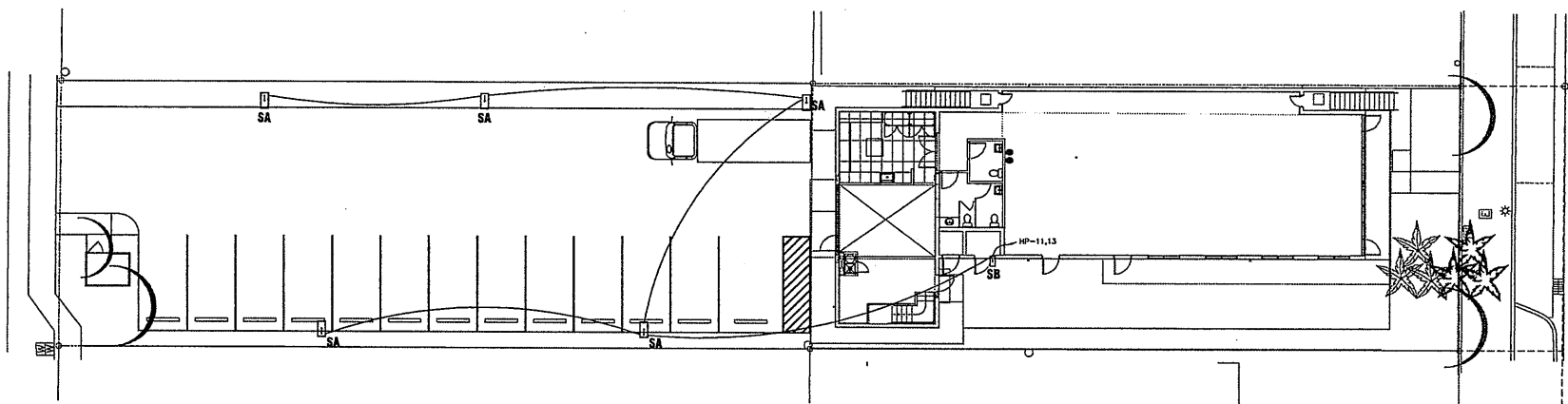
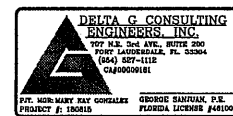
PROJECT NUMBER: 1335-180425
DRAWN BY: MD, RA, RT
CHECKED BY: AMG
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SHEET TITLE:

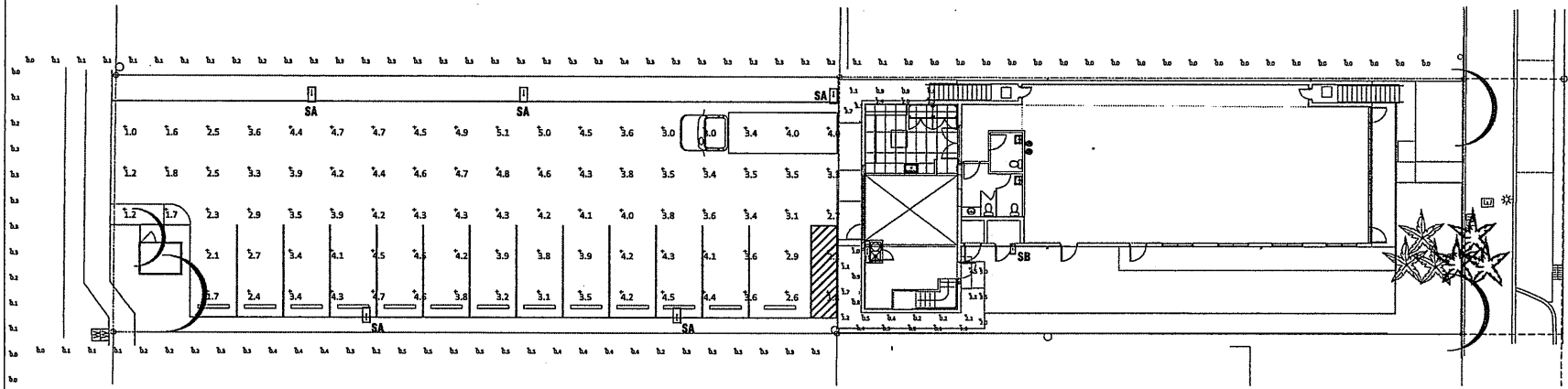
ELECTRICAL
SITE PLAN

SHEET NUMBER:

E-100.1



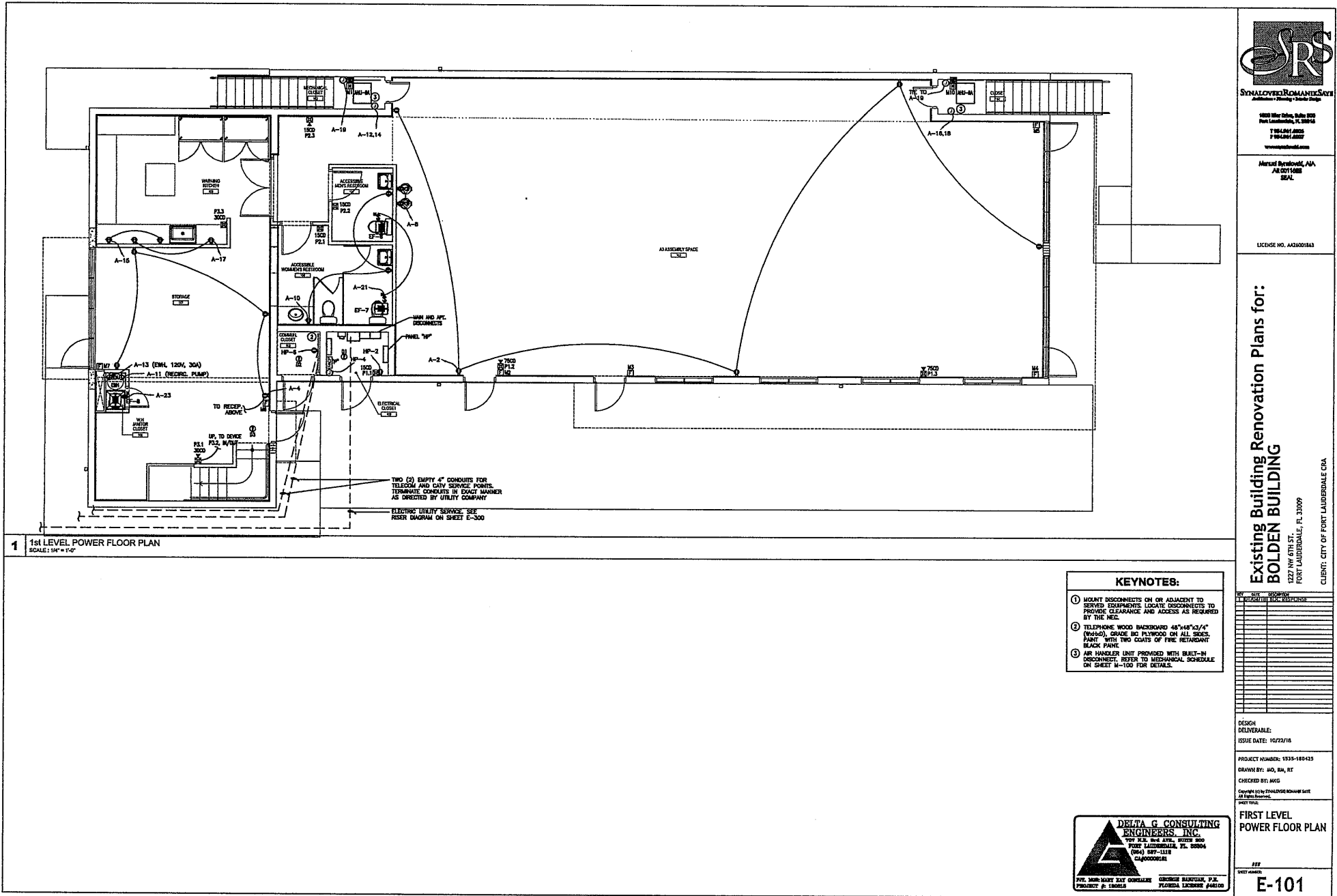
1 ELECTRICAL SITE PLAN
SCALE: 1" = 10'-0"

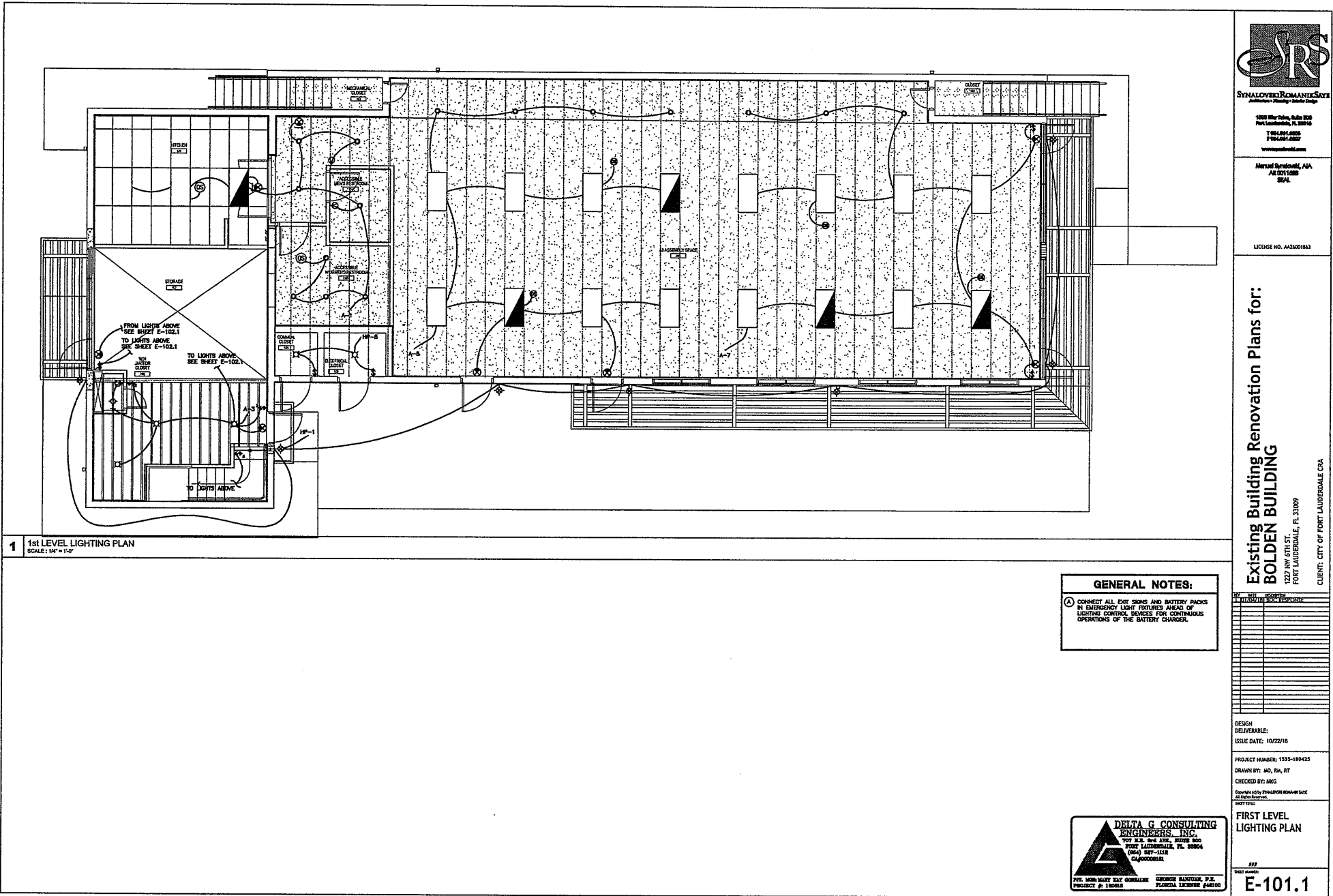


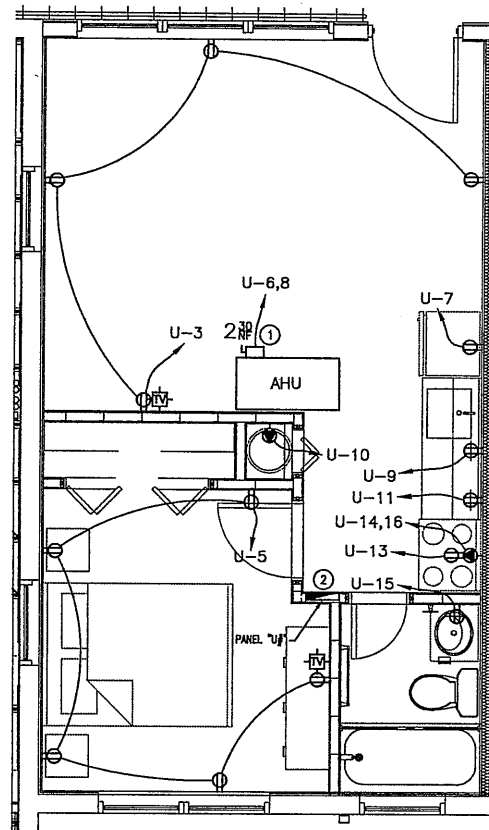
2 PHOTOMETRIC PLAN
SCALE: 1" = 10'-0"

Calculation Summary					
Project: Bolden Building SITE - NOV 7, 2018					
Label	Avg	Max	Min	Avg/Min	Max/Min
PARKING_Planar	3.59	5.1	1.0	3.59	5.10
SPILL	0.20	0.5	0.0	N/A	N/A

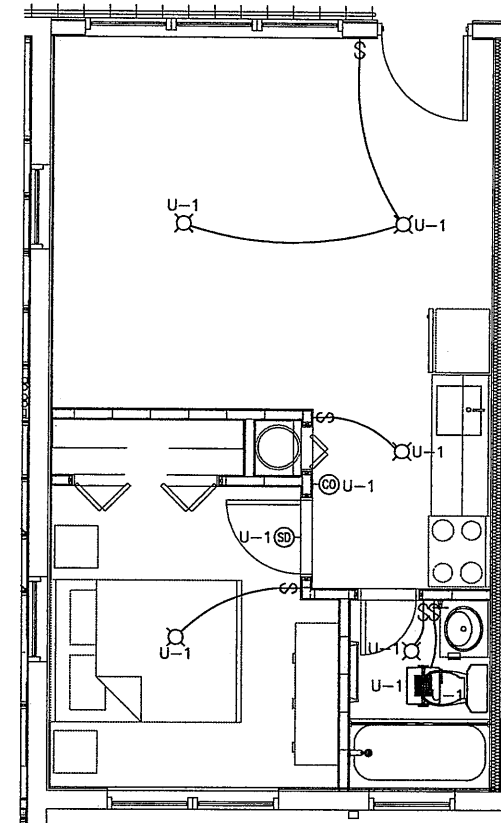
Luminaire Schedule									
Project: Bolden Building SITE - NOV 7, 2018									
Symbol	Qty	Label	Description	LLD	LDD	LPF	Lum. Watts	Total Watts	
⊞	5	SA	PHILIPS GARDCO P26-48L-400-NW-G2-BLC MH 20FT AFG	0.500	0.900	0.810	60.07694	300.3847	
⊞	1	SB	PHILIPS GARDCO PWS-48L-300-NW-G2-2 MH 15FT AFG	0.500	0.900	0.810	45.8	45.8	







2nd LEVEL TYPICAL UNIT. POWER FLOOR PLAN
SCALE: 1/2" = 1'-0"



2nd LEVEL TYPICAL UNIT. LIGHTING FLOOR PLAN
SCALE: 1/2" = 1'-0"

KEYNOTES

- ① MOUNT DISCONNECTS ON OR ADJACENT TO SERVED EQUIPMENTS LOCATE DISCONNECTS TO PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY THE NEC.
- ② INSTALL 3/4" EMPTY CONDUIT W/PULL STRING FROM LOW CENTER TO CONDENSER UNIT LOCATED ON THE ROOF.



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Mervin Synalover, P.E.
AZ 0715888
SEAL

LICENSE NO. A23201843

Existing Building Renovation Plans for:
BOLDEN BUILDING
1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309

CLIENT: CITY OF FORT LAUDERDALE CIVIL

NO.	REV.	DESCRIPTION
1	0	ISSUED FOR PERMIT

DESIGN
DELIVERABLE:
ISSUE DATE: 10/22/10
PROJECT NUMBER: 1335-180423
DRAWN BY: AG, RA, RT
CHECKED BY: AGG
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TYPICAL UNIT
ELECTRICAL PLAN

REV
SHEET NUMBER:
E-200

