

ARCHITECT

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NEW YORK'S SUBS AND WINGS & BLUES LOUNGE

1448 NW 6TH STREET
FORT LAUDERDALE FL 33311

for MARGLIP INVESTMENT LLC.



(ZONING REVIEW MEETING)

ISSUED

07/11/18

D2F PROJECT NO: 18-001

NEW YORK'S SUBS AND WINGS & BLUES LOUNGE | (ZONING REVIEW MEETING)

CAM # 19-0841

Exhibit 3

Page 1 of 16

LOT INFO	REQUIRED/ ALLOWED	EXISTING/ PROPOSED
LOT AREA:	-	16,181 S.F.
LOT ACREAGE:	-	0.37
LOT COVERAGE:	-	9,562 S.F.
OPEN SPACE:	-	1,464 S.F.
GR. EN SPACE:	-	3,769 S.F.
PARKING	REQUIRED/ ALLOWED	EXISTING/ PROPOSED
SETBACKS:	15'-0"	15'-0"
PARKING COUNT	REQUIRED/ ALLOWED	PROPOSED
1ST FLOOR: BUSINESS	2,298 S.F. ⁷⁶⁰ S.F. -10	7
2ND FLOOR: BUSINESS	2,298 S.F. ⁷⁶⁰ S.F. -10	6
3RD FLOOR: RESTAURANT	2,298 S.F. ⁷⁶⁰ S.F. -23	5
TOTAL:	43	18
BLDG SIZE		
FAR/LR:	N/A	N/A
1ST FLOOR:	-	3,637 S.F.
2ND FLOOR:	-	3,043 S.F.
3RD FLOOR:	-	3,813 S.F.
TOTAL:	-	10,793 S.F.
BLDG HEIGHT	REQUIRED/ ALLOWED	PROPOSED
STORIES: PHASE 1	N/A	2
STORIES: PHASE 2	N/A	3
MAX HEIGHT:	45'-0"	30'-4"
LANDSCAPE BUFFERS	REQUIRED/ ALLOWED	EXISTING/ PROPOSED
SEE PLAN	10'-0"	10'-0"

GENERAL
FRONT COVER
G01.01 DRAWING INDEX & PROJECT INFO
G02.02 GENERAL NOTES
SURVEY
ARCHITECTURAL
AR1.01 EXISTING FIRST & SECOND FLOOR PLAN
AR2.01 EXISTING ROOF PLAN
AR3.01 EXISTING ELEVATION
AR3.02 EXISTING ELEVATION
AR1.01 PROPOSED SITE PLAN
A1.01A PROPOSED FLOOR PLAN PHASE 1
A1.02A PROPOSED ROOF PLAN PHASE 1
A3.01A PROPOSED ELEVATIONS PHASE 1
A3.02A PROPOSED ELEVATIONS PHASE 1
A1.01B PROPOSED FLOOR PLAN PHASE 2
A1.02B PROPOSED ROOF PLAN PHASE 2
A3.01B PROPOSED ELEVATION PHASE 2
A4.01A BUILDING SECTIONS PHASE 1
BACK COVER

SCOPE OF WORK
CLASSIFICATION OF WORK: FBC: LEVEL III ALTERATIONS NPPA/MODIFICATION
AREA OF WORK: BUILDING: 10,793 S.F. SITE WORK: 14,547 S.F.
DESCRIPTION OF WORK: PHASE 1: RENOVATION OF EXISTING 2-STORY BUILDING TO INCLUDE WINDOW & DOOR REPLACEMENT (INCLUDING MODIFICATION OF OPENINGS); 1ST AND 2ND FLOOR INTERIOR BUILD-OUT, INCLUDING OPENING UP PART OF 2ND FLOOR TO PROVIDE A DOUBLE-HEIGHT DINING SPACE ON THE 1ST FLOOR; NEW OVERHANG AND SIGNAGE ON EXTERIOR; NEW EXTERIOR STAIRS; NEW COVERED BAL AND SEATING AREA ON ROOF; MECHANICAL, PLUMBING AND ELECTRICAL WORK. SITE WORK TO INCLUDE: NEW PARKING SPACES; LANDSCAPING; NEW TRASH ENCLOSURE; NEW PLAZA AREA; NEW METAL FENCE & MASONRY WALL. DEMOLITION UNDER SEPARATE PERMIT 18060412. PHASE 2: NEW CONSTRUCTION OF A 3-STORY COMMERCIAL BUILDING ON THE SAME PROPERTY.
BLDG USE & OCCUPANCY CLASSIFICATION
OCCUPANCY CLASSIFICATION: PHASE 1: RESTAURANT BUSINESS PHASE 2: BUSINESS AND A-2

GOVERNING CODES

THESE ARE STANDARD CODES AND MAY NOT BE APPLICABLE TO THIS PROJECT:

- LOCAL ZONING CODE
- 2017 FLORIDA BUILDING CODE: ACCESSIBILITY
- 2017 FLORIDA BUILDING CODE: BUILDING
- 2017 FLORIDA BUILDING CODE: ENERGY CONSERVATION
- 2017 FLORIDA BUILDING CODE: EXISTING BUILDING
- 2017 FLORIDA BUILDING CODE: FUEL GAS
- 2017 FLORIDA BUILDING CODE: MECHANICAL
- 2017 FLORIDA BUILDING CODE: PLUMBING
- 2017 FLORIDA BUILDING CODE: RESIDENTIAL
- 2017 FLORIDA BUILDING CODE: TEST PROTOCOLS
- FLORIDA FIRE PREVENTION CODE, 8TH EDITION (2017) (2015 NFPA 1 AND NFPA 101)
- 1991 FAIR HOUSING ACCESSIBILITY GUIDELINES WITH 1994 QUESTION AND ANSWER SUPPLEMENT & 1998 DESIGN MANUAL
- 2014 STATE REQUIREMENTS FOR EDUCATIONAL FACILITIES (SHEF)

CODE STATEMENT

TO THE BEST OF THE ARCHITECT'S/ENGINEER'S KNOWLEDGE, THE DRAWINGS AND SPECIFICATIONS SUBMITTED THEREIN ARE COMPLIANT WITH ALL APPLICABLE CODES AS DETERMINED BY THE LOCAL AUTHORITY.

PROPERTY INFO

FOLIO NO:	5042-04-06-0010
PROPERTY ADDRESS:	1448 NW 6 STREET, FORT LAUDERDALE FL 33311
LEGAL DESCRIPTION:	FIRST ADD TO TUSKEGEE PARK 9-66 B LOT 1 TO 3 BLK 1, LESS FOR DESC AS BE3 NW COR LOT 1, E 113.9 11.95, W 113.11, 11.82 TO POB
OWNER INFO:	MARGUP INVESTMENTS LLC
FLOOD ZONE:	X
ZONING CLASS:	NWRA-C-MLW NORTH-WEST REGIONAL ACTIVITY CENTER, MIXED USE WEST
LAND USE:	EXISTING: MIXED USE COMMERCIAL PROPOSED: PHASE 1- BAR AND RESTAURANT PHASE 2- COMMERCIAL
FLOORS:	PROPOSED: PHASE 1: 2 STORIES PHASE 2: 3 STORIES
BUILDING AREA:	EXISTING: 3,160 S.F. PHASE 1: 3,008 S.F. PHASE 2: 8,885 S.F.
LOT SIZE:	16,189 S.F.

SUBJECT PROPERTY



LOCATION MAP

SCALE: NOT TO SCALE



LOCATION MAP

SCALE: NOT TO SCALE

CAM # 19-0841

Exhibit 3

Page 2 of 16

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2013 AIA AIA 2013

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01/26/18	01/26/18	DESIGN SCHEME
03/05/18	03/05/18	DESIGN DEVELOPMENT
04/17/18	04/17/18	BASE DRAWINGS
06/05/18	06/05/18	DEMOLITION PERMIT
07/11/18	07/11/18	ZONING REV. MEETING

PROJECT NO.: 18-001
DRAWN BY: LAANCHEZ
CHECKED BY: Z. BROWN

SHEET TITLE
DRAWING
INDEX &
PROJECT INFO

SHEET NUMBER
G0.01

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GENERAL NOTES

1. THE CONTRACTOR MUST BECOME FAMILIAR WITH THE PROJECT SITE AND EXISTING CONDITIONS PRIOR TO BIDDING.
2. THE CONTRACTOR MUST FIELD VERIFY EXISTING DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.
3. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY ERRORS, DISCREPANCIES OR OMISSIONS DISCOVERED IN THE DRAWINGS OR SPEC.
4. ALL CONSTRUCTION SCHEDULES AND METHODS OF DEMOLITION OR CONSTRUCTION SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO STARTING CONSTRUCTION.
5. APPROVED ROUTES AND POINTS OF ACCESS TO THE SITE SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE OWNER PRIOR TO STARTING CONSTRUCTION. ACCESS SHALL BE PERMITTED ONLY DURING PERIODS OF TIME SPECIFIED BY THE OWNER.
6. DELIVERIES SHALL BE COORDINATED BETWEEN THE CONTRACTOR AND THE OWNER.
7. AUTOMOBILES OF ALL CONSTRUCTION WORKERS ON THIS PROJECT SHALL BE PARKED IN AN AREA DESIGNATED FOR THIS PURPOSE BY THE OWNER. NO CONSTRUCTION WORKERS' VEHICLES WILL BE ALLOWED ON THE CONSTRUCTION SITE.
8. THE CONTRACTOR MUST SECURE THE SITE AND LIMIT CONSTRUCTION ACTIVITIES TO THE CONSTRUCTION SITE.
9. THE CONTRACTOR MUST TAKE ALL REASONABLE PRECAUTIONS TO PREVENT THE INTRUSION OF DUST OR OTHER INTERFERENCE WITH OPERATIONAL AREAS. THE CONTRACTOR SHALL USE BULLETFIRE METHODS FOR DUST, DIRT, POLLUTION CONTROL AND LIMIT THE USE OF WATER TO PREVENT FLOODING OF ADJACENT AREAS AND SAFETY HAZARDS.
10. THE CONTRACTOR SHALL FURNISH AND ERECT SIGNS, BARRICADES, LIGHTS, FLAGS AND OTHER PROTECTIVE DEVICES AS MAY BE REQUIRED TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC. ALL SUCH SIGNS, BARRICADES, LIGHTS, FLAGS AND OTHER PROTECTIVE DEVICES SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT/ENGINEER.
11. THE CONTRACTOR SHALL CONDUCT DEMOLITION OR CONSTRUCTION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM THE OWNER OR AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
12. THE CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSONS AROUND THE AREA OF DEMOLITION OR CONSTRUCTION.
13. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, SERVICES AND EQUIPMENT SUFFICIENT FOR THE PRODUCTION OF THE WORK IN AN ACCEPTABLE MANNER AND AT A SATISFACTORY RATE OF PROGRESS. ALL EQUIPMENT, TOOLS, AND MACHINERY USED IN THE PRODUCTION OF WORK SHALL BE MAINTAINED IN A SAFE WORKING CONDITION AND SHALL BE APPROPRIATE FOR THE WORK TO BE PERFORMED.
14. THE CONTRACTOR SHALL STORE ALL MATERIALS IN NEAT AND PROPER ARRANGEMENT.
15. ALL KNOWN UTILITIES AND EXISTING STRUCTURES, ETC. INCLUDING UNDERGROUND ARE SHOWN ON THE PLANS, BUT NO GUARANTEE IS IMPLIED THAT THE INFORMATION IS ACCURATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL SUCH UTILITIES, STRUCTURES, ETC. BY HAND EXCAVATION OR OTHER APPROPRIATE MEASURES BEFORE PERFORMING ANY WORK THAT COULD RESULT IN DAMAGE TO SUCH UTILITIES OR STRUCTURES. THE CONTRACTOR SHALL, IN CONJUNCTION WITH THE ARCHITECT/ENGINEER, MAKE A THOROUGH SEARCH OF THE SITE FOR UNDERGROUND UTILITIES, STRUCTURES, ETC. BEFORE WORK IS COMMENCED IN ANY PARTICULAR LOCATION. TO THIS END HE SHALL PROVIDE AND MAINTAIN THROUGHOUT THE TERM OF THE CONTRACT AN ELECTRONIC DEVICE CAPABLE OF LOCATING UNDERGROUND UTILITIES, ETC.
16. IN THE EVENT OF DAMAGE TO, OR ACCIDENTAL DISRUPTION OF UTILITIES OR OTHER FACILITIES AS A RESULT OF THE CONTRACTORS OPERATIONS, THE CONTRACTOR SHALL TAKE IMMEDIATE STEPS TO REPAIR OR REPLACE ALL DAMAGE AND TO RESTORE ALL SERVICES. FURTHER, THE CONTRACTOR SHALL ENGAGE ANY ADDITIONAL OUTSIDE SERVICES WHICH MAY BE NECESSARY TO PROSECUTE REPAIRS ON A CONTINUOUS "AROUND THE CLOCK" BASIS UNTIL SERVICES ARE RESTORED. HE SHALL ALSO PROVIDE AND OPERATE ANY SUPPLEMENTAL TEMPORARY SERVICES TO MAINTAIN UNINTERRUPTED USE OF THE FACILITIES. ALL COST INVOLVED IN MAKING REPAIRS AND RESTORING DISRUPTED SERVICE RESULTING FROM NEGLIGENCE ON THE PART OF THE CONTRACTOR SHALL BE BORNE BY THE CONTRACTOR AND HE SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL CLAIMS RESULTING FROM DAMAGE.

16. THE CONTRACTOR SHALL NOT PURPOSEFULLY DISRUPT OR DISCONNECT ANY TYPE OF UTILITY WHATSOEVER WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION OF THE ARCHITECT/ENGINEER. IF A SUITABLE BYPASS OF SUCH UTILITY CANNOT BE PROVIDED, THEN THE ARCHITECT/ENGINEER MAY DIRECT THE CONTRACTOR TO PROCEED WITH THE WORK ON A 24-HOUR PER DAY BASIS UNTIL SUCH INTERRUPTED UTILITY SERVICES ARE COMPLETELY RESTORED. REQUESTS FOR DISCONNECTION MUST BE RECEIVED BY THE ARCHITECT/ENGINEER AT LEAST 72 HOURS PRIOR TO THE TIME OF THE REQUESTED INTERRUPTION, AND SHALL STATE:
 - A. THE IDENTITY OF THE UTILITY INVOLVED.
 - B. JUSTIFICATION OF THE REQUESTED DISCONNECTION.
 - C. THE LOCATION OF THE REQUESTED DISCONNECTION.
 - D. THE EXACT DATE AND TIME AT WHICH THE DISCONNECTION IS REQUESTED.
 - E. THE DURATION OF THE PROPOSED DISCONNECTION.
17. THE CONTRACTOR SHALL REMOVE ALL TOOLS, SCAFFOLDING, SURPLUS MATERIALS AND ALL TEMPORARY FACILITIES FROM COMPLETED WORK AREAS.
18. THE CONTRACTOR SHALL KEEP THE JOB SITE CLEAN AND CLEAR OF ALL ALL SURPLUS AND SCRAP MATERIAL, BULK WASTE AND DEBRIS RESULTING FROM THE WORK. ALL SUCH MATERIALS SHALL BE PROPERLY DISPOSED OF AND REMOVED FROM THE SITE AT LEAST ONCE EACH WEEK. THOSE MATERIALS WHICH ARE COMBUSTIBLE SHALL BE REMOVED FROM BUILDINGS AT THE END OF EACH WORKING DAY.
19. IF THE CONTRACTOR FAILS TO MAINTAIN LEVELS OF CLEANLINESS IN WORK AREAS, SATISFACTORY TO THE ARCHITECT/ENGINEER, THEN THE OWNER SHALL HAVE THE RIGHT TO CAUSE SUCH AREAS TO BE CLEANED BY OTHERS. THE COSTS FOR SUCH CLEANING SHALL BE PAID BY THE CONTRACTOR.

UPON COMPLETION OF THE WORK AND BEFORE ACCEPTANCE AND FINAL PAYMENT WILL BE MADE:

20. ALL CONCRETE WALKS, APRONS, ETC., INCLUDING ADJACENT PAVING SHALL BE THOROUGHLY CLEANED AND FREE FROM BUILDING MATERIALS, CONTAINERS, DUST, DIRT, SAND AND ALL OTHER INCIDENTAL DEBRIS. AREAS SHALL BE WELL SWEEPED AND, IF IN THE OPINION OF THE ARCHITECT/ENGINEER SUCH IS REQUIRED, SHALL BE HOSED DOWN WITH CLEAN WATER.
21. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL MACHINERY, EQUIPMENT, SURPLUS AND DISCARDED MATERIALS, FURNISH TEMPORARY STRUCTURES, ETC. ALL TRACES OF BARRICADES, FENCES, ETC. AND ALL CONTRACTORS TOOLS, EQUIPMENT, ETC., SHALL BE COMPLETELY REMOVED FROM THE OWNERS PROPERTY. MATERIALS CLEARED FROM THE SITE AND DEPOSITED ON ADJACENT PROPERTY WILL NOT BE CONSIDERED AS HAVING BEEN DEPOSITED OF SATISFACTORYLY.
22. THE CONTRACTOR SHALL REPAIR ALL DAMAGE TO ADJACENT FACILITIES CAUSED BY DEMOLITION OR CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
23. THE CONTRACTOR SHALL REPLACE ANY LANDSCAPING DAMAGED DURING DEMOLITION OR CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.

TERMITE PROTECTION

ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERANEAN TERMITES AS PER FBC 181.6.1.7. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPT. BY A LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF TERMITES. TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPT. OF AGRICULTURE AND CONSUMER SERVICES."

DEMOLITION

1. GENERALLY, CONTRACT DOCUMENTS WILL NOT DEFINE STANDARDS OF WORKMANSHIP PRESENT IN EXISTING CONSTRUCTION. THE OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF EXISTING STRUCTURE AND ITEMS INDICATED TO BE DEMOLISHED.
2. THE CONTRACTOR SHALL PROTECT THE EXISTING STRUCTURE AND ITEMS TO REMAIN FROM WEATHER AND EXTREMES OF TEMPERATURE TO PREVENT DAMAGE.
3. THE CONTRACTOR SHALL MAINTAIN ALL REQUIRED FIRE EXITS DURING DEMOLITION.
4. THE CONTRACTOR SHALL PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURE OR ITEMS TO BE DEMOLISHED, AND WORK TO REMAIN.
5. THE CONTRACTOR MUST USE CARE TO ONLY REMOVE PORTIONS OF EXISTING STRUCTURE OR ITEMS INDICATED TO BE REMOVED.
6. THE OWNER RESERVES THE RIGHT TO CLAIM ANY ITEMS OF SALVAGEABLE VALUE NOTED FOR REMOVAL. THE CONTRACTOR SHALL DELIVER SUCH ITEMS TO A SITE DESIGNATED BY THE OWNER AT NO ADDITIONAL COST.
7. WHERE INDICATED, ITEMS OF SALVAGEABLE VALUE SHALL BE STORED IN A DRY, SECURE LOCATION AND FLAT LEVEL POSITION FOR POSSIBLE REINSTALLATION. DO NOT INCORPORATE SALVAGED OR USED ITEMS IN NEW CONSTRUCTION WITHOUT APPROVAL OF THE ARCHITECT.
8. THE CONTRACTOR SHALL NOT ENDANGER, BY CUTTING, DIGGING, LOADING OR OTHERWISE, THE STRUCTURAL INTEGRITY OR OVERALL SAFETY OF THE STRUCTURE.
9. THE USE OF EXPLOSIVES SHALL NOT BE PERMITTED.
10. DISCONNECT ALL ELECTRICAL CIRCUITS, SWITCHES AND DEVICES AT MAIN PANEL SERVING AREAS TO BE DEMOLISHED PRIOR TO COMMENCEMENT OF WORK.
11. REMOVE ALL APPLIANCES AND EQUIPMENT, INCLUDING BUT NOT LIMITED TO, PIPING, CONTROLS, CONDITS AND PANEL BOARDS THROUGHOUT AREAS OF DEMOLITION.
12. ALL PERMANENTLY DISCONNECTED UTILITIES TO BE APPROPRIATELY ABANDONED AND CAPPED CONSISTENT WITH INDUSTRY STANDARDS AND UTILITY COMPANY REQUIREMENTS.
13. SAW-CUT ALL MATERIALS AND AREAS INDICATED FOR SELECTIVE OR PARTIAL DEMOLITION. REMOVE GLUE OR ANCHORING DEVICES, PATCH AND LEVEL SURFACES TO RECEIVE NEW FINISHES.
14. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. CUT CONCRETE AND MASONRY AT JUNCTIONS WITH CONSTRUCTION TO REMAIN USING A POWER MASONRY SAW OR HAND TOOLS. DO NOT USE POWER DRIVEN IMPACT TOOLS.
15. ALL WALLS INDICATED FOR DEMOLITION SHALL BE REMOVED FULL HEIGHT, UNLESS NOTED OTHERWISE.
16. ALL FLOORS SCHEDULED TO RECEIVE NEW FINISHES SHALL BE APPROPRIATELY REPAIRED AND MADE LEVEL, UNLESS NOTED OTHERWISE.
17. THE CONTRACTOR SHALL RESTORE AND/OR REPLACE ALL MATERIALS, FINISHES AND BUILDING COMPONENTS DAMAGED DURING THE COURSE OF CONSTRUCTION. ALL REPAIR, PATCHING AND REFINISHING WORK SHALL BE NEAT, MATCH THE ADJACENT FINISH, UNLESS NOTED OTHERWISE, AND MEET THE APPROVAL OF THE ARCHITECT.
18. THE CONTRACTOR SHALL PROVIDE THE SAME PRODUCTS OR TYPES OF CONSTRUCTION AS THAT IN THE EXISTING STRUCTURE AS NEED TO PATCH, EXTEND OR MATCH EXISTING WORK, UNLESS NOTED OTHERWISE.
19. WHEN NEW WORK ABUTS THE EXISTING, MAKE A SMOOTH AND FLAWLESS TRANSITION. PATCH WORK SHALL MATCH EXISTING ADJACENT FINISH IN TEXTURE AND APPEARANCE SO THAT THE PATCH OR TRANSITION IS INVISIBLE AT A DISTANCE OF FIVE (5) FEET, UNLESS NOTED OTHERWISE.
20. DEMOLITION OPERATIONS SHALL BE IN ACCORDANCE WITH NFPA 1 CHAPTER 18, FBC CHAPTER 33, NFPA 241, AND OSHA REGULATIONS FOR PROPER WASTE DISPOSAL OF CONSTRUCTION MATERIALS, HAZARDOUS MATERIAL HANDLING, ACCESS AT SITE FOR EMERGENCY VEHICLES AT ALL TIMES, MAINTENANCE OF MEANS OF EGRESS, AND PRESERVATION OF EXISTING FIRE PROTECTION SYSTEM.



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ISSUE

MARK	DATE	DESCRIPTION
	01/17/18	SITE VISIT
	01/24/18	AS-BUILT DRAWINGS
	01/29/18	DESIGN SCHEME
	03/05/18	DESIGN DEVELOPMENT
	04/11/18	BASE DRAWINGS
	06/28/18	DEMOLITION PERMIT
	07/11/18	ZONING REV. MEETING

PROJECT NO.: 18-007
DRAWN BY: J. SANCHEZ
CHECKED BY: Z. BROWN

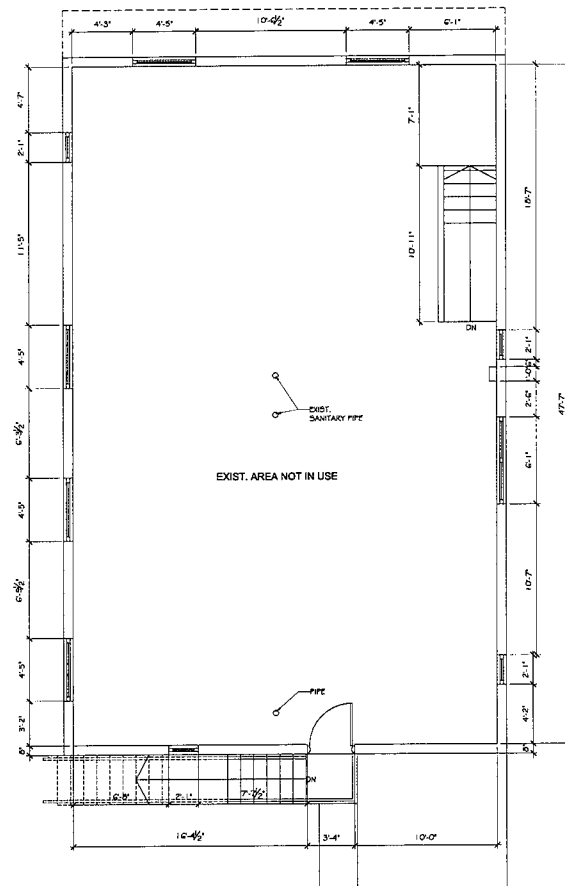
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GENERAL
NOTES

SHEET NUMBER
G0.02

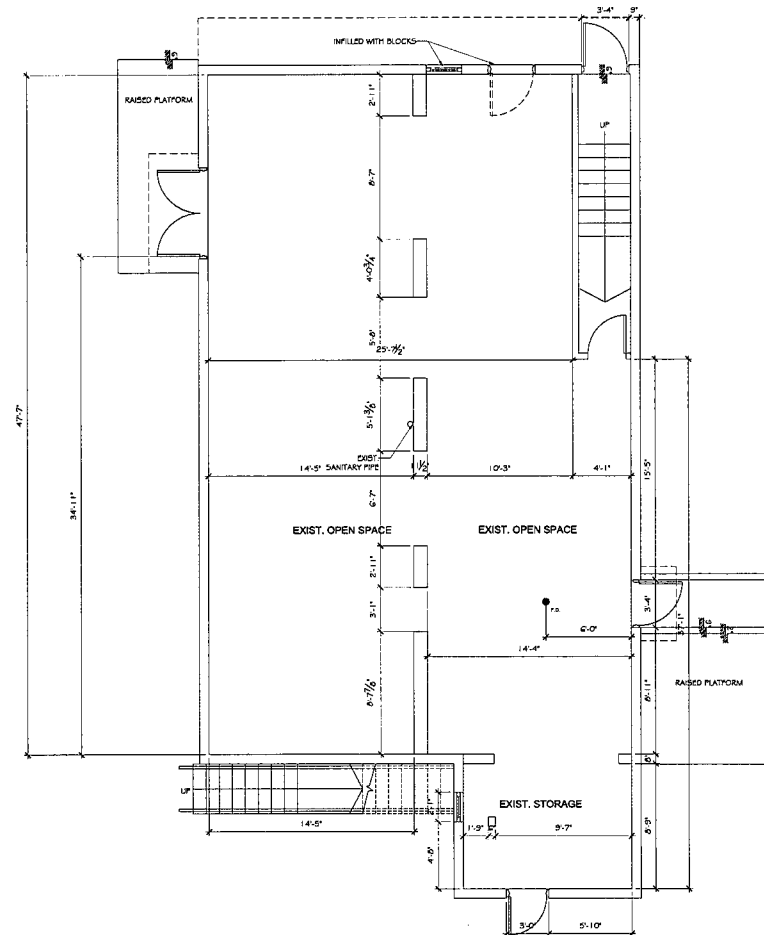
FLOOR PLAN LEGEND

THESE ARE STANDARD SYMBOLS AND MAY NOT APPEAR ON PROJECT DRAWINGS. SEE 02.03 AND ENGINEERING DRAWINGS FOR ADDITIONAL SYMBOLS.

- EXISTING WALL/PARTITION, THICKNESS AS INDICATED (SEE STRUCTURAL DWGS)
- EXISTING STUD WALL/PARTITION, THICKNESS AS INDICATED



2 EXISTING 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 EXISTING 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

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01/28/18	01/28/18	DESIGN SCHEME
03/04/18	03/04/18	DESIGN DEVELOPMENT
04/11/18	04/11/18	SAS-BUILT DRAWINGS
06/25/18	06/25/18	DEMOLITION PERMIT
07/17/18	07/17/18	ZONING REV. MEETING

PROJECT NO: 18-001
DRAWN BY: J. SANCHEZ
CHECKED BY: J. BROWN

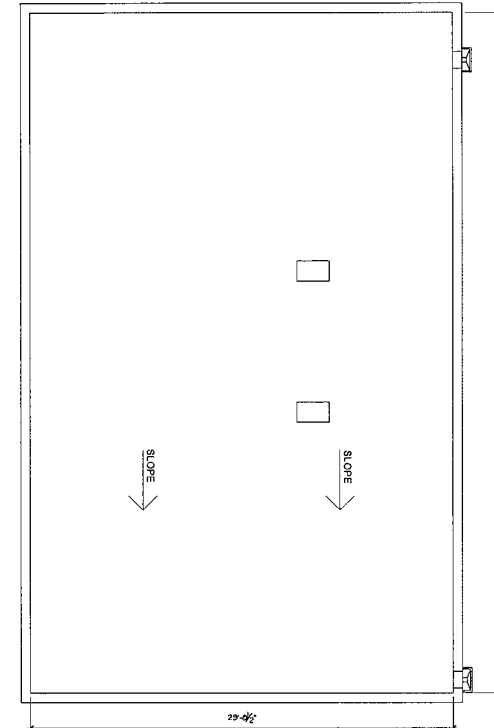
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**EXISTING
1ST & 2ND
FLOOR PLAN**

SHEET NUMBER
AR1.01

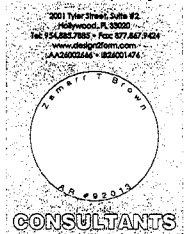
FLOOR PLAN LEGEND

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- EXISTING STUD WALL/PARTITION, THICKNESS AS INDICATED



1 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"



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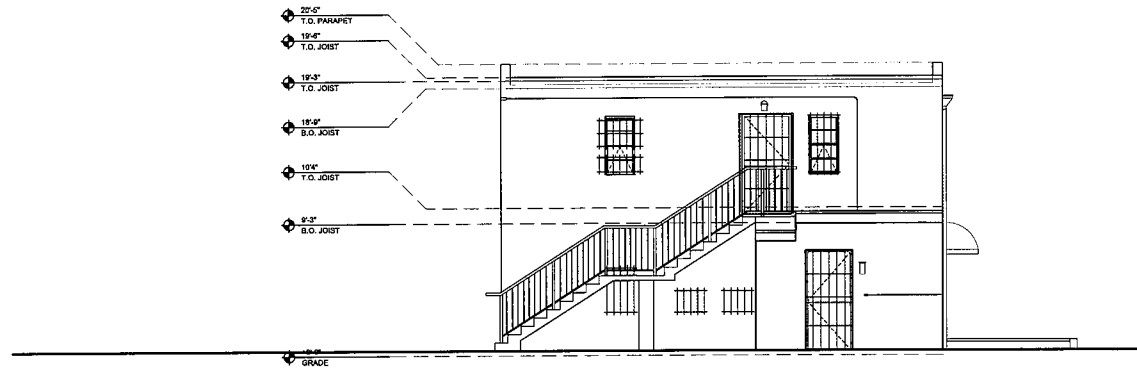
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	06/28/18	DEMOLITION PERMIT
	07/11/18	ZONING REV. MEETING

PROJECT NO.: 16-001
DRAWN BY: L. GARCIA
CHECKED BY: L. BROWN

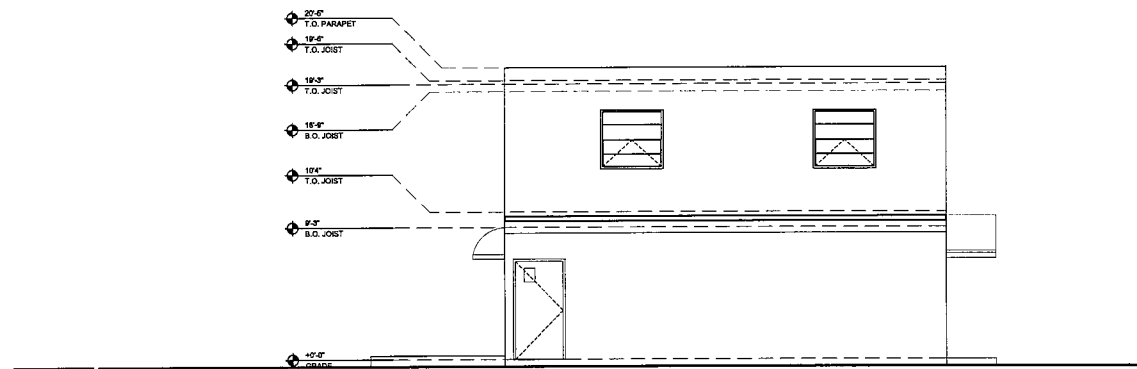
SHEET TITLE
**EXISTING
ROOF
PLAN**

SHEET NUMBER
AR1.02

NOT FOR CONSTRUCTION - FOR REFERENCE ONLY



2 EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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SEAL
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AR #22013
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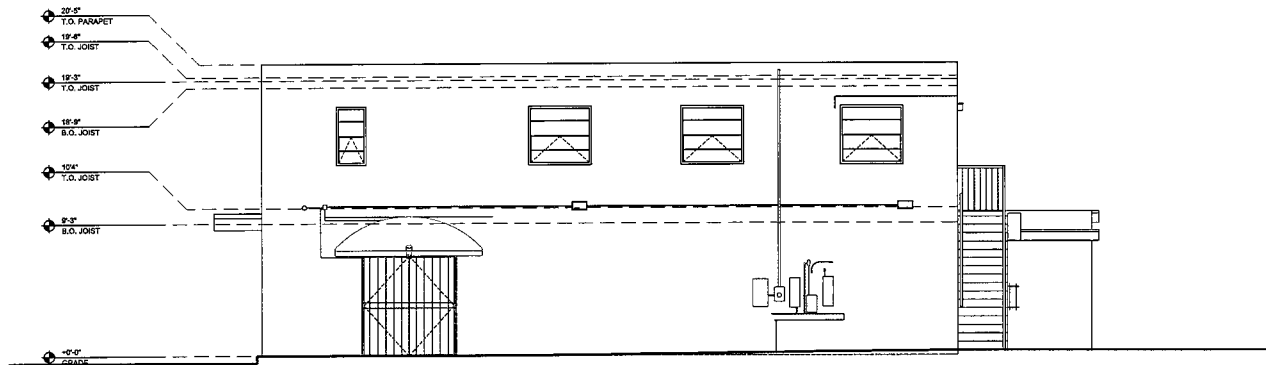
ISSUE

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06/25/18	06/25/18	REVOLUTION PERMIT
07/11/18	07/11/18	ZONING REV. MEETING

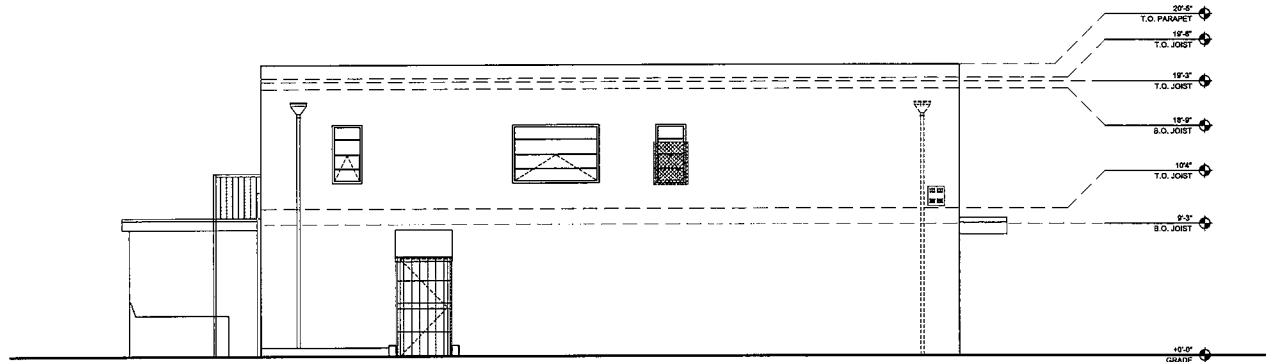
PROJECTING: 19-001
DRAWN BY: J. BANCHEZ
CHECKED BY: J. BROWN

SHEET TITLE
EXISTING
ELEVATIONS

SHEET NUMBER
AR3.01



2 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"

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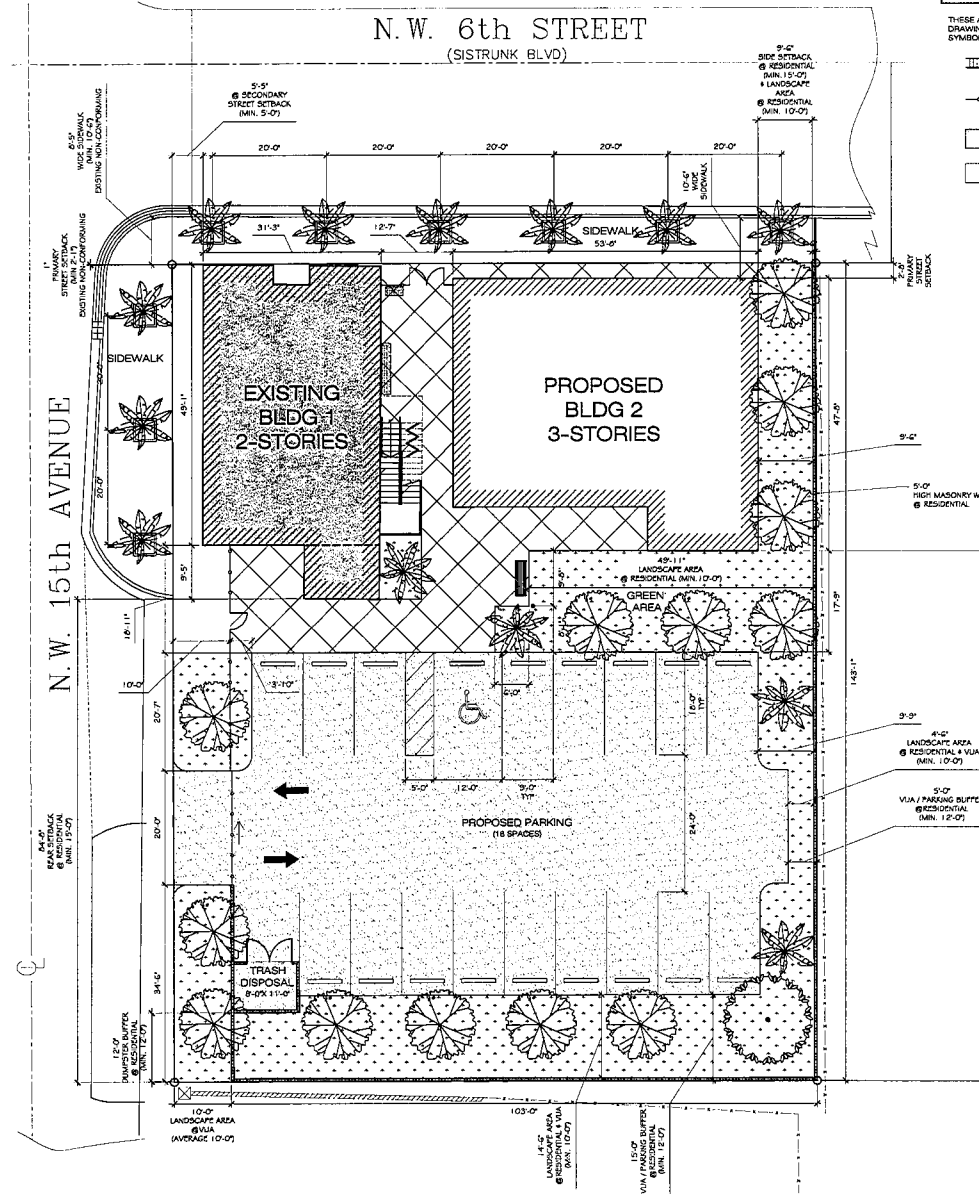
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01/26/18	01/26/18	DESIGN SCHEME
03/05/18	03/05/18	DESIGN DEVELOPMENT
04/17/18	04/17/18	BASE DRAWINGS
06/25/18	06/25/18	DEMOLITION PERMIT
07/17/18	07/17/18	ZONING REV. MEETING

PROJECT NO.: 19-0841
DRAWN BY: J. SANCHEZ
CHECKED BY: Z. BROWN

SHEET TITLE
EXISTING
ELEVATIONS

SHEET NUMBER
AR3.02

NOT FOR CONSTRUCTION - FOR REFERENCE ONLY



SITE PLAN LEGEND

THESE ARE STANDARD SYMBOLS AND MAY NOT APPEAR ON PROJECT DRAWINGS. SEE 05.03 AND ENGINEERING DRAWINGS FOR ADDITIONAL SYMBOLS.

- CMU WALL/PARTITION THICKNESS AS INDICATED (SEE STRUCTURAL DWGS)
- METAL FENCE
- EXISTING BUILDING TO BE RENOVATED PHASE 1
- PROPOSED FUTURE BLDG PHASE 2

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01/17/18	01/17/18	SITE VISIT
01/24/18	01/24/18	AS-BUILT DRAWINGS
03/06/18	03/06/18	DESIGN BOARD
04/11/18	04/11/18	DESIGN DEVELOPMENT
04/11/18	04/11/18	BASE DRAWINGS
06/28/18	06/28/18	DEMOLITION PERMIT
07/11/18	07/11/18	ZONING REV. MEETING

PROJECT NO: 18-001
DRAWN BY: L. LANCHEZ
CHECKED BY: J. BROWN

**SHEET TITLE
PROPOSED
SITE PLAN
PHASE 2**

**SHEET NUMBER
AS1.00**

CAM # 19-0841

Exhibit 3

Page 8 of 16

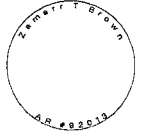
FLOOR PLAN LEGEND

THESE ARE STANDARD SYMBOLS AND MAY NOT APPEAR ON PROJECT DRAWINGS. SEE 00.00 AND ENGINEERING DRAWINGS FOR ADDITIONAL SYMBOLS.

- EXISTING WALL/PARTITION, THICKNESS AS INDICATED (SEE STRUCTURAL DWG)
- EXISTING STUD WALL/PARTITION, THICKNESS AS INDICATED
- NEW CMU WALL/PARTITION, THICKNESS AS INDICATED (SEE STRUCTURAL DWG)
- NEW STUD WALL/PARTITION, THICKNESS AS INDICATED



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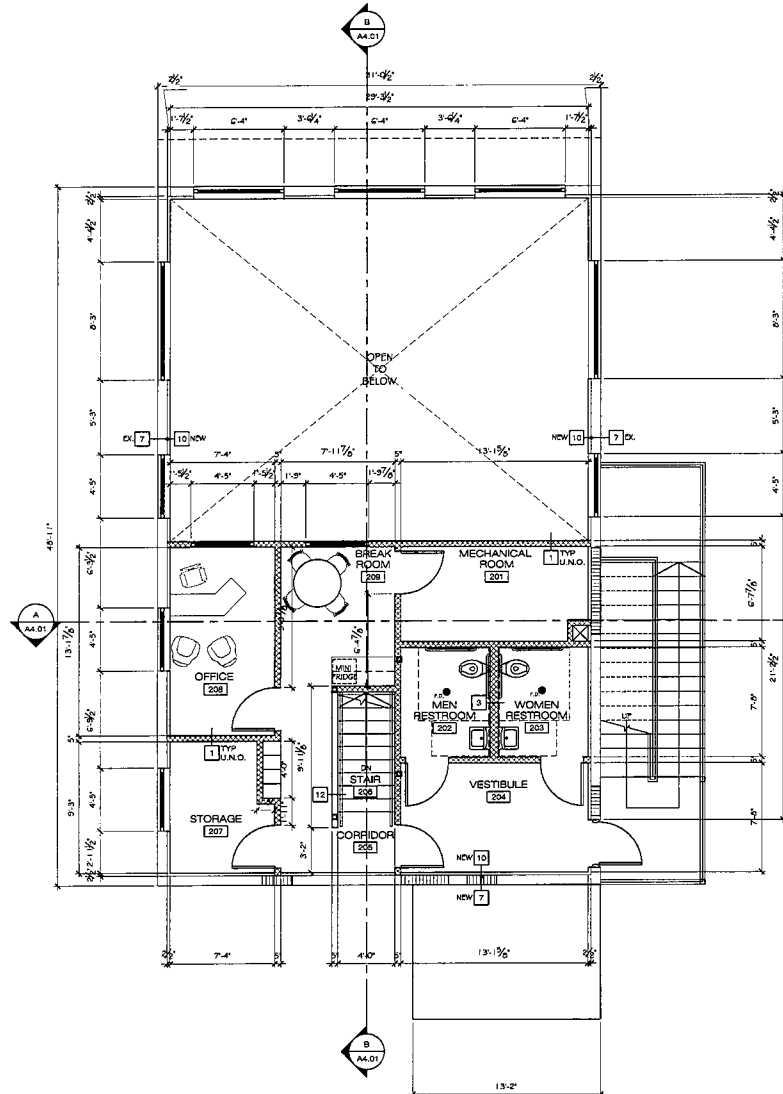
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03/06/18	03/06/18	DESIGN DEVELOPMENT
04/17/18	04/17/18	BASE DRAWINGS
06/05/18	06/05/18	DEMOLITION PERMIT
07/11/18	07/11/18	ZONING REV. MEETING

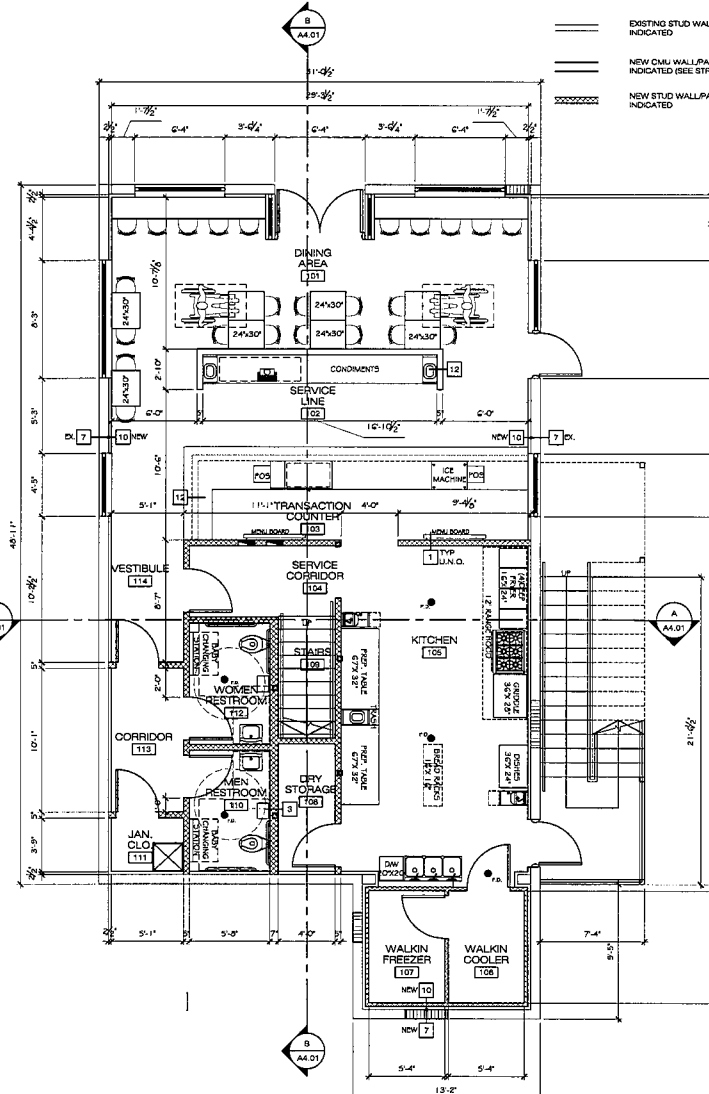
PROJECT NO: 18-001
DRAWN BY: J.B. ANCHER
CHECKED BY: Z.B. BROWN

SHEET TITLE
PROPOSED
FLOOR PLANS
PHASE 1

SHEET NUMBER
A1.01A



2 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

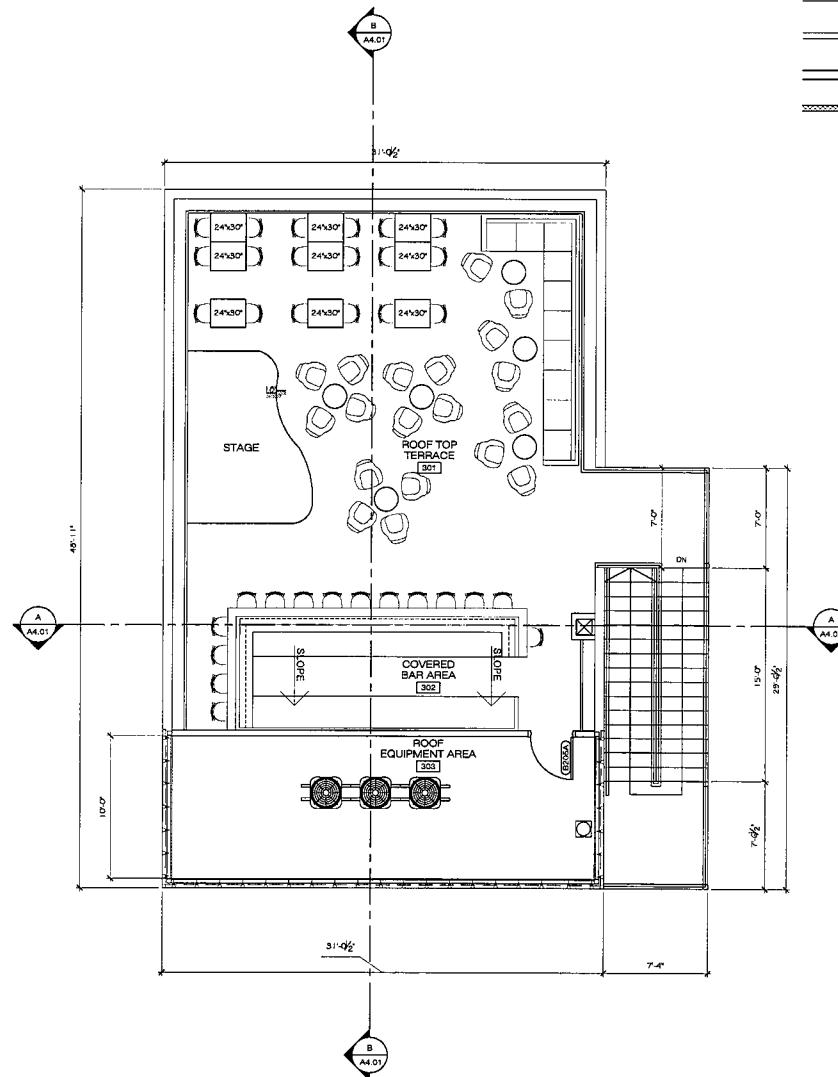


1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN LEGEND

THESE ARE STANDARD SYMBOLS AND MAY NOT APPEAR ON PROJECT DRAWINGS. SEE GD-03 AND ENGINEERING DRAWINGS FOR ADDITIONAL SYMBOLS.

- EXISTING WALL/PARTITION, THICKNESS AS INDICATED (SEE STRUCTURAL DWGS)
- EXISTING STUD WALL/PARTITION, THICKNESS AS INDICATED
- NEW CMU WALL/PARTITION, THICKNESS AS INDICATED (SEE STRUCTURAL DWGS)
- NEW STUD WALL/PARTITION, THICKNESS AS INDICATED



1 PROPOSED ROOF PLAN
SCALE: 1/4\" = 1'-0"

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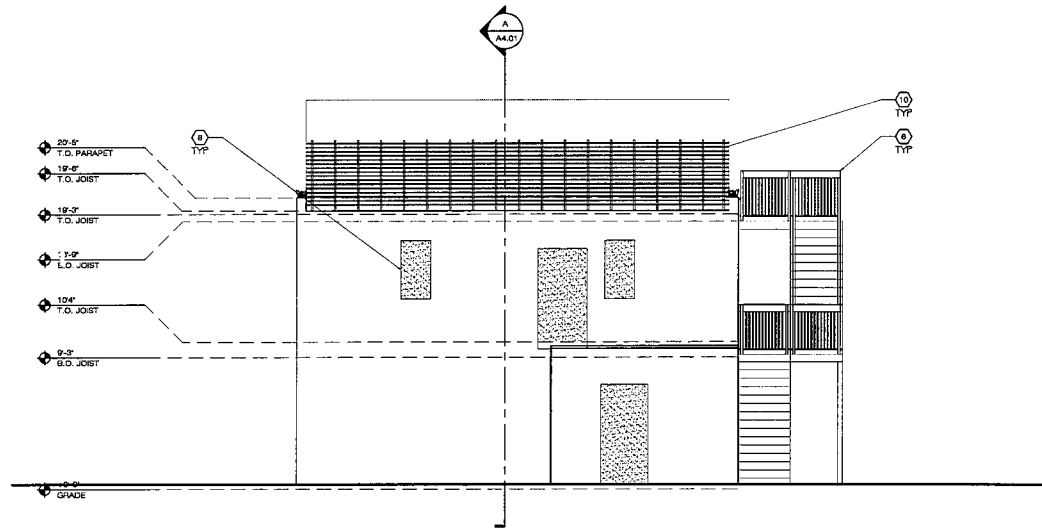
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01/24/18	01/24/18	AS-BUILT DRAWINGS
01/26/18	01/26/18	DESIGN SCHEME
03/05/18	03/05/18	DESIGN DEVELOPMENT
04/11/18	04/11/18	BASE DRAWINGS
06/28/18	06/28/18	DEMOLITION PERMIT
07/11/18	07/11/18	ZONING REV. MEETING

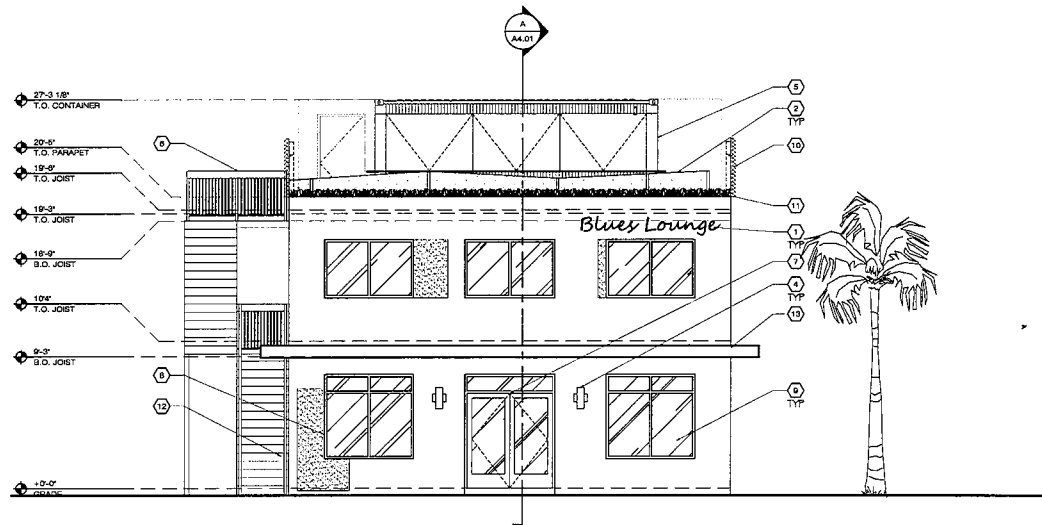
PROJECT NO.: 18-001
DRAWN BY: J. LAMARCHE
CHECKED BY: J. BROWN

SHEET TITLE
PROPOSED
ROOF PLAN
PHASE 1

SHEET NUMBER
A1.02A



2 PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS GENERAL NOTES

1. STUCCO FINISH TO RECEIVE (1) COAT PRIMER & (2) COATS ELASTOMERIC PAINT, TYP.
2. PAINTING COLORS TO BE SELECTED BY ARCHITECT, TYP.

EXTERIOR ELEVATIONS KEYNOTES

1. NEW SIGNAGE.
2. NEW DECORATIVE METAL RAILING WITH PAINT FINISH (TERRACE).
3. RE-STUCCO, SMOOTH FINISH, AND PAINT.
4. NEW LIGHT FIXTURE.
5. NEW BAR.
6. NEW ALUMINUM RAILING WITH E.S. PAINT.
7. NEW DOOR, FRAME AND THRESHOLD TO BE INSTALLED IN EXISTING OR MODIFIED OPENING. SEE DOOR SCHEDULE AND DETAILS FOR ADDITIONAL INFORMATION (TYP.).
8. EXISTING STUCCO AND DRYWALL FINISHES TO BE PATCHED, REPAIRED AND PAINTED AS REQUIRED. PERIMETER INTERIOR AND EXTERIOR OF WINDOW SHALL BE CAULKED WITH EXTERIOR GRADE (10 YEAR MIN. WARRANTY) CLEAR SILICON BASE CAULKING (TYP.).
9. NEW WINDOW TO BE INSTALLED IN NEW AND/OR EXISTING HOUGH WIDER OPENING. G.C. TO PROVIDE NEW 2" X 4" WOOD SHIM AND WOOD SILL. SEE WINDOW SCHEDULE AND DETAILS FOR ADDITIONAL INFORMATION.
10. NEW SCREENING #1 HIGH LOUVERED ROOF TOP EQUIPMENT SCREEN: WILLARD SHUTTER COMPANY ECONOSPAN 48" PITCHED LOUVER. FINISH/COLOR TO BE SELECTED BY OWNER OR OWNER APPROVED EQUAL. PROVIDE ENGINEERED SHOP DRAWINGS.
11. NEW GARDEN.
12. NEW METAL GATE.
13. EXISTING AWNING.
14. NEW METAL ROOF STRUCTURE.



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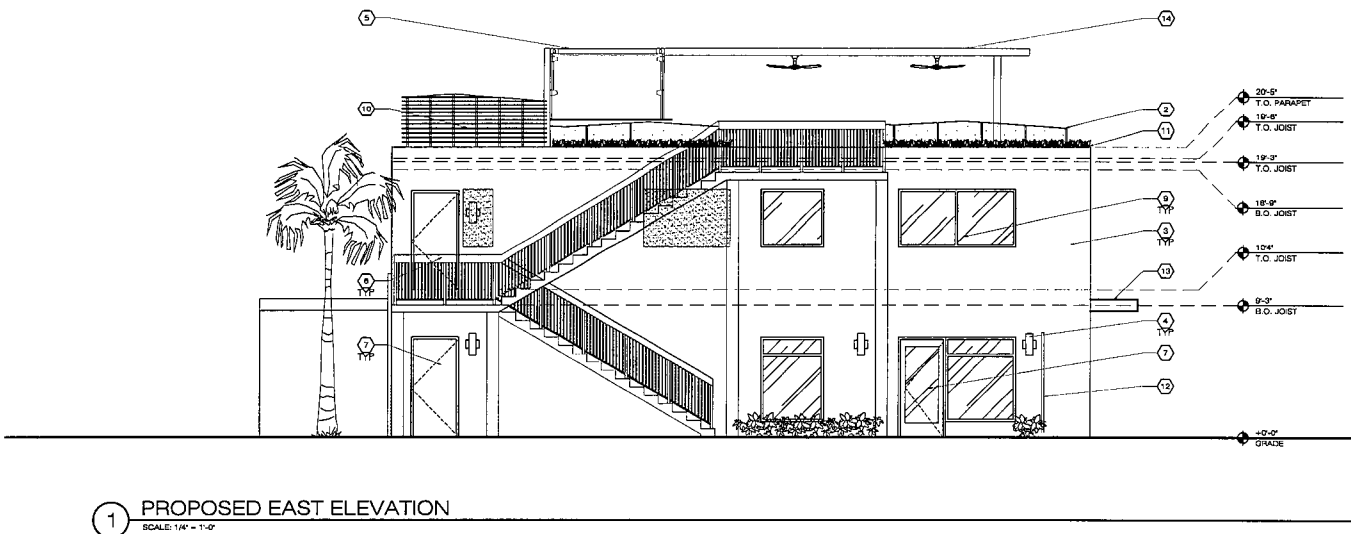
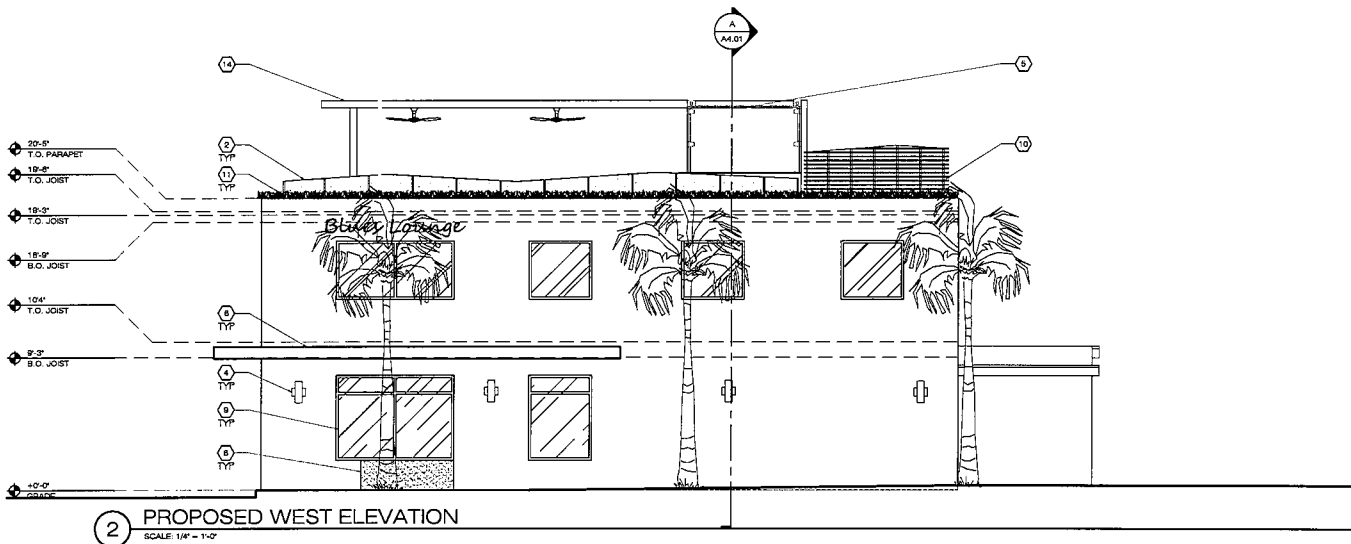
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01/24/18	01/24/18	DESIGN SCHEME
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04/17/18	04/17/18	BASE DRAWINGS
05/25/18	05/25/18	DEMOLITION PERMIT
07/17/18	07/17/18	ZONING REV. MEETING

PROJECT NO: 18-001
DRAWN BY: T. SANCHEZ
CHECKED BY: Z. BROWN

SHEET TITLE
PROPOSED
ELEVATIONS
PHASE 1

SHEET NUMBER
A3.01A



EXTERIOR ELEVATIONS GENERAL NOTES

1. STUCCO FINISH TO RECEIVE (1) COAT PRIMER & (2) COATS ELASTOMERIC PAINT, TYP.
2. PAINT/COLORING COLORS TO BE SELECTED BY ARCHITECT, TYP.

EXTERIOR ELEVATIONS KEYNOTES

1. NEW SIGNAGE
2. NEW DECORATIVE METAL RAILING WITH PAINT FINISH (TERRACE)
3. RE-STUCCO, SMOOTH FINISH, AND PAINT.
4. NEW LIGHT FIXTURE
5. NEW BAR
6. NEW ALUMINUM RAILING WITH E.S. PAINT.
7. NEW DOOR, FRAME AND THRESHOLD TO BE INSTALLED IN EXISTING OR MODIFIED OPENING. SEE DOOR SCHEDULE AND DETAILS FOR ADDITIONAL INFORMATION (TYP.)
8. EXISTING STUCCO AND DRYWALL FINISHES TO BE PATCHED, REPAIRED AND PAINTED AS REQUIRED. PERIMETER (INTERIOR AND EXTERIOR) OF WINDOW SHALL BE CALKED WITH EXTERIOR GRADE (10 YEAR MIN. WARRANTY) CLEAR SILICON BASE CALKING (TYP.)
9. NEW WINDOW TO BE INSTALLED IN NEW AND/OR EXISTING ROUGH WIDER OPENING. G.C. TO PROVIDE NEW P.F. WOOD SHIM AND WOOD SILL. SEE WINDOW SCHEDULE AND DETAILS FOR ADDITIONAL INFORMATION.
10. NEW SCREENING & HIGH LOUVERED ROOF TOP EQUIPMENT SCREEN. VILLARD SHUTTER COMPANY ECONOMY 45° PITCHED LOUVER. FINISH/COLOR TO BE SELECTED BY OWNER OR OWNER APPROVED EQUAL. PROVIDE ENGINEERED SHOP DRAWINGS.
11. NEW GARDEN
12. NEW METAL GATE
13. EXISTING AWNING
14. NEW METAL ROOF STRUCTURE

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01/24/18	01/24/18	DESIGN SCHEME
03/01/18	03/01/18	DESIGN DEVELOPMENT
04/11/18	04/11/18	BASE DRAWINGS
06/22/18	06/22/18	DEMOLITION PERMIT
07/11/18	07/11/18	ZONING REV. MEETING

PROJECT NO.: 18-001
DRAWN BY: L. SANCHEZ
CHECKED BY: Z. BROWN

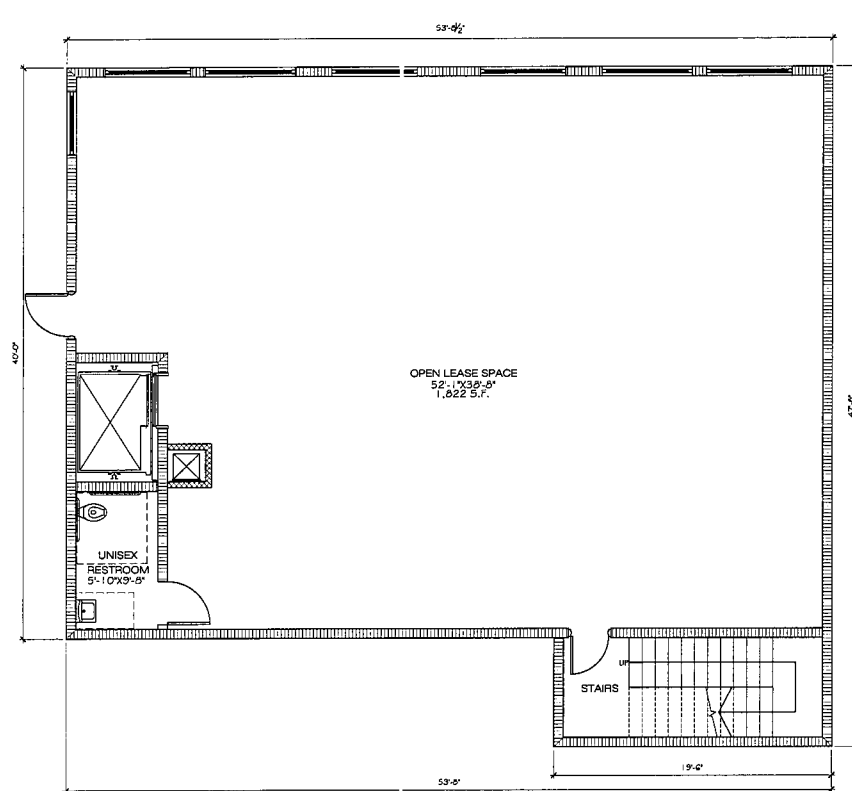
**SHEET TITLE
PROPOSED
ELEVATIONS
PHASE 1**

**SHEET NUMBER
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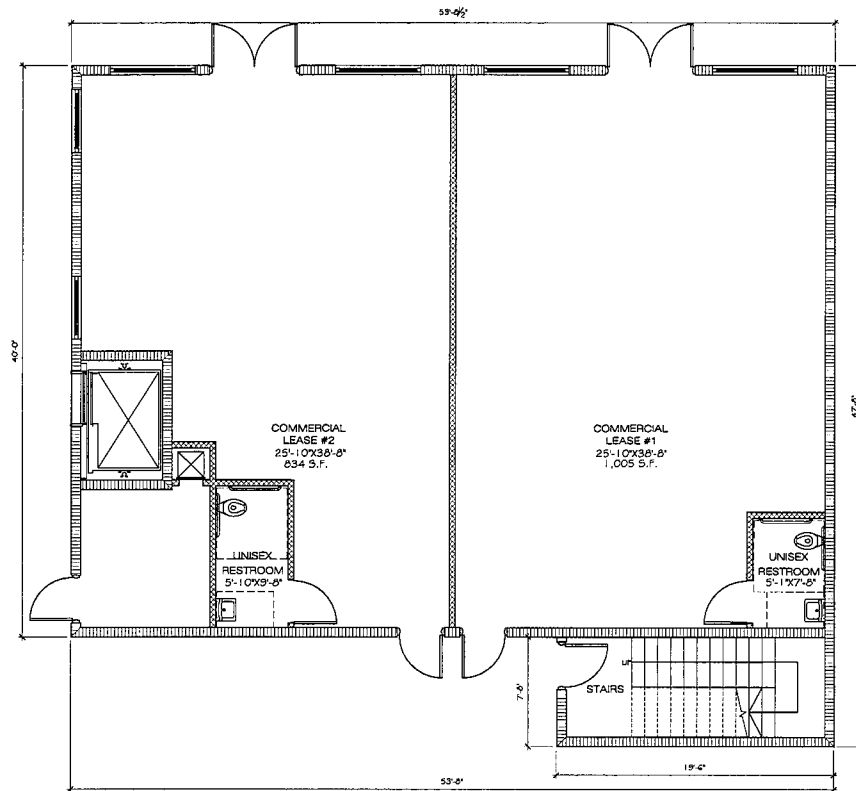
FLOOR PLAN LEGEND

THESE ARE STANDARD SYMBOLS AND MAY NOT APPEAR ON PROJECT DRAWINGS. SEE 00.00 AND ENGINEERING DRAWINGS FOR ADDITIONAL SYMBOLS.

- EXISTING WALL/PARTITION, THICKNESS AS INDICATED (SEE STRUCTURAL DWGS)
- EXISTING STUD WALL/PARTITION, THICKNESS AS INDICATED
- NEW CMU WALL/PARTITION, THICKNESS AS INDICATED (SEE STRUCTURAL DWGS)
- NEW STUD WALL/PARTITION, THICKNESS AS INDICATED



2 PROPOSED SECOND FLOOR PLAN (PHASE 2)
SCALE: 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN (PHASE 2)
SCALE: 1/4" = 1'-0"

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01/25/18	01/25/18	DESIGN SCHEME
03/05/18	03/05/18	DESIGN DEVELOPMENT
04/11/18	04/11/18	BASE DRAWINGS
05/25/18	05/25/18	DEMOLITION PERMIT
07/11/18	07/11/18	ZONING REV. MEETING

PROJECT NO.: 18-001
DRAWN BY: L. BARRAZA
CHECKED BY: Z. BROWN

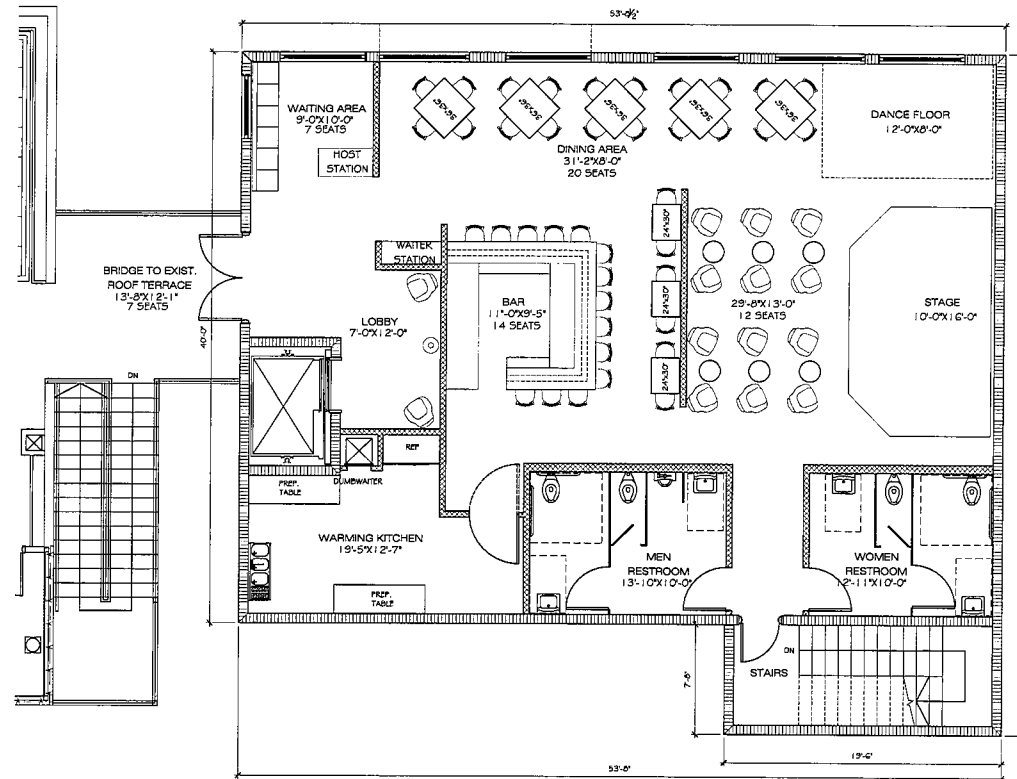
SHEET TITLE
1ST & 2ND
FLOOR PLAN
PHASE 2

SHEET NUMBER
A1.01B

FLOOR PLAN LEGEND

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- EXISTING WALL/PARTITION, THICKNESS AS INDICATED (SEE STRUCTURAL DWGS)
- EXISTING STUD WALL/PARTITION, THICKNESS AS INDICATED
- NEW CMU WALL/PARTITION, THICKNESS AS INDICATED (SEE STRUCTURAL DWGS)
- NEW STUD WALL/PARTITION, THICKNESS AS INDICATED



1 PROPOSED THIRD FLOOR PLAN (PHASE 2)

SCALE: 1/4" = 1'-0"



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01/17/18	6TH VISIT	
01/24/18	AS-BUILT DRAWINGS	
01/29/18	DESIGN SCHEME	
03/05/18	DESIGN DEVELOPMENT	
04/11/18	BASE DRAWINGS	
06/26/18	CONSTRUCTION PERMIT	
07/11/18	2018 REV. MEETING	

PROJECT NO.: 18-00
DRAWN BY: J. GONCHER
CHECKED BY: Z. BROWN

SHEET TITLE
3RD FLOOR
PLAN
PHASE 2

SHEET NUMBER
A1.02B



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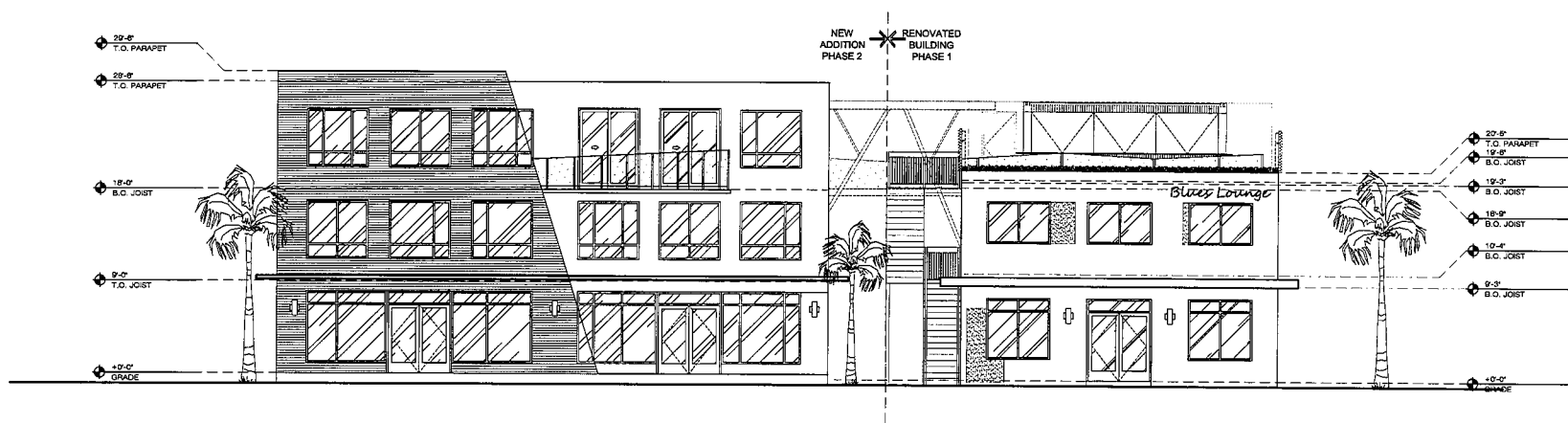
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3	01/24/18	DESIGN SCHEME
4	03/05/18	DESIGN DEVELOPMENT
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6	06/26/18	DEMOLITION PERMIT
7	07/11/18	SCENING REV. MEETING

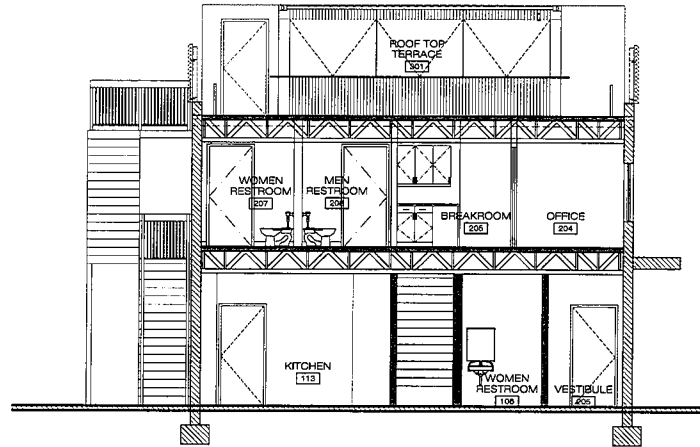
PROJECT NO.: 18-001
DRAWN BY: J. SANCHEZ
CHECKED BY: Z. BROWN

SHEET TITLE
PROPOSED
ELEVATION
PHASE 2

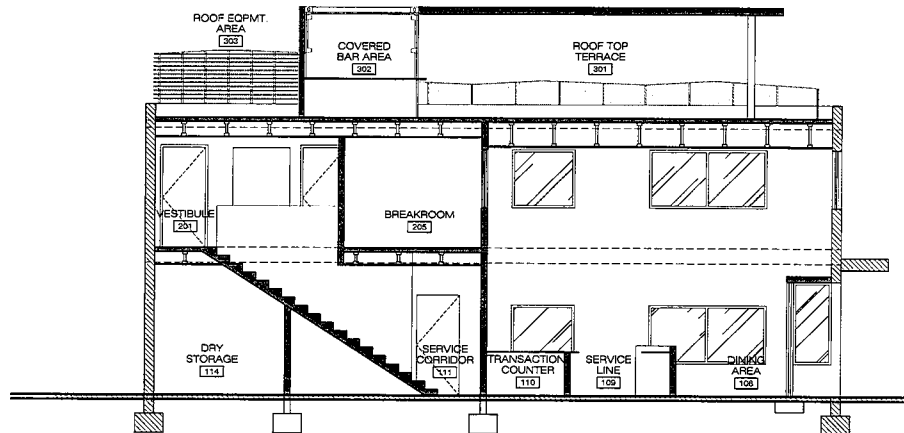
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1 PROPOSED NORTH ELEVATION (PHASE 2)
SCALE: 3/16" = 1'-0"



2 BUILDING SECTION B-B
SCALE: 1/4" = 1'-0"



1 BUILDING SECTION A-A
SCALE: 1/4" = 1'-0"

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01/29/16	01/29/16	01/29/16 DESIGN SCHEME
03/09/16	03/09/16	03/09/16 DESIGN DEVELOPMENT
04/17/16	04/17/16	04/17/16 BASE DRAWINGS
06/23/16	06/23/16	06/23/16 RESOLUTION PERMIT
07/17/16	07/17/16	07/17/16 SCHEMATIC MEETING

PROJECT NO.: 16-001
DRAWN BY: J. SANCHEZ
CHECKED BY: Z. BROWN

SHEET TITLE
BUILDING
SECTIONS
PHASE 1

SHEET NUMBER
A4.01A