

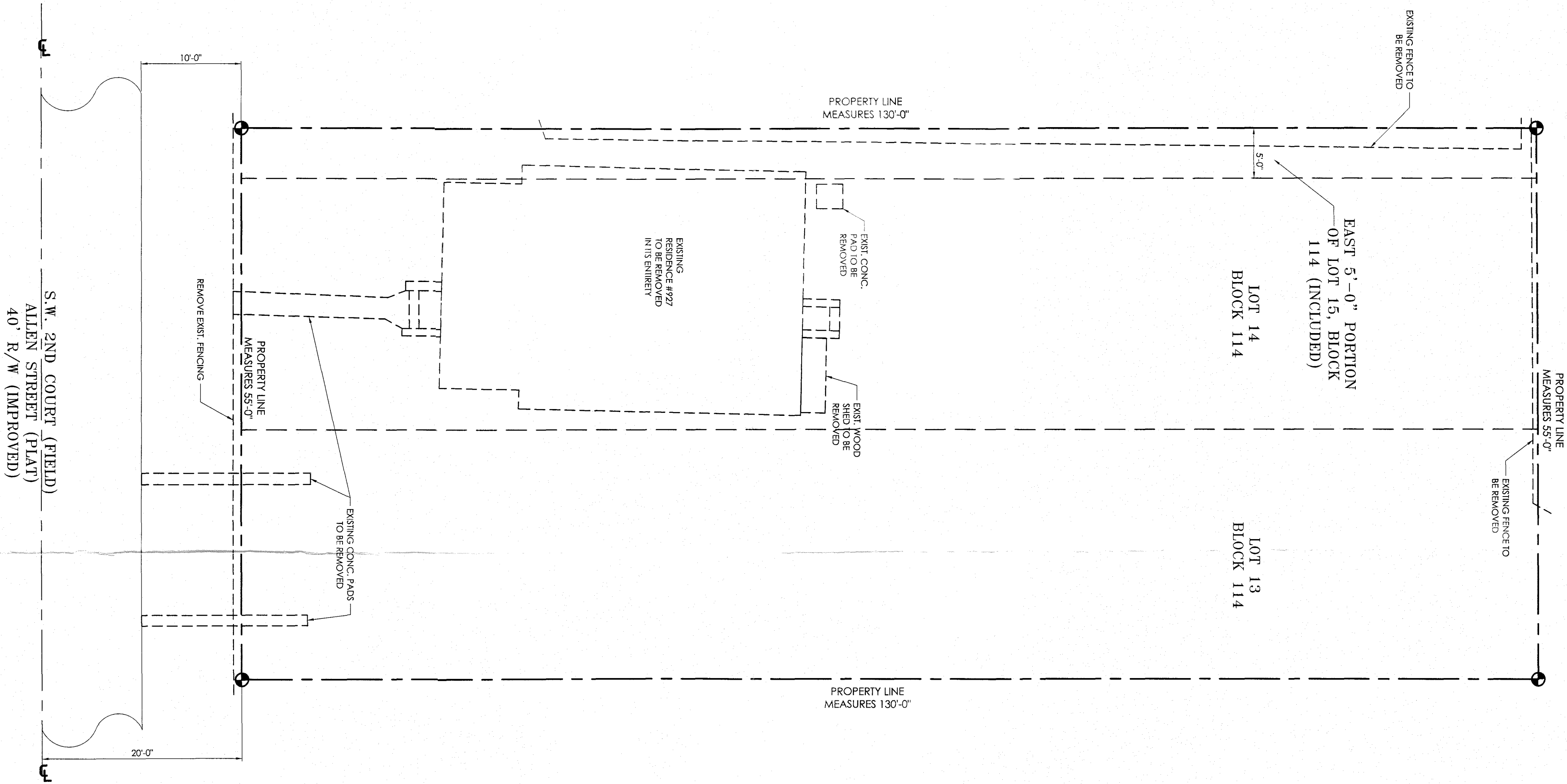
DEMOLITION PLAN
927 SW 2ND COURT
FT. LAUDERDALE, FL 33312

LEGAL DESCRIPTION:
EAST FIVE FEET OF LOT 15, BLOCK 114, WAREHY PLACE, AS RECORDED IN PLAT BOOK 2, PAGE 19 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, SAND AND LIVING, SITUATE AND BEING IN BROWARD COUNTY, FLORIDA.
FLOOD ZONE: X
COMMUNITY NUMBER: 125105
NET ACRES: 7130.97 (0.16414 ACRES)
PANEL: 0557
SHEET: H

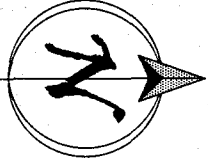
- SCOPE OF WORK:**
1. OBTAIN ALL NECESSARY INFORMATION ON THE DRAWINGS HAS BEEN OBTAINED BY THE ENGINEER FROM THE OWNER. S/CUT EXISTING INFORMATION SHALL BE CONSIDERED AS SHOWN SCHEMATICALLY ONLY, AND SHALL BE FIELD VERIFIED BY ALL CONTRACTORS TO SIZE, LOCATION AND MATERIAL.
 2. THE CONTRACTOR AND ALL HIS SUB-CONTRACTORS SHALL BE HELD TO HAVE VISITED THE SITE OF THE WORK AND TO HAVE EXAMINED THE EXISTING CONDITIONS OF THE SAME AND THE SITUATIONS UNDER WHICH THEY ARE TO WORK AND TO HAVE ACCOUNTED FOR SAME IN THEIR BIDS.
 3. REMOVE EXISTING RESIDENCE IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO: EXTERIOR AND INTERIOR WALLS, ALL EXTERIOR AND INTERIOR ROOFING, FLOORS, ALL EXTERIOR AND INTERIOR FINISHES, INTERIOR PARTITIONS, INCLUDING WETTER AND PANEL BOX, ALL CONCRETE SLABS AND FOOTINGS.
 4. ALL DEMOLITION AND REMOVAL OF EXISTING UTILITIES, STRUCTURES, FINISHING MATERIALS, ETC., SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL GOVERNING AUTHORITIES.
 5. CONTRACTOR SHALL VERIFY SOIL BEARING CAPACITY PRIOR TO PERMITTING AND SHALL SUBMIT REPORT TO ENGINEER AND OWNER. CONTRACTOR SHALL PROVIDE COMPACTOR FOR WALKWAYS, FLATWORK AND DRIVEWAYS AS REQUIRED.

- DEMOLITION NOTES:**
1. PRIOR TO DEMOLITION THE GENERAL CONTRACTOR IS TO VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE OWNER.
 2. SALVAGE ITEMS AND MATERIALS SHALL REMAIN THE PROPERTY OF THE OWNER AS PART OF THE CONTRACT. CONTRACTOR SHALL DELIVER THESE ITEMS TO A LOCATION AS SPECIFIED BY THE OWNER.
 3. WHERE EXISTING PLUMBING AND PIPING IS TO BE REMOVED OR REPLACED CARE SHALL BE TAKEN WHEREVER CUTTING OR DRILLING IS INDICATED OR REQUESTED. WORK SHALL BE NEATLY SAW-CUT OR DONE IN A MANNER NOT TO DAMAGE ANY WORK THAT IS TO REMAIN. PATCH ADJACENT WALLS, FLOORS AND CEILINGS AS REQUIRED TO MATCH EXISTING CONDITIONS.
 4. REMOVE EXISTING CONTRACTOR TO DISCONNECT, CAP, AND REMOVE ALL ELECTRICAL CONDUIT AND WIRING AFFECTED BY THOSE AREAS DESIGNATED TO BE DEMOLISHED.
 5. CONTRACTOR TO PROVIDE TEMPORARY WEATHERPROOF CLOSURES AT ALL EXTERIOR OPENINGS RESULTING FROM DEMOLITION WORK, AND INTERIOR AND EXTERIOR SHORING BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF AREAS TO BE DEMOLISHED AND ADJACENT AREAS TO REMAIN, OR PARTITIONS AT INTERSECTION OF THOSE AREAS TO REMAIN AND THOSE THAT ARE TO BE DEMOLISHED.
 6. DEMOLITION AND NEW BUILDING MATERIAL STOCK SHALL NOT INTERFERE OR HINDER EMERGENCY ACCESS OR RESPONSE TO STRUCTURE OR VICINITY, INCLUDING FIRE LINES.

- ASBESTOS REMOVAL NOTES:**
1. REMOVAL AND DISPOSAL OF ACM (ASBESTOS-CONTAINING MATERIALS) FOR THE PURPOSES OF DEMOLITION MUST BE PERFORMED BY A LICENSED ASBESTOS REMOVAL CONTRACTOR.
 2. LICENSED ASBESTOS CONSULTING FIRM SHOULD PERFORM DAILY AIR MONITORING OF THE RENOVATION AREAS DURING ASBESTOS REMOVAL TO DOCUMENT THE AIR QUALITY, PERFORM DAILY INSPECTIONS, AND PROVIDE FINAL VISUAL INSPECTIONS AND FINAL AIR CLEARANCE TESTING.
 3. PRIOR TO RENOVATION ACTIVITIES, THE RENOVATION AREA SHOULD BE INSPECTED FOR CONTAMINATED AREAS AND HAZARDOUS MATERIALS. THE IDENTIFIED MATERIALS SHOULD BE REMOVED FROM THE AREA, AND PROPERLY DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
 4. HAZARDOUS COMMUNICATIONS PROGRAM IS RECOMMENDED TO PROTECT WORKERS IN RENOVATION AREA. COUNTY HEALTH DEPARTMENT REQUIRES NOTIFICATION OF INTENT TO RENOVATE OR DEMOLISH. NOTIFICATION MUST BE SENT AT LEAST 10 WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.



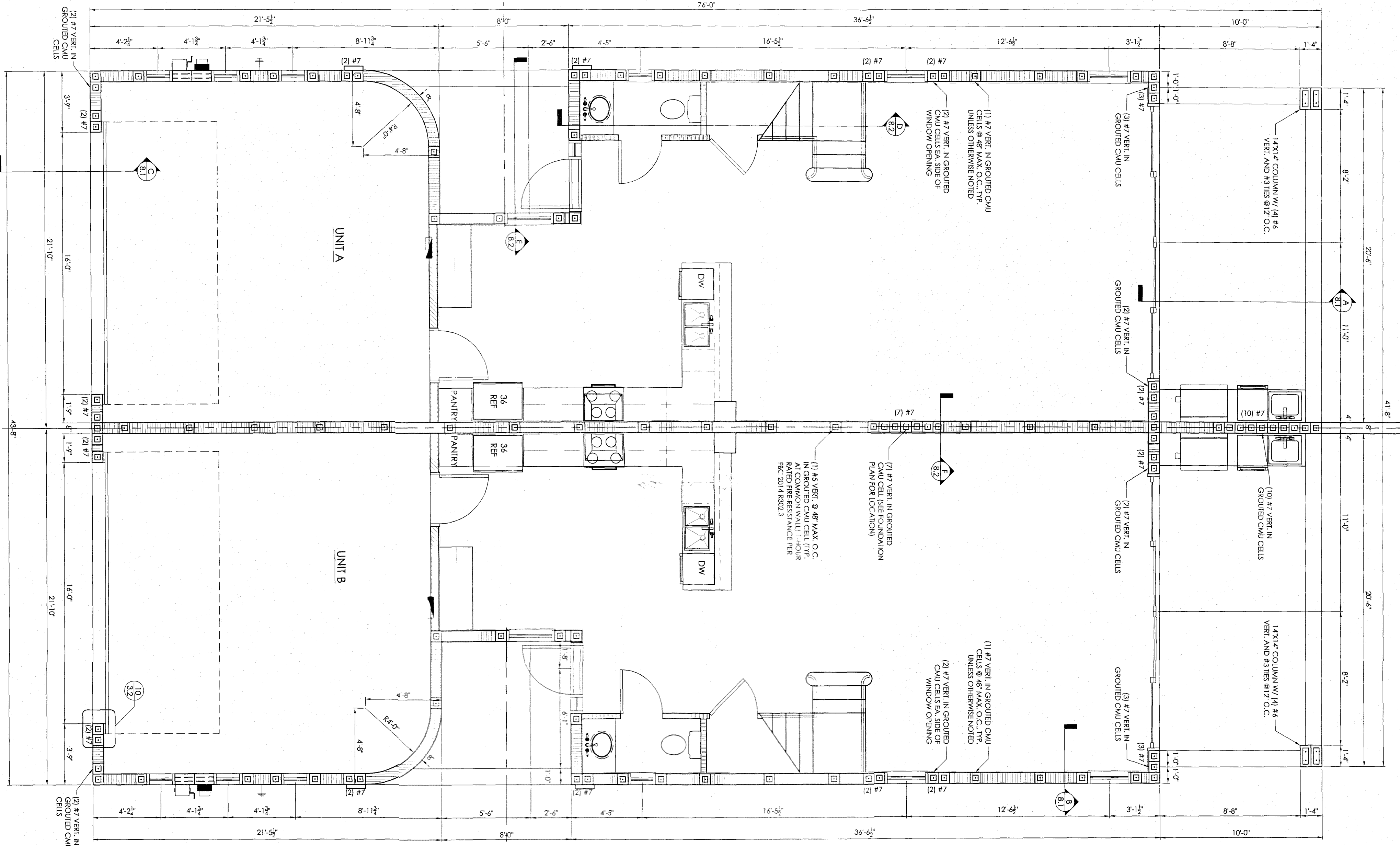
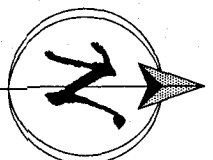
1 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



NOTE: SITE PLAN TAKEN FROM SURVEY PREPARED BY COMPASS SURVEYING ON 05-25-2016

1 FIRST FLOOR BUILDING PLAN

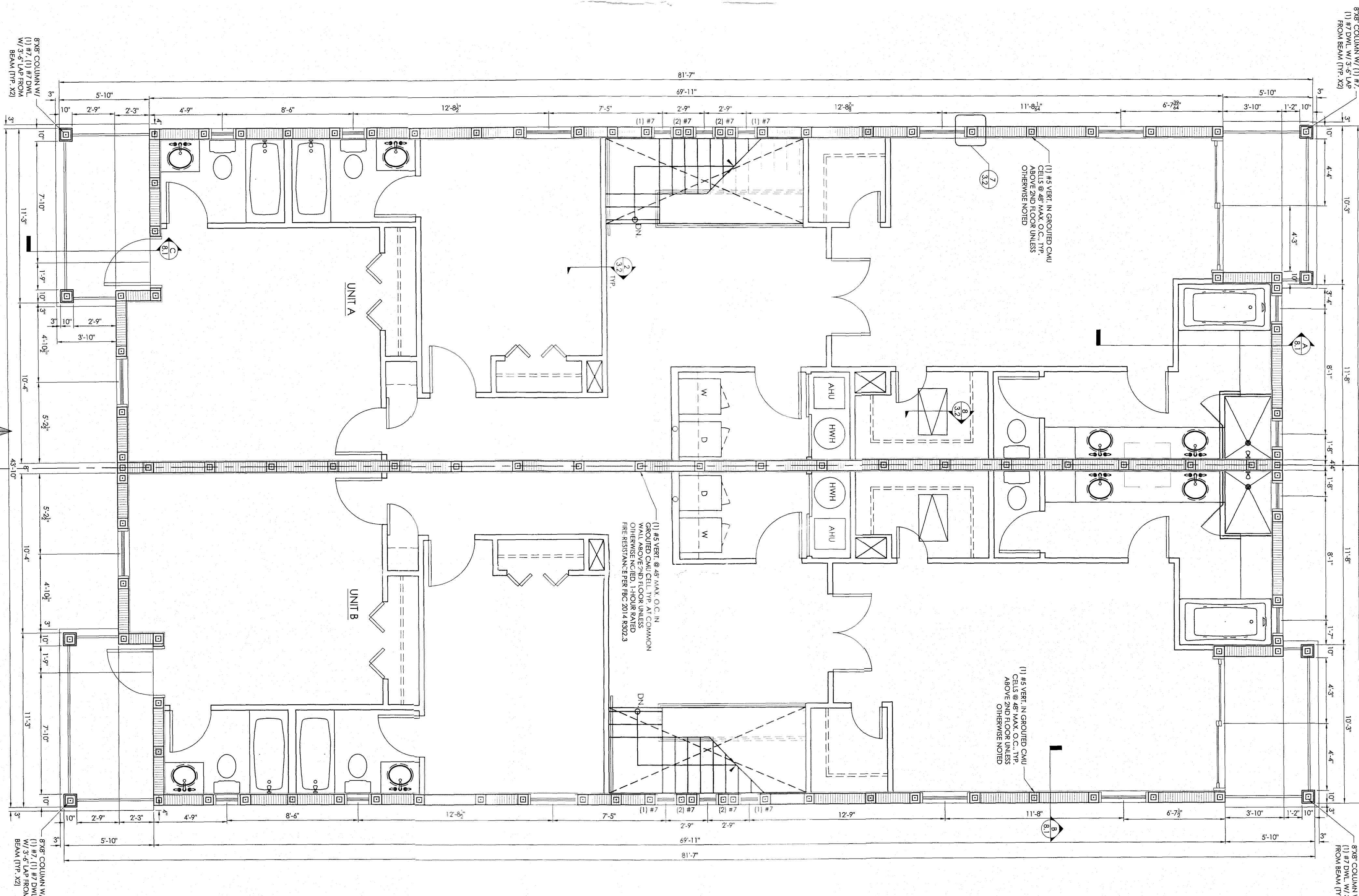
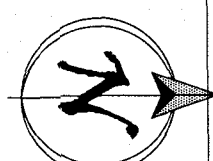
SCALE: 1/4" = 1'-0"



WALL LEGEND:	
	INTERIOR PARTITION
	8\"/>
	WINDOW OPENINGS
	CMU WALL
	FIRE RATED PARTITION PER FRC 2014 R302.2.5
	MASONRY BLOCK WALL

2 SECOND FLOOR BUILDING PLAN

SCALE: 1/4" = 1'-0"



SHEET
2 OF 10

DATE: AUG 29, 2016
REVISION:
DRAWN BY: TBS
SCALE: AS NOTED
EDGAR DUENAS, PE
No. 57831
STATE OF FLORIDA
PL. REG. ENG. #57831
C.A.# 26268

NEW 2-STORY DUPLEX (2 UNIT)
927 SW 2ND COURT
FORT LAUDERDALE, FL 33312

FIRST FLOOR AND SECOND FLOORS
BUILDING PLANS FOR UNITS A AND B

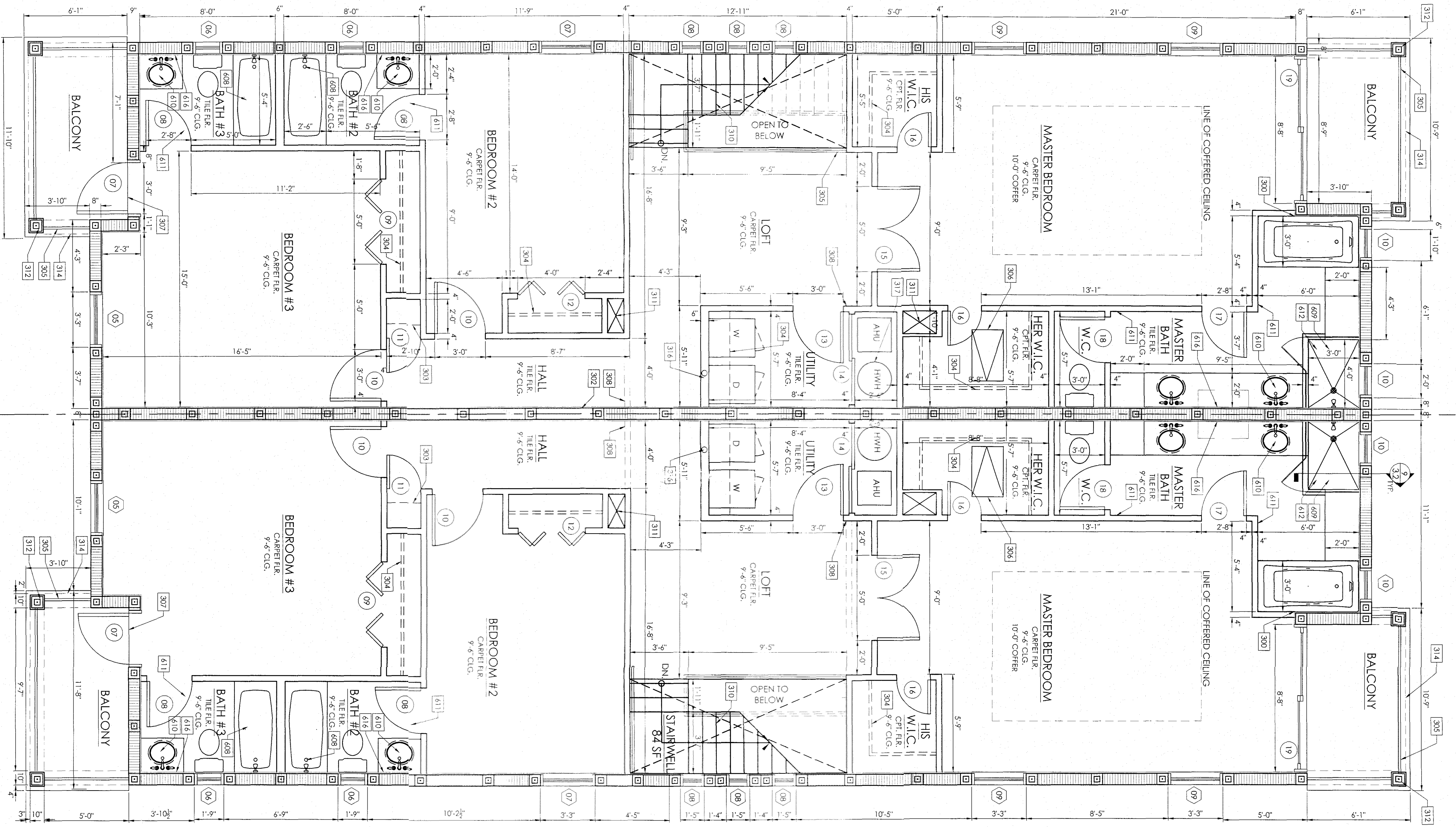
BUNKER ENGINEERING &
CONSTRUCTION SERVICES, INC.
120 N FEDERAL HWY, SUITE 305, LAKE WORTH, FL 33460
PH #561-585-5696 -- FAX #561-585-5697

BUNKER

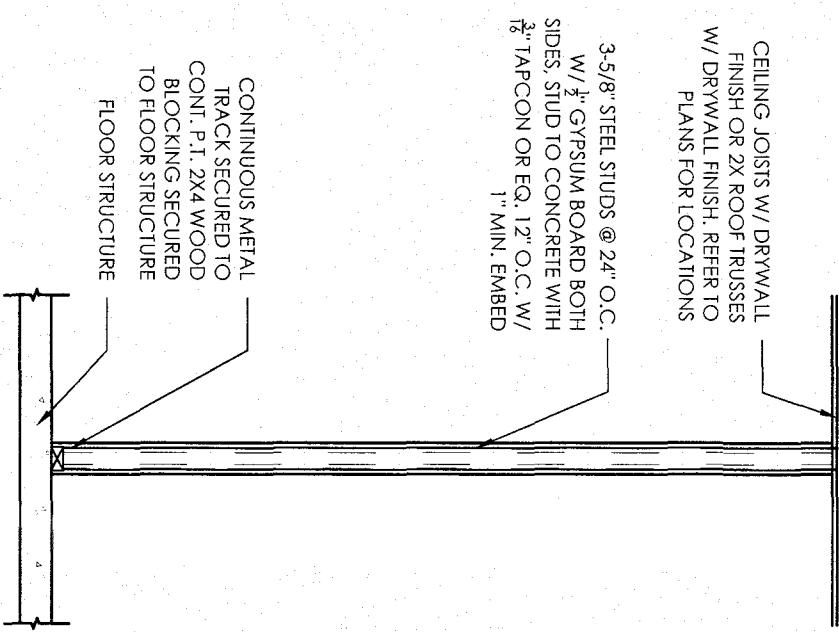
PROPOSED SECOND FLOOR PLAN FOR
UNITS A AND B, DOOR & WINDOW
SCHEDULES, TYPICAL WALL SECTIONS,
TYPICAL DOOR & WINDOW OPENINGS
DETAILS

NEW 2-STORY DUPLEX (2 UNIT)
927 SW 2ND COURT
FORT LAUDERDALE, FL 33312

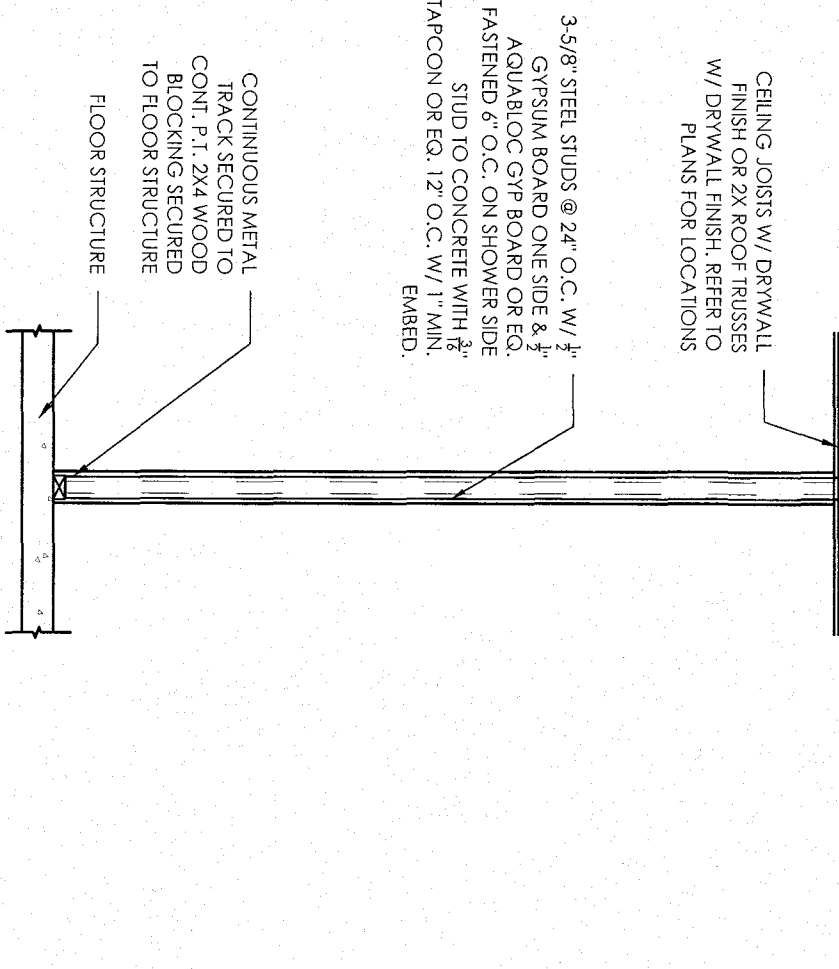
SHEET
3.2 OF 10



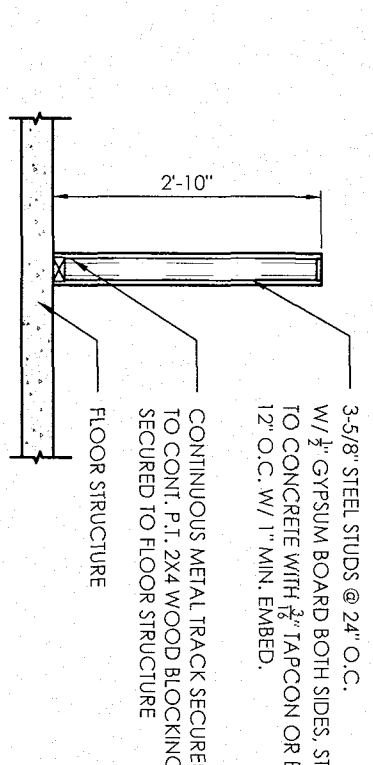
2 TYP. INTERIOR WALL



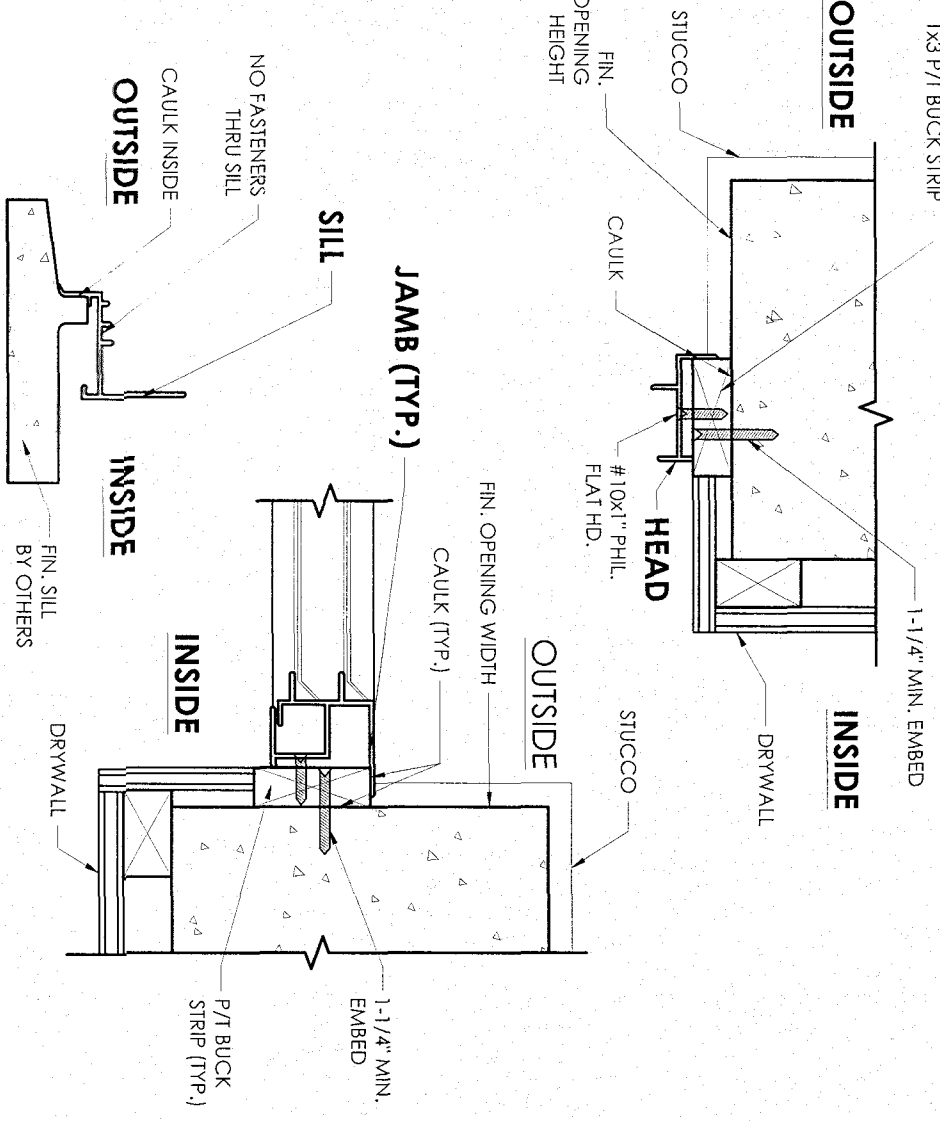
2 TYP. INTERIOR WALL AT SHOWER



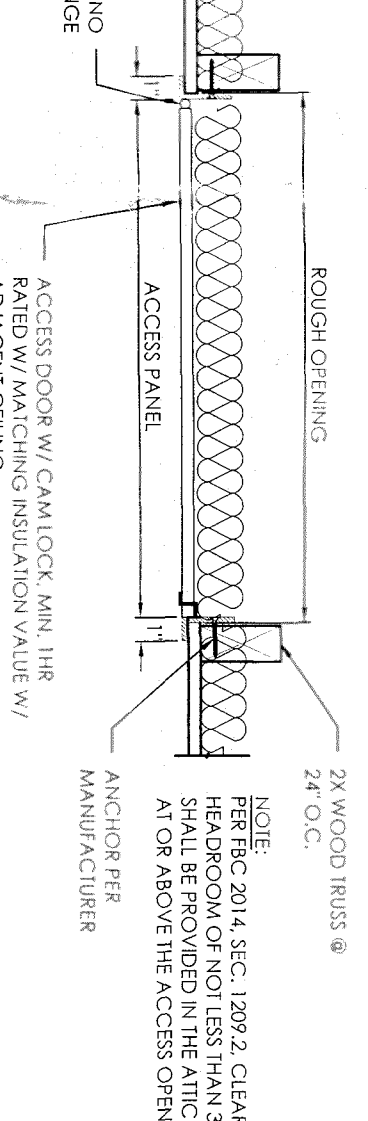
4 TYP. KITCHEN LOW WALL



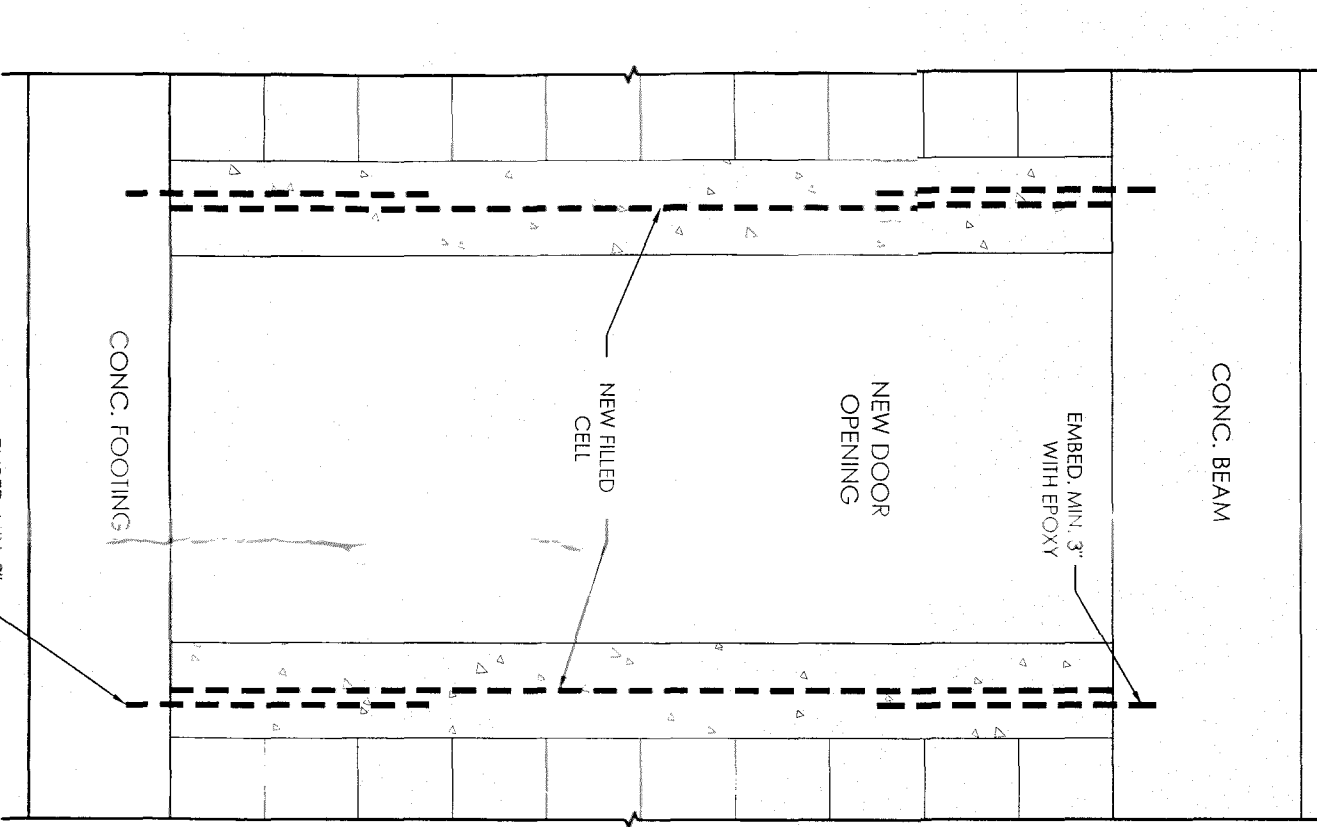
7 TYP. BUCK DETAIL
SCALE: N.T.S.



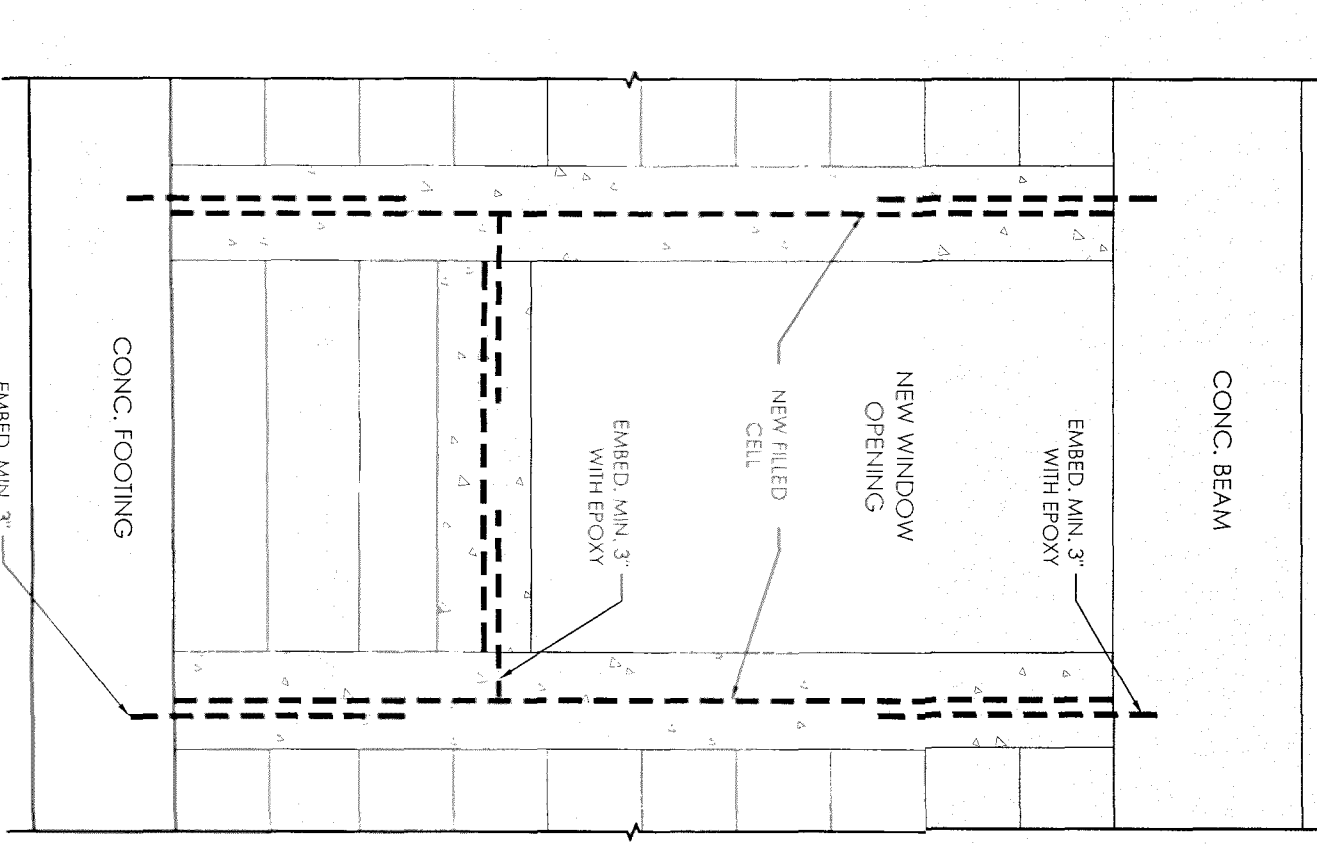
9 TYP. DOOR OPENING DETAIL



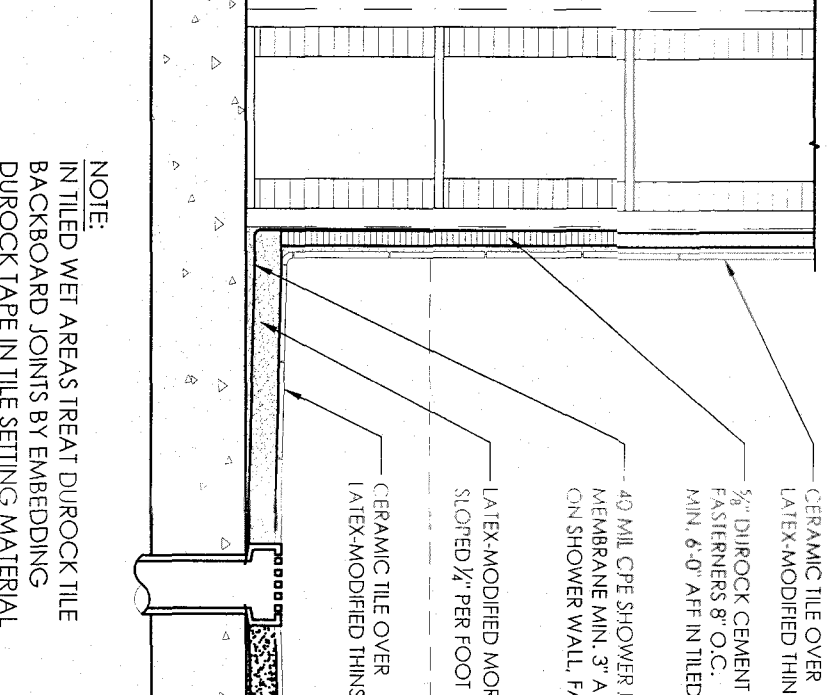
5 **TYP. DOOR OPENING DETAIL**
SCALE: 3/4" = 1' - 0"



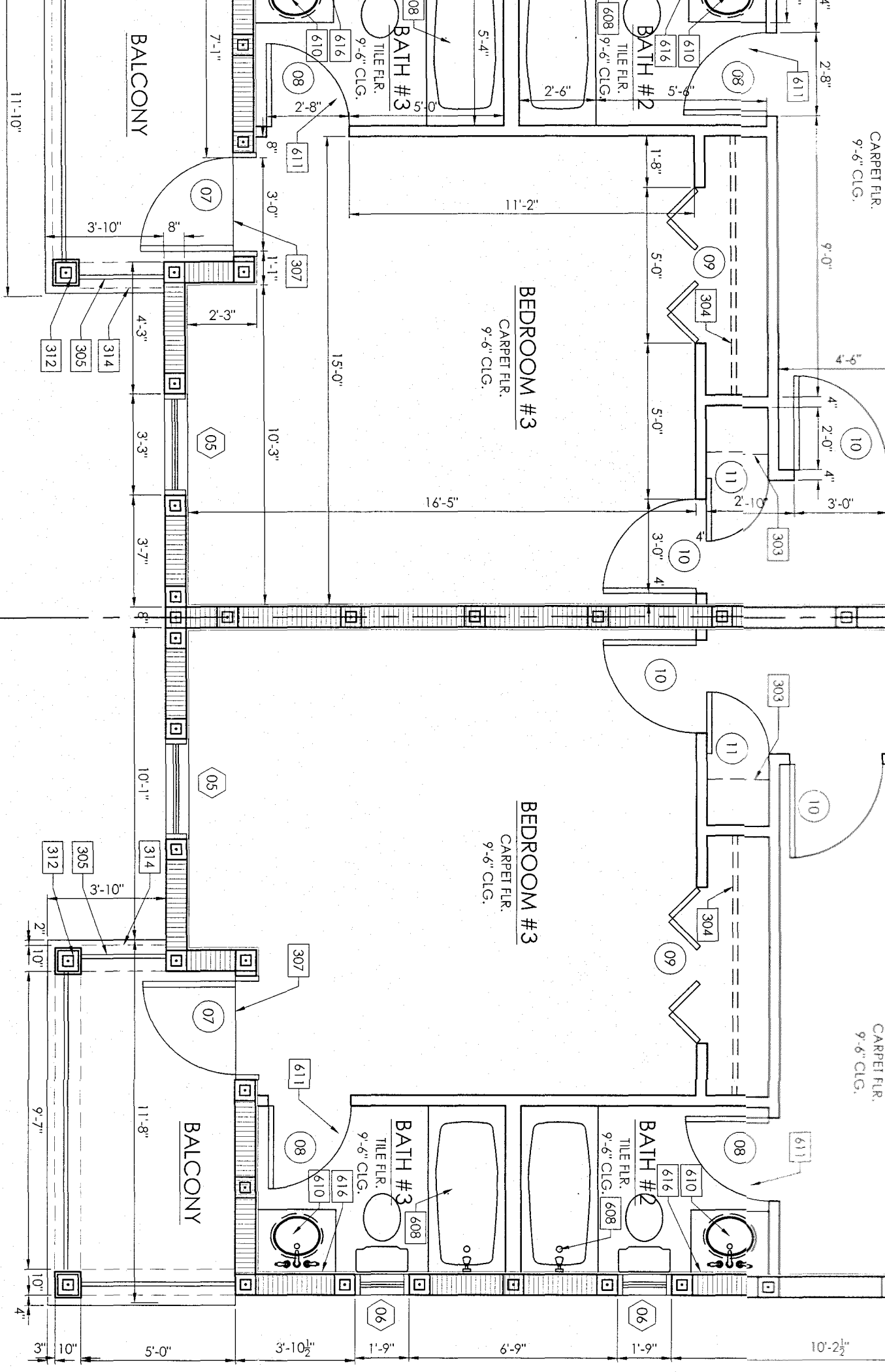
6 **TYP. WINDOW OPENING DETAIL**
SCALE: 3/4" = 1' - 0"



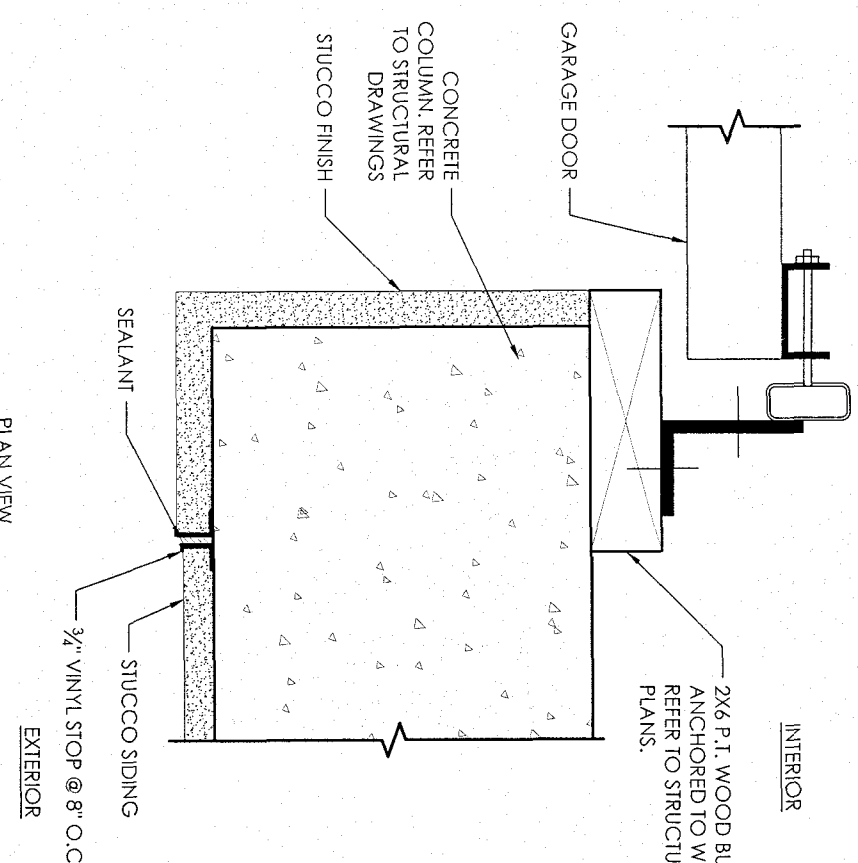
9 **SHOWER CURB DETAIL**
SCALE: 1-1/2" = 1' - 0"



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1' - 0"



10 GARAGE DOOR BUCK DETAIL



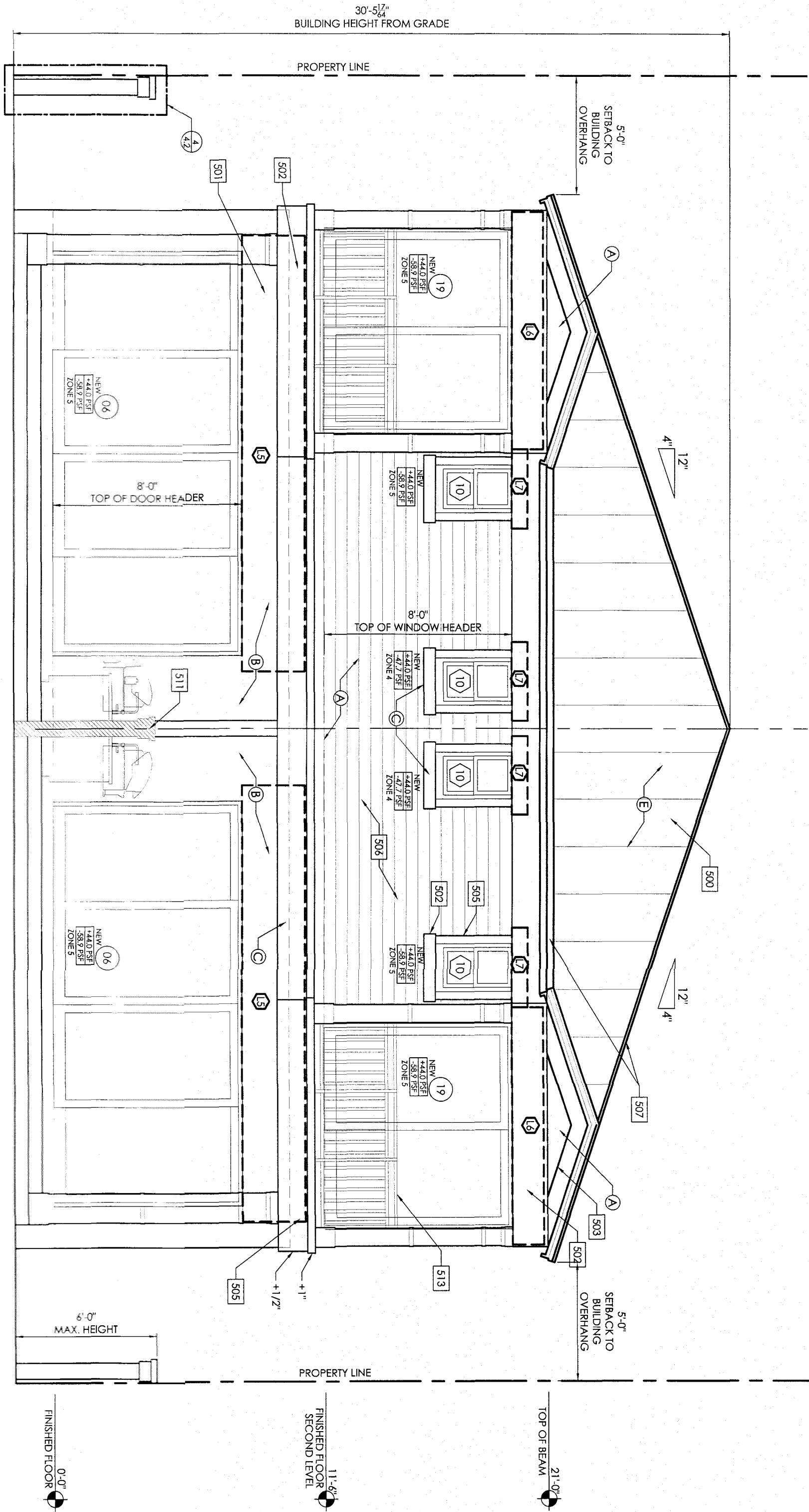
WINDOW SCHEDULE						
NO.	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	LOCATION
05	3'-3"	5'-4"	SINGLE HINGE	ALUMINUM / GLAZED	WHITE	BEDROOM #3
06	1'-9"		SINGLE HINGE	ALUMINUM / GLAZED	WHITE	BATH #2 & #3
07	3'-3"		SINGLE HINGE	ALUMINUM / GLAZED	WHITE	BEDROOM #2
08	1'-5"		FIXED	ALUMINUM / GLAZED	WHITE	STARFEL
09	3'-3"		SINGLE HINGE	ALUMINUM / GLAZED	WHITE	MASTER BEDROOM
10	2'-0"		SINGLE HINGE	ALUMINUM / GLAZED	WHITE	MASTER BATH

DOOR SCHEDULE							
NO.	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	LOCATION	
(07)	3'-0"	8'-0"	EXTERIOR	SWING	SOLID CORE / ALUMINUM	PAINTED	BEDROOM BALCONY
(08)	2'-6"	8'-0"	INTERIOR	SWING	HOLLOWCORE	PAINTED	BATH #1 & 2ND FLOOR
(09)	5'-0"	8'-0"	INTERIOR	BIFOLD	HOLLOWCORE	PAINTED	CLOSET BEDROOM #3
(10)	3'-0"	8'-0"	INTERIOR	SWING	HOLLOWCORE	PAINTED	BEDROOM DOORS
(11)	2'-0"	8'-0"	INTERIOR	SWING	HOLLOWCORE	PAINTED	TURNED CLOSET
(12)	4'-0"	8'-0"	INTERIOR	BIFOLD	HOLLOWCORE	PAINTED	CLOSET BEDROOM #2
(13)	3'-0"	8'-0"	INTERIOR	SWING	HOLLOWCORE	PAINTED	UTILITY
(14)	5'-0"	8'-0"	INTERIOR	BYPASS	HOLLOWCORE	PAINTED	EQUIPMENT CLOSET
(15)	5'-0"	8'-0"	INTERIOR	DOUBLE	HOLLOWCORE	PAINTED	MASTER BEDROOM
(16)	2'-0"	8'-0"	INTERIOR	SWING	HOLLOWCORE	PAINTED	CLOSET MASTER BR.
(17)	2'-6"	8'-0"	INTERIOR	SWING	HOLLOWCORE	PAINTED	MASTER BATH
(18)	2'-6"	8'-0"	INTERIOR	SWING	HOLLOWCORE	PAINTED	MASTER BATHING
(19)	9'-0"	8'-0"	EXTERIOR	SLIDING	ALUMINUM / GLAZED	PAINTED / GLAZED	2ND FLOOR MASTER BALCONY

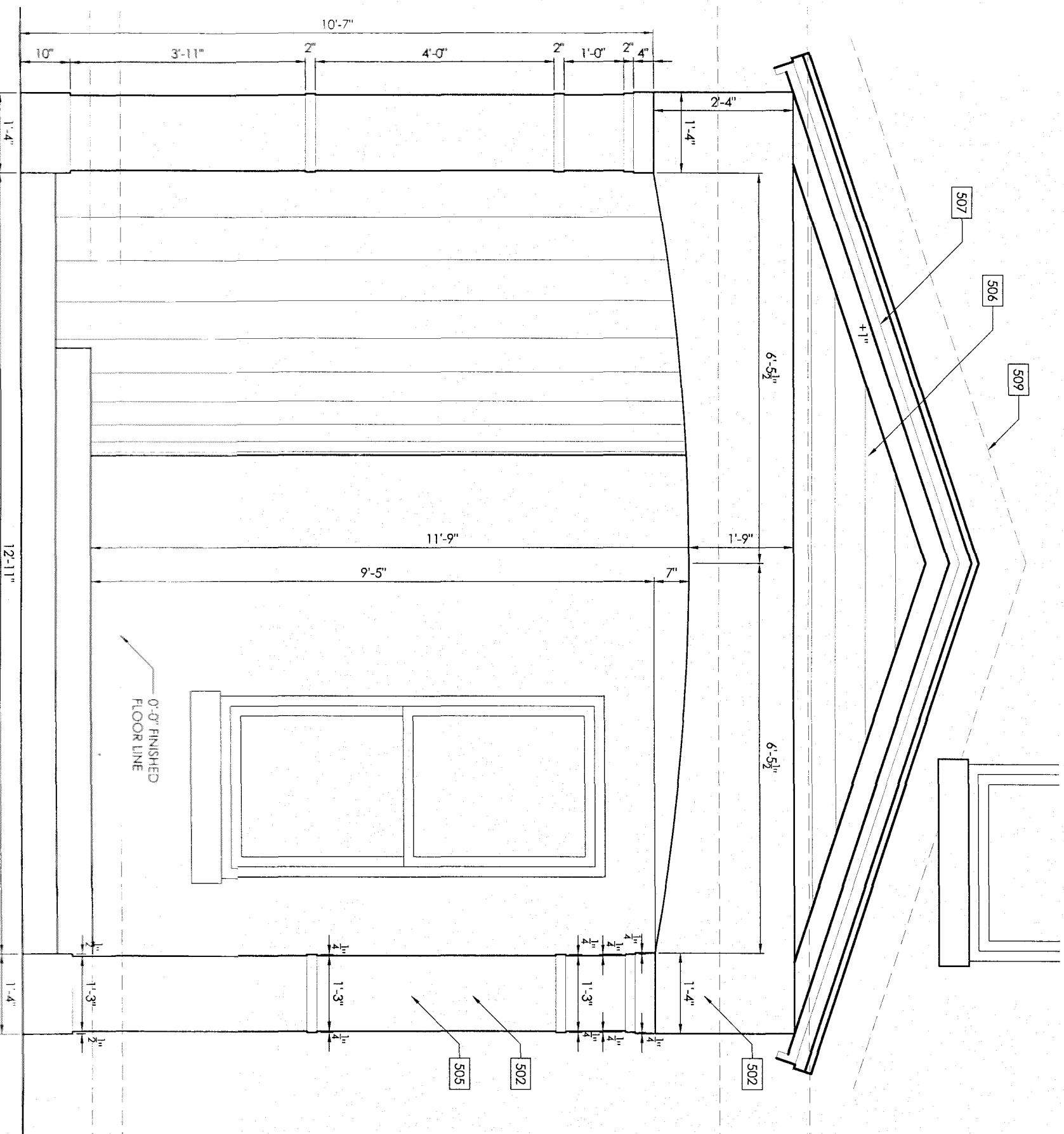
NOTE:
ALL WINDOWS AND DOORS TO BE "PGT" IMPACT RESISTANT OR EQUIVALENT. VERIFY ALL MASONRY OPENINGS WITH MANUFACTURER PRIOR TO ORDERING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

EDGAR DUENAS, PE
No. 67831
STATE OF
JAN 11 2017
FL REG. ENG. #57831
2017-003-0000

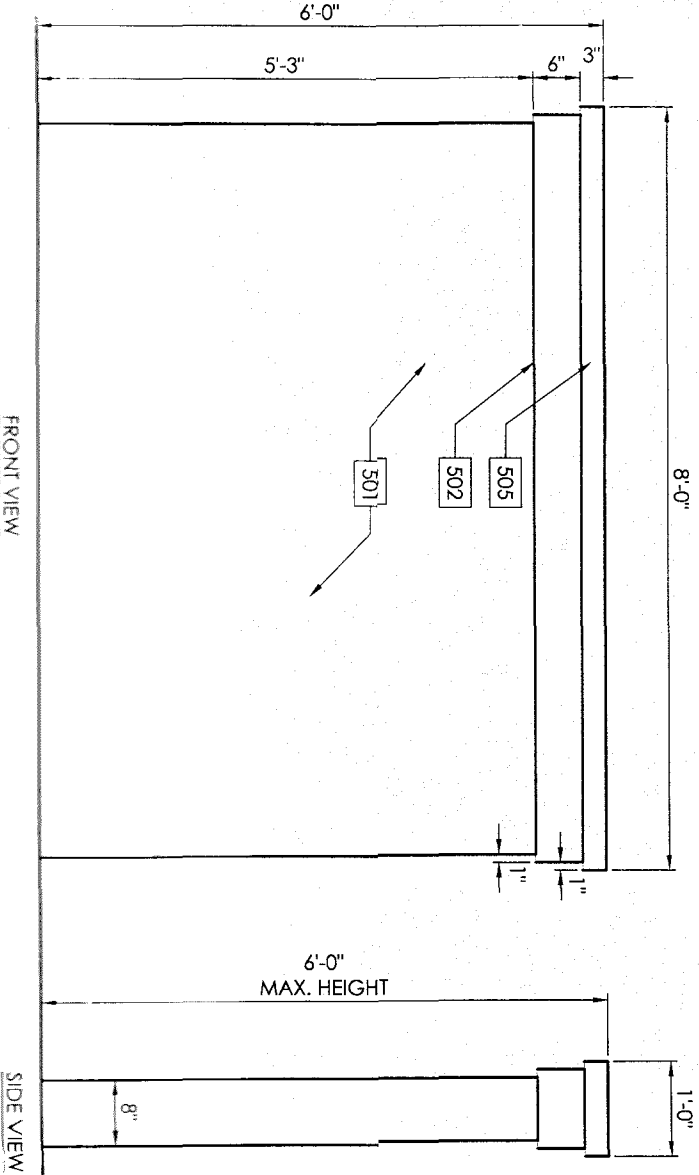
PRD.5



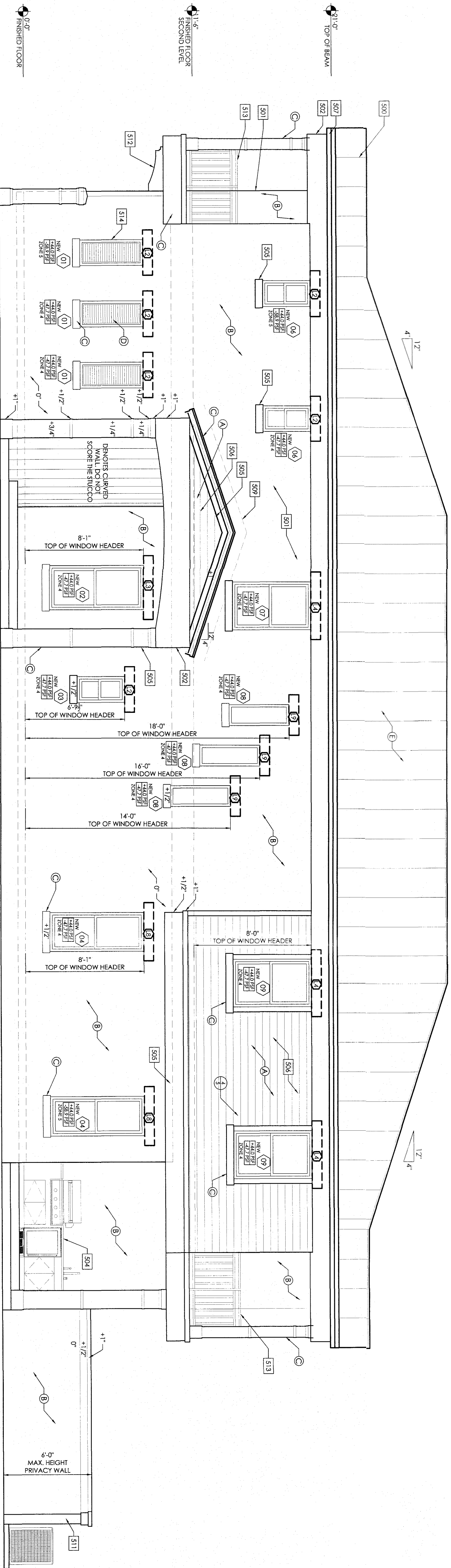
1 REAR (NORTH) ELEVATION
SCALE: 1/4" = 1' - 0"



3 COVERED ENTRY DETAIL
SCALE: 1/2" = 1' - 0"



4 SITE ENTRY WALL
SCALE: 1/2" = 1' - 0"



2 RIGHT (EAST) ELEVATION
SCALE: 1/4" = 1' - 0"

COLOR LEGEND:			
(A)	BODY COLOR 1	(D)	ACCENT COLOR
(B)	BODY COLOR 2	(E)	ROOF COLOR
(C)	TRIM COLOR		

NOTE:
ALL EXTERIOR PAINT DONE WITH 3-COAT SYSTEM. 1 COAT OF PRIMER, 2 COATS OF FINISH. PAINT SAMPLES TO BE APPROVED BY OWNER.

NEW 2-STORY DUPLEX (2 UNIT)
927 SW 2ND COURT
FORT LAUDERDALE, FL 33312

PROPOSED EXTERIOR ELEVATIONS AND DETAILS

BUNKER ENGINEERING & CONSTRUCTION SERVICES, INC.
120 N FEDERAL HWY, SUITE 305, LAKE WORTH, FL 33460
PH #561-585-5696 -- FAX #561-585-5697

EDGAR BOURNAS, P.E.
No. 57831
STATE OF FLORIDA
REGISTERED PROFESSIONAL ENGINEER
FL REG. ENG. #57831
CA# 26268


SCALE: 1/4" = 1' - 0"
AS NOTED
DRAWN BY: [Signature]
DATE: AUG. 29, 2016
REVISION:

SHEET
4.2 OF 10

PROPOSED FOUNDATION PLANS FOR UNITS A AND B, CONCRETE AND FOOTING DETAILS, GENERAL NOTES

NEW 2-STORY DUPLEX (2 UNIT)
927 SW 2ND COURT
FORT LAUDERDALE, FL 33312

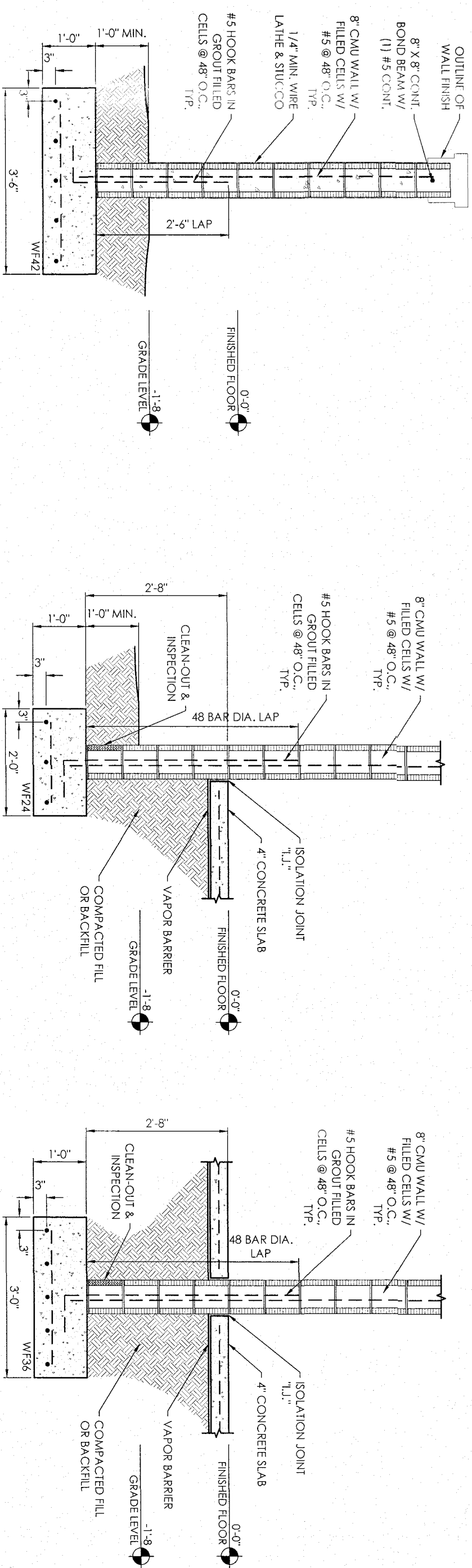
REVISION: AUG. 29, 2016

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SCALE: AS NOTED

EDGAR DUENAS, PE
No. 57831
STATE OF
JAN 11 2017
FL REG. ENG. #57831
C# 28968

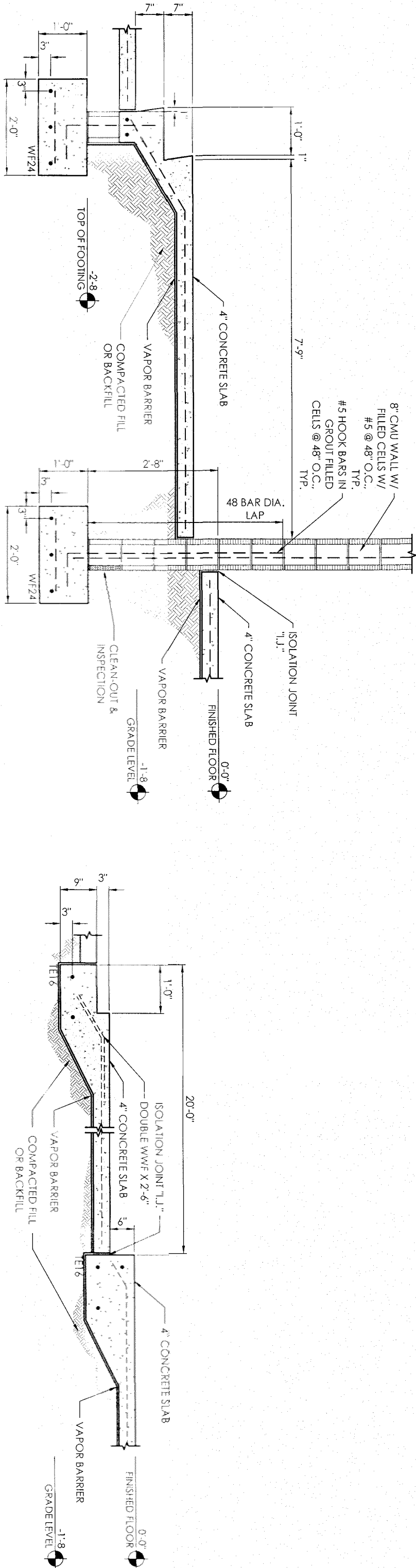
SHEET
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2 **PRIVACY WALL SECTION**
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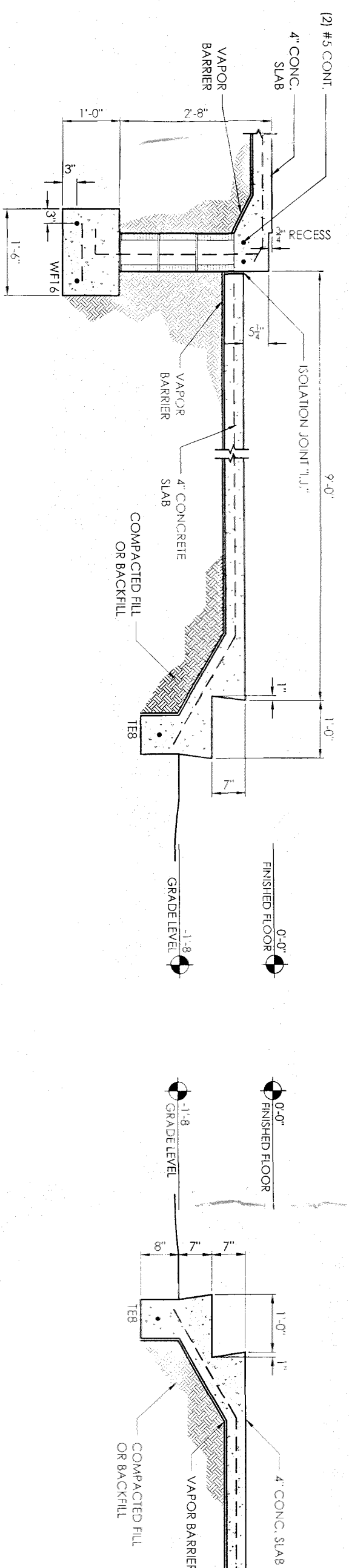
A **SECTION**
SCALE: 1/2" = 1' - 0"

B SECTION
SCALE: 1/2" = 1' - 0"



SECTION
SCALE: 1/2" = 1' - 0"

SECTION
D SCALE: 1/2" = 1' - 0"








SECTION
SCALE: 1/2" = 1' - 0"

SECTION
SCALE: 1/2" = 1' - 0"

FOOTING SCHEDULE				
MARK	SIZE	REINFORCING	LOCATION	NOTES
WF6	16" W X 12" H CONT.	(2) #5 CONT.		CONCRETE WALL FOOTING
WF4	24" X 12" H CONT.	(3) #5 CONT.	TOP @ 2'-8"	CONCRETE WALL FOOTING
WF6	36" W X 12" H CONT.	(3) #5 CONT.		CONCRETE WALL FOOTING
WF42	3'-6" W X 12" H CONT.	(5) #5 CONT.	#3 @ 24" TRANSV.	CONCRETE WALL FOOTING
WF16	16" W X 12" H	(2) #5		MONOLITHIC CONCRETE FOOTING
MF36	36" X 12"	(5) #5 CONT.	#3 @ 24" TRANSV.	MONOLITHIC CONCRETE FOOTING
F36	3'-6" SQ. X 12"D	(3) #5 TRANSV. (4) #5 CONT. W/AT BOTTOM	TOP @ 2'-8"	CONCRETE FOOTING
FD66	4'-6" W X 6'-6" D X 12" H	(7) #5 CONT. W/AT BOTTOM	TOP @ 2'-8"	CONCRETE FOOTING
F48	4'-0" W X 4'-0" D X 12" H	(5) #5 6A. W/AT	TOP @ 2'-8"	CONCRETE FOOTING
IE16	16" X 12" H	(2) #5		CONCRETE THICKEND EDGE
IE8	8" X 8" H	(1) #5		CONCRETE THICKEND EDGE

WALL LEGEND:

- | | |
|---|---|
|  | INTERIOR PARTITION |
|  | 8\" |
|  | CMU WALL |
|  | FIRE RATED PARTITION
FBC 2014 R302.6 |
|  | MASONRY BLOCK
WALL |


FOUNDATION PLAN NOTES:

1. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
2. SIDE FORMS SHALL BE USED FOR ALL FOOTINGS, UNLESS IT CAN BE DEMONSTRATED THAT THE SOIL CAN MAINTAIN A "VERTICAL" POSITION DURING CONSTRUCTION.
3. GROUND FLOOR SLABS SHALL BE 4 INCH CONCRETE WITH 6"x6" #10 @ #10 W/M, 1" MIN., 1" COVER/EDGE, PLACED AT MID-DEPTH. THE SLAB SHALL BE PLACED OVER CLEAN, THERMITE-TREATED COMPACTED FILL AND 6 MIL POLYETHYLENE VAPOR BARRIER. REMOVE ALL ORGANIC MATERIAL. REFER TO THE GENERAL STRUCTURAL NOTES FOR SOIL COMPACTATION REQUIREMENTS.
4. SLABS ON-GRADE SHALL BE CURED. CONTROL JOINTS SHALL BE CUT IN SLABS AS SOON AS PRACTICAL AFTER FINISHING, BUT NOT MORE THAN 6 HOURS AFTER FINISHING. SEE GENERAL STRUCTURAL NOTES FOR CURING REQUIREMENTS.
5. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF NOT LESS THAN 2500 PSI. CEMENT SHALL CONFORM TO ASTM C150, ASTM C595 OR ASTM C685. CONCRETE AGGREGATES SHALL CONFORM TO ASTM C33 OR ASTM C330.
6. AT ALL FOOTING CORNERS AND INTERSECTIONS, PROVIDE TWO (2) #5 L-SHAPED CORNER BARS WITH 30" LEGS.
7. LAP SPICE BARS MINIMUM 36".
8. 8 INCH REINFORCED CONCRETE MASONRY WALL: WALLS SHALL BE REINFORCED AS INDICATED ON THE PLAN. WALLS SHALL HAVE GALVANIZED 9 GAGE LADDER-TYPE HORIZONTAL REINFORCING SPACED AT 16 INCHES (EVERY OTHER COURSE)
9. 8 INCH REINFORCED CONCRETE MASONRY WALLS BELOW WINDOW OPENINGS: VERIFY LOCATIONS AND DIMENSIONS WITH THE FLOOR PLAN AND ELEVATIONS. WALLS SHALL BE REINFORCED AS INDICATED ON THE PLAN. THE TOPS OF WALLS BELOW WINDOWS (BOTTOM OF OPENING) SHALL HAVE AN 8"x8" (MIN) CONCRETE CAP REINFORCED WITH (1) #5 HORIZONTAL BAR. EXTEND THE BARS A MIN. OF 6 INCHES INTO COLUMNS OR GROUDED MASONRY CELLS AT THE ENDS OF WALLS.
10. MONOLITHIC CONCRETE SLABS AND FOOTINGS ARE DESIGNED BY THE RATIONAL ANALYSIS METHOD.

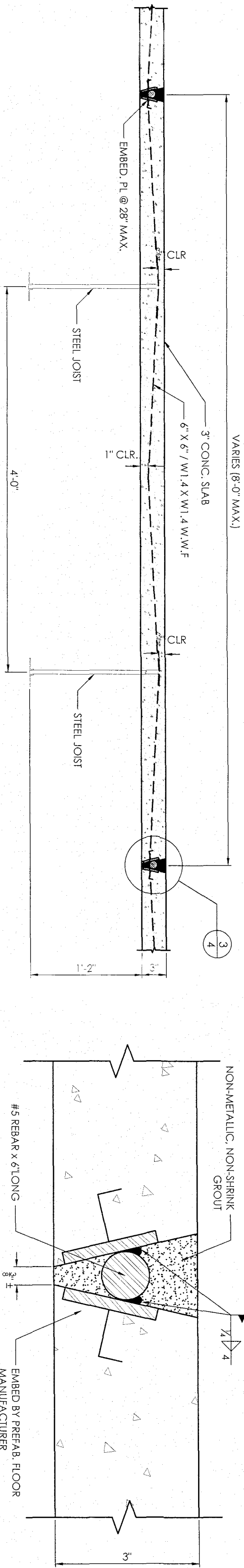
PROPOSED SECOND FLOOR FRAMING
PLAN FOR UNITS A AND B, TYPICAL
SECTIONS AND DETAIL. GENERAL NOTE

NEW 2-STORY DUPLEX (2 UNIT)
927 SW 2ND COURT
FORT LAUDERDALE, FL 33312

EDGAR DUENAS, PE
LICENSE
No. 57831
JAN 11 2017
STATE OF
FLORIDA
FL REG. ENG. #5783
CA# 26268

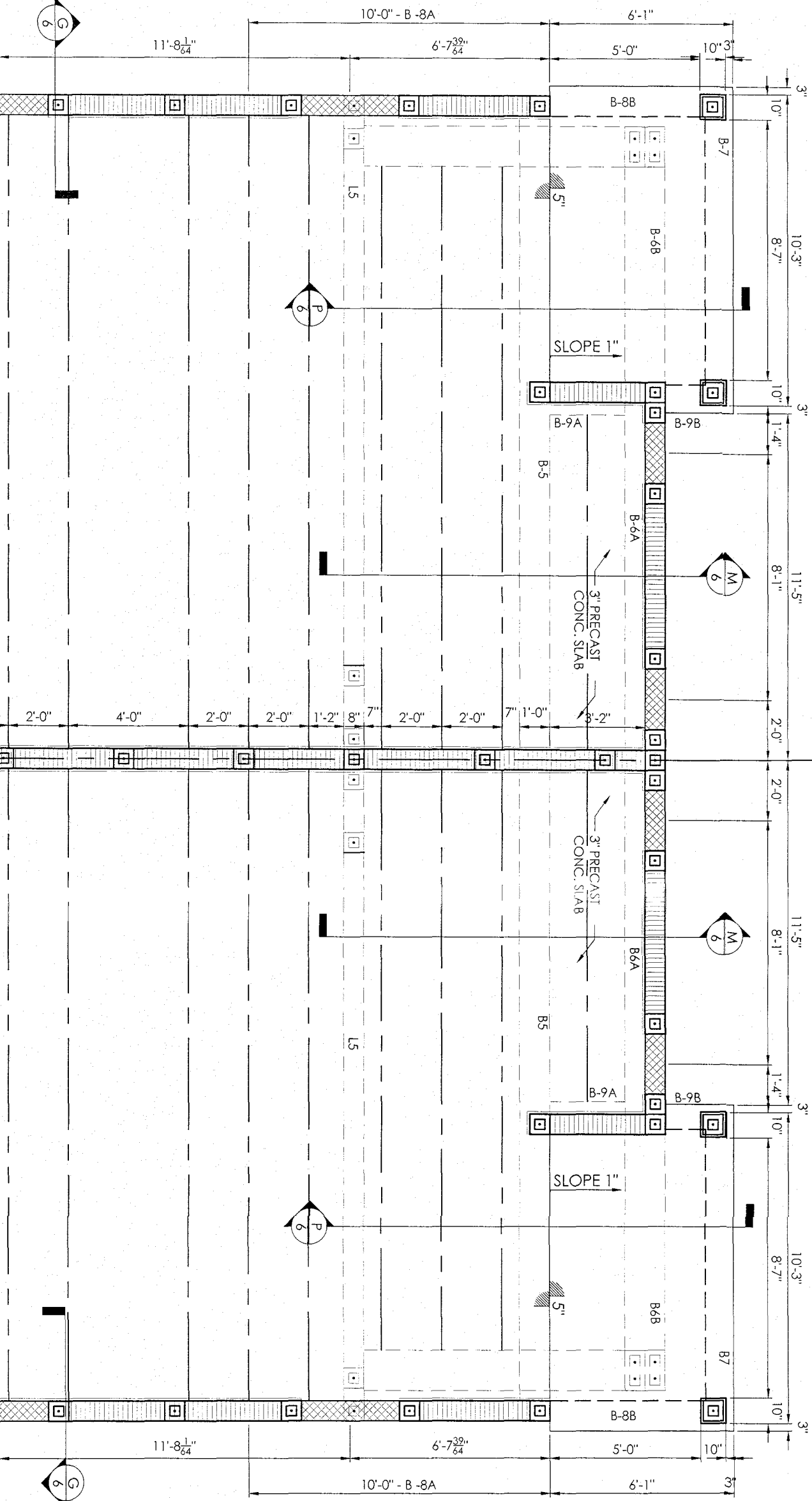
AS NOTED	
DRAWN BY:	
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REVISION:	

SHEET
6 OF 10

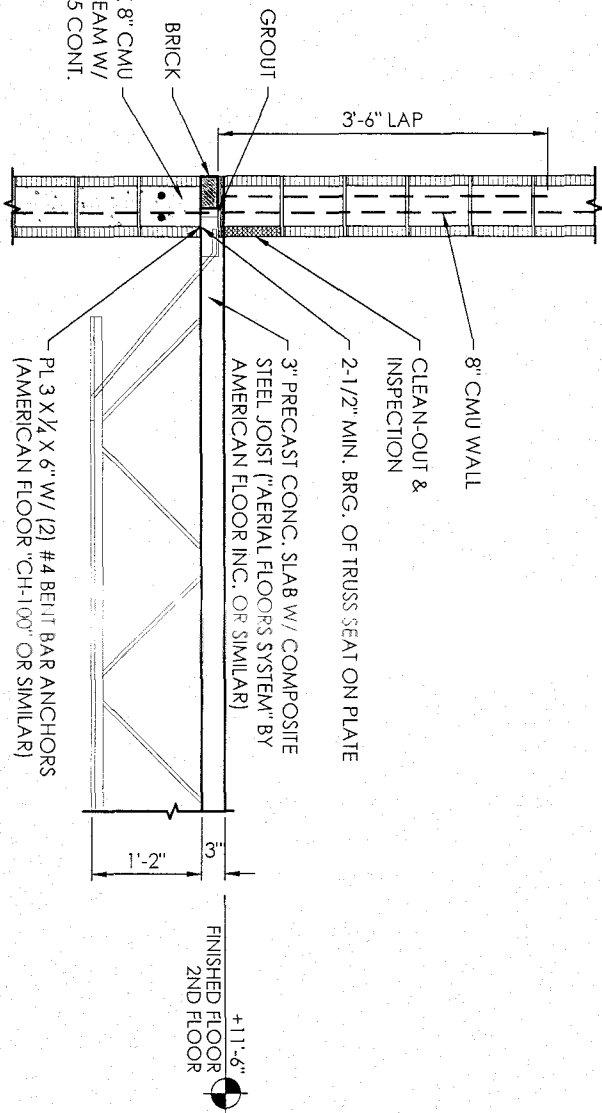


2 **TYP. FLOOR SYSTEM SECTION**
SCALE: 1" = 1' - 0"

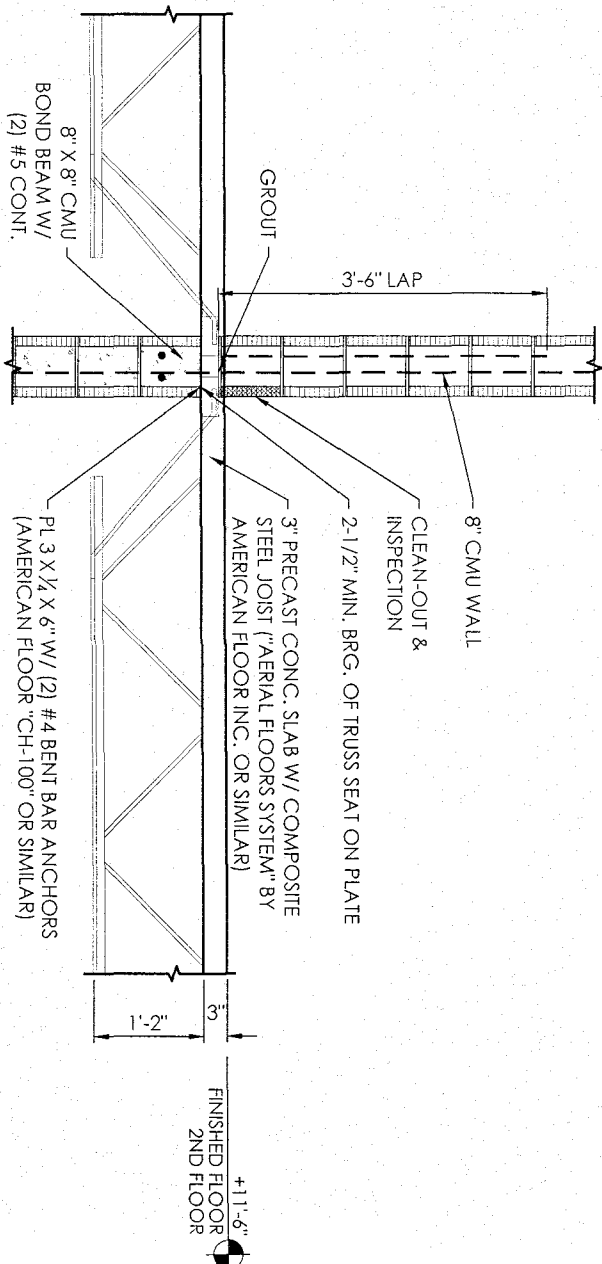
3 TYP. SLAB JOINT DETAIL
SCALE: 6" = 1' - 0"



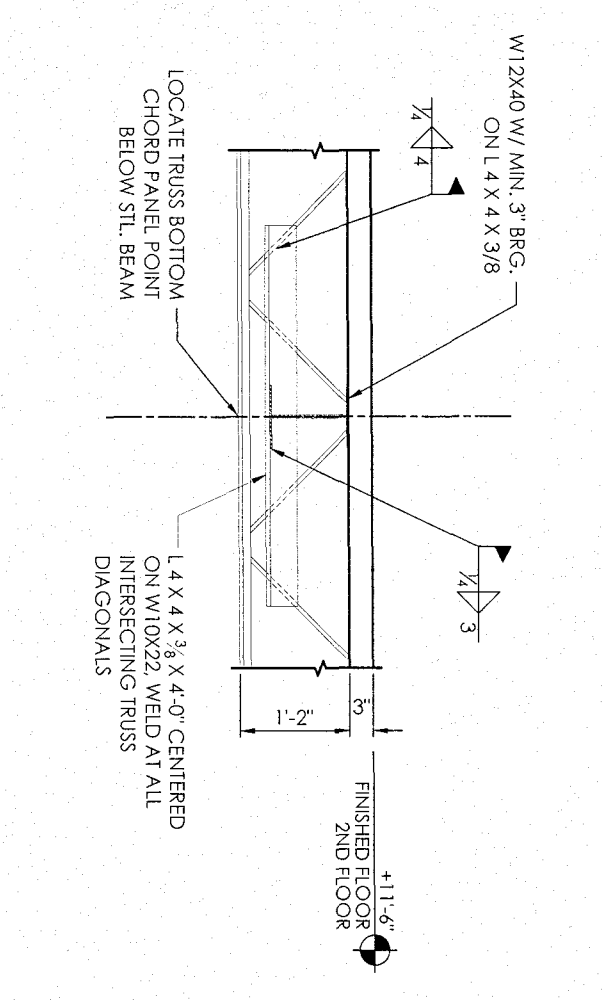
SECTION
SCALE: 1/2" = 1' - 0"



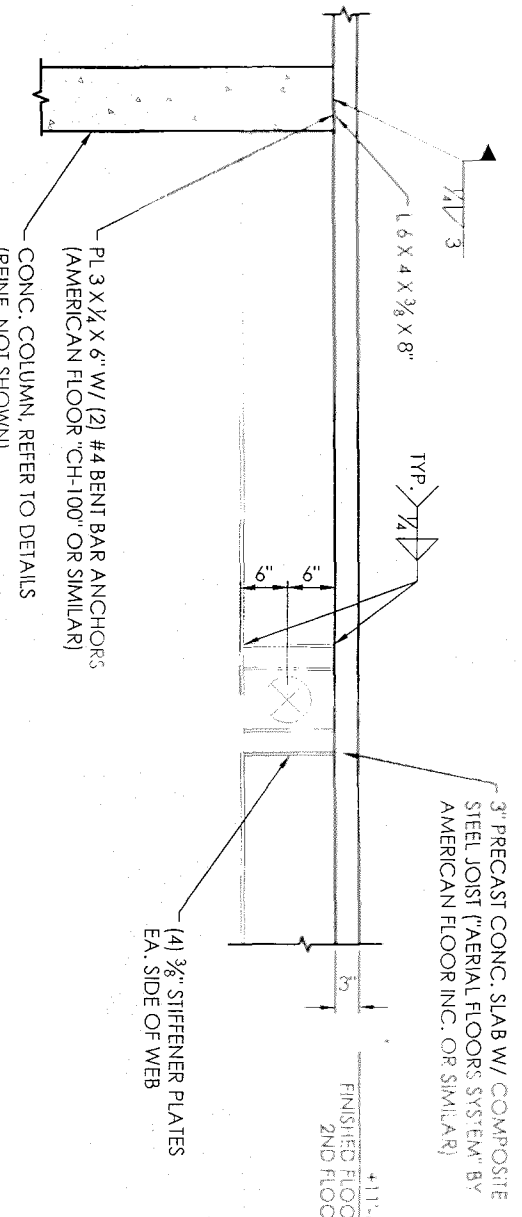
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SCALE: 1/2" = 1' - 0"



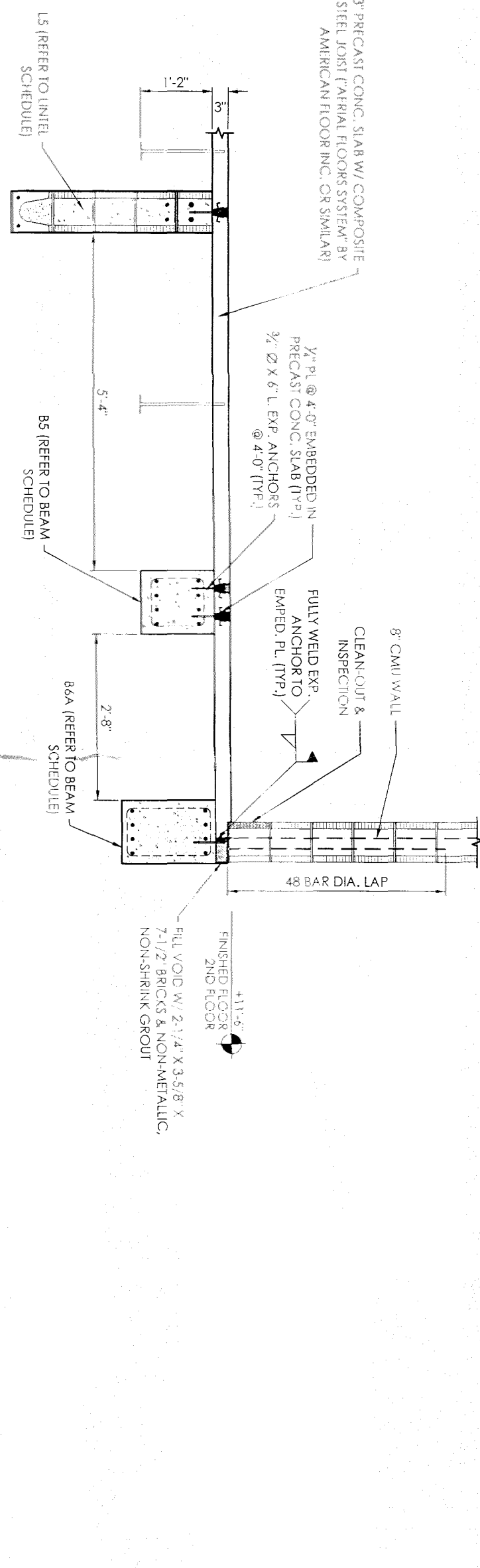
K SECTION
SCALE: 1/2" = 1' - 0"



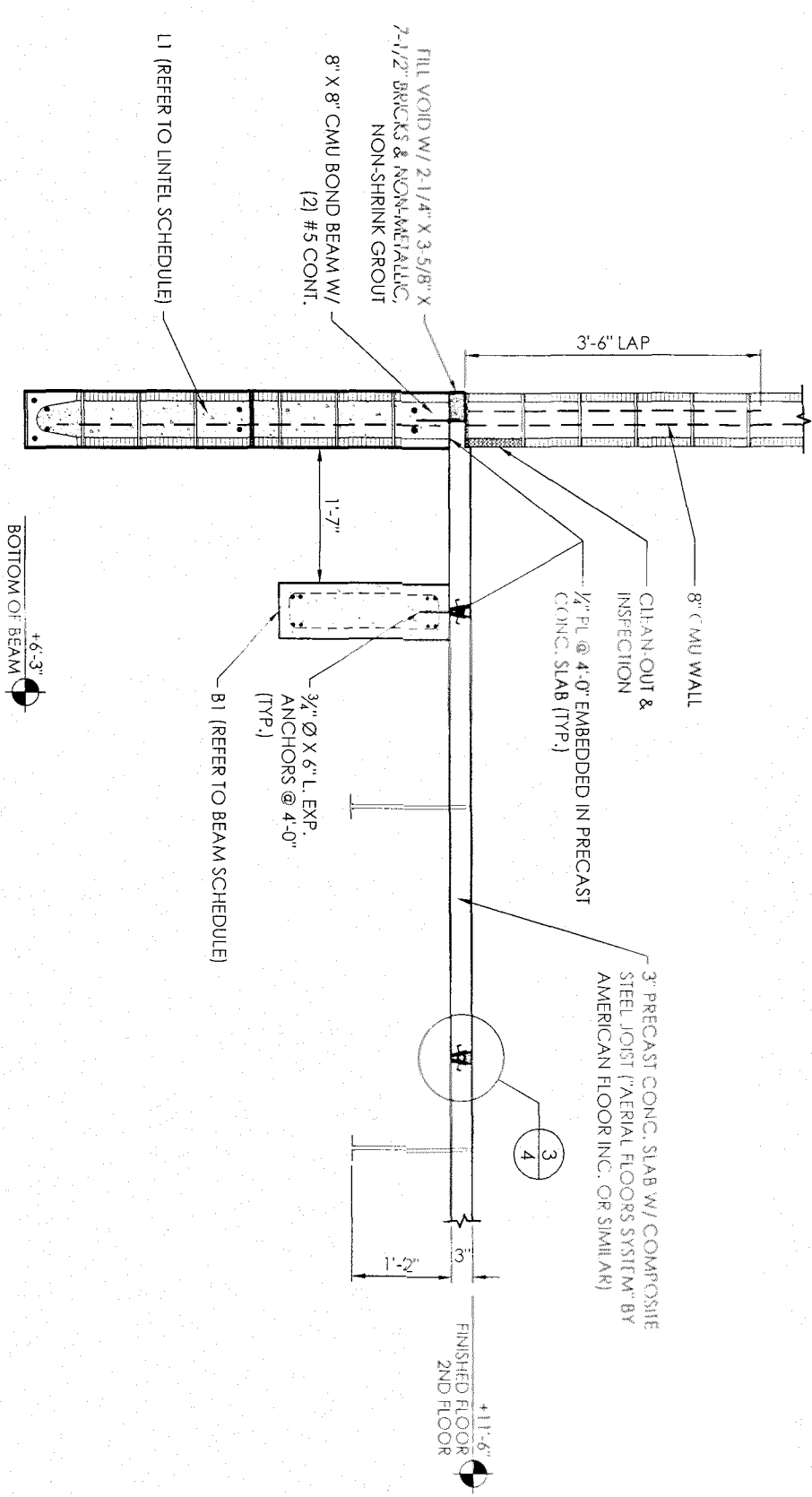
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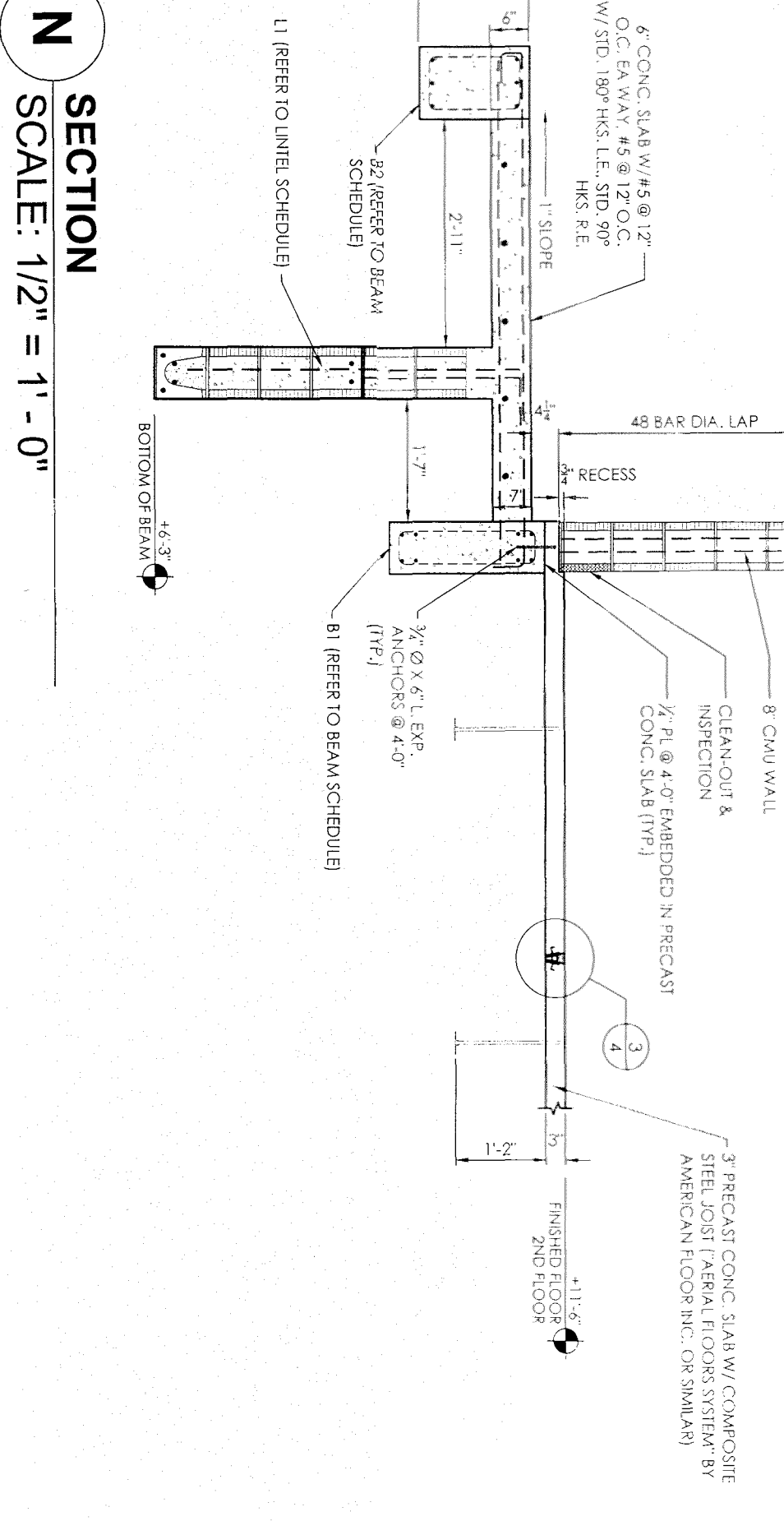
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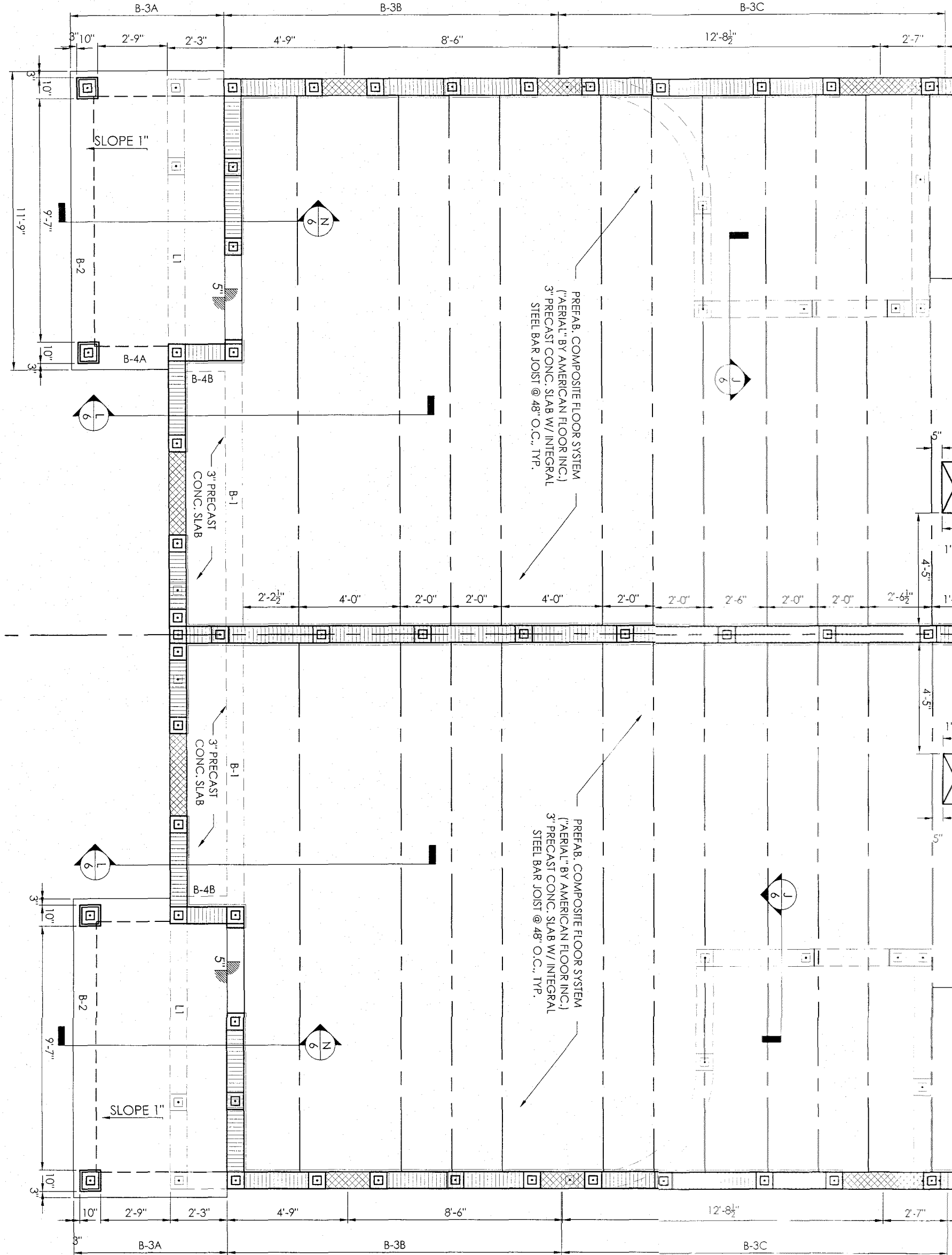
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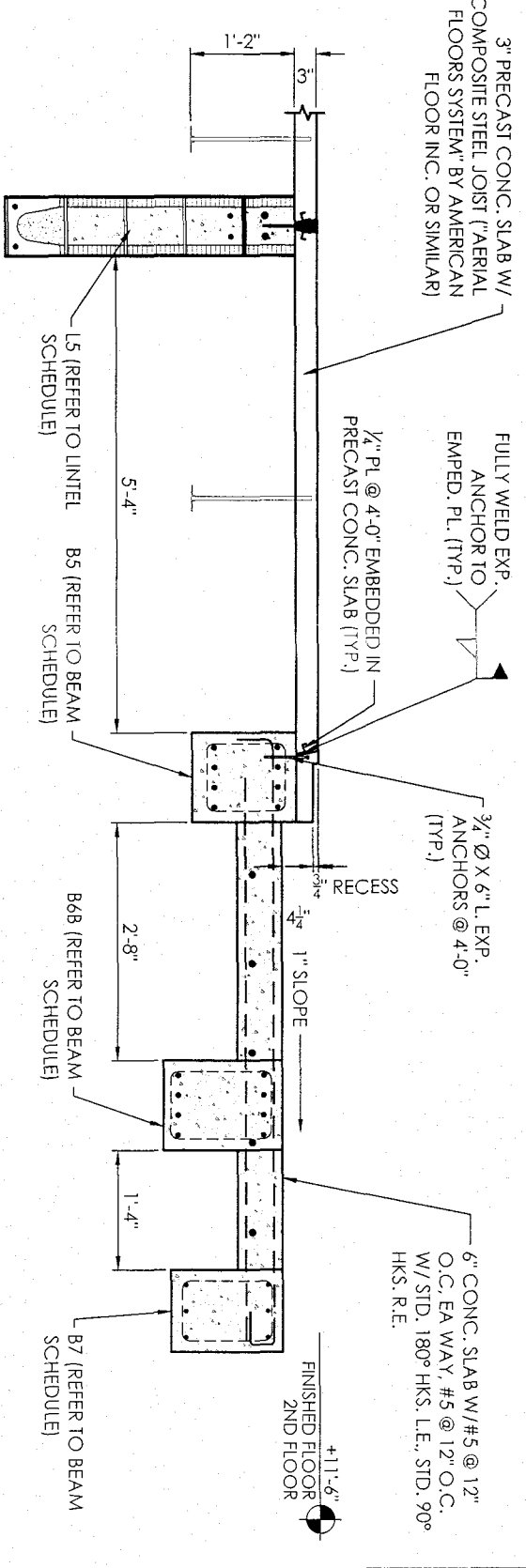
SECTION
SCALE: 1/2" = 1' - 0"



1 2ND FLOOR FRAMING PLAN
SCALE: 1/4" = 1' - 0"



P SECTION
SCALE: 1/2" = 1' - 0"



- ## SECOND (2ND) FLOOR PLAN NOTES:
1. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
 2. THE CENTER LINE OF CONCRETE BEAMS, PRECAST CONCRETE LINTELS, MASONRY BOND BEAMS, AND STEEL BEAMS SHALL COINCIDE WITH THE CENTER LINE OF THE SUPPORTING COLUMNS OR WALLS BELOW UNLESS OTHERWISE DEPICTED ON THE PLAN OR DIMENSIONED.
 3. THE FLOOR SYSTEM DEPICTED ON THE PLAN IS A PRE-ABRICATED COMPOSITE SYSTEM CONSISTING OF A 3-INCH THICK PRECAST CONCRETE SLAB WITH INTEGRAL STEEL BAR JOISTS. THE FLOOR SYSTEM DEPICTED ON THIS PLAN IS THE "AERIAL" FLOOR SYSTEM BY AMERICAN FLOOR INC. REFER TO THE GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
 4. MASONRY WALLS SHALL BE REINFORCED AS INDICATED ON THE PLANS. WALLS SHALL HAVE GALVANIZED 9 GAGE LADDER-TYPE HORIZONTAL REINFORCING SPACED AT 16 INCHES (EVERY OTHER COURSE).
 5. 8-INCH REINFORCED CONCRETE MASONRY WALL LOCATED BELOW WINDOW OPENINGS SHALL BE REINFORCED AS INDICATED ON THE PLANS. THE TOPS OF WALLS BELOW WINDOWS (BOTTOM OF OPENING) SHALL HAVE AN 8" X 8" (MIN.) CONCRETE CAP REINFORCED WITH #2 5 HORIZONTAL BARS. EXTEND THE BARS A MINIMUM OF 6 INCHES INTO COLUMNS OR GROUTED MASONRY CELLS AT THE ENDS OF WALLS.
 6. THE CONTRACTOR SHALL COORDINATE THE LOCATION, SIZE AND LAP SPICES OF VERTICAL REINFORCEMENT IN THE GROUND FLOOR AND SECOND FLOOR WALLS. VERTICAL REINFORCING BARS SHALL BE LAPPED 48 BAR DIAMETERS, VERTICAL REINFORCING BARS THAT DO NOT CONTINUE ABOVE THE SECOND FLOOR SHALL TERMINATE IN STANDARD 90° HOOKS IN THE SECOND FLOOR BOND BEAM.
 7. VERTICAL REINFORCEMENT IN THE SECOND FLOOR WALLS SHALL TERMINATE IN STANDARD 90° HOOKS IN THE BOND BEAMS AT THE ROOF LEVELS.

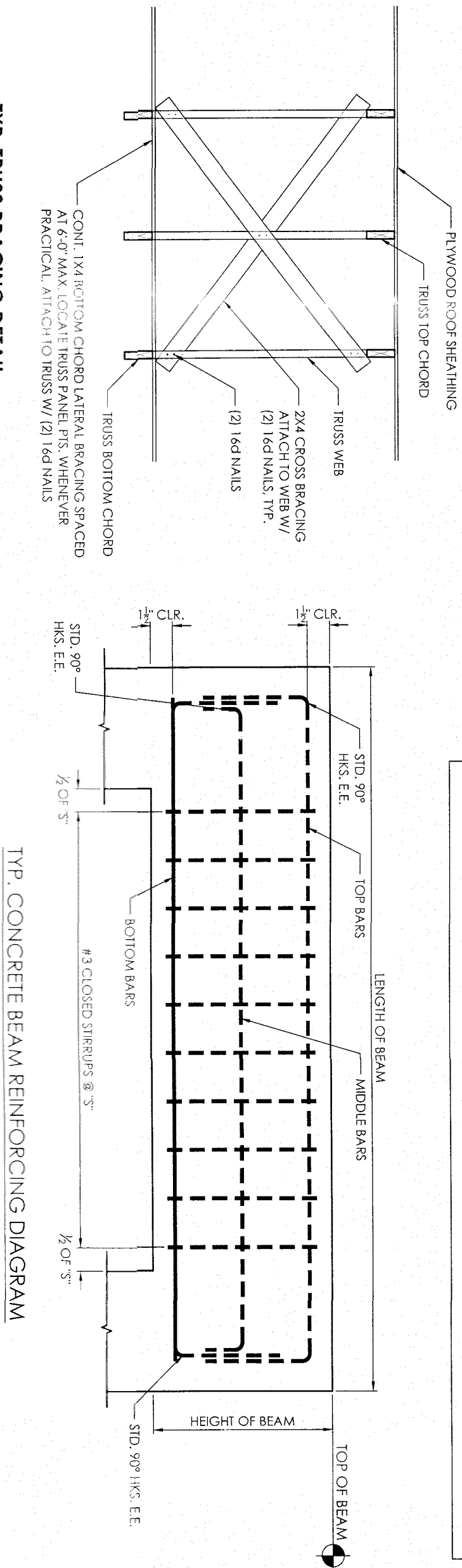
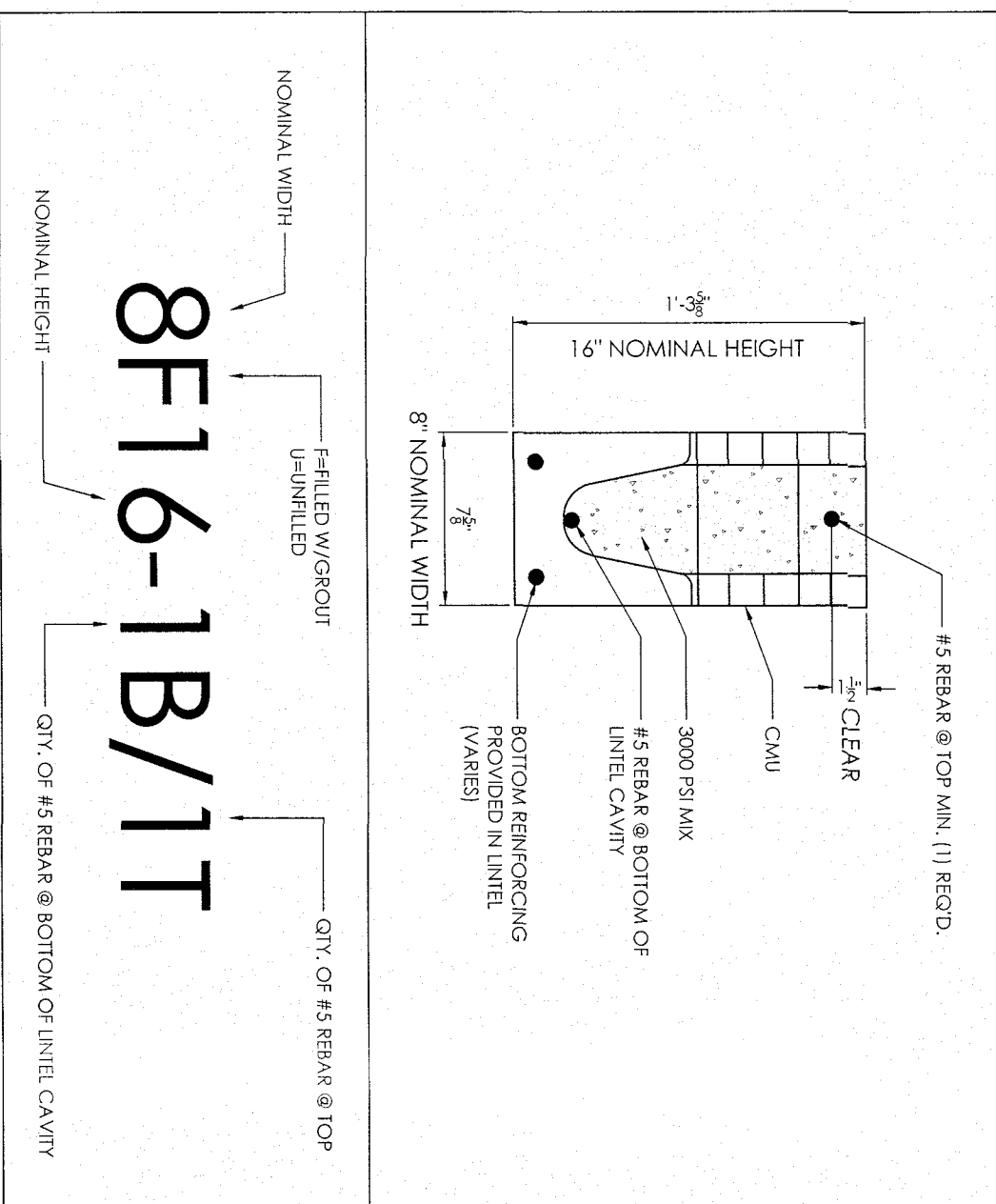
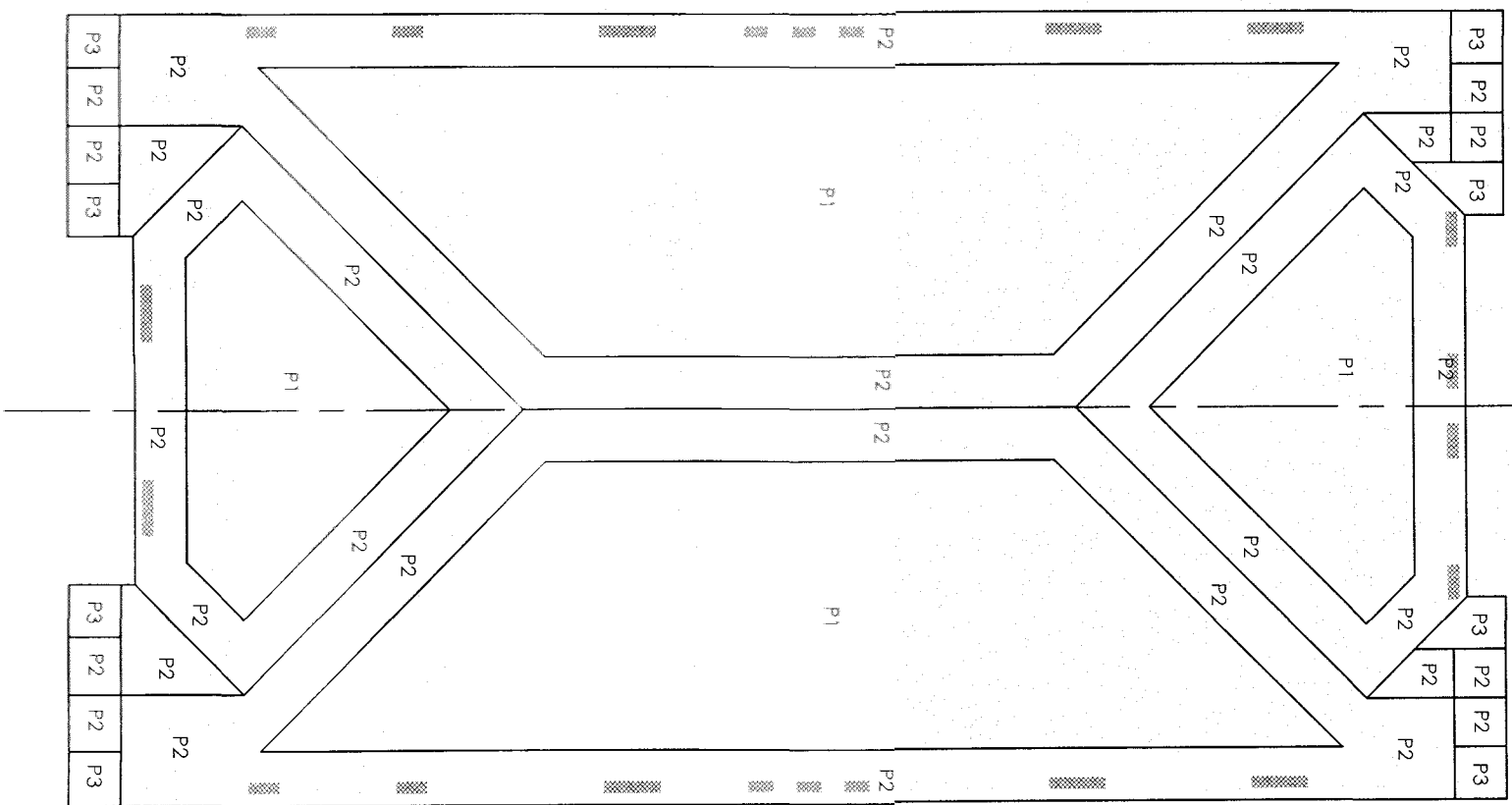
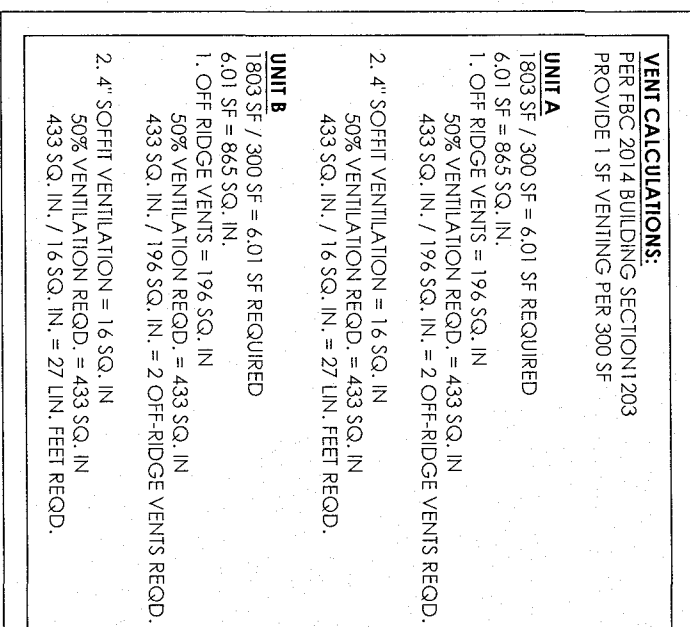
SECOND (2ND) FLOOR PLAN NOTES:

SCALE: 1/2" = 1' - 0"

ROOF PLAN FOR UNITS A AND B, CONCRETE BEAM AND LINTEL SCHEDULES, TYPICAL DETAILS AND GENERAL NOTES

NEW 2-STORY DUPLEX (2 UNIT)
927 SW 2ND COURT
FORT LAUDERDALE, FL 33312

SHEET
7 OF 10



PRECAST LINTEL SCHEDULE				
MARK	HEIGHT	SAFE GRAVITY	SAFE WEIGHT	COMPOSITE BEAM
11	17' 4"	2047	1225	8/12-20/27
12	3-17'	3649	1569	8/16-08/11
13	4' 4"	1969	1207	8/16-08/11
14	4-27'	1349	1016	8/16-08/11
15	16' 4"		1225	8/12-20/27
16	10-07'	1247	914	8/11-6-08/11
17	3' 4"	3669	1569	8/16-08/11
18	4' 0"	2561	1363	8/16-08/11
19	2' 7"	3669	1569	8/16-08/11

CONCRETE BEAM SCHEDULE						
MARK	TOP OF BEAM	LENGTH	SIDE X (ft)	TOP BARS	BOTTOM BARS	T. STIRRUP SPACING
B-1	+11'-3"	20'-10"	8'-2 1/4"	4-#5	4-#5	10"
B-2	+11'-9"	11'-9"	11'-7 1/2"	3-#5	3-#5	6"
B-3A	SLOPED	6'-1"	11'-1 1/2"	3-#6	3-#6	6"
B-3B	+11'-3"	13'-1 1/2"	8'-1 1/2"	2-#6	2-#6	6"
B-3C	+11'-3"	15'-4"	8'-1 1/4"	2-#6	2-#6	6"
B-4A	SLOPED	3'-10"	11'-1 1/2"	3-#5	3-#5	6"
B-4B	+11'-3"	2'-11"	11'-1 1/2"	3-#5	3-#5	6"
B-5	+11'-3"	20'-10"	12'-1 1/4"	4-#6	4-#6	4"
B-6A	+11'-3"	12'-1"	12'-7 1/8"	4-#6	4-#6	6"
B-6B	+11'-1"	6'-5"	12'-7 1/8"	4-#6	4-#6	6"
B-7	+11'-1"	10'-3"	11'-1 1/2"	3-#5	3-#5	6"
B-8A	+11'-3"	10'-0"	8'-1 1/2"	2-#6	2-#6	6"
B-8B	SLOPED	6'-1"	11'-1 1/2"	3-#6	3-#6	6"
B-9A	+11'-3"	3'-10"	11'-1 1/2"	3-#5	3-#5	6"
B-9B	SLOPED	2'-5"	11'-1 1/2"	3-#5	3-#5	6"
NOTES						
2. LAYERS OF 2 BARS EA. STD. 90° H.S.						
CONF. 2 BARS 2 NO. 8 BARS & B-3C STD. 90° H.S. E.E.						
CONF. 2 BARS 2 NO. 8 BARS STD. 90° H.S. E.E.						
CONF. FROM B-3A						
CONF. FROM B-3B STD. 90° H.S. E.E.						
CONF. FROM B-4B STD. 90° H.S. E.E.						
CONF. FROM B-4A STD. 90° H.S. E.E.						
CONF. FROM B-6A STD. 90° H.S. E.E.						
CONF. FROM B-6B STD. 90° H.S. E.E.						
STD. 90° H.S. E.E.						
STD. 90° H.S. E.E.						
CONF. 2 BARS 2 NO. 8 BARS STD. 90° H.S. E.E.						
CONF. 2 BARS 2 NO. 8 BARS STD. 90° H.S. E.E.						
CONF. FROM B-9B STD. 90° H.S. E.E.						
CONF. FROM B-9A STD. 90° H.S. E.E.						

ROOF BEAM SCHEDULE						
MARK	TOP OF BEAM	LENGTH	SUF. B X H	TOP BARS	BOTTOM BARS	T-STRIP SPACING
RB-1	+21'-0"	17'-5"	8" X 24"	4 #5	4 #5	10"
RB-2	+21'-0"	5'-0"	11" X 15"	3 #5	3 #5	6"
RB-3	+21'-0"	3'-6"	11" X 15"	3 #6	3 #6	6"
RB-4	+21'-0"	13'1 1/2"	8" X 16"	2 #6	2 #6	6"
RB-5	+21'-0"	15'-4"	8" X 16"	2 #6	2 #6	6"
RB-6	+21'-0"	2'-5"	11" X 15"	3 #5	3 #5	6"

SWAMPON RE-EDGING SCHEDULE							ALLOWABLE LOADS	
SWA.	ANCHOR TYPE	GA.	FASTENERS				F1	F2
			TO REINFORCING JOIST	TO HEADERS	TO STUDS			
A	WE-16	16	9" #10	.....	.....	1810	340	725
B	HEA-12	16	7" #10	.....	.....	1780	340	725
C	M105	10	8-80 x 1-1/2"	.....	8-84	1010	660	215
D	HSS20x210	14	6-16d	8-16d	.....	1530	.....	.....

ROOF PLAN NOTES:

1. REFER TO THE GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
2. THE CENTER LINE OF CONCRETE BEAMS, PRECAST CONCRETE INTELS, MASONRY BOND BEAMS, AND STEEL BEAMS SHALL COINCIDE WITH THE CENTER LINE OF THE SUPPORTING COLUMNS OR WALLS BELOW UNLESS OTHERWISE SPECIFIED ON THE PLAN OR DIMENSIONED.
3. THE ROOF FRAMING SYSTEM DEPICTED ON THIS PLAN CONSIST OF PREFABRICATED WOOD TRUSSES AND TRUSS GIRDERS. REFER TO THE GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION AND REQUIREMENTS FOR THE DESIGN, FABRICATION, DELIVERY ERECTION, AND TEMPORARY AND PERMANENT BRACING OF PREFABRICATED WOOD TRUSSES AND TRUSS GIRDERS.
4. PERMANENT TRUSS BRACING, PERMANENT BRACING FOR PREFABRICATED WOOD TRUSSES, AND TRUSS GIRDERS SHALL BE AS FOLLOWS UNLESS OTHERWISE SPECIFIED BY THE SPECIALTY ENGINEER AND SHOWN IN THE TRUSS SHOP DRAWINGS.
 - a. PROVIDE VERTICAL 2X4 CROSS BRACING AT THE ENDS OF THE ROOF FRAMING, AND AT INTERVALS NOT EXCEEDING 20 FEET.
 - b. PROVIDE CONTINUOUS 1X4 BOTTOM CHORD LATERAL BRACING. BRACING SHALL BE LOCATED AT TRUSS PANEL POINTS OR AS CLOSE TO PANEL POINTS AS PRACTICAL. THE MAXIMUM SPACING BETWEEN LINES OF BRACING SHALL NOT EXCEED 6 FEET. BRACING SHALL BE CONTINUOUS FROM ONE END OF THE ROOF FRAMING TO THE OTHER, AND WHERE SPLICES OF BRACING ARE REQUIRED, BRACING SHALL OVERLAP AT LEAST ONE TRUSS SPACING.
 - c. PROVIDE CONTINUOUS 1X4 TOP CHORD LATERAL BRACING. BRACING SHALL BE LOCATED AT TRUSS PANEL POINTS OR AS CLOSE TO PANEL POINTS AS PRACTICAL. THE MAXIMUM SPACING BETWEEN LINES OF BRACING SHALL NOT EXCEED 6 FEET. BRACING SHALL BE CONTINUOUS FROM ONE END OF THE ROOF FRAMING TO THE OTHER, AND WHERE SPLICES OF BRACING ARE REQUIRED, BRACING SHALL OVERLAP AT LEAST ONE TRUSS SPACING.
 - d. PROVIDE CONTINUOUS 1X4 BOTTOM CHORD LATERAL BRACING. BRACING SHALL BE LOCATED AT TRUSS PANEL POINTS OR AS CLOSE TO PANEL POINTS AS PRACTICAL. THE MAXIMUM SPACING BETWEEN LINES OF BRACING SHALL NOT EXCEED 6 FEET. BRACING SHALL BE CONTINUOUS FROM ONE END OF THE ROOF FRAMING TO THE OTHER, AND WHERE SPLICES OF BRACING ARE REQUIRED, BRACING SHALL OVERLAP AT LEAST ONE TRUSS SPACING.
 - e. PROVIDE CONTINUOUS 1X4 TOP CHORD LATERAL BRACING. BRACING SHALL BE LOCATED AT TRUSS PANEL POINTS OR AS CLOSE TO PANEL POINTS AS PRACTICAL. THE MAXIMUM SPACING BETWEEN LINES OF BRACING SHALL NOT EXCEED 6 FEET. BRACING SHALL BE CONTINUOUS FROM ONE END OF THE ROOF FRAMING TO THE OTHER, AND WHERE SPLICES OF BRACING ARE REQUIRED, BRACING SHALL OVERLAP AT LEAST ONE TRUSS SPACING.
 - f. PROVIDE CONTINUOUS 1X4 BOTTOM CHORD LATERAL BRACING. BRACING SHALL BE LOCATED AT TRUSS PANEL POINTS OR AS CLOSE TO PANEL POINTS AS PRACTICAL. THE MAXIMUM SPACING BETWEEN LINES OF BRACING SHALL NOT EXCEED 6 FEET. BRACING SHALL BE CONTINUOUS FROM ONE END OF THE ROOF FRAMING TO THE OTHER, AND WHERE SPLICES OF BRACING ARE REQUIRED, BRACING SHALL OVERLAP AT LEAST ONE TRUSS SPACING.
 - g. PROVIDE VERTICAL 2X4 CROSS BRACING AT THE ENDS OF THE ROOF FRAMING, AND AT INTERVALS NOT EXCEEDING 20 FEET.
 - h. PROVIDE CONTINUOUS 1X4 BOTTOM CHORD LATERAL BRACING. BRACING SHALL BE LOCATED AT TRUSS PANEL POINTS OR AS CLOSE TO PANEL POINTS AS PRACTICAL. THE MAXIMUM SPACING BETWEEN LINES OF BRACING SHALL NOT EXCEED 6 FEET. BRACING SHALL BE CONTINUOUS FROM ONE END OF THE ROOF FRAMING TO THE OTHER, AND WHERE SPLICES OF BRACING ARE REQUIRED, BRACING SHALL OVERLAP AT LEAST ONE TRUSS SPACING.
 - i. PROVIDE CONTINUOUS 1X4 TOP CHORD LATERAL BRACING. BRACING SHALL BE LOCATED AT TRUSS PANEL POINTS OR AS CLOSE TO PANEL POINTS AS PRACTICAL. THE MAXIMUM SPACING BETWEEN LINES OF BRACING SHALL NOT EXCEED 6 FEET. BRACING SHALL BE CONTINUOUS FROM ONE END OF THE ROOF FRAMING TO THE OTHER, AND WHERE SPLICES OF BRACING ARE REQUIRED, BRACING SHALL OVERLAP AT LEAST ONE TRUSS SPACING.

C. BRACING SHALL BE NO. 2 SOUTHERN PINE OR BETTER.

5. TRUSSES SHALL BE ATTACHED TO THE TOPS OF WALL WITH USP "IAP" 12" EMBEDDED TRUSS ANCHORS, OR SIMILAR, UNLESS OTHERWISE NOTED. ANCHORS SHALL BE FASTENED TO THE TRUSS WITH 6 - 10d X 1-1/2" COMMON NAILS THROUGH THE SEAT AND 11 - 10d COMMON NAILS THROUGH THE TRUSS TOP CHORD.

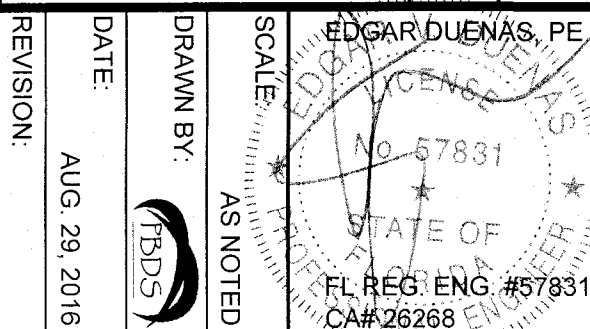
6. THE ROOF FRAMING PLAN SHALL BE VERIFIED WITH AND CONFORMED BY THE ENGINEER TO THE FRAMING SHOWN IN THE PREFABRICATED WOOD TRUSS SHOP DRAWINGS OBTAINED BY THE CONTRACTOR FOR THE ROOF FRAMING, PURSUANT TO THE FBC 2014.

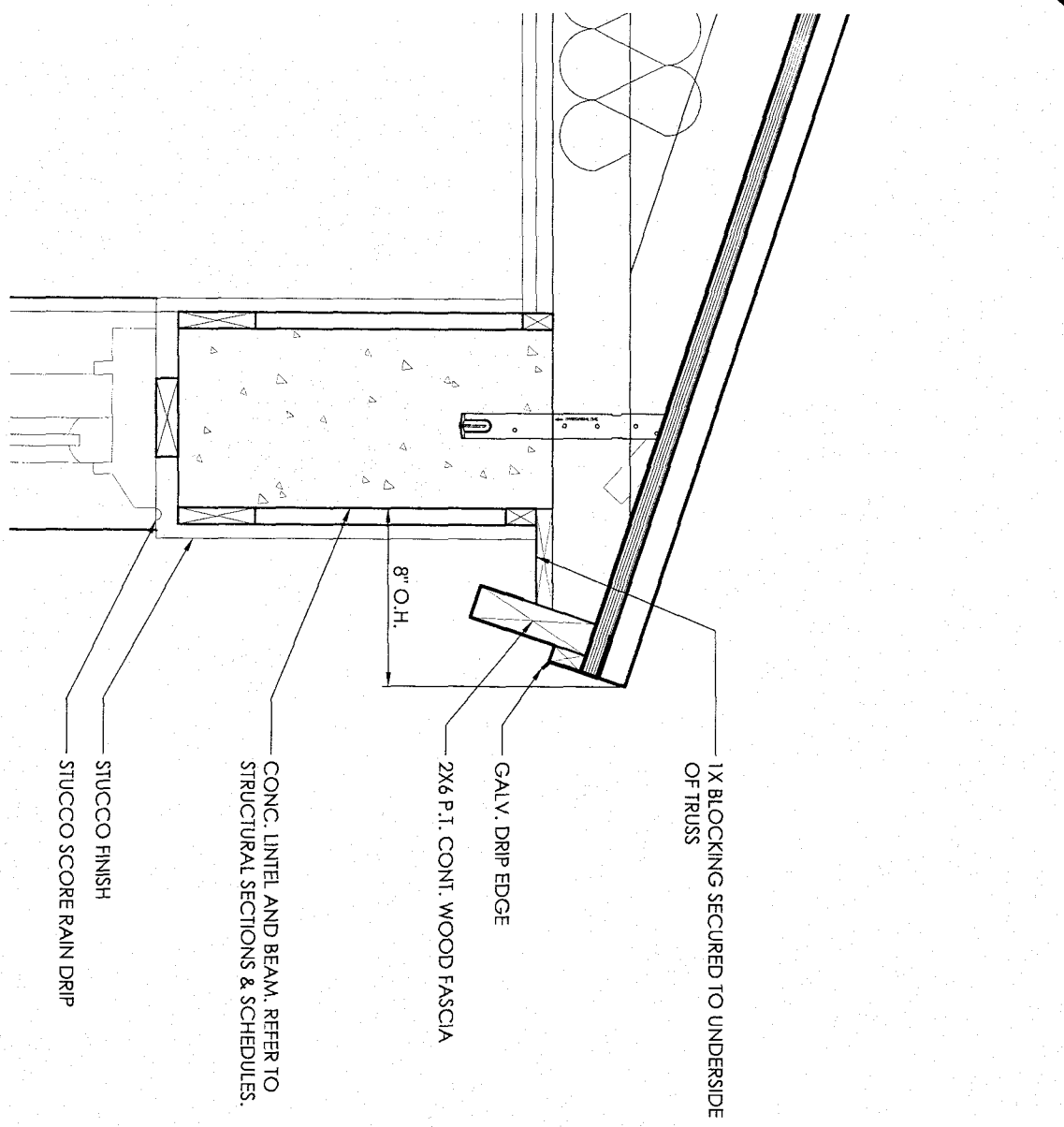
COMPOSITE LINTEL NOTES:

1. REFER TO THE GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION AND REQUIREMENTS
2. PRECAST CONCRETE UNITS SHALL BE IN CONJUNCTION WITH CONCRETE MAASONRY UNITS TO FORM COMPOSITE UNITS
3. PRECAST CONCRETE UNITS SHALL BE MANUFACTURED BY "CAST-CRETE" OR SIMILAR
4. THE DESIGNATIONS LISTED FOR COMPOSITE UNITS ARE THOSE OF "CAST-CRETE". REFER TO THE "CAST-CRETE" CATALOG OR WEB SITE FOR EXPLANATION
5. THE TOP OF UNITS ELEVATION IN THE SCHEDULE REFER TO THE TOP OF THE COMPOSITE UNITS SECTION
6. THE NUMBER OF UNITS PER COURSE OR PER FOOT SHALL BE PROVIDED IN ACCORDANCE WITH THE GENERAL STRUCTURAL NOTES AND ACI 318 UNITS, IF OTHERWISE NOTED OR RETAINED
7. THE MINIMUM CLEAR DISTANCE BETWEEN PARALLEL BARS IN A LAYER SHALL BE EQUAL TO THE NOMINAL DIAMETER OF THE LARGEST DIAMETER BARS. IN NO CASE SHALL THE CLEAR DISTANCE BETWEEN BARS BE LESS THAN 1 INCH OR ONE AND ONE-HALF (1 1/2) TIMES THE MAXIMUM SIZE OF THE COURSE AGGREGATE IN THE CONCRETE USED IN THE COMPOSITE UNIT.

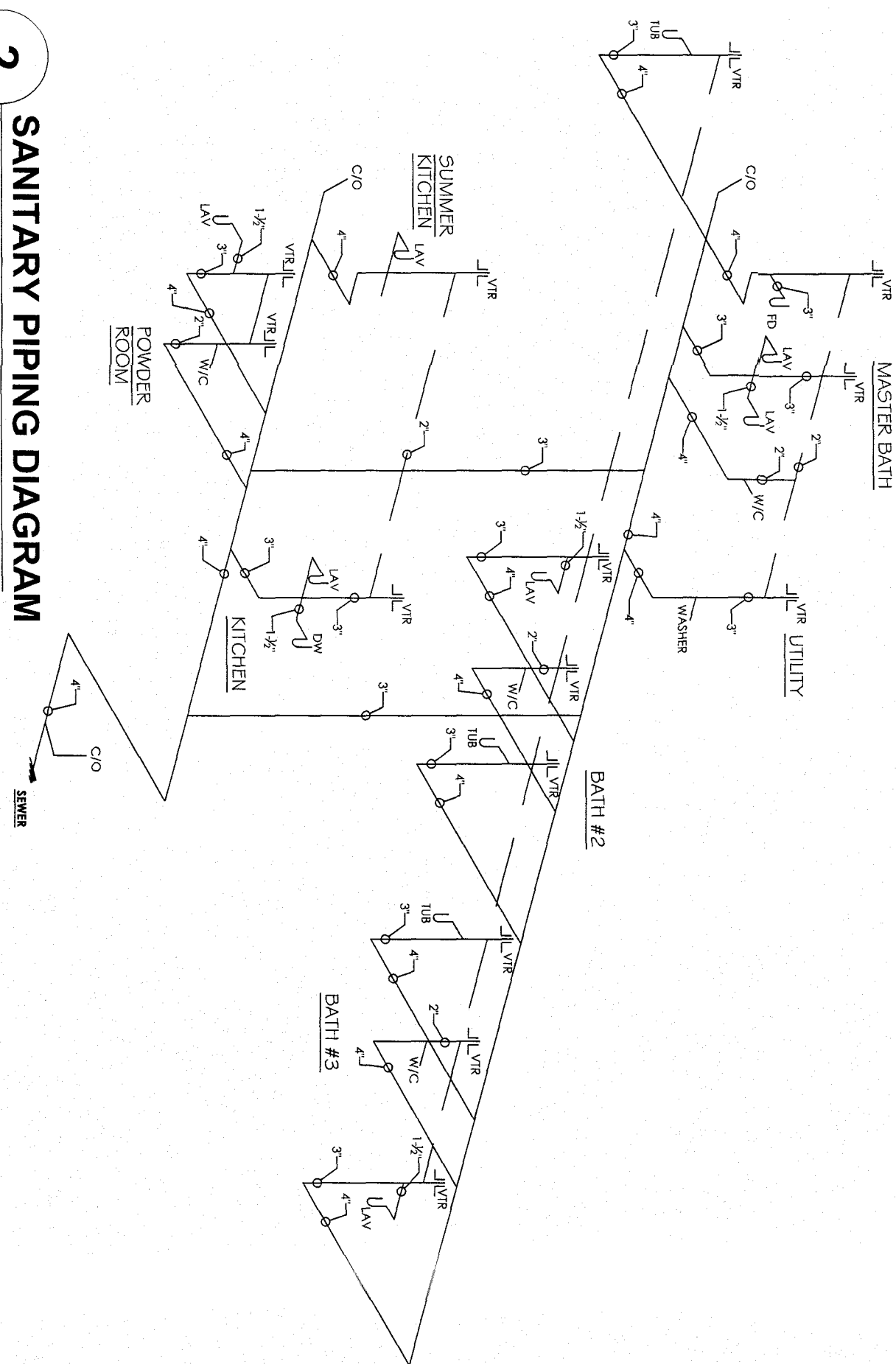
REINFORCING STEEL PLACEMENT NOTES:

1. BEAMS SHOWN IN PLAN ARE READ FROM LEFT TO RIGHT.
2. BOTTOM BARS SHALL EXTEND OVER SUPPORTS, BUT NOT LESS THAN 6 INCHES.
3. MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE PROVIDED IN ACCORDANCE WITH THE GENERAL STRUCTURAL NOTES AND AC308, UNLESS OTHERWISE NOTED OR DETAILLED.
4. THE MINIMUM CLEAR DISTANCE BETWEEN PARALLEL TOP, BOTTOM OR MIDDLE BARS IN A LAYER SHALL BE EQUAL TO THE NOMINAL DIAMETER OF THE LARGEST DIAMETER BARS. IN NO CASE SHALL THE CLEAR DISTANCE BETWEEN BARS BE LESS THAN 1 INCH OR ONE AND ONE-HALF (1-1/2) TIMES THE MAXIMUM SIZE OF THE COURSE AGGREGATE IN THE CONCRETE USED IN THE BEAM.
5. WHEN TOP OR BOTTOM BARS ARE NOTED IN THE SCHEDULE TO BE PLACED IN TWO OR MORE LAYERS, THE CLEAR DISTANCE BETWEEN LAYERS SHALL NOT BE LESS THAN 1 INCH NOR LESS THAN THE DIAMETER OF THE LARGEST DIAMETER BARS IN THE LAYERS, AND THE BARS IN THE INNER LAYERS SHALL BE PLACED DIRECTLY ABOVE OR BELOW THE BARS IN THE OUTERMOST LAYER.

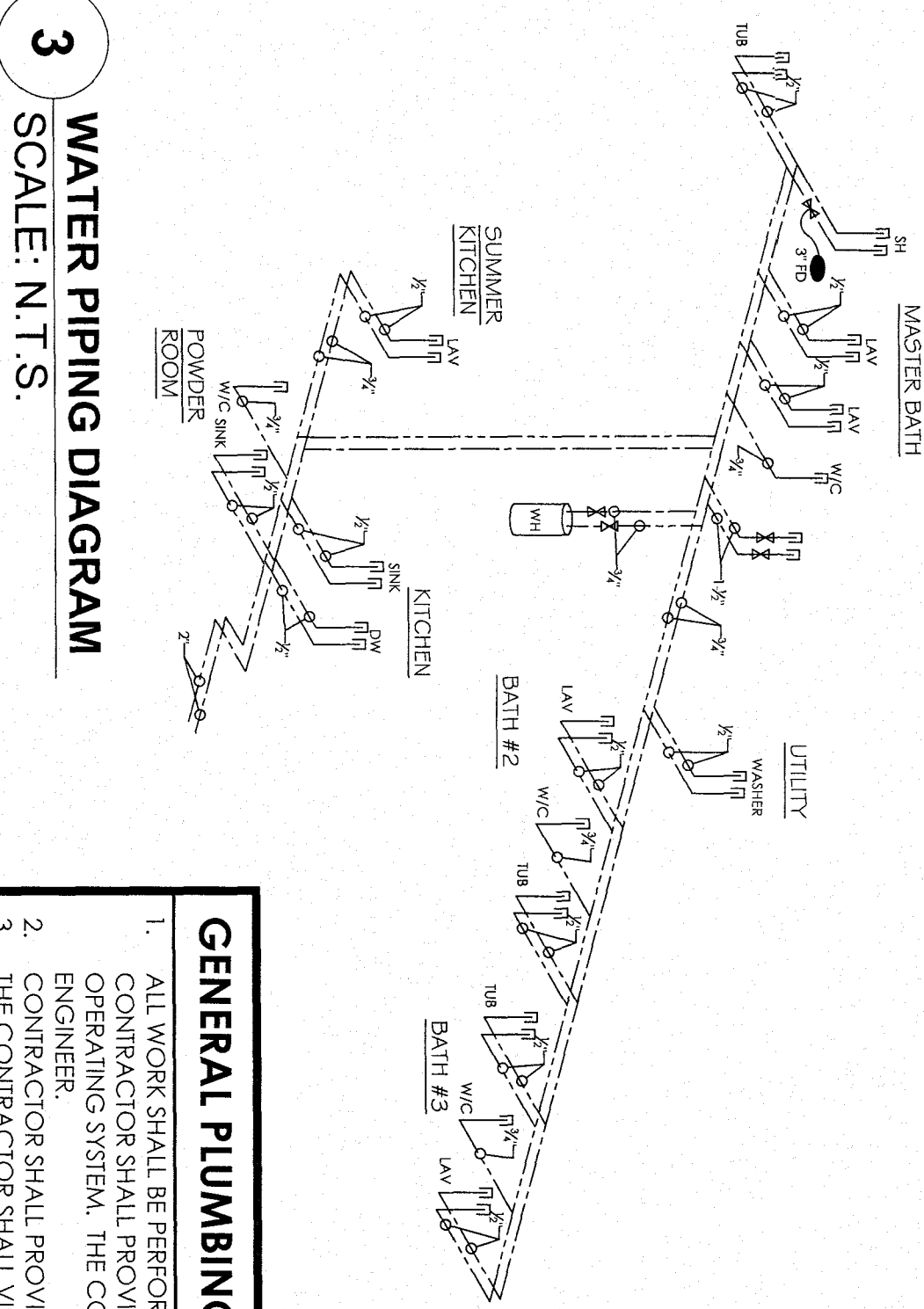




1 TYP. SOFFIT SECTION
SCALE: 1-1/2" = 1' - 0"



2 SANITARY PIPING DIAGRAM
SCALE: N.T.S.



3 WATER PIPING DIAGRAM
SCALE: N.T.S.

GENERAL PLUMBING NOTES:

1. ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND TOOLS TO INSTALL THE COMPLETE AND OPERATING SYSTEM. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTANCE SHALL BE BY OWNER / ENGINEER.
2. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED PERMITS AND TESTS.
3. THE CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL CONDITIONS, PRIOR TO SUBMITTING PROPOSAL.
4. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID CONFLICTS WITH THE PROGRESS OF CONSTRUCTION.
5. ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES.
7. ALL MATERIAL SHALL BE NEW AND SHALL BEAR RESPECTIVE LABELS, AS APPLICABLE.
8. ALL STAB CUTTING AND PATCHING, AS REQUIRED, SHALL BE PART OF THIS CONTRACT.
9. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
10. CONTRACTOR SHALL ADJUST AND TEST ALL SYSTEMS PRIOR TO FINAL COMPLETION.
 - A. WATER PIPING SHALL BE SUBJECT TO HYDROSTATIC PRESSURE TEST OF 100 P.S.I. FOR A MIN. OF ONE HOUR
 - B. SANITARY PIPING SHALL BE FILLED WITH A FIVE FOOT HEAD OF WATER AND SHALL STAND UNTIL THE INSPECTION IS MADE.
11. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE, UNLESS OTHERWISE NOTED.
12. ACCESS DOORS TO ALL INSTALLATION EQUIPMENT AND ACCESSORIES IN SUCH A MANNER THAT THEY MAY BE READILY ACCESSIBLE FOR TESTING AND / OR REPLACEMENT. WHERE ACCESS DOORS OR PANELS ARE REQUIRED, LOCATION SHALL BE APPROVED BY THE ENGINEER OR OWNERS REPRESENTATIVE.
13. ALL NEW UNDERGROUND SUPPLY PIPING TO BE TYPE "K" COPPER WITH WROUGHT SOLDER FITTINGS. HOT WATER PIPES BELOW GROUND SHALL BE INSULATED W/ 1" ARMAFLEX.
14. ALL ABOVE GROUND SUPPLY PIPING TO BE TYPE "L" COPPER, W/ WROUGHT SOLDER FITTINGS.
15. SLEEVES ARE REQUIRED WHEREVER PIPING PASSES THROUGH SLAB OR CONCRETE. SLAB HANGERS REQUIRED AT 4'-0" O.C. MAX.
16. SANITARY PIPING SHALL BE HUBLESS CAST IRON OR PVC (SCHEDULE 40) AS APPROVED BY BUILDING OFFICIAL.
17. SANITARY SOILS WASTE AND VENT PIPING SHALL SLOPE 1/8" PER FOOT FOR PIPES SMALLER THAN 3" IN DIA. AND 1/8" PER FOOT FOR OTHERS. P.V.C.S ALLOWED PER LOCAL CODES. ON REQUEST.
17. CONTRACTOR SHALL FURNISH AND INSTALL APPROVED AIR CHAMBERS OR SHOCK ABSORBERS AT EACH PLUMBING FIXTURE GROUP.

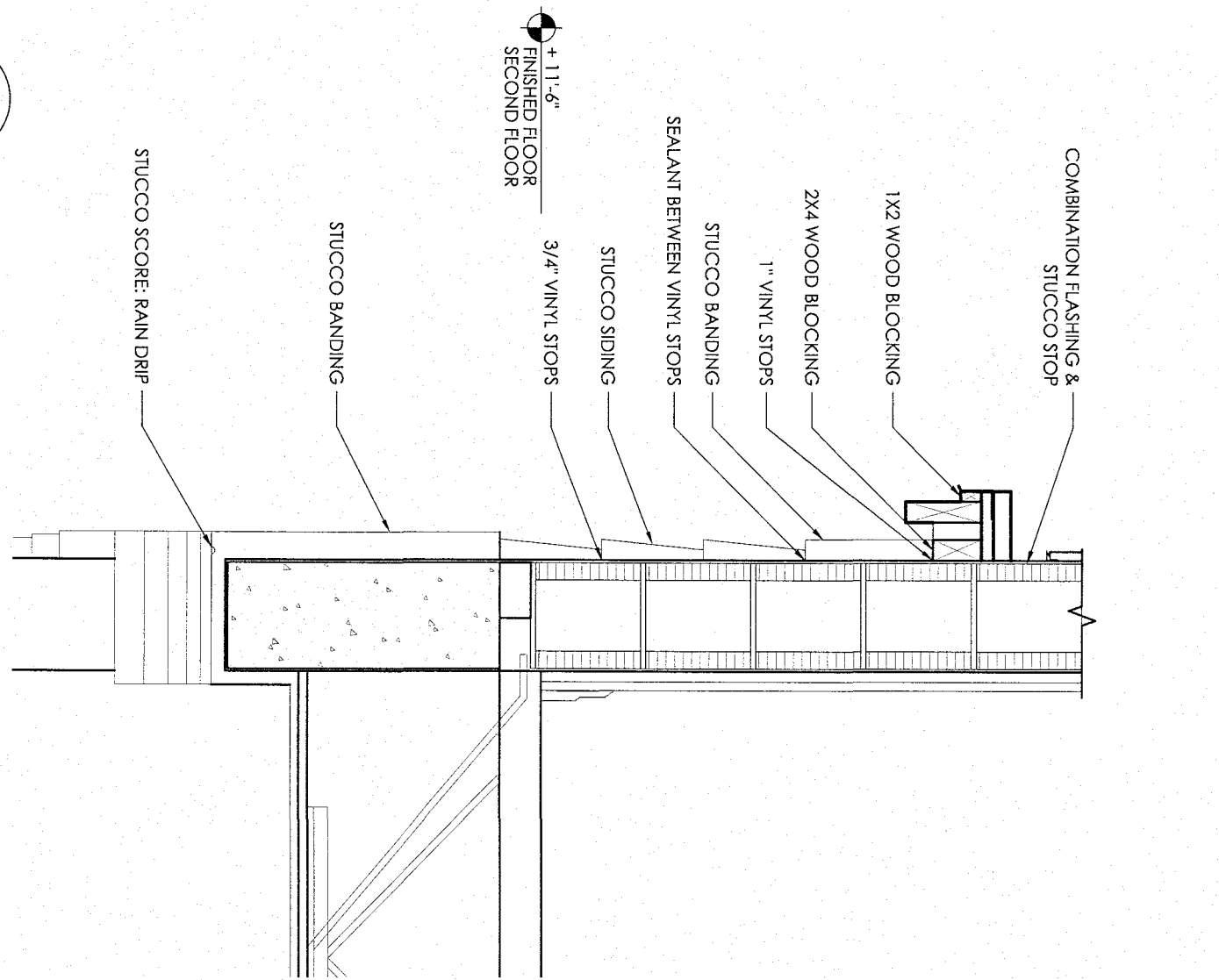
SECTION KEYNOTES:

- 701 - 2x4 GA. GALV. STL. STANDING SEAM METAL ROOF ON 30 LB. FELT PAPER OVER RUBBERED ASPHALTIC SELFADHERING WATERPROOFING MEMBRANE ON EXT. GRADE PLYWOOD SHEATHING APA RATED 40/20, 19/32" EXPOSURE (PLYWOOD) OVER WOOD ROOF TRUSSES.
- 702 - WOOD ROOF TRUSSES, PRE-ENGINEERED TRUSSES AT 24" O.C., TRUSSES SHALL BE LATRALLY BRACED. REFER TO STRUCTURAL DRAWINGS FOR CONSTRUCTION REQUIREMENTS.
- 703 - FLOOR ASSEMBLY PRE-ENGINEERED CONCRETE AND STEEL JOIST SYSTEM BY AMERICAN FLOORS OR EQUAL.
- 704 - FASCIA, METAL DRIP, GALVANIZED OR COPPER, OVER 1" X 2" P.I. WOOD OVER 2" X 4" CEDAR WOOD FASCIA.
- 705 - 4" CONT. SCREENED SOFFIT VENT.
- 706 - SOFFIT, 3/4" STUCCO ON HIGH-RIBBED GALVANIZED METAL LATH.
- 707 - GYPSUM WALL BOARD, 5/8" WITH TAPED JOINTS AND CORNER BEADS, ON 1" X 2" AND/OR 2" X 2" P.I. WOOD Furring AT 24" O.C. WITH R-42 FOIL BACK INSULATION, PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN WEI AREAS.
- 708 - GYPSUM WALL BOARD, 5/8" WITH TAPED JOINTS AND CORNER BEADS, OVER 7/8" METAL Furring @ 16" O.C. ATTACHED TO THE METAL JOIST AND FOR WOOD TRUSSES, PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN WEI AREAS.
- 709 - ANCHOR STRAP AND SEAL: REFER TO STRUCTURAL DRAWINGS FOR CONSTRUCTION REQUIREMENTS.
- 710 - CEILING, 5/8" STUCCO OVER GALV. METAL LATH OVER GALV. METAL Furring @ 16" O.C. ATTACHED TO THE METAL JOIST AND/OR WOOD TRUSSES.
- 711 - DRAFT STOP, 1" X 2" TOP AND BOTTOM OF WALLS AND BETWEEN WALLS AND SOFFITS.
- 712 - CONCRETE BEAM, REFER TO STRUCTURAL DRAWINGS FOR SIZE AND STEEL.
- 713 - GABLE END TRUSS, VERTICALS @ 16" O.C., PROVIDE APA RATED 40/20, 19/32" EXPOSURE PLYWOOD WITH 5/8" STUCCO OVER PAPERBACK METAL LATH, REFER STRUCTURAL ENGINEERING DRAWINGS FOR ATTACHMENT AND BRACING.
- 715 - STUCCO BANDING DETAIL, REFER TO ELEVATIONS.
- 716 - INSULATION: R-11 REFER TO STATE OF FLORIDA ENERGY CALCULATIONS.
- 717 - INSULATION: R-19, BATT, PROVIDE BATTLES AT VENTS, REFER TO STATE OF FLORIDA ENERGY CALCULATIONS.
- 718 - RAIN DRIP, STUCCO SCORE, 1/2", AT EVERY OPENING AND BALCONY.
- 719 - WINDOW AND/OR SLIDING GLASS DOORS, EXTRUDED ALUMINUM ALLOY FINISH SHALL BE WHITE, REFER TO PLAN AND ELEVATIONS FOR SITE AND MOUNT PATTERNS, WINDOWS AND SLIDING GLASS DOORS SHALL HAVE APPROVED IMPACT GLASS, PROVIDE EGRESS SIZES PER FBC 2014 FOR ALL LIVING AND SLEEPING ROOMS, REFER TO FBC 2014 (2) FOR LATCHING DEVICE REQUIREMENTS.
- 720 - SILL, CONCRETE, REFER TO STRUCTURAL DRAWINGS.
- 721 - SILL, REFER TO BUILDERS SPECIFICATIONS.
- 722 - BASE, WOOD, PROVIDE IMPERVIOUS BASE IN BATHS AND KITCHEN.
- 723 - FLOORING: REFER TO PLAN AND/OR BUILDERS SPECIFICATIONS, PROVIDE IMPERVIOUS IN BATHS.
- 724 - CONCRETE SLAB AND FOUNDATION: REFER TO STRUCTURAL DRAWINGS FOR SLAB AND FOUNDATION TYPE, PROVIDE 4 MIL. VAPOR BARRIER OVER REINFORCED CLEAN SOIL, NOTE: BOTTOM OF FOOTING TO BE MIN. 8" BELOW GRADE.
- 725 - STRINGER, REFER TO FBC 2014 FOR CONSTRUCTION REQUIREMENTS, CONTRACTOR SHALL SUBMIT SHOP DRAWING PRIOR TO START OF CONSTRUCTION OF BUILDING TO ARCHITECT FOR REVIEW.
- 726 - TREAD, MINIMUM OF 2" NOMINAL MATERIAL.
- 727 - RISER, MINIMUM OF 1" NOMINAL MATERIAL.
- 728 - SAFE GUARD, 42" AFF. AT BALCONIES, LANDINGS AND TREADS, AT STAIRS, PROVIDE PRE-FABRICATED ALUMINUM RAILING SYSTEM, PICKETS SHALL BE SPACED TO RESIST A 4" SPHERE, BOTTOM RAIL AT A MAX. OF 2" AFF. SAFE GUARD SHALL RESIST THE LOADING SET FORTH IN FBC SECTION 1608.2.2.
- 729 - FLASHING, COMBINATION FLASHING AND STUCCO STOP.
- 730 - PROVIDE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD ON 1" X 2" Furring ATTACHED TO TRUSSES TOP CHORD, FOR NOT LESS THAN 4" WIDTH ON EACH SIDE OF PARTY WALL AS PER FBC 2014 (1) (2). IN ADDITION, PROVIDE FIRE SAFING ON TOP OF SEPARATION WALLS UNDER SHEATHING AND AT OVERHANG.
- 731 - METAL FRAMED SOFFIT FEATURE, MIN. 25 GA. METAL FRAMING W/ 1/2" DRYWALL.
- 732 - STUCCO SIDING, PROVIDE 3/4" VINYL STOP @ 8" O.C., TAPER STUCCO TO CREATE SIDING.

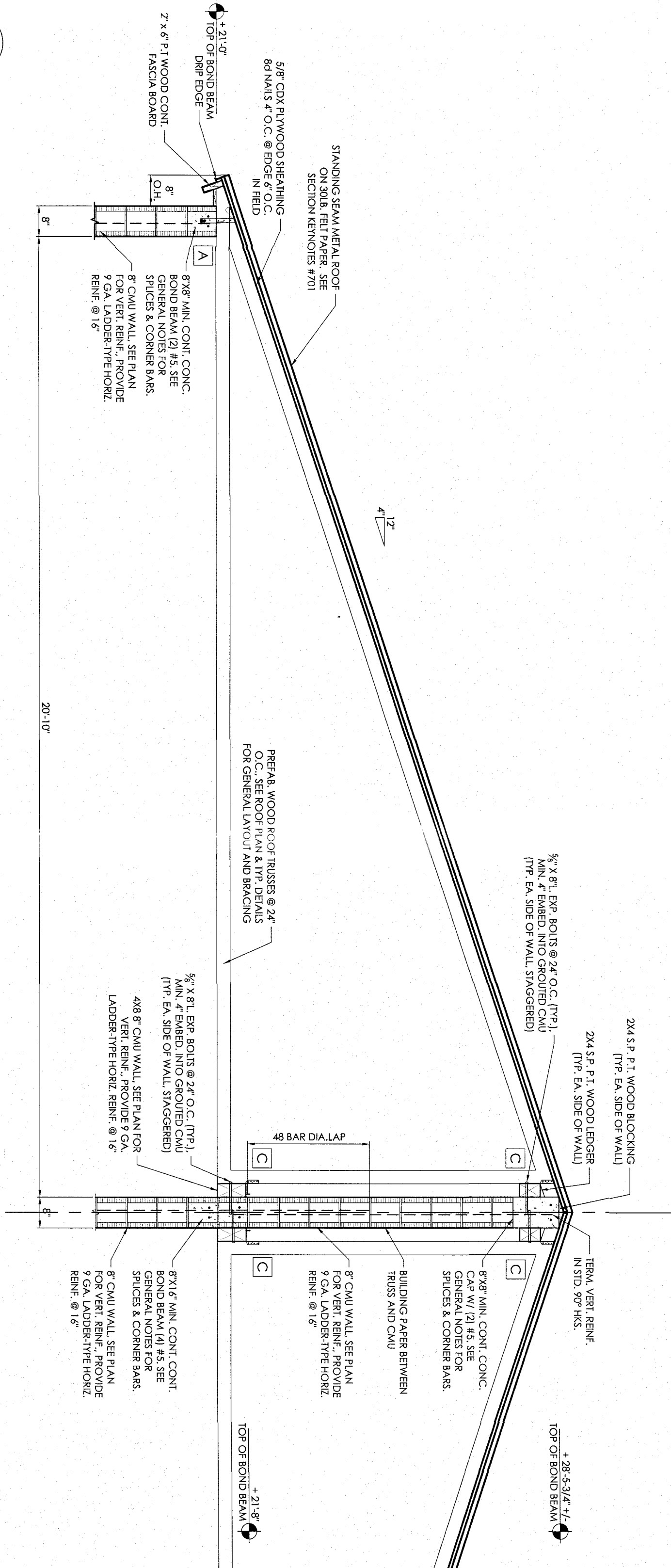
A SECTION
SCALE: 1/2" = 1' - 0"

B SECTION
SCALE: 1/2" = 1' - 0"

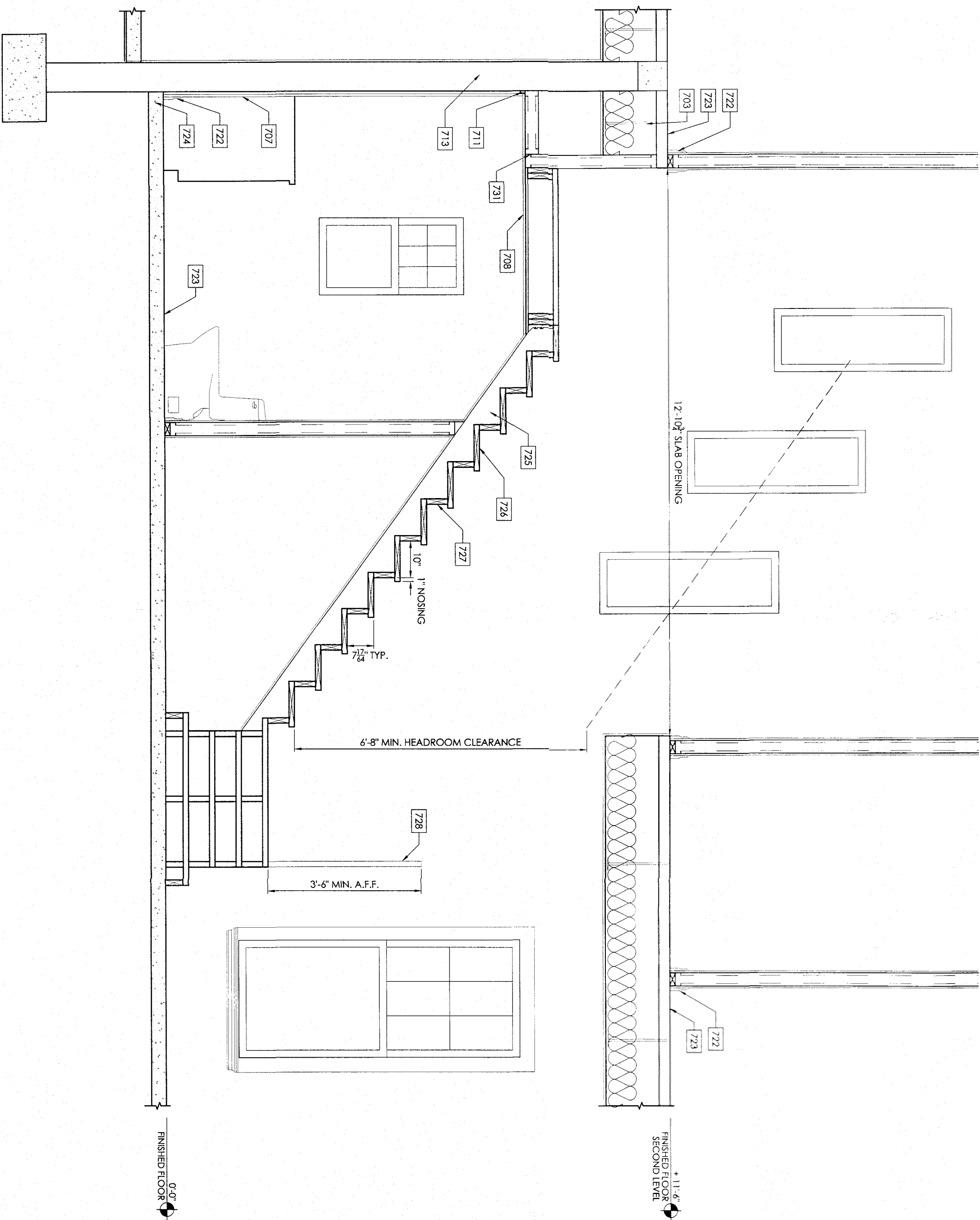
C SECTION
SCALE: 1/2" = 1' - 0"



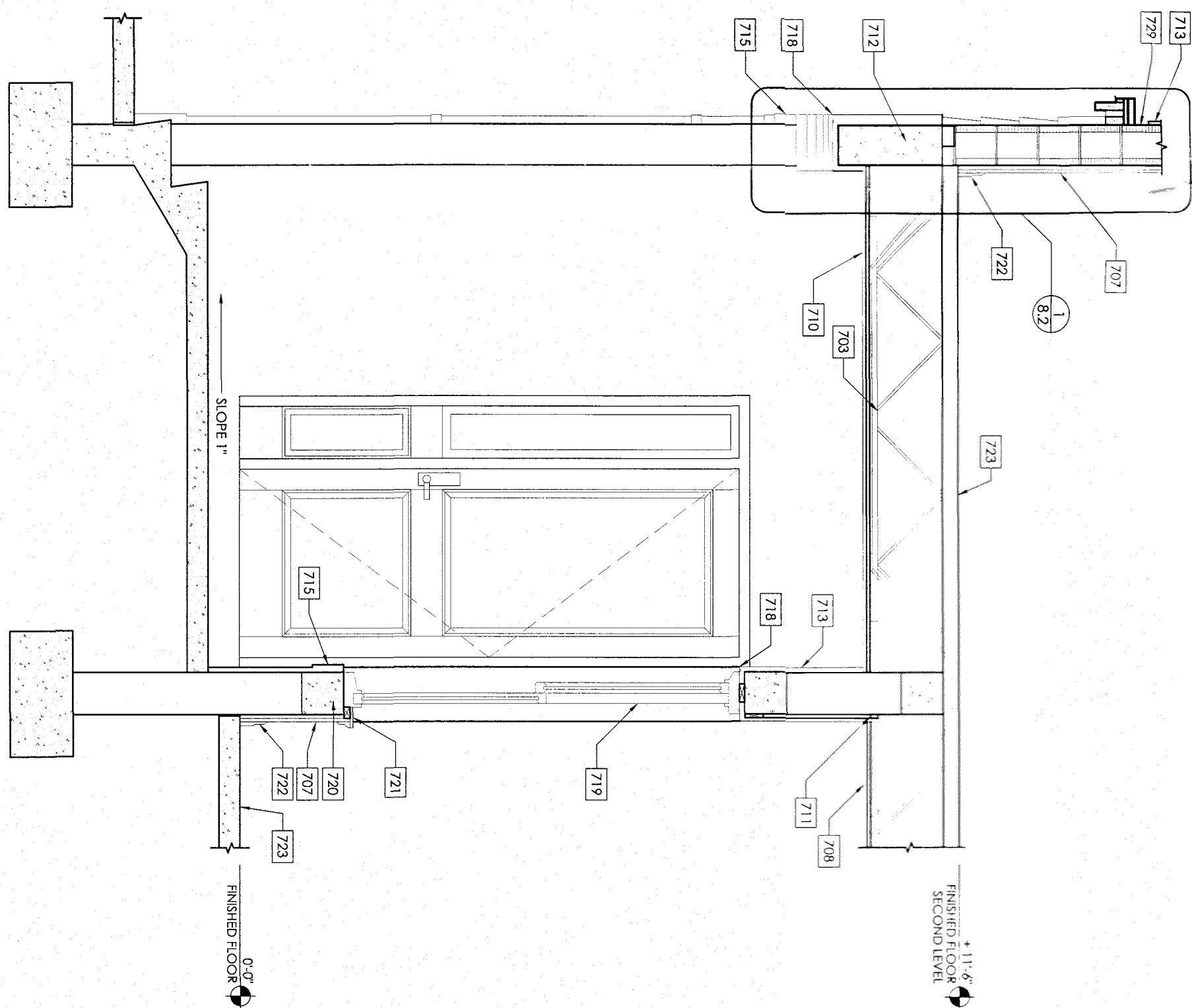
1 DETAIL
SCALE: 1/2" = 1' - 0"



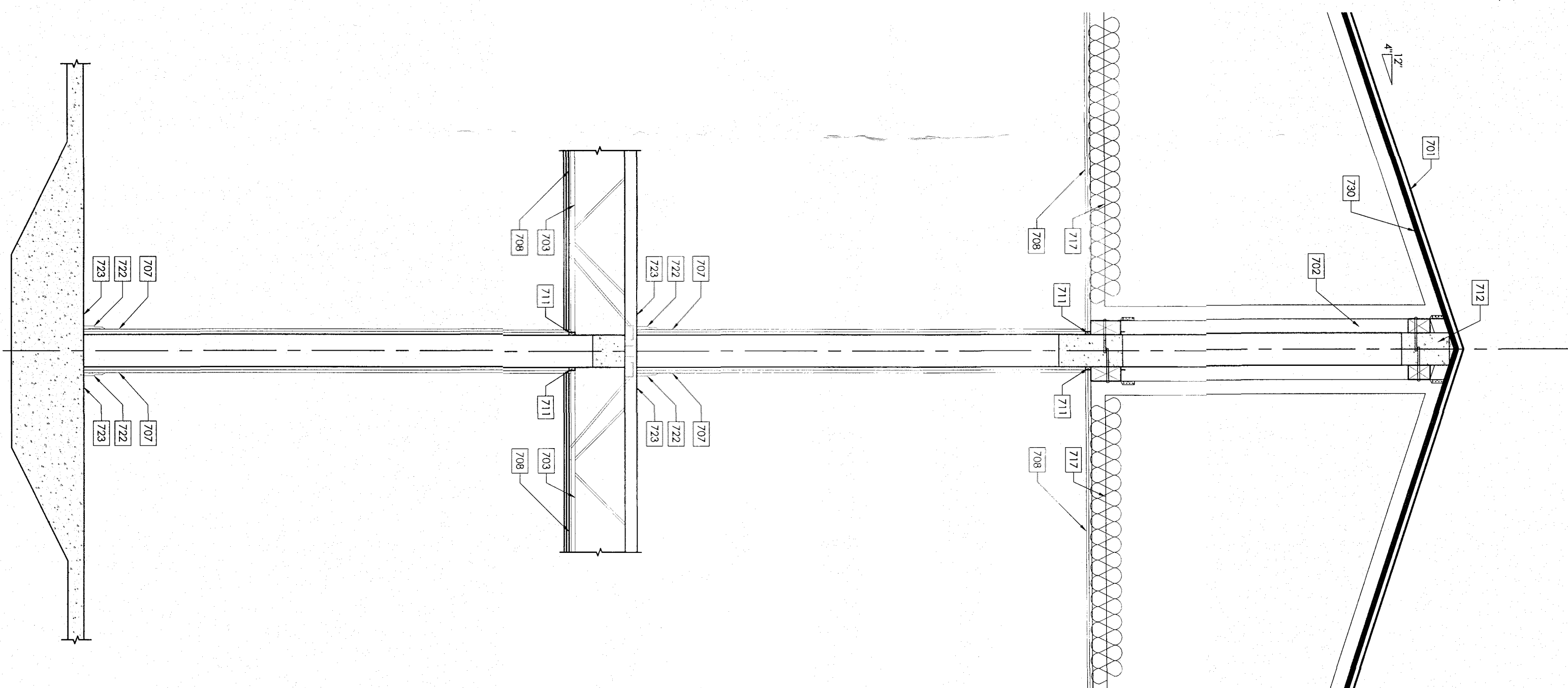
Q SECTION
SCALE: 1/2" = 1' - 0"



D SECTION
SCALE: 1/2" = 1' - 0"

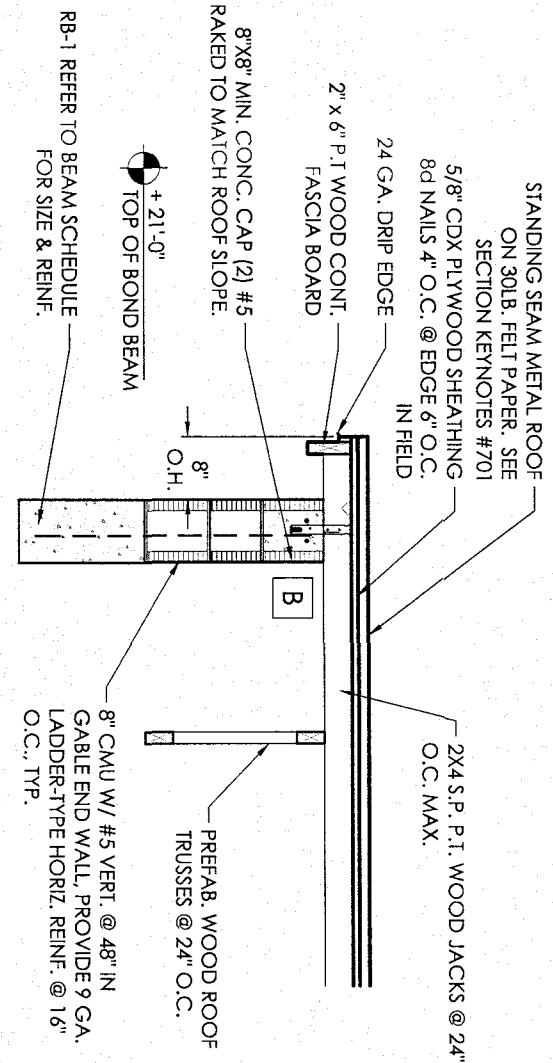


E SECTION
SCALE: 1/2" = 1' - 0"



F SECTION
SCALE: 1/2" = 1' - 0"

S SECTION
SCALE: 1/2" = 1' - 0"



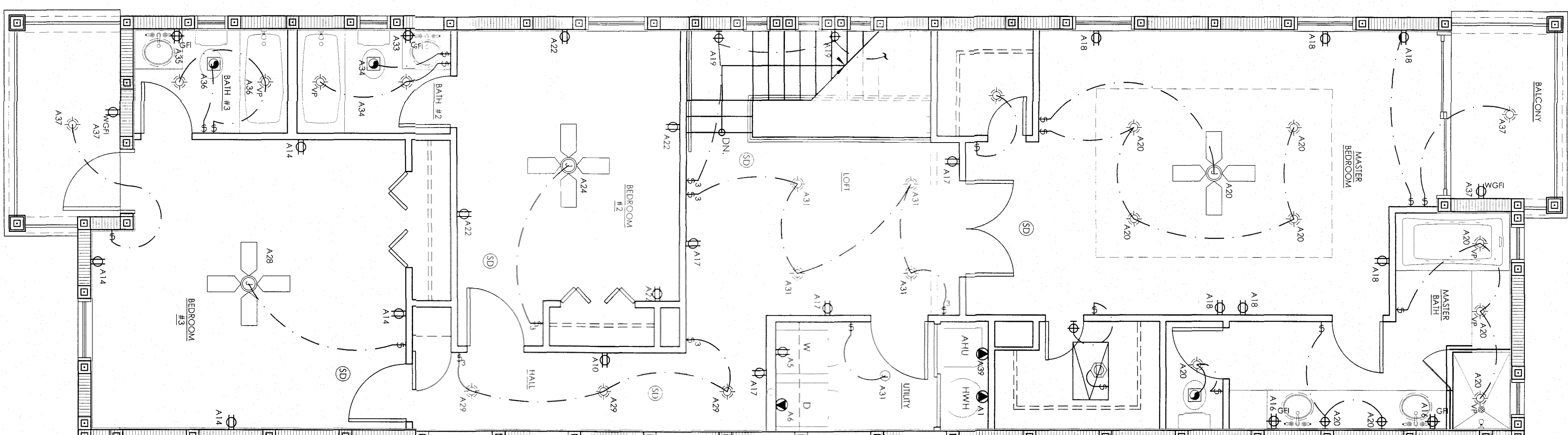
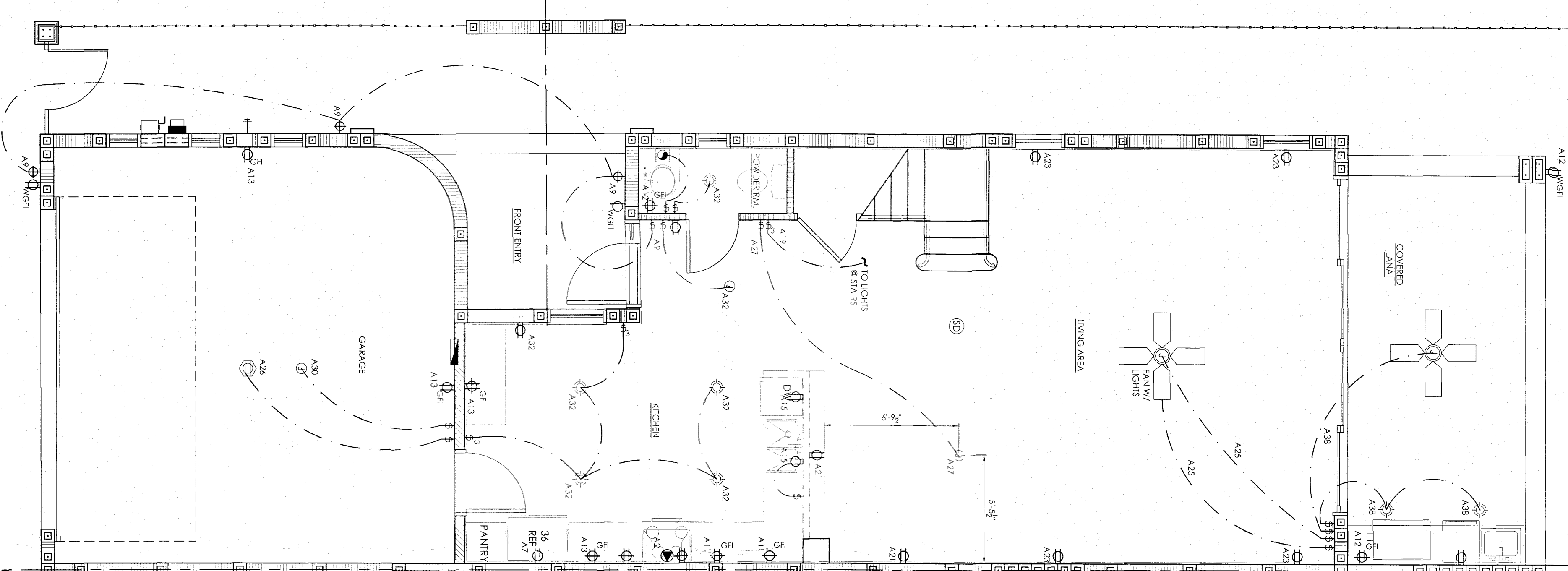
TYPICAL SECTIONS AND DETAILS

NEW 2-STORY DUPLEX (2 UNIT)
927 SW 2ND COURT
FORT LAUDERDALE, FL 33312

BUNKER ENGINEERING & CONSTRUCTION SERVICES, INC.
120 N FEDERAL HWY, SUITE 305, LAKE WORTH, FL 33460
PH #561-585-5696 -- FAX #561-585-5697

EDGAR V. DUENAS, P.E.
FL REG. ENG. #57831
CA# 26268
JAN 11 2011
SCALE: AS NOTED
DRAWN BY: (BDS)
DATE: AUG 29, 2016
REVISION:

SHEET
8.2 OF 10



LOCATION: SEE ELECTRICAL PLAN

MORNING: RUSH

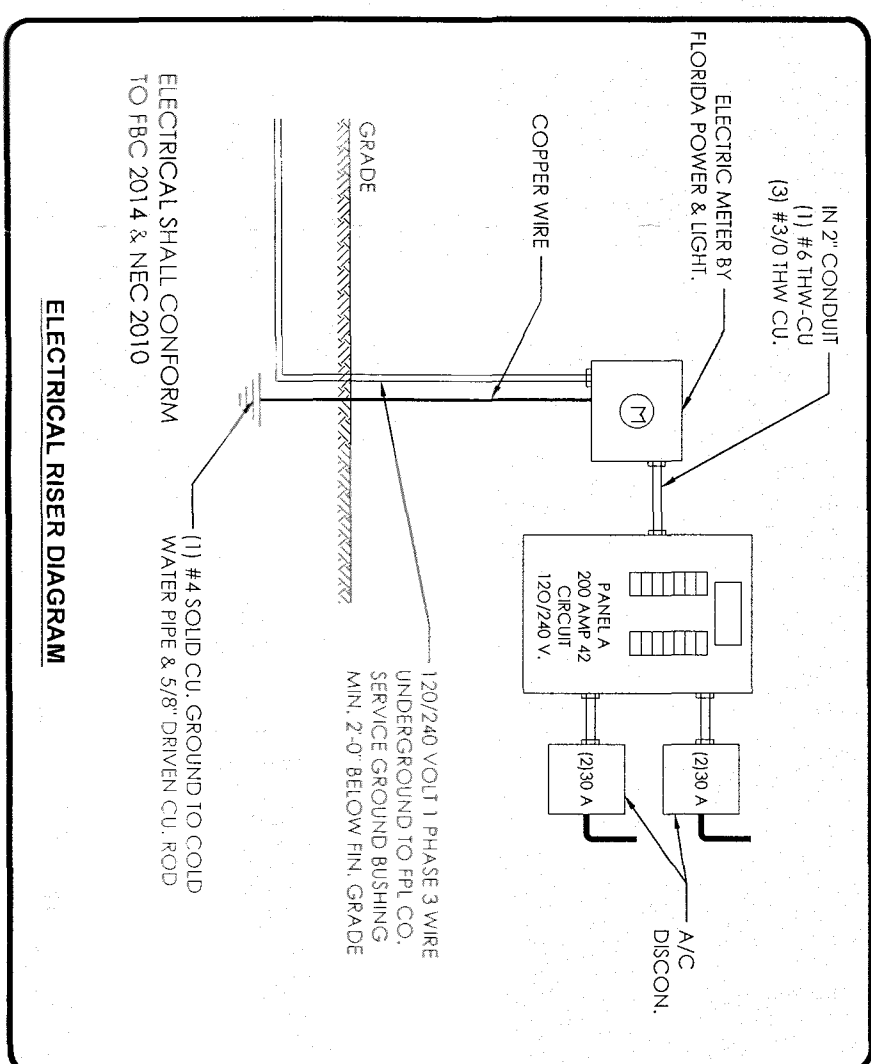
MAIN-200 AMPS

VOLUME: 120 / 240 / 194.3 WBS

ELECTRICAL PANEL 'A' WEST

LOAD CALCULATION

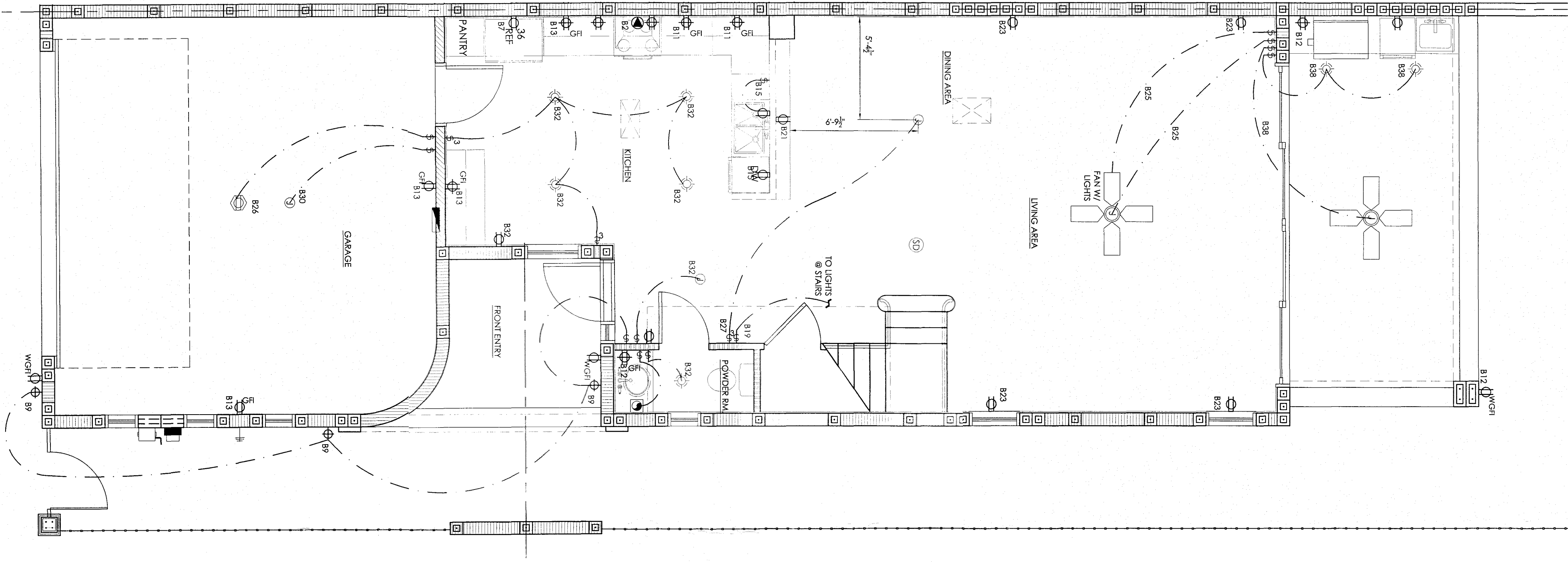
CRCT	POLE	TRIP	DESCRIPTION	WIRE & CONDIT	CRCT	POLE	TRIP	DESCRIPTION	WIRE & CONDIT
1	2	30	HOT WATER HEATER	#10-1"	2	2	50	RANGE / OVEN	#6-1"
3				#12-1/2"	4				#6-1"
5	1	20	WASHER	#12-1/2"	6	2	30	DRYER	#10-1"
7	1	20	REFRIGERATOR	#12-1/2"	8				
9	1	20	OUTDOOR LIGHTS	#12-1/2"	10	1	20	HALL RECEPTACLES	#12-1/2"
11	1	20	GFCI SMALL APPLANCE	#12-1/2"	12	1	20	LAMB GFCI RECFI	#12-1/2"
13	1	20	GFCI SMALL APPLANCE	#12-1/2"	14	1	20	BEDROOM #3 RECFI	#12-1/2"
15	1	20	DISHWASHER	#12-1/2"	16	1	20	MED ROOM #3 GFCI RECFI	#12-1/2"
17	1	20	LOFT RECFI	#12-1/2"	18	1	20	MASTER BR RECFI	#12-1/2"
19	1	15	STAIRWAY LIGHTS	#14-1/2"	20	1	15	MASTER BR BATH LIGHT	#14-1/2"
21	1	20	DINING ROOM RECFI	#12-1/2"	22	1	20	BEDRM. #2 RECFI	#12-1/2"
23	1	15	LIVING ROOM RECFI	#12-1/2"	24	1	15	BEDRM. #1 LIGHTING	#14-1/2"
25	1	15	LIVING ROOM LIGHTING	#14-1/2"	26	1	20	GARAGE DOOR	#12-1/2"
27	1	15	DINING ROOM LIGHTING	#14-1/2"	28	1	20	BEDRM. #3 LIGHTING	#12-1/2"
29	1	15	HALL LIGHTING	#14-1/2"	30	1	15	GARAGE LIGHTING	#14-1/2"
31	1	20	LOFT LIGHTING	#14-1/2"	32	1	15	KITCHEN LIGHTING	#14-1/2"
33	1	20	BATH #2 GFCI RECFI	#12-1/2"	34	1	15	BATH #2 LIGHTING	#14-1/2"
35	1	20	BATH #3 GFCI RECFI	#12-1/2"	36	1	15	BATH #3 LIGHTING	#14-1/2"
37	1	20	BALCONY RECFI	#12-1/2"	38	1	15	LAMN LIGHTING	#14-1/2"
39	2	30	AHU	#10-1"	40	2	30	A/C COMPRESSOR	#10-1"
41					42				



1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE FLORIDA BUILDING CODE AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.
2. PRIOR TO BEGINNING ANY REVIEW OF THE PROJECT TO INSURE THAT ALL WORK SHALL MEET OR EXCEED THE ABOVE REQUIREMENTS, ANY DISCREPANCY SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO THE BID OR SUBMISSION OF A PROPOSAL.
3. THE CONTRACTOR IS DIRECTED TO OBTAIN COPIES OF ALL RELATED PLANS, SPECIFICATIONS, SHOP DRAWINGS AND ADDENDUM TO COORDINATE THE RELATED WORK SCHEDULING.
4. THE CONTRACTOR IS REVENUED THAT ELECTRICAL SERVICE TO AND FOR MECHANICAL AND OTHER EQUIPMENT ARE BASED ON DESIGN DATA PROVIDED BY THE OWNER. MODIFICATIONS TO THE ELECTRICAL SERVICE BASED ON FIELD CONDITIONS WILL BE THE RESPONSIBILITY OF THE OWNER, PROVIDING THAT THE SCOPE OF THE WORK IS NOT SIGNIFICANTLY ALTERED BY THE ACTUAL EQUIPMENT SELECTION.
5. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE PLANS TO ASSURE THAT ALL ELECTRICAL SERVICE FOR ALL ITEMS OR EQUIPMENT IS INCLUDED IN THE BID. ANY NEW OR EQUIPMENT REQUIRES ELECTRICAL SERVICE THAT IS NOT PROVIDED WITH ELECTRICAL SERVICE SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO THE BID OR SUBMISSION OF A PROPOSAL.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL WIRING IN WALLS OR FLOORS SHALL BE RUN IN CONDUIT UNLESS OTHERWISE NOTED.
7. THE CONDUITS TO ASSOCIATED ELECTRICAL EQUIPMENT SHALL BE CONCEALED IN CEILINGS OR WALLS. IN THE NEAR PORTION OF MIN. TRAVEZ SIZE CONDUIT REMITTED SHALL BE 1/2". UNLESS SPECIFICALLY NOTED OTHERWISE.
8. ALL CODE REQUIRED CONDUCTOR METAL SHALL BE COPPER WITH 60 VOLT INSULATION TYPE THW, THHN/THWN, OR THW/THHN/THWN. TYPE NMU, RACEWAY CABLE MAY BE USED WHERE PERMITTED BY LOCAL CODES AND INSPECTORS. MIN. WIRE SIZE SHALL BE AS PER ANY CODE REQUIRED.
9. ANY NEW PANELBOARD LOAD CENTER, SWITCHES, AND CIRCUIT BREAKERS SHALL BE LISTED, SQUARE D, GE OR WESTINGHOUSE.
10. ANY NEW DISCONNECT SWITCHES SHALL BE THE GENERAL DUTY TYPE WITH BUSKAT, TIE, DIAL, ELEMENT, AND CURRENT LIMITING FUSES.
11. ALL NEW LIGHT SWITCHES AND RECEPTACLES SHALL BE RATED FOR TWENTY AMPS AT 125 VOLTS A.C., NEW WIRING DEVICES SHALL BE INSTALLED TO THE SAME LOCATION AS THE COMMON GANGED PLATES SHALL BE USED WHENEVER TWO OR MORE NEW DEVICES ARE SHOWN ON THE PLANS TO THE SAME LOCATION.
12. THE A/C CONTRACTOR IS TO PROVIDE ALL THERMOSTATS AND CONTROLS FOR THE AIR CONDITIONING SYSTEM. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE A/C CONTRACTOR TO INSURE THAT THE AIR CONDITIONING SYSTEM OPERATES PROPERLY. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL REQUIRED MATERIALS NOT PROVIDED BY THE A/C CONTRACTOR.

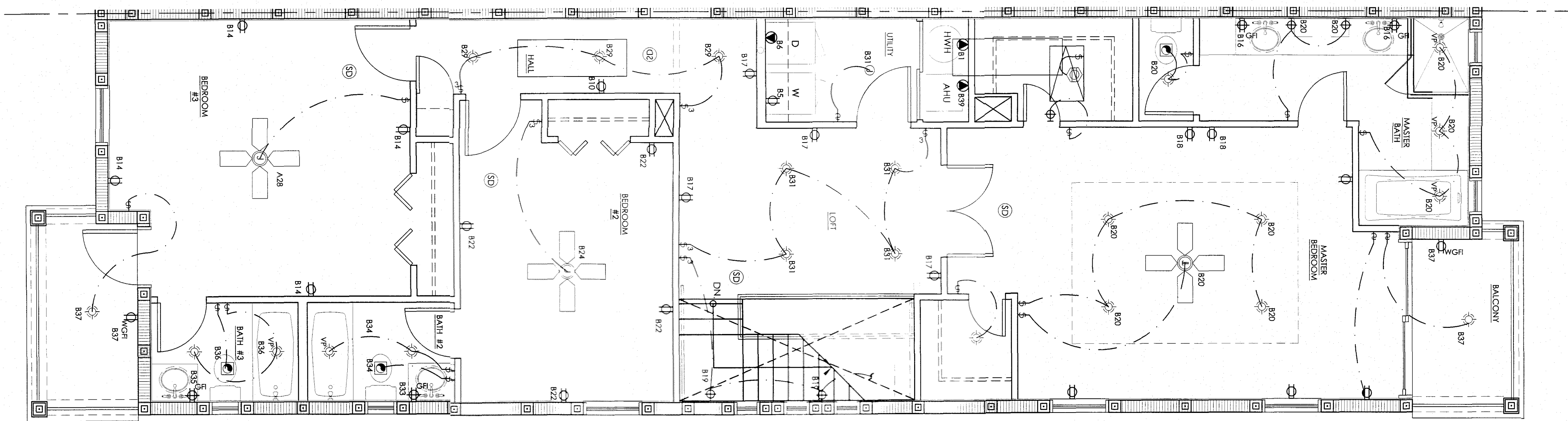
1 FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1' - 0"



2 SECOND FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1' - 0"

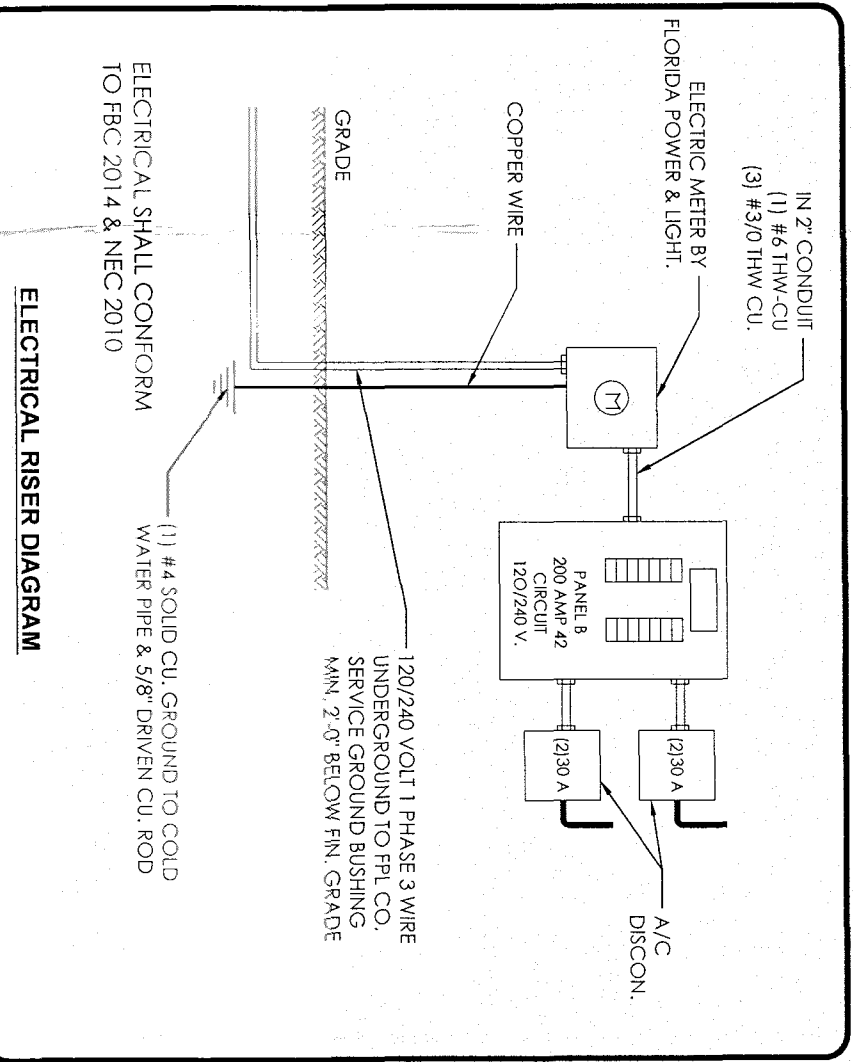


ELECTRICAL PANEL 'B' EAST

LOCATION: SEE ELECTRICAL PLAN				VOLUME: 1/20 / 240 / 1PH, 3 WIRE				MAIN: 200 AMPS			
MOUNTING: FLUSH											
Ckt.	POLE	TRIP	DESCRIPTION	WIRE & CONDUIT	Ckt.	POLE	TRIP	DESCRIPTION	WIRE & CONDUIT		
1	2	30	HOT WATER HEATER	#10 - 1"	2	2	50	RANGE / OVEN	#6 - 1"		
3					4						
5	1	20	WASHER	#12 - 3/8"	6	2	30	DRYER	#10 - 1"		
7	1	20	REFRIGERATOR	#12 - 3/8"	8						
9	1	20	OUTDOOR LIGHTS	#12 - 3/8"	10	1	20	HALL RECEPTACLES	#12 - 3/8"		
11	1	20	GFCI SMALL APPLIANCE	#12 - 3/8"	12	1	20	LANAL GFCI RECEPT.	#12 - 3/8"		
13	1	20	GFCI SMALL APPLIANCE	#12 - 3/8"	14	1	20	BEDROOM #3 RECEPT.	#12 - 3/8"		
15	1	20	DISHWASHER	#12 - 3/8"	16	1	20	MASTER BATH GFCI RECEPT.	#12 - 3/8"		
17	1	20	LOFT RECEPT.	#12 - 3/8"	18	1	20	MASTER BR. RECEPT.	#12 - 3/8"		
19	1	15	STARWAY LIGHTS	#14 - 3/8"	20	1	15	MASTER BR. BATH LIGHT.	#14 - 3/8"		
21	1	20	DINING ROOM RECEPT.	#12 - 3/8"	22	1	20	BEDRM. #2 RECEPT.	#12 - 3/8"		
23	1	20	LIVING ROOM RECEPT.	#12 - 3/8"	24	1	15	BEDRM. #1 LIGHTING	#14 - 3/8"		
25	1	15	DINING ROOM LIGHTING	#14 - 3/8"	26	1	20	GARAGE DOOR	#12 - 3/8"		
27	1	15	DINING ROOM LIGHTING	#14 - 3/8"	28	1	15	BEDRM. #3 LIGHTING	#14 - 3/8"		
29	1	15	HALL LIGHTING	#14 - 3/8"	30	1	15	KITCHEN LIGHTING	#14 - 3/8"		
31	1	15	LOFT LIGHTING	#12 - 3/8"	32	1	15	BATH #2 LIGHTING	#14 - 3/8"		
33	1	20	BATH #2 GFCI RECEPT.	#12 - 3/8"	34	1	15	BATH #2 LIGHTING	#14 - 3/8"		
35	1	20	BATH #3 GFCI RECEPT.	#12 - 3/8"	36	1	15	BATH #3 LIGHTING	#14 - 3/8"		
37	1	20	BALCONY RECEPT.	#12 - 3/8"	38	1	15	LANAL LIGHTING	#14 - 3/8"		
39	2	30	A/C	#10 - 1"	40	2	30	A/C COMPRESSOR	#10 - 1"		
41					42						

LOAD CALCULATION

GENERAL LIGHTING - 3 SF @ 3.5 WATTS / SF		1261	NOTE: ALL NEW 15 & 20 AMP RECEPTACLES IN DOWLING UNITS IS FOR JAMBER RESIDENT.
GENERAL RECEPTACLES - 3020 SF @ 7 WATTS / SF		2148	
TWO SMALL APPLIANCE CIRCUITS		2748	
OVERL		2880	
MICROWAVE		1920	
HOOD		1920	
DISHWASHER		1440	
DISHWASHER		1920	
REFRIGERATOR		1440	
WASHER		2880	
DRYER		2880	
HOT WATER HEATER		9600	
TOTAL		48127	
FIRST 10,000 WATTS AT 100%		10000	
38127 @ 40%		15251	
A/C (10 KW HEAT STRIP)		10000	
TOTAL DEMAND LOAD		35250	
35250 / 240		146.9 AMPS	



GENERAL ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2014, NEC 2010, THE NATIONAL FIRE CODES AND ALL APPLICABLE LOCAL CODES AND ORDINANCES. SUCH REVIEW THE PROJECT TO INSURE THAT ALL WORK SHALL MEET OR EXCEED THE ABOVE REQUIREMENTS.
2. ANY DISCREPANCY SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO THE BID OR SUBMISSION OF A PROPOSAL.
3. THE CONTRACTOR IS DIRECTED TO OBTAIN COPIES OF ALL RELATED PLANS, SPECIFICATIONS, SHOP DRAWINGS AND ADDENDUM TO COORDINATE THE RELATED WORK SCHEDULING.
4. THE VALUES MAY DIFFER DEPENDING ON THE ACTUAL EQUIPMENT TO BE INSTALLED. ANY MODIFICATIONS TO THE ELECTRICAL SERVICE BASED ON THE ACTUAL EQUIPMENT SHALL BE BROUGHT TO THE OWNER'S ATTENTION PRIOR TO THE BID OR SUBMISSION OF A PROPOSAL.
5. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE PLANS TO ASSURE THAT ALL ELECTRICAL SERVICE FOR ALL ITEMS OR EQUIPMENT IS INCLUDED IN THE BID. ANY ITEM OR EQUIPMENT REQUIRING ELECTRICAL SERVICE THAT IS NOT PROVIDED WITH ELECTRICAL SERVICE SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO THE BID OR SUBMISSION OF A PROPOSAL.
6. THROUGHOUT THE ENTIRETY OF THE PROJECT, ALL ELECTRICAL WIRING DEVICES TO BE INSTALLED IN WALLS OR FLOORS SHALL BE FLUSH TO THE FINISH. IT IS PERMITTED AND EXPECTED THAT ALL CONDUIT AND RECEPTACLES SHALL BE SURFACE MOUNTED AND EXPOSED.
7. MIN. TRADE SIZE CONDUIT PERMITTED SHALL BE 1/2". UNLESS SPECIFICALLY NOTED OTHERWISE.
8. ALL NONMETALLIC SHEATHED CABLE MAY BE USED WHERE PERMITTED BY LOCAL CODES AND INSPECTORS. MIN. WIRE SIZE SHALL BE AS PER NMN.
9. ANY NEW DISCONNECT SWITCHES SHALL BE THE GENERAL DUTY TYPE WITH BISMUTH TIME DELAY, DUAL ELEMENT, AND CURRENT TIMING FIRES.
10. ANY NEW DISCONNECT SWITCHES SHALL BE THE GENERAL DUTY TYPE WITH BISMUTH TIME DELAY, DUAL ELEMENT, AND CURRENT TIMING FIRES.
11. ALL NEW LIGHT SWITCHES AND RECEPTACLES SHALL BE RATED FOR TWENTY AMPS AT 120 VOLTS A/C. NEW WIRING DEVICES SHALL BE MANUFACTURED BY HUBBELL OR APPROVED EQUAL. COMMON GANGED PLATES SHALL BE USED WHETHER TWO OR MORE NEW DEVICES ARE SHOWN ON THE DRAWING IN THE SAME LOCATION.
12. THE A/C CONTRACTOR SHALL BE RESPONSIBLE FOR THE AIR CONDITIONING SYSTEM. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL REQUIRED MATERIALS NOT PROVIDED BY THE A/C CONTRACTOR.