



DEVELOPMENT APPLICATION FORM

Application Form: All Applications | Rev. 03/10/2022

INSTRUCTIONS: The following information is required pursuant to the City’s Unified Land Development Regulations (ULDR). The development application form must be filled out accurately and all applicable sections must be completed. Only completed sections indicated for application type with N/A for those section items not applicable. Refer to “*Specifications for Plan Submittal*” by application type for information requirements for submittal. Select the application type and approval level in **SECTION A** and complete the sections specified.

A

APPLICATION TYPE AND APPROVAL LEVEL

Select the application type from the list below and check the applicable type.

☐ LEVEL I ADMINISTRATIVE REVIEW COMMITTEE (ADMIN) - New nonresidential less than 5000 square feet - Change of use (same impact or less than existing use) - Plat note/Nonvehicular access line amendment - Administrative site plan - Amendment to site plan* - Property and right-of-way applications (MOTs, construction staging) - Parking Agreements (separate from site plans) COMPLETE SECTIONS B, C, D, G	☐ LEVEL II DEVELOPMENT REVIEW COMMITTEE (DRC) - New Nonresidential 5,000 square feet or greater - Residential 5 units or more - Nonresidential use within 100 feet of residential property - Redevelopment proposals - Change in use (if great impact than existing use) - Development in Regional Activity Centers (RAC)* - Development in Uptown Project Area* - RAC signage COMPLETE SECTIONS B, C, D, E, F	☐ LEVEL III PLANNING AND ZONING BOARD (PZB) - Conditional Use - Parking Reduction - Flex Allocation - Cluster / Zero Lot Line - Modification of Yards* - Waterway Use - Mixed Use Development - Community Residences* - Social Service Residential Facility (SSRF) - Medical Cannabis Dispensing Facility* - Community Business District for uses greater than 10,000 square feet COMPLETE SECTIONS B, C, D, E, F	☐ LEVEL IV CITY COMMISSION (CC) - Land Use Amendment - Rezoning - Plat Approval - Public Purpose Use - Central Beach Development of Significant Impact* - Vacation of Right-of-Way City Commission Review Only (review not required by PZB) - Vacation of Easement* COMPLETE SECTIONS B, C, D, E, F
☐ EXTENSION - Request to extend approval date for a previously approved application COMPLETE SECTIONS B, C, H	☐ DEFERRAL - Request to defer after an application is scheduled for public hearing COMPLETE SECTIONS B, C, H	☐ APPEAL/DE NOVO - Appeal decision by approving body - De Novo hearing items COMPLETE SECTIONS B, C, H	☐ PROPERTY AND ROW ITEM - Road closures - Construction staging plan - Revocable licenses COMPLETE SECTIONS B, C, E

*Application is subject to specific review and approval process. Levels III and IV are reviewed by Development Review Committee unless otherwise noted.

B

APPLICANT INFORMATION

If applicant is the business operator, complete the agent column and provide property owner authorization.

Applicant/Property Owner		Authorized Agent	
Address		Address	
City, State, Zip		City, State, Zip	
Phone		Phone	
Email		Email	
Proof of Ownership		Authorization Letter	
Applicant Signature:		Agent Signature:	

C

PARCEL INFORMATION

Address/General Location	
Folio Number(s)	
Legal Description (Brief)	
City Commission District	
Civic Association	

D

LAND USE INFORMATION

Existing Use	
Land Use	
Zoning	
Proposed	Applications requesting land use amendments and rezonings.
Proposed Land Use	
Proposed Zoning	

E

PROJECT INFORMATION

Provide project information. Circle yes or no where noted. If item is not applicable, indicate N/A.

Project Name		
Project Description (Describe in detail)		
Estimated Project Cost	\$	(Estimated total project cost including land costs for all new development applications only)
Waterway Use		Traffic Study Required
Flex Units Request		Parking Reduction
Commercial Flex Acreage		Public Participation
Residential Uses		Non-Residential Uses
Single Family		Commercial
Townhouses		Restaurant
Multifamily		Office
Cluster/Zero Lot Line		Industrial
Other		Other
Total (dwelling units)		Total (square feet)



F

PROJECT DIMENSIONAL STANDARDS

Indicate all required and proposed standards for the project. Circle yes or no where indicated.

	Required Per ULDR	Proposed	
Lot Size (Square feet/acres)			
Lot Density (Units/acres)			
Lot Width			
Building Height (Feet)			
Structure Length			
Floor Area Ratio (F.A.R)			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
SETBACKS (Indicate direction N,S,E,W)	Required Per ULDR	Proposed	
Front []			
Side []			
Corner / Side []			
Rear []			
For projects in Downtown, Northwest, South Andrews, and Uptown Master Plans to be completed in conjunction with the applicable items above.			
	Required Per ULDR	Proposed	Proposed Deviation
Tower Stepback			
Front / Primary Street []			
Sides / Secondary Street []			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate (square feet)			
Residential Unit Size (minimum)			—

G

AMENDED PROJECT INFORMATION

Provide approved and proposed amendments for project. Circle yes or no where indicated.

Project Name			
Proposed Amendment Description (Describe in detail)			
	Original Approval	Proposed Amendment	Amended Item
Residential Uses (dwelling units)			
Non-Residential Uses (square feet)			
Lot Size (Square feet/acres)			
Lot Density (Units/acres)			
Lot Width			
Building Height (Feet)			
Structure Length			
Floor Area Ratio (F.A.R)			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
Tower Stepback			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate (square feet)			
Residential Unit Size (minimum)			
Does this amendment require a revision to the traffic statement or traffic study completed for the project?			
Does this amendment require a revised water sewer capacity letter?			

H

EXTENSION, DEFERRAL, APPEAL INFORMATION

Provide information for specific request. Circle approving body and yes or no.

Project Name						
Request Description						
EXTENSION REQUEST		DEFERRAL REQUEST		APPEAL REQUEST / DE NOVO HEARING		
Approving Body		Approving Body		Approving Body		
Original Approval Date		Scheduled Meeting Date		30 Days from Meeting (Provide Date)		
Expiration Date (Permit Submittal Deadline)		Requested Deferral Date		60 Days from Meeting (Provide Date)		
Expiration Date (Permit Issuance Deadline)		Previous Deferrals Granted		Appeal Request		
Requested Extension (No more than 24 months)		Justification Letter Provided		Indicate Approving Body Appealing		
Code Enforcement (Applicant Obtain by Code Compliance Division)				De Novo Hearing Due to City Commission Call-Up		



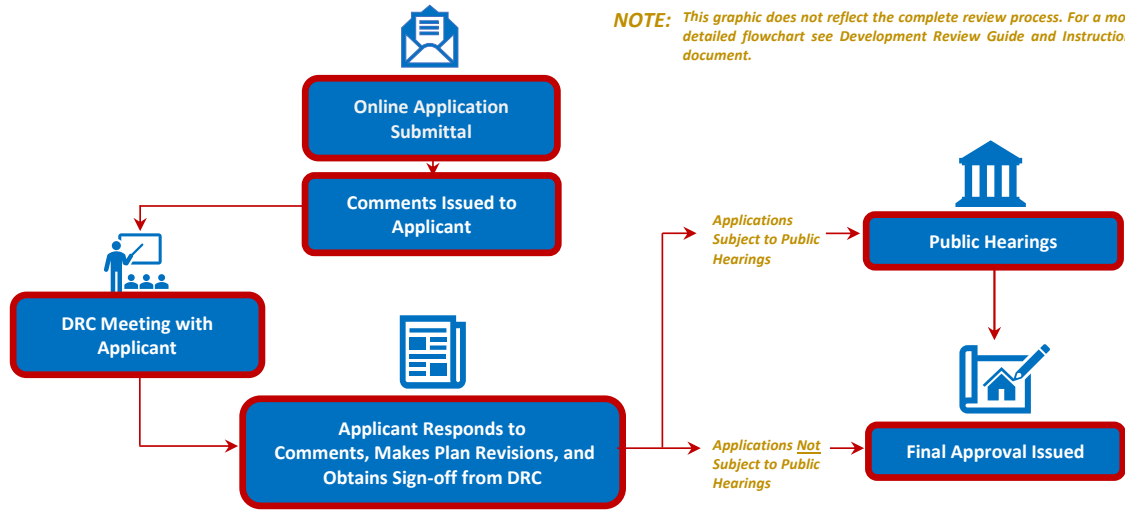
CHECKLIST FOR SUBMITTAL AND COMPLETENESS: The following checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide this information will result in your application being deemed incomplete.

- ☐ **Preliminary Development Meeting** completed on the following date: PROVIDE DATE
- ☐ **Development Application Form** completed with the applicable information including signatures.
- ☐ **Proof of Ownership** warranty deed or tax record including corporation documents and SunBiz verification name.
- ☐ **Address Verification Form** applicant contact Devon Anderson at 954-828-5233 or Danderson@fortlauderdale.gov
- ☐ **Project and Unified Land Development Code Narratives** project narrative and the applicable ULDR sections and criteria as described in the specifications for submittal by application type.
- ☐ **Electronic Files, File Naming, and Documents** consistent with the applicable specifications for application type, consistent with the online submittal requirements including file naming convention, plan sets uploaded as single pdf.
- ☐ **Traffic Methodology, Study or Statement** submittal of a traffic study or traffic statement.
- ☐ **Stormwater Calculations** signed and sealed by a Florida registered professional engineer consistent with calculations as described in the specifications for plan submittal for site plan applications.
- ☐ **Water and Wastewater Capacity Request** copy of email to Public Works requesting the capacity letter.

OVERVIEW FOR ONLINE SUBMITTAL REQUIREMENTS: Submittals must be conducted through the City's online citizen access portal [LauderBuild](#). No hardcopy application submittals are accepted. Below only highlights the important submittal requirements that applicants must follow to submit online and be deemed complete. View all the requirements at [LauderBuild Plan Room](#).

- Uploading Entire Submittal** upload all documents at time the application is submitted to prevent delays in processing.
- File Naming Convention** file names must adhere to the City's [File Naming Convention](#).
- Reduce File Size** plan sets and other large files must be merged or flattened to reduce file size.
- Plan Sets** plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- Document Categories** choose the correct document category when uploading.

DRC PROCESS OVERVIEW: The entire development review process flowchart can be found in the [Development Application Guide and Instructions](#) document. Below is a quick reference flowchart with key steps in the process to guide applicants.



CONTACT INFORMATION: Questions regarding the development process or LauderBuild, see contact information below.

GENERAL URBAN DESIGN AND PLANNING QUESTIONS	LAUDERBUILD ASSISTANCE AND QUESTIONS
Planning Counter 954-828-6520, Option 4 planning@fortlauderdale.gov	DSD Customer Service 954-828-6520, Option 1 lauderbuild@fortlauderdale.gov



September 29, 2023

Dorsey-Riverbend Neighborhood Stormwater Pump Station

City of Fort Lauderdale Development Review Committee (DRC) Application

Project-Narrative

The proposed development is a stormwater pump station located at 515 NW 15 Avenue, Fort Lauderdale, FL 33311. The City of Fort Lauderdale is improving the stormwater infrastructure to reduce street flooding and stormwater runoff. The referenced site location is currently a vacant lot owned by the City of Fort Lauderdale. The proposed development will include a stormwater pump station, associated electrical building, and emergency generator. The stormwater pump station will collect stormwater runoff by gravity from the Dorsey-Riverbend Neighborhood as well as the Durrs Neighborhood to be conveyed via stormwater force main to a proposed outfall to the North Fork New River. The stormwater pump station is necessary to reduce stormwater runoff and reduce flooding in the Dorsey-Riverbend Neighborhood because gravity collection system alone is not effective due to location in a low-lying area.

The proposed pump station site is in a residential neighborhood with existing homes on each side of the lot. To preserve the neighborhood aesthetic, the proposed electrical building was designed with a Spanish colonial architectural style including faux doors, windows, and a terracotta pitched roof. The electrical building, emergency generator, and electrical transformer are designed to be on a raised platform 1.5 feet above the base flood elevation to protect from flooding events. Decorative stairs and railing in the front of the electrical building was added to blend in with residential features. The submersible stormwater pumps are in a wet well below grade. No. 57 stone will be installed in areas that are not concrete pavement to reduce maintenance. On site stormwater catch basins, drainage pipes, and swales will direct stormwater runoff into the stormwater pump station preventing runoff to neighboring properties. A decorative 6-foot vinyl fence will be installed around the pump station site for privacy and security. Landscape features include red tip cocoplum shrubs, (3) silver button wood trees planted in the rear of the property, three (3) Alexander Palms along the south side of the property, three (3) Sabal Palms on the North

side of the property, and two (2) live oak trees facing NW 15th Avenue. The Florida native low- maintenance landscape features will improve the appearance of the pump station property and help assimilate this development into the single-family neighborhood.

Digitally signed by
Jorge I Camacho
Date: 2023.09.29
09:23:38-04'00'



Approved by:

Jorge I. Camacho PE



February 27, 2024

Dorsey-Riverbend Neighborhood Stormwater Pump Station

City of Fort Lauderdale Development Review Committee (DRC) Application

Responses to Unified Land Development Code

The following list includes the Unified Land Development Code that applies to this project and the responses that comply with the code requirement.

Approved by:

Jorge I. Camacho PE

Section 47-20.3, Parking Reduction

Code	Response
A. <i>General parking reduction.</i> 1. Notwithstanding the off-street parking requirements provided in this Section 47-20, a parking reduction may be approved in accordance with the provisions of this section.	Parking Reduction not required. The property will not be occupied other than maintenance visits. City Staff will access the property for maintenance via the 14- foot-wide concrete driveway on the south side of the lot through the 6-foot-tall swing gate that matches the property fence.

Section 47-24.3, Conditional Use

Code	Response
A. <i>Generally.</i> It is the purpose of this section to provide criteria for conditional uses within specified zoning districts, which, because of certain characteristics as evaluated in the review criteria below, may not be appropriate at particular locations within the district, but which may be desirable in other locations for the orderly development of the city and for the public convenience or welfare.	Not applicable or required due to proposed development is an accessory use/building of a public stormwater pump station intended to remove stormwater from the neighborhood. The stormwater pump station will improve neighborhood conditions during flood/rain events.

Sec. 47-25.2. - Adequacy requirements.

Code	Response
A. <i>Applicability.</i> The adequacy requirements set forth herein shall be used by the city to evaluate the demand created on public services and facilities created by a proposed development permit.	Acknowledged. The proposed development is a public purpose use owned/operated by the City of Fort Lauderdale. The proposed development is a public stormwater pump station that meets adequacy requirements since it is an equipment space/use only. No occupancy is required other than

	maintenance visits.
B. <i>Communications network.</i> Buildings and structures shall not interfere with the city's communication network. Developments shall be modified to accommodate the needs of the city's communication network, to eliminate any interference a development would create or otherwise accommodate the needs of the city's communication network within the development proposal.	The proposed stormwater pump station and associated electrical building will not have any significant impact to city's communication network since the height of the building will match a residential home.
C. <i>Drainage facilities.</i> Adequacy of stormwater management facilities shall be evaluated based upon the adopted level of service requiring the retention of the first inch of runoff from the entire site or two and one-half (2½) inches of runoff from the impervious surface whichever is greater.	There will be no stormwater runoff discharge to neighboring parcels. On site drainage will send site runoff into the wet well of the pump station to be discharged to the Nort Fork New River outfall.
D. <i>Environmentally sensitive lands.</i> 1. In addition to a finding of adequacy, a development shall be reviewed pursuant to applicable federal, state, regional and local environmental regulations. Specifically, an application for development shall be reviewed in accordance with the following Broward County Ordinances which address environmentally sensitive lands and wellfield protection which ordinances are incorporated herein by reference: a. Broward County Ordinance No. 89-6. b. Section 5-198(I), Chapter 5, Article IX of the Broward County Code of Ordinances. c. Broward County Ordinance No. 84-60. 2. The applicant must demonstrate that impacts of the proposed development to environmentally sensitive lands will be mitigated.	There are no environmentally sensitive lands according to Broward County protected natural land maps, and the project site is not located within the Broward County Wellfield zone of influence.
E. <i>Fire protection.</i> Fire protection service shall be adequate to protect people and property in	Acknowledged. There is a 16-inch potable water main abutting the project site and a fire hydrant located at the intersection of NW 15

the proposed development. Adequate water supply, fire hydrants, fire apparatus and facilities shall be provided in accordance with the Florida Building Code, South Florida Fire Code and other accepted applicable fire and safety standards.	AVE and NW 5th ST.
F. <i>Parks and open space.</i> 1. The manner and amount of providing park and open space is as provided in Section 47-38A, Park Impact Fees, of the ULDR. 2. No building permit shall be issued until the park impact fee required by Section 47-38A of the ULDR has been paid in full by the applicant.	Acknowledged. No dwelling units are proposed.
G. <i>Police protection.</i> Police protection service shall be adequate to protect people and property in the proposed development. The development shall provide improvements which are consistent with Crime Prevention Through Environmental Design (CPTED) to minimize the risk to public safety and assure adequate police protection.	Acknowledged. The pump station site will be surrounded with a locked fence. The electrical building and wet well access hatch will also be secured with locks.
H. <i>Potable water.</i> 1. Adequate potable water service shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of potable water systems in accordance with city engineering standards, the Florida Building Code, and applicable health and environmental regulations. The existing water treatment facilities and systems shall have sufficient capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which potable water treatment capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the	Acknowledged. The water demand from the proposed development will be minimal. No restroom/kitchen facilities are proposed. No wastewater is proposed to be generated on site. A ¾ inch diameter potable water line is proposed to tie into existing 16-inch water main abutting the project site. The yard hydrant will be used for maintenance purposes of the site. A letter of adequate capacity will be requested to the Fort Lauderdale Public Works Division.

developer in accordance with Resolution 85-265, as it is amended from time to time. Improvements to the potable water service and system shall be made in accordance with city engineering standards and other accepted applicable engineering standards. 2. <i>Potable water facilities.</i> a. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department. b. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the development. c. Where the county is the projected service provider, a similar written assurance will be required.	
I. <i>Sanitary sewer.</i> 1. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from the design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department. 2. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the proposed development. 3. Where the county is the projected service provider, a written assurance will be required. 4. Where septic tanks will be utilized, the applicant shall secure and submit to the city a	Acknowledged. There is no sanitary sewer line proposed. No wastewater will be generated on site. The pump station will be unoccupied majority of the time.

certificate from the Broward County Health Unit that certifies that the site is or can be made suitable for an on-site sewage disposal system for the proposed use.	
J. <i>Public Schools.</i> For all development including residential units, the applicant shall be required to mitigate the impacts of such development on public school facilities in accordance with the Broward County Land Development Code or section 47-38C. Educational Mitigation, as applicable and shall provide a school capacity availability determination letter (SCAD) from Broward County Public Schools indicating that either the requirements of public school concurrency have been satisfied or that the application is exempt or vested pursuant to Section 47-38C.2 of the ULDR to the city prior to the issuance of a development permit.	No dwelling units are proposed and there will be no impact to public school capacity.
K. <i>Solid waste.</i> 1. Adequate solid waste collection facilities and service shall be obtained by the applicant in connection with the proposed development and evidence shall be provided to the city demonstrating that all solid waste will be disposed of in a manner that complies with all governmental requirements. 2. <i>Solid waste facilities.</i> Where the city provides solid waste collection service and adequate service can be provided, an adequacy finding shall be issued. Where there is another service provider, a written assurance will be required. The impacts of the proposed development will be determined based on Table 4, Solid Waste, on file with the department.	There will not be any solid waste generated. Bar screens located in the stormwater pump station wet well to capture debris will be cleaned by city staff as part of routine maintenance. All maintenance by city staff will remove solid waste as needed and disposed off-site at an approved waste disposal landfill.
L. <i>Stormwater.</i> Adequate stormwater facilities and systems shall be provided so that the removal of stormwater will not adversely affect adjacent streets and properties or the public stormwater facilities and systems in accordance with the Florida Building Code,	The stormwater on site will be collected via catch basins and underground storm sewer pipes directed to the proposed stormwater pump station on site for this project owned and operated by the city of Fort Lauderdale.

city engineering standards and other accepted applicable engineering standards.	
M. <i>Transportation facilities.</i> 1. The capacity for transportation facilities shall be evaluated based on Table 1, Generalized Daily Level of Service Maximum Volumes, on file with the department. If a development is within a compact deferral area, the available traffic capacity shall be determined in accordance with Table 2, Flowchart, on file with the department. 2. <i>Regional transportation network.</i> The regional transportation network shall have the adequate capacity, and safe and efficient traffic circulation to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the adopted traffic elements of the city and the county comprehensive plans, and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is needed in order to evaluate the impacts of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit such a study to the city which will be considered by the DRC in its review. Roadway improvements needed to upgrade the regional transportation network shall be made in accordance with the city, the county, and Florida Department of Transportation traffic engineering standards and plans as applicable. 3. <i>Local streets.</i> Local streets shall have adequate capacity, safe and efficient traffic circulation, and appropriate functional classification to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the city's comprehensive plan and accepted applicable traffic engineering standards. Site-specific traffic studies may be	1. Acknowledged. The proposed pump station will not generate any significant traffic. City staff will visit the pump station site for maintenance purposes as needed. One (1) truck per maintenance visit expected. The project site is owned by the city of Fort Lauderdale. Sidewalk will be restored during construction. One (1) street tree will be planted in compliance with the requirement for property abutting a street. 2. Acknowledged. Impact to traffic will be minimal for maintenance visits. The pump station will be unoccupied. 3. Acknowledged. Local streets have adequate capacity for the proposed use. 4. Trips to the pump station site for maintenance as needed. Most of the time the pump station site will be unoccupied. There will not be frequent daily trips generated to meet this requirement for traffic impact study. 5. Property is owned by the City of Fort Lauderdale. 6. Sidewalk in front of the property will be restored to City neighborhood standards after construction. 7. Proposed development does not abut an arterial street. 8. Proposed development will not generate traffic. Minimal unoccupied use at the stormwater pump station. 9. Two street trees are proposed in landscaping plan in front of the proposed fence before the property lot line.

required to be made and paid for by the applicant when the city determines such a study is required in order to evaluate the impact of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit to the city such a study to be considered as part of the DRC review. Street improvements needed to upgrade the capacity or comply with the functional classification of local streets shall be made in accordance with the city engineering standards and acceptable applicable traffic engineering standards. Local streets are those streets that are not classified as federal, state or county roadways on the functional classification map adopted by the State of Florida.

4.

Traffic impact studies.

a.

When the proposed development may generate over one thousand (1,000) daily trips; or

b.

When the daily trip generation is less than one thousand (1,000) trips; and (1) when more than twenty percent (20%) of the total daily trips are anticipated to arrive or depart, or both, within one-half ($\frac{1}{2}$) hour; or (2) when the proposed use creates varying trip generation each day, but has the potential to place more than twenty percent (20%) of its maximum twenty-four (24) hour trip generation onto the adjacent transportation system within a one-half ($\frac{1}{2}$) hour period; the applicant shall submit to the city a traffic impact analysis prepared by the county or a registered Florida engineer experienced in trafficways impact analysis which shall:

i.

Provide an estimate of the number of average and peak hour trips per day generated and directions or routes of travel for all trips with an external end.

ii.

Estimate how traffic from the proposed development will change traffic volumes, levels of service, and circulation on the existing and programmed trafficways.

iii.

If traffic generated by the proposed development requires any modification of existing or programmed components of the regional or local trafficways, define what city, county or state agencies have programmed the necessary construction and how this programming relates to the proposed development.

iv.

A further detailed analysis and any other information that the review committee considers relevant.

v.

The traffic impact study may be reviewed by an independent licensed professional engineer contracted by the city to determine whether it adequately addresses the impact and the study supports its conclusions. The cost of review by city's consultant shall be reimbursed to the city by the applicant.

vi.

When this subsection M.4.b. applies, the traffic study shall include an analysis of how the peak loading will affect the transportation system including, if necessary, an operational plan showing how the peak trips will be controlled and managed.

5.

Dedication of rights-of-way. Property shall be conveyed to the public by plat, deed or grant of easement as needed in accordance with the Broward County Trafficways Plan, the city's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards.

6.

Pedestrian facilities. Sidewalks, pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and along roadways to adjacent properties. Transit service facilities shall be provided for as required by the city and Broward County Transit. Pedestrian facilities shall be designed and installed in accordance with city engineering standards and accepted applicable engineering standards.

7.

Primary arterial street frontage. Where a proposed development abuts a primary arterial street either existing or proposed in

the trafficways plan, the development review committee (DRC) may require marginal access street, reverse frontage with screen planting contained in a nonaccess reservation along the rear property line, deep lots with or without rear service alleys, or such other treatment as may be necessary for adequate protection of residential properties and to assure separation of through and level traffic. 8. <i>Other roadway improvements.</i> Roadways adjustments, traffic control devices, mechanisms, and access restrictions may be required to control traffic flow or divert traffic, as needed to reduce or eliminate development generated traffic. 9. <i>Street trees.</i> In order to provide for adequate landscaping along streets within the city, street trees shall be required along the length of the property abutting a street. A minimum of fifty percent (50%) of the required street trees shall be shade trees, and the remaining street trees may be provided as flowering or palm trees. These percentages may be varied based on existing or proposed physical conditions which may prevent the ability to comply with the street tree requirements of this subsection. The street trees shall be planted at a minimum height and size in accordance with the requirements of Section 47-21, Landscape and Tree Preservation Requirements, except in the downtown RAC districts the requirements of Sec. 47-13.20.H.8 shall apply. The location and number of street trees shall be determined by the department based on the height, bulk, mass and design of the structures on the site and the proposed development's compatibility to surrounding properties. The requirements for street trees, as provided herein, may be located within the public right-of-way as approved by the entity with jurisdiction over the abutting right-of-way.	
N. <i>Wastewater.</i> 1. <i>Wastewater.</i> Adequate wastewater services	There will not be any dwelling units, lavatories, or wastewater generated on site. The pump station will not be occupied. Wastewater services not required for the

shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of a wastewater and disposal system in accordance with applicable health, environmental and engineering regulations and standards. The existing wastewater treatment facilities and systems shall have adequate capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which wastewater treatment or disposal capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended for time to time. Improvements to the wastewater facilities and system shall be made in accordance with the city engineering and accepted applicable engineering standards.	proposed use.
O. <i>Trash management requirements.</i> A trash management plan shall be required in connection with non-residential uses that provide prepackaged food or beverages for off-site consumption. Existing non-residential uses of this type shall adopt a trash management plan within six (6) months of the effective date of this provision.	Not Applicable. No food or beverages pre-packaged on site for proposed development.
P. <i>Historic and archaeological resources.</i> 1. If a structure or site has been identified as having archaeological or historical significance by any entity within the State of Florida authorized by law to do same, the applicant shall be responsible for requesting this information from the state, county, local governmental or other entity with jurisdiction over historic or archaeological matters and submitting this information to the city at the time of, and together with, a development permit application. The reviewing entity shall include this information in its comments.	The project site does not have any identified archeological or historical significance.

Q. <i>Hurricane evacuation.</i> If a structure or site is located east of the Intracoastal Waterway, the applicant shall submit documentation from Broward County or such agency with jurisdiction over hurricane evacuation analysis either indicating that acceptable level of service of hurricane evacuation routes and hurricane emergency shelter capacity shall be maintained without impairment resulting from a proposed development or describing actions or development modifications necessary to be implemented in order to maintain level of service and capacity.	Not applicable. The proposed development will be unoccupied therefore hurricane evacuation plan not required.
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Sec. 47-25.3. - Neighborhood compatibility requirements.

Code	Response
A. The neighborhood compatibility requirements are as follows: 1. <i>Adequacy requirements.</i> See Sec. 47-25.2.	Acknowledged.
2. <i>Smoke, odor, emissions of particulate matter and noise.</i> a. Documentation from the Broward County Department of Natural Resource Protection (DNRP) or a report by a certified engineer, licensed in the State of Florida, that the proposed development will not exceed the maximum levels of smoke, odor, emissions of particulate matter and noise as regulated by Chapter 27, Pollution Control, of the Code of Broward County, and that a DNRP permit for such facility is not required. b. Where a DNRP license is required in accordance with Chapter 27, Pollution Control, of the Code of Broward County, all supporting documentation and information to obtain such permit shall be submitted to the DRC as part of a site plan review. c. Such DNRP licenses shall be required to be issued and copies provided to the city prior to	Acknowledged. Contractor will apply for permits related to air pollution control for the diesel-powered emergency generator. The emergency generator will have a sound attenuation enclosure.

the issuance of a building permit for the proposed development.	
3. <i>Design and performance standards.</i> a. <i>Lighting.</i> No lighting shall be directed from a use which is subject to the requirements of this Sec. 47-25.3 in a manner which illuminates abutting residential property and no source of incandescent or mercury vapor illumination shall be directly visible from any abutting residential property. No neon lights inside or outside structures shall be visible from any abutting residential property. i. Glare. Any nonresidential operation or activity producing glare shall be conducted so that direct or indirect illumination of light shall not cause illumination in excess of one (1) footcandle on any abutting residential property except as provided in subsection iii. of this subsection a. ii. Control of effects of lights from automobiles or other sources. Where the site plan indicates potential adverse effects of parking or of other sources on the lot on which the nonresidential use is to be located, such effects shall be eliminated or at a minimum prevented so that lights do not illuminate adjacent residential property below a height of five (5) feet at the residential lot line, or from shining into any residential window if there is to be nonresidential parking on the premises after dark. iii. In addition to the above, parking lots and garages will be subject to the provisions of Sections 47-20.14 and if in conflict with the provisions of this section, the more restrictive provisions shall apply.	Acknowledged. Lighting for the pump station site will not disturb the neighboring properties. Lighting on pump station site will not illuminate abutting residential property. Refer to lighting plans.
b. <i>Control of appearance.</i> The following design standards are provided to protect the character of abutting residential areas from the visual impact which may result from a use which is subject to the requirements of this Sec. 47-25.3. i.	i. The electrical building is designed to resemble a residential home. Residential style faux door, fixtures, and faux window have been included in front facing façade to compliment adjacent residential homes. The decorative railing, decorative brackets, multiple building color on details, uniform

<i>Architectural features.</i> The facade of any side of a nonresidential building facing the residential property shall be constructed to compliment a residential structure and shall include the following: a) Fenestration such as windows, doors and openings in the building wall; and b) Shall contain a minimum of one (1) feature from each of the following architectural feature groups with a total of four (4) architectural features from the following list: 1. Detail and embellishments: a. Balconies, b. Color and material banding, c. Decorative metal grates over windows, d. Uniform cornice heights, e. Awnings. 2. Form and mass: a. Building mass changes including projection and recession, b. Multiple types and angles of roofline, or any combination thereof. c) The above required facade treatment shall be required to continue around the corner onto the adjoining wall for a distance of twenty (20) feet. ii. <i>Loading facilities.</i> Loading and service facilities shall be screened so as not to be visible from abutting residential uses or vacant residential zoned property. iii. <i>Screening of rooftop mechanical equipment.</i> All rooftop mechanical equipment, stair and elevator towers shall be designed as an integral part of the building volume and shall be required to be screened with material that matches the material used for the principal structure and shall be at least	cornice heights, and pitched terracotta roof compliment the neighboring homes. The Spanish colonial style building mass is projected to blend in with the neighborhood; see architectural sheets. ii. Decorative fence shall be constructed around the property to provide screening of the pump station and electrical building. There will not be regular loading/service at the site since the pumps run automatically. iii. There are no rooftop mechanical equipment.
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as high as six (6) inches above the top most surface of the roof mounted structure.	
c. <i>Setback regulations.</i> When a nonresidential use which is subject to the requirements of this Sec. 47-25.3 is contiguous to any residential property, there shall be an additional setback required for any yard of that use which is contiguous to the residential property, as follows: i. When any side of a structure greater in height than forty (40) feet is contiguous to residential property, that portion of the structure shall be set back one (1) foot for each one (1) foot of building height over forty (40) feet up to a maximum width equal to one-half (½) the height of the building, in addition to the required setback, as provided in the district in which the proposed nonresidential use is located.	No structure greater than forty (40) feet is proposed.
d. <i>Bufferyard requirements.</i> Excluding parks, open space and conservation areas, when a use which is subject to the requirements of this Sec. 47-25.3 is contiguous to any residential property, the property where the use is located shall be required to have a landscaped strip area and a physical barrier between it and the residential property. Such landscape strip shall meet the following requirements: i. <i>Landscape strip requirements.</i> A ten (10) foot landscape strip shall be required to be located along all property lines which are adjacent to residential property. Such landscape strip shall include trees, shrubs and ground cover as provided in the landscape provisions of Section 47-21, Landscape and Tree Preservation Requirements. The width of the landscape area shall extend to the property line. All required landscaping shall be protected from vehicular encroachment. When walls are required on nonresidential property abutting an alley, required shrubbery shall be installed and located within the landscape area on the exterior of the wall.	The pump station and associated electrical building is designed to blend in with the neighboring residential features. The front of the property will have landscaping features including groundcover (Bahia sod), shrubs (red tip cocoplum), and trees (live oak and silver buttonwood). The side yard is required to be free of obstruction for maintenance crew to have access to the pump station, electrical building, generator, and transformer for maintenance. The pumping facility is part of the infrastructure of the neighborhood just like the streets, sidewalks, and curbs. It is part of the stormwater drainage system. An opaque fence is being provided to screen the facility from view and to control access to it. There is insufficient room on the site on the north or south side for additional landscape – mainly due to the FPL easement needed at the South side of the parcel. There is a possibility of adding additional landscape on the west side of the property, but it would sit out of view between two fences. The portion of the facility that is visible above the fence has been designed to be compatible with the neighborhood.

ii. <i>Parking restrictions.</i> No parking shall be located within twelve (12) feet of the property line, within the yard area required by the district in which the proposed nonresidential use is located, when such yard is contiguous to residential property.	Permanent parking not required. Only parking in driveway is required for maintenance visits by city staff.
iii. <i>Dumpster regulations.</i> All solid waste refuse containers (dumpsters) shall be set back a minimum of twelve (12) feet from any property line which is contiguous to residential property, and shall be screened in accordance with the Dumpster requirements, as provided in Section 47-19, Accessory Uses, Buildings and Structures.	Acknowledged. No dumpster is proposed for project site.
iv. <i>Wall requirements.</i> A wall shall be required on the nonresidential property, a minimum of five (5) feet in height, constructed in accordance with Section 47-19.5 and subject to the following: - a) Decorative features shall be incorporated on the residential side of such wall according to the requirements of Section 47-19.5, - b) Shall be located within, and along the length of the property line which abuts the residential property, - c) When the nonresidential property is located adjacent to an alley such wall shall be located at least five (5) feet from the right-of-way line located closest to the nonresidential property, - d) When a utility, or other public purpose easement, on the nonresidential property precludes the construction of a wall, then an opaque fence, constructed in accordance with the standards described in Section 47-19.5, may be erected in lieu of the wall required by subsection iv. above. The use of an opaque fence as a physical barrier between nonresidential and residential property shall be reviewed and recommended by the city engineer.	An opaque decorative vinyl fence six feet in height is proposed to run along property line in lieu of wall.

v. <i>Application to existing uses.</i> Within five (5) years from the effective date of subsections A.3.c and d (effective date: September 19, 1989), all nonconforming uses of land which were in existence prior to such date shall comply with the requirements of subsections A.3.c and d unless compliance would cause one (1) or more of the following to occur: a) Demolition of any load-bearing portion of a building as it exists on September 19, 1989, the effective date of subsections A.3.c and d; b) Reduction of required parking spaces; c) A reduction in the number of parking spaces provided for use of a parcel which would be required if based on the parking requirements of Section 47-20, Parking and Loading Requirements in effect on and applicable to such use on March 6, 1990; d) Relocation of an existing wall which complied with the Code prior to September 19, 1989, the effective date of subsections A.3.c and d; e) Access to the land would be substantially impaired; f) Installation of the wall as provided in subsection iv. would require a modification of the existing vehicular use area, which would impair traffic circulation on the site and a minimum five (5) foot high hedge, fence or other physical barrier is in place along the length of the nonresidential property line which abuts the residential property; g) In such cases, the use shall otherwise comply with the requirements of this section to the maximum possible extent; however, the requirement of subsections A.3.d.i to install a landscape strip shall be met if an abutting residential property owner agrees in writing that the landscape strip may be placed on his or her property. An agreement in form provided by the department must be executed by the applicant and the abutting property owner. If the abutting property owner removes the landscape strip after it has been	No existing use applicable. Site is currently vacant lot. Only exception requested is omission of the landscape 10 foot buffer on rear and side property line to allow space for utilities essential to pump station operation.
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installed, there shall be no further requirement to install another landscape strip on the abutting property in connection with the commercial use which existed at the time of the initial installation.	
e. <i>Neighborhood compatibility and preservation.</i> In addition to the review requirements provided in subsections A.1, A.2 and A.3.a, b, c, and d, the following review criteria shall also apply as provided below: i. All developments subject to this Sec. 47-25.3 shall comply with the following: a) Development will be compatible with, and preserve the character and integrity of adjacent neighborhoods, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods. These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, bufferyards, alteration of building mass, and the addition of landscaping, walls, or both, to ameliorate such impacts. Roadway adjustments, traffic control devices or mechanisms, and access restrictions may be required to control traffic flow or divert traffic as needed to reduce or eliminate development generated traffic on neighborhood streets. b) Consideration shall be given to the recommendations of the adopted neighborhood master plan in which the proposed development is to be located, or which it abuts, although such neighborhood master plan shall not be considered to have the force and effect of law. When recommended improvements for the mitigation of impacts to any neighborhood, conflicts with any applicable ULDR provision, then the provisions of the ULDR shall prevail. In order to ensure that a development will be	i. a) Proposed development is incorporating architectural features, landscaping, setback requirements, and noise attenuation to preserve the neighborhood aesthetic. The site is currently an open vacant lot and the design elements of the pump station will blend in with the neighborhood. b) Acknowledged. The proposed stormwater pump station design elements will minimize adverse impacts to noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods. Efforts were made to comply with majority of the unified land development code. The proposed site is a small residential lot and its intended purpose to provide relief from flood events during heavy rainstorms will be a benefit to the community.

compatible with, and preserve the character and integrity of adjacent neighborhoods, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods. These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, bufferyards, alteration of building mass, and the addition of landscaping, walls, or both, to ameliorate such impacts. Roadway adjustments, traffic control devices or mechanisms, and access restrictions may be required to control traffic flow or divert traffic as needed to reduce or eliminate development generated traffic on neighborhood streets.	
iv. All development that is located on land within the CBA zoning districts; AND All development that is zoned RMM-25, RMH-25 and RMH-60 east of the Intracoastal Waterway; AND All nonresidential development lying east of the Intracoastal Waterway. a) In addition to meeting the other applicable review requirements of this subsection 3., it shall be determined if a development meets the Design and Community Compatibility Criteria. The purpose of the Community Compatibility Criteria is to define objectives for private sector development which either abuts or is readily visible from public corridors. The relationship between private and public sector development must be carefully planned to avoid negative impacts of one upon the other. The city's intent in implementing these objectives is to: i. Protect the investment of public funds in public corridor improvements. ii.	Not applicable. This is a public city owned project that is not located in CBA zoning district or zone RMM-25, RMH-25 and RMH-60 east of the Intracoastal Waterway or nonresidential development lying east of the Intracoastal Waterway.

Improve the visual and functional quality of both public and private development by coordinating the transition between these areas. iii. The ultimate goal of these objectives is to integrate buildings, vehicular circulation, pedestrian circulation, open space and site elements into a unique, pedestrian sensitive environment which stimulates revitalization.	
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Sec. 47-18.26. - Public purpose uses.

Code	Response
A. Any provision to the contrary notwithstanding, publicly owned structures may be erected and lands used for public purposes, in any zoning district in the city unless prohibited by the city comprehensive plan; provided, however, no building or use permit shall be issued by the city for any such plans, locations or use without the prior approval of the city commission as provided herein.	Acknowledged. DRC Site Level IV application submitted for consideration by the city commission.
B. Consideration of the approval of a use or structure for public purposes which requires relief from a zoning regulation of the city shall be initiated by filing an application for approval with the department by the property owner or the person or entity wishing to use the property for a public purpose.	Acknowledged. DRC Site Level IV application submitted for consideration by the city commission.
C. An application for a public use or structure shall include: 1. A conceptual site plan showing the size and location of all structures on or to be located on the property, including but not limited to elevations, location of vehicular and pedestrian ingress and egress, landscaping and floor plans. If the public purpose is to utilize property as a social service residential facility, the site plan shall show how the use or structure meets the requirements of Section 47-18.32;	A proposed site plan for the stormwater pump station has been submitted for consideration showing all structures including the pumpstation, emergency generator, electrical building, floor plans, vehicle access, and landscape requirements.

2. A legal description of the property;	Lot 12, Block 1, of Dorsey Park First Addition, plat book 21, page 30, Broward County Records.
3. A description of the zoning regulation from which relief is necessary to conduct the public use or construct the public structure;	The zoning RS-8 district is intended to provide areas within the city for single family detached residences and accessory uses. The proposed stormwater pump station shall serve as a public use structure to provide stormwater and flood control management in the Dorsey Riverbend neighborhood. The PS building will not exceed the maximum structure height required for this zoning. The proposed PS will comply with the front clearance of 25ft, side yards of 5 ft and rear yard of 15 ft.
4. A description of the need for the public use or structure including a description of other similar uses or structures and their locations in the city;	The Dorsey Riverbend Neighborhood stormwater improvements is 1 of 7 priority neighborhoods identified in the City of Fort Lauderdale Stormwater Master Plan. The proposed stormwater pump station is necessary to reduce flooding in the low-lying areas of the Dorsey Riverbend Neighborhood. Gravity storm sewer pipes is not sufficient in the areas of low elevation therefore a pump station must convey the stormwater runoff via force main to the proposed North Fork New River outfall. The Durrs neighborhood will also convey stormwater runoff flows into the proposed Dorsey Riverbend pump station. The pump station is necessary to reduce flooding in the neighborhoods and protect life and property. Another stormwater pump station is being constructed in the River Oaks Neighborhood as part of the Fort Lauderdale stormwater master plan.

5. A description of the reason why the proposed location is necessary in relation to the need for the use or structure;	The proposed location for the stormwater pump station is necessary because the low elevations make the neighborhood vulnerable to flooding during storm events. Gravity storm sewer system is not sufficient to manage the flooding. The neighborhood is primarily residential therefore the space for a stormwater pump station is limited. The proposed site is currently vacant and owned by the City of Fort Lauderdale which would facilitate the construction of the stormwater pump station.
6. A description of what makes the location of the use or structure on the property desirable;	The site is a City owned vacant lot and is in the low-lying area of the Dorsey Riverbend neighborhood. The gravity storm collection system needs a pump station to convey the stormwater runoff via force main to the outfall at the North Fork New River.
7. A description of the economic and environmental impact on the area as a result of permitting the use or structure;	The economic benefits of the stormwater pump station would be to reduce the effects of flooding in the Dorsey Riverbend neighborhood protecting life and property from flood damage. The proposed pump station will improve the resiliency of the Dorsey Riverbend neighborhood. The projected rising sea level rise and increased frequency of large storm events create a need for effective stormwater management. The local business will also benefit from the improved stormwater management system by reducing interruption to services from storm events.
8. A description of the impact of the use or structure on neighboring properties;	The stormwater pump station will protect and reduce flooding impacts to neighboring properties. Protection of public health and preservation of properties are a major benefit of the proposed pump station.
9. A description of how the site plan addresses any negative impacts which might occur as a result of permitting the use or structure;	The site plan shows that on site drainage structures will prevent stormwater runoff to the neighboring properties by directing the runoff via underground storm sewer pipes into the on-site pump station. The architectural features and landscaping shown on the site plan will minimize any visual impact to the surrounding homes.

10. A description of off-site or on-site factors which mitigate any negative impacts which might occur as a result of permitting the public use or structure; and	The architectural design will have faux windows and doors that will blend in with the adjacent homes and privacy fence will reduce the visual impact of the pump station. Landscaping features are also included in the design to improve visual and environmental factors. The submersible pumps will be located underground minimizing noise factor.
11. A description of the efforts to locate other sites for the use or structure and reasons why other sites are not as desirable as the site proposed (factors in considering feasibility may include land use, zoning, economic, geographic factors and size).	Stormwater modeling was conducted in the preliminary design phase of the stormwater masterplan that included future climate projections to identify areas most vulnerable to severe flooding within the City of Fort Lauderdale. The Dorsey neighborhood was identified as a priority area that requires upgraded stormwater management system. The Dorsey neighborhood was scouted for city owned, vacant lots, central to the area to site the pump station. The location of the proposed stormwater pump station is necessary because of the low elevations in the area that gravity sewers alone cannot remove the stormwater off-site. The pump station site is also critical to provide relief to the Durrs neighborhood upstream of NW 15 Avenue that will be directing stormwater runoff via interceptor to Dorsey Neighborhood.
D. The application shall be reviewed by the city department responsible for review of development permits for a determination that the application is complete and forwarded to the development review committee (DRC). After review and comments by the DRC, the application shall be forwarded to the planning and zoning board for review. The recommendation of the DRC and the planning and zoning board shall be forwarded to the city commission.	Acknowledged.

E. The city commission shall hold two (2) public hearings to consider an ordinance approving a public purpose use or structure and shall provide notice of hearing utilizing the same notice requirements as for a rezoning.	Acknowledged.
F. The city commission may approve or approve with conditions the application for location of a public use or structure based on the following findings: 1. There is a need for the use or structure to be located where proposed. 2. The use meets a valid municipal purpose. 3. The location of the use or structure is not in conflict with the city comprehensive plan. 4. Off-site or on-site conditions exist which reduce any impact of permitting the public use or structure. 5. On-site improvements have been incorporated into the site plan which minimize any adverse impact as a result of permitting the public use or structure. 6. Alternative locations have been identified and reviewed or it has been determined that no feasible alternative locations are available. 7. The proposed site is found to be the most feasible for location of the public use or structure. 8. The public purposes to be met by the location of the use or structure outweigh the application of the zoning regulation and prohibiting the location of the public use or structure.	F. 1. There is a need for the stormwater pump station at the proposed location because the Dorsey Riverbend Neighborhood experiences flooding during heavy rain events. The proposed site is in a low point of the neighborhood which allows stormwater to flow by gravity to the pump station where it then needs to be pumped via force main to the North Fork New River outfall. 2. The proposed use meets a valid municipal purpose since it will be a public works owned pump station that will reduce flooding in the Dorsey Riverbend neighborhood. 3. The location of the use is not in conflict with the city comprehensive plan. The proposed pump station is part of the effort to provide resilient and sustainable stormwater management plan to the neighborhood. 4. There are no off-site or on-site conditions that reduce any impact of permitting the public use structure. 5. On site improvements have been incorporated to the site plan, which minimize any adverse impact as a result of permitting the public use or structure. These improvements include Florida native landscaping, stormwater drains, and aesthetic architectural features. 6. Alternative locations were evaluated during the preliminary design and the proposed site is the only feasible alternative that is available and located in a central low point that needs a stormwater pump station to reduce flooding. 7. The proposed site is found to be the most feasible for location of the public

	use structure. Hydraulic modeling of rain events was evaluated to identify areas that require the most stormwater improvements to relieve flooding. The pump station site is in a low point of the neighborhood that requires a pump station to pump the stormwater to the North Fork New River outfall. 8. The public purpose to be met by the location of the use of the public stormwater pump station outweighs the application of the zoning regulation. The stormwater improvements would benefit the Dorsey Riverbend Neighborhood making the area more resilient and sustainable while reducing the negative impacts of stormwater flood events. The pump station is part of the City's efforts to provide proactive stormwater infrastructure that is critically needed.
G. The approval of a public use or facility shall terminate when the use or facility is no longer publicly owned or used, and the property upon which the use or facility is located shall be subject to the requirements of the zoning district within which it is located.	Acknowledged.

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CITY OF FORT LAUDERDALE

PROJECT #P11845

STORMWATER IMPROVEMENTS

DORSEY RIVERBEND NEIGHBORHOOD

FORT LAUDERDALE, FLORIDA

DEVELOPMENT REVIEW COMMITTEE APPLICATION DRAWINGS
SITE PLAN LEVEL IV SUBMITTAL
SEPTEMBER 2023



LOCATION SKETCH

PROJECT #P11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD



 CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

FORT LAUDERDALE CITY COMMISSION

DEAN J. TRANTALIS	MAYOR
JOHN C. HERBST	COMMISSIONER - DISTRICT I
STEVEN GLASSMAN	COMMISSIONER - DISTRICT II
PAMELA BEASLEY-PITTMAN	COMMISSIONER - DISTRICT III
WARREN STURMAN	COMMISSIONER - DISTRICT IV

PROJECT MANAGER	JOB TITLE	PHONE NO.
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DATE: 09/2023

CAD FILE: 11875-DRC-COVER-G-00

DRAWING FILE No.: 4-143-65

NOT FOR CONSTRUCTION

INDEX OF DRAWINGS		
SHEET SEQUENCE	SHEET NUMBER	SHEET TITLE
GENERAL		
0	GG-GN-00	TITLE SHEET AND LOCATION MAP
1	GG-GN-01	DRC PERMIT - LIST OF DRAWINGS
2	GG-GN-02	ABBREVIATIONS
3	GG-GN-03	SYMBOLS
4	GG-GN-04	GENERAL NOTES
5	SU-18	SURVEY PLAN
6	GG-KY-01	AERIAL MAP AND BOUNDARY
7	GG-DRC-01	DRC PERMIT KEY MAP
8	GG-DRC-02	DRC PERMIT PROPOSED SITE PLAN
CIVIL - DETAILS		
9	CZ-DT-14	CIVIL DETAILS - SHEET 14
LANDSCAPE		
10	LD-01	TREE DISPOSITION PLAN
11	LD-02	LANDSCAPE PLAN
12	LD-03	LANDSCAPE DETAILS
MECHANICAL - PROCESS		
13	MD-DR-01	PUMP STATION DETAILS
14	MD-DR-02	PUMP STATION UPPER PLAN
15	MD-DR-03	PUMP STATION SECTIONS
16	MD-DR-04	PUMP STATION DETAILS
ELECTRICAL		
17	ED-DR-02	ELECTRICAL BUILDING POWER AND LIGHTING PLANS
18	EY-SH-02	PANELBOARD AND LIGHT FIXTURE SCHEDULES
ARCHITECTURE		
19	AA-DR-01	PUMP STATION PLANS
20	AA-DR-02	ELEVATIONS
21	AA-DR-03	BUILDING SECTIONS
22	AA-DR-04	PUMP STATION SCHEDULES AND DETAILS
23	AA-DR-05	PUMP STATION ILLUSTRATIVE SITE PLAN
24	AA-DR-06	PUMP STATION 3D RENDERINGS
CIVIL		
25	CD-ST-01	PUMP STATION SITE PLAN
26	CD-ST-02	EROSION CONTROL SITE PLAN
CIVIL-DETAILS		
27	CZ-DT-04	CIVIL DETAILS - SHEET 4
28	CZ-DT-05	CIVIL DETAILS - SHEET 5

HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021

3250 West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No: 4213

TEL: 954-233-4914
FAX: 954-233-4953

K: XXXX

100 North Andrews Avenue, Fort Lauderdale, Florida 33301

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SHEET NO.
GG-GN-01
TOTAL:
CAD FILE:
11845-GG-GN01
DRAWING FILE NO.
4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION

ABBREVIATIONS					
<u>VALVE AND FITTING ABBREVIATIONS:</u>		<u>GENERAL</u>		<u>GENERAL CONT.</u>	
ARV	AIR RELIEF VALVE	A	ARC DISTANCE	ES	ELECTRICAL SERVICE
BF	BLIND FLANGE	AB	ANCHOR BOLT	ESC	EROSION AND SEDIMENT CONTROL
BFV	BUTTERFLY VALVE	A/C	AIR CONDITIONER	EXH	EXHAUST
BV	BALL VALVE	ACU	AIR CONDENSATE UNIT	EXIST	EXISTING
CO	CLEAN OUT	AL, ALUM	ALUMINUM	EXP	EXPANSION
CPLG	COUPLING	a	ANGLE	EXT	EXTERIOR
CV	CHECK VALVE	APPROX	APPROXIMATE	FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION
DV	DIAPHRAGM VALVE	ARCH	ARCHITECTURAL	FDR	FLOOR DRAIN
EXP JT	EXPANSION JOINT	BLDG	BUILDING	FE	FIRE EXTINGUISHER
FCO	FLOOR CLEAN OUT	BLK	BLOCK	FF	FINISH FLOOR
FD	FLOOR DRAIN	BM	BENCHMARK	FG	FINISH GRADE
FH	FIRE HYDRANT	BOTT	BOTTOM	FIN	FINISH
FLG	FLANGE	BOW	BACK OF WALK	FL	FLOOR
FS	FLOOR SINK	BP	BID PACKAGE	FM	FORCE MAIN
GV	GATE VALVE	CA	CENTRAL ANGLE	FND	FOUND
HB	HOSE BIBB	CB	CATCH BASIN	FP	FLAG POLE
HD	HUB DRAIN	CC	CENTER TO CENTER	FT	FOOT OR FEET
ICV	IRRIGATION CONTROL VALVE	CHK'D	CHECKERED	FTG	FOOTING OR FITTING
LR	LONG RADIUS	C.I.	CURB INLET	GALV	GALVANIZED
MJ	MECHANICAL JOINT	CJ	CONSTRUCTION JOINT	GPM	GALLONS PER MINUTE
NPT	NATIONAL PIPE THREAD	CL, q	CENTER LINE	GR	GRADE
PE	PLAIN END	CLF	CHAIN LINK FENCE	H	HIGH
PV	PLUG VALVE	CLR	CLEAR	HORIZ	HORIZONTAL
PRV	PRESSURE RELIEF VALVE	COL	COLUMN	HP	HIGH POINT
RED	REDUCER	CO	COMPANY	HS	HIGH SERVICE
SOV	SOLENOID OPERATED VALVE	CONC, C	CONCRETE	HWL	HIGH WATER LEVEL
THD	THREADED	CONST	CONSTRUCTION	ID	INSIDE DIAMETER
VAC	VACUUM	CONT	CONTINUOUS	IE	INVERT ELEVATION
		CONTR	CONTRACTOR	IF	INSIDE FACE
		CP	CONCRETE POST	IN	INCH
		DET	DETAIL	INFL	INFLUENT
		DIA	DIAMETER	INJ	INJECTION
		DIAG	DIAGONAL	INSUL	INSULATION
		DIM	DIMENSION	INT	INTERIOR
		DISDIR	DIRECTION	INV	INVERT
		CH	DISCHARGE	IP	IRON PIPE
		DMH	DRAIN MANHOLE	IRRIG	IRRIGATION
		DN	DOWN	IR	IRON ROD
		DR	DRAIN	ISO	ISOLATION
		DWL	DOWEL	JCT	JUNCTION
		DWG	DRAWING	JT	JOINT
		EA	EACH	LBS/FT	POUNDS PER FOOT
		ECC	ECCENTRIC	LG	LONG
		EE	EACH END	LN	LINE
		EF	EACH FACE	LP	LOW POINT OR LIGHT POLE
		EL, ELEV	ELEVATION	LR	LONG RADIUS
		ELEC	ELECTRIC	LWL	LOW WATER LEVEL
		ENGR	ENGINEER	MANUF	MANUFACTURER
		EOP	EDGE OF PAVEMENT	MAX	MAXIMUM
		EW	EACH WAY	MECH	MECHANICAL
		EQUIP	EQUIPMENT	MGD	MILLION GALLONS PER DAY
<u>PIPING:</u>				<u>GENERAL CONT.</u>	
CIP	CAST IRON PIPE			MH	MANHOLE
CMP	CORRUGATED METAL PIPE			MIN	MINIMUM
CU	COPPER OR CUBIC			MO	MASONRY OPENING
DIP	DUCTILE IRON PIPE			MOV	MOTOR OPERATED VALVE
GIP	GALVANIZED PIPE			NAVD	NORTH AMERICAN VERTICAL DATUM
GSP	GALVANIZED STEEL PIPE			NGVD	NATIONAL GEODETIC VERTICAL DATUM
HDPE	HIGH DENSITY POLYETHYLENE PIPE			NIC	NOT IN CONTRACT
IP	IRON PIPE			NO	NUMBER
PCCP	PRECAST CONCRETE CYLINDER PIPE			NTS	NOT TO SCALE
PVC	POLYVINYLCHLORIDE			OC	ON CENTER
RCP	REINFORCED CONCRETE PIPE			OD	OUTSIDE DIAMETER
SCP	SECONDARY CONTAINMENT PIPE			OHW	OVERHEAD WIRES
SS	STAINLESS STEEL PIPE			OPNG	OPENING
				P/L	PROPERTY LINE
				PRB	POLLUTION RETARDANT BAFFLE
				PS	PUMP STATION
				PT	PRESSURE TREATED
				R	RIM
				RAD, R	RADIUS
				RECIR	RECIRCULATION
				RE	RIM ELEVATION
				REHAB	REHABILITATION
				REINF	REINFORCING
				REQ'D	REQUIRED
				R/W,	ROW RIGHT OF WAY

HR

ENGINEER:
DANIEL S. SUAREZ
REG. No: 69096

DRAWN BY:	HDD	DATE:	11/30/2022
DESIGNED BY:	SCALE:	NONE	
CHECKED BY:	IS		
FIELD BOOK: XXXX			

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE

100 North Andrews Avenue, Fort Lauderdale, Florida 33301

[illegible]

PROJECT # P11845
 STORMWATER IMPROVEMENTS
 DORSEY RIVERBEND NEIGHBORHOOD
 ABBREVIATIONS

SHEET NO.

GG-GN-02

TOTAL:	127
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CAD FILE:
11845-GG-GN03

DRAWING FILE NO.
4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION

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P11845

PLOT DATE: 12/21/2022 9:47 AM BY: JECLEARKREF=

LINETYPES	SYMBOLS, LEGEND AND HATCH PATTERNS				SECTION AND DETAIL IDENTIFICATION
COMMUNICATION, CABLE TV, TELEPHONE: —COM(CT)—COMCAST LINES —COM OH—COMMUNICATIONS —COM(CO)—CROWN CASTLE LINES —COM(FD)—FIBERNET DIRECT LINES —COM(L3)—LEVEL 3 LINES —GPS OH—GPG LINES —UGT—UNDERGROUND TELEPHONE LINES —OHT—OVERHEAD TELEPHONE LINES ELECTRIC LINES: —X-X ELEC—ELECTRIC DUCT (X-X = WIRES/GUAGE) —UGE—UNDERGROUND ELECTRIC LINES —OHE—OVERHEAD ELECTRIC LINES OTHERS LINES: —GAS—GAS MAIN (SIZE UNKNOWN) —X" GAS—GAS MAIN (SIZE) —AIR—UNDERGROUND AIR LINE —FM—SANITARY FORCE MAIN (SIZE UNKNOWN) —X" FM—SANITARY FORCE MAIN (SIZE) —X" PVC FM—SANITARY FORCEMAIN (SIZE/MATERIAL) —SAN—SANITARY GRAVITY (SIZE UNKNOWN) —X" SAN—SANITARY GRAVITY MAIN (SIZE) —X" PVC SAN—SANITARY GRAVITY (SIZE/MATERIAL) —SD—STORM DRAINAGE (SIZE UNKNOWN) —X" SD—STORM DRAINAGE (SIZE) —X" PVC SD—STORM DRAINAGE (SIZE/MATERIAL) —WM—WATER MAIN (SIZE UNKNOWN) —X" WM—WATER MAIN (SIZE) —X" DIP WM—WATER MAIN (SIZE/MATERIAL) —OHW—OVER HEAD WIRES (TYPE UNKNOWN) —UNK UG—UNDERGROUND LINE (TYPE UNKNOWN) - - - - - ABANDONED — — — — — EXISTING — — — — — PROPOSED — — — — — PROPOSED PIPELINE (DOUBLE LINE IF SCALE OF DRAWING PERMITS) - - - - - PLASTIC FENCE - - - - - WOODEN FENCE - - - - - WROUGHT IRON FENCE —X—X—X—CHAIN LINK FENCE —O—O—O—BOARD FENCE — — — — — PROPERTY LINE — — — — — EASEMENT LINE X X X X X EXISTING STRUCTURE TO BE REMOVED X X X X X EXISTING PIPE TO BE PLUGGED AND GROUT FILLED ·X·X·X·X·X EXISTING PIPE TO BE REMOVED	LANDSCAPING SYMBOLS: PALM TREE SHADE TREE PINE TREE CACTUS HEDGE VEGETATION BUSH UNKNOWN TREE LEGEND: A/C AIR CONDITIONING UNIT ? AIR RELEASE VALVE AR AIR VALVE MANHOLE ANCHOR BFP BACK FLOW PREVENTER BASKET BALL HOOP BBQ GRILL BLOW-OFF VALVE BOAT ANCHOR CLEAT BOLLARD BUILDING COLUMN/PILE CATV PEDESTAL CATCH BASIN CATCH BASIN INLET CLEAN OUT COMMUNICATION MANHOLE COMMUNICATION VAULT CONCRETE LIGHT POLE CONCRETE POST CONCRETE POWER POLE CONTOUR LINE ELEVATION CROSS FITTING CURB INLET DECORATIVE/YARD LIGHT POLE DETECTOR CHECK VALVE DOUBLE DETECTOR CHECK VALVE ELECTRIC BOX ELECTRIC MANHOLE ELECTRICAL METER ELECTRIC METER/SERVICE ELECTRICAL OUTLET ELECTRICAL PEDESTAL ELECTRICAL PULL BOX ELECTRICAL VAULT EXISTING SPOT ELEVATION	LEGEND CONT: FIRE HYDRANT FIBER OPTIC PEDESTAL FLAG POLE FORCE MAIN VALVE GAS FUEL CAP GAS MARKER GAS METER GAS VALVE GAS WELL GATE CONTROL BOX GREASE TRAP MH GUY ANCHOR AND WIRE HOSE BIBB IRRIGATION CONTROL VALVE LIFT STATION LIFT STATION CAN LIGHT POLE LP GAS TANK MAILBOX MAIL DROP BOX MANHOLE MARKER POST METAL LIGHT POLE MONITORING WELL OUTFALL PARK BENCH PEDESTRIAN SIGNAL PILE PIN FLAG PIPE MATERIAL CHANGE PARKING LIGHT 1 BULB PARKING LIGHT 1 BULB PARKING LIGHT 2 BULBS PARKING LIGHT 2 BULBS PARKING LIGHT 3 BULBS PARKING LIGHT 3 BULBS PARKING LIGHT 4 BULBS PARKING LIGHT 4 BULBS PARKING METER PARKING METER (DOUBLE) PLUG POST INDICATOR VALVE REDUCER ROOF DRAIN	LEGEND CONT: RAILROAD CROSSING GATE REDUCER FITTING SANITARY CLEAN OUT SANITARY MANHOLE SANITARY WYE LATERAL SIAMESE VALVE SIGN SIGN DOUBLE POST SPOT-FLOOD LIGHT SPRINKLER HEAD SOIL BORING SQUARE COLUMN STEEL I-BEAM STORM CLEAN OUT STORM MANHOLE STORM DRAINAGE VAULT TEE FITTING TELEPHONE BOOTH TELEPHONE JUNCTION BOX TELEPHONE MANHOLE TELEPHONE ON PEDESTAL TELEPHONE PEDESTAL TELEPHONE PULL BOX TELEPHONE VAULT TEST EXCAVATION LOCATION TEST HOLES TOWER TRAFFIC CAMERA TRAFFIC CONTROL TRAFFIC POLE TRAFFIC PULL BOX TRAFFIC SIGNAL BOX TRAFFIC SIGNAL POLE TRANSFORMER PAD TRASH CAN TRASH CAN UNKNOWN MANHOLE VALVE BOX VALVE PIPE WATER MANHOLE WATER METER WATER METER WATER METER (DOUBLE) WATER PUMP	LEGEND CONT: WATER VALVE WATER VAULT WATER WELL WOOD POST WOOD LIGHT POLE WOOD TELEPHONE POLE WOOD POWER POLE YARD DRAIN CONTROL LEGEND: AERIAL TARGET BENCH MARK D+H DRILL HOLE HUB & TACK IRON PIPE IRON ROD NAIL&TAB PERMANENT REFERENCE MONUMENT PERMANENT REFERENCE MONUMENT NAIL&TAB PIN&NAIL SPIKE QUARTER SECTION CORNER SECTION CORNER HATCH LEGEND: PERMEABLE PAVEMENT GRASSY SWALE GRADING / GRADING DIRECTION EXFILTRATION TRENCH ASPHALT CONCRETE PAVER BRICKS GRAVEL MILL & RESURFACE DEMOLITION AREA DEMOLITION ITEM	SECTION IDENTIFICATION A. SECTION CUT ON DRAWING G-1: SECTION LETTER DRAWING ON WHICH SECTION APPEARS. (1) B. ON DRAWING G-2 THIS SECTION IS IDENTIFIED AS: SECTION LETTER DRAWING FROM WHICH SECTION WAS TAKEN. (1)(2) DETAIL IDENTIFICATION A. DETAIL CALL-OUT ON DRAWING: DETAIL NUMBER DRAWING ON WHICH DETAIL APPEARS. (1) B. ON DRAWING CZ-DT-01 THIS DETAIL IDENTIFIED AS: DETAIL TITLE DETAIL NUMBER DRAWING ON WHICH DETAIL IS CALLED OUT. (1)(3) STANDARD DETAIL IDENTIFICATION A. STANDARD DETAIL CALL-OUT ON DRAWING: DETAIL NUMBER DRAWING ON WHICH DETAIL APPEARS. (1) B. STANDARD DETAIL ON DRAWING CZ-DT-02 THIS DETAIL IDENTIFIED AS: DETAIL TITLE DETAIL NUMBER STANDARD DETAIL (4) NOTES: (1) IF PLAN AND SECTION (OR DETAIL CALL-OUT AND DETAIL) ARE SHOWN ON SAME DRAWING, DRAWING NUMBER IS REPLACE BY A DASH (-). (2) IF SECTION IS SHOWN IN TWO OR MORE LOCATIONS, THE FIRST DRAWING NUMBER WHERE THE SECTION IS SHOWN IS DISPLAYED IN THE SECTION TITLE. (3) IF A DETAIL IS SHOWN IN TWO OR MORE LOCATIONS, THE DRAWING NUMBER IN THE DETAIL TITLE IS REPLACED WITH A DASH (-). (4) IF THE DETAIL TITLE REFERS TO A STANDARD DETAIL, THE DRAWING NUMBER IN THE DETAIL TITLE IS REPLACED WITH THE ABBREVIATION STD. GENERAL NOTES: (1) ELECTRICAL SYMBOLS SHOWN ON ELECTRICAL SHEETS. (2) FOR WELDING SYMBOLS USE AMERICAN WELDING SOCIETY STANDARD SYMBOLS. * DENOTES DIMENSIONS OR ELEVATIONS DEPENDENT ON EQUIPMENT SUPPLIED.

Hazen

HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021
Certificate of Authorization No: 2771



3250 West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No: 4213

ENGINEER:
DANIEL S. SUAREZ
PRO. NO. 00000
DATE: 07/20/2016
TEL: 954-289-4814
FAX: 954-289-4893

DRAWN BY: DATE: 11/30/2022
HDD
DESIGNED BY: SCALE: NONE
BK
CHECKED BY: IS
FIELD BOOK: XXXX

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

REVISIONS		DESCRIPTION	
NO.	DATE	BY	CR'D

PROJECT # P11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
SYMBOLS

SHEET NO.
GG-GN-03
TOTAL: 127
CAD FILE:
11845-GG-GN04
DRAWING FILE NO.
4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION

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GENERAL NOTES:

1. CONTRACTOR SHALL MAINTAIN ACCESS TO PRIVATE PROPERTY AT ALL TIMES.
2. REFER TO SPECIFICATION SECTION 01001 AND 01520 FOR DETAILED REQUIREMENTS FOR SEQUENCE OF CONSTRUCTION AND CONSTRUCTION CONSTRAINTS.
3. SITE INFORMATION HAS BEEN PROVIDED BY SITE SURVEY PREPARED BY CRAVEN THOMPSON AND ASSOCIATES INC. (CTA).
4. HORIZONTAL CONTROL IS REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD 83). VERTICAL CONTROL IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
5. RECORD DRAWINGS USED FOR EXISTING FEATURES: CTA SURVEY. RECORD DRAWINGS MAY BE OBTAINED FROM THE OWNER UPON REQUEST.
6. CONTRACTOR SHALL VERIFY FIELD CONDITIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AND DIMENSIONS WHERE NEW WORK WILL MATCH EXISTING. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF WORK.
7. CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FROM THE APPROPRIATE AUTHORITIES, DEPARTMENTS, AND/OR AGENCIES HAVING JURISDICTION PRIOR TO COMMENCING WORK.
8. ALL PRACTICAL AND NECESSARY EFFORTS SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT UNNECESSARY TREE REMOVAL AND/OR DAMAGE.
9. THE LOCATION OF EXISTING UTILITIES HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THE INFORMATION IS NOT GUARANTEED. THEREFORE THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
10. UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEY INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE TO THEM. THE CONTRACTOR SHALL CONTACT SUNSHINE 811 AT PHONE NUMBER 811 OR 1-800-432-4770 TO REQUEST UNDERGROUND UTILITY LOCATION MARK-OUT AT LEAST TWO (2) WORKING DAYS BUT NO MORE THAN TEN (10) WORKING DAYS PRIOR TO BEGINNING EXCAVATION, INCLUDING SOIL DRILLING. THE CONTRACTOR SHALL ALSO CONTACT AND REQUEST UTILITY LOCATION MARK-OUT FROM BURIED UTILITY OWNERS WITH UTILITIES ON THE PROJECT SITE THAT ARE NOT PARTICIPANTS OF SUNSHINE 811.
11. CONTRACTOR SHALL REPLACE SURROUNDING LAND COVER AFFECTED BY CONSTRUCTION ACTIVITIES, INCLUDING, BUT NOT LIMITED TO, PAVERS, SIDEWALK, SOD, AND LANDSCAPING, TO EXISTING OR BETTER CONDITIONS.
12. CONTRACTOR SHALL TAKE CARE TO AVOID DAMAGE TO EXISTING PAVEMENT, STRUCTURES, AND UTILITIES THAT ARE NOT INDICATED TO BE DEMOLISHED OR REMOVED. ANY DAMAGE TO EXISTING PAVEMENT, STRUCTURES, AND UTILITIES NOT INDICATED TO BE DEMOLISHED OR REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
13. WHERE PROPOSED WORK IS IN THE VICINITY OF UTILITY POLES, SUCH THAT SUPPORT OF THE POLE(S) WILL BE REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY OF THE WORK. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE UTILITY FOR SUPPORT OF THE POLE.
14. DURING EXCAVATION AND PLACEMENT OF UTILITIES THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS AND SHALL SUBMIT TO THE ENGINEER FOR APPROVAL SHEET PILING, SHORING AND/OR BRACING DESIGNS AS MAY BE NECESSARY TO COMPLY WITH THESE REGULATIONS.
15. GROUNDWATER FROM ALL DEWATERING OPERATIONS SHALL BE DISCHARGED TO AN ENVIRONMENTALLY ACCEPTABLE LOCATION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, OR AS DIRECTED BY THE ENGINEER.
16. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEBRIS GENERATED DURING THE PROJECT OFF SITE AT A PROPERLY PERMITTED DISPOSAL FACILITY.
17. FOR REFERENCE MONUMENTS, SEE SURVEY DRAWINGS.
18. THE CONTRACTOR IS REQUIRED TO OBTAIN WRITTEN APPROVAL FROM THE ENGINEER FOR ANY DEVIATIONS FROM THE PLANS AND/OR SPECIFICATIONS.
19. THE UNDERGROUND CONTRACTOR SHALL MINIMIZE THE WORK AREA AND WIDTH OF TRENCHES TO AVOID DISTURBANCES OF NATURAL VEGETATION. SPOIL FROM TRENCHES SHALL BE PLACED ONLY ON PREVIOUSLY CLEARED AREAS. EXISTING RIGHT-OF-WAY OR APPROVED EASEMENT. THE CONTRACTOR SHALL NOT REMOVE OR DISTURB ANY TREES OR SHRUBS WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
20. ALL RESTORATION SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION OVER THE RIGHT-OF-WAY WHERE THE PROJECT IS CONSTRUCTED.
21. ALL LOOP DETECTORS, COMMUNICATION CABLES AND CONDUITS, IF DAMAGED BY THE CONTRACTOR'S ACTIVITIES, SHALL BE REPAIRED AND/OR REPLACED IN ACCORDANCE WITH BCTED AND FDOT REQUIREMENTS.
22. PIPING, FITTINGS, AND APPURTENANCES FOR DUCTILE IRON PIPE SHALL BE RESTRAINED JOINT WHERE SHOWN ON THE PLANS OR AS OTHERWISE SPECIFICALLY SPECIFIED IN THE CONTRACT DRAWINGS.
23. RESILIENT SEATED GATE VALVES WITH BEVEL TYPE GEAR SHALL BE INSTALLED IN HORIZONTAL ORIENTATION WHEN LESS THAN 7'-FEET OF COVER FROM TOP OF PIPE IS PRESENT OR AS OTHERWISE SPECIFICALLY SPECIFIED IN THE CONTRACT DRAWINGS.

24. NO CONNECTIONS FOR THE PURPOSE OF OBTAINING WATER SUPPLY DURING CONSTRUCTION SHALL BE MADE TO ANY FIRE HYDRANT OR BLOW-OFF STRUCTURE WITHOUT FIRST OBTAINING PERMISSION AND A CONSTRUCTION METER FROM THE CITY OF FORT LAUDERDALE.
25. THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING, MOVING AND RELOCATING OR REPLACING ALL WATER SERVICES OR SEWER LATERALS WHICH ARE ENCOUNTERED DURING EXCAVATION. THE CONTRACTOR SHALL SUBMIT A WRITTEN PLAN FOR WATER SERVICE AND WASTEWATER SERVICE DISRUPTION FOR APPROVAL 7 (SEVEN) CALENDAR DAYS PRIOR TO THE ANTICIPATED DISRUPTION. THE CONTRACTOR SHALL NOTIFY THE PROPERTY OWNERS 48 HOURS IN ADVANCE OF ANY WORK ON THEIR SERVICES. THIS WORK SHALL BE CONSIDERED INCIDENTAL.
26. THE CONTRACTOR MUST INFORM THE CITY AT LEAST 48-HOURS IN ADVANCE OF CONSTRUCTION, IN WRITING IF ANY CONFLICT IS DISCOVERED DURING POT HOLE OPERATIONS FOR CLARIFICATION BY THE CITY.
27. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITIES DEPARTMENT OF THE CITY OF FORT LAUDERDALE AT LEAST TWO (2) BUSINESS DAYS IN ADVANCE TO COORDINATE ANY ACTMITY TO BE PERFORMED BY THE CITY'S UTILITIES DEPARTMENT.
28. CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE EXISTING RIGHTS-OF-WAY.
29. ALL WORK WITHIN STATE DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAYS SHALL BE IN CONFORMANCE WITH FDOT SPECIFICATIONS AND PERMIT REQUIREMENTS.
30. ALL WORK WITHIN BROWARD COUNTY RIGHT-OF-WAYS SHALL BE IN CONFORMANCE WITH THE BROWARD COUNTY MINIMUM STANDARDS AND/OR REQUIREMENTS.
31. CONTRACTOR SHALL COMPLY WITH ALL LOCAL CITY, COUNTY AND STATE REGULATIONS PERTAINING TO THE CLOSING OF PUBLIC STREETS FOR USE OF TRAFFIC DURING CONSTRUCTION.
32. CONTRACTOR SHALL PREPARE AND SUBMIT MAINTENANCE OF TRAFFIC (MOT) PLANS TO FDOT, CITY OF FORT LAUDERDALE, BROWARD COUNTY AS REQUIRED FOR WORK TO BE DONE WITHIN THEIR R/W PRIOR TO COMMENCEMENT OF WORK. SPECIFIC AGENCY MOT REQUIREMENTS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
33. STATIONS SHOWN ON THE DRAWINGS ARE BASED ON THE ESTABLISHED BASELINE AND SHALL NOT BE CONSIDERED AS DISTANCES OR AS A MEASURE OF THE LINEAR FOOTAGE OF PIPE TO BE INSTALLED.
34. THE GENERAL INTENT IS TO PROVIDE SEWER SERVICE LATERALS FOR EACH PROPERTY. ALL LATERAL LOCATIONS SHALL BE FIELD ADJUSTED.
35. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAY OR WALKWAY SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
36. TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS SHALL NOT BE LEFT OPEN DURING NIGHT TIME HOURS WITHOUT ADEQUATE PROTECTION.
37. CONTRACTOR SHALL PROMPTLY REPAIR AND RESTORE EXISTING PAVEMENT, SIDEWALKS, CURBS, DRIVEWAYS, PIPES, RESIDENTIAL AND COMMERCIAL SPRINKLER LINES, CONDUIT, CABLES, ETC. AND LANDSCAPE AREAS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES.
38. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AS REQUIRED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT AND/OR WHEN REQUIRED FOR PUBLIC SAFETY.
39. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF WORK, FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
40. LOCATION OF AIR RELEASE VALVES MAY BE FIELD ADJUSTED BY THE ENGINEER OR CITY OF FORT LAUDERDALE AS NECESSARY.
41. CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND HOLES, PULL BOXES, INLETS AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAYED WITH ASPHALT.
42. EXISTING TRAFFIC SIGNS SHALL BE RESET UPON COMPLETION PER BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS. COST SHALL BE CONSIDERED INCIDENTAL. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED TRAFFIC SIGNAL LOOPS PER BROWARD COUNTY TRAFFIC ENGINEERING SPECIFICATIONS; COST SHALL BE INCIDENTAL.
43. CONTRACTOR SHALL RESTORE EXISTING PAVEMENT AND PAVEMENT MARKINGS/SIGNAGE TO ORIGINAL PRE-CONSTRUCTION CONDITION OR AS OTHERWISE SPECIFIED IN CONTRACT DOCUMENTS. THIS WORK SHALL BE CONSIDERED INCIDENTAL.
44. ALL CONSTRUCTION WITHIN FDOT R/W MUST CONFORM WITH FDOT SPECIFICATIONS, STANDARDS, AND PERMIT REQUIREMENTS. NO WORK SHALL COMMENCE WITHIN FDOT R/W's WITHOUT AN FDOT PERMIT. FULL LANE WIDTH RESTORATION TO MATCH EXISTING PAVEMENT SECTION IS REQUIRED IN ACCORDANCE WITH FDOT STANDARDS FOR PROPOSED WORK WITHIN FDOT R/W.
45. PIPE LENGTHS SHOWN ON THE PLANS FOR NEW STORM GRAVITY PIPING ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. COORDINATES FOR STRUCTURES SHOWN ON THE PLANS ARE LOCATED AT THE CENTER POINT OF STRUCTURE.

Hazen

HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021

Certificate of Authorization No: 2771



3250 West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No: 4213

ELEVATIONS SHOWN HEREON ARE
BASED ON THE NORTH AMERICAN
VERTICAL DATUM 1988 (NAVD 1988)



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ENGINEER:
DANIEL S. SUAREZ
PRO. NO. 060406
DATE: 07/20/2022

TEL: 954-228-4814
FAX: 954-228-4893

DRAWN BY: DATE: 11/30/2022

DESIGNED BY: SCALE: NONE

CHECKED BY: BK

FIELD BOOK: IS

XXXX

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE



100 North Andrews Avenue, Fort Lauderdale, Florida 33301

REVISIONS

NO. DATE BY CH'D DESCRIPTION

PROJECT # P11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
GENERAL NOTES

SHEET NO.

GG-GN-04

TOTAL: 127

CAD FILE:

11845-GG-GN05

DRAWING FILE NO.

4-143-65



PROJECT # 11845
STORMWATER IMPROVEMENTS
DORSEY NEIGHBORHOOD SURVEY
SURVEY PLAN

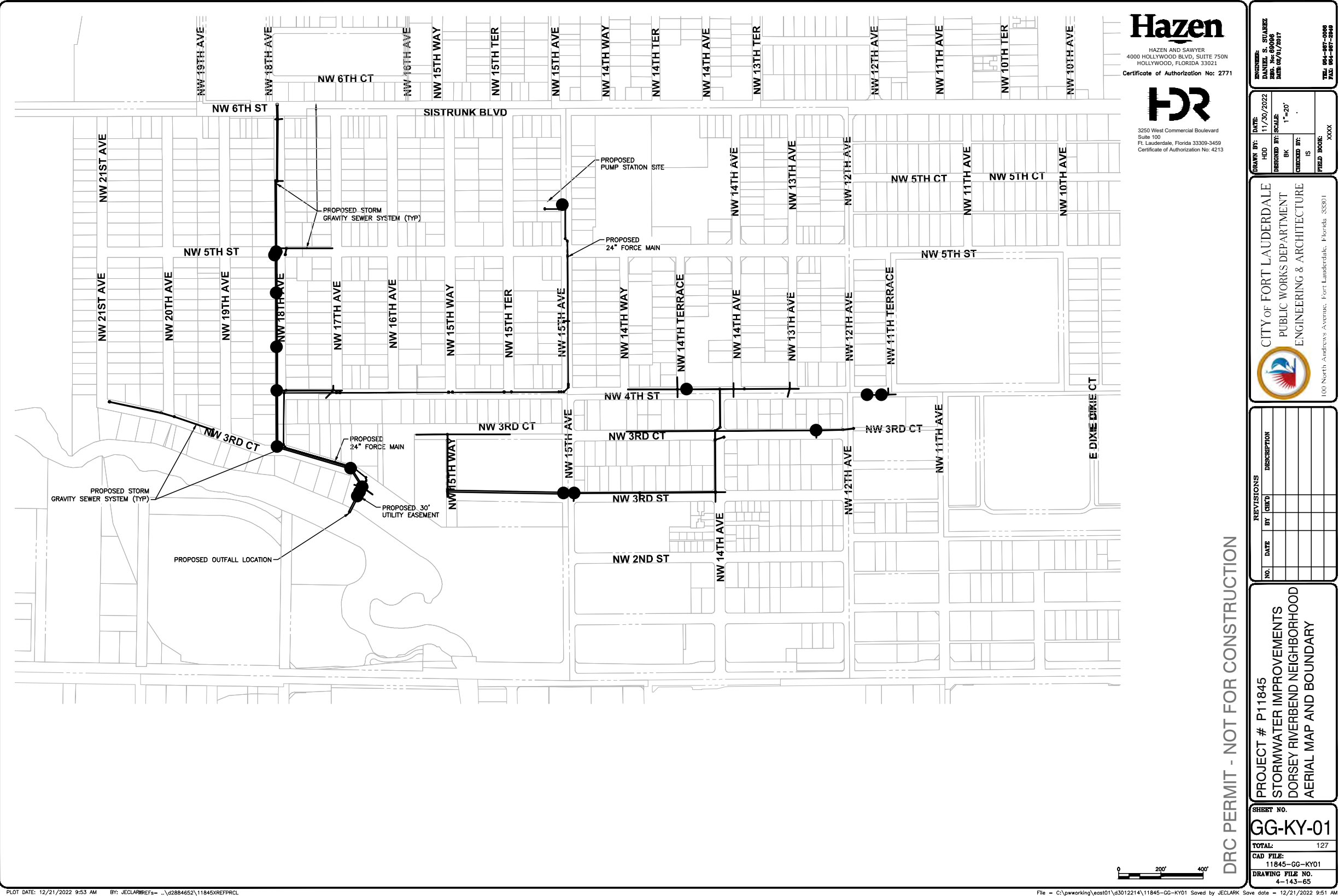
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DESIGNED BY:	XX	SCALE:	1"=20'
CHECKED BY:	XX		
FIELD BOOK:		XXXX	

SURVEYOR
#Name
FL PSM NO: #NO.
DATE: XX\XX\XX
TEL: 954-XXX-XXXX
FAX: 954-XXX-XXXX

100 North Andrews Avenue, Fort Lauderdale, Florida 33301

TEL: 954-XXX-XXXX
FAX: 954-XXX-XXXX



PLOT DATE: 12/21/2022 9:53 AM BY: JECLARKREF=-.\\d2884652\\11845XREFPRCL

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Hazen
HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021
Certificate of Authorization No: 2771

HSR
3250 West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No: 4213

ENGINEER:
DANIEL S. SUAREZ
REG. NO. 08040
DATE: 07/27/2017
TEL: 954-987-0088
FAX: 954-987-8849

DRAWN BY: HDO
DATE: 11/30/2022
DESIGNED BY: BK
CHECKED BY: IS
FIELD BOOK: XXXX
SCALE: 1"=20'

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE

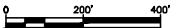
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

REVISIONS		NO.	DATE	BY	CR'D	DESCRIPTION

PROJECT # P11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
AERIAL MAP AND BOUNDARY

SHEET NO.
GG-KY-01
TOTAL: 127
CAD FILE:
11845-GG-KY01
DRAWING FILE NO.
4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION





PROJECT SITE LOCATION MAP
1"=100'-0"



PROPERTY ADDRESS:

515 NW 15TH AVE.
FORT LAUDERDALE, FL 33311

PROPERTY OWNER INFORMATION:

OWNER: CITY OF FORT LAUDERDALE

MAILING ADDRESS: 914 SISTRUNK BLVD.
FORT LAUDERDALE, FL. 33311

PROPERTY LOCATION:

COUNTY: BROWARD
TOWNSHIP: 50
RANGE: 42
SECTION: 04
LATITUDE: 26.12800
LONGITUDE: -80.16192

PROPERTY DESCRIPTION

DORSEY PARK FIRST ADD 21-30 B LOT 12
BLK 1

SITE PLAN REQUIREMENTS:

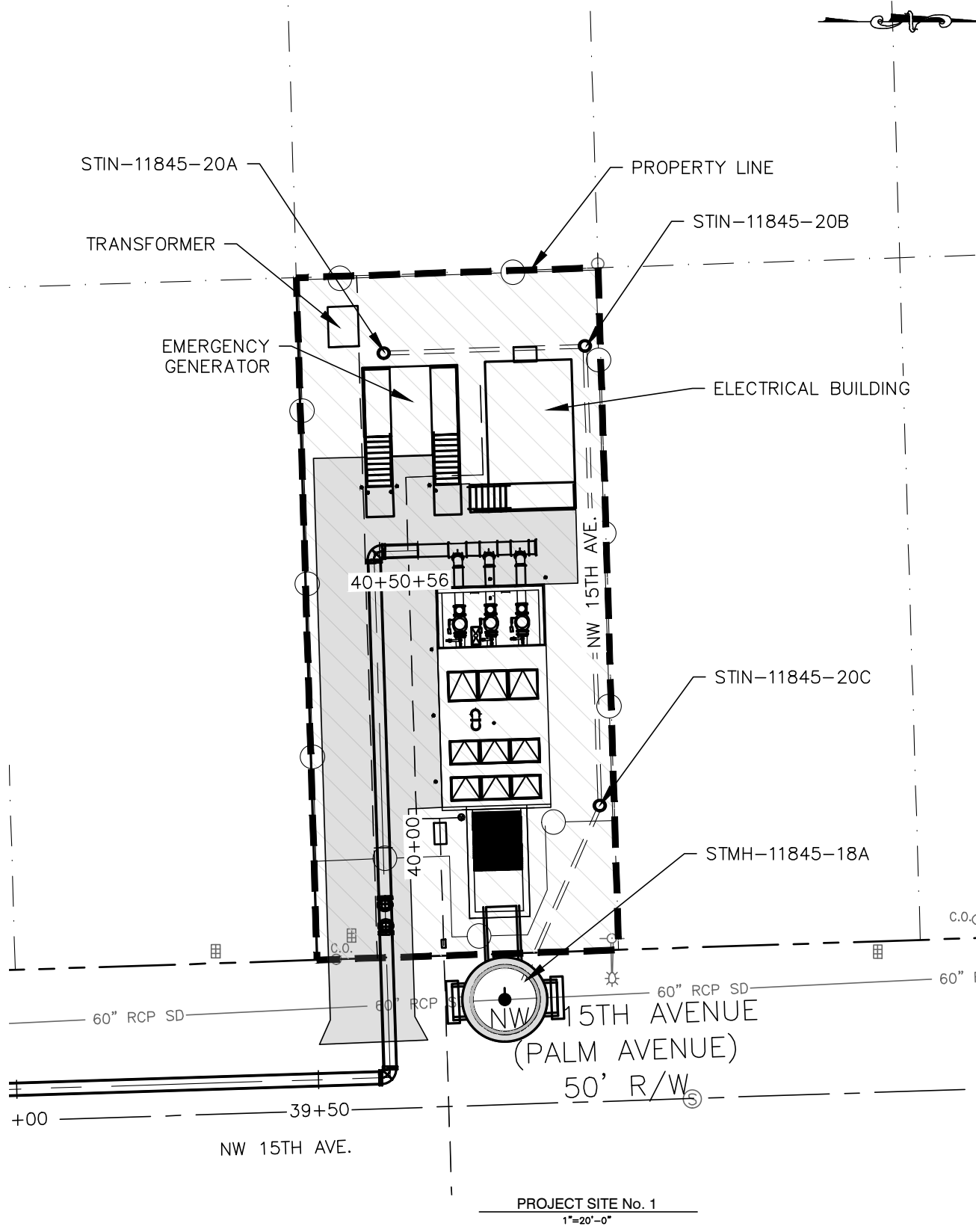
PROJECT SITE No. 1:
DRC SITE PLAN LEVEL IV
CITY COMMISSION REVIEW

Hazen
HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021
Certificate of Authorization No: 2771

HSR
3250 West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No: 4213

ENGINEER: #Name REG. No. #NO. DATE DATE		DRAWN BY: DATE: MM/DD/YY DESIGNED BY: CHECKED BY:		FIELD BOOK:																									
CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING & ARCHITECTURE  100 North Andrews Avenue, Fort Lauderdale, Florida 33301																													
<table><thead><tr><th colspan="2">REVISIONS</th><th colspan="2">DESCRIPTION</th></tr><tr><th>NO.</th><th>DATE</th><th>BY</th><th>DATE</th></tr></thead><tbody><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></tbody></table>						REVISIONS		DESCRIPTION		NO.	DATE	BY	DATE																
REVISIONS		DESCRIPTION																											
NO.	DATE	BY	DATE																										
PROJECT # P11845 STORMWATER IMPROVEMENTS DORSEY RIVERBEND NEIGHBORHOOD KEY MAP																													
SHEET NO. GG-DRC-01																													
TOTAL: 0																													
CAD FILE: 1875-DRC-KEY MAP-GO																													
DRAWING FILE NO. 4-143-65																													

DRC PERMIT - NOT FOR CONSTRUCTION



PROJECT SITE No. 1
1"=20'-0"



PROJECT SITE AERIAL MAP
1"=1000'-0"

DRC SITE PLAN LEVEL IV
CITY COMMISSION
REVIEW

PROPERTY ADDRESS:
515 NW 15TH AVE.
FORT LAUDERDALE, FL 33311

PROPERTY INFORMATION:
FOLIO: 504204240110

ZONING: RS-8

PROPERTY OWNER INFORMATION:
OWNER: CITY OF FORT LAUDERDALE
MAILING ADDRESS: 914 SISTRUNK BLVD.
FORT LAUDERDALE, FL. 33311

PROPERTY LOCATION:
COUNTY: BROWARD
TOWNSHIP: 50
RANGE: 42
SECTION: 04
LATITUDE: 26.12800
LONGITUDE: -80.16192

FLOOD INFORMATION:
FLOOD ZONE: AH
BASE FLOOD ELEVATION = 6
FLOOD DESIGN CLASS 3
MINIMUM FFE = 7

DRC PERMIT - NOT FOR CONSTRUCTION

Hazen
HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021
Certificate of Authorization No: 2771

HDR
3250 West Commercial Boulevard
Suite 100
FL Lauderdale, Florida 33309-3459
Certificate of Authorization No: 4213

ENGINEER: Name: [blank] Date: [blank]	FILE: [blank] PAC: [blank]
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DRAWN BY: [blank]	DATE: MM/DD/YY
DESIGNED BY: [blank]	SCALE: [blank]
CHECKED BY: [blank]	FIELD BOOK: [blank]

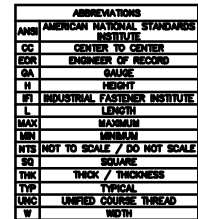
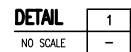
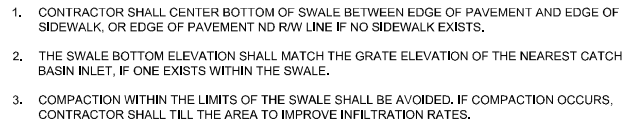
CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE

100 North Andrews Avenue, Fort Lauderdale, Florida 33301

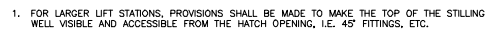
REVISIONS		DESCRIPTION	
NO.	DATE	BY	CH'D

PROJECT # P11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
PROPOSED SITE PLAN

SHEET NO.	0
TOTAL:	0
CAD FILE:	11875-2C-01-PERMIT
DRAWING FILE NO.	4-143-65



BILL OF MATERIALS		
ITEM	QTY	DESCRIPTION
1	2	3" X 8'-0" CHANNEL
2	2	3" X 8'-0" CHANNEL
3	N/A	CHANNELS ALLOW FOR UP TO 1" THK INFILL MATERIAL
4	16	1" X 6" X 6'-0" BOARDS
5	2	1" X 6" X 6'-0" NOTCHED INFILL/BOARDS
6	2	2-1/2" X 2-1/2" X 18GA, 5'-0" POST
7	2	2-1/2" X 2-1/2" CAP
8	6"	6" DIAMETER CONCRETE PIER
9	AN8 B8-8	1/4-20 X 1-1/2" UNC CARRIAGE BOLT
10	IN 100/107	1/4-20 HEX-HEAD FLANGE NUT
11	AN8 B8-8-4	-W/10 X 5/8" TAPPING
12		

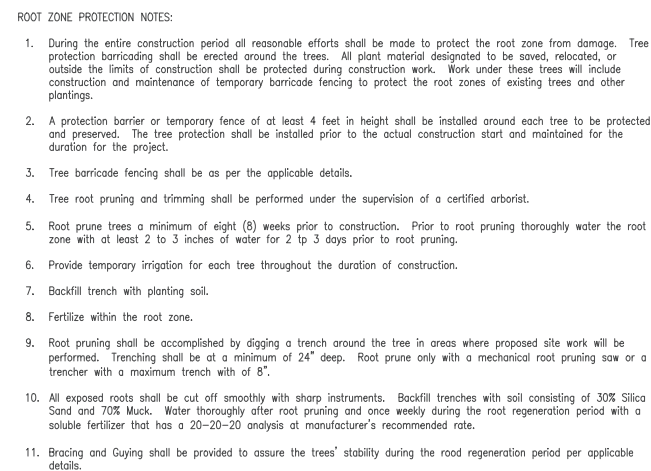


3250 West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No: 4213

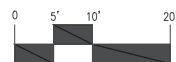
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CAD FILE:	11845-CZ-DT14
DRAWING FILE NO.	4-143-65

100 North Andrews Avenue, Fort Lauderdale, Florida 33301

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SCALE: 1"=10'

[illegible]

*Refer to sheet LD-02 for Replacement Trees.

3250 West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No: 4213

TEL: 305-728-7423

DESIGNED BY: AS NOTED	KM
	CHECKED BY: MH
FIELD BOOK:	

00 North Andrews Avenue, Fort Lauderdale, Florida 33301

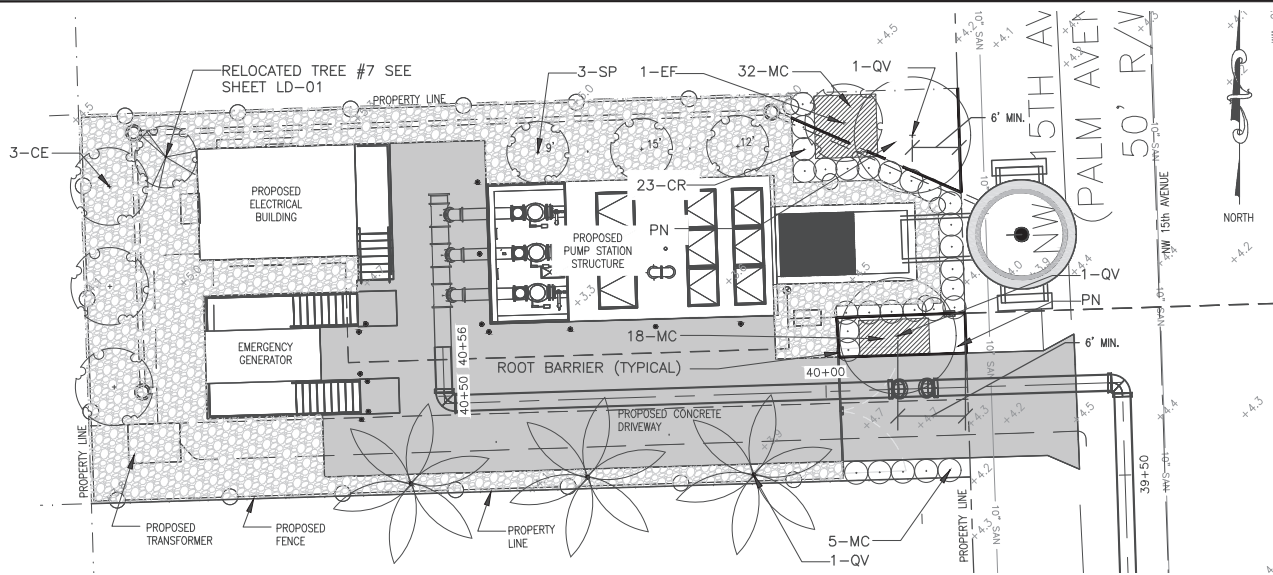
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PROJECT # 11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
TREE DISPOSITION PLAN

LD-01

TOTAL:	134
CAD FILE:	11845-LD-01 7-20-23
DRAWING FILE NO.	4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION



LANDSCAPE PLAN

PLANT SCHEDULE

QUANTITY	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
TREES					
QV	2	LIVE OAK	Quercus virginiana	4" cal., 13'-14' min. height, 100 Gal.	FL #1
EF	1	SPANISH STOPPER	Eugenia foetida	3" cal., 10'-13' min. height, 65 Gal.	FL #1
CE	3	SILVER BUTTONWOOD	Conocarpus erectus 'Sericeus'	3" cal., 10'-13' min. height, 65 Gal.	FL #1
SP	3	SABAL PALM	Sabal palmetto	15' OA, Smooth Trunk,	FL #1, PLANTING HEIGHT AS SHOWN.
PE	3	SOLITAIRE PALM	Ptychosperma elegans	12' OA, height, Field Grown.	FL #1, THREE TRUNK EACH
SHRUBS					
CR	28	RED TIP COCOPLUM	Chrysobalanus icaco 'Red Tip'	18" Ht., 9" Spd, 7 Gal.	FL #1
SHRUB AREAS					
MC	50	MUHLY GRASS	Muhlenbergia capillaris	24" SPRD., FULL, 3 Gal.	FL #1, 36" O.C.
GROUNDCOVERS					
PN	-	BAHIA SOD	Paspalum notatum 'Argentine'	SOD	

NOTES

- ALL PLANT MATERIAL TO BE GRADED FL. NO. 1.
- MULCH SHALL BE MELALEUCA GRADE B. DO NOT USE CYPRESS MULCH.
- ALL TREES TO HAVE A SINGLE STRAIGHT TRUNK AND PREDOMINATE CENTRAL LEADER UNLESS OTHERWISE SPECIFIED AS MULTI-TRUNKED.
- BALLED AND BURLAPED TREES SHALL HAVE A SOLID ROOT BALL WITH FIBROUS ROOTS THAT HAS BEEN 'HARDENED OFF' FOR A MINIMUM OF 4 WEEKS.
- ALL CONTAINERIZED TREES SHALL HAVE A SOLID ROOT BALL THE SIZE OF THE SPECIFIED CONTAINER BUT SHALL NOT BE ROOT BOUND.
- SOIL SHALL BE PROVIDED FOR ALL PLANTING AREAS IN ACCORDANCE WITH SPECIFICATION 02900 AND PLANTING DETAILS.
- PLANT SIZE SHALL TAKE PRECEDENCE OVER CONTAINER SIZE.
- COORDINATE TREE LOCATIONS WITH DRAINAGE SWALES/ DITCHES AND UTILITIES.
- ALL PLANT MATERIAL SPACES AS NOTED UNLESS OTHERWISE SHOWN ON PLANS.
- CONTRACTOR SHALL VERIFY ALL QUANTITIES WITH DRAWINGS. QUANTITIES ON PLANS SHALL PREVAIL OVER THE PLANTING SCHEDULE. CONTRACTOR SHALL DETERMINE SOD QUANTITIES BASED ON PLANS.
- SEE SHEET CD-ST-01 FOR ALL FINISH ELEVATIONS OF SITE.
- ALL PERVIOUS AREAS NOT OTHERWISE DESIGNATED SHALL RECEIVE SOD.

CITY OF FORT LAUDERDALE LANDSCAPE REQUIREMENTS
PROJECT: DORSEY RIVERBEND PUMP STATION
SITE DATA AND LANDSCAPE TABULATIONS

Landscape Tabulations, City of Fort Lauderdale Code, Section 47-21

Zoning District RS-8, Residential Single Family/Low Medium Density

General Site Data

	Distance, Width, Number, Area (s.f.)	REQUIRED/ ALLOWED	PROVIDED	REMARKS
Gross Acreage	5,624 s.f.	-	-	
Building Footprint Coverage	1,570 s.f.	-	-	
Vehicular Use Area (VUA)	1,762 s.f.	-	-	
Other Required Impervious Area	(See below.)	-	-	
Vehicular Use Area Landscape (VUA)	-	-	-	
Other Required Impervious Area	-	-	-	
Total Net Landscape Area	2,292 s.f.	-	-	
Total Lot Trees Required	(1) - tree for ea. 1,000 s.f. of lot area	6	13	
Minimum General Requirements				
Restrictions on Natives, Low Maint., Palms				
a) 50% Minimum Native	78 shrubs x .5 = 39	39	78	
	13 trees x .5 = 6.5	7	10	
b) 50% Min. Low Maintenance/Drought Tolerant	78 shrubs x .5 = 39	39	78	
	13 trees x .5 = 6.5	7	13	
Street Trees				
NW 15th Ave. R.O.W.	(1) - Tree per 40 l.f.	1	1	
Vehicular Use Area Landscaping (VUA)	1,762 s.f. / 1,000 = 1.8	2	2	Live Oak at east property line + Stopper at north property line
(1) - tree for each 1,000 s.f. of VUA	1.8 x 6 = 10.8	11	23	Muhly Grass north of driveway
(6) - shrubs for each 1,000 s.f. of VUA				
Rock Mulch Inside Fence	2,292 sf x .1 = 229	229 sf	1,878 sf	Pervious areas inside fence per City request to facilitate ease of maintenance.
10% of Landscape Area				
Existing Tree Equivalent Replacement	(See Sheet LD-01.)	\$3,352	-	
Trees Removed	(2) x \$1000 = \$2,000	-	-	Live Oak
Trees Provided	(3) x \$600 = 1,800	-	-	Silver Buttonwood
	(1) x \$400 = 400	-	-	Simpson's Stopper
Total = \$4,200			\$4,200	

Hazen

HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021
Certificate of Authorization No: 2771

HR

3250 West Commercial Boulevard
Suite 100
FL Lauderdale, Florida 33309-3459
Certificate of Authorization No: 4213

LANDSCAPE ARCHITECT:
KEVIN D. MIGHT
REG. NO. LA666708
NLR 125

TEL: 904-728-7423

DRAWN BY: KM
DATE: 06/09/2023

DESIGNED BY: KM
SCALE: AS NOTED

CHECKED BY: MH
FIELD BOOK:

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE



100 North Andrews Avenue, Fort Lauderdale, Florida 33301

REVISIONS

NO. DATE BY CHKD DESCRIPTION

PROJECT # 11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
LANDSCAPE PLAN

SHEET NO.

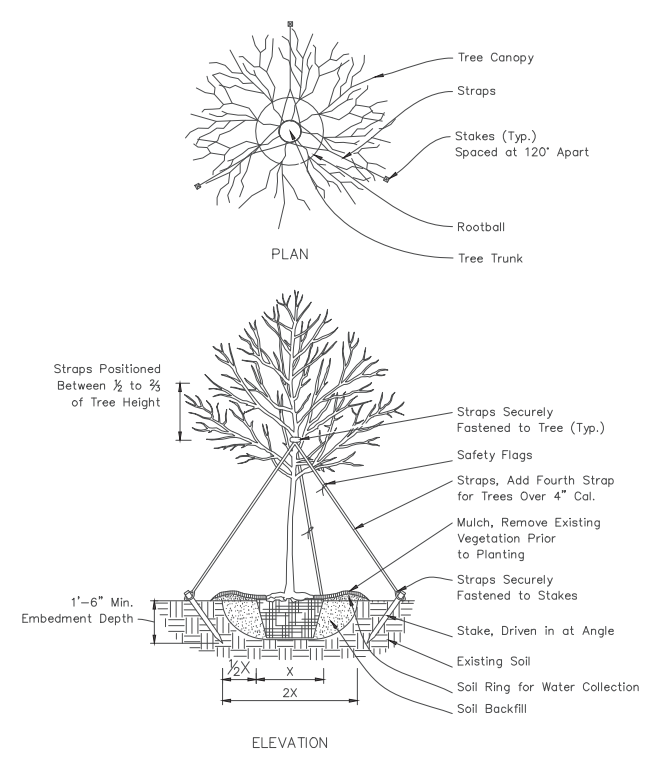
LD-02

TOTAL: 134

CAD FILE: 11845-LD-02_7-20-23

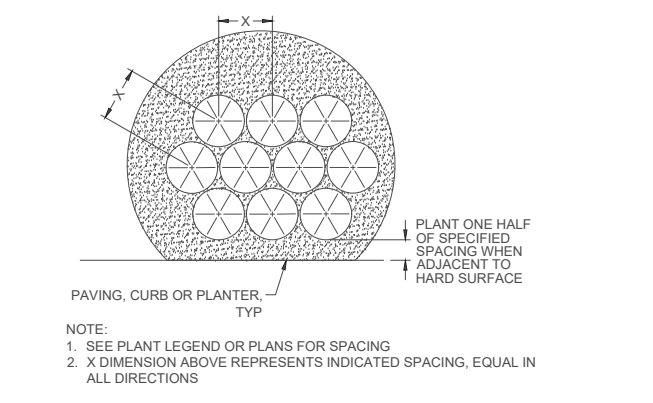
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DRC PERMIT - NOT FOR CONSTRUCTION



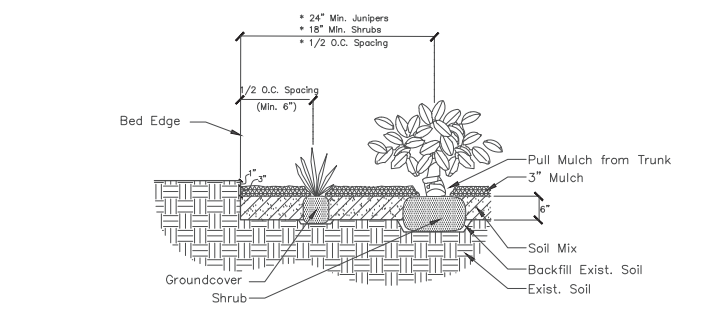
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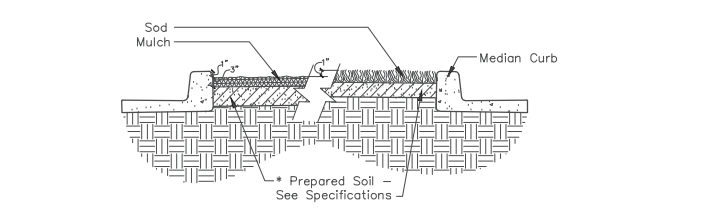
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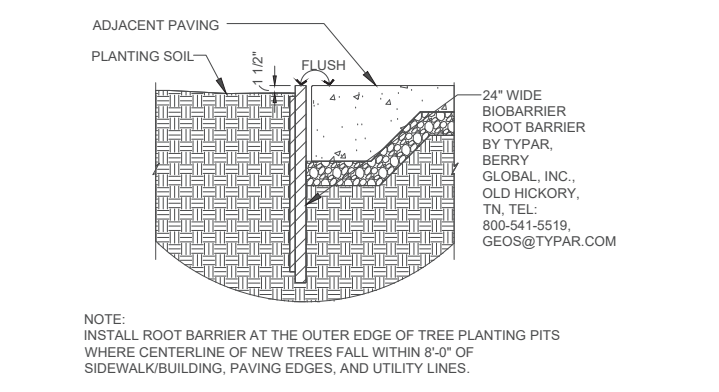
SHRUB AND GROUNDCOVER PLANTING

N.T.S.



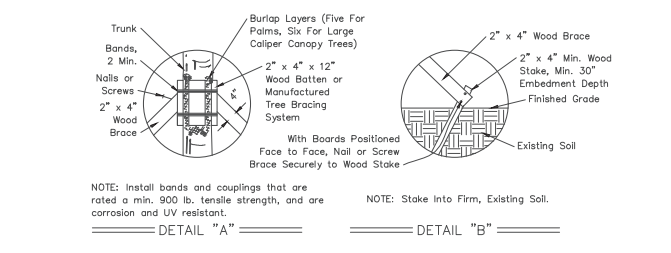
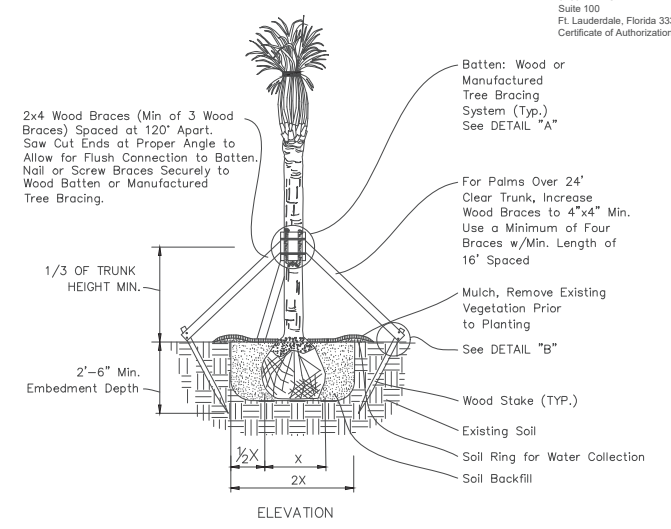
SOD AND MULCH

NOT TO SCALE



LINEAR ROOT BARRIER

NOT TO SCALE



PALM PLANTING

NOT TO SCALE

Hazen
HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021
Certificate of Authorization No: 2771

HR
3250 West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No: 4213

LANDSCAPE ARCHITECT:
KEVIN D. MIGHT
REG. NO. LA666706
FIRM ID#

DATE: 06/09/2023
DRAWN BY: KM
DESIGNED BY: SCALE: AS NOTED
CHECKED BY: MH
FIELD BOOK:

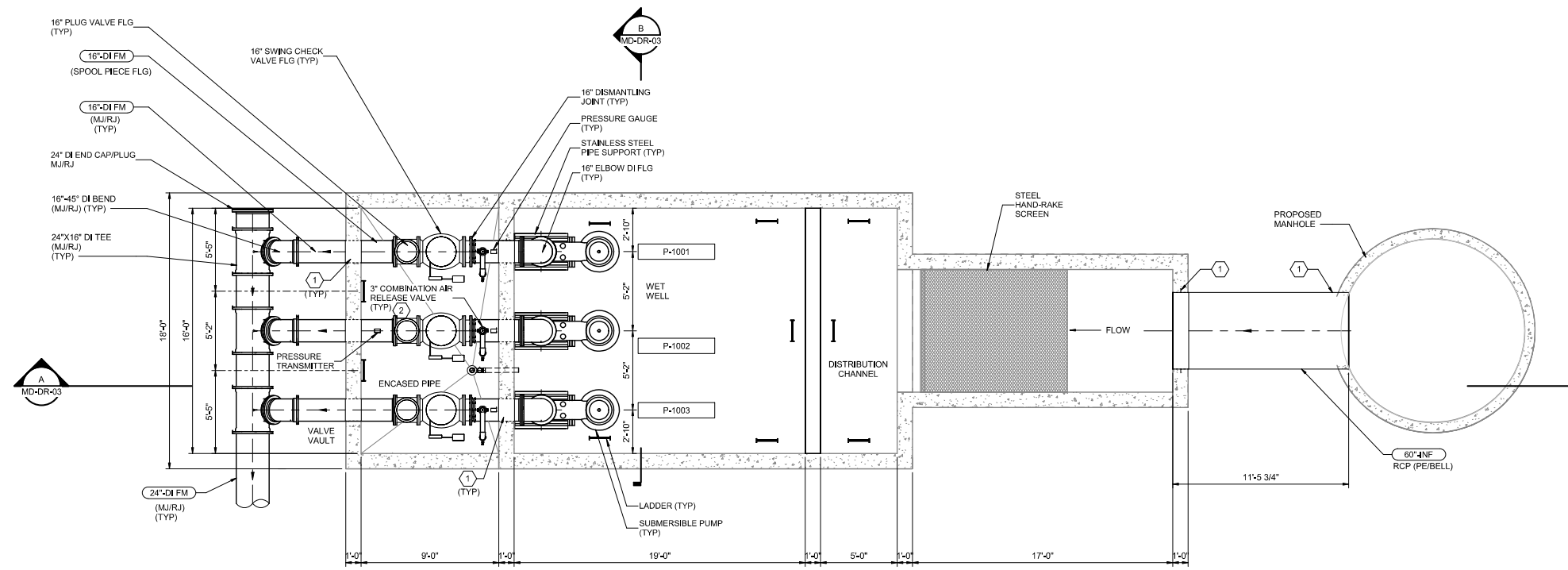
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PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE

100 North Andrews Avenue, Fort Lauderdale, Florida 33301

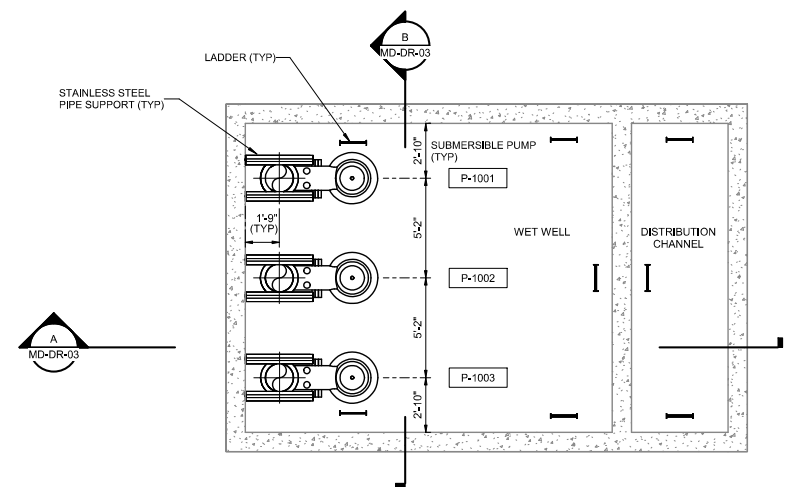
REVISIONS
NO. DATE BY CHKD DESCRIPTION

PROJECT # 11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
LANDSCAPE DETAILS

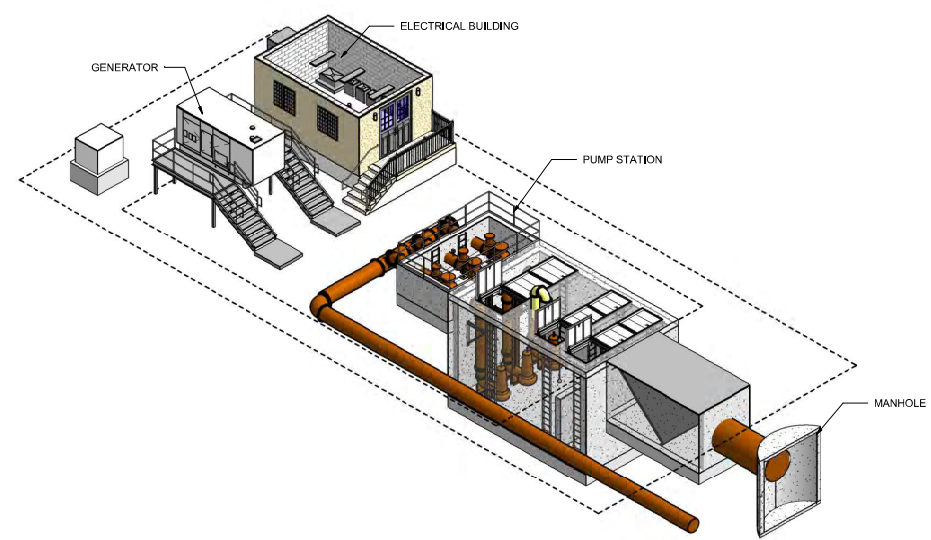
SHEET NO.
LD-03
TOTAL: 134
CAD FILE: 11845-LD-03
DRAWING FILE NO. 4-143-65



INTERMEDIATE PLAN
1/4" = 1'-0"



LOWER PLAN
1/4" = 1'-0"



3D PERSPECTIVE

HDR
HDR Engineering, Inc. of the Carolinas
440 S. Church Street, Suite 1200
Charlotte, NC 28202
704.338.6700
N.C.B.E.L.S. License Number F-0116

Hazen
HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021

DRC PERMIT - NOT FOR CONSTRUCTION

- KEYNOTES:**
- 1. SEE DETAIL 2 AND 5 ON SHEET MD-DR04.
 - 2. SEE DETAIL 1 ON SHEET MD-DR04.

ENGINEER:
HEATHER MANGANELLO
REG. NO. 00060
DATE:
FAX: 941.342.2738

DRAWN BY: AAW
DESIGNED BY: HJM
CHECKED BY: HHH
FIELD BOOK: N/A

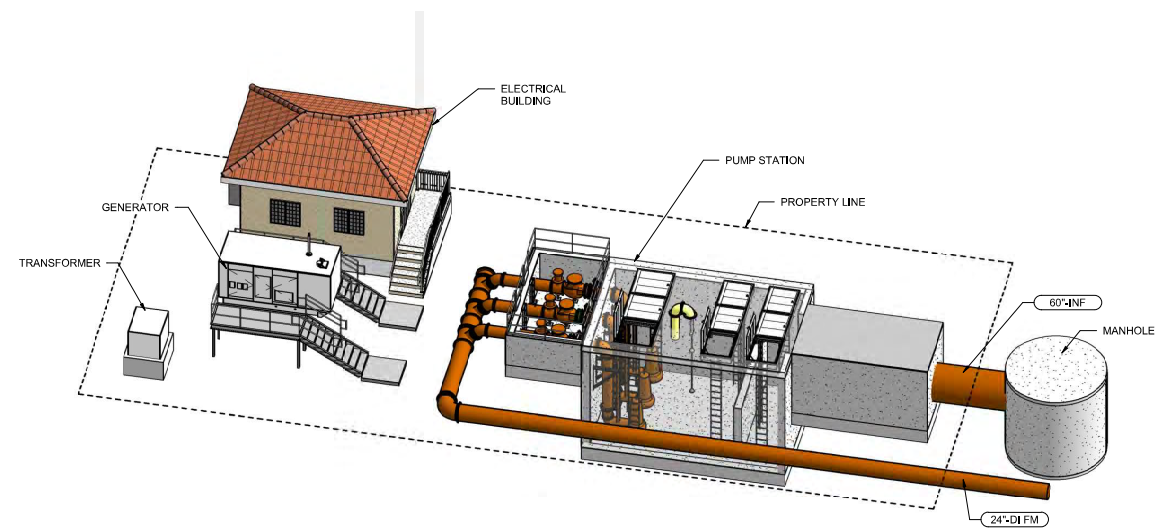
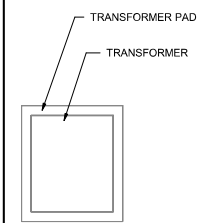
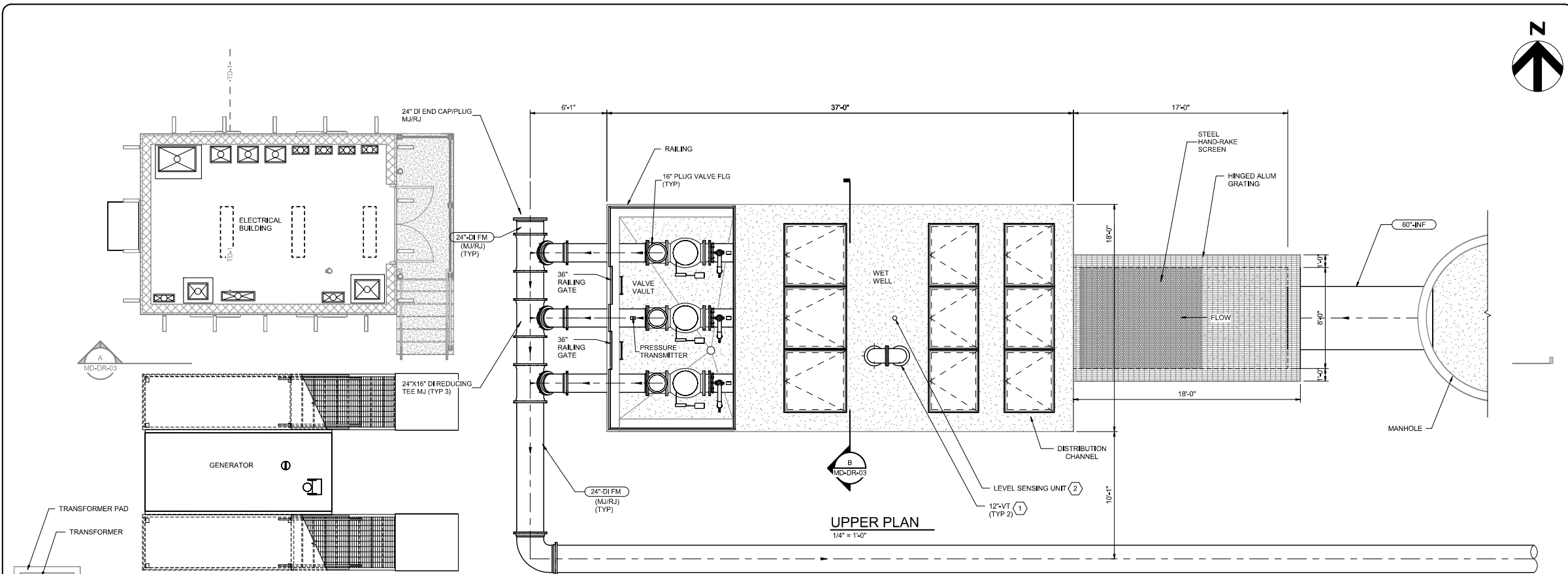
CITY of FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE

100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	REVISIONS	
		BY	CHK'D
	4/2023		

PROJECT # 10345814
H&S Dorsey Riverbend
PUMP STATION
PUMP STATION DETAILS

SHEET NO.	MD-DR-01
TOTAL	133
REVIT FILE:	
DRAWING FILE NO.	4-143-65



- KEYNOTES:**
1. SEE DETAIL 4 ON SHEET MD-DR04.
 2. SEE DETAIL 8 ON SHEET MD-DR04.

HDR
HDR Engineering, Inc. of the Carolinas
440 S. Church Street, Suite 1200
Charlotte, NC 28202
704.338.6700
N.C.B.E.L.S. License Number F-0116

Hazen
HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021

ENGINEER: ROBERT MANGANELLO
REG. NO: 00060
DATE: 4/12/23
SCALE: 1/4" = 1'-0"
DRAWN BY: Author
DESIGNED BY: Designer
CHECKED BY: Checker
FIELD BOOK: N/A

DATE: 02/2023
SCALE: 1/4" = 1'-0"
DRAWN BY: Author
DESIGNED BY: Designer
CHECKED BY: Checker
FIELD BOOK: N/A

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

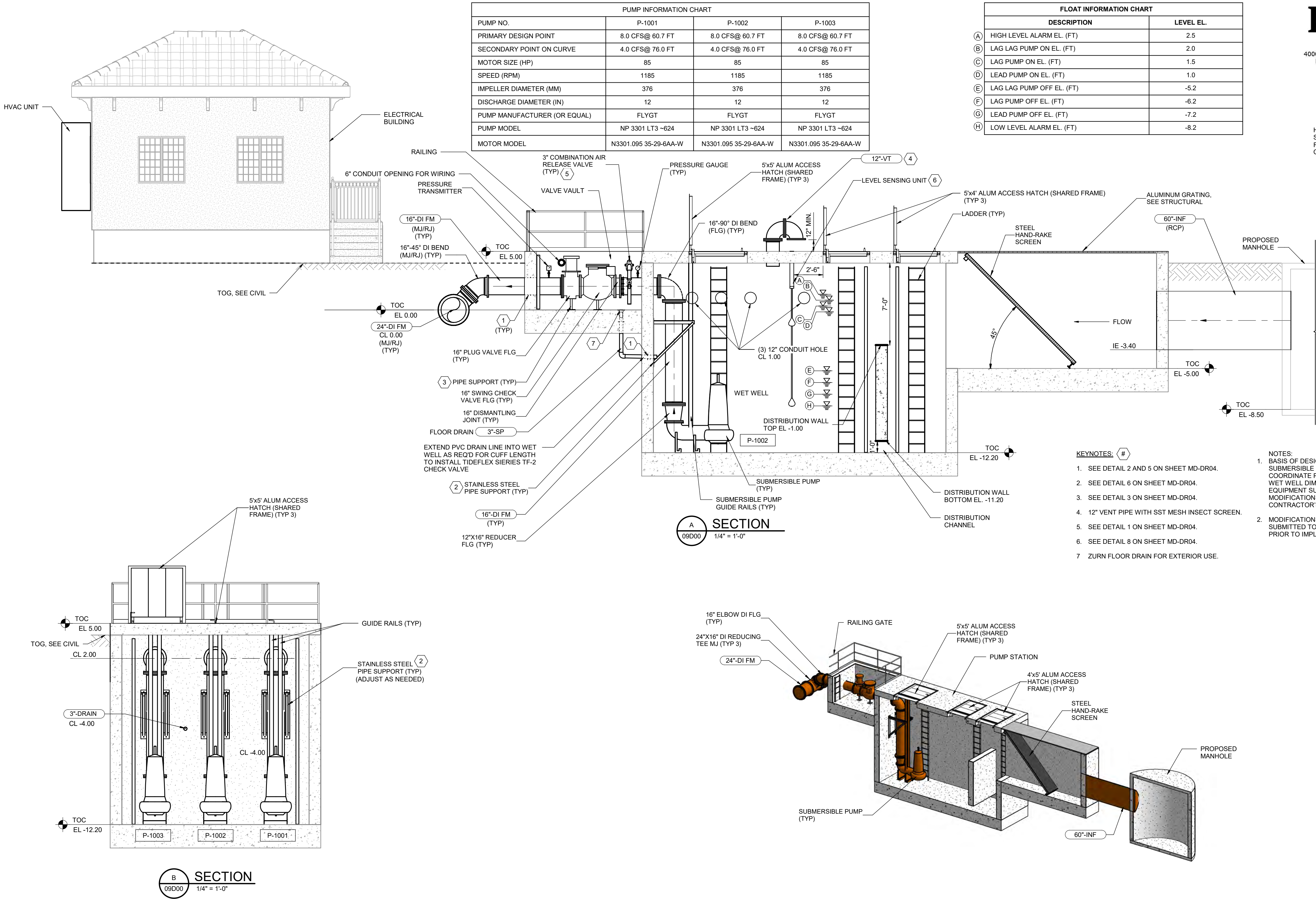
NO.	DATE	BY	CHK'D	DESCRIPTION	ISSUED FOR PERMITTING
	4/2023				

PROJECT# 10345814
H&S Dorsey Riverbend
PUMP STATION
PUMP STATION UPPER PLAN

SHEET NO.	MD-DR-02
TOTAL	133
REVIT FILE:	10345814-02-0.rvt
DRAWING FILE NO.	4-143-65

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3D PERSPECTIVE



Hazen
HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021

HDR
HDR West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No. 4213

ENGINEER: HEATHER MANGANELLO
REG. NO: 6636
DATE: 04/2023

DRAWN BY: Author
DESIGNED BY: Designer
CHECKED BY: Checker
FIELD BOOK: N/A

CITY of FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE

100 North Andrews Avenue, Fort Lauderdale, Florida 33301

PROJECT # 11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
PUMP STATION SECTIONS

SHEET NO. MD-DR-03

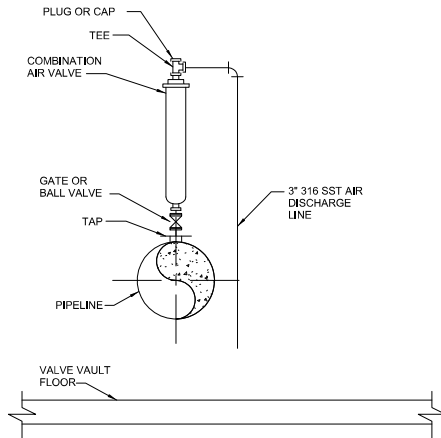
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DRC PERMIT - NOT FOR CONSTRUCTION

NOTES

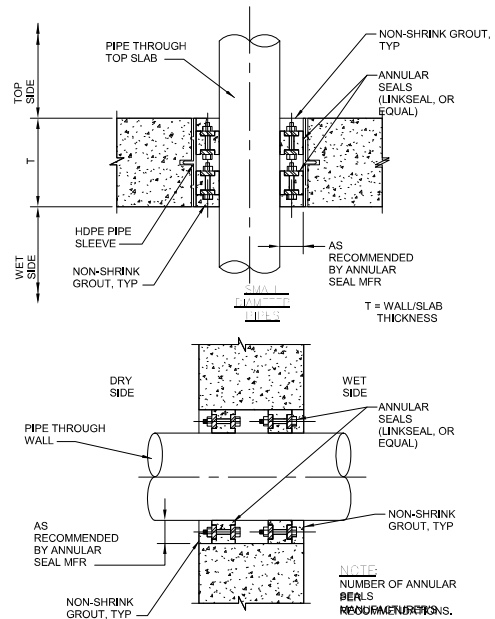
1. FINAL SIZE OF TAP, VALVES, AND PIPING SHALL

2. USE FLANGED OR NPT CONNECTIONS FOR TAP



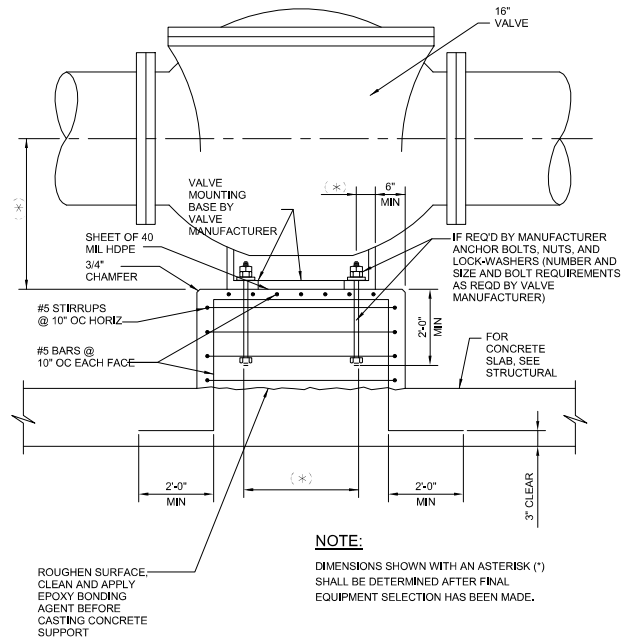
COMBINATION AIR VALVE

DETAIL	1
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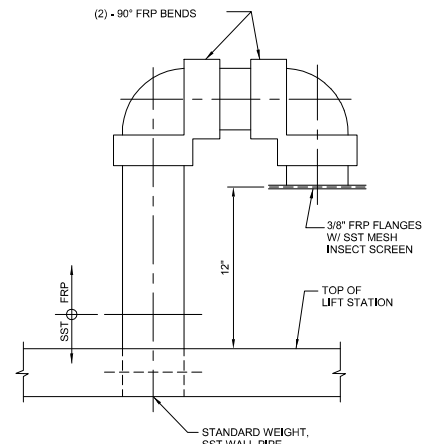
PIPE PENETRATION

DETAIL	2
NO SCALE	.



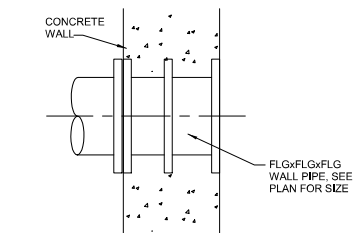
CONCRETE VALVE SUPPORT

DETAIL	3
NO SCALE	.



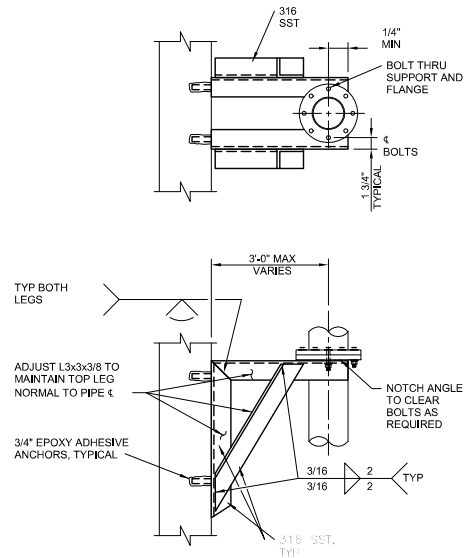
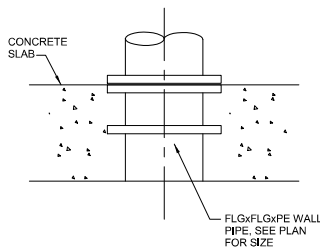
FRP VENT PIPE

DETAIL	4
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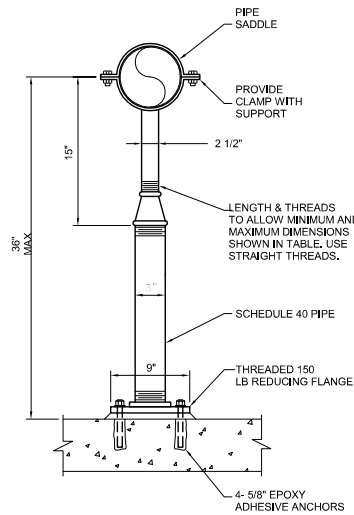
PIPE PENETRATION - WALL PIPE

DETAIL	5
NO SCALE	.



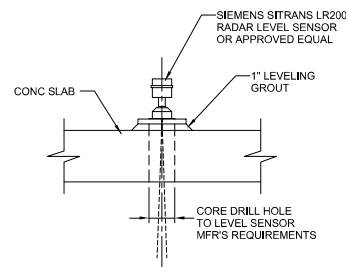
RISER PIPE SUPPORT

DETAIL	6
NO SCALE	.



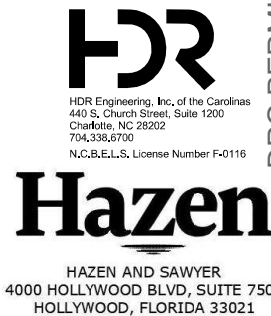
FLOOR STAND PIPE SUPPORT

DETAIL	7
NO SCALE	.



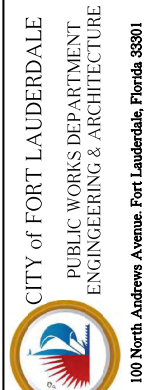
LEVEL SENSING UNIT

DETAIL	8
NO SCALE	.



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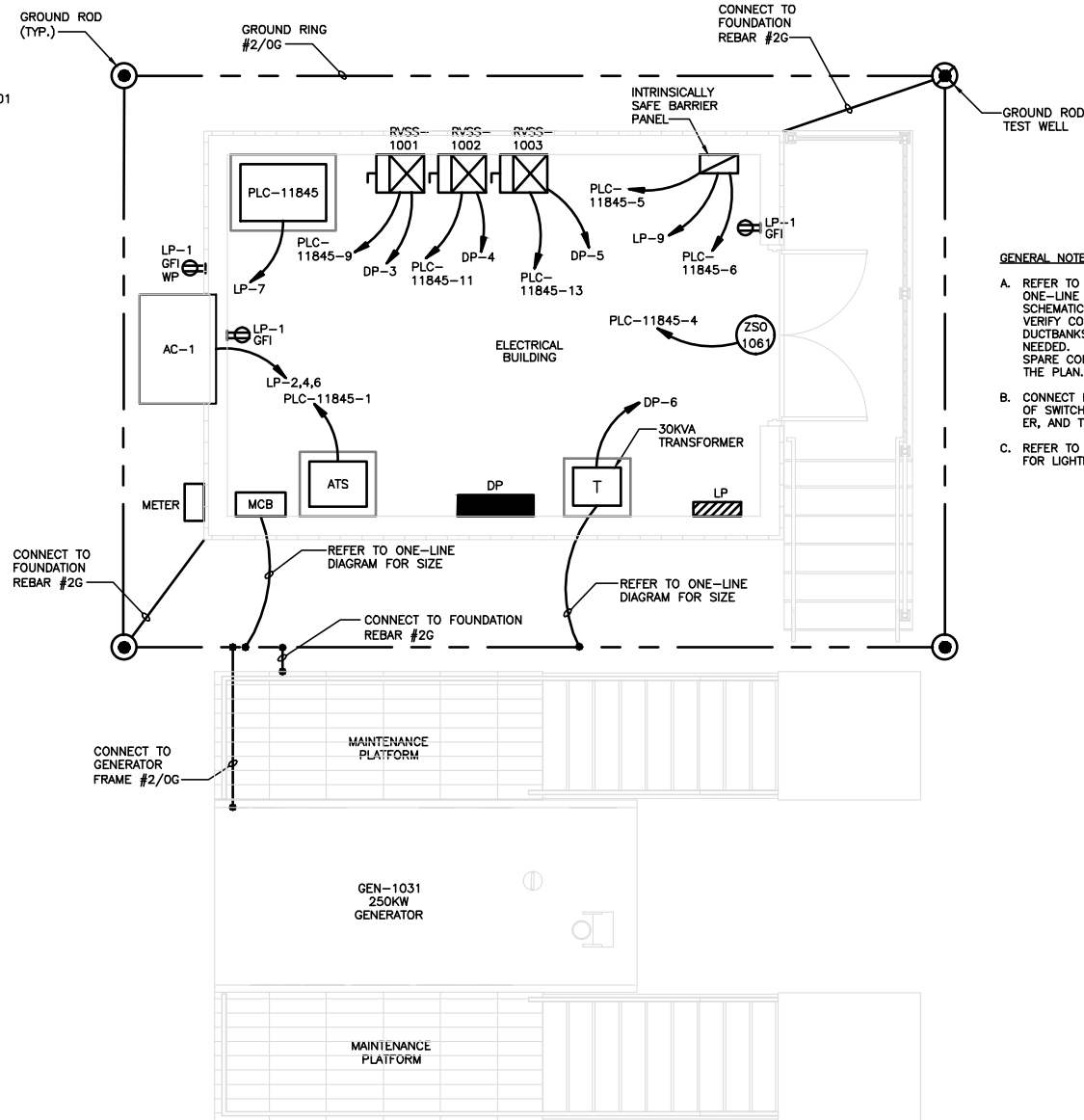
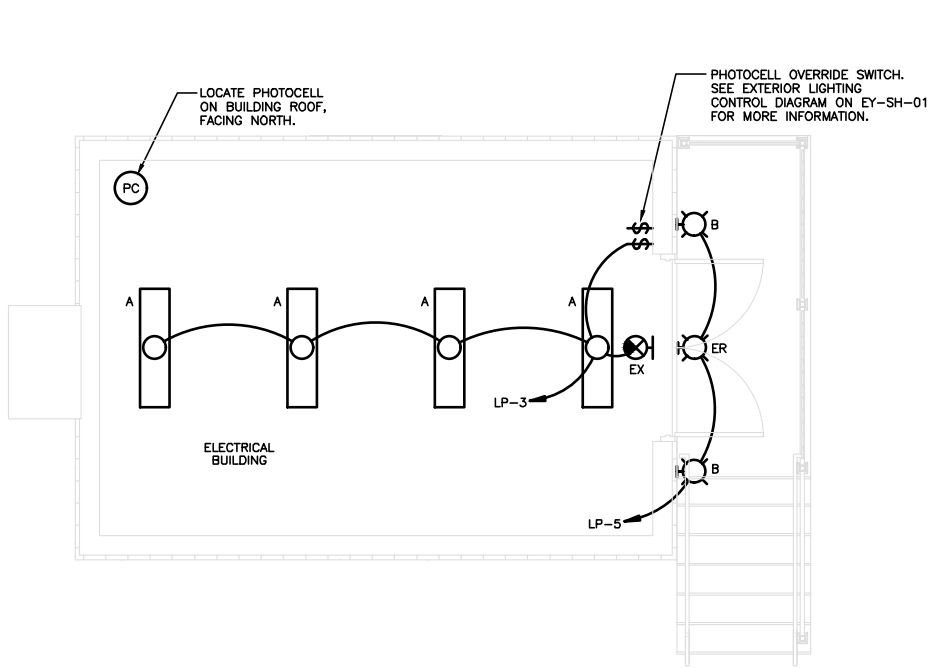
ENGINEER:	REUTHER MANGANELLO
REG. NO.:	00060
DATE:	
DESIGNED BY:	Author
CHECKED BY:	Designer
FIELD NOOK:	Checker
DATE:	02/2023
SCALE:	12" = 1'-0"
FIELD NOOK:	N/A

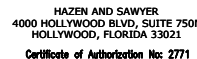


NO.	DATE	BY	CHK'D	DESCRIPTION
	4/2023			ISSUED FOR PERMITTING

PROJECT# 10345814
H&S Dorsey Riverbend
PUMP STATION
PUMP STATION DETAILS

SHEET NO.	MD-DR-04
TOTAL	133
REVIT FILE:	
DRAWING FILE NO.	4-143-65





DRAWN BY: JEVT	DATE: 03/20/2023
DESIGNED BY: JEVT	SCALE: NONE
CHECKED BY: JTS	
FIELD BOOK: XXXX	



CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE

100 North Andrews Avenue, Fort Lauderdale, Florida 33301

REVISIONS			
NO.	DATE	BY	DESCRIPTION
	03/2023		DRAFT BID SET

PROJECT # P11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
PANELBOARD AND LIGHT FIXTURE
SCHEDULES

SHEET NO.	
EY-SH-02	
TOTAL:	131
CAD FILE:	
11845-EY-SH-02	
DRAWING FILE NO.	
4-143-65	

PANEL BOARD NO: LP																								BUS RATING (A): 100												ENCLOSURE: NEMA 1											
VOLTAGE (L-L): 208																								MAIN OC DEVICE (A/PHASE): 100												MOUNTING: SURFACE											
VOLTAGE (L-N): 120																								INTERRUPTING RATING (KA): 14												LOCATION: ELECTRICAL ROOM											
PHASE / WIRE: 3 / 4+G																								SERVICE ENTRANCE LABEL: YES																							
200% NEUTRAL: NO																																															
WIRING					CKT	CONNECTED LOAD (VA)										AMP		CONNECTED LOAD (VA)										WIRING																			
PHASE	NEUT.	GRND.	COND.	NO.	DESCRIPTION	LTS	REC	MECH	MISC	AMPS	P	LTS	REC	MECH	MISC	DESCRIPTION	NO.	PHASE	NEUT.	GRND.	COND.																										
12	12	12	3/4"	1	GENERAL RECEP		540			20	1	A					2																														
12	12	12	3/4"	3	INTERIOR LIGHTS	248				20	1	B					4	10			3/4"																										
12	12	12	3/4"	5	EXTERIOR LIGHTS	90				20	1	C					6																														
12	12	12	3/4"	7	PLC-11845				1,200	20	1	A					8																														
12	12	12	3/4"	9	ISB PANEL				1,000	20	1	B					10	12	12	12	1"																										
10	10	10	1"	11	WETWELL RECEP.		540			20	1	C	20	1		1,200	12	12	12	12	1"																										
12	12	12	3/4"	13	SPARE					20	1	A	20	1		1,500	14	12	12	12	1"																										
				15	SPARE					20	1	B	20	2		1,500	16																														
				17	SPARE					20	1	C	20	2		1,500	18	12	12	12	1"																										
				19	SPARE					20	1	A	20	1			20																														
				21	SPARE					20	1	B	20	1			22																														
				23	SPARE					20	1	C	20	1			24																														
				25	SPARE					20	1	A	20	1			26																														
				27	SPARE					20	1	B	20	1			28																														
				29	SPARE					20	1	C	20	1			30																														
				31	SPARE					20	1	A	20	1			32																														
				33	SPARE					20	1	B	20	1			34																														
				35	SPARE					20	1	C	20	1			36																														
				37	SPARE					20	1	A					38																														
				39	SPARE					20	1	B	30	3			40	10	10	10	3/4"																										
				41	SPARE					20	1	C					42																														
NOTES:					LOAD SUMMARY																		NOTES:																								
CONNECTED LOAD (KVA)						0.3	1.1	11.3	7.9	—	20.6	208 LINE-TO-LINE VOLTS						PHASE BALANCE																													
DEMAND FACTOR						1.25	NEC	1.00	1.00	20%	—	57 CONNECTED AMPS						PHASE B (KVA)																													
DESIGN LOAD (KVA)						0.4	1.1	11.3	7.9	4.1	24.8	69 DESIGN AMPS						PHASE C (KVA)																													
** MISC DEMAND INCLUDES 25% OF LARGEST MOTOR KVA																							* REFER TO ONE-LINE DIAGRAM																								

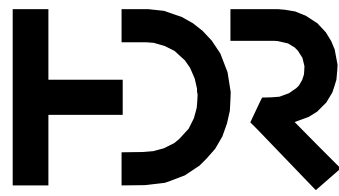
LIGHTING FIXTURE SCHEDULE							
FIXTURE DESIG.	MANUFACTURER	CATALOG SERIES	DESCRIPTION	QTY	TYPE	FIXTURE WATTS	FIXTURE VOLT.
A	LITHONIA	CS S L48 400LM MVOLT 40K 60CRI IETW/CP	SUSPENDED OR SURFACE MOUNT 4' LED LENSED INDUSTRIAL STRIP FIXTURE. HEAVY DIE-FORMED STEEL CHANNEL, HIGH GLOSS BAKED ENAMEL FINISH, AND EMERGENCY BATTERY BACKUP.	4	LED 4000K	35.3	120-277 MULTI- VOLT
B	LITHONIA	OLLWD LED P1 40K MVOLT DDB	DECORATIVE LED WALL CYLINDER LIGHT. CAST ALUMINUM HOUSING WITH CORROSION-RESISTANT PAINT AND POLYCARBONATE LENS. DARK BRONZE FINISH. WET LOCATION LISTED. SEE DRAWING FOR MOUNTING HEIGHT. PROVIDE EXTERNAL PHOTOCELL CONTROL WITH MANUAL OVERRIDE SWITCH.	5	LED 4000K	9.1	120-277 MULTI- VOLT
ER	LITHONIA	AFO DB MVOLT N SD CW	ATTRACTIVE LOW PROFILE REMOTE EMERGENCY UNIT WITH DIE CAST ALUMINUM HOUSING, DARK BRONZE FINISH, AND NICKEL CADMIUM BATTERY.	2	LED	2.8	120-277 MULTI- VOLT
EX	LITHONIA	LHQM LED R HO	ATTRACTIVE PLASTIC EXIT SIGN/EMERGENCY COMBO UNIT, IMPACT RESISTANT, CORROSION-PROOF, WHITE FINISH, RED LETTERS, SELF-DIAGNOSTIC ELECTRONICS, NICKEL CADMIUM BATTERY.	1	LED	0.82	120-277 MULTI- VOLT
NOTES:							
1. THE MANUFACTURER AND CATALOG SERIES NUMBERS PROVIDED IN THE ABOVE SCHEDULE ARE USED ONLY TO DENOTE THE QUALITY STANDARD OF PRODUCT DESIRED TO MEET THE SCHEDULED REQUIREMENTS AND DO NOT RESTRICT THE CONTRACTOR TO A SPECIFIC BRAND, MAKE, OR MANUFACTURER. THEY ARE USED ONLY TO SET FORTH AND CONVEY THE GENERAL STYLE, TYPE, CHARACTER, AND QUALITY OF PRODUCTS DESIRED TO MEET THE SCHEDULED REQUIREMENTS. EQUIVALENT PRODUCTS MAY BE ACCEPTABLE.							

DRC PERMIT-NOT FOR CONSTRUCTION

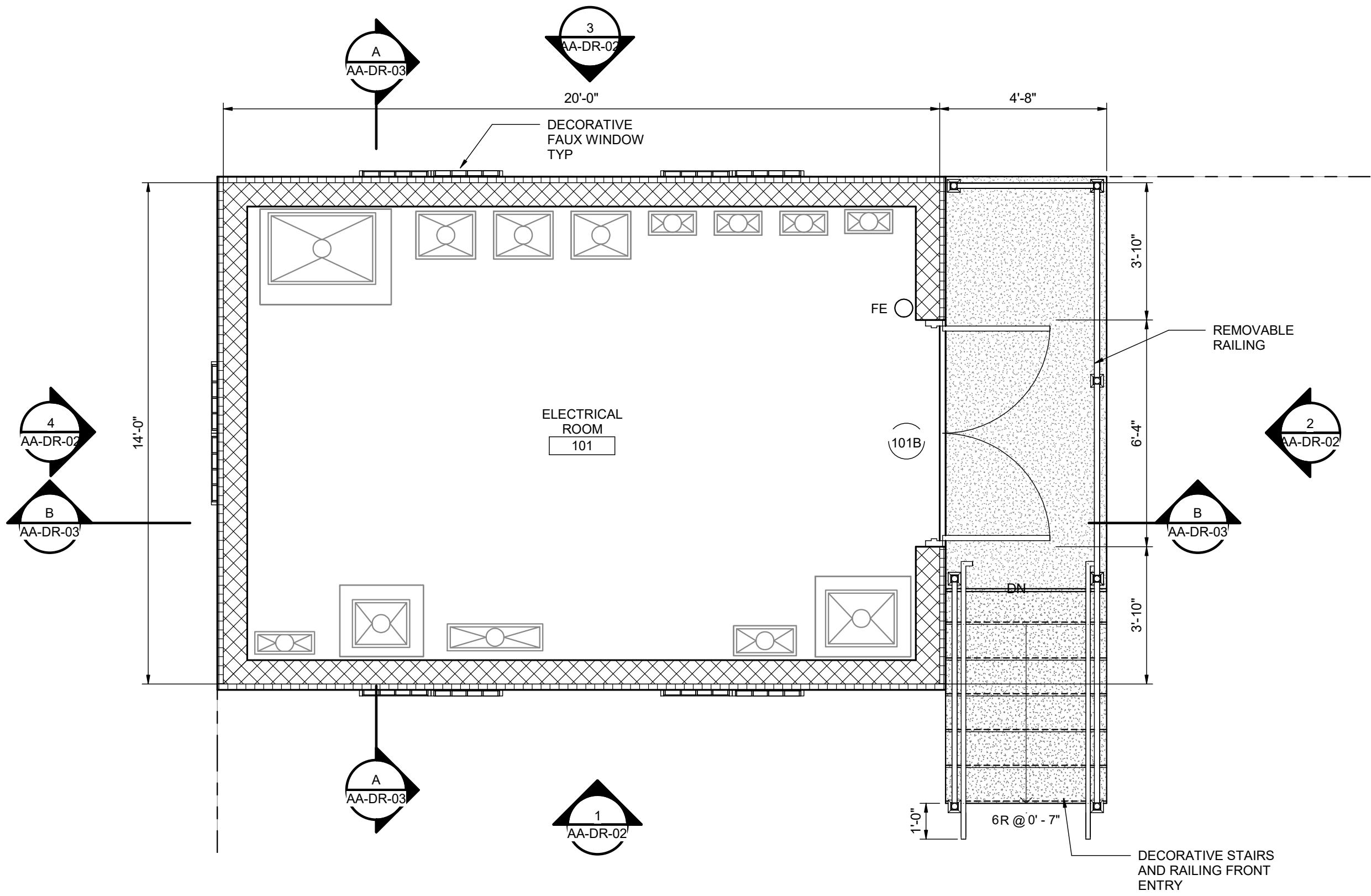
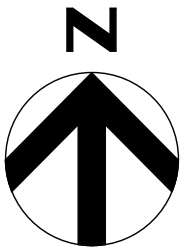
2019 ASHRAE 90.1 ENERGY STANDARD FOR BUILDINGS				
ENERGY CODE THERMAL ZONE 1A				
THERMAL ELEMENTS	CONDITIONED REQ	SEMI-HEATED	PROVIDED	REFERE...
INSULATION ABOVE ROOF DECK	R-20 CI	R-4	R-20 CI	T 5.5-3
MASS WALL	NR	NR	R-10	
WALLS BELOW GRADE	NR	NR	NA	
FLOORS	NA	NA	NA	
SLAB ON GRADE FLOORS (MASS)	NR	NR	NR	
OPAQUE SWINGING DOORS	U-0.37	U-0.73	U-0.29	5.5.4.2.3
OPAQUE NONSWINGING DOORS	U-0.31	U-1.45	U-1.45	
WINDOWS	U-0.50	U-1.2	U-0.50	
TRANSLUCENT ROOF PANELS (3% MIN OF ROOF)	NA	NA	NA	
TRANSLUCENT ROOF PANEL SHGC	NA	N/A	NA	
DOORS WITH WINDOWS	U-0.83	U-1.10	U-0.83	
2020 FLORIDA ENERGY CODE ALLOWS USE OF 2019 ASHRAE 90.1 AS APPLICABLE COMPLIANCE IN SECTION C401.1.				
ASHRAE 90.1 INCLUDES LESS STRINGENT THERMAL ENVELOPE REQUIREMENTS FOR INDUSTRIAL BUILDINGS				
2020 FLORIDA ENERGY CODE DOES NOT REQUIRE NATURAL LIGHTING MINIMUMS PER SECTION C402.4.2 EXCEPTION #2				

EXTERIOR PRODUCT APPROVAL INFORMATION BASIS OF DESIGN OR EQUAL			
PRODUCT DESCRIPTION	MANUFACTURER APPLICANT	MIAMI-DADE NOTICE OF APPROVAL NO.	EXPIRATION DATE
N-SERIES OUTSWING OPAQUE STEEL DOORS	MESKER DOOR	20-0708.09	7/16/2025
EIFS OVER CMU	MASTER BUILDERS	21-0517.09	10/8/2025
FLORIDA METAL BARREL TILE ROOF	FLORIDA METAL ROOFING PRODUCTS	21-0202.05	4/13/2026

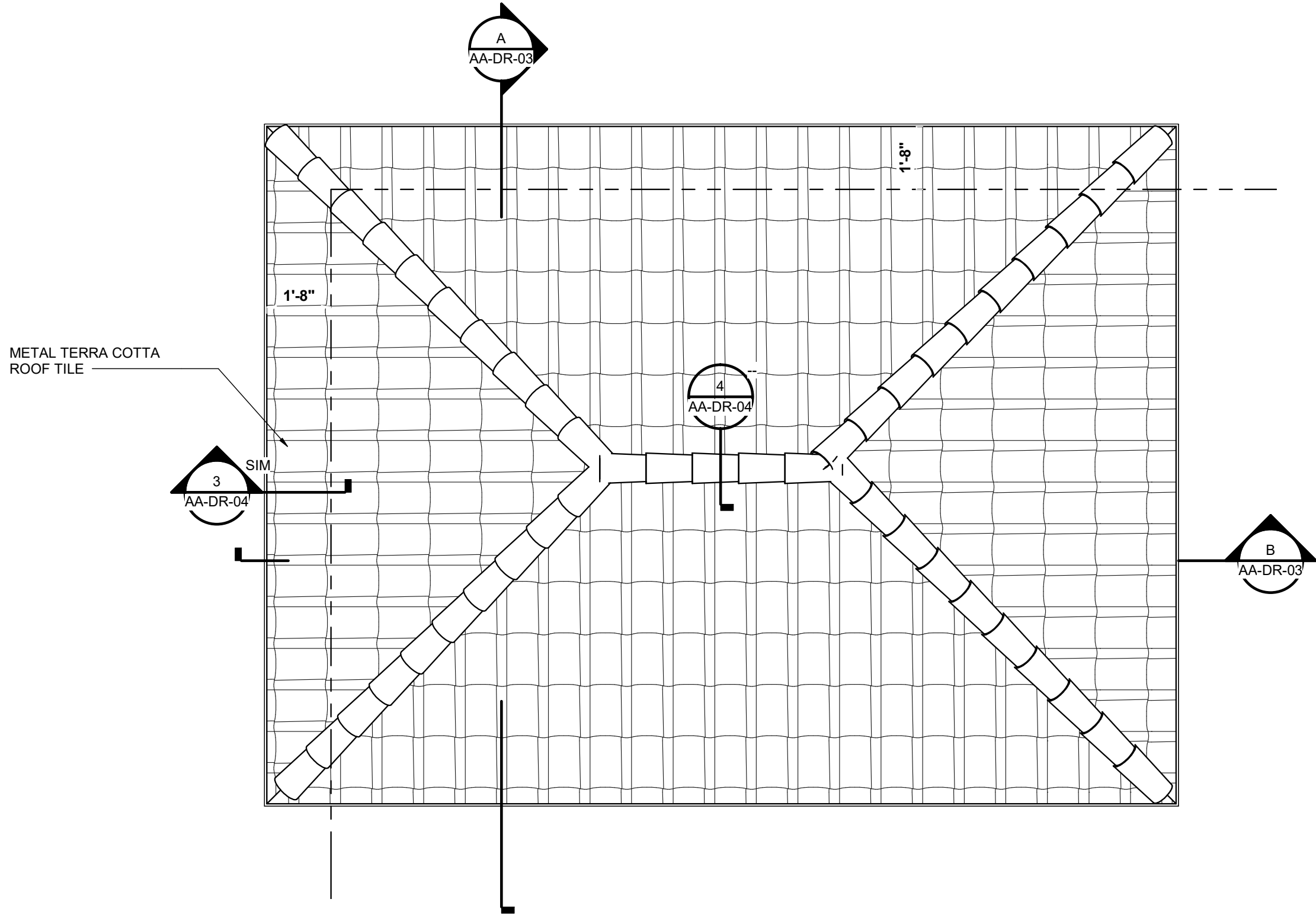
Hazen
HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021



3250 West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No:
AA26003566



FLOOR PLAN
3/8" = 1'-0"



ROOF PLAN
3/8" = 1'-0"

DRC PERMIT - NOT FOR CONSTRUCTION

PROJECT # 11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
PLANS

SHEET NO.	
AA-DR-01	
TOTAL	134
REVIT FILE:	10345814-02-A.rvt
DRAWING FILE NO.	4-143-65

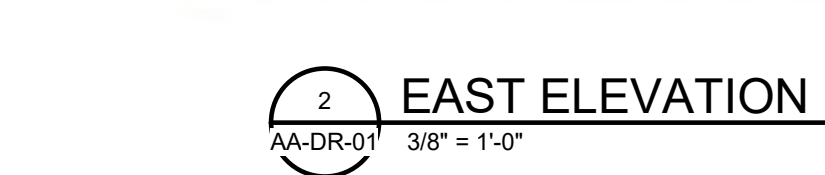
REVISIONS		DESCRIPTION	DRC COMMENTS
NO.	DATE	BY	CHK'D
09	2023		



CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE

100 North Andrews Avenue, Fort Lauderdale, Florida 33301

PROJECT: JAMES REDDICK		DATE: 9/22/2023		TEL: 701.338.6738	
REG. NO.		SCALE: 3/8" = 1'-0"		FAX:	
DRAWN BY: JRW		DESIGNED BY: JIR		FIELD BOOK: N/A	
DATE: 2022		CHECKED BY: JIR			



3250 West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No:
AA26003566

DRAWN BY:	DATE:
JRW	2022
DESIGNED BY:	SCALE:
JR	3/8"
CHECKED BY:	=
JR	1'-0"
FIELD BOOK:	
N/A	

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE

REVISIONS				
NO.	DATE	BY	CHK'D	DESCRIPTION
	09/2023			DRC COMMENTS

DRC PERMIT - NOT FOR CONSTRUCTION

PROJECT # 11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
ELEVATIONS

SHEET NO.
AA-DR-02

TOTAL 134

REVIT FILE:
10345814-02-A.rvt

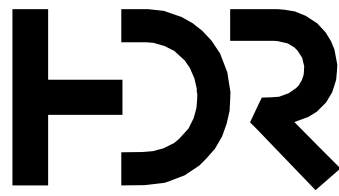
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4-143-65

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Hazen

HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021



3250 West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No:
AA26003566

ARCHITECT:
JAMES REDDICK
REG. NO.
DATE:
TEL: 701.338.6738
FAX:

DRAWN BY: DATE: 2022
DESIGNED BY: SCALE: 3/8"
CHECKED BY: 1'-0"
FIELD BOOK: N/A

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE



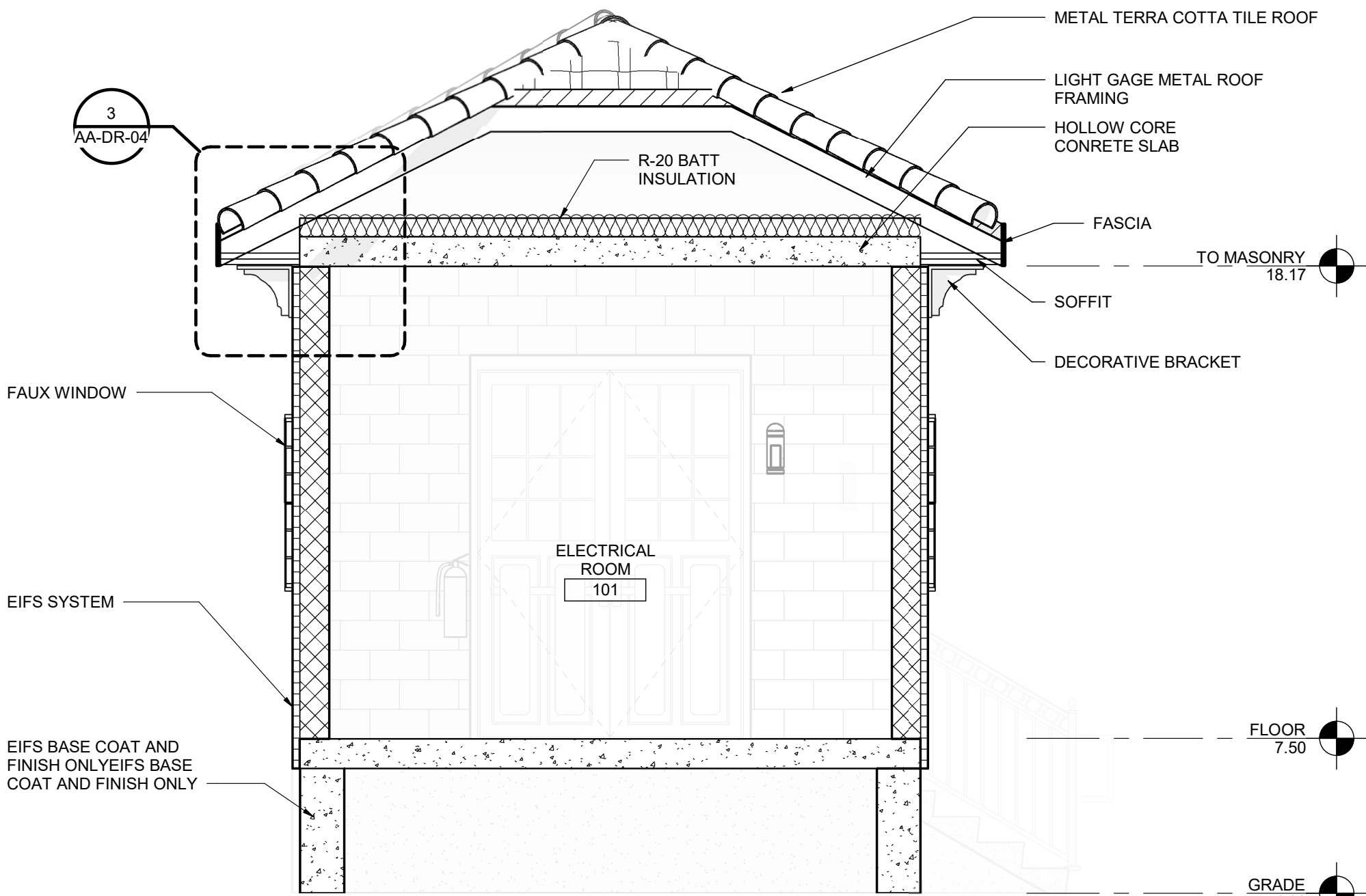
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

REVISIONS			DESCRIPTION	DRC COMMENTS
NO.	DATE	BY		
01	09/20/23			

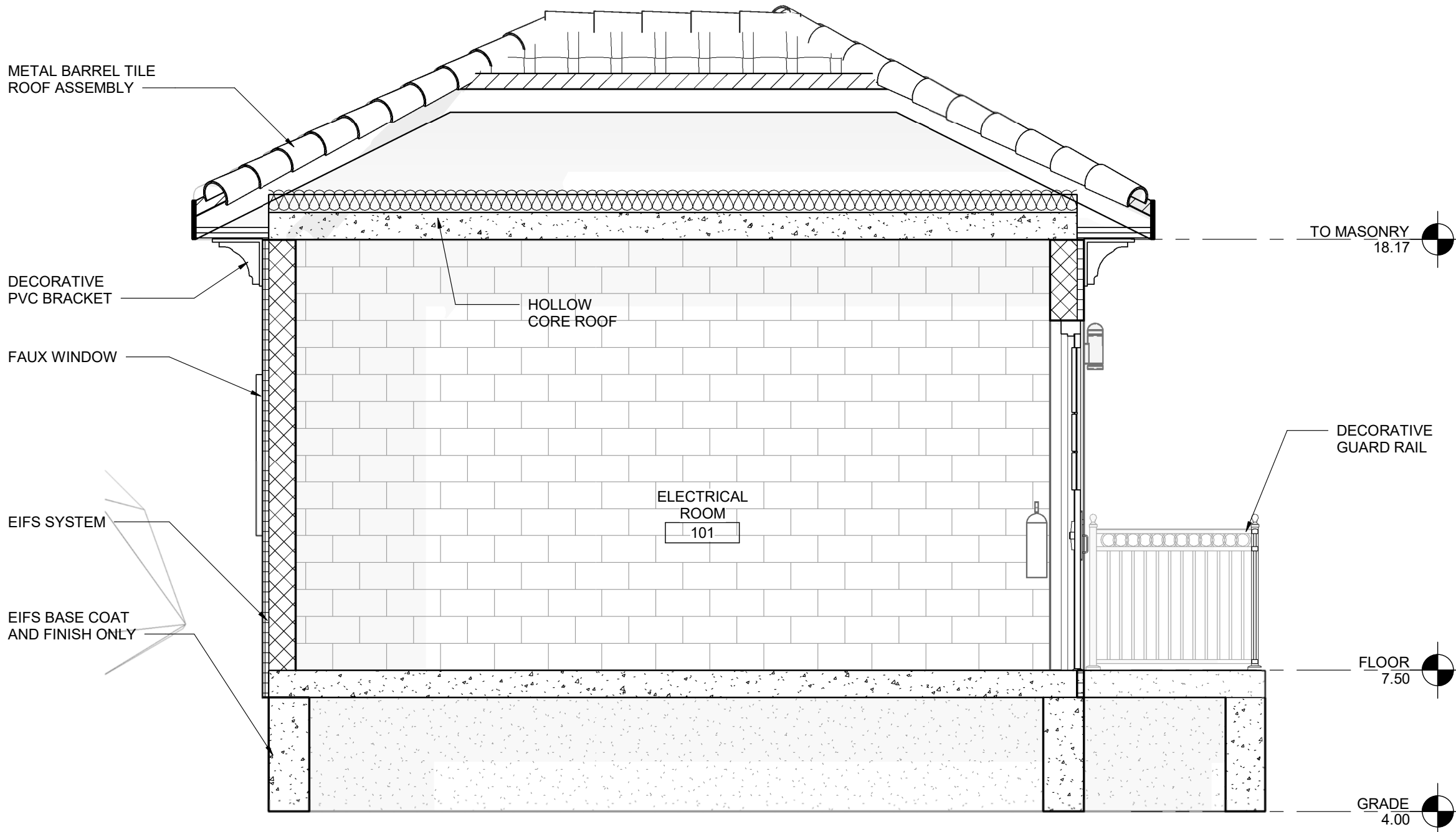
PROJECT # 11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
BUILDING SECTIONS

SHEET NO.
AA-DR-03
TOTAL 134
REVIT FILE:
10345814-02-A.rvt
DRAWING FILE NO.
4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION



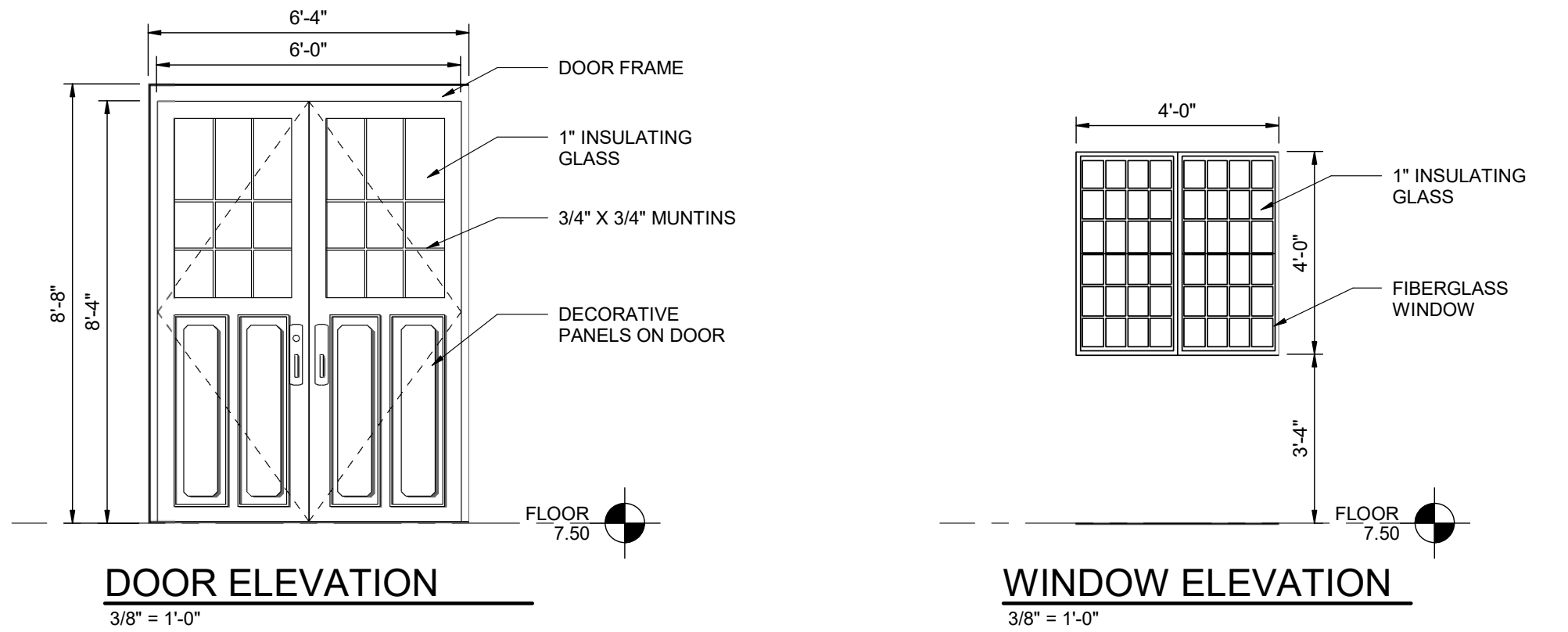
A BUILDING SECTION
AA-DR-01 3/8" = 1'-0"



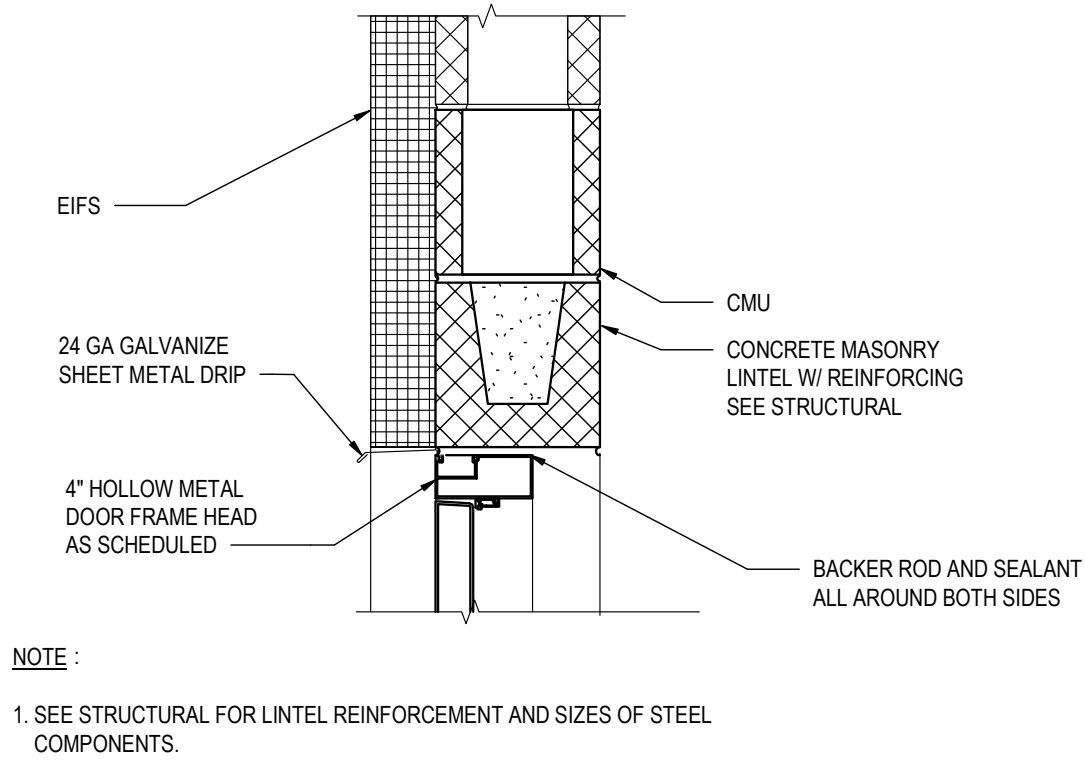
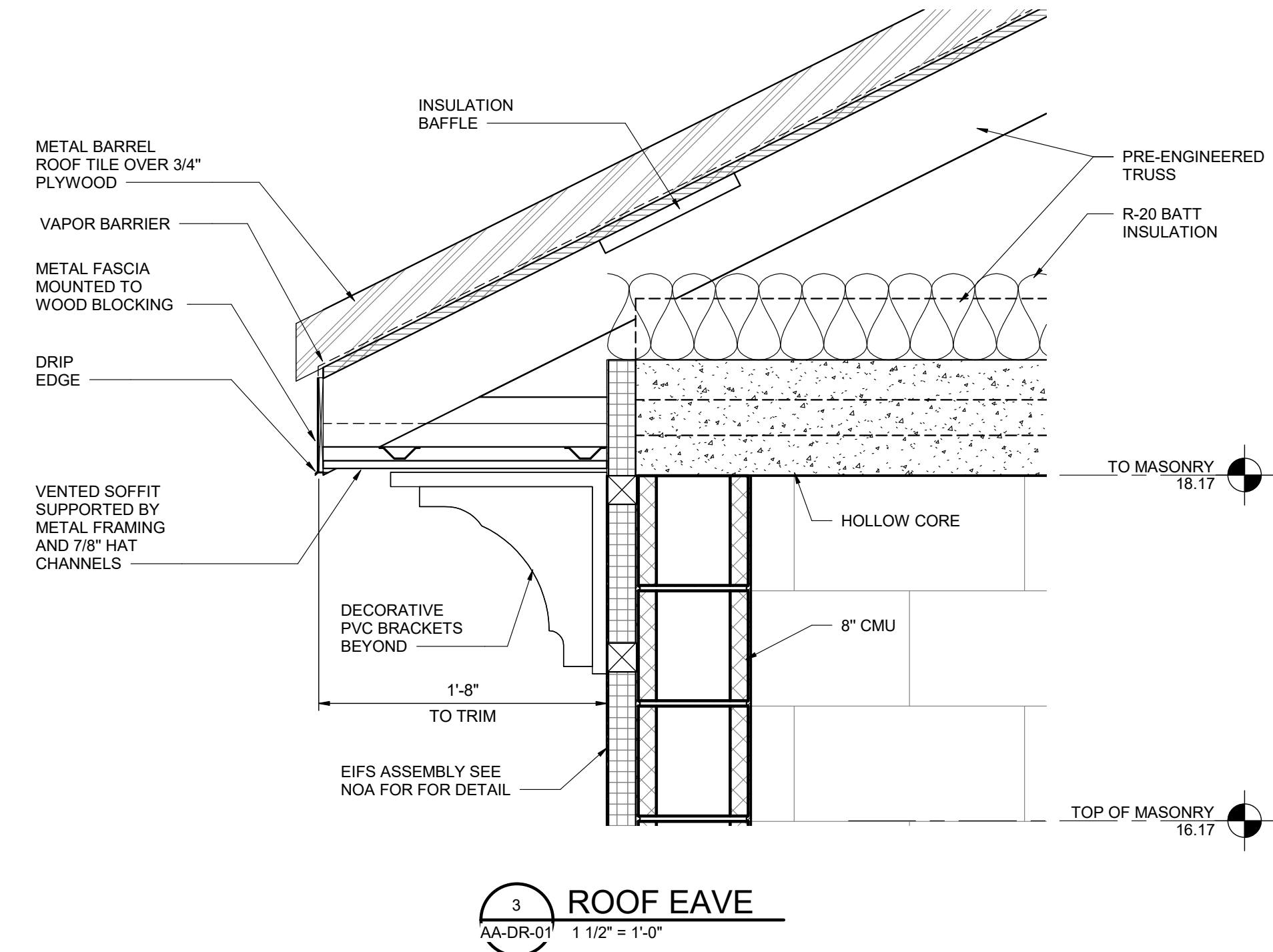
B BUILDING SECTION
AA-DR-01 3/8" = 1'-0"

DOOR SCHEDULE													
DOOR NUMBER	WIDTH	HEIGHT	DOOR			FRAME			RATING	HARDWARE SET	DETAILS		*REMARKS
			TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH			HEAD	JAMB	
101B	6' - 0"	8' - 4"	SEE ELEVATIONS	HM	PT	SEE ELEVATIONS	HM	PT					

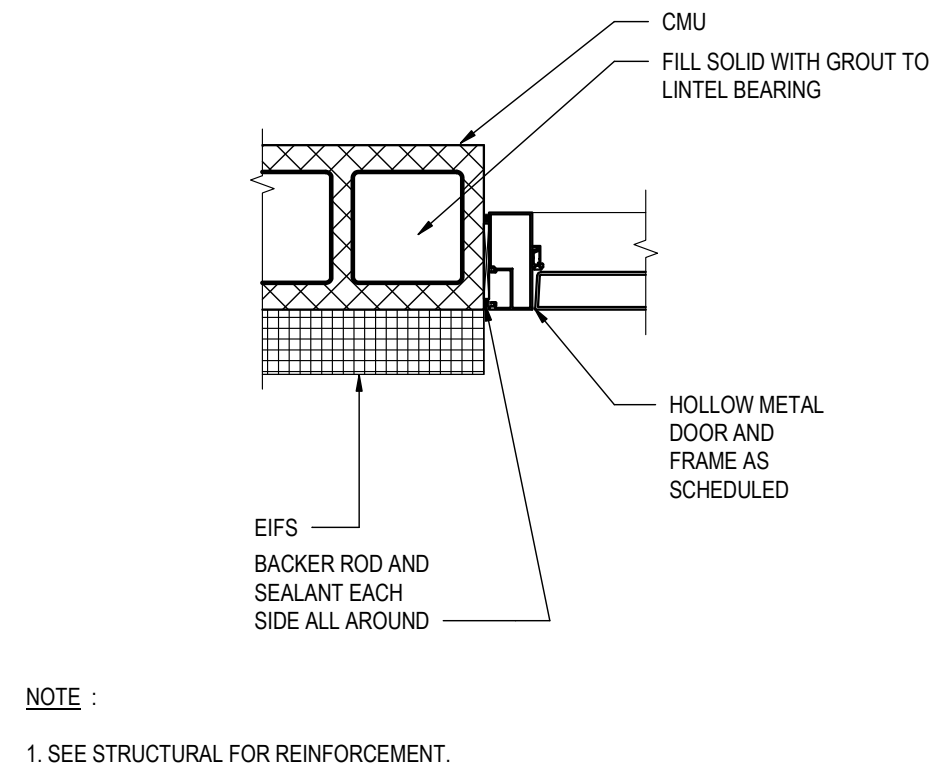
MATERIAL AND FINISH LEGEND			
MATERIAL			FINISH
HM	HOLLOW METAL		PT
			PT



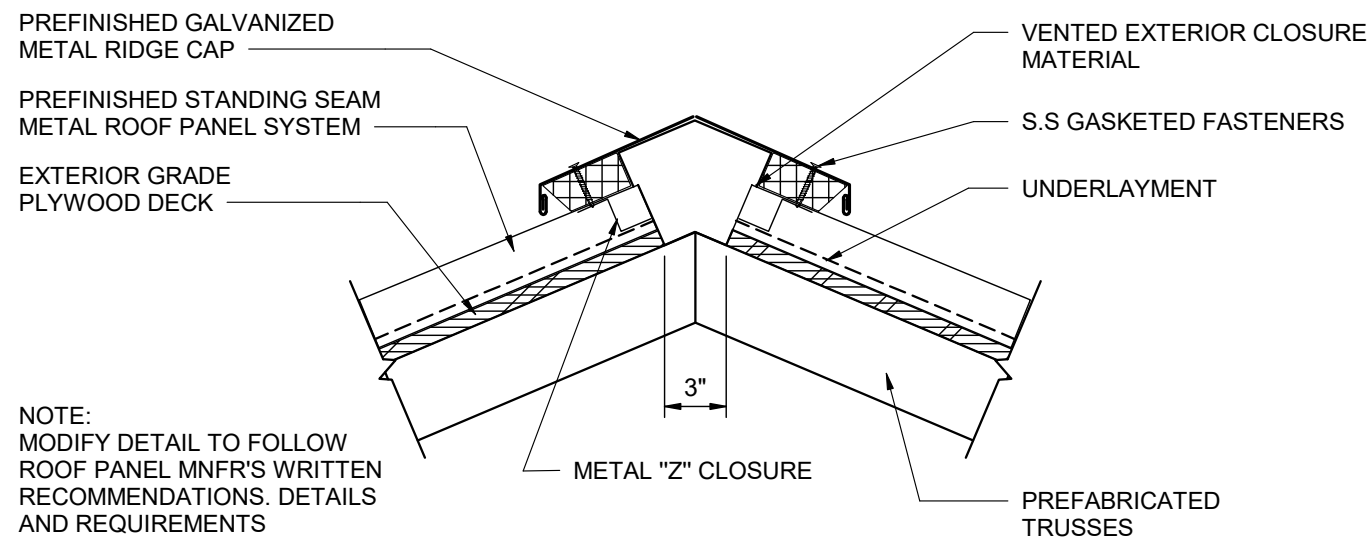
ROOM FINISH SCHEDULE									
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS				CEILING FINISH	*REMARKS
				NORTH	EAST	SOUTH	WEST		
101	ELECTRICAL ROOM	SC-2		PT	PT	PT	PT	PT	
MATERIAL AND FINISH LEGEND									
FLOOR				BASE					
SC-2				SEALED CONCRETE					
WALLS				CEILING					
PT				PAINT					



5 DOOR HEAD DETAIL
1 1/2" = 1'-0"



6 DOOR JAMB DETAIL
1 1/2" = 1'-0"



4 VENTED RIDGE CAP DETAIL
1 1/2" = 1'-0"

Hazen

HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021

HR

3250 West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No:
AA26003566

ARCHITECT:
JAMES REDDICK
REG. NO:
DATE:
DRAWN BY:
DATE: 2022
DESIGNED BY:
SCALE: As Indicated
CHECKED BY:
FIELD BOOK: N/A

TEL: 701.338.6738
FAX:

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE

100 North Andrews Avenue, Fort Lauderdale, Florida 33301

REVISIONS		NO.	DATE	BY	CHK'D	DESCRIPTION	DRC COMMENTS
		09/2023					

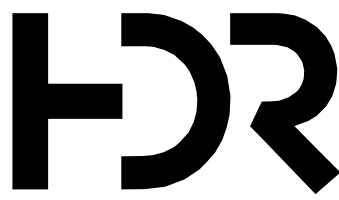
PROJECT # 11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
SCHEDULES AND DETAILS

SHEET NO.	
AA-DR-04	
TOTAL	134
REVIT FILE:	10345814-02-A.rvt
DRAWING FILE NO.	4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION

Hazen

HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021



3250 West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No:
AA26003566

ARCHITECT:
JAMES REDDICK
REG. NO.
DATE:
TEL: 701.338.6738
FAX:

DRAWN BY: DATE: 2022
DESIGNED BY: SCALE:
CHECKED BY: 1 : 60
FIELD BOOK: N/A

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE



100 North Andrews Avenue, Fort Lauderdale, Florida 33301

REVISIONS			DESCRIPTION	DRC COMMENTS
NO.	DATE	BY		
	09/2023			

PROJECT # 11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
ILLUSTRATIVE SITE PLAN

SHEET NO.	
AA-DR-05	
TOTAL	134
REVIT FILE:	10345814-02-A.rvt
DRAWING FILE NO.	4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION



ILLUSTRATIVE SITE PLAN

1 : 60

FILEPATH: Autodesk Docs://10345814_H&S_Dorsey Riverbend
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3D RENDERED PERSPECTIVE

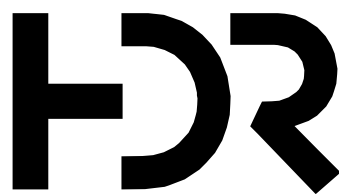
NOT TO SCALE



3D RENDERED SITE VIEW

NOT TO SCALE

Hazen
HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021



3250 West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No:
AA26003566

REVISIONS			DESCRIPTION	DRC COMMENTS
NO.	DATE	BY		
	09/2023			

PROJECT # 11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
3D RENDERINGS

SHEET NO.	
AA-DR-06	
TOTAL	134
REVIT FILE:	
10345814-02-A.rvt	
DRAWING FILE NO.	
4-143-65	

DRAWN BY:	DATE:	2022	SCALE:	3/8"
	DESIGNED BY:			1"=0"
CHECKED BY:			FIELD BOOK:	
			N/A	



CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE

100 North Andrews Avenue, Fort Lauderdale, Florida 33301

ARCHITECT:	JAMES REDDICK	REG. No:	DATE:	TEL: 704.338.6738
FAX:				

DRC PERMIT - NOT FOR CONSTRUCTION

C:\pwworking\cam01\259131871\1845-CD-ST02.dwg CD-ST-02 6/26/2023 1:40:17 PM 2/4/TH

LEGEND:

NO. 57 STONE (PERVIOUS)
3" MIN. THICKNESS

CONCRETE PAVEMENT (IMPERVIOUS)
6" THICK

TEMPORARY GRAVEL CONSTRUCTION
ENTRANCE

Hazen

HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021
Certificate of Authorization No: 2771

HR

3250 West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No: 4213

ENGINEER:
BEN ELLIS
REG. NO: 72469
DATE: TBD

DATE: 06/09/2023
DRAWN BY: TB
DESIGNED BY: SCALE: 1"=20'
GAB
CHECKED BY: LEFR
FIELD BOOK: XXXX

TEL: 954-887-0966
FAX: 954-887-2946

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE

100 North Andrews Avenue, Fort Lauderdale, Florida 33301

REVISIONS	
NO.	DESCRIPTION

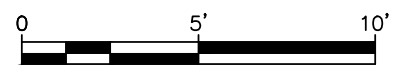
PROJECT # 11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
EROSION CONTROL SITE PLAN

SHEET NO.
CD-ST-02

TOTAL: 134
CAD FILE: 11845-CD-ST02
DRAWING FILE NO. 4-143-65

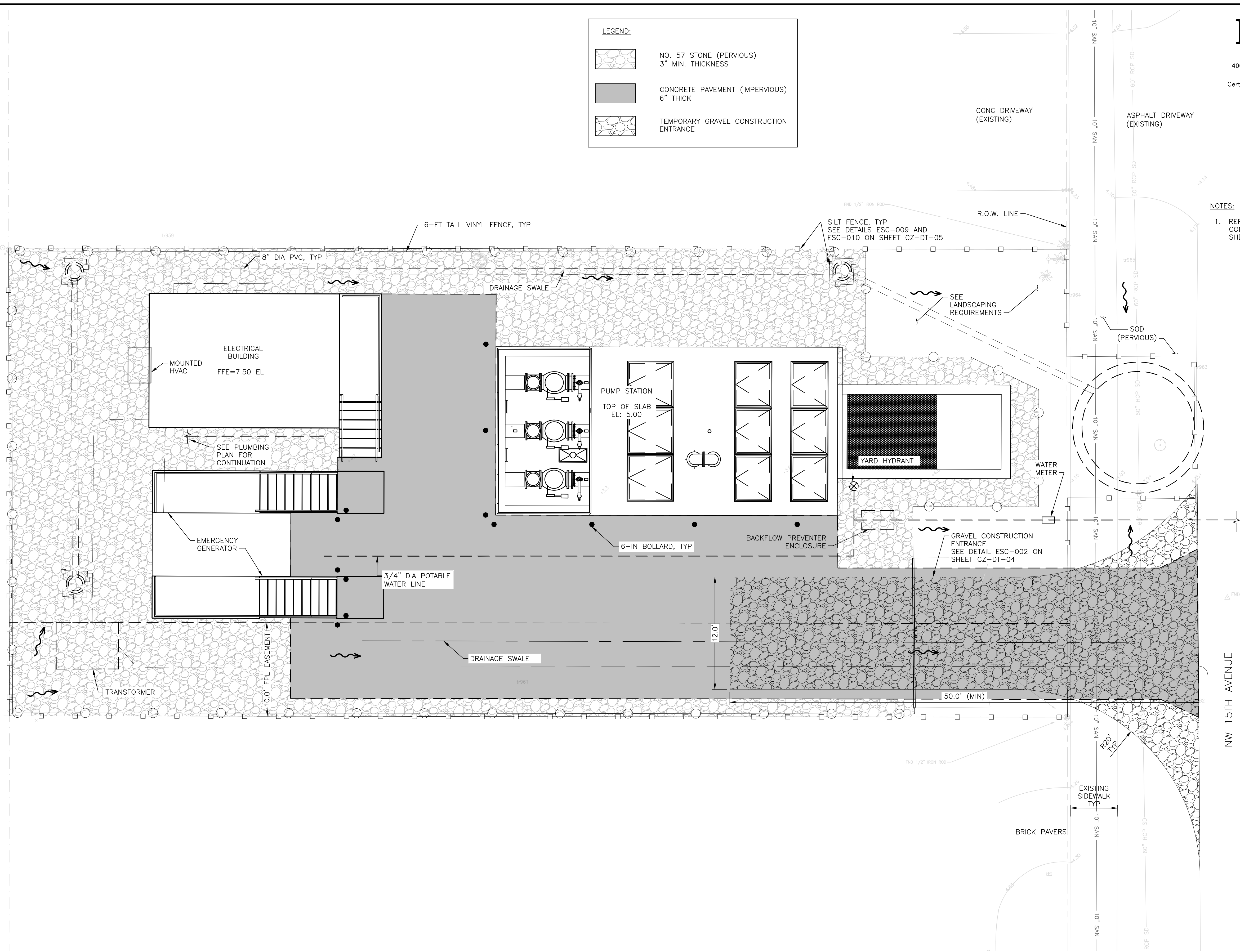
- NOTES:
1. REFER TO EROSION AND SEDIMENT CONTROL NOTES AND DETAILS ON SHEETS CZ-DT-04 AND CZ-DT-05.

DRC PERMIT - NOT FOR CONSTRUCTION



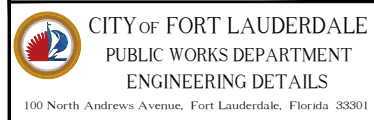
NW 15TH AVENUE

PLAN
1"=5'-0"



EROSION AND SEDIMENT CONTROL:

1. CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION IN ORDER TO ENSURE POLLUTION PREVENTION. CONTRACTOR TO COMPLY WITH ALL LOCAL STATE AND OTHER GOVERNMENTAL ENVIRONMENTAL REGULATIONS THROUGHOUT CONSTRUCTION.
2. DURING CONSTRUCTION ALL CATCH BASIN INLETS SHALL BE PROTECTED TO PREVENT SEDIMENT AND DEBRIS FROM ENTERING THE CATCH BASIN.
3. SILT FENCES SHALL BE INSTALLED AS NECESSARY TO CONTROL OR PREVENT DISCHARGE OF SEDIMENT ONTO ADJACENT UNDISTURBED AREAS, OR OFF-SITE AREAS.
4. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED WITHIN A REASONABLE PERIOD OF TIME TO ASSURE MINIMUM EROSION OF SOILS.
5. NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
6. ALL EXPOSED AREAS SHALL BE SODDED AS SPECIFIED WITHIN 30 DAYS OF FINAL GRADING.
7. MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN AND AT LEAST ONCE A WEEK.
8. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
9. CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
10. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY CITY, COUNTY, AND STATE OF FLORIDA ON SITE INSPECTION, AT NO ADDITIONAL COST TO THE OWNER.
11. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.
12. IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
13. BURNING OF DEBRIS WILL NOT BE ALLOWED.
14. CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
15. CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATER WAYS. IN ADDITION CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE IF IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES IF EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC. THE CONTRACTOR IS TO REMOVE AND CLEAN SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES. EROSION CONTROL BARRIER SHALL BE ESTABLISHED AS THE FIRST ITEM OF WORK.

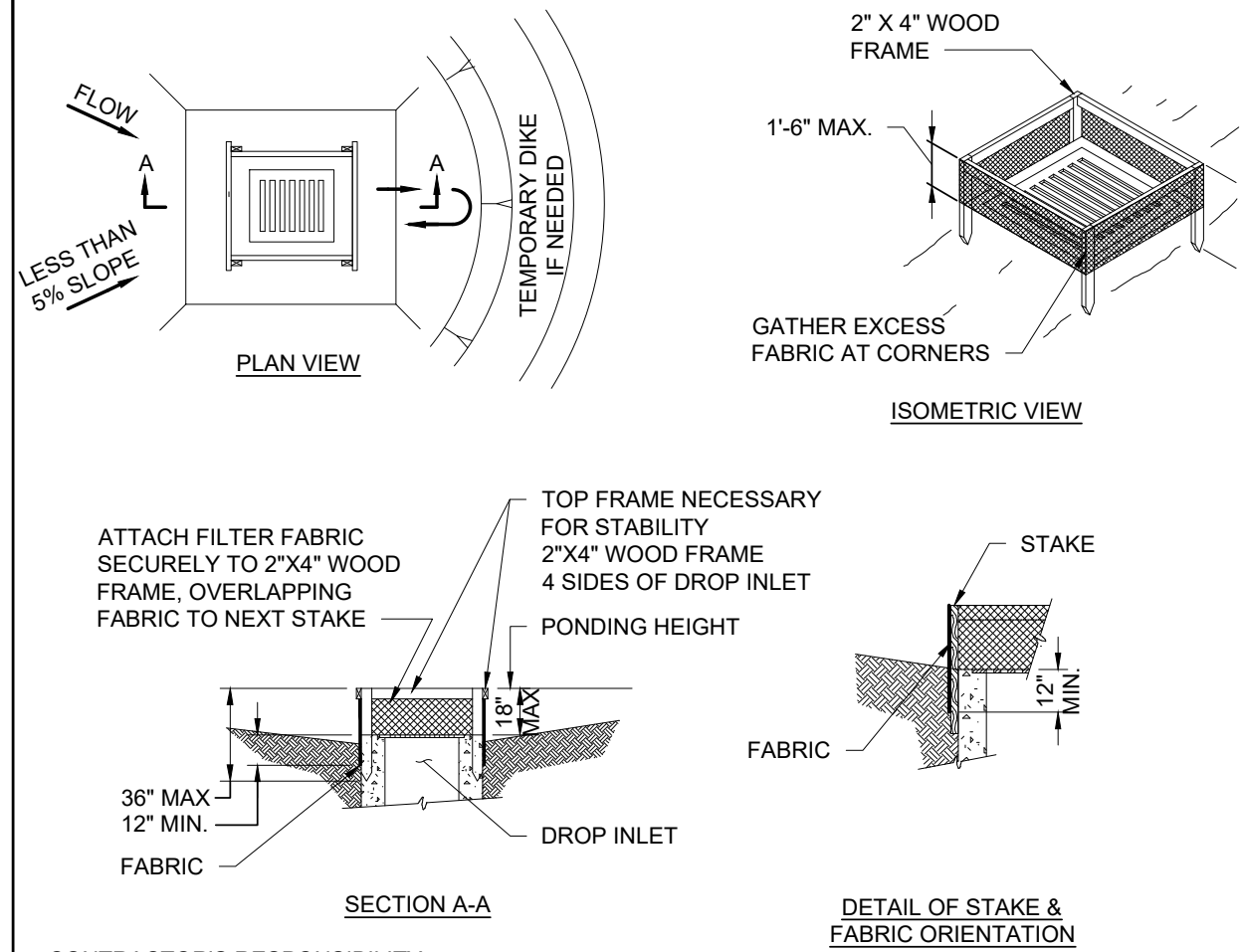


CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING DETAILS
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

EROSION AND SEDIMENT CONTROL NOTES
SHEET 1



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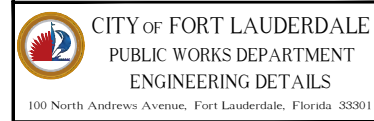


CONTRACTOR'S RESPONSIBILITY

EROSION AND SEDIMENTATION CONTROLS ARE PERFORMANCE BASED CRITERIA. IF THE BMPS PROVIDED DO NOT PREVENT SOILS FROM LEAVING A CONSTRUCTION SITE, THEN THE CONTRACTOR IS REQUIRED TO EMPLOY ADDITIONAL PROCEDURES TO PROVIDE CLEAN RUNOFF FROM A SITE.

NOTES:

1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%).
2. USE 2"x4" WOOD OR EQUIVALENT METAL STAKES. (3' MIN. LENGTH).
3. INSTALL 2"x4" WOOD TOP FRAME TO INSURE STABILITY.
4. THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET.
A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.
5. MIRAFI OR APPROVED EROSION CONTROL FABRIC SHALL BE WRAPPED AROUND GRATE.
6. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.



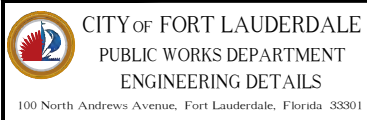
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PUBLIC WORKS DEPARTMENT
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DROP INLET PROTECTION - SEDIMENT BARRIER



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16. THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S STORMWATER PERMITTING PROGRAM APPLIES TO ALL CONSTRUCTION ACTIVITY THAT: 1) CONTRIBUTE STORMWATER DISCHARGES TO SURFACE WATER OF THE STATE OR INTO A MUNICIPAL SEPARATE STORM SEWER SYSTEM (MS4); 2) DISTURBS ONE OR MORE ACRES OF LAND; OR 3) LESS THAN ONE ACRE IS INCLUDED IF THE ACTIVITY IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT THAT WILL MEET OR EXCEED THE ONE ACRE THRESHOLD. DISTURB INCLUDES CLEARING, GRADING AND EXCAVATING.
17. FOR CONSTRUCTION ACTIVITY THAT IS SUBJECT TO THE NPDES FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S STORMWATER PERMITTING PROGRAM, THE CONTRACTOR SHALL:
 - 17.1. OBTAIN A GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION DOCUMENT 62-621.300(4)(A).
 - 17.2. COMPLY WITH ALL REQUIREMENTS OF THE GENERIC PERMIT.
 - 17.3. DEVELOP AND IMPLEMENT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
 - 17.4. COMPLETE A NOTICE OF INTENT (NOI) FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION FORM 62-621.300(4)(B) IN ITS ENTIRETY USING THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S WEBSITE.
18. SUBMIT COPIES OF THE SWPPP AND THE NOI TO THE ENGINEER AS INFORMATIONAL RECORDS. THESE SUBMITTALS WILL NOT BE REVIEWED BY THE ENGINEER.
19. CONTRACTOR TO CLEAN AND REPAIR ALL EXISTING STORMWATER INFRASTRUCTURE THAT IS IMPACTED BY CONSTRUCTION ACTIVITIES, BEFORE LEAVING THE JOBSITE.
20. CONTRACTOR TO REMOVE ALL FILTER FABRIC AND POLLUTION PREVENTION ITEMS BEFORE THE FINAL WALK-THROUGH.

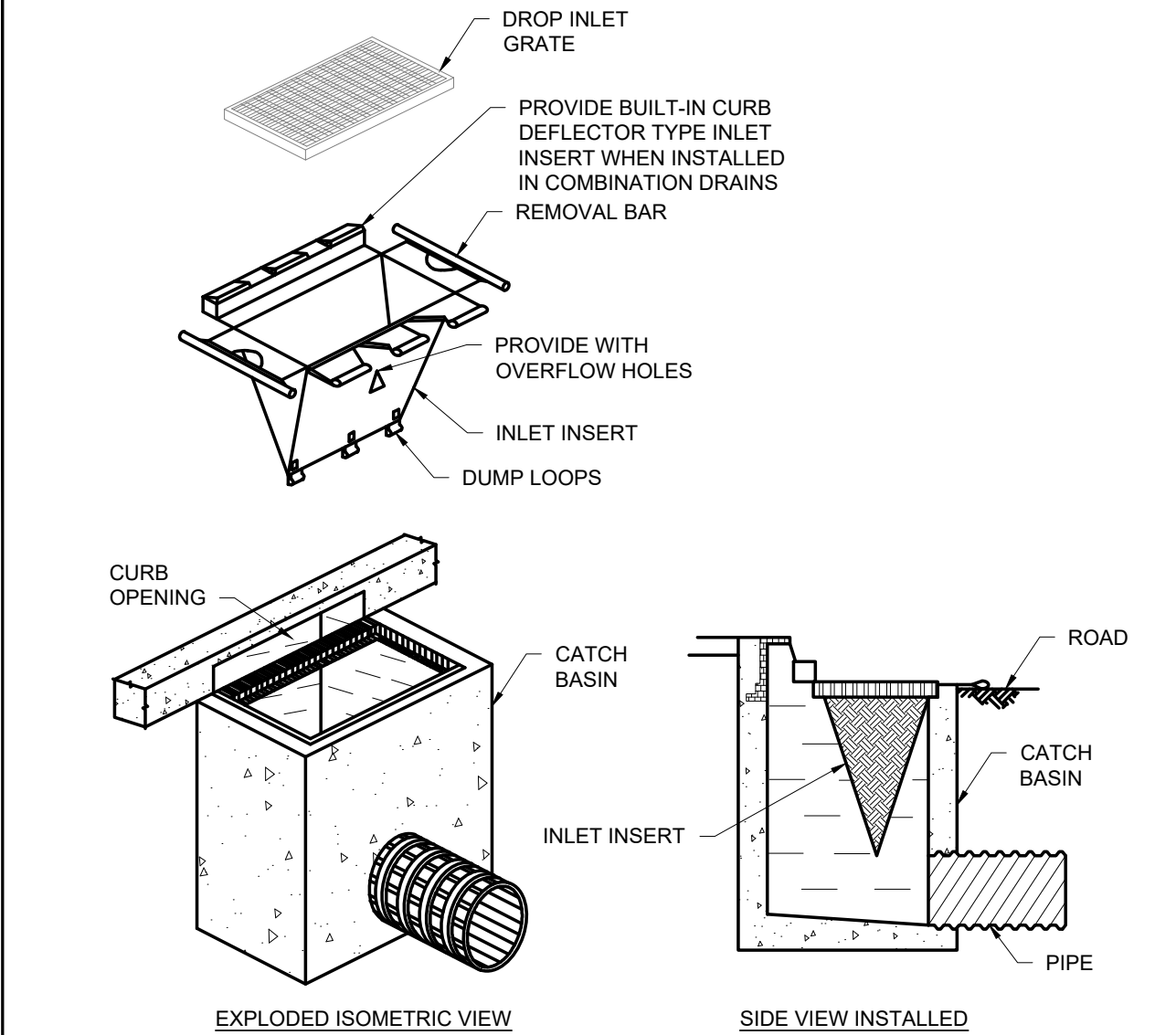


CITY OF FORT LAUDERDALE
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EROSION AND SEDIMENT CONTROL NOTES
SHEET 2

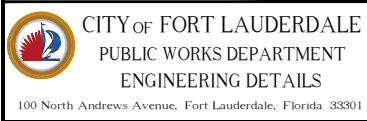


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NOTES:

1. THE INLET INSERT SHALL BE A SEDIMENT CONTROL DEVICE DESIGNED FOR DROP INLETS OR COMBINATION DRAINS WHERE A DROP INLET IS COUPLED WITH A CURB INLET.
2. THE INLET INSERT SHALL BE MADE OF A PERMEABLE GEOTEXTILE THAT ALLOWS WATER TO PASS BUT PREVENTS SILT AND SEDIMENT FROM CLOGGING THE DRAIN SYSTEM.
3. THE CONTRACTOR SHALL CLEAN AND INSPECT REGULARLY AND AFTER EVERY MAJOR RAIN EVENT.
4. INLET INSERTS SHALL BE "SILTSACK" BY ACF ENVIRONMENTAL, OR EQUAL. SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH THE SPECIFICATIONS.

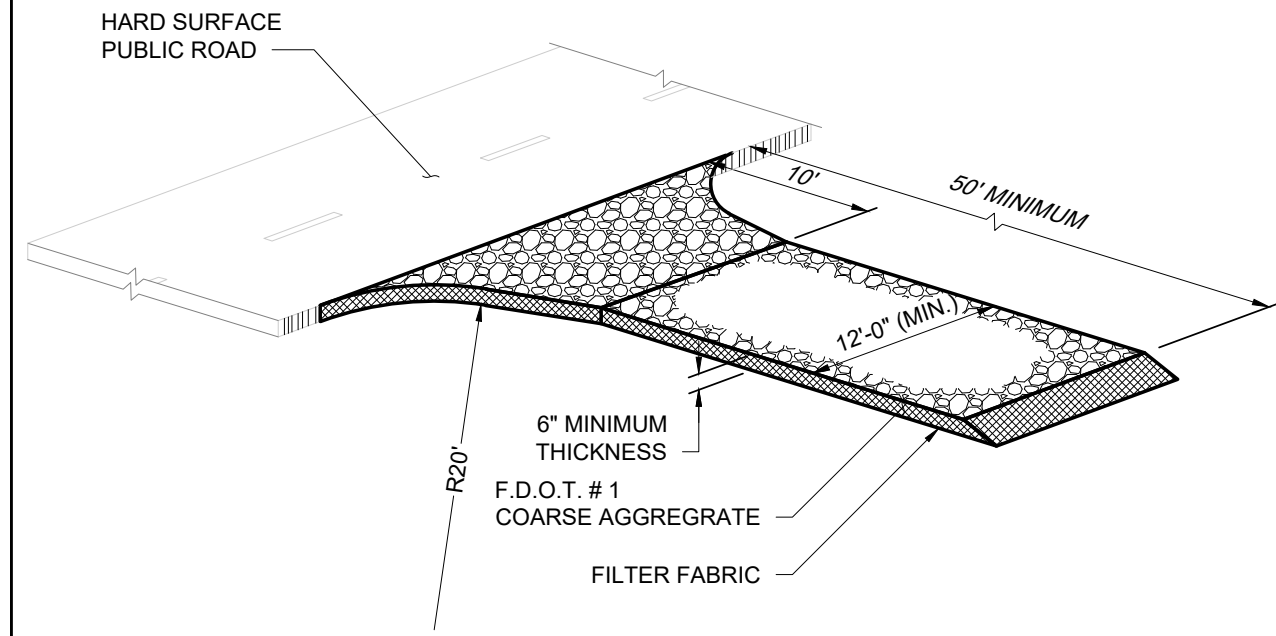


CITY OF FORT LAUDERDALE
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DROP INLET PROTECTION - INLET INSERT

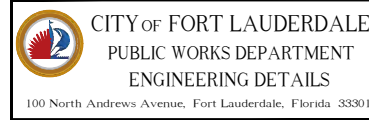


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NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

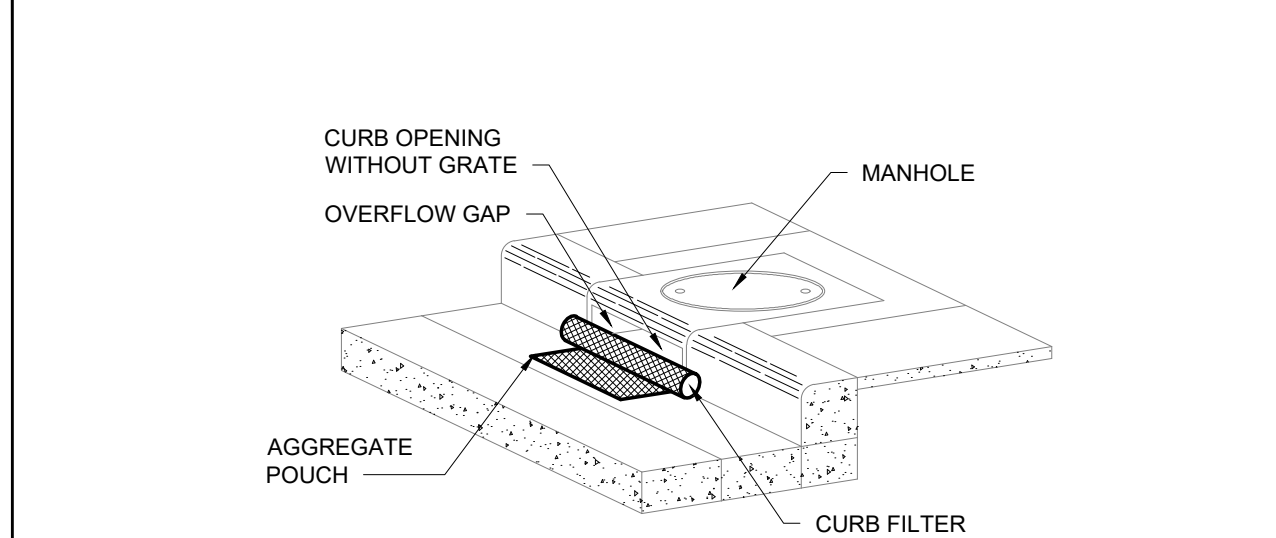


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GRAVEL CONSTRUCTION ENTRANCE

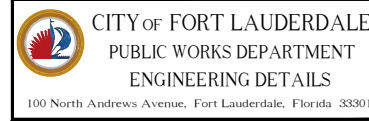


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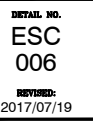
NOTES:

1. INSTALL CURB FILTERS AT ALL INLETS WITHOUT GRATES TO KEEP SILT, SEDIMENT AND CONSTRUCTION DEBRIS OUT OF THE STORM SYSTEM
2. THE CURB FILTER SHALL BE DANDY CURB AS MANUFACTURED BY DANDY PRODUCTS INC., OR EQUAL. SUBMIT SHOP A SHOP DRAWING FOR THE CURB FILTERS.
3. THE CURB FILTER SHALL FORM OF A CYLINDRICAL TUBE PLACED IN FRONT OF AND EXTENDING BEYOND THE INLET OPENING ON BOTH SIDES.
4. THE CURB FILTER SHALL HAVE A POUCH ON THE STREET SIDE OF THE UNIT FOR STONE AGGREGATE TO HOLD THE FILTER IN PLACE.
5. THE CURB FILTER SHALL BE CONSTRUCTED OF A HIGH VISIBILITY ORANGE MONOFILAMENT FABRIC.
6. FILL POUCH WITH FDOT #57 STONE AGGREGATE TO A LEVEL (AT LEAST HALF-FULL) THAT WILL KEEP UNIT IN PLACE DURING A RAIN EVENT AND CREATE A SEAL BETWEEN THE CURB FILTER AND THE SURFACE OF THE STREET.
7. CENTER THE UNIT AGAINST CURB OR MEDIAN INLET OPENING SO THAT THE CURB SIDE OF THE UNIT CREATES A SEAL WITH THE CURB OR MEDIAN BARRIER AND INLET STRUCTURE. THERE WILL BE APPROXIMATELY TWELVE (12) INCHES OF THE INLET PROTECTION UNIT OVERHANGING ON EACH SIDE OF THE OPENING.
8. THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH RAIN EVENT.



CITY OF FORT LAUDERDALE
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CURB INLET PROTECTION - CURB FILTER

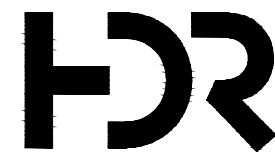


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HAZEN AND SAWYER
4000 HOLLYWOOD BLVD, SUITE 750N
HOLLYWOOD, FLORIDA 33021

Certificate of Authorization No: 2771



3250 West Commercial Boulevard
Suite 100
Ft. Lauderdale, Florida 33309-3459
Certificate of Authorization No: 4213

ENGINEER:
ALEXANDER MILLER
REG. NO: 90783
DATE: FEB

TEL: 813-382-2344
FAX: N/A

DRAWN BY: HOD
DATE: 06/09/2023
DESIGNED BY: BK
SCALE: AS NOTED
CHECKED BY: IS
FIELD BOOK: XXXX

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE



100 North Andrews Avenue, Fort Lauderdale, Florida 33301

REVISIONS
NO. DATE BY CHK'D DESCRIPTION

PROJECT # 11845
STORMWATER IMPROVEMENTS
DORSEY RIVERBEND NEIGHBORHOOD
CIVIL DETAILS - SHEET 4

SHEET NO.

CZ-DT-04

TOTAL: 134

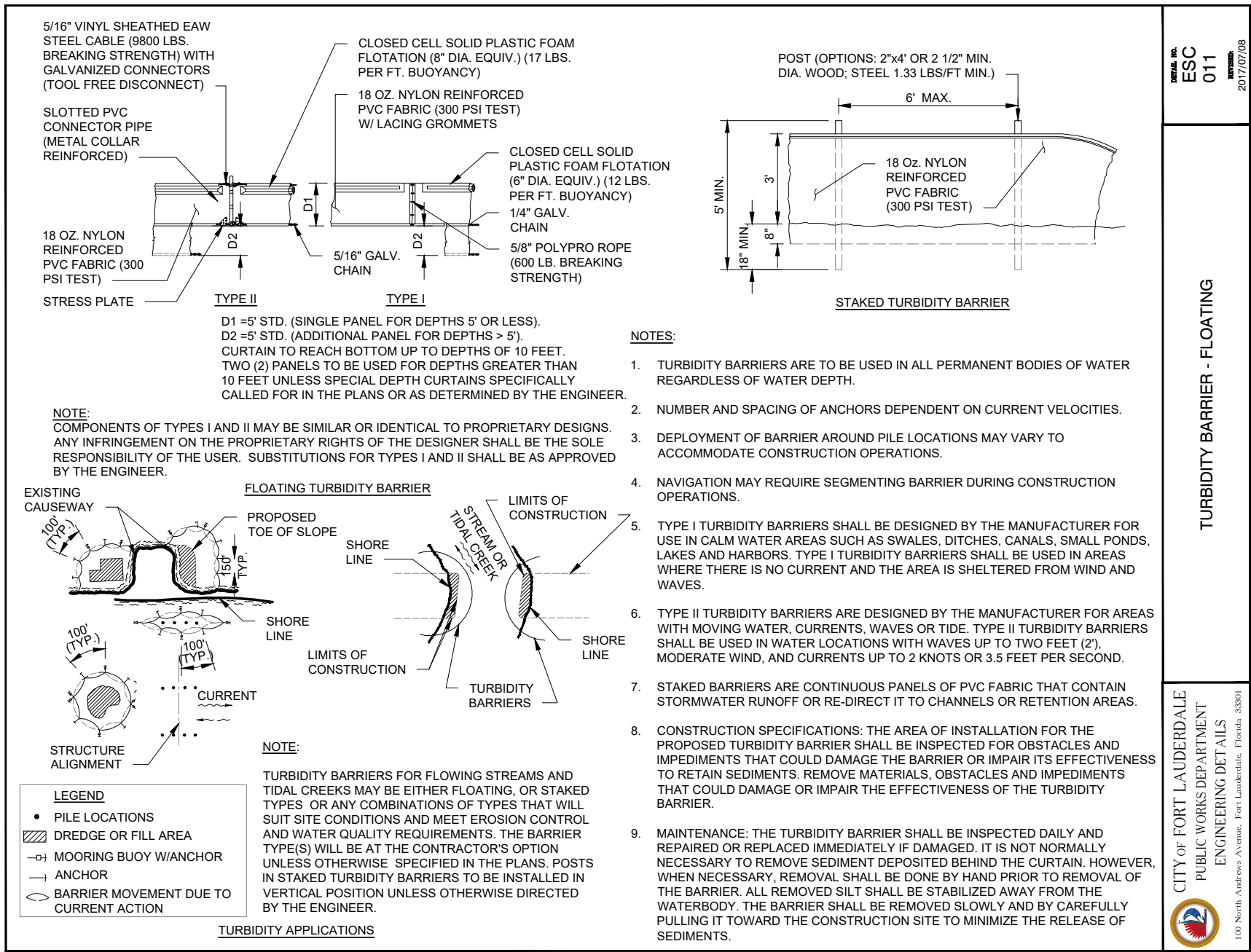
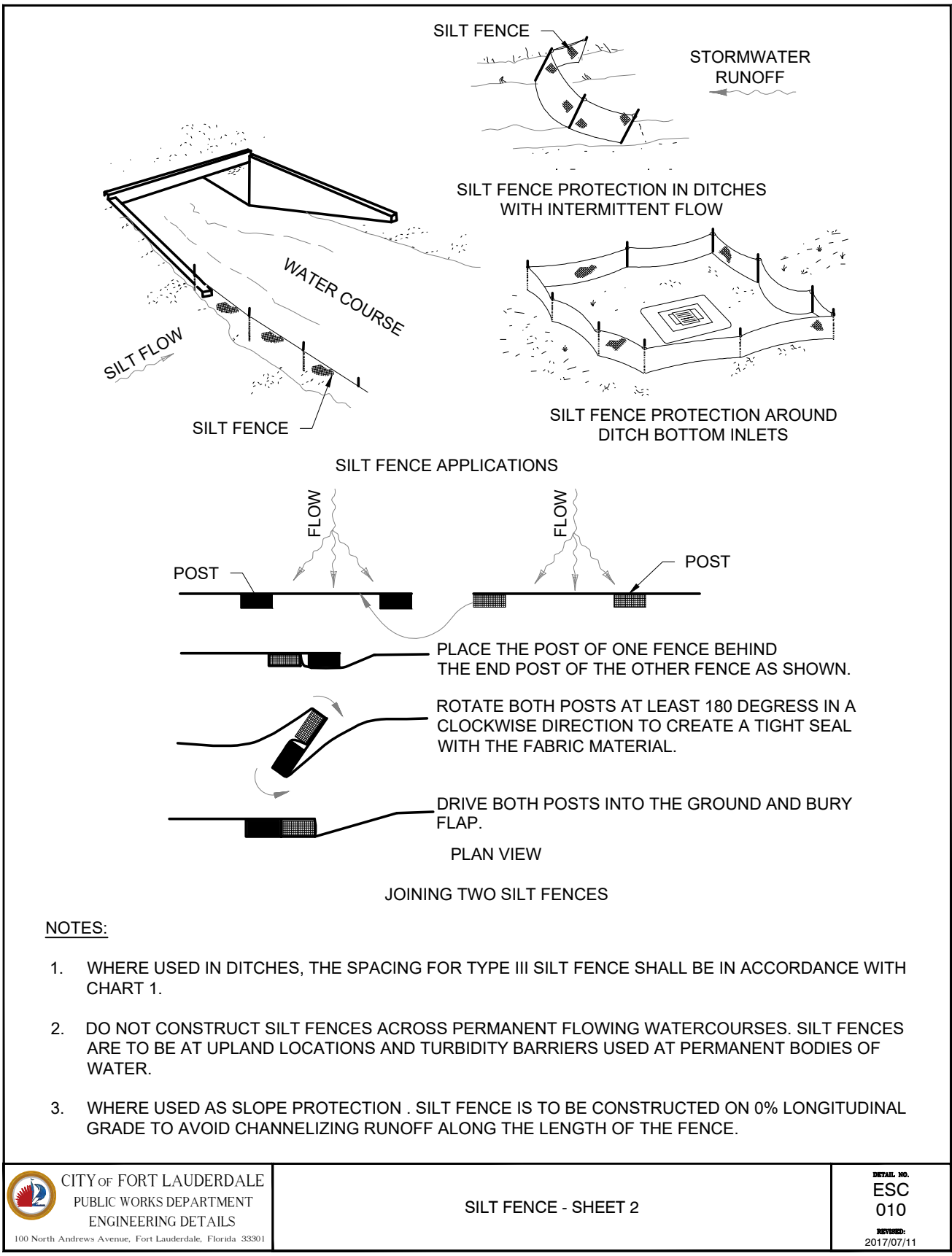
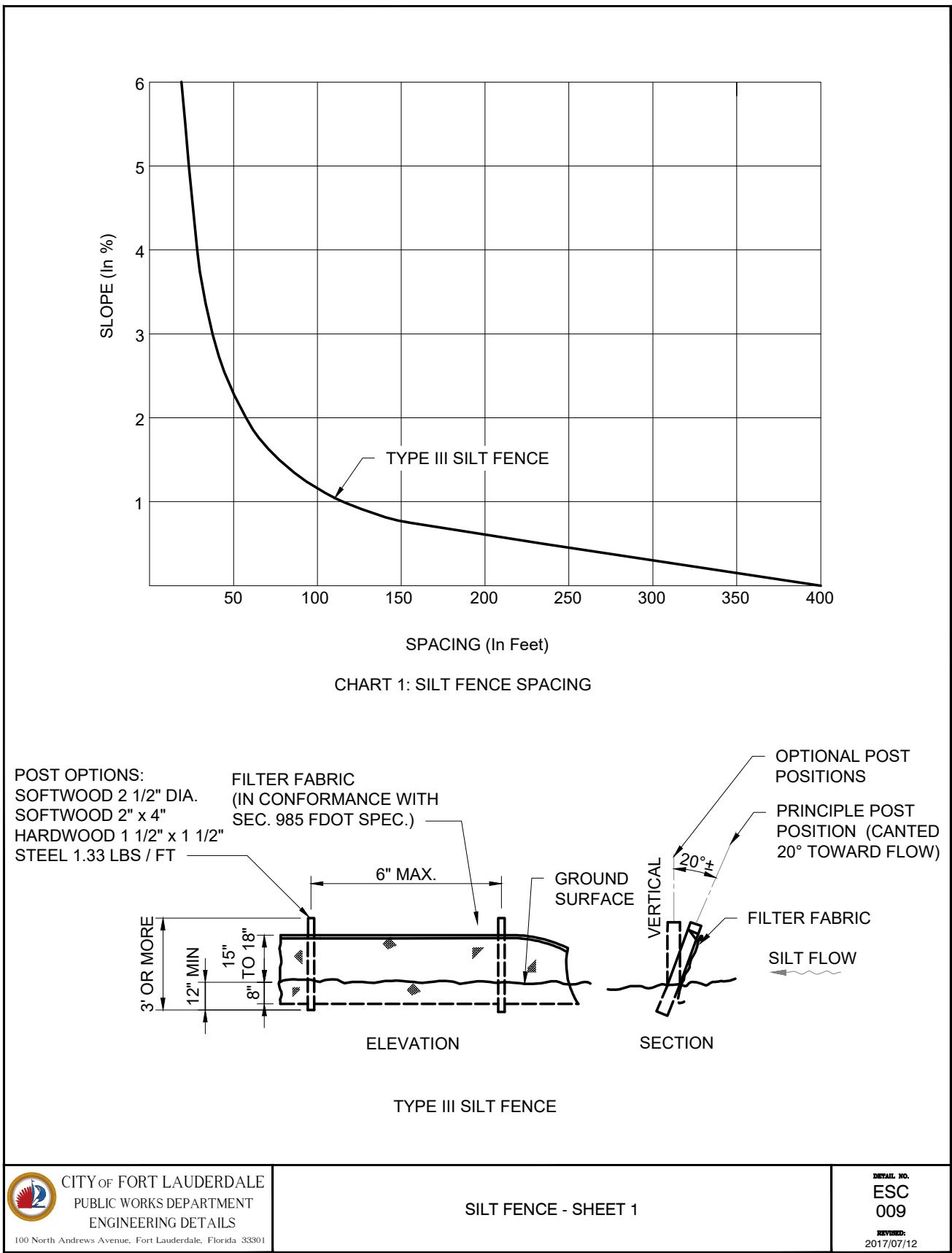
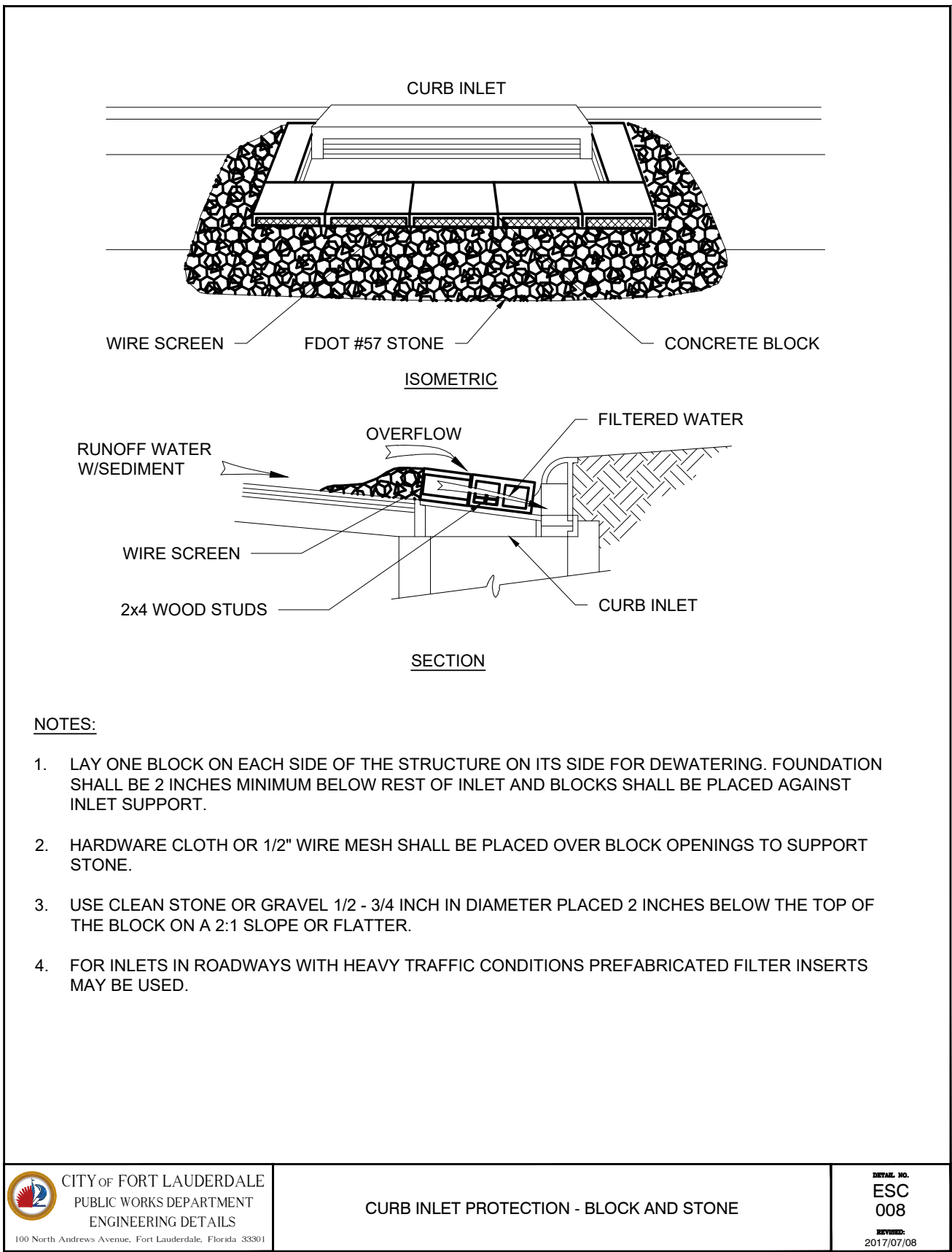
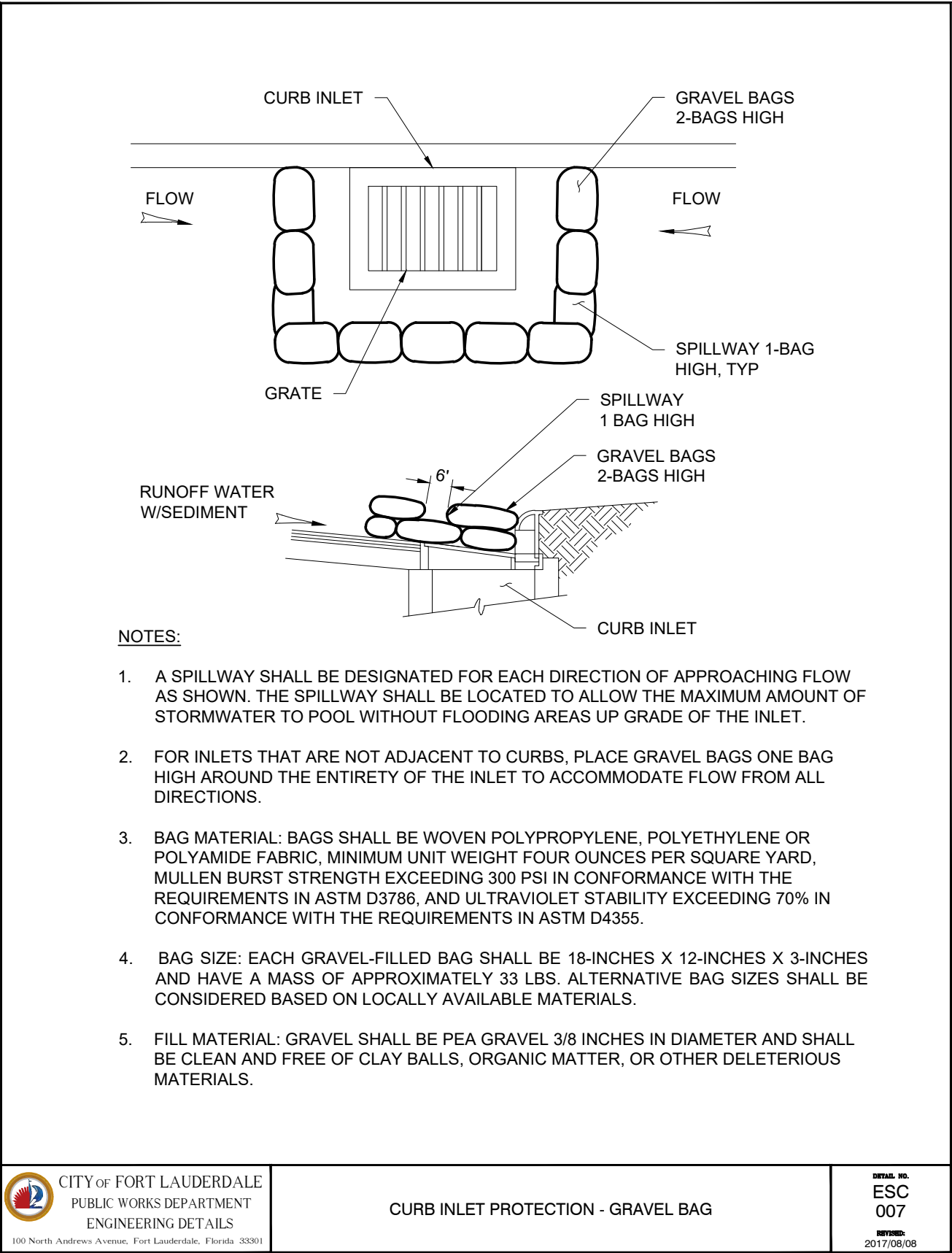
CAD FILE:

11845-CZ-DT04

DRAWING FILE NO.

4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION



NO.	DATE	BY	CHKD	DESCRIPTION

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