

# City of Fort Lauderdale

City Hall  
100 North Andrews Avenue  
Fort Lauderdale, FL 33301  
[www.fortlauderdale.gov](http://www.fortlauderdale.gov)



## Meeting Minutes - DRAFT

Tuesday, January 6, 2015

6:00 PM

City Commission Chambers

## City Commission Regular Meeting

**FORT LAUDERDALE CITY COMMISSION**

**JOHN P. "JACK" SEILER** Mayor - Commissioner  
**ROMNEY ROGERS** Vice Mayor - Commissioner - District IV  
**BRUCE G. ROBERTS** Commissioner - District I  
**DEAN J. TRANTALIS** Commissioner - District II  
**ROBERT L. MCKINZIE** Commissioner - District III

**LEE R. FELDMAN**, City Manager  
**JOHN HERBST**, City Auditor  
**JONDA K. JOSEPH**, City Clerk  
**CYNTHIA A. EVERETT**, City Attorney

Meeting was called to order at 6:04 p.m. by Mayor Seiler.

**ATTENDANCE ROLL CALL**

**Present:** 5 - Mayor John P. "Jack" Seiler, Vice-Mayor Romney Rogers, Commissioner Bruce G. Roberts, Commissioner Dean J. Trantalis and Commissioner Robert L. McKinzie

**Also Present:** City Manager Lee R. Feldman, City Auditor John Herbst, City Clerk Jonda K. Joseph, City Attorney Cynthia A. Everett, Sergeant At Arms Sergeant Luan Muluski and Sergeant Ed Wenger (9:39 p.m.)

**Vote Roll Call Order for this Meeting**

Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**Invocation**

Pastor Bill Knott, Abiding Savior Lutheran Church

**Pledge of Allegiance**

Led by Commissioner McKinzie

Mayor Seiler called for a moment of silence to honor the family of James Theodore "Ted" Fling, 2010 Citizen of the Year, former advisory board member and former president of Victoria Park Civic Association.

**Approval of MINUTES and Agenda**

**15-0040** APPROVAL OF MINUTES for October 21, 2014 Conference Meeting, October 27, 2014 Joint Workshop with Beach Redevelopment Advisory Board and October 31, 2014 Riverwalk Workshop

No public comments were submitted by email for the January 6, 2015 regular meeting.

**Motion** made by Commissioner Roberts and seconded by Commissioner Trantalis to approve the noted minutes.

**APPROVED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**PRESENTATIONS**

**PRES-1 15-0043** COMMUNITY APPEARANCE BOARD WOW AWARD FOR DISTRICT I

Commissioner Roberts presented the WOW Award to Fred Gray and Ron Stuart for improvements made to their home in Imperial Point. Community Appearance Board member David Bowles assisted with the

presentation.

**PRES-2 14-1591** PROCLAMATION DECLARING JANUARY 14, 2015, AS WAR  
MEMORIAL AUDITORIUM 65th ANNIVERSARY DAY IN THE CITY  
OF FORT LAUDERDALE

Commissioner Trantalis presented the proclamation to Orlando Castellano, auditorium manager. Castellano thanked the Commission and invited the public to attend a 65<sup>th</sup> anniversary event.

## CONSENT AGENDA

Mayor Seiler announced the procedure for consent items.

**Motion** made by Vice-Mayor Rogers and seconded by Commissioner Trantalis that all Consent Agenda items be approved as recommended.

### APPROVED

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

## CONSENT MOTION

**CM-1 14-1602** EVENT AGREEMENTS: Icarus Florida Ultrafest Spring, Fort  
Lauderdale Greek Festival, Floranada Day, Rufferfest #39, Where  
the Cars Are, Moss New River Extravanga and Las Olas Sunday  
Market

### APPROVED

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**CM-2 14-1603** EVENT AGREEMENT AND RELATED ROAD CLOSING: Dolphins  
Cycling Challenge

### APPROVED

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**CM-3 14-1615** PURCHASE OF PROPERTY INSURANCE - \$2,033,021

### APPROVED

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**CM-4 15-0012** ADDITION OF NEW CLASSIFICATION - SENIOR POLICE  
RECORDS TELETYPE OPERATOR AND CHANGE IN PAY GRADE  
FOR INFORMATION TECHNOLOGY SECURITY ANALYST

### APPROVED

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**CM-5 14-1558** GRANT ACCEPTANCE - SNYDER PARK - FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION - Recreational Trails Program - \$200,000

**APPROVED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**CM-6 14-1576** GRANT APPLICATION - MEMORIAL DAY WEEKEND BEACH ACTIVITIES - Broward County Cultural Tourism Program - \$20,000

**APPROVED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**CM-7 14-1633** AGREEMENT FOR FLORIDA AIDS WALK AND MUSIC FESTIVAL - AIDS Healthcare Foundation d/b/a Postivie Healthcare

**APPROVED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**CM-8 14-1641** GRANT ACCEPTANCE - \$43,114 - EDWARD BYRNE MEMORIAL JUSTICE ASSISTANCE GRANT - Countywide Solicitation - Operation Trend Buster IV

**APPROVED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**CM-9 14-1643** GRANT ACCEPTANCE - \$72,557 - EDWARD BYRNE MEMORIAL JUSTICE ASSISTANCE GRANT - Countywide Solicitation - Urban League of Broward County Substance Abuse Prevention Program

**APPROVED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**CM-10 15-0027** GRANT APPLICATION - Broward County Enhanced Marine Law Enforcement Program - \$126,740

**APPROVED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**CM-11 14-1616** REVOCABLE LICENSE FOR TEMPORARY CLOSURE OF PUBLIC RIGHT OF WAY ON VISTAMAR STREET, BREAKERS AVENUE AND BELMAR STREET - construction of Paramount Condominium - Belmar Development Associates, LLC

**APPROVED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**CM-12 14-1629** BLU ON MARINA BOULEVARD - MAINTENANCE MEMORANDUM OF AGREEMENT FOR STREETScape LANDSCAPING IMPROVEMENTS ON STATE ROAD 84 WITH FLORIDA DEPARTMENT OF TRANSPORTATION AND ASSUMPTION AGREEMENT WITH BLU 84, LLC

**APPROVED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

## **CONSENT RESOLUTION**

**CR-1 14-1574** CONSOLIDATED BUDGET AMENDMENT TO FISCAL YEAR 2015 BUDGET - APPROPRIATION

**ADOPTED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**CR-2 14-1133** PERFORMING ARTS CENTER AUTHORITY FISCAL YEAR 2015 BUDGET AND TRI-PARTY GRANT AGREEMENT FOR FUNDING THE CENTER

**ADOPTED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**CR-3 14-1637** A1A PEDESTRIAN BRIDGE - CONSENT TO ASSIGNMENT AND ASSUMPTION OF AGREEMENT FROM A1A TRADER, LLC TO DIAMONDROCK FL OWNER, LLC AND ASSIGNMENT OF PERMITS

**ADOPTED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

## **PURCHASING AGENDA**

**PUR-1 14-1584** ENGINEERING SERVICES FOR LAS OLAS MARINA DREDGING PROJECT - Coastal Systems International, Inc.

**APPROVED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**PUR-2 14-1598** PROPRIETARY - PURCHASE OF PROJECT MANAGEMENT DATA INTEGRATION CONSULTING SERVICES - \$45,860 - Enstoa, Inc.

**APPROVED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**PUR-3 14-1642** GRIT CHAMBER REHABILITATION AT LOHMEYER WASTEWATER TREATMENT PLANT - \$1,267,957.93 - David Mancini & Sons, Inc.

**APPROVED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**RESOLUTIONS**

**R-2 15-0039** QUASI-JUDICIAL - DE NOVO HEARING - APPLICATION FOR INSTALLATION OF ABOVE-GRADE COMMUNICATIONS SERVICE FACILITIES AT EIGHT RIGHT OF WAY LOCATIONS

Applicant: Crown Castle NG East LLC

Commissioner Trantalis introduced the resolution, which was read by title only.

**ADOPTED RESOLUTION SETTING PUBLIC HEARING AND EXTENDING DATE TO FEBRUARY 3, 2015**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**CITIZEN PRESENTATIONS**

**CIT-1 15-0031** ART SEITZ - Fort Lauderdale Beach - City

Removed from agenda.

**CIT-2 15-0035** CHRISTOPHER SHARP - Status of Investigation of Employee Concerns in Public Works Department

Removed from agenda.

**CIT-3 15-0032** BENJAMIN PROWS - Bicycle Safety

Benjamin Prows was not present.

**CIT-4 15-0033** CARL JR. GRANT - Campaign for Equal Liberty Fiscal Sponsorship

and Legislation

Carl Grant was not present.

**CIT-5 15-0034**            MICHAEL VANCE – Police

Michael Vance was not present.

**RESOLUTIONS**

**R-1 14-1582**            QUASI-JUDICIAL - AMENDMENT TO SITE PLAN LEVEL IV  
DEVELOPMENT PERMIT FOR TIFFANY HOUSE - ESCAPE HOTEL  
- 2900 Riomar Street - Case 1-ZPUD-08

All individuals wishing to speak on this matter were sworn in.

Members of the Commission announced with whom they had spoken and/or site visits made concerning this matter.

Mayor Seiler reviewed the procedure for the public hearing and opened the floor for public comment.

There being no individuals wishing to speak on this matter, a motion was made by Commissioner Trantalis and seconded by Commissioner McKinzie to close the public hearing. Roll call showed: AYES: Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler. NAYS: None.

Commissioner Trantalis introduced the resolution, which was read by title only.

**ADOPTED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**R-3 15-0021**            APPOINTMENT OF CITY BOARD AND COMMITTEE MEMBERS -  
vacancy information provided under Conference Item BD-2

The City Clerk announced the appointees/re-appointees who were the subjects of this resolution:

- |                           |   |
|---------------------------|---|
| Beach Redevelopment Board | Christian R. LUZ (Commissioner Roberts) |
| Nuisance Abatement Board  | Dale Hoover (Consensus)                 |
|                           | Donald Ray Karney III (Consensus)       |
|                           | Lorraine Saunders (Consensus)           |
|                           | Cindy Smith (Consensus)                 |
|                           | Robert L. Wolfe Jr. (Consensus)         |
|                           | Gustav L. Schmidt (Consensus/Alternate) |

Commissioner Roberts introduced the resolution, which was read by title only.

**ADOPTED**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts

and Mayor Seiler

## **PUBLIC HEARINGS**

### **PH-1 14-1537            FIRST READING OF ORDINANCE AMENDING UNIFIED LAND DEVELOPMENT REGULATIONS - PUBLIC PARTICIPATION**

**NOTICE - site plans, conditional use and plats - Case T14010**

Director of Sustainable and Economic Development Jenni Morejon highlighted the background related to this item, its purpose and the proposed process contained in the Commission Agenda Memorandum 14-1537.

Mayor Seiler opened the floor for public comment.

Gus Carbonell, 1457 NE 4 Avenue, felt that the current process is acceptable. Neighborhoods are notified. There should not be a one-size-fits-all process, but rather applied only for major projects. Commissioner Roberts advised that this would only apply to Site Plan Levels III and IV.

There being no other individuals wishing to speak on this matter, a motion was made by Commissioner Trantalis and seconded by Commissioner Roberts to close the public hearing. Roll call showed: AYES: Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler. NAYS: None.

Commissioner Trantalis asked who would monitor authentication of the process. Morejon said the applicant would be required to provide an affidavit during a certain time frame prior to the Development Review Committee (DRC) and Planning & Zoning Board (P&Z) meetings. Staff will not be attending the meetings. Some civic associations only meet quarterly or annually. The Planning and Zoning Board did not want to delay projects. A case would not be heard at a DRC meeting without the affidavit being provided. The affidavit is required 10 days prior to the DRC meeting along with a written report, documenting when the meeting took place, who was present, a short summary and any presentation material. She confirmed for Commissioner Trantalis that a neighborhood association could provide its own report, which would be packaged with the staff report that goes to the P&Z and Commission. The information would be considered.

In response to Commissioner Roberts, the City Manager advised that civic associations are encouraged to go through the process to become a recognized association. It is unfair to staff and the applicant to identify unrecognized groups. Commissioner Roberts felt that there are active, longstanding associations that have not registered with the City. The City Manager agreed but noted that some type of a standard must be created. Commissioner Roberts asked that the City's staff liaison with the Council of Civic Associations encourage the Council to have unrecognized associations become recognized. Mayor Seiler commented that the Council also would like these associations to become recognized as well because they are then part of their group. The City Manager assured the Commission that staff will work on getting groups into recognition status.

Commissioner Roberts introduced the ordinance, which was read by title only.

### **PASSED FIRST READING**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

### **PH-2 14-1539            FIRST READING OF ORDINANCE AMENDING CITY'S**



COMPREHENSIVE PLAN - UPDATING WATER SUPPLY PLAN AND  
GENERAL SANITARY SEWER, SOLID WASTE, DRAINAGE,  
POTABLE WATER AND NATURAL GROUNDWATER AQUIFER  
RECHARGE ELEMENT - Case T14011

Mayor Seiler opened the floor for public comment.

Raymond Cox, no address provided, felt that the plan should include sanitary considerations for the homeless population. He advocated for public restrooms.

There being no other individuals wishing to speak on this matter, a motion was made by Commissioner Trantalis and seconded by Commissioner Roberts to close the public hearing. Roll call showed: AYES: Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler. NAYS: None.

Commissioner Trantalis introduced the ordinance, which was read by title only.

**PASSED FIRST READING**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**PH-4 14-1630** MOTION - APPLICATION FOR CERTIFICATE OF PUBLIC  
CONVENIENCE AND NECESSITY FOR RENTAL CAR WITH  
CHAUFFEUR SERVICE - Airport2Port, Inc.

Mayor Seiler opened the floor for public comment.

Raymond Cox, no address provided, suggested that this service is being micromanaged.

There being no other individuals wishing to speak on this matter, a motion was made by Commissioner Roberts and seconded by Commissioner Trantalis to close the public hearing. Roll call showed: AYES: Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler. NAYS: None.

Vice-Mayor Rogers suggested this be delayed until the County moves forward in the interest of not setting an undesirable precedent. Commissioner Roberts questioned why Fort Lauderdale is the only municipality in the county involved in this process. Vice-Mayor Rogers pointed out that the application is inconsistent because applicants can choose sightseeing, but the rate schedule is based on specific locations. Mayor Seiler was unsure how to deny an application when the applicant has supplied everything. The City Attorney recommended that if the applicant meets criteria, she would not advise denial. If there are larger issues to explore, the Commission can do so going forward. Vice-Mayor Rogers noted that the ordinance is not part of the backup. It is inconsistent for the application to indicate this is a sightseeing vehicle but the rate schedule provides for people to be taken from place to place. Mayor Seiler felt the concerns are valid but he felt they should be addressed in amending the ordinance otherwise it is somewhat arbitrary. Transportation and Mobility Director Diana Alarcon said staff has been working with industry professionals. This particular applicant considers himself a chauffeur as opposed to someone who conducts sightseeing tours. An old application was used. In response to Vice-Mayor Rogers, Alarcon explained that insurance and financial information is required as part of the application. The City Manager added that the applicant in Agenda Item PH-5 has not purchased the vehicles and did not want to do so until assured that a certificate would be issued. In response to Commissioner Trantalis, Alarcon explained applicants must first receive a permit from the County. In that the City cannot change the County's regulations, Commissioner Trantalis questioned why the City gets involved. The City

Manager advised that it is primarily a county function throughout the state. However, from a policy standpoint, there was a great concern about the number of taxis and other vehicles for hire that would be operating and patrolling the streets looking for fares. Control on the number of certificates issued has been successful. There is less congestion in the tourist areas. There are about 200 certificates for drivers allowed to pick up in the city. Anyone can drop off. Commissioner Roberts felt this should be revisited. There may not be enough today. Vice-Mayor Rogers agreed. He felt it is a disservice to rubber stamp. The City Manager indicated that he has concerns about the ride-sharing economy of Uber and Lyft. He suggested taking action on the two items presented tonight and staff will present an ordinance imposing a moratorium until a ride-sharing ordinance is enacted.

Alarcon advised there are two pending applications for shuttle/limousine services.

Vice-Mayor Rogers wanted to wait for the County to address ride-sharing because the County is the overriding authority for transportation. The City Manager advised that the County held a workshop on this topic earlier today.

Commissioner Roberts favored approving this item if there will be a moratorium on further approvals including the two pending applications. The City Manager noted that a moratorium cannot be imposed tonight; an ordinance will have to be acted upon. The City Attorney advised that generally a moratorium does apply to any applications in process. Commissioner Trantalis felt the intention is to put the applicants of the pending application on notice that their applications will likely not be approved pending outcome of ride-sharing topic by the County. Commissioner Roberts was not comfortable as it stands. Mayor Seiler felt there should be some notice before discontinuance.

**Motion** made by Commissioner Trantalis and seconded by Commissioner Roberts to approve the item as recommended.

**APPROVED**

**Aye:** 3 – Commissioner Trantalis, Commissioner McKinzie and Mayor Seiler

**Nay:** 2 – Vice-Mayor Rogers and Commissioner Roberts

**PH-5 14-1631**                    **MOTION - APPLICATION FOR CERTIFICATE OF PUBLIC  
CONVENIENCE AND NECESSITY FOR RENTAL CAR WITH  
CHAUFFEUR - Fenix Transportation, Inc.**

Mayor Seiler opened the floor for public comment.

Raymond Cox, no address provided, was opposed to comments made during discussion of this item. He supported Uber. People want a ride-sharing program. He went on to elaborate on issues concerning homelessness.

There being no other individuals wishing to speak on this matter, a motion was made by Commissioner Roberts and seconded by Commissioner McKinzie to close the public hearing. Roll call showed: **AYES:** Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler. **NAYS:** None.

**Motion** made by Commissioner Trantalis and seconded by Commissioner McKinzie to approve the item as recommended.

**APPROVED**

**Aye:** 4 – Commissioner Trantalis, Commissioner McKinzie and Mayor Seiler

Nay: 2 – Vice-Mayor Rogers and Commissioner Roberts

**ORDINANCES**

**O-1 14-1578**                    **SECOND READING OF ORDINANCE ESTABLISHING A PERMANENT PARKLET PROGRAM - Case 7T13**

Mayor Seiler opened the floor for public comment.

Raymond Cox, no address provided, opposed the item.

There was no one else wishing to speak.

Commissioner Roberts introduced the ordinance, which was read by title only.

**ADOPTED ON SECOND READING**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**O-2 14-1521**                    **FIRST READING OF ORDINANCE AMENDING CODE OF ORDINANCES - INCREASING LIEN SEARCH SERVICE FEES**

Mayor Seiler opened the floor for public comment.

Raymond Cox, no address provided, questioned how the revenues would be spent. He discussed the enforcement costs associated with new laws. Safety should be a priority. He supported the item.

There was no one else wishing to speak.

Commissioner Trantalis was concerned about the extent of the increase. He believed the fee must be commensurate with the actual cost of conducting a lien search. He did not want to create an onerous charge in order to keep up with other municipalities. The City Manager believed the fee is justified for the work. The City Auditor shares a similar concern however and he has agreed to provide justification for the second reading. This involves several staff members. Commissioner Roberts pointed out that the Commission asked the Budget Advisory Board to review fees occasionally and make sure they are commensurate with services rendered.

Commissioner Roberts introduced the ordinance, which was read by title only.

**PASSED FIRST READING**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**O-3 14-1423**                    **FIRST READING OF ORDINANCE AMENDING CODE OF ORDINANCES - UPDATING WATER SYSTEM BACKFLOW PREVENTION PROGRAM**

Mayor Seiler opened the floor for public comment.

Raymond Cox, no address provided, expressed concerns about flooding and how City funds are spent. He advocated for the homeless.

There was no one else wishing to speak.

Commissioner Roberts introduced the ordinance, which was read by title only.

### **PASSED FIRST READING**

**Aye:** 5 – Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

### **PUBLIC HEARINGS**

#### **PH-3 15-0016                    QUASI-JUDICIAL - DE NOVO HEARING - CERTIFICATE OF APPROPRIATENESS FOR DEMOLITION OF RIVERMONT HOUSE - 1016 Waverly Road - Case H14014**

Commissioner Trantalis advised in his discussion with Stephen Tilbrook on behalf of the Applicant, Tilbrook expressed the viewpoint that Commissioner Trantalis would not profit if he voted for or against this case. A question has been raised to the City Attorney that he has a conflict of interest because he represented the next-door neighbor, David Kyner, in the purchase of 20 feet along the border that the two property owners shared. The purchase was from two previous owners before the Applicant. He believed the current homeowners are suing the bank that sold them the property. Mayor Seiler indicated that Mr. Tilbrook has indicated Mr. Kyner is not involved in the lawsuit. In response to Commissioner Trantalis, Attorney Stephen Tilbrook of Gray Robinson P.A., representing the Applicant, said that if Commissioner Trantalis' representation has ended, he did not believe there is a conflict of interest. The Applicant is not asserting any conflict.

Mayor Seiler opened the floor for public comment.

Raymond Cox, no address provided, said he believed Commissioner Trantalis has a conflict of interest.

Mayor Seiler asked if anyone else believes there is a conflict. No one came forward. Members of the Commission proceeded to announce with whom they had spoken and/or site visits made concerning this matter.

Tilbrook reviewed a list of items being submitted for the record. The list is attached to these minutes. He noted particulars about this application. Being in the Sailboat Bend Historic District, a certificate of appropriateness is required for all demolition and new construction. The Applicant initially intended to expand the existing home but after investigation and advice of her architect and engineers, she applied for a certificate of appropriateness for demolition because there was nothing to restore. There are six lots, but the home is located on Lots 1, 2 and 3. The application was filed in July of 2014. The Historic Preservation Board reached an agreement that the home was not a contributing structure, but the Board requested additional information about the archaeological resources at the site. An archaeological assessment and demolition management plan were presented to the Board and the Board unanimously approved the certificate of appropriateness subject to following demolition procedures outlined in the management plan.

Architect Leo Hanson reviewed his experience and credentials in historic preservation. He reviewed slides related to this matter, which are attached to these minutes. Several additions to the home were made between 1915 and 1947. The building permit application in 1947, after a hurricane, indicates a project cost of \$20,000 that equates today to roughly \$200,000. In 1950, there were significant changes also. In reviewing the slides, he explained what he believed occurred: The height of the house was raised, the house was rebuilt and a basement was added in 1947. Some materials were reused. Windows and doors were moved. He elaborated on materials used and how they reveal time periods. There are no photographs or records of the original materials.

James Witt reviewed his experience and credentials as an engineer and general contractor. He investigated the site in question. It has gone through at least four substantial events which he expanded upon. All historical elements in the interior are gone. The home's current condition is very poor. In order to be in compliance with building codes, about 80 to 90 percent of the home would need to be removed. None of the structural components meet current criteria. There is nothing to restore and therefore not practical or feasible.

Archaeologist Robert Carr reviewed his experience and credentials. He provided a detailed report on his archaeological phase one assessment of Lots 1-6, the entire property. The report was submitted into the record by Mr. Tilbrook at the beginning of the presentation (Exhibits 4 and 5). Most of the site was positive for pre-historic materials. A phase one assessment was previously done for 416 Palm Avenue, which is the adjacent property to the west. He noted the findings of that assessment. Most of the property was recognized as having been disturbed. The midden that exists on the Applicant's property extended onto 416 Palm Avenue. He has requested information on the monitoring and phase two of the 416 Palm Avenue property but has not received anything. He highlighted the demolition management plan and noted it is similar to others including that for Tarpon Park. Properly implemented, the plan will do the best possible job for preserving what part of the site still exists. He has worked with the project architects for demolition and construction of a new home at this site. The method is appropriate for respecting and protecting the archaeological resources at the site. He believed the owner and project team have that goal. He would not have worked with them if he did not think it could be done the right way.

In response to Mayor Seiler, Carr advised that the management plan is the same as what was submitted to the Commission at their last meeting, except that a staging area has been identified.

Tilbrook continued review of the slides.

Tilbrook advised that the information was well-received by the Historic Preservation Board (HPB), which determined the demolition plan was reasonable and appropriate. They asked that a second hearing be devoted to an archaeological management plan. They determined that the plan was reasonable and appropriate for the use of this property, which allows only single-family homes. This application only involves demolition; there will be a new application for the new home. There are conceptual plans for the new home which were presented to the HPB and the board was pleased with those plans. He noted how the project is in compliance with the City's Unified Land Development Regulations and two of the listed criteria in 47-24.11.C.4.c. Only one criterion has to be met. Neither the building nor the site is a locally-designated landmark. The house is located in the historic district but due to extensive modifications the home is no longer contributing to the historic district. The property also no longer has significance as a historic architectural or archaeological landmark. The house does not have the significance of a historic architectural landmark. The site has significance due to its archaeological resources. The inherent value of the site does not lend significance to the house. The value of the site can be preserved through a demolition management plan and construction plan under the guidance of an archaeologist and also by following proper procedures set forth in the City and County codes. If any significant resources are discovered, work will be stopped and Broward County's archaeologist will be consulted. He noted support from the Sailboat Bend Civic Association and several neighbors. He urged the Commission to follow the HPB's determination.

In response to Mayor Seiler, Assistant City Attorney D'Wayne Spence explained that the issue raised by James Brady in his January 2, 2015 letter is about the level of participation by the Broward Trust for Historic Preservation. The Trust does not meet the standing of a party to this matter, but it does not prevent them from participating in the proceedings.

Steve Glassman, representing Broward Trust for Historic Preservation, read in part from a letter, which is attached to these minutes, addressing the issue of standing. He noted he is also speaking on behalf of the adjacent property owner, David Kyner. In response to Mayor Seiler, Glassman indicated that the Trust did not participate in proceedings before the Historic Preservation Board or the Sailboat Bend Civic Association.

Attorney James Brady of Arnstein & Lehr LLP, said that in order to speak on behalf of a person who is not present, the individual must be a registered lobbyist. Additionally, when a party is represented on a legal matter, one must have a license to practice law in Florida. This would set a peculiar precedent.

Mayor Seiler did not believe the Trust is a party to this matter and he would not treat it as such. He also did not believe the Trust could legally represent an individual. There was consensus agreement that the Trust is not a party.

Raymond Cox, no address provided, suggested the City bid on purchase of the property and it be used as a public park with restrooms.

Steve Glassman, representing the Broward Trust for Historic Preservation, reviewed a list of items being submitted for the record. The list is attached to these minutes.

Brady stated that those who are not a party in a quasi-judicial proceeding cannot submit evidence in the hearing.

Glassman went on to read from a prepared statement, which is attached to these minutes.

Susan McClellan, representing the Broward Trust for Historic Preservation, provided documents for the record including her resume as a historic preservation architect and read from a prepared statement, which is attached to these minutes.

Joe Holland, representing the Broward Trust for Historic Preservation, read a historic preservation assessment by historic preservation specialist David Baber. A copy of the assessment that is also Exhibit of information provided by Steve Glassman is attached to these minutes.

Marla Dumas, representing the Broward Trust for Historic Preservation, noted that microfilm evidence located by McClellan shows that work was done during a significant period of 1940 and 1941 that the Sailboat Bend Historic District recognizes. Buildings that are nearly 100 years old change over time. The historic materials will not stay intact. Changes to the interior do not affect the ability to consider a building as contributing. Testimony about the line showing an addition to the house is not true. It had to do with reinforcement of a porch in 1941. It was an architectural improvement to make the house lasting. It is common to enclose porches on historic homes. When the house was built originally there was no air conditioning. The changes over time are appropriate. She referenced a drawing that explains the porch that was provided for the record. She went on to discuss the code's criteria for a contributing structure, three of which apply to this house as follows: The house is an important example of the cultural significance; a vernacular style was built which can be recognized in and of itself; the importance to this home is the people who lived there. She elaborated upon the craftsmanship; another code criteria. She believed the dormer is original. She recommended that an unbiased third party evaluate the property because of the differing opinions being expressed.

Michelle Williams of the Florida Public Archaeology Network reviewed her experience and credentials. She has been working to preserve the Rivermont site since 2011. She discussed local Native American history, which Mayor Seiler said is not in dispute. The issue is with the home; there is agreement that the site has significant value. Williams went on to say that the vast majority of sites that still survive in South Florida have been destroyed during construction processes. The Rivermont site is the last site of its size, importance and caliber on the New River. Any archaeological project on the site will be destructive. Removal of the historic home and subsequent construction of a new home will be much more destructive than a well-planned and monitored rehabilitation. In many places of North America, old homes save archaeological sites. Unfortunately the short-term desires of individual homeowners often take precedence over the cultural heritage of an entire community. Local government offers the highest level of protection for archaeology sites. She stressed the importance of preservation.

Sarah Nohe of the Florida Public Archaeology Network and a member of the Broward Trust for Historic Preservation reviewed her experience and credentials. This evening there has been compelling evidence in support of the Rivermont House. Demolition should not be allowed. She referenced Historic Preservation Board (HPB) Consultant Merrilyn Rathbun's report. The home and site together are among the most important historical resources in Fort Lauderdale. Demolition of the house would destroy the site. The application should be denied. The Applicant has attempted to discredit Rathbun's work. She pointed out that Mayor Seiler said previously he was unsure whether the HPB did everything they should to protect the site. She noted the City made historic preservation important when it was designated as a Certified Local Government. The State has recommended saving this house and the County has expressed grave concerns. Also, the State Archaeologist has asked the Seminole Tribe to provide their input. She suggested archaeological and architectural mediation, that is, a third party. She read a portion of the City's code on historic preservation. The burden of proof is on the Applicant to demonstrate how she has met the code's criteria for demolition. City staff has said the Applicant failed to meet the criteria and the Broward Trust agrees. There are no guarantees the Applicant will retain the property if demolition is granted. Many developers obtain approvals and then sell their properties. The presentation clearly shows that the Rivermont House is a key contributing structure in the Sailboat Bend Historic District based on its prime example of early vernacular architecture in South Florida that has weathered 100 years. The house was associated with George and Virginia Shuman Young and their construction company. She elaborated on evidence submitted with respect to other significant people who owned and resided in the home, and who contributed to Fort Lauderdale history. The application does not meet the criteria for a certificate of appropriateness for demolition.

HPB Consultant Merrilyn Rathbun reviewed her credentials and qualifications for her position as historic consultant to the City's Historic Preservation Board. She is an employee of the Fort Lauderdale Historical Society who has a contract with the City to provide consulting services to the HPB. Her subject as a local historian is the built history of the city from 1913 to 1929. However as research director of the Historical Society, she has had to expand that period. She provided a history of how the contract has evolved. A significant deliverable pursuant to the contract is a memorandum on cases that go before the HPB each month. The memorandum includes a historic context of the property, information about the applicant's proposed project and analysis of the appropriateness of their project under City criteria and standards of the Secretary of the Interior and her recommendation. For the past 14 years, she has provided more than 500 memoranda to the HPB.

Abby Laughlin, 425 Bayshore Drive, felt there will always be a gray line when it comes to matters of historic preservation but character assassination should not ever be used as a justification. She was disappointed in such attacks on staff and the City's historic consultant. She felt it would be a dangerous precedent to discredit Rathbun's memorandum while hundreds of previous ones have been accepted. She suggested transferring preservation rights. If a property owner wants to demolish a historically significant building, they should contribute financially to another historically important project. She encouraged out of the box thinking.

Dave Parker, 801 Middle Street, said he is treasurer and an active board member of the Sailboat Bend Civic Association. He read a letter from Susan Gillis to the City Commission, opposing the demolition. A copy of the letter that is also Exhibit 8 of information provided by Steve Glassman is attached to these minutes. He also summarized his letter on this matter, concerning the Board's vote, ownership, and the process being transparent. His letter is attached to these minutes.

L.F. Rosenthal, 1237 NW 4 Avenue, felt that the Applicant's attorney has submitted substantial evidence but the opponents have only submitted their subjective opinions. He felt that historic evidence should have been presented, such as a postcard, photograph or letters describing the house. He did not believe the home is historic.

Donna Mergenhagen, 3034 NW 69 Court, said she attended a district meeting 15 years ago at which residents asked their commissioner to support them in holding a developer to the promises he made. Ultimately the developer was not held accountable. This has happened in other projects as well. The current situation is a complex debacle but it also presents opportunities. She suggested reassessing the need for a dedicated historical officer. Additionally perhaps the City should institute completion bonds and tie promises to the issuance of certificates of occupancy. She also suggested developing a process to add variances to property covenants so responsibility is transferred with sale of the property and clarifying ownership status of each applicant at every public hearing.

Charles King, 105 North Victoria Park Road, said he has a degree in history. He did not see why it is important to preserve this home. He felt it would be more productive to have a statue of William Lauderdale. He felt that the historical community should focus on the real history of the city.

Architect Bob Tuthill said he was hired by the Applicant to restore the house. Leo Hanson was then asked to join. Everyone had good intentions to restore the property. Once he and Hanson got involved and evaluated the property, they determined that the reality is this house was demolished years ago. Maybe 10 percent of the original material is intact. The basement was constructed in stages over time. It was devastated in 1947 and rebuilt at a cost of \$20,000 which was quite expensive at the time. The beams underneath are from 1947, which was confirmed by the engineer. He elaborated on building materials and time frames when they were used.

In response to Commissioner Roberts, Economic and Sustainable Development Director Jenni Morejon confirmed that the staff recommendation is in the form of Rathbun's report, which does not support demolition. The Historic Preservation Board voted 6-0 in favor of demolition.

Tilbrook in rebuttal said the Applicant wants to make reasonable and appropriate use of the property. The property is zoned for single-family home use. They have a comprehensive and professional plan for managing any impacts to the midden site. The Applicant wants to be treated fairly and equally with other similarly situated applicants. The City conducted demolition on another midden site at Tarpon Park with a plan overseen by Robert Carr. The neighboring property owner, David Kyner, submitted two certificates of appropriateness for demolition and construction on this midden site, both of which were approved by the HPB. Mr. Kyner now chairs the HPB. There has been no credible expert testimony to counter their evidence. He asked the Commission to follow the HPB's determination.

There being no other individuals wishing to speak on this matter, a motion was made by Commissioner Roberts and seconded by Commissioner Trantalis to close the public hearing. Roll call showed: AYES: Commissioner Trantalis, Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler. NAYS: None.

Commissioner Roberts introduced the resolution to approve the certificate.

Commissioner Trantalis made some introductory comments about the topic of historic properties in the city in general. The Sailboat Bend area was created relating to historical significance by ordinance. The



Applicant knew she was buying in a historic district. It does not appear that there was ever a history of trying to save the house. There seems to have been a hodge podge of attempts to give it relevance for the era it represented. He wanted to separate the house from the site for discussion. There is no dispute that the site has historical significance. He wanted to ensure that the site is preserved and not built on. He understood that the HPB Consultant does not recommend demolition partly in order to preserve a style vernacular to the area. Looking at the neighborhood, he did not see any single style. It appears the decision of demolition was made by previous owners who destroyed the 1915 house. He read from Hanson's report that although the site has archaeological significance, that does not transfer to the house or relevant to demolition of the house so long as potential impacts to the archaeological resources are appropriately managed and mitigated. He supported demolition of the house. He did not think it violates a sense of dignity and historical perspective. There should be a restriction that nothing can be built on or beyond the existing perimeter which has already been compromised by construction of the existing house.

Vice-Mayor Rogers felt the procedure has been open and transparent. He did not think that ownership is an issue. The analysis should be on the greater weight of evidence. He felt the expert testimony that has the greatest weight is the detailed analysis of the structure. Once a structure has been rebuilt, when does one draw the line as to how it is determined to be historic. If it is down to 10 percent of the original structure, they are fooling everyone by trying to convince them it is historic, which is contrary to the guidelines of historic preservation. The HPB unanimously voted for demolition. The neighborhood also voted 13-0 to support demolition. He believed Carr's testimony on how to address demolition was thoughtful and concise. He wanted to incorporate the HPB criteria for demolition. In response to Vice-Mayor Rogers, the City Attorney advised that because this is a de novo proceeding, the Commission decides upon conditions if any. He was uncertain whether he supports Commissioner Trantalis' suggestion to adopt deed restrictions and questioned if the City has such power.

Commissioner McKinzie said he is comfortable with the evidence and supported demolition. The structure has been altered far beyond the original.

Commissioner Roberts agreed that the site should be preserved. The house has been altered. At his request, the City Attorney confirmed there is no issue with ownership. He felt that the City has complied with the County ordinance in order to proceed. He liked Abbey Laughlin's revenue-generating idea perhaps in the future. He wanted to add the eight HPB criteria.

In response to Commissioner Trantalis' motion impose a deed restriction, Assistant City Attorney D'Wayne Spence indicated that only conditions that are necessary to ensure compliance with the criteria should be implemented. The motion died for lack of a second.

Vice-Mayor Rogers pointed out that if the HPB rejects the Applicant's request for a building permit, the matter will be presented to the Commission.

**Motion** made by Vice Mayor Rogers and seconded by Commissioner Roberts to add the eight conditions imposed by the HPB to this case.

Mayor Seiler expanded on and agreed there is no dispute over ownership. He believed the house was demolished years ago. He believed that the site is significant, and he believed the Applicant agrees based on who they have hired. He commended the team of experts. He agreed with Vice-Mayor Rogers that it is significant that Sailboat Bend Historic District and the HPB voted in favor of demolition. He was concerned about the attempt to discredit and make personal attacks.

Commissioner Trantalis pointed out that he cannot vote in favor because he does not trust the process that the balance of the midden will be protected.

**ADOPTED Resolution Approving Certificate as amended to include eight conditions of Historic Preservation Board**

**Aye:** 4 – Commissioner McKinzie, Vice-Mayor Rogers, Commissioner Roberts and Mayor Seiler

**Nay:** 1 – Commissioner Trantalis

**REQUEST FOR CLOSED DOOR**

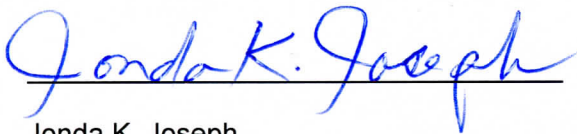
The City Attorney requested a closed door meeting for January 21, 2015, to discuss matters related to *William Doherty vs. City of Fort Lauderdale, Case No. 14-014173 (14)*.

There being no other matters to come before the Commission, the meeting was adjourned at 10:22 p.m.



John P. "Jack" Seiler  
Mayor

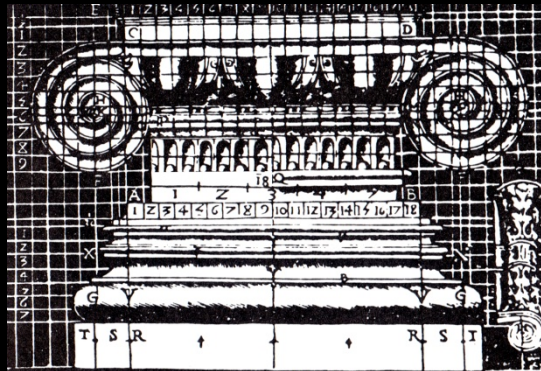
ATTEST:



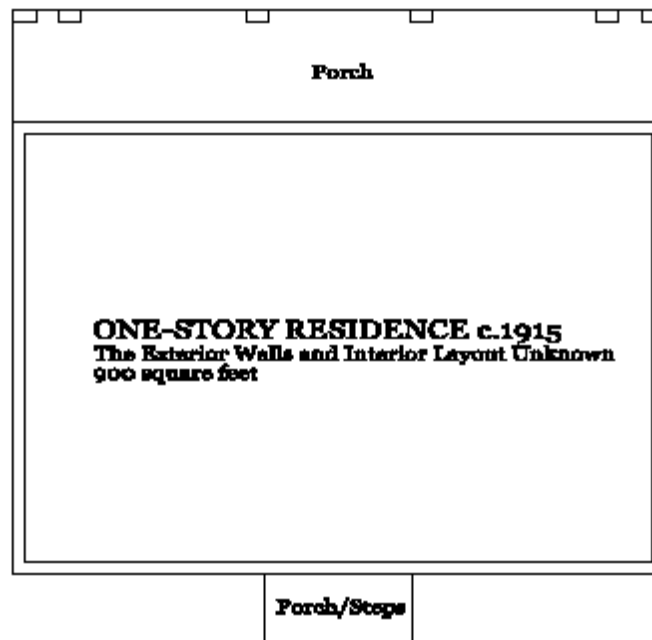
Jonda K. Joseph  
City Clerk

HISTORICAL AND  
ARCHITECTURAL  
EVALUATION OF AN EXISTING  
ONE-STORY RESIDENCE AT  
1016 WAVERLY ROAD  
FORT LAUDERDALE, FL.

Prepared by

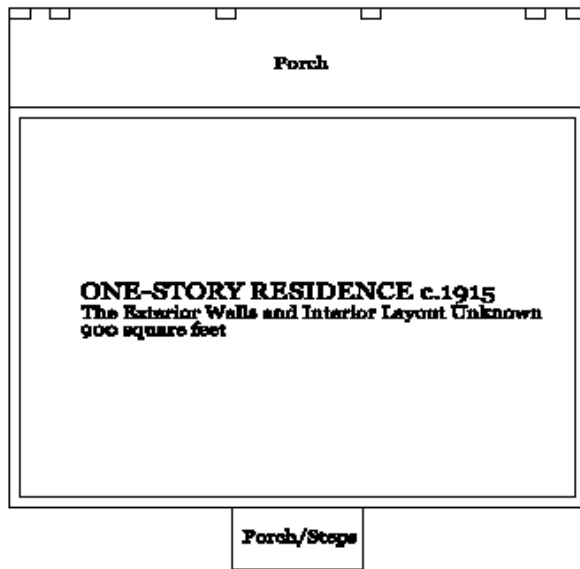


LEO HANSEN, A.I.A., SAH, LEED  
520 S.E. 8TH STREET  
FORT LAUDERDALE, FL 33316

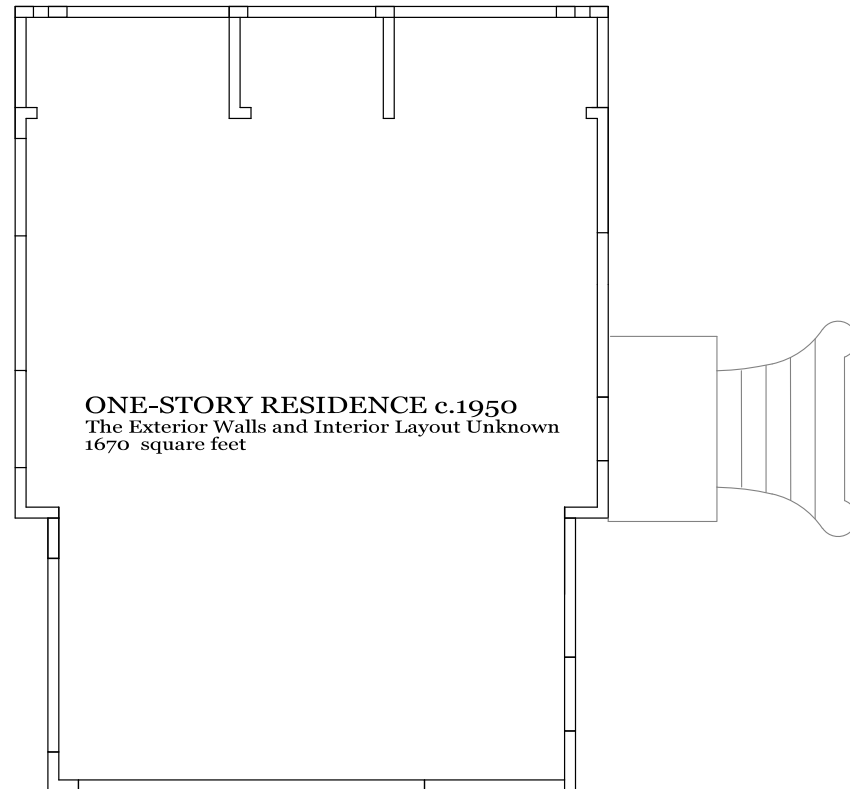


**ONE-STORY RESIDENCE c.1915**  
The Exterior Walls and Interior Layout Unknown  
900 square feet





⊕ **FLOOR PLAN: c.1915**  
SCALE IN FEET



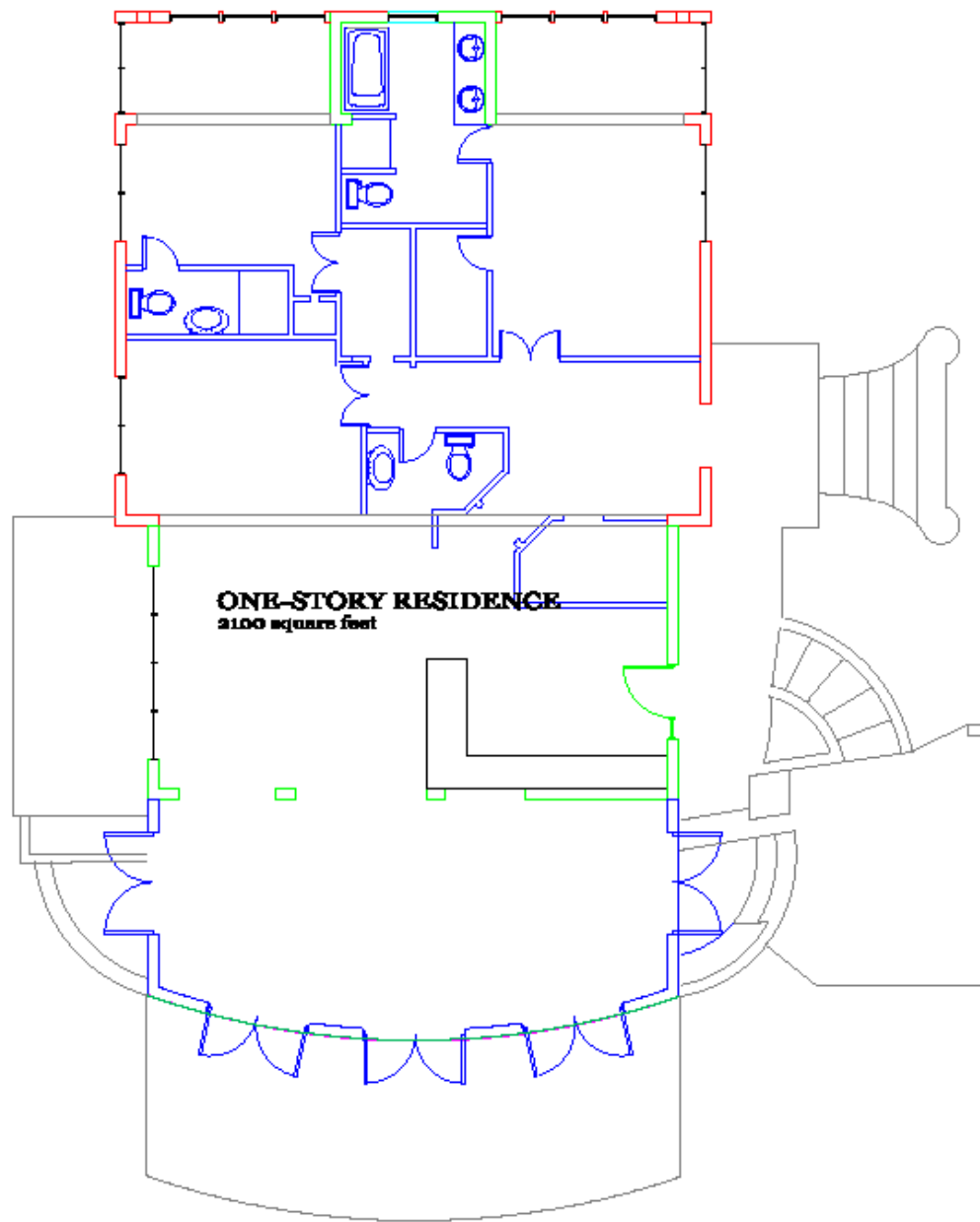
⊕ **FLOOR PLAN: c.1950**  
SCALE IN FEET











 **FLOOR PLAN: CURRENT**



 c. 1947     c. 1950     c. 1996





## CRITERIA FOR APPROPRIATENESS OF DEMOLITION (ULDR 47-24.11C.4.c)

**Design.** The design of the house is not special, nor was it created by a recognized architect of significant merit. Due to the extensive additions and alterations over time, the actual style is not positively known.



## CRITERIA FOR APPROPRIATENESS OF DEMOLITION (ULDR 47-24.11C.4.c)

**Materials.** The windows, doors and roofing are neither significant nor historic. Positive identity of all the existing materials is not known.



## CRITERIA FOR APPROPRIATENESS OF DEMOLITION (ULDR 47-24.11C.4.c)

**Workmanship.** The photographs clearly demonstrate that much of the work was of average quality, and some work poorly planned or executed created the deteriorations and related problems (mold, mildew). It has created an eyesore, and there is little doubt as to why the demolition of the house was unanimously favored at a Sailboat Bend Civic Association meeting.



## CRITERIA FOR APPROPRIATENESS OF DEMOLITION (ULDR 47-24.11C.4.c)

**Feeling.** Due to its many permutations and alterations, the house has lost an identity. There is nothing, special, unique, or quaint about it.



## CRITERIA FOR APPROPRIATENESS OF DEMOLITION (ULDR 47-24.11C.4.c)

**Association.** The house in its original state that may have been part of Fort Lauderdale's history, and once among the structures that helped define the Sailboat Bend district, no longer exists. The one that exists today is just another house that has uses historic rather than modern language.



**Landmark Status.** The house located at 1016 Waverly Road is not a locally designated landmark building and the property is not a locally designated landmark site; it is not listed on the National Register of Historic places, nor would it qualify.





## SUMMARY

1 The house is also no longer a contributing structure in the Sailboat Bend Historic District due to multiple demolitions and renovations over time; these renovations were not part of the historic continuum, which ends in 1947.



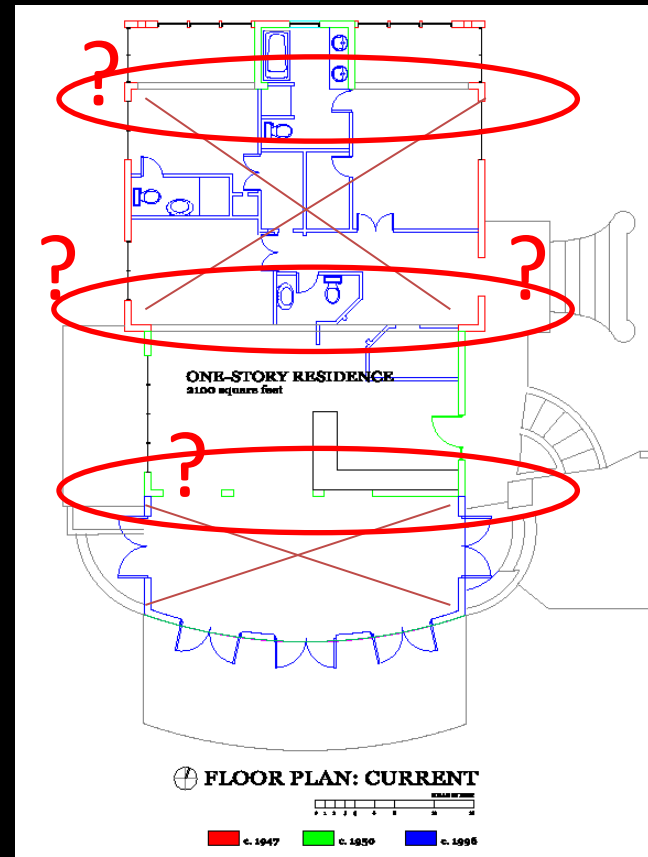
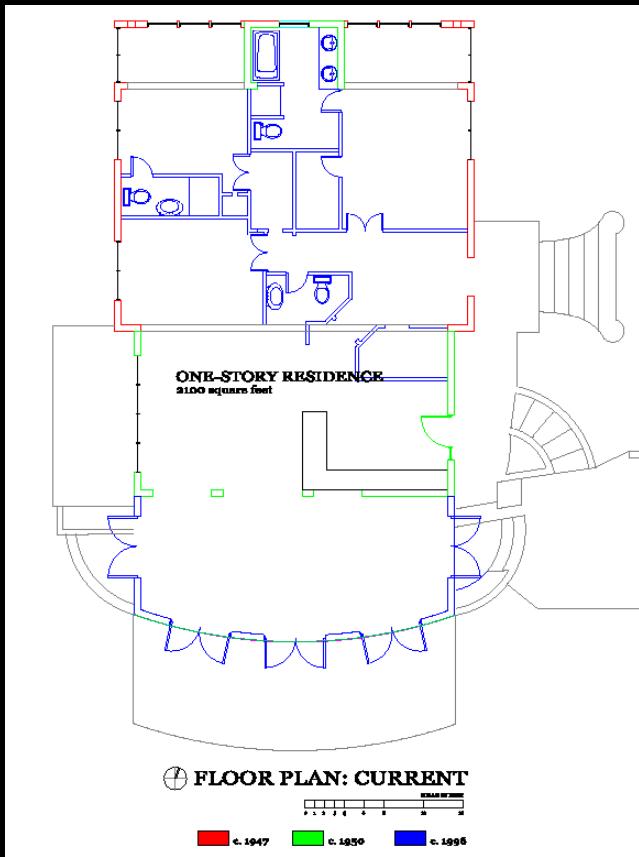
## SUMMARY

2 The existing structure does not contribute to the historical district because its qualities of design, materials, workmanship, feeling and association have been altered or so deteriorated that the integrity of the house is irretrievably lost.



## SUMMARY

3 Although the site has archaeological significance, the archaeological significance does not transfer to the house located on the site and is not relevant to the demolition of the house, so long as potential impacts to the archaeological resources are appropriately managed and mitigated.



## SUMMARY

4 Since even much of the 1947 house has been removed or modified, and there are no photographs of the house from this period, and there are no drawings of the house from this period, it is impossible to properly restore or rehabilitate the residence.

**“A false sense of history will not be created by adding conjectural features, features from other properties, or by combining features that never existed together historically.”**

The Secretary of the Interior’s Guidelines for the Treatment of Cultural Landscape

There is a significant, undeniable difference between a building built with historical language and a building that is truly historic.

**1016 Waverly Road – January 6, 2015 City Commission Hearing**

**Exhibit List**

1. Application for certificate of appropriateness – demolition (December 30, 2014).
2. Survey of 1016 Waverly Road.
3. Special warranty deed between Regent Bank Finance, Inc. and Michelle Grosman, recorded December 23, 2013.
4. Archaeological Assessment at 1016 Waverly Road, Demolition Management Plan, as prepared by Robert S. Carr, Archeological and Historical Conservancy, Inc. (November 20, 2014).
5. Phase I Archaeological Assessment Report, prepared by Robert S. Carr (December 2014).
6. Historical and Architectural Evaluation of an Existing One-Story Residence at 1016 Waverly Road, as prepared by Leo Hansen, A.I.A., LEED (January 2, 2015).
7. Structural engineer's report, prepared by Lawrence DeRose, P.E., Senior Vice President, DeRose Design Consultants, Inc., a subsidiary of Ammann & Whitney (January 5, 2015).
8. Evaluation of 1016 Waverly by James R. Witt, P.E., CRC, Owner/President Holly Hill Homes, Inc. (January 4, 2015).
9. Site survey with new site plan overlay, prepared by Tuthill Architecture.
10. Project site plan, prepared by Tuthill Architecture.
11. Color elevations of new home, prepared by Tuthill Architecture.
12. Resolution No. 2014-3, Sailboat Bend Civic Association, Supporting the Proposed Demolition (September 10, 2014).
13. Correspondence from Stephen Tilbrook, Esq., GrayRobinson, P.A., to Henry Sniezek, Planning and Environmental Division of Broward County (January 5, 2015).
14. Correspondence from James Brady, Esq., Arnstein & Lehr LLP, to Cynthia Everett, City Attorney, City of Fort Lauderdale, regarding Broward Trust (January 2, 2015).
15. Correspondence from James Brady, Esq., Arnstein & Lehr LLP, to Cynthia Everett, City Attorney, City of Fort Lauderdale, regarding Merrilyn C. Rathbun (December 31, 2014).
16. Correspondence from Stephen Tilbrook, Esq., GrayRobinson, P.A., to Linda Mia Franco, AICP, Principal Planner, City of Fort Lauderdale, with enclosures (November 20, 2014).

17. Email correspondence from John Halliday to Barry Webber re: Bids to Purchase 1016 Waverly Road, with additional emails (December 10, 2013).
18. Correspondence from Susanne M. Torriente, Assistant City Manager, City of Fort Lauderdale to Regent Bank re: City of Fort Lauderdale's offer letter for potential purchase of 1016 Waverly Road property (December 11, 2013).
19. Resume of Robert S. Carr.
20. Resume of Leo Hansen.
21. Resume of Robert William Tuthill.
22. Resume of Lawrence DeRose.
23. Resume of James R. Witt.
24. Resume of Merrillyn C. Rathbun.
25. Phase I Archaeological Survey, prepared for Mr. David Kyner by Soltec International Inc. as to 416 Palm Avenue, Fort Lauderdale, Florida (February 7, 2011).
26. Minutes of February 7, 2011 Meeting of Fort Lauderdale Historic Preservation Board (416 Palm Avenue).
27. Results of February 7, 2011 Meeting of Fort Lauderdale Historic Preservation Board (416 Palm Avenue).
28. Minutes of January 7, 2013 Meeting of Fort Lauderdale Historic Preservation Board (416 Palm Avenue).
29. Results of January 7, 2013 Meeting of Fort Lauderdale Historic Preservation Board (416 Palm Avenue).
30. Transcript of October 6, 2014 Meeting of Fort Lauderdale Historic Preservation Board.
31. Minutes of October 6, 2014 Meeting of Fort Lauderdale Historic Preservation Board.
32. Transcript of December 1, 2014 Meeting of Fort Lauderdale Historic Preservation Board.
33. Minutes of December 1, 2014 Meeting of Fort Lauderdale Historic Preservation Board.
34. Applicant's exhibit list (with exhibits) for items entered into record at December 1, 2014 Meeting of Fort Lauderdale Historic Preservation Board.



35. Results of December 17, 2014 Meeting of Fort Lauderdale City Commissioners.
36. Leo Hansen's PowerPoint presentation for January 6, 2015 Fort Lauderdale City Commission Hearing.
37. Building permit records regarding 1016 Waverly Road.
38. Roof drawings regarding 1016 Waverly Road.
39. McLaughlin survey regarding 1016 Waverly Road (January 1977).
40. A/C duct work drawing regarding 1016 Waverly Road (1973).
41. Quasi-judicial notice of the following sections of the ULDR:
  - a. Section 47-26A.2
  - b. Section 47-24.11.C.3.c.i
  - c. Section 47-24.11.C.4.c
42. Phase I Cultural Resource Survey of the Tarpon Park Parcel, Fort Lauderdale, FL, prepared for the City of Fort Lauderdale Parks and Recreation Department by Ryan Franklin, M.Sc. and John G. Beriault, B.A. under the direction of Robert S. Carr, M.S. (September 2008).
43. Opinion of title prepared by Harvey K. Mattel, Esq. (January 6, 2015).

JAN 6, 2015 PH-3  
SUSAN McCLELLAN

Susan M. McClellan, P.A. A R C H I T E C T  
Post Office Box 030123  
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AA0003603  
P: 954.776.6871  
C: 954.205.9539  
E: pinktent@bellsouth.net

## HISTORIC PRESERVATION WORK (updated)

- DEC '03-May '05      GILDA'S CLUB      +/- 450 sf  
119 Rose Drive  
Fort Lauderdale, Florida  
Interior tenant build-out of basement space within  
National Register Historically significant turn-of-the-  
Century Residence turned office space building for  
Use as a meeting room for toddlers and teens.
- APR '04-late 2010      Fort Lauderdale Woman's Club      +/- 3500 sf  
Southeast corner Andrews Avenue + Broward Boulevard  
Fort Lauderdale, Florida  
Rehabilitation and Restoration of Fort Lauderdale's  
Historic Landmark Building for continued use as a  
clubhouse meeting space. Originally founded as the  
Women's Civic Improvement Association in January 1911  
for the purpose of improving the lives of citizens within the new  
community of Fort Lauderdale (incorporated in April 1911).  
The group later changed its name to the present FLWC and  
built a 1,200 sq. foot Mediterranean Revival building by famous  
Dade County Architect **August Geiger** in 1916-17 on land  
donated by Fort Lauderdale founding father Frank Stranahan  
(wife, Ivy Stranahan, was an active member) at this location.  
In 1949 an addition drastically altered the building changing its  
main entry from the West to the South doubling its square  
footage for the then very active club of 400+ members.  
As with many volunteer member civic organizations,  
membership rises and falls over its lifetime mirroring many factors  
such as: the economy, women being added to the workforce, and  
value of volunteerism in the local citizen psyche.  
Early in 2004 the Club sought and received from the City of Fort  
Lauderdale, local historic designation of the building and property.  
The club continues (as it has since 1917) to  
hold its monthly meetings in the building and offers it for rent  
to private organizations and individuals for parties and meetings  
to offset the building's upkeep while allowing the group to continue  
its purpose of "civic improvement". This project has been multi-  
faceted in its need for visual references that provide thought  
provoking understanding of the real need of volunteer organizations

to find funding in the community locally as well as from the state.  
A brief synopsis of services provided are as follows:

2004-present Develop artwork for use in creating interest in the project locally as well as with the County and State Historic Preservation programs for grants. Represent the Project at Grant hearings locally and statewide.

2006, 2008 to present Continue to develop marketable artwork that can help develop stewardship in the project at a local level.

2006-present Provide Architectural Services for the implementation of elements funded through Grants and Local Private Donations such as:

New HVAC system - new 12-ton system added replacing old 5-ton system

New Roof - Rehabilitated roof bringing back the original look of the 1917 roof of barrel tile while meeting new hurricane requirements

Rehabilitate Electric - replace the original glass fuse box with new circuit panel with new wiring.

Add Fire Alarm System - smoke detection monitoring system added

Restoration of Original Fireplace Mantle - removal of stage added in 40's to discover the original hearth in place. Research of Dade County Geiger buildings still standing gave insight into detailing of restored non-operable fireplace.

Replacement of Jalousie windows - Some time long after the '49 addition (in the late 50's+/-) jalousie windows replaced the original single hung windows that were throughout the original and addition. One set was replaced with a set of Impact Rated Single Hung (double hung) in the Board Room through a grant provided by the Broward County Historic Commission.

Documentation of Overall Architectural Services Phases of Building Plans - Provided complete set of documents showing additions, demolitions and future work to be done on overall project for County Historic Commission as well as represent project at City Historic Preservation Board for its future proposed work in seeking Certificates of Appropriateness for future work.

Restoration of Original Entrance Porch (Andrews Avenue) with its doors and windows and remaining West facing windows and one North facing window pair. This project will also restore the original parapet removed in the 1949 addition to the original building. This project is being done in anticipation of the upcoming Centennial of both the Fort Lauderdale Woman's Club (January 2011) and City of Fort Lauderdale (April 2011)

respectively. The FLWC hopes to reintroduce its former Andrews Avenue address symbolically reawakening the local need and viability of "Volunteerism" for the next 100 years in the community.

- MAY '07–JUNE '09** **Survey of the T-Buildings on the Campus of FAU 4- buildings in Boca Raton for Florida Atlantic University and the Boca Raton Army Air Field Preservation Society.**  
Phased Survey of the Buildings for use by FAU and the BRAAF in applying for grants towards their restoration and rehabilitation using the Secretary of the Interior's National Standards for the Restoration, Rehabilitation and Preservation of Historic Buildings. The survey looked at the condition of the buildings and their separate parts, specifically windows and doors, at the exterior "skin" conditions and a future schematic plan for use of the buildings and their shared environment within the campus.
- MAR '10- PRESENT** **City of Wilton Manors in conjunction with Wilton Manors Historical Society for historic preservation assessment, renderings and Architectural documents for Permits for Historic Adaptive ReUse**  
Per the U.S. Secretary of Interiors Guidelines of the 1920's era Existing Locally Designated Willingham Carriage House in Richardson Park for use as a City Owned Rental Facility of the Ground Floor of the Carriage House as a Catering/Catering Prep And Bar with adjacent permanently roofed structure to North of Carriage House.
- DEC '11- PRESENT** **RANDALL RESIDENCE Restoration Adaptive Reuse Boca Raton In the Pearl City Historic District**  
Restoration and Adaptive ReUse of Existing 1920's era Vernacular style home in the district, one of if not the only Original home of the era.
- JUNE '13 – SEPT '13** **New WILNER RESIDENCE in 1 of 13 historic districts in West Palm Beach in Central Park Historic District**  
Design Drawings and Historic Board Approval Package and Presentation for a New Home on an existing raised lot.

Susan M. McClellan P.A. A R C H I T E C T  
A A 0 0 0 3 6 0 3

CONDENSED Report (3 minutes) 2 pages

(if allowed mini visual + some history evidence) [handed in at least]

3 pages

Post Office Box 030123 Fort Lauderdale, FL 33303  
p: 776.6871 f: 771.8386 e: pinktent@bellsouth.net

Susan M. McClellan P. A. A R C H I T E C T  
A A 0 0 0 3 6 0 3

6 January 2015

Honorable Mayor Jack Seiler and Commissioners Romney Rogers, Dean Trantalis,  
Robert McKinzie and Bruce Roberts

RE: 1016 Waverly Road House and Site / Rivermont Prehistoric Archeological Midden

Good Evening Mayor, Commissioners, City Manager, City Attorney and Staff;

I come voicing professional concern as "historic preservation architect" and add historic evidence found voluntarily through research at the City's Building Records Microfilm department. The evidence substantiates the report by the City's Historic Consultant to the HPB of 11-24-14 validating total demolition of the house is *not in keeping* with the U.S. Sec'y of the Interior's Standards for Historic Preservation; contrary to "Historic District Status" of Sailboat Bend referenced in the ULDR and CoFL's mandate as a C.L.G. steward *prioritizing Historic Preservation*.

**The C.O.A. for demolition should be denied at this juncture.**

The applicant should present;

1. detailed Demolition plan and elevations (non-contributing elements only)
2. complete New Construction plan and elevations

Both, **with documented evidence substantiating their findings** as per the City's own checklist for Historic Districts require in C.O.A.'s for HPB

3. detailed list and map of archaeological findings securing them with the City's chosen repository.

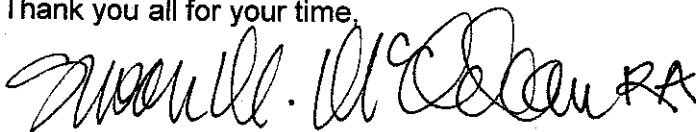
The City through the Commission should;

- a) seek some sort of Bond for the archaeological materials to be found with the proposed work and
- b) establish a repository for those materials future securement and enjoyment by the entire community.

The present HPB board **did not present clear reasons** per the Ordinance to grant C.O.A. for demolition. Therefore, per **ULDR Section 47-24.11.C.3.c.i:**

- a) Original key contributing material existing on the site will be lost forever.
- b) Demolition of key contributing elements with possible destruction of others with no clear plan and drawings of what will come cannot be evaluated.
- c) The historic key contributing home (mass and scale complementary to the district) and unknown demolition to the archaeological resource tied intrinsically to this work will also be lost.
- d) The history associated with this site as a cultural resource for our community and the local district has developed for longer than most of us have lived. To deny the application at this juncture would allow the owner time needed to develop and delineate, their plans for the future. The 11-24-14 report indicated the Owner has not shared their findings of archaeological dig findings thus far from the site. Also no permits found for a dense planting of trees and shrubs along the West and North property lines which potentially destroyed some archaeological remains. Adherence to the City's Code on the part of the Owner as with all property Owners in the City.
- e) No exacting drawings in evidence therefore no way to tell if they can be reasonably carried out.
- f) The plan / application does not comply (per my experience in the area of architectural historic preservation or adaptive reuse) with regard to the "United States Secretary of the Interiors Standards for rehabilitation and guidelines for rehabilitating historic buildings".

Thank you all for your time.



Susan Massey McClellan, R.A.

Citizen City of Fort Lauderdale, Registered Architect, Former HPB Member 2007-11 and Former HPB Chair 2009-11,  
Practicing Architect with Experience in Historic Preservation

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\*\*\*\*\**(if time is allowed for a short short short review of material)*

Review of the evidence is crucial for a **thorough understanding** of the house's built history as a key contributing resource to Sailboat Bend during its period of significance and beyond.

*Two relevant historic notes regarding the material:*

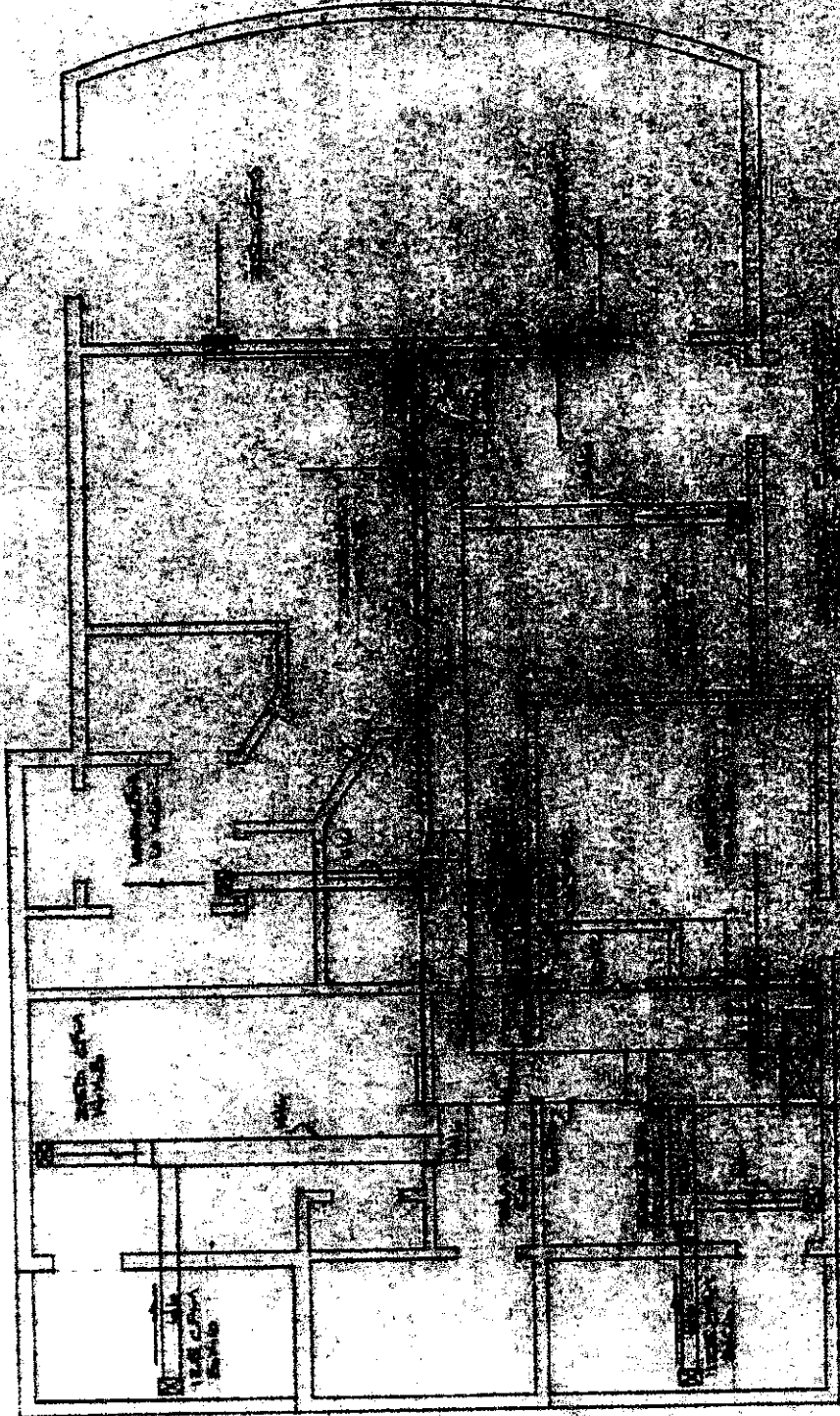
- 1. The year 1941 was the end year stated for the Sailboat Bend Historic District's "period of significance" establishment.*
- 2. 1940-41 , WWII, all efforts were focused on "Winning the War", materials, jobs and money was in short supply. This work must have appeared luxurious for a personal residence.*
- 3. Important individuals associated with the house history thereafter: Mr. and Mrs. R.H.Gore (newspaper founder), Mayor Virginia S. Young (city's only female mayor and HP advocate).*

Please see [figure 13] [figure 12] visuals.

- 1. The 1973 HVAC plan substantiates the original 1918 existing house plan and footprint had for the most part remained up until that time with the noted changes per Mr. Dave Baber's report.*
- 2. The 1918 original plan of the exterior was retained for the most part and the period of significance for SBHD referenced along with the tie to historic individuals in its life confirms its importance as a key contributing resource and worthy of retaining in whole or in part.*



Job # 23018



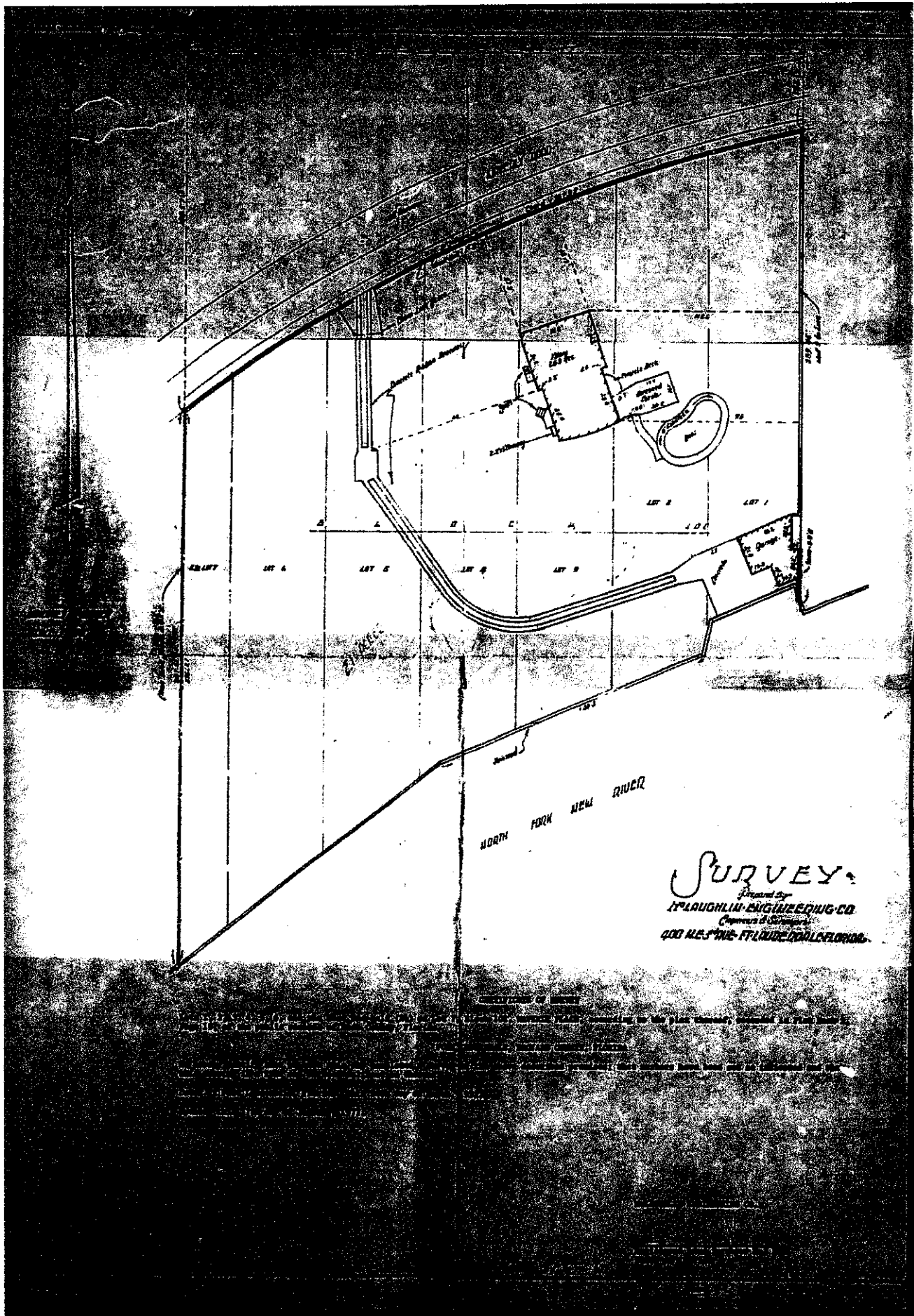


FIGURE 12

Susan M. McClellan P.A. A R C H I T E C T  
A A 0 0 0 3 6 0 3

Full Report (+15 minutes) with Figures [handed in at least]  
20 pages total

Post Office Box 030123 Fort Lauderdale, FL 33303  
p: 776.6871 f: 771.8386 e: pinktent@bellsouth.net

Susan M. McClellan P. A. A R C H I T E C T  
A A 0 0 0 3 6 0 3

6 January 2015

Honorable Mayor Jack Seiler and Commissioners Romney Rogers, Dean Trantalis,  
Robert McKinzie and Bruce Roberts

RE: 1016 Waverly Road House and Site / Rivermont Prehistoric Archeological Midden

Good Evening Mayor, Commissioners, City Manager, City Attorney and Staff;

I come tonight to voice my professional concern and add historic evidence to consider when deciding the fate of the house and site at 1016 Waverly Road in Historic Sailboat Bend.

The evidence I am submitting came from my voluntary research at the City of Fort Lauderdale's Building Department Microfilm department. It adds to and substantiates much of the history already in evidence in the report by the City's Historic Consultant, Merrilyn Rathbun to the Historic Preservation Board on 24 November 2014. Her report advised total demolition of the house is *not in keeping* with the United States Secretary of the Interior's Standards for Historic Preservation. The Historic District Status in the Historic Ordinance of the ULDR for the neighborhood (Sailboat Bend) as well as the City of Fort Lauderdale's mandate as a Certified Local Government (CLG) stewarding Historic Preservation *a priority* both warrant those findings.

I am also submitting copies of 2 documents from my own office files for work done on the adjacent property to the West for Dr. David Kynar and Mr. Richard Bray. These documents are important for this case as they establish property ownership of all of Lot 7 to Dr. Kynar and Mr. Bray in 2013. Also discussions questioning approvals receipt to do the work on their property had come up during the Rivermont C.O.A. process with the neighborhood association meetings and these documents show all three (3) C.O.A. dates for his work as well as the archaeological report (from Soltec) he had done for his construction work realizing the importance of retaining this cultural resource for all generations while incorporating the history into his life now.

As an architect practicing in historic preservation, thorough research into microfilm records in this City is critical for a full evaluation of the importance of the resource. The applicant's packet in evidence from the 17 December 2014 research made no mention of this documentation. The microfilm documents corroborate and substantiate findings noted in Ms. Rathbun's report as well as, Mr. Dave Baber's report of his visits to the house and site. Therefore, I present this evidence to the Commission for a thorough understanding of the house's built history as a key contributing resource to Sailboat Bend during its period of significance and beyond.

The microfilm evidence found started in early December of 1940 through 1941 having several (5) permits issued to a Mr. Frank Bobrytzke. The permits issued were for:  
(note asterisks indicate drawings submitted are included)

Seventy – two (72) feet of sea wall,

Enlargement of the summerhouse for caretakers quarters

\*\*\*a "New Tool House" onto the then "Present Garage" **[figure 1 and 2]**

\*\*\*a boat shelter **[figure 3]**

\*\*\*a porch onto the waterside (rear) of the house (+/-42'radius noted) **[figure 4]**

*Two relevant historic notes must be made regarding this material:*

- 1. The year 1941 was the end year stated for the Sailboat Bend Historic District's "period of significance" and establishment per the CoFL Historic Ordinance in the ULDR and*
- 2. 1940-41 in history of our city, country and world was very important as our Country was at war and all efforts were focused on "Winning the War" therefore materials, jobs and money was in short supply. This work must have appeared luxurious for a personal residence.*

In a 1945 permit filing a Mr. Joseph Bobrytzke is the name on the permit application for a garage building. Comparison of this garage building **[figure 5]** to the one shown in the 1940-41 submittals seems to indicate a new structure. Further research would have to be done into the relationship, if any, with regard to the Owner on the application.

The next entry **[figure 6 and 7]** was from 1947 which was by a Miss Camille Woodward to the Board of Adjustment for a Non-Conforming use of the boat house for art classes. This was approved for a short time (6 months) for a specific time of day. *This entry*

*confirms the existence of the boat house referenced in the 1940-41 time period submittals.*

In May of 1950 there is recorded a permit for construction of a bedroom / bathroom addition to the home in the SE corner of the 1940-41 plan. **[figure 8]** The Owner on the permit is noted as Mr. & Mrs. R. H. Gore a prominent family name in Fort Lauderdale with regard to the Fort Lauderdale News founding. They hired M.C. Maupin as general contractor for the work. Surprisingly, they appear to have respected the house and site history by locating the addition as they did so as not to compete with the existing architecture or disturb more archaeological ground (per the U.S. Sec'y of Interiors Standards for Preservation guidelines even though they were not in existence yet). *This entry confirms the high regard this property had in the eyes of the establishment in Fort Lauderdale at the time which obviously continues today.*

March of 1957 is the next beginning of permit activity for a Mr. Arthur P. Tomlinson whose name appears numerous times on permits for work up until 1983. It appears his work on the house was focused mainly on the interior with other site work by the following list:

- replaced 12 plumbing fixtures March 1957 (George Young, contractor)
- installation of kidney shaped pool Oct 1957 (Aqua Pool Construct. Co.)

**[figure 9]**

- +\$20,000 remodel of the interior Oct 1957 (George Young, contractor)

**[figure 10]**

- Chain link fence addition Oct 1963 reflected in the **[figure 12]** McLaughlin Survey dated 1955 and updated 1977

- Gas Permit Jan 1964

- Roof repairs of \$100 March 1967 (George Young, Virginia S. Young)

**[figure 11]**

- Central Air-Conditioning added March 1973 (EMC Corp) **[figure 13]**

- C.B.S. wall of 350 lf x 5'-8" ht March 1976 (N-S along E Prop. Line) (George Young)

- Roof & Re-roof of 272 sf Nov 1982 (G.E. Greene Co.) at pool **[figure 14]**

*The significance of these applications and list with figures submitted are important for several reasons:*

1. *The long standing relationship of Mr. Tomlinson and George Young resulted in 3 permits for work over a +/- 20 year history. Mr. George Young, himself an important figure in terms of construction in town having worked also on the Fort Lauderdale Woman's Club as well. Also it is interesting to note on [figure 11] we see the signature of our only female mayor and noted preservation advocate, Mrs. Virginia S. Young as contractor, agent or representative as she was George Young's wife and business partner.*
2. *The plan submitted with the permit for the central air conditioning to the house substantiates the original 1918 existing house plan and footprint has for the most part remained up until that time with the noted changes per Mr. Dave Baber's report.*
3. *Per the United States Secretary of the Interior's Guidelines as mentioned in both Ms. Rathbun's and Mr. Dave Baber's reports there is also significance in the relationship of this house and property's development with regard to our City's development and growth. The 1918 original plan of the exterior was retained for the most part and the period of significance for SBHD referenced along with the tie to historic individuals in its life confirms its importance as a key contributing resource and worthy of retaining in whole or in part.*

In conclusion, as a registered architect having worked a great deal on historic preservation projects in and around Fort Lauderdale there is much to be said of the significance of the "history" tied to this house and property. This report serves to reinforce the City's own Historic Preservation Ordinance and the City's reasons for establishing and maintaining Sailboat Bend as an Historic District. The City as a Certified Local Government with the mandate to give priority to historic preservation rather than destruction needs to delay total demolition as the applicant requests at this time. Having served on the H.P.B. as a member from late 2007 through to being its Chair from 2009-11, this present board did not present clear reasons for granting this C.O.A. for demolition. Therefore, per ULDR Section 47-24.11.C.3.c.i:

- a) The original basement and house in existence on the site will be lost forever.
- b) As no explanation other than a verbal suggestion that a "single family home" in a style capturing a 1920's – 1930's time span will be built, and a sketch of an unexplained elevation suggestion with a non-dimensioned floor plan not tied to the site

by dimensions from the property lines indicated, there is no way to compare the relationship of the proposed work other than destruction of the existing to other properties in the district.

c) The historic contributing home in a scale and mass comparable and complementary to the district will be lost. The unknown nature of demolition to the other archaeological resource tied intrinsically to this work is also unknown.

d) The history associated with this site as a cultural resource for our community and the local district has developed for longer than most of us have lived. To deny the application at this juncture would allow the owner time needed to develop and delineate, in good faith for the whole community to enjoy, their plans for the future. As already in evidence per reports on file from City's Historic Consultant indicate the present Owner/ proposed Owner has not shared their findings of archaeological findings thus far found on the site. Also as there has been a dense planting of trees and shrubs along the West and North property lines with no recorded permits of the work which potentially destroyed some archaeological remains, there needs to be an adherence to the City's Code on the part of the Owner/ proposed Owner by the City as is the case with all property Owners in the neighborhood and throughout the City.

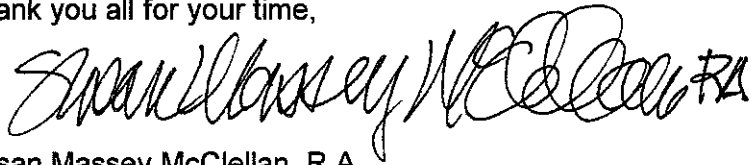
e) As there are no drawings in evidence of what is planned there is no way to tell if they can be reasonably carried out.

f) The plan / application does not comply per my experience in the area of architectural historic preservation or adaptive reuse with regard to the "United States Secretary of the Interiors Standards for rehabilitation and guidelines for rehabilitating historic buildings".

The C.O.A. for demolition should be denied at this juncture. The applicant should present a complete plan of what is to be developed along with what is to specifically be demolished as per the City's own rules for Historic Districts applying for both C.O.A.'s for demolition and new construction. The City through the Commission should seek some sort of Bond for the materials to be found with the proposed work and establish a repository for those materials securement and enjoyment by the entire community for generations to come.



Thank you all for your time,

A handwritten signature in black ink, appearing to read "Susan Massey McClellan, R.A.", written in a cursive style.

Susan Massey McClellan, R.A.

Citizen City of Fort Lauderdale, Registered Architect, Former HPB Member 2007-11 and Former HPB Chair 2009-11,  
Practicing Architect with Experience in Historic Preservation

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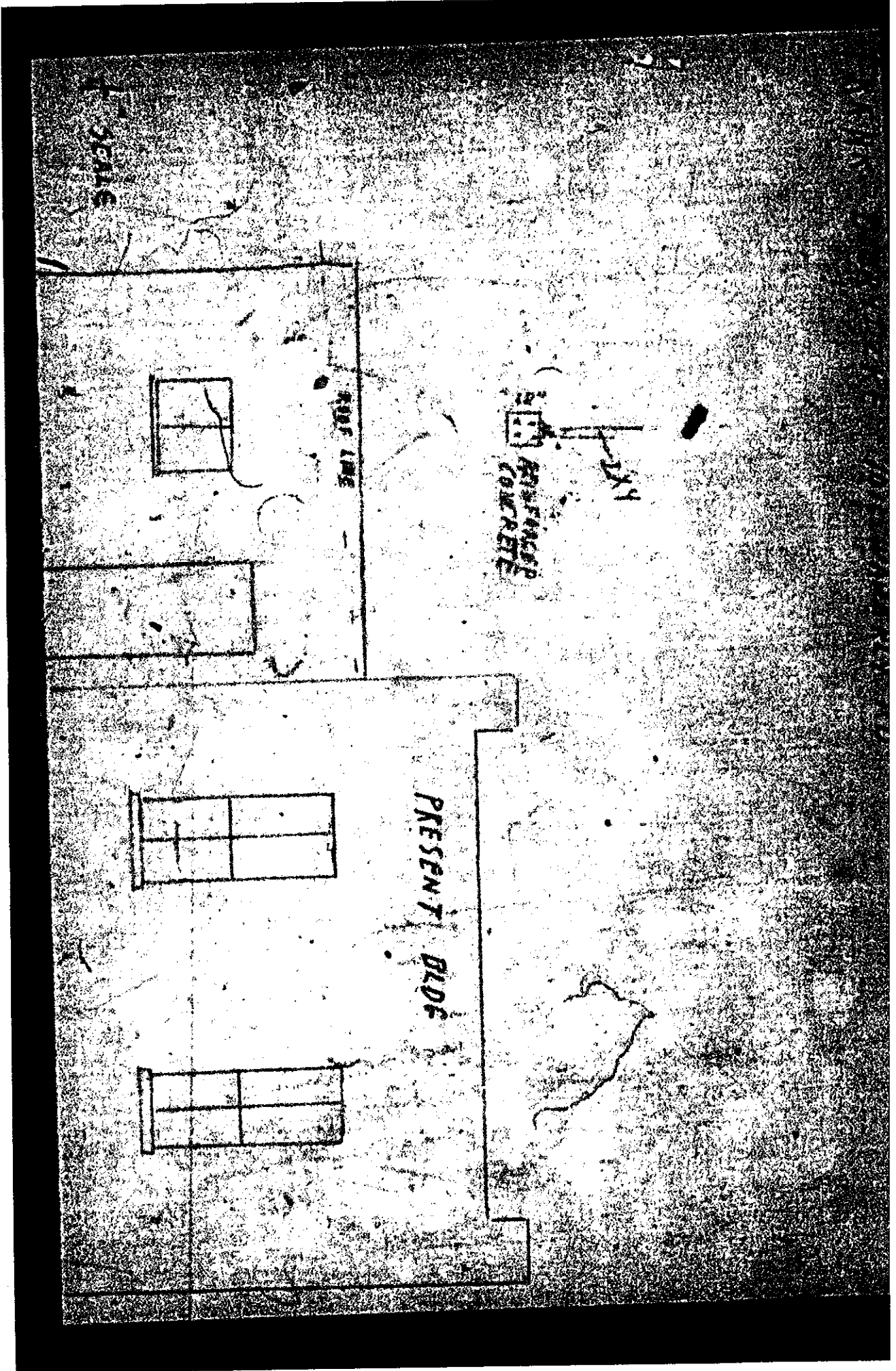


FIGURE 1

SCALE

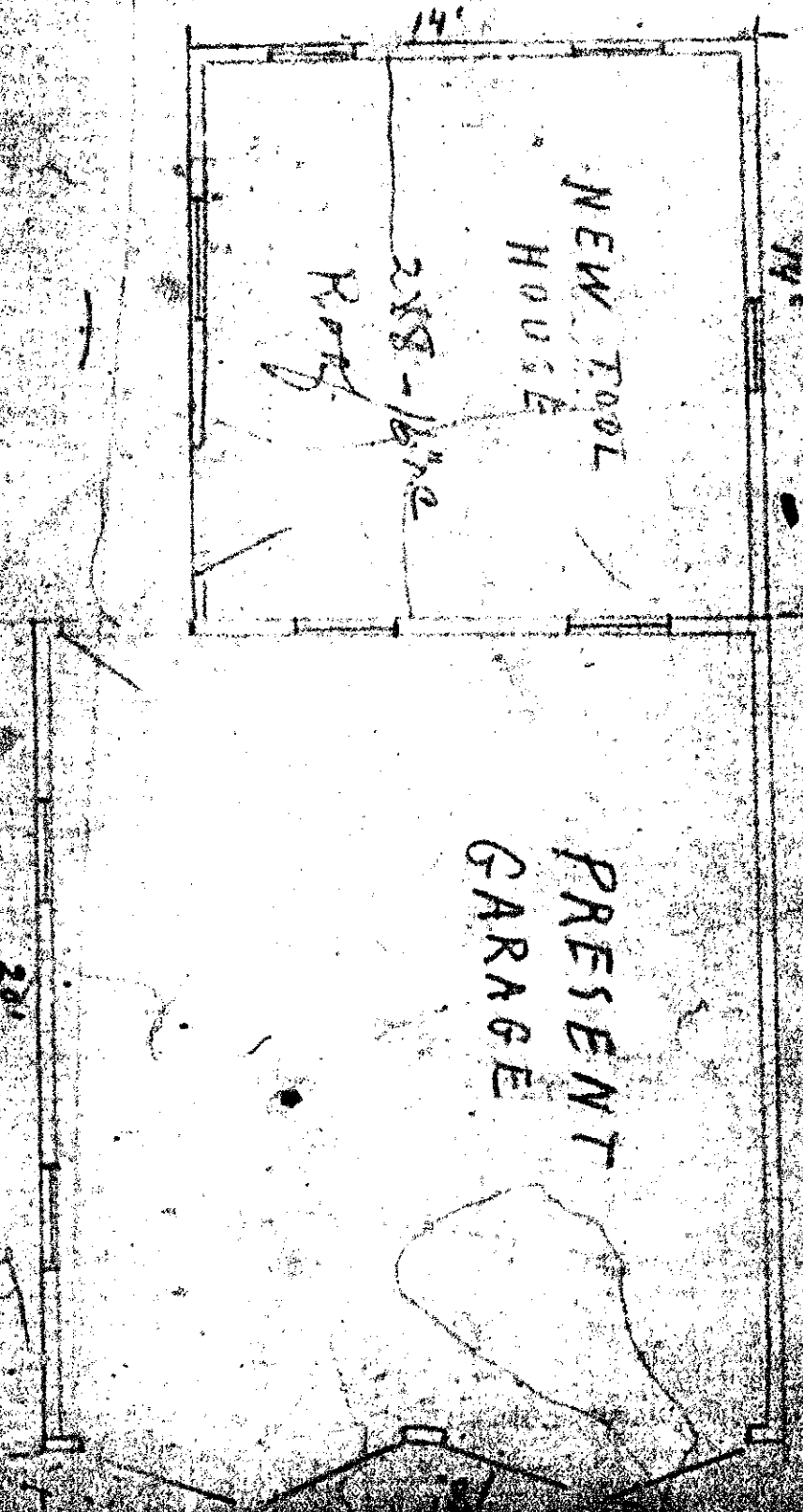


FIGURE 7

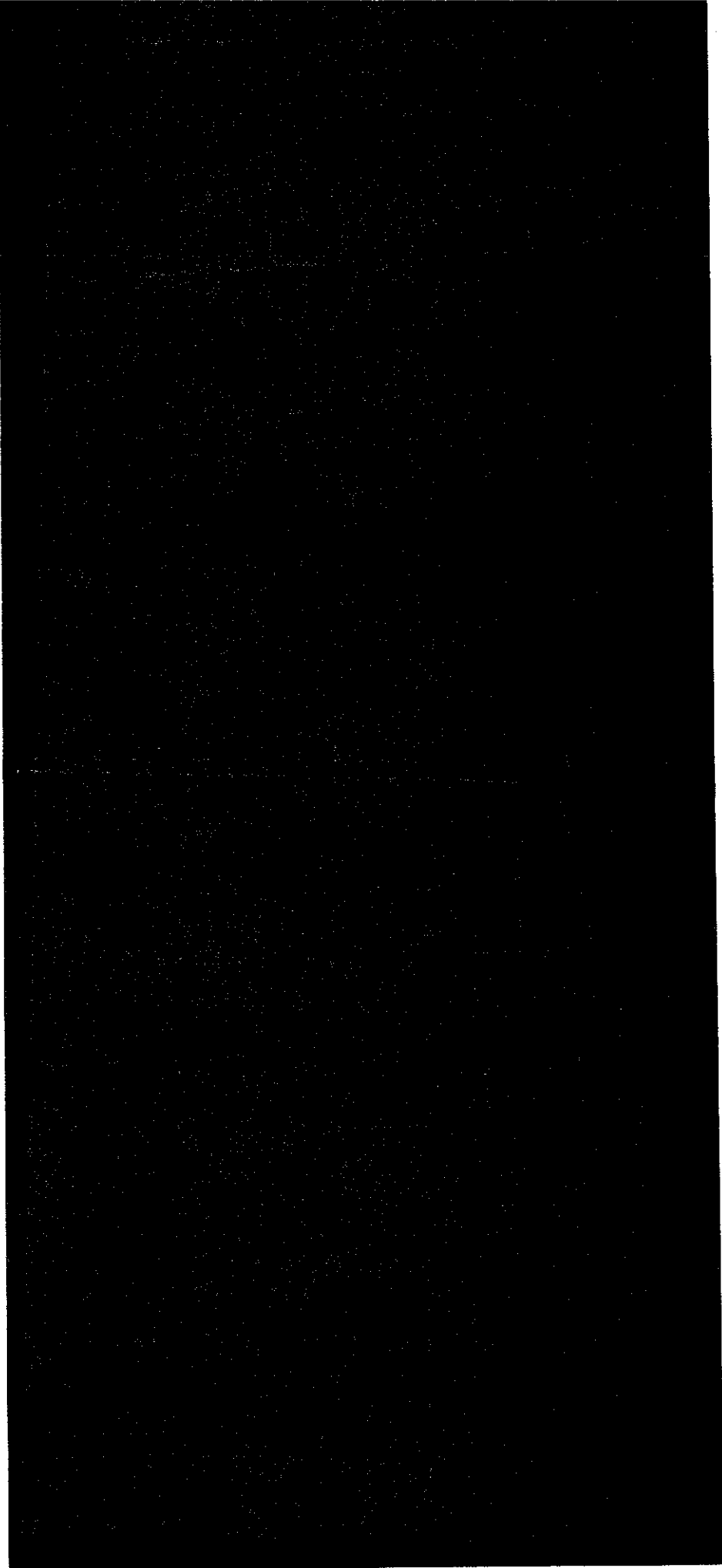


FIGURE 3



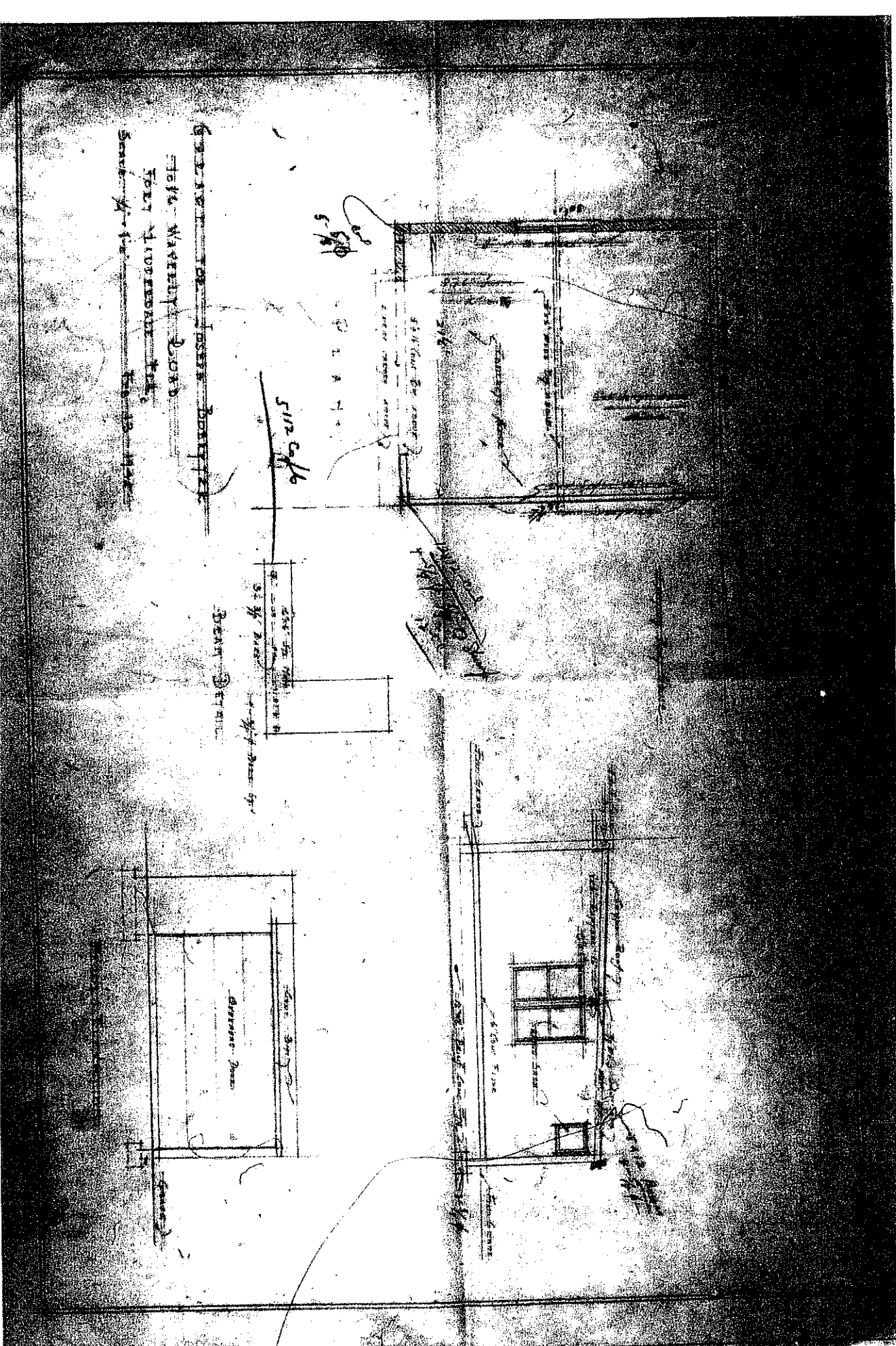


FIGURE 5

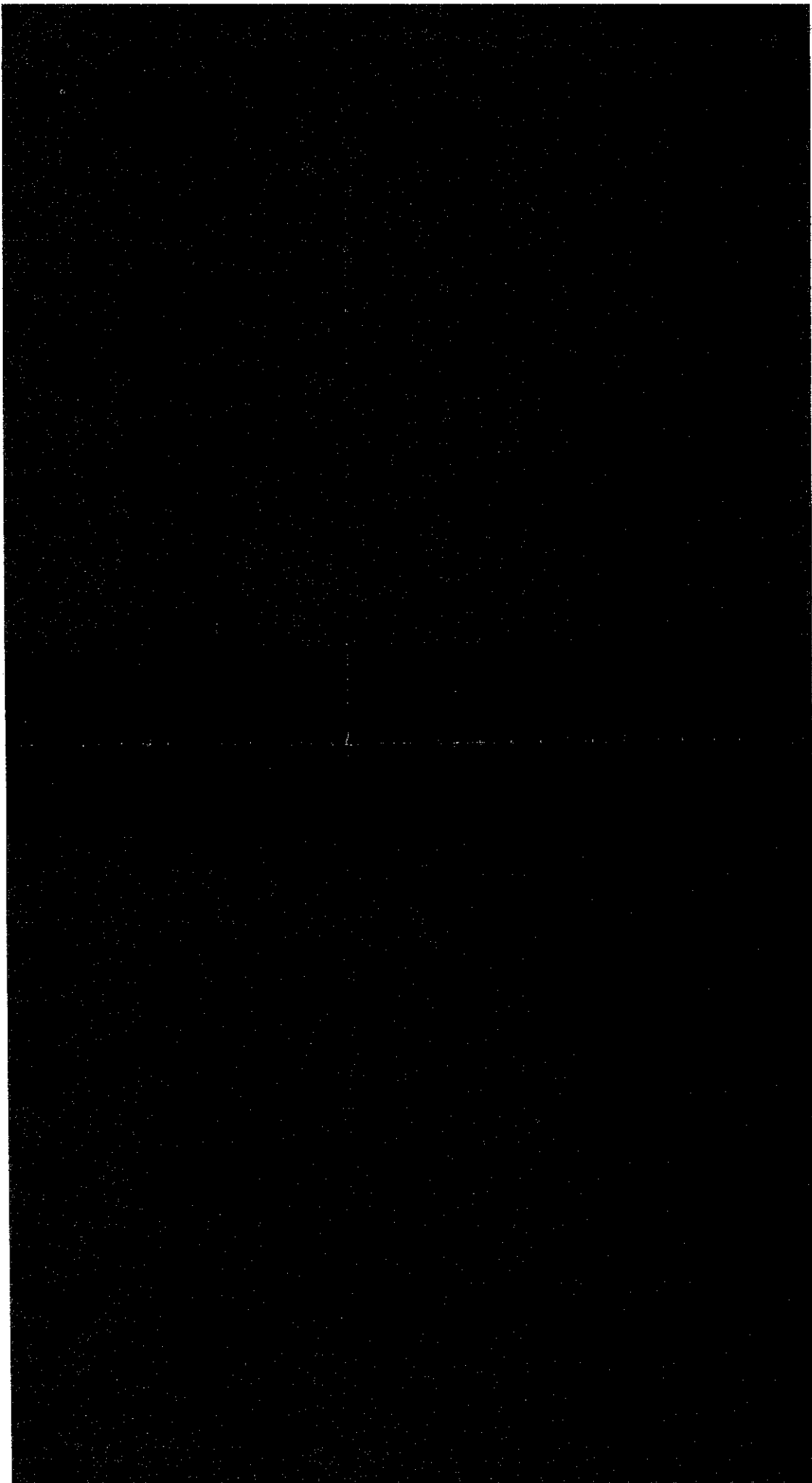


FIGURE 10

1000-15 Waverly Place, Rivermont, Westchester District

Permits made by Mr. Humphries, and by Mr. Laughlin that a non-conforming permit be granted for 6 months, subject to the following conditions:

- Non-conform permit for 6 mo.
- Classes limited to 6 pupils.
- Classes to be conducted in beachhouse only.
- Classes to be conducted from 8:00 A. M. to 1:00 P. M. only.

Hearing Sept. 23, 1947

Lots 2, 3, 4

Block 101

Waverly Place

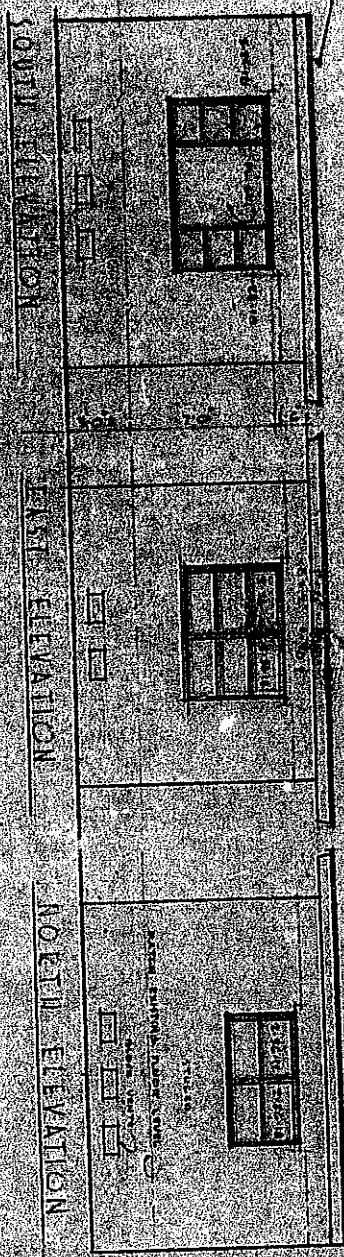
Approved, non-conf.

FIGURE 7



ADDITION TO RESIDENCE OF MRS. R. H. GORE, VALLEY ROAD

MAY 1912



GENERAL NOTE: THE FOUNDATION SHALL BE CONCRETE AND SHALL BE SET IN GRAVEL.

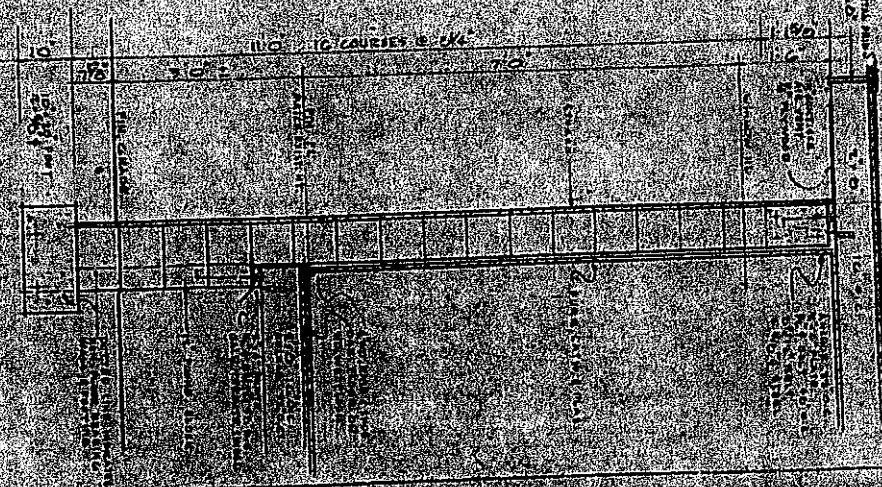
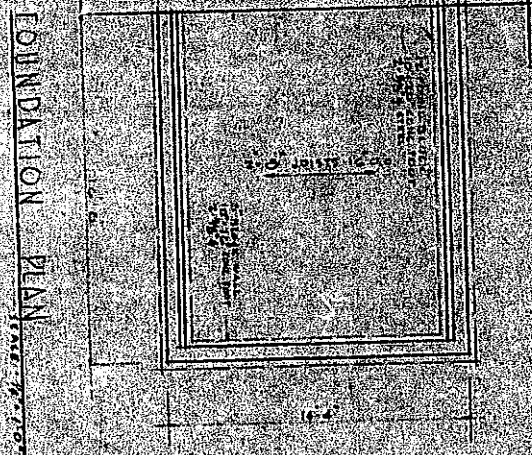
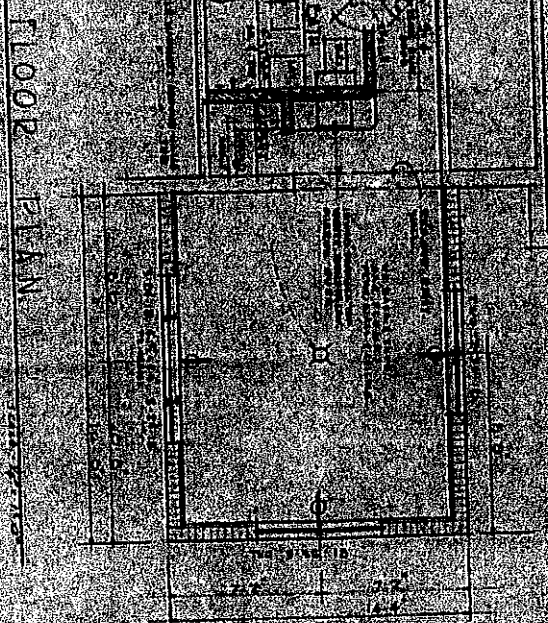


FIGURE 8



OFFICE OF THE ENGINEER  
CITY OF BOSTON

DATE 10/20/57

OWNER Mr Arthur Tomlinson

ADDRESS 1016 Waverly Road

ARCHITECT ADD.

CONTRACTOR Geo. Young ADD.

BUILDING TO BE CONSTRUCTED ON  
Lot 3-11-5 1/2 SUB. Waverly Place

JOB ADDRESS 1016 Waverly Road

PURPOSE OF BUILDING 1016 Waverly Road

Repairs & Remodel interior of  
Building - Not Changing Occupancy

ESTIMATED COST OF IMPROVEMENTS \$20000

TYPE OF CONSTRUCTION \_\_\_\_\_ ROOF \_\_\_\_\_

FOUNDATION \_\_\_\_\_

SIZE OF BUILDING LOT \_\_\_\_\_

CUBIC FEET IN BUILDING \_\_\_\_\_

ZONING R-1

PERMIT FEE \$ 4.00

SIDEWALK BOND \_\_\_\_\_

PARKING SPACES \_\_\_\_\_ AMOUNT OF BOND \$ \_\_\_\_\_

BOARD OF HEALTH APPROVAL \_\_\_\_\_

HOTEL PERMIT # \_\_\_\_\_

APPROVAL OF \_\_\_\_\_ ON \_\_\_\_\_

SIGNED Geo Young  
OWNER, CONTRACTOR OR AGENT

PERMIT NO. 53018

MADE IN

**THIS IS YOUR RECEIPT**

CITY OF FORT LAUDERDALE, FLORIDA  
DIVISION OF BUILDING INSPECTION

NO 21 2-1-65 008 3242

APPLICATION FOR BUILDING PERMIT DATE 3-22-67

OWNER'S NAME Art Timmonson

MAIL ADDRESS \_\_\_\_\_

BUILDING CONTRACTOR Geo Young

ADDRESS \_\_\_\_\_

ROOF CONTRL \_\_\_\_\_

ARCHITECT \_\_\_\_\_

ENGINEER \_\_\_\_\_

LOT 1-6+E 1/2 7 BLOCK 101

SUBDIVISION Waverly Place

JOB ADDRESS 1016 Waverly Rd

LOT SIZE \_\_\_\_\_ NO OF STORIES \_\_\_\_\_

PURPOSE RES (Number of existing buildings, if any, and use of each)

HEREBY MAKE APPLICATION FOR PERMIT TO:  
 Alter  Demolish  Add  Repair  Remove  Remodel   
 THE FOLLOWING TYPE STRUCTURE: Residential  Commercial  Industrial

PURPOSE Roof Repairs

TYPE OF CONST. \_\_\_\_\_

TYPE ROOF \_\_\_\_\_ SQ. FT. \_\_\_\_\_

FOUND. \_\_\_\_\_

CUBE CONTENT \_\_\_\_\_

HEALTH DEPT. \_\_\_\_\_

HOTEL COMM. \_\_\_\_\_

APPROVAL OF \_\_\_\_\_

ON \_\_\_\_\_

ZONE R-1

- Give 24 hours notice for inspection.
- Permit expires if construction is not begun within 90 days.
- Plans must be on file before inspection will be made.
- At least 1 inspection to be made every 90 days or permit expires.
- Obtain certificate of occupancy from Dept. before using completed building.

CONDITIONS UNDER WHICH APPROVED:


ZONING	APPROVED BY	DATE
	<i>[Signature]</i>	3-22-67
STRUCTURAL		
ELECTRICAL		
AIR COND.		
PLUMBING		

THIS PERMIT INCLUDES	PERMIT FEE
BUILDING --	
ESTIMATED COST	
ROOF ESTIMATED COST <u>100 -</u>	<u>5 -</u>
OTHER ESTIMATED COST <u>1</u>	
TOTAL PERMIT FEE \$ <u>5 -</u>	

OTHER FEES

PARKING BOND \_\_\_\_\_

SPACES REQUIRED \$ \_\_\_\_\_

HOUSE MOVING BOND \_\_\_\_\_

SIDEWALK BOND \_\_\_\_\_

OTHER SURETY/CASH \_\_\_\_\_

TOTAL AMOUNT \$ 5 -

APPLICATION APPROVAL

This permit does not become valid until signed by an authorized representative of the Chief Building Inspector, City of Fort Lauderdale Building and Zoning Department and all fees paid and receipt acknowledged in the space provided.

By: [Signature]

BUILDING PERMIT #FL- <u>67-1633</u>
ROOF PERMIT #FL- <u>        </u>
OTHER PERMIT #FL- <u>67-1615</u>

DATE 3-22-67

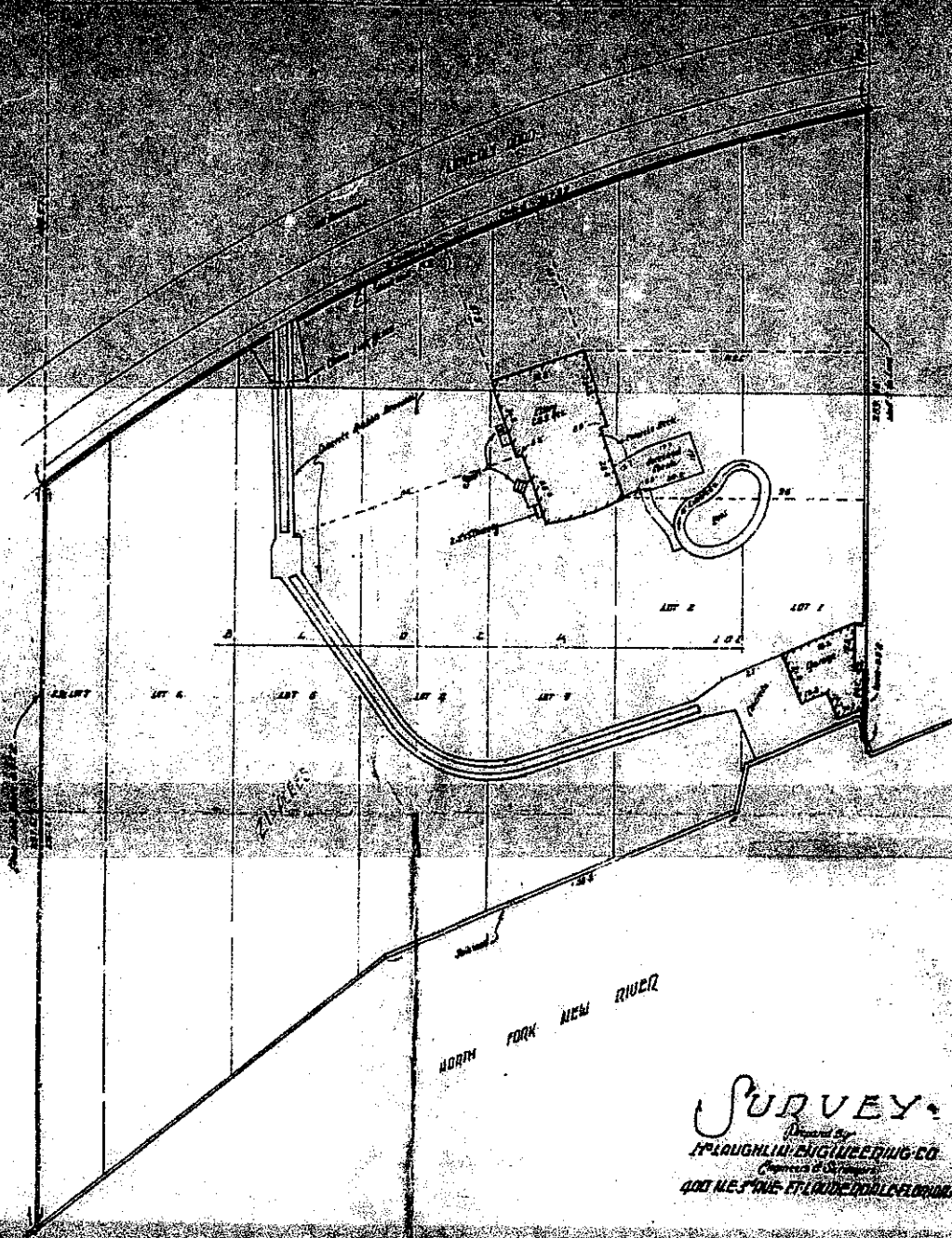
THE UNDERSIGNED APPLICANT DOES HEREBY:

(1) Request that a building permit be issued on the basis of and subject to the facts and such information as appears stated by heretofore submitted building plans and specifications, with the understanding that all City of Ft. Lauderdale Building, Electrical and Zoning requirements shall be complied with whether specified in the application and accompanying plans or not.

[Signature]  
Signature of Owner, Contractor, or Agent

FILE COPY

FIGURE 11



**DEFINITIONS OF TERMS**

1. **BRIDGE** - A structure for crossing a river, stream, or other waterway, consisting of one or more spans supported by piers or abutments.

2. **DAM** - A structure for retaining water, consisting of a wall or barrier across a river or stream, or a series of such walls or barriers.

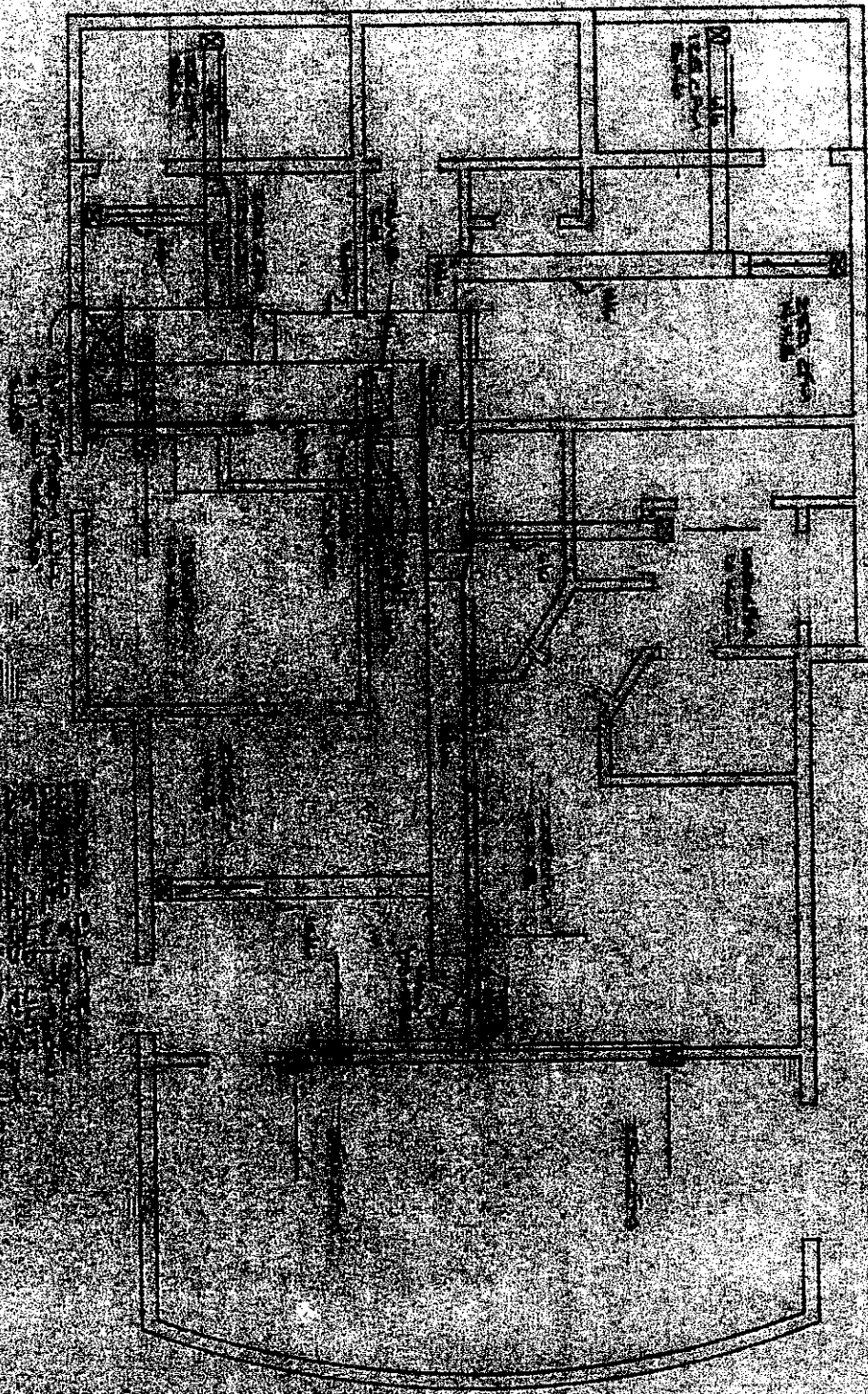
3. **RESERVOIR** - A body of water contained in a depression, or a structure for storing water, or a series of such structures.

4. **EASIMENT** - A right or privilege in the land of another, such as a right of way, or a right to use another's land for a particular purpose.

5. **PROPERTY** - A right or interest in land, or a right or interest in a thing, or a right or interest in a person.

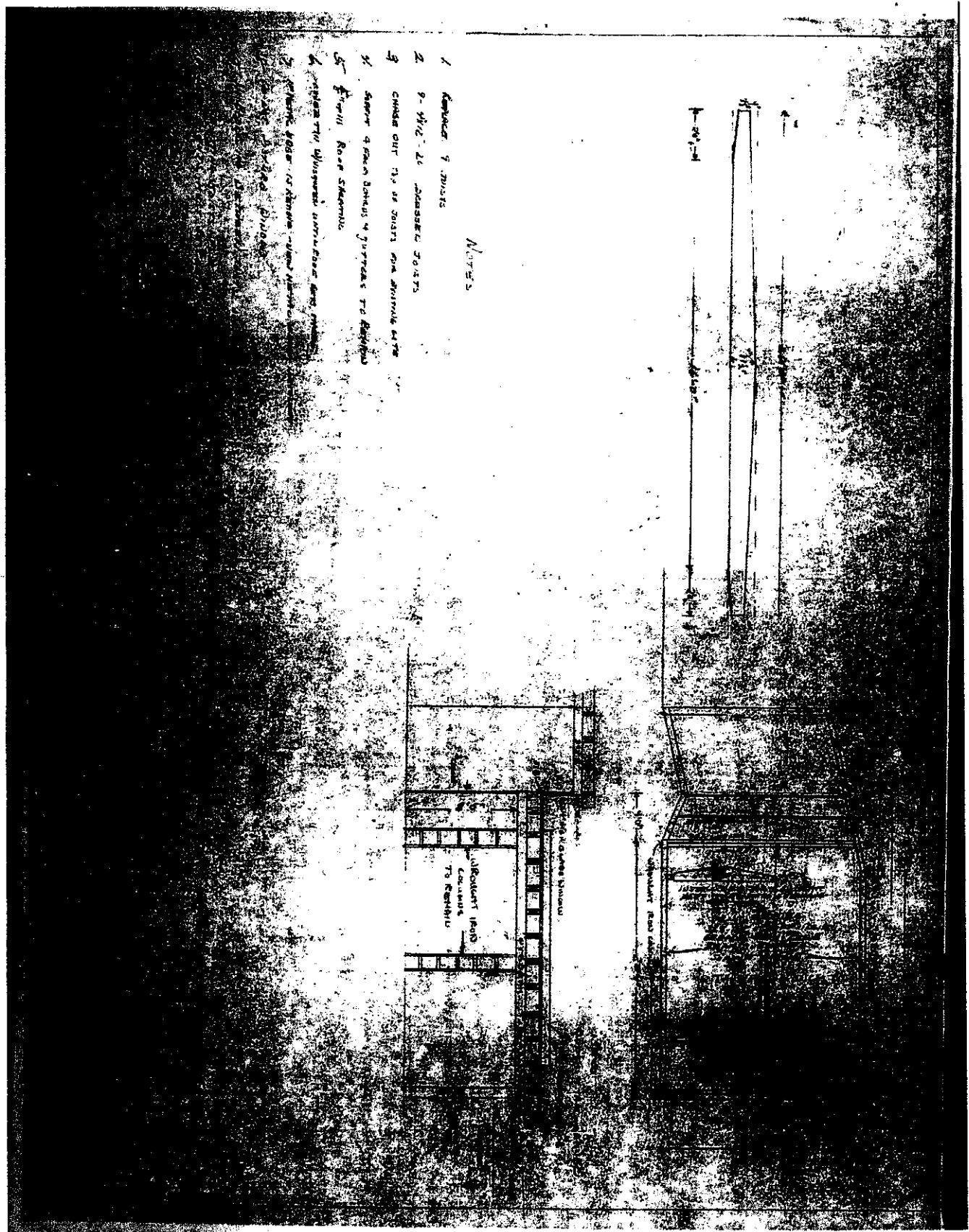
6. **SURVEY** - A process of measuring and mapping land, or a process of determining the boundaries of land, or a process of determining the location of a structure.

FIGURE 12



*Jan 1954*

FIGURE 13



- NOTES
1. REMOVE 9 JOISTS
  2. 9" WIDE 2x12 JOISTS TO BE
  3. CHANG OUT 1/2" OF JOIST FOR SPINDLE AT THE
  4. SUPPORT 4 FROM BOLTS & JOISTS TO BE REMOVED
  5. 1/2" WIDE ROOF SHEATHING
  6. REMOVE THE WHOLE ROOF SHEATHING AND
  7. REPLACE WITH 1/2" WIDE SHEATHING
  8. 1/2" WIDE SHEATHING

1/2" WIDE SHEATHING  
 REMOVE 9 JOISTS  
 TO BE REMOVED

FIGURE 14

Text regarding DOCUMENTS on microfilm at CoFL for address **1016 Waverly Road**  
(Note each item is denoted and listed in chronological order with drawings if found.)

**Dec 5, 1940 Application for Building Permit** Owner: Frank Bobrytzke  
Contractor or Builder: W. Frank Marshall 1130 SW 6 St  
Purpose: 72 feet of Sea Wall Block: 101 Lot: 5 Cost: \$500  
Type of Construction: Rock and Concrete Foundation: Piling  
Licensed: Yes Occupation Insurance: Yes  
#11863 Signed by: W. Frank Marshall

**Dec 5, 1940 Application for Building Permit** Owner: Frank Bobrytzke  
Contractor or Builder: Day Labor  
Purpose: Enlarge summerhouse to make caretakers quarters  
Block: 101 Lot: 5 Subdivision: Waverly Place  
Type of Construction: Addition, Frame Foundation: Conc. Piers  
Roof covering: Composition  
Cost: \$ 1000 Number of Stories: 1 Size of Lot: 100x170  
Cubic Feet: 1920 Classification: Res A  
#11853 Signed by: Frank Bobrytzke, Mrs. W.H. Carter

**Mar 15, 1941 Application for Building Permit** Owner: Frank Bobrytzke  
Contractor or Builder: Day Labor  
Purpose: Tool shed 14'x14'x8'  
Block: 101 Lot: 2 Subdivision: Waverly Place  
Type of Construction: Addition, Frame Foundation: Conc. Piers  
Roof covering: Composition  
Cost: \$ 50 Number of Stories: Size of Lot:  
Cubic Feet: 1568 Classification: Res A  
#12205 Signed by: Frank Bobrytzke

**Mar 17, 1941 City of Fort Lauderdale Building Department Review**  
(Checklist from Each Departments Review of Drawings Submitted)  
Zoning: Items (all checked with exception "side street" eliminated)  
Zoning Approved: 3/17/41 Signature: E. Orr  
Classification: B Type of Construction (checked)  
Fire Zones: B Exterior Walls (checked)  
Construction: Footings (checked), Framing (checked)  
Plans approved: Dated: 3-17-41  
Plan, Elevation and Section Detail drawings (included here)  
Plan: 1/4" scale (noted)  
Depicts "Present Garage" 18'x20' with two pairs of side-hinged  
Doors on 18' side (assumption face East) with "New Tool House"  
Shown to West of 14'x14' with 4 windows (1 on North, 2 on West,  
1 on South) with a separate single door swinging into the space.  
Note the "New Tool House" shares the existing West facing wall  
Of the "Present Garage" which has 2 separated windows in it  
As well as a single door swinging into the space. The South



Wall of the "Present Garage" has two windows along the 20' Length, Also on plan is noted 2x8 joists at 16" O.C. running E-W  
Elevation: ¼" scale (noted) and Section Detail of addition  
Appears to be South Elevation of "Present Garage" (on the right) with the "New Tool House" addition on the left. There is a significant difference in height of the two joined masses (appropriately in keeping with the Secretary of the Interior Standards for new to old additions and the new addition steps back from the existing appropriately giving physical acknowledgment of their development over time with the Secretary of Interiors Standards) with the existing building having a stepped roof line and tall windows with a detail (projected sill?) at the sill. The addition also notes that its roof line slopes to the West. Drawing inference also suggests the window header beams are the support bearing point for the addition's roof joists sloping down from there. Note also the section detail sketch of the reinforced concrete grade beam with 2x4 frame walls of the addition above to the right.

**Mar 15, 1941 Application for Building Permit** Owner: Frank Bobrytzke

Contractor or Builder: Day Labor  
Purpose: Boat Shelter 12'x56' All open – top only of wood  
Block: 101 Lot: 5 Subdivision: Waverly Place  
Type of Construction: Iron 4  
Foundation: Concrete  
Roof covering: Wood & Composition  
Cost: \$ 100 Number of Stories: 1 Size of Lot:  
Distance from next nearest building: 8ft  
Cubic Feet: 5702 Classification: Res A  
#12210 Signed by: Frank Bobrytzke

**Mar 17, 1941 City of Fort Lauderdale Building Department Review**

(Checklist from Each Departments Review of Drawings Submitted)  
Zoning: Items (all checked with exception "side street" eliminated)  
Zoning Approved: 3/17/43(?) Signature: E. Orr  
Classification: A Group (checked)  
Fire Zones: (checked)  
Construction: Footings (checked), Anchorage & Bracing:  
Bolts on Non-Bearing walls (checked)  
Plans approved: Dated: 3-17-41  
**Drawings Submitted** (attached) include sheet with  
Plan (1/8" scale, upper left) Section (N-S, ¼" scale, upper right) and  
Section (E-W, ¼" scale, bottom) with multiple notes.  
(Important to note the Plan delineates the edge of the sea wall at  
Lot 1 on the 1977 survey done by McLaughlin which was used to  
develop this architect's visual history of property's buildings)  
Second sheet contains section of piles noted every 6' along edge  
(of water) showing low tide notes.

**Apr 17, 1941 Application for Building Permit** Owner: Frank Bobrytke

Contractor or Builder: Day Labor

Purpose: Add porch on rear of house

Block: 101 Lot: 4 Subdivision: Waverly Place

Type of Construction: Addition, Frame Foundation: Reinf. Conc.

Roof covering: Tar & Gravel

Cost: \$ 850 Number of Stories: 1 Size of Lot:

Cubic Feet: Classification: Res A

#12326 Signed by: Frank Bobrytke

**Drawings Submitted** (attached) include one sheet with

Plan with dimensions and notes as to windows sizes and style,

(Original windows of this plan say 30x24- 2/2)

Legend plan noting additions relationship to Original house,

Section indicating heights and noting storage space below.

(Important to note the Plan delineates the edge of water facing side of the home seen in the applicant's photos that has a 44'-2" radius

In plan)

**Feb 13, 1945 Application for Building Permit** Owner: Joseph Bobrytke

Contractor or Builder: Day Labor

Purpose: Garage

Block: 101 Lot: 4 Subdivision: Waverly Place

Type of Construction: New, C.B.S. Foundation: Cement

Roof covering: Comp.

Cost: \$ 300 Number of Stories: Size of Lot: 600 x ?

Cubic Feet: 5112 Classification: Res A

#15028 Signed by: Joseph Bobrytke

**Drawings Submitted** (attached) include one sheet with

Plan with dimensions and notations regarding the 3 walls

(E, N, W) of concrete / C.B.S. and the South facing wall of

Frame (facing the "Existing Boat House") with concrete floor,

Concrete footers (12 x 18, reinforced). There is a W-E section

Showing a pair of wood sash (1/1, assume single hung windows)

Centered in the space, as well as a noted wood sash single

Pane wood sash window at the NE corner. The roof slopes to the

East with a small canopy facing West above the sloped drive.

There is also a beam detail noting reinforcing and an Elevation

Of the Overhead door West facing façade. Scale noted on the

Drawing is noted as 1/4" = 1'-0" and Dated: Feb 13, 1945 with no

Author indicated. (Although the permit application states Lot 4

As the location of this garage, physical evidence in existence

Today as well as the lot line and Existing Boat House notes on

The drawing clearly shows this structure may have replaced the

Prior "Tool House" with Existing Garage depicted on the Permit

Application of March 15, 1941 noted on Lot 2.)

**Aug 29, 1947 Notice of Appeal to Board of Adjustment**

filed by: Miss Camille Woodward

For a Non-Conforming Temporary Use of the Existing Boat House

For art classes.

**Sept 23, 1947 Board of Adjustment Hearing** Motion made, 2<sup>nd</sup> and approved for  
The Non-conforming Use as requested for a 6-month period with  
specified times for the classes stipulated.

**May 15, 1950 Application for Building Permit** Owner: R. H. Gore  
Builder: H. C. Maupin 901 S.W. 4<sup>th</sup> Ave.  
Lots: 2-3 Block: 101 Subdivision: Waverly Place  
Purpose: Addition of Bedroom and Bath to Existing Residence  
Cost: \$3500 Construction: CBS Roof Covering: Built-up  
Foundation: Reinforced Concrete Cubic Feet in Building: 2664  
Zoning: R-1 Permit Fee: \$7.50  
**Permit No.: 26994** Signed: H. C. Maupin  
**Drawing Submitted** (attached) Single Sheet containing  
Foundation Plan (12" block on 10x20 conc. footer w/ reinforcing);  
Floor Plan (CBS walls, Plaster wall finish, wood floor and base,  
Windows with sizes & styles; electric outlets, lights, doors, lava-  
tories, tub, watercloset, plumbing 4" stack, closet with shelf and rod  
and attic access scuttle location); Building Elevations (S, E, N all  
showing window sizes / types, finish floor marking, poured conc.  
tie beam graphic indication, stucco finish and vent blocks to crawl  
space below) Typical Wall Section with notes regarding reinforcing  
finish materials and attachments with dimensions. Foundation,  
Floor Plan and Building Elevations of Addition are at scale  
of  $\frac{1}{4}" = 1'-0"$  and the Typical Building Section is at  $\frac{3}{4}" = 1'-0"$ . The  
entire sheet is titled; "Addition to residence of Mr. & Mrs. R.H.Gore  
Waverly Road" dated May 11, 1950. No author is noted.

**Mar 1, 1957 Application for Plumbing Permit** Owner: A. P. Tomlinson  
Contractor: George F. Young, C/O F. F. Kinny  
Blk.: 101 Sub.: Waverly Place  
Old Building (circled)  
1<sup>ST</sup> FI Fixtures: 4 basins, 3 closets, 1 Bathtub, 1 shower, 1 sink,  
1 dishwasher, 1 water heater....total 12 fixtures  
Inspection Fee: \$18.00 Paid: 3/4/57 JT (initialed)  
Inspected:(rough) 3-5-57 BM (initialed)  
Permit No.: **23482**

**Oct 28, 1957 Application for Building Permit** Owner: A. P. Tomlinson  
Contractor: Aqua Pool Construction Co. 944 NW 44 Street  
Lot: 1,2,3,4,5,6 and E1/2 7 Blk.: 101 Sub.: Waverly Place  
Purpose: Swimming Pool Cost: \$4500  
Type of Construction: Gunnite Foundation: R C (reinforced  
concrete) Size of Building: Irregular Zoning: R-1  
Permit Fee: \$4.00  
Permit No: **52987** Signed: James T. McEmarey,  
Aqua Pool Construction Corp.  
**Drawing Submitted:** Single Sheet authored by Applicant  
Dated: Oct 9, 1957 Plot Plan with North Arrow (interesting to note  
("guest house" adjacent to the river somewhere on lot 4 or 5 is

indicated) Plan of Pool (shows location of "Existing House" and "Proposed Florida Room" with the pool equipment located North of the "Existing Garage" building.) Section through pool more or less E-W of the proposed length of the proposed kidney shaped pool.

- Oct 30, 1957 Application for Building Permit** Owner: Mr. Arthur Tomlinson  
Contractor: George Young  
Lot: 1,2,3,4,5,6 and E1/2 7 Blk.: 101 Sub.: Waverly Place  
Purpose: Repairs & Remodel of interior of existing residence –  
Not Changing Occupancy Cost: \$20,000  
Zoning: R-1  
Permit Fee: \$4.00  
Permit No: **53018** Signed: George Young
- Oct 25, 1963 Application for Building Permit** Owner: A. Tomlinson  
Contractor: American Steel Fences  
Lot: 1-6 & E ½ 7 Block: 101 Subdivision: Waverly Place  
Purpose: Line Fence  
Cost Estimate of Improvements: \$260.00  
Type of Construction: Chain Link  
Zoning: R-1  
Building Permit No.: **88783** Permit Fee: \$5.00  
Signed by: Jean Peck
- Jan 24, 1964 Application for Manufactured Gas Permit** Owner: A. P. Tomlinson  
Permit No.: **16679** Issued to: Peoples Gas System  
Lot: 1-6 & E ½ of 7 Block: 101 Subdiv.: Waverly Place  
1<sup>ST</sup> Floor: 1 Furnace Remarks: Pipe & Connect  
Inspections: Final 2-4-64 JTD (? Initials) Inspection Fee: \$1.00  
Rec'd by: JR (initialed) Stamped: Feb 3 1964  
Total Amount: \$1.00 Signed: Ralph J. Tomping
- Mar 22, 1967 Application for Building Permit RECEIPT (Mar. 27, 1967)**  
Owner: Art Tomlinson  
Building Contractor: **Geo Young**  
Lot: 1-6 & E ½ 7 Block: 101  
Residence Repair, Residential  
Purpose: Roof Repairs  
Zone: R-1  
Other Permit: #FL – 67-1615  
Approved by: Zoning CHC (initials?) Date: 3-22-67  
Roof Estimated Cost: \$100.00 Permit Fee: \$5.00  
Total Permit Fee: \$5.00  
Total Amount: \$5.00  
Date: 3-27-67 Signed by: **Virginia S. Young**  
Owner, Contractor or Agent

**Mar 3, 1973 RECEIPT CoFL Building Dept. Division of Electrical Inspection**

Owner: Mr. Tomlinson  
Contractor: EMC Corporation  
Lot: 1-6 & E ½ of 7 Block: 101 Sub.: Waverly Place  
Old Bldg. (box checked)  
Item: 3-5 H.P. Fee: \$10.00  
Office Use Only: 3-7-73 Jhw (initials?)  
List All Motors by H.P. include air cond.:  
TA 960 5 Ton - 10.00  
16 Drops - 8.00  
Central Unit (checked) Est. Cost: \$3603.00  
Air Cond. Fee: \$ 18.80  
Total Fee: \$ 18.80  
Final: 8(?) - 30-73 / Jh (initialed)  
**Air Cond. Permit # EA73-261**  
Date: 3/3/73 Signed: Jorge J Zamby (contractor, agent)  
**Drawing Submitted:** Single Sheet stamped with EMC corp.  
Titled: Air Conditioning System for: Mr. Tomlinson 1016 Waverly Rd  
Scaled: ¼" = 1'-0" Job # 73048  
Drawing is the plan schematic of the HVAC layout with the grill  
Outlets locations, CFM's per grill and duct sizes. Notes include unit  
Specifics.

**Mar 15, 1976 RECEIPT CoFL Division of Building Inspection**

Owner: Art Tomlinson Contractor: George F. Young  
Lot: 1-6 and E ½ of 7 Block: 101 Sub.: Waverly Place  
Present Use: Sgl Res Zone: R-1  
Purpose: (reinf. masonry constr.) **5'-8" ht. CBS wall/ 350 L/F**  
Application Approval: Lucille Smith (signature)  
Notes in the "Conditions Under Which Approved" are very faint  
But seem to have to do with the courses of block, reinforcing  
Size (#4?) and dowels to existing.  
Zoning: Approved TRW (initials?) 3-15-76  
Structural: Approved ACT (initials?) 3-15-76  
Other estimated Cost: (wall) \$1,800.00 Permit Fee: \$ 35.00  
Other Permit **#FL-76-1643** Date: 3-22-76 Signed: Geo Young

**May 18, 1976 Inspector's Report Permit No.: 76-1643**

Remarks: 5-18-76 Final BD (?)

**Nov 18, 1982 RECEIPT CoFL Division of Building Inspection**

Owner: Tomlinson Contractor: GE Greene Co.  
Lot: 1-6 & E ½ of 7 Block: 101  
Use: sgl. Res. Purpose: New Roof Structure & Re-roof  
Type Roof: B.U. Sq. Ft. : 272  
Zone: R-1  
Application Approval: Acmos Leffed (signature?)  
Roof Permit: **#FL - 82-6845**  
Other Permit: **#FL - 82-6846**

Conditions Under Which Approved: No Electric Shown  
Zoning: Stills (signature) 11-19-82 (date)  
Structural: Benton (signature) 11-22-82 (date)  
Electrical: N/A (initialed)  
Air Cond: N/A (initialed)  
Plumbing: Paumer (signature) 11-22-82 (date)  
Product Control: Smith (signature) 11-22-82 (date)  
Roof Estimated Cost: Re-roof - 500 Permit Fee: 18.00  
Structure - 4,000 Permit Fee: 47.00  
Plan check: 10.00  
Total Permit Fee: \$ 75.00  
Other Fees: City: .45  
Co: 1.00  
Total Amount: \$ 76.45  
Date: 11-22-82 Signed: Gecall E. Greene, Pres.  
Contractor State # RC 0010051  
Notarized: 18 Nov 1982 Arma G Lefhes (signature?)

**Feb 28, 1983 Inspector's Report Permit No: 82-6845-46**

Roof: 11/27/82 WC (date and initialed)

Remarks: Final Insp OK

2/28/83 WC (dated and initialed)

**Drawing Submitted:** Single Sheet Plan, E-W Section and  
Beam (?) Detail for: Tomlinson 1016 Waverly Rd Ft. Laud.

For: Reroof and Roof of Porch from: GE Greene Co.  
1051 NE 40 Ct Ft. Laud

Permit No.: **82-6845-6** Marked on Drawing

Notes on drawing sheet mention "no trucks on pool deck" and  
Plan shape references screen porch shape on 1977 McLaughlin  
Survey update of 1952 survey. Also drawing references "wrought  
Iron Columns to remain"

Susan M. McClellan PA **A R C H I T E C T**

RE: HPB Case No. 4H13

7 January 2013

Dear Chairman and Preservation Board Members,

The Dr. David Kyner and Richard Bray property at 416 Palm Avenue has come before this Historic Preservation Board three times in the past:

- March 2011 Case No. 1H11 COA New Construction Approved  
Overall addition to the property
- October 2011 Case No. 1H11 COA New Construction Approved  
Garage / North portion addition to the property (now under construction)
- September 2012 Tax Abatement Approved.

Tonite Dr. Kyner and Mr. Bray are asking for a certificate of appropriateness for what in essence is a major reduction of the March 2011 approved COA for New Construction. Special note is here made that an additional 20 feet of property to the east of the site is under contract to add to the overall property square footage. In terms of numbers the request this evening reduces the prior approved plan just for the South end of the property (the water facing side) from 3,013 square feet conditioned space to 600 square feet; the covered walks / porches will be adjusted from 803 square feet to 367 square feet.

The overall impact to the numbers (square footage) if this COA is approved would mean a 75% reduction in the "built impact" to the South side of site (original or additional site added) backed by the following:

property square footage:		2013 (with additional 20 feet east)	
2011 - 2012		2013 (with additional 20 feet east)	
23,583 square feet, .541 acre		29,583 square feet, .679 acre	
building (3/2011 + 10/2011)		building (1/7/2013 + 10/2011)	
historic sq. ft. 2,112 sf		historic sq. ft. 2,112 sf	
3/2011 COA sq.ft. 3,816 sf		1/2013 967 sf	

In terms of design the evolution of the structure is worthy of discussion. The desire to create a lush garden within this beautiful site with a structure of some sort nestled in the landscape for enjoyment of the amenities this site offers became the wish that time, travel and hind-site has afforded the Owners. The waterway, the turn bridge, the adjacent midden site, the historic scale of the neighborhood and the tropical climate all have been an influence. The idea of an 'object in the landscape' drove the concept for this architect. The Owners' love of seashells provided momentum. What better than to find a conch shell partially buried in the ground of this tropical treasure! Siting of the

structure was foremost in our minds as per the archaeologists report the Southwest corner has been the most disturbed area of the site, where it will be unlikely to find any treasures of history, therefore the best location for our garden structure to root.

The use of the structure is for entertainment on the ground level with the ability to open the conditioned 300 square feet to the beauty of the outdoors and wander through the future garden paths while gazing back at the existing historic structure. The second floor is sleeping quarters with bath accessed by the cantilevered climbing stair with entry porch facing south. The east facing roof sheltering the ground floor patio surround continues the swirl of its shell like spiral structure.

The garden spaces also drive interest from the original historic portion of the house to the water, layering the existing lush natural vegetation with some surprising cultivated tropical finds.

We hope the Board finds this change for the previously approved new construction appropriate for this site and we welcome questions or comments.

Sincerely,

A handwritten signature in black ink, appearing to read "Susan M. McClellan", with a long horizontal flourish extending to the right.

Susan Massey McClellan, Architect  
Susan M. McClellan, PA







CITY OF  
**FORT LAUDERDALE**

*Venice of America*

February 6, 2013

Dr. David Kyner and Richard Bray  
C/O Susan M. McClellan  
PO Box 39383  
Fort Lauderdale, FL 33339

**Re: Case No.:** 4H13  
**Applicant:** Dr. David Kyner and Richard Bray  
**Location:** 416 SW 11th Avenue (Palm Ave)  
**Request:** Certificate of Appropriateness for New Construction

- New construction of "Servants Quarters" in the southwest portion of the site.

Dear Susan McClellan:

Enclosed is the Certificate of Appropriateness for Alteration on the above referenced property that was approved at the Historic Preservation Meeting held January 7, 2013. Please retain these originals with your property records.

When applying for your permit, you are **required** to submit a copy of this certificate with your permit application and plans. This will help expedite the permit process.

Should you have any questions please feel free to contact me at 954-828-8958.

Sincerely,

Linda Mia Franco, AICP  
Historic Preservation Board Liaison

Enclosure





City of Fort Lauderdale  
HISTORIC PRESERVATION BOARD

# Certificate of Appropriateness

Granted to:

Dr. David Kyner and Richard Bray  
Property Address:

416 SW 11 Avenue (Palm Avenue)

**Certificate of Appropriateness for New Construction**

- New construction of "Servants Quarters" in the southwest portion of the site.

Request:

Case Number: 4H13

Approval Date: February 6, 2013

Conditions placed on Approval:

Date: 2/6/13

Signature of HPB Chairman or Staff Liaison to HPB

**PHASE I ARCHAEOLOGICAL SURVEY**

**416 PALM AVENUE**

**FORT LAUDERDALE, FL**

**Prepared for:**

**Mr. David Kyner  
416 Palm Avenue  
Fort Lauderdale, FL**

**Prepared by:**

**Soltec International Inc.  
P.O. Box 267011  
Weston, Florida  
33326**

**February 7, 2011**

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## EXECUTIVE SUMMARY

Soltec International Inc. (Soltec) performed a Phase I Archaeological Survey (*Survey*) for 416 Palm Avenue, Fort Lauderdale Florida on behalf of Dr. David Kyner. The subject property is located within the Sailboat Bend Historic District and it is located on the western edge of the Rivermount Archaeological Site (8BD87). Dr. Kyner proposes to construct an additional residence to the existing 1937 bungalow, joined by a paver lined courtyard to the south of the existing bungalow, a garage on the northeastern part of the property and a fence on the eastern boundary of the property.

The *Survey* consisted of systematic subsurface testing in the areas where the new construction is proposed. Subsurface tests were performed at ten meter intervals. The extracted soil was screened to aid in artifact recovery and the materials recovered were analyzed. The findings of this *Survey* are presented in the following sections of this report.

The *Survey* performed indicates that the proposed construction of the residence will not adversely affect significant archaeological deposits, as only fortuitous occurrences of materials were found in this area. The use of auger, cast in place foundations rather than foundations requiring traditional de-mucking will minimize the potential for adverse effects to archaeological deposits that may remain unidentified. An area approximately ten meters wide immediately south of the existing residence was found to contain significant archaeological deposits. A paver type court yard is proposed for this area. The use of pavers will require the removal of the existing sod and their placement on a bed of sand, therefore no excavations that would adversely affect the archaeological deposits will be required.

Parts of the fence line will pass through significant archaeological deposits, however in an effort to minimize adverse effects, Dr. Kyner has elected to erect a metal fence requiring excavations only at support posts rather than a continuous trench that would be required for a concrete block wall. The excavations for the support posts will be performed by archaeologists to mitigate adverse effects as part of a Phase III Archaeological Data Recovery Study.

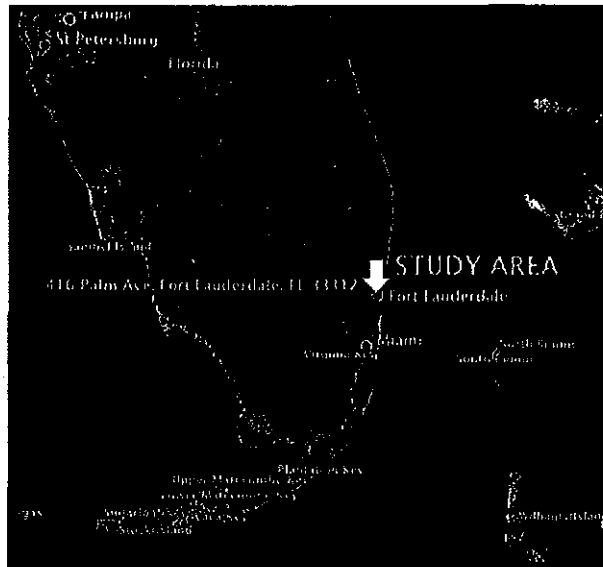
The proposed garage will be constructed in an area that was found to be both disturbed and to contain significant archaeological deposits. Adverse effects to these deposits will be mitigated through the execution of a Phase III Archaeological Data Recovery Study.

The *Survey* performed contributes to our further understanding of the archaeological site. The tests performed provide additional evidence that the site is contained on a levee of the New River and that it appears to be relatively well preserved. This *Survey* also resulted in the identification of a new archaeological component, a Glades III occupation, that was evidenced by the recovery of St. Johns check stamped pottery which indicates continuous and/or repeated occupation (s) of this site over a period of over one thousand years.

Soltec recommends that the respective regulatory bodies issue a conditioned finding of *no objection* to the proposed construction pending mitigation of the adverse effects in a manner that is consistent with currently accepted cultural resources management practices.

## 1.0 INTRODUCTION

Soltec International Inc. (Soltec) performed a Phase I Archaeological Survey (*Study*) for 416 Palm Avenue, Fort Lauderdale, Florida (Figures 1 and 2) on behalf of Dr. David Kyner, the owner of the property. The *Study* was performed during the first week of January, 2011.



**Figure 1: Satellite image showing the location of study area. Source: Google Earth Pro**



**Figure 2: Satellite image showing the location of the study area in the city of Fort Lauderdale. Source: Google Earth Pro.**



## 1.1 SCOPE OF SERVICES

Soltec performed a Phase I Archaeological Survey for the subject property to assess whether proposed construction activities on the property would result in adverse effects to cultural resources of record. The owner proposes to construct:

- A fence along the east property boundary
- A garage on the northeast corner of the property
- An additional residence to the south of the existing residential building

The proposed changes are shown in Figure 3.

## 1.2 ENVIRONMENTAL SETTING

The subject property is located on the north bank of the north fork of the New River which has its origins in the Everglades. The current edge of the undeveloped parts of the Everglades is approximately twenty kilometers to the west, however, it was located considerably closer prior to modern interventions. Figure 4 depicts the estimated historic boundaries of the historic freshwater Everglades.

The confluence of the north and south forks of the New River is located approximately three hundred meters downstream from the subject property, and the river empties into the Atlantic Ocean approximately five kilometers to the east of the subject property. The property is located on the Atlantic Coastal Ridge which provided and continues to provide sufficient elevation for contiguous settlement locations. The location of the site between the Everglades and the Atlantic Ocean likely provided a rich ecotonal setting of subsistence resources in prehistoric and early historic times. The higher elevations of the Atlantic Coastal Ridge also provided a mosaic of suitable settlement locations.

At present, the subject property is contained within a residential district composed of single and multiple family residences, municipal facilities and commercial enterprises. The parallelogram shaped lot measures approximately one acre. The approximate northern half of the property contains a residential structure built in 1937, a swimming pool, paved areas for a driveway to the north and west of house complex, and a terrace on the south side of the house. The approximate southern half of the property is largely covered by a lawn and landscaped with a stand of bamboo and mature deciduous species. The southern limits of the property are defined by the concrete lined channel wall of the New River. The soil within the subject property is classified as Basinger Sand, a type of soil classified as nearly level and poorly drained that was formed in unconsolidated marine sediments (Nutting Engineering, 2010). The description by Nutting engineering is more applicable to the southern half of the property. The northern half of the property is primarily contained on what appears to be a levee of the New River, however, the construction of the residential complex appears to have resulted in the partial truncation of the levee, as the levee is readily discernable east of the house.

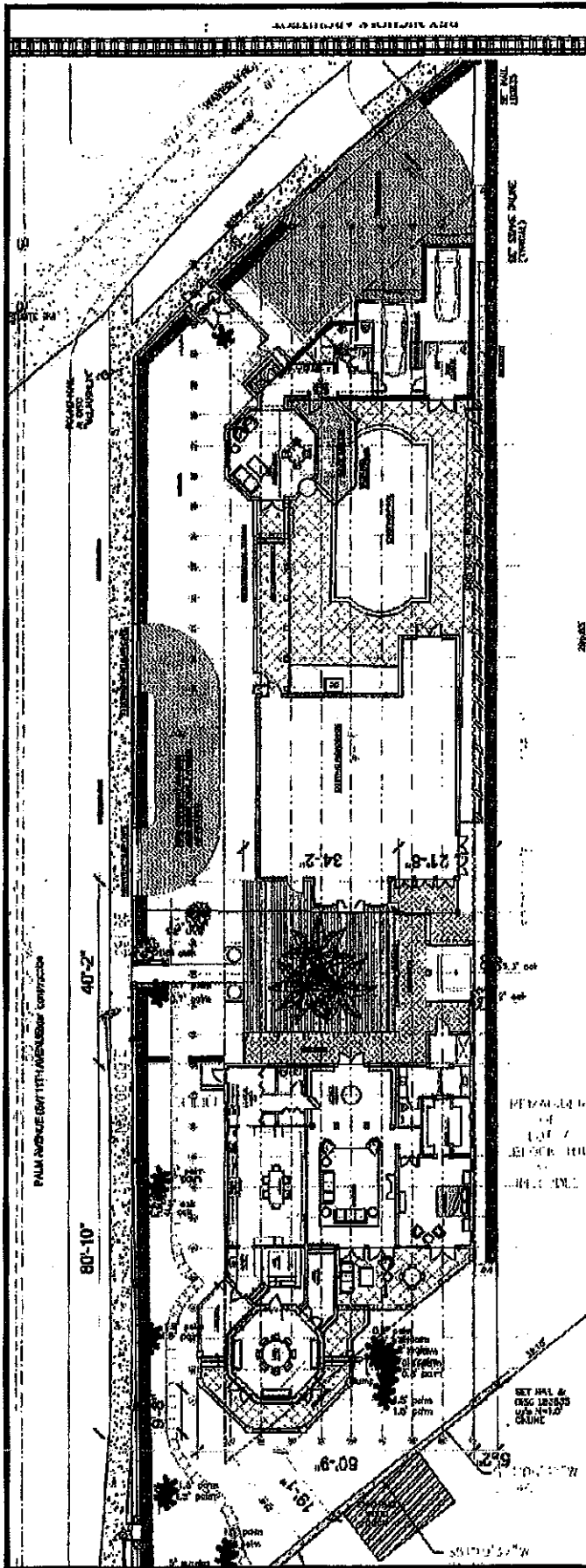


Figure 3: Plan view of existing and proposed construction. Area shaded in yellow (north side of property) is developed. Un-shaded area represents planned development



### 1.3 CULTURAL RESOURCES BACKGROUND

The subject property is located within the estimated boundaries of the Rivermount Archaeological Site (8BD87) which is described in the Archaeological Site Files for Florida as a "black dirt and shell midden" along the New River. The previous investigations for this site indicated that the site was occupied from ca. A.D. 500 to 1200. The currently available data for the site preclude a determination as to whether the site was continuously occupied or represents multiple, sequent occupations. The site is further described in the archaeological site file as a "pronounced ridge" that extends approximately three hundred meters (east to west) by forty meters (north to south).

The subject property is located at the approximate western edge of the site. The site is also described as one of the best preserved sites along the New River; however, we note that some amount of disturbance is evidenced by the existing buildings and swimming pools of properties within the estimated site area. Possible disturbances to the east of the subject property are also evidenced by the presence of buildings (domestic dwellings) shown on the 1928 Sanborn map, and later revisions to that map made by pasting revisions to the original map. Figure 5 below shows the buildings within the archaeological site area that existed in 1928 and later years. Two lined structures present on the original map appear as silhouettes beneath a pasted addition to the map. The existing Kyner residence built in 1937 is also shown as a pasted addition to the 1928 map. The preponderance of the archaeological site is reported to extend to the east of the Kyner property.



**Figure 5: 1928 Sanborn map (and revisions) showing the existing Kyner residence and other structures within the estimated boundaries of the archaeological site**

#### 1.3.1 Prehistoric Context

The Rivermount Site is but a single manifestation of a long history of human experience in southeast Florida. The earliest evidence for human presence in southeast Florida was obtained at

the Cutler Site in Miami from which corner notched projectile points/knives were recovered in association with cultural features and faunal remains. A radiometric determination of 9,300 years before present was obtained for this site (Carr 1986). Paleo-environmental data indicates that this part of the peninsula was much drier at around that time.

Climatic changes beginning approximately six thousand years ago brought on a greater amount of precipitation and it is at this time that the Everglades began to form. Human adaptation to increasing wetland environments is evidenced by the increasing use of the Atlantic Coastal Ridge and ridge like features on the eastern edges of the Everglades during the Early and Middle Archaic Periods. Increasing use of tree islands in the Everglades proper appears to have been established by the Late Archaic.

Subsistence strategies focused on hunting and gathering that likely had their genesis during the Archaic Period continued well into the later Glades Period (s) until the time of encounter with Europeans. Disease and social disruption over the next two centuries resulted in the virtual demise of people and traditions that had lasted for over five millennia. The Glades Period is divided into three sequent time periods with respective sub periods, designated as Glades I, II and III and extend from approximately 750 B.C. to A.D 1500. The periods are generally characterized by ceramic types and other associated artifacts.

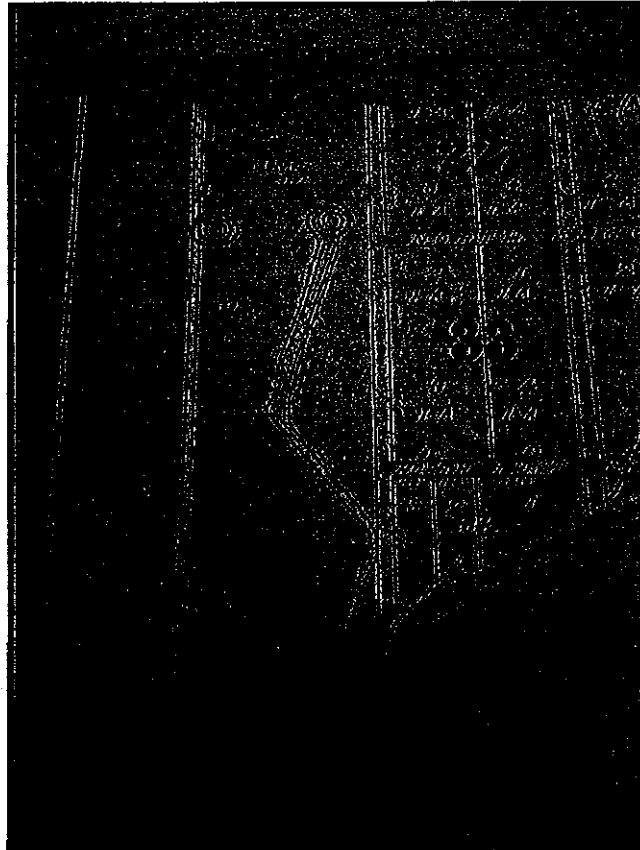
The Glades I ceramic assemblage consist of undecorated sand tempered wares in the early parts of the period with punctuated and incised wares in the later parts of the period. Other artifacts include shell and stone celts. Busycon picks, socketed bone points and bone pins (Griffin 1952:329). Three sub-periods are defined for the Glades II Period, the ceramic associated with the early parts of the period include Key Largo , Miami and Opa Locka incised wares. These same types continue into the later parts of the period along with new decorative styles such as Matacumbe Incised. Other associated artifacts include columella chisels, busycon dippers, shell weights, grooved stone weights, shell, and chert points. Extended primary burials occur in midden contexts (Griffin 1952: 329).

The Glades III Period evidences a greater degree of economic and social interaction across larger geographic areas. The tradition of incising ceramics largely disappeared and new decorative styles such as embossing, grooving, rim lugs and asymmetrical vessels appeared. St. John check stamped pottery appears during Glades Period III. Ceramics from other areas "trade sherds" such as Weeden Island, Safety Harbor and Englewood (Griffin 1952:329) also appear in Glades, Period III contexts.

Earth and shell mound architecture appears or continues from less elaborate and earlier manifestations. During our review of the historic cartography for the vicinity of the subject property, Mathew DeFelice, archaeologist with the Broward County Historical Commission showed us the A.L. Knowles 1895 map which depicts two land features that appear strikingly as "mounds" with a linear feature labeled "ditch" and "old redoubt" connecting the "mounds" to the New River. The map also bounds an area at the edge of the river indicated as "Indian Field". We note that the Tequesta are known for their engineering accomplishments in constructing canoe canals (Florida Division of Historical Resources 2004:E3), though we have no evidence to suggest that the ditch labeled on the map was indeed a canoe canal. The ditch like feature which is also labeled "old redoubt" contains two angles of approximately 120 degrees, and may in fact represent parts of the fortifications of the first Fort Lauderdale.

The features illustrated on this map provide evidence of the continued use of this strategic location of the New River. These features (Figure 6), which are located approximately 400

meters east/southeast of and outside of the subject property boundaries, is still considered to be in relatively close proximity to the eastern part of the Rivermount Site (8BD87), indicating that the Rivermount Site may have been associated with, or part of a chiefly center, if the two mound like features did indeed have a prehistoric provenance.



**Figure 6: Photograph of a section of the A.L. Knowles map of 1895 depicting the two mound like features, ditch, and "Indian Field". Courtesy of the Broward County Historical Commission**

### **1.3.2 Historic Context**

The 1513 Spanish incursion in Florida brought about long lasting and disastrous changes to the native populations of southeast Florida and the Americas. In less than two hundred years, the native populations of southeast Florida had been largely decimated by disease and warfare.

A diaspora of native peoples from the Carolinas, Alabama and Georgia began arriving in southeast Florida in the late 18<sup>th</sup> Century in an attempt to escape the European conflicts that raged in that region, and the migration continued well into the second decade of the 19th Century and was soon followed by planters and Bahamian salvors. The initial settlements were established along the New River. A fortification established by Major William Lauderdale of the Tennessee Volunteers was constructed approximately 400 meters downstream from the subject property on

the north shore of the confluence of the North and South Forks of the New River. The fort was short lived, as it was abandoned when the terms of the Tennessee Volunteers expired and they returned home. Features of this fortification are suggested as "old redoubt" on the A.L. Knowles map previously presented as Figure 6 in this report. The fort was reportedly burned by the Seminoles. The second Fort Lauderdale fortification was built three years later at Tarpon Bend of the New River and yet a third fortification, named Fort Lauderdale, was established at the site of what is now Bahia Mar Marina.

The hydraulic works to drain significant parts of the Everglades began in the mid 19<sup>th</sup> Century, but it was not until a half a decade later that well defined programs to survey the lands and dredge canals were undertaken under the leadership of Governor Broward. Interestingly, Gillis (2004:21) reports that the dredges were constructed at Sailboat Bend. Coinciding with construction of the canal system, a railroad line was established. Together, the canals and the railroad provided the necessary infrastructure to grow agriculture, commerce and attract new settlers to the region.

A review of historic cartography such as the McKay-Williams Survey of 1845 and the A.L. Knowles map of 1895 do not indicate the presence of settlements within the subject property. The 1928 Sanborn map indicates the presence of homes to the east of the Kyner property. Undated and pasted revisions of the Sanborn map do however indicate the current Kyner residence which was built in 1937. The subject property is located within the boundaries of the Sailboat Bend Historic District, which is the oldest of Fort Lauderdale's neighborhoods and dates to the early 1900s. The District is largely composed of vernacular residences with Bungalow, Mission or Mediterranean styles. Other key elements of the District include the Swing Bridge immediately adjacent to the southwest corner of the property, the West Side Fire Station and the West Side School.

## 2.0 STUDY METHODS

The methods employed during the course of the Phase I Archaeological Survey are described in this section.

### 2.1 LITERATURE AND RECORDS SEARCH

The literature and records search for this project consisted of a review of published and unpublished bibliographic sources from the Broward County Library, the Broward County Historical Commission, the internet, and Soltec's collections. The records search included the request and receipt of the site form for site 8BD87 from the Florida Master Site File, Bureau of Historic Preservation. The Broward County Historical Commission also provided information regarding historical properties within a 500 foot radius of the subject property. The findings of the literature and records search are provided in following sections of this report.

### 2.2 FIELD STUDY

The field investigation for this project consisted of systematic subsurface testing of soil at ten meter intervals on the southern part of the property where the additional residence and courtyard are proposed and at ten meter intervals along the eastern property boundary where the fence is proposed. Only one test was performed in the area of the proposed garage as most of this area (northeastern part of the property) is currently hard surfaced. Figure 5 shows the location of the grid layout (red dots) and reference points within the grid (yellow push pins).

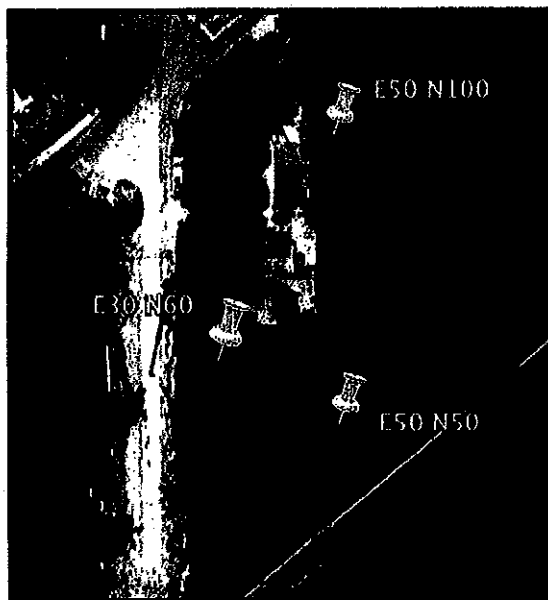


Figure 7: Satellite image depicting the site grid for the study. Image source: Google Earth Pro



The tests measured approximately 50 by 50 centimeters in size and were excavated to one meter below the ground surface or to depths no longer considered to have the potential of containing non-random artifact bearing matrices. The excavated soil was screened through ¼ inch hardware cloth to aid in artifact recovery. Artifacts and ecofacts (shell and bone) recovered were bagged and the bags were labeled with the appropriate provenance information. Other information such as soil color, depositional characteristics, disturbances and estimated artifact/ecofact densities were recorded on a shovel test inventory sheet and in the field book; Figures 6 and 7 depict the shovel testing activities and an example shovel test.



**Figure 8: Photograph depicting shovel test activities in progress along the proposed fence alignment**



**Figure 9: Photograph of example shovel test in progress**

### **2.3 LABORATORY ANALYSES**

The materials recovered during the *Study* were washed, allowed to air dry and then sorted into broad artifact/ecofact classes and re-bagged. Classification of the artifacts then proceeded within a comparative framework appropriate for the region. Select examples of materials were pulled to illustrate the report; each of these was assigned an FS number, individually bagged and returned to their respective material lot bag.

### 3.0 FINDINGS

The Phase I Archaeological Survey performed indicates that potentially significant archaeological deposits exist within the approximate northern half of the subject property where the ridge like feature described in the Archaeological Site Form exists. The low areas located on the southern part of the property, where the owner proposes to construct the residence, contain a paucity of cultural materials that in some cases were found to be associated with modern materials such as plastic. The presence of these materials indicated a significant degree of disturbance, and as such, also a lack of contextual integrity.

#### 3.1 DEPOSITIONAL CHARACTERISTICS

The soil on the subject property that remains undeveloped consists of rather loose, unconsolidated sand to varying depths. The geotechnical studies performed on the southern part of the property indicate that the sand extends to over six meters below existing ground surfaces. Groundwater was encountered at approximately one meter in one test (E50 N50). The water table was found at slightly deeper depths (four feet) in the geotechnical borings. Fibrous peat was found present in two tests (E50 N50 and E30 N40) at 70 to 95 centimeters below surface (cmbs). This is the same general depths at which peat was also encountered during the geotechnical study (Nutting Engineering, 2010).

The upper 10 centimeters of soil was found to consist of very dark grey (10YR3/2) loose sand containing an abundance of roots. At depths ranging from 38 to 65 cmbs, the sand was more compact, highly melanized and also very dark grey (10YR3/2) in color. The thicker melanized deposits were found to be more common on the levee. Artifacts and ecofacts were generally found within the upper 50 centimeters of the melanized sands.

Pale yellow to whitish sand mottled with orange that contained a greater moisture content underlays the melanized sand. This soil stratum was generally found to be artifactually sterile, and only occasional small fragments of shell and ceramics were present. These are considered to be fortuitous occurrences and most likely the result of bioturbation. Consistent disturbance was noted in the upper 20 centimeters of soil across the subject property. The disturbance was evidenced by the regular presence of modern materials such as tile fragments and plastic, however modern materials were also recovered at depths lower than 20 cmbs, such as in shovel test E50 N50.

#### 3.2 ARTIFACT ASSEMBLAGE

The Phase I Archaeological Survey performed for 416 Palm Avenue, Fort Lauderdale, Florida resulted in the recovery of both prehistoric and modern artifacts. Descriptions, illustrations and tabulations of these materials are presented in this section and summarized in Tables 1 and 2.

### 3.2.1 Prehistoric Ceramics

The preponderance of the ceramic assemblage from this part of Site 8BD87 consists of fine sand tempered, undecorated wares (Figure 8). Two incised sherds that are assigned to the type Key Largo incised (Figure 9) indicate a Glades IIa component. A small number (n4) of St. Johns check stamped pottery (Figure 10) is attributed to the Glades III component. With few exceptions, the ceramics are highly fragmented and exhibit somewhat eroded surfaces.

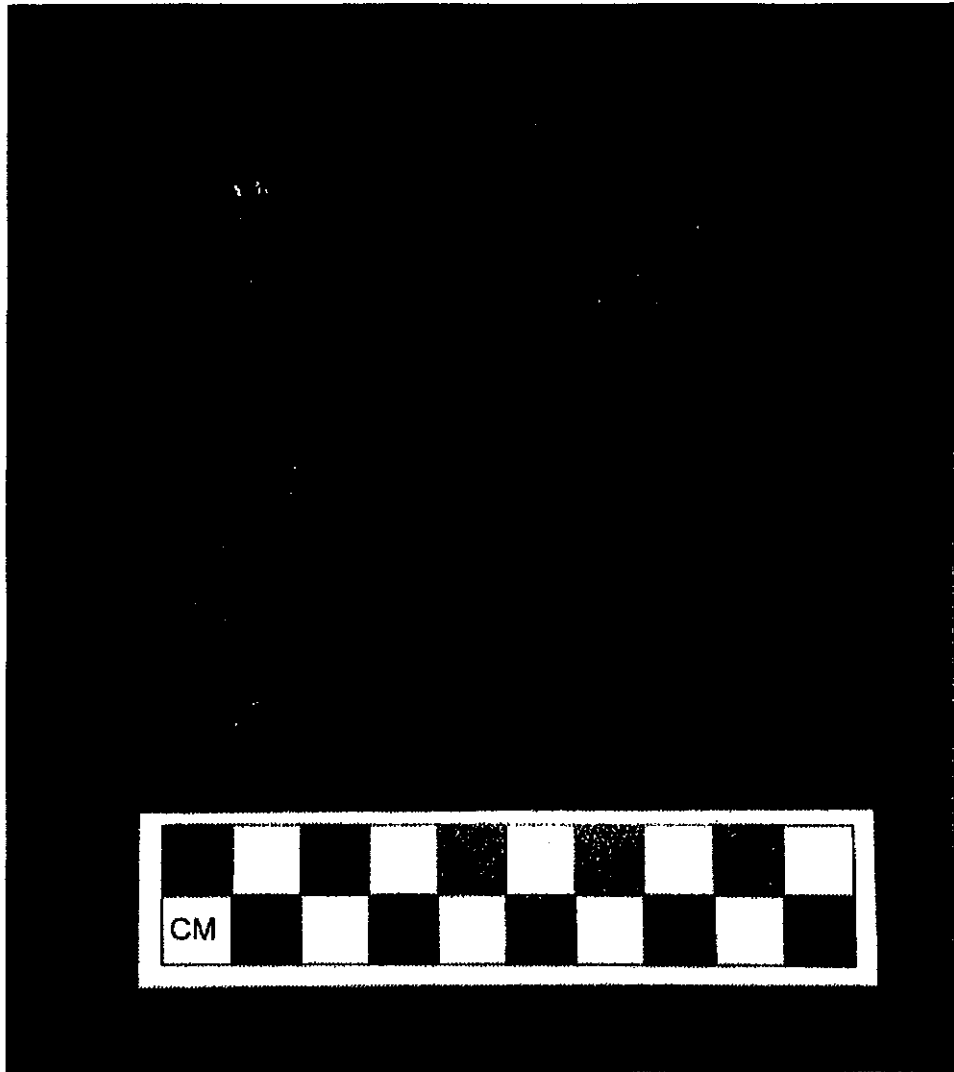
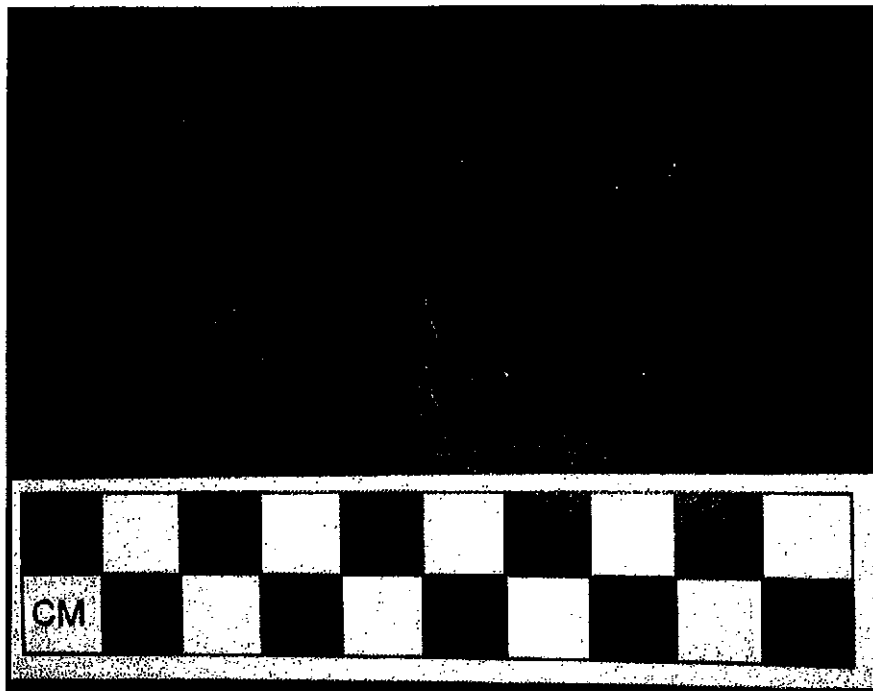
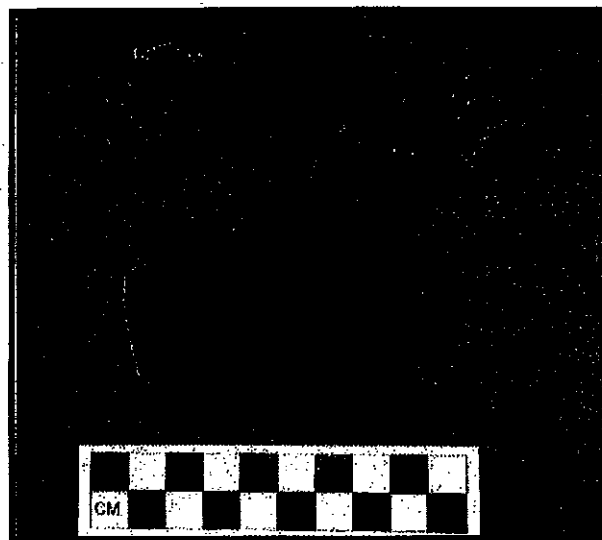


Figure 10: Photograph showing examples of undecorated ceramics recovered in test E50 N90



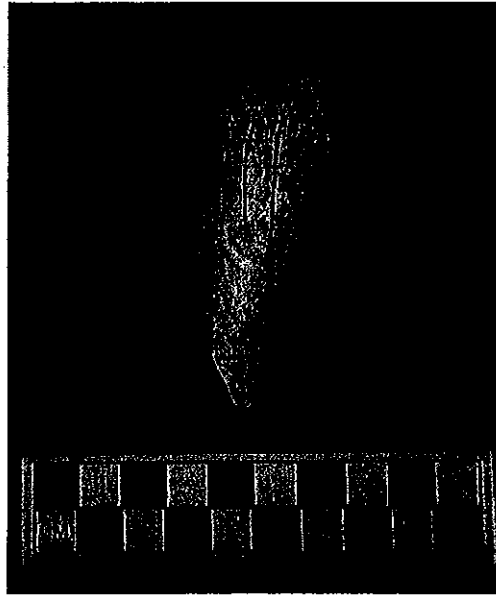
**Figure 11: Photograph of incised ceramics recovered in test E50 N90**



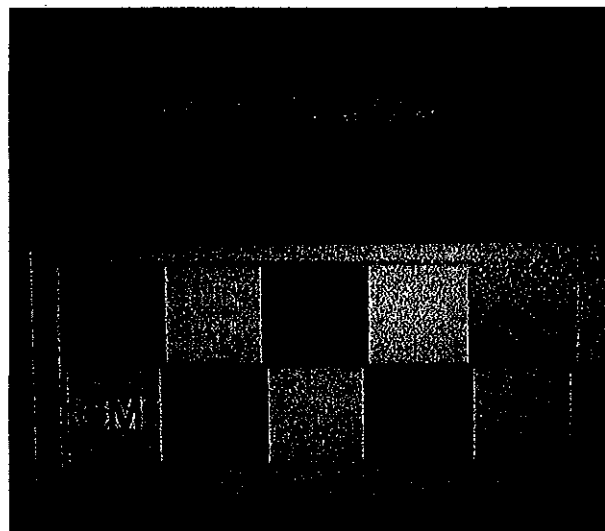
**Figure 12: Photograph of check stamped ceramics. Top specimen recovered from surface context near E50 N80, bottom specimen was recovered in test E40 N60.**

### 3.2.2 Shell Artifacts

A pointed shell object, possibly a perforator (Figure 11), was recovered from shovel test E50 N90. The possible tool was fashioned from a conch shell. No readily discernable wear/use marks were noted. The second possible artifact appears to have been fashioned from a univalve columella and may be a bi-pointed point or an awl (Figure 12). This artifact was also recovered from shovel test E50 N90.



**Figure 13: Photograph of possible shell tool**



**Figure 14: Photograph of possible bi-pointed shell artifact**

### 3.2.3 Modern Artifacts

A number of modern artifacts were recovered from this site, these mainly consist of construction materials and include terracotta tile, flat and curved, including one lead glazed fragment which may represent a fragment from a barrel roofing tile. Terracotta pipe fragments were also recovered. These probably represent debris left from the replacement of older septic and drain lines to the recent connection to the municipal sewer system. Two highly corroded wire nails were also recovered. A bone cutlery handle was recovered in test E50 N70. That test location is located less than two meters from the kitchen of the existing residence. Plastic was also recovered from a number of tests, including a fragment of a plastic label that was found at approximately 60 cmbs in test E50 N50.

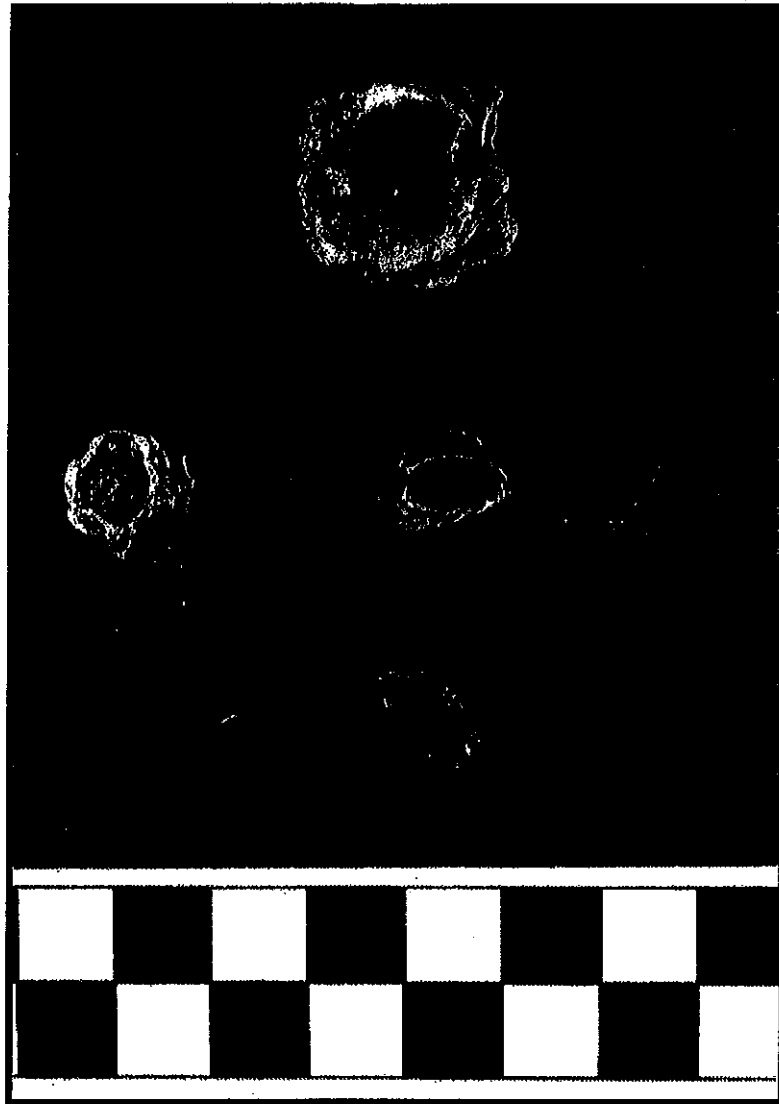
The Archaeological Site Form indicates that 19th Century stoneware was recovered from 8BD87, though no pre 20<sup>th</sup> Century artifacts were recovered during this *Study*. There was also an overall paucity of materials that might be associated with the existing residence built in 1937, this seems to indicate that household refuse was removed from the site on a regular basis.

### 3.2.4 Faunal Remains

The faunal remains recovered in our tests primarily consist of oyster shell, fish vertebrae and other fish bone, bird bone and large mammal bone (possibly the remains of manatee). Figures 13 through 15 depict examples of the faunal remains recovered. In general, the shell was very fragmented. The bone was well preserved.



Figure 15: Photograph of examples of oyster shell



**Figure 16: Photograph of fish vertebrae**





**Figure 17: Photograph showing the large mammal remains, specimen on the right is possibly a manatee rib**

### **3.2.5 Unmodified Rock**

A moderate amount of unmodified calcareous rock was noted in all of the tests excavated. Select samples were retained for examination during the laboratory activities. These were also found to be unmodified.

## 4.0 CONCLUSIONS

The *Study* performed for the subject property resulted in the identification of two archaeological components that are assigned to the Glades IIa Period (AD 900 to 1100) and the Glades III Period (AD 1200 to 1400). The Glades IIa Period is assigned on the basis of the presence of Key Largo incised wares. The St. Johns check stamped wares evidence the presence of a Period III occupation. The Archaeological Site Form of the Florida Site File currently only indicates Glades Periods I and II provenances. Based on the findings of this current *Study*, the site appears to have been occupied for a longer period of time than previously documented.

Based on information in the Archaeological Site Form, the site (8BD87) was estimated as measuring approximately three hundred meters along its east to west axis and generally conforms to the higher elevations of the river levee. The width of the site is approximately forty meters along the north to south axis of the levee. This current *Study* indicates the site is wider, as the non random occurrence of materials was found to extend from approximately E60 to N120, and it most likely extends further to the north outside of the subject property. The width of site is likely to be variable across the long axis (east to west) of the site.

Archaeological evidence indicates that the levee has been occupied throughout the Glades Period (s) and was likely an attractive settlement location given its elevation above ordinary flood prone areas that surround the levee. The length of the site area indicates that multiple settlements existed across the levee's east to west axis over an approximate one thousand year span of time. These settlements may have consisted of village sized settlements and associated households dispersed along the levee. Systematic testing of this site at close intervals would likely provide important information regarding the kinds of settlements that existed on the levee through time.

### 4.1 CONTEXTUAL INTEGRITY

The contextual integrity of the archaeological deposits was found to be variable across the subject property. Few and fragmented materials were recovered across the approximate southern half of the property (from approximately the N60 axis to the river channel wall). The tests performed along the property line to the north of the N60 axis are largely contained on the levee proper, and as evidenced by the test results, cultural materials occur more frequently, in larger quantities, and in thicker melanized matrices. The recovery of comparatively larger quantities of artifacts and faunal remains in test E50 N90 indicates that concentrations of materials exist which may be attributed to either refuse disposal areas or specific household locations. The recovery of two possible shell tools in this test indicates that mixed activities took place at this general locus.

The findings of this *Study* indicate that the southern part of the subject property lacks contextual integrity; the presence of cultural materials on this part of the site is considered to represent fortuitous occurrences. In contrast, the tests performed on the levee proper demonstrate the non-random presence of materials and areas that contain thicker midden deposits.

## 4.2 SIGNIFICANCE

We concur with the statements recorded in the Archaeological Site Form that Site 8BD87 is significant and has the potential for meeting criteria of eligibility to the National Register of Historic Places (NRHP) under Criterion D. The site is considered to have the potential for contributing significant information at various levels of inquiry regarding the prehistoric lifeways at both the local and regional levels.

## 4.3 ASSESSMENT OF POTENTIAL ADVERSE EFFECTS

The Phase I Archaeological Survey performed indicates that the southern part of the property (south of the N60 axis) does not contain significant archaeological contexts and as such, the construction of the proposed residence will not have adverse effects on significant cultural resources.

The approximate northern half of the property has been extensively disturbed by the construction of the 1937 bungalow and subsequent additions, a swimming pool, landscaping features, and more recently, sewer connection lines. An area approximately three meters in width (north to south) by the length of the property's east to west axis was however, found to contain potentially significant archaeological deposits. This area starts at the edge of the existing south patio area that contains pavers and extends approximately three meters to the south.

The narrow fringe of land measuring approximately one and a half meters and located between the east elevation of the house and swimming pool and the eastern boundary of the property, contains archaeological deposits that retain contextual integrity and research potential, however, highly fragmented shell was found in the upper parts of the archaeological deposits indicating that the deposits have experienced some degree of disturbance. The fence proposed for this part of the site has the potential for resulting in adverse effects to significant archaeological deposits. The existing conditions described for the north east side of the property was also observed in the area for the proposed garage. The polygon outlined in white on Figure 16 indicates the archaeologically sensitive area.



**Figure 18: Satellite image depicting the archaeologically sensitive area within the subject property (polygon outlined in white). Source: Google Earth Pro.**

## 5.0 RECOMMENDATIONS

Our recommendations seek to minimize the adverse effects of the proposed construction to the archaeological contexts at the subject property. These include the following:

- The use of auger cast in place piles for the foundations of the proposed residence and garage instead of foundation methods that would require de-mucking activities necessitating the removal of soil from the footprints of the proposed buildings.
- The use of a metal fence instead of a concrete block fence on the eastern side of the property. A concrete block fence would require the excavation of a trench approximately one meter in depth. The metal fence would only require the excavation of a minimal number of support posts. We recommend that the support posts be hand excavated by archaeologists to mitigate the adverse effects to potentially significant archaeological deposits.
- Archaeological monitoring for the area of the proposed courtyard in between N65 and the existing house. Monitoring should be restricted to the activities related to the removal of the grass mat and existing terrace pavers. In the event that excavations deeper than 20 centimeters are required, the owner should notify the Broward County Historical Commission for additional guidance.
- The excavation of three, one by one meter data recovery units to be excavated along the proposed fence line and one, one by one meter data recovery unit to be excavated in the area of the proposed garage to mitigate adverse effects in these areas.
- Any data recovery (mitigation of adverse effects) studies should follow best practice guidelines for this level of study.

We also recommend that the Owner have an archaeologist make periodic visits to the site during construction activities.

## 6.0 REFERENCES

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2006 An Archaeological Assessment of the Icon Las Olas Parcel, Broward County, Florida.  
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**Nutting Engineers**

2010 Report of Geotechnical Exploration for Dr. David Kyner, 416 Palm Avenue, Fort  
Lauderdale, Florida, 33312. Boynton Beach, Florida

Table 1  
 Artifact Counts  
 Phase I Archaeological Survey  
 416 Palm Avenue  
 Fort Lauderdale, FL

EASTING NORTHING	E30		E40		E50		E50		E50		E50		E50		E50		E50		Totals	
	N50	N60	N60	N60	N57.7	N70	N80 (surface)	N90	N100	N120	N120	N120	N120	N120	N120	N120	N120	N120	N120	N120
Ceramics																				
Earthen Ware																				
	3	7	4		1	3		101	14	7										180
								3												3
								2												2
			2				1													4
							1													1
Glass																				
																			1	1
Metal																				
						1														1
Construction Materials																				
																				0
			1																	1
									1											7
Other																				
																				2
																				1
	3	7	7		1	5	1	108	16	13										183
TOTALS																				

Table 2  
 Fauna Recovered by Weight  
 Phase I Archaeological Survey  
 416 Palm Avenue  
 Fort Lauderdale, FL

EASTING NORTHING	E30		E30		E30		E30		E30		E30		E30		E30		E30		Totals In grams
	N40	N60	N60	N57.7	N50	N50	N70	N80 (surface)	N90	N100	N120	N128	N128	N128	N128	N128	N128	N128	
Fauna																			
(numbers represent grams of material)																			
Stromboides biggs																			
Bivalve (Oyster)																			
Bivalve (JJD)																			
Univalve (JJD)																			
Fish vertebrae																			
Other Fish Bone																			
Turtles																			
Canine Molar																			
Large Mammal																			
Aves																			
<b>TOTAL WEIGHT IN GRAMS</b>																			
	2	18	20	148	28	10	52	0	399	40	34	38							757



PH-3  
JAN 6, 2015

STEVEN GLASSMAN





STEVEN GLASSMAN

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JAN 6, 2015

JAN 6, 2015  
PROVIDED BY  
STEVE GLASSMAN

PH-3

**RIVERMONT HOUSE AND SITE**

**FORT LAUDERDALE CITY COMMISSION**

**DE NOVO HEARING**

**JANUARY 6, 2015**

**ITEM PH-3**

**BROWARD TRUST FOR HISTORIC PRESERVATION**

**PRESENTATIONS AND EXHIBITS**

## **Presentations**

1. Introduction – Steven Glassman
2. Architectural Information – Susan Massey McClellan, R.A.
3. Historic Preservation Criteria – Marla Sherman Dumas
4. Archaeological Information – Michele L. Williams, PhD.
5. Concluding Remarks – Steven Glassman

## January 6, 2015 De Novo Hearing on Rivermont at City Commission

Before I begin, I am submitting for the record: the resumes and credentials of those experts with me tonight; our remarks and reports; a letter from the Florida Department of State Division of Historical Resources urging the preservation of the house; a letter from Broward County regarding its concerns for the site, an email from the Florida Public Archeology Network; excerpts from the City's September 2010 Revised Architectural Resources Survey for the Sailboat Bend Historic District concerning the prehistoric midden and Rivermont House; an email concerning demolition conditions; an email from noted South Florida historian Susan Gillis who also served as Fort Lauderdale's Centennial historian; Broward Trust comments from the December 17, 2014 City Commission meeting concerning Agenda Item M-2; a February 28, 2014 Notice of Insufficiency of Deed from Broward County Property Appraiser Lori Parrish to Michelle Grosman and Regent Bank concerning what the property appraiser describes as a deed which appears to be legally insufficient for the subject property we are discussing this evening; the property appraiser's current record of ownership for 1016 Waverly Road; a letter of legal objection to sufficiency of ownership and owner's authorization to proceed; a letter of request for additional time; and a historic preservation assessment of the Rivermont House which challenges the accuracy and refutes the applicant's premise for demolition.

Thank you.

Good evening Mayor, Vice Mayor, Commissioners, and Staff,

I'm Steve Glassman, a resident of Fort Lauderdale and I'm speaking as president on behalf of the Broward Trust for Historic Preservation. With me tonight are several experts in the field of archaeology, historic preservation, historic preservation architecture, and planning. We are all volunteers who care deeply about our City's historical resources and we are prepared to put forth evidence this evening to prove why a Certificate of Approval for demolition of the 1918 Rivermont House should be denied by you, the City Commission. However, this case is not ripe for a De Novo hearing due to the litigation between Ms. Grosman and Regent Bank over title and the lack of a sufficient deed. This hearing cannot take place until it is determined whether or not the applicant has standing and, furthermore, the case should never have been heard at the Historic Preservation Board and must begin again with a legal and lawful application that contains a true legal description of the subject property. The Notice of Insufficiency of Deed is still in effect on this property. The applicant has the full burden of proof of ownership upon submitting an application and the City has the burden of verification that they are accepting a lawful application. How can you consider issuing a permit for demolition on a property that is not legally owned in its totality by the applicant?

That being said, what we are prepared to demonstrate tonight is that your Consultant Report and therefore the staff's position and recommendation dated November 24, 2014 are spot-on and must be adhered to. The burden is on the applicant to meet the criteria of the code regarding demolition and staff states that the applicant has failed to do so. Also very worth noting is the City's own 2009 and 2010 Sailboat Bend surveys conducted by Dr. Patricia Garbe Morillo, Delvis Anes, and Merrilyn Rathbun. Unfortunately, the bare minimum for a quorum – six members – were in attendance at the Historic Preservation Board meeting of December 1 and they failed to consider all of these documents produced by neutral parties that attest to the historic significance of the Rivermont House and identify it as not just a contributing structure to the historic district, but a "key" contributing structure. This house and this site have been described by your consultant as one of the most significant in the entire City; both the house and the site, an Indian midden dating back to 400-700 AD and described as the last prehistoric site of its size, caliber, and importance along the New River, have been declared eligible by various entities for inclusion in the National Register of Historic Places and the house is included in the Florida Master Site File. In regards to the house, nothing has changed since all of these determinations have been made that would in any way support the applicant's contention that the house no longer contributes to the historic district; in fact, the additions that the applicant sites were already in existence as far back as the 1940's and they, in and of themselves, can be deemed historic according to the Secretary of the Interior's Standards. The applicant also cites other criteria that allow for demolition that simply cannot be proven and were not proven: statements that the house has no historic significance and that the property has limited archaeological significance defy logic. Just saying so in an application does not meet the burden of proof. Furthermore, to state that the proposed new project is a major benefit to the historic district when all that is being submitted is a sketch of a new house is truly a stretch of the imagination. This site is too significant to allow demolition without flushed out specifics as to what is to replace it. Your own consultant's words: "The historic house will be destroyed and its history lost to the community. There is no advantage to the historic district in demolishing an important historic house and replacing it with a modern copy of a historic house."

Susan McClellan and Dave Baber's report will address the architecture of the original 1918 house and its subsequent additions and prove why, contrary to the applicant's argument; the house does not meet the criteria for demolition. At this point, it must be noted that much has been said about these additions, both exterior and interior, as if to claim that they nullify the historic significance of the structure. Nothing could be further from the truth; in fact, in

general, historic preservation designations do not take into consideration the interior of the structure unless open to the public, and lack of maintenance on the exterior is not a criteria in the code for demolition.

Ms. McClellan is well known for her past leadership as Chair of the Historic Preservation Board as well as her work as an architect specifically with historic landmarks. Mr. Baber is perhaps the most knowledgeable person in Broward County in the field of historic preservation having served as the County's Historic Preservation Coordinator as well as the Chief Historic Preservation Officer and Administrator. He has been inside the Rivermont House on several occasions. Dave cannot be with us tonight in person, but Susan will incorporate his report into her remarks, and his report is filed on the record. Marla Sherman Dumas will prove to you why the Rivermont House meets the criteria for historic designation in Section 47-24.11 B.6 of the Historic Preservation Ordinance and why this house remains today as a key contributing structure in historic Sailboat Bend. We have found some very neat history to the site that was not included in Ms. Rathbun's report concerning our only female mayor, Virginia Shuman Young, her husband George, and R.H. Gore – the publisher of the Fort Lauderdale News and Sun Sentinel. How ironic that after serving two stints as mayor, Ms. Young served on the Downtown Development Authority where she was often at odds with her gentlemen colleagues because of her desire to preserve historic buildings in the downtown core! Ms. Dumas is a highly respected expert with more than twenty-five years of experience as a public administrator and consultant to governmental agencies and municipalities. Her work has focused on community planning and historic preservation and has involved the preparation of Comprehensive Plans, Land Development Regulations, CRAs, design guidelines and zoning regulations for historic districts and conservation areas, economic development, and so much more.

Dr. Michelle Williams will address the archaeological significance of this property and what will happen if demolition of the house is granted by you and a new structure allowed to be built as opposed to preserving the historic house and rehabilitating it. Dr. Williams is the Regional Director of the Florida Public Archaeology Network with extensive work in the field as well as distinguishing herself as the author of many professional papers and posters.

Once Susan, Marla, and Michelle conclude their testimony, I will offer with your permission and in summary, concluding remarks.

Thank you.

Susan M. McClellan P. A. A R C H I T E C T  
A A 0 0 0 3 6 0 3

6 January 2015

Honorable Mayor Jack Seiler and Commissioners Romney Rogers, Dean Trantalis,  
Robert McKinzie and Bruce Roberts

RE: 1016 Waverly Road House and Site / Rivermont Prehistoric Archeological Midden

Good Evening Mayor, Commissioners, City Manager, City Attorney and Staff;

I come tonight to voice my professional concern and add historic evidence to consider when deciding the fate of the house and site at 1016 Waverly Road in Historic Sailboat Bend.

The evidence I am submitting came from my voluntary research at the City of Fort Lauderdale's Building Department Microfilm department. It adds to and substantiates much of the history already in evidence in the report by the City's Historic Consultant, Merrilyn Rathbun to the Historic Preservation Board on 24 November 2014. Her report advised total demolition of the house is *not in keeping* with the United States Secretary of the Interior's Standards for Historic Preservation. The Historic District Status in the Historic Ordinance of the ULDR for the neighborhood (Sailboat Bend) as well as the City of Fort Lauderdale's mandate as a Certified Local Government (CLG) stewarding Historic Preservation *a priority* both warrant those findings.

I am also submitting copies of 2 documents from my own office files for work done on the adjacent property to the West for Dr. David Kynar and Mr. Richard Bray. These documents are important for this case as they establish property ownership of all of Lot 7 to Dr. Kynar and Mr. Bray in 2013. Also discussions questioning approvals receipt to do the work on their property had come up during the Rivermont C.O.A. process with the neighborhood association meetings and these documents show all three (3) C.O.A. dates for his work as well as the archaeological report (from Soltec) he had done for his construction work realizing the importance of retaining this cultural resource for all generations while incorporating the history into his life now.



As an architect practicing in historic preservation, thorough research into microfilm records in this City is critical for a full evaluation of the importance of the resource. The applicant's packet in evidence from the 17 December 2014 research made no mention of this documentation. The microfilm documents corroborate and substantiate findings noted in Ms. Rathbun's report as well as, Mr. Dave Baber's report of his visits to the house and site. Therefore, I present this evidence to the Commission for a thorough understanding of the house's built history as a key contributing resource to Sailboat Bend during its period of significance and beyond.

The microfilm evidence found started in early December of 1940 through 1941 having several (5) permits issued to a Mr. Frank Bobrytzke. The permits issued were for:  
(note asterisks indicate drawings submitted are included)

Seventy – two (72) feet of sea wall,

Enlargement of the summerhouse for caretakers quarters

\*\*\*a "New Tool House" onto the then "Present Garage" **[figure 1 and 2]**

\*\*\*a boat shelter **[figure 3]**

\*\*\*a porch onto the waterside (rear) of the house (+/-42'radius noted) **[figure 4]**

*Two relevant historic notes must be made regarding this material:*

- 1. The year 1941 was the end year stated for the Sailboat Bend Historic District's "period of significance" and establishment per the CoFL Historic Ordinance in the ULDR and*
- 2. 1940-41 in history of our city, country and world was very important as our Country was at war and all efforts were focused on "Winning the War" therefore materials, jobs and money was in short supply. This work must have appeared luxurious for a personal residence.*

In a 1945 permit filing a Mr. Joseph Bobrytzke is the name on the permit application for a garage building. Comparison of this garage building **[figure 5]** to the one shown in the 1940-41 submittals seems to indicate a new structure. Further research would have to be done into the relationship, if any, with regard to the Owner on the application.

The next entry **[figure 6 and 7]** was from 1947 which was by a Miss Camille Woodward to the Board of Adjustment for a Non-Conforming use of the boat house for art classes. This was approved for a short time (6 months) for a specific time of day. *This entry confirms the existence of the boat house referenced in the 1940-41 time period submittals.*

In May of 1950 there is recorded a permit for construction of a bedroom / bathroom addition to the home in the SE corner of the 1940-41 plan. **[figure 8]** The Owner on the permit is noted as Mr. & Mrs. R. H. Gore a prominent family name in Fort Lauderdale with regard to the Fort Lauderdale News founding. They hired M.C. Maupin as general contractor for the work. Surprisingly, they appear to have respected the house and site history by locating the addition as they did so as not to compete with the existing architecture or disturb more archaeological ground (per the U.S. Sec'y of Interiors Standards for Preservation guidelines even though they were not in existence yet).

*This entry confirms the high regard this property had in the eyes of the establishment in Fort Lauderdale at the time which obviously continues today.*

March of 1957 is the next beginning of permit activity for a Mr. Arthur P. Tomlinson whose name appears numerous times on permits for work up until 1983. It appears his work on the house was focused mainly on the interior with other site work by the following list:

- replaced 12 plumbing fixtures March 1957 (George Young, contractor)
- installation of kidney shaped pool Oct 1957 (Aqua Pool Construct. Co.)

**[figure 9]**

- +\$20,000 remodel of the interior Oct 1957 (George Young, contractor)

**[figure 10]**

- Chain link fence addition Oct 1963 reflected in the **[figure 12]** McLaughlin Survey dated 1955 and updated 1977

- Gas Permit Jan 1964

- Roof repairs of \$100 March 1967 (George Young, Virginia S. Young)

**[figure 11]**

- Central Air-Conditioning added March 1973 (EMC Corp) **[figure 13]**

C.B.S. wall of 350 lf x 5'-8" ht March 1976 (N-S along E Prop. Line)  
(George Young)

Roof & Re-roof of 272 sf Nov 1982 (G.E.Green Co.) at pool **[figure 14]**

*The significance of these applications and list with figures submitted are important for several reasons:*

- 1. The long standing relationship of Mr. Tomlinson and George Young resulted in 3 permits for work over a +/- 20 year history. Mr. George Young, himself an important figure in terms of construction in town having worked also on the Fort Lauderdale Woman's Club as well. Also it is interesting to note on [figure 11] we see the signature of our only female mayor and noted preservation advocate, Mrs. Virginia S. Young as contractor, agent or representative as she was George Young's wife and business partner.*
- 2. The plan submitted with the permit for the central air conditioning to the house substantiates the original 1918 existing house plan and footprint has for the most part remained up until that time with the noted changes per Mr. Dave Baber's report.*
- 3. Per the United States Secretary of the Interior's Guidelines as mentioned in both Ms. Rathbun's and Mr. Dave Baber's reports there is also significance in the relationship of this house and property's development with regard to our City's development and growth. The 1918 original plan of the exterior was retained for the most part and the period of significance for SBHD referenced along with the tie to historic individuals in its life confirms its importance as a key contributing resource and worthy of retaining in whole or in part.*

In conclusion, as a registered architect having worked a great deal on historic preservation projects in and around Fort Lauderdale there is much to be said of the significance of the "history" tied to this house and property. This report serves to reinforce the City's own Historic Preservation Ordinance and the City's reasons for establishing and maintaining Sailboat Bend as an Historic District. The City as a Certified Local Government with the mandate to give priority to historic preservation rather than destruction needs to delay total demolition as the applicant requests at this time. Having served on the H.P.B. as a member from late 2007 through to being its Chair from 2009-11, this present board did not present clear reasons for granting this

C.O.A. for demolition. Therefore, per ULDR Section 47-24.11.C.3.c.i:

a) The original basement and house in existence on the site will be lost forever.

b) As no explanation other than a verbal suggestion that a "single family home" in a style capturing a 1920's – 1930's time span will be built, and a sketch of an unexplained elevation suggestion with a non-dimensioned floor plan not tied to the site by dimensions from the property lines indicated, there is no way to compare the relationship of the proposed work other than destruction of the existing to other properties in the district.

c) The historic contributing home in a scale and mass comparable and complementary to the district will be lost. The unknown nature of demolition to the other archaeological resource tied intrinsically to this work is also unknown.

d) The history associated with this site as a cultural resource for our community and the local district has developed for longer than most of us have lived. To deny the application at this juncture would allow the owner time needed to develop and delineate, in good faith for the whole community to enjoy, their plans for the future. As already in evidence per reports on file from City's Historic Consultant indicate the present Owner/ proposed Owner has not shared their findings of archaeological findings thus far found on the site. Also as there has been a dense planting of trees and shrubs along the West and North property lines with no recorded permits of the work which potentially destroyed some archaeological remains, there needs to be an adherence to the City's Code on the part of the Owner/ proposed Owner by the City as is the case with all property Owners in the neighborhood and throughout the City.

e) As there are no drawings in evidence of what is planned there is no way to tell if they can be reasonably carried out.

f) The plan / application does not comply per my experience in the area of architectural historic preservation or adaptive reuse with regard to the "United States Secretary of the Interiors Standards for rehabilitation and guidelines for rehabilitating historic buildings".

The C.O.A. for demolition should be denied at this juncture. The applicant should present a complete plan of what is to be developed along with what is to specifically be demolished as per the City's own rules for Historic Districts applying for both C.O.A.'s

for demolition and new construction. The City through the Commission should seek some sort of Bond for the materials to be found with the proposed work and establish a repository for those materials securement and enjoyment by the entire community for generations to come.

Thank you all for your time,

**Susan Massey McClellan, R.A.**

Citizen City of Fort Lauderdale, Registered Architect, Former HPB Member 2007-11 and Former HPB Chair 2009-11,  
Practicing Architect with Experience in Historic Preservation

Post Office Box 39383 Fort Lauderdale, FL 33339  
p: 776.6871 c: 205.9539 e: pinktent@bellsouth.net

Text regarding DOCUMENTS on microfilm at CoFL for address **1016 Waverly Road**  
**(Note each item is denoted and listed in chronological order with drawings if found.)**

**Dec 5, 1940 Application for Building Permit** Owner: Frank Bobrytzke  
Contractor or Builder: W. Frank Marshall 1130 SW 6 St  
Purpose: 72 feet of Sea Wall Block: 101 Lot: 5 Cost: \$500  
Type of Construction: Rock and Concrete Foundation: Piling  
Licensed: Yes Occupation Insurance: Yes  
#11863 Signed by: W. Frank Marshall

**Dec 5, 1940 Application for Building Permit** Owner: Frank Bobrytzke  
Contractor or Builder: Day Labor  
Purpose: Enlarge summerhouse to make caretakers quarters  
Block: 101 Lot: 5 Subdivision: Waverly Place  
Type of Construction: Addition, Frame Foundation: Conc. Piers  
Roof covering: Composition  
Cost: \$ 1000 Number of Stories: 1 Size of Lot: 100x170  
Cubic Feet: 1920 Classification: Res A  
#11853 Signed by: Frank Bobrytzke, Mrs. W.H. Carter

**Mar 15, 1941 Application for Building Permit** Owner: Frank Bobrytzke  
Contractor or Builder: Day Labor  
Purpose: Tool shed 14'x14'x8'  
Block: 101 Lot: 2 Subdivision: Waverly Place  
Type of Construction: Addition, Frame Foundation: Conc. Piers  
Roof covering: Composition

Cost: \$ 50 Number of Stories:    Size of Lot:  
Cubic Feet: 1568 Classification: Res A  
#12205 Signed by: Frank Bobrytke

**Mar 17, 1941 City of Fort Lauderdale Building Department Review**

(Checklist from Each Departments Review of Drawings Submitted)  
Zoning: Items (all checked with exception "side street" eliminated)  
Zoning Approved: 3/17/41 Signature: E. Orr  
Classification: B Type of Construction (checked)  
Fire Zones: B Exterior Walls (checked)  
Construction: Footings (checked), Framing (checked)  
Plans approved:    Dated: 3-17-41  
Plan, Elevation and Section Detail drawings (included here)  
Plan: 1/4" scale (noted)

Depicts "**Present Garage**" 18'x20' with two pairs of side-hinged Doors on 18' side (assumption face East) with "**New Tool House**" Shown to West of 14'x14' with 4 windows (1 on North, 2 on West, 1 on South) with a separate single door swinging into the space. Note the "New Tool House" shares the existing West facing wall Of the "Present Garage" which has 2 separated windows in it As well as a single door swinging into the space. The South Wall of the "Present Garage" has two windows along the 20' Length, Also on plan is noted 2x8 joists at 16"O.C. running E-W Elevation: 1/4" scale (noted) and Section Detail of addition Appears to be South Elevation of "Present Garage" (on the right) with the "New Tool House" addition on the left. There is a significant difference in height of the two joined masses (appropriately in keeping with the Secretary of the Interior Standards for new to old additions and the new addition steps back from the existing appropriately giving physical acknowledgment of their development over time with the Secretary of Interiors Standards) with the existing building having a stepped roof line and tall windows with a detail (projected sill? )at the sill. The addition also notes that its roof line slopes to the West. Drawing inference also suggests the window header beams are the support bearing point for the addition's roof joists sloping down from there. Note also the section detail sketch of the reinforced concrete grade beam with 2x4 frame walls of the addition above to the right.

**Mar 15, 1941 Application for Building Permit Owner: Frank Bobrytke**

Contractor or Builder: Day Labor  
Purpose: Boat Shelter 12'x56' All open – top only of wood  
Block: 101 Lot: 5 Subdivision: Waverly Place  
Type of Construction: Iron 4  
Foundation: Concrete  
Roof covering: Wood & Composition  
Cost: \$ 100 Number of Stories: 1    Size of Lot:  
Distance from next nearest building: 8ft  
Cubic Feet: 5702 Classification: Res A

#12210 Signed by: Frank Bobrytke

**Mar 17, 1941 City of Fort Lauderdale Building Department Review**

(Checklist from Each Departments Review of Drawings Submitted)

Zoning: Items (all checked with exception "side street" eliminated)

Zoning Approved: 3/17/43(1?) Signature: E. Orr

Classification: A Group (checked)

Fire Zones: (checked)

Construction: Footings (checked), Anchorage & Bracing:

Bolts on Non-Bearing walls (checked)

Plans approved: Dated: 3-17-41

**Drawings Submitted** (attached) include sheet with

Plan (1/8" scale, upper left) Section (N-S, 1/4" scale, upper right)

and

Section (E-W, 1/4" scale, bottom) with multiple notes.

(Important to note the Plan delineates the edge of the sea wall at Lot 1 on the 1977 survey done by McLaughlin which was used to develop this architect's visual history of property's buildings)

Second sheet contains section of piles noted every 6' along edge (of water) showing low tide notes.

**Apr 17, 1941 Application for Building Permit** Owner: Frank Bobrytke

Contractor or Builder: Day Labor

Purpose: Add porch on rear of house

Block: 101 Lot: 4 Subdivision: Waverly Place

Type of Construction: Addition, Frame Foundation: Reinf.

Conc.

Roof covering: Tar & Gravel

Cost: \$ 850 Number of Stories: 1 Size of Lot:

Cubic Feet: Classification: Res A

#12326 Signed by: Frank Bobrytke

**Drawings Submitted** (attached) include one sheet with

Plan with dimensions and notes as to windows sizes and style, (Original windows of this plan say 30x24- 2/2)

Legend plan noting additions relationship to Original house,

Section indicating heights and noting storage space below.

(Important to note the Plan delineates the edge of water facing

side

of the home seen in the applicant's photos that has a 44'-2" radius In plan)

**Feb 13, 1945 Application for Building Permit** Owner: Joseph Bobrytke

Contractor or Builder: Day Labor

Purpose: Garage

Block: 101 Lot: 4 Subdivision: Waverly Place

Type of Construction: New, C.B.S. Foundation: Cement

Roof covering: Comp.

Cost: \$ 300 Number of Stories: Size of Lot: 600 x ?

Cubic Feet: 5112 Classification: Res A



**#15028** Signed by: Joseph Bobryztko

**Drawings Submitted** (attached) include one sheet with Plan with dimensions and notations regarding the 3 walls (E, N, W) of concrete / C.B.S. and the South facing wall of Frame (facing the "Existing Boat House") with concrete floor, Concrete footers (12 x 18, reinforced). There is a W-E section Showing a pair of wood sash (1/1, assume single hung windows) Centered in the space, as well as a noted wood sash single Pane wood sash window at the NE corner. The roof slopes to the East with a small canopy facing West above the sloped drive. There is also a beam detail noting reinforcing and an Elevation Of the Overhead door West facing façade. Scale noted on the Drawing is noted as  $\frac{1}{4}'' = 1'-0''$  and Dated: Feb 13, 1945 with no Author indicated. (Although the permit application states Lot 4 As the location of this garage, physical evidence in existence Today as well as the lot line and Existing Boat House notes on The drawing clearly shows this structure may have replaced the Prior "Tool House" with Existing Garage depicted on the Permit Application of March 15, 1941 noted on Lot 2.)

**Aug 29, 1947 Notice of Appeal to Board of Adjustment**

filed by: Miss Camille Woodward

For a Non-Conforming Temporary Use of the Existing Boat House For art classes.

**Sept 23, 1947 Board of Adjustment Hearing** Motion made, 2<sup>nd</sup> and approved for The Non-conforming Use as requested for a 6-month period with specified times for the classes stipulated.

**May 15, 1950 Application for Building Permit** Owner: R. H. Gore

Builder: H. C. Maupin 901 S.W. 4<sup>th</sup> Ave.

Lots: 2-3 Block: 101 Subdivision: Waverly Place

Purpose: Addition of Bedroom and Bath to Existing Residence

Cost: \$3500 Construction: CBS Roof Covering: Built-up

Foundation: Reinforced Concrete Cubic Feet in Building: 2664

Zoning: R-1 Permit Fee: \$7.50

**Permit No.: 26994** Signed: H. C. Maupin

**Drawing Submitted** (attached) Single Sheet containing Foundation Plan (12" block on 10x20 conc. footer w/ reinforcing); Floor Plan (CBS walls, Plaster wall finish, wood floor and base, Windows with sizes & styles; electric outlets, lights, doors, lavatories, tub, watercloset, plumbing 4" stack, closet with shelf and rod and attic access scuttle location); Building Elevations (S, E, N all showing window sizes / types, finish floor marking, poured conc. tie beam graphic indication, stucco finish and vent blocks to crawl space below) Typical Wall Section with notes regarding reinforcing finish materials and attachments with dimensions. Foundation, Floor Plan and Building Elevations of Addition are at scale of  $\frac{1}{4}'' = 1'-0''$  and the Typical Building Section is at  $\frac{3}{4}'' = 1'-0''$ . The

entire sheet is titled; "Addition to residence of Mr. & Mrs. R.H.Gore Waverly Road" dated May 11, 1950. No author is noted.

**Mar 1, 1957 Application for Plumbing Permit** Owner: A. P. Tomlinson

Contractor: George F. Young, C/O F. F. Kinny

Blk.: 101 Sub.: Waverly Place

Old Building (circled)

1<sup>ST</sup> FI Fixtures: 4 basins, 3 closets, 1 Bathtub, 1 shower, 1 sink,  
1 dishwasher, 1 water heater....total 12 fixtures

Inspection Fee: \$18.00 Paid: 3/4/57 JT (initialed)

Inspected:(rough) 3-5-57 BM (initialed)

Permit No.: **23482**

**Oct 28, 1957 Application for Building Permit** Owner: A. P. Tomlinson

Contractor: Aqua Pool Construction Co. 944 NW 44 Street

Lot: 1,2,3,4,5,6 and E1/2 7 Blk.: 101 Sub.: Waverly Place

Purpose: Swimming Pool Cost: \$4500

Type of Construction: Gunnite Foundation: R C (reinforced  
concrete) Size of Building: Irregular Zoning: R-1

Permit Fee: \$4.00

Permit No: **52987** Signed: James T. McEmarey,

Aqua Pool Construction Corp.

**Drawing Submitted:** Single Sheet authored by Applicant

Dated: Oct 9, 1957 Plot Plan with North Arrow (interesting to note  
("guest house" adjacent to the river somewhere on lot 4 or 5 is  
indicated) Plan of Pool (shows location of "Existing House" and  
"Proposed Florida Room" with the pool equipment located North of  
the "Existing Garage" building.) Section through pool more or less  
E-W of the proposed length of the proposed kidney shaped pool.

**Oct 30, 1957 Application for Building Permit** Owner: Mr. Arthur Tomlinson

Contractor: George Young

Lot: 1,2,3,4,5,6 and E1/2 7 Blk.: 101 Sub.: Waverly Place

Purpose: Repairs & Remodel of interior of existing residence –  
Not Changing Occupancy Cost: \$20,000

Zoning: R-1

Permit Fee: \$4.00

Permit No: **53018** Signed: George Young

**Oct 25, 1963 Application for Building Permit** Owner: A. Tomlinson

Contractor: American Steel Fences

Lot: 1-6 & E ½ 7 Block: 101 Subdivision: Waverly Place

Purpose: Line Fence

Cost Estimate of Improvements: \$260.00

Type of Construction: Chain Link

Zoning: R-1

Building Permit No.: **88783** Permit Fee: \$5.00

Signed by: Jean Peck

**Jan 24, 1964 Application for Manufactured Gas Permit** Owner: A. P. Tomlinson  
Permit No.: **16679** Issued to: Peoples Gas System  
Lot: 1-6 & E ½ of 7 Block: 101 Subdiv.: Waverly Place  
1<sup>ST</sup> Floor: 1 Furnace Remarks: Pipe & Connect  
Inspections: Final 2-4-64 JTD (? Initials) Inspection Fee: \$1.00  
Rec'd by: JR (initialed) Stamped: Feb 3 1964  
Total Amount: \$1.00 Signed: Ralph J. Tomping

**Mar 22, 1967 Application for Building Permit RECEIPT (Mar. 27, 1967)**

Owner: Art Tomlinson  
Building Contractor: **Geo Young**  
Lot: 1-6 & E ½ 7 Block: 101  
Residence Repair, Residential  
Purpose: Roof Repairs  
Zone: R-1  
Other Permit: #FL - 67-1615  
Approved by: Zoning CHC (initials?) Date: 3-22-67  
Roof Estimated Cost: \$100.00 Permit Fee: \$5.00  
Total Permit Fee: \$5.00  
Total Amount: \$5.00  
Date: 3-27-67 Signed by: **Virginia S. Young**  
Owner, Contractor or Agent

**Mar 3, 1973 RECEIPT CoFL Building Dept. Division of Electrical Inspection**

Owner: Mr. Tomlinson  
Contractor: EMC Corporation  
Lot: 1-6 & E ½ of 7 Block: 101 Sub.: Waverly Place  
Old Bldg. (box checked)  
Item: 3-5 H.P. Fee: \$10.00  
Office Use Only: 3-7-73 Jhw (initials?)  
List All Motors by H.P. include air cond.:  
TA 960 5 Ton - 10.00  
16 Drops - 8.00  
Central Unit (checked) Est. Cost: \$3603.00  
Air Cond. Fee: \$ 18.80  
Total Fee: \$ 18.80  
Final: 8(?) - 30-73 / Jh (initialed)  
**Air Cond. Permit # EA73-261**  
Date: 3/3/73 Signed: Jorge J Zamby (contractor, agent)  
**Drawing Submitted:** Single Sheet stamped with EMC corp.  
Titled: Air Conditioning System for: Mr. Tomlinson 1016 Waverly

Rd

Scaled: ¼" = 1'-0" Job # 73048  
Drawing is the plan schematic of the HVAC layout with the grill  
Outlets locations, CFM's per grill and duct sizes. Notes include unit  
Specifics.

**Mar 15, 1976 RECEIPT CoFL Division of Building Inspection**

Owner: Art Tomlinson Contractor: George F. Young  
Lot: 1-6 and E ½ of 7 Block: 101 Sub.: Waverly Place  
Present Use: Sgl Res Zone: R-1  
Purpose: (reinf. masonry constr.) 5'-8" ht. CBS wall/ 350 L/F  
Application Approval: Lucille Smith (signature)  
Notes in the "Conditions Under Which Approved" are very faint  
But seem to have to do with the courses of block, reinforcing  
Size (#4?) and dowels to existing.  
Zoning: Approved TRW (initials?) 3-15-76  
Structural: Approved ACT (initials?) 3-15-76  
Other estimated Cost: (wall) \$1,800.00 Permit Fee: \$ 35.00  
Other Permit #FL-76-1643 Date: 3-22-76 Signed: Geo Young

**May 18, 1976 Inspector's Report Permit No.: 76-1643**

Remarks: 5-18-76 Final BD (?)

**Nov 18, 1982 RECEIPT CoFL Division of Building Inspection**

Owner: Tomlinson Contractor: GE Greene Co.  
Lot: 1-6 & E ½ of 7 Block: 101  
Use: sgl. Res. Purpose: New Roof Structure & Re-roof  
Type Roof: B.U. Sq. Ft. : 272  
Zone: R-1  
Application Approval: Acmos Lefed (signature?)  
Roof Permit: #FL - 82-6845  
Other Permit: #FL - 82-6846  
Conditions Under Which Approved: No Electric Shown  
Zoning: Stills (signature) 11-19-82 (date)  
Structural: Benton (signature) 11-22-82 (date)  
Electrical: N/A (initialed)  
Air Cond: N/A (initialed)  
Plumbing: Paumer (signature) 11-22-82 (date)  
Product Control: Smith (signature) 11-22-82 (date)  
Roof Estimated Cost: Re-roof - 500 Permit Fee: 18.00  
Structure - 4,000 Permit Fee: 47.00  
Plan check: 10.00  
Total Permit Fee: \$ 75.00  
Other Fees: City: .45  
Co: 1.00  
Total Amount: \$ 76.45  
Date: 11-22-82 Signed: Gecall E. Greene, Pres.  
Contractor State # RC 0010051  
Notarized: 18 Nov 1982 Arma G Lefhes (signature?)

**Feb 28, 1983 Inspector's Report Permit No: 82-6845-46**

Roof: 11/27/82 WC (date and initialed)  
Remarks: Final Insp OK  
2/28/83 WC (dated and initialed)

**Drawing Submitted:** Single Sheet Plan, E-W Section and  
Beam (?) Detail for: Tomlinson 1016 Waverly Rd Ft. Laud.  
For: Reroof and Roof of Porch from: GE Greene Co.  
1051 NE 40 Ct Ft. Laud

Permit No.: **82-6845-6** Marked on Drawing  
Notes on drawing sheet mention "no trucks on pool deck" and  
Plan shape references screen porch shape on 1977 McLaughlin  
Survey update of 1952 survey. Also drawing references "wrought  
Iron Columns to remain"

Susan Massey McClellan, RA

Citizen of Fort Lauderdale, Architect, Historic Preservation Architect, Former Chair City of Fort  
Lauderdale Historic Preservation Board (2009 – 2011), City of Fort Lauderdale Historic  
Preservation Board Member (late 2007 – 2009)

# MSSD Consulting, Inc.

January 6, 2015

City of Fort Lauderdale De Novo Hearing  
HPB Case 14014  
Rivermont House and Site  
1016 Waverly Road  
Applicant: Hansen Associates Architecture and Design  
Owner: Michelle Grosman

I will introduce myself acknowledging that Steven Glassman provided a summary of my expertise and my resume has been provided in the package submitted to document this presentation.

I've been asked to explain the criteria for determining if a structure should be considered as a contributing historic building eligible for designation under the Fort Lauderdale Code of Ordinances as contained in Sec. 47-24.11.B.6. and also to explain that unless specifically included in the local ordinance for designation pursuant to the Secretary of Interior Standards only the exterior of the structure is considered. Interior changes or modifications do not impact the designation of a structure. The only exception pursuant to the Fort Lauderdale would be buildings that are open to the public.

Additionally, the exterior condition of a structure should not be considered when determining whether a building is appropriate for designation. Exteriors can be restored without impacting the historic character of the structure when the work is done pursuant to the guidelines established for restoration. Furthermore, in most communities demolition by neglect does not result in the issuance of a Certificate of Appropriateness but requires the immediate correction of the conditions which are often classified as code violations. Rivermont House may have been vacant for some time. Its exterior may not have been constantly maintained, but these deficiencies can be addressed appropriately without impacting its significance.

Now back to the criteria contained in the Fort Lauderdale ordinance. The eight criteria provided are based on the Secretary of the Interior Standards that regulate designation of National Register properties and are stated in the Fort Lauderdale ordinance as follows:

The criteria for designation as a landmark, landmark site or historic district shall be based on **one** or more of the following criteria:

- a. **its value as a significant reminder of the cultural and archeological heritage of the city, state or nation,**
- b. its location as a site of a significant local, state or national event,

PO Box 2002 Hollywood, FL 33022  
Tel: (954)925-5711 Mobile: (954)980-0812

- c. **its identification with a person or persons who significantly contributed to the development of the city, state or nation,**
- d. **its identification as the work of a master builder, designer or architect whose individual work has influenced the development of the city, state or nation,**
- e. its value as a building recognized for the quality of architecture, and sufficient elements showing the architectural significance
- f. its distinguishing characteristics of an architectural style valuable for the study of a period, method of construction, or use of indigenous materials,
- g. its character as a geographically definable area possessing a significant concentration, or continuity of sites, buildings, objects or structures united in past events or aesthetically by plan or physical development, or
- h. its character as an established and geographically definable neighborhood, united in culture, architectural style or physical plan and development.

Though only **one** criterion is required by ordinance, the Rivermont House meets at least three of the criteria dealing with individual designation, specifically criterion a, criterion c and criterion d. Previously it has been demonstrated that the Rivermont House and Site was a contributing building and is so identified in the Florida Master Site Files when this local district was established in 1992. In a 2010 staff report which was prepared as the city of Fort Lauderdale initiated the process to become a Certified Local Government (CLG), the Rivermont House and Site was identified as a key contributing building and site located in the Sailboat Bend Historic District. As previously stated the designation of a district is addressed in criterion f and criterion g and will not be part of this presentation.

**Criterion a:** The Rivermont House constructed in 1918 is a typical example of vernacular architecture that represents the type of development by early twentieth century pioneers that were moving into the area. They sought sites near a water source such as the New River, with high land elevation to avoid potential flooding such as the mound on which Rivermont House was built (that is known now to be an ancient Indian midden) and they used readily available building materials to construct their homes.

## Fort Lauderdale De Novo Hearing January 6, 2015

Clearly, the Rivermont House is one of the last remaining homes from this era that is virtually in tact as it was originally constructed as detailed in a previous statement made as part of this record. When originally constructed, the archeological significance of the site was not fully known or understood and has since been recognized as a major ancient midden dating back to 400 AD and this significance will be fully addressed by a later speaker. Based on the facts and information provided in this statement, the Rivermont House demonstrates the cultural and archeological significance of early Fort Lauderdale and is a reminder of that era in history and how people lived at that time.

**Criterion c:** The first owner of Rivermont House was D.T. Hart, Vice President of Security State Bank and owner of D.T. Hart and Co. which sold hay, grain and feed, very important and necessary commodities at this time in history. In 1921, Rivermont was purchased by Ross Clark, a New York City businessman, who intended along with his business partner to develop housing on the south side of the New River where they had purchased 400 acres of land.

Approximately one year later, Rivermont was sold to William Carmichael of Miami who at the same time purchased 29 acres of land from Clark's company, Turner and Clark. After adding additional land and mortgaging his properties to fund this effort, he began developing the community of Placidena on the south side of the New River. Due to difficult financial times, this development was taken over by others and renamed. This is now known as the Croissant Park area of Fort Lauderdale. In the late 1930's, Rivermont was purchased by Norbourne B. Cheney, owner of the Broward Abstract Company, an important and necessary business at that time in the county.

Though we recognized that none of the names listed above are familiar today, each and everyone of the early owners of Rivermont played a role in the history of Fort Lauderdale.

We have traced the ownership further than it has been presented in Merrillyn Rathbun's report to the HPB and through the Fort Lauderdale microfilm building records, we have been able to document that R. H. Gore owned this property. Though this is a name that is recognized, for the record we must indicate his accomplishments as a key player in Fort Lauderdale's history. He owned several newspapers, most significantly the predecessor to the Sun Sentinel, and an insurance company; developed real estate; started an orchid business and was a



Fort Lauderdale De Novo Hearing January 6, 2015

well known political fund raiser and politician. This is all fully documented in the book Past the Edge of Poverty: A Biography of Robert Hayes Gore published in 1990. R.H. Gore served as the Governor of Puerto Rico appointed by President Franklin Delano Roosevelt in 1933. In the later half of the 1930's when he took over the partially constructed Wil Mar Hotel on Las Olas Boulevard, he renamed it the Governor's Club in recognition of his once serving in such an office.

Also of note on these microfilm records for building permits at the Rivermont House, is information indicating that George Young, a well known construction company owner, would be the general contractor building one of the various additions to this property in 1957. This document required an authorized agent's signature and none other than Virginia Shuman Young, the first and only female mayor of Fort Lauderdale signed this application. Prior to becoming involved in politics she was actively involved in her husband's business.

The early owners of Rivermont though not well known today, clearly contributed to the history and development of the city of Fort Lauderdale and the discovery of R.H. Gore as an owner must also be acknowledged. Based on all of these facts, Rivermont House must be recognized as a property eligible for designation.

**Criterion d:** Though we have not been able to identify the names of the persons who originally designed or built Rivermont House, it can be deduced that this 1918 structure is an example of incredible craftsmanship. It with stood the famous 1926 hurricane that destroyed many existing structures.

The 97 year old building has successfully weathered many other tropical storms and major hurricanes, including Andrew, Katrina and Wilma. Furthermore, the harsh natural environment and predators that are known to affect buildings in South Florida, have not negatively impacted this structure. These factors all demonstrate that the design and construction of this home that in a few short years will celebrate a centennial milestone is a prime example of extraordinary craftsmanship and therefore must be deemed eligible as a building worthy of designation.

Fort Lauderdale De Novo Hearing January 6, 2015

We urge you to consider all of the facts presented and recognize that the Rivermont House meets several criteria making it eligible for designation though according to your ordinance only **one** criterion is required. Furthermore you should not be considering any evidence offered with regard to interior changes impacting the designation of the Rivermont House or the current exterior condition of the building making this structure ineligible for designation.

Please overturn the decision of the HPB approving the issuance of a Certificate of Appropriateness for demolition. One can only wonder what former Mayor Virginia Shuman Young would think about the need to even deliberate such a decision. She knew historic buildings have value and should be saved from the wrecking ball. Steven Glassman in his opening remarks shared that with you.

Furthermore, please consider all the factors presented as you make a decision regarding the Certificate of Appropriateness for demolition. Interior changes are not relevant, the condition of the exterior of the building is not to be a consideration and the house meets three criteria not just **one** criterion as required by your ordinance. Do not allow Rivermont House to be one more lost landmark in Broward County.

Prepared by:  
Marla Sherman Dumas  
MSSD Consulting, Inc.

---

**From:** Michelle Williams [mailto:MWILL167@fau.edu]

**Sent:** Tuesday, December 16, 2014 9:14 AM

**To:** Jack.seiler@fortlauderdale.gov; rrogers@fortlauderdale.gov; rmckinzie@fortlauderdale.gov;  
dtrantalis@fortlauderdale.gov; broberts@fortlauderdale.gov; lfeldman@fortlauderdale.gov

**Subject:** Rivermont Site (8BD87)

Dear Mayor Seiler and Commissioners,

I had planned to speak at the December City of Ft. Lauderdale Commission meeting to speak on Agenda Item M-2 (CITY COMMISSION REQUEST FOR REVIEW - CERTIFICATE OF APPROPRIATENESS FOR DEMOLITION OF RIVERMONT HOUSE -1016 Waverly Road - Case H14014). Unfortunately with the change of date from Wednesday to Tuesday, I can no longer be there to be there in person. I hope you will use this brief note as a substitute for my presence at the meeting.

I am a professional public archaeologist who works daily to teach people about the archaeology of Florida with the hopes that the archaeology of Florida can be saved. To this end, I have been actively involved with preservation of the Rivermont site (8BD87) and its associated historic structure since 2011. At that time, a group of conservation-minded neighbors and citizens were working with the City of Ft. Lauderdale to secure funds to purchase the property and develop it as an interpreted historic/archaeological park. The importance of the archaeology site and structure were never questioned at that time, and everyone believed it would be a significant cultural contribution to the City of Ft. Lauderdale. Unfortunately the project fell to the wayside, the property has been purchased by private citizens, and these owners have requested permission to destroy the home and impact the associated archaeological site.

The Rivermont site is the last prehistoric site of its size, caliber, and importance along the New River. If the homeowners are allowed to destroy the historic home and build a new structure, the Rivermont site and home will be adversely and permanently impacted by the process. It reflects very poorly on the City of Ft. Lauderdale to consider a single homeowner's desire to have a larger and more luxurious home more important than the cultural heritage of our whole community. The homeowners will live in there for less than 50 years, but their impact on our community, our history, and our heritage will be forever.

I strongly discouraged the City of Ft. Lauderdale Historical Commission to allow this to happen. I must ask the same of you.

With warmest regard,  
Michele Williams, Ph.D., RPA  
Director of Southwest and Southeast Regions  
Florida Public Archaeology Network at FAU  
111 East Las Olas Blvd.  
Ft. Lauderdale, FL 33301  
Phone: 954-254-9657

Websites: <http://www.flpublicarchaeology.org/serc/> and <http://www.flpublicarchaeology.org/swrc/>

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## January 6, 2015 De Novo Hearing on Rivermont at City Commission

### Concluding Remarks

What you have just heard is compelling evidence in support of the historic Rivermont House and testimony that should convince you to not permit demolition of this house. Let's heed your own consultant's words in her report that "The historic Rivermont House is significant in the built history of the town; together the house and the archaeological site are one of the most important historic resources of the City of Fort Lauderdale. Demolition of the house will cause the destruction of the site. At this point, no further incursion should be made on the site; the house should be stabilized and rehabilitated. The applicant's proposed demolition of the house is not appropriate. The application should be denied." Strong words – no wonder the applicant has attempted to discredit Ms. Rathbun's credentials and have her work stricken from the record. The Mayor was correct when he said on December 17 that he was not sure that the Historic Preservation Board did everything they needed to do to protect the site.

The letter you received from the Florida Department of State Division of Historical Resources on December 17 reminds us all that Fort Lauderdale made historic preservation a priority of local government when it was designated a Florida Certified Local Government on September 30, 2010. It goes on to state that Fort Lauderdale should recognize this responsibility by supporting the preservation of the Rivermont House.

The State has weighed in and said save this house, the County has expressed its concerns on the site, the County's archeological consultant must still review the management plan for the site submitted by the applicant, and the Seminole Tribe has been asked for its input by the State archeologist.

You have a decision before you that involves hearing very contradictory testimony from both sides. Because of the significance of this property, perhaps it behooves you to consider an archaeological and architectural mediation of sorts. Bring in a neutral third party architect, engineer, and archaeologist to further advise you.

Section 47-36. of the City's Historic Preservation Ordinance states the purpose and intent of public policy for historic preservation and says "the purpose of these historic preservation regulations is to promote the cultural, economic, educational and general welfare of the people of the city and of the public generally, through the preservation and protection of historically or architecturally worthy structures...to protect against destruction the heritage of the city. It is the policy of the city that the preservation, protection, perpetuation or the adapted reuse of landmarks, landmark sites and historic buildings and districts is a public necessity because they have a special historic, architectural, archaeological, aesthetic or cultural interest and value and thus serve as visible reminders of the history and heritage of the city, state and nation."

In conclusion, the burden of proof is on the applicant in this hearing to demonstrate how she has met the criteria of the code for demolition of this historic structure known as Rivermont House. City staff has said that she has failed to meet the criteria and the Broward Trust for Historic Preservation agrees. We have heard from paid consultants who want to demolish the house in order to obtain future work. In fact, there are no guarantees that the applicant will even retain this property if demolition is granted. How else does one explain the angry outburst that I encountered outside of City Hall on December 17 when the applicant told me, "We will demolish that house; it will come down!" How many times have we seen developers get City approvals for demolition and new projects and then simply sell those approvals and walk away? Well, this site and this house are too important to let that happen here. The Broward Trust for Historic Preservation does not want to see this property flipped so that one day we are looking at a multitude of townhouses proposed there and the midden destroyed.

Our presentation clearly demonstrated that the Rivermont House is a key contributing structure in the Sailboat Bend Historic District based on its being a prime example of early vernacular architecture in South Florida that has weathered nearly 100 years in this significant location. Clearly it demonstrates excellent craftsmanship as it has been through numerous hurricanes and tropical storms and withstood the natural elements of Florida's climate and other types of attacks from the natural environment. Furthermore, through the city's building records we have discovered that the house was associated with George and Virginia Shuman Young and their construction company. Additionally, we have provided documentation that this house was owned and occupied by very significant persons contributing to Fort Lauderdale history such as R.H. Gore. For these and other evidence we have provided, the application does not meet the criteria in Section 47-24.11.C of the ULDR for a Certificate of Appropriateness for Demolition and the applicant's request for that Certificate of Appropriateness in connection with the single-family residence located at 1016 Waverly Road, also known as the Rivermont House, should be denied.

Thank you for your consideration.

## **Table of Exhibits**

**Exhibit 1:** Letter of Legal Objection to Sufficiency of Ownership and Owner's Authorization to Proceed

**Exhibit 2:** Notice of Insufficiency of Deed and Property Appraiser Record for 1016 Waverly Road

**Exhibit 3:** Broward Trust for Historic Preservation Letter Requesting Additional Time and Standing

**Exhibit 4:** Historic Preservation Assessment of Rivermont House by Dave Baber

**Exhibit 5:** Letter from the Department of State Division of Historical Resources

**Exhibit 6:** Letter from Broward County

**Exhibit 7:** City of Fort Lauderdale 2010 Architectural Resources Survey for Sailboat Bend Historic District

**Exhibit 8:** Email from Susan Gillis, City of Fort Lauderdale Centennial Historian

**Exhibit 9:** Email of Recommended Conditions for Demolition if HPB Decision is Not Overturned

**Exhibit 10:** Broward Trust Testimony from 12/17/14 Commission Meeting

**Exhibit 11:** Resumes and Expertise of Presenters

**Exhibit 1: Letter of Legal Objection to Sufficiency of  
Ownership and Owner's Authorization to Proceed**

# RALF BROOKES, ATTORNEY

*Board Certified in City, County and Local Government Law*

December 31, 2014

City Hall 100 N. Andrews Avenue  
Fort Lauderdale, Florida 33301

Case	H14014	FMSF #	
Applicant	Hansen Associates Architecture & Design		
Owner	Michelle Grosman		
Address	1016 Waverly Road		
General Location	Approximately 117 feet east of the SW 11 <sup>th</sup> Avenue and Waverly Road intersection.		
Legal Description	LOTS 1,2,3,4,5,6 AND THE EAST HALF OF LOT 7 BLOCK 101 "WAVERLY PLACE" PLAT BOOK 2 PAGE 19 OF MIAMI-DADE COUNTY, LOCATED IN BWD COUNTY, FL, LESS AND EXCLUDING THE WEST 5 FEET OF THE EAST ON-HALF OF LOT 7, BLOCK 101 OF WAVERLY PLACE.		
Existing Use	Residence		
Proposed Use	N/A		
Applicable U.L.D.R Sections	47-24.11.C.3.c.i, 47-24.11.C.4.c		
Request(s)	Certificate of Appropriateness for Demolition 1. Demolition of an existing single-family residence.		

Dear City Attorney, Mayor, City Commissioners, City Manager:

On behalf of my client, The Broward Trust for Historic Preservation, based on information that I have been provided to date, please accept and consider this legal objection *to sufficiency of ownership and owner's authorization to proceed* with the De Novo Hearing scheduled for January 6, 2015 to review the Certificate of Appropriateness for demolition of a historic structure.

The City of Fort Lauderdale Code requires: Sec. 47-24.11 D.5. Application Process Applicant. The applicant shall be the owner of a qualifying property or the authorized agent of the owner.



It appears that the applicant, Michele Grosman, is not recognized as the owner of the subject property by the Broward County Property Appraiser and Tax Collector, and the applicant did not check either box (neither \_\_\_warranty deed or \_\_\_ tax record) as proof of ownership, and contains an incorrect legal description of the property, the applicant has not obtained authorization from all property owner(s) of the subject land as required by the City of Fort Lauderdale Code Sec. 47-24.11 D.5. Application Process "Applicant. The applicant shall be the owner of a qualifying property or the authorized agent of the owner."

Please find attached is a *Notice of Insufficiency of Deed* that was issued to Ms. Grosman by the Broward County Property Appraiser, Lori Parrish. The City should thoroughly research the current property ownership before approving demolition of any structures on the property. It appears that Ms. Grosman thought she was purchasing the entire parcel that the bank once owned, perhaps not realizing that Lot 7 was sold by the bank to the next door neighbor in 2012. This is could be the reason that the title was not cleared and the deed was not issued.

A prior claim of title to Lot 7 of the property exists and this neighbor owns a portion that the land that the "applicant" is claiming to own as stated on the HPB legal description. This prior ownership claim is recorded in the Broward County public records. This notice was recorded on February 28, 2014, prior to submittal of the application to HPB on August 26, 2014 by Leo Hansen on behalf of Ms. Grosman. This notice is also prior to the litigation case, between Ms. Grosman and the Regent Bank that commenced on April 22, 2014 concerning the legal ownership of the property described. The tax collector currently shows the real property owned that is by REGENT BANK PROJECT FINANCE INC. attached.

Property ownership should be researched by the City for legal sufficiency prior to moving forward with case H14014 and approving demolition of any structures on the subject property. Further, ownership was not demonstrated prior to the Historic Preservation Board's consideration of the Certificate Of Appropriateness for demolition even though the owners authorization was insufficient. The application should be rejected and any approval process can only begin again when Ms. Grosman can demonstrate ownership of the entire parcel.

It raises potential liability questions if the HPB and the City were to allow demolition on a parcel that is not in fact owned by an applicant. Before the City can move forward with a de novo hearing, clear title and deed to the subject property is legally required before the hearing can take place.

As you are well aware by now, this case concerns a prehistoric site in the Sailboat Bend neighborhood that the City's own consultant has described as one of the most important in the City. The 1918 masonry vernacular single family home on that site that is National Register of Historic Places eligible and is identified in the City's Architectural Resources Survey of Sailboat Bend as "key contributing" structure distinguishing it from those buildings that are identified as merely "contributing." Architectural Resources Survey of the Sailboat Bend Historic District conducted by the City of Fort Lauderdale. The home also sits on a site known as the Rivermont Archeological Midden (Tequesta Indians) which dates to the Glades II period of between 400-700 AD and is also identified as National Register eligible.

The Florida Department of State Division of Historical Resources has written you on December 17, 2014 urging you to preserve both the house and the site. As you may know, the continued CLG (certified local government) designation depends upon a continuing commitment to preserve important key contributing structures. In addition, Broward County has also written to you on December 1, 2014 expressing its concerns.

Because of the historic and archeological importance of this site, it is imperative that the City perform due diligence to ensure that ownership of the property is not in question is resolved before demolition and construction activities on the subject site are approved.

Please defer the de novo hearing scheduled for January 6, 2015 until such time as ownership of the site is clear and has been resolved.

Best regards,  
Ralf Brookes Attorney  
1217 E Cape Coral Parkway #107  
Cape Coral, Fl 33904  
Phone (239) 910-5464;  
[Ralf@RalfBrookesAttorney.com](mailto:Ralf@RalfBrookesAttorney.com)  
[RalfBrookes@gmail.com](mailto:RalfBrookes@gmail.com)



The following information regarding ownership of 1016 Waverly Road (Lots 1 to 6) appears on the Broward Property Appraiser's database:

<b>Site Address</b>	1016 WAVERLY ROAD, FORT LAUDERDALE	<b>ID #</b>	5042 09 09 0080
<b>Property Owner</b>	<b>REGENT BANK PROJECT FINANCE INC % MCLEAN, SUZANNE MARIE</b>	<b>Milage</b>	0312
		<b>Use</b>	01
<b>Mailing Address</b>	PO BOX 848549 PEMBROKE PINES FL 33084-0549		

<b>Abbreviated Legal Description</b>	WAVERLY PLACE 2-19 D LOT 1 TO 6 BLK 101
--	---

This instrument was prepared by:  
Broward County Property Appraiser's Office  
115 S. Andrews Ave. Room 111  
Fort Lauderdale, FL 33301-1899  
954-357-6830 - www.bcpa.net

Re: Property ID: 504209-09-0080

**NOTICE OF INSUFFICIENCY OF DEED**

COMES NOW Lori Parrish, in her official capacity as the Broward County Property Appraiser, by and through the undersigned Deputy Property Appraiser who, being duly sworn and under oath, gives notice to the following parties:

GROSMAN, MICHELLE  
REGENT BANK PROJECT FINANCE  
INC  
PO BOX 848549  
PEMBROKE PINES FL 33084

**THIS IS NOT AN OFFICIAL COPY**

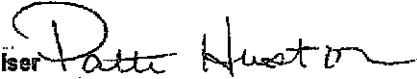
that upon review the attached deed (attached hereto as Exhibit A) recorded in the official records of Broward County at Book 50426, Page 724 appears to be legally insufficient for the following reasons:

- There is a problem with the LEGAL DESCRIPTION on the Deed. The description in your Deed does not correctly or completely match the full legal description of record for this property. If you used a title company, you should contact them so they may fix the error and re-record it as a Corrective Deed. If the Deed was self-prepared, you should correct the Deed and re-record it as a Corrective Deed. If you have any questions, please contact us at 954-357-6846.
- The remainder of lot 7 was conveyed to David B. Kyner & Richard A. Bray per special warranty deed recorded in official records book 49369 page 1380, attached for your convenience. If you have any questions, please feel free to give me a call at 954-357-6840 or via email at kpayne@bcpa.net

Accordingly, said property transfer will not be entered into the official tax roll of Broward County. Done this 28th day of February, 2014, in Fort Lauderdale, Broward County, Florida.

LORI PARRISH  
BROWARD COUNTY PROPERTY APPRAISER

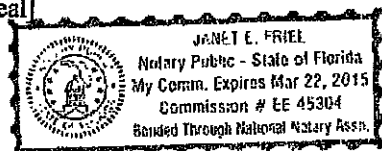
By: Patti Huston  
Deputy Appraiser



STATE OF FLORIDA  
COUNTY OF BROWARD

Sworn to or affirmed and signed by me on February 28, 2014 by Patti Huston, a Deputy Appraiser, who is personally known.

[Seal]



NOTARY PUBLIC

Exhibit A - Page 1 of 2

INSTR # 112001877, OR BK 50426 PG 724, Page 1 of 2. Recorded 12/23/2013 at 11:47 AM, Broward County Commission, Doc. D: 97364.00 Deputy Clerk 3535

Drawn by:  
Henry S. Webber  
Attorney at Law  
Webber, Hinds, McLean & Arbetus, P.A.  
4439 NW 60th Avenue  
Davie, FL 33334  
954-987-3958  
File Number: F-0180

Special Warranty Deed

This Special Warranty Deed made this 22<sup>nd</sup> day of December, 2013 between Reginald Mark F. Wood Finances, Inc., a Florida corporation whose past office address is 112205 S. University Drive, Davie, FL 33324, grantor, and Michaela C. Brown, a married woman whose past office address is 1851 NW 3rd Street, Hollandale Beach, FL 33063, grantee:

Whereas said deed is hereby being set aside because of the parties to this instrument and the heirs, legal representatives, and assigns of both of them, and the successors and assigns of both of them;

Whereupon, this said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantee in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, conveyed, and sold to the said grantee, with grantor's heirs and assigns forever, the following described land, to-wit: Lot 1, 2, 3, 4, 5, 6, and the East 1/2 of Lot 7, Block 101, WAVELYN PLACE, according to the map or plat thereof, as recorded in Plat Book 2, Page(s) 19, Public Records of Broward County, Florida; said lands now lying, being and situated in Broward County, Florida, less and excluding the West 3 feet of the East One Half of Lot 7, Block 101.

Parcel Identification Number: 504369-09-0082

Subject to taxes for 2013 and subsequent years, covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the improvements and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantor.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Not a Public Officer

2

Exhibit A - Page 2 of 2

INSTR # 112001677, OR BK 50426 PG 725, Page 2 of 2

Signed, sealed and delivered in our presence:

*[Handwritten Signature]*  
Witness Name: Elizabeth S. Leonard  
Elizabeth S. Leonard  
Notary Public, State of Florida

Regent Bank Project Finance, Inc., a Florida corporation

By: Neil LoCoigno  
Neil LoCoigno, President

(Separate Seal)

State of Florida  
County of Broward

This foregoing instrument was acknowledged before my face, on 28 day of December, 2013 by Neil LoCoigno, President of Regent Bank Project Finance, Inc., a Florida corporation, on behalf of its corporation. He is personally known to me or X has produced a Power of Attorney which I believe is authentic.

Notary Seal



Notary Public, State of Florida

Sealed Name:

My Commission Expires: \_\_\_\_\_

Special Warranty Deed - Page 2

Double This

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**FLORIDA DEPARTMENT of STATE**

**RICK SCOTT**  
Governor

**KEN DETZNER**  
Secretary of State

December 17, 2014

The Honorable John P. "Jack" Seiler, Mayor  
City of Fort Lauderdale  
100 North Andrews Avenue  
Fort Lauderdale, Florida 33301

Dear Mayor Seiler:

This letter is to encourage the preservation of the Rivermont House by the City of Fort Lauderdale.

The archaeological and historic significance of this property are well known; rather, this letter is to encourage the City of Fort Lauderdale to recognize its responsibility as a Florida Certified Local Government (CLG) to historic preservation. As you may be aware, the City of Fort Lauderdale was designated a Florida CLG on September 30, 2010. As a Florida CLG, City of Fort Lauderdale made historic preservation a *priority* of local government. I encourage the City of Fort Lauderdale to recognize this responsibility by supporting the preservation of the Rivermont House.

Sincerely,

Michael Zimny, Coordinator  
Florida Certified Local Government Program

cc: Steven Glassman



Division of Historical Resources  
R.A. Gray Building • 500 South Bronough Street • Tallahassee, Florida 32399  
850.245.6300 • 850.245.6436 (Fax) [heritage.com](http://heritage.com)  
Promoting Florida's History and Culture [VivaFlorida.org](http://VivaFlorida.org)



**Exhibit 2: Notice of Insufficiency of Deed and Property  
Appraiser Record for 1016 Waverly Road**



This Instrument was prepared by:  
Broward County Property Appraiser's Office  
115 S. Andrews Ave. Room 111  
Fort Lauderdale, FL 33301-1899  
954-357-6830 - www.bcpa.net

Re: Property ID: 504209-09-0080

**NOTICE OF INSUFFICIENCY OF DEED**

COMES NOW Lori Parrish, in her official capacity as the Broward County Property Appraiser, by and through the undersigned Deputy Property Appraiser who, being duly sworn and under oath, gives notice to the following parties:

GROSMAN, MICHELLE  
REGENT BANK PROJECT FINANCE  
INC  
PO BOX 848549  
PEMBROKE PINES FL 33084

**THIS IS NOT AN OFFICIAL COPY**

that upon review the attached deed (attached hereto as Exhibit A) recorded in the official records of Broward County at Book 50426, Page 724 appears to be legally insufficient for the following reasons:

- There is a problem with the LEGAL DESCRIPTION on the Deed. The description in your Deed does not correctly or completely match the full legal description of record for this property. If you used a title company, you should contact them so they may fix the error and re-record it as a Corrective Deed. If the Deed was self-prepared, you should correct the Deed and re-record it as a Corrective Deed. If you have any questions, please contact us at 954-357-6846.
- The remainder of lot 7 was conveyed to David B. Kyner & Richard A. Bray per special warranty deed recorded in official records book 49369 page 1380, attached for your convenience. If you have any questions, please feel free to give me a call at 954-357-6840 or via email at kpayne@bcpa.net

Accordingly, said property transfer will not be entered into the official tax roll of Broward County. Done this 28th day of February, 2014, in Fort Lauderdale, Broward County, Florida.

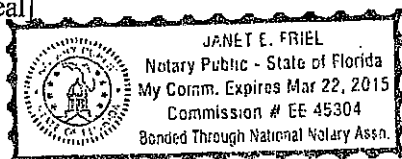
LORI PARRISH  
BROWARD COUNTY PROPERTY APPRAISER

By: Patti Huston  
Deputy Appraiser *Patti Huston*

STATE OF FLORIDA  
COUNTY OF BROWARD

Sworn to or affirmed and signed by me on February 28, 2014 by Patti Huston, a Deputy Appraiser, who is personally known.

[Seal]



*Janet E. Friel*  
NOTARY PUBLIC

Exhibit A - Page 1 of 2

INSTR # 112001677, OR BK 50426 PG 724, Page 1 of 2. Recorded 12/23/2013 at 11:47 AM, Broward County Commission, Doc. D: \$7364.00 Deputy Clerk 3535

Prepared by:  
Barry S. Webber  
Attorney at Law  
Webber, Haden, McLean & Arbutus, P.A.  
4430 SW 64th Avenue  
Davie, FL 33314  
954-587-3686  
File Number: F-0180

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(Space Above This Line For Recording Date)  
**Special Warranty Deed**

This Special Warranty Deed made this 20<sup>th</sup> day of December, 2013 between Regent Bank Project Finance, Inc., a Florida corporation whose post office address is 2205 S. University Drive, Davie, FL 33314, grantor, and Michelle Grossman, a married woman whose post office address is 1051 NW 3rd Street, Hallandale Beach, FL 33009, grantees:

(Whenever used herein the terms grantor and grantee include all the grantors in this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and estates)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantees, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantees, and grantor's heirs and assigns forever, the following described land, situate, lying and being in Broward County, Florida, to-wit:

Lots 1, 2, 3, 4, 5, 6, and the East 1/2 of Lot 7, Block 101, WAVERLY PLACE, according to the map or plat thereof, as recorded in Plat Book 2, Page(s) 19, Public Records of Miami-Dade County, Florida; said lands now lying, being and situated in Broward County, Florida, less and excluding the West 5 feet of the East One-Half of Lot 7, Block 101.

Parcel Identification Number: 504203-09-0080

Subject to taxes for 2014 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantees that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantors.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Doublelines

2

Exhibit A - Page 2 of 2

INSTR # 112001677, OR BK 50426 PG 725, Page 2 of 2

Signed, sealed and delivered in our presence:

*[Handwritten Signature]*  
Witness Name: *[Handwritten Name]*  
Witness Name: *[Handwritten Name]*

Regent Bank Project Finance, Inc., a Florida corporation

By: *[Handwritten Signature]*  
Neill LeCorgne, President

(Corporate Seal)

State of Florida  
County of Broward

The foregoing instrument was acknowledged before me this 20<sup>th</sup> day of December, 2013 by Neill LeCorgne, President of Regent Bank Project Finance, Inc., a Florida corporation, on behalf of the corporation. He  is personally known to me or  has produced a Florida Driver's License driver's license as identification.

[Notary Seal]

Notary Public, State of Florida

Printed Name: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_



THIS IS NOT AN OFFICIAL COPY

Special Warranty Deed - Page 2

DoubleTime



**Exhibit 3: Broward Trust for Historic Preservation Letter  
Requesting Additional Time and Standing**



# The Broward Trust for Historic Preservation

PO Box 1060 • FORT LAUDERDALE, FLORIDA 33302 • Browardtrust.org -- browardtrusthp@gmail.com

*The Broward Trust for Historic Preservation is dedicated to identifying, preserving, restoring and maintaining the architectural heritage of Broward County.*

## BOARD

STEVEN GLASSMAN  
SHANNON HARMELING  
TIM SMITH  
SARAH NOHE  
MARGERY ANDERSON

January 2, 2015

Fort Lauderdale City Commission and Staff  
City Hall - 100 N. Andrews Avenue  
Fort Lauderdale, FL 33301

RE: Request for time at January 6, 2015 De Novo Hearing, Agenda Item PH-3

Dear Mayor, City Commissioners, City Manager, and City Attorney:

As you know, the Broward Trust for Historic Preservation (Trust) has repeatedly expressed its concerns over process due to the lack of sufficiency of ownership and owner's authorization to proceed in HPB Case H14014 – 1016 Waverly Road. Attorney Ralf Brookes has written to you on December 31, 2014 to summarize this legal objection (attached).

That being said, if the De Novo hearing does indeed take place on January 6, 2015, the Trust kindly and respectfully requests the proper amount of time to present to you a cohesive and organized presentation, something that this significant site and you deserve in order to best decide the fate of this property. Working in concert with four experts, I would like to introduce our case after the applicant presents, present our consultants (see attached resumes), and then conclude with a summary. At most, we are requesting 25 minutes in total for all of us to speak; this number of minutes (or more) will certainly be used by the applicant, her attorneys, and her consultants and we are requesting the same consideration.

The applicant wants you to grant a permit for demolition of a historic resource in a historic district – a structure that has been described by the City as “key contributing.” The Broward Trust (see attached brochure) is a nonprofit 501(c)(3) dedicated to identifying, preserving, restoring, and maintaining architectural heritage in Broward County. We are the only advocacy group doing this work in the entire county and if we do not defend against the applicant as professionally and strongly as possible, then who will? We request the opportunity to present an opposing view in this hearing because this historic and archaeological site is located in our only residential historic district and this site truly belongs to everyone in Fort Lauderdale.

Although I am not an attorney, I have read three cases that are interesting in regards to this issue of standing and time allotted to speak: Carillon Community Residential v. Seminole County, Florida (July 2, 2010); Renard v. Dade County (April 19, 1972); and Hernandez-Canton v. Miami City Commission (October 17, 2007). The last case in particular decided that eight minutes was not enough time for the opposing side in that quasi-judicial hearing. Regarding Carillon, I believe we meet the factors necessary (for standing and additional time) in that we are not only presenting on behalf of the Trust and public good, but we will also be presenting and speaking on behalf of a next



## The Broward Trust for Historic Preservation

PO Box 1060 • FORT LAUDERDALE, FLORIDA 33302 • Browardtrust.org – browardtrusthp@gmail.com

*The Broward Trust for Historic Preservation is dedicated to identifying, preserving, restoring and maintaining the architectural heritage of Broward County.*

### BOARD

STEVEN GLASSMAN  
SHANNON HARMELING  
TIM SMITH  
SARAH NOHE  
MARGERY ANDERSON

Page 2

door neighbor who is a private interest that will be affected by the official action; has the risk of an erroneous deprivation of such interest through the procedures used; and is affected by the probable value, if any, of additional or substitute procedural safeguards.

This request is being made because we want our information and evidence to be presented in a fashion that makes sense – has a flow to it from speaker to speaker in an order that best enables you to hear the evidence in a clear, concise manner (as opposed to each of us providing testimony in a random, haphazard order). This is factual evidence that needs to be considered when the City Commission makes its decision on whether to approve or deny the COA for demolition. As you can well imagine, this has been a difficult time of year to prepare for such an enormous responsibility and we appreciate your consideration.

Lastly, attached for your review and the record you will find a “Historic Preservation Assessment” of Rivermont House conducted by Mr. David Baber who will be out of town on Tuesday and not able to appear in person.

Again, thank you for your consideration in this matter; it is sincerely appreciated. May I take this opportunity to wish you all a very happy and healthy New Year.

Best regards,

Steven Glassman, President  
On Behalf of the Board of Directors  
Broward Trust for Historic Preservation

**Exhibit 4: Historic Preservation Assessment of Rivermont  
House by Dave Baber**



## HISTORIC PRESERVATION ASSESSMENT

RIVERMONT  
1016 Waverly Road  
Fort Lauderdale, FL

Prepared by:  
DAVID BABER  
Historic Preservation Specialist  
4748 Charing Cross Road  
Sarasota, FL

I am a professional in the historic preservation field with degrees in historic preservation and architectural engineering technology and over 36 years of experience in the historic preservation field including the assessment of the age, architectural style and significance of historic buildings, as well as determining changes and assessing condition. I have prepared this assessment strictly as an individual, concerned about the preservation of one of the most important historic resource in the City of Fort Lauderdale as well as to address incorrect information that has been presented to the City Historic Preservation Board and the City Commission. I have not been contracted nor paid to provide this information. Therefore, I have no bias in preparing this report.

Buildings are not considered historic because they have been frozen in time since they were first constructed. Buildings evolve over time to keep up with the needs and demands of the occupants as well as to adapt to technological changes that occur over time. For example, when Rivermont was built, there was certainly no contemplation of air conditioning and the demands of an electrical system were minimal compared to today's standards. The key to determining whether or not a building is considered a contributor to a historic district is to examine the exterior to determine whether or not changes over time have been so dramatic, as to alter the building's architectural integrity. Further, there should be an assessment to determine which changes made over time are reversible.

One area of confusion involves the interior of the building. Only the exterior of a building can be designated by the City of Fort Lauderdale unless it is a building which is regularly open to the public and has exceptional interior spaces that relate to the overall architecture. Therefore, the substantial alterations made to the interior of the Rivermont house are irrelevant to its significance as a designated historic site as a contributing resource in the Sailboat Bend Historic District.

On two separate occasions, I have had the opportunity to spend a substantial amount of time analyzing the Rivermont House both from the interior and exterior. The basement has been particularly informative in determining the original form of the building and its age, based upon the materials and building technology applied to the construction. The following are my findings based on these two inspections:

- The basement is an original feature of the building based on the materials that were used in its construction. A basement is quite unique in South Florida and the only reason that it is dry is that the house was built on the top of a tall archaeological mound and the cellar floor is likely at or above what would have been the natural grade of the property.

- The roof system is the original, based on its form and the materials used in its construction. There was no determination as to whether the barrel tile on the surface is the original though there are examples of tile from this period still being in use.

- Walls:

- The east and west walls are virtually intact from the original.
- The north (main) elevation is much more intact than alluded to by the architect for the owners. The architect wrongly determined that the original porch was across the entire north façade. This is incorrect and his interpretive error was a primary underlying premise of his argument to demolish the historic resource.

Originally, there was a room at each end of the north façade with a recessed porch separating them. At some point, the porch was enclosed and its floor was raised to the level of the interior floors. This change is easily reversible. The configuration as described was determined by an examination of the floor structure from the basement as well as a close examination of the exterior walls.

- The south (rear façade) has seen the most changes. The original rear porch was expanded and enclosed. A new porch was added to the enclosed space. Later, this new rear porch was also enclosed. Beyond the newer enclosed porch, a concrete patio was added. What is interesting is that these rear changes and additions are what would be encouraged, by the City's historic preservation ordinance for an addition to a historic house – they are at the rear of the house (away from the primary public street view), they are of an appropriate scale so that they don't overpower the main house, and they read as an addition but are complimentary to the historic house. Certainly, changes to the rear of a historic resource should not be used to justify the demolition of the entire historic resource.

It is clear that the building that exists today is substantially the same structure that was built in 1918. It retains adequate form and architectural integrity to be considered a

contributing element to the Sailboat Bend Historic District. In fact, it surely would meet the criteria to be individually designated by the City and is likely eligible to be listed in the National Register of Historic Places (NOTE: Only the Keeper of the National Register can formally make that determination). This is consistent with findings made by Dr. Patricia Morillo, in her updated historic sites survey of the Sailboat Bend Historic District, wherein she identified Rivermont as a "Key Contributing" structure.

In order to approve a COA for demolition, one of three established criteria from the historic preservation ordinance must be met. Based on the facts, there is no justification for the proposal meeting any of the criteria as shown below.

1. The designated landmark, landmark site or property within the historic district no longer contributes to a historic district

*Numbers 1. and 2. are the same standard, 1. being for a resource in a historic district and 2. being for an individually designated resource. Rivermont clearly still retains the significance and integrity necessary for it to contribute to the historic district.*

2. The property or building no longer has significance as a historic architectural or archeological landmark

*See above. This criteria is not relevant since it pertains to individually designated landmarks. However, if it did pertain, the comment would be the same as 1. above.*

3. The demolition or redevelopment project is of major benefit to a historic district.

*Based on the information provided in this report, there is absolutely no way to justify that the demolition of Rivermont, one of the most significant historic, architectural and archaeological resources in the City of Fort Lauderdale, would be a benefit to the Sailboat Bend Historic District.*

For the reasons presented herein, the City Commission should find that the Historic Preservation Board's decision to approve the Certificate of Appropriateness for the demolition of the historic resource, Rivermont House, located at 1016 Waverly Road did not follow the essential requirements of the law and their ruling should be set aside and further that the subsequent de novo hearing should result in denial of a Certificate of Appropriateness of the historic resource, Rivermont House.

December 29, 2014



David Baber

# DAVID W. BABER

4748 Charing Cross Rd  
Sarasota, FL 33312  
[deev01@verizon.net](mailto:deev01@verizon.net)

(941) 685-0782

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## PROFESSIONAL GOAL

A career focused on protecting society's irreplaceable historic resources.

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## CORE COMPETENCIES

- Extensive historic preservation knowledge
  - Advocating for historic preservation issues
  - Personnel Management
  - Managing multi-disciplinary programs
  - Completing multiple simultaneous tasks
  - Regulatory compliance management
  - Oversight of restoration projects
  - Managing grant-in-aid programs
  - Successful history of securing grant funds
  - Budget development and oversight
- 
- 

## PROFESSIONAL EXPERIENCE

**1/2008 – 12/2014 Broward County Historical Commission**  
**Fort Lauderdale, FL**

**1/2008-1/2011 County Historic Preservation Officer, Historical Commission**

Provided direction and leadership to history and historic preservation programs and organizations throughout Broward County and its 31 municipalities. Provided guidance to and implemented the policies of the 22 member Historical Commission. Was responsible for administration and management of the County's multifaceted history, historic preservation and archaeology programs. Examples of my administrative duties included the hiring, assessing and supervising of all professional and support staff, creating programs and projects, developing and managing the operating and project budgets, communicating the mission of the agency in the community, resolving conflicts and developing and implementing plans for improving and expanding the ways to realize the goals of the organization.

### ***Key Accomplishments***

- Reorganized the County's historic designation and tax exemption program processes to increase efficiency and consistency in applying the programs' requirements
- Improved the County's regulatory compliance review program to ensure that all development activity reviewed for impacts to archaeological and historical resources was handled consistently
- Provided assistance in writing and reviewing National Register nominations and local designation applications
- Provided technical assistance to property owners and municipalities in terms of applying criteria for designations and improvements to historic resources
- Developed a County-wide coalition of history and historic preservation organizations that met to support each other's activities and to address common issues
- Completed the rehabilitation and adaptive re-use of the historic West Side Grade School to maximize its functionality as the home of the Historical Commission while meeting established federal and local preservation standards
- Developed educational programs on preservation issues for the public and municipalities
- Implemented locally funded challenge grant-in-aid program, modeled loosely on the State of Florida preservation grants program, to preserve, rehabilitate and restore important local resources

**1/2011-12/2014 Historic Preservation Coordinator, Libraries Division**

As a result of severe budget cuts associated with the financial contraction experienced throughout Florida, all funding for the Historical Commission was eliminated for the FY 11 budget and the services and programs were reorganized under the County library system. The Historic Preservation Officer position was eliminated and the Historic Preservation Coordinator position was created with no administrative/management responsibilities. Examples of activities in this new position include preparing National Register and local designation applications, providing technical assistance to other communities and property owners, supervising the creation of local history exhibits, managing the digitization of special collections and assisting with other library related activities.

***Key Accomplishments***

- Researched and provided material for the CLG Recommendation Report/wrote initial draft ordinance
- Secured a State preservation grant and provided support for a County-wide historic sites survey
- Prepared and defended the National Register nomination for the Historic West Side Grade School
- Prepared the local designation application for the Marcel Breuer designed Broward Main Library
- Led a team of stakeholders to develop an historic resource disaster long term recovery strategy
- Completed 2400 scans with related metadata completing and uploading eight digitization projects

**1/1995-1/2008 Sarasota County Government**  
**Sarasota, FL**

**Historical Resources General Manager**

Responsibilities included directing all aspects of the primary history and historic preservation government agency in Sarasota County. This multi-disciplinary program included initiatives to promote the protection of historic and prehistoric resources, managing a substantial historical archive and operating a diverse history education program. Also was responsible for all administrative and management aspects of the program, including budget development and implementation, management of professional and support staff of five, development of programs targeted at protecting cultural resources in the County and promoting an understanding of local history.

***Key Accomplishments***

- Developed countywide local register of historic places, and successfully sought CLG status
- Created regulatory and financial incentives including an overlay development district to provide specific rights and flexibility to all properties designated by the County
- Provided staff support to the County Historical Commission and the Historic Preservation Board
- Successfully applied for and managed 10 State Small Matching and Special Categories historic preservation grants with a total value of nearly \$1,100,000 for a variety of preservation activities
- Provided leadership and oversight to ensure compliance with the Secretary of the Interior's Standards in the rehabilitation of County owned historic resources including the County Courthouse, the Venice Train Depot, Nokomis Beach Plaza, Phillippi Estate Park, the Hermitage, and the Dr. Wilson House.
- Formalized a process for consistently reviewing all development activity in the unincorporated County with the successful result of avoiding, minimizing or mitigating impacts to cultural resources
- After the 2004 and 2005 hurricane seasons, successfully relocated the irreplaceable historical collections from a 65 year old building on the bay-front to a hardened inland location
- Successfully negotiated a collaborative agreement between the History Center and the Convention and Visitors Bureau to operate the old facility as a visitor center with four historical exhibit galleries
- Developed covenants and easements to protect historic and archaeological resources
- Participated as a member of the Statewide Technical Advisory Committee in the multi-phased project to develop "Disaster Planning for Florida's Historic Resources" and "Disaster Mitigation for Historic Structures: Protection Strategies"

**1985-1995 Town of Windsor  
Windsor, CT**

**Community Development Coordinator**

Responsible for managing all aspects of the historic preservation and comprehensive community development programs in Windsor, Connecticut's oldest town. Developed and managed operating and project budgets based on state and federal community development and historic preservation funding sources. Managed program to provide grants and low income loans to improve low income housing and commercial buildings. Directed all historic preservation activities such as surveys and National Register nominations and provided staff support to the Historic Preservation Board.

***Key Accomplishments***

- Successfully sought and administered grant funding totaling nearly \$5 million from state and federal sources for all community development and historic preservation related activities
- Prepared HABS documentation on the historic railroad passenger and freight depots as a condition of federal funding to prepare the buildings for rehabilitation as a multi-modal transportation center
- Acted as staff liaison to the Historic Preservation Board
- Reviewed all applications for improvements to historic buildings
- Oversaw the restoration of historic buildings in town such as the aforementioned railway facility, a one room school to be used as a museum and a federal period house to be used as a home for unwed teenage mothers and their children
- Developed a local heritage tourism program in partnership with the Chamber of Commerce.

**1983-1985 Bridgeport Neighborhood Housing and Commercial Services, Inc.  
Bridgeport, CT**

**Upper East Side Director**

Administered all phases of a comprehensive preservation based revitalization program in a severely depressed, historic, inner city neighborhood in Connecticut's largest city. Formulated administrative and project budgets, identified and developed housing and infrastructure projects, solicited funding to carry those projects, and organized neighborhood self help groups.

**1979-1983 Willimantic Community Redevelopment Agency  
Willimantic, CT**

**Rehabilitation Director**

Developed and administered a historic preservation oriented residential and commercial rehabilitation program involving grants and low interest loans as a part of the community development activities for the City of Willimantic. Prepared construction plans and specifications for projects, performed credit underwriting, arranged financial packages, recruited contractors and supervised construction. Program was the recipient of a national HUD award for the success of the preservation and revitalization of the commercial downtown district. Supervised the preparation of historic sites surveys and National Register nominations in the City.

1978-1979 **Central Virginia Planning District Commission**  
Lynchburg, VA

**Historic Planner**

Conducted historic sites inventory in Amherst County. Made A-95 review comments on projects with historic preservation related considerations.

1978 **Capitol Region Council of Governments**  
Hartford, CT

**Architectural Historian**

Assembled historic resources survey on a contractual basis, in conjunction with the Connecticut Historical Commission, in five Hartford area towns.

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**EDUCATION**

Bachelor of Science, Historic Preservation, 1978, Roger Williams College, Bristol, RI  
Associates of Engineering Technology, Architecture/Construction, 1974, Roger Williams College, Bristol, RI

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**AFFILIATIONS**

- National Trust for Historic Preservation, Forum member
- Florida Trust for Historic Preservation, member and former trustee
- 2007 Florida Trust for Historic Preservation annual conference local chair
- Member of the Sarasota Architectural Foundation Technical Advisory Committee
- Former Citizen Advisory Board member for the Department of State, Central Florida Regional Preservation Office
- Former board member of the Sarasota Alliance for Historic Preservation
- Former board member and vice chair of the Crowley Museum and Nature Center

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**REFERENCES**

Attached as separate document

**Exhibit 5: Letter from the Department of State Division of  
Historical Resources**





## FLORIDA DEPARTMENT OF STATE

**RICK SCOTT**  
Governor

**KEN DETZNER**  
Secretary of State

December 17, 2014

The Honorable John P. "Jack" Seiler, Mayor  
City of Fort Lauderdale  
100 North Andrews Avenue  
Fort Lauderdale, Florida 33301

Dear Mayor Seiler:

This letter is to encourage the preservation of the Rivermont House by the City of Fort Lauderdale.

The archaeological and historic significance of this property are well known; rather, this letter is to encourage the City of Fort Lauderdale to recognize its responsibility as a Florida Certified Local Government (CLG) to historic preservation. As you may be aware, the City of Fort Lauderdale was designated a Florida CLG on September 30, 2010. As a Florida CLG, City of Fort Lauderdale made historic preservation a *priority* of local government. I encourage the City of Fort Lauderdale to recognize this responsibility by supporting the preservation of the Rivermont House.

Sincerely,

Michael Zimny, Coordinator  
Florida Certified Local Government Program

cc: Steven Glassman



Division of Historical Resources  
R.A. Gray Building • 500 South Bronough Street • Tallahassee, Florida 32399  
850.245.6300 • 850.245.6436 (Fax) flheritage.com  
Promoting Florida's History and Culture VivaFlorida.org



**Exhibit 6: Letter from Broward County**

**Steve Glassman**

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**Subject:** Rivermont Site - 1016 Waverly Rd., Ft Lauderdale  
**Attachments:** Rivermont Site (County to FTL).pdf

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**From:** Ferrer, Richard  
**Sent:** Monday, January 05, 2015 4:03 PM  
**To:** 'ifranco@fortlauderdale.gov'  
**Cc:** 'Archaeological & Historical Conservancy'; 'Matthew DeFelice, CAHR Inc'; 'daniel.seinfeld@dos.myflorida.com'; 'stephen.tilbrook@gray-robinson.com'; Azcoitia, Maite; Sniezek, Henry; Feliciano, Maribel; Ferrer, Richard  
**Subject:** Rivermont Site - 1016 Waverly Rd., Ft Lauderdale

1/5/2015

Good afternoon.

Attached is a County response concerning the property located at 1016 Waverly Rd., Ft Lauderdale (i.e., 'Rivermont Site' – 8BD87).

The property owner (via legal agent) has submitted a copy of a Phase I Archaeological Survey for the property this morning.

Staff review of the report remains pending at this time.

Sincerely,  
Rick Ferrer



**RICHARD (Rick) FERRER, HISTORIC PRESERVATION OFFICER**  
Environmental Protection and Growth Management Department  
**PLANNING AND REDEVELOPMENT DIVISION**  
115 S. Andrews Ave Rm. 329K | Fort Lauderdale, FL 33301  
954.357.9731

*In planning for the next 100 years,  
what should Broward County focus on?*



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Under Florida law, most e-mail messages to or from Broward County employees or officials are public records, available to any person upon request, absent an exemption. Therefore, any e-mail message to or from the County, inclusive of e-mail addresses contained therein, may be subject to public disclosure.



Environmental Protection and Growth Management Department  
**PLANNING AND REDEVELOPMENT DIVISION**

115 S. Andrews Avenue, Room 329k • Fort Lauderdale, Florida 33301 • 954-357-6634 • FAX 954-357-8655

January 5, 2015

Linda Mia Franco, AICP  
Urban Design Principal Planner, Historic Preservation Board Liaison  
Urban Design & Planning Division  
City of Fort Lauderdale | Department of Sustainable Development  
700 NW 19 Avenue, Fort Lauderdale FL 33311

Re: Response: 1016 Waverly Road, Fort Lauderdale  
Rivermont Site (8BD87)

Dear Ms. Franco,

This letter supersedes prior communications regarding County provisions and recommendations for the 'Rivermont Site,' a recorded archaeological site located within the property address 1016 Waverly Rd., Ft. Lauderdale (i.e., Florida Master Site File Number 8BD87) and should serve as clarification in response to your recent request regarding the subject property. Please note the following:

- A. The Broward County Planning and Redevelopment Division (PRD) takes no position with regards to the municipal Historic Preservation Board's authorization approving demolition of a contributing historical structure within Sailboat Bend Historic District, a city-designated historic district.
- B. In light of the fact that the subject property also includes a recorded archaeological site (FMSF #8BD87), a multi-component site with evidence of Glades archaeological deposits (c. 2500 B.C. – A.D. 1760) as well as Seminole Indian (c. 1840; Second Seminole War era) and early pioneer through early modern development (c. 19th Century to 1920s) contexts, this Agency finds that archaeological review and recommendations under County Ordinance 92-38 (Broward County Code; Article XVI. 'Archaeological Cultural Resource Sites') apply if the owner initiated permitting prior to September 23, 2014. More specifically, provisions under Section 5-526 ('Protection and preservation of archaeological sites discovered during the development process) apply. (Please be advised that if the owner initiated permitting on or after September 23, 2014, our previous correspondence dated December 17, 2014, applies.)

In this regard, we note the following:

- On 11/6/2014, the Florida Division of Historical Resources notified the Broward County Planning and Redevelopment Division of the discovery of archaeological materials associated with the Rivermont Site (FMSF No. 8BD87), located at 1016 Waverly Rd., Fort Lauderdale.
- Municipal correspondence (12/10/2014), along with an attached 'Archaeological Assessment at 1016 Waverly Road Demolition Management Plan' indicate that a Phase 1 archaeological survey of the property was initiated by the Archaeological and Historical Conservancy, Inc. in October, 2014. The municipal correspondence indicated that the 'Archaeological Assessment at 1016 Waverly Road Demolition Management Plan' test results are "pending" and "[A] Phase 1 report is pending and will be provided at the completion of the analysis and cataloging of the recovered cultural materials... ."

After review of provided materials, Broward County finds that the conditions of the City of Fort Lauderdale Historic Preservation Board's Certificate of Appropriateness (COA) approval on 12/1/2014 for the development of 1016 Waverly Road do not yet meet the requirements of Broward County Ordinance 92-38. To comply with the County requirements, the project needs to be brought into compliance before further development occurs with the subject property. The applicable County Code (Section 5-526) requirement is as follows:

In the event that any artifacts are uncovered during development activities, such development activities in the immediate vicinity of the discovery site shall be discontinued, and a reconnaissance level survey of the site shall be conducted by an archaeologist who meets the professional qualifications standards as established by the State of Florida, Division of Historical Resources. Said survey shall be submitted by the developer to the Broward County Office of Planning, the local government having jurisdiction, and the State Division of Historical Resources for review and evaluation.

Therefore, prior to commencing development, pursuant to County Ordinance 92-38, Sec. 5-526, the following is required:

1. The property owner shall provide notice of discovery of archaeological materials to the Broward County Planning and Redevelopment Division (Broward County Historic Preservation Officer) and discontinue development activities in the immediate vicinity, and;
2. Conclude the Phase I archaeological survey (or other appropriate reconnaissance level survey) identified in the 'Archaeological Assessment at 1016 Waverly Road Demolition Plan,' which was initiated in October, 2014, by the Archaeological and Historical Conservancy, Inc., and;
3. Submit the completed Phase I archaeological survey (or other appropriate reconnaissance level survey) report to the Broward County Historic

Preservation Officer, the Florida Division of Historical Resources, and to the City of Fort Lauderdale for review and evaluation.

We note that on the date of this letter (1/5/2015), "*A Phase I Archaeological Assessment of the 1016 Waverly Road Parcel Fort Lauderdale, Broward County, Florida*" report by the archaeological consultant has been submitted to this office. It is our understanding that a copy has also been provided by the applicant to the Florida Department of State - Division of Historical Resources. Staff findings and conclusions remain pending an evaluation of the results of the report.

Upon confirmation of the completed survey, the Broward County Planning and Redevelopment Division will coordinate an evaluation of the significance of the finds. In general, following a determination of significance, pursuant to County Ordinance 92-38, Sec. 5-526:

If the professional archaeologist determines that the site is not significant, and said determination is verified by the state archaeologist, then development activities may resume immediately. However, if the state archaeologist fails to respond within fourteen (14) calendar days of receipt of said survey, the determination shall be presumed to be valid. If the site is determined to be significant, within thirty (30) days of the receipt of the reconnaissance survey, the county shall take one of the following actions:

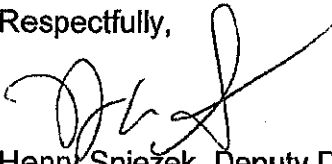
- (a) With the consent of the developer and the local government having jurisdiction, the county shall initiate preservation of the site by:
  - (1) Incorporating it into the site development plan; or
  - (2) Public acquisition of the site; or
  - (3) Offering transfer development rights to the developer; or
  - (4) Offering tax incentives to the developer pursuant to § 193.505, F.S.
  
- (b) If preservation of the site is not feasible, with the consent of the developer and the local government having jurisdiction, development activities in the immediate area of the discovery shall be delayed for a period of time not to exceed three (3) months from the date of receipt of the reconnaissance survey. During this three-month period, representatives of the state division of historical resources, the Broward County Archaeological Society, or the agents and employees of Broward County, and a professional archaeological consultant retained by the developer, if any, shall have the right of access to the immediate area to survey and conduct an archaeological salvage excavation of the area within which the discovery was made; provided, however, that development shall resume upon either the completion of such archaeological salvage excavation or the expiration of the three-month period, whichever first occurs. If necessary, and upon the consent of the developer, the three-month period may be extended for an additional three-month time period to allow for completion of the survey and archaeological salvage excavation.
  
- (c) Allow development activities to proceed under the close supervision of a professional archaeologist.

A violation of this section constitutes a public nuisance as set for in section 5-527 of this article, and may result in the county's seeking an injunction pursuant to § 60.05, F.S.

Lastly, prior to any future development of the parcel and in the event that human remains are identified within the subject property, project planning requires consultation with the State Archaeologist to ensure compliance with Florida Statute 872.05 as it pertains to the disturbance of unmarked human burials and in order to determine requirements of the Native American Graves and Repatriation Act (NAGPRA) in advance of development and ground disturbance activities

Thank you for your attention to this matter. Please feel free to contact me if there any questions regarding these comments.

Respectfully,



Henry Sniezek, Deputy Director

Broward County Environmental Protection and Growth Management Department

ec: Maribel Feliciano, Planning Administrator, Broward County Planning and  
Redevelopment Division  
Maite Azcoitia, Esq., Deputy County Attorney, Broward County  
Matthew DeFelice, Broward County Archeological Consultant  
Rick Ferrer, Historic Preservation Officer, Broward County Planning and  
Redevelopment Division  
Stephen Tilbrook, Attorney, Gray – Robinson Attorneys at Law  
Robert Carr, Executive Director, Archaeological and Historical Conservancy, Inc.  
Daniel Seinfeld, Archaeologist III, Florida Bureau of Archaeological Research



Environmental Protection and Growth Management Department  
**PLANNING AND REDEVELOPMENT DIVISION**  
115 S. Andrews Avenue, Room 329k • Fort Lauderdale, Florida 33301 • 954-357-6634 • FAX 954-357-8655

December 1, 2014

Linda Mia Franco, AICP  
Urban Design Principal Planner, Historic Preservation Board Liaison  
Urban Design & Planning Division  
City of Fort Lauderdale | Department of Sustainable Development  
700 NW 19 Ave., Fort Lauderdale FL 33311

**Re: Archaeological Discovery**  
**FMSF 8BD87 Rivermont Site, 1016 Waverly Road, Fort Lauderdale**

Dear Ms. Franco,

On November 6, 2014, Robert Carr of Archaeological and Historical Conservancy, Inc. filed a notice of discovery of human remains at 1016 Waverly Road, Fort Lauderdale, Florida. The notice was submitted via email to Dan Seinfeld, Archaeologist III, with the Florida Division of Historical Resources in compliance with F.S. 872.05 as it pertains to the discovery and treatment of unmarked human burials.

As you will recall, Matthew DeFelice, the County's Consultant Archaeologist, contacted you via email to notify the City of the discovery.

Archaeological and Historical Conservancy, Inc. was under contract with the property owner to conduct an archaeological due diligence survey in order to determine the effects of the proposed demolition of the extant structures and new construction on the property.

Please be advised that the County's Consultant Archaeologist notes that the property located at 1016 Waverly Road contains elements of previously identified archaeological site 8BD87, the *Rivermont Site*. Site 8BD87 is a multi-component archaeological site with evidence of Glades cultural deposits (circa 2500 B.C. – A.D. 1760) as well as Seminole Indian (Second Seminole War circa 1840) and early pioneer and early modern development (turn of the century to 1920s) context. The property also contains historic structure 8BD3420, 1016 Waverly Road, a contributing resource in the City of Fort Lauderdale, Sailboat Bend Historic District (Florida Master Site File 8BD4428). The property is located within the North Bank New River Archaeological Zone, an area that is identified as archaeologically sensitive.



It is the County's opinion that archaeological site 8BD87, the *Rivermont Site*, is locally significant and potentially eligible for local historical designation as well as listing on the National Register of Historic Places pursuant to Criteria D, it is a site "That have yielded, or may be likely to yield, information important in prehistory or history" (NHPA 1966 as amended).

In addition please be advised that, in consultation with the County Attorney's Office, the requirements of Broward County Ordinance 2014-32 are applicable as follows:

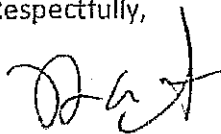
- a. Section 5-536.5(a), a *Certificate to Dig* (CTD) may be required in coordination with the proposed future development of the property.
- b. Prior to any development of the parcels, the project planning should include consultation with the Broward County Planning and Redevelopment Division in order to ensure compliance with Broward County Ordinance 2014-32.

Also, prior to any future development of the parcel, the project planning should include consultation with the State Archaeologist to ensure compliance with F.S. 872.05 as it pertains to disturbance of unmarked human burials and in order to determine the requirements of the Native American Graves and Repatriation Act (NAGPRA) in advance of development and ground disturbance activities.

Please note that Broward County will also request a "courtesy review" and "determination of significance" of archaeological site 8BD87 from the Compliance and Review Section, Florida Division of Historical Resources and a "determination of significance" of human remains discovered at archaeological site 8BD87 from the State Archaeologist's Office.

Thank you for your attention to this matter. Please feel free to contact me at your convenience.

Respectfully,



Henry A. Sniezek, Director  
Broward County Planning and Redevelopment Division

cc: Matthew DeFelice, Broward County Archaeological Consultant  
Maribel Feliciano, Planning Administrator,  
Broward County Planning and Redevelopment Division  
Maite Azcoitia, Esq., Deputy Broward County Attorney  
Robert Carr, Archaeological and Historical Conservancy, Inc.

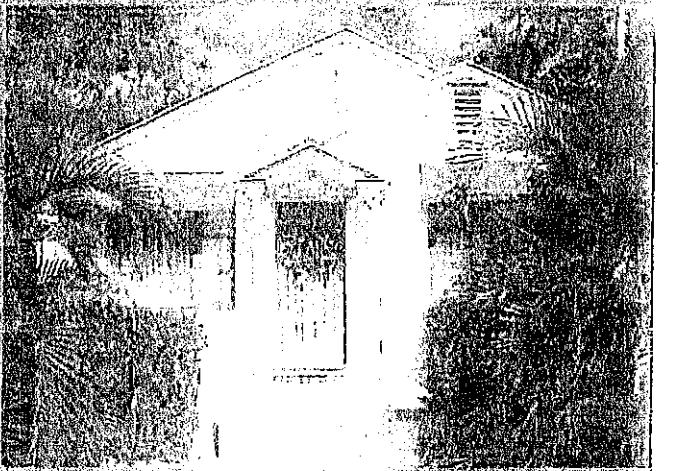
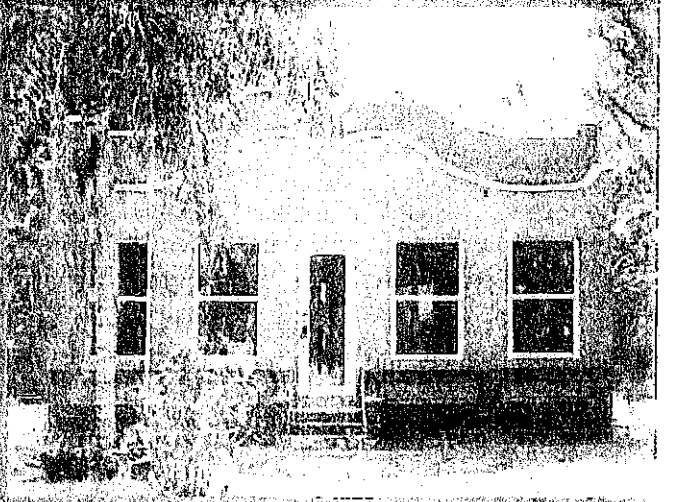
**Exhibit 7: City of Fort Lauderdale 2010 Architectural  
Resources Survey for Sailboat Bend Historic District**

West Cultural Resources Group

# Sailboat Bend Historic District

1111 West 1st Street  
Portland, Oregon 97201  
503.228.1111

West Cultural Resources Group is a full-service historic preservation and architectural consulting firm. We provide a wide range of services to our clients, including historic preservation planning, historic architecture, and historic preservation law.



## Developmental History of Sailboat Bend

### Pre-Historic to 1900

Prehistoric Indian populations occupied all the upland areas along the New River from about 500 B.C. until the time of the end of Spanish contact, ca 1750. An archaeological survey in Broward County of the South Fork of the New River identified numerous important sites within the present boundaries of the Sailboat Bend Historic District (Carr, 1981). The Rivermont Archeological Midden (See Site # SB-481) at 1016 SW 4 St. which dates to the Glades I (Late) to Glades II period (400-700 AD) extends 300 meters along the river and is clearly visible to the naked eye. This is the best preserved of the numerous sites mapped and identified by archaeologist Robert Carr in 1981. It was a habitation and campsite of the Tequesta Indians who exploited the bounty of food resources from the river in a hunter and gatherers like life style. They did not practice agriculture but they did produce pottery.

Fort Lauderdale Historic Resources Survey

County of Broward, Florida

**Sailboat Bend**

**Rivermont Prehistoric Archeology District**

Department of Planning and Zoning

**Individual Form Architectural District**

**Historic Site # SB-482**

**Site Name: Rivermont Prehistoric Archeological Midden & Site**

**Street Address:** 1016 Waverly Place

**Architect:** Unknown

**Rank:** K

**Neighborhood:** Sailboat Bend

**County:** Broward

**Date:** Glades I (Late) -II 400-700AD

**Site Type:** Black Dirt and shell midden; Habitation site.

**Ownership:** Private

**District:** Sailboat Bend

**Zip Code:** 33312

**Registrations and Status Dates**

Date and ID Number

**National Historic Landmark:**

**Other Survey Name and ID:**

**National Register:**

**Local Designation:**

**Florida Master Site File:**  BD3420, BD87

**Other Designation:** Site No. (8Bd87)  
Archaeological Survey of the New River, 1981

**L Eligible:**

**NR Eligible:**

**Determination of Eligibility:**   
For NR, 1981, Bob Carr

**Site Description:**

Black dirt and shell midden situated along the north bank of the north fork of the New River, northwest of the point of confluence with the south fork. The midden appears as a pronounced ridge that extends 300 meters along the river through at least six home lots between SW 9<sup>th</sup> and SW 11<sup>th</sup> Avenues. The midden is approximately 40 meters wide.

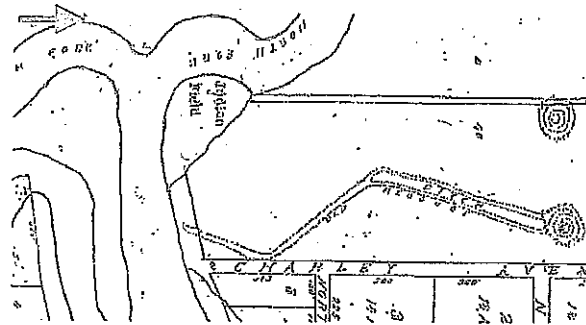
**SURVEYOR:** Patricia Garbe-Morillo and Delvis D Anes

**UPDATED:**

## Individual Form Architectural District

Historic Site # SB-482

### Photograph:



The New River Earthworks from 1895 by Knowlton Plat map of Fort Lauderdale

### History/Significance:

The Rivermont Prehistoric Archeological Midden and Site is one of many prehistoric sites located along the forks of the New River in the City of Fort Lauderdale. They represent extensive prehistoric activity in an area that was the foci of transportation and resource procurement activities by Indians of the Tequesta tribe. The Time period for occupation of the site dates from about 400-700AD, which is from the archaeological period known as the Glades I (Late) to Glades II. This was a habitation and campsite that exploited the bounty of food resources from the river in a life style like that of hunters and gatherers. Although they did not practice agriculture they produced pottery during the Glades I period and by the Late Glades I period the pottery was decorated.

The Rivermont Midden is significant since the parts of the site not disturbed by home construction are in an undisturbed and in an excellent state of preservation both above ground and at the lowest levels of a test pit. Excavation by archaeologist, Robert Carr in 1981 determined that the site is eligible for the Nation Register of Historic Places. The following is an account by County Archaeologist Matt de Felice of Broward County Historical Commission regarding this archeological site:

The midden at Rosemount (Rivermont) are recorded with the Florida Master Site File as FMSF 8BD87 - the Rivermount Site (alternately listed as the Loesch Site 8BD39) as a prehistoric, habitation and shell midden with a dense artifact scatter. The site is associated with the Glades I-II Culture (1000BC-1200AD) and early 19<sup>th</sup> century occupations (1821-1899). The midden are located within the North Bank New River Archaeological Zone identified by Bob Carr (Archaeological and Historical Conservancy, Inc) in *An Archaeological Survey of Southeast Broward County, Florida: Phase Three (1995)*. In that survey Carr describes the site as the largest intact prehistoric midden along the New River.

It is possible that M. Harrington collected numerous items from the Rivermount site during his early 1900s excavations in Fort Lauderdale.

## Continuation Sheet

Historic Site # SB-482

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Goggin reported on the site but did not visit it. W.C. Orchard reported the Loesch Site (8BD0039) to the FDAHRM in 1953, however; the location of the site was believed to be incorrect and the file was later updated by Bob Carr in 2002 as the Rivermount Site (FMSF 8BD0087) located at 1016 Waverly Rd. Chronology of archaeology at Rivermount –Harrington 1909, Orchard 1939, Goggin (No date), Carr 1981, 2002.

The site is considered eligible for NR listing and local listing, the site is privately owned. Any activity on the site should be closely monitored for archaeological disturbance. Construction on the site has disturbed large portions of the midden, however, significant portions of the midden remain undisturbed. The middens may be observed from the swing bridge at 11<sup>th</sup> Ave as well as from the river.

The site may be tied to the earthworks site located within the Sailboat bend district where Harrington, Goggin also conducted some work and collected midden artifacts (including human remains) in the vicinity of SW 9<sup>th</sup> Ave.

### Bibliography:

Carr, Robert S. Archaeological Survey of the South Fork of the New River, Broward County, Florida.  
1981.

Carr, Robert S. Archaeological Survey of the South Fork of the New River, Broward County, Florida.  
1995.

Florida Master Site File # BD3420

---

SURVEYOR: Patricia Garbe- Morillo and Delvis D Anes

UPDATED:

Individual Form Architectural District

Historic Site # SB-482

Site Name: **Rivermont**

Street Address: 1016 SW Waverly Place

Architect: unknown

Rank: K

Neighborhood: Sailboat Bend

County: Broward

Date: c. 1918  
1940 remodeled

Style: Masonry Vernacular

Ownership: private

District: SBHD

Zip Code: 33312

Registrations and Status Dates

Date and ID Number  
FMSF BD03420

National Historic Landmark:

Other Survey Name and ID:

National Register:

Local Designation:

Florida Master Site File:  BD03420

Other Designation: SBHD, 1992

LL Eligible:

NR Eligible:

Determination of Eligibility:

Description:

Located on the north side of the New River on a large piece of property this is a rectangular-in-plan, one story, stucco-clad house with hipped roof and barrel tile roof. There is a gable roof dormer on the north side and a small concrete open porch on the east side. There is a front entrance porch with high stairway and a metal railing. A swimming pool is located to the south east of the house. The property also has one of the best-preserved prehistoric Indian mounds in the Sailboat Bend Historic District.





## Sailboat Bend

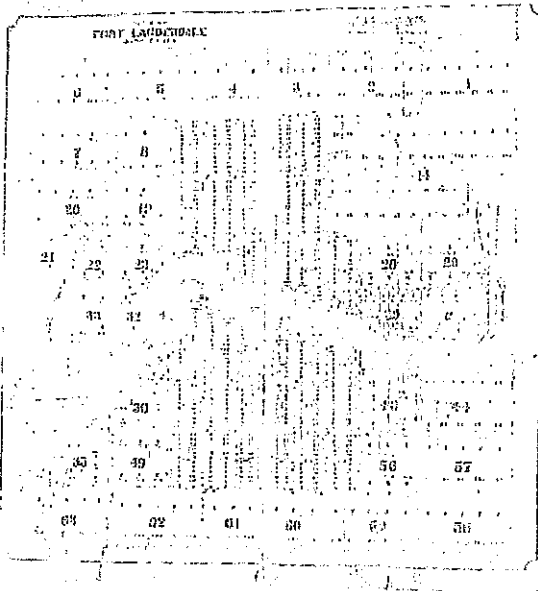
Rivermont

Department of Planning and Zoning

## Individual Form Architectural District

Historic Site # SB-482

## Photograph:



A.L. Knowlton Map

## History/Significance:

The 1918 Fort Lauderdale City Directory lists four families living on Waverly Road, The S.S. Williams Family, the Hugh C. Quinns, the D.T. Haris and Dr. C.G. Holland; no house numbers are shown. The Quinns and the Williams families lived in the neighborhood for some time and the houses they occupied have been identified. Rivermont was owned and/or occupied by either Mr. Hart or Dr. Holland.

In 1922, Rivermont was owned by Ross Clark, a New York developer originally from Texas. The house first appears on the 1918 Sanborn Fire Insurance map for the City of Fort Lauderdale although it may have been built earlier. Clark was in partnership in a New York based company with a man named J.L. Turner; that company purchased some 400 acres of land south of the New River. In 1922, Clark entered into a series of negotiations, which resulted in the sale of Rivermont and 29 acres of the New Yorkers' 400 acres to William H. Carmichael, owner of the Carmichael Development Company, a Florida chartered business. Apparently Carmichael never lived at Rivermont, but the sale was part of the arrangement that enabled construction to begin on his 29 acres,<sup>1</sup> which were immediately resold to Clark and Turner as soon as their company received its Florida charter.<sup>2</sup>

<sup>1</sup> The Carmichael development was called Placidena; in 1924 it along with other lands was sold to a Chicago group and was renamed Croissant Park.

<sup>2</sup> Carmichael may have used Rivermont as collateral for loan to start construction in the Placidena Development.

**Individual Form Architectural District**

**Historic Site # BD-482**

Morton T. Ironmonger, Mrs. Ross Clark's brother, reported that he came to stay at Rivermont with his sister and her husband in the summer of 1923. Apparently, the Clark family did not vacate the property until Mr. Clark bought the Wallace place south of the river sometime after 1923.

Rivermont, in later years, was often locally referred to as the Cheaney Estate. According to the 1936-37 City Directory, Norbourne B. Cheaney, president of the Broward Abstract Company, was living at Rivermont. However in the next year's directory he was listed at another address. An unattributed handwritten note in the Fort Lauderdale Historical Society history files says that Cheaney was renting the house from Perry Hard, a client of his.

As mentioned in the Description, above, there is an Indian mound located on the property. The banks of the New River have provided much evidence of activities of pre-historic peoples. A mound and redoubt is shown in the Sailboat Bend area on the A.L. Knowlton map of the original one and one half mile plat of the City of Fort Lauderdale. An 1896-97 Business Directory for Dade County describes a find of ancient human skeletons buried in a circle some where in Fort Lauderdale.

**Bibliography:**

Stout, Wesley. *Beachcomber, Three Kinds of Promoters.* Fort Lauderdale News, September 27, 1954.

Stout, Wesley. *Beachcomber, Ross Clark In Florida Again.* Fort Lauderdale News, March 14, 1954.

*Business Directory, Guide and History of Dade County, FLA for 1896-97.* Fort Lauderdale Historical Society History Files: Houses: Rivermont.

Unattributed, hand written notes in the Fort Lauderdale Historical Society History Files: Houses: Rivermont.

*Sanborn Fire Insurance Map, City of Fort Lauderdale.* 1918.

*Fort Lauderdale [1918-19] City Directory, The Tropic Series.*

*Miller's Fort Lauderdale City Directory.* Vol. VI., 1936-1937.

*Miller's Fort Lauderdale City Directory.* Vol. VI., 1938-1939.

**Exhibit 8:** Email from Susan Gillis, City of Fort Lauderdale  
Centennial Historian

Susan Gillis  
902 NE 37 ST  
Oakland Park, FL 33432  
[gillissj@msn.com](mailto:gillissj@msn.com)

City of Fort Lauderdale Mayor and Commission  
Fort Lauderdale City Hall  
100 North Andrews AV  
Fort Lauderdale, FL

January 5, 2015

Dear Commissioners:

I was truly shocked to hear of the proposed demolition of Rivermont, one of the most important historic and archaeological sites in the city and anchor of the Sailboat Bend Historic District. When I first came to work at the Fort Lauderdale Historical Society back in 1986, there were still a handful of structures remaining in our county constructed before 1920. I have observed their numbers diminish over the years; there are very few left today, particularly in the city of Fort Lauderdale. In addition, the archaeological importance of this site must not be ignored; it is as much a part of Fort Lauderdale's past as any historic structure. In the year in which we recognize the centennial of our county, it is ironic that one of the city's first acts should be the destruction of one of its most important historic properties. Please do not allow this destruction of our history.

Sincerely,

*Susan Gillis*

Susan Gillis  
Fort Lauderdale historian and former Curator, Fort Lauderdale Historical Society

**Exhibit 9: Email of Recommended Conditions for  
Demolition if HPB Decision is Not Overturned**

-----Original Message-----

From: Steve Glassman [mailto:randestev@bellsouth.net]

Sent: Tuesday, December 16, 2014 4:36 PM

To: Jack Seiler (Jack.Seiler@Fortlauderdale.Gov); broberts@fortlauderdale.gov; 'Romney Rogers';  
rmckinzie@fortlauderdale.gov; dtrantalis@fortlauderdale.gov

Cc: lfeldman@fortlauderdale.gov

Subject: Agenda Item M-2/Rivermont House

Good afternoon, Mayor, Commissioners, and City Manager,

Within the past week, I have left messages for everyone hoping to have a few minutes on the phone or in person concerning the Rivermont House.

Unfortunately, I have not had any replies.

So, I just wanted to reiterate that all the Broward Trust for Historic Preservation is requesting is a hearing to flesh out all of the issues on what has been described as one of the most significant sites in the City.

This house and this site demand that respect. In the event that you decide against such a hearing in the future, please consider the following:

- (1) prior to issuance of a demolition permit the plans for any new structure on this site must be submitted to the HPB for review and approval.
- (2) if demolition takes place without plans for a new building being approved by the HPB, no new structure can be constructed on this significant archeological site.
- (3) if a new building is approved, its footprint should not exceed the existing footprint of the historic structure that currently exists.
- (4) if a new building is to be constructed every effort should be taken to mitigate damage to the midden by construction equipment, delivery of materials and the persons that are part of the construction crew. This may require identification of a specific route for trucks and other vehicles to use to access the construction site and limiting the area where the construction crew may go.

Thank you for your consideration; I again request that you adopt a motion to set a hearing to review the application for demolition.

Sincerely,

Steven Glassman, President

Broward Trust for Historic Preservation

**Exhibit 10: Broward Trust Testimony from 12/17/14  
Commission Meeting**

December 17, 2014 City Commission

Agenda Item M-2/Rivermont House

Good evening, Mayor, Vice Mayor, Commissioners, and Staff,

I'm Steve Glassman, a resident of Fort Lauderdale and I'm speaking as president on behalf of the Broward Trust for Historic Preservation. We urge you to set a De Novo hearing to review the demolition application for the 1918 Rivermont House at 1016 Waverly Road. The City Manager's memo states in part that you may set a hearing if it is found that the proposed project is in an area which due to characteristics of the project and the surrounding area requires additional review. Well, if ever there was a poster child for those criteria, then this is it. This house and this site have been described by your consultant as one of the most significant in the entire City; both the house and the site, an Indian midden dating back to 400 - 700 AD and described as the last prehistoric site of its size, caliber, and importance along the New River, have been declared eligible by various entities for inclusion in the National Register of Historic Places; the house is included in the Florida Master Site File; and the house is identified in the City's Architectural Resources Survey of Sailboat Bend Historic District as key contributing, distinguishing itself from those buildings in the historic district that are identified as merely "contributing."

A hearing is justified because there is no way that we can present all of the pertinent information on such an important property in just a few minutes tonight. Respect should be paid to the site before us. There is too much of a contradiction between what one reads in your consultant's report and the decision of the Historic Preservation Board. It is timely that earlier tonight you have honored Merrilyn Rathbun as the "guardian of our city's history." The Trust asks that you honor her in not only words, but in action. Heed what she says when she writes: "The historic Rivermont House is significant in the built history of the town; together the house and the archeological site are one of the most important historic resources of the City of Fort Lauderdale. Demolition of the house will cause the destruction of the site. At this point, no further incursion should be made on the site; the house should be stabilized and rehabilitated. The applicant's proposed demolition of the house is not appropriate. The application should be denied."

The Trust is concerned by the applicant stating that the house has no historic significance and the site has limited archeological significance. Stating, as criteria for demolition, that the structure no longer contributes to the historic district; that the structure no longer has significance as a historic architectural landmark; and that the new project is a major benefit to the historic district are simply, in our opinion, not true representations of the facts. Again quoting Ms. Rathbun: "The historic house will be destroyed and its history lost to the



community. There is no advantage to the historic district in demolishing an important historic house and replacing it with a modern copy of a historic house." Assertions that almost all of the house is not original are simply not true; and concerning any changes and additions to the original 1918 structure, it is important to remember that the Secretary of the Interior's Standards states that "most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved."

There are too many moving parts on this case not to have a hearing and especially not to issue a permit for demolition. I have submitted for the record a letter to the City from Broward County which states its concerns on the site, I have also been informed that the City requested that the County's archeological consultant review the management plan for the site submitted by the owner of the property to the Historic Preservation Board, and I have also been informed that the State archeologist has contacted the Seminole Tribe for its input on the site. Lastly, just today a letter was sent to the Mayor from the Florida Department of State Division of Historical Resources encouraging the preservation of the Rivermont House and reminding the City of its responsibility as a Florida Certified Local Government to historic preservation. Time must be given for all of this to occur before demolition can even be contemplated.

Thank you for your consideration this evening, and again, the Trust requests that you set a De Novo hearing.

**Exhibit 11: Resumes and Expertise of Presenters**

**Fort Lauderdale City Commission**

**Rivermont De Novo Hearing**

**January 6, 2015**

**Resumes of Broward Trust for Historic Preservation Consultants:**

- **David W. Baber (Historic Preservation Specialist)**
- **Susan Massey McClellan (Architect with Historic Preservation expertise)**
- **Marla Sherman Dumas (Planner, Public Administrator with Historic Preservation expertise)**
- **Michele L. Williams, Ph.D. (Anthropology and Archaeology)**

# DAVID W. BABER

4748 Charing Cross Rd  
Sarasota, FL 33312  
deevo1@verizon.net

(941) 685-0782

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## PROFESSIONAL GOAL

A career focused on protecting society's irreplaceable historic resources.

---

## CORE COMPETENCIES

- Extensive historic preservation knowledge
  - Advocating for historic preservation issues
  - Personnel Management
  - Managing multi-disciplinary programs
  - Completing multiple simultaneous tasks
  - Regulatory compliance management
  - Oversight of restoration projects
  - Managing grant-in-aid programs
  - Successful history of securing grant funds
  - Budget development and oversight
- 

## PROFESSIONAL EXPERIENCE

**1/2008 – 12/2014 Broward County Historical Commission**  
**Fort Lauderdale, FL**

**1/2008-1/2011 County Historic Preservation Officer, Historical Commission**

Provided direction and leadership to history and historic preservation programs and organizations throughout Broward County and its 31 municipalities. Provided guidance to and implemented the policies of the 22 member Historical Commission. Was responsible for administration and management of the County's multifaceted history, historic preservation and archaeology programs. Examples of my administrative duties included the hiring, assessing and supervising of all professional and support staff, creating programs and projects, developing and managing the operating and project budgets, communicating the mission of the agency in the community, resolving conflicts and developing and implementing plans for improving and expanding the ways to realize the goals of the organization.

### ***Key Accomplishments***

- Reorganized the County's historic designation and tax exemption program processes to increase efficiency and consistency in applying the programs' requirements
- Improved the County's regulatory compliance review program to ensure that all development activity reviewed for impacts to archaeological and historical resources was handled consistently
- Provided assistance in writing and reviewing National Register nominations and local designation applications
- Provided technical assistance to property owners and municipalities in terms of applying criteria for designations and improvements to historic resources
- Developed a County-wide coalition of history and historic preservation organizations that met to support each other's activities and to address common issues
- Completed the rehabilitation and adaptive re-use of the historic West Side Grade School to maximize its functionality as the home of the Historical Commission while meeting established federal and local preservation standards
- Developed educational programs on preservation issues for the public and municipalities
- Implemented locally funded challenge grant-in-aid program, modeled loosely on the State of Florida preservation grants program, to preserve, rehabilitate and restore important local resources

1/2011-12/2014 Historic Preservation Coordinator, Libraries Division

As a result of severe budget cuts associated with the financial contraction experienced throughout Florida, all funding for the Historical Commission was eliminated for the FY 11 budget and the services and programs were reorganized under the County library system. The Historic Preservation Officer position was eliminated and the Historic Preservation Coordinator position was created with no administrative/management responsibilities. Examples of activities in this new position include preparing National Register and local designation applications, providing technical assistance to other communities and property owners, supervising the creation of local history exhibits, managing the digitization of special collections and assisting with other library related activities.

***Key Accomplishments***

- Researched and provided material for the CLG Recommendation Report/wrote initial draft ordinance
- Secured a State preservation grant and provided support for a County-wide historic sites survey
- Prepared and defended the National Register nomination for the Historic West Side Grade School
- Prepared the local designation application for the Marcel Breuer designed Broward Main Library
- Led a team of stakeholders to develop an historic resource disaster long term recovery strategy
- Completed 2400 scans with related metadata completing and uploading eight digitization projects

1/1995-1/2008 Sarasota County Government  
Sarasota, FL

Historical Resources General Manager

Responsibilities included directing all aspects of the primary history and historic preservation government agency in Sarasota County. This multi-disciplinary program included initiatives to promote the protection of historic and prehistoric resources, managing a substantial historical archive and operating a diverse history education program. Also was responsible for all administrative and management aspects of the program, including budget development and implementation, management of professional and support staff of five, development of programs targeted at protecting cultural resources in the County and promoting an understanding of local history.

***Key Accomplishments***

- Developed countywide local register of historic places, and successfully sought CLG status
- Created regulatory and financial incentives including an overlay development district to provide specific rights and flexibility to all properties designated by the County
- Provided staff support to the County Historical Commission and the Historic Preservation Board
- Successfully applied for and managed 10 State Small Matching and Special Categories historic preservation grants with a total value of nearly \$1,100,000 for a variety of preservation activities
- Provided leadership and oversight to ensure compliance with the Secretary of the Interior's Standards in the rehabilitation of County owned historic resources including the County Courthouse, the Venice Train Depot, Nokomis Beach Plaza, Phillippi Estate Park, the Hermitage, and the Dr. Wilson House.
- Formalized a process for consistently reviewing all development activity in the unincorporated County with the successful result of avoiding, minimizing or mitigating impacts to cultural resources
- After the 2004 and 2005 hurricane seasons, successfully relocated the irreplaceable historical collections from a 65 year old building on the bay-front to a hardened inland location
- Successfully negotiated a collaborative agreement between the History Center and the Convention and Visitors Bureau to operate the old facility as a visitor center with four historical exhibit galleries
- Developed covenants and easements to protect historic and archaeological resources
- Participated as a member of the Statewide Technical Advisory Committee in the multi-phased project to develop "Disaster Planning for Florida's Historic Resources" and "Disaster Mitigation for Historic Structures: Protection Strategies"

1985-1995 Town of Windsor  
Windsor, CT

Community Development Coordinator

Responsible for managing all aspects of the historic preservation and comprehensive community development programs in Windsor, Connecticut's oldest town. Developed and managed operating and project budgets based on state and federal community development and historic preservation funding sources. Managed program to provide grants and low income loans to improve low income housing and commercial buildings. Directed all historic preservation activities such as surveys and National Register nominations and provided staff support to the Historic Preservation Board.

*Key Accomplishments*

- Successfully sought and administered grant funding totaling nearly \$5 million from state and federal sources for all community development and historic preservation related activities
- Prepared HABS documentation on the historic railroad passenger and freight depots as a condition of federal funding to prepare the buildings for rehabilitation as a multi-modal transportation center
- Acted as staff liaison to the Historic Preservation Board
- Reviewed all applications for improvements to historic buildings
- Oversaw the restoration of historic buildings in town such as the aforementioned railway facility, a one room school to be used as a museum and a federal period house to be used as a home for unwed teenage mothers and their children
- Developed a local heritage tourism program in partnership with the Chamber of Commerce.

1983-1985 Bridgeport Neighborhood Housing and Commercial Services, Inc.  
Bridgeport, CT

Upper East Side Director

Administered all phases of a comprehensive preservation based revitalization program in a severely depressed, historic, inner city neighborhood in Connecticut's largest city. Formulated administrative and project budgets, identified and developed housing and infrastructure projects, solicited funding to carry those projects, and organized neighborhood self help groups.

1979-1983 Willimantic Community Redevelopment Agency  
Willimantic, CT

Rehabilitation Director

Developed and administered a historic preservation oriented residential and commercial rehabilitation program involving grants and low interest loans as a part of the community development activities for the City of Willimantic. Prepared construction plans and specifications for projects, performed credit underwriting, arranged financial packages, recruited contractors and supervised construction. Program was the recipient of a national HUD award for the success of the preservation and revitalization of the commercial downtown district. Supervised the preparation of historic sites surveys and National Register nominations in the City.

1978-1979 Central Virginia Planning District Commission  
Lynchburg, VA

Historic Planner

Conducted historic sites inventory in Amherst County. Made A-95 review comments on projects with historic preservation related considerations.

1978 Capitol Region Council of Governments  
Hartford, CT

Architectural Historian

Assembled historic resources survey on a contractual basis, in conjunction with the Connecticut Historical Commission, in five Hartford area towns.

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## EDUCATION

Bachelor of Science, Historic Preservation, 1978, Roger Williams College, Bristol, RI  
Associates of Engineering Technology, Architecture/Construction, 1974, Roger Williams College, Bristol, RI

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## AFFILIATIONS

- National Trust for Historic Preservation, Forum member
- Florida Trust for Historic Preservation, member and former trustee
- 2007 Florida Trust for Historic Preservation annual conference local chair
- Member of the Sarasota Architectural Foundation Technical Advisory Committee
- Former Citizen Advisory Board member for the Department of State, Central Florida Regional Preservation Office
- Former board member of the Sarasota Alliance for Historic Preservation
- Former board member and vice chair of the Crowley Museum and Nature Center

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## REFERENCES

Attached as separate document

## **Susan Massey McClellan**

5495 Northeast 25<sup>th</sup> Avenue Unit 402  
Fort Lauderdale, Florida 33308  
954.776.6871

REGISTERED ARCHITECT State of Florida 1995  
LEED AP

### **EDUCATION**

University of Florida Master of Architecture 1988- 91  
University of Florida Bachelor of Design 1975-79, 1987

### **CIVIC SERVICE**

City of Ft. Lauderdale Historic Preservation Board Member 2008 – 2012  
CoFL Historic Preservation Board Chairperson 2009 – 2012  
CoFL Centennial Committee Member May 2009 – May 2010  
CoFL Rewrite Work Group of Historic Preservation Ordinance Jan 2010 – Present

### **EMPLOYMENT**

Susan M. McClellan, P.A. (self-employed) Sept. 2001 – present  
DMI Don Meyler Inspections Aug 2011 - Jan 2012  
Subcontractor hired to perform residential Wind Mitigation Insurance  
Inspections with particular emphasis on inspections specifically for  
Citizens Insurance Corporation as well as retail residential wind  
mitigation inspections for insurance industry form 1802  
ARCHITECT of RECORD for several projects inclusive of commercial,  
residential, new 'ground-up' to renovations and additions.  
KYNER RESIDENCE Guest House Nov 2012 – Present  
GLOBAL WEALTH MANAGEMENT Offices Sept 2012 – Present  
1925 RICHARDSON CARRIAGE HOUSE Apr 2011 - Present  
FORT LAUDERDALE WOMAN'S CLUB Oct 2004 - Present  
KIENZLE RESIDENCE Ft. Laud., FL Nov. 2003 - June 2005  
SCHMATZ RESIDENCE Ft. Laud., FL Sept. 2005 - Present  
HUNTINGTON RESIDENCE Parkland, FL Dec 2000 - 2005  
CSSI Office Space Coconut Creek, FL Oct 2003- Oct 2004  
FRANKLIN CONTRACTORS INC. Ft Laud., FL JAN – MAY 2000

Retzsch Lanao Caycedo Arch's Boca Raton, FL June '95 - Sept '01  
Project Architect for several projects during tenure. Duties include  
coordination of CD's with professional consultants, meetings with  
Client / Owner, meetings with City Officials regarding permitting and  
Construction Administration. Notable projects:  
FIRST UNION PLAZA Boca Raton, FL  
KELLSTROM INDUSTRIES Sunrise, FL  
Project Manager / Other duties for several other projects including:  
DIVI PHOENIX BEACH RESORT Oranjestad, Aruba



Tuthill & Vick Arch., INC. Ft. Laud., FL OCT '92 - JUNE '95

Architecture Intern Position working in various capacities  
on projects in office from librarian to draftsman to project  
management and research.

CSI HEADQUARTERS Ft. Laud., FL

FOLZ RESIDENCE Ft. Laud., FL

Anderson Baumoehl Arch. Boca Raton, FL DEC '91, 02-06 '92

Architecture Intern Position working in various capacities  
on projects in office from librarian to draftsman to project  
management and research.

CONGRESS MIDDLE SCHOOL Boynton Beach, FL

GABRIEL RESIDENCE Ft. Laud., FL

NCNB ADA Compliance SURVEYS 30+ Facilities in S. FL.

References + Portfolio upon Request

S U S A N M A S S E Y M C C L E L L A N

5495 Northeast 25th Avenue Unit 402  
Fort Lauderdale, Florida 33308  
954.776.6871

REGISTERED ARCHITECT State of Florida 1995 Member A.I.A. Fort Lauderdale Chapter  
LICENSED INTERIOR DESIGNER State of Florida  
AUTOCAD (release 2000) proficient

A C A D E M I C S

UNIVERSITY OF FLORIDA	Gainesville, Florida	MASTER OF ARCHITECTURE	1988- 91
UNIVERSITY OF FLORIDA	Gainesville, Florida	BACHELOR OF DESIGN	1975-79, 1987
FORT LAUDERDALE COLLEGE	Fort Lauderdale, Florida		FALL 1986
BROWARD COMMUNITY COLLEGE	Davie, Florida		SUMMER 1976

A C A D E M I C T R A V E L

UNIVERSITY OF FLORIDA Graduate Study in the United Kingdom JUNE-AUGUST 1989  
COLLEGE OF ARCHITECTURE two-part SEMINAR/TRAVEL Program.  
Participation in series of seminars given at/by the [ A.A.]  
ARCHITECTURAL ASSOCIATION Percy Street, London, England.  
SEMINARS focused on historical and theoretical issues and their  
impact on architecture and architectural education of today. Speakers:  
ROBIN EVANS, PETER COOK, DON BATES and MARK COUSINS & etc.  
TRAVEL involved research through site visits, meetings with scholars  
at several locations and selected readings on several distinct cities:  
EDINBURGH, GLASGOW, LONDON, BATH, OXFORD and CAMBRIDGE.  
Travel analysis produced analytical documentation through drawing,  
in-depth discussion of readings and formally written documents.  
OTHER TRAVEL includes FRANCE, MEXICO and the UNITED STATES.

A C A D E M I C H O N O R S

THE A.I.A. CERTIFICATE OF MERIT Awarded APRIL 1991  
A certificate awarded by the A.I.A. NATIONAL OFFICE to an outstanding graduating  
professional degree student as the RUNNER-UP to the HENRY ADAMS MEDAL.  
ENTRANT S.O.M. Foundation Travelling Fellowship Program Competition APRIL 1991  
One of two students selected representing University of Florida.  
LOUIS C. HOLLOWAY MEMORIAL SCHOLARSHIP [\$1500] DECEMBER 1989  
STOVALL / HOLLOWAY MEMORIAL FUND SCHOLARSHIP [\$1250] JUNE 1989  
TAU SIGMA DELTA National Honorary for Architecture + Allied Arts Member 1979

E M P L O Y M E N T

**RETZSCH LANA O CAYCEDO ARCHITECTS** Boca Raton, Florida **JUNE 1995- SEPT 2001**  
**FIRST UNION PLAZA** Boca Raton, FL

New Mixed Use Project: 2-story Bank, 7-story Tower, 6-story Parking Garage  
Project Collaboration with Philip Johnson Architect of New York. Developer  
Selected Philip Johnson as Design Architect, RLC as Architect of Record.  
Unique design required development of new curtainwall system for South FL  
Responsibilities: Project Manager. Coordination of all facets... Schematic Design  
To Final Walk-through Punch-lists including: Construction Documents, Bid Docs,  
ASI's, RFI's, CO's, Field Reports, Weekly Meetings with Owner & GC,  
Applications for Payments.

**KELLSTROM INDUSTRIES CORPORATE OFFICE / WAREHOUSE** Sunrise, FL  
New 203,000 SF State-of the Art Corporate Headquarters

Responsibilities: Project Architect, Project Manager, design Concept through  
Construction Documents and Construction Administration, Meetings with City  
Officials for P & Z and Permitting, Handled Job-site visits and Field Reports,  
Shop Drawing Review through Project completion / Final Punch lists.  
Repeat Client as a result... Worked on 2 more Projects for same client in  
same Industrial Office park.

**EMERALD WOODS SHOPPING CENTER** Hollywood, Florida +\$250,000  
Renovation-face lift of existing shopping center.

Responsibilities: Construction Documents, job-site inspections and field reports.

**ARUBA DIVI PHOENIX BEACH RESORT** Palm Beach, Oranjestad, Aruba  
Renovation +\$3.5Million New Additions to an existing time-share resort site.

Responsibilities: Project Manager, Design coordination in-house and with  
consultants, Construction Documents/Coordination, A.S.I. & R.F.I. Coordination.

**ALLEGIANCE HEALTHCARE CORP.** Meridian Business Campus  
New 107,000 SF Corporate Headquarters

Responsibilities: Project Manager, Schematic Design concepts, Construction  
Documents and Coordination with Consultants.

**BLUE CROSS and BLUE SHIELD** Miami, Florida

Responsible for Schematic Design of Interior Main and Upper lobby spaces.  
Selected / Specified finishes for same. Rendered Interior Perspective sketches  
for review and approval by owner. Helped with coordination of finishes at jobsite.

**COUTTS RESIDENCE** The Woodlands, Tamarac, Florida **JUNE 1992-Present**  
2500 SQ. FT. Garage Addition + Extensive renovation to existing residence.  
Design, Construction Documents, Furniture, Fabric, Artwork, Accessories.

**FRANKLIN CONTRACTORS INC.** Fort Lauderdale, Florida **JAN - MAY 2000**  
4700 SQ. FT. Corporate Office + Warehouse Facility Tenant Improvement.  
Design, Construction Documents, Furniture, Fabric, Artwork, Accessories.

**RIVIERA CONDOMINIUM** Galt Ocean Mile, Fort Lauderdale, Florida **MAY 1996**  
Collaboration with WENDY COSTA INTERIORS to renovate existing main lobby  
some commons spaces. Collaborated on design, responsible for Interior  
Construction Documents and their coordination.

**KUBLIN RESIDENCE** The Woodlands, Tamarac, Florida **FEBRUARY 1996**  
Developed Schematic Design drawings of Second Story Master Bedroom/Bath  
Addition to existing residence.

**TUTHILL & VICK ARCHITECTURE, INC.** Fort Lauderdale, FL **OCTOBER 1992 - JUNE 1995**

**CSI HEADQUARTERS** Sun Bank Center Fort Lauderdale

Approx. 15,000 SQ. FT. tenant improvement to existing shell. Worked from Schematic Design through Construction Documents. Spent time in field at jobsite fine-tuning and inspecting work as it progressed.

**FOLZ RESIDENCE** Corinthian Building, on Intracoastal Waterway Fort Lauderdale

Approximate 2000 SQ. FT. integration of two 2-bedroom/bath units serviced by single elevator tower, to one single family customized dwelling. Involved with phases of this project: Design Sketches, CD's, purchasing to jobsite coordination.

**McCARTHY-GOLDSTEIN RESIDENCE** Shady Ridge Estates Fort Lauderdale

4500 SQ. FT. Single Family Residence. Responsible for Development and Coordination of Construction Documents.

**ANDERSON BAUMOEHL ARCHITECTURE** Boca Raton, FL **DEC 1991, FEB-JUNE 1992**

**CONGRESS MIDDLE SCHOOL** Boynton Beach, Florida

Worked on production of base set as well as Phase II set of Construction Docs. Renovation project encompassing re-planning of 4 buildings spaces functionally and adhering to handicap codes. Addition of new covered walkways.

**GABRIEL RESIDENCE** Fort Lauderdale, Florida

Renovation + Addition project to existing residence. Responsible for site visits to record existing dimensional conditions. Collaborated in production of Construction Documents.

**NCNB HANDICAP SURVEYS** 30+ Facilities in South Florida

Responsible for on-site inspection / recording of existing NCNB locations for adherence to January 1992 Handicap Accessibility Code for bank's evaluation.

**PLATINUM CRUISE AND TOURS, INC.** Pompano Beach, FL **MAY-AUGUST 1992**

Corporate Headquarters / Executive Offices Interior. Planned 3500 SQ.FT. space, Interior sectional height variations, task and specialty lighting specifications and detailing, cabinetry detailing, furnishings / artwork and purchasing.

**UNIVERSITY OF FLORIDA** Gainesville, FL **AUGUST - DECEMBER 1990**

**GRADUATE TEACHING ASSISTANT** Taught Design I, first in a series of studio design courses. Course incorporates, History, Drawing + Modeling.

**UNIVERSITY OF FLORIDA** Gainesville, FL **JUNE - AUGUST 1990**

**MINORITY STUDENT TUTOR** Taught Design / Drafting / Rendering .

**BRENT D. CORNWELL, INC.** Fort Lauderdale, FL **AUGUST 1979 - DECEMBER 1987**

8.5 Years Commercial Interior Design Firm including:

5% Residential, 10% Retail, 20% Restaurant/Night Club, 65% Hospitality

Firm grew from 5 employees in 1979 to 23 by 1987.

**SENIOR PROJECT DESIGNER 1985-87** Design emphasis, Conceptualization

Coordination/Scheduling, Travel, Jobsite Inspection/Coordination Notable Jobs:

Flagship **BALLY** Health Club, Barbican, London, England

**HOLIDAY SPA** Riverside, California. Lighting won Int'l Lighting Design Award

**HOLIDAY SPA** Hollywood, California. Re-use of Historic Hollywood Landmark.

**DIRECTOR OF DESIGN PRODUCTION** mid 1983-1985 In-house coordination

of health clubs National Identity per client request, Design, Scheduling, Travel.

**DESIGNER** mid 1981 - mid 1983 Design, Direct own design team, Client Contact

Drafting, Coordination with Consultants, Travel.

**DESIGN ASSISTANT** August 1979 - mid 1981 Drafting, Production/Presentation,

Materials Librarian, Purchasing Assistant, Research.

**R E F E R E N C E S + P O R T F O L I O u p o n R E Q U E S T**

Susan M. McClellan, P.A. **A R C H I T E C T**  
 Post Office Box 030123  
 Fort Lauderdale, FL 33303  
 AA0003603  
 P: 954.776.6871  
 F: 954.771.8386  
 E: pinktent@bellsouth.net

**COMMERCIAL EXTERIOR and INTERIOR IMPROVEMENTS**

**Oct 2001 – Dec 2002 BALLY TOTAL FITNESS "Courtrooms" +/- 22,900 sf**  
**750 West Sunrise Boulevard**  
**Fort Lauderdale, Florida**  
 Total Interior "Face Lift" as well as reorganization of work-out areas. Sales Offices and South Florida Office Corporate Office. Renovation of the entry/entrance to comply with ADA standards.

**OCT '03-OCT '04 CSSI Corporate Solutions and Software Int'l + 5,200 sf**  
**Lyons Tech III Corporate Park Coconut Creek**  
 Interior tenant build-out of corporate offices including Mezzanine and conditioned warehouse storage area.

**DEC '03-May '05 GILDA'S CLUB +/- 450 sf**  
**119 Rose Drive**  
**Fort Lauderdale, Florida**  
 Interior tenant build-out of basement space will in National Register Historic District, significant turn-of-the-Century Residence turned office space building for use as a meeting room for tortifiers and teams.

**COMMERCIAL NEW BUILDINGS**

**JUL '03–MAR '05 B and B Realty Investments, Inc. +35,000 sf**  
**Condominium Office Building**  
**Nob Hill Road + Commercial Blvd.**  
**Sunrise, FL**  
 Design of a 14-Unit Condominium Office building complex catering to the professional office market in Sunrise, FL.

**RESIDENTIAL PROJECTS**

**OCT '01–MAR '03 Peter and Cheryl Huntington Residence +5,400 sf**  
**New Home in Pine Tree Estates**  
**Parkland, FL**  
 New 2-story home with attached garage. Master Suite, two bedrooms plus live-in or mother-in-law suite. Home acts as a backdrop for the client's artistic collection of furniture and artifacts from their travels.

## RESIDENTIAL PROJECTS (cont'd)

- DEC '03 - JULY '06**     **Bob and Lybbi Kienzle Residence**     **+3,730 sf**  
**Addition to Home in Victoria Park**  
**1630 NE 7th Court**  
**Fort Lauderdale, FL**  
Addition bringing a master suite, family room, updated kitchen plus exterior amenities to accommodate the Owner's love and care-in-training of dogs for Canine Companions and their future companions. The Owner's desire to maintain the small scale charm of the home and neighborhood was enhanced by the addition to the front porch wrapping around to the side. The rear patio - pool space adds to the lush feel of the property nestled in the growth of palms giving the desired "Key West" charm to the finished product.
- MAY '03 - Present**     **John and Lois Schmatz Residence**     **+4,506 sf**  
**Addition to Home in Coral Ridge**  
**1619 NE 26 Avenue**  
**Fort Lauderdale, FL**  
The creation of a garage lot, to a previous addition was the impetus to the transformation of this home. The Owner's desire to entertain while also maintaining space for family coming home to visit started the conversation. The previous addition had already created the necessary master bedroom suite and patio with pool to the rear. Capturing the outdoor tropical feel to the front yard with a fountain and side dining dining patio also helped further the final product. This home won a Fort Lauderdale CAB award this spring. Some interior elements are now being taken care of which will finalize the complete product.
- MAY '05 - Present**     **Paul and Jean Hartmann Residence**     **+3,178 sf**  
**Addition to Home in Croissant Park**  
**728 SW 18th Court**  
**Fort Lauderdale, FL**  
Addition of approximately 3,000 square feet to this home with detached garage building on a corner lot. The neighborhood is faced with a collection of Spanish Revival Homes modest in stature on lovely sized lots. The Owners program incorporated Eastern philosophical principals for spatial guidance along with a collection of "gathered" parts, eclectic in nature, to be pieced into a modern "farmhouse" of sorts. The resulting building will require growth of the landscape to cultivate the external virtues of desired affect, convey a definitive public versus private facade with interesting vignettes along the way.

HISTORIC PRESERVATION PROJECTS

- APR '04-Present**      **Fort Lauderdale Woman's Club**      +/- 3500 sf  
15 South Andrews Avenue  
Fort Lauderdale, Florida  
Renovation and Restoration of Fort Lauderdale  
Historic Landmark Building for use as a Women's  
Clubhouse and meeting space.
- MAY '07-Present**      **Survey of the T-Buildings on the Campus of FAU**      4- buildings  
**in Boca Raton for Florida Atlantic University and**  
**the Boca Raton Army Air Field Preservation Society.**  
Phased Survey of the Buildings for use by FAU and  
the SRAAF in applying for grants towards their restoration  
and rehabilitation using the Secretary of State's National  
Standards. The survey is looking at the condition of the buildings  
and their separate parts, specifically windows and doors, of the  
entire "strip" conditions and a future schematic plan for use  
of the buildings and their shared environment within the campus.

# MARLA SHERMAN DUMAS

## HIGHLIGHT OF QUALIFICATIONS

### Professional Experience:

Over twenty-five years of experience as a public administrator or consultant to various governmental agencies and municipalities concentrating on:

- Community Planning
- Economic Development
- Redevelopment Strategies
- Commercial Revitalization
- Historic Preservation
- Public/Private Partnerships
- Funding Strategies
- Public Involvement
- Permitting
- Other Related Activities

Solid understanding of County, State of Florida and Federal regulations, policies and procedures relating to these types of disciplines.

### Historic Preservation Experience:

- Conducted historic structure surveys in support of creation of historic districts which included physical surveys, oral histories and collection of archival documentation
- Drafted design guidelines and zoning regulations for historic districts and conservation areas
- Administered redevelopment activities for Community Redevelopments Agencies (CRAs) that included areas with historic district overlays

### Public/Private Partnerships:

- Developed conceptual plans within historic preservation districts that resulted in public/private partnerships responsible for development of hotels, mixed-use projects, garages, public facilities and public open space
- Determined roles and responsibilities of the various participants
- Established criteria for the Request for Qualifications (RFQs) and selection process that resulted in determining the best qualified developer and/or participants for the partnership
- Negotiated development agreements, contracts, amendments and addenda involving complex public/private partnerships and related issues

### Community Planning/Economic Development:

- Collaborated on residential zoning classifications that regulated in fill activities for single family historic properties
- Prepared elements of the Comprehensive Plan for Carteret County, North Carolina relating to land use, health and recreation
- Developed a Comprehensive Master Plan for a newly incorporated municipality that received approval by the Florida Department of Community Affairs
- Initiated preparation of Land Development Regulations in support of the approved Comprehensive Plan



- Established a conceptual Streetscape Master Plan to serve as a regulating plan for the entire community as well as a tool to encourage economic investment
- Promoted a Town Center concept to encourage commercial revitalization and mixed-use development opportunities
- Created recognition for existing residential areas under an urban villages concept
- Negotiated with developers, attorneys and architects recognizing density and intensity as critical issues
- Implemented a study to establish impact fees for parks, public facilities and police services

#### **Redevelopment Strategies:**

- Authored redevelopment plans and amendments in accordance with State and County code requirements for Community Redevelopment Districts that included historic designations
- Determined funding strategies including Tax Increment Financing (TIF) projections based on tax rolls and forecasts of development activities
- Prepared grant applications and requests for funds in response to notices of funding availability to assist in funding redevelopment efforts
- Created Special Assessment Districts (SAD) programs to facilitate funding for public improvements including beautification and infrastructure projects

#### **Public Involvement:**

- Facilitated public meetings and charrettes that included stakeholders, government officials, public employees, community-based organizations, citizen committees, developers, professional organizations and the public-at-large
- Conducted consensus building efforts resulting in planning study recommendations relating to development issues, growth management and revitalization efforts
- Responded to all public inquiries for information regarding plans or projects
- Developed newsletter to keep residents and participants informed about the status of various projects

#### **HISTORICAL COMMISSION**

Served on Ordinance Review Committee when created in 2008 tasked with reviewing county ordinances, administration code and policies in order to identify areas needing revision, clarification or enforcement

Served on Cultural Resources Committee since it was established in 2008 in order to better address historic preservation issues throughout Broward County. This committee produced the 2012 report that recommended the establishment of a Certified Local Government designation for Broward County

Developed the concept for the BCHC Heritage Celebration and served as Chairperson for the inaugural event in May 2011 at which keynote speaker for Florida Secretary of State

Continued to assist with Heritage Event by reading all newly published books relating to Broward County history and recommending nominations to receive the Dr. Cooper C. Kirk Award and also recommending nominees for the Judge L. Nance Award, the Stuart B. McIver Award and the Historical Commissioners Award in 2012, 2013 and 2014

**Authored Publications**

**Parkside: An early neighborhood in Hollywood worthy of historic designation, Broward Legacy, Volume 29, Number 1, 2009**

**Book review: *Pioneer Parish: Saint Anthony Broward's First Catholic Church* by Fr. Jerry Singleton., Broward Legacy, Volume 32, Number 1, 2012.**

**Preparing book review for next issue of Legacy: The Making of Nova Southeastern University: A Tradition of Innovation, 1964-2014 by Julian M. Pleasants, Ph.D.**

**EMPLOYMENT HISTORY**

<b>July 2001-Present</b>	<b>MSSD Consulting, Inc.</b>
<b>October 1999-June 2001</b>	<b>Community Planning and Development Director City of Sunny Isles Beach Florida</b>
<b>June 1993-September 1999</b>	<b>Miami Beach Redevelopment Agency</b>
<b>Prior to June 1993</b>	<b>Miami Dade County Miami, Florida</b>

**EDUCATION AND TRAINING**

**Bachelor of Arts**                      **Ohio State University, College of Arts and Sciences**

**Graduate Studies**                      **Florida International University, Public Administration**

**Various training sessions sponsored by the Urban Land Institute, National Trust for Historic Preservation and the Florida Trust for Historic Preservation**

**On-going real estate courses and seminars**

**AFFILIATIONS AND REGISTRATIONS**

**Broward County Historical Commission  
American Planning Association  
Urban Land Institute  
Florida Trust for Historic Preservation  
Florida Real Estate Sales License**

**Michele L. Williams, Ph.D.**  
**CURRICULUM VITAE**

**Home**

1436 SW 10<sup>th</sup> St.  
Ft. Lauderdale, FL 33312  
Phone: 954-254-9657  
Email: mwilliams1234@hotmail.com

**Education**

2012	<b>Executive Certificate</b> in Nonprofit Management from Florida Atlantic University
2000	<b>Ph.D.</b> , Department of Anthropology, Washington University Ph.D. Dissertation: Evidence for Medicinal Plants in the Paleoethnobotanical Record
1993	<b>M.A.</b> , Department of Anthropology, Washington University M.A. Thesis: Analysis of Carbonized Plant Remains from the Parkin Site
1989	<b>B.A.</b> , Department of Botany, University of Michigan, Ann Arbor

**Recent Professional Experience**

**2007 to Present**

**Regional Director for Florida Public Archaeology Network, Ft. Lauderdale & Ft. Myers, FL**

Responsible for overall leadership and management of two regional offices engaging the public on issues facing archeological resources in Florida and beyond. Provide outreach and assistance while directing staff, graduate students, and volunteers towards appropriate organizational goals. Emphasis placed on establishing critical internal and external relationships with key partners. Additional duties include preparation of an annual \$350K budget and associated work plan conforming to network-wide standards. In charge of day-to-day budget compliance assuring maximum utilization of resources. Serving as member of Senior Management team, developing organizational strategies and policies at request of Board of Directors.

**2005-2007**

**Horticulturist for Civic Garden Center of Greater Cincinnati, OH**

Supervised, maintained, and oversaw development of the Cornelius J. Hauck Botanic Garden. Practiced high standards of horticultural excellence in garden design, maintenance, education, and volunteer involvement. Developed and taught series of innovative college-level botany courses for non-professionals. Lead a variety of programs and projects while ensuring that organizational priorities were met and resources were effectively managed.

**2004-2005**

**Visiting Assistant Professor of Botany at Miami University, Oxford, OH**

Team-taught two sections of *Introduction to Biological Concepts*. Independently taught *Introductory Botany for Non-Majors* and supervised graduate assistants. Developed and taught well-received upper-level *Economic Botany* course. Participated in faculty meetings including efforts by the Department to hire a botanical genetics professor.

**2000-2004**

**Technical Services Manager & Laboratory Director for Gray & Pape, Inc., Cincinnati, OH**

Responsible for the overall administration of Editing, Production, Mapping, Graphics, and Laboratory Divisions of Cultural Resources Management firm with staff of eleven in Cincinnati and Richmond offices. Provided scheduling oversight, assisted in budgeting and proposal writing, and coordinated company-wide efforts in producing reports for federal, state, and private clients. Responsible for evaluation of staff and company-wide products. Developed database applications and completed paleoethnobotanical analyses for company. Directly managed operations of the archeology laboratory, such as the processing, cataloging, analysis, reporting, and curation of artifacts.

**1999**

**Project Assistant for Flora of Missouri Project, Missouri Botanical Garden, St. Louis, Missouri**

Accountable for consistent identification of herbarium specimens for nationally recognized research project. Completed in-depth research on variety of specimens and amended database as necessary, under the direction of Dr. George Yatskievych.

### Grants and Awards

2012	Judge L. Clayton Nance Award from Broward County Historical Commission
2011	Florida Humanities Mini-Grant with Dr. Arlene Fradkin
2011	Golden Trowel Award from Archaeological Society of Southern Florida
2010	Certificate of Appreciation from Palm Beach County Board of County Commissioners
2010	Certificate of Appreciation from Broward County Historical Commission
2004	Miami University College of Arts and Science Travel Grant
1998	Washington University Dean's Dissertation Fellowship Award
1997	National Science Foundation Dissertation Improvement Grant
1997	Sigma Xi Grant-in-Aid of Research
1994-95, 97	Field Ecology Grant from Missouri Botanical Garden Litzinger Road Ecology Center
1994	Distinguished Master's Thesis Award from the Midwestern Association of Graduate Schools-Honorable Mention

### Recent Professional Papers and Posters

2011	Household Healing: A New Approach to Understanding Prehistoric Healthcare. Paper presented at Florida Consortium for Women's Studies Annual Conference.
2010	Preliminary Results from Excavations at Ft. Jefferson in the Dry Tortugas National Park. Paper presented with Sarah Miller at 2010 Southeast Archaeological Conference, Lexington, KY.
2010	Guarding the Guardian: Preservation and Public Archaeology at Dry Tortugas National Park. Paper presented with Melissa Memory and Crystal Geiger at 2010 Florida Anthropological Meeting, Ft. Myers, FL.
2010	Medicinal Plant Usage Among the Windover Population. Paper presented with Dr. Rachel Wentz at 2010 Society for American Archaeology, St. Louis, MO.
2009	Keepers of Time: Relationships between Historic Sites, Archaeology and Parks in Palm Beach County. Paper presented at 31 <sup>st</sup> Annual Florida Trust for Historic Preservation Conference, Palm Beach, FL.
2009	Pathos and Plants: A Preliminary Correlation of Medicinal Plants and Pathologies among the Windover Population. Paper presented with Dr. Rachel Wentz at 2009 Florida Anthropological Meeting, Pensacola, FL.
2005	How Do We Identify Archaeomedicines? Paper presented at 2005 Annual Meeting of the Society for American Archaeology, Salt Lake City, UT.
2004	Shelbyville: The Archaeobotany of Hogsits and Privies. Paper presented with James Pritchard at the Southeastern Archaeology Conference, St. Louis, MO.
2000	Paleoethnobotany Chapter. In <i>Forest Farmsteads: A Millennium of Human Occupation at Winding Stair in the Ouachita Mountains</i> , edited by Ann M. Early. Arkansas Archeological Survey, Fayetteville, Arkansas.
2000	Beyond Food and Fuel: The Roles of Plants and Animals in Mississippian Medicine, Ideology, and Ritual in the American Bottom. Paper presented with Lucretia Kelly at 65 <sup>th</sup> Annual Meeting of the Society for American Archaeology, Philadelphia, PA.
1999	Medicinal Plants in the Archaeobotanical Record for Eastern North America. Poster presented at XVI International Botanical Congress, St. Louis, MO.
1999	Medicinal Plants from the Moundville and American Bottom Regions. Paper presented at 64th Annual Meeting of the Society for American Archaeology, Chicago, IL.

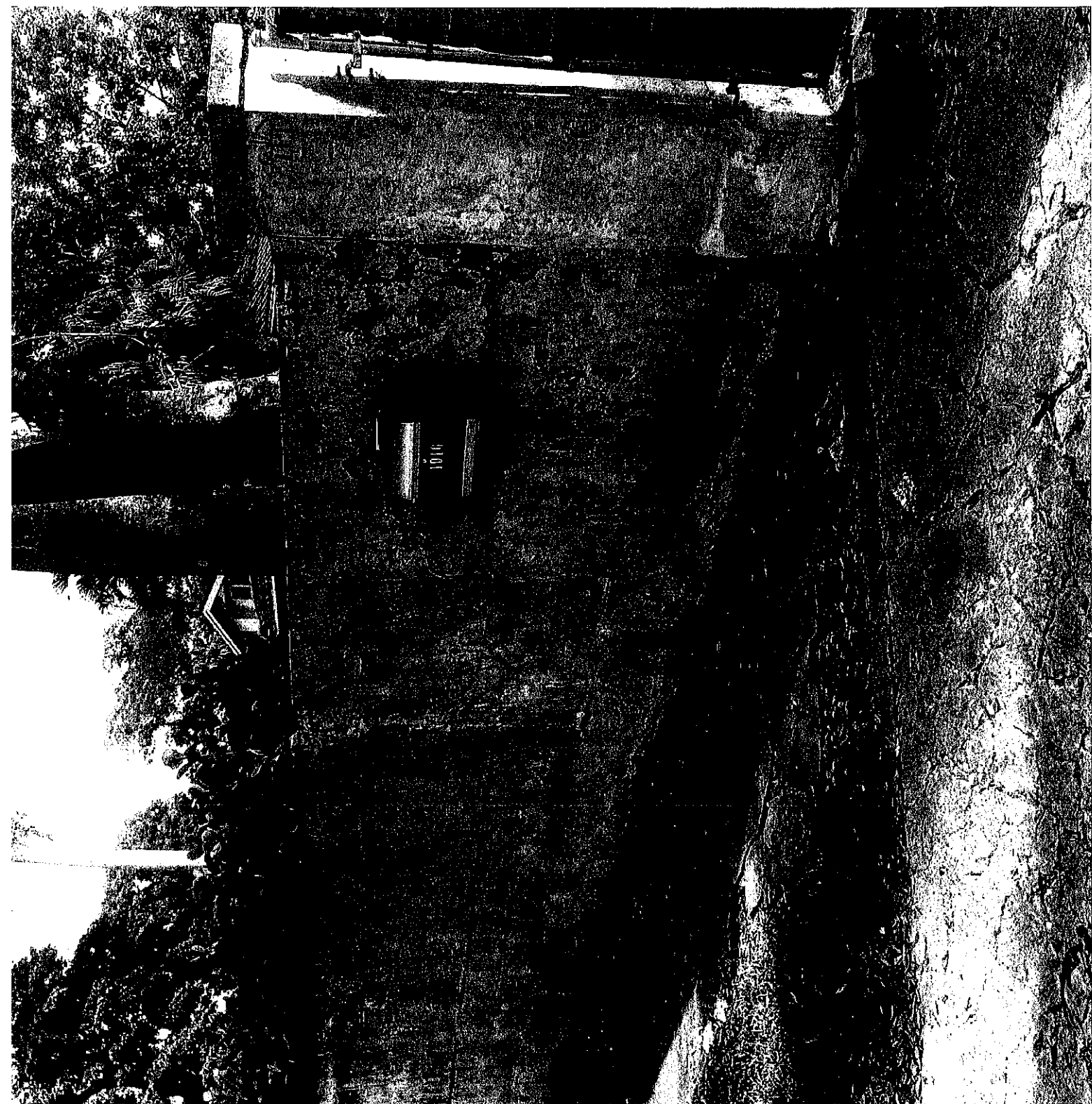
### **Memberships and Appointments**

2013 to 2014	Appointed to the Broward County Historical Commission, Broward Co., Florida
2009 to Present	National Association for Interpretation
2007 to Present	Florida Anthropological Society
2007 to Present	Florida Archaeological Council - Membership Secretary in 2012

### **Professional Trainings**

2012	Cemetery Resource Preservation Training with Florida Public Archaeology Network
2010	Commission Assistance and Mentoring Program with from the National Alliance of Preservation Commissions
2010	Heritage Awareness Dive Seminar with Florida Bureau of Archaeological Research
2009	Facilitator Training for Project Archaeology
2009	Certified Interpretive Guide from National Association for Interpretation
2009	Master Gardener Training with Broward County, Florida Extension Office
2008	Heritage Awareness Resource Training with Florida Bureau of Archaeological Research
2007	Training on Archaeological Resource Protection for Law Enforcement Personnel with Florida Bureau of Archaeological Research
2001	Section 106 of the National Historic Preservation Act Training with SRI staff

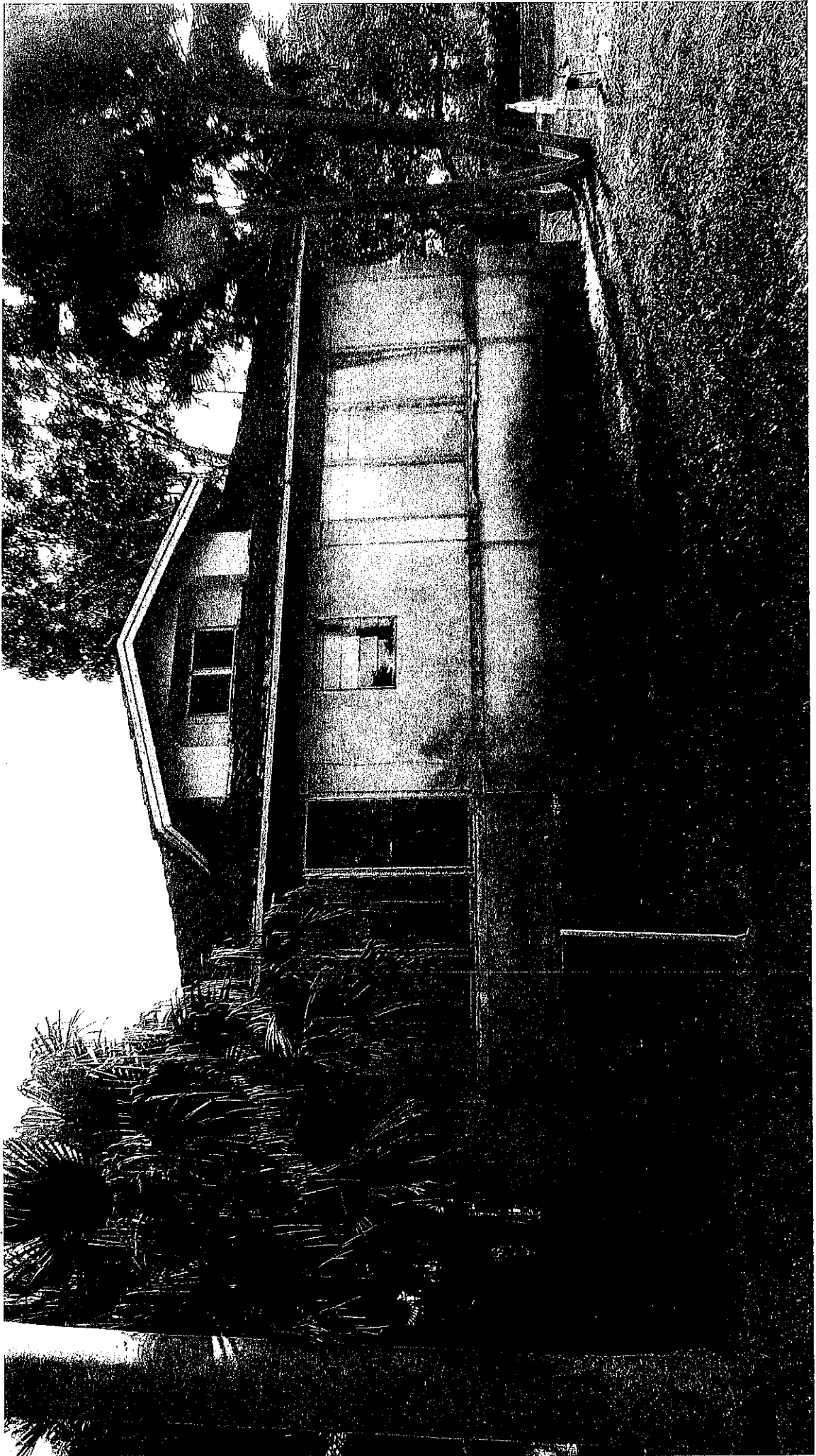
**ADDENDUM: PHOTOS**

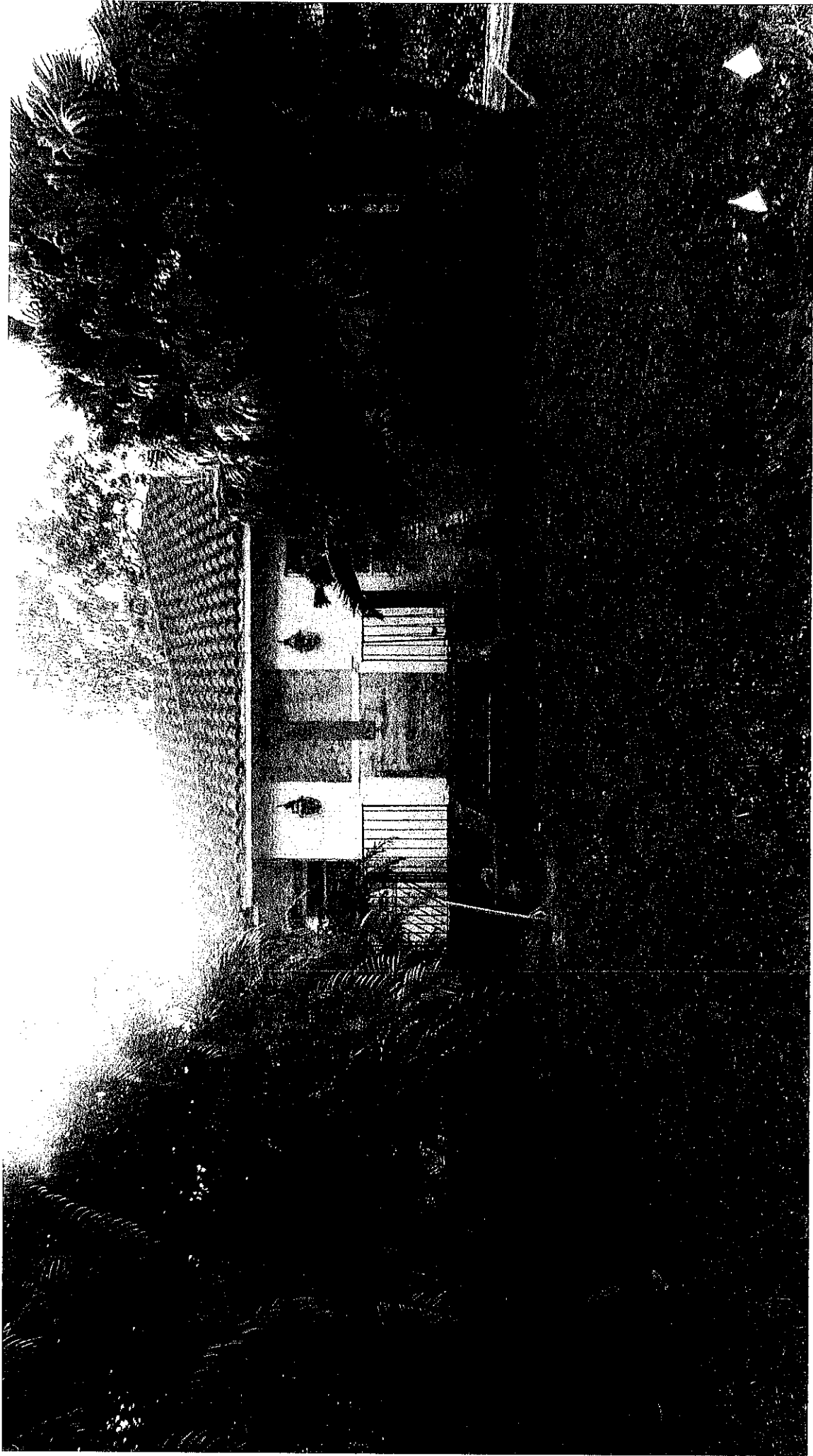


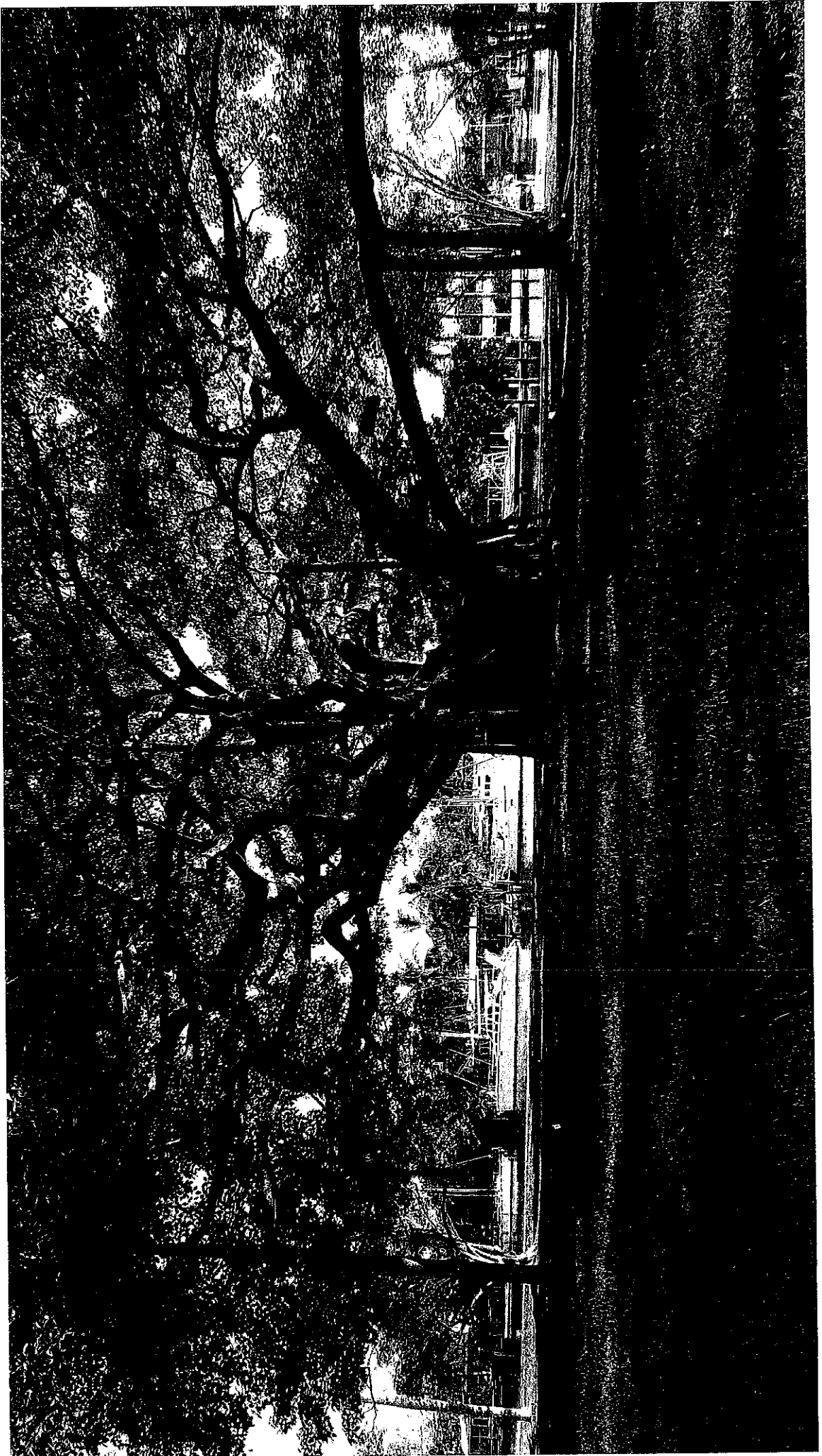


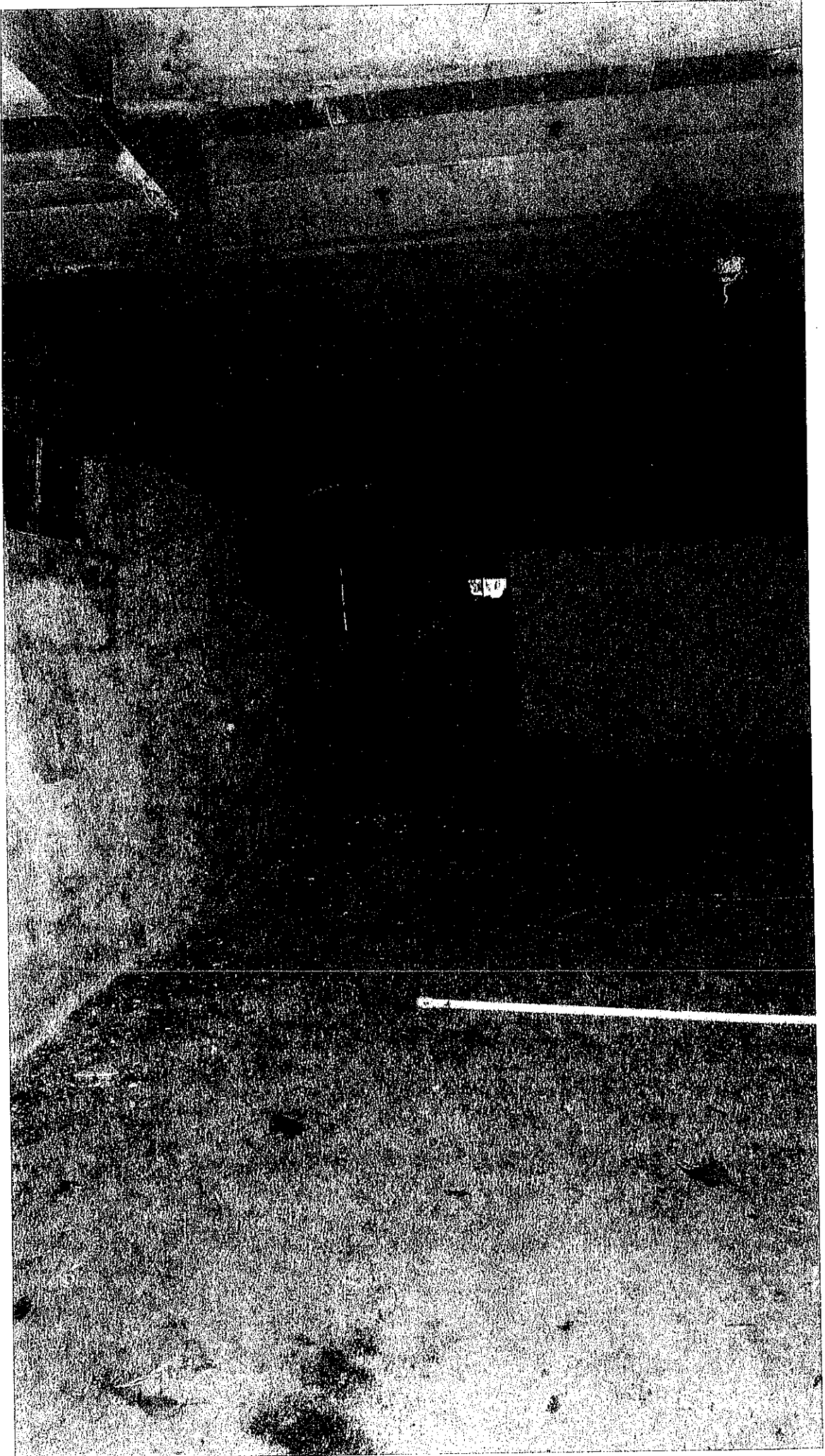












JAN 6, 2015 PH-3  
DAVE PARKER

To: Mayor and City Commissioners  
From: David L. Parker, PhD, Sailboat Bend Civic Association Treasurer and Board Member  
Re: Rivermont Demolition

Good Evening Mayor and Commission Members:

I'm Dave Parker, a past President of the Sailboat Bend Civic Association, an active member of the Sailboat Bend Civic Association Board for many years and continuing as Treasurer for a second year. I learned that Rivermont was a neighborhood historic house by participating in planning of the past annual Sailboat Bend House & Garden Tours. [T-SHIRT]

Recently very valuable information, now available to the Commission, poses a problem for accepting the validity of Sailboat Civic Association General Meeting Vote and the results of subsequent hearings on the demolition of the Rosemont House:

a) General Meeting Vote – this vote was based upon information given to the assembled 13 voting members by the architect for the Grosmans; unfortunately, information from the architect is being disputed by David Baber, Historic Preservation Specialist (information now available to the Commission). The residents are not experts and trust professionals, but not all of the relevant structural information was available to the membership. The membership was led to believe that little of the original structure was intact, excepting the basement. Unfortunately this appears to not be the case. Should not this disputed structural information been considered before a valid vote was taken? Would the vote have been the different if this information was available?

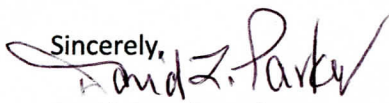
b) Ownership – it has been understood that the Grosmans are the owners and had filed sufficient appropriate deed papers for hearings before the Historic Preservation Board and this De Novo Hearing. Again, the new available information now before the Commission indicates that there is some question as to the ownership of the complete site. Can a decision on the fate of this house be based upon inadequate legal property rights?

c) It is well known that the Rivermont site has archaeological significance and efforts must be made to protect the mound upon which the house sits.

MOST IMPORTANTLY....those in our neighborhood that are interested in preserving historic houses have serious concern that the process of deciding the future of historic houses will be done in a transparent environment. There are not many historic homes left. It is imperative that a clear understandable case is made for deciding any action that would lead to demolition. Some of the confusion surrounding these decisions could be dispersed if there was a City historic ordinance.

Those Sailboat Bend residents interested in the preservation of historic houses are asking the Commission to consider the new information in deciding on the demolition of the Rosemont House.

Thank you for your consideration.

Sincerely,  
  
David L. Parker, PhD