

"CORAL RIDGE LZB"

A REPLAT OF LOT 2, LESS THE SOUTH 141.00 FEET, BLOCK 61 OF "CORAL RIDGE GALT ADDITION NO. 1", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 31, PAGE 37, OF THE SECTION 25, TOWNSHIP 49 SOUTH, RANGE 42 EAST CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA

PULICE LAND SURVEYORS, INC.
 5381 NOB HILL ROAD
 SUNRISE, FLORIDA 33351
 954-572-1777
 FAX NO. 954-572-1778
 OCTOBER, 2014

LEGAL DESCRIPTION:
 LOT 2, LESS THE SOUTH 141 FEET (AS MEASURED AT RIGHT ANGLES), BLOCK 61, "CORAL RIDGE GALT ADDITION NO. 1", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 31, PAGE 37, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
 SAID LANDS SITUATE LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA CONTAINING 24,582 SQUARE FEET (0.5597 ACRES).

DEDICATION:
 STATE OF FLORIDA S.S.
 COUNTY OF BROWARD
 KNOW ALL MEN BY THESE PRESENTS: OB REAL ESTATE HOLDINGS 1692 LLC, A FLORIDA LIMITED LIABILITY COMPANY, THE OWNER OF THE LANDS DESCRIBED HEREON, HAS CAUSED SAID LANDS TO BE SUBDIVIDED AND PLATTED AS SHOWN HEREON, SAID PLAT TO BE KNOWN AS "CORAL RIDGE LZB", A REPLAT.
 THE ADDITIONAL ALLEY RIGHT-OF-WAY DEDICATION SHOWN HEREON, IS HEREBY DEDICATED TO THE PUBLIC FOR PROPER PURPOSES.

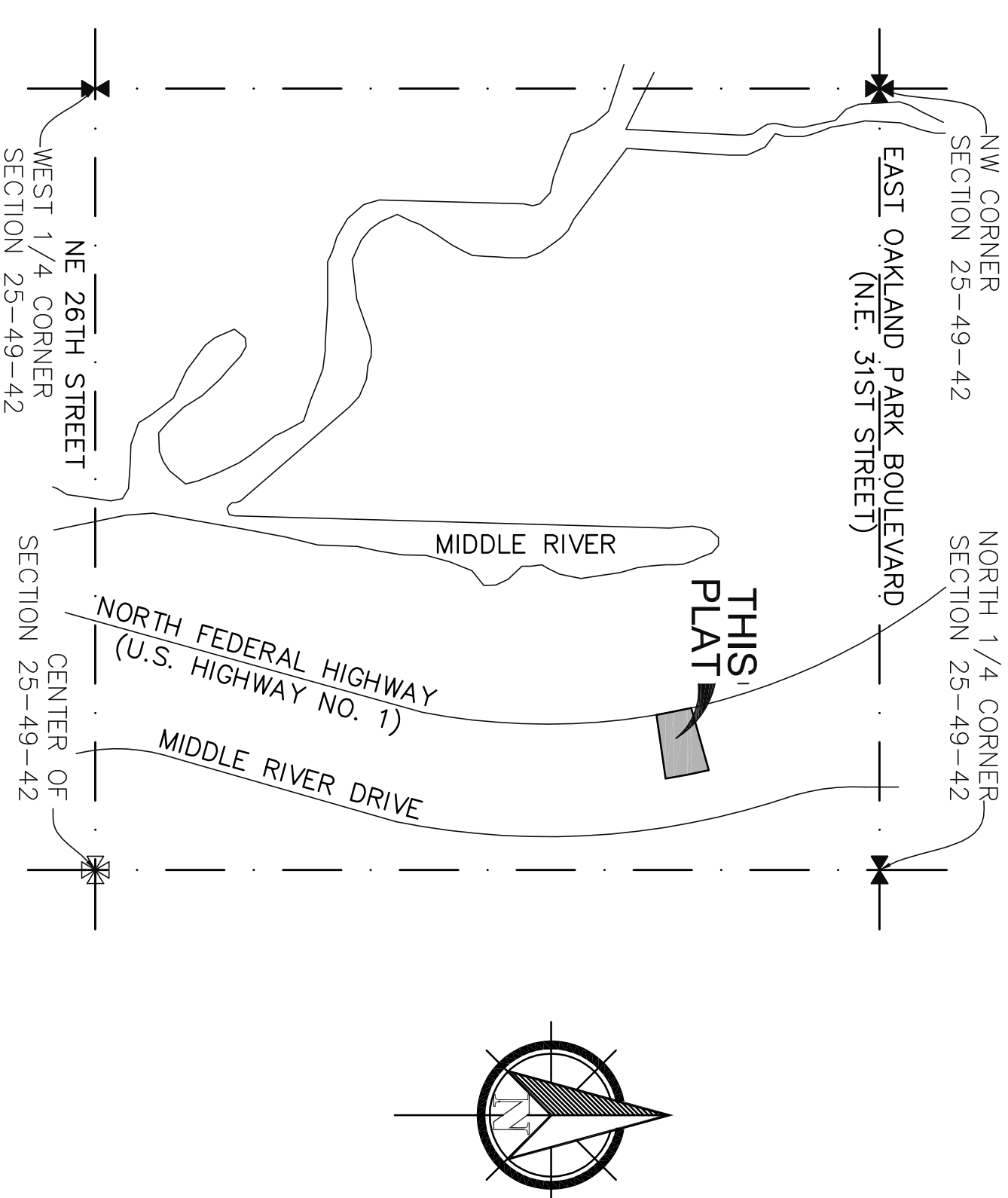
ACKNOWLEDGMENT:
 STATE OF FLORIDA S.S.
 COUNTY OF BROWARD
 I HEREBY CERTIFY THAT ON THIS DAY PERSONALLY APPEARED BEFORE ME, AN OFFICER DULY AUTHORIZED TO ADMINISTER OATHS AND TAKE ACKNOWLEDGMENTS, _____, A FLORIDA LIMITED COMPANY, TO BE THE PERSON DESCRIBED IN AND WHO ACKNOWLEDGED BEFORE ME THAT HE/SHE EXECUTED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN EXPRESSED, AND DID NOT TAKE AN OATH.

WITNESS: MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, A.D. 201__
 COMMISSION # _____
 MY COMMISSION EXPIRES: _____
 NOTARY PUBLIC, STATE OF FLORIDA
 PRINT NAME: _____

~~**MORTGAGEE CONSENT:**
 STATE OF _____ S.S.
 COUNTY OF _____
 KNOW ALL MEN BY THESE PRESENTS: THAT MORTGAGE DATED _____, 201__, FILED IN OFFICIAL RECORDS BOOK PAGE _____ OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, DOES HEREBY CONSENT TO AND JOIN IN THE MAKING AND FILING FOR RECORD OF THE ATTACHED "CORAL RIDGE LZB", AND TO THE DEDICATIONS AS SHOWN HEREON.~~

~~IN WITNESS, THE UNDERSIGNED HAVE HERETO SET THEIR HANDS AND THE CORPORATE SEAL AFFIXED THERETO THIS _____ DAY OF _____, A.D. 201__
 WITNESS: _____ BY: _____
 PRINT NAME: _____ PRINT NAME: _____
 WITNESS: _____ TITLE: _____
 PRINT NAME: _____~~

~~**ACKNOWLEDGMENT OF MORTGAGEE:**
 STATE OF _____ S.S.
 COUNTY OF _____
 I HEREBY CERTIFY THAT ON THIS DAY PERSONALLY APPEARED BEFORE ME _____ OF _____, TO ME WELL KNOWN TO BE THE PERSON DESCRIBED AND DID NOT TAKE AN OATH AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND WHO ACKNOWLEDGED BEFORE ME THAT HE/SHE EXECUTED THE SAME FREELY AND VOLUNTARILY, AND SIGNATURE HAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, A.D. 201__
 WITNESS: MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, A.D. 201__~~



LOCATION MAP
 NW 1/4 SECTION 25-49-42
 NOT TO SCALE

SURVEYOR'S CERTIFICATION:
 I HEREBY CERTIFY THAT THE ATTACHED PLAT IS A TRUE AND CORRECT REPRESENTATION OF THE LAND RECENTLY SURVEYED, SUBDIVIDED AND PLATTED UNDER MY RESPONSIBLE PROFESSIONAL SUPERVISION, THAT SAID SURVEY COMPLES WITH THE APPLICABLE PROVISIONS OF CHAPTER 177, PART 1, FLORIDA ADMINISTRATIVE CODE AND FURTHER THAT THE PERMANENT REFERENCE MONUMENTS WERE SET THIS 22ND DAY OF AUGUST, A.D. 2016, IN ACCORDANCE WITH SECTION 177.091 OF SAID CHAPTER 177, PERMANENT CONTROL POINTS WILL BE SET WITHIN ONE YEAR OF THE DATE THIS PLAT IS RECORDED OR PRIOR TO THE EXPIRATION OF THE BOND OR OTHER SURETY INSURING CONSTRUCTION OF THE REQUIRED SUBDIVISION IMPROVEMENTS.

BERTH BURNS
 PROFESSIONAL SURVEYOR AND MAPPER NO. L56136
 5381 NOB HILL ROAD
 SUNRISE, FLORIDA
 CERTIFICATE OF AUTHORIZATION NUMBER LB3870

OB REAL ESTATE HOLDINGS 1692 LLC A FLORIDA LIMITED LIABILITY COMPANY	DEDICATION	MORTGAGEE	MORTGAGEE	PLATTING SURVEYOR	CITY OF FORT LAUDERDALE	COUNTY SURVEYOR	COUNTY ENGINEER
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CITY COMMISSION:
 THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN ACCEPTED AND APPROVED FOR RECORD BY THE CITY COMMISSION OF THE CITY OF FORT LAUDERDALE, FLORIDA, IN AND BY RESOLUTION NO. _____ ADOPTED BY SAID CITY COMMISSION THIS _____ DAY OF _____, A.D. 201__
 IN WITNESS WHEREOF, THE SAID CITY COMMISSION HAS CAUSED THESE PRESENTS TO BE ATTESTED BY ITS CITY CLERK AND THE CORPORATE SEAL OF SAID CITY TO BE AFFIXED THIS _____ DAY OF _____, A.D. 201__
 NO BUILDING PERMITS SHALL BE ISSUED FOR THE CONSTRUCTION, EXPANSION, AND/OR CONVERSION OF ANY BUILDING OR PLAT THEREON UNTIL THE CITY ENGINEER PROVIDES THIS MUNICIPALITY WITH WRITTEN CONFORMANCE FROM BROWARD COUNTY THAT ALL APPLICABLE CONCURRENCY/IMPACT FEES HAVE BEEN PAID OR ARE NOT DUE.

BY: _____ CITY CLERK DATE _____
CITY PLANNING AND ZONING BOARD:
 THIS IS TO CERTIFY THAT THE CITY PLANNING AND ZONING BOARD APPROVED AND ACCEPTED THIS PLAT FOR RECORD ON THE _____ DAY OF _____, A.D. 201__
 BY: _____ CHAIR DATE _____
 CITY OF FORT LAUDERDALE

CITY ENGINEER:
 I HEREBY APPROVE THIS PLAT FOR RECORD THIS _____ DAY OF _____, A.D. 201__
 BY: _____ HARDEEP ANAND
 CITY OF FORT LAUDERDALE
 FLORIDA PROFESSIONAL ENGINEER
 REGISTRATION NO. 57380
 STATE OF FLORIDA

BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT:
 THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD THIS _____ DAY OF _____, A.D. 201__
 BY: _____ DIRECTOR/DESIGNEE _____

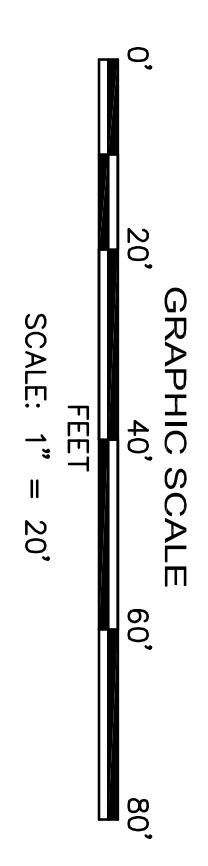
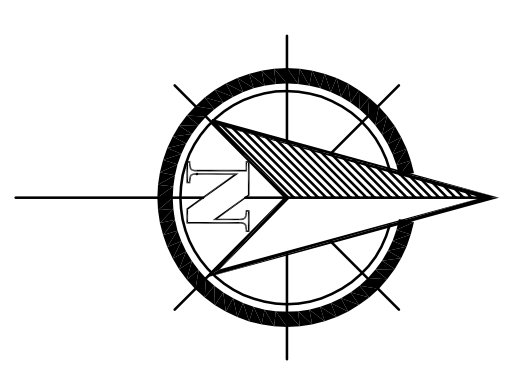
BROWARD COUNTY PLANNING COUNCIL:
 THIS IS TO CERTIFY THAT THE BROWARD COUNTY PLANNING COUNCIL APPROVED THIS PLAT SUBJECT TO ITS COMPLIANCE WITH THE DEDICATION OF RIGHTS-OF-WAY FOR TRAFFICWAYS THIS _____ DAY OF _____, A.D. 201__
 BY: _____ CHAIRPERSON _____

THIS PLAT COMPLES WITH THE APPROVAL OF THE BROWARD COUNTY PLANNING COUNCIL OF THE ABOVE DATE AND IS APPROVED AND ACCEPTED FOR RECORD THIS _____ DAY OF _____, A.D. 201__
 BY: _____ EXECUTIVE DIRECTOR OR DESIGNEE _____

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY RECORDS DIVISION - MINUTES SECTION:
 THIS IS TO CERTIFY THAT THIS PLAT COMPLES WITH THE PROVISIONS OF CHAPTER 177, FLORIDA STATUTES AND WAS ACCEPTED FOR RECORD BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, THIS _____ DAY OF _____, A.D. 201__
 ATTEST: BERTHA HENRY, COUNTY ADMINISTRATOR
 BY: _____ DEPUTY _____ BY: _____ MAYOR, COUNTY COMMISSION _____

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY RECORDS DIVISION - RECORDING SECTION:
 THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY WITH CHAPTER 177, PART 1, FLORIDA STATUTES AND APPROVED AND ACCEPTED FOR RECORD.
 BY: _____ ROBERT P. LEGG, JR.
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION NUMBER LS4030
 DATE: _____
 BY: _____ RICHARD TORNESE
 DIRECTOR OF ENGINEERING
 FLORIDA PROFESSIONAL
 ENGINEER REGISTRATION NO. 40263
 DATE: _____

PLANNING FILE NO. 023-MP-15



"CORAL RIDGE L2B"

A REPLAT OF LOT 2, LESS THE SOUTH 141.00 FEET, BLOCK 61 OF "CORAL RIDGE GALT ADDITION NO. 1", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 31, PAGE 37, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA
SECTION 25, TOWNSHIP 49 SOUTH, RANGE 42 EAST
CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA

PREPARED BY
PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
954-572-1777
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FAX NO. 954-572-1778
OCTOBER, 2014

SURVEYOR'S NOTES:

1) THIS PLAT IS RESTRICTED TO 14,000 SQUARE FEET OF COMMERCIAL USE. NO FREE STANDING OR DRIVE-THRU BANK FACILITIES ARE PERMITTED WITHOUT THE APPROVAL OF THE BOARD OF COUNTY COMMISSIONERS WHO SHALL REVIEW AND ADDRESS THESE USES FOR INCREASED IMPACTS. ANY STRUCTURE WITHIN THIS PLAT MUST COMPLY WITH SECTION IV D.1./1. DEVELOPMENT REVIEW REQUIREMENTS, OF THE BROWARD COUNTY LAND USE PLAN, REGARDING HAZARDS TO AIR NAVIGATION.

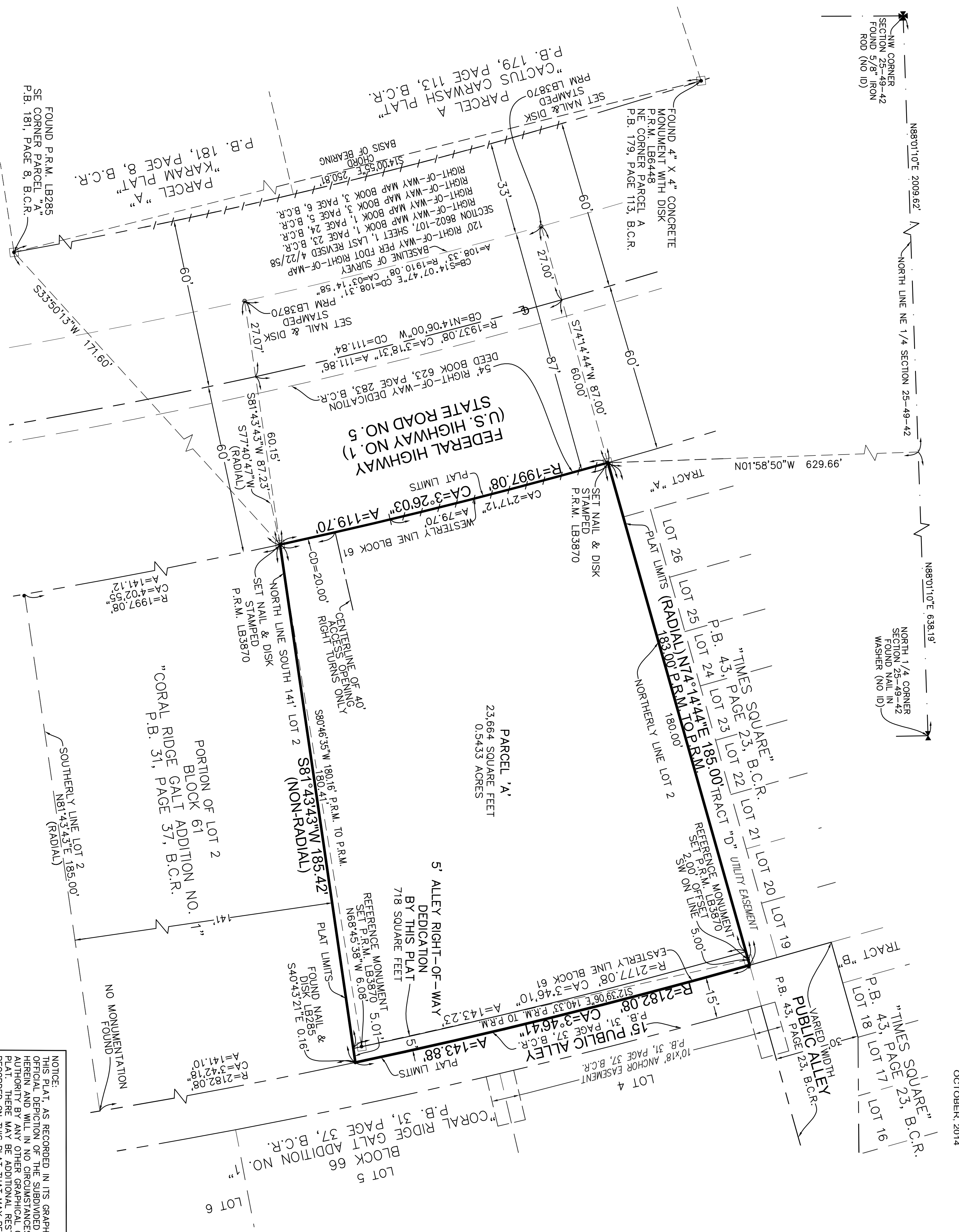
2) BEARINGS ARE ASSUMED AND BASED ON A CHORD BEARING OF S14.00°55'E BETWEEN THE NE CORNER OF PARCEL "A", PLAT BOOK 181, PAGE 8, AS REFERENCED BY FOUND MONUMENTATION AS SHOWN HEREON.

3) A) IF A BUILDING PERMIT FOR A PRINCIPAL BUILDING (EXCLUDING DRY MODELS, SALES AND CONSTRUCTION OFFICES) AND FIRST INSPECTION APPROVAL ARE NOT ISSUED BY DECEMBER 8, 2020, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY OR THE AGENT OF THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME. AND/OR

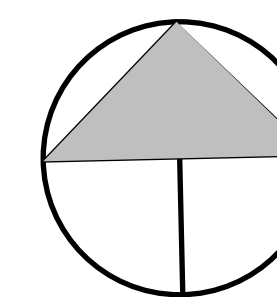
B) IF CONSTRUCTION OF PROJECT WATER LINES, SEWER LINES, DRAINAGE AND THE ROCK BASE FOR INTERNAL ROADS HAVE NOT BEEN SUBSTITUTED AND COMPLETED BY DECEMBER 8, 2020, THEN THE COUNTY'S FINDING OF ADEQUACY SHALL EXPIRE AND NO ADDITIONAL BUILDING PERMITS SHALL BE ISSUED UNTIL SUCH TIME AS BROWARD COUNTY SHALL MAKE A SUBSEQUENT FINDING THAT THE APPLICATION SATISFIES THE ADEQUACY REQUIREMENTS SET FORTH WITHIN THE BROWARD COUNTY LAND DEVELOPMENT CODE. THE OWNER OF THE PROPERTY OR THE AGENT OF THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING EVIDENCE TO BROWARD COUNTY FROM THE APPROPRIATE GOVERNMENTAL ENTITY, DOCUMENTING COMPLIANCE WITH THIS REQUIREMENT WITHIN THE ABOVE REFERENCED TIME FRAME.

4) THE FOLLOWING NOTE IS REQUIRED BY THE BROWARD COUNTY SURVEYOR PURSUANT TO CHAPTER 177.091, SUBSECTION (28), FLORIDA STATUTES, PLATTED UTILITY EASEMENTS ARE ALSO EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES, PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE OPERATION OF ANY OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS NOTE DOES NOT APPLY TO PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY, SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRIC SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.

- LEGEND:**
- P.R.M. □ DENOTES: PERMANENT REFERENCE MONUMENTS (4"x4"x24" CONCRETE MONUMENTS WITH 2" ALUMINUM DISK STAMPED WITH PERMANENT BUSINESS CONTROL NUMBER AND BRASS WASHER STAMPED "POP LB3870" UNLESS OTHERWISE NOTED)
 - P.C.P. ● DENOTES: PERMANENT REFERENCE MONUMENTS (1/2" DIA. BRASS WASHER STAMPED "POP LB3870" UNLESS OTHERWISE NOTED)
 - LB DENOTES: LICENSED BUSINESS
 - P.B. DENOTES: PLAT BOOK
 - Pg DENOTES: PAGE
 - ⊕ DENOTES: CENTERLINE
 - /— DENOTES: NON-VEHICULAR ACCESS LINE
 - FDOT DENOTES: FLORIDA DEPARTMENT OF TRANSPORTATION
 - R DENOTES: RADIUS
 - CA DENOTES: CENTRAL ANGLE
 - A DENOTES: ARC LENGTH
 - CB DENOTES: CHORD BEARING
 - CD DENOTES: CHORD DISTANCE
 - B.C.R. DENOTES: BROWARD COUNTY RECORDS
 - ID DENOTES: IDENTIFICATION
 - ⊠ DENOTES: QUARTER SECTION CORNER
 - ⊡ DENOTES: SECTION CORNER



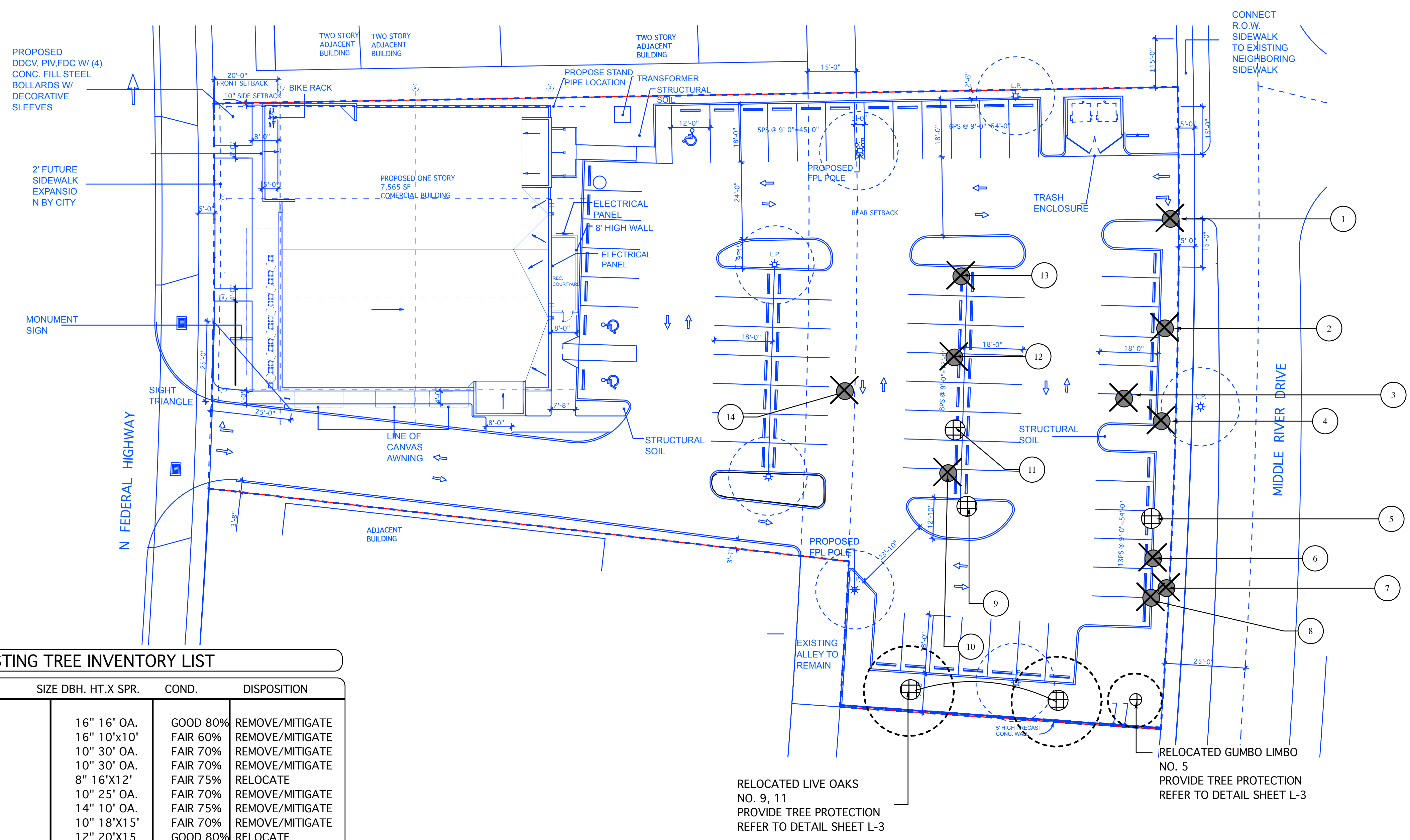
NOTE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL, IN NO CIRCUMSTANCES BE SUPERPLANTED IN AUTHORITY BY ANY OTHER GRAPHICAL OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.



NORTH

LA-666695 ISA-0827A
 1026 rd 45th street
 orlando fl 32834
 tel. 954-763-4071
 954-763-1071
 2 - midgroupinc@fham.com
 midgroupinc.com

landscape architecture



EXISTING TREE INVENTORY LIST

TREE NO.	COMMON NAME	SIZE DBH. HT.X SPR.	COND.	DISPOSITION
1.	SABAL PALM	16" 16' OA.	GOOD 80%	REMOVE/MITIGATE
2.	PITCH APPLE	16" 10'x10'	FAIR 60%	REMOVE/MITIGATE
3.	SABAL PALM	10" 30' OA.	FAIR 70%	REMOVE/MITIGATE
4.	SABAL PALM	10" 30' OA.	FAIR 70%	REMOVE/MITIGATE
5.	GUMBO LIMBO	8" 16'x12'	FAIR 75%	RELOCATE
6.	SABAL PALM	10" 25' OA.	FAIR 70%	REMOVE/MITIGATE
7.	SABAL PALM	14" 10' OA.	FAIR 75%	REMOVE/MITIGATE
8.	PITCH APPLE	10" 18'x15'	FAIR 70%	REMOVE/MITIGATE
9.	LIVE OAK	12" 20'x15'	GOOD 80%	RELOCATE
10.	SABAL PALM	10" 25' OA.	FAIR 70%	REMOVE/MITIGATE
11.	LIVE OAK	13" 20'x15'	GOOD 80%	RELOCATE
12.	SABAL PALM	10" 25' OA.	FAIR 70%	REMOVE/MITIGATE
13.	SABAL PALM	10" 25' OA.	FAIR 70%	REMOVE/MITIGATE
14.	SABAL PALM	14" 10' OA.	FAIR 75%	REMOVE/MITIGATE

NON SPECIMEN TREE CALIPER TO BE REMOVED = 26"
 PALMS TO BE REMOVED = 9
 TREES TO BE RELOCATED = (2) LIVE OAKS (1) GUMBO LIMBO
 SEE THIS SHEET AND L-1 FOR NEW LOCATIONS
 REFER TO SHEET L-1 FOR PROPOSED TREE AND MITIGATION DATA
 NOTE: NO TREES SHALL BE REMOVED OR RELOCATED WITHOUT A TREE REMOVAL PERMIT ISSUED BY THE CITY OF FORT LAUDERDALE

LEGEND

RELOCATED TREE
 EXISTING TREE/PALM TO RELOCATE
 EXISTING TREE/PALM TO REMOVE

REVISIONS:
 DRC REV: 3/2/17

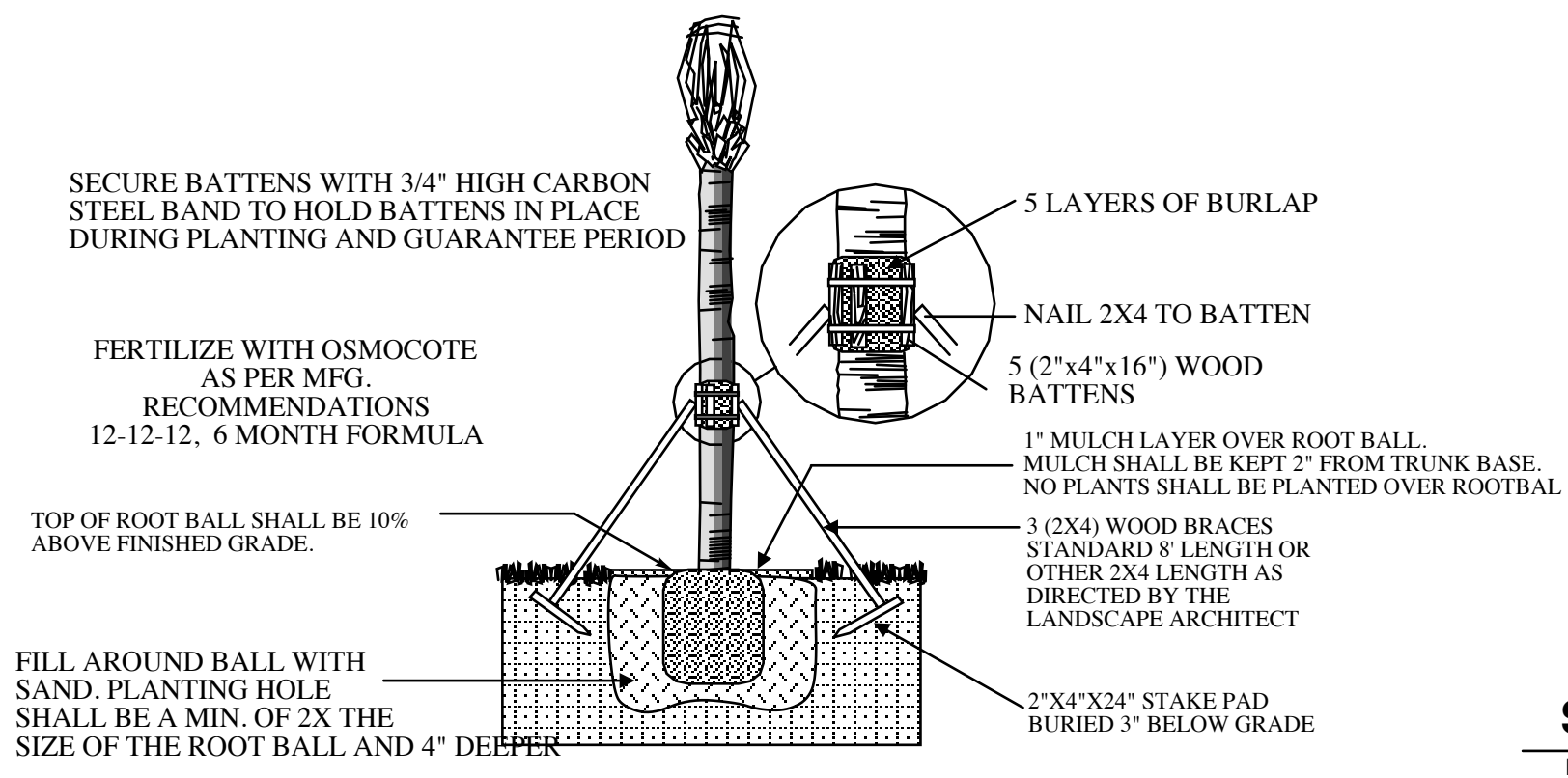
SHEET TITLE:
EXISTING TREE DISPOSITION PLAN

PROJECT:
2980 RETAIL BUILDING
 2890-2990 N. FEDERAL HWY.
 FT. LAUDERDALE FLORIDA

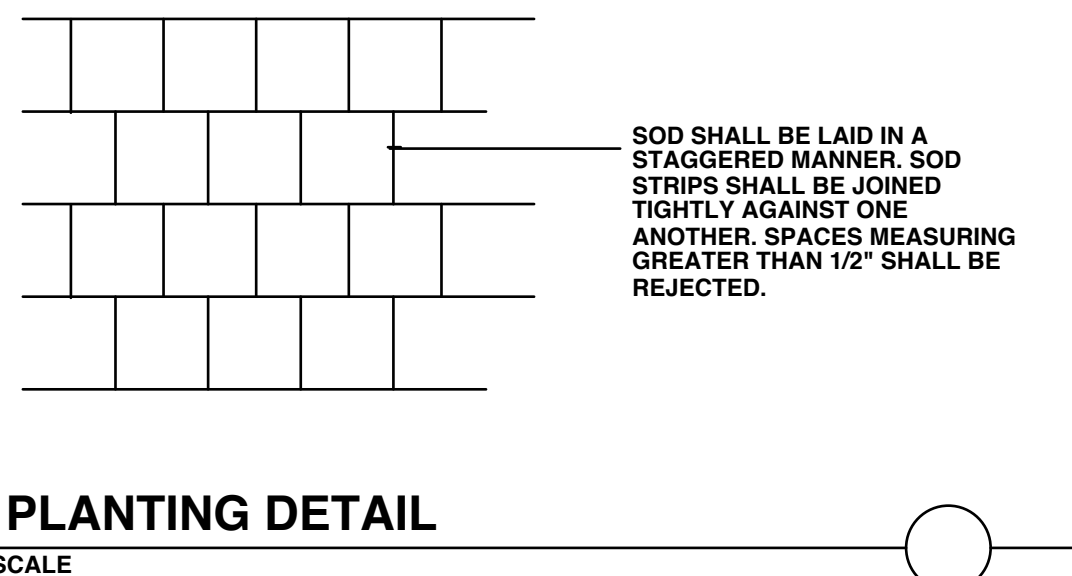
SEAL:
 SCALE: 1"=20'
 DATE DRAWN: 1-9-17
 SHEET NO.

L-2

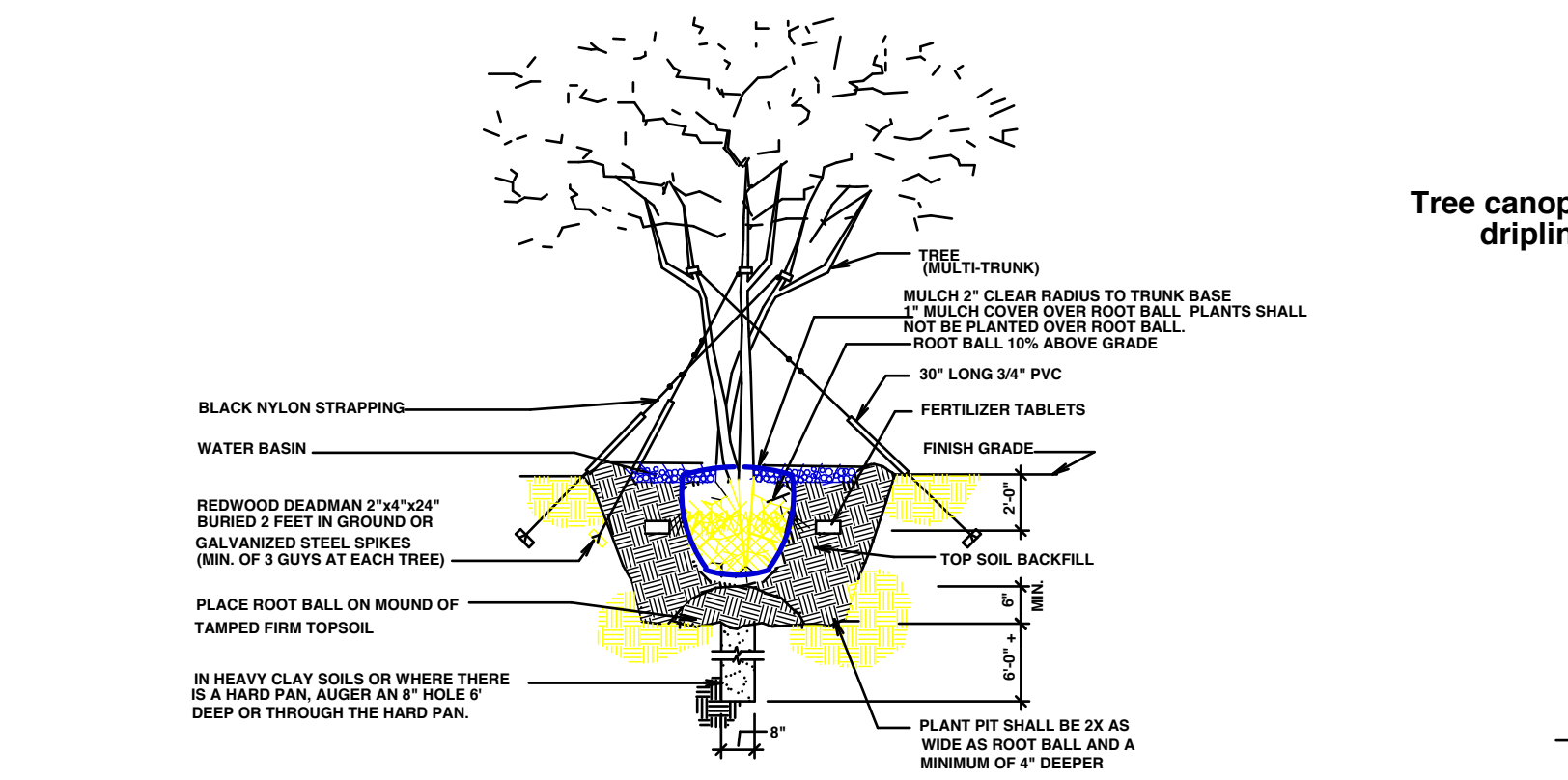
GENERAL LANDSCAPE NOTES



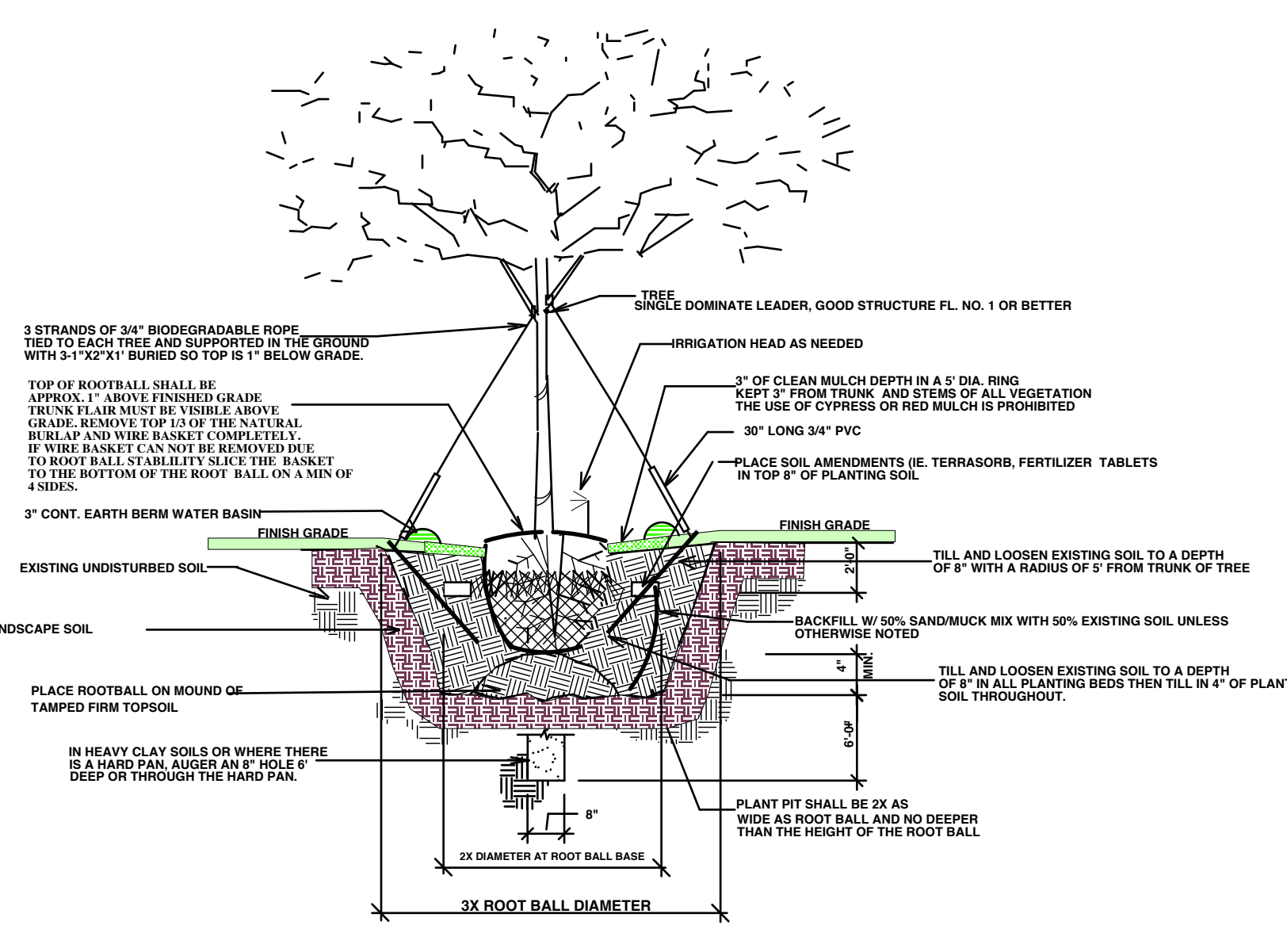
PALM PLANTING DETAIL
NOT TO SCALE



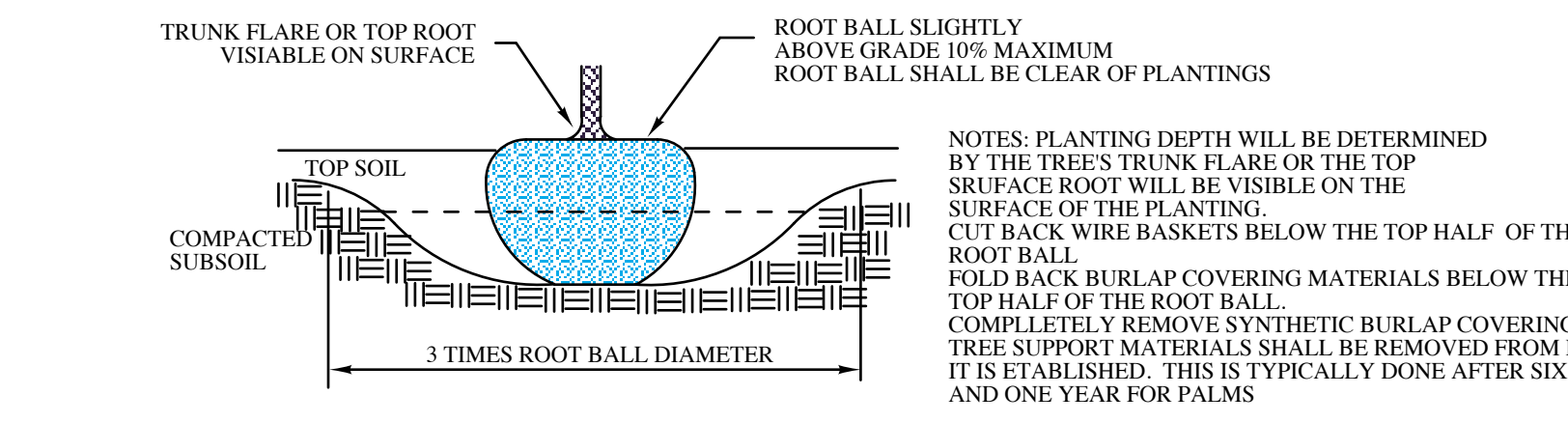
SOD PLANTING DETAIL
NOT TO SCALE



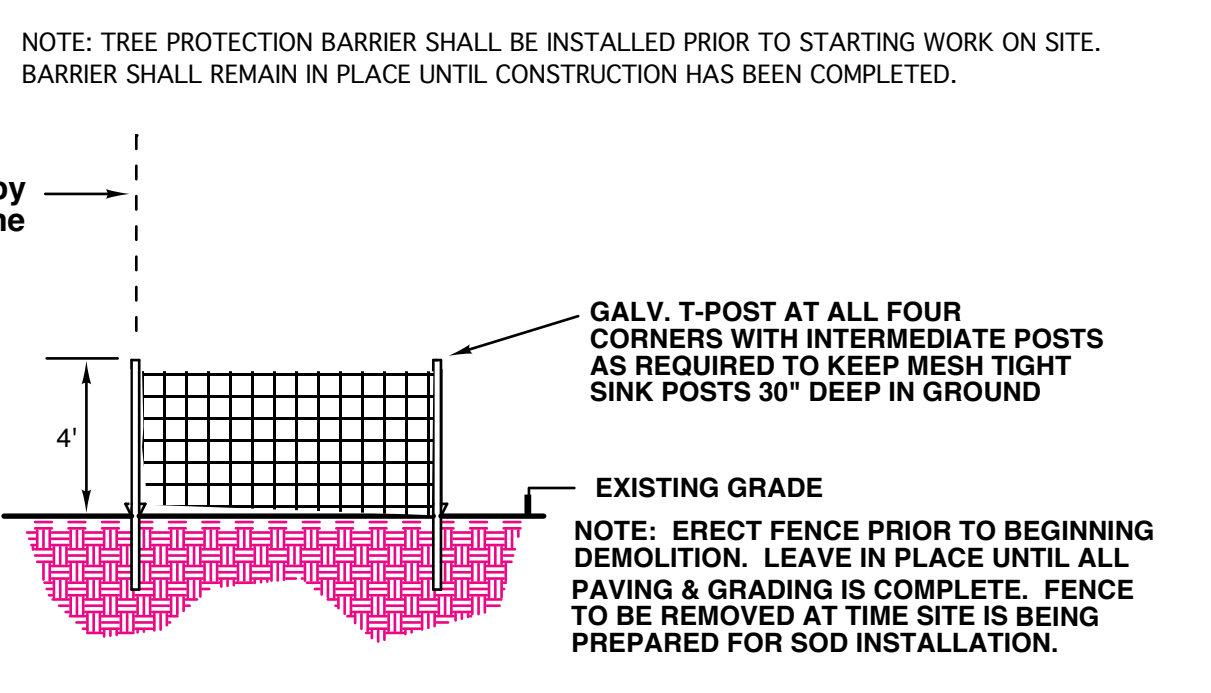
TREE GUYING AND PLANTING DETAIL
NOT TO SCALE



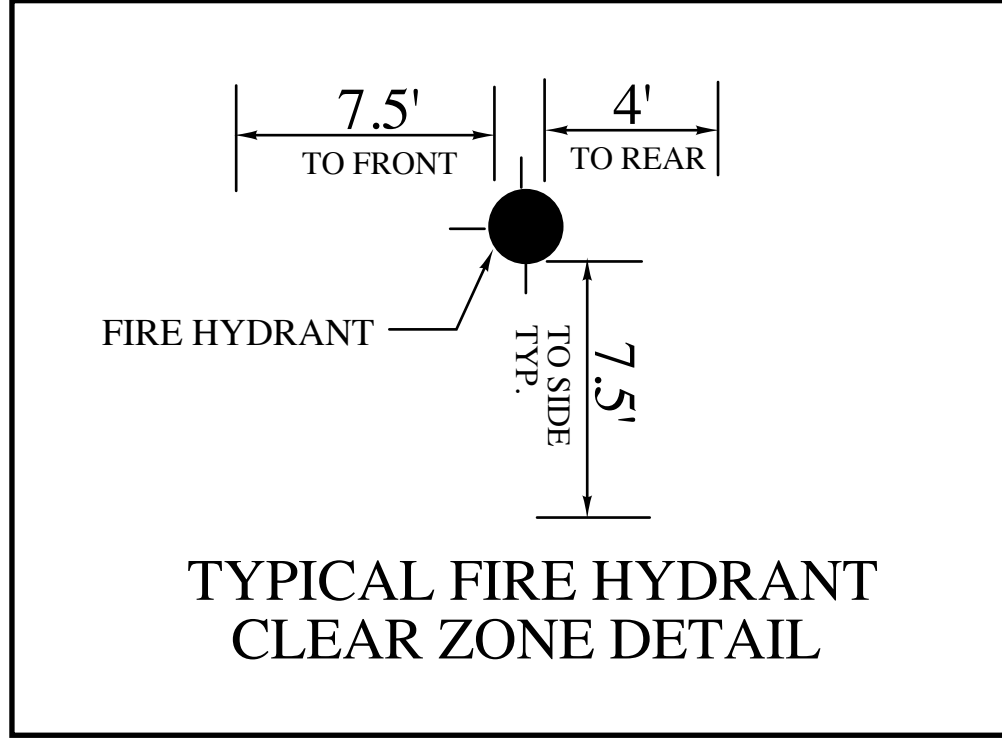
SINGLE TRUNK GUYING AND PLANTING DETAIL
NOT TO SCALE



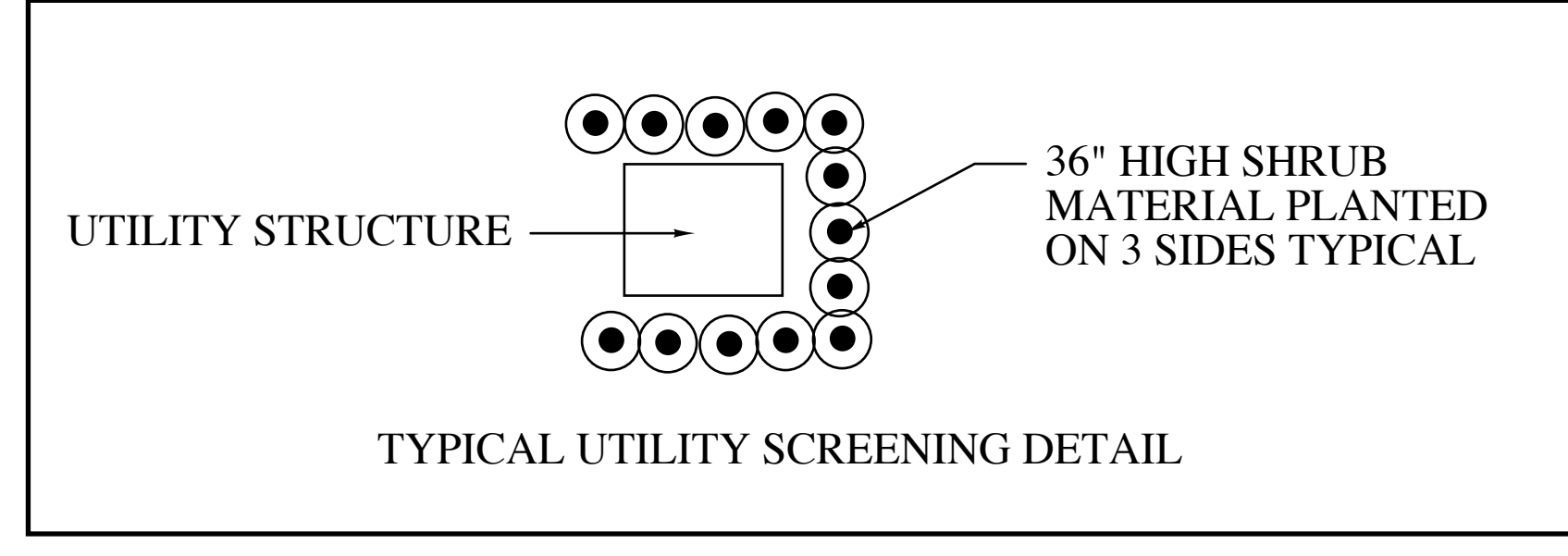
ROOT BALL DETAIL
NOT TO SCALE



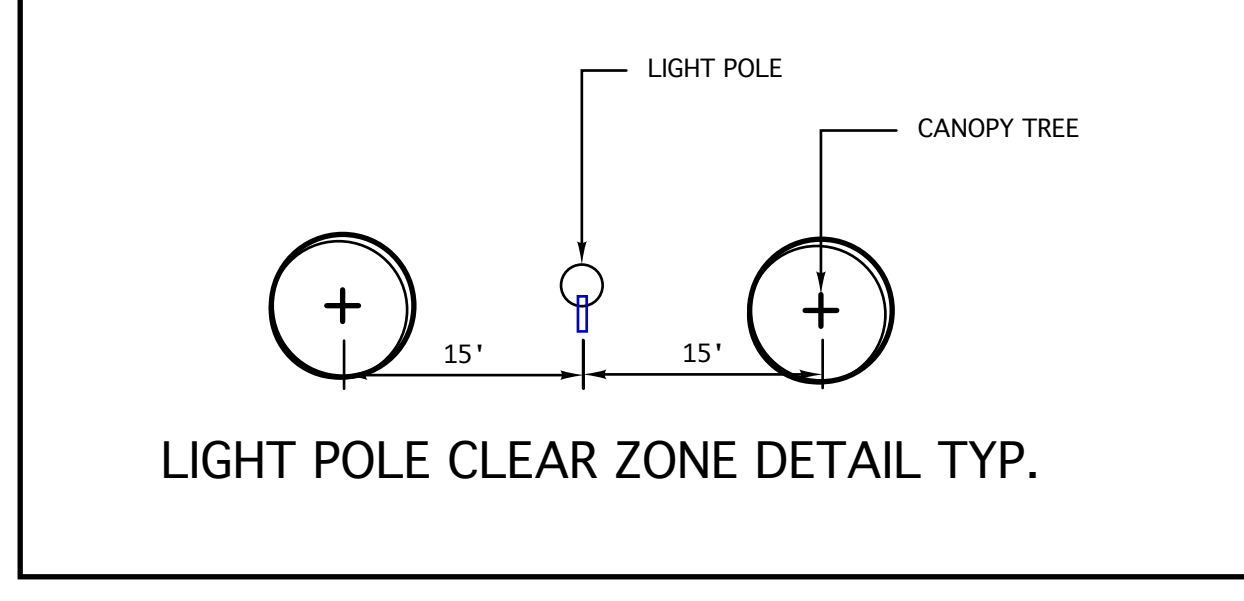
TREE PROTECTION/TEMPORARY BARRIER DETAIL
NOT TO SCALE



TYPICAL FIRE HYDRANT CLEAR ZONE DETAIL



TYPICAL UTILITY SCREENING DETAIL



LIGHT POLE CLEAR ZONE DETAIL TYP.

- CONTRACTOR SHOULD MAKE HIS OWN TAKE OFF TO ELIMINATE DISCREPANCIES. IN CASE THEY OCCUR, THE PLAN WILL TAKE PRECEDENCE OVER THE PLANT LIST.
- EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY. COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK.
- ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS" CURRENT EDITION RESPECTIVELY.
- ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE.
- ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (1 YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.
- ALL SOD TO BE ST. AUGUSTINE FLORATAM SOLID, UNLESS OTHERWISE NOTED.
- ALL BED AREAS TO RECEIVE A 3" LAYER OF EUCALYPTUS MULCH (FLORIMULCH) & SHALL BE A MIN. OF 1'-0" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE)
- ALL TREES TO HAVE A 2 1/2" MINIMUM TRUNK CALIPER OR UNLESS OTHERWISE SHOWN ON LANDSCAPE LEGEND.
- ALL TREES FIELD GROWN UNLESS OTHERWISE NOTED.
- LANDSCAPER TO FURNISH ALL MATERIAL AND LABOR INCLUDING, PLANTS, MULCH, TOP DRESSING, SOIL PREPARATION, DECORATIVE ITEMS (IF SHOWN), INSPECTIONS, TRANSPORTATION, WARRANTY, PERMIT, ETC. NECESSARY FOR COMPLETION OF ALL LANDSCAPING REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE OTHERS.
- LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY CHANGES IN THE MATERIAL OR DESIGN PRIOR TO INSTALLATION OF THE SAME.
- OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- LANDSCAPER SHALL HAVE A COMPETENT ENGLISH SPEAKING SUPERINTENDENT PRESENT ON THE JOB WHO SHALL BE AUTHORIZED TO REPRESENT THE LANDSCAPER IN HIS ABSENCE.
- PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, FREE FROM PLANT DISEASE, INSECT OR THEIR EGGS, THEY SHALL HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE: ALL PLANT MATERIALS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND INSTALLATION.
- PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY.
- OWNER RESERVES THE RIGHT TO APPROVE ALL PLANT MATERIALS.
- LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES WHILE WORK IS IN PROGRESS.
- THE LANDSCAPE CONTRACTOR SHALL LAY OUT HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITHIN PROPERTY LINES AND RECOGNIZING EASEMENTS. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT.
- METHODS OF PROTECTION SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK.
- PLANT MATERIAL ABBREVIATIONS ON THE PLANT LIST: FG (FIELD GROWN), CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BALL TO FIRST BRANCHING OR BASK OF THE LOWER FRONDS), GAL (GALLON CAN), 3 GAL (3 GALLON CAN), OA (INDICATES OVERALL HEIGHT FROM TOP OF BALL TO MID POINT OF CURRENT SEASON'S GROWTH), SPR (INDICATES SPREAD), HVY (INDICATED HEAVY), MIN (INDICATES MINIMUM).
- SUBSTITUTIONS: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZE SPECIFIED SHALL BE MADE PRIOR TO SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT AND THE GOVERNING MUNICIPALITY FOR APPROVAL. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
- THE CONTRACTOR'S GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, WINDSTORM, OR OTHER "ACTS OF GOD" OR DAMAGES TO LANDSCAPING IN PROGRESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.
- ALL TREES, PALMS AND OTHER PLANTS SHALL BE PLANTED WITH THE TOP OF THEIR ROOTBALLS NO DEEPER THAN THE FINAL GRADE SURROUNDING THE PLANTING AREA.
- DELIVERY RECEIPTS FOR TOP SOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR LANDSCAPE ARCHITECT UPON REQUEST.
- COMMERCIAL FERTILIZER FOR TREES, SHRUBS AND GROUND COVER
- COMMERCIAL FERTILIZER SHALL BE NUTRI PAK'S 3 YR. TIME RELEASE FERTILIZER PACKET DISTRIBUTED BY HORT-ENTERPRISES INC. EQUAL SUBSTITUTIONS MAY BE ACCEPTED
- NUTRI PAK FERTILIZER PACKETS ARE AVAILABLE IN SPECIAL NUTRIENT FORMULATIONS FOR SPECIFIC PLANT TYPES EG. TREES, SHRUBS, FLOWERING PLANTS, POTTED PLANTS AND PALMS.
- NEW TREE AND SHRUB APPLICATIONS: PLACE PACKET 6"-8" DEEP, SPACED EVENLY AROUND OUTER EDGES OF ROOTS 12 INCHES ON CENTER.

- PERENNIALS: PLACE PACKETS 6"-8" DEEP NEAR ROOTS ESTABLISHED PLANTINGS:
- MATURE PLANTINGS:
TREES: USE 1 PACKET PER INCH OF TRUNK DIAMETER SPACED EVENLY AROUND DRIP LINE BURY 6"-8" BELOW SOIL IN UPRIGHT POSITION. TAP HOLE CLOSED WITH HEEL OF YOUR FOOT.
SHRUBS: USE 1 PACKET FOR EVERY 12 INCHES OF HEIGHT OR SPREAD.
- GENERAL SLOW RELEASE FERTILIZERS MAY BE APPLIED WITH LOW OR NO PHOSPHORUS SUCH AS A 13-0-13 LOW PHOSPHORUS SHALL MEAN 2% OR LESS.
APPLICATION RATES SHALL BE ADHERED TO AS WRITTEN ON THE PRODUCT LABEL. POSTPONE FERTILIZING WHEN ONE INCH OR MORE OF RAIN IS EXPECTED.
- SUPER ABSORBENT POLYMER "TERRA SORB" OR APPROVED EQUAL AS PACKAGED IN 3 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRYLAMIDE COPOLYMER, POTASSIUM, AND ACRYLATE. PARTICLE SIZE OF 1.0 MM TO 3.0 MM AND ABSORPTION RATE OF 300 TIMES ITS WEIGHT IN WATER. APPLY DRY USING THE FOLLOWING AMOUNT:
1 PAC PER TREE - 36" BALL SIZE
2 PAC PER TREE - OVER 36" BALL SIZE
1 PAC PER 20 GAL. CONTAINER
0.5 PACS PER 7-10 GAL. CONTAINER
0.25 PACS PER 3 GAL. CONTAINER
0.12 PACS PER 1 GAL. CONTAINER
- LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION AND UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
 - PLANTING SOIL: PLANTING SHALL BE COMPOSED OF 50% SAND AND 50% DECOMPOSED ORGANIC MATTER. ANY VARIATIONS IN THIS COMPOSITION SHALL BE APPROVED BY THE OWNER PRIOR TO USE. PLANTING SOIL SHALL BE FREE OF STONE, PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE HINDRANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRIABLE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATION
 - WATER FOR PLANTING WILL BE AVAILABLE AT THE SITE AND WILL BE PROVIDED BY THE OWNER
 - PRUNING: REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIALS. PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL SPECIES, RETAINING AS MUCH HEIGHT AND SPREAD AS POSSIBLE. MAKE ALL PRUNING CUTS WITH A SHARP INSTRUMENT, FLUSH WITH THE TRUNK OR ADJACENT BRANCH IN SUCH A MANNER AS TO ENSURE ELIMINATION OF STUBS. "HEADBACK" CUTS, RIGHT ANGLE TO LINE OF GROWTH WILL NOT BE PERMITTED AND TREES WILL NOT BE POLED, TOPPED, OR HATRACKED.
 - SITE PREPARATION: IT SHALL BE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS TO BE SODDED (PRIOR TO APPLICATION OF SOD) ELIMINATING ALL BUMPS, DEPRESSIONS, STICKS, STONES AND OTHER DEBRIS TO THE SATISFACTION OF THE OWNER
 - MAINTENANCE: MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ALL PLANTING HAS PASSED FINAL INSPECTION AND ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIALS, RESETTling PLANTS TO PROPER GRADES OR UPRIGHT POSITION AND RESTORATION OF THE PLANTING SAUCER AND ANY OTHER NECESSARY OPERATION. PROPER PROTECTION TO LAWN AREAS SHALL BE PROVIDED AND ANY DAMAGE RESULTING FROM PLANTING OPERATIONS SHALL BE REPAIRED PROMPTLY
 - (NOTE: SABAL PALMETTO/CABBAGE PALM SPECIES) THE BRANCHES TOGETHER WITH BIO-DEGRADABLE TWINE TO TIGHT BUNDLE AROUND BUD FOR PROTECTION
 - MULCH: MULCH MAY BE USED WITHIN PLANTING BEDS IN CONJUNCTION WITH GROUND COVER. MULCH SHALL BE RENEWED AND MAINTAINED AS REQUIRED TO MAINTAIN A THREE- INCH DEPTH AT THE TIME OF FINAL INSPECTION. MULCH AROUND TREE ROOT BALLS NOT PLANTED IN PLANTING AREA SHALL BE THREE INCHES DEEP AT THE PERIMETER OF THE ROOT BALL.
 - GRASS: AREAS WITHIN THE LANDSCAPE EASEMENT NOT USED FOR TREES, SHRUBS, GROUND COVER, MULCH, OR OTHER LANDSCAPE ELEMENTS SHALL BE PLANTED WITH SOLID SOD OF ST. AUGUSTINE FLORATAM OR PLETMETTO AND SHALL BE IRRIGATED
 - EXCAVATION REQUIREMENT: REQUIRED: ISLANDS SHALL BE EXCAVATED TO 36 INCHES, AND FILLED WITH CLEAN FILL AND TOPSOIL TO A LEVEL 3" BELOW TOP OF THE CURB. MANIPULATION OF THE GRADE BEHIND THE CURBING TO CREATE SMALL SCALE MOUNDING IS ENCOURAGED. ALL LANDSCAPED PLANTING BEDS SHALL BE EXCAVATED TO A DEPTH OF 6" AND REPLACED WITH CLEAN FILL A MIN 2" OF TOPSOIL. SHALL BE INSTALLED BELOW ALL SODDED AREAS.
 - A LANDSCAPE PERMITS SHALL BE VERIFIED AND OBTAINED BY THE LANDSCAPE CONTRACTOR. NO TREES OR OTHER PLANT MATERIAL MAY BE PLANTED IN PUBLIC RIGHTS-OF-WAY (SWALE AREAS) WITHOUT PERMIT FROM THE CITY. NO SHRUB SPECIES WITH A MATURE HEIGHT THAT WILL BLOCK THE CLEAR SIGHT ZONE FROM 30 INCHES IN HEIGHT TO SIX FEET IN EIGHT WILL BE APPROVED IN SWALE AREAS.
 - TOPSOIL SHALL BE CLEAN AND FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, NOXIOUS PESTS AND DISEASES, AND EXHIBIT A PH OF 6.5 TO 7.0. THE TOPSOIL FOR PLANTING AREAS SHALL BE AMENDED WITH HORTICULTURALLY ACCEPTABLE ORGANIC MATERIAL. ALL SOIL USED SHALL BE SUITABLE FOR THE INTENDED PLANT MATERIAL. THE SOURCE OF THE TOPSOIL SHALL BE KNOWN TO THE APPLICANT AND SHALL BE ACCEPTABLE TO THE GOVERNING MUNICIPALITY.
 - MINIMUM SOIL DEPTH: REQUIRED: THE MINIMUM PLANTING SOIL DEPTH SHALL BE SIX INCHES FOR GROUND COVERS, FLOWERS, SHRUBS AND HEDGES.
 - ROOTBALL SOIL: REQUIRED: TREES SHALL RECEIVE 12 INCHES OF PLANTING SOIL AROUND THE ROOT BALL.
 - NATIVE SOIL: REQUIRED: NATIVE TOPSOIL ON THE SITE SHALL BE RETAINED ON-SITE AND USED WHEN THERE IS SUFFICIENT QUANTITY TO COVER AT LEAST SOME OF THE ON-SITE LANDSCAPED AREAS.
 - ARID PLAINS: REQUIRED: CLEAN SAND SHALL BE USED TO BACKFILL ARID CLIMATE PALMS.
 - USE OF ORGANIC MULCHES: A TREE-INCH MINIMUM THICKNESS OF APPROVED ORGANIC MULCH MATERIAL, AT THE TIME OF FINAL INSPECTION, SHALL BE INSTALLED IN ALL LANDSCAPE AREAS NOT COVERED BY BUILDING, PAVEMENT, SOD, DECORATIVE STONES, PRESERVED AREAS AND ANNUAL FLOWER BEDS. EACH TREE SHALL HAVE A RING OF ORGANIC MULCH AT THE PERIMETER OF THE ROOT BALL.
 - ALL SHADE TREES INSTALLED WITHIN SIX FEET OF PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM AS APPROVED BY THE CITY.
 - THE ERADICATION OF NUISANCE VEGETATION (EXOTICS: ALL INVASIVE AND EXOTIC VEGETATION SHALL BE REMOVED FROM SITE INCLUDING WITHIN ABUTTING RIGHTS-OF-WAY.
 - SHRUBS SHALL BE CONSIDERED IN ACCORDANCE WITH STANDARDS SET FORTH BY THE GOVERNING MUNICIPALITY.
 - HEDGES: WHERE REQUIRED SHALL BE PLANTED SO AS TO BE TIP TO TIP AT TIME OF PLANTING AND MAINTAINED SO AS TO FORM A CONTINUOUS VISUAL SCREEN. SHRUBS USED AS HEDGES SHALL BE FLORIDA DEPARTMENT OF AGRICULTURE GRADE No. 1 OR BETTER WITH A MINIMUM HEIGHT OF 24 INCHES AND MINIMUM SPREAD OF 18 INCHES WHEN MEASURED IMMEDIATELY AFTER PLANTING AND SHALL BE A MINIMUM OF THREE FEET IN HEIGHT WITHIN TWO YEARS FROM THE DATE OF PLANTING. HEDGES SHALL BE PLANTED WITH BRANCHES TOUCHING WITHIN SIX MONTHS OF PLANTING SO AS TO CREATE A SOLID SCREEN WITH NO VISUAL SPACES BETWEEN PLANTS AT THIS TIME. PLANT SPACING MAY BE ADJUSTED ACCORDING TO PLANT SIZES SO LONG AS THE PROCEEDING IS ACHIEVED

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L3A
landscape architecture

REVISIONS:
DRC REV: 3/2/17

SHEET TITLE:
**LANDSCAPE
DETAILS AND
SPECIFICATIONS**

PROJECT:
2980 RETAIL BUILDING
2890-2990 N. FEDERAL HWY.
FT. LAUDERDALE FLORIDA

SCALE: 1"=20'

DATE DRAWN: 1-9-17

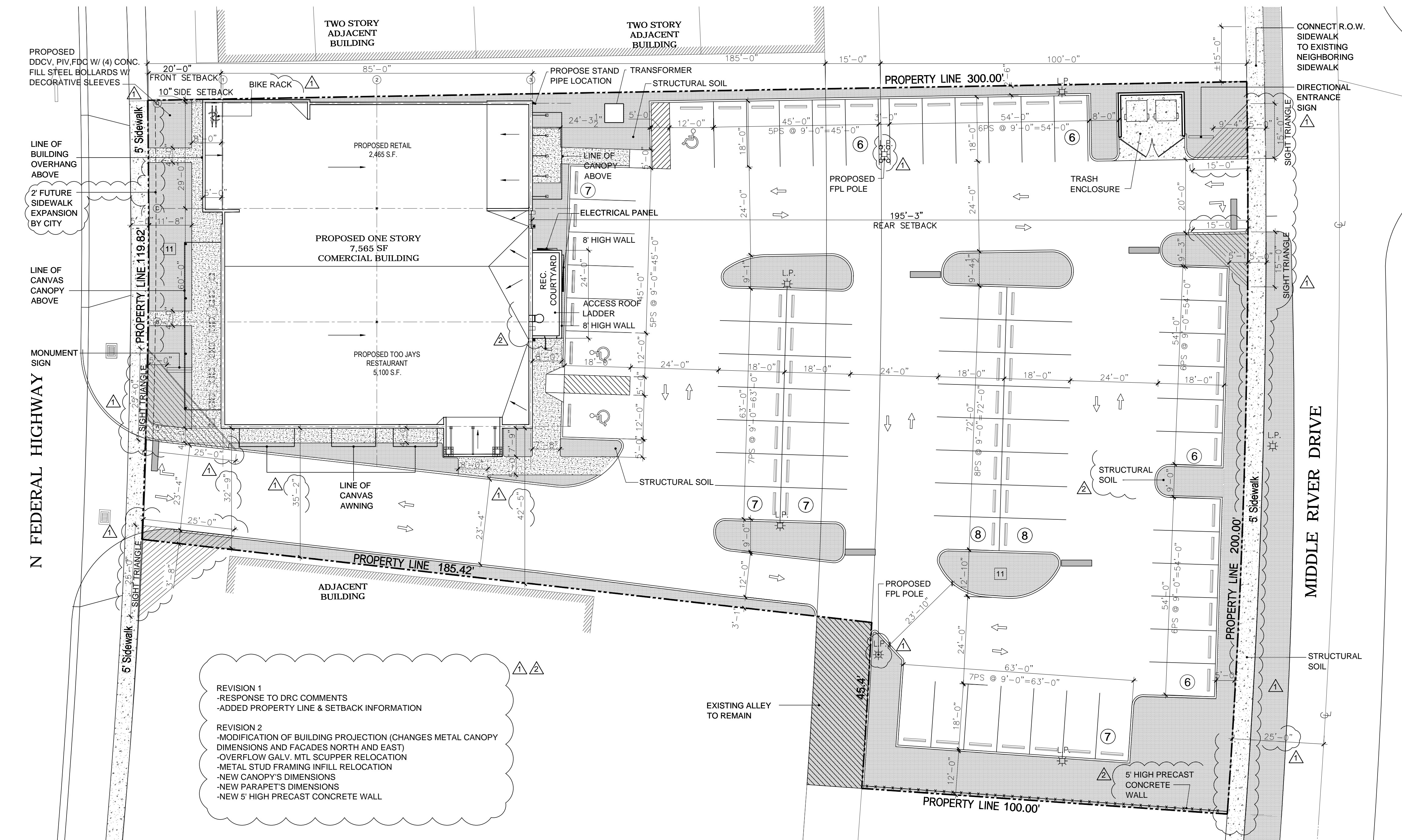
SHEET NO.
L-3

of-3



PROJECT SITE

LOCATION MAP
SCALE: NTS

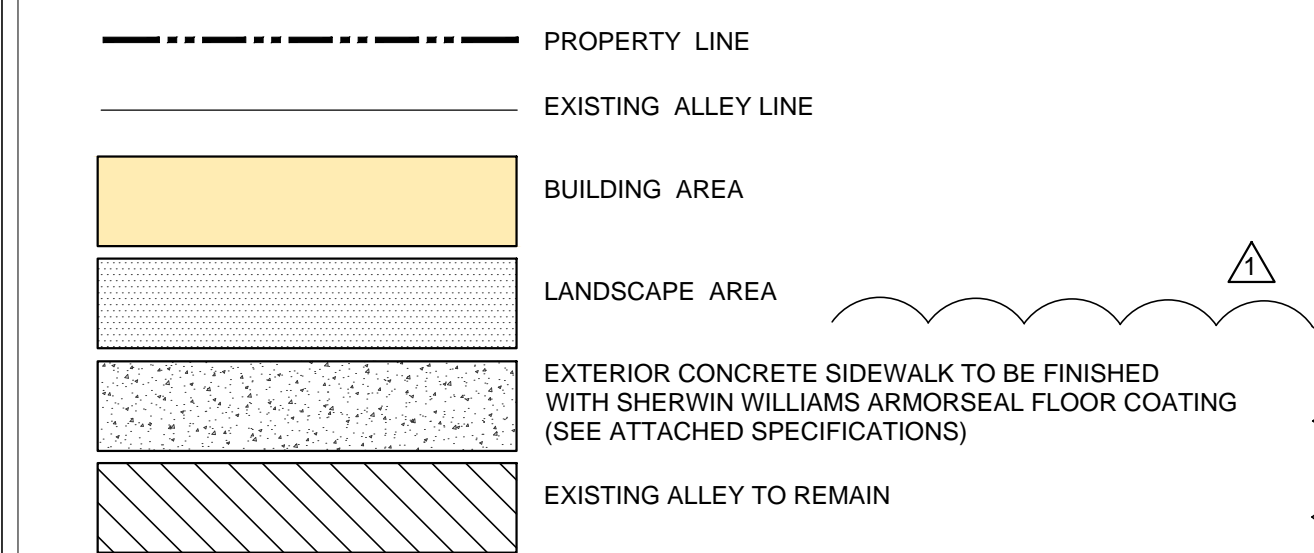


REVISION 1
-RESPONSE TO DRC COMMENTS
-ADDED PROPERTY LINE & SETBACK INFORMATION

REVISION 2
-MODIFICATION OF BUILDING PROJECTION (CHANGES METAL CANOPY DIMENSIONS AND FACADES NORTH AND EAST)
-OVERFLOW GALV. MTL SCUPPER RELOCATION
-METAL STUD FRAMING INFILL RELOCATION
-NEW CANOPY'S DIMENSIONS
-NEW PARAPET'S DIMENSIONS
-NEW 5' HIGH PRECAST CONCRETE WALL

PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"

SITE PLAN LEGEND:



SITE CRITERIA AND BUILDING DATA:

PROPERTY ADDRESS: 2980-2990 N. FEDERAL HWY. CITY OF FORT LAUDERDALE

PROJECT DESCRIPTION:
THE CONSTRUCTION OF A NEW 1 STORY 7565 S.F. COMMERCIAL BUILDING AT 2980 NORTH FEDERAL HIGHWAY IN FORT LAUDERDALE, FLORIDA. THIS BUILDING WILL CONTAIN 2 TENANTS, A 5,100 S.F. RESTAURANT AND A 2,465 S.F. RETAIL. OPEN AIR PARKING TOTALING 70 PARKING SPACES ARE BEING PROVIDED.

A. LAND USE DESIGNATION: COMMERCIAL AND MEDIUM HIGH 25
B. ZONING DESIGNATION: EXISTING B-1 BOULEVARD BUSINESS / RMM-25 RESIDENTIAL
ZONING DESIGNATION: PROPOSED B-1 BOULEVARD BUSINESS / X-P

C. GROSS LOT AREA: 46,140.75 S.F. / 43,560 = 1.059 ACRES
D. WATER / WASTE SERVICE PROVIDER: CITY OF FORT LAUDERDALE
E. BUSINESS DEVELOPMENT: COMMERCIAL
F. GROSS FLOOR AREA: RESTAURANT: 5,100 SF (377 SF EXTERIOR AREA)
RETAIL: 2,465 SF

G. PARKING DATA: PARKING REQUIRED PER ITE MANUAL : 68
PARKING REQUIRED PER ULDR CODE, ART III, SECT. 47-20.2, TABLE 1:
RESTAURANT
1/30 CSA SF (1,519 SF+377 SF) = 63.2 SPACES
1/250 GFA SF (3,581 SF) = 14.32 SPACES
RETAIL
1/250 SF (2,465 SF) = 9.86 SPACES
TOTAL PARKING REQUIRED: 88 SPACES
TOTAL PARKING PROVIDED: 68 SPACES (3 ACCESSIBLE)

H. BUILDING FOOTPRINT/LOT COVERAGE: 7,565 SF
I. FLOOR AREA RATIO (F.A.R.): 7,565 SF / 46,140.75 SF = 0.1639 F.A.R.
J. BUILDING HEIGHT: 24'-0" FROM FINISHED FLOOR TO TOP OF PARAPET.
K. NUMBER OF STORIES: 1
L. SEE NARRATIVE AND ATTACHMENTS FOR ADDITIONAL INFORMATION
M. DENSITY: N/A
N. CURRENT USE OF PROPERTY AND INTENSITY: VACANT LAND
O. NUMBER OF DWELLING UNITS: N/A
P. LOADING ZONE: N/A
Q. STRUCTURE LENGTH: 89'-0" X 85'-0"
R. OPEN SPACE: 38,575 SF / 0.88 AC
S. VEHICULAR USE AREA: 29,375.42 SF
T. LANDSCAPE AREA:
LANDSCAPE REQUIRED: 20% VUA = 5,875 SF
30 SF/PARKING SPACE = 2,070 SF
TOTAL LANDSCAPE REQUIRED: 7,945 SF
LANDSCAPE PROVIDED: TOTAL LANDSCAPE PROVIDED: 8,085 SF

U. SETBACKS:
REQUIRED PROVIDED
FRONT SET BACK 20'-0" 20'-0"
SIDE SET BACK 0'-10" 0'-10"
REAR SET BACK 195'-3" 195'-3"

GENERAL NOTES:

- G.C. TO PROVIDE ALL UTILITIES CONNECTIONS FROM SOURCE TO BUILDING.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL COUNTY STANDARDS AND SPECIFICATIONS, LATEST EDITIONS.
- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK THE PLANS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES, AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES, IN ORDER TO PERMIT MARKING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, IN ADVANCE OF CONSTRUCTION, BY CALLING "SUNSHINE" AT 1-800-432-4770. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES NOT INCLUDED IN THE "SUNSHINE" PROGRAM.
- G.C. IS RESPONSIBLE TO CONFIRM ALL REQUIRED SITE TRENCHING NEEDED FOR ALL TRADES (INCLUDING ELECTRICAL, PLUMBING & MECHANICAL) AS PART OF HIS BID. ANY EXCAVATION, DEMOLITION, PATCHING OF CONCRETE OR ASPHALT, FOR ITEMS SUCH AS SITE LIGHTING, DRY WELLS, IRRIGATION OR PLUMBING LINES ARE TO BE INCLUDED.
- G.C. TO TEST IRRIGATION SYSTEM AND REPAIR AND REPLACE ANY DAMAGED PIPE FITTING OR DEVICES AND MAKE FULLY OPERATIONAL.
- G.C. TO COORDINATE ALL SITE AND BLDG. SIGNS WITH SIGN VENDOR.

LEGAL DESCRIPTION:

PARCEL 1: LOTS 4 AND 5, BLOCK 66, CORAL RIDGE GALT ADDITION No.1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 31, PAGE 37, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
(FOLIO No. 494225045130 AND 494225045140)
TOGETHER WITH A PARCEL OF LAND LYING WITHIN LOT 2, BLOCK 61, CORAL RIDGE GALT ADDITION No.1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 31, PAGE 37, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BOUNDED AS FOLLOWS:
ON THE SOUTH BY A LINE PARALLEL TO AND 141 FEET NORTH FROM, MEASURED AT RIGHT ANGLES TO, THE SOUTH LINE OF MID LOT 2; ON THE WEST BY THE WEST BOUNDARY OF SAID LOT 2; ON THE NORTH BY A LINE PARALLEL TO AND 208 FEET NORTH FROM, MEASURED AT RIGHT ANGLES TO, THE SOUTH LINE OF SAID LOT 2; AND ON THE EAST BY THE EAST BOUNDARY LINE OF SAID LOT 2.
(FOLIO No. 494225044570)
PARCEL 2: LOT 2, LESS THE SOUTH 208 FEET (AS MEASURED AT RIGHT ANGLES), BLOCK 61, CORAL RIDGE GALT ADDITION No.1, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 31, PAGE 37, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (FOLIO No. 494225044560)
2980-2990 NORTH FEDERAL HIGHWAY, FORT LAUDERDALE, FL 33306

Carlos Pizarro, R.A.
AR - 0013079

Revisions:

03/24/2017	△	DRC COMMENTS
06/23/2017	△	DRC COMMENTS

OWNER:
2980 INVESTMENTS LLC
6900 NE 1ST AVE, SUITE 100, FORT LAUDERDALE, FL 33334
P: 954.776.1005 EXT 203 WWW.DIVERSIFIEDCOS.COM

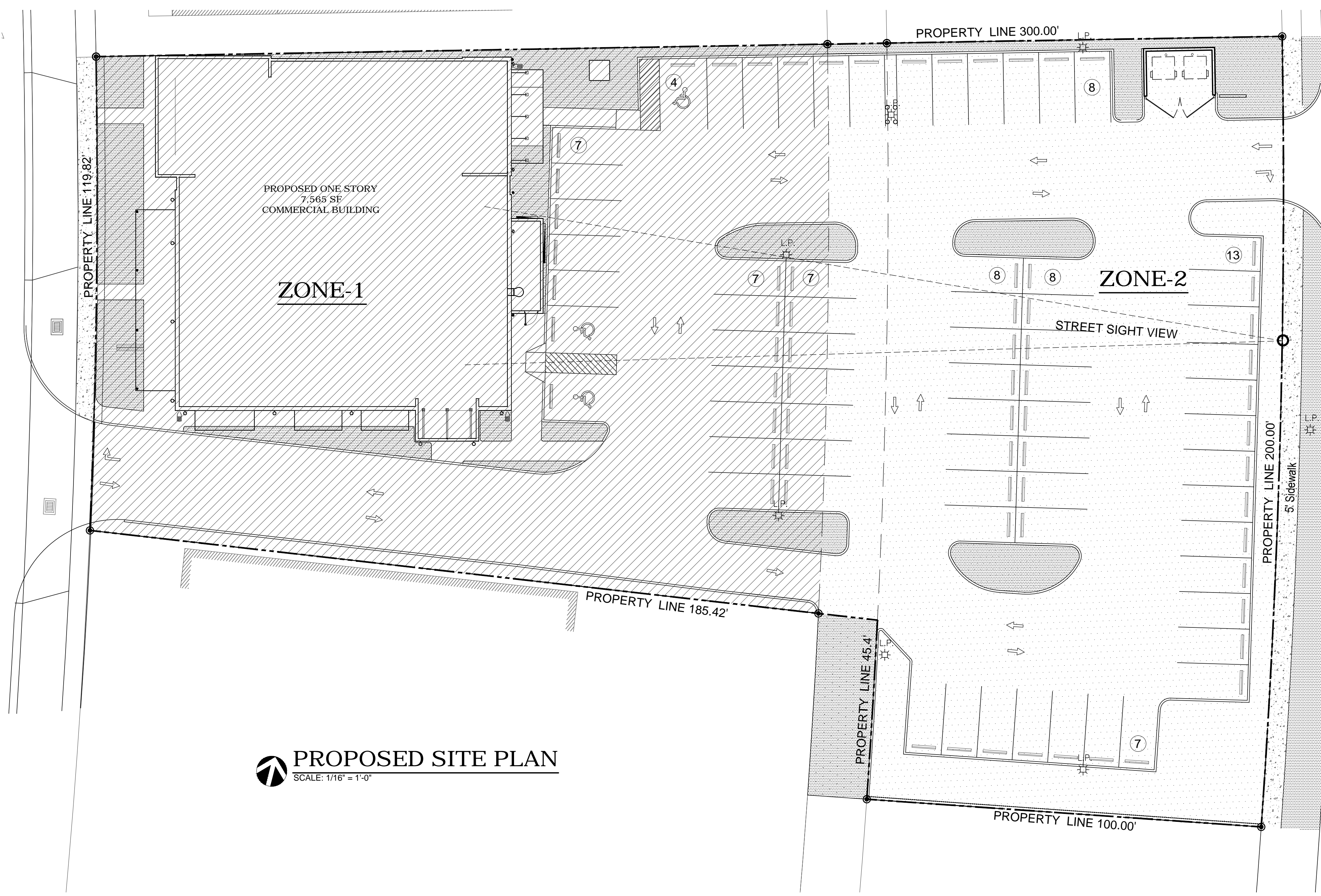
DEVELOPER:
DIVERSIFIED COMPANIES
6900 NE 1ST AVE, SUITE 100, FORT LAUDERDALE, FL 33334
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PROJECT:
2980 RETAIL / RESTAURANT BUILDING
2980-2990 NORTH FEDERAL HWY
FORT LAUDERDALE, FL 33306

Job Number: 16021.01
File name:
Issued Date: 01/17/17
Drawn by: AMV
Checked by: CC / CP

SHEET NAME
PROPOSED SITE PLAN

SHEET NUMBER
SP-1.0

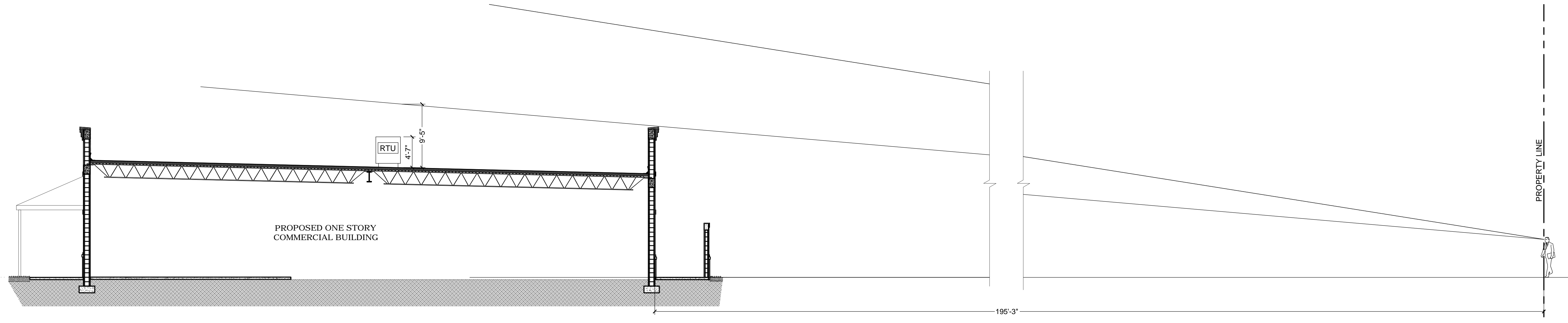


PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"

REVISION 1
THIS SHEET WAS PREPARED TO GRAPHICALLY ILLUSTRATE THE METHOD USE TO CALCULATE THE LANDSCAPE AREA. ALSO PREPARED ON THIS SHEET IS THE LINE OF SIGHT DRAWING TO ILLUSTRATE THAT THE MECHANICAL EQUIPMENT IS NOT VISIBLE FROM OUR SITE. NO SCREENING REQUIRED.

LANDSCAPE CALCULATION

ZONE-1	
• VEHICULAR USE AREA:	11,032 SF
• LANDSCAPE AREA:	
LANDSCAPE REQUIRED:	20% VUA (11,032 SF) = 2,206 SF
	30 SF/PARKING SPACE = (25) 30 SF = 750 SF
	TOTAL LANDSCAPE REQUIRED: 2,956 SF
LANDSCAPE PROVIDED:	TOTAL LANDSCAPE PROVIDED: 3,282 SF
ZONE-2	
• VEHICULAR USE AREA:	18,345 SF
• LANDSCAPE AREA:	
LANDSCAPE REQUIRED:	20% VUA (17,597 SF) = 3,669 SF
	30 SF/PARKING SPACE = (44) 30 SF = 1,320 SF
	TOTAL LANDSCAPE REQUIRED: 4,989 SF
LANDSCAPE PROVIDED:	TOTAL LANDSCAPE PROVIDED: 4,666 SF
LANDSCAPE SUMMARY	
TOTAL LANDSCAPE REQUIRED:	7,945 SF
TOTAL LANDSCAPE PROVIDED:	7,948 SF



1 LINE OF SIGHT DRAWING
SCALE: 1/16" = 1'-0"

Carlos Pizarro, R.A.
AR - 0013079

Revisions:

03/24/2017	△ DRC COMMENTS

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SHEET NAME
SITE PLAN CALCULATIONS

SHEET NUMBER
SP-1.1

Carlos Pizarro, R.A.
 AR - 0013079

Revisions:
 03/24/2017 Δ DRC COMMENTS

OWNER:
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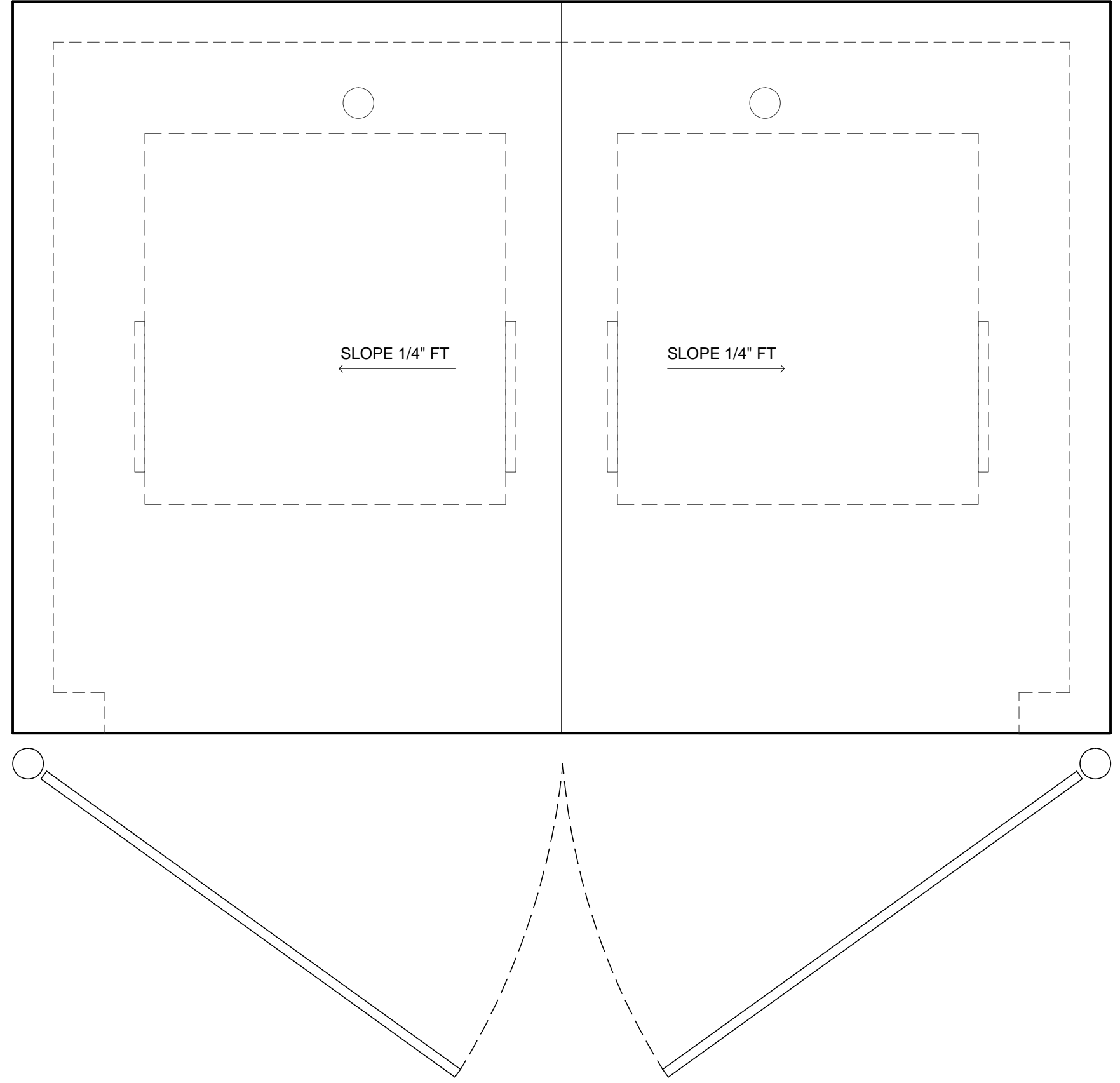
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PROJECT:
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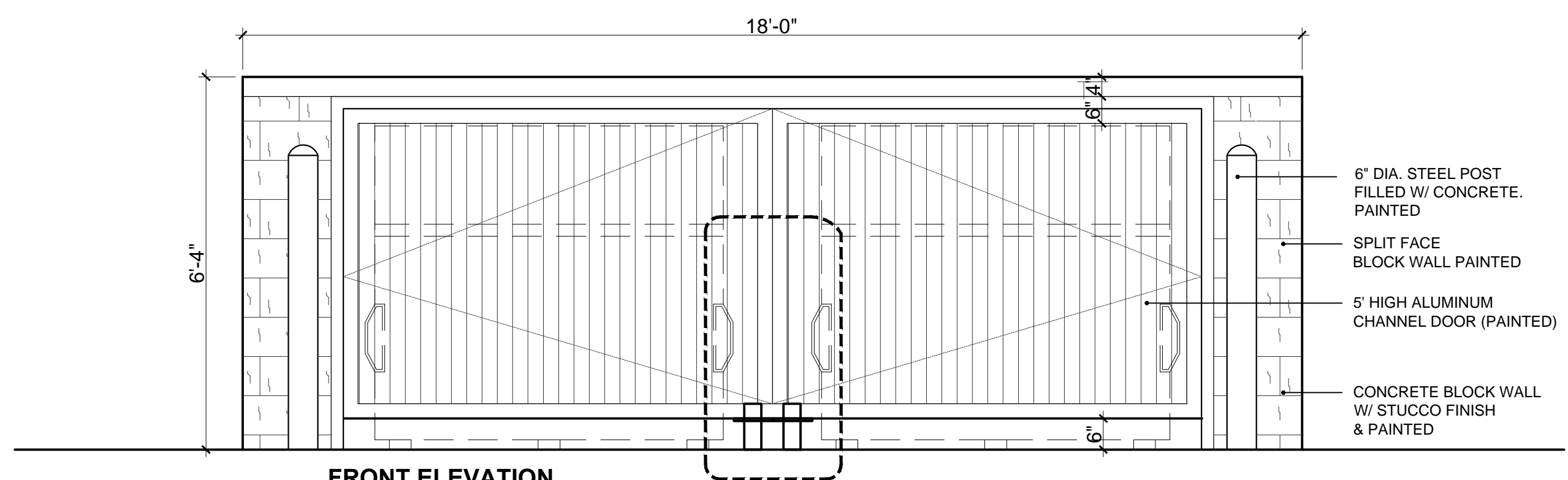
Job Number: 16021.01
 File name:
 Issued Date: 01/17/17
 Drawn by: AMV
 Checked by: CC / CP

SHEET NAME
DUMPSTER

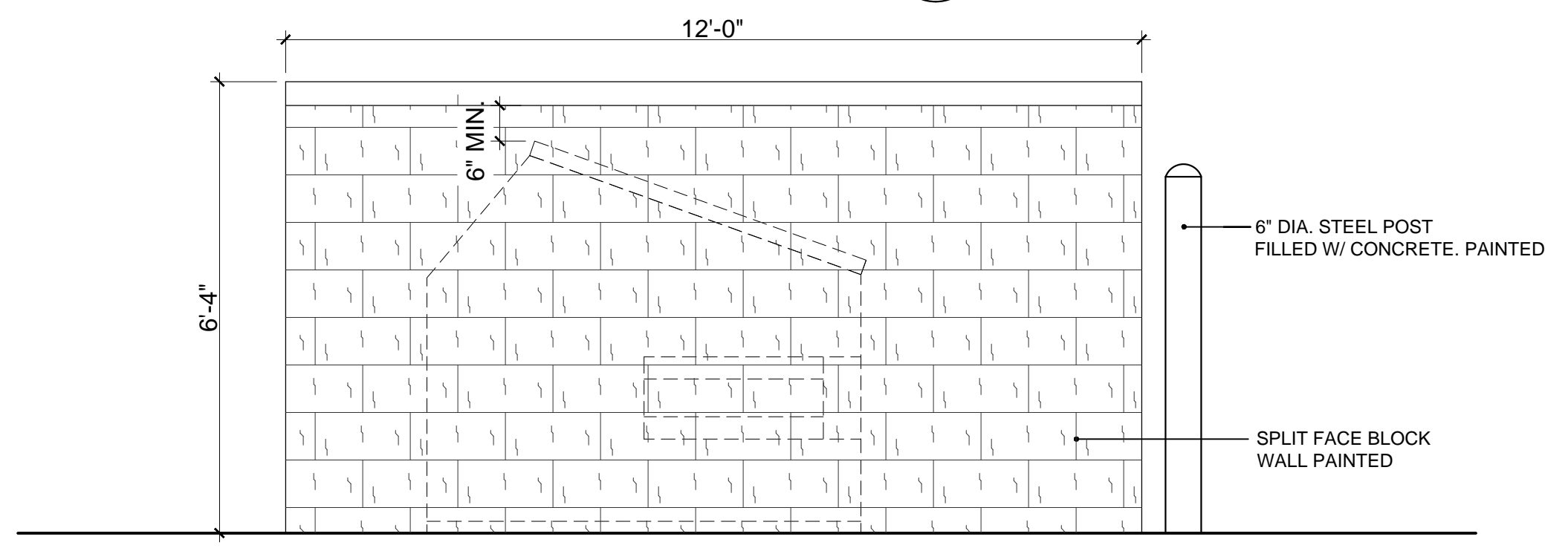
SHEET NUMBER
SP-1.2



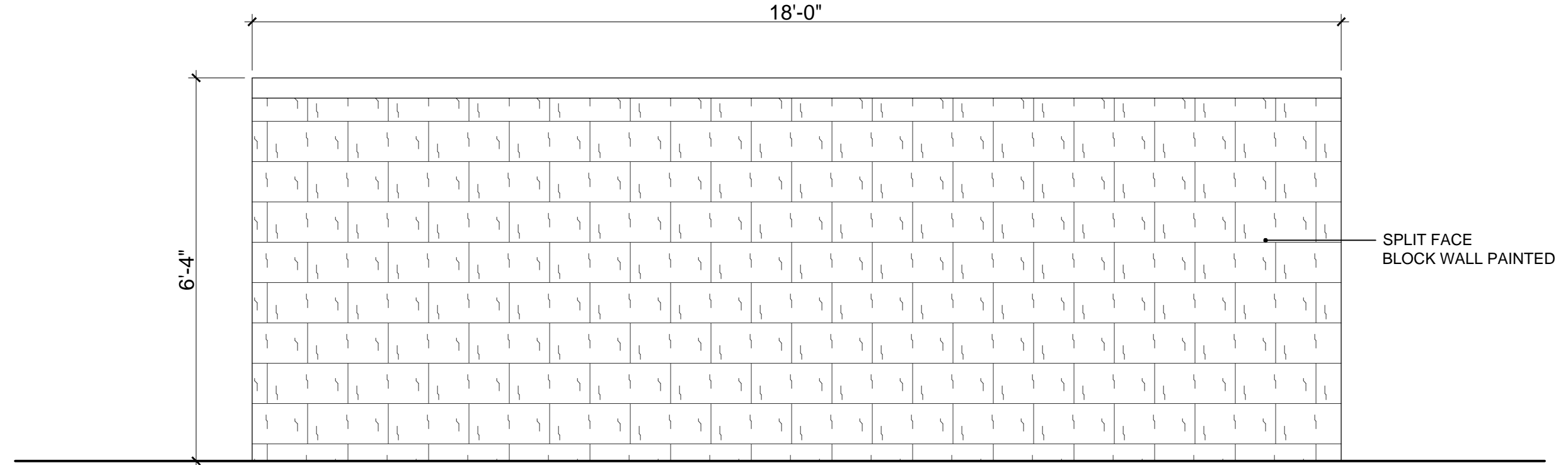
1 DUMPSTER ENCLOSURE ROOF PLAN
 1/2" = 1'-0"



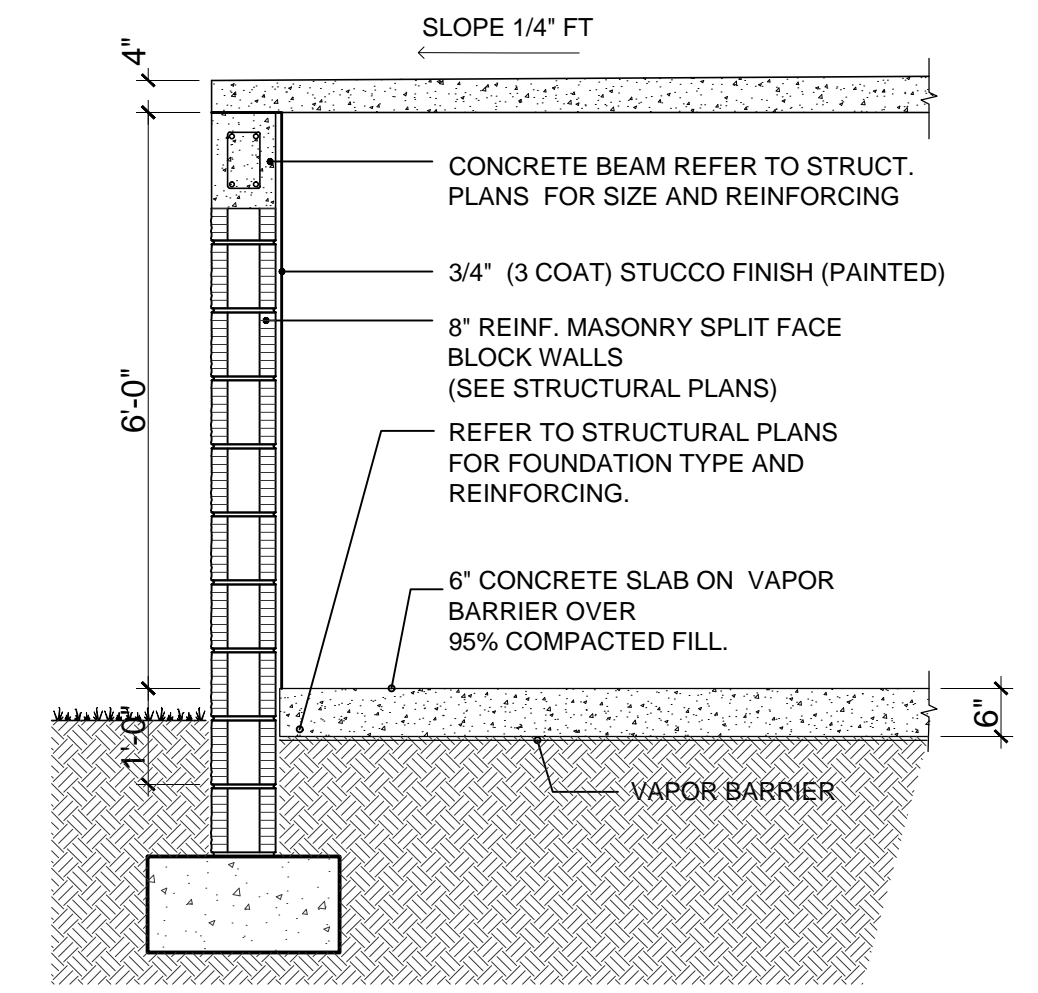
FRONT ELEVATION



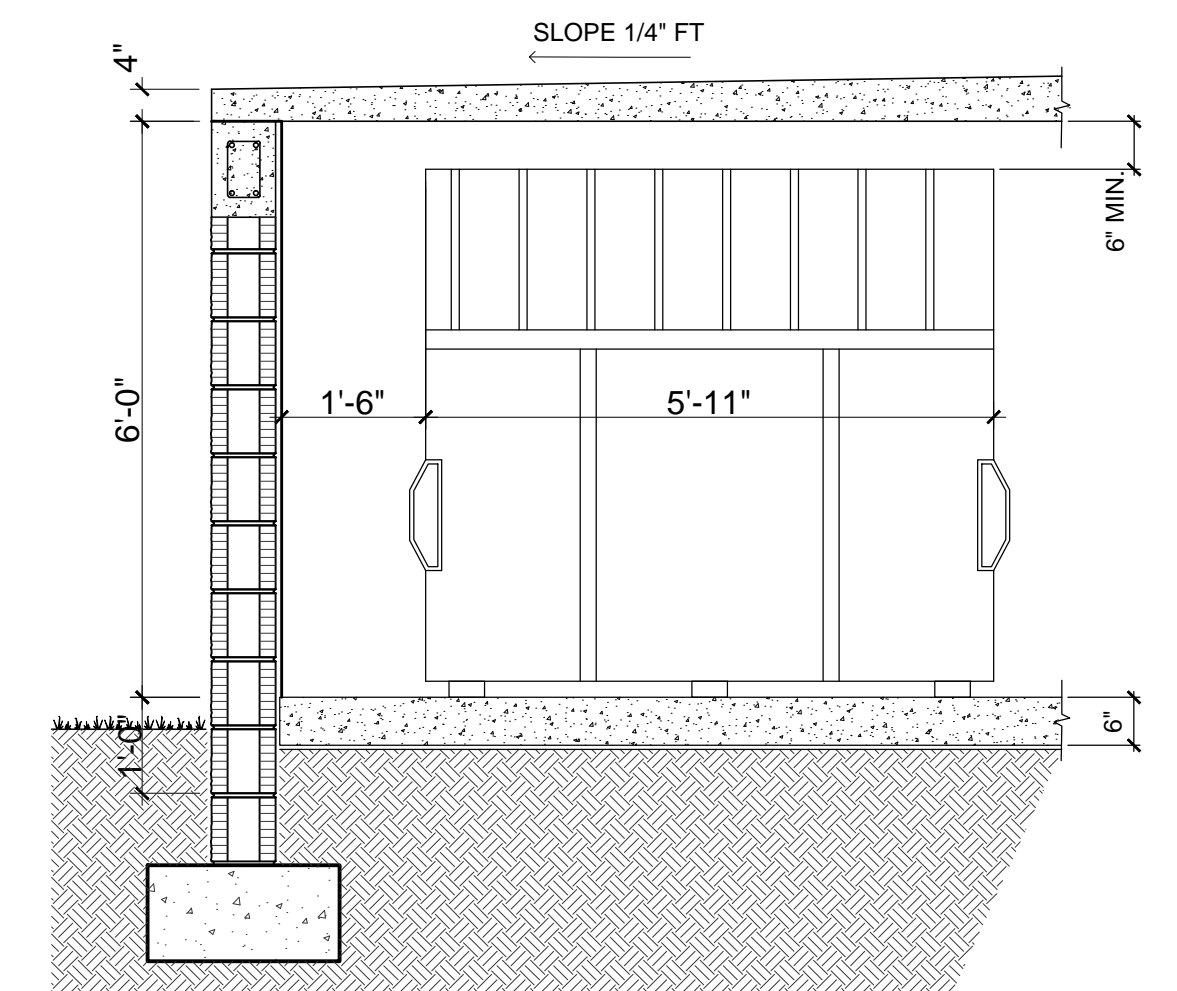
SIDE ELEVATION



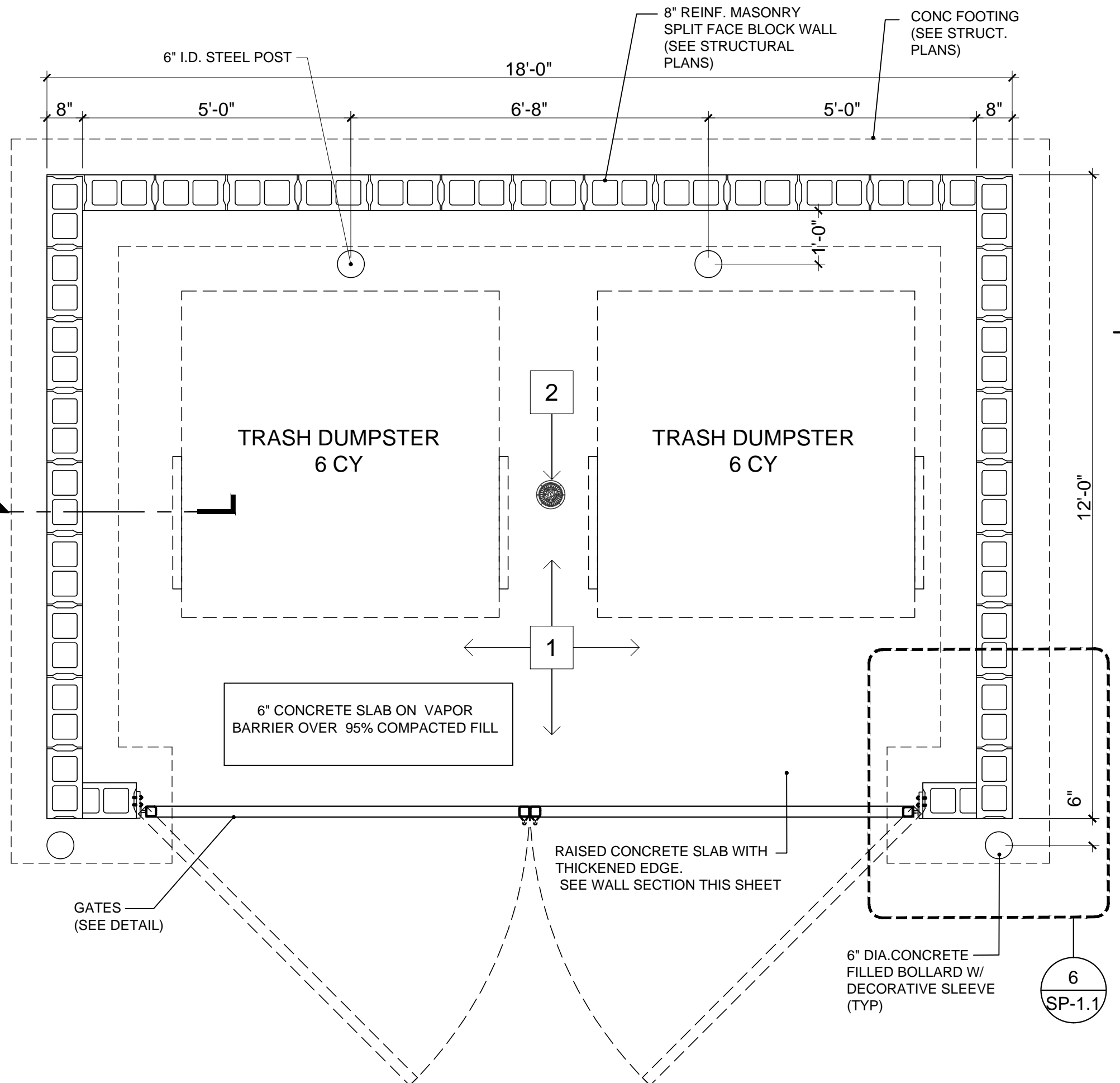
REAR ELEVATION



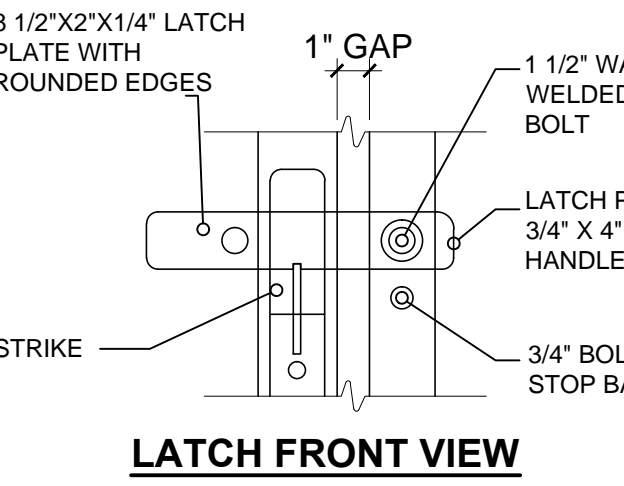
2 WALL SECTION @ DUMPSTER ENCLOSURE
 1/2" = 1'-0"



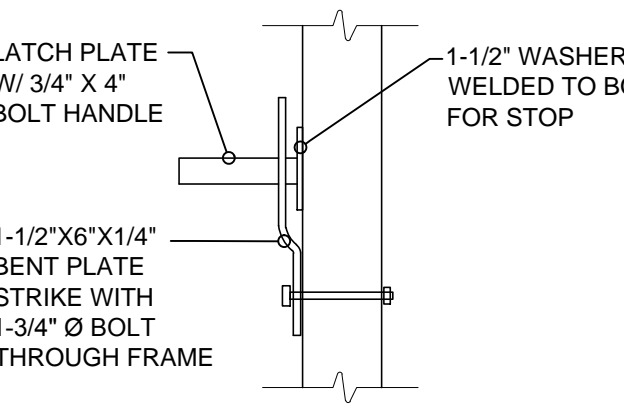
3 WALL SECTION @ DUMPSTER ENCLOSURE
 1/2" = 1'-0"



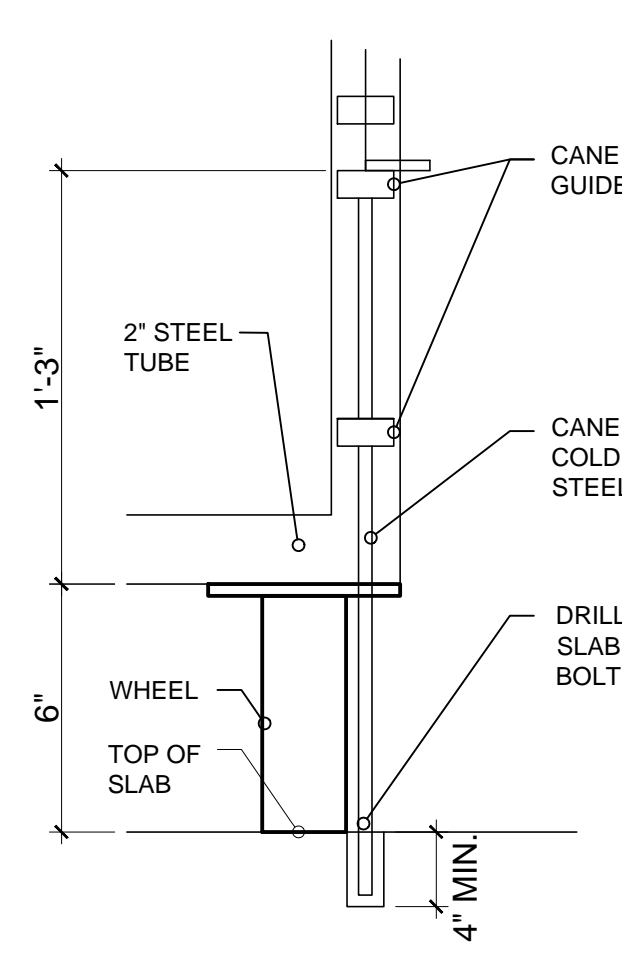
1.1 DUMPSTER ENCLOSURE PLAN
 1/2" = 1'-0"



LATCH FRONT VIEW

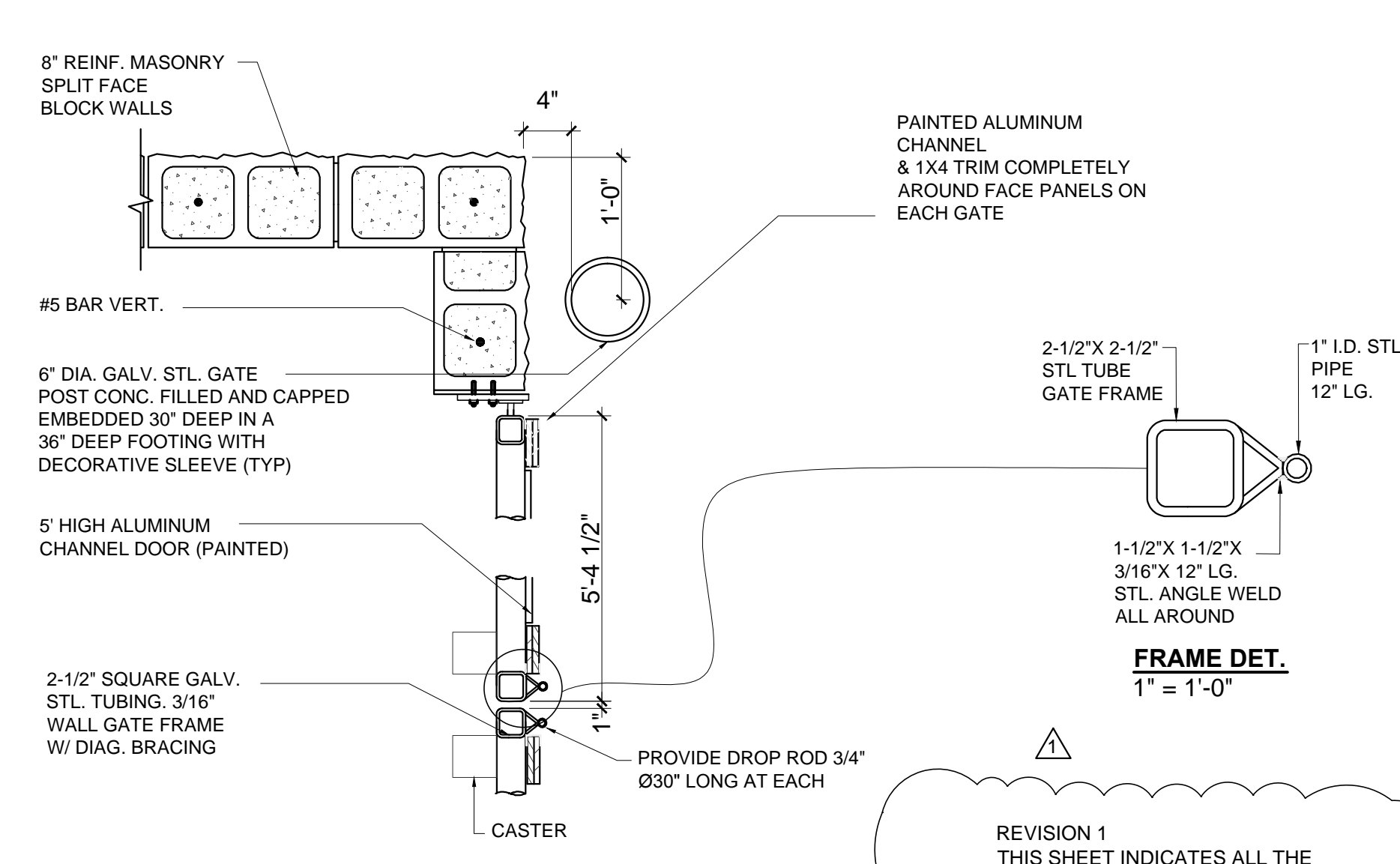


LATCH SIDE VIEW



5 CANE BOLT DETAIL
 1-1/2" = 1'-0"

4 DOUBLE GATE LATCH DETAIL
 1-1/2" = 1'-0"



6 PART. GATE PLAN
 1" = 1'-0"

- 1** SLOPE SLAB TO REQUIRED FLOOR DRAIN. DRAIN TO BE TIED TO GREASE INTERCEPTOR. REFER TO PLUMBING & CIVIL.
- 2** FLOOR DRAIN. REFER TO CIVIL & PLUMBING DWGS.

REVISION 1
 THIS SHEET INDICATES ALL THE DETAILS FOR THE PROPOSED DUMPSTER ENCLOSURE

Carlos Pizarro, R.A.
 AR - 0013079

Revisions:

06/23/2017  DRC COMMENTS

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DEVELOPER:
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PROJECT:
2980 RETAIL / RESTAURANT BUILDING
 2980-2990 NORTH FEDERAL HWY
 FORT LAUDERDALE, FL 33306

Job Number: 16021.01
 File name:
 Issued Date: 01/17/17
 Drawn by: AMV
 Checked by: CC / CP

SHEET NAME
HEADLIGHT BLOCKING SHRUBS SECTION

SHEET NUMBER
SP-1.3



1 PROPOSED SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



2 DETAIL
 SCALE: 1/2" = 1'-0"

REVISION 2
 THIS SHEET WAS REVISED TO CREATE A DRAWING SHOWING A HEADLIGHT-BLOCKING-SHRUBS SECTION

Carlos Pizarro, R.A.
 AR - 0013079

Revisions:

03/24/2017	△ DRC COMMENTS

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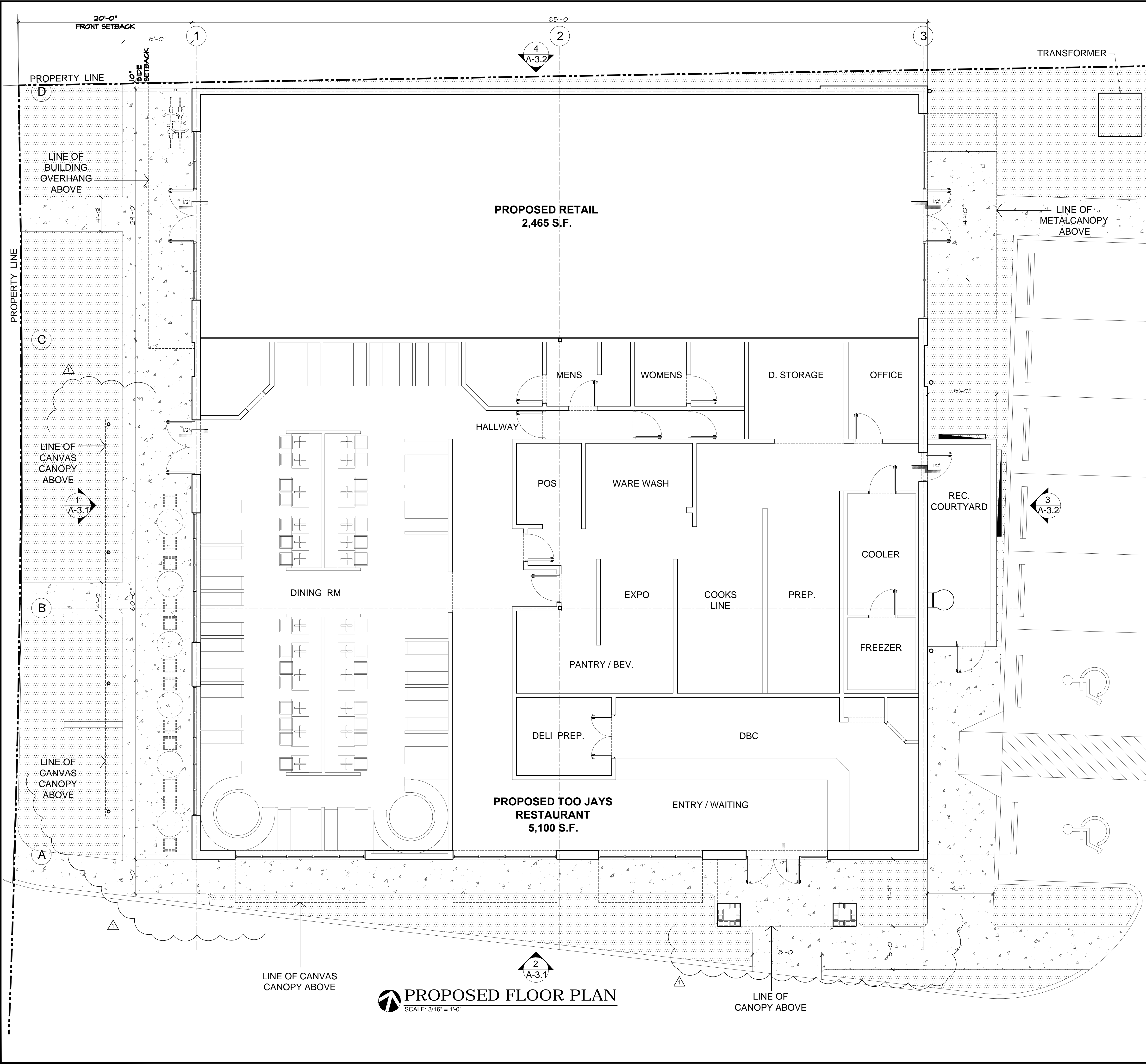
DEVELOPER: **DIVERSIFIED COMPANIES**
 6900 NE 1ST AVE SUITE 100 FORT LAUDERDALE, FL 33304
 P: 954.776.1005 EXT 203 WWW.DIVERSIFIEDCOS.COM

PROJECT: **2980 RETAIL / RESTAURANT BUILDING**
 2980-2990 NORTH FEDERAL HWY
 FORT LAUDERDALE, FL 33306

Job Number: 16021.01
 File name:
 Issued Date: 01/17/17
 Drawn by: AMV
 Checked by: CC / CP

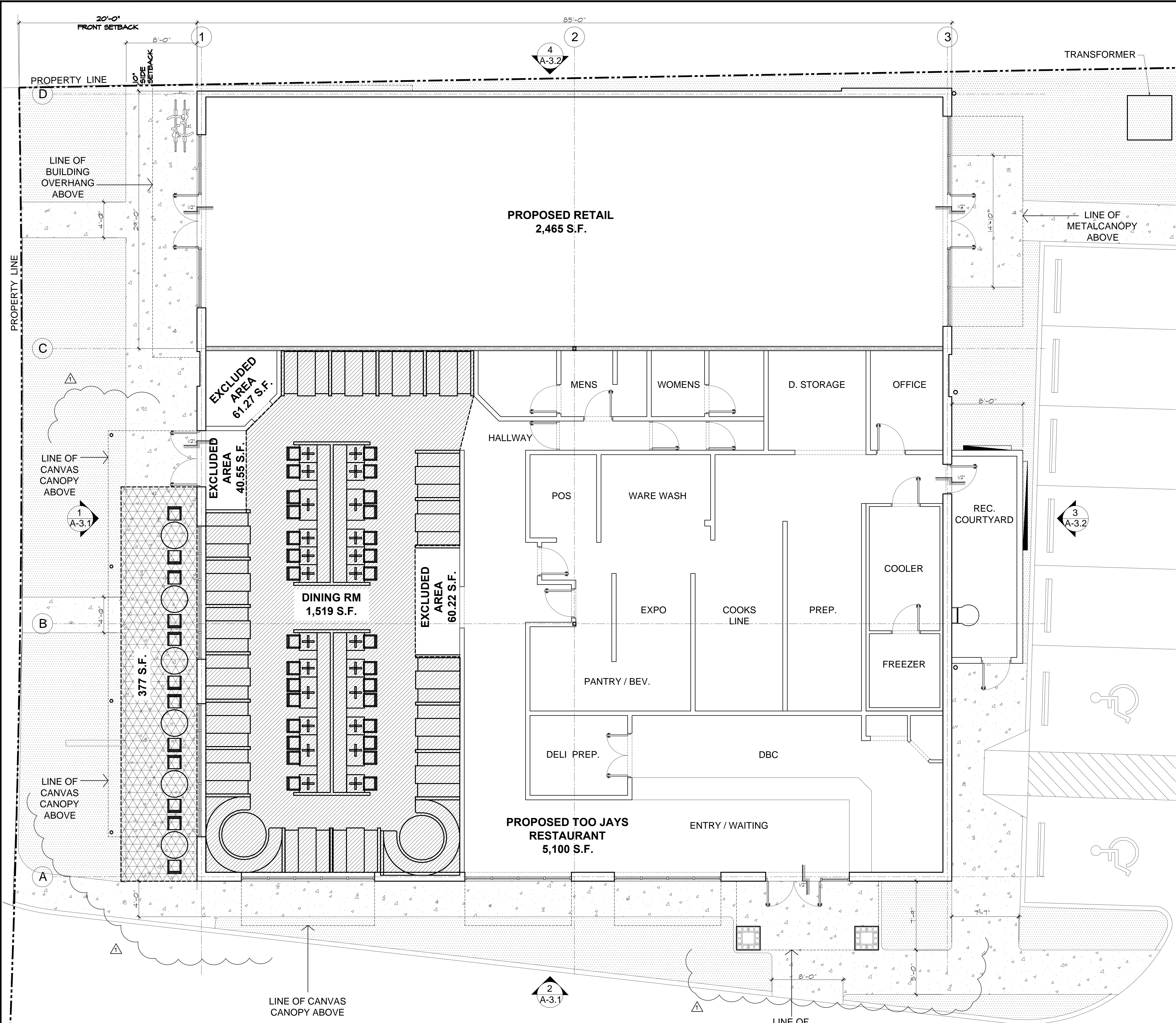
SHEET NAME
PROPOSED FLOOR PLAN

SHEET NUMBER
A-1.0



PROPOSED FLOOR PLAN
 SCALE: 3/16" = 1'-0"

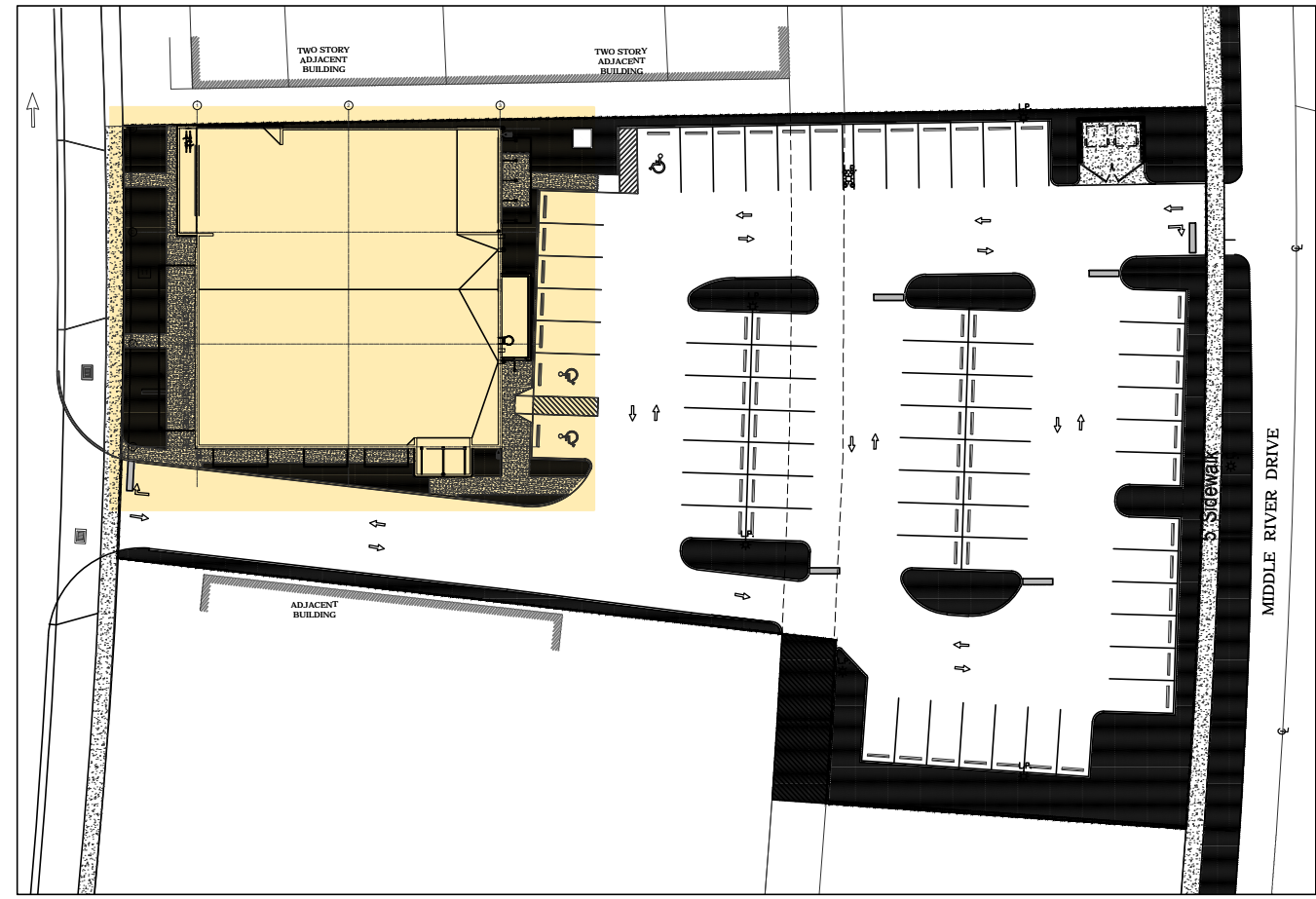
KEY PLAN
 SCALE: NTS



CSA CALCULATION
CSA = CUSTOMER SERVICE AREA

ZONE-1	
CSA (INTERIOR AREA)	1,519 SF
ZONE-2	
CSA (EXTERIOR AREA)	377 SF
ZONE 1 + ZONE 2 =	
1,519 SF + 377 SF = 1,896 SF	
TOTAL CSA = 1,896 SF	

REVISION 2
CUSTOMER SERVICE AREA CALCULATION



CUSTOMER SERVICE AREA FLOOR PLAN
SCALE: 3/16" = 1'-0"

KEY PLAN
SCALE: NTS

Carlos Pizarro, R.A.
AR - 0013079

Revisions:

06/23/2017	△ DRC COMMENTS

OWNER: **2980 INVESTMENTS LLC**
6900 NE 1ST AVE SUITE 100 FORT LAUDERDALE, FL 33304
P: 954.776.1005 EXT 203 WWW.DIVERSIFIEDCOS.COM

DEVELOPER: **DIVERSIFIED COMPANIES**
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2980-2990 NORTH FEDERAL HWY
FORT LAUDERDALE, FL 33306

Job Number: 16021.01
File name:
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Drawn by: AMV
Checked by: CC / CP

SHEET NAME
CUSTOMER SERVICE AREA PLAN

SHEET NUMBER
A-1.1

Carlos Pizarro, R.A.
 AR - 0013079

Revisions:

03/24/2017	△ DRC COMMENTS

OWNER: **2980 INVESTMENTS LLC**
 6900 NE 1ST AVE, SUITE 100, FORT LAUDERDALE, FL 33334
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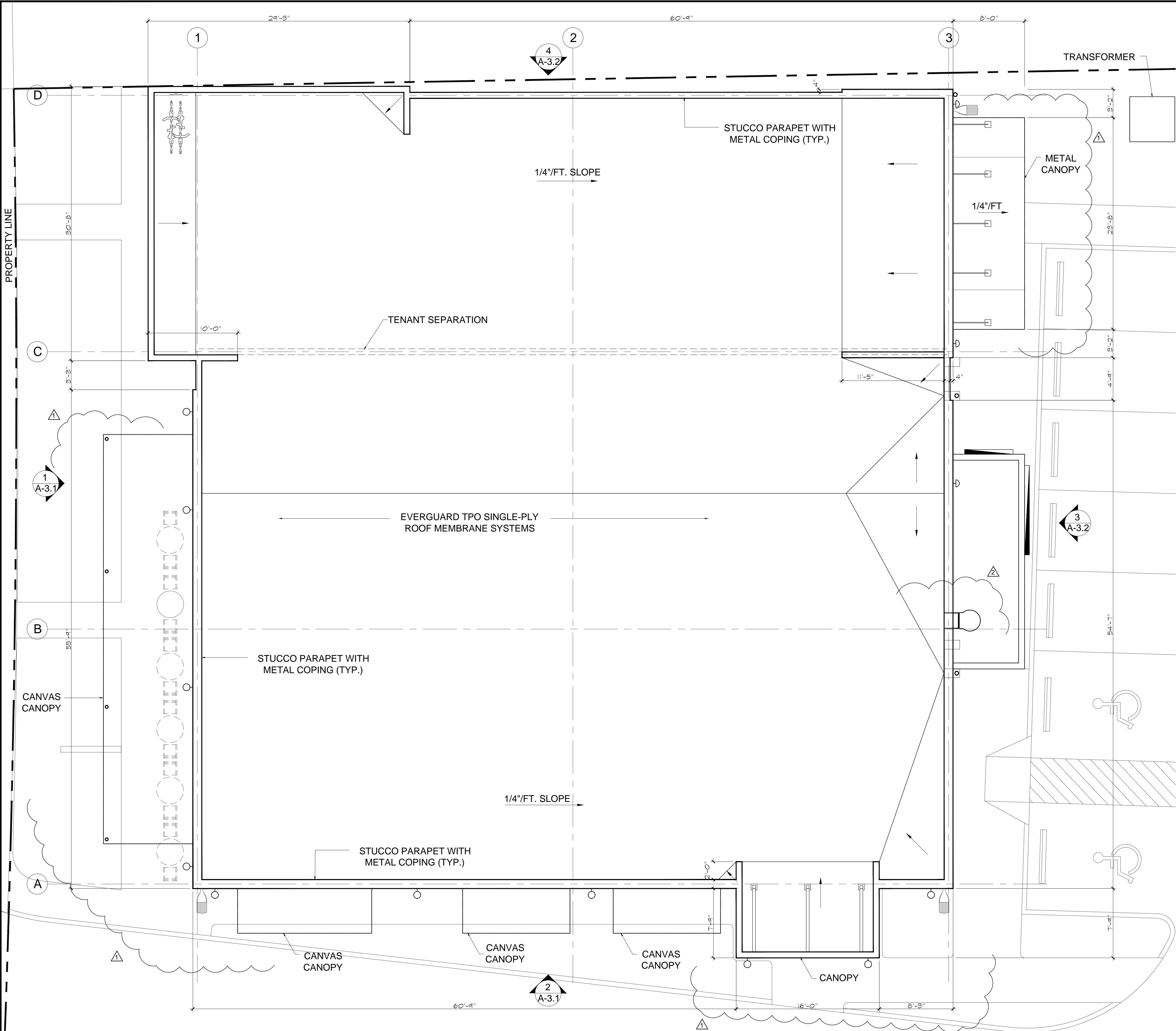
DEVELOPER: **DIVERSIFIED COMPANIES**
 6900 NE 1ST AVE, SUITE 100, FORT LAUDERDALE, FL 33334
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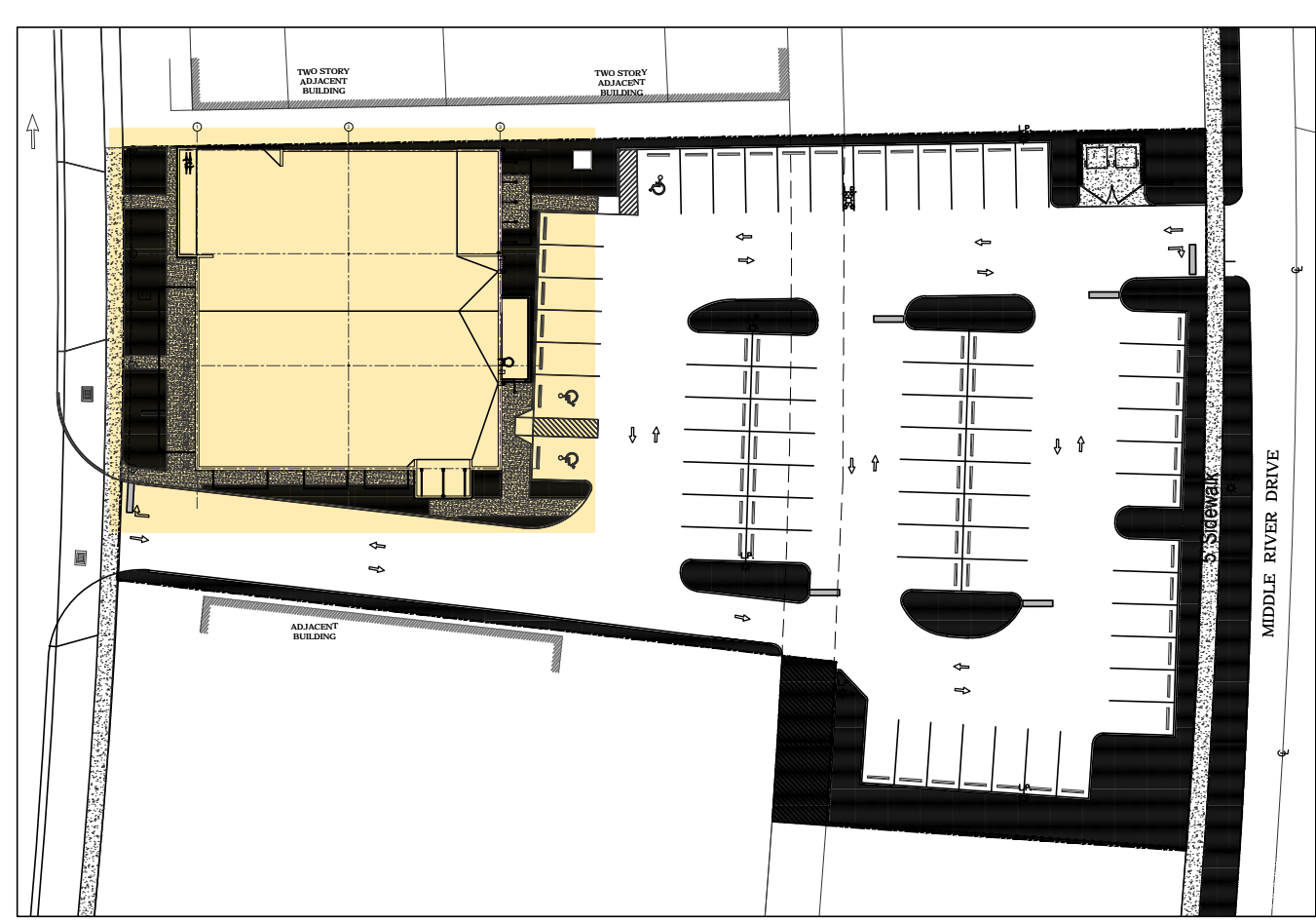
Job Number: 16021.01
 File name:
 Issued Date: 01/17/17
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SHEET NAME
PROPOSED ROOF PLAN

SHEET NUMBER
A-2.0



REVISION 1
 THIS SHEET INDICATED MODIFICATIONS DONE TO ROOF PLAN PER FUTURE TENANT'S PROTOTYPE & OWNER REQUESTED CHANGES.



PROPOSED ROOF PLAN
 SCALE: 3/16" = 1'-0"

KEY PLAN
 SCALE: NTS

Carlos Pizarro, R.A.
 AR - 0013079

Revisions:	
03/24/2017	△ DRC COMMENTS
06/23/2017	△ DRC COMMENTS

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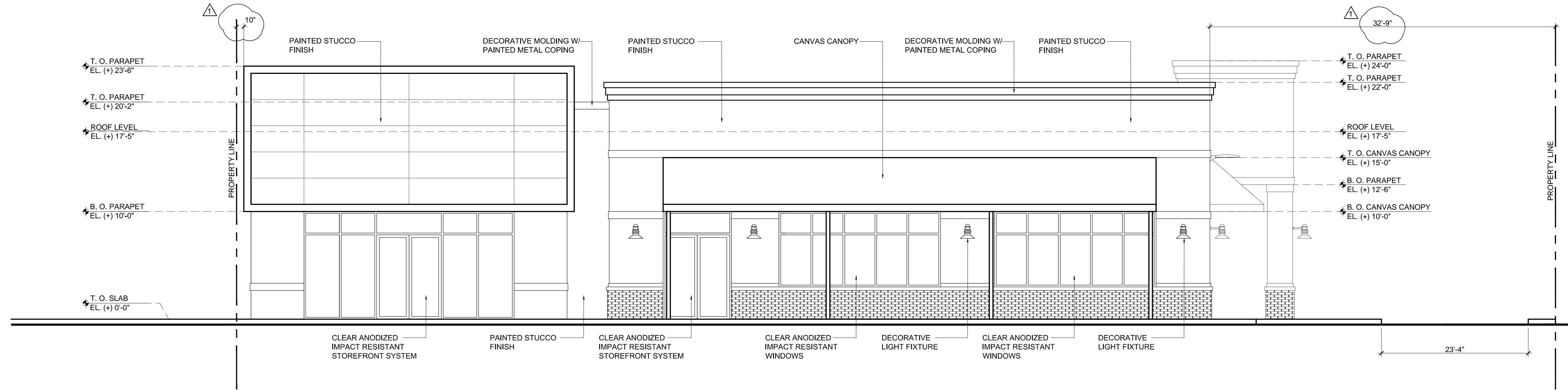
DEVELOPER:
DIVERSIFIED COMPANIES
 6900 NE 1ST AVE, SUITE 100, FORT LAUDERDALE, FL 33304
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PROJECT:
2980 RETAIL / RESTAURANT BUILDING
 2980-2990 NORTH FEDERAL HWY
 FORT LAUDERDALE, FL 33306

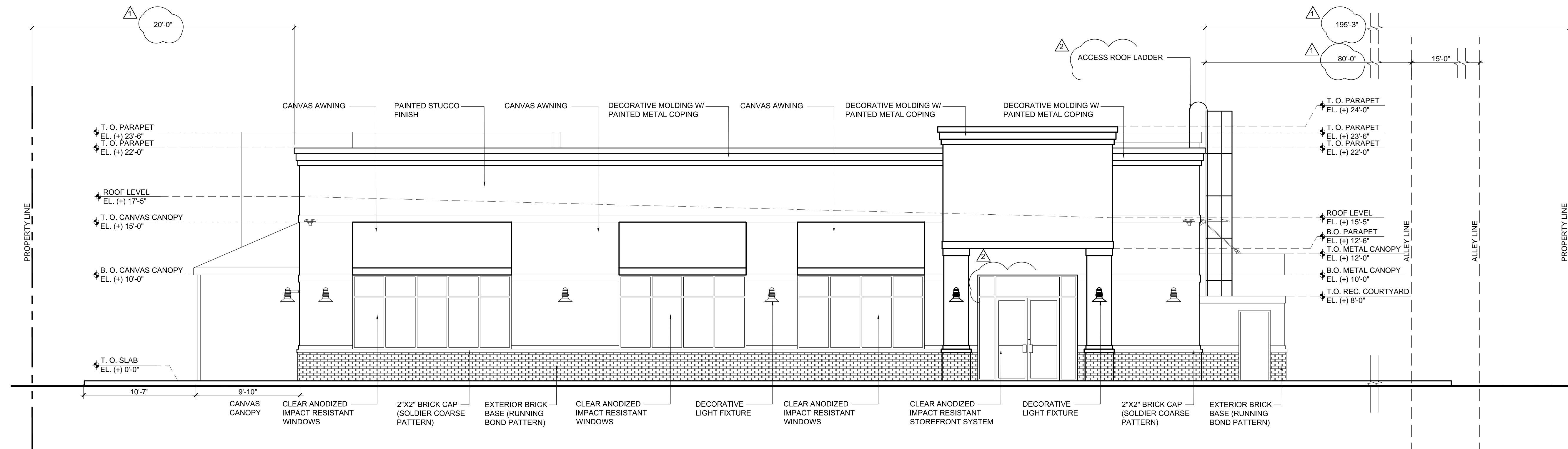
Job Number: 16021.01
 File name:
 Issued Date: 01/17/17
 Drawn by: AMV/ DP
 Checked by: CC / CP

SHEET NAME
PROPOSED ELEVATIONS

SHEET NUMBER
A-3.0



1 PROPOSED WEST ELEVATION
 SCALE: 3/16" = 1'-0"



2 PROPOSED SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

REVISION 1
 THIS SHEET WAS REVISED TO CREATE A LARGER ENTRANCE FROM THE PARKING AREA TO THE PROPOSED RETAIL. MODIFICATIONS TO THE BUILDING TO MEET THE FUTURE TENANTS PROTOTYPE.

REVISION 2
 -PROPOSED ACCESS ROOF LADDER
 -MODIFICATIONS TO STOREFRONT

Carlos Pizarro, R.A.
 AR - 0013079

Revisions:

03/24/2017	△	DRC COMMENTS
06/23/2017	△	DRC COMMENTS

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 6900 NE 1ST AVE, SUITE 100, FORT LAUDERDALE, FL 33334
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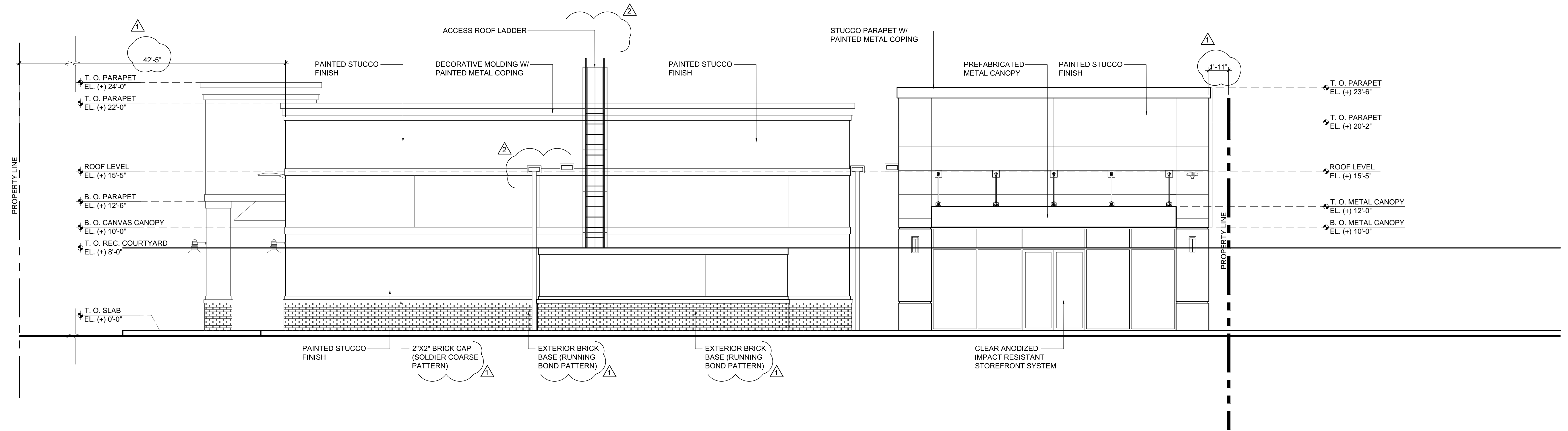
DEVELOPER: **DIVERSIFIED COMPANIES**
 6900 NE 1ST AVE, SUITE 100, FORT LAUDERDALE, FL 33334
 P: 954.776.1005 EXT 203 WWW.DIVERSIFIEDCOS.COM

PROJECT: **2980 RETAIL / RESTAURANT BUILDING**
 2980-2990 NORTH FEDERAL HWY
 FORT LAUDERDALE, FL 33306

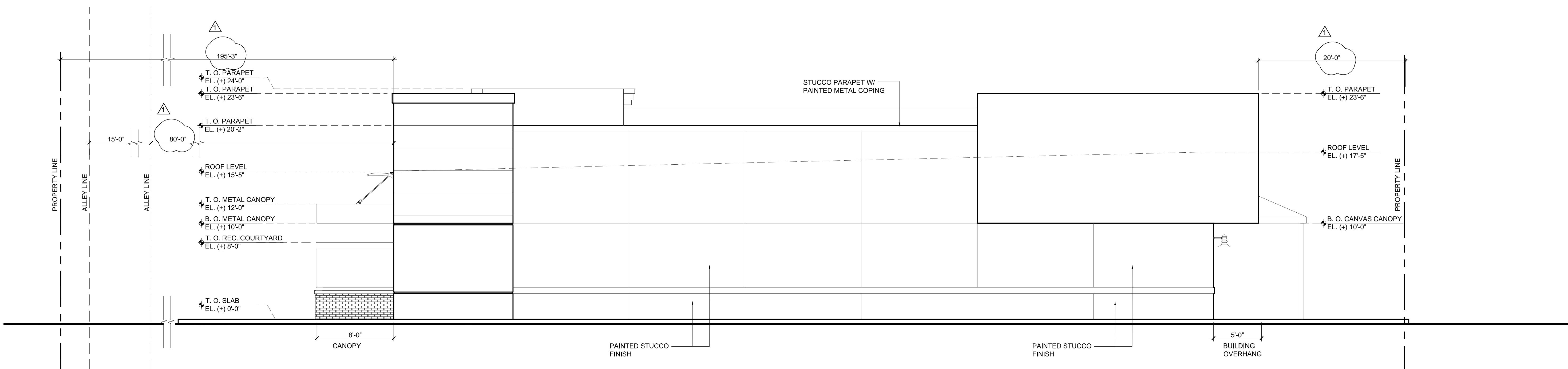
Job Number: 16021.01
 File name:
 Issued Date: 01/17/17
 Drawn by: AMV/ DP
 Checked by: CC / CP

SHEET NAME
PROPOSED ELEVATIONS

SHEET NUMBER
A-3.1



3 PROPOSED EAST ELEVATION
 SCALE: 3/16" = 1'-0"



4 PROPOSED NORTH ELEVATION
 SCALE: 3/16" = 1'-0"

REVISION 1
 THIS SHEET WAS REVISED TO CREATE A LARGER ENTRANCE FROM THE PARKING AREA TO THE PROPOSED RETAIL. MODIFICATIONS TO THE BUILDING TO MEET THE FUTURE TENANTS PROTOTYPE.

REVISION 2
 -PROPOSED ACCESS ROOF LADDER
 -OVERFLOW GALV. MTL SCUPPER RELOCATION

Carlos Pizarro, R.A.
 AR - 0013079

Revisions:

03/24/2017	△ DRC COMMENTS
06/23/2017	△ DRC COMMENTS

OWNER: **2980 INVESTMENTS LLC**
 6900 NE 1ST AVE, SUITE 100, FORT LAUDERDALE, FL 33304
 P: 954-776-1005 EXT 203 WWW.DIVERSIFIEDCCS.COM

DEVELOPER: **DIVERSIFIED COMPANIES**
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 P: 954-776-1005 EXT 203 WWW.DIVERSIFIEDCCS.COM

PROJECT: **2980 RETAIL / RESTAURANT BUILDING**
 2980-2990 NORTH FEDERAL HWY
 FORT LAUDERDALE, FL 33306

Job Number: 16021.01
 File name:
 Issued Date: 01/17/17
 Drawn by: AMV
 Checked by: CC / CP

SHEET NAME
PROPOSED COLOR ELEVATIONS

SHEET NUMBER
A-4.0



1 PROPOSED WEST ELEVATION
 SCALE: 3/16" = 1'-0"

COLOR LEGEND:

1	BENJAMIN MOORE HC-27 MONTEREY WHITE	6	BENJAMIN MOORE OC-152 SUPER WHITE
2	BENJAMIN MOORE HC-28 SHELburnE BUFF	7	BENJAMIN MOORE CSP-155 SKIPPING STONE
3	BENJAMIN MOORE 2136-10 BLACK KNIGHT	8	BENJAMIN MOORE CSP-60 CITY SHADOW
4	EXTERIOR BRICK, GLEN GARY CLASSIC BROWN FACEBRICK, BROWN, EXTRUDED TEXTURE, REDFIELD PLANT MORTAR COLOR: G-602	9	BENJAMIN MOORE 993 BEACHCOMBER
5	BENJAMIN MOORE 2120-70 STONE WHITE	10	VINYL AWNING MATERIAL, BLACK AND GOLD STRIPED

REVISION 1
 THIS SHEET WAS REVISED TO CREATE A LARGER ENTRANCE FROM THE PARKING AREA TO THE PROPOSED RETAIL. MODIFICATIONS TO THE BUILDING TO MEET THE FUTURE TENANTS PROTOTYPE.



2 PROPOSED SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

Carlos Pizarro, R.A.
 AR - 0013079

Revisions:
 03/24/2017 ⚠️ DRC COMMENTS

OWNER:
2980 INVESTMENTS LLC
 6300 NE 1ST AVE, SUITE 100, FORT LAUDERDALE, FL 33334
 P: 954-776-1065 EXT 203 WWW.DIVERSIFIEDDCOS.COM

DEVELOPER:
DIVERSIFIED COMPANIES
 6300 NE 1ST AVE, SUITE 100, FORT LAUDERDALE, FL 33334
 P: 954-776-1065 EXT 203 WWW.DIVERSIFIEDDCOS.COM

PROJECT:
2980 RETAIL / RESTAURANT BUILDING
 2980-2990 NORTH FEDERAL HWY
 FORT LAUDERDALE, FL 33306

Job Number: 16021.01
 File name:
 Issued Date: 01/17/17
 Drawn by: AMV
 Checked by: CC / CP

SHEET NAME
PROPOSED COLOR ELEVATIONS

SHEET NUMBER
A-4.1



COLOR LEGEND:

1	BENJAMIN MOORE HC-27 MONTEREY WHITE	6	BENJAMIN MOORE OC-152 SUPER WHITE
2	BENJAMIN MOORE HC-28 SHELburnE BUFF	7	BENJAMIN MOORE CSP-155 SKIPPING STONE
3	BENJAMIN MOORE 2136-10 BLACK KNIGHT	8	BENJAMIN MOORE CSP-60 CITY SHADOW
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5	BENJAMIN MOORE 2120-70 STONE WHITE	10	VINYL AWNING MATERIAL, BLACK AND GOLD STRIPED

REVISION 1
 THIS SHEET WAS REVISED TO CREATE A LARGER ENTRANCE FROM THE PARKING AREA TO THE PROPOSED RETAIL MODIFICATIONS TO THE BUILDING TO MEET THE FUTURE TENANTS PROTOTYPE.

3 PROPOSED EAST ELEVATION
 SCALE: 3/16" = 1'-0"



4 PROPOSED NORTH ELEVATION
 SCALE: 3/16" = 1'-0"

Revisions:

03/24/2017	△ DRC COMMENTS

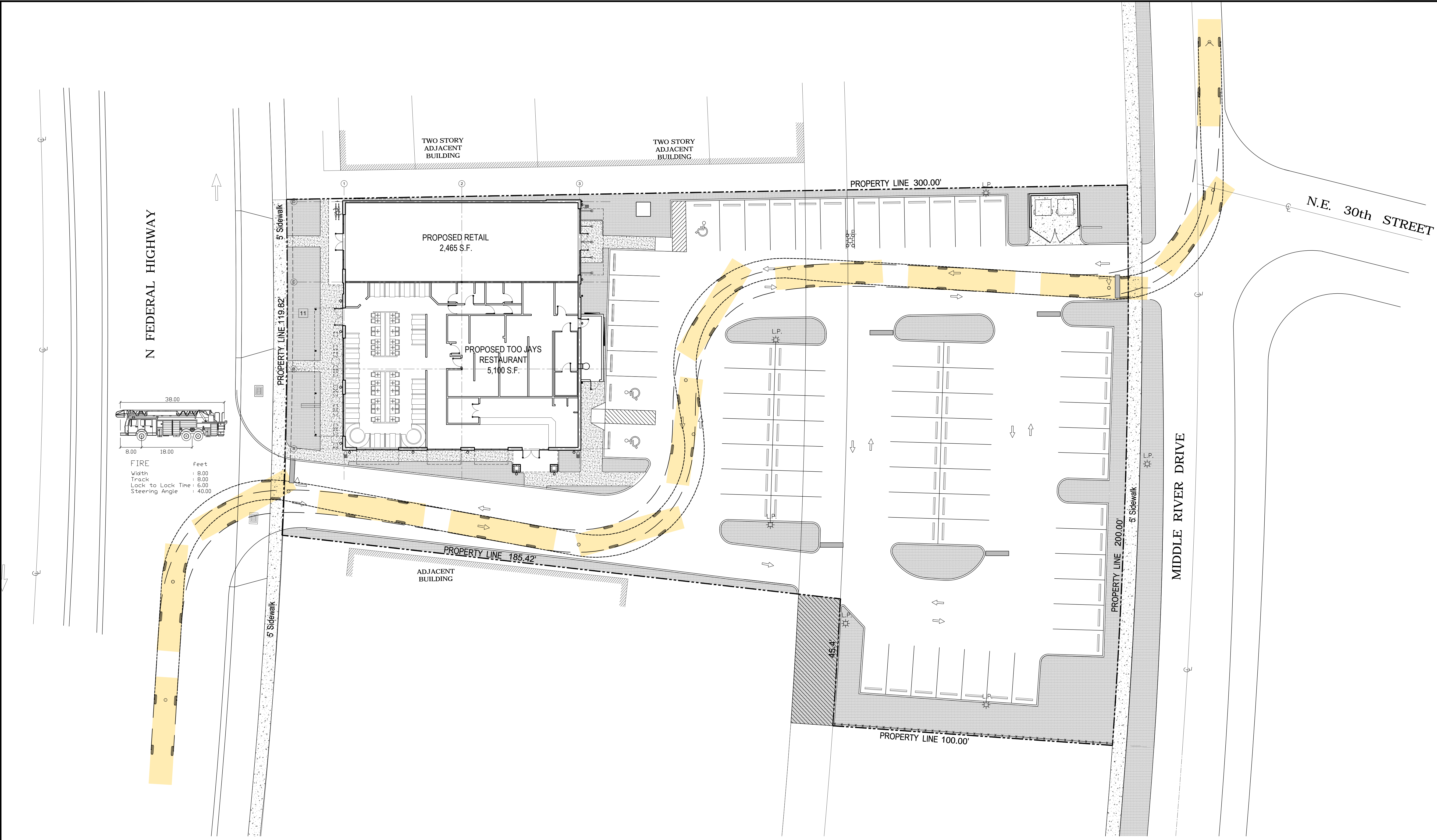
OWNER:	2980 INVESTMENTS LLC 6900 NE 1ST AVE, SUITE 100 FORT LAUDERDALE, FL 33334 P: 954.776.1005 EXT 203 WWW.DIVERSIFIEDCOS.COM
DEVELOPER:	DIVERSIFIED COMPANIES 6900 NE 1ST AVE, SUITE 100 FORT LAUDERDALE, FL 33334 P: 954.776.1005 EXT 203 WWW.DIVERSIFIEDCOS.COM

PROJECT:	2980 RETAIL / RESTAURANT BUILDING 2980-2990 NORTH FEDERAL HWY FORT LAUDERDALE, FL 33306
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Job Number:	16021.01
File name:	
Issued Date:	01/17/17
Drawn by:	AMV
Checked by:	CC / CP

SHEET NAME
PROPOSED FIRE TRUCK TURNING PLAN

SHEET NUMBER
A-5.0



PROPOSED FIRE TRUCK TURNING PLAN
 SCALE: 1/16" = 1'-0"

Revisions:

03/24/2017	△ DRC COMMENTS

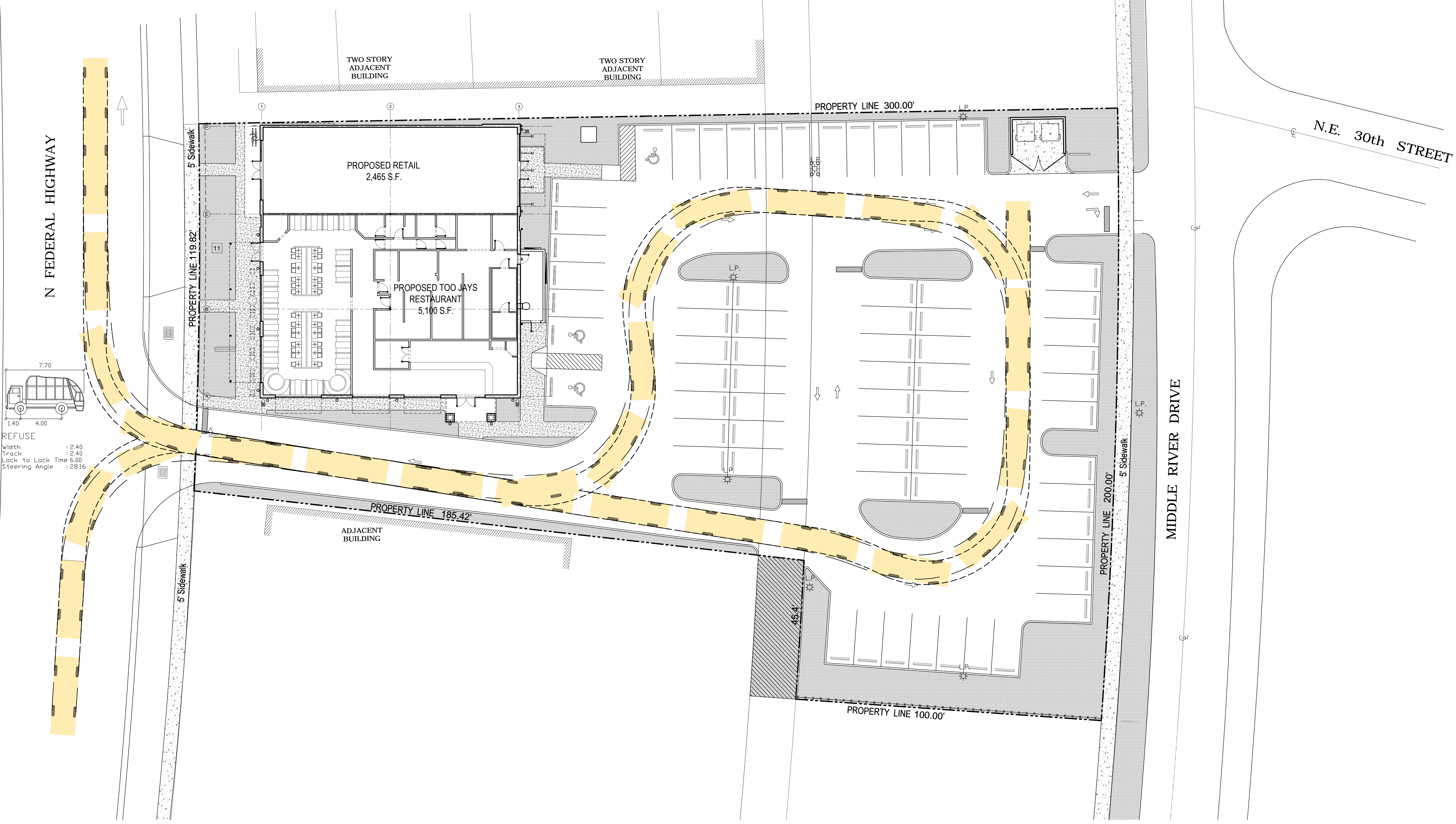
OWNER:	2980 INVESTMENTS LLC 6900 NE 1ST AVE SUITE 100 FORT LAUDERDALE, FL 33334 P: 954.776.1005 EXT 203 WWW.DIVERSIFIEDCOS.COM
DEVELOPER:	DIVERSIFIED COMPANIES 6900 NE 1ST AVE SUITE 100 FORT LAUDERDALE, FL 33334 P: 954.776.1005 EXT 203 WWW.DIVERSIFIEDCOS.COM

PROJECT:	2980 RETAIL / RESTAURANT BUILDING 2980-2990 NORTH FEDERAL HWY FORT LAUDERDALE, FL 33306
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Job Number:	16021.01
File name:	
Issued Date:	01/17/17
Drawn by:	AMV
Checked by:	CC / CP

SHEET NAME
PROPOSED GARBAGE TRUCK TURNING PLAN

SHEET NUMBER
A-6.0



PROPOSED FIRE TRUCK TURNING PLAN
 SCALE: 1/16" = 1'-0"

REVISION 1
 THIS SHEET WAS REVISED TO CREATE A LARGER ENTRANCE FROM THE PARKING AREA TO THE PROPOSED RETAIL. MODIFICATIONS TO THE BUILDING TO MEET THE FUTURE TENANTS PROTOTYPE.

Carlos Pizarro, R.A.
 AR - 0013079

Revisions:

OWNER: **2980 INVESTMENTS LLC**
 6300 NE 1ST AVE, SUITE 100, FORT LAUDERDALE, FL 33334
 P: 954-776-1005 EXT 203 WWW.DIVERSIFIEDCOS.COM

DEVELOPER: **DIVERSIFIED COMPANIES**
 6300 NE 1ST AVE, SUITE 100, FORT LAUDERDALE, FL 33334
 P: 954-776-1005 EXT 203 WWW.DIVERSIFIEDCOS.COM

PROJECT: **2980 RETAIL / RESTAURANT BUILDING**
 2980-2990 NORTH FEDERAL HWY
 FORT LAUDERDALE, FL 33306

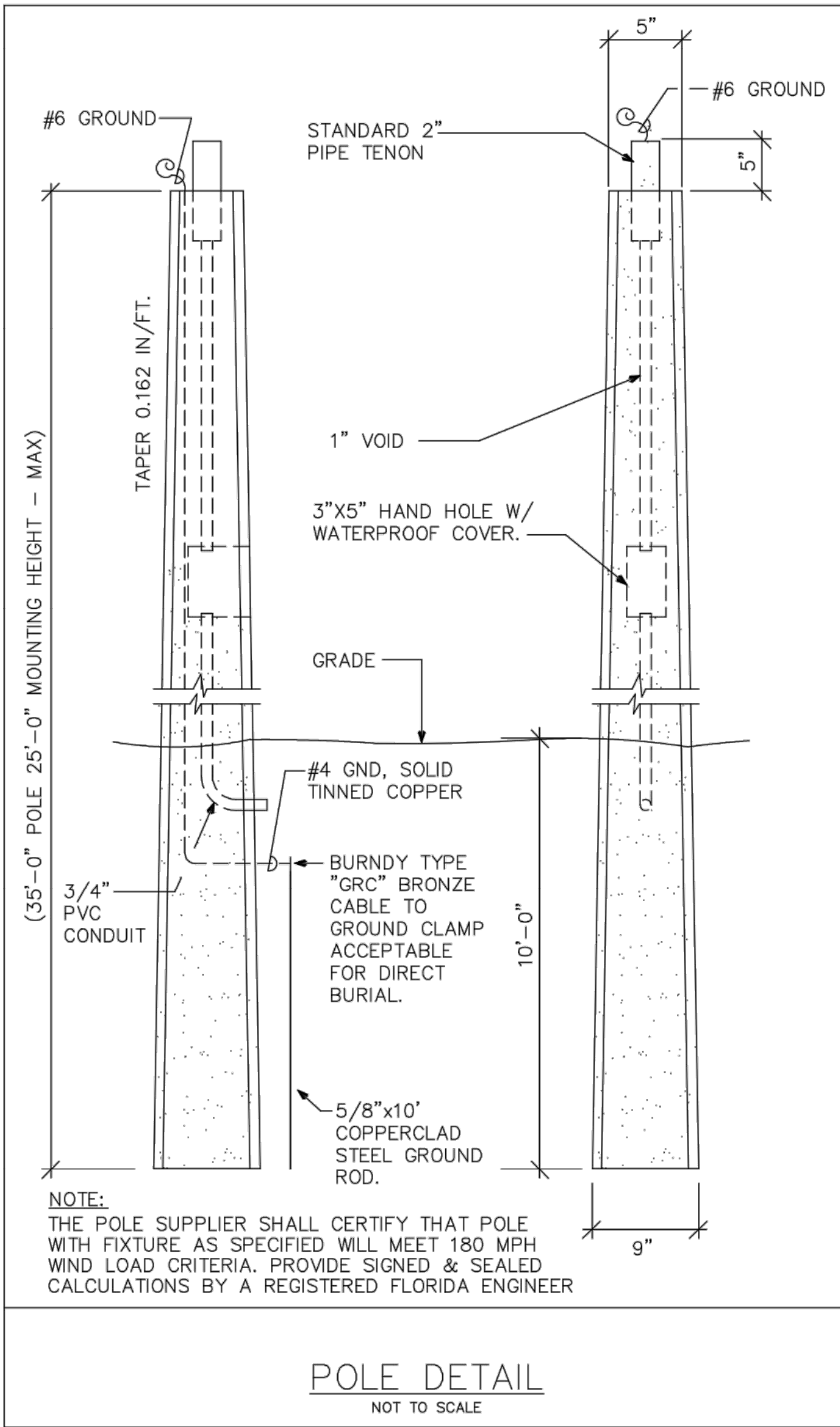
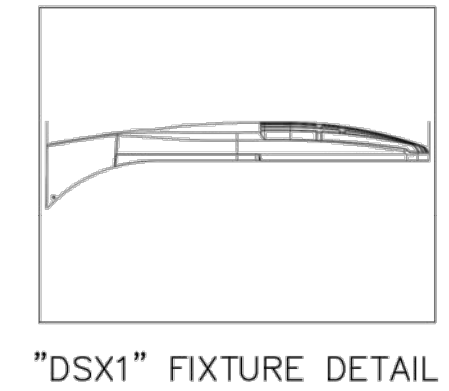
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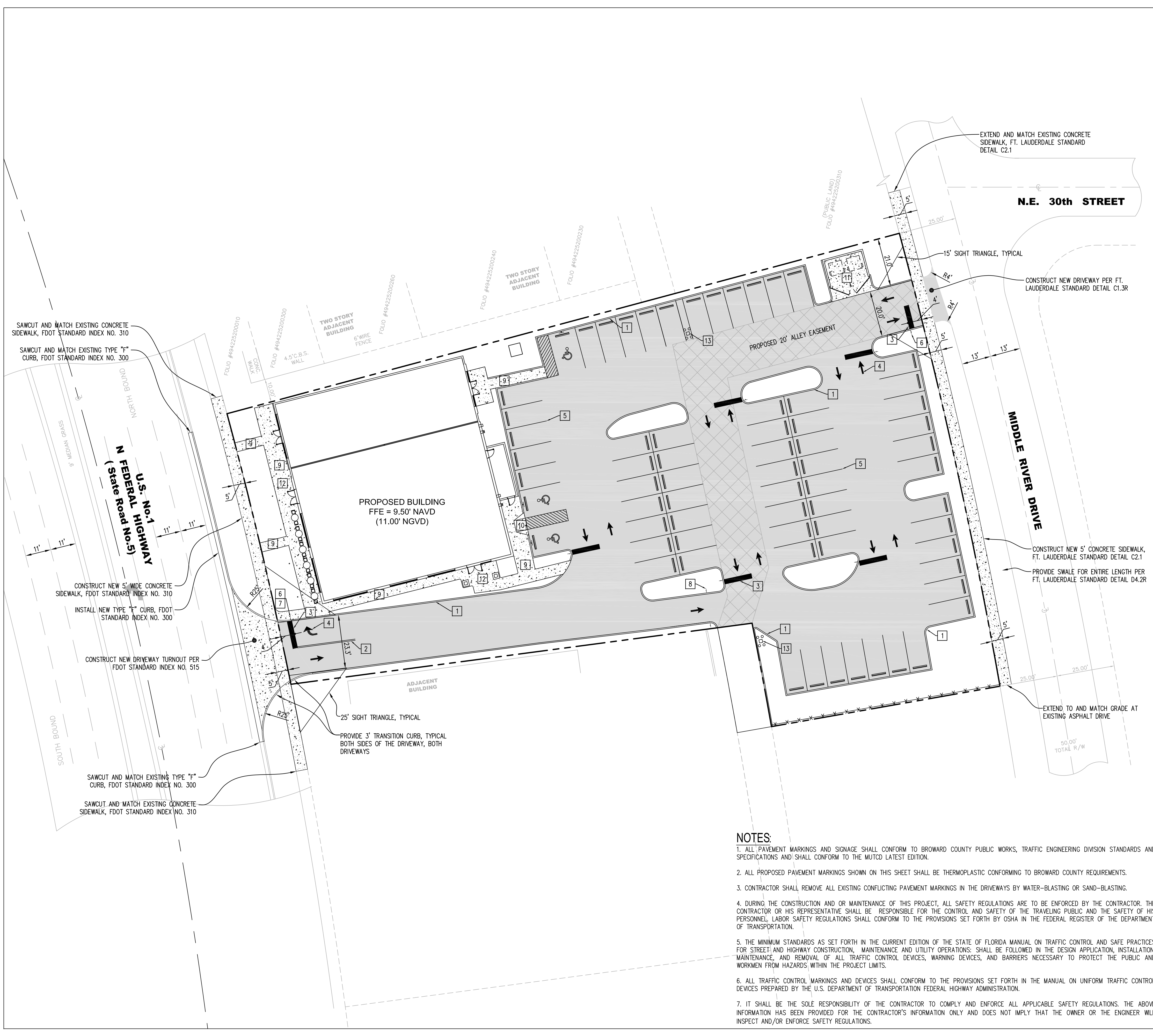
SHEET NAME
SITE PHOTOMETRIC PLAN

SHEET NUMBER
PH-1

Luminaire Schedule								
Project: 2980 RETAIL BUILDING / TOO JAY'S - SITE FORT LAUDERDALE, FL 01/12/2016								
Symbol	Qty	Label	Arrangement	Manufacturer	Description	Lum. Lumens	LLF	Lum. Watts
	2	SA	SINGLE	Lithonia Lighting	DSX1 LED 40C 1000 50K T4M MVOLT HS MH: 25' POLE MOUNT A.F.G.	11681	0.855	138
	2	SB	SINGLE	Lithonia Lighting	DSX1 LED 60C 1000 50K T5M MVOLT MH: 25' POLE MOUNT A.F.G.	23461	0.855	209
	1	SC	SINGLE	Lithonia Lighting	DSX1 LED 40C 1000 50K BLC MVOLT MH: 25' POLE MOUNT A.F.G.	11361	0.855	138
	3	SW	SINGLE	Lithonia Lighting	DSXW1 LED 20C 1000 50K TFTM MVOLT MH: 15' WALL MOUNT A.F.F.	7760	0.855	73.2

Calculation Summary							
Project: 2980 RETAIL BUILDING / TOO JAY'S - SITE FORT LAUDERDALE, FL 01/12/2016							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT	Illuminance	Fc	2.10	3.7	1.1	1.91	3.36





KEYNOTES:

- 1 NEW TYPE "D" CURB, TYPICAL ENTIRE PROJECT
- 2 NEW 6" DOUBLE YELLOW THERMOPLASTIC
- 3 NEW 24" WHITE THERMOPLASTIC STOP BAR, TYPICAL ALL STOP CONDITIONS
- 4 NEW THERMOPLASTIC DIRECTIONAL ARROWS, TYPICAL
- 5 4" WIDE WHITE STRIPES TWO COATS, TYPICAL ALL PARKING SPACES
- 6 NEW STOP SIGN R1-1 PER MUTCD, TYPICAL ALL STOP CONDITIONS
- 7 NEW RIGHT TURN ONLY SIGN R3-5R PER MUTCD
- 8 NEW DO NOT ENTER SIGN R5-1, BOTH SIDES OF DRIVE
- 9 NEW CONCRETE ACCESSIBLE ROUTE 1:48 MAXIMUM CROSS-SLOPE, 1:20 (5.0%) MAXIMUM RUNNING SLOPE, INSTALL DETECTABLE WARNING, SEE DETAILS
- 10 NEW CURB RAMP 1:48 MAXIMUM CROSS-SLOPE, 1:12 MAXIMUM RUNNING SLOPE, INSTALL DETECTABLE WARNING
- 11 NEW DUMPSTER ENCLOSURE, REFER TO ARCHITECTURAL
- 12 REFER TO ARCHITECTURAL FOR BUILDING SIDEWALK CONSTRUCTION
- 13 NEW FPL POWER POLE WITH BOLLARDS

SAFETY NOTES:

- 1. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS FOR CONSTRUCTION SITE SAFETY.
- 2. DURING THE CONSTRUCTION AND OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED BY THE CONTRACTOR. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
- 3. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF THE STATE OF FLORIDA MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS; SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES, AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.
- 4. ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
- 5. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
- 6. TRENCH EXCAVATION PROTECTION SHALL BE ACCOMPLISHED AS REQUIRED BY THE PROVISIONS OF PART 1926, SUBPART P, EXCAVATIONS, TRENCHING AND SHORING OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIONS STANDARDS AND INTERPRETATIONS.
- 7. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR THE ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

REFER TO ARCHITECTURAL SITE PLAN FOR ZONING DATA, PARKING CALCULATIONS AND OTHER SITE PLAN ELEMENTS.

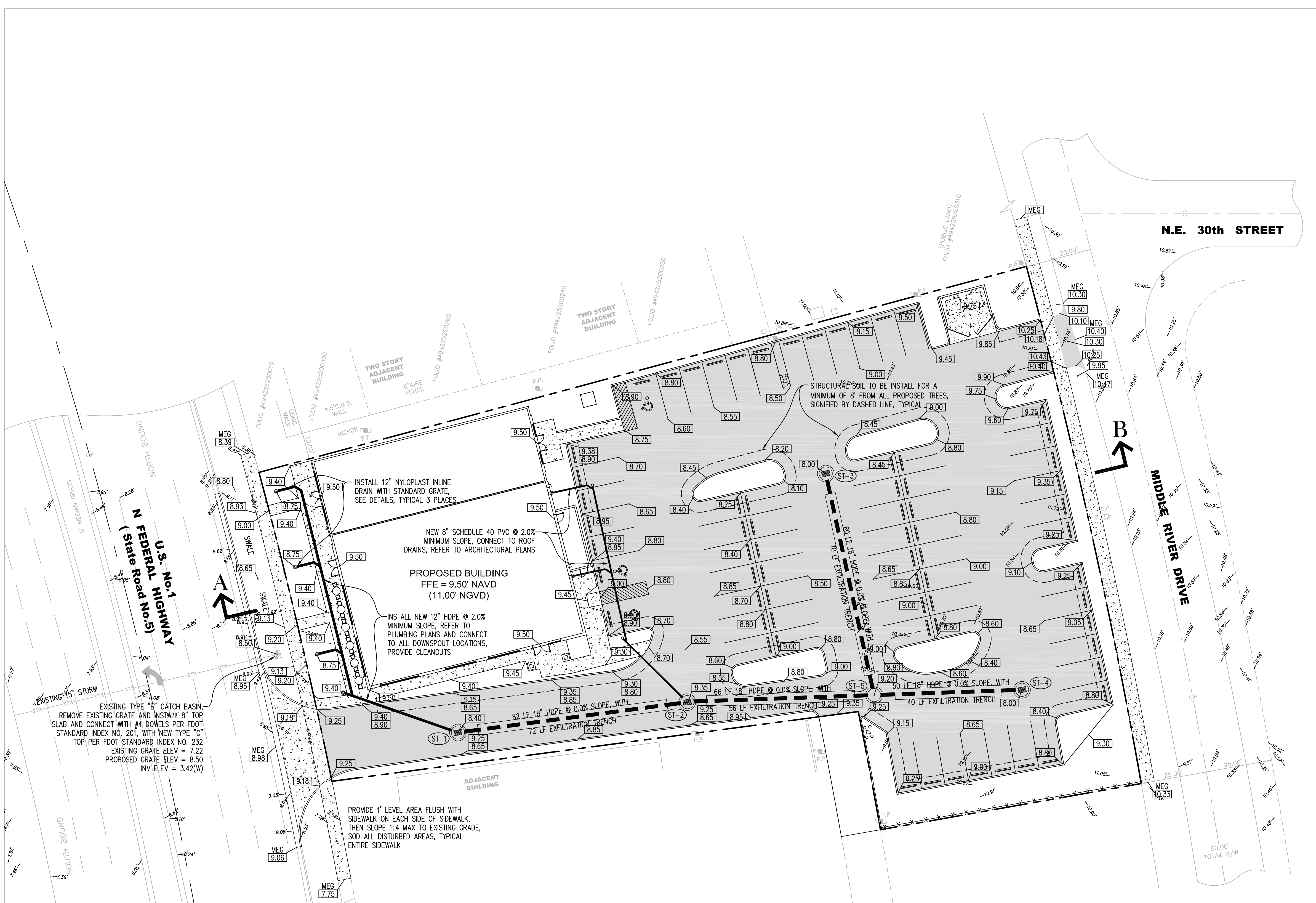
NEW ASPHALT PAVEMENT
REFER TO PGD PLANS

NOTES:

- 1. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM TO BROWARD COUNTY PUBLIC WORKS, TRAFFIC ENGINEERING DIVISION STANDARDS AND SPECIFICATIONS AND SHALL CONFORM TO THE MUTCD LATEST EDITION.
- 2. ALL PROPOSED PAVEMENT MARKINGS SHOWN ON THIS SHEET SHALL BE THERMOPLASTIC CONFORMING TO BROWARD COUNTY REQUIREMENTS.
- 3. CONTRACTOR SHALL REMOVE ALL EXISTING CONFLICTING PAVEMENT MARKINGS IN THE DRIVEWAYS BY WATER-BLASTING OR SAND-BLASTING.
- 4. DURING THE CONSTRUCTION AND OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED BY THE CONTRACTOR. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OSHA IN THE FEDERAL REGISTER OF THE DEPARTMENT OF TRANSPORTATION.
- 5. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF THE STATE OF FLORIDA MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS; SHALL BE FOLLOWED IN THE DESIGN APPLICATION, INSTALLATION, MAINTENANCE, AND REMOVAL OF ALL TRAFFIC CONTROL DEVICES, WARNING DEVICES, AND BARRIERS NECESSARY TO PROTECT THE PUBLIC AND WORKMEN FROM HAZARDS WITHIN THE PROJECT LIMITS.
- 6. ALL TRAFFIC CONTROL MARKINGS AND DEVICES SHALL CONFORM TO THE PROVISIONS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES PREPARED BY THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION.
- 7. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR THE ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE OF THE STOP SIGNS AND THERMOPLASTIC MARKINGS IN THE DRIVEWAY OPENINGS, INCLUDING THE STOP BARS AND DOUBLE YELLOW LINES.

20 0 20 40
GRAPHIC SCALE IN FEET
SCALE 1" = 20'
24 x 36 SHEET
Always call 811 two full business days before you dig
Sunshine811.com



PROPOSED DRAINAGE STRUCTURES

NO.	TYPE	ELEVATIONS		
		GRATE	INVERT	BOTTOM
ST-1	TYPE "P" 4' INLET FDOT INDEX 200	8.40	4.50 (E)(W)	1.00
ST-2	TYPE "J" 5' INLET FDOT INDEX 200	8.35	4.50 (N,E,W)	1.00
ST-3	TYPE "P" 4' INLET FDOT INDEX 200	8.00	4.50 (S)	1.00
ST-4	TYPE "J" 5' W/ MANHOLE COVER	8.00	4.50 (E)	4.50
ST-5	TYPE "P" 4' INLET FDOT INDEX 200	9.20	4.50 (N,E,W)	1.00

- NOTES:**
- "P", "J" = ROUND INLET STRUCTURE BOTTOMS PER FDOT INDEX 200, WITH TYPE "C" CAST IRON FRAME AND GRATE.
 - INSTALL BAFFLES FOR ALL OPENINGS IN DRAINAGE STRUCTURES THAT LEAD TO EXFILTRATION TRENCH.
 - NEW STORM PIPING SHALL BE ADS N-12 HDPE.

- NEW ASPHALT PAVEMENT**
- CONTRACTOR TO REMOVE ALL EXISTING MATERIAL TO THE APPROPRIATE DEPTH. COMPACT AND IMPROVE THE EXISTING SUB-BASE MATERIAL AS REQUIRED TO PROVIDE 12" STABILIZED SUBGRADE.
- SUBGRADE:** 12" STABILIZED SUBGRADE MINIMUM LBR OF 40, COMPACTED TO 98% MAX DRY DENSITY (AASHTO D 1557).
- BASE COURSE:** 8" LIMEROCK BASE, MINIMUM LBR OF 100, COMPACTED TO 98% MAX DRY DENSITY (AASHTO D 1557).
- STRUCTURAL SOIL:** FOR AREAS WHERE STRUCTURAL SOIL IS REQUIRED, IN LIEU OF LIMEROCK BASE AN 8" LAYER OF CU-STRUCTURAL SOIL (FROM A LICENSED PRODUCER) SHALL BE INSTALL OVER THE COMPACTED SUBGRADE. PROVIDE SAMPLE OF STRUCTURAL SOIL TO GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION.
- ASPHALT:** 2.0" FLORIDA DEPARTMENT OF TRANSPORTATION TYPE S-III ASPHALTIC CONCRETE, TWO LIFTS

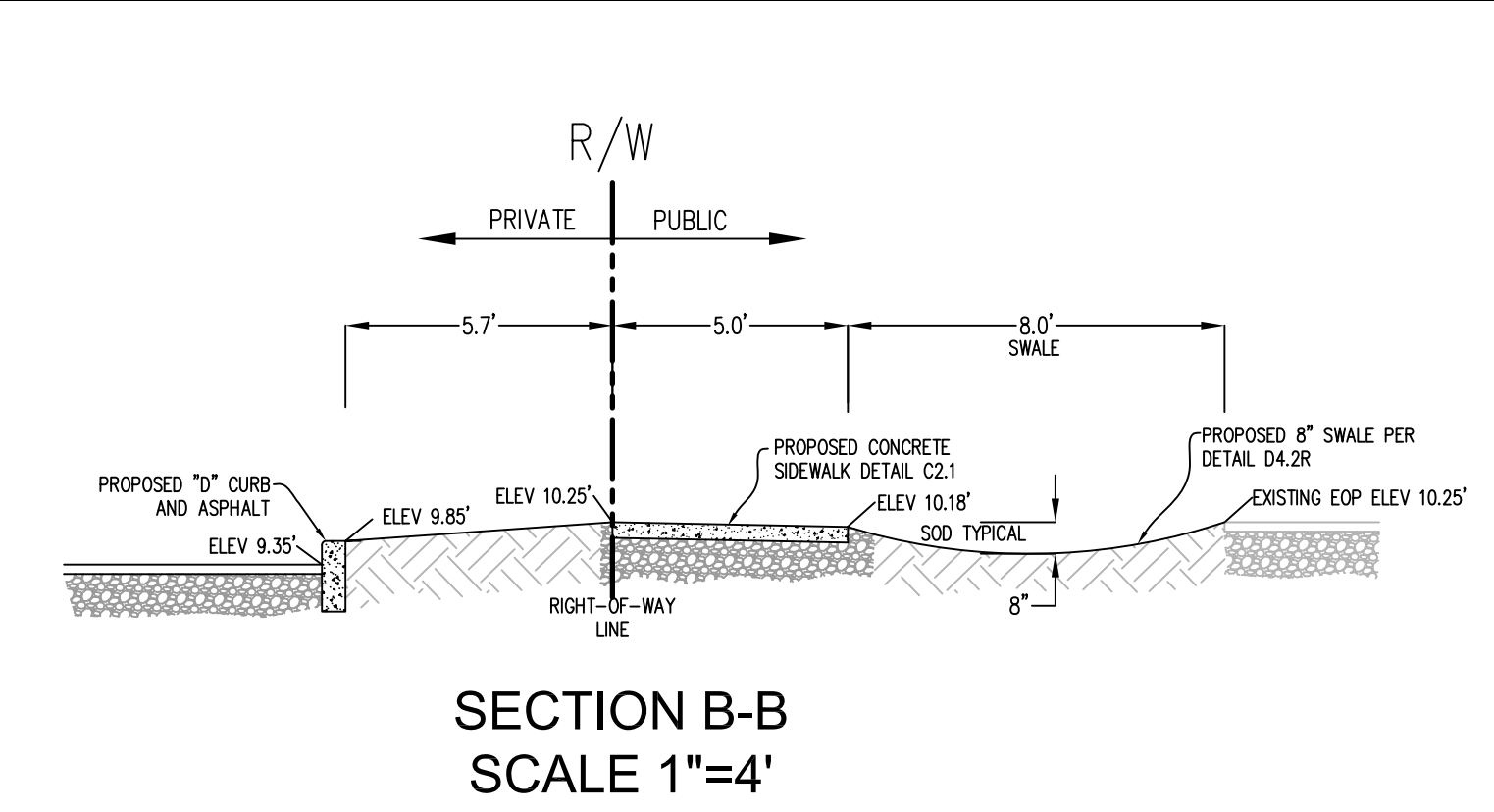
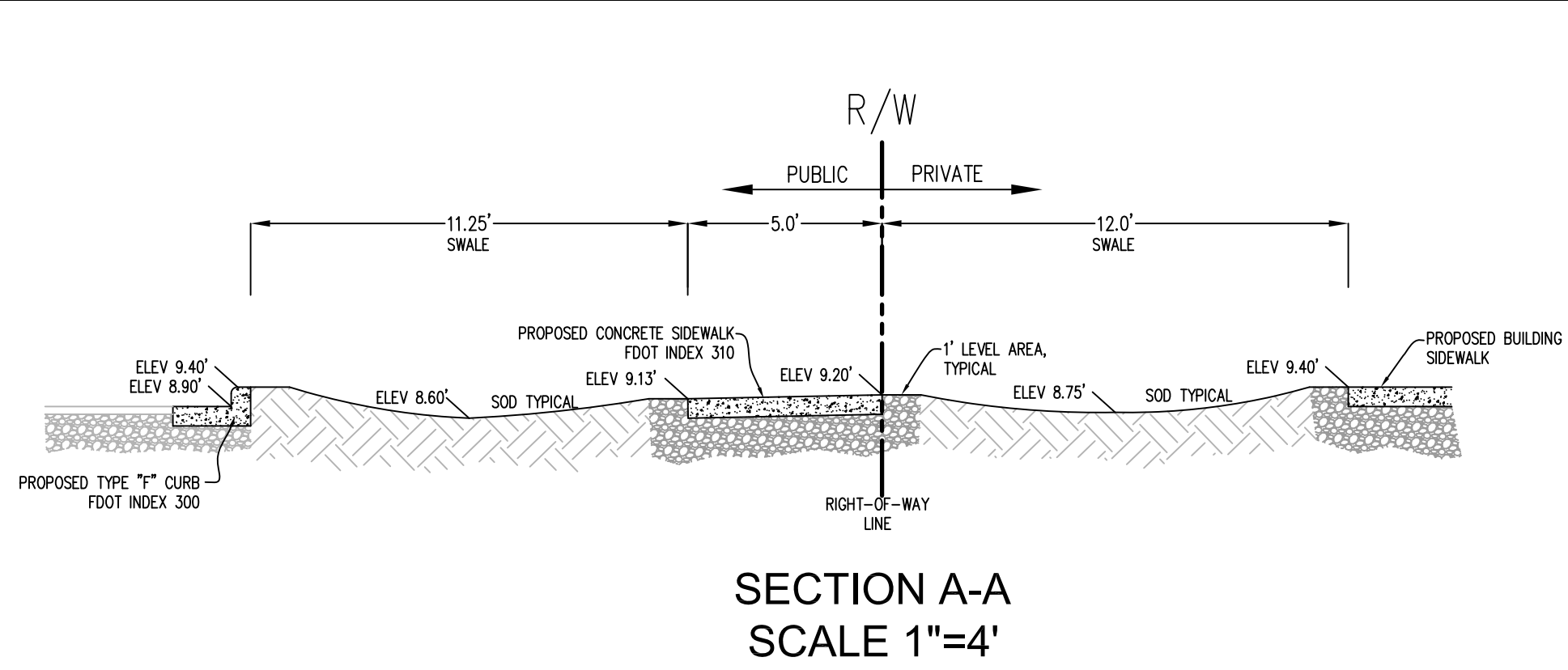
FLOOD ZONE

THE NATIONAL FLOOD INSURANCE RATE MAP FOR FLORIDA, COMMUNITY PANEL NO. 125105 0386H, FIRM DATE 08/18/2014, PUBLISHED BY THE UNITED STATES DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, DELINEATES THE HEREIN DESCRIBED LAND TO BE SITUATED WITHIN FLOOD ZONE "X"

- NOTES:**
- AS-BUILTS: THE CONTRACTOR SHALL MAINTAIN A CURRENT AND UPDATED SET OF AS-BUILT DRAWINGS PREPARED BY A LICENSED SURVEYOR AT ALL TIMES DURING CONSTRUCTION AND SHALL PROVIDE THE ENGINEER A COMPLETE SET OF AS-BUILT DRAWINGS AT THE COMPLETION OF CONSTRUCTION WHICH ARE SIGNED AND SEALED BY A LICENSED SURVEYOR.
 - ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 1988 DATUM.
 - CONTRACTOR SHALL ADJUST ALL GRATES, COVERS, VALVE BOXES, ELECTRICAL BOXES, CLEANOUTS, ETC. FLUSH WITH THE NEW ASPHALT AND CONCRETE SURFACES.
 - CONTRACTOR IS RESPONSIBLE TO RESTORE ALL DISTURBED AREAS AND SURFACES TO EXISTING OR BETTER CONDITION.
 - CONTRACTOR SHALL PROVIDE INLET FILTERS FOR ALL CATCH BASINS IN THE VICINITY FOR THE DURATION OF THE PROJECT. FILTERS SHALL BE CLEANED AFTER EVERY STORM EVENT AND SHALL BE MAINTAINED CONTINUOUSLY TO AVOID SEDIMENT AND DEBRIS FROM ENTERING INLETS.
 - ALL EXISTING STORM CATCH BASINS AND MANHOLES SHALL BE COMPLETELY CLEANED OUT BY LICENSED VAC CONTRACTOR AND HAULER AT THE COMPLETION OF CONSTRUCTION.
 - ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH FDOT AND FT. LAUDERDALE STANDARDS AND SPECIFICATIONS LATEST EDITION AS APPLICABLE.
 - LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL CHECK THE PLANS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
 - THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES, AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES, IN ORDER TO PERMIT MARKING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, IN ADVANCE OF CONSTRUCTION, BY CALLING "SUNSHINE" AT 1-800-432-4770. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES NOT INCLUDED IN THE "SUNSHINE" PROGRAM.

SITE LEGEND

	PROPOSED DRAINAGE INLET STRUCTURE
	MATCH EXISTING GRADE
	PROPOSED SPOT GRADE
	EXISTING SPOT GRADE
	STRUCTURE NUMBER
	PROPOSED STORM PIPING
	EXISTING STORM PIPING
	PROPOSED CONCRETE



GRAPHIC SCALE IN FEET
SCALE 1" = 20'
24 x 36 SHEET

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GRACE ENGINEERING

CIVIL ENGINEERING CONSULTANTS
CERTIFICATE OF AUTHORIZATION
No. 29280

17110 SW 64TH COURT
SOUTHWEST RANCHES, FLORIDA 33331
GRACEENGINEERINGLLC@GMAIL.COM
954.558.9628

GRACE Project No: C2276
Plan Date: March 21, 2017

Revisions:
April 10, 2017
DRC COMMENTS

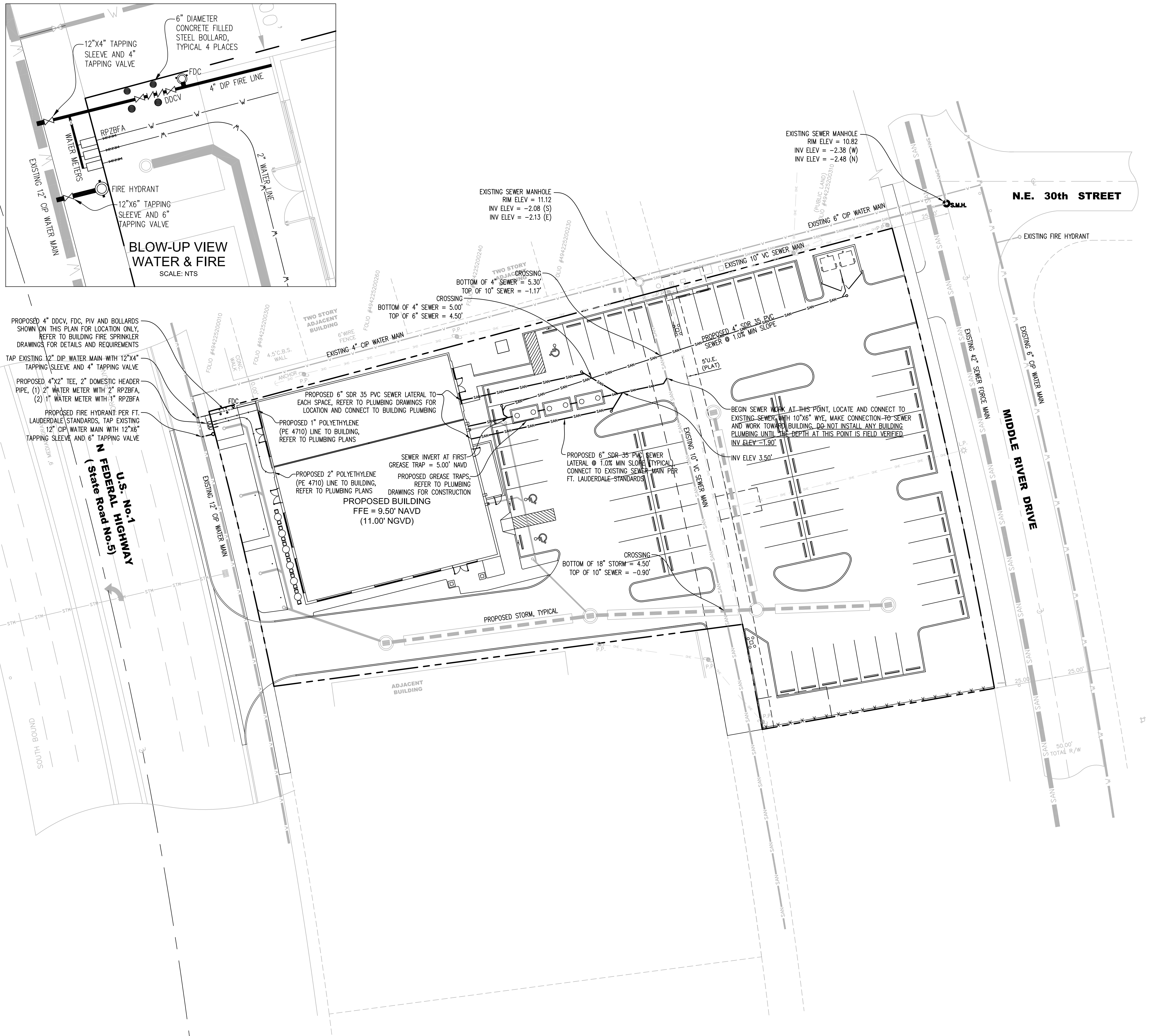
Prepared For:
 DIVERSIFIED COMPANIES
6300 NE 1st Avenue, Suite 100
Ft. Lauderdale, Florida 33334

PROJECT: **2980 Retail/Restaurant**
2980-2990 North Federal Highway
FORT LAUDERDALE
FLORIDA

JOHN E. FLYNN, P.E.
Florida License No. 63316
GRACE ENGINEERING, LLC
Certificate of Authorization No. 29280

SHEET NAME
**PAVING,
GRADING &
DRAINAGE
PLAN**

SHEET NUMBER
C-2



PIPE MARKINGS:

ALL WATER MAIN PIPE AND FITTINGS INSTALLED UNDER THIS PROJECT SHALL BE COLOR CODED OR MARKED USING BLUE AS A PREDOMINANT COLOR TO DIFFERENTIATE DRINKING WATER FROM RECLAIMED OR OTHER WATER. UNDERGROUND PLASTIC PIPE SHALL BE SOLID-WALL BLUE PIPE, SHALL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR SHALL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE OR PAINT SHALL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE; FOR PIPES WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE.

STANDARD SEPARATION STATEMENT:

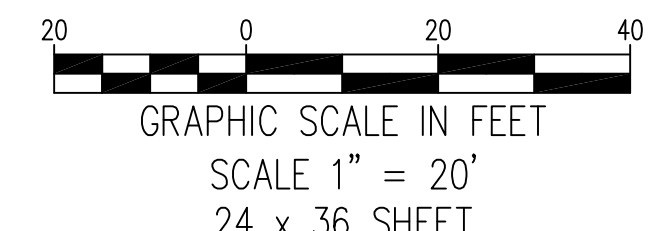
(1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.
 (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
 (B) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
 (C) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
 (2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES.
 (A) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
 (B) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
 (C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C. AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

NOTES:

- AS-BUILTS: THE CONTRACTOR SHALL MAINTAIN A CURRENT AND UPDATED SET OF AS-BUILT DRAWINGS PREPARED BY A LICENSED SURVEYOR AT ALL TIMES DURING CONSTRUCTION AND SHALL PROVIDE THE ENGINEER A COMPLETE SET OF AS-BUILT DRAWINGS AT THE COMPLETION OF CONSTRUCTION WHICH ARE SIGNED AND SEALED BY A SURVEYOR.
- CONTRACTOR SHALL ADJUST ALL GRATES, COVERS, VALVE BOXES, ELECTRICAL BOXES, CLEANOUTS, ETC. FLUSH WITH THE NEW ASPHALT AND CONCRETE SURFACES.
- CONTRACTOR IS RESPONSIBLE TO RESTORE ALL DISTURBED AREAS AND SURFACES TO EXISTING OR BETTER CONDITION. REFER TO DETAIL SHEETS FOR ASPHALT AND CONCRETE PATCHING REQUIREMENTS.
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH FORT LAUDERDALE STANDARDS AND SPECIFICATIONS, LATEST EDITION.
- LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES, AND OTHER FEATURES ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES AFFECTING THIS WORK PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK THE PLANS FOR CONFLICTS AND DISCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES BEFORE PERFORMING ANY WORK IN THE AFFECTED AREA.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES, AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS UTILITY COMPANIES, IN ORDER TO PERMIT MARKING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, IN ADVANCE OF CONSTRUCTION, BY CALLING "SUNSHINE" AT 1-800-432-4770. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES NOT INCLUDED IN THE "SUNSHINE" PROGRAM.

SITE LEGEND

SYMBOL	DESCRIPTION
(Solid line with blue dashes)	EXISTING WATER MAIN
(Dashed line)	PROPOSED FIRE LINE
(Line with 'S' and 'SAN' labels)	EXISTING SEWER MAIN
(Line with 'S' and 'SAN' labels)	PROPOSED SEWER LATERAL
(Line with 'S' and 'STH' labels)	EXISTING STORM
(Dashed line)	PROPOSED STORM



GRACE ENGINEERING

CIVIL ENGINEERING CONSULTANTS
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 954.558.9628

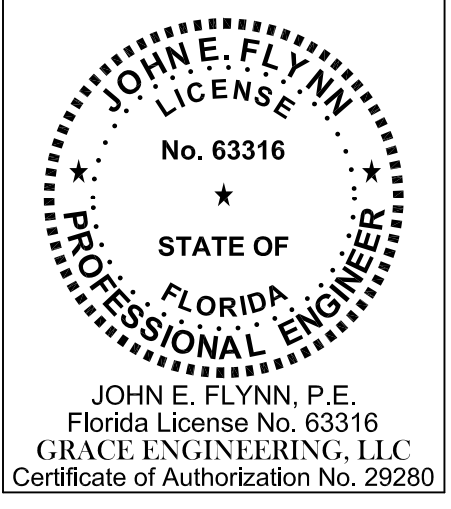
GRACE Project No: C2276
 Plan Date: March 21, 2017

Revisions:
 April 10, 2017
 DRC COMMENTS

Prepared For:



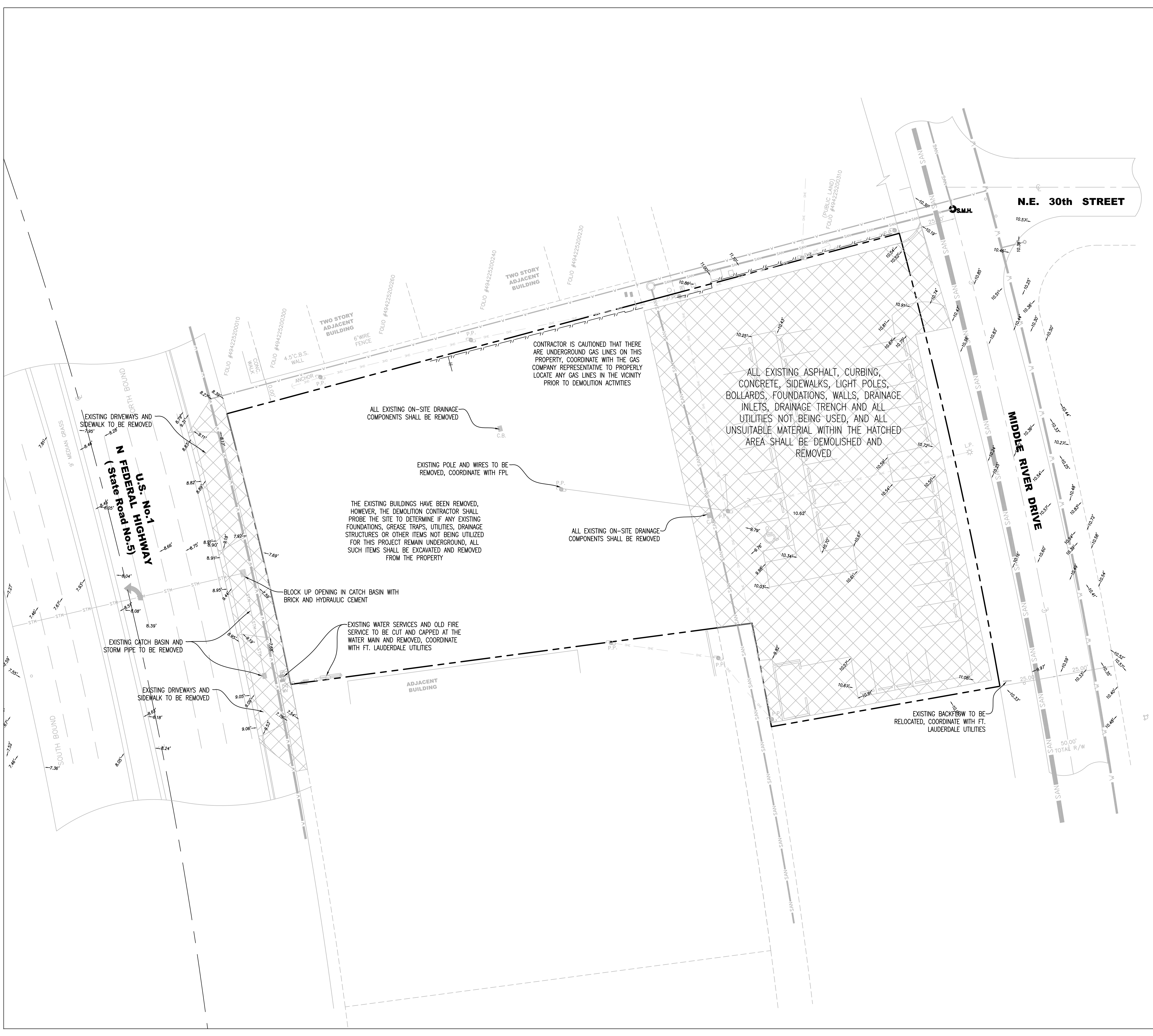
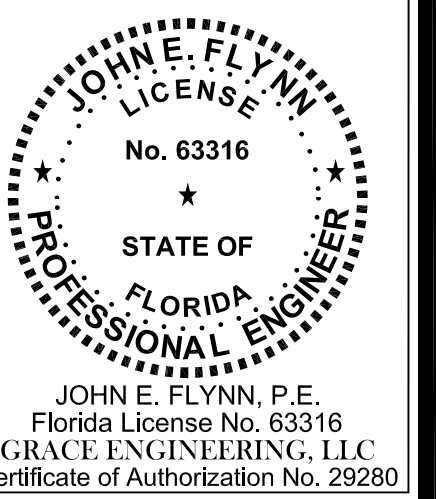
PROJECT: **2980 Retail/Restaurant**
 2980-2990 North Federal Highway
 FORT LAUDERDALE FLORIDA



JOHN E. FLYNN, P.E.
 Florida License No. 63316
 GRACE ENGINEERING, LLC
 Certificate of Authorization No. 29280

SHEET NAME
WATER & SEWER PLAN

SHEET NUMBER
C-3



DEMOLITION NOTES:

THE CONTRACTOR SHALL SAW CUT ALONG A NEAT STRAIGHT LINE AT ALL POINTS OF CONNECTION TO EXISTING PAVEMENT OR CONCRETE TO REMAIN.

CONTRACTOR IS RESPONSIBLE FOR REMOVING DEBRIS AND DISPOSING OF PROPERLY OFF SITE.

LOCATION OF EXISTING UTILITIES SHOWN IS FROM BEST AVAILABLE INFORMATION AND IS APPROXIMATE. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

ALL FEATURES IDENTIFIED ON THIS PLAN WHICH ARE LISTED TO BE DEMOLISHED ARE TO BE REMOVED FROM THE SITE. AFTER DEMOLITION IS COMPLETE THE SITE SHALL BE DELIVERED IN A CLEAN, UNIFORMLY GRADED CONDITION, FREE OF DEBRIS, ACCESSIBLE AND SUITABLE FOR DEVELOPMENT. THE CONDITION OF THE SITE SHALL BE APPROVED BY THE ENGINEER AND APPLICABLE REGULATORY AGENCIES PRIOR TO THE COMPLETION OF THE CONTRACT.

ENVIRONMENTAL AND HAZARDOUS MATERIALS: UTILITY LINES OR BUILDING MATERIALS CONTAINING ASBESTOS ENCOUNTERED DURING THE COURSE OF THE WORK SHALL BE REMOVED FROM THE SITE SOLELY AND SEPARATELY BY A CERTIFIED ASBESTOS REMOVAL COMPANY AND DISPOSED OF AT AN APPROVED SITE. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFE LAWFUL HANDLING, TRANSPORTATION AND DISPOSAL OF THESE MATERIALS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN, COMPLETE AND FORWARD ALL REQUIRED APPLICATIONS WITH THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND COUNTY REGULATIONS. THE CONTRACTOR IS REQUIRED TO PREPARE A REPORT FOR THE OWNER TO REVIEW.

CONTRACTOR SHALL BE REQUIRED AT ALL TIMES TO SECURE ALL EQUIPMENT & MATERIAL WITHIN THE "DEMOLITION LIMITS".

CONTRACTOR SHALL INSTALL A CHAIN LINK CONSTRUCTION FENCE AROUND THE ENTIRE PERIMETER OF THE DEMOLITION LIMITS.

THE CONTRACTOR WILL BE RESPONSIBLE FOR MAKING A VISUAL INSPECTION OF THE SITE AND WILL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL UNDERGROUND AND ABOVE GROUND STRUCTURES THAT WILL NOT BE INCORPORATED WITH THE NEW FACILITIES. SHOULD ANY DISCREPANCIES EXIST WITH THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING THE OWNER AND REQUESTING A CLARIFICATION OF THE PLANS PRIOR TO DEMOLITION.

THE CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS FOR DEMOLITION.

DURING DEMOLITION, ALL STORM SEWER INLETS IN THE VICINITY OF THE PROJECT SHALL BE PROTECTED BY SEDIMENT TRAPS SUCH AS FILTER FABRIC OR SECURED HAY BALES, WHICH SHALL BE MAINTAINED AND MODIFIED AS REQUIRED BY CONSTRUCTION PROGRESS.

ALL EROSION AND SILTATION CONTROL METHODS SHALL BE IMPLEMENTED PRIOR TO THE START OF DEMOLITION AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETED.

IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION, OR OTHER ACCEPTABLE METHODS.

SITE LEGEND

SYMBOL	DESCRIPTION
	DEMOLITION AREA



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CONTRACTOR IS CAUTIONED THAT THERE ARE UNDERGROUND GAS LINES ON THIS PROPERTY, COORDINATE WITH THE GAS COMPANY REPRESENTATIVE TO PROPERLY LOCATE ANY GAS LINES IN THE VICINITY PRIOR TO DEMOLITION ACTIVITIES

ALL EXISTING ASPHALT, CURBING, CONCRETE, SIDEWALKS, LIGHT POLES, BOLLARDS, FOUNDATIONS, WALLS, DRAINAGE INLETS, DRAINAGE TRENCH AND ALL UTILITIES NOT BEING USED, AND ALL UNSUITABLE MATERIAL WITHIN THE HATCHED AREA SHALL BE DEMOLISHED AND REMOVED

ALL EXISTING ON-SITE DRAINAGE COMPONENTS SHALL BE REMOVED

EXISTING POLE AND WIRES TO BE REMOVED, COORDINATE WITH FPL

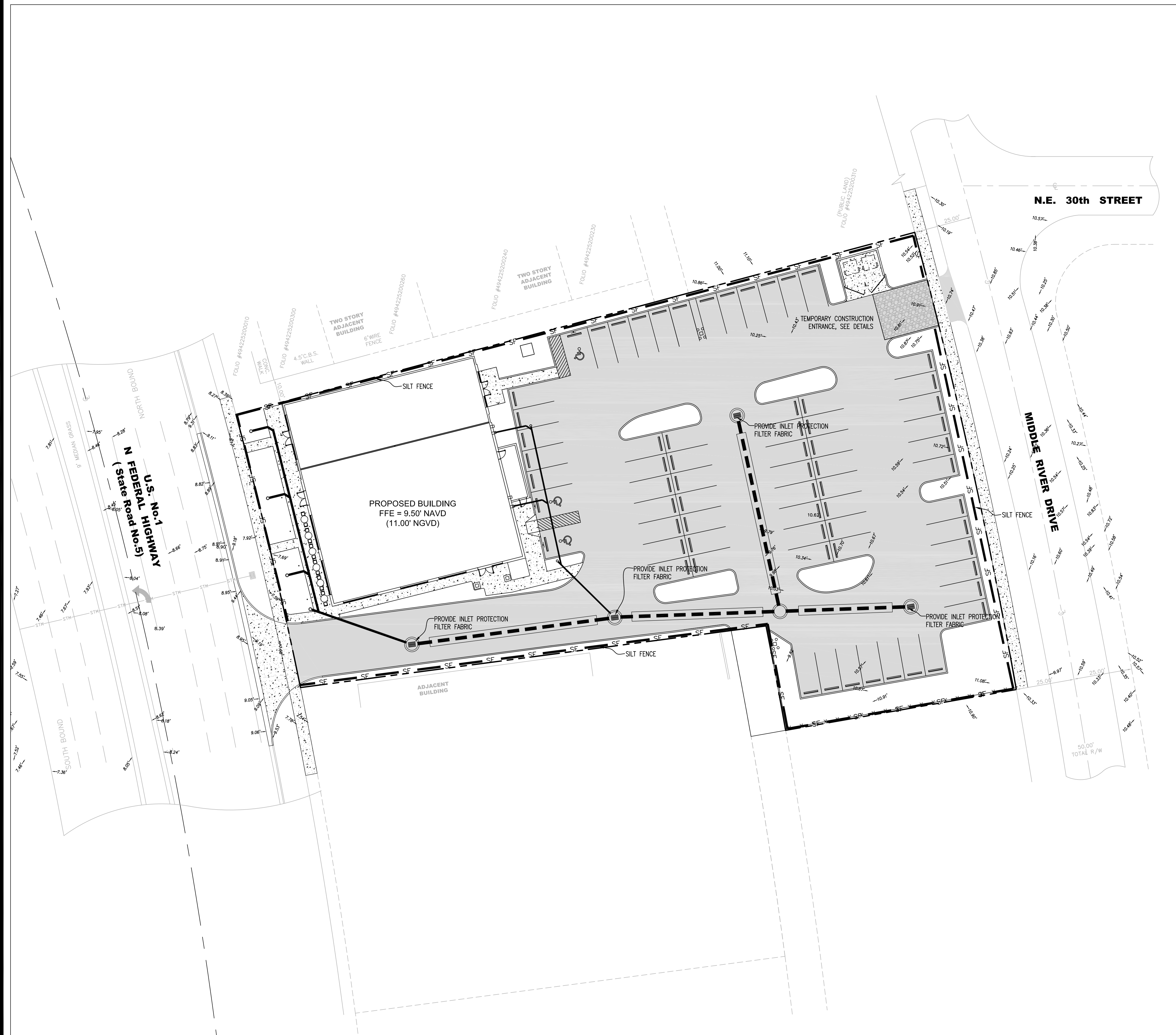
THE EXISTING BUILDINGS HAVE BEEN REMOVED, HOWEVER, THE DEMOLITION CONTRACTOR SHALL PROBE THE SITE TO DETERMINE IF ANY EXISTING FOUNDATIONS, GREASE TRAPS, UTILITIES, DRAINAGE STRUCTURES OR OTHER ITEMS NOT BEING UTILIZED FOR THIS PROJECT REMAIN UNDERGROUND, ALL SUCH ITEMS SHALL BE EXCAVATED AND REMOVED FROM THE PROPERTY

ALL EXISTING ON-SITE DRAINAGE COMPONENTS SHALL BE REMOVED

BLOCK UP OPENING IN CATCH BASIN WITH BRICK AND HYDRAULIC CEMENT

EXISTING WATER SERVICES AND OLD FIRE SERVICE TO BE CUT AND CAPPED AT THE WATER MAIN AND REMOVED, COORDINATE WITH FT. LAUDERDALE UTILITIES

EXISTING BACKFLOW TO BE RELOCATED, COORDINATE WITH FT. LAUDERDALE UTILITIES



NOTES:

1. ALL EROSION AND SILTATION CONTROL METHODS SHALL BE IMPLEMENTED PRIOR TO THE START OF THE DEMOLITION AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETED.
2. IF WIND EROSION BECOMES SIGNIFICANT DURING CONSTRUCTION, THE CONTRACTOR SHALL STABILIZE THE AFFECTED AREA USING SPRINKLING, IRRIGATION OR OTHER ACCEPTABLE METHODS.

SITE LEGEND:

SYMBOL	DESCRIPTION
— SF —	PROPOSED SILT FENCE

SEQUENCING:

THE SILT FENCE INSTALLATION SHALL BE SEQUENCED WITH CONSTRUCTION ACTIVITIES. PORTIONS OF THE SILT FENCE MAY BE INSTALLED OR REMOVED AT DIFFERENT TIMES THROUGHOUT THE PROJECT. THE SILT FENCE IS ONLY REQUIRED IF THE ADJACENT GROUND SURFACE HAS BEEN DISTURBED OR IF STORMWATER RUNOFF FROM OTHER AREAS OF WORK ARE FLOWING THROUGH THE INTENDED SECTION OF SILT FENCE. PORTIONS OF THE SILT FENCE MAY BE OPENED FOR PEDESTRIAN ACCESS TO OPERATING BUSINESSES AS NECESSARY AS LONG AS THE SILT FENCE IS IN PLACE WHEN CONSTRUCTION ACTIVITIES IN THE AREA ARE COMMENCED.

ALL INLET FILTERS SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.

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GRACE Project No: C2276
 Plan Date: March 21, 2017

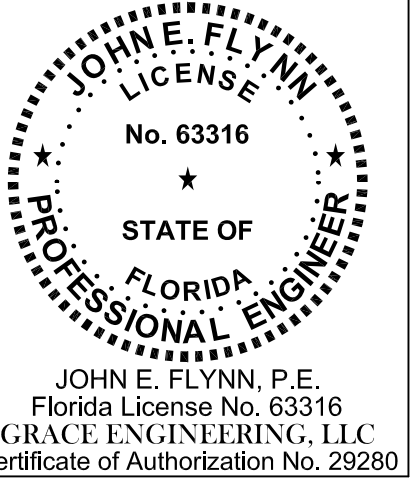
Revisions:
 April 10, 2017
 DRC COMMENTS

Prepared For:



6300 NE 1st Avenue, Suite 100
 Ft. Lauderdale, Florida 33334

PROJECT:
2980 Retail/Restaurant
 2980-2990 North Federal Highway
 FORT LAUDERDALE FLORIDA



JOHN E. FLYNN, P.E.
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SHEET NAME

SWPPP

SHEET NUMBER

C-5



6300 NE 1st Avenue, Suite 100
 Ft. Lauderdale, Florida 33334

PROJECT:
2980 Retail/Restaurant
 2980-2990 North Federal Highway

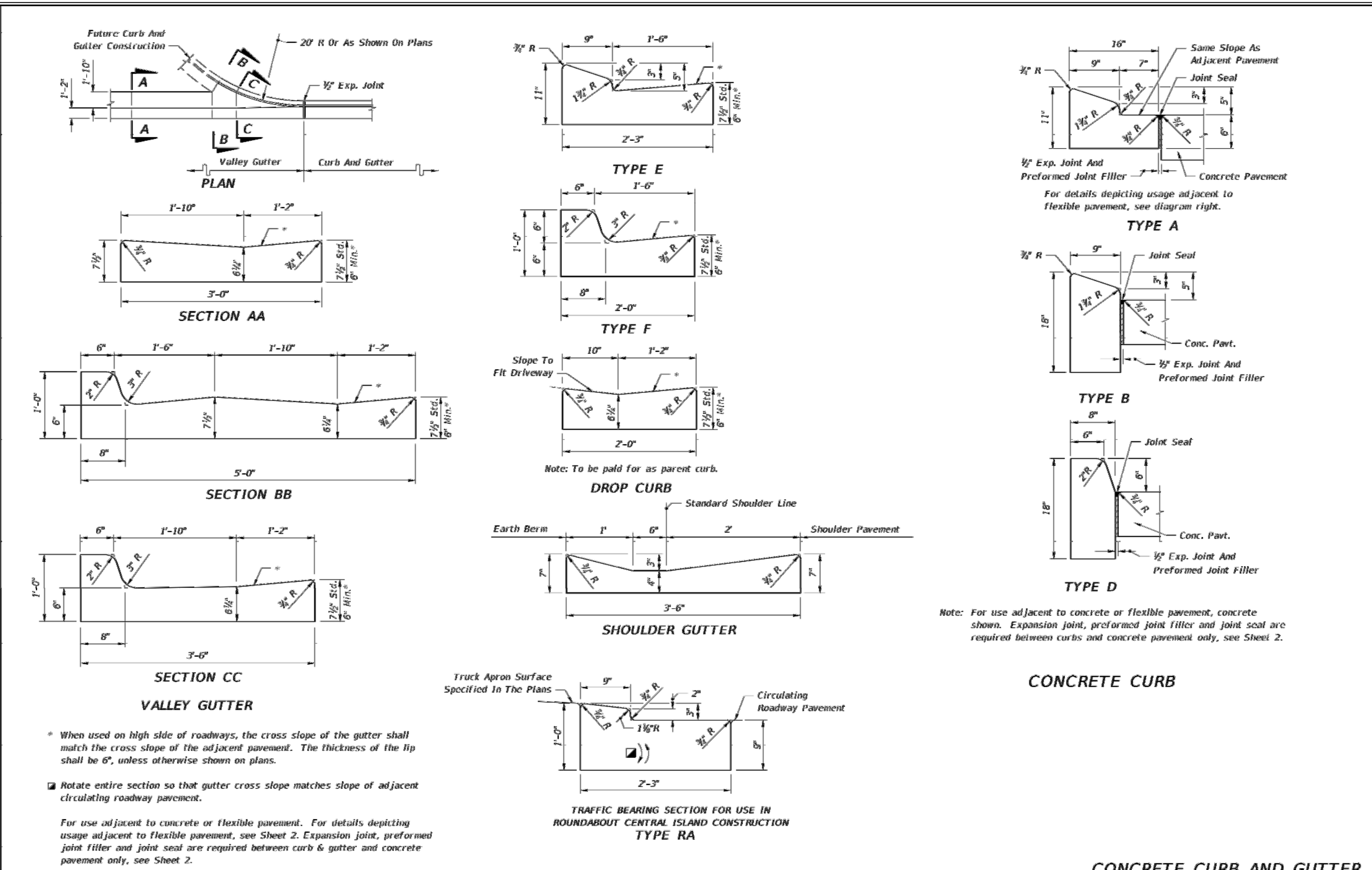
FORT LAUDERDALE
 FLORIDA

SHEET NAME
FDOT STANDARDS

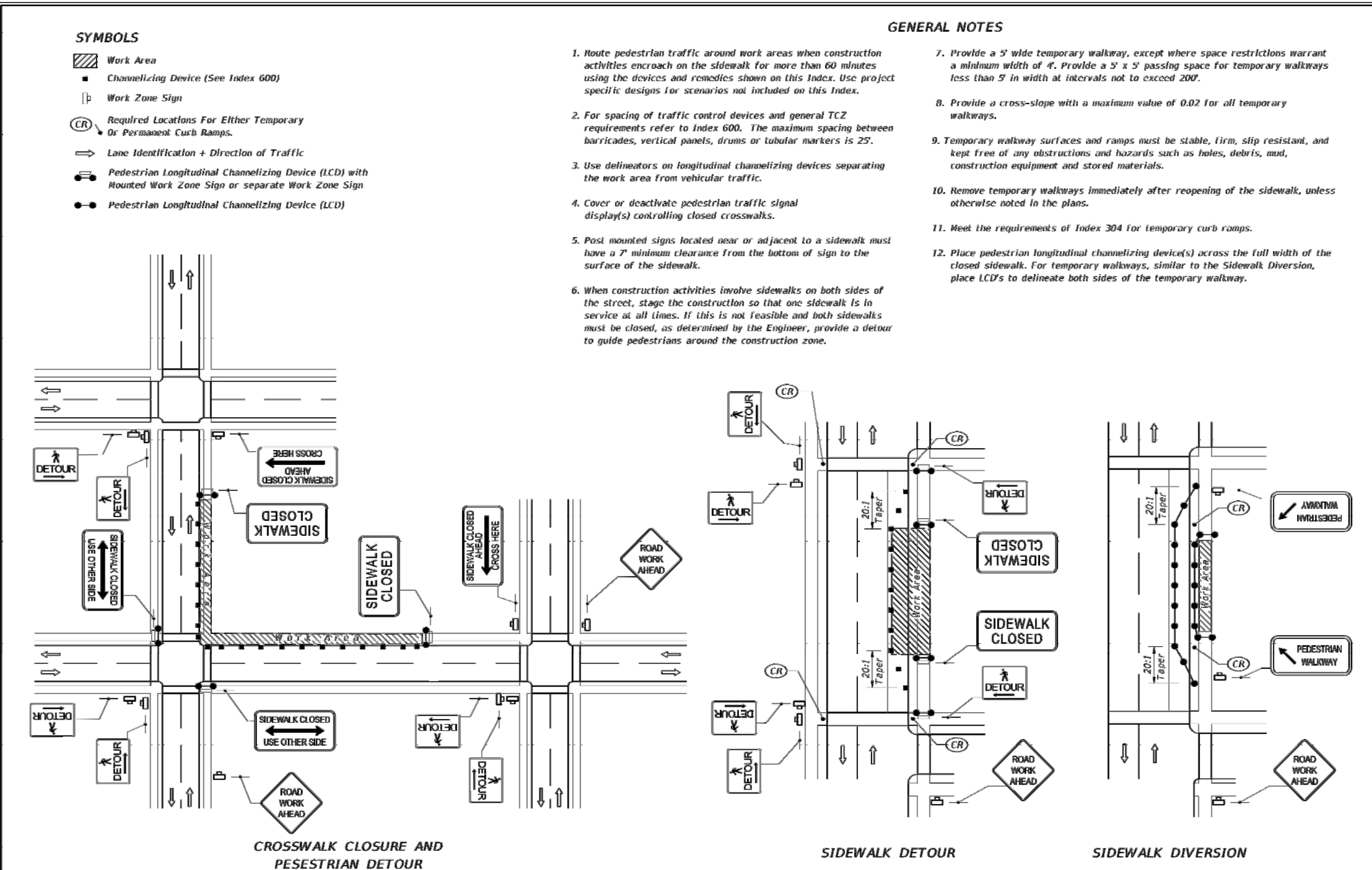
SHEET NO.
C-6

SHEET NUMBER
C-6

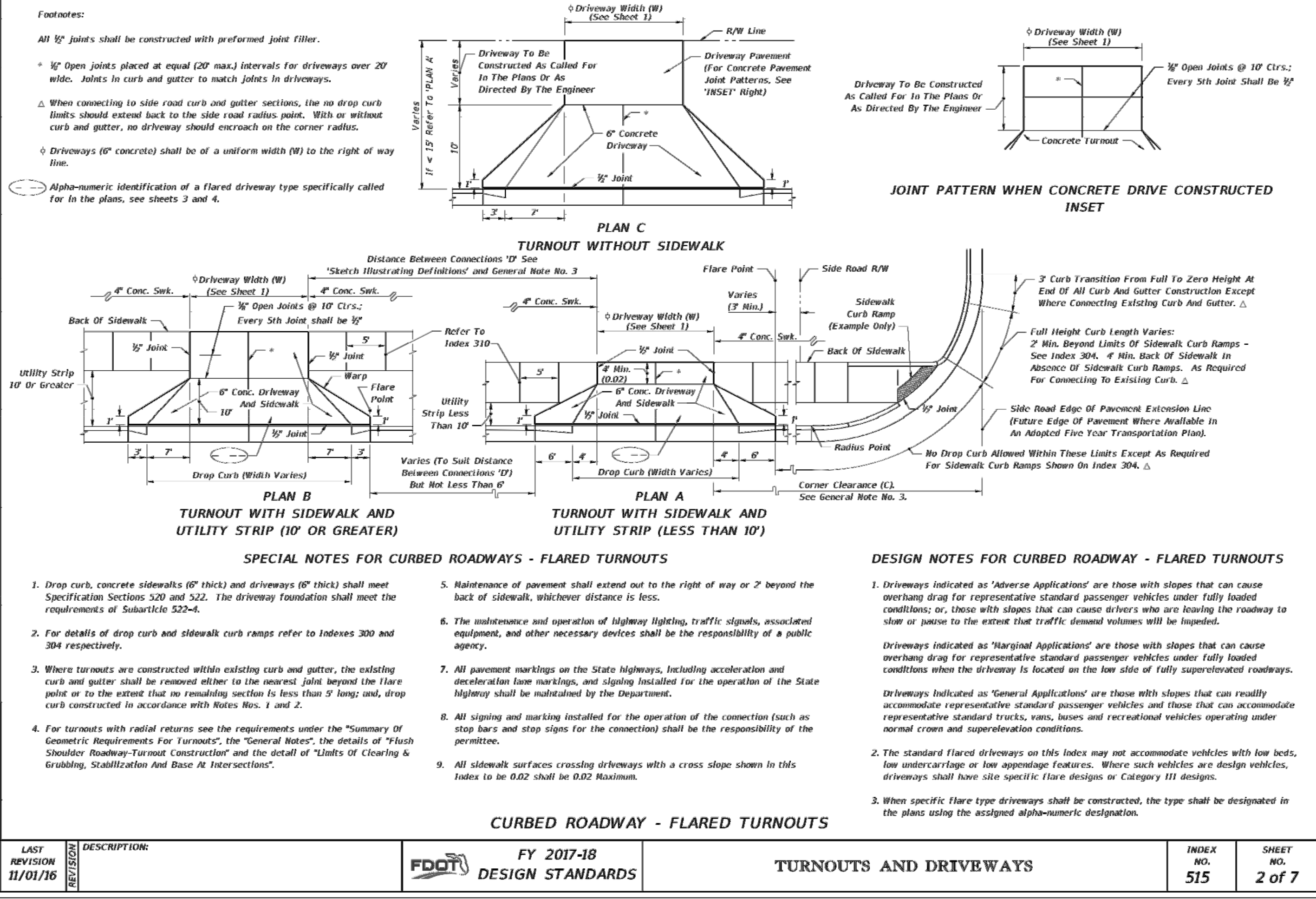
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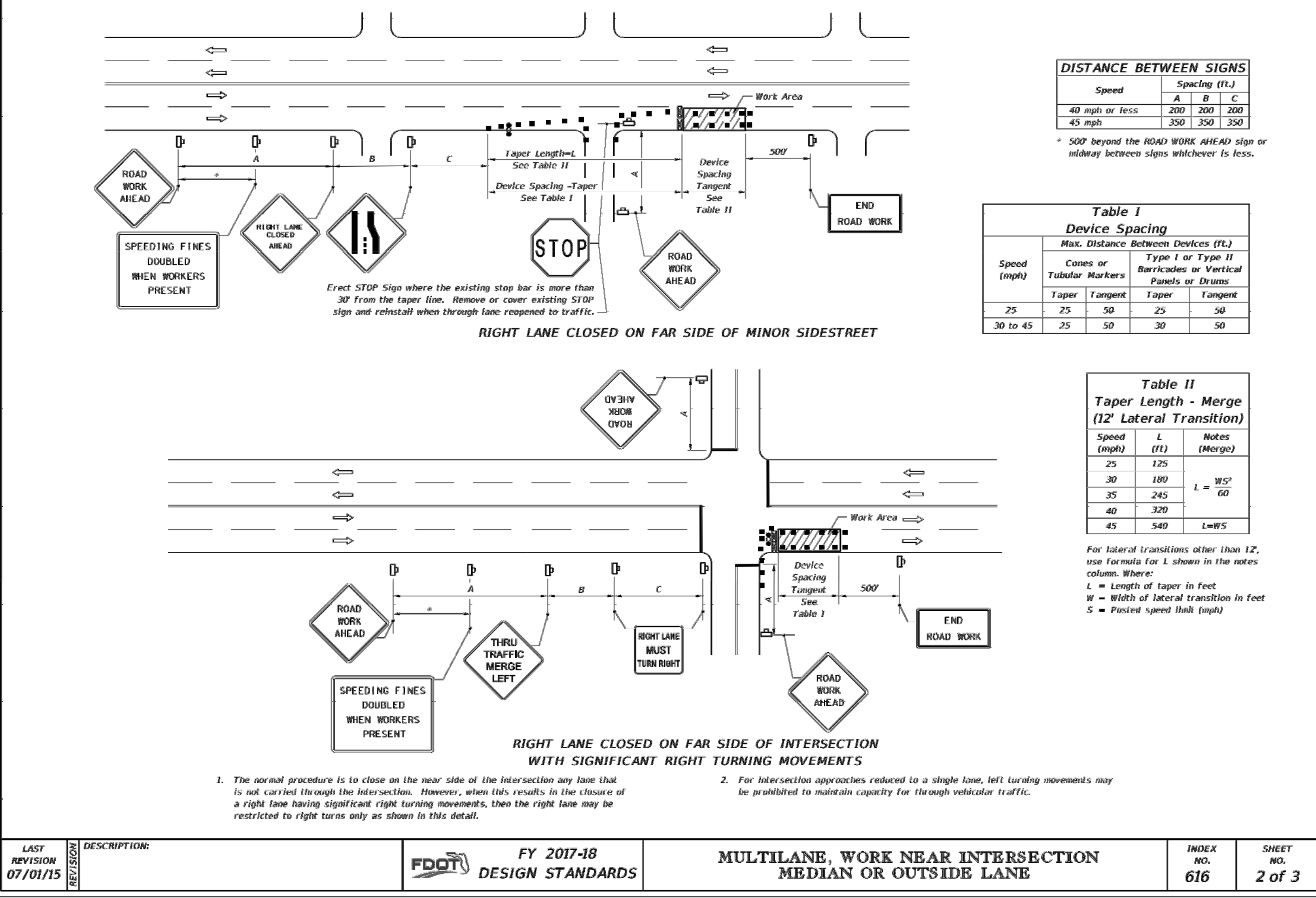
LAST REVISION 07/01/06	DESCRIPTION	FDOT FY 2017-18 DESIGN STANDARDS	INDEX NO. 300	SHEET NO. 1 of 2
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LAST REVISION 11/01/16	DESCRIPTION	FDOT FY 2017-18 DESIGN STANDARDS	INDEX NO. 660	SHEET NO. 1 of 1
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LAST REVISION 11/01/16	DESCRIPTION	FDOT FY 2017-18 DESIGN STANDARDS	INDEX NO. 515	SHEET NO. 2 of 7
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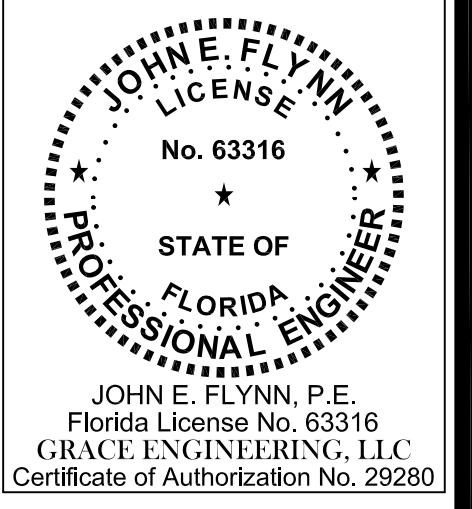


LAST REVISION 07/01/15	DESCRIPTION	FDOT FY 2017-18 DESIGN STANDARDS	INDEX NO. 616	SHEET NO. 2 of 3
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NO.	DATE	DESCRIPTION

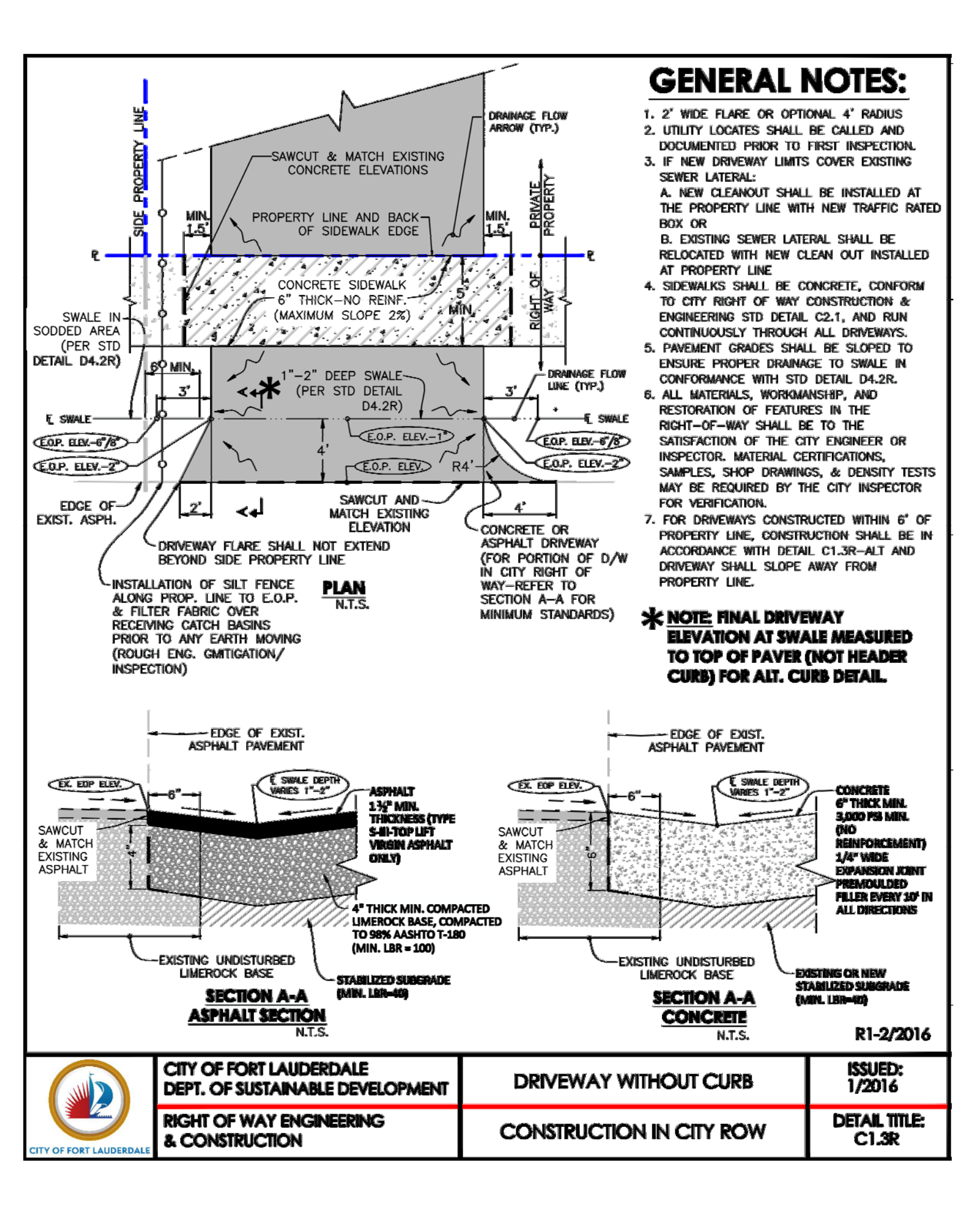
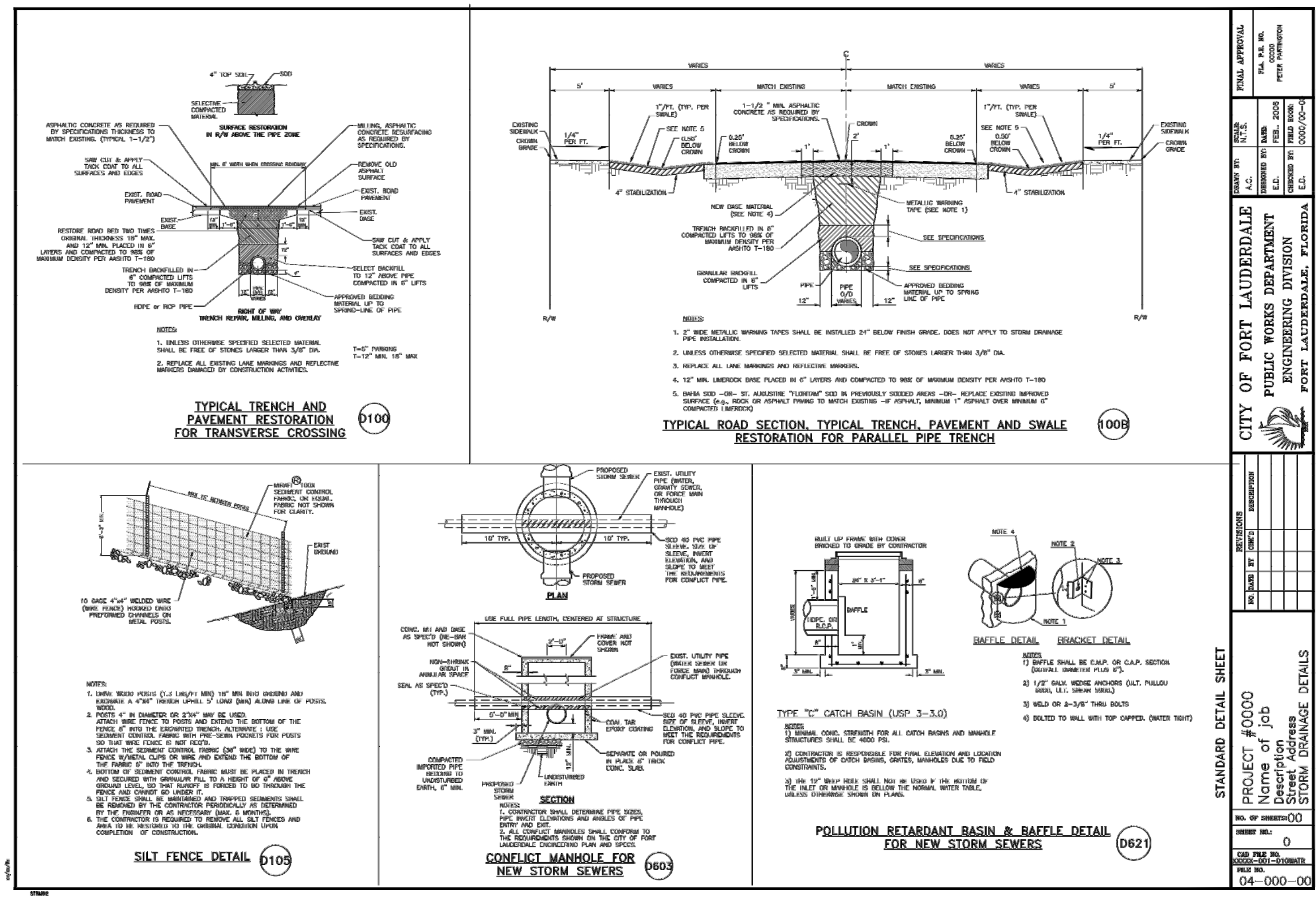
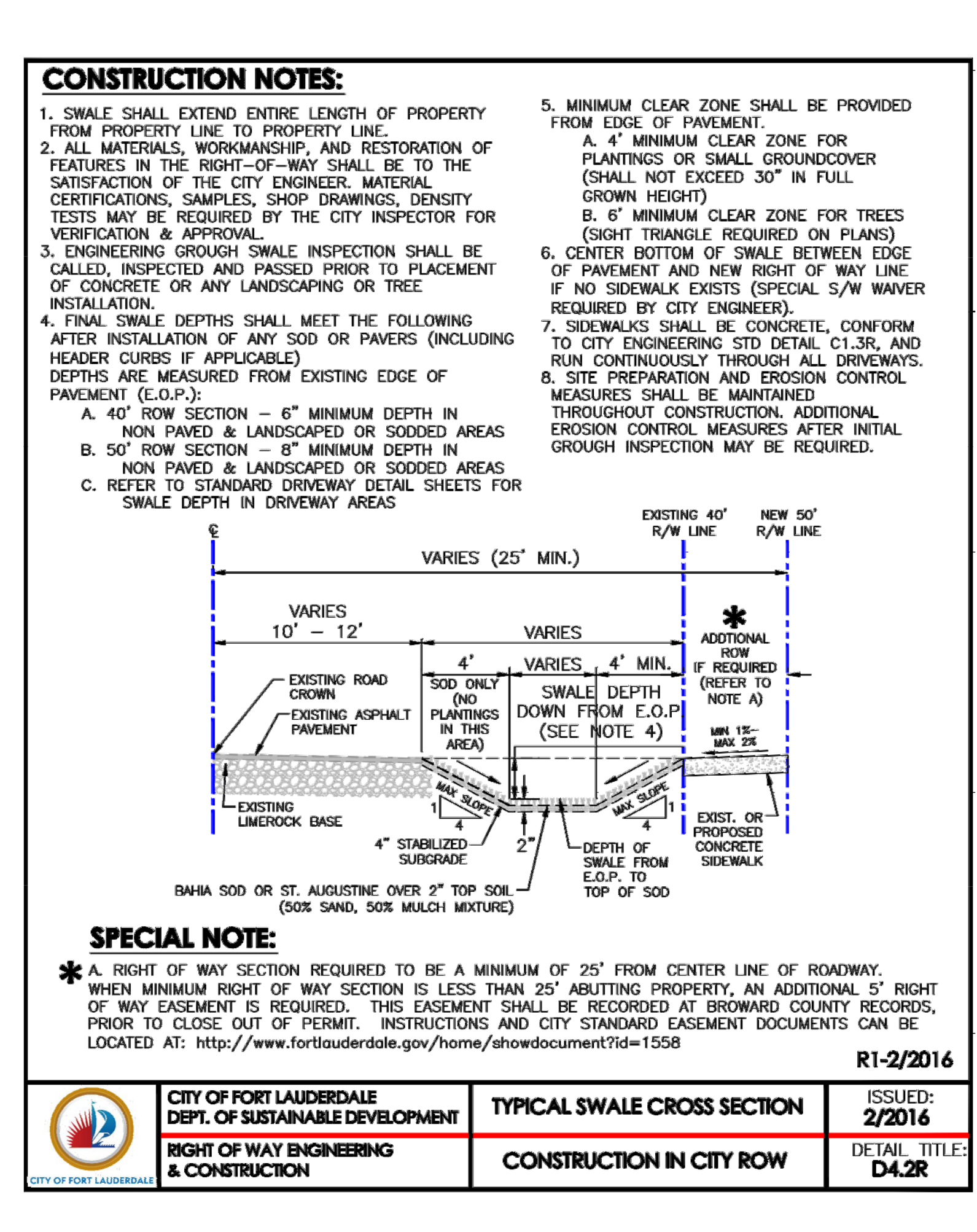
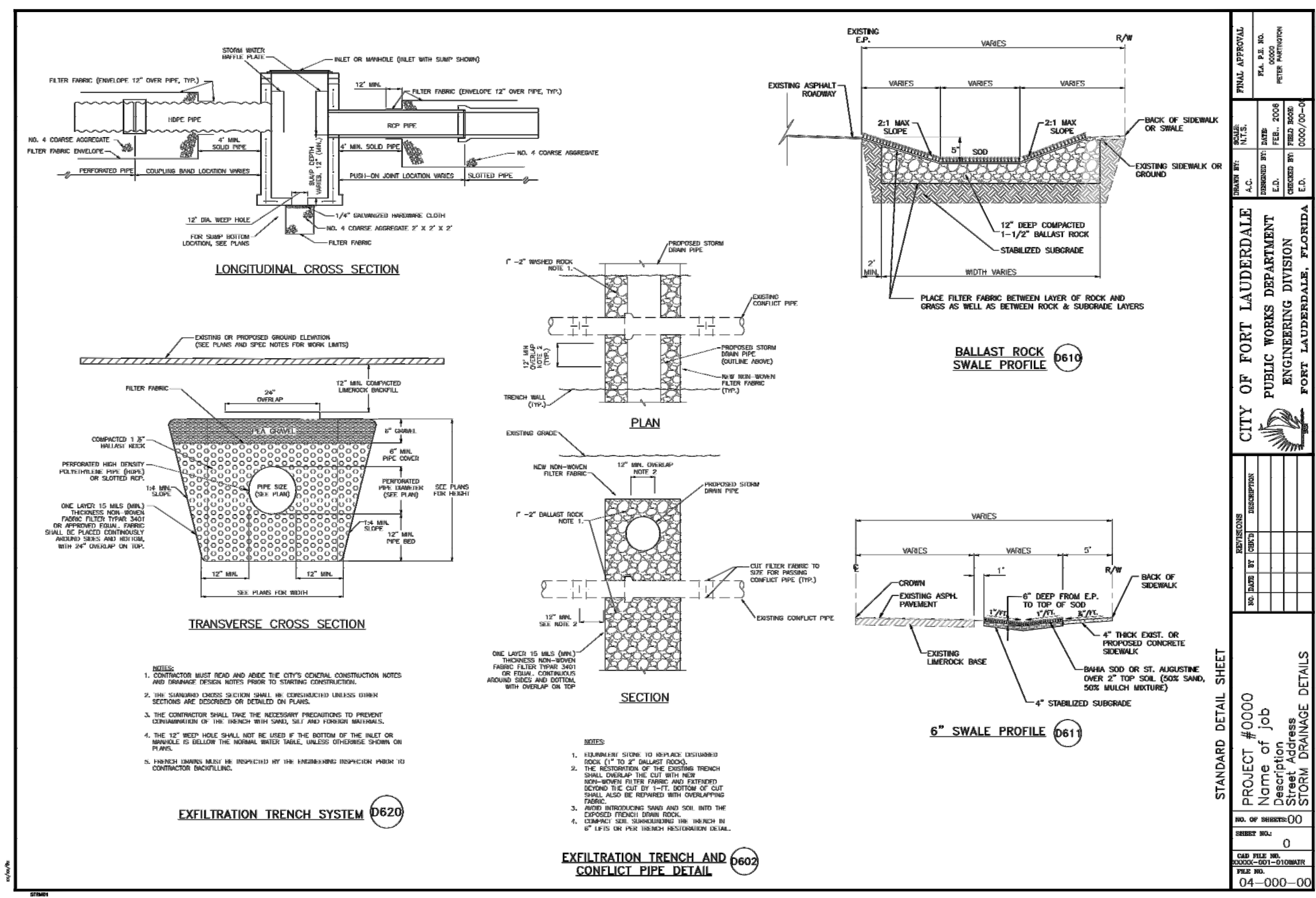


PROJECT:
 2980 Retail/Restaurant
 2980-2990 North Federal Highway
 FLORIDA
 FORT LAUDERDALE



CITY STANDARDS

C-7



CITY OF FORT LAUDERDALE DEPT. OF SUSTAINABLE DEVELOPMENT & CONSTRUCTION	DRIVEWAY WITHOUT CURB	ISSUED: 1/2016
	CONSTRUCTION IN CITY ROW	DETAIL TITLE: C1.3R

PROJECT #0000	NAME OF JOB	STANDARD WATER DETAILS
NO. OF SHEETS: 00	NO. OF SHEETS: 00	NO. OF SHEETS: 00
DATE: 04-000-00	DATE: 04-000-00	DATE: 04-000-00

STANDARD DETAIL SHEET

LEGEND:

SYMBOL	DESCRIPTION
⊠	WATER METER BOX
⊞	EXTINGUISHER VALVE
⊞	PROPOSED VALVE
⊞	FIRE HYDRANT
⊞	BENCH MARK
⊞	TRIEK
⊞	NAIL IN BOTTLE CAP
⊞	NAIL IN ASPHALT
⊞	GAS LINE
⊞	WATER MAIN
⊞	EXPOSED TELEPHONE
⊞	TELEPHONE
⊞	UNDERGROUND ELECTRIC
⊞	FORCE MAIN
⊞	OVERHEAD WIRING
⊞	CABLE TELEVISION
⊞	CHAIN LINK FENCE
⊞	WOOD FENCE
⊞	EXISTING ELEVATION
⊞	SOIL BORING LOCATION MARK
⊞	SOIL TYPE SEPARATION MARK

WATER SYSTEM NOTES:

1. Double line water main pipe shall conform to the requirements of A.S.S.I./A.S.M.A. C-155/A. D1-D1-02 and be lead and coated per A.S.S.I./A.S.M.A. C-106/A. D1-D1-03. 20" and smaller pipe shall be pressure class 300, 24" and larger, pipe shall be pressure class 500.
2. All DP shall have adequate protection against corrosion and it shall be used only as an alternative by the design engineer, based on field conditions.
3. All DP shall be installed in accordance with A.S.S.I./A.S.M.A. C-600-09, or latest revision.
4. All P.V.C. main shall be 1135, size 150 (DR 19) pressure pipe, conforming to A.S.S.I./A.S.M.A. C-800-07, or latest revision, and shall have push on joints, and iron pipe dia.
5. All P.V.C. pipe shall be installed in accordance with the Uni-Test plastic pipe Association's "Guide for Installation of P.V.C. Pressure Pipe for Buried and Distribution Systems". Make distribution pipe shall be of "BELL" type. All water main installations shall comply with the water main requirements of Chapter 62-555.329 F.A.C. (Florida Administrative Code).
6. Detector tape on all P.V.C. main shall be installed 18" above the water main.
7. All P.V.C. main must have #8 copper wire, single strand, placed on top of pipe, shall be electrically continuous over the entire length of the pipe, and extend every 10' with a #12 wire.
8. Fittings shall be ductile iron meeting A.S.S.I./A.S.M.A. D153/21-03 and shall be coated with 3 to 5 mil thickness coat of epoxy conforming to the requirements of A.S.S.I./A.S.M.A. C-500-05 and C116/D1-02.
9. Buried joint pipe shall be used for all tees, elbows, crosses, plugs, and for hydrants. Thrust blocks shall not be allowed.
10. Reducer glands/reducer joint restrictor shall be used only if authorized by the Engineer and shall conform to A.S.S.I./A.S.M.A. Standard C 111/A-211-11-20, or latest revision.
11. All glands shall be manufactured from ductile iron as listed by underwriter's laboratory for 200 P.S.I. minimum water pressure rating.
12. Glands shall be O.D.E. Corporation model F-1006, standard the protection equipment company, or approved equal.
13. Tapping valves shall be Model 1857 or approved equal.
14. Tapping sleeves shall be Model 1815 or approved equal.
15. Gate valves 3" or less shall be N.E.C.O T-133 OR T-136 with readable hand wheel. No substitutions allowed.
16. Gate valves 4" or larger shall meet A.S.M.A. C-200-02 specification (latest revision).
17. All valves shall be furnished with substation type cast iron valve boxes of proper length for pipe depth. All valves shall conform with A.S.M.A. specifications with a depth of no less than 5 inches and have the word "WATER" cast in the cover. Base of valve box shall have a level surface to fit over existing low of valve.
18. Fire hydrants shall be Ingersoll Rand Co. Corwin model BA-423, or Metropolitan 250 Eddy Compression type F.1. or approved equal.
19. Fire hydrants shall be installed with the center of the nozzle 18" above finished grade.
20. Dead-end water mains 6" or larger shall terminate with a fire hydrant.
21. The minimum depth of cover over water mains is 30" except where shown differently on plans.
22. A continuous and uniform bedding shall be provided. Bedding material shall be compacted to meet the plan as shown on the plans and the City of Fort Lauderdale Construction Standards and Specifications, January 1995. Bedrock or stones larger than 3/4" diameter found in the trench shall be removed for a depth of at least 6" below the bottom of the pipe.
23. Pipe deflection shall not exceed 75% of the maximum deflection recommended by the manufacturer.
24. Sanitary sewers and force mains should cross under water mains whenever possible. Sanitary sewers and force mains crossing water mains shall be laid to provide a minimum separation of 18" between the bottom of the upper pipe and the crown of the lower pipe whenever possible.
25. Where sanitary sewer force mains must cross a water main with less than 18" vertical separation, both the sewer and water main shall be constructed of ductile iron pipe (DIP) of the same size. Sufficient length of DIP shall be used to provide a minimum separation of 18" between any two joints. All joints on the water main within 25' of the crossing shall be mechanically restrained. A minimum vertical clearance of 5' shall be maintained at all crossings.
26. A minimum 10 foot horizontal separation shall be maintained between any type of cover and water main by parallel installations whenever possible.
27. The preferred separation between water mains and sewer mains shall be 10 feet, in cases where it is not possible to maintain a 10 foot horizontal separation between the water main and sewer main, one of the following conditions must be met. The minimum separation between water and sewer main shall be 3 feet.

REVISIONS (CONT):

- 27.a The water main shall be laid in a separate trench or in an undisturbed earth shell located on one side of the sewer or force main at such location that the bottom of the water main is at least 18 inches above the top of the sewer.
- 27.b The cover and the water main are constructed of pressure pipe tested to 150 p.s.i.
- 27.c Both the cover and the water main are constructed of pressure pipe tested to 150 p.s.i.
28. Where it is not possible to maintain a vertical distance of 18" in parallel installations, the water main shall be constructed of DIP and the sanitary sewer or force main shall be constructed of DIP with a minimum vertical clearance of 5'. The water main shall be above the sewer. Joints on the water main shall be located on top of or parallel to the joints on the sewer or force main (tapping joints).
29. All crossings shall be arranged so that the water pipe joints and the water main pipe joints are equidistant from the point of crossing (the crossing).
30. Where a new pipe crosses with an existing pipe with less than 18" vertical clearance, the new pipe shall be arranged to meet the minimum requirements above.

GENERAL NOTE:

ALL MATERIALS TO BE USED SHALL BE TO BE COVERED AND SHIPPED IN PLACE. ALL MATERIALS TO BE USED SHALL BE SHIPPED TO SERVICE THE PROJECTS.

LEGEND:

SYMBOL	DESCRIPTION
⊠	WATER METER BOX
⊞	EXTINGUISHER VALVE
⊞	PROPOSED VALVE
⊞	FIRE HYDRANT
⊞	BENCH MARK
⊞	TRIEK
⊞	NAIL IN BOTTLE CAP
⊞	NAIL IN ASPHALT
⊞	GAS LINE
⊞	WATER MAIN
⊞	EXPOSED TELEPHONE
⊞	TELEPHONE
⊞	UNDERGROUND ELECTRIC
⊞	FORCE MAIN
⊞	OVERHEAD WIRING
⊞	CABLE TELEVISION
⊞	CHAIN LINK FENCE
⊞	WOOD FENCE
⊞	EXISTING ELEVATION
⊞	SOIL BORING LOCATION MARK
⊞	SOIL TYPE SEPARATION MARK

STANDARD DETAIL SHEET

PROJECT #0000
Name of Job
Description
Address
Street Address
City
State
Zip

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
FORT LAUDERDALE, FLORIDA

NO. OF SHEETS: 00
SHEET NO.: 0
DATE: 04-000-00

208 TYPICAL WASTEWATER SERVICE CONNECTION

209 TYPICAL CLEANOUT INSTALLATION

210 NEW LATERAL ON EXISTING GRAVITY WASTEWATER MAIN

211 JOINT FOR DISSIMILAR GRAVITY SEWER PIPE

LEGEND:

SYMBOL	DESCRIPTION
⊠	WATER METER BOX
⊞	EXTINGUISHER VALVE
⊞	PROPOSED VALVE
⊞	FIRE HYDRANT
⊞	BENCH MARK
⊞	TRIEK
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⊞	EXISTING ELEVATION
⊞	SOIL BORING LOCATION MARK
⊞	SOIL TYPE SEPARATION MARK

STANDARD DETAIL SHEET

PROJECT #0000
Name of Job
Description
Address
Street Address
City
State
Zip

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
FORT LAUDERDALE, FLORIDA

NO. OF SHEETS: 00
SHEET NO.: 0
DATE: 04-000-00

300 TYPICAL WATER SERVICE INSTALLATION

301 TYPICAL WATER SERVICE

302 ASSEMBLY NEW FIRE HYDRANT INSTALLATION

303 FLUSHING CONNECTION AND BLOW OFF DETAIL

304 TYPICAL BACTERIOLOGICAL SAMPLING POINT AT INTERMEDIATE POINTS

305 FILLING CONNECTION

306 PRESSURE TEST DETAIL

307 REDUCED PRESSURE BACKFLOW PREVENTER WITH HOSE CONNECTION FOR LIFT STATION

308 RELOCATE OR CONNECT EXISTING FIRE HYDRANT

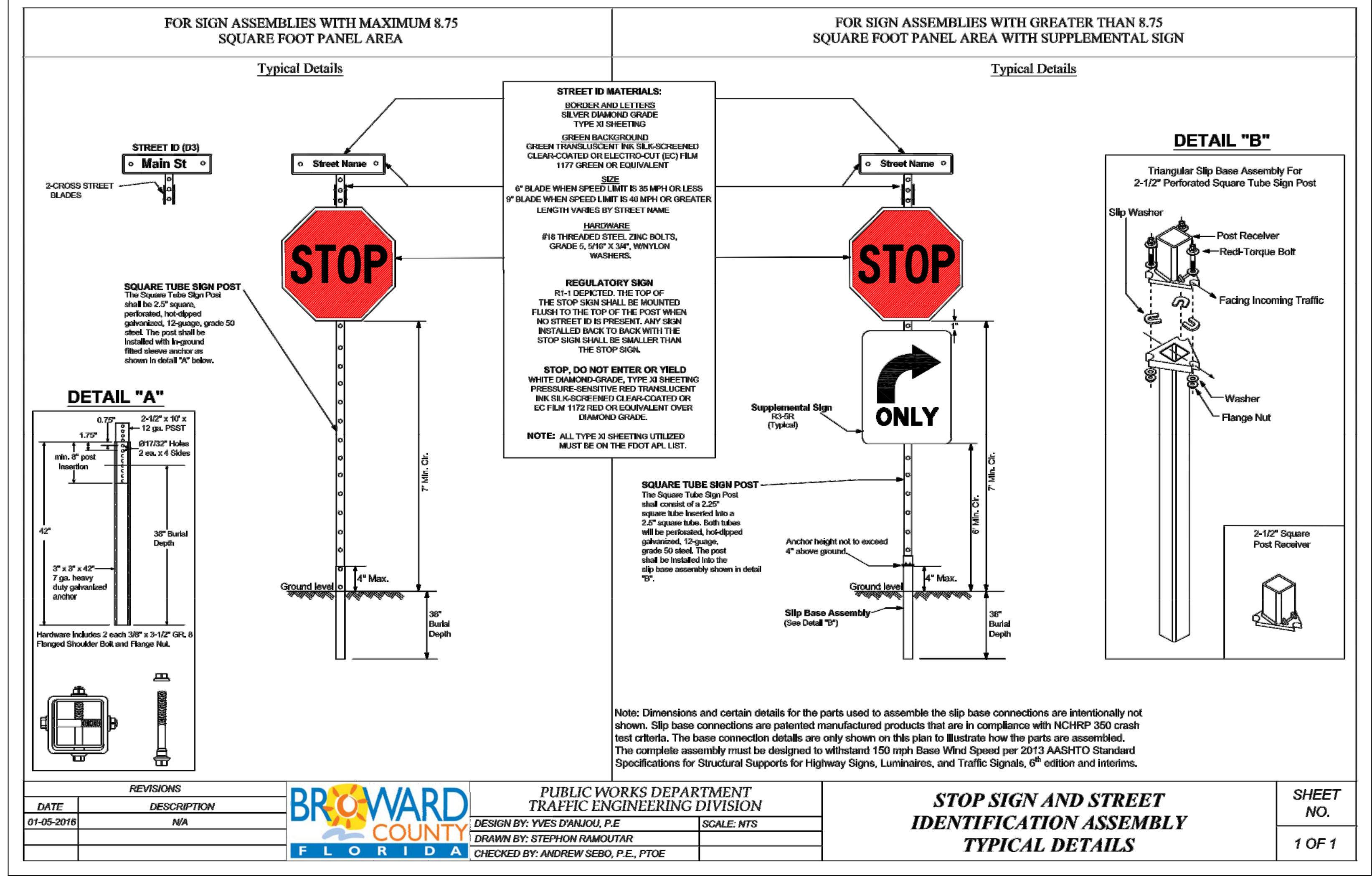
PROJECT:
2980 Retail/Restaurant
2980-2990 North Federal Highway

FORT LAUDERDALE
FLORIDA



JOHN E. FLYNN, P.E.
Florida License No. 63316
GRACE ENGINEERING, LLC
Certificate of Authorization No. 29280

SHEET NUMBER
C-8



Broward County Traffic Engineering Division Communications Notes
To be placed within plan set (Revised: 10/13/2015)

"Communications Notes"

The agency responsible for maintenance of the traffic signals and related equipment is Broward County Traffic Engineering Division (BCTED). All system communications equipment, cabling and related material shall comply with Broward County's latest edition of the minimum standards as expressed in the "Standards and Specifications - Communication Infrastructure" document. Please refer to (BCTED's) Communications Policies and Procedures for additional information. Broward County Traffic Engineering Division will not accept any projects that do not meet these standards and specifications. If fiber optic pull boxes already exist at an intersection, no additional fiber optic pull boxes will need to be installed. For a copy of these standards refer to the Broward County web site at www.BROWARD.ORG/TRAFFIC under publications.

If there are Copper Interconnect Cables/ within your project limits or within 1500 feet of your project limits, contact the Communications Manager at telecommunications@broward.org or 954-847-2745.

If there are Fiber Optic Cables/ within your project limits or within 1500 feet of your project limits contact the Communications Manager at telecommunications@broward.org or 954-847-2745.

If there are cellular communications within your project limits, contact the Communications Manager at telecommunications@broward.org or 954-847-2745

All BCTED communications cables/conduit shall be located a minimum of 48 hours in advance.

Broward County Traffic Engineering Division Procedure for Notification of Communication Disruption

Copper Interconnect Cable Notification Contact Person
When communications to an intersection must be disrupted by a Contractor to perform work, the Contractor shall provide two day advance notice in writing to the Broward County Traffic Engineering Division. This notification shall be conveyed via electronic mail (email) to the Traffic Signal Technician III at telecommunications@broward.org. Notification shall include contact person, telephone number, purpose, location and duration. The disruption shall last for no more than 3 consecutive business days. Where possible, the disruption shall be during off peak hours beginning at 9:00am and ending at 3:00pm.

Fiber Optic Cable Notification Contact Person
When communications to an intersection must be disrupted by a Contractor to perform work, the Contractor shall provide two day advance notice in writing to the Broward County Traffic Engineering Division. This notification shall be conveyed via electronic mail (email) to the Communications Manager at telecommunications@broward.org. Notification shall include contact person, telephone number, purpose, location and duration. The disruption shall last for no more than 3 consecutive business days. Where possible, the disruption shall be during off peak hours beginning at 9:00am and ending at 3:00pm.

Include the following in any notice of utility ownership or within a "Utility Owners/Contact Person" table:

Interconnect Communications Cables - (Robert Blount) Broward County Traffic Engineering Division (BCTED) 954-847-2745

BROWARD COUNTY FLORIDA

PUBLIC WORKS DEPARTMENT TRAFFIC ENGINEERING DIVISION
2300 W. Commercial Boulevard • Fort Lauderdale, Florida 33309 • 954-847-2600 • FAX 954-847-2700

Our Best Practices Nothing Less.

MAINTENANCE OF TRAFFIC - SCHOOL/PEDESTRIAN

The Maintenance of Traffic plan, provided by the Contractor, shall include provisions for pedestrian and/or school student traffic as well as vehicular traffic. The following are minimum requirements:

- The safe walk route for all school students within the vicinity of the construction zone shall be maintained during student arrival and dismissal times. If the current walking surface cannot be maintained, then a temporary walkable surface shall be created. The safe walk route shall be separated from the construction activity during the entire length of the project encompassing the entire walk route with proper pedestrian openings at designated crossings in compliance with FDOT Design Standards Index No. 600 as well as meeting all ADA requirements.
- All construction equipment activity around any designated crosswalk shall cease to operate during the student arrival and dismissal times. All construction equipment activity adjacent to a designated walk route shall cease operating unless satisfactorily barricaded from the walk route.
- In the case that a designated crossing or any portion of the designated walk route cannot be maintained, the Contractor shall notify the Special Projects Coordinator at Broward County Traffic Engineering Division, (954) 847-2600, at a minimum of ten (10) working days prior to closing that route in order to establish an alternate crossing/route.
- It shall be the Contractor's responsibility to install any necessary pavement, road rock, pavement markings and signage and/or any pedestrian signalization and/or signal modification to accommodate an existing or alternate walk route throughout the entire length of the project.
- It shall be the Contractor's responsibility to provide State Certified School Crossing Guards or Off Duty Police Officers to cross students at all locations other than those previously designated. The Contractor may use Flagmen, but ONLY if they are State Certified as a School Crossing Guard.
- Thirty (30) days prior to the beginning of construction the Contractor shall notify the Special Projects Coordinator at Broward County Traffic Engineering Division, (954) 847-2600 or at broward@traffic.org to discuss all necessary safety measures.
- It shall be the Contractor's responsibility to notify the following Broward County School Board Pupil Transportation Department personnel if construction will impact any bus routes:
 - Ruth Masters Routing (754) 321-4400 Ext. # 2309 ruth.masters@browardschools.com
 - Vincent Harrell Student Transportation & Fleet Service (754) 321-4472 vincent.harrell@browardschools.com
 - Mary Tschirren Student Transportation & Fleet Service (754) 321-4400 Ext. # 2008 mary.tschirren@browardschools.com

Upon coordination with the aforementioned personnel, and if deemed necessary, a pre-construction meeting will be held to determine all bus routes and to make any necessary arrangements for rerouting. The Special Projects Coordinator from the Broward County Traffic Engineering Division, (954) 847-2600, will be notified and may attend the pre-construction meeting.

The Contractor shall be responsible for obtaining an approved Maintenance of Traffic Plan (MOT), specifying the above school/pedestrian conditions, through the Broward County Traffic Engineering Division or the Local Municipality, depending on the roadway jurisdiction. The conditions outlined in the MOT are fully effective as part of the proposed improvements. The Contractor shall be responsible for ensuring that all work associated with the project is in compliance with all the requirements of the approved MOT.

The Contractor shall ensure that there are NO speed limit signs installed within the designated reduced speed school zone at any time throughout the project.

Revised: 9/26/14

GRACE ENGINEERING

CIVIL ENGINEERING CONSULTANTS
CERTIFICATE OF AUTHORIZATION No. 29280

17110 SW 64TH COURT
SOUTHWEST RANCHES, FLORIDA 33331
GRACEENGINEERINGLLC@GMAIL.COM
954.558.9628

GRACE Project No: C2276
Plan Date: March 8, 2017

Revisions:

Prepared For:

DIVERSIFIED COMPANIES
6300 NE 1st Avenue, Suite 100
Ft. Lauderdale, Florida 33334

PROJECT:
2980 Retail/Restaurant
2980-2990 North Federal Highway
FLORIDA
FORT LAUDERDALE

JOHN E. FLYNN, P.E.
Florida License No. 63316
GRACE ENGINEERING, LLC
Certificate of Authorization No. 29280

SHEET NAME
BROWARD STANDARDS

SHEET NUMBER
C-9

CAM #17-1173
Exhibit 2
Page 62 of 67

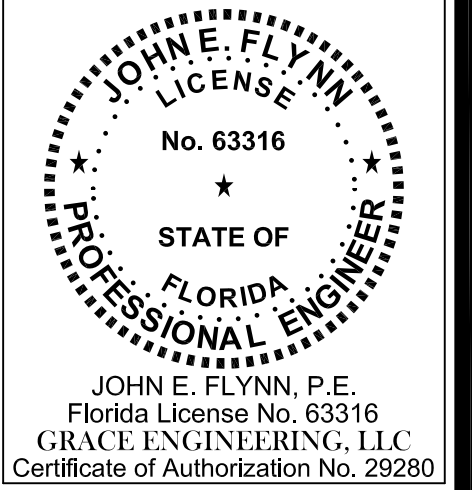
Revisions:

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Prepared For:

 6300 NE 1st Avenue, Suite 100
 Ft. Lauderdale, Florida 33334

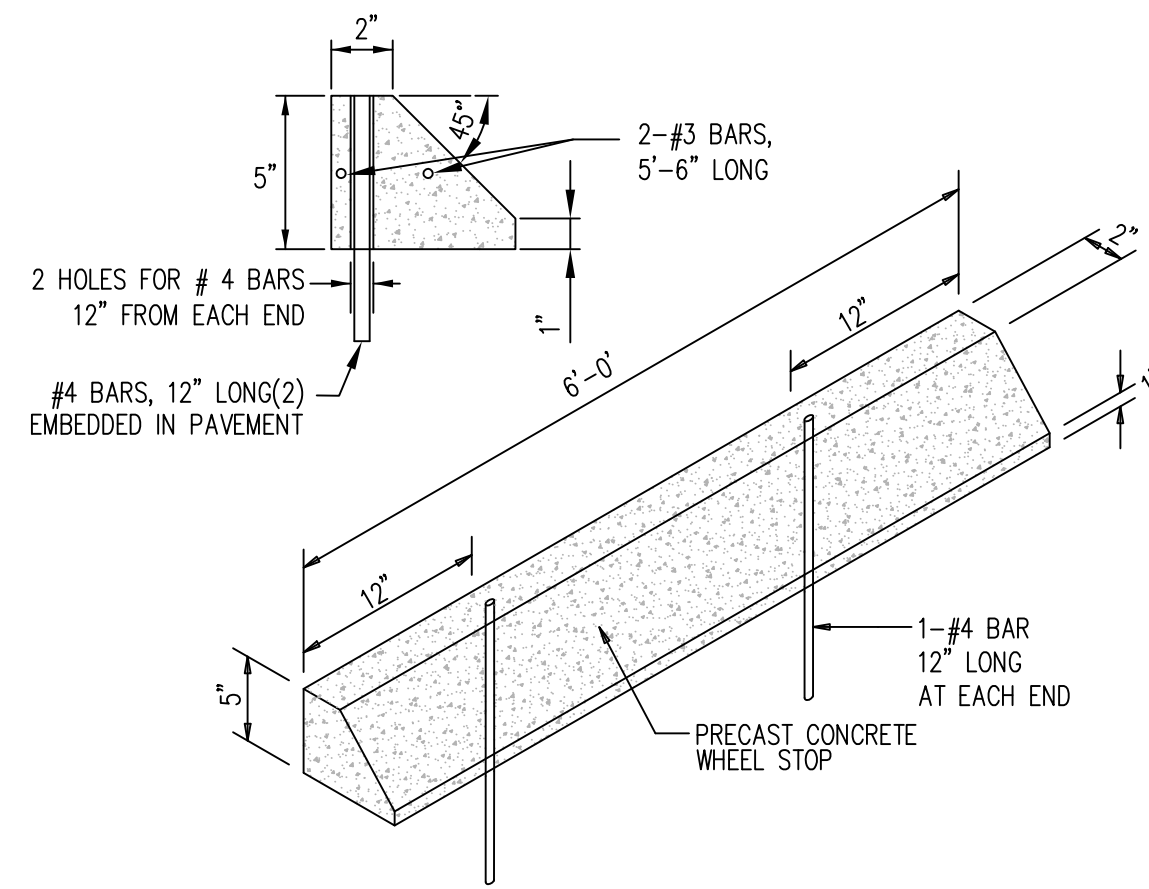
PROJECT:
2980 Retail/Restaurant
 2980-2990 North Federal Highway
 FLORIDA
 FORT LAUDERDALE



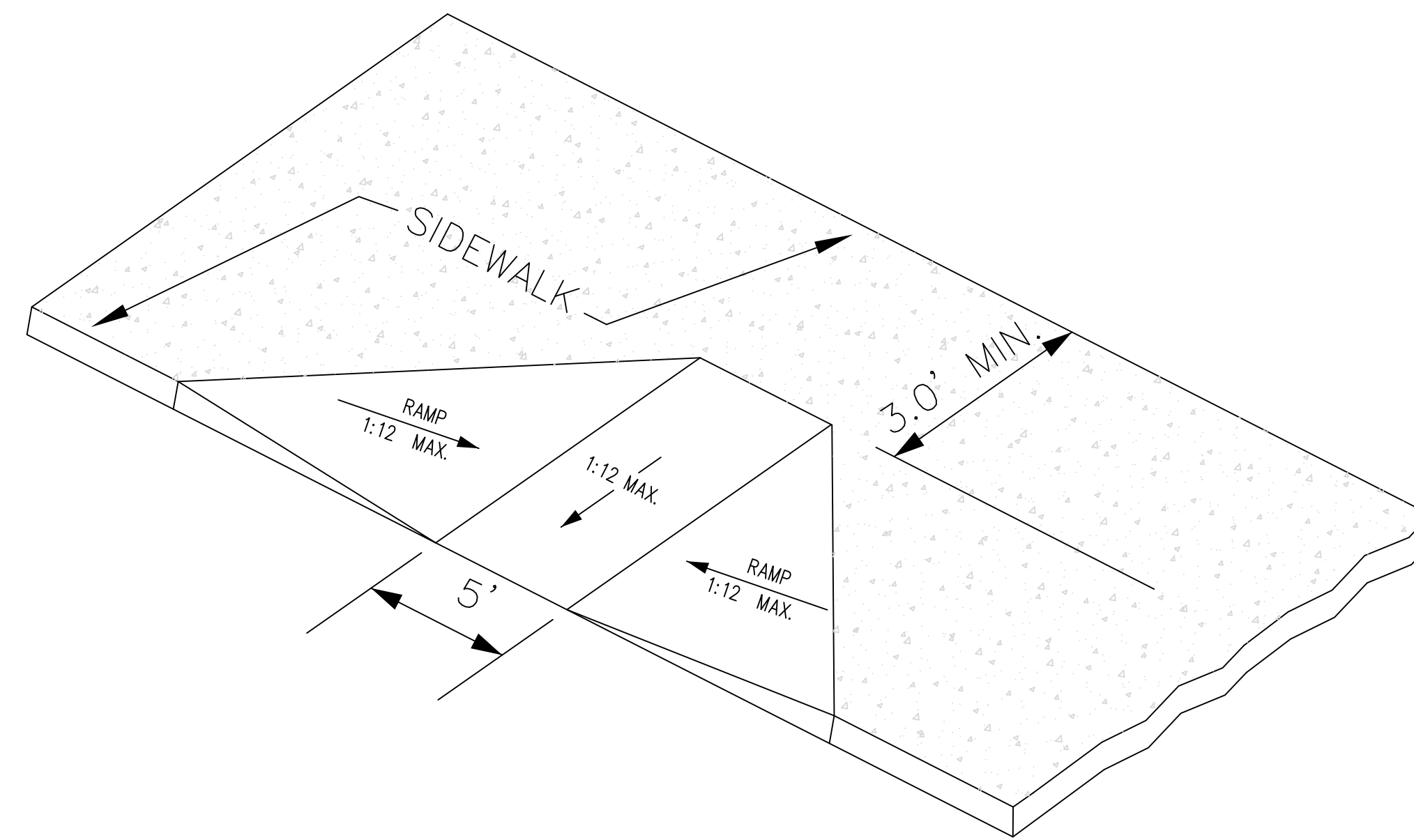
SHEET NAME

SITE DETAILS

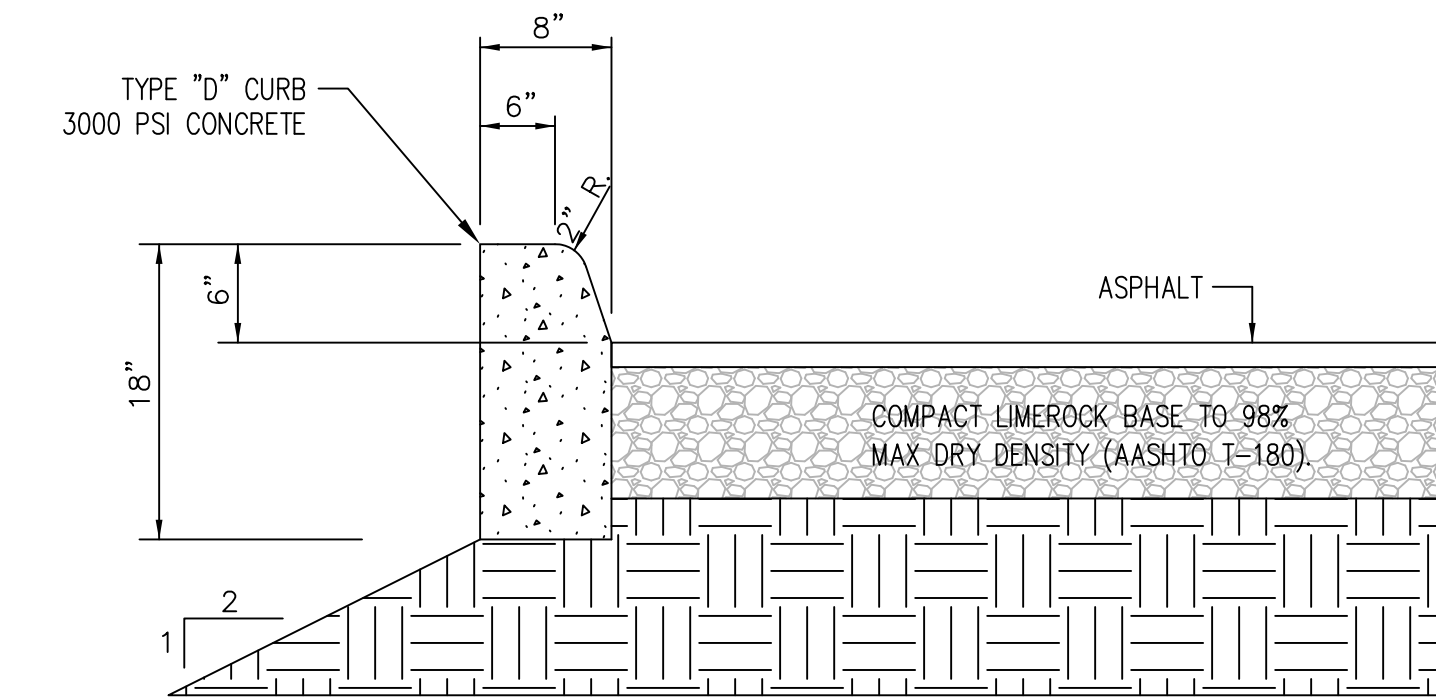
SHEET NUMBER
C-10



WHEEL STOP
 SCALE: NTS



CURB RAMP DETAIL
 SCALE: NTS



TYPE "D" CURB
 SCALE: NTS

NYLOPLAST 12" INLINE DRAIN: 2712AG __ X

SIZE	B
4"	10.50
6"	11.50
8"	11.50
10"	11.25
12"	8.00

MEETS	LOAD RATING	PART #	DRAWING #
PEDESTRIAN	MEETS H-10	1290CGP	7001-110-202
STANDARD	MEETS H-20	1290CGS	7001-110-203
SOLID COVER	MEETS H-20	1290CGC	7001-110-204
PEDESTRIAN BRONZE	N/A	1290CSPB	7001-110-205
DOME	N/A	1290CGD	7001-110-206
DROP IN GRATE	LIGHT DUTY	1201DI	7001-110-021

GRATE OPTIONS

AD	AK	AB	AC	AD	AE
45"	19'-1"	12'-9"	7'-0"	27'-0"	17'-0"
60"	20'-1"	10'-5"	5'-9"	23'-2"	13'-10"

NOTES:

- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05, WITH THE EXCEPTION OF THE BRONZE GRATE.
- FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D5212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER.
- DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY.
- DIMENSIONS ARE IN INCHES
- SEE DRAWING NO. 7001-110-275 FOR ADS N-12 & HANCOR DUAL WALL BELL INFORMATION & DRAWINGS NO. 7001-110-304 FOR N-12 HP BELL INFORMATION.

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DRAWN BY EBC
DATE 04-03-06
REVISOR MHH
DATE 03-15-16

MATERIAL
 PROJECT NO./NAME
 TITLE
 12 IN INLINE DRAIN QUICK SPEC INSTALLATION DETAIL

NYLOPLAST
 3130 VERONIA AVE
 BUFORD, GA 30518
 PHN (770) 932-2443
 FAX (770) 932-2490
 www.nyloplast-us.com

DWG NO. 7003-110-025
SCALE 1:20
SHEET 1 OF 1
REV E

PAVEMENT MARKING FOR PUBLIC SIDEWALK CURB RAMPS IN REST AREAS

GENERAL NOTES (Signalized & Nonsignalized)

- For entrances to a one-way street, the downstream restriction may be reduced to 20'.
- Parking shall not be allowed within 20' of a crosswalk.
- All parking lane markings shall be 6" white.
- Parking lane lines shall be broken at driveways.
- Refer to Chapter 316, Fla. Statutes, for laws governing parking spaces.
- Where curb and gutter is used, the gutter pan width may be included as part of the minimum width of parking lanes, but desirably the lane width should be in addition to that of the gutter pan.

SPEED LIMIT MPH	SIGNALIZED INTERSECTIONS	DISTANCE FROM CURB RADIUS (Y)
0-30	30'	
35	50'	

MINIMUM PARKING RESTRICTION FOR NONSIGNALIZED INTERSECTIONS

UNIVERSAL SYMBOL OF ACCESSIBILITY

MINIMUM PARKING RESTRICTION FOR SIGNALIZED INTERSECTION

NOTES:

- Distances measured longitudinally along the street from driver location of entering vehicle to end of parking restriction.
- Distances applicable to intersecting street, major driveways and other driveways to the extent practical.
- For nonsignalized intersections, the values above shall be compared with the values for signalized intersections and the maximum restrictions implemented. These restrictions apply to both accessible and nonaccessible parking.

FOR ACCESSIBLE MARKINGS - SEE ABOVE

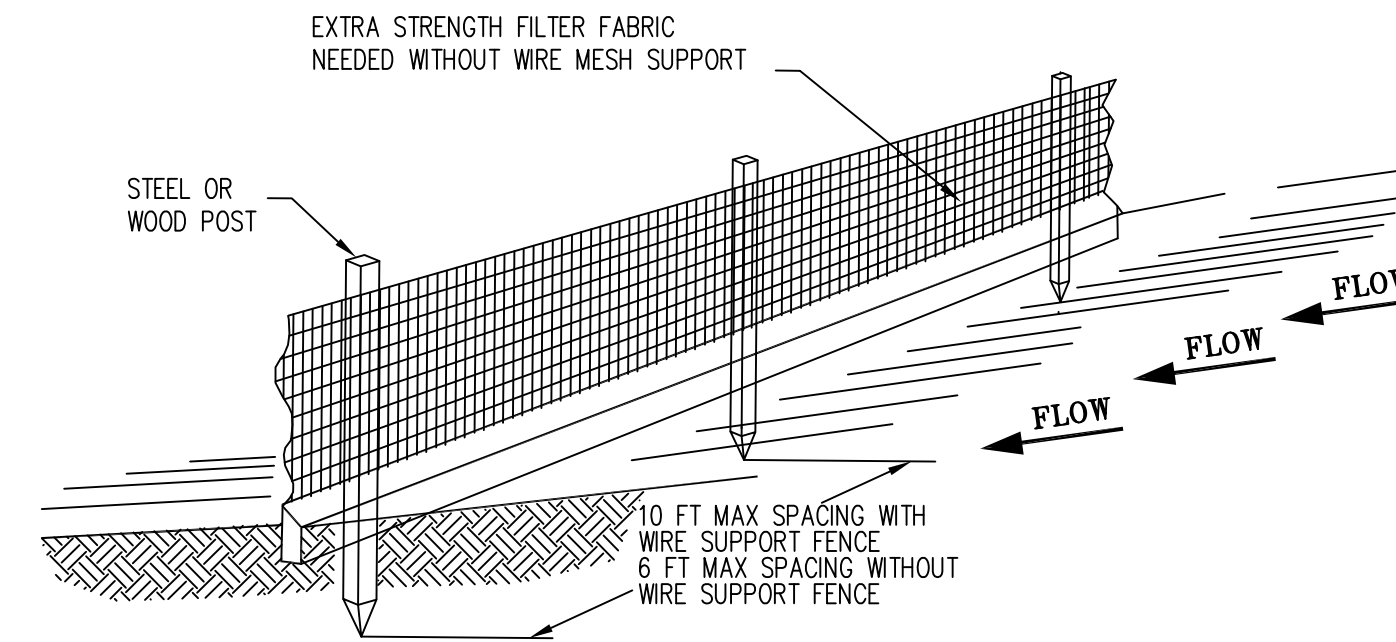
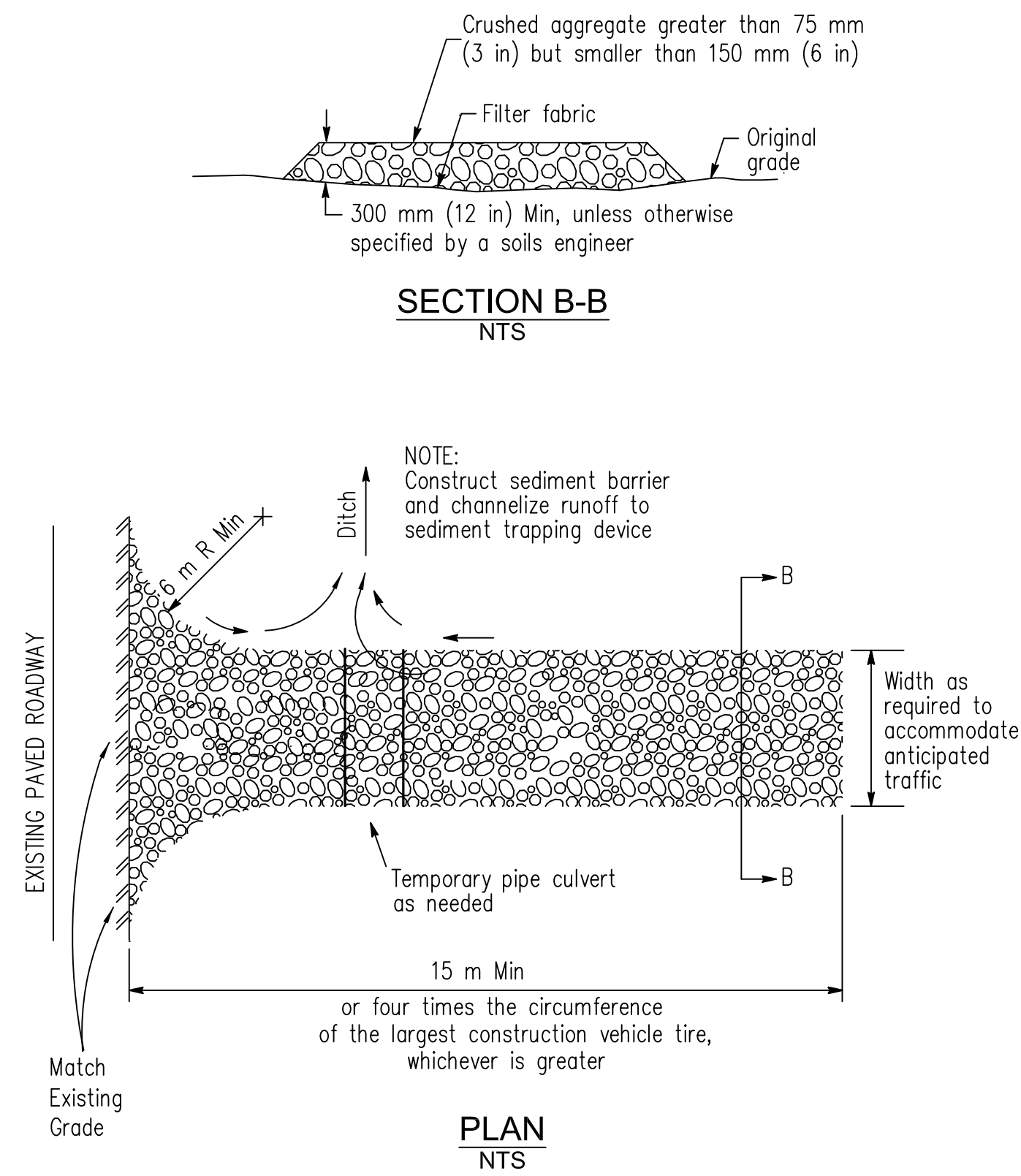
NOTES:

- Dimensions are to the centerline of markings.
- An Access Aisle is required for each accessible space when angle parking is used.
- Criteria for pavement markings only, not public sidewalk curb ramp locations. For ramp locations refer to plans.
- Blue pavement markings shall be tinted to match shade 15180 of Federal Standards 595a.
- The FTP-22-06 panel shall be mounted below the FTP-21-06 sign.

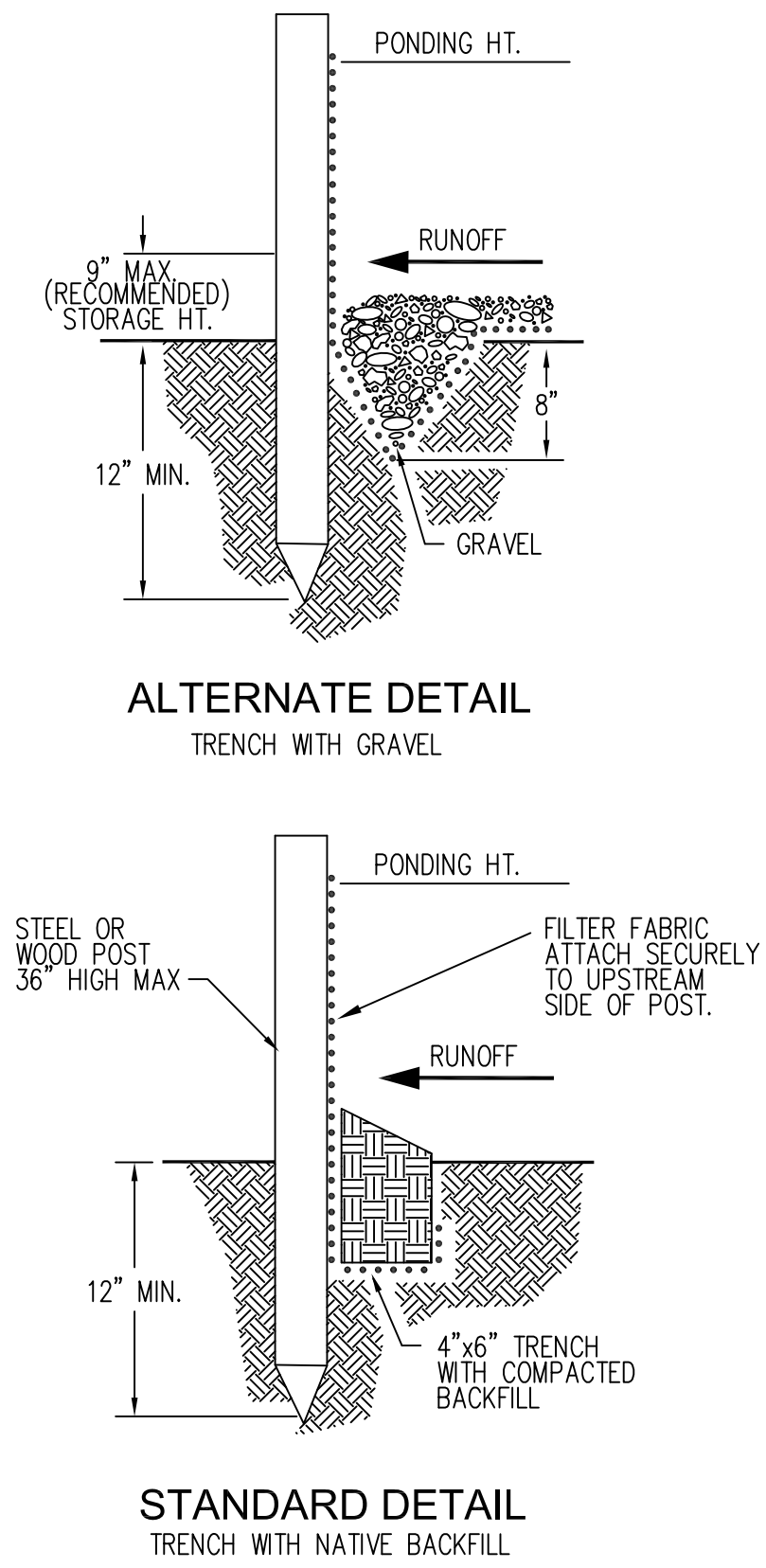
Use of pavement symbol in accessible parking spaces is optional, when used the symbol shall be 3" or 5" high and white in color.

FY 2017-18 DESIGN STANDARDS

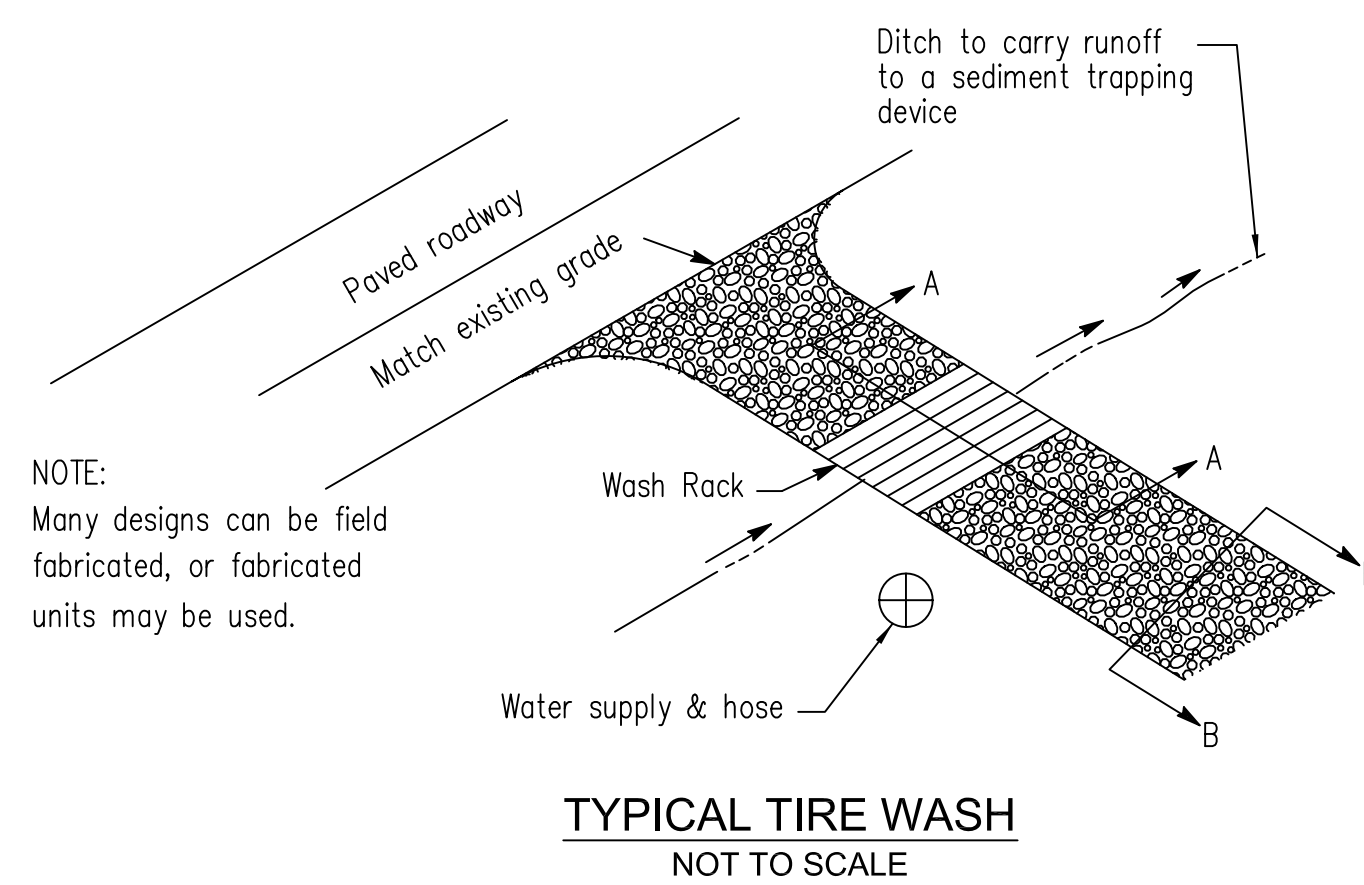
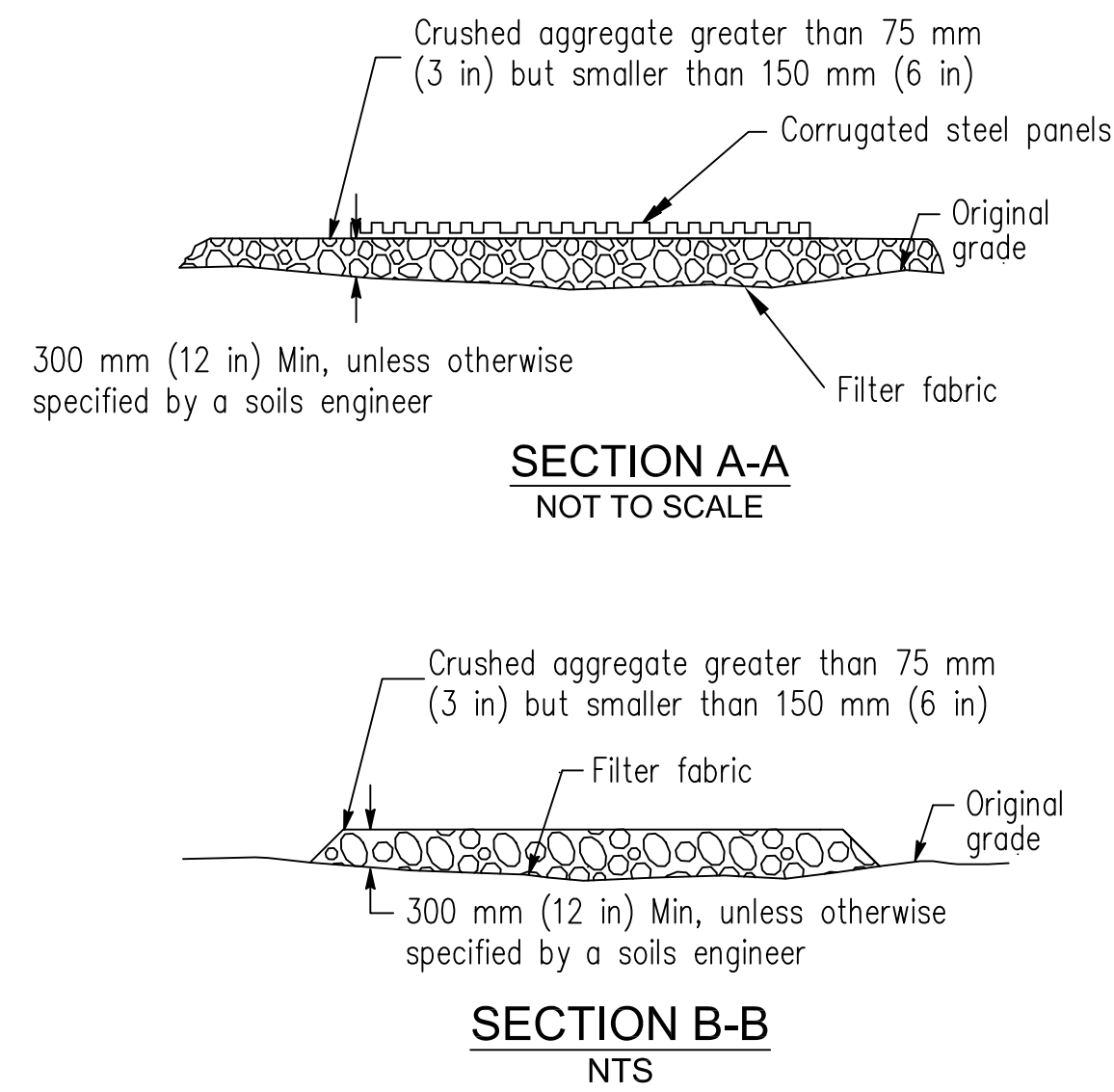
INDEX NO. 17346
SHEET NO. 15 of 17



- NOTE:
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

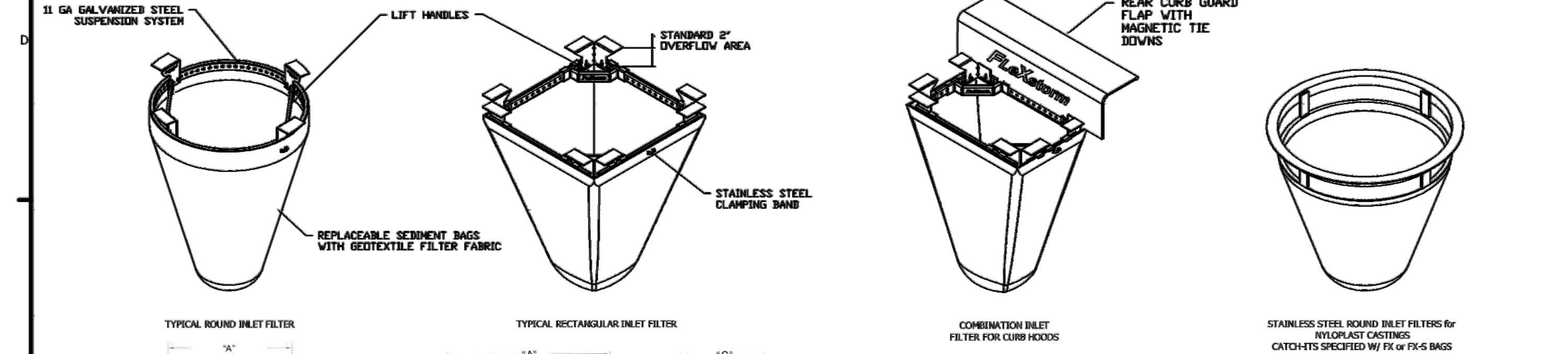


SILT FENCE DETAIL
SCALE: NTS



STABILIZED CONSTRUCTION ENTRANCE
SCALE: NTS

FLEXSTORM CATCH-IT FILTERS FOR TEMPORARY INLET PROTECTION
PRODUCT SELECTION AND SPECIFICATION DRAWING



1. IDENTIFY YOUR FRAME STYLE AND SIZE		
STYLE	FRAME STYLE AND SIZE	Frame P/N:
ROUND	Small Round (up to 20.0" dia grates (A) dia)	62SRD
	Med Round (20.1" - 26.0" dia grates (A) up to 25" dia openings (B))	62MRD
	Large Round (26.1" - 32.0" dia grates (A) up to 30" openings (B))	62LRD
	XL Round (32.1" dia - 39" dia grates (A) up to 37" dia openings (B))	62XLRD
RECT. SQUARE	Small Rect / Square (up to 16" (B) x 16" (D) openings or 64" perimeter)	62SSQ
	Med Rect / Square (up to 24" (B) x 24" (D) openings or 96" perimeter)	62MSQ
	Large Rect / Square (up to 36" (B) x 24" (D) openings or 120" perimeter)	62LSQ
	XL Rect / Square (side by side 2 pc set to fit up to 48" (B) x 36" (D) openings)	62XLSQ
COMBO INLETS	Small Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)	62SCB
	Med Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)	62MCB
	Large Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)	62LCB
	XL Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)	62XLCB
NYLOPLAST	12" diameter Nyloplast castings (Stainless Steel Framing standard)	6212NY
	15" diameter Nyloplast castings (Stainless Steel Framing standard)	6215NY
	18" diameter Nyloplast castings (Stainless Steel Framing standard)	6218NY
	24" diameter Nyloplast castings (Stainless Steel Framing standard)	6224NY
	30" diameter Nyloplast castings (Stainless Steel Framing standard)	6230NY

SPECIFICATIONS FOR STANDARD BAGS BY NOMINAL SIZE				
Nominal Bag Size	Solids Storage (Cuf)	Filtered Flow Rate at 50% Max (CFS)	FX (Woven)	IL (NonWoven)
Small	1.6	1.2	0.9	
Medium	2.1	1.7	1.3	
Large	3.8	2.7	1.9	
XL	4.2	3.6	2.6	

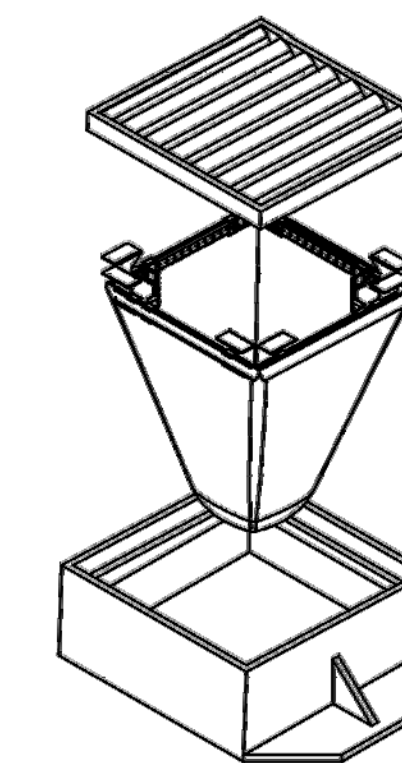
- NOTES:
1. ALL FRAMING IS CONSTRUCTED OF CORROSION RESISTANT STEEL (ZINC PLATED) OR GALVANIZED FOR 7 YEAR MINIMUM SERVICE LIFE.
 2. UPON ORDERING CONFIRMATION OF THE DOT CALLOUT, PRECAST OR CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER ALONE IS NOT SUFFICIENT.
 3. FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM

2. SELECT YOUR BAG PART NUMBER				
FLEXSTORM FILTER BAGS	(22" depth)	(12" depth)	Clean Water Flow Rate (GPM/SqFt)	Min A.O.S. (US Sieve)
FX: Standard Woven Bag	FX	FX-S	200	40
IL: IDOT Non-Woven Bag	IL	IL-S	145	70

3. CREATE YOUR FLEXSTORM INLET FILTER PART NUMBER	
Frame P/N from Step 1.	Filter Bag P/N from Step 2.

INSTALLATION:

1. REMOVE GRATE
2. DROP FLEXSTORM INLET FILTER ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE
3. REPLACE GRATE



FLEXSTORM INLET FILTERS

CATCH IT

ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC A DIVISION OF ADS, INC. WWW.INLETFILTERS.COM
(866) 287-8655 PH
(630) 355-3477 FX
INFO@INLETFILTERS.COM

SIZE	DWG NO	REV
C	FLEXSTORM_CATCH_IT	A

SCALE: 1" = 1'-0" SHEET 1 OF 1



SKETCH AND LEGAL DESCRIPTION

BY

PULICE LAND SURVEYORS, INC.

5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351

TELEPHONE: (954) 572-1777 • FAX: (954) 572-1778

E-MAIL: surveys@pulicelandsurveyors.com CERTIFICATE OF AUTHORIZATION LB#3870



LEGAL DESCRIPTION:

LOTS 4 AND 5, BLOCK 66, "CORAL RIDGE GALT ADDITION NO. 1", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 31, PAGE 37, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH:

THAT PORTION OF THE 15 FOOT WIDE ALLEY LYING ADJACENT TO THE WESTERLY LINES OF SAID LOTS 4 AND 5, BOUNDED ON THE NORTH BY THE WESTERLY EXTENSION OF THE NORTH LINE OF SAID LOT 4, BOUNDED ON THE SOUTH BY THE WESTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 5, BOUNDED ON THE EAST BY THE EASTERLY LINE OF SAID ALLEY, AND BOUNDED ON THE WEST BY THE WESTERLY LINE OF SAID ALLEY.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA AND CONTAINING 22,424 SQUARE FEET (0.5148 ACRES), MORE OR LESS.

NOTES:

- 1) BEARINGS ARE BASED ON THE NORTHERLY LINE OF LOT 4, BEING N74°14'44"E.
- 2) THIS IS NOT A SKETCH OF SURVEY AND DOES NOT REPRESENT A FIELD SURVEY.
- 3) THIS SKETCH IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 4) ALL PLATS SHOWN HEREON ARE RECORDED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- 5) CURRENT ZONING: RMM-25; PROPOSED ZONING: X-P

FILE: DIVERSIFIED COMPANIES

SCALE: N/A

DRAWN: L.S./B.B.

ORDER NO.: 63288B

DATE: 3/10/17; 5/30/17; 6/8/17

REZONING AREA TO X-P

FORT LAUDERDALE, BROWARD COUNTY, FLORIDA

FOR: CORAL RIDGE LZB

SHEET 1 OF 3

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 THRU 3, INCLUSIVE

Beth Burns

- JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
- BETH BURNS, PROFESSIONAL SURVEYOR AND MAPPER LS6136
- VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
STATE OF FLORIDA

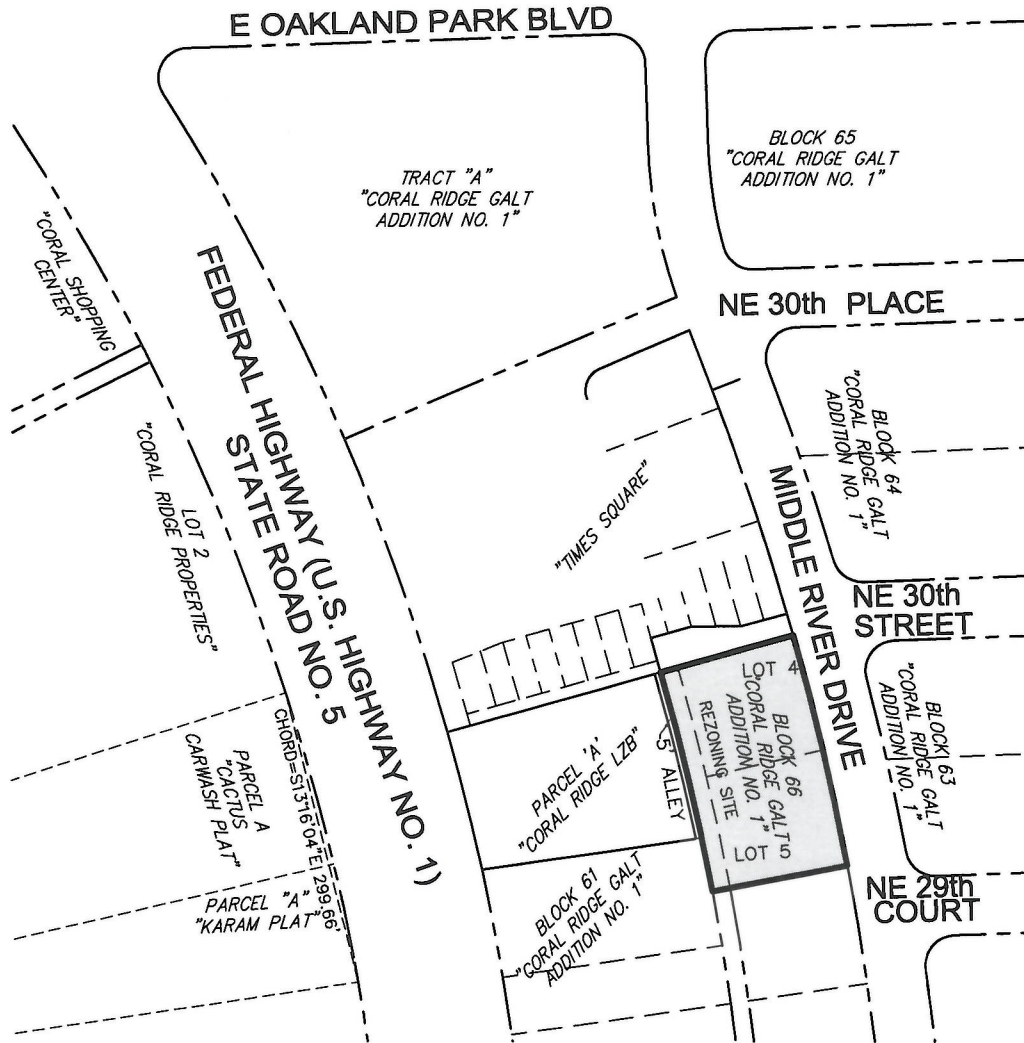
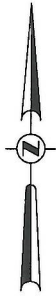


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LOCATION MAP
NOT TO SCALE

FILE: DIVERSIFIED COMPANIES

SCALE: N/A

DRAWN: L.S./B.B.

ORDER NO.: 63288B

DATE: 3/10/17; 5/30/17; 6/8/17

REZONING AREA TO X-P

FORT LAUDERDALE, BROWARD COUNTY, FLORIDA

FOR: CORAL RIDGE LZB

SHEET 2 OF 3

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 THRU 3, INCLUSIVE



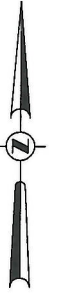
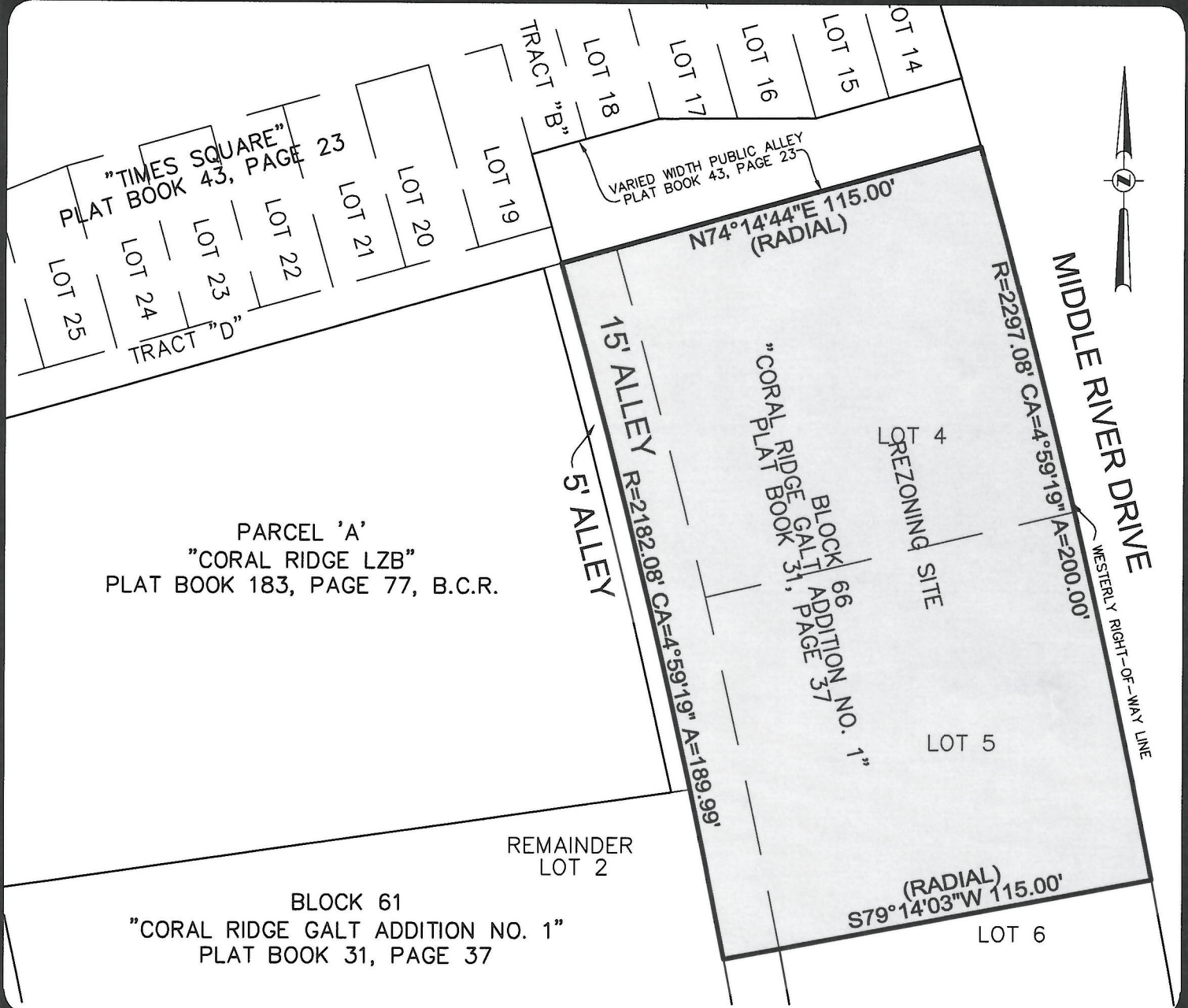
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FILE: DIVERSIFIED COMPANIES

SCALE: 1"=40'

DRAWN: L.S.

ORDER NO.: 63288B

DATE: 3/10/17; 5/30/17; 6/8/17

REZONING AREA TO X-P

FORT LAUDERDALE, BROWARD COUNTY, FLORIDA

FOR: CORAL RIDGE LZB

SHEET 3 OF 3

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 THRU 3, INCLUSIVE

LEGEND:

- R RADIUS
- CA CENTRAL ANGLE
- A ARC LENGTH