

SITE PLAN LEVEL II REVIEW: CASE NO. UDP-S24072

LOCATION
1627 S ANDREWS AVE
FORT LAUDERDALE, FL 33316
SECTION: 15 TOWNSHIP: 50S RANGE: 42E



PROJECT TEAM

CLIENT
NORTH BROWARD HOSPITAL DISTRICT
1800 NW 49TH STREET
FT LAUDERDALE, FL 33309
(954) 473-7450
CONTACT: DAVID J. CLARK, MBA, FACHE

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
8201 PETERS ROAD, SUITE 2200
PLANTATION, FLORIDA 33324
(954) 535-5100
CONTACT: CARLOS FLORIAN, P.E.

SURVEYOR
PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
(954) 572-1777
CONTACT: JOHN F. PULICE

ARCHITECT
BECK ARCHITECTURAL LLC
501 E LAS OLAS BLVD STE 200 & 300
FORT LAUDERDALE, FL 33301
(954) 412-9887
CONTACT: AMIR SAFVAT, AIA

MEP
BR+A CONSULTING ENGINEERS
2600 DOUGLAS RD STE 700
CORAL GABLES, FL 33134
(305) 503-6281
CONTACT: CHRISTOPHER PIETROCARLO, P.E.

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
8201 PETERS ROAD, SUITE 2200
PLANTATION, FLORIDA 33324
(561) 840-0812
CONTACT: TOM HARGRETT, PLA, ASLA



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$$1'' = 250'$$

PROJECT LOCATION

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE
BASED ON THE NAVD 88. TO CONVERT
ELEVATIONS TO NGVD 29, ADD 1.59'.
CONVERSION FACTOR OBTAIN FROM
WWW.ARCGIS.COM

Sunshine811

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!



Broward Health
MEDICAL CENTER



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235

WWW.BECKARCHITECTURE.COM



Kimley»Horn

CARLOS FLORIAN, P.E.
FL REGISTRATION # 80500

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/2/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

MASTER COVER
SHEET

175309

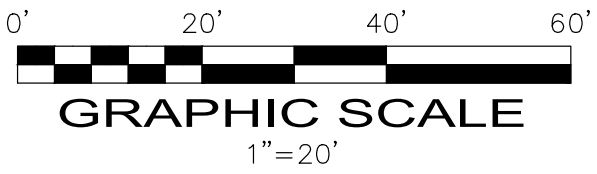
JOB NO.

C000.0

SHEET



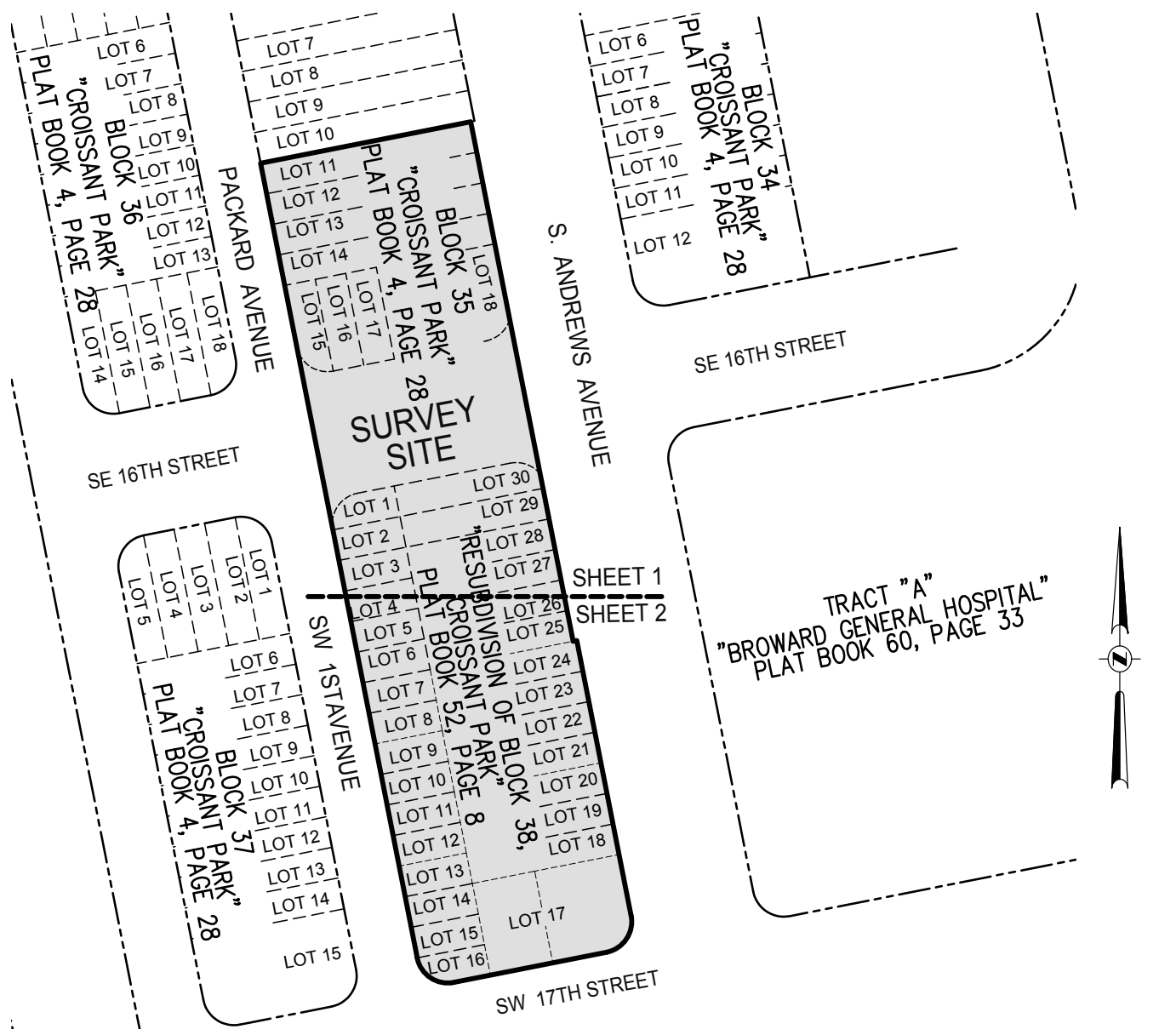
- LEGEND & ABBREVIATIONS**
- CONCRETE
 - ASPHALT PAVEMENT
 - BRICK PAVERS
 - ELEVATION
 - OVERHEAD WIRES
 - UNDERGROUND STORM SEWER LINE
 - UNDERGROUND SANITARY SEWER LINE
 - UNDERGROUND WATER LINE
 - UNDERGROUND UNKNOWN LINE
 - UNDERGROUND GAS LINE
 - CENTERLINE
 - RADIUS
 - CENTRAL ANGLE
 - ARC LENGTH
 - FLORIDA POWER & LIGHT COMPANY
 - LICENSED BUSINESS
 - OFFICIAL RECORDS BOOK
 - TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
 - TITLE COMMITMENT IDENTIFIER
 - PALM TREE
 - UNIDENTIFIED TREE



TRACT "A"
"BROWARD GENERAL HOSPITAL"
PLAT BOOK 60, PAGE 33

CERTIFICATION:
I HEREBY CERTIFY: THAT THIS MAP OF SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
MICHAEL M. MOSSEY, PROFESSIONAL SURVEYOR AND MAPPER PSM5660
STATE OF FLORIDA



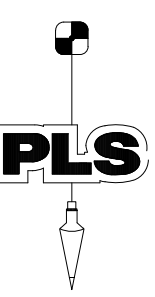
SURVEYOR'S LEGAL:
ALL OF LOTS 11-18 OF BLOCK 35, "CROISSANT PARK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 52, PAGE 8 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
AND TOGETHER WITH THE NORTH ONE-HALF OF VACATED SOUTHWEST 16TH STREET (PLATTED AS OBISPO STREET), ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 52, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
TOGETHER WITH
ALL OF LOTS 1-30 OF "RESUBDIVISION OF BLOCK 38, CROISSANT PARK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 52, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
AND TOGETHER WITH THE SOUTH ONE-HALF OF VACATED SOUTHWEST 16TH STREET (PLATTED AS OBISPO STREET) OF "RESUBDIVISION OF BLOCK 38, CROISSANT PARK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 52, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
SAID LANDS LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA AND CONTAINING A TOTAL OF 116,632 SQUARE FEET (2.678 ACRES), MORE OR LESS.

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE. WITHOUT SHEETS 1 AND 2

REVISIONS		BY
NO.		
1		
2		
3		
4		
5		

BROWARD HEALTH
1601, 1603, 1611-1619, 1623, 1627 ANDREWS AVENUE
9 & 17 SW 17TH STREET
FORT LAUDERDALE, FLORIDA 33316
(CITY OF FORT LAUDERDALE, BROWARD COUNTY)

BOUNDARY AND TOPOGRAPHIC SURVEY



PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@pulicelandsurveyors.com
WEBSITE: www.pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: K.F.	SCALE: 1" = 20'	CLIENT: KIMLEY-HORN ASSOCIATES
CHECKED BY: J.F.P.	SURVEY DATE: 9/5/24	ORDER NO.: 73143

NOTES:

- THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988, CITY OF FORT LAUDERDALE BENCHMARK #5264, ELEVATION: 5.768 FEET & BENCHMARK #5263, ELEVATION: 5.887 FEET.
- FLOOD ZONE: AH; BASE FLOOD ELEVATION: 7 FEET; PANEL #1201100557J; COMMUNITY #125105; MAP DATE: 7/31/24.
- THIS SITE LIES IN SECTION 15, TOWNSHIP 50 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
- GRID BEARINGS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 2011 ADJUSTMENT, FL-E ZONE, WITH THE EAST LINE OF BLOCK 35 BEING S11°09'15"E.
- REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION, BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
- THIS SURVEY WAS PREPARED WITH BENEFIT OF A PROPERTY INFORMATION REPORT, FILE NUMBER 11924626, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED AUGUST 23, 2024 AT 11:00 PM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SAID REPORT: (AS TO LOTS 1 THROUGH 8, BLOCK 38)(A)
ITEM 1: NOTICE OF COMMENCEMENT IN INSTRUMENT #119261730 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 1: PLAT IN PLAT BOOK 52, PAGE 8 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 2: ELECTRICAL AGREEMENT IN O.R.B. 1706, PAGE 174 MAY APPLY TO THIS SITE. SURVEYOR WAS NOT GIVEN A COPY OF THIS DOCUMENT.
ITEM 3: ORDINANCE NO. 1999-31 IN O.R.B. 29643, PAGE 1495 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 4: ORDINANCE NO. 1999-30 IN O.R.B. 29643, PAGE 1541 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 5: EASEMENT IN O.R.B. 31118, PAGE 82 DOES NOT APPLY TO THIS SITE.
ITEM 6: PARKING REDUCTION ORDER IN O.R.B. 38530, PAGE 1176 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 7: RESOLUTION NO. 12-241 IN O.R.B. 49431, PAGE 825 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 8: UTILITY EASEMENT IN O.R.B. 49863, PAGE 212 APPLIES TO THIS SITE AS DEPICTED HEREON.
THIS SURVEY WAS PREPARED WITH BENEFIT OF A PROPERTY INFORMATION REPORT, FILE NUMBER 11924501, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED AUGUST 23, 2024 AT 11:00 PM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SAID REPORT: (AS TO LOTS 9, 10, 11, AND 12, BLOCK 38)(B)
ITEM 1: PLAT IN PLAT BOOK 4, PAGE 28 APPLIED TO THIS SITE, BUT HAVE BEEN SUPERCEDED BY REPLAT.
ITEM 2: PLAT IN PLAT BOOK 52, PAGE 8 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 3: ELECTRICAL AGREEMENT IN O.R.B. 1706, PAGE 174 MAY APPLY TO THIS SITE. SURVEYOR WAS NOT GIVEN A COPY OF THIS DOCUMENT.
ITEM 4: ORDINANCE NO. 1999-31 IN O.R.B. 29643, PAGE 1495 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 5: ORDINANCE NO. 1999-30 IN O.R.B. 29643, PAGE 1541 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 6: RESOLUTION NO. 12-241 IN O.R.B. 49431, PAGE 825 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
THIS SURVEY WAS PREPARED WITH BENEFIT OF A PROPERTY INFORMATION REPORT, FILE NUMBER 11924495, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED AUGUST 23, 2024 AT 11:00 PM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SAID REPORT: (AS TO LOTS 13, 14, 15, AND 16, BLOCK 38)(C)
ITEM 1: PLAT IN PLAT BOOK 4, PAGE 28 APPLIED TO THIS SITE BUT HAVE BEEN SUPERCEDED BY REPLAT.
ITEM 2: PLAT IN PLAT BOOK 52, PAGE 8 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 3: ELECTRICAL AGREEMENT IN O.R.B. 1706, PAGE 174 MAY APPLY TO THIS SITE. SURVEYOR WAS NOT GIVEN A COPY OF THIS DOCUMENT.
ITEM 4: EASEMENT (AS TO ALLEY) IN O.R.B. 1720, PAGE 69 MAY APPLY TO THIS SITE. SURVEYOR WAS NOT GIVEN A COPY OF THIS DOCUMENT.
ITEM 5: ORDINANCE NO. 1999-31 IN O.R.B. 29643, PAGE 1495 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 6: ORDINANCE NO. 1999-30 IN O.R.B. 29643, PAGE 1541 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 7: RESOLUTION NO. 12-241 IN O.R.B. 49431, PAGE 825 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
THIS SURVEY WAS PREPARED WITH BENEFIT OF A PROPERTY INFORMATION REPORT, FILE NUMBER 11924572, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED AUGUST 23, 2024 AT 11:00 PM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SAID REPORT: (AS TO THE WEST 51 FEET OF LOT 17, BLOCK 38)(D)
ITEM 1: NOTICE OF COMMENCEMENT IN INSTRUMENT #119209842 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 2: PLAT IN PLAT BOOK 4, PAGE 28 APPLIED TO THIS SITE BUT HAVE BEEN SUPERCEDED BY REPLAT.
ITEM 3: PLAT IN PLAT BOOK 52, PAGE 8 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 4: FLORIDA POWER & LIGHT EASEMENT IN O.R.B. 1166, PAGE 70 MAY APPLY TO THIS SITE. SURVEYOR WAS NOT GIVEN A COPY OF THIS DOCUMENT.
ITEM 5: EASEMENT IN O.R.B. 10204, PAGE 578 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 6: RESOLUTION NO. 82-162 IN O.R.B. 10244, PAGE 480 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 7: FLORIDA POWER & LIGHT EASEMENT IN 10246, PAGE 934 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 8: ORDINANCE NO. 1999-31 IN O.R.B. 29643, PAGE 1495 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 9: ORDINANCE NO. 1999-30 IN O.R.B. 29643, PAGE 1541 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 10: RESOLUTION NO. 12-241 IN O.R.B. 49431, PAGE 825 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
THIS SURVEY WAS PREPARED WITH BENEFIT OF AN OWNERSHIP AND ENCUMBRANCE REPORT, SEARCH NUMBER 24-921-5, UPDATE 1, PREPARED BY PARAMOUNT TITLE SERVICES, INC., DATED SEPTEMBER 6, 2024 AT 11:00 PM. THE FOLLOWING ITEMS ARE ENCUMBRANCES IN SAID REPORT: (AS TO LOT 17, LESS THE WEST 51 FEET, BLOCK 38)(E)
ITEM 1: EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS AND CONDITIONS IN PLAT BOOK 2, PAGE 9 DO NOT APPLY TO THIS SITE.
ITEM 2: EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS AND CONDITIONS IN PLAT BOOK 4, PAGE 28 APPLIED TO THIS SITE BUT HAVE BEEN SUPERCEDED BY REPLAT.
ITEM 3: EASEMENTS, RESTRICTIONS, COVENANTS AND CONDITIONS IN PLAT BOOK 52, PAGE 8 APPLY TO THIS SITE AS DEPICTED HEREON.
ITEM 4: REMOVAL AGREEMENT FOR FUTURE RIGHT-OF-WAY IN O.R.B. 14553, PAGE 227 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 5: ORDINANCE NO. 1999-31 IN O.R.B. 29643, PAGE 1495 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 6: INTERLOCAL AGREEMENT IN INSTRUMENT #114050934 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
THIS SURVEY WAS PREPARED WITH BENEFIT OF A PROPERTY INFORMATION REPORT, FILE NUMBER 11924519, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED AUGUST 23, 2024 AT 11:00 PM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SAID REPORT: (AS TO LOTS 18, 19, AND 20, BLOCK 38)(F)
ITEM 1: PLAT IN PLAT BOOK 4, PAGE 28 APPLIES TO THIS SITE BUT HAVE BEEN SUPERCEDED BY REPLAT.
ITEM 2: PLAT IN PLAT BOOK 52, PAGE 8 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 3: ELECTRICAL AGREEMENT IN O.R.B. 1706, PAGE 174 MAY APPLY TO THIS SITE. SURVEYOR WAS NOT GIVEN A COPY OF THIS DOCUMENT.
ITEM 4: EASEMENT (AS TO ALLEY) IN O.R.B. 1720, PAGE 69 MAY APPLY TO THIS SITE. SURVEYOR WAS NOT GIVEN A COPY OF THIS DOCUMENT.
ITEM 5: ORDINANCE NO. 1999-31 IN O.R.B. 29643, PAGE 1495 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 6: ORDINANCE NO. 1999-30 IN O.R.B. 29643, PAGE 1541 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 7: RESOLUTION NO. 12-241 IN O.R.B. 49431, PAGE 825 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
THIS SURVEY WAS PREPARED WITH BENEFIT OF A PROPERTY INFORMATION REPORT, FILE NUMBER 11924542, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED AUGUST 23, 2024 AT 11:00 PM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SAID REPORT: (AS TO LOTS 21, 22, 23, AND 24, BLOCK 38)(G)
ITEM 1: NOTICE OF COMMENCEMENT IN INSTRUMENT #119252866 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 2: PLAT IN PLAT BOOK 52, PAGE 8 APPLIES TO THIS SITE AS DEPICTED HEREON.
ITEM 3: ELECTRICAL AGREEMENT IN O.R.B. 1706, PAGE 174 MAY APPLY TO THIS SITE. SURVEYOR WAS NOT GIVEN A COPY OF THIS DOCUMENT.
ITEM 4: ORDINANCE NO. 1999-31 IN O.R.B. 29643, PAGE 1495 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 5: ORDINANCE NO. 1999-30 IN O.R.B. 29643, PAGE 1541 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
ITEM 6: RESOLUTION NO. 12-241 IN O.R.B. 49431, PAGE 825 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
THIS SURVEY IS CERTIFIED EXCLUSIVELY TO: KIMLEY-HORN AND ASSOCIATES; FIDELITY NATIONAL TITLE INSURANCE COMPANY; NORTH BROWARD HOSPITAL DISTRICT, A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA; NORTH BROWARD HOSPITAL DISTRICT, A SPECIAL TAXING DISTRICT OF THE STATE OF FLORIDA; NORTH BROWARD HOSPITAL DISTRICT, A SPECIAL TAXING DISTRICT OF THE STATE OF FLORIDA, D/B/A BROWARD HEALTH.
- THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS $\pm 0.2'$. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS $\pm 0.1'$.
- THIS SITE CONTAINS 110 TOTAL CLEARLY IDENTIFIABLE PARKING SPACES (104 REGULAR & 6 DISABLED).
- THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A COMMITMENT FOR TITLE INSURANCE. ONLY PLATTED OR KNOWN EASEMENTS ARE DEPICTED HEREON.
- ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS.

SEE SHEET 1

MATCH LINE



LEGEND & ABBREVIATIONS	
	CONCRETE
	ASPHALT PAVEMENT
	BRICK PAVERS
	ROCK
	ELEVATION
	OVERHEAD WIRES
	UNDERGROUND STORM SEWER LINE
	UNDERGROUND SANITARY SEWER LINE
	UNDERGROUND WATER LINE
	UNDERGROUND UNKNOWN LINE
	UNDERGROUND GAS LINE
	CENTERLINE
	R=
	CA=
	A=
	FPL FLORIDA POWER & LIGHT COMPANY
	LICENSED BUSINESS
	O.R.B. OFFICIAL RECORDS BOOK
	TP TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
	1A TITLE COMMITMENT IDENTIFIER
	PALM TREE
	UNIDENTIFIED TREE

SHEET 2 OF 2

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

BROWARD HEALTH

1601, 1603, 1611-1619, 1623, 1627 ANDREWS AVENUE
& 17 SW 17TH STREET
FORT LAUDERDALE, FLORIDA 33316
(CITY OF FORT LAUDERDALE, BROWARD COUNTY)

BOUNDARY AND TOPOGRAPHIC SURVEY



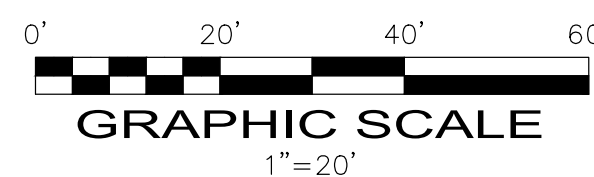
POLICE LAND SURVEYORS, INC.

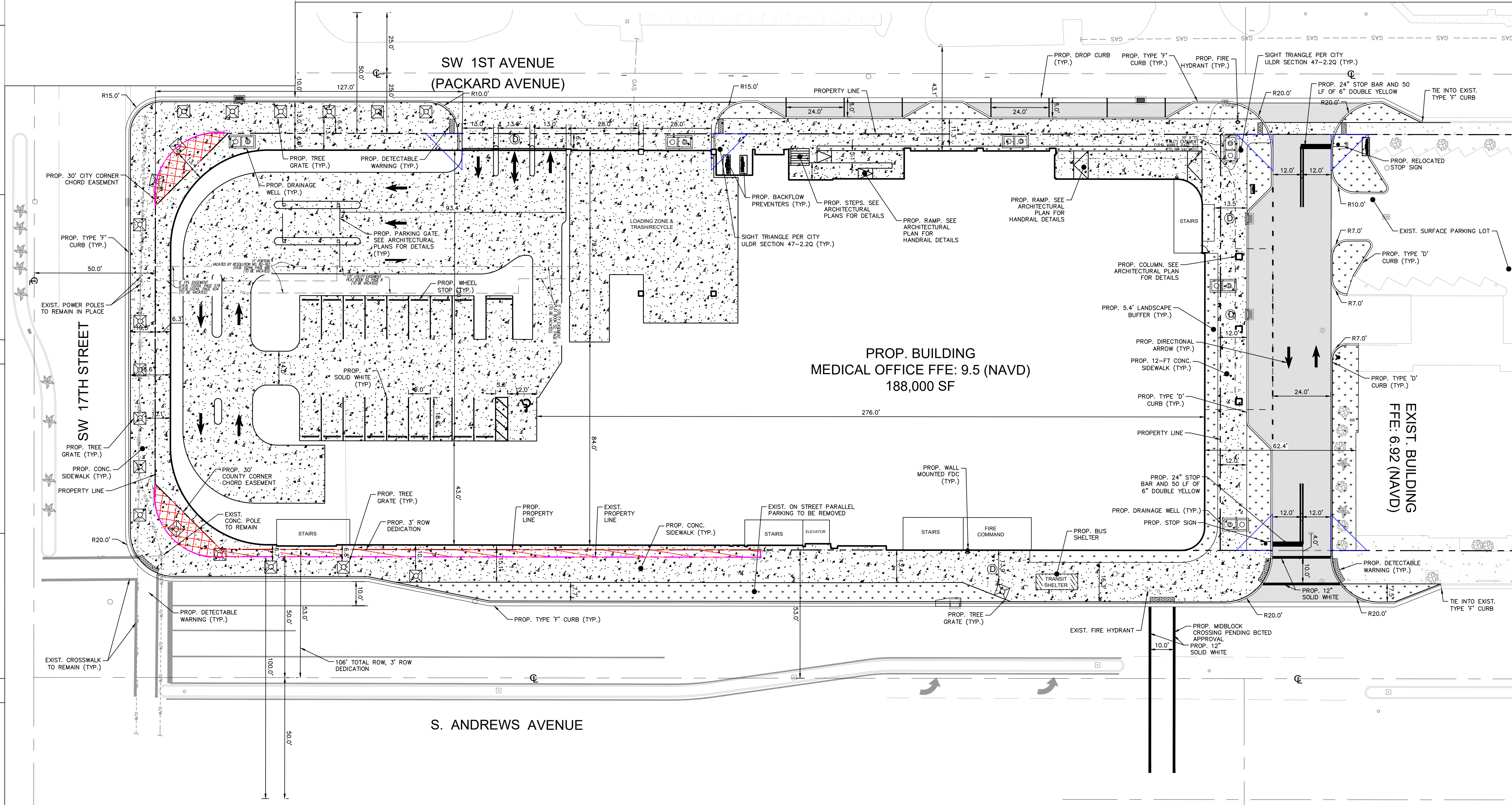
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@policeandsurveyors.com
WEBSITE: www.policeandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: K.F.
CHECKED BY: J.F.F.

SCALE: 1" = 20'
SURVEY DATE: 9/5/24

CLIENT: KIMLEY-HORN ASSOCIATES
ORDER NO.: 73143





Kimley»Horn

BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.,
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM

CARLOS FLORIAN, P.E.
FL REGISTRATION # 80500

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/2/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

**BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE**

MASTER SITE PLAN

175309
JOB NO.

C200.0
SHEET

EXISTING LEGEND	
	PROPOSED PROPERTY LINE
	EXISTING PROPERTY LINE
	EXISTING WATER
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING OVERHEAD WIRE
	EXISTING COMMUNICATION LINE
	EXISTING NATURAL GAS LINE
	EXISTING CATCH BASIN
	EXISTING VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM MANHOLE
	EXISTING CONCRETE PAVEMENT

PROPOSED LEGEND	
	PROPOSED STORM MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED DETECTABLE WARNING
	PROPOSED ROW DEDICATION
	PROPOSED CORNER CHORD EASEMENT
	PROPOSED WATER METER AND RPZ
	PROPOSED DDCV
	PROPOSED FDC AND FIRE HYDRANT
	PROPOSED SIGN

OVERALL SITE	
FUTURE LAND USE	
SRAC	S REGIONAL ACTIVITY CENTER
ZONING	
CURRENT	SRAC-SAe (SOUTH REGIONAL ACTIVITY CENTER-SOUTH ANDREWS EAST)
PROPOSED	SRAC-SAe (SOUTH REGIONAL ACTIVITY CENTER-SOUTH ANDREWS EAST)
FAR	0.89
SITE AREA	75,646 SF
PLOT COVERAGE	1.74 AC
	91.47%
USE	
PROPOSED USE	MEDICAL OFFICE
TOTAL FLOOR AREA	187,272 (OCCUPIED GROSS AREA)
FOLIOS	
1627 S ANDREWS AVE	5042 15 40 0150
9 SW 17 ST	5042 15 40 0140
17 SW 17 ST	5042 15 40 0100
1623 S ANDREWS AVE	5042 15 40 0160
1611 S ANDREWS AVE	5042 15 40 0170
1603 S ANDREWS AVE	5042 15 40 0090
A PORTION OF 1601 S ANDREWS AVE	5042 15 40 0010

BUILDING HEIGHT			
BUILDING HEIGHT		120' TO TOP OF ROOF	
SET BACK			
	REQUIRED (FT)	PROVIDED (FT)	
NORTH	0	6.4	
SOUTH	5	6.3	
EAST	0	0	
WEST	5	6.4	
AREA BREAKDOWN			
AREA TYPE	ACRES	SQ. FEET	PERCENTAGE
PERVIOUS	0.02	964	1.29%
LANDSCAPE	0.02	964	1.29%
IMPERVIOUS	1.70	73,896	98.71%
PAVEMENT	0.14	6,134	8.19%
BUILDING	1.56	67,762	90.52%
TOTAL	1.74	74,860	100.0%

PARKING CATEGORY INFORMATION			
	AREA	RATIO	REQUIRED
PROPOSED MEDICAL OFFICE BUILDING	187,272 SF	1/250 SF X 0.60*	450
EXISTING SPORTS MEDICINE BUILDING (MEDICAL CLINIC) & NORTH SURFACE LOT	32,550	1/150 SF X 0.60**	131
	TOTAL PARKING		581
ON-STREET METERED SPACES TO BE REMOVED			
1ST AVENUE			1
ANDREWS AVENUE			7
(TO BE REMOVED PER COUNTY DIRECTION)			

*AS PER ULDR SEC. 47-20.2, TABLE 3 (SRAC REQUIREMENTS), ALL DEVELOPMENT GREATER THAN 2,500 GSF SHALL BE REQUIRED TO PROVIDE 60% OF THE PARKING SPACE REQUIREMENTS FOR USES AS PROVIDED IN TABLE 1.
**THE EXISTING SPORTS MEDICINE BUILDING WILL HAVE ACCESS TO THE ADDITIONAL 79 REQUIRED SPACES WITHIN THE PROPOSED PARKING GARAGE.



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM

MARK	NOTE
1	MASONRY PLAN DIMENSIONS ARE NOMINAL AT SCALES NOT SHOWING INDIVIDUAL MODULES
2	OPENINGS ARE NOMINAL MASONRY OPENINGS AT SCALES NOT SHOWING INDIVIDUAL MODULES
3	EXTERIOR WALL DIMENSIONS ARE TO FINISH FACE (SEE WALL SECTION UNLESS NOTED OTHERWISE)
4	DRAWING WITH INDIVIDUAL MODULE UNITS RATING ARE DIMENSIONED TO ACTUAL SIZE
5	AT LOCATIONS OF STRUCTURAL MASONRY, UNIT TYPE IS SHOWN AS REPRESENTATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL MASONRY CONSTRUCTION.
6	INTERIOR WALL DIMENSIONS ARE TO FINISH FACE OF PARTITION AS TAGGED, PER PARTITION SCHEDULE UNLESS NOTED OTHERWISE. ADJACENT FINISHES MAY EXIST. SEE FINISH PLAN.
7	WHERE DOORS ARE ADDITIONAL TO PERPENDICULAR WALLS, DIMENSION FROM FACE OF WALL TO EDGE OF FRAME IN INCHES UNLESS OTHERWISE NOTED.
8	WHERE WALLS OF VARYING FIRE AND/OR SMOKE RATING MEET OR INTERSECT, WALLS OF GREATER RATING SHALL RUN CONTINUOUS.
9	ELEMENT POSITIONS BASED ON NON PARALLEL OR NON PERPENDICULAR RELATIONSHIPS TO OTHER ELEMENTS SHALL BE PLACED BY THE WORK POINTS DEFINED INCIDENTALLY FROM THE OTHER ELEMENTS.
10	RADIUSED ELEMENTS DEFINED BY MORE THAN 2 WORKPOINTS SHALL BE PLACED BY STRIKING AN ARC TANGENT TO ALL WORK POINTS. WHERE MORE THAN 3 WORKPOINTS ARE PRESENT, THE ARC AT EACH WORKPOINT SHALL BE TANGENT TO THE ADJACENT WORKPOINT ON EACH SIDE.
11	RADIUSED ELEMENTS DEFINED BY CENTERPOINTS, RADI AND ANGLES SHALL BE PLACED BY MARKING THE CENTERPOINT AND ANGLE OFF THE OBJECTS THE DIMENSIONS ARE INCIDENT FROM.
12	OBJECTS AND INFORMATION SHOWN FROM OTHER TRADES IS FOR REFERENCE ONLY. OBJECTS AND INFORMATION SHOWN MAY NOT BE ALL INCLUSIVE. REFER TO THE APPROPRIATE CONSULTANTS' DOCUMENTS FOR INFORMATION ON THESE SYSTEMS.

	EARTH		P LAM
	GRAVEL/STONE		FINISHED WOOD
	CONCRETE: CAST IN PLACE		PARTICLE BOARD
	CONCRETE: PRECAST		ACOUSTIC CEILING TILE
	CONCRETE MASONRY UNIT		CARPET
	BRICK		BATT INSULATION
	STONE		RIGID INSULATION
	SAND/MORTAR		GYPSUM WALLBOARD
	ALUMINUM		PLYWOOD
			STEEL

11 DETAIL CUT PATTERNS

CAM #25-0587
Exhibit 3
Page 5 of 58

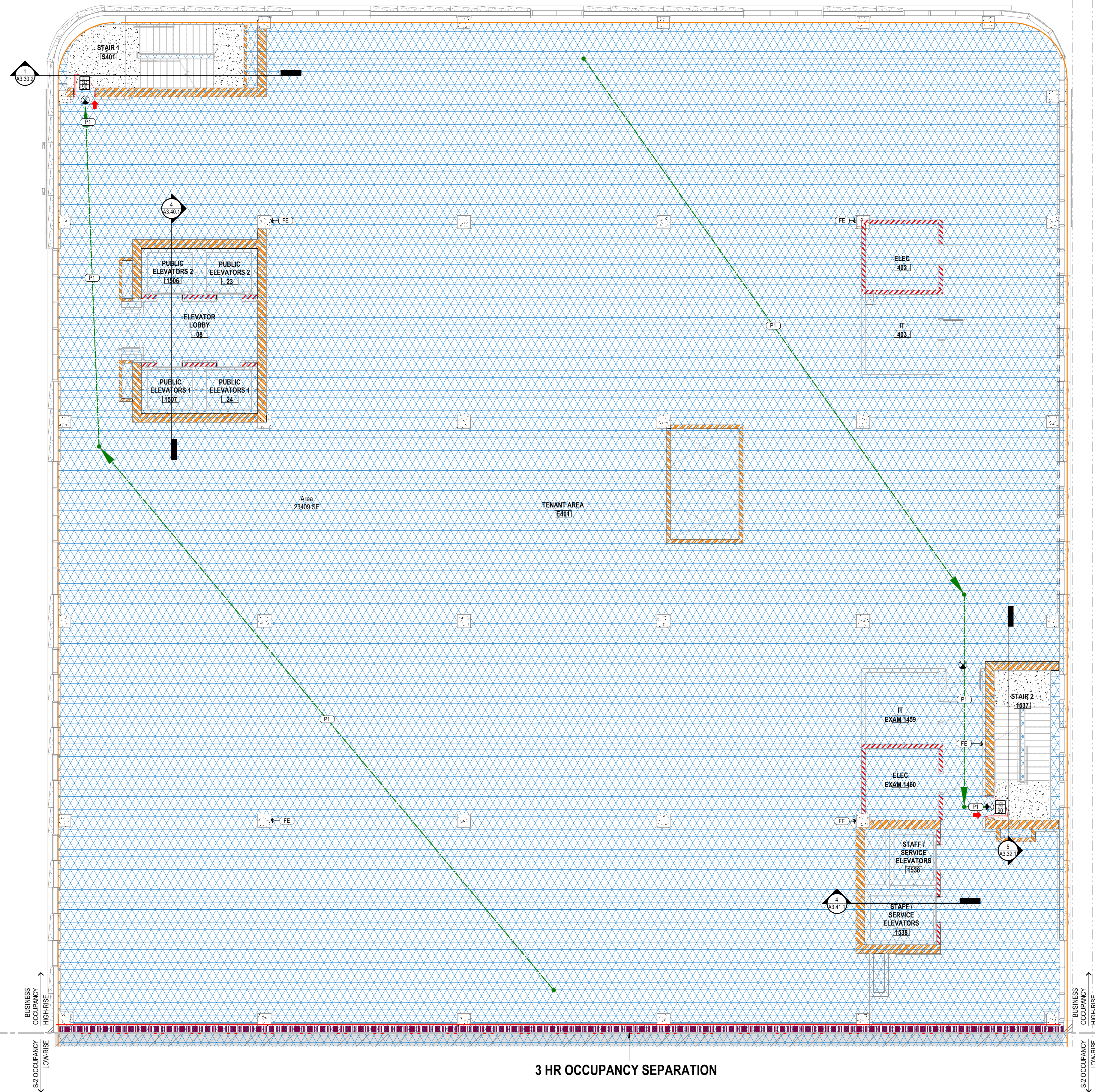


02.01.1 SCALE: 1/8" = 1'-0"

True North

Project North





1 CODE COMPLIANCE AREA PLAN- LEVEL 4
SCALE: 1/8" = 1'-0"

- CODE COMPLIANCE PLAN GENERAL NOTES:**
1. WALL RATINGS BELOW REFLECT REQUIRED MINIMUM RATINGS FOR WALLS. REFER TO UL ASSEMBLY FOR ACTUAL WALL CONSTRUCTION.
 2. REFER TO AREA FLOOR PLANS, AND SHEETS A0.01 AND A0.02 FOR PARTITION INFORMATION.
 3. REFER TO AREA FLOOR PLANS FOR DOOR TAGS, REFER TO A6 SERIES FOR DOOR SCHEDULE AND DOOR INFORMATION.
 4. REFER TO A3.xx SERIES SHEETS FOR ENLARGED PLANS, FOR DIMENSIONS BETWEEN PARTITIONS AT CHASE CONDITIONS.
 5. REFER TO A11.xx SERIES SHEETS FOR FINISH PLANS (INCLUDING WALL PROTECTION) AND SHEET A11.00 FOR FINISH LEGEND.

- CODE COMPLIANCE GRAPHICS**
- EXISTING PARTITION TO REMAIN
 - PARTITION
 - SMOKE PARTITION
 - 1 HR BARRIER
 - 1 HR / SMOKE BARRIER
 - 2 HR BARRIER
 - 2 HR / SMOKE BARRIER
 - 3 HR BARRIER
 - 3 HR / SMOKE BARRIER
 - 3 HR / SMOKE BARRIER OCCUPANCY SEPARATION LINE
 - EXIT SIGN TWO SIDED DIRECTIONAL TWO WAY
 - EXIT SIGN ONE SIDED DIRECTIONAL
 - EXIT SIGN ONE SIDED
 - PROVIDED EGRESS WIDTH
 - REQUIRED EGRESS WIDTH
 - DOOR RATING (TAG USED ON NON-EGRESS DOORS)
 - FE-K AT KITCHENS/SERVING AREAS
 - FE-C FIRE EXTINGUISHER CABINET - SEMI RECESSED
 - FE-C-R FIRE EXTINGUISHER CABINET (RATED)
 - FE-ACP FIRE ALARM CONTROL PANEL
 - FE-APP FIRE ALARM ANNUNCIATOR PANEL
 - COMMON PATH TRAVEL DISTANCE PATH NUMBER
 - EXIT TRAVEL DISTANCE PATH NUMBER
 - DEAD END DISTANCE PATH NUMBER
 - EXIT DISCHARGE
 - TRAVEL DISTANCES TOTALS SHOWN ON SCHEDULE
 - HAZARDOUS STORAGE

TRAVEL DISTANCE PATHS

PATH	LENGTH
P1	2514'-6"

BUILDING EGRESS DOORS

Number	Egress Building	Width Egress Provided
8048	Yes	32.0
8057	Yes	32.0
8066	Yes	32.0
8075	Yes	32.0
8084	Yes	32.0
S102	Yes	32.0
S201A	Yes	32.0
S202	Yes	32.0
S401A	Yes	32.0
S601A	Yes	32.0
S601A	Yes	32.0
S701A	Yes	32.0
S801A	Yes	32.0
S801B	Yes	32.0



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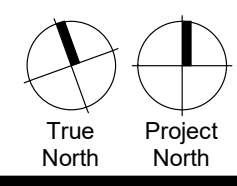
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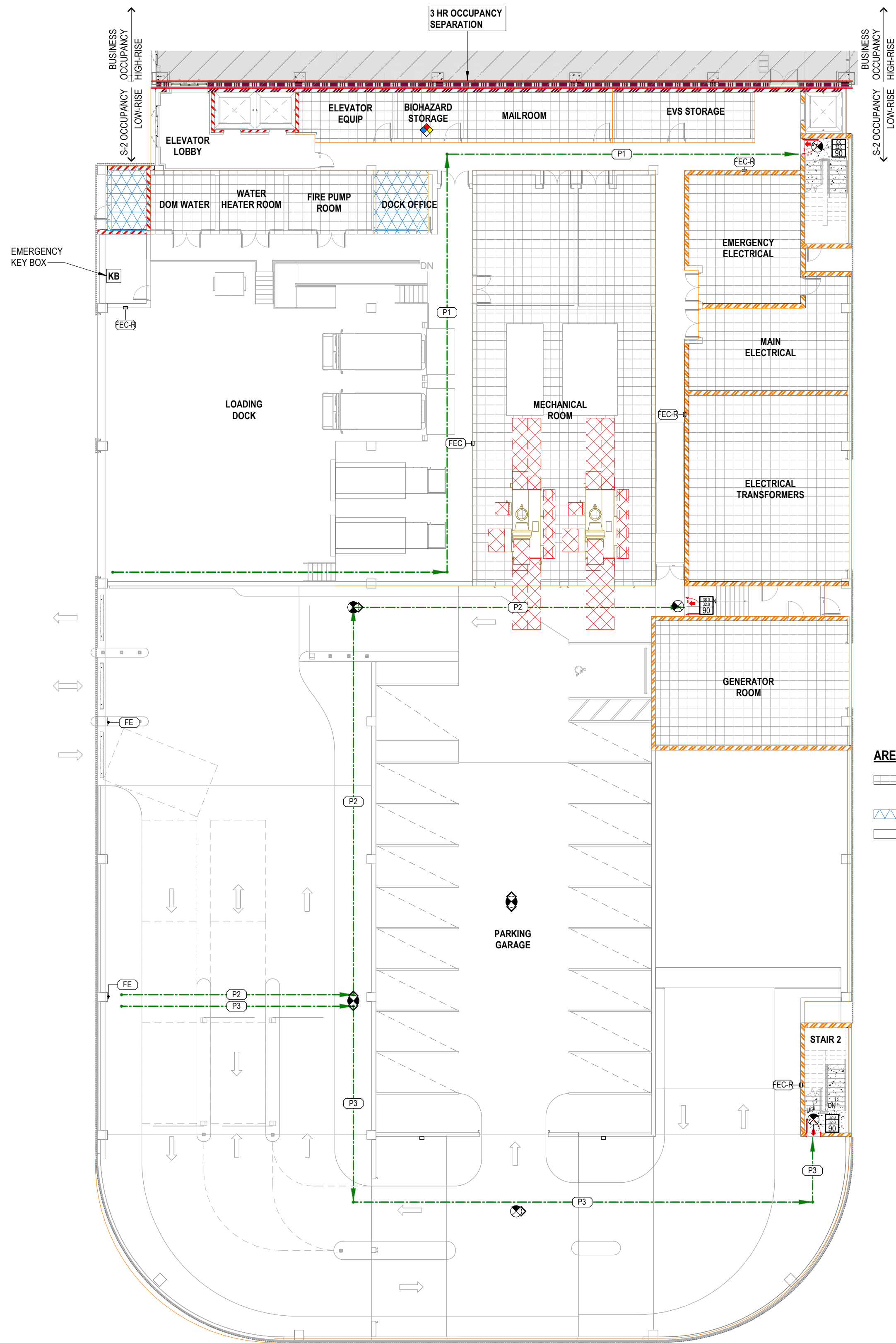
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LEVEL 4 - CODE
COMPLIANCE PLAN -
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AREA OCCUPANCY LEGEND

- Accessory Storage Areas, Mechanical equipment rooms
- Business (FBC 2023)
- Parking Garages

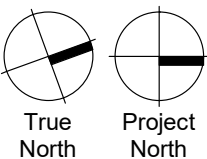
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 5. REFER TO A11.xx SERIES SHEETS FOR FINISH PLANS (INCLUDING WALL PROTECTION) AND SHEET A11.00 FOR FINISH LEGEND.

TRAVEL DISTANCE PATHS		
PATH	LENGTH	
P1	240'-3"	
P2	206'-11"	
P3	207'-11"	
P4	1330'-4"	
P5	1319'-3"	

BUILDING EGRESS DOORS		
Number	Egress - Building	Width Egress Provided
121A	Yes	38.0
385	Yes	32.0
581	Yes	32.0
1753	Yes	32.0
1802	Yes	32.0
S102A	Yes	32.0

- CODE COMPLIANCE GRAPHICS**
- EXISTING PARTITION TO REMAIN
 - PARTITION
 - SMOKE PARTITION
 - 1 HR BARRIER
 - 1 HR / SMOKE BARRIER
 - 2 HR BARRIER
 - 2 HR / SMOKE BARRIER
 - 3 HR BARRIER
 - 3 HR / SMOKE BARRIER
 - 3 HR OCCUPANCY SEPARATION LINE
 - EXIT SIGN TWO SIDED DIRECTIONAL TWO WAY
 - EXIT SIGN ONE SIDED DIRECTIONAL
 - EXIT SIGN ONE SIDED PROVIDED EGRESS WIDTH
 - REQUIRED EGRESS WIDTH
 - DOOR RATINGS (TAG USED ON NON-EGRESS DOORS)
 - FIRE EXTINGUISHER CABINET - SEMI RECESSED
 - FIRE EXTINGUISHER CABINET (RATED)
 - FIRE ALARM CONTROL PANEL
 - FIRE ALARM ANNUNCIATOR PANEL
 - COMMON PATH TRAVEL DISTANCE PATH NUMBER
 - EXIT TRAVEL DISTANCE PATH NUMBER
 - DEAD END DISTANCE PATH NUMBER
 - EXIT DISCHARGE
 - HAZARDOUS STORAGE

1 CODE COMPLIANCE AREA PLAN- LEVEL P1
SCALE: 1/16" = 1'-0"



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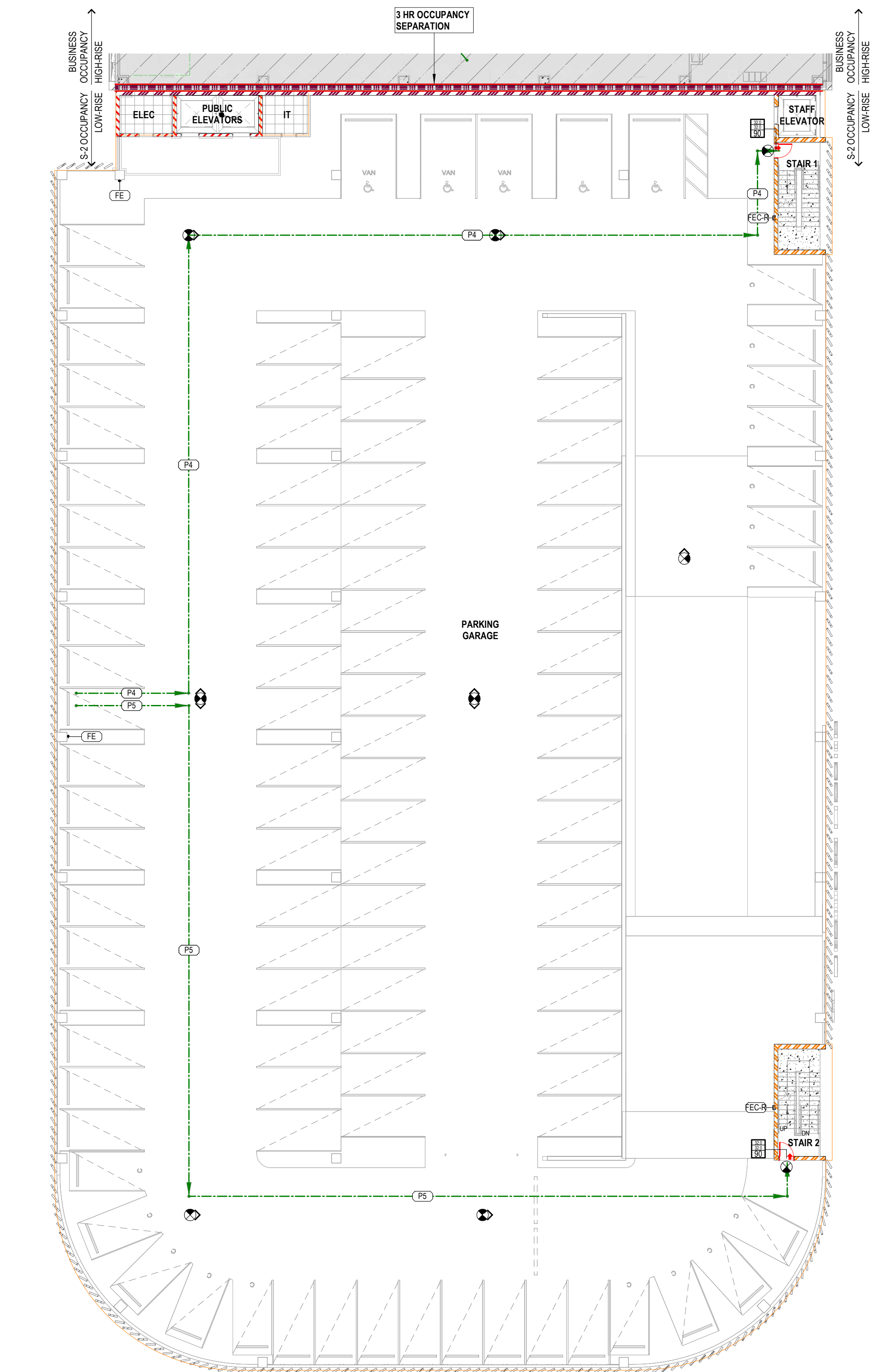
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E	04/24/25	Design Development - CS
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**LEVEL 1 - CODE
COMPLIANCE PLAN -
PG**

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JOB NO. SHEET

GP2.01



1 CODE COMPLIANCE AREA PLAN- LEVEL P2
SCALE: 1/16" = 1'-0"

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TRAVEL DISTANCE PATHS		
PATH	LENGTH	
P1		240'-3"
P2		206'-11"
P3		207'-11"
P4		1330'-4"
P5		1319'-3"

BUILDING EGRESS DOORS		
Number	Egress, Building	Width Egress Provided
121A	Yes	38.0
385	Yes	32.0
581	Yes	32.0
1753	Yes	32.0
1802	Yes	32.0
S102A	Yes	32.0

- CODE COMPLIANCE GRAPHICS**
- EXISTING PARTITION TO REMAIN
 - PARTITION
 - SMOKE PARTITION
 - 1 HR BARRIER
 - 1 HR / SMOKE BARRIER
 - 2 HR BARRIER
 - 2 HR / SMOKE BARRIER
 - 3 HR BARRIER
 - 3 HR / SMOKE BARRIER
 - 3 HR OCCUPANCY SEPARATION LINE
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 - REQUIRED EGRESS WIDTH
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 - FIRE EXTINGUISHER CABINET (RATED)
 - FIRE ALARM CONTROL PANEL
 - FIRE ALARM ANNUNCIATOR PANEL
 - COMMON PATH TRAVEL DISTANCE PATH NUMBER
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 - DEAD END DISTANCE PATH NUMBER
 - EXIT DISCHARGE
 - HAZARDOUS STORAGE

- AREA OCCUPANCY LEGEND**
- Accessory Storage Areas, Mechanical equipment rooms
 - Parking Garages



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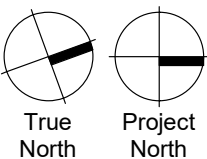
#	DATE	SUBMISSION
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

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LEVEL 2 - CODE
COMPLIANCE PLAN -
PG

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GP2.02



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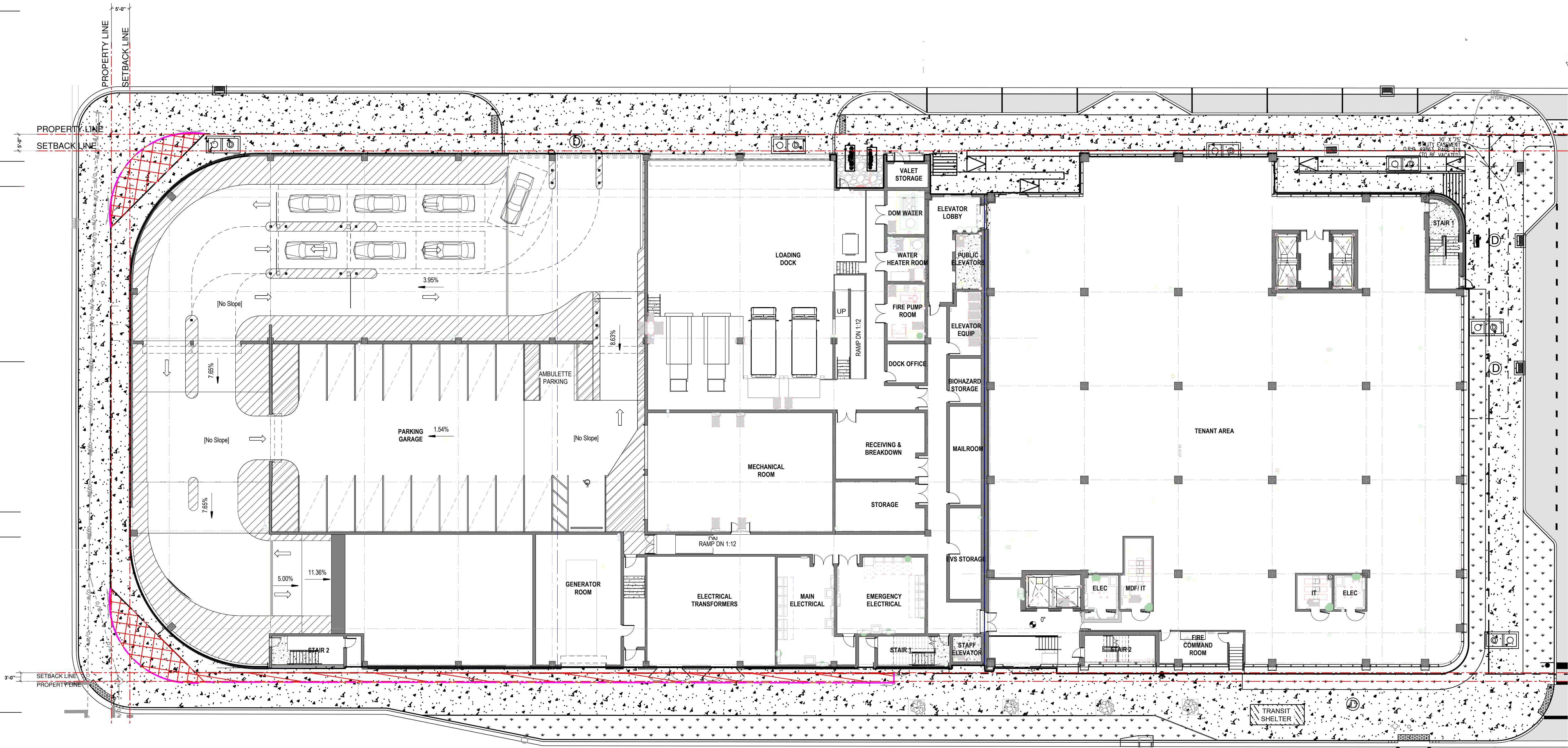
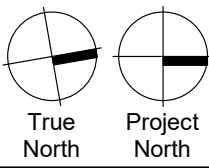
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B	02/17/25	Schematic Design
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
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OVERALL SITE PLAN

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A1.01.1
SHEET



1 SITE PLAN
SCALE: 1/16" = 1'-0"



1 LEVEL 1 - FLOOR PLAN
SCALE: 1/8" = 1'-0"



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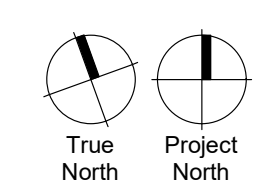
LEVEL 1 - FLOOR PLAN
- TI

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A2.01.2



1 TYPICAL LEVEL - FLOOR PLAN
SCALE: 1/8" = 1'-0"



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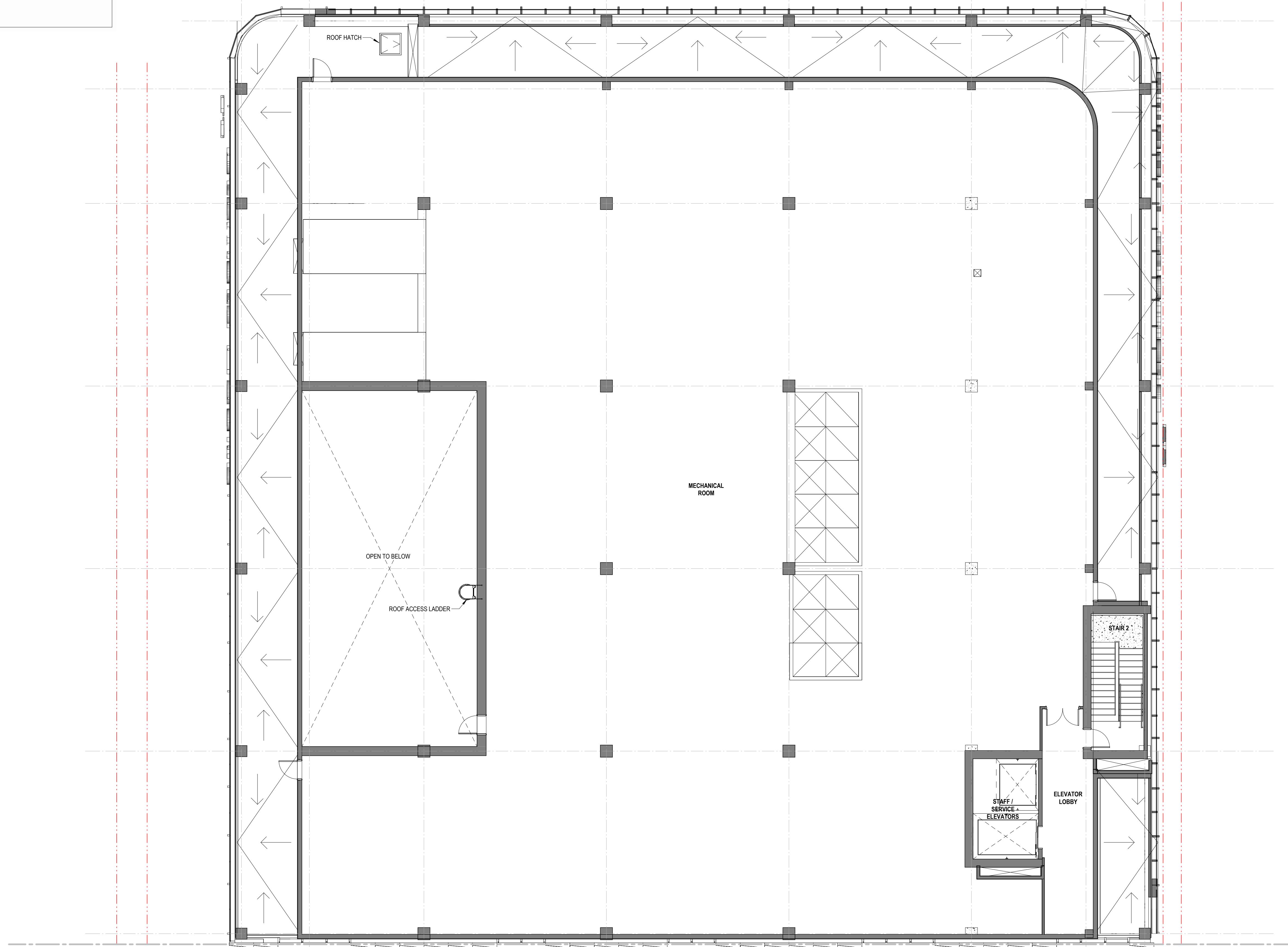
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LEVEL 4 - FLOOR PLAN
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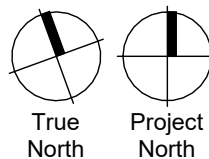
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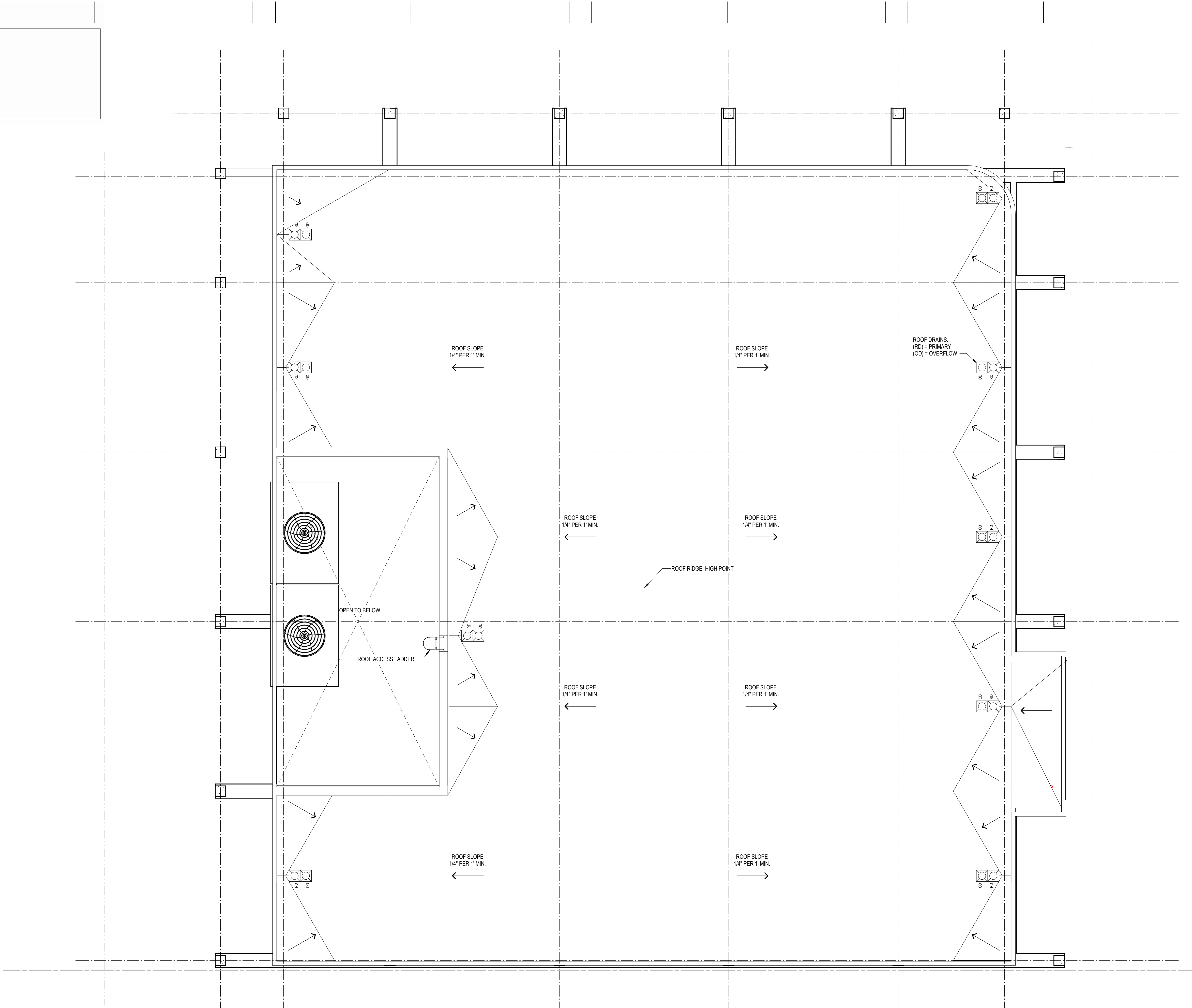
LEVEL 9 MECH - FLOOR
PLAN - CS

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SHEET

1 Overall Plan- Level 9-Mech
SCALE: 1/8" = 1'-0"





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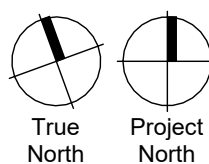
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ROOF LEVEL - CS

1 Overall Roof Plan
SCALE: 1/8" = 1'-0"



175309
JOB NO.

A2.10.1
SHEET

MATERIAL LIST			
TAG #	KEYNOTE DESCRIPTION		
PMP1	PERFORATED METAL PANEL SYSTEM - WHITE	MC3	FLASHING AND SHEET METAL - METAL COPING
PMP2	PERFORATED METAL PANEL SYSTEM LIGH BLUE	ED1	AUTOMATIC DUAL SLIDING ENTRANCE
PMP3	PERFORATED METAL PANEL SYSTEM MEDIUM BLUE	ED2	ALUM SWINGING EXTERIOR DOOR ASSEMBLIES
PMP4	PERFORATED METAL PANEL SYSTEM DARK BLUE	ED3	EXTERIOR HM DOOR ASSEMBLIES
APC1	PRECAST CONCRETE WALL PANEL SYSTEM WITH FORMLINERS	ED4	EXTERIOR RATED LOUVERS
PT1	PAINT - WHITE - SW 7004 "Snowbound"	ED5	ROLLUP OVERHEAD DOOR
PT2	PAINT - GRAY - SW 7066 "Gray Matters"	GAF1	PUNCHED OPENING SYSTEM
PT3	PAINT - DARK BLUE - SW 6966 "Blueblood"	GAF2	CURTAINWALL SYSTEM
PT4	PAINT - MEDIUM BLUE - SW 6796 "Blue Plate"	GAF3	CURVED GLASS CORNER CURTAINWALL SYSTEM
PT5	PAINT - LIGHT BLUE - SW 9049 "Sky Fall"	SIG1	SPANDREL 1 5/16" INSULATING LAMINATED COATED GLASS (LARGE MISSILE)
PT6	PAINT - DARK GRAY - SW 7069 "Iron Ore"	SIG2	SPANDREL 9/16" INSULATING LAMINATED COATED GLASS (SMALL MISSILE)
AMF1	ARCHITECTURAL METAL FINISH - DARK BRONZE	SIG3	VISION 1 5/16" INSULATING LAMINATED COATED GLASS (LARGE MISSILE)
AMF2	ARCHITECTURAL METAL FINISH - MEDIUM GRAY	SIG4	VISION 9/16" INSULATING LAMINATED COATED GLASS (SMALL MISSILE)
AMF3	ARCHITECTURAL METAL FINISH - LIGHT GRAY	SIG5	EXTERIOR DOOR GLASS LAMINATED
AMF4	ARCHITECTURAL METAL FINISH - WHITE	RF1	ROOFING
AMF5	ARCHITECTURAL METAL FINISH - CLR ANODIZED	RF2	BUILDING SUPPORTED ARCHITECTURAL CANOPY (DELEGATED DESIGN)
MWP1	METAL WALL PANEL - COMPOSITE WALL PANELS	RF3	MAIN ROOF
MWP2	METAL WALL PANEL - CORRUGATED METAL CLADDING	EIF1	CEMENT PLASTER SYSTEM - TerraNeo
MC1	FLASHING AND SHEET METAL - METAL COPING	EIF2	CEMENT PLASTER SYSTEM - Limestone
MC2	FLASHING AND SHEET METAL - METAL COPING	MS1	FACE LIT MONUMENTAL SIGNAGE (DELEGATED DESIGN)
REFER TO ARCHITECTURAL SHEET A7.03.1 AND A7.04.1 FOR EXTERIOR MATERIALS			



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ARCHITECT SEAL 05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

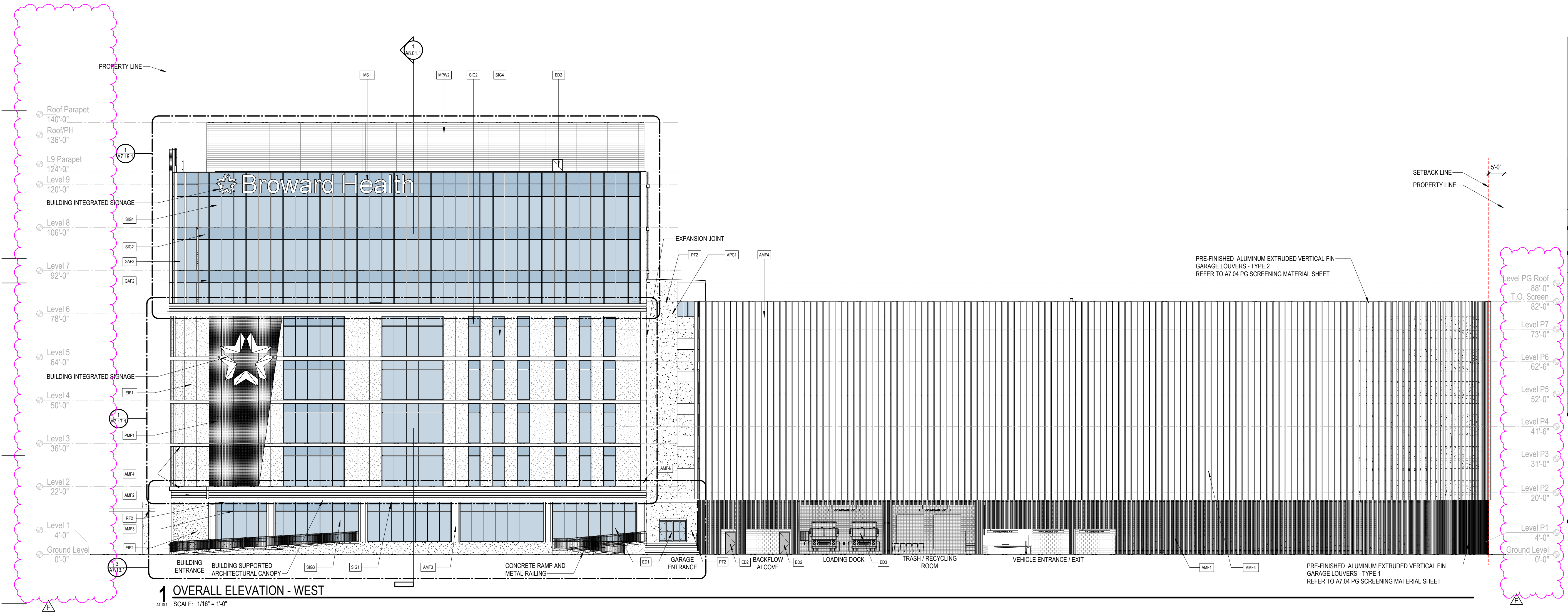
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F	05/02/25	DRC Resubmission #3

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Center - MOB and PG

OVERALL EXTERIOR
ELEVATIONS - CS

175309
JOB NO.

A7.10.1
SHEET



MATERIAL LIST			
TAG #	KEYNOTE DESCRIPTION		
PMP1	PERFORATED METAL PANEL SYSTEM - WHITE	MC3	FLASHING AND SHEET METAL - METAL COPING
PMP2	PERFORATED METAL PANEL SYSTEM LIGTH BLUE	ED1	AUTOMATIC DUAL SLIDING ENTRANCE
PMP3	PERFORATED METAL PANEL SYSTEM MEDIUM BLUE	ED2	ALUM SWINGING EXTERIOR DOOR ASSEMBLIES
PMP4	PERFORATED METAL PANEL SYSTEM DARK BLUE	ED3	EXTERIOR HM DOOR ASSEMBLIES
APC1	PRECAST CONCRETE WALL PANEL SYSTEM WITH FORMLINERS	ED4	EXTERIOR RATED LOUVERS
PT1	PAINT - WHITE - SW 7004 "Snowbound"	ED5	ROLLUP OVERHEAD DOOR
PT2	PAINT - GRAY - SW 7066 "Gray Matters"	GAF1	PUNCHED OPENING SYSTEM
PT3	PAINT - DARK BLUE - SW 6966 "Blueblood"	GAF2	CURTAINWALL SYSTEM
PT4	PAINT - MEDIUM BLUE - SW 6796 "Blue Plate"	GAF3	CURVED GLASS CORNER CURTAINWALL SYSTEM
PT5	PAINT - LIGHT BLUE - SW 9049 "Sky Fall"	SIG1	SPANDREL 1 5/16" INSULATING LAMINATED COATED GLASS (LARGE MISSILE)
PT6	PAINT - DARK GRAY - SW 7069 "Iron Ore"	SIG2	SPANDREL 9/16" INSULATING LAMINATED COATED GLASS (SMALL MISSILE)
AMF1	ARCHITECTURAL METAL FINISH - DARK BRONZE	SIG3	VISION 1 5/16" INSULATING LAMINATED COATED GLASS (LARGE MISSILE)
AMF2	ARCHITECTURAL METAL FINISH - MEDIUM GRAY	SIG4	VISION 9/16" INSULATING LAMINATED COATED GLASS (SMALL MISSILE)
AMF3	ARCHITECTURAL METAL FINISH - LIGHT GRAY	SIG5	EXTERIOR DOOR GLASS LAMINATED
AMF4	ARCHITECTURAL METAL FINISH - WHITE	RF1	ROOFING
AMF5	ARCHITECTURAL METAL FINISH - CLR ANODIZED	RF2	BUILDING SUPPORTED ARCHITECTURAL CANOPY (DELEGATED DESIGN)
MWP1	METAL WALL PANEL - COMPOSITE WALL PANELS	RF3	MAIN ROOF
MWP2	METAL WALL PANEL - CORRUGATED METAL CLADDING	EIF1	CEMENT PLASTER SYSTEM - TerraNeo
MC1	FLASHING AND SHEET METAL - METAL COPING	EIF2	CEMENT PLASTER SYSTEM - Limestone
MC2	FLASHING AND SHEET METAL - METAL COPING	MS1	FACE LIT MONUMENTAL SIGNAGE (DELEGATED DESIGN)
REFER TO ARCHITECTURAL SHEET A7.03.1 AND A7.04.1 FOR EXTERIOR MATERIALS			



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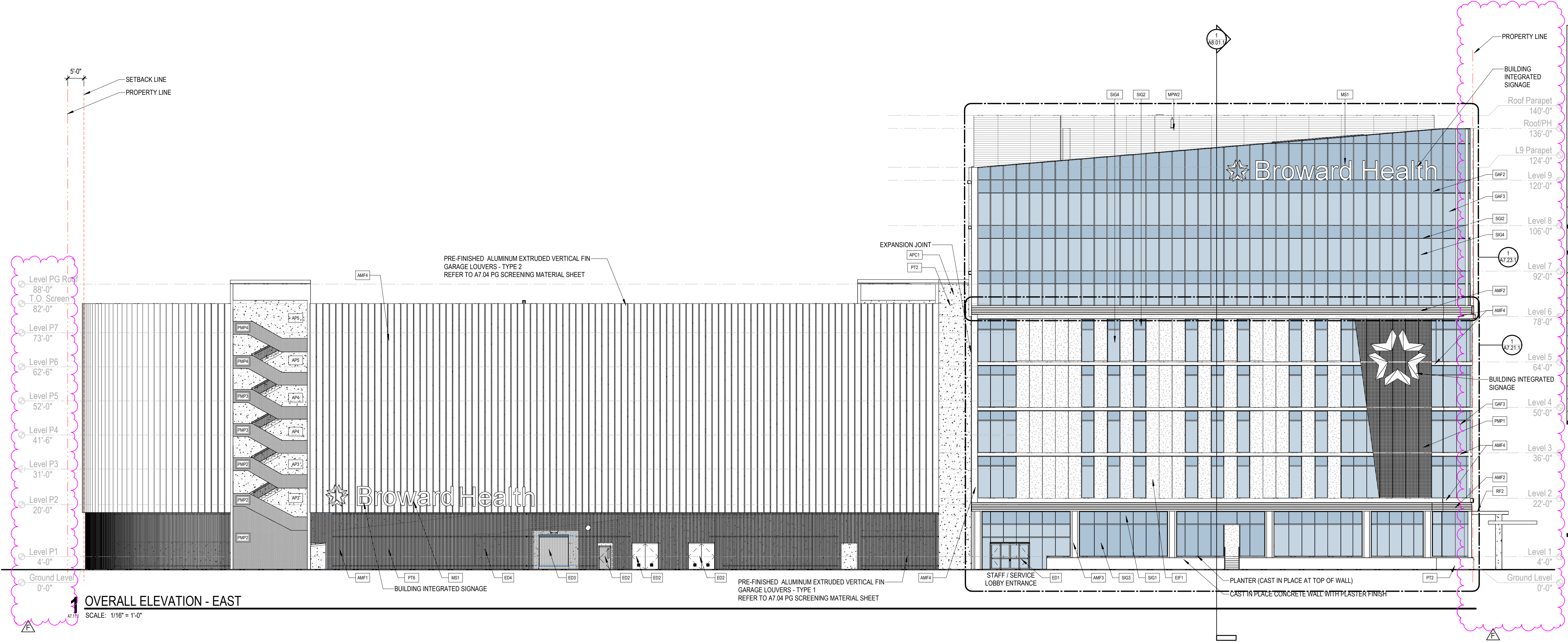
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OVERALL EXTERIOR
ELEVATIONS - CS

175309
JOB NO.

A7.11.1
SHEET



MATERIAL LIST			
TAG #	KEYNOTE DESCRIPTION		
PMP1	PERFORATED METAL PANEL SYSTEM - WHITE	MC3	FLASHING AND SHEET METAL - METAL COPING
PMP2	PERFORATED METAL PANEL SYSTEM LIGH BLUE	ED1	AUTOMATIC DUAL SLIDING ENTRANCE
PMP3	PERFORATED METAL PANEL SYSTEM MEDIUM BLUE	ED2	ALUM SWINGING EXTERIOR DOOR ASSEMBLIES
PMP4	PERFORATED METAL PANEL SYSTEM DARK BLUE	ED3	EXTERIOR HM DOOR ASSEMBLIES
APC1	PRECAST CONCRETE WALL PANEL SYSTEM WITH FORMLINERS	ED4	EXTERIOR RATED LOUVERS
PT1	PAINT - WHITE - SW 7004 "Snowbound"	ED5	ROLLUP OVERHEAD DOOR
PT2	PAINT - GRAY - SW 7066 "Gray Matters"	GAF1	PUNCHED OPENING SYSTEM
PT3	PAINT - DARK BLUE - SW 6966 "Blueblood"	GAF2	CURTAINWALL SYSTEM
PT4	PAINT - MEDIUM BLUE - SW 6796 "Blue Plate"	GAF3	CURVED GLASS CORNER CURTAINWALL SYSTEM
PT5	PAINT - LIGHT BLUE - SW 9049 "Sky Fall"	SIG1	SPANDREL 1 5/16" INSULATING LAMINATED COATED GLASS (LARGE MISSILE)
PT6	PAINT - DARK GRAY - SW 7069 "Iron Ore"	SIG2	SPANDREL 9/16" INSULATING LAMINATED COATED GLASS (SMALL MISSILE)
AMF1	ARCHITECTURAL METAL FINISH - DARK BRONZE	SIG3	VISION 1 5/16" INSULATING LAMINATED COATED GLASS (LARGE MISSILE)
AMF2	ARCHITECTURAL METAL FINISH - MEDIUM GRAY	SIG4	VISION 9/16" INSULATING LAMINATED COATED GLASS (SMALL MISSILE)
AMF3	ARCHITECTURAL METAL FINISH - LIGHT GRAY	SIG5	EXTERIOR DOOR GLASS LAMINATED
AMF4	ARCHITECTURAL METAL FINISH - WHITE	RF1	ROOFING
AMF5	ARCHITECTURAL METAL FINISH - CLR ANODIZED	RF2	BUILDING SUPPORTED ARCHITECTURAL CANOPY (DELEGATED DESIGN)
MWP1	METAL WALL PANEL - COMPOSITE WALL PANELS	RF3	MAIN ROOF
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MC1	FLASHING AND SHEET METAL - METAL COPING	EIF2	CEMENT PLASTER SYSTEM - Limestone
MC2	FLASHING AND SHEET METAL - METAL COPING	MS1	FACE LIT MONUMENTAL SIGNAGE (DELEGATED DESIGN)
REFER TO ARCHITECTURAL SHEET A7.03.1 AND A7.04.1 FOR EXTERIOR MATERIALS			



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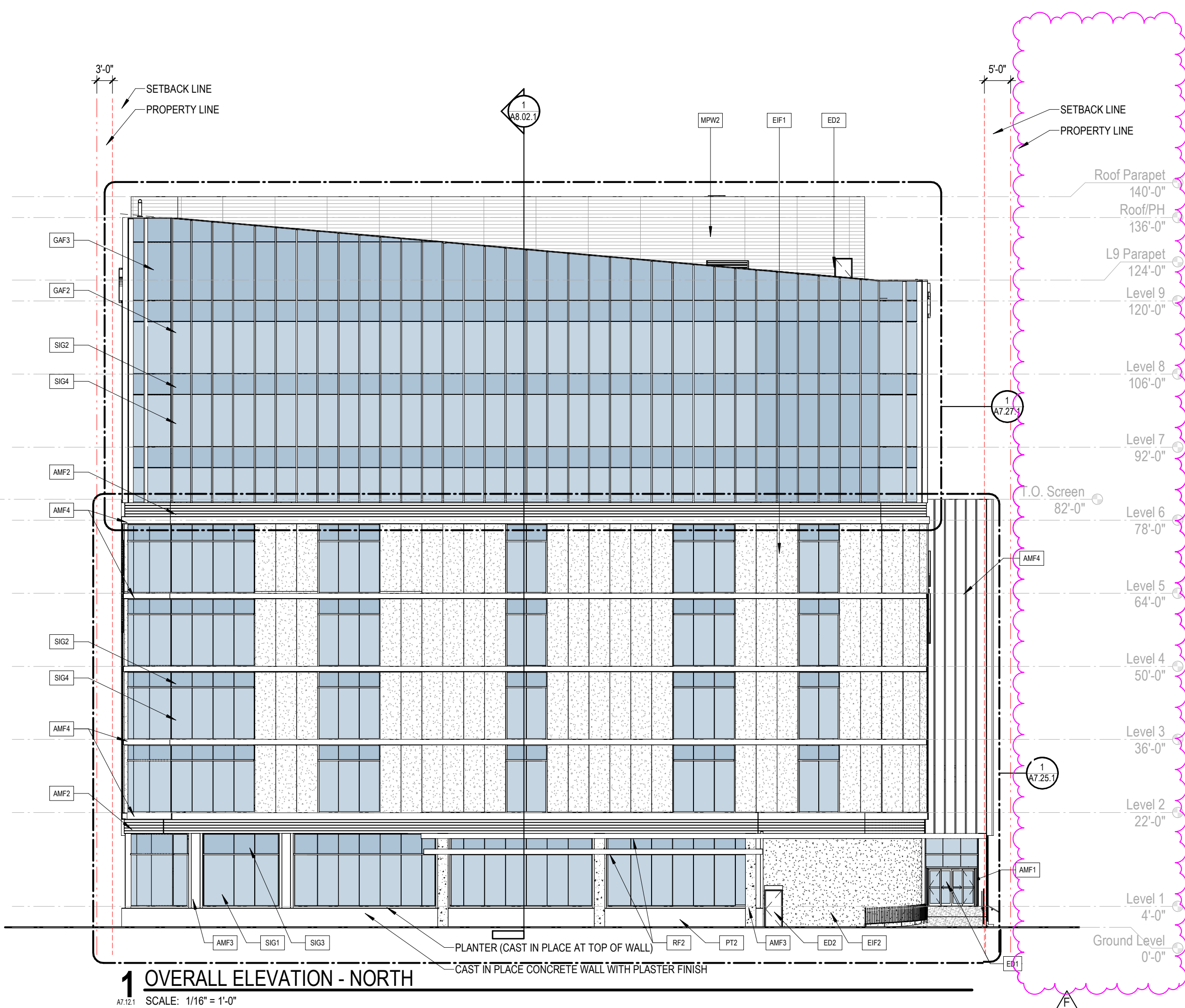
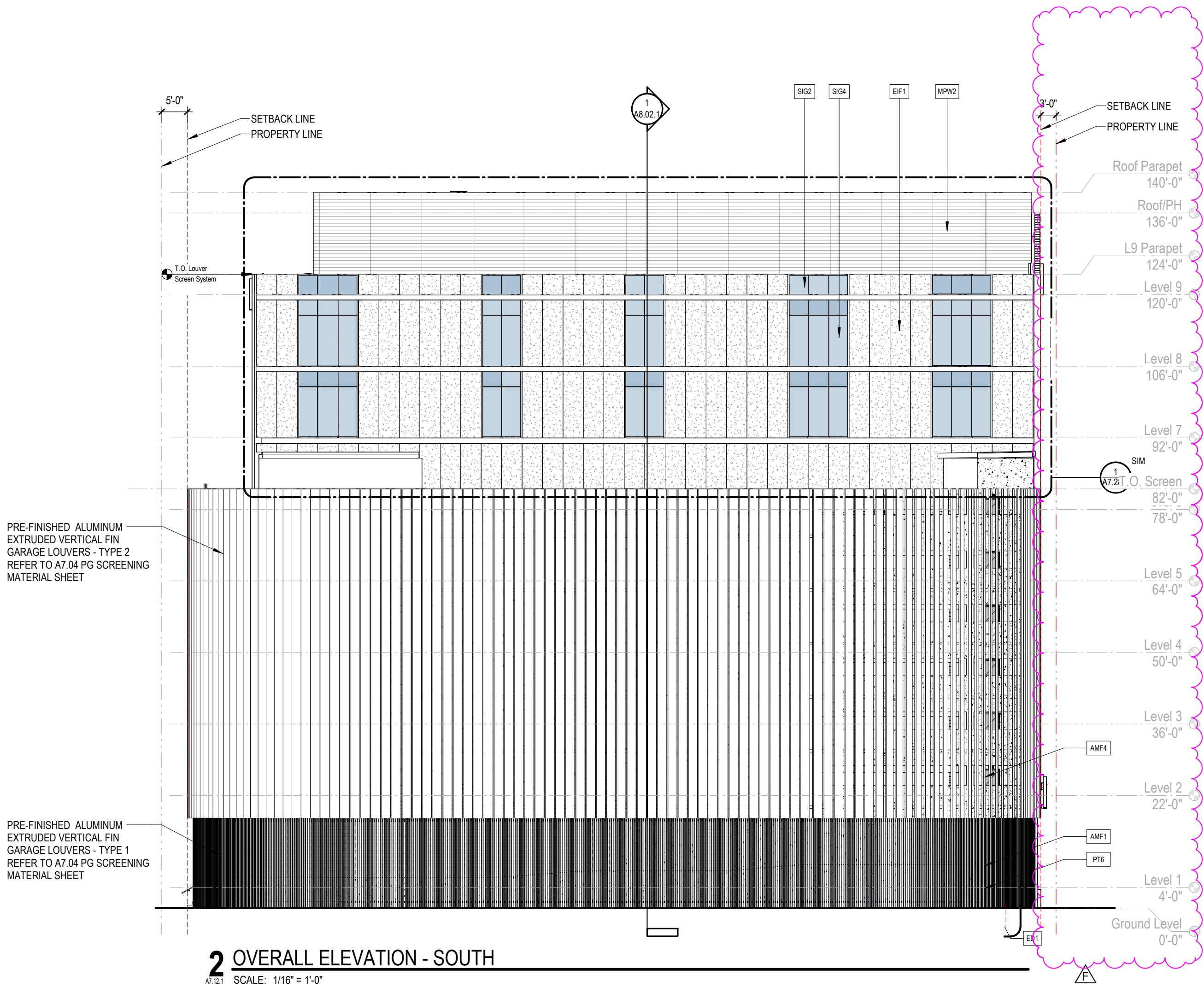
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OVERALL EXTERIOR
ELEVATIONS - CS

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A7.12.1
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02 AXON-NORTHEAST-EXTERIOR
1"=10'-0"



01 AXON-NORTHWEST-EXTERIOR
1"=10'-0"



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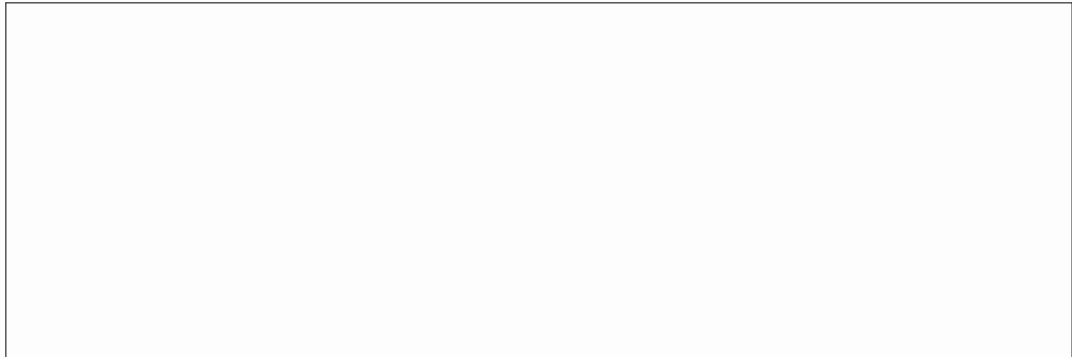
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DESIGN IMAGES

175309
JOB NO.

A9.21



02 AXON-NORTHWEST-EXTERIOR
1"=10'-0"



01 AXON-SOUTHEAST-EXTERIOR
1"=10'-0"



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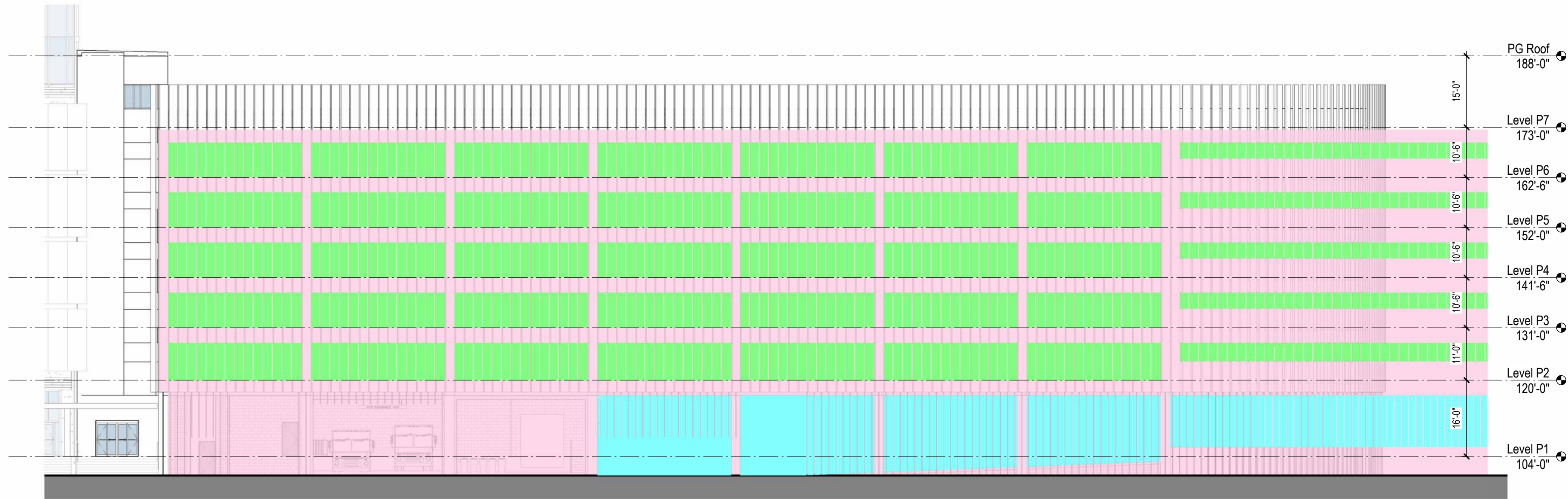
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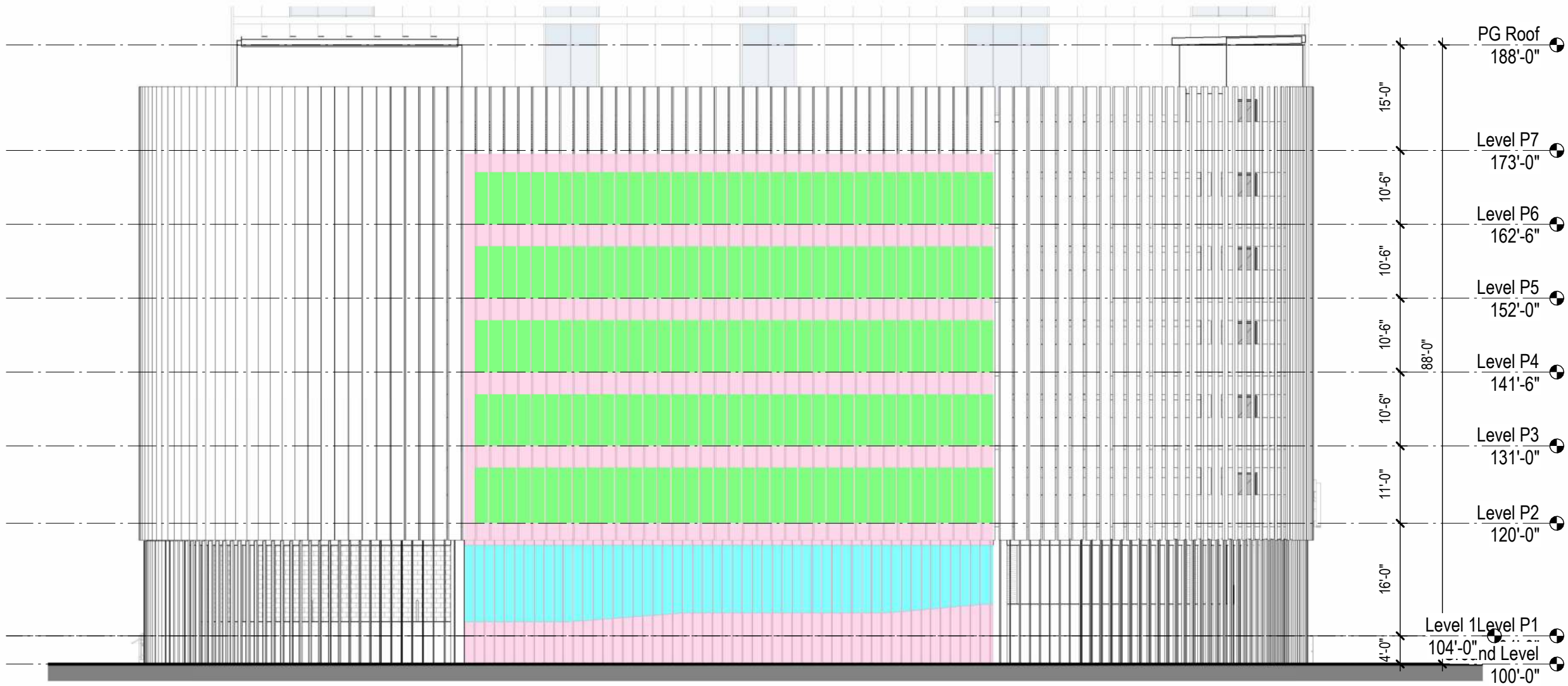
DESIGN IMAGES

175309
JOB NO.

A9.22
SHEET



3 WEST ELEVATION
SCALE: 1/16" = 1'-0"



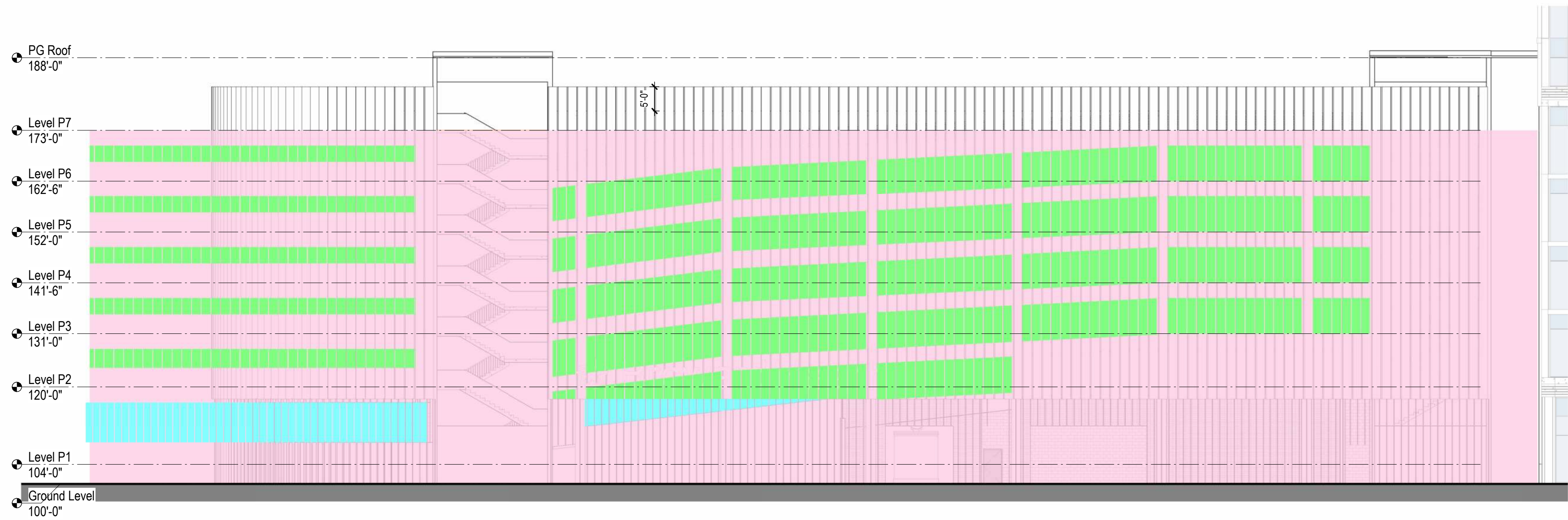
2 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

SCREEN TYPE	FREE AIR AREA	LEVELS	COLOR REGION
TYPE 2	66%	LEVELS 2 - 6	
TYPE 1	40%	LEVEL 1	
		OVERALL ELEVATIONS	

REF: A9.24 - PARKING GARAGE SCREENING FOR TYPES

FREE AREA SCHEDULE				
ELEV.	TYPE 2	TYPE 1	TOTAL OF TYPE 1 & TYPE 2	OVERALL
E	4,060.87 SQ FT	291.70 SQ FT	4,352.57 SQ FT	21,817.78 SQ FT
S	1,818.42 SQ FT	296.10 SQ FT	2,114.52 SQ FT	5,449.88 SQ FT
W	5,562.24 SQ FT	1,277.77 SQ FT	6,840.01 SQ FT	20,159.96 SQ FT
Total	11,441.53 SQ FT	1,865.57 SQ FT	13,307.1 SQ FT	47,427.78 SQ FT

Free Air Percentage 13,307.1 SQ FT / 47,427.78 = 28.06%



1 EAST ELEVATION
SCALE: 1/16" = 1'-0"



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#	DATE
C	03/21/25
D	04/25/25
E	04/24/25
F	05/02/25

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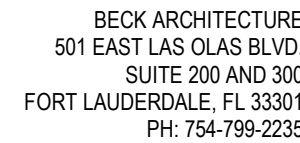
PARKING GARAGE
FREE AIR AREA
CALCULATIONS

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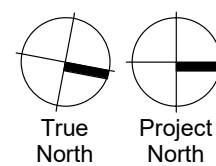
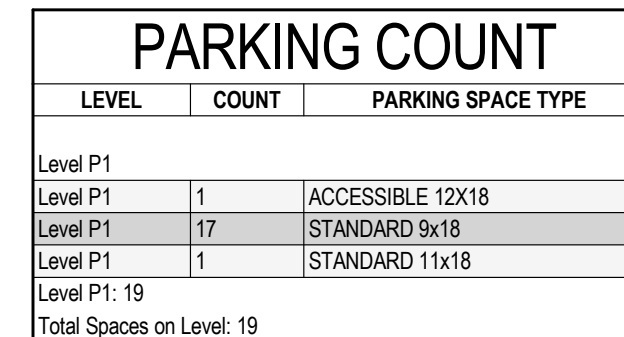
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LEVEL P1 - OVERALL
FLOOR PLAN - PG

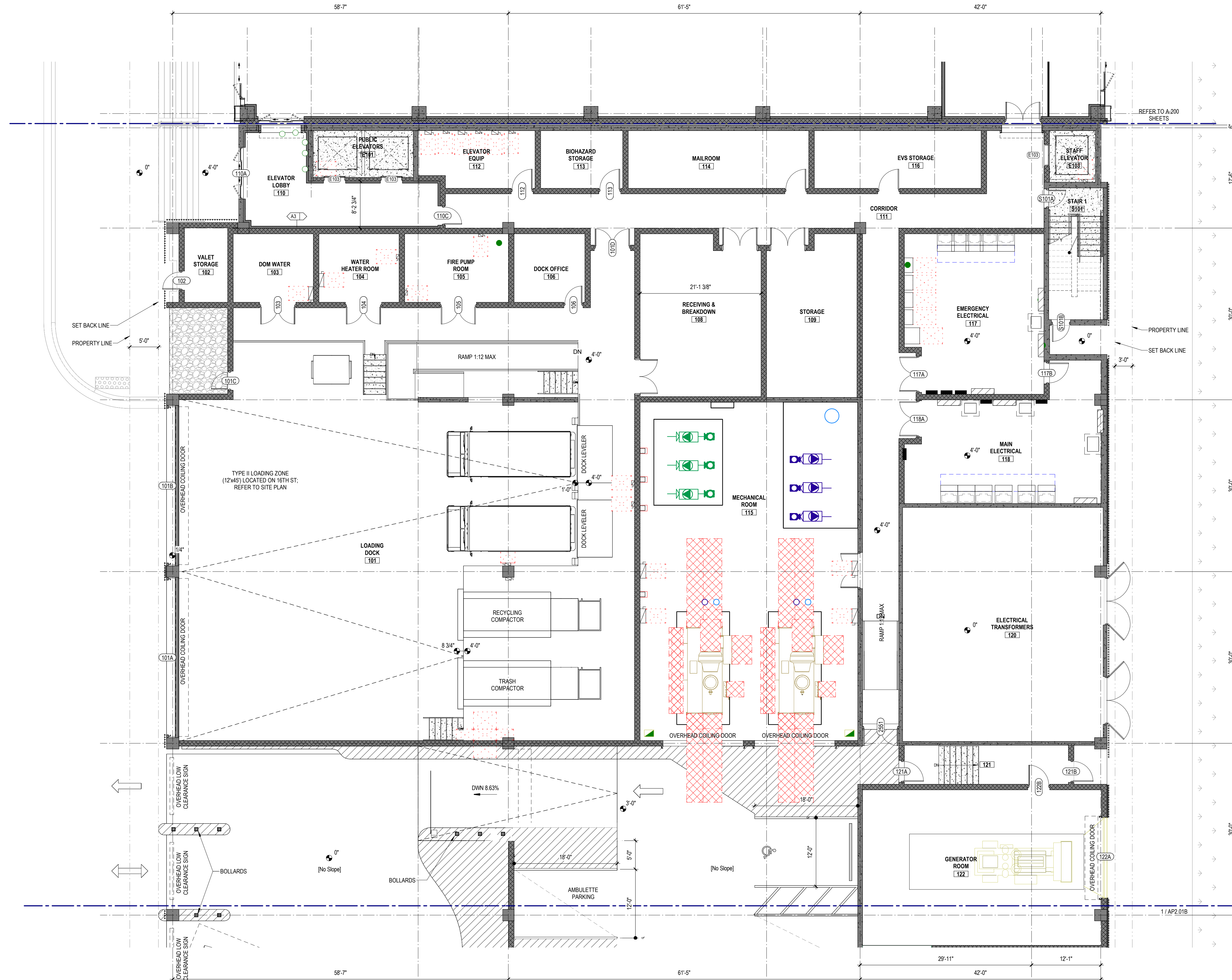
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JOB NO.

AP2.01

SHEET



1 LEVEL P1 - OVERALL FLOOR PLAN



1 LEVEL P1 - PARTIAL FLOOR PLAN - AREA NORTH
SCALE: 1/8" = 1'-0"



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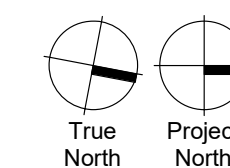
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LEVEL P1 - PARTIAL
FLOOR PLAN - AREA
NORTH - PG

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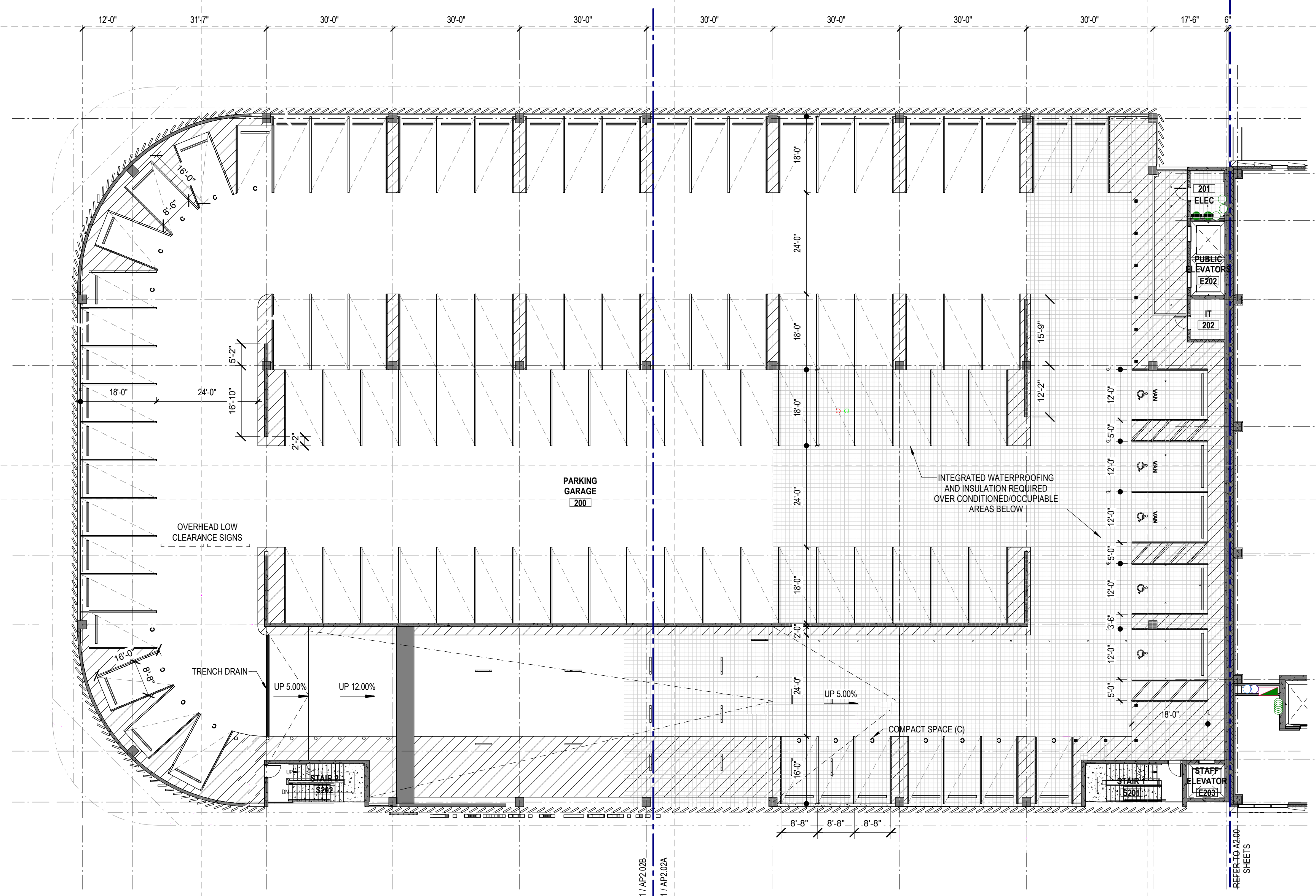
AP2.01A





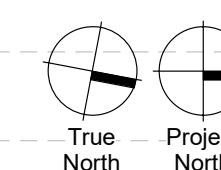
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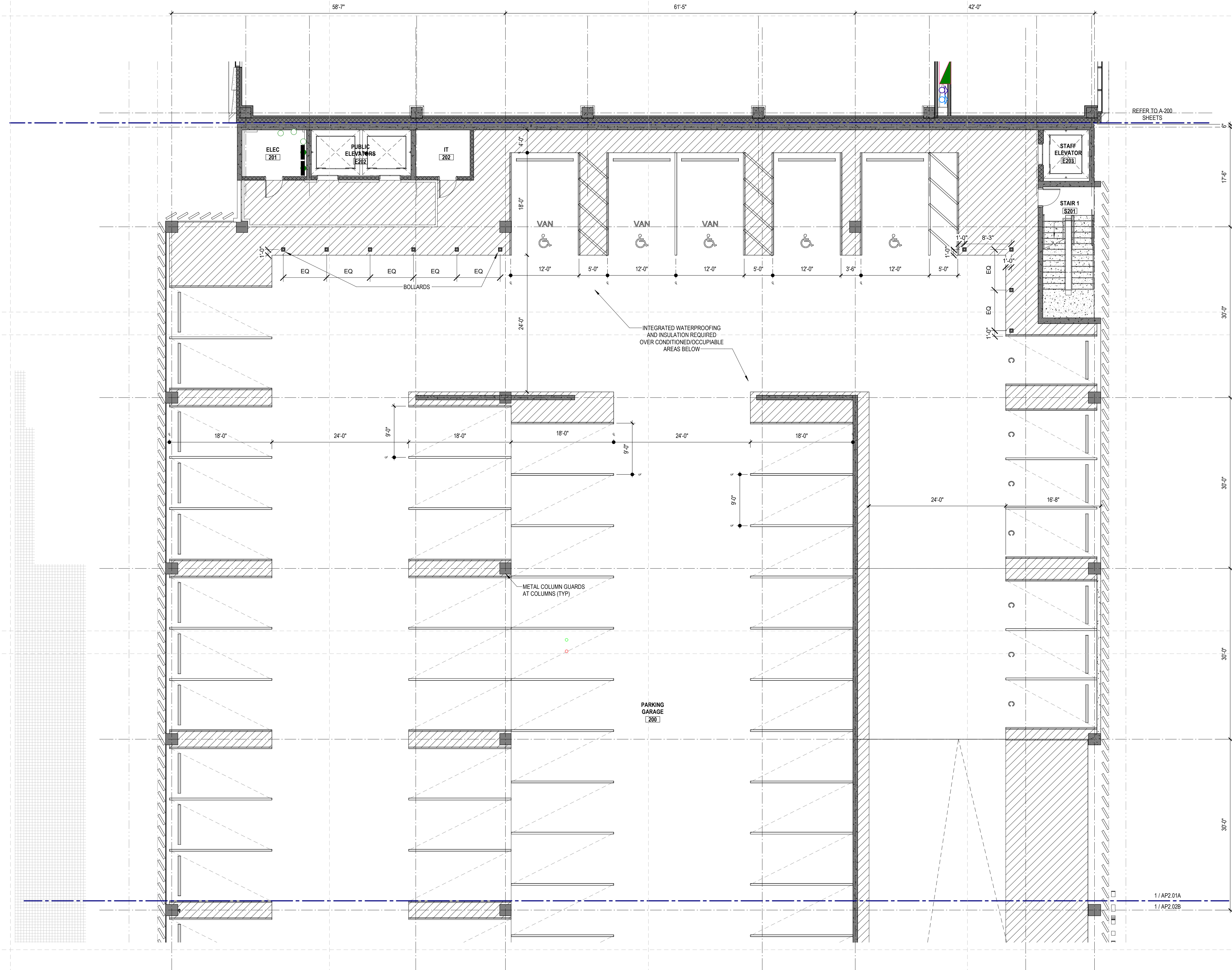
AP2.02
SHEET



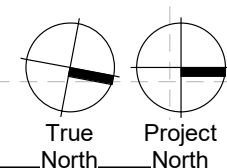
PARKING COUNT		
LEVEL	COUNT	PARKING SPACE TYPE
Level P2		
Level P2	2	ACCESSIBLE 12X18
Level P2	3	ACCESSIBLE 12X18 - VAN
Level P2	16	COMPACT 8X16
Level P2	84	STANDARD 9x18
Level P2: 105		
Total Spaces on Level: 105		

1 LEVEL P2 - OVERALL FLOOR PLAN





1 LEVEL P2 - PARTIAL FLOOR PLAN - AREA NORTH
SCALE: 1/8" = 1'-0"



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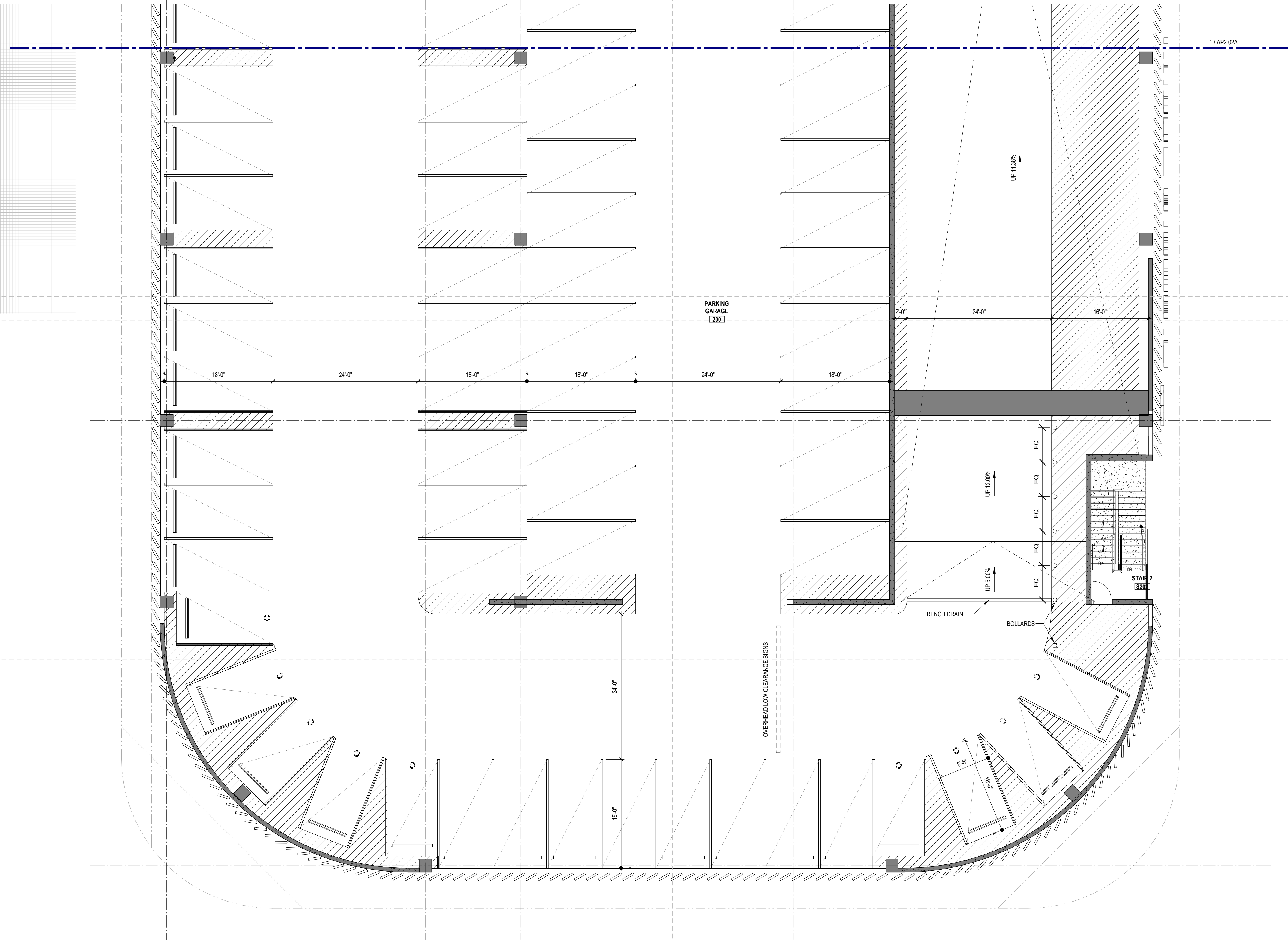
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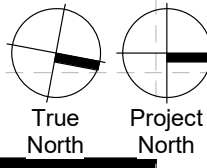
LEVEL P2 - PARTIAL
FLOOR PLAN - AREA
NORTH - PG

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1 LEVEL P2 - PARTIAL FLOOR PLAN - AREA SOUTH
SCALE: 1/8" = 1'-0"



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LEVEL P2 - PARTIAL
FLOOR PLAN - AREA
SOUTH - PG

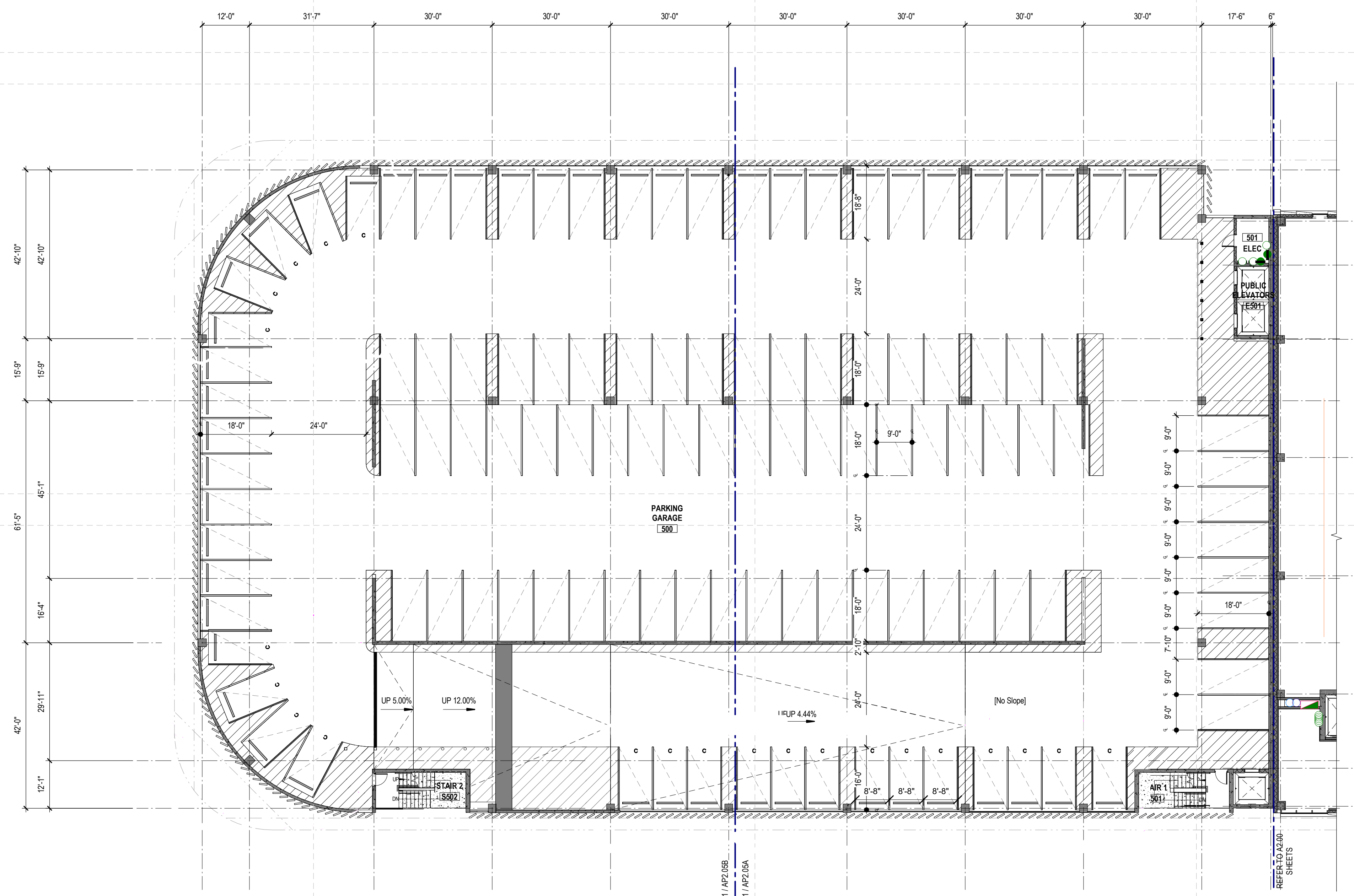
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JOB NO. SHEET

AP2.02B

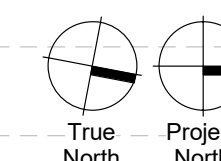


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JOB NO.

AP2.05
SHEET



PARKING COUNT		
LEVEL	COUNT	PARKING SPACE TYPE
Level P5		
Level P5	22	COMPACT 8x16
Level P5	93	STANDARD 9x18
Level P5: 115		
Total Spaces on Level: 115		





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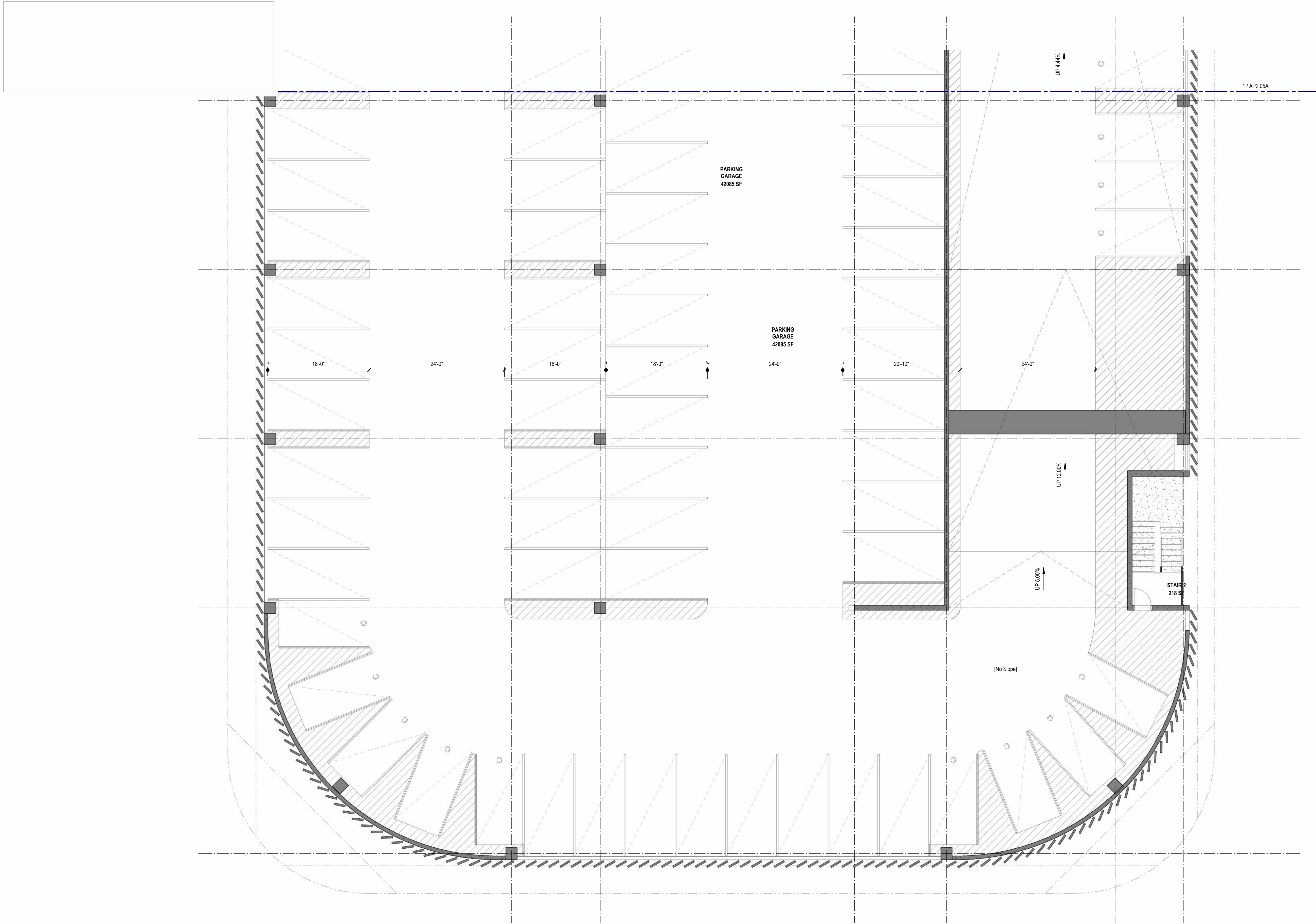
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LEVEL P5 - PARTIAL
FLOOR PLAN - AREA
NORTH - PG

AP2.05A

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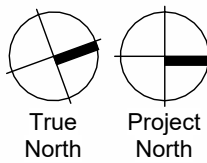
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LEVEL P5 - PARTIAL
FLOOR PLAN - AREA
SOUTH - PG

1 FLOOR PLAN- LEVEL 5
SCALE: 1/8" = 1'-0"

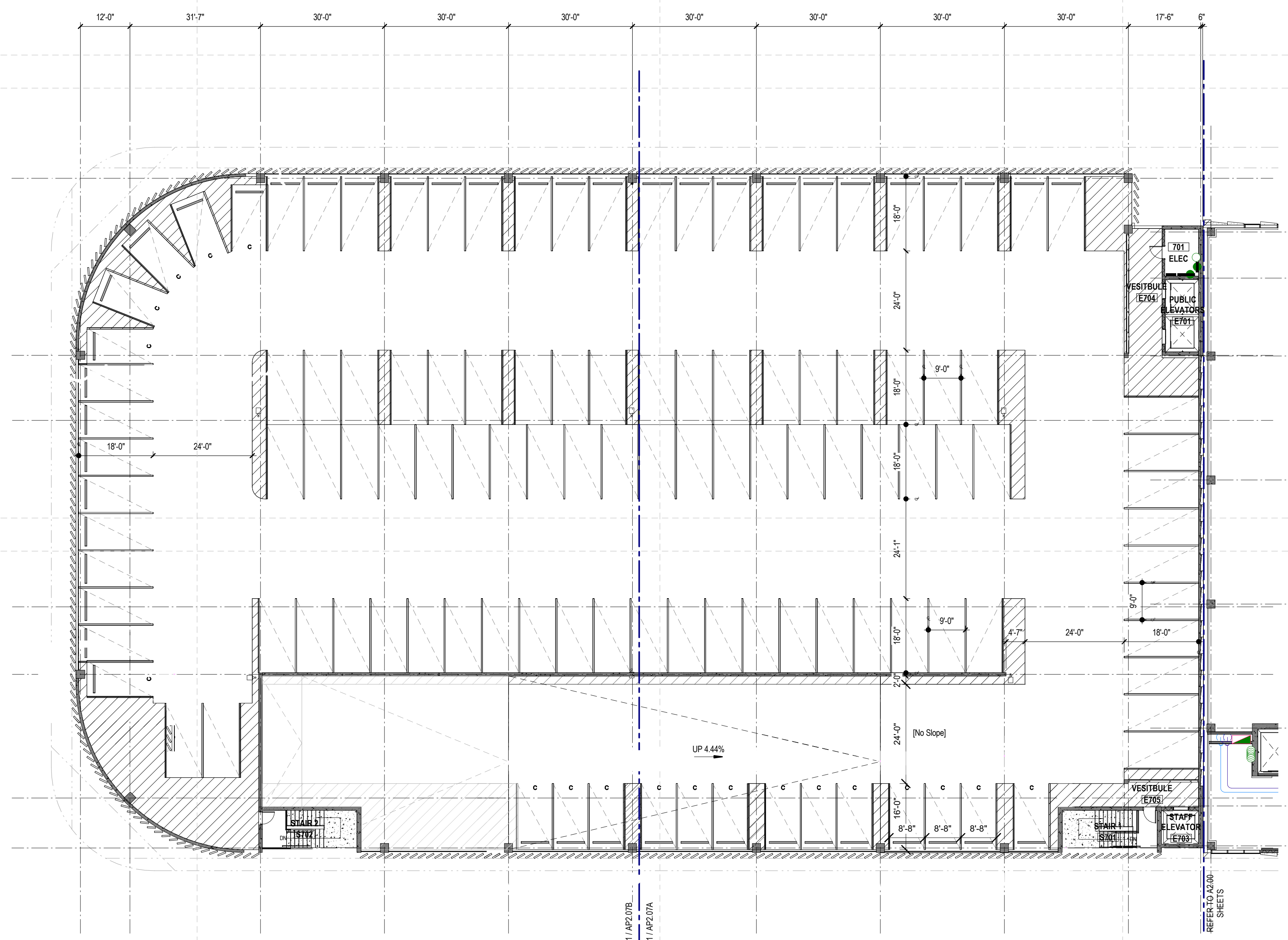


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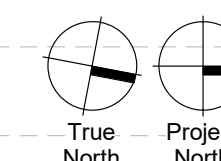
AP2.05B
SHEET

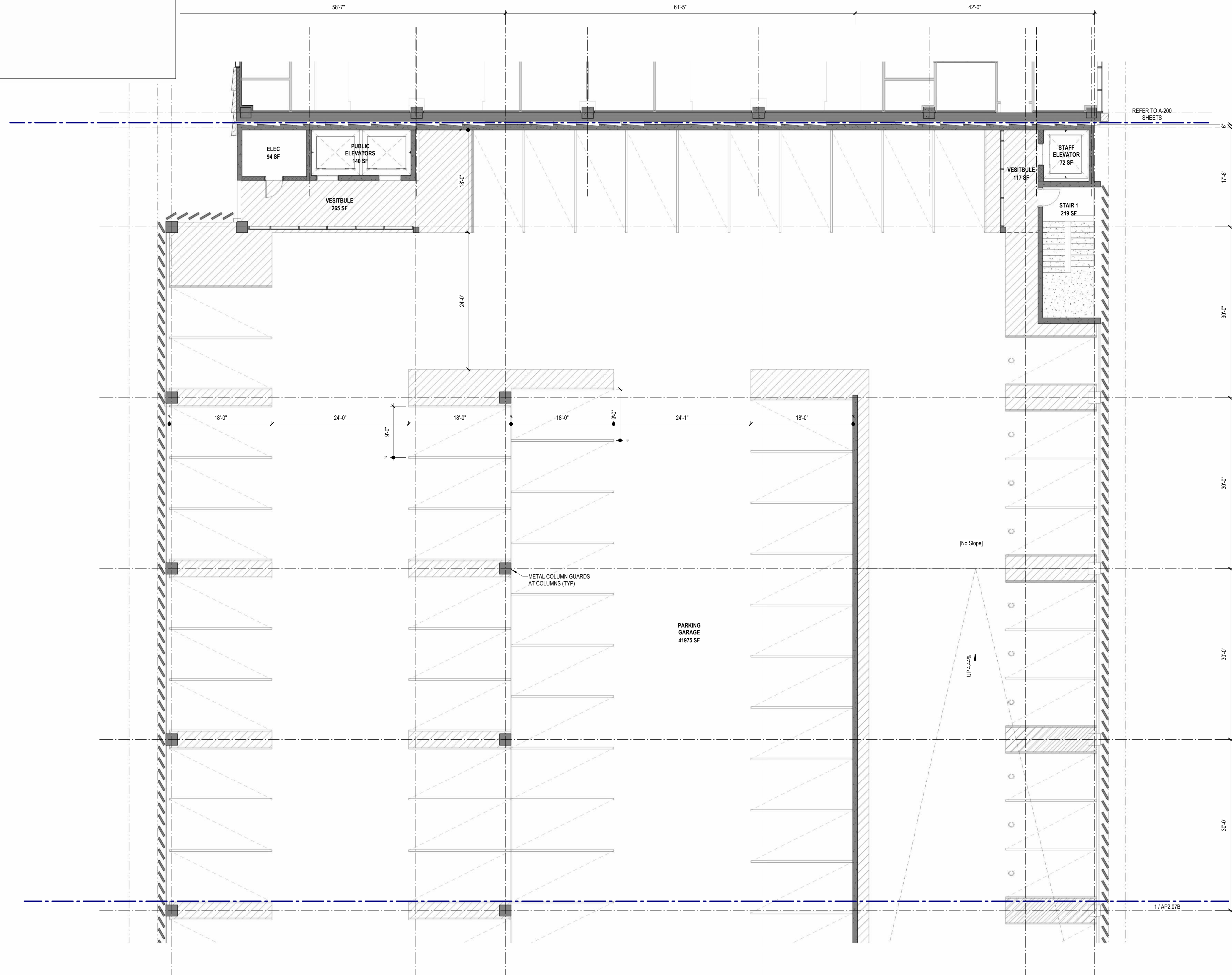


AP2.07
SHEET

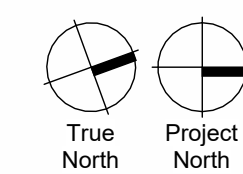


PARKING COUNT		
LEVEL	COUNT	PARKING SPACE TYPE
Level P7		
Level P7	19	COMPACT 8x16
Level P7	98	STANDARD 9x18
Level P7: 117		
Total Spaces on Level: 117		





1 LEVEL P7 - PARTIAL FLOOR PLAN - AREA NORTH
SCALE: 1/8" = 1'-0"



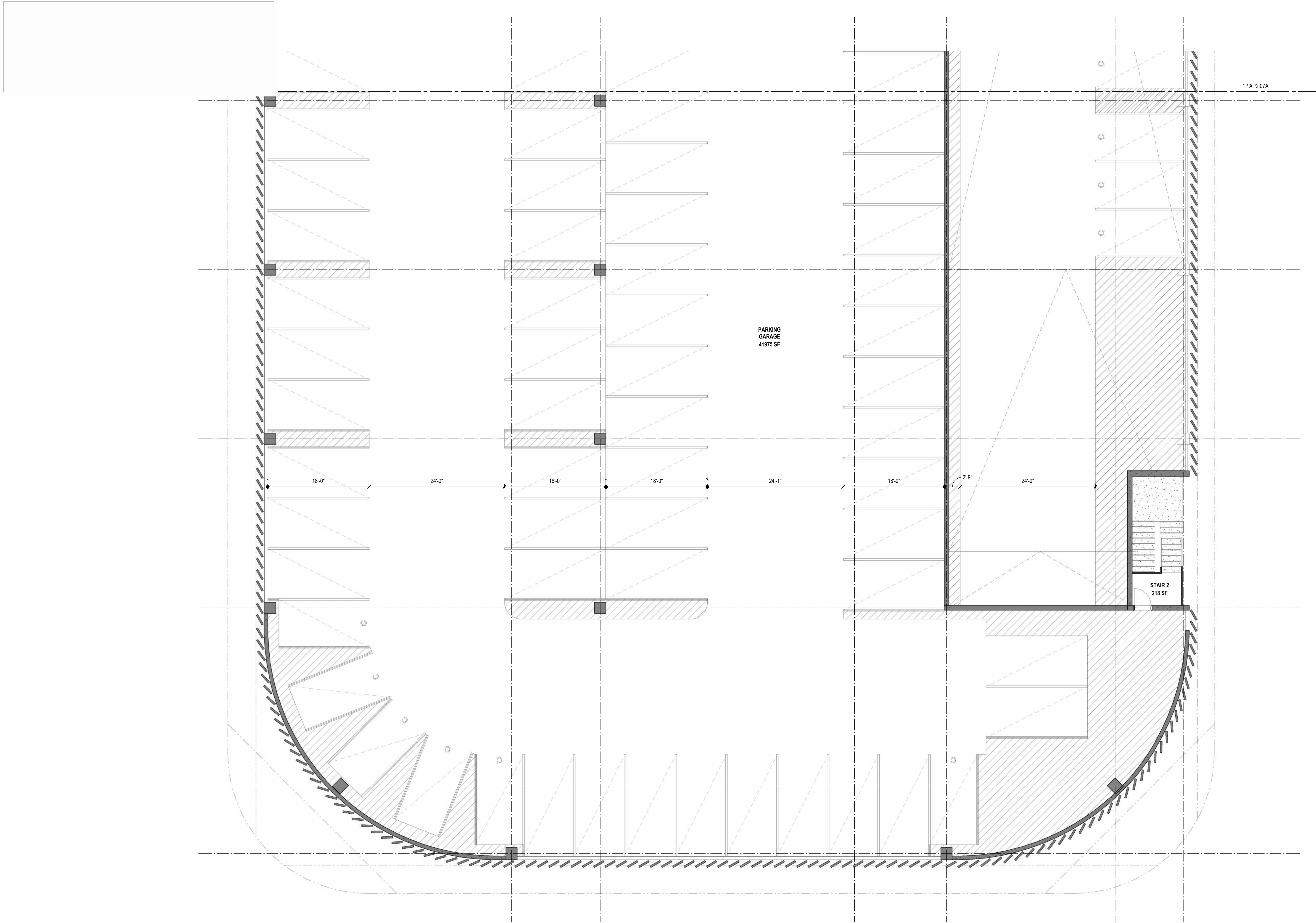
ARCHITECT NAME STATE REGISTRATION #		
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ARCHITECT SEAL		05/02/25
CURRENT SUBMISSION: DRC Resubmission #3		
#	DATE	SUBMISSION
A	12/12/24	DRC Submission
B	02/17/25	Schematic Design
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

LEVEL P7 - PARTIAL
FLOOR PLAN - AREA
NORTH - PG

175309
JOB NO.

AP2.07A
SHEET



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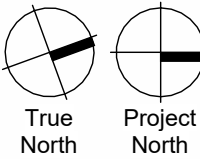
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Broward Health Medical
Center - MOB and PG

LEVEL P7 - PARTIAL
FLOOR PLAN - AREA
SOUTH - PG

1 FLOOR PLAN- LEVEL 7
SCALE: 1/8" = 1'-0"



175309
JOB NO.

AP2.07B
SHEET

1. GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
3. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATION THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITION THAT WILL BE ENCOUNTERED AND UPON WHICH THEIR BIDS WILL BE BASED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE BOTH THE SURFACE AND SUBSURFACE CONDITIONS AND BASE HIS PRICING ACCORDINGLY. GEOTECHNICAL AND ENVIRONMENTAL REPORTS ARE AVAILABLE FOR REVIEW.
4. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE UTILITIES OR EXISTING UTILITIES OR STRUCTURES OR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
8. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
9. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DESCRIBING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT INFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR.
12. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
13. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
14. ANY WELL TO REMAIN SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR.
15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE MAINTENANCE OF TRAFFIC FOR THE ADJACENT PROPERTY DURING CONSTRUCTION.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS DO NOT CONFLICT WITH ANY KNOWN EXISTING UTILITIES OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTIVE. OWNER OR AN IDENTIFIED CONTRACTOR SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH INSTALLATION. RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
17. PRIOR TO GRAND OPENING THE CONTRACTOR SHALL:
- SWEEP THE ENTIRE SITE
 - ELIMINATE ALL DEBRIS IN THE LANDSCAPING AREAS
 - PRESSURE CLEAN THE SITE ASPHALT
 - PRESSURE CLEAN THE CURBS AND SIDEWALKS.

RECORD DRAWINGS

1. CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND OWNER A MINIMUM OF 3 HARD COPIES OF A PAVING, GRADING AND DRAINAGE RECORD DRAWING AND A SEPARATE UTILITY RECORD DRAWING, AS WELL AS BOTH IN AUTOCAD 2015 OR LATER, BOTH PREPARED BY A FLORIDA REGISTERED SURVEYOR. THE RECORD DRAWINGS SHALL VERIFY ALL DESIGN INFORMATION INCLUDED ON THE DESIGN PLANS OF THE SAME NAME.
1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FOOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
3. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
5. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
6. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.

PAVING, GRADING AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FOOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
3. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
5. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
6. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED.
8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT THE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.

9. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
11. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
12. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FOOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
13. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
14. ALL CUT OR FILL SLOPES SHALL BE 3 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
16. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS AT ALL TIMES. CONSTRUCTION SHALL NOT VARY MORE THAN 5 PSI DURING THE TEST, OTHERWISE TEST SHALL BE CONSIDERED UNSATISFACTORY.
17. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
18. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
19. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
20. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.
21. ALL ADA SPACES MUST NOT EXCEED 2% SLOPE MEASURED IN ANY DIRECTION.

WATER AND SEWER UTILITY NOTES

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER, LATERALS, MANHOLES, GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEMS AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COMPLETELY VERIFY THE UTILITY LOCATIONS PRIOR TO CONSTRUCTION. IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL CONSTRUCTION SECTION OF THIS SHEET.
3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATER TIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PHASES OF INSTALLATION SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS. ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS PLAINS OR IMPERFECTIONS WHICH, IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING BROUGHT ON SITE.
7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
8. UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
9. CONTRACTOR SHALL PERFORM AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANHOLE TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
10. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE EQUIPMENTS OF CHAPTER 62-055.320, FAC.
11. ALL PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-VELL PLASTIC PIPE ASSOCIATIONS' GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEM.
12. ALL DIP SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C600-05 OR LATEST REVISION.
13. ALL WATER MAIN PIPES SHALL BE COLOR CODED USING BLUE AS A PREDOMINANT COLOR IN ACCORDANCE WITH RULE 62-055.320(2)1(b)(3), FAC.
14. ALL WATER MAINS SHALL BE LAID WITH A MINIMUM 36" COVER FOR PVC AND 30" FOR DIP.
15. NO CONNECTIONS TO EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS & BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE CITY OF FORT LAUDERDALE.
16. LOCATOR TAPE AND WIRE SHALL BE INSTALLED ON ALL NEW WATER MAINS. TAPE WILL BE 3" WIDE AND COLOR CODED AND INSTALLED 12" ABOVE WATER MAIN. WIRE WILL BE 14 STRAND AND COLOR CODED.
17. R.P.M.'S TO BE INSTALLED PRIOR TO C/O AT CENTER OF NEAREST DRIVE AISLE ADJACENT TO ALL HYDRANTS (BLUE). FOR HYDRANTS AT CORNERS, TWO (2) R.P.M.'S SHALL BE INSTALLED.

- ONE AT EACH ROADWAY.
18. WATER DISTRIBUTION SYSTEM MATERIAL:
- 18.1. POLYVINYL CHLORIDE (PVC) WATER MAIN SHALL HAVE PUSH-ON RUBBER GASKET JOINTS.
- 18.2. PVC PIPE SHALL BE 1120 PRESSURE PIPE WITH IRON O.D., CLASS 150 (SDR 18), CONFORMING TO ANSI/AWWA C900-LATEST REVISION.
- 18.3. WHERE DUCTILE IRON PIPE (DIP) IS REQUIRED IT SHALL BE 60-42-10, CLASS 50 WALL THICKNESS WITH INTERIOR CEMENT LINING AND EXTERIOR COAL TAR COATING CONFORMING TO ANSI/AWWA C151/A21.51-LATEST REVISION.
- 18.4. PIPE JOINTS SHALL BE MECHANICAL, CONFORMING TO AWWA C-111-00.
- 18.5. ALL GASKETS SHALL BE NEOPRENE. WHERE REQUIRED POLYETHYLENE WRAP SHALL BE INSTALLED.
19. GRAVITY SEWAGE COLLECTION SYSTEM MATERIAL:
- 19.1. ALL SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE PIPE (PVC) CONFORMING TO ASTM D 3034, SDR 35, WITH PUSH-ON RUBBER GASKET JOINTS.
- 19.2. ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR EQUAL.
- 19.3. WHERE DIP IS REQUIRED, IT SHALL BE 60-42-10 CLASS 50 WALL THICKNESS WITH INTERIOR POLY LINING AND EXTERIOR COAT FOR COATING CONFORMING TO ANSI/AWWA C151/A21.51-91.
- MANHOLES
- 19.4.1. MANHOLES SHALL BE PRECAST PER ASTM C 478 WITH 4000 PSI CONCRETE AND GRADE 40 STEEL. ALL SANITARY SEWER MANHOLES SHALL HAVE RAIN INSERT COVERS.
20. MANHOLES:
- 20.1. PRIOR TO ANY PHYSICAL CONNECTIONS TO EXISTING WATER MAIN SYSTEM, THE COMPLETE WATER SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED. HYDROSTATIC TESTING OF NEW MAINS SHALL BE PERFORMED AT A MINIMUM STARTING PRESSURE OF 160PSI FOR TWO HOURS IN ACCORDANCE WITH ANSI/AWWA C600-05 OR LATEST REVISION. PRESSURE TEST SHALL NOT VARY MORE THAN 5 PSI DURING THE TEST, OTHERWISE TEST SHALL BE CONSIDERED UNSATISFACTORY.
- 20.2. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE CITY OF FORT LAUDERDALE UTILITIES DEPARTMENT AND THE ENGINEER OF RECORD.
- 20.3. BEFORE ACCEPTANCE FOR OPERATION, THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH THE ANSI/AWWA C681-05 OR LATEST REVISION.
- 20.4. ALL WATER MAINS SHALL BE PIGGED PRIOR TO DISINFECTION.
- 20.5. METER CONNECTIONS SHALL BE MADE TO NEW LINES ONLY AFTER TWO CONSECUTIVE DAYS OF BACTERIOLOGICAL SAMPLES HAVE PASSED, AND COPIES OF RESULTS HAVE BEEN PROVIDED TO THE ENGINEER OF RECORD, CITY REPRESENTATIVE AND BROWARD COUNTY HEALTH DEPARTMENT.
- 20.6. SAMPLING POINTS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS. SAMPLING POINTS SHALL BE PROVIDED AT INTERVALS OF A MAXIMUM OF 1200' UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- 20.7. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FOLLOWING FORMULA:

$$L = \frac{S \cdot D \cdot \sqrt{P}}{148,000}$$

IN WHICH L EQUALS THE MAXIMUM ALLOWABLE LEAKAGE IN GALLONS PER HOUR. S EQUALS LENGTH OF PIPE (FT), D EQUALS NOMINAL DIAMETER OF PIPE (IN), AND P EQUALS THE MINIMUM TEST PRESSURE (LBS/SQUARE IN.).

PAVEMENT MARKINGS NOTES:

1. ALL PAVEMENT MARKINGS SHALL BE MADE IN ACCORDANCE WITH FOOT STANDARD INDEX # 711-001, WHERE SHOWN ON THE PLANS.
2. WHERE THE PLANS CALL FOR PAINTED PAVEMENT MARKINGS, INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE FOLLOWINGS: CONTRACTOR TO APPLY TWO COATS OF VOC COMPLIANT, LOCAL DOT APPROVED, UNDILUTED, SOLVENT BASED OR LATEX TRAFFIC PAINT. CONTRACTOR TO FOLLOW MANUFACTURER'S RECOMMENDED APPLICATION RATE WITHOUT THE ADDITION OF A THINNER, WITH A MAXIMUM OF 100 SQUARE FEET PER GALLON OR AS REQUIRED PROVIDING MINIMUM 15 MILS WET FILM THICKNESS AND 7.5 MILS DRY FILM THICKNESS PER COAT WITH MINIMUM OF 30 DAYS BETWEEN APPLICATIONS. SECOND COAT OF PAINT SHALL NOT BE APPLIED EARLIER THAN 7 DAYS PRIOR TO GRAND OPENING. PAINT SHALL BE CRISP, STRAIGHT AND APPLIED UNIFORMLY ACROSS THE WIDTH OF A LINE FOR A TOTAL DRY FILM THICKNESS OF 15 MILS.
3. ALL PAVEMENT SYMBOLS AND MARKINGS ARE TO BE THERMOPLASTIC WITH THE EXCEPTION OF PARKING STRIPING. THERMOPLASTIC INSTALLATION AND MATERIALS SHALL MEET ALL REQUIREMENTS OF SECTION 711 OF FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

EROSION CONTROL NOTES

1. THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THIS EROSION CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS, PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOATATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.
13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS. REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS FOR SEEDING AND MAINTENANCE REQUIREMENTS.
14. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
15. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
17. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
18. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
19. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.
20. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACK FILLING OF THE TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED, FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS.
4. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
5. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
6. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
7. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.
8. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

TYPICAL ENGINEER OBSERVATIONS

CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:

- PRE-CONSTRUCTION MEETING
- CONNECTIONS TO WATER AND SEWER MAINS
- TESTS OF UTILITIES
- ANY OTHER INSPECTION FOR WHICH A PERMITTING AGENCY REQUIRES THE ENGINEER TO BE PRESENT

3RD PARTY TEST REPORTS REQ'D

TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:

- DENSITY TEST REPORTS
- BACTERIOLOGICAL TESTS OF WATER SYSTEM
- PRESSURE TEST OF WATER/SEWER
- LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS
- ANY OTHER TESTING REQUIRED BY THE AGENCY



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FL REGISTRATION # 80500

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/2/2025		
CURRENT SUBMISSION: DRC RESUBMISSION #3		
#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	05/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

GENERAL NOTES AND
SPECIFICATIONS



Call 811 or visit sunshine811.com two full
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ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM

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BEST MANAGEMENT PRACTICES (BMPs):

THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH APPROPRIATE CONDITIONS OF THE BROWARD COUNTY LAND DEVELOPMENT REGULATIONS, THE RULES OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP), CHAPTER 17-25, F.A.C., THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), CHAPTER 40D-4, F.A.C. AND THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) DOCUMENT NO. EPA 823/R-92-005 (SEPTEMBER 1992). THE PLAN ADDRESSES THE FOLLOWING:

- A. PREVENT LOSS OF SOIL DURING CONSTRUCTION BY STORMWATER RUNOFF AND/OR WIND EROSION, INCLUDING PROTECTING TOPSOIL BY STOCKPILING FOR REUSE.
- B. SEDIMENTATION PROTECTION OF STORM SEWER OR RECEIVING STREAM.
- C. PREVENT POLLUTING THE AIR WITH DUST AND PARTICULATE MATTER. THE VARIOUS TECHNIQUES OR ACTIONS IDENTIFIED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUES SHOULD BE EMPLOYED. ALSO IDENTIFIED IS A CROSS-REFERENCE TO A DIAGRAM OR FIGURE REPRESENTING THE TECHNIQUE. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMP'S. THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN ACCORDANCE WITH THE CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. CONTRACTOR SHALL PREPARE REQUIRED NPDES DOCUMENTATION AND OBTAIN PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE THE REQUIRED NPDES DOCUMENT AND OBTAIN THE NPDES PERMIT. ALL COST ASSOCIATED WITH SUCH WORK SHALL BE DEEMED INCIDENTAL TO THE PROJECT LUMP SUM COST.

GENERAL EROSION CONTROL NOTES:

- A. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THESE EROSION CONTROL DRAWINGS, THE STANDARD DETAILS, THE NPDES PERMIT (TO BE OBTAINED BY CONTRACTOR) AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THIS DRAWING AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP) IN ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - 1. FUEL SPILLS AND LEAKS PREVENTION
 - 2. PREVENT/REDUCE VEHICLE AND EQUIPMENT WASHING AND STEAM CLEANING
 - 3. VEHICLE AND EQUIPMENT MAINTENANCE AND REPAIR
 - 4. PROPER OUTDOOR LOADING/UNLOADING OF MATERIALS
 - 5. PREVENT/REDUCE OUTDOOR STORAGE OF RAW MATERIALS, PRODUCTS, AND BY-PRODUCTS
 - 6. SOLID WASTE MANAGEMENT
 - 7. HAZARDOUS WASTE MANAGEMENT
 - 8. CONCRETE WASTE MANAGEMENT
 - 9. SANITARY WASTE MANAGEMENT
 - 10. STRUCTURE CONSTRUCTION AND PAINTING
 - 11. SPILL PREVENTION AND CONTROL
 - 12. CONTAMINATED SOIL MANAGEMENT
 - 13. SANITARY/SEPTIC WASTE MANAGEMENT
 - 14. SOIL EROSION CONTROL
 - 15. STORM WATER TURBIDITY MANAGEMENT

ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

- D. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. CONTRACTOR MUST MAINTAIN ALL PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS ON SITE AT ALL TIMES.
- F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- G. CONTRACTOR SHALL BEGIN CLEARING AND GRUBBING THOSE PORTIONS OF THE SITE NECESSARY TO IMPLEMENT PERMITTER CONTROL MEASURES. CLEARING AND GRUBBING FOR THE REMAINING PORTIONS OF THE PROPOSED SITE SHALL COMMENCE ONCE PERMITTER CONTROL MEASURES ARE IN PLACE. PERMITTER CONTROL MEASURES SHALL BE ACTIVELY MAINTAINED UNTIL SAID AREAS HAVE BEEN STABILIZED AND SHALL BE REMOVED ONCE FINAL STABILIZATION IS COMPLETE.

H. GENERAL EROSION CONTROL BMPs SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND POTENTIAL LAKE SLOPE CAVENS. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE DURING CONSTRUCTION.

- I. ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.

J. SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BMPs IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.

STORM WATER EROSION CONTROL PRACTICES:

- A. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM DETENTION PONDS AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- B. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- C. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (COMPOST SOCK DEVICES, ETC.) TO PREVENT EROSION.
- D. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES.
- E. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:
 - 1. IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
 - 2. STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION. PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING AROUND INLETS IS COMPLETE.
 - 3. WHEN NEEDED A TEMPORARY SEDIMENT TRAP SHOULD BE CONSTRUCTED TO DETAIN SEDIMENT-LOADED RUNOFF FROM DISTURBED AREAS.
- F. SILT BARRIERS, ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS, AND ANY FILL USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE BARRIERS.

G. SLOPES OF BANKS OF RETENTION/DETENTION PONDS SHALL BE CONSTRUCTED NOT STEEPER THAN 3:1 V. H. FROM TOP OF BANK TO TWO FEET BELOW NORMAL WATER LEVEL, AS APPLICABLE.

H. SOD SHALL BE PLACED FOR A 2-FOOT WIDE STRIP ADJOINING ALL CURBING AND AROUND ALL INLETS. SOD SHALL BE PLACED BEFORE SILT BARRIERS ARE REMOVED.

I. WHERE REQUIRED TO PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A LAKE OR SWALE, A TEMPORARY SEDIMENT SUMP SHALL BE CONSTRUCTED.

J. FILTER FABRIC SHOULD BE USED FOR STORM DRAIN INLET PROTECTION BEFORE FINAL STABILIZATION.

WIND EROSION CONTROL PRACTICES:

- A. WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE:
 - 1. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.
 - 2. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED (SEE PERMANENT STABILIZATION PRACTICES FOR DETAILS). THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN. CLEARED SITE DEVELOPMENT AREAS NOT CONTINUALLY COVERED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY OR OVERSEEDED AND PERIODICALLY WATERED SUFFICIENTLY TO STABILIZE THE TEMPORARY GROUND COVER (SEE TEMPORARY STABILIZATION PRACTICES FOR DETAILS).
 - 3. AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS SHOULD INCLUDE ERECTION OF DUST CONTROL FENCES. A 6-FT GEOTEXTILE FILTER FIBER SHOULD BE HANGING AGAINST THE EXISTING CHAIN LINK FENCE AND GATE.
- B. ALL DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

STABILIZATION PRACTICES:

SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO 62-421.300(4)(a)

STRUCTURAL PRACTICES:

SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO 62-421.300(4)(a)

WASTE DISPOSAL:

- A. WASTE MATERIALS - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITIES TO HAVE THE DUMPSTER EMPTIED AT LEAST TWICE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFILL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND ENFORCING WASTE MATERIAL PROCEDURES.
- B. HAZARDOUS WASTE - HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.
- C. SANITARY WASTE - SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITY FOR COLLECTION OF THE SANITARY WASTE AT LEAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE SITE.
- D. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

OFFSITE TRACKING:

- A. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATION PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD DIKES, HAY BALES OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OF OIL, GREASE OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLE, AND SHALL USE, ABSORBENT FILTER PADS TO CLEAN UP SPILLS AS SOON AS POSSIBLE AFTER OCCURRENCE.
- B. ALL WASH WATER FROM CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC. SHALL BE DETAINED ON SITE AND SHALL BE PROPERLY TREATED OR DISPOSED.
- C. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- D. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

MAINTENANCE:

- ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
 - A. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
 - B. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
 - C. THE COMPOST ROCK FILTRATION DEVICE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDIMENT AND CONDITION OF DEVICE. COMPOST SOCK SHALL BE REPAIRED TO ITS ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE COMPOST SOCK WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE COMPOST SOCK.
 - D. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 - E. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.

F. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. THE SEDIMENT BASINS/DITCHES SHALL BE CHECKED MONTHLY FOR DEPTH OF SEDIMENT. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 10% AND AFTER CONSTRUCTION IS COMPLETE.

G. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN SEVEN CALENDAR DAYS FOLLOWING THE INSPECTION. DIVERSION DIKES SHALL BE INSPECTED MONTHLY. ANY BREACHES SHALL BE PROMPTLY REPAIRED.

H. A MAINTENANCE REPORT SHALL BE COMPLETED DAILY AFTER EACH INSPECTION OF THE SEDIMENT AND EROSION CONTROL METHODS. THE REPORTS SHALL BE FILED IN AN ORGANIZED MANNER AND RETAINED ON-SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETED, THE REPORTS SHALL BE SAVED FOR AT LEAST THREE YEARS. THE REPORTS SHALL BE AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION CONTROL.

- I. ALL REPAIRS MUST BE MADE WITHIN 24 HOURS OF REPORT.
- J. THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES THAT COMPLETE INSPECTIONS AND REPORTS.
- K. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.

SPILL PREVENTION AND CONTROL:

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

- A. GOOD HOUSEKEEPING
 - 1. SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS.
 - 2. STORE ONLY ENOUGH MATERIAL ON SITE FOR PROJECT COMPLETION.
 - 3. ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER.
 - 4. ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.
 - 5. PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.
 - 6. ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- B. HAZARDOUS PRODUCTS
 - 1. MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED.
 - 2. PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE REGULATIONS.
 - 3. PRODUCT SPECIFIC PRACTICES
 - 1. PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON SITE.
 - 2. THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
 - 3. PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROPRIATE MANNER.
 - 4. CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CLEAN UP:

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED ABOVE, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP.

- A. SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE TO INFORM EMPLOYEES ABOUT CLEANUP PROCEDURES AND RESOURCES.
- B. THE FOLLOWING CLEANUP EQUIPMENT MUST BE KEPT ON-SITE NEAR THE MATERIAL STORAGE AREA: GLOVES, MOPS, RAGS, BROOMS, DUST PANS, SAND, SAWDUST, LIQUID ABSORBER, GOGGLES, AND TRASH CONTAINERS.
- C. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON-SITE AND READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- D. ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE.
- E. WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL VENTILATED AND THE EMPLOYEE SHALL WEAR PROPER PROTECTIVE COVERING TO PREVENT INJURY.
- F. TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL.
- G. AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT FURTHER SIMILAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL, MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL BE RECORDED.
- H. THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR AND IS RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OVERSEES THE SPILL PREVENTION PLAN AND SHALL BE RESPONSIBLE FOR EDUCATING THE EMPLOYEES ABOUT SPILL PREVENTION AND CLEANUP PROCEDURES.

SEQUENCE OF CONSTRUCTION

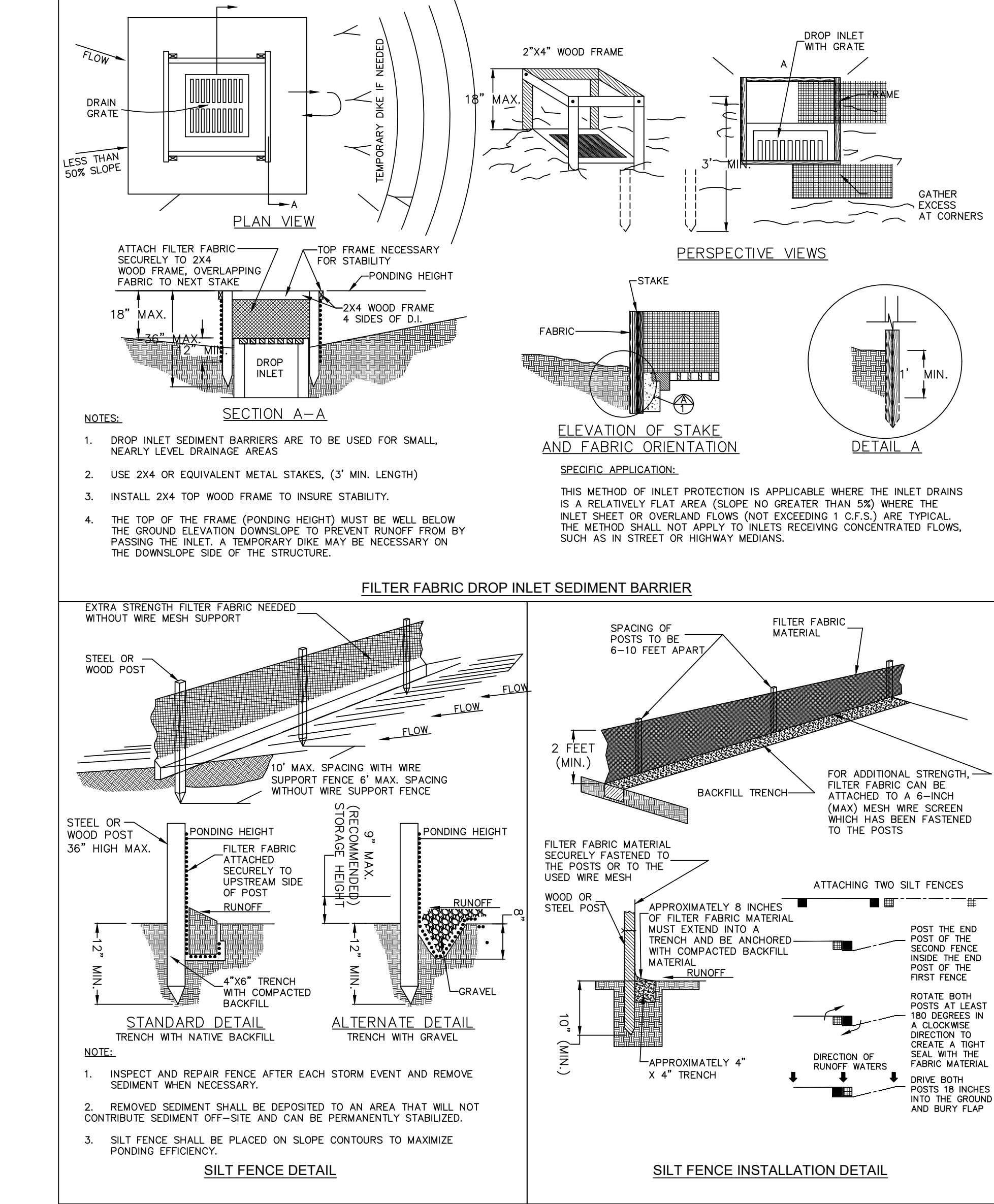
UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

- 1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AND INSTALL SILT FENCE
- 2. DEMOLISH EXISTING STRUCTURES, (IF APPLICABLE)
- 3. CONSTRUCT AND STABILIZE SEDIMENT BASIN AND DRAINAGE SWALES WITH APPROPRIATE OUTFALL STRUCTURES (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL CONTROL DEVICES LISTED ABOVE)
- 4. INSTALL AND STABILIZE ANY NECESSARY HYDRAULIC CONTROL STRUCTURES (DIKES, CHECK DAMS, OUTLET TRAPS, ETC.)
- 5. PREPARE CLEARING AND GRUBBING OF THE SITE, (IF APPLICABLE)
- 6. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES
- 7. PERFORM MASS GRADING, ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS
- 8. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE AS REQUIRED BY GENERIC PERMIT.

HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEER CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION OF BMPs. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.

CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS NECESSARY FOR CONSTRUCTION.

THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY, PRIOR TO ANCHOR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS.



NOTES:

- 1. CONTRACTOR TO CONSIDER POTENTIAL DEWATERING ACTIVITIES WHEN PREPARING BID DOCUMENTS FOR THIS PROJECT.
- 2. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEWATERING PERMITS AS SITE CONDITIONS AND CONSTRUCTION ACTIVITIES REQUIRE.
- 3. CONTRACTOR TO USE BEST MANAGEMENT PRACTICES TO ENSURE COMPLIANCE WITH NPDES AND WATER MANAGEMENT DISTRICT REGULATIONS FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND DEWATERING OPERATIONS.
- 4. IT SHOULD BE NOTED THAT THE MEASURE IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMP(S). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS NECESSARY TO CONFORM TO CURRENT CITY, FDEP AND SFWMD CODES AND SPECIFICATIONS.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM



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PERMIT, OR
CONSTRUCTION.

CARLOS FLORIAN, P.E. FL REGISTRATION # 80500		
5/2/2025		
CURRENT SUBMISSION: DRC RESUBMISSION #3		
#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

EROSION CONTROL
NOTES AND DETAILS

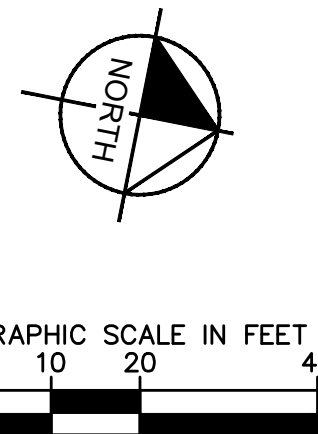
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JOB NO. SHEET

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Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!



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BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

DEMOLITION PLAN

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Check positive response codes before you dig!

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SHEET

DEMOLITION NOTES AND SPECIFICATIONS:

SHOULD ANY SECTION OF THESE DEMOLITION NOTES BE IN DIRECT CONFLICT WITH THE PROVISIONS OR TECHNICAL SPECIFICATIONS CONTAINED IN THE CONTRACT DOCUMENT FOR THIS PROJECT, THE INTENT OF THE CONTRACT DOCUMENT SHALL GOVERN.

I. GENERAL

FOR THIS PROJECT, "OWNER" SHALL MEAN NORTH BROWARD HOSPITAL DISTRICT, "SURVEY" SHALL MEAN THE BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY POLICE, LAND SURVEYORS, INC. ON 09/16/2024 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER:LS.2691, AND "ENGINEER" SHALL MEAN THE ENGINEER OF RECORD.

1. EXISTING CONDITIONS, UTILITIES, STRUCTURES AND OTHER IMPROVEMENTS, AS SHOWN ON THE DEMOLITION DRAWINGS, WERE TAKEN FROM THE SURVEY, AND FROM INFORMATION PROVIDED BY UTILITY COMPANIES. AN ATTEMPT HAS BEEN MADE TO SHOW ALL EXISTING STRUCTURES, UTILITIES, DRIVES, WALKS, ETC., IN THEIR APPROXIMATE LOCATION. OTHERS MAY EXIST AND MAY BE FOUND UPON VISITING THE SITE. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACCURATELY LOCATE ALL FACILITIES AND TO DETERMINE THEIR EXTENT. IF SUCH FACILITIES OBSTRUCT THE PROGRESS OF THE WORK AND ARE NOT INDICATED TO BE REMOVED OR RELOCATED, THEY SHALL BE REMOVED OR RELOCATED ONLY AS DIRECTED BY THE OWNER, ARCHITECT, OR ENGINEER OF RECORD, AT NO ADDITIONAL COST TO THE OWNER.

2. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.

3. ORGANIZE AND PERFORM DEMOLITION WORK TO AVOID DAMAGE TO CONSTRUCTION INTENDED TO REMAIN, INCLUDING TREES (SEE LANDSCAPE PLANS FOR DETAILS).

4. DEMOLITION AND REMOVAL OPERATIONS SHALL BE CONDUCTED IN AN EXPEDIENT MANNER, WITH PRECAUTIONS TAKEN TO PREVENT THE DEMOLITION SITE FROM BEING A NUISANCE.

5. PERFORM REMOVAL AND DEMOLITION IN ACCORDANCE WITH DEMOLITION SCHEDULE (REFER TO SECTION IV.) AND TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING ADJACENT BUILDINGS, FURNISHINGS, AND EQUIPMENT. NOTIFY THE ENGINEER OF ANY CONDITIONS THAT MAY AFFECT THE SAFETY OF OCCUPANTS OF ADJACENT BUILDINGS. THE NORMAL USE OF THESE FACILITIES, OR THE PHYSICAL CONDITION OF THE STRUCTURES.

6. ALL EXISTING UTILITIES OUTSIDE THE PROPERTY BOUNDARIES ARE TO REMAIN, UNLESS OTHERWISE NOTED.

7. PRIOR TO DEMOLITION ACTIVITIES, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL AFFECTED UTILITY COMPANIES IN ORDER TO COORDINATE THE DEACTIVATION OF ALL EXISTING UTILITY LINES WITHIN THE PROPERTY. ONCE ALL ON-SITE UTILITIES HAVE BEEN DEACTIVATED, ALL LINES SHALL BE CUT AND CAPPED INSIDE THE PROPERTY LINE, AND REMOVED (UNLESS OTHERWISE INDICATED).

8. THE CONTRACTOR SHALL USE EXTREME CAUTION IN REMOVING ANY STRUCTURES AND UTILITIES ABOVE AND BELOW GRADE TO PREVENT DAMAGE TO EXISTING UTILITIES WHICH ARE TO REMAIN IN SERVICE, ANY DAMAGE TO EXISTING PIPELINES, UTILITIES, ETC., CAUSED BY THE CONTRACTOR SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, IN A MANNER ACCEPTABLE TO THE PARTY IN OWNERSHIP OF THE DAMAGED PROPERTY. THE CONTRACTOR SHALL REPORT ANY EXISTING DAMAGE PRIOR TO BEGINNING WORK. IN THE EVENT OF ACCIDENTAL DISRUPTION OF UTILITIES OR THE DISCOVERY OF PREVIOUSLY UNKNOWN UTILITIES, STOP WORK IMMEDIATELY AND NOTIFY THE AFFECTED UTILITY COMPANY AND THE ENGINEER. DO NOT CONTINUE WORK UNTIL THE UTILITY COMPANY, ENGINEER, AND THE CONTRACTOR AGREE ON A PLAN TO CORRECT THE SITUATION OR IDENTIFY THE UTILITY SERVICE LINE.

9. EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED, OR IN ANY WAY DISTURBED OR ALTERED BY THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED, PATCHED OR REPLACED, SOLELY AT THE CONTRACTOR'S EXPENSE, TO THE ENGINEER'S AND OWNER'S SATISFACTION.

10. TITLE AND RESPONSIBILITY TO MATERIALS AND EQUIPMENT TO BE REMOVED, EXCEPT SALVAGEABLE EQUIPMENT TO BE RETAINED BY THE OWNER, IS VESTED TO THE CONTRACTOR UPON RECEIPT OF NOTICE TO PROCEED. THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITION, LOSS OR DAMAGE TO SUCH MATERIALS AND EQUIPMENT AFTER THE ISSUANCE OF THE NOTICE TO PROCEED.

11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
- A. PROTECT ALL EXISTING STRUCTURAL AND VEGETATIVE ELEMENTS TO REMAIN DURING DEMOLITION UNLESS OTHERWISE SPECIFIED.
 - B. IF APPLICABLE, PATCH AND REPAIR ALL SURFACES WITHIN THE PUBLIC R/W AFFECTED BY DEMOLITION
 - C. SAW-CUT IN NEAT, STRAIGHT LINES, EXISTING CONC. OR ASPHALT PAVEMENT.
 - D. REMOVE ALL EXISTING IRRIGATION LINES WITHIN THE LIMITS OF DEMOLITION UNLESS OTHERWISE NOTED.
 - E. ALL EXISTING CHAIN LINK FENCES AND CBS WALLS ALONG THE PERIMETER OF THE PROPERTY SHALL REMAIN, UNLESS OTHERWISE SPECIFIED.
 - F. NO ELECTRIC POLES, STREET LIGHTS, WATER METERS/VALVES, FIRE HYDRANTS ETC. WILL BE REMOVED WITHIN THE ROADWAY RIGHT-OF-WAY, UNLESS OTHERWISE NOTED ON THE DEMOLITION PLANS.
 - G. REFER TO LANDSCAPE PLANS FOR VERIFICATION OF ALL EXISTING TREES TO BE REMOVED, RELOCATED OR TO REMAIN.
 - H. MAINTAIN ALL EXISTING SURVEY REFERENCES AND MARKERS IN PLACE, OTHERWISE THEY SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

II. DESCRIPTION

1. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, ETC., NECESSARY AND INCIDENTAL TO THE COMPLETION OF ALL SITE DEMOLITION AND CLEARING WORK AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING THE LEGAL TRANSPORT AND OFF-SITE DISPOSAL OF DEMOLITION DEBRIS.
2. ALL SITE WORK INCLUDES , BUT IS NOT LIMITED TO THE FOLLOWING:
- A. FULL-DEPTH REMOVAL OF EXISTING SIDEWALKS, DRIVES, CURBS, AND PAVEMENT.
 - B. FULL DEPTH REMOVAL OF EXISTING BUILDING FOUNDATIONS, UNDERGROUND UTILITIES AND RELATED STRUCTURES.
 - C. CLEARING SITE OF VEGETATION AND TREES AS NOTED ON THE LANDSCAPE PLANS.
 - D. CLEARING SITE OF DEMOLITION DEBRIS.
 - E. REMOVAL FROM SITE AND DISPOSAL OF ALL EXCESS AND UNUSABLE MATERIAL.
 - F. COORDINATION WITH ALL UTILITY COMPANIES/OWNERS PRIOR TO DEACTIVATION OF EXISTING UTILITIES.

III. APPLICABLE CODES

1. DEMOLITION AND TRANSPORTATION OF DEBRIS SHALL COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS GOVERNING THESE OPERATIONS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS, BONDS, LICENSES, ETC., REQUIRED FOR DEMOLITION AND CLEARING WORK.
2. ANY WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT, AND OTHER GOVERNMENTAL AGENCIES WHO MAY HAVE JURISDICTION OF THE PUBLIC RIGHT-OF-WAY. SAID WORK SHALL NOT BEGIN UNTIL THE CONTRACTOR HAS OBTAINED ALL PERMITS AND NOTIFIED ALL THE GOVERNING AUTHORITIES.

IV. SEQUENCING AND SCHEDULING

1. AREAS ADJACENT TO DEMOLITION AND REMOVAL WORK MAY BE OCCUPIED AND THEIR ACTIVITIES CANNOT BE INTERRUPTED OR DISTURBED DURING NORMAL WORKING HOURS. DEMOLITION SCHEDULE SHALL BE COORDINATED WITH ALL ADJACENT PROPERTY OWNERS AND ANY OTHER PARTIES WHOSE DAILY ACTIVITIES WOULD BE AFFECTED BY THE DEMOLITION WORK.
2. COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR UTILITY LINE REMOVAL, CAPPING AND UTILITY SHUTDOWNS NECESSITATED BY REMOVAL WORK.

V. ENVIRONMENTAL PROTECTION

1. CONTROL AMOUNT OF DUST RESULTING FROM CONSTRUCTION OR DEMOLITION TO PREVENT SPREAD OF DUST TO OTHER BUILDINGS AND TO AVOID CREATION OF A NUISANCE IN SURROUNDING AREAS. USE OF WATER TO CONTROL DUST WILL NOT BE PERMITTED WHEN IT WILL RESULT IN OR CREATE, HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
2. NOISE PRODUCING ACTIVITIES SHALL BE HELD TO A MINIMUM. INTERNAL COMBUSTION ENGINES AND COMPRESSORS, ETC., SHALL BE EQUIPPED WITH MUFFLERS TO REDUCE NOISE TO A MINIMUM. CONTRACTOR SHALL COMPLY WITH ALL NOISE ABATEMENT ORDINANCES.
3. THE USE OF EXPLOSIVES WILL NOT BE PERMITTED.
4. DISPOSITION OF DEMOLISHED MATERIALS BY BURNING IS NOT PERMITTED.

5. ALL CLEARING SHALL BE PERFORMED IN A MANNER SUCH AS TO PREVENT ANY WASH-OFF OF SOILS AND DEBRIS FROM THE SITE INTO PUBLIC RIGHT-OF-WAY WATER BODIES, AND/OR STORM DRAINAGE SYSTEMS. APPROPRIATE SEDIMENTATION PONDS, DIKES, COLLARS, AND FILTER MEDIA SHALL BE EMPLOYED TO INSURE COMPLIANCE WITH THESE REQUIREMENTS. WHERE A SPECIFIC STATUTE GOVERNS THESE PROCEDURES, SUCH STATUTE SHALL BE COMPLIED WITH IN ITS ENTIRETY.

6. AT ALL TIMES DURING THE CLEARING OPERATION, THE EXPOSED AREAS OF SUBGRADE SHALL BE MAINTAINED IN A CONDITION COMPATIBLE WITH POSITIVE DRAINAGE OF THE WORK AREA. NO WATER WILL BE PERMITTED TO STAND IN OPEN EXCAVATIONS. ALL STORMWATER RUNOFF SHALL BE CONTAINED WITHIN THE SITE. FAILURE TO MAINTAIN SUCH DRAINAGE SHALL BE CONSIDERED ADEQUATE CAUSE TO ORDER TEMPORARY SUSPENSION OF THE WORK.

7. IF IT SHOULD BECOME NECESSARY TO STOP WORK FOR INDEFINITE PERIODS, THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE OR DETERIORATION OF THE WORK ALREADY PERFORMED, PROVIDE SUITABLE AND FUNCTIONAL DRAINAGE BY OPENING DITCHES, FILTER DITCHES, TEMPORARY CUT-OFF LINES, ETC., AND ERECT TEMPORARY PROTECTIVE STRUCTURES WHERE NECESSARY. ALL EMBANKMENTS SHALL BE BACK-BLADED AND SUITABLY SEALED TO PROTECT AGAINST ADVERSE WEATHER CONDITIONS.

8. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS WHEN REMOVING ABANDONED AND DE-ENERGIZED MATERIALS. IF ASBESTOS PIPES ARE ENCOUNTERED, THE CONTRACTOR WILL TAKE ALL NECESSARY ABATEMENT STEPS AS REQUIRED BY GOVERNING REGULATIONS TO SAFELY REMOVE AND DISPOSE OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF SAID MATERIALS.

9. THE CONTRACTOR SHALL SECURE THE WORK AREA WITH FENCING OR OTHER MEANS AS APPROVED BY THE OWNER.

VI. TRAFFIC MAINTENANCE

1. THE CONTRACTOR SHALL FOLLOW FDOT MAINTENANCE OF TRAFFIC PROCEDURES DURING DEMOLITION IN PUBLIC RIGHT-OF-WAYS AND PRIVATE DRIVEWAYS. PEDESTRIAN PATHS, AND ROADWAYS (INDEX 102-600 SERIES), AND PREPARE AND OBTAIN APPROVAL OF SUCH MAINTENANCE OF TRAFFIC PLAN FROM THE APPROPRIATE REGULATORY AGENCY.
2. THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING, SHORING, TEMPORARY CROSSOVER FOR PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING GUARDRAILS, LAMPS, WARNING SIGNS AND FLAGS AS REQUIRED BY AGENCIES HAVING JURISDICTION, AND SHALL NOT REMOVE THESE UNTIL THE NEED FOR PROTECTION CEASES.
3. THE CONTRACTOR MAY NOT CLOSE ANY SIDEWALKS WITHOUT PROVIDING ALTERNATE ROUTES IN ACCORDANCE WITH AN ORDER OF THE CITY OF FORT LAUDERDALE AND OBTAINING APPROVAL FROM THE GOVERNING JURISDICTIONAL AGENCY.
4. THE CONTRACTOR SHALL CONDUCT REMOVAL OPERATIONS SO THAT TRAFFIC IS MAINTAINED ALONG EXISTING STREETS AND WALKS. ALL PUBLIC PAVED STREETS AND WALKWAYS MUST BE KEPT FREE OF DEBRIS. THE CONTRACTOR MUST REMOVE MATERIAL AND OTHER MATTER TRACKED OR FALLEN onto TRAFFIC SURFACES.

VII. CLEAN UP

1. REMOVE DEMOLISHED CONSTRUCTION MATERIALS AND RELATED DEBRIS FROM THE SITE ON A REGULAR BASIS. ACCUMULATION OF DEBRIS ON THE SITE WILL NOT BE PERMITTED. SELLING OF SALVAGEABLE MATERIALS IS NOT PERMITTED AT THE SITE.
2. REMOVE MATERIALS, INCLUDING DEBRIS AND DUST, AND DISPOSE OF LEGALLY OFF SITE. NO DEBRIS SHALL BE BURNED OR BURIED ON THE SITE AS A MEANS OF DISPOSAL. USE METHODS APPROVED BY THE REGULATORY AGENCIES PRIOR TO BEGINNING CLEANUP OPERATIONS. USE OF BLOWERS TO DISTRIBUTE DUST WILL NOT BE PERMITTED.

3. MATERIAL DESIGNATED FOR REMOVAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND ANY SALVAGE VALUE THERE FROM WILL ACCRUE TO THE CONTRACTOR.

GENERAL DEMOLITION SPECIFICATIONS:

1. THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES SHOWN ON THE DRAWINGS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY.
2. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES AND OTHER FEATURES AFFECTING THE WORK. IF THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT MIGHT IMPACT THE WORK.
3. CHAPTER 553.851 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL UTILITIES A MINIMUM OF 2 (2) WORKING DAYS PRIOR TO EXCAVATING.
4. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE EXCAVATION.
5. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE ORDERLY DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, PAVEMENT AND UTILITIES AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.
6. THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMSELF WITH THE STRUCTURES TO BE DEMOLISHED.
7. THE FOLLOWING LIST OF STRUCTURES REQUIRING DEMOLITION IS INCLUDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE DRAWINGS INCLUDING THE SCOPE OF DEMOLITION WHERE DEMOLITION IS REQUIRED.
- 7.1. DEMOLITION AND REMOVAL OF A 5' MIN. A STRIP OF EXISTING ON-SITE ASPHALT, CONCRETE AND CURBING AROUND THE PERIMETER OF THE EXISTING STRUCTURES AND UTILITIES BEING DEMOLISHED.
- 7.2. REMOVAL OF EXISTING ON-SITE ABOVEGROUND AND UNDERGROUND UTILITIES, INCLUDING REMOVAL OR PLUGGING OF EXISTING UTILITIES AS SHOWN ON PLANS.
8. PRIOR TO REMOVAL OF ANY UNDERGROUND TANK AND OTHER COMPONENT, CONTRACTOR MUST COMPLETELY DRAIN THE SYSTEMS TO AN APPROVED SANITATION TANK FOR DISPOSAL TO AN APPROVED LOCATION, AS REQUIRED BY DISPOSAL PERMIT.
9. PROTECT ALL UTILITIES, UNLESS OTHERWISE NOTED.
10. ALL THE CONCRETE AND PAVEMENT TO BE REMOVED MUST BE SAW CUT CLEAN PRIOR TO REMOVAL.

11. WET DOWN MASONRY WALLS AND DEBRIS DURING DEMOLITION AND LOADING OPERATIONS TO PREVENT THE SPREAD OF DUST (AS APPLICABLE TO PROJECT).

12. ALL EXISTING STRUCTURES, PAVEMENTS, SLABS, FOUNDATIONS, STEPS AND OTHER ON-SITE EXISTING FEATURES INDICATED ON THE DRAWINGS TO BE REMOVED SHALL BE DEMOLISHED AND REMOVED BY THE CONTRACTOR (AS APPLICABLE TO PROJECT).

13. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ON THE DRAWINGS ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.

14. THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO REMOVAL OR RELOCATION OF ANY ELECTRICAL, TELEPHONE, CABLE AND/OR GAS LINES. SUFFICIENT TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.

15. CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER/ENGINEER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINANT IS ENCOUNTERED DURING THE DEMOLITION/EXCAVATION PROCESS.

16. FILL FOR LOWER LEVELS OF DEMOLISHED STRUCTURES MAY INCLUDE CONCRETE OR MASONRY RUBBLE RESULTING FROM DEMOLITION, SUBJECT TO THE ENGINEER'S/ARCHITECT'S APPROVAL. RUBBLE SHALL PASS THROUGH A THREE-INCH RING.

17. REMOVE AND LEGALLY DISPOSE OF ALL OTHER RUBBISH, RUBBLE, AND DEBRIS. COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING DISPOSAL OF WASTES AND DEBRIS.

18. MAINTAIN ACCESS TO SURROUNDING PROPERTIES AND BUILDINGS.

19. PRIOR TO DEMOLITION OCCURRING ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

20. ALL TRAFFIC SIGNS OUTSIDE THE DEMOLITION AREA ARE TO REMAIN UNLESS OTHERWISE SPECIFIED.

21. ANY MUCK ENCOUNTERED UNDER PROPOSED STRUCTURES SHALL BE REMOVED TO FIVE-FEET BEYOND THE FOOTPRINT OF THAT STRUCTURE. BACKFILL WITH APPROVED FILL MATERIAL SATISFYING ALL COMPACTION REQUIREMENTS.

22. ALL EXISTING UTILITIES WITHIN THE DEMOLITION SITE AREA SHALL BE ADJUSTED, REMOVED OR RELOCATED AT THE CONTRACTOR'S EXPENSE. WORK SHALL BE COORDINATED BY THE CONTRACTOR DIRECTLY WITH THE APPROPRIATE UTILITY COMPANY. ALL EXPENSES SHALL BE INCLUDED IN THE CONTRACTOR'S BID.

23. ALL TRASH, DEBRIS AND OTHER MATERIAL REMOVED FROM THE SITE SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

PRE-DEMOLITION RESPONSIBILITIES:

1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRE-DEMOLITION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE ENGINEER AND THE CONTRACTOR.
2. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT A DEMOLITION SCHEDULE DEPICTING EACH PHASE OF THE WORK.
3. PRIOR TO DEMOLITION, CONTRACTOR TO PROVIDE FOR THE OWNER A LISTING OF THE FACILITIES THE CONTRACTOR SHALL UTILIZE FOR RECYCLING AND DISPOSAL OF SPECIFIC MATERIALS. CONTRACTOR TO INDICATE THE MATERIALS INTENDED FOR RECYCLING AND THE MATERIALS INTENDED FOR DISPOSAL FOR OWNER'S APPROVAL.
4. PRIOR TO DEMOLITION, CONTRACTOR TO PROVIDE THE OWNER SKETCHES SHOWING PROPOSED HAULING ROUTES TO RECYCLING AND DISPOSAL FACILITIES FOR APPROVAL.
5. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF DEMOLITION.

6. EXISTING UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. THE CITY AND THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES SHOWN OR FOR ANY EXISTING UTILITIES NOT SHOWN.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FROM WHICH FAILURE TO REQUEST LOCATIONS FROM THE UTILITY OWNER. THE CONTRACTOR IS RESPONSIBLE AS WELL FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.

8. THE LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE, AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY.

9. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL FIELD LOCATE EXISTING UNDERGROUND UTILITIES WITH THE UTILITY OWNERS.

10. THE CONTRACTOR IS RESPONSIBLE FOR RELOCATION'S OF THE VARIOUS EXISTING UTILITIES WITH THE UTILITY OWNERS, WHICH SHALL BE DONE IN A TIMELY MANNER TO MINIMIZE IMPACT ON DEMOLITION SCHEDULE. ANY DELAY CAUSED BY THE CONTRACTOR BY THE RELOCATION OF UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.

11. SUNSHINE STATE ONE CALL OF FLORIDA, INC. REQUIRES THE CONTRACTOR TO CALL TWO (2) FULL BUSINESS DAYS (BUT NOT MORE THAN FIVE) PRIOR TO BREAKING GROUND TO FIND OUT WHERE BURIED FACILITIES (ELECTRICAL, GAS, TELEPHONE, CABLE, WATER) ARE LOCATED.

DEMOLITION SAFETY:

1. ALL DEMOLITION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL BE STRICTLY OBSERVED.
2. PROVIDE ADEQUATE PROTECTION FOR PERSONS AND PROPERTY AT ALL TIMES. EXECUTE THE WORK IN A MANNER TO AVOID HAZARDS TO PERSONS AND PROPERTY AND PREVENT INTERFERENCE WITH THE USE OF AND ACCESS TO ADJACENT BUILDINGS AND SIDEWALKS SHALL NOT BE UNNECESSARILY BLOCKED BY DEBRIS AND EQUIPMENT.
3. BUILDING MATERIALS TO BE REMOVED SHALL BE TESTED FOR ASBESTOS AND LEAD PAINT.
4. IF PETROLEUM PRODUCTS ARE FOUND WHILE DEMOLISHING, DISPOSE OF PETROLEUM WASTE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

PAVEMENT DEMOLITION:

5. WHERE EXISTING PAVEMENT IS TO BE REMOVED, SAW-CUT THE SURFACING LEAVING A UNIFORM AND STRAIGHT EDGE WITH MINIMUM DISTURBANCE TO THE REMAINING ADJACENT SURFACING. IF DEMOLITION RESULTS IN RAVELING OF SAW CUT SURFACE, RECURT BACK FROM THE RAVELED EDGE PRIOR TO RESTORATION.
6. WHERE EXISTING PAVEMENT, CURB, CURB AND GUTTER, SIDEWALK, DRIVEWAY, OR VALLEY GUTTER IS REMOVED FOR INLETS, MANHOLES, APPURTENANCES, FACILITIES OR STRUCTURES, SAID PAVEMENT, SHALL BE REPLACED WITH NEW PAVEMENT, ETC. CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT, TOOLS, SUPPLIES, AND OTHER EQUIPMENT AS REQUIRED.
7. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THE DRAWINGS. HOWEVER, IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, SIDEWALK, BUILDINGS, UTILITIES, ETC., THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPLACEMENT. REPLACEMENT PAVEMENT, SIDEWALK, ETC., SHALL BE NEW.

8. DEMOLITION PERMITTING:

9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY REQUIRED PERMITS FOR DEMOLITION FROM RESPONSIBLE REGULATORY AGENCIES WHILE FULLY ACKNOWLEDGING AND COMPLYING WITH ALL REQUIREMENTS PRIOR TO COMMENCING DEMOLITION WORK.

10. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXTENT OF DEMOLITION, RECYCLING OR REUSE REQUIRED TO PERFORM THE CONTRACT WORK FOR THIS PROJECT. THE CONTRACTOR SHALL CONDUCT SITE VISITS AND SHALL EXAMINE ALL THE INFORMATION WITHIN THESE DOCUMENTS. ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BID SUBMITTAL.

11. THE CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO COMMENCEMENT OF ANY WORK. ACTUAL REMOVAL AND/OR RELOCATION OF ALL EXISTING LANDSCAPING WITHIN DEMOLITION AREAS TO BE CONDUCTED BY A LANDSCAPE CONTRACTOR. IT IS THE RESPONSIBILITY OF THE SITEWORK DEMOLITION CONTRACTOR TO COORDINATE DEMOLITION ACTIVITIES WITH THE LANDSCAPE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND PRESERVING TREES AS INDICATED ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TREE REMOVAL PERMIT OR AN ANTICIPATED TREE REMOVAL PERMIT TO REMOVE, RELOCATE, OR PRESERVE EXISTING LANDSCAPE AND TREES.

12. ANY TREES FOR REMOVAL FOUND TO BE GREATER THAN OR EQUAL TO THREE (3) INCHES IN DIAMETER AT BREAST HEIGHT (DBH) SHALL REQUIRE A PERMIT WITH THE BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT (GEGPMD).

13. SHOULDER REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE THE LIGHTING, STORM INLET STRUCTURES, OR OTHER STRUCTURES DESIGNATED TO BE SAVED, THEN THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

14. DEMOLITION EROSION AND SEDIMENT CONTROL NOTES:

15. THE SCHEDULING, SEQUENCING AND CONTROL MEASURES, WHICH ARE OUTLINED HEREIN, ARE SUBJECT TO THE FINAL DEFINITION BY THE CONTRACTOR WHO SHALL BE SELECTED TO PERFORM THE WORK AND SHALL BE RESPONSIBLE FOR IMPLEMENTATION AND COMPLIANCE.

16. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT A DEMOLITION SCHEDULE DEPICTING EACH PHASE OF THE WORK. THE CONTRACTOR SHALL ALSO BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN ENCOMPASSING THE PRINCIPALS AND THE REQUIREMENTS DESCRIBED HEREIN AND A SCHEDULE FOR THEIR IMPLEMENTATION AND MAINTENANCE FOR THE PROJECT DURATION.

17. DURING DEMOLITION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO ENSURE AGAINST POLLUTING, SILTATION OR DISTURBANCE TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING DRAINAGE SYSTEMS AND ADJACENT WATER BODIES AND WETLANDS, IN COMPLIANCE WITH ALL PERMIT REQUIREMENTS RELATED TO SUCH MEASURES.

18. METHODS MAY INCLUDE TEMPORARY EROSION AND SEDIMENT CONTROLS SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, SILT BARRIERS, SILT SCREENS, TURBIDITY BARRIERS OR THE BEST MANAGEMENT PRACTICES AVAILABLE TO THE INDUSTRY.

19. EROSION AND SEDIMENT CONTROL INSTALLATIONS SHALL BE MAINTAINED THROUGHOUT THE DEMOLITION PERIOD AND UNTIL NEW VEGETATIVE GROWTH HAS BEEN ESTABLISHED.

20. THROUGHOUT THE DEMOLITION PERIOD, THE CONTRACTOR SHALL INSPECT DAILY THE EROSION AND SEDIMENT CONTROL INSTALLATIONS FOR FAILURE OR SIGNS OF FAILURE OR MALFUNCTION. REPAIR OR REPLACE THE EROSION AND SEDIMENT CONTROL INSTALLATIONS IMMEDIATELY UPON DISCOVERY OF FAILURE OR MALFUNCTION.

21. INLETS AND CATCH BASINS, EXISTING ON-SITE AND OFF-SITE, SHALL BE PROTECTED FROM SEDIMENT STORM RUNOFF.

22. THE CONTRACTOR SHALL PROMPTLY REMOVE ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED onto EXISTING PUBLIC ROADS AND FACILITIES DUE TO DEMOLITION OF THE PROJECT.

23. WATERING ACTIVITIES SHALL NOT RESULT IN ANY DISCHARGE OF TURBID WATER FROM THE PROJECT SITE WITHOUT PROPER EROSION AND SEDIMENT CONTROL AND APPROVAL FROM ENGINEER.

24. PHASING OF EROSION CONTROL DEMOLITION SHALL BE RECOMMENDED AS FOLLOWS: PLACEMENT OF PERIMETER PROTECTIVE MEASURES (SILT FENCE, HAY BALES, TURBIDITY BARRIERS, ETC.) AROUND ON-SITE FEATURES TO BE RETAINED. TAKEN TO PROVIDE PROTECTION UNTIL STABILIZATION OCCURS (AS APPLICABLE TO THE PROJECT).

25. REROUTE RUNOFF FROM AREAS OUTSIDE OF THE DEMOLITION AREA TO MINIMIZE FLOW THROUGH AREAS TO BE DISTURBED BY DEMOLITION. BERMS, SWALES AND OTHER MEANS USED FOR SUCH CONVEYANCE SHALL BE VEGETATED AND MEASURES TAKEN TO PROVIDE PROTECTION UNTIL STABILIZATION OCCURS (AS APPLICABLE TO THE PROJECT).

26. SELECT LOCATIONS FOR PLACEMENT OF EXCAVATED MATERIAL, WHERE SUITABLE FOR FILL OR UNSUITABLE MATERIAL, AND CONSTRUCT CONTAINMENT BERMS AROUND THE AREA. THE USE OF STRIPING FOR THIS PURPOSE MAY ACCELERATE BERM VEGETATION. CONSTRUCT TEMPORARY OUTLETS FOR CONTAINMENT AREAS WITH SCREENS, HAY BALES, SETTLING BASINS OR OTHER MEASURES TO PREVENT SILT TRANSPORT.

27. SELECT / DESIGNATE ACCESS ROUTING FOR DEMOLITION EQUIPMENT AND VEHICLES AND PROVIDE PERIMETER PROTECTIVE MEASURES WHERE EXISTING TERRAIN SHALL BE SUBJECT TO DISRUPTION BY SUCH TRAFFIC.

28. CONSTRUCT ABOVE GROUND OR ON-TO CONTAINMENT AREAS FOR DEMOLITION AREA. RELOCATE, PROVIDE SCREENS, HAY BALES, ETC. TO FILTER DISCHARGE FROM THOSE AREAS.

29. SPOIL MOUNDS SHALL NOT BE LEFT FOR MORE THAN ONE WEEK PRIOR TO REMEDIATION UNLESS PROTECTIVE CONTAINMENT MEASURES IN THE WORK AREA ARE APPLIED.

30. GRASSING, SODDING, ETC. SHALL BE IN PLACE IMMEDIATELY UPON COMPLETION OF REGRADING, SWALE SLOPES AND THE CONSTRUCTED OR DISTURBED AREAS.

31. THE CONTRACTOR IS REQUIRED TO ADHERE TO THE REQUIREMENT OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES). THE CONTRACTOR SHALL INSTITUTE THE BEST MANAGEMENT PRACTICES (BMPs) TO ENSURE COMPLIANCE WITH THE NPDES PROGRAM AND TO MINIMIZE THE IMPACT TO PUBLIC STORMWATER FACILITIES. A NOTICE OF INTENT (NOI) SHALL BE FILED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.

32. THE CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN ALL RECORDS REQUIRED BY ITS NPDES STORMWATER PERMIT FOR ITS CONSTRUCTION ACTIVITIES. PRIOR TO CONSTRUCTION, A SILT FENCE IN ACCORDANCE WITH CITY'S DETAIL, SHALL BE ERECTED AS NOTED ON PLANS. ALL PROPOSED CATCH BASINS SHALL HAVE THEIR INLETS PROTECTED BY THE INSTALLATION OF FILTER INLET INSERTS INTO THE FRAME AND GRATE. SILT FENCES AND FILTER INLET INSERTS SHALL REMAIN IN PLACE DURING THE ENTIRE DURATION OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND REMAIN PRIOR TO BEGINNING ANY WORK AND SHALL ENSURE ITS STABILIZATION THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. EXISTING SOIL DISTURBED BY CONSTRUCTION THAT IS NOT AFFECTED BY PROPOSED GRADING SHALL BE RESTORED TO NEW CONDITION UPON COMPLETION OF CONSTRUCTION. SODDED SLOPES STEEPER THAN FOUR HORIZONTAL TO ONE VERTICAL SHALL BE PEGGED.

33. ALL WASTE GENERATED FROM THE CONSTRUCTION SHALL BE DISCARDED IN ACCORDANCE WITH ALL APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS. CONTRACTOR SHALL OBTAIN ALL APPLICABLE CODES AND BECOME FAMILIAR WITH STATE, LOCAL AND FEDERAL REGULATIONS PRIOR TO BEGINNING CONSTRUCTION. TO ENSURE THAT OFF-SITE VEHICLE TRACKING OF SEDIMENTS AND THE GENERATION OF DUST IS MINIMIZED, CONTRACTOR SHALL PUT INTO PRACTICE THE FOLLOWING DETAILED IN FLORIDA DEPARTMENT OF TRANSPORTATION INDEX 106 (2010 DESIGN STANDARDS) AND BMPs.

34. DUST GENERATED FROM CONSTRUCTION SHALL BE MINIMIZED BY DAILY WATERING OF THE SITE.

35. AT ANY TIME DURING CONSTRUCTION THAT THE SILT FENCING IS DISTURBED, THE SILT FENCING SHALL BE RESTORED TO ITS ORIGINAL STATE WITHIN 24 HOURS. AT NO TIME DURING CONSTRUCTION SHALL WORK BE PERFORMED WITHOUT THE INTEGRITY OF THE SILT FENCING SECURED.

36. A QUALIFIED INSPECTOR, PROVIDED BY THE CONTRACTOR, SHALL INSPECT ALL POINTS OF DISCHARGE INTO NEARBY SURFACE WATER. THE INSPECTION SHALL OCCUR AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER. INSPECTION INCLUDES THE WRITTEN RECORDING OF THE CONDITION OF ALL DISCHARGE POINTS, INTEGRITY OF SILT FENCING, DAILY DUST CONTROL MEASURES, VEHICULAR TRAFFIC AND CONSTRUCTION MATERIAL STORAGE AND DISPOSAL. WRITTEN RECORD OF ALL INSPECTIONS SHALL BE STORED BY THE CONTRACTOR.

37. THE INSPECTION REPORT SHALL INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING INFORMATION: NAME AND QUALIFICATION OF PERSONNEL MAKING THE INSPECTION, DATE OF INSPECTION, RAINFALL DATE, MAJOR OBSERVATIONS RELATING TO THE SWPPP, ACTIONS TAKEN BY CONTRACTOR, AND ANY INCIDENT OF NONCOMPLIANCE WITH PERMIT. WHERE AN INSPECTION DOES NOT IDENTIFY ANY INCIDENT OF NONCOMPLIANCE, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE SWPPP AND THE PERMIT.

38. THE CONTRACTOR SHALL RETAIN A COPY OF THE SWPPP AND ALL REPORTS, RECORDS AND DOCUMENTATION REQUIRED BY THE PERMIT AT THE CONSTRUCTION SITE, OR AN APPROPRIATE ALTERNATIVE LOCATION AS SPECIFIED IN THE NOTICE OF INTENT, FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

39. THE CONTRACTOR SHALL RETAIN THE SWPPP, NOI AND ALL RECORDS ASSOCIATED THEREWITH FOR A PERIOD OF AT LEAST THREE (3) YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED.

40. SEE LANDSCAPE PLANS FOR TREE REMOVAL AND LANDSCAPE DEMOLITION.

41. CONTRACTOR SHALL COORDINATE THROUGH CITY'S CONSTRUCTION DIVISION AND CITY'S PARKS DEPARTMENT IN HOW TO STOCKPILE AND RE-USE EXCAVATED SOIL FROM SITE (AS APPLICABLE TO THE PROJECT).

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM

INTERRUPTION OF EXISTING UTILITIES:

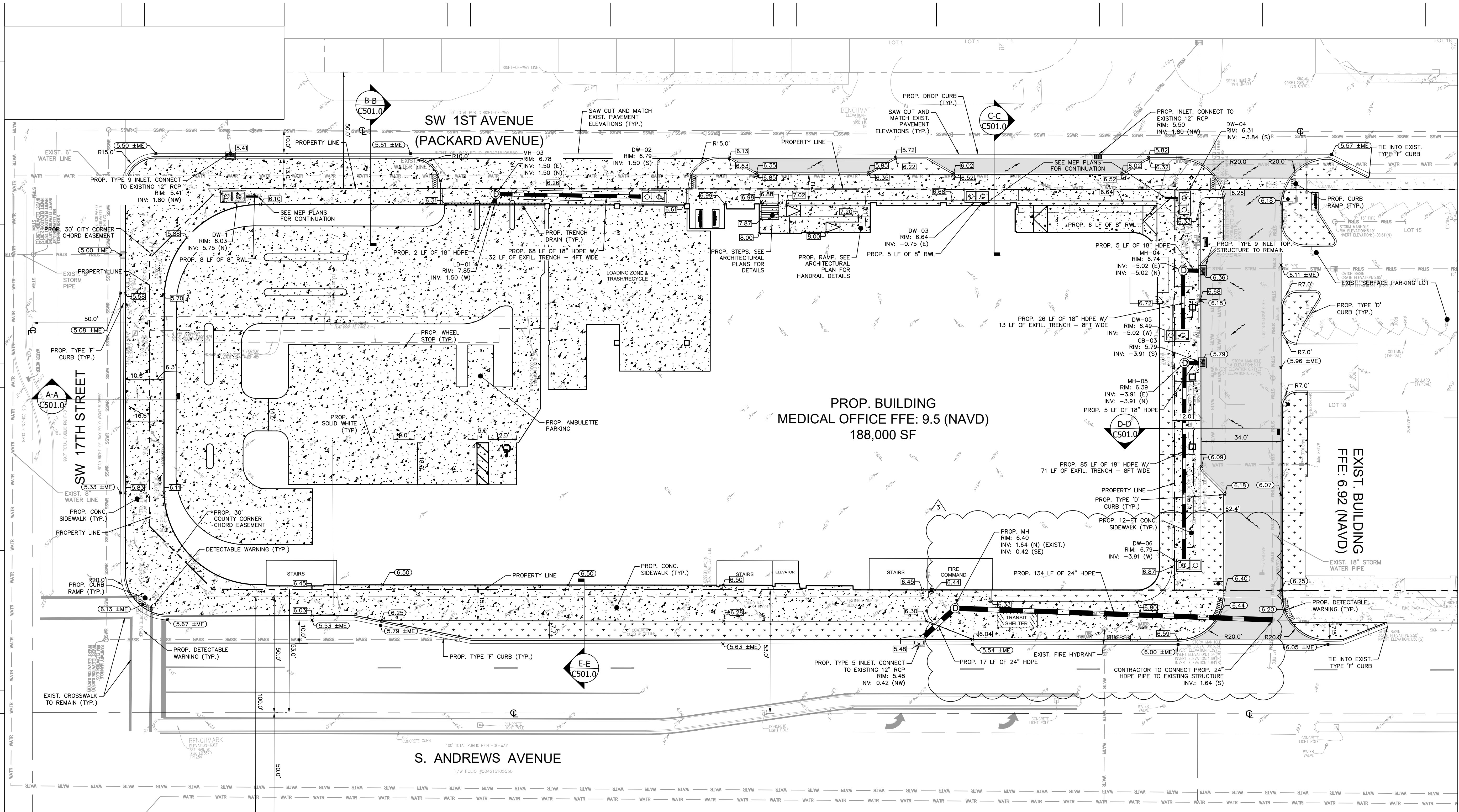
1. ANY DEMOLITION WORK THAT REQUIRES INTERRUPTION OF SERVICE TO ANY CUSTOMER SHALL BE DONE SO WITH A MINIMUM OF SEVENTY-TWO (72) HOUR WRITTEN NOTICE TO, AND WRITTEN APPROVAL BY, THE APPROPRIATE UTILITY COMPANY.
2. THE CONTRACTOR SHALL ARRANGE A MEETING WITH THE LOCAL JURISDICTIONAL AGENCIES AND OTHER GOVERNING AGENCIES, AND OTHER AFFECTED UTILITIES PRIOR TO SCHEDULING THE SHUT DOWN TO ASSESS THE SCOPE OF WORK.
3. ALL SYSTEM SHUT DOWNS SHALL BE SCHEDULED BY THE CONTRACTOR AT SUCH TIME THAT SYSTEM DEMAND IS LOW. THIS GENERALLY REQUIRES NIGHT TIME WORK BY THE CONTRACTOR AND REQUIRES FULL-TIME INSPECTION BY A REPRESENTATIVE OF THE UTILITY. ALL COST FOR OVERTIME WORK BY THE REPRESENTATIVE OF THE UTILITY SHALL BE BORNE BY THE CONTRACTOR.
4. EACH CUSTOMER AFFECTED BY THE SHUT-DOWN SHALL BE PROVIDED, MINIMUM, FORTY-EIGHT (48) HOURS WRITTEN NOTIFICATION BY THE CONTRACTOR, TEMPORARY

DEMOLITION FACILITIES:

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY TO ITS EMPLOYEES AND SUBCONTRACTORS FOR THEIR USE DURING DEMOLITION.
2. MAINTENANCE OF TRAFFIC (MOT) IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
3. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
4. NO TRENCHES OR HOLES NEAR WALKWAYS OR IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS WRITTEN PERMISSION OF THE CITY OR RESPECTIVE GOVERNING AGENCY.
- WASTE MANAGEMENT PLAN:
5. IMPLEMENT A WASTE MANAGEMENT PLAN FOR APPROVAL BY THE OWNER. PROVIDE HANDLING, CONTAINERS, STORAGE, SIGNAGE, TRANSPORTATION AND OTHER ITEMS AS NEEDED TO IMPLEMENT THE WASTE MANAGEMENT PLAN DURING THE ENTIRE DURATION OF THE CONTRACT.
6. DESIGNATE A WASTE MANAGEMENT COORDINATOR TO BE RESPONSIBLE FOR IMPLEMENTING, MONITORING AND REPORTING STATUS OF WASTE MANAGEMENT WORK PLAN. COORDINATOR SHALL BE PRESENT AT PROJECT SITE FULL-TIME FOR DURATION OF PROJECT.
7. TRAIN WORKERS, SUBCONTRACTORS AND SUPPLIERS ON PROPER WASTE MANAGEMENT PROCEDURES, AS APPROPRIATE FOR THE WORK AT THE PROJECT SITE.
8. DISTRIBUTE A WASTE MANAGEMENT PLAN BEFORE WORK BEGINS. REVIEW PLAN PROCEDURES AND LOCATION ESTABLISHED FOR SALVAGE, RECYCLING AND DISPOSAL.

RECYCLING DEMOLITION WASTE:

9. SEPARATE RECYCLABLE WASTE FROM OTHER WASTE MATERIALS, TRASH AND DEBRIS. SEPARATE RECYCLABLE WASTE BY TYPE AT THE PROJECT SITE TO THE MAXIMUM EXTENT PRACTICAL.
10. PROVIDE APPROPRIATELY MARKED CONTAINERS OR BINS FOR CONTROLLING RECYCLABLE WASTE UNTIL THEY ARE



GENERAL NOTES:

- PLEASE REFER TO LANDSCAPE AND ARCHITECTURAL PLANS FOR GRADING WITHIN THE HARDSCAPE AREAS.
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
- CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY THE POWER LINES.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER REGARDING ANY GRADING REVISIONS PRIOR TO CONSTRUCTION OF THE PAVEMENT AREAS.
- CONTRACTOR TO ADJUST ANY MANHOLE RIMS AND VALVE LIDS TO MATCH PROPOSED GRADES.
- IF ANY EXISTING STORM DRAINAGE STRUCTURES AND PIPES TO REMAIN IN SERVICE ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR THOSE STRUCTURES TO REMAIN IN SERVICE, OR BETTER, OR TO REPLACE THEM, AS NECESSARY.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING FRAME AND COVER.
- ALL MAXIMUM SLOPES ARE ABSOLUTE AND SUPERSEDE CONSTRUCTION TOLERANCES STATED IN THE PROJECT SPECIFICATIONS. THE CONTRACTOR HAS THE OPTION OF ADJUSTING GRADES TO ALLOW FOR CONSTRUCTION TOLERANCES BUT SHALL NOT EXCEED MAXIMUMS SPECIFIED ABOVE BY ANY AMOUNT. PAVEMENT SLOPES WILL BE REVIEWED AFTER CONSTRUCTION AND ANY SLOPES FOUND TO EXCEED THE MAXIMUM SPECIFIED ABOVE WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- LEVEL CHANGES BETWEEN GROUND SURFACE MATERIALS MUST NOT EXCEED 1/4 INCH HIGH. IF A LEVEL CHANGE DOES EXCEED 1/4 INCH HIGH IT MUST BE BEVELED WITH A SLOPE THAT DOES NOT EXCEED 1/2 (V:H) FOR A LEVEL CHANGE UP TO 1/2 INCH HIGH. IF THE CHANGE IS MORE THAN 1/2 INCH THE CHANGE MUST BE RAMPED AND NOT TO EXCEED A SLOPE OF 1/12 (V:H).
- ALL PROPOSED AND EXISTING DRAINAGE INFRASTRUCTURE SHALL BE CLEANED/INSPECTED FROM WORK AREA TO OUTFALL AS PART OF THIS PROJECT.
- ALL PROPOSED DRAINAGE WELLS, MANHOLES, PULL BOXES, ETC. INSTALLED IN THE SIDEWALK MUST BE FLAT, ADA COMPLIANT AND NOT IMPACT THE EFFECTIVE WIDTH OF THE SIDEWALK CLEAR PATH.

ADA NOTES:

- ALL WALKWAYS SHALL HAVE A SLOPE LESS THAN 2% PERPENDICULAR TO THE DIRECTION OF TRAVEL AND LESS THAN 5% IN THE DIRECTION OF TRAVEL.
- ALL WALKWAYS NEAR BUILDING ENTRANCES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION FOR A MINIMUM OF 60 INCHES, MEASURED PERPENDICULAR TO THE FACE OF THE DOOR.
- CLEAR WIDTH OF ACCESSIBLE ROUTE MUST BE A MINIMUM OF 36 INCHES.
- RUNNING SLOPE OF RAMPS AND CURB RAMPS CANNOT EXCEED 8.33% IF VERTICAL RISE IS LESS THAN 6 INCHES. HANDRAILS ARE NOT REQUIRED.
- SLOPES AT INTERSECTIONS OF ACCESSIBLE ROUTES MUST NOT EXCEED 2%, MEASURED IN ANY DIRECTION.
- SLOPES OF CLEAR FLOOR SPACES AT FIXTURES AND CONTROLS MUST NOT EXCEED 2% MEASURED IN ANY DIRECTION. THE 30X48 INCH CLEAR FLOOR SPACE PROVIDED AT THE CONTROL MUST BE FLUSH WITH THE CONTROL.
- GAPS OR OPENINGS ALONG THE ACCESSIBLE ROUTE MUST NOT EXCEED 1/2 INCH WIDTH, PERPENDICULAR TO THE PREDOMINATE FLOW OF PEDESTRIAN TRAFFIC.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

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CARLOS FLORIAN, P.E.
FL REGISTRATION # 80500

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/2/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

PAVING, GRADING,
AND DRAINAGE PLAN



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

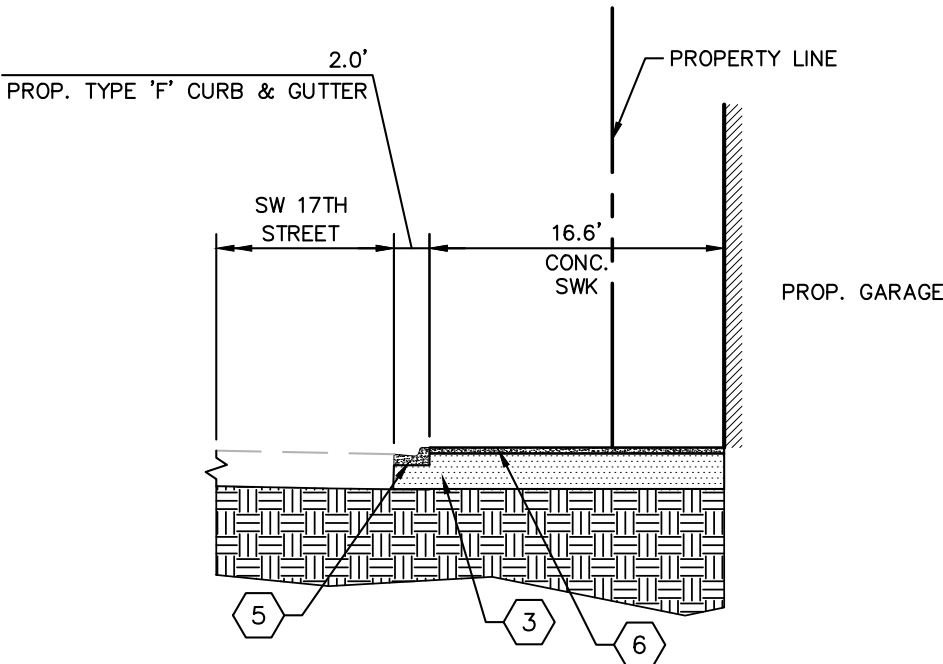
Check positive response codes before you dig!

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JOB NO.

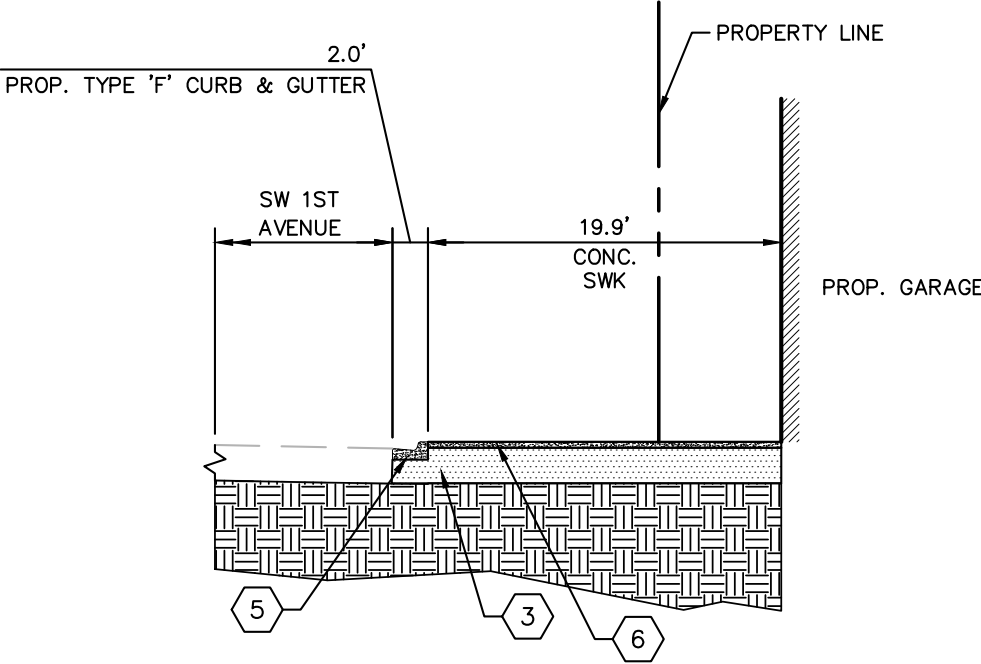
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SHEET

PAVING LEGEND

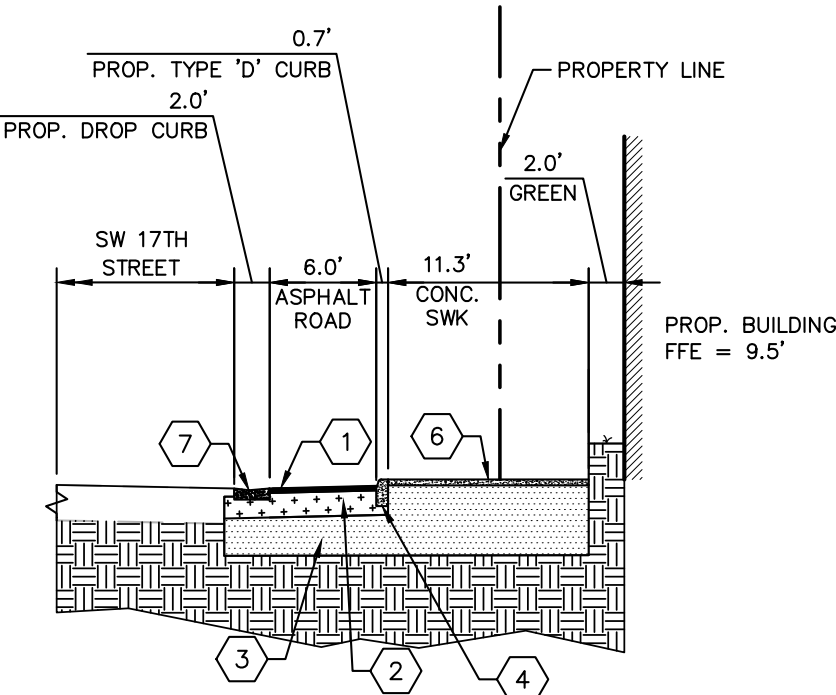
- ① 1 1/2" ASPHALT SURFACE TYPE SP-9.5 (IN TWO 3/4" LIFTS)
- ② 8" LIMEROCK BASE COMPACTED WITH MINIMUM LBR OF 100 WITH 60% OR MORE CARBONATE CONTENT, COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180.
- ③ 12" THICK STABILIZED SUBGRADE COMPACTED AND STABILIZED WITH MINIMUM DESIGN LBR OF 40 COMPACTED TO AT LEAST 98% OF MAXIMUM DRY DENSITY (AASHTO T-180) (DRIVE AISLE)
- ④ TYPE 'D' CURB PER FDOT INDEX NO. 520-001
- ⑤ TYPE 'F' CURB & GUTTER PER FDOT INDEX NO. 520-001
- ⑥ CONCRETE SIDEWALK
- ⑦ DROP CURB PER FDOT INDEX NO. 520-001



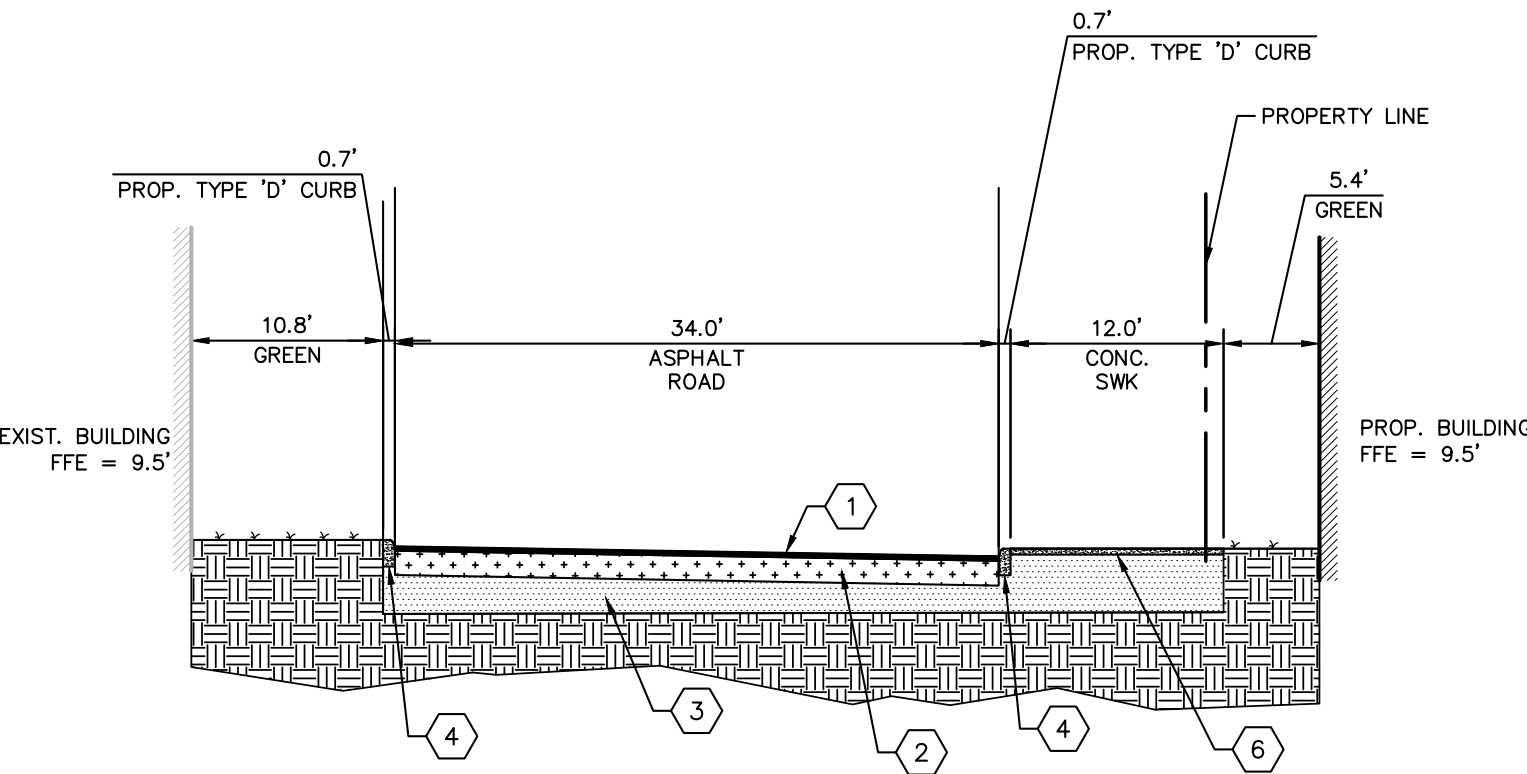
A-A SECTION
C500.0 NOT TO SCALE



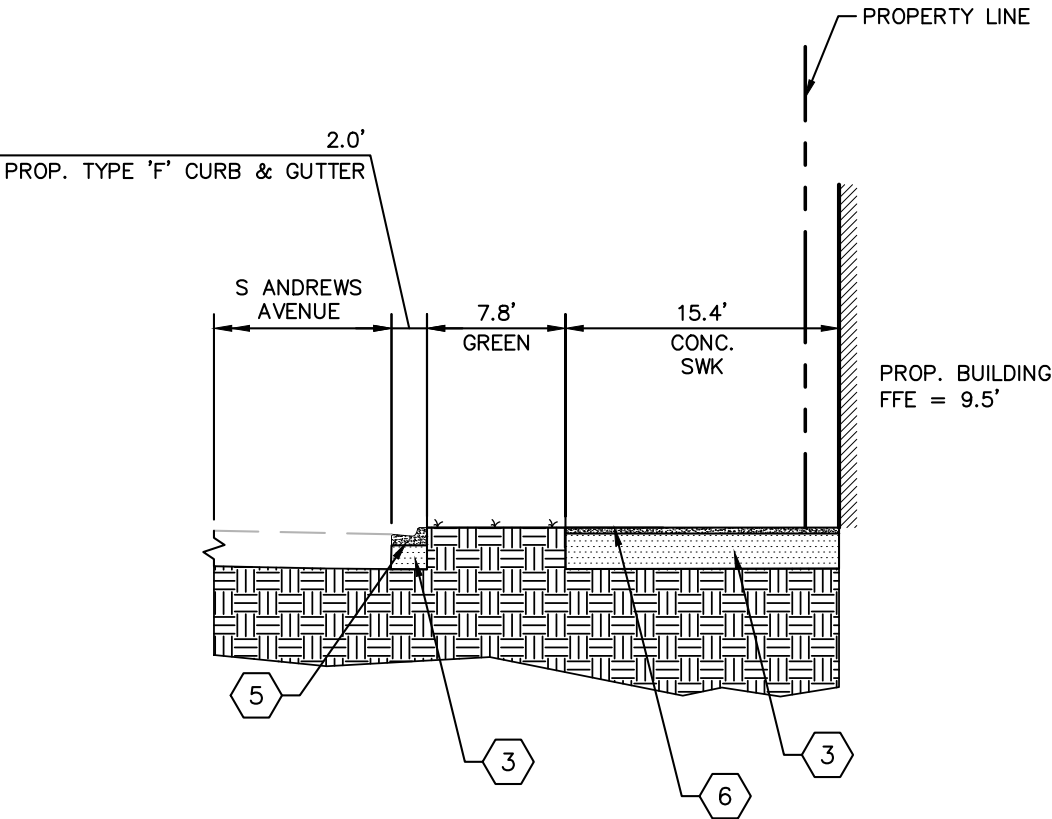
B-B SECTION
C500.0 NOT TO SCALE



C-C SECTION
C500.0 NOT TO SCALE



D-D SECTION
C500.0 NOT TO SCALE



E-E SECTION
C500.0 NOT TO SCALE



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.,
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235

WWW.BECKARCHITECTURE.COM



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FL REGISTRATION # 80500

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5/2/2025

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E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

TYPICAL CROSS
SECTIONS



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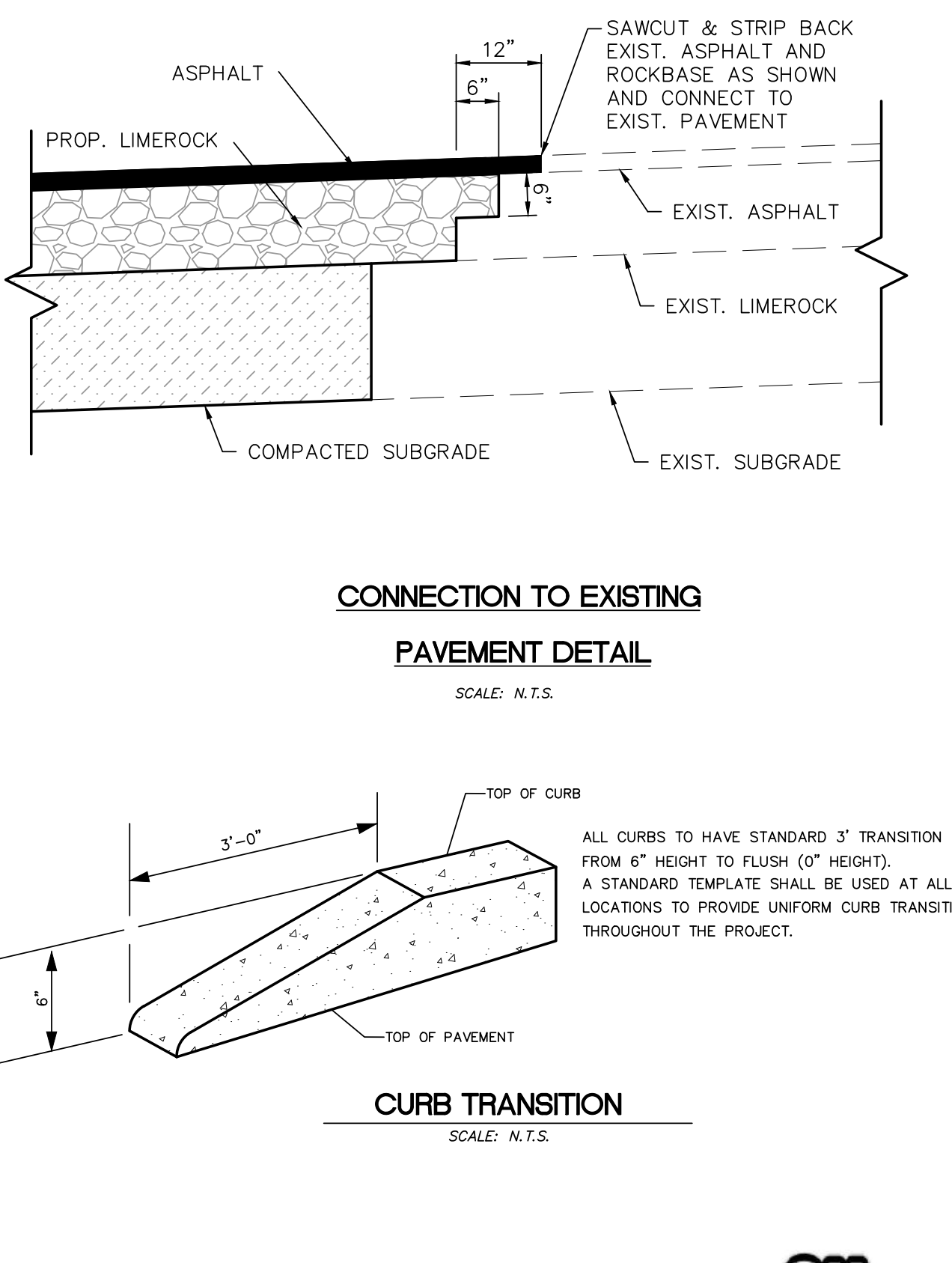
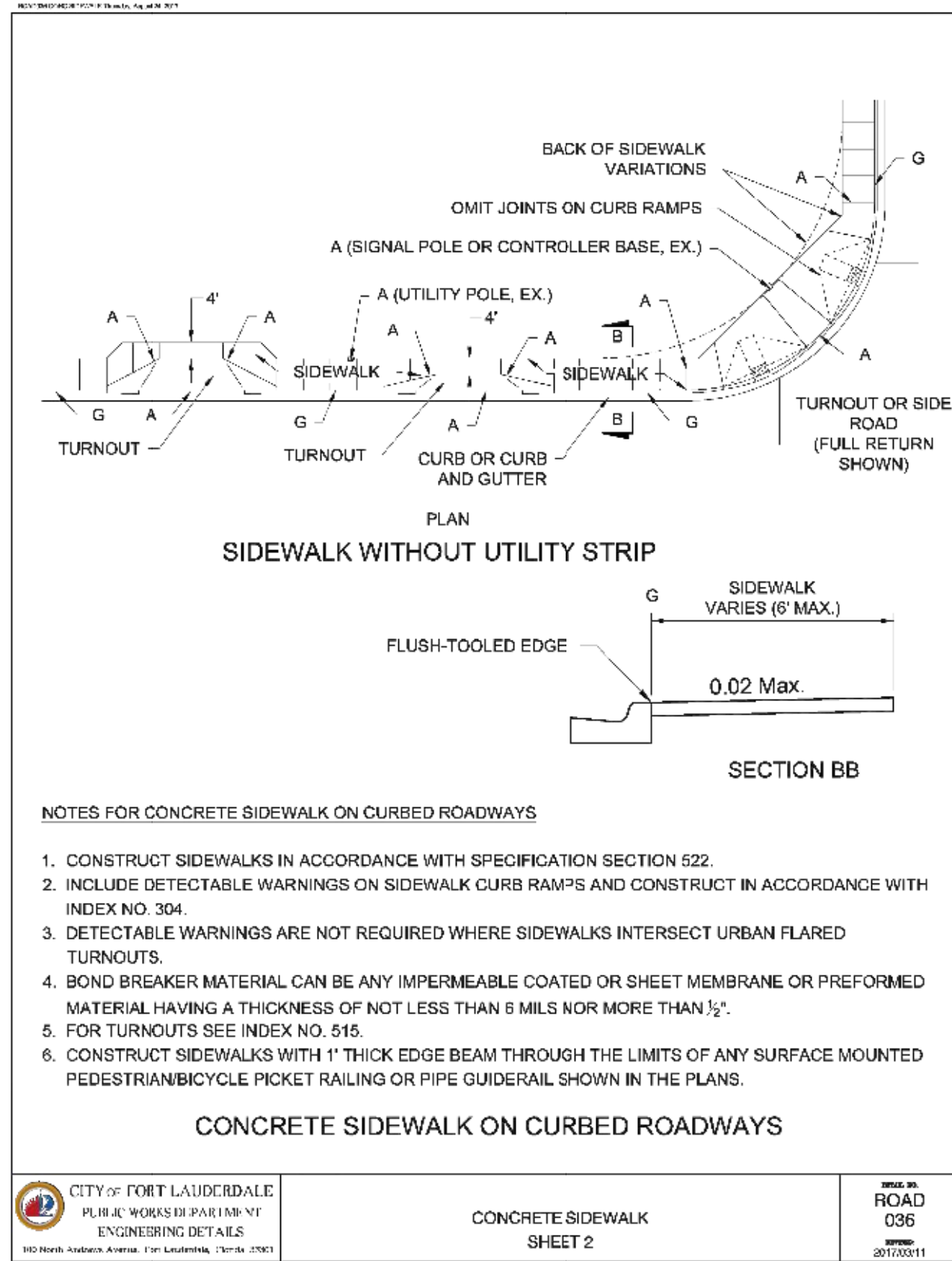
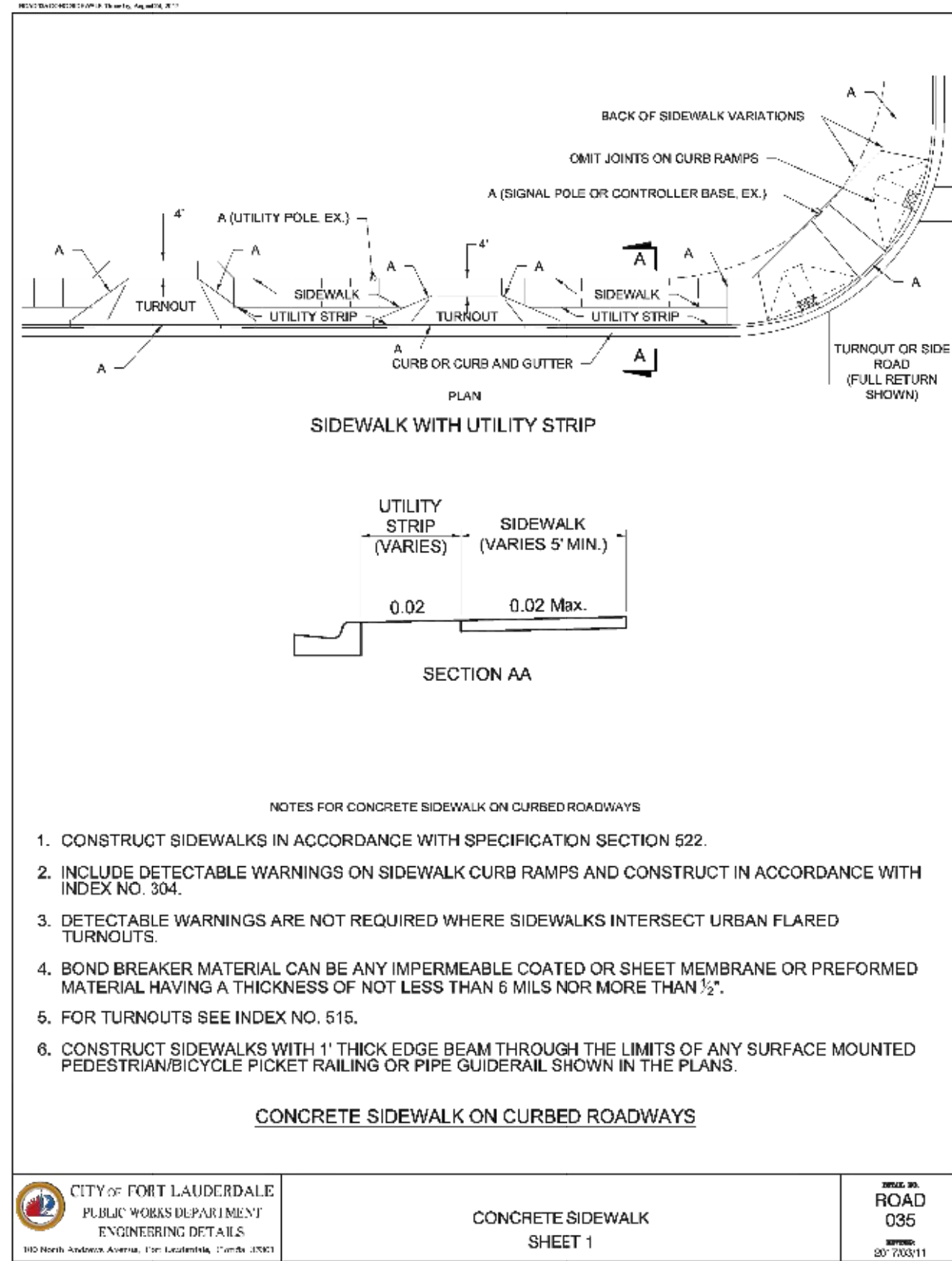
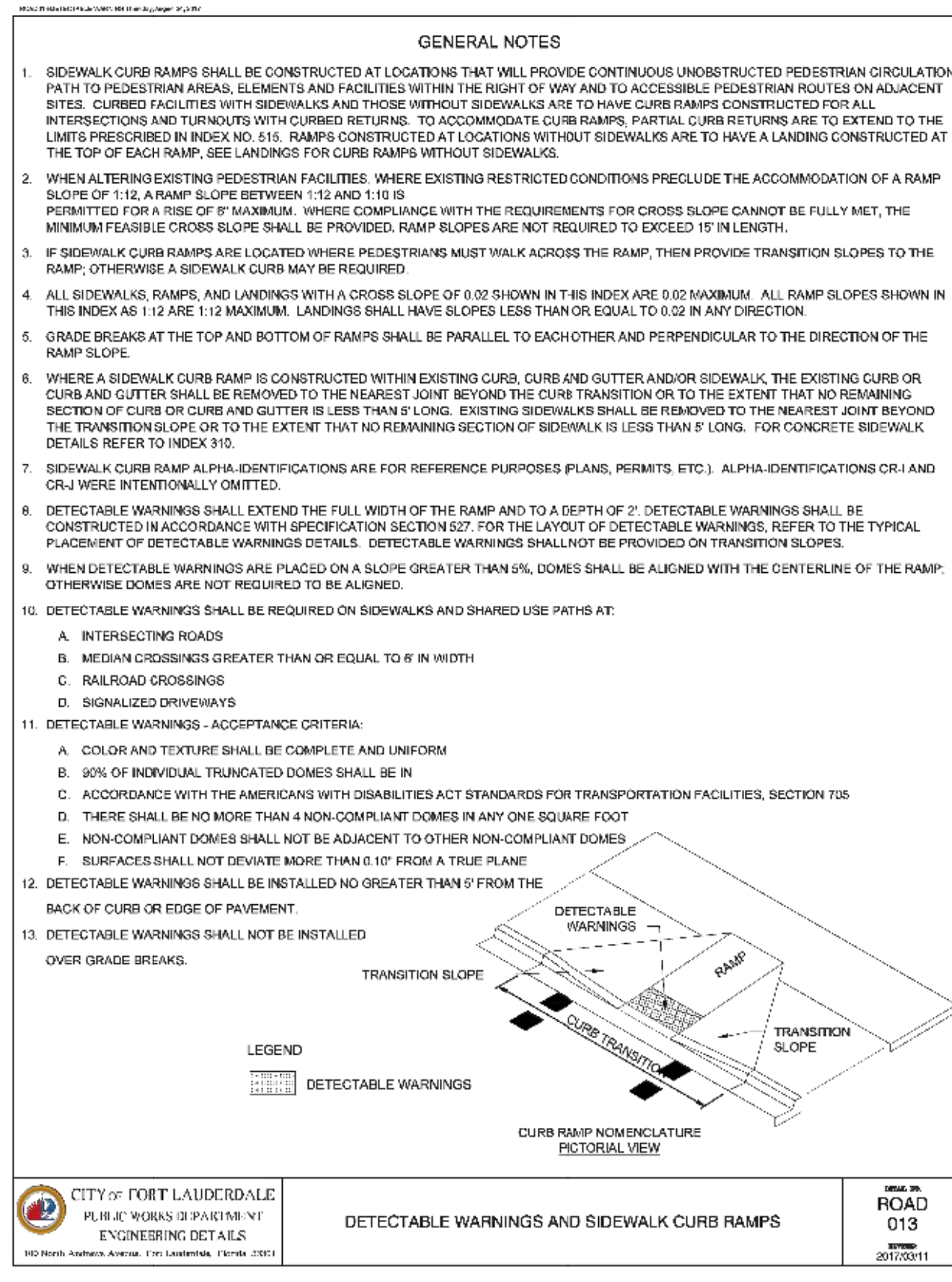
Check positive response codes before you dig!

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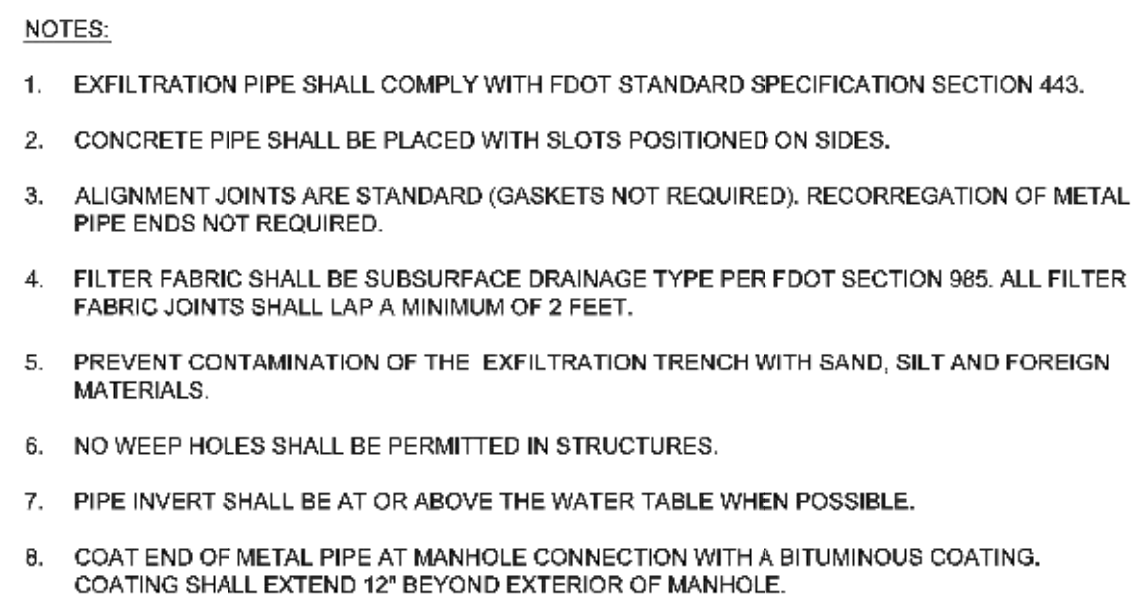
175309
JOB NO.

C501.0
SHEET

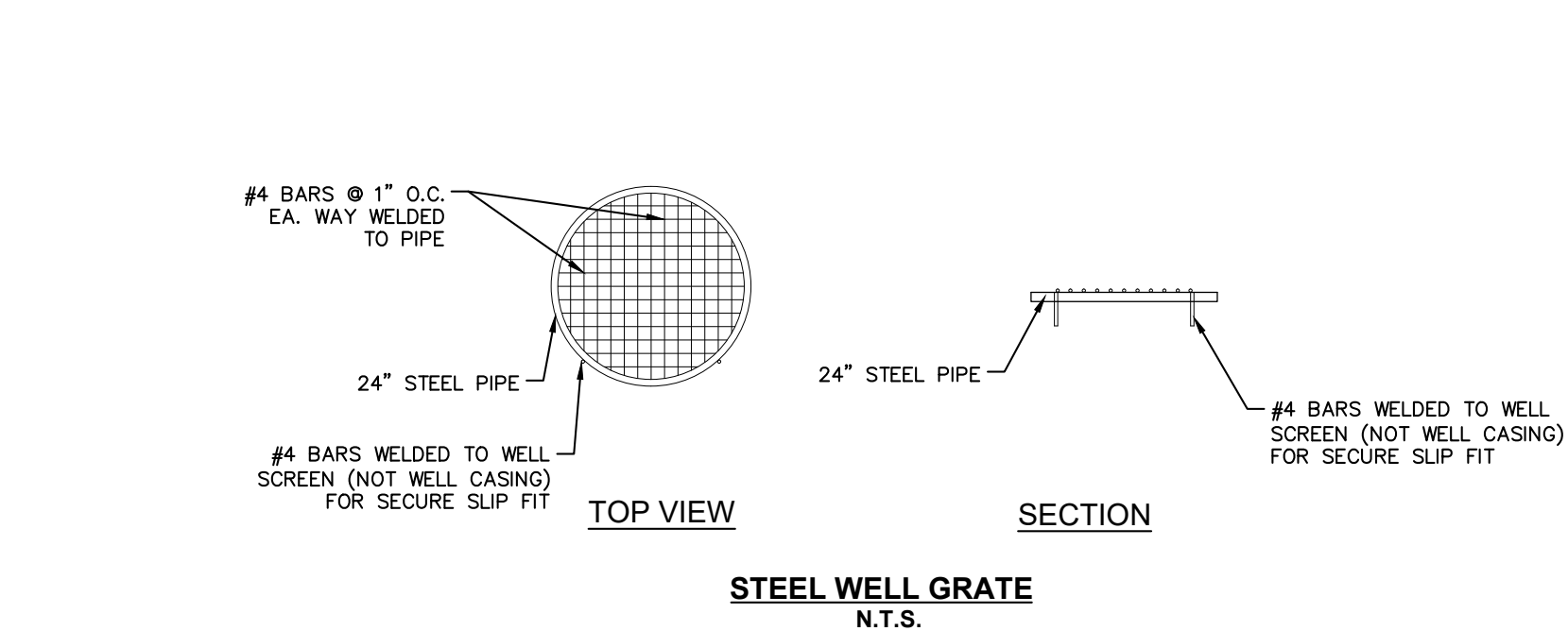
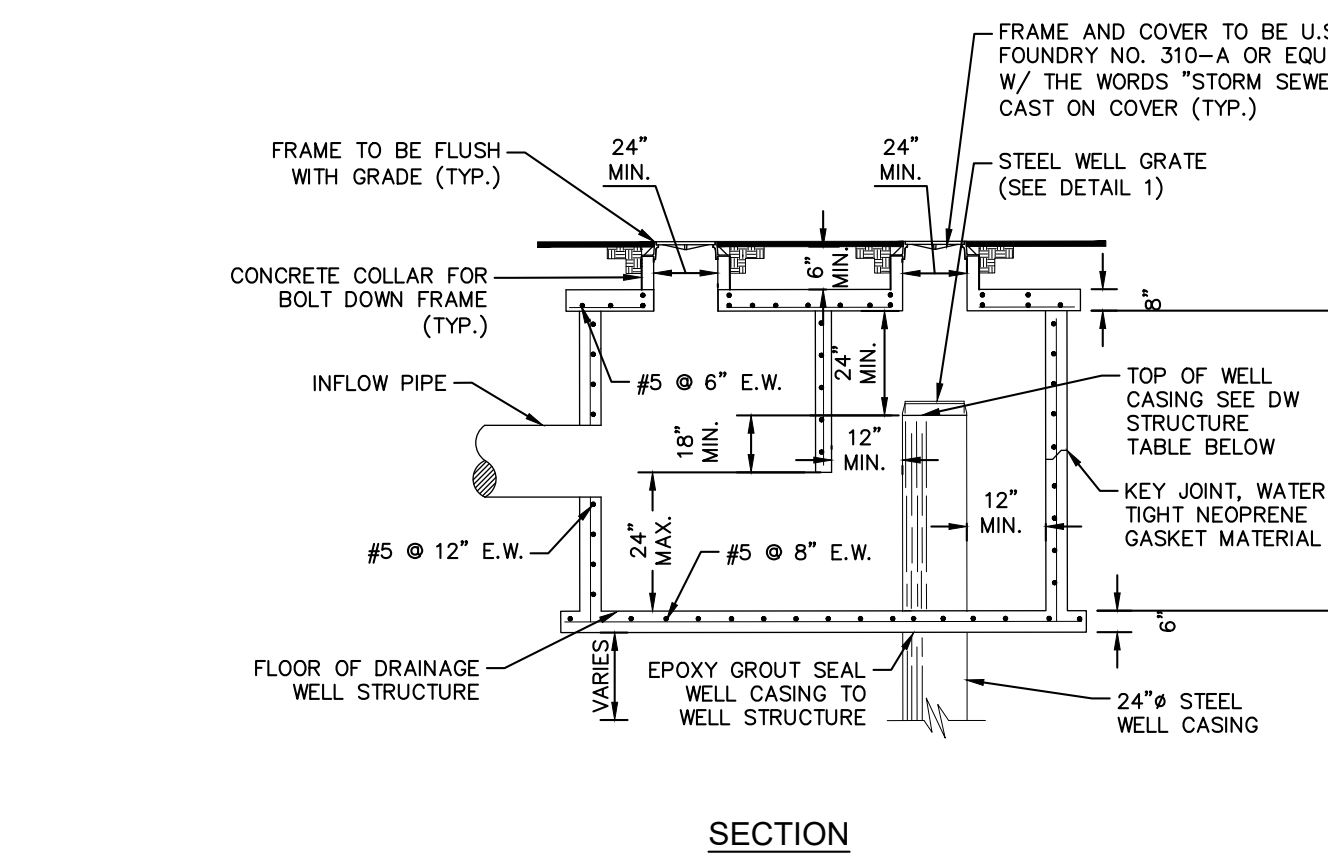


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GRATE NUMBER	TYPE	"A" WIDTH	"B" SEAT HEIGHT	"C" CLEAR OPENING	ADA COMPLIANT	FLOW AREA	"D" DRAIN HOLE DIA.
6451	STANDARD	8"	1 1/2"	6"	NO	70	2"
6452	STANDARD	10"	1 1/2"	8"	NO	75	3"
6453	STANDARD	12"	1 1/2"	10"	NO	100	3"
6454	STANDARD	14"	1 1/2"	12"	NO	116	4"
6455	STANDARD	17"	1 1/2"	15"	NO	132	4"
6456	STANDARD	20"	1 1/2"	18"	NO	138	4"
6457	STANDARD	22"	1 1/2"	21"	NO	161	6"
6458	STANDARD	25"	1 1/2"	24"	NO	192	6"
6481	STANDARD	30"	2"	27"	NO	212	6"
6266	NARROW SLOTTED	8"	1 1/2"	6"	YES	30	2"
6267	NARROW SLOTTED	10"	1 1/2"	8"	YES	35	3"
6268	NARROW SLOTTED	12"	1 1/2"	10"	YES	50	3"
6269	NARROW SLOTTED	14"	1 1/2"	12"	YES	60	4"



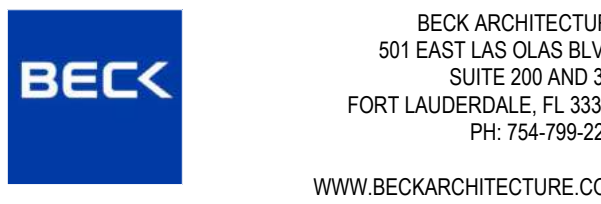
THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

DRAINAGE WELL STRUCTURES STRUCTURAL NOTES:

1. **DESIGN CRITERIA:** DESIGN, FABRICATION AND ERECTION OF PRECAST CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-99 BUILDING CODE AND ACI 308-99 FOR REINFORCED CONCRETE AND PCI DESIGN HANDBOOK. DESIGN OF CAST-IN-PLACE CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-99.
2. **DESIGN LIVE LOADS:** THE TOP SLAB OF DRAINAGE STRUCTURE SHALL BE DESIGNED TO CARRY TRAFFIC LOADS (HS 20 LOADING).
3. **GEOTECHNICAL CRITERIA:** SOIL BEARING PRESSURE UNDER STRUCTURE ASSUMED TO BE AT MINIMUM 2000 PSF. PRIOR TO INSTALLATION OF DRAINAGE STRUCTURE THE SOIL BEARING CAPACITY OF THE FOUNDATION MUST BE CONFIRMED BY THE CONTRACTOR THROUGH A CERTIFIED GEOTECHNICAL LABORATORY.
4. **CONCRETE:** CONCRETE SHALL BE NORMAL WEIGHT, AND SHALL ATTAIN 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI AND SHALL MEET THE REQUIREMENT OF ASTM C478. CONCRETE COVER FOR REINFORCEMENT SHALL BE 2 INCHES EXCEPT FOOTING BOTTOM BARS SHALL HAVE 3" COVER.
5. **REINFORCING:** REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, AND SHALL BE OF U.S. MANUFACTURE.
6. **MORTAR:** MORTAR GROUT TO SEAL THE PIPE, TOP SLABS, AND LEVELING COURSE SHALL BE OF SUCH A MIX THAT SHRINKAGE WILL NOT CAUSE LEAKAGE INTO OR OUT OF THE UNIT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR MORTAR FOR ENGINEER REVIEW AND APPROVAL.
7. **SHOP DRAWINGS:** CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, SIGNED AND SEACED BY A FLORIDA LICENSED ENGINEER, FOR PRECAST STRUCTURES TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE CONSTRUCTION OF STRUCTURE.
8. **MANHOLE RING & COVER:** ALL MANHOLE RINGS AND COVERS, WITHIN PRIVATE PROPERTY, SHALL HAVE THE WORD "STORM SEWER" CAST ON.

NOTES:

1. DEEP WELL TO BE CONSTRUCTED PER DRAINAGE WELL SCHEDULE. CONTRACTOR IS TO VERIFY A MINIMUM FLOW RATE OF 250 GPM PER FOOT OF HEAD FOR EACH WELL, AND CONTACT ENGINEER OF RECORD IF WELL IS TO BE LOCATED IN LOWER CATEGORIES. CONTRACTOR MUST PROVIDE 60% CASSED AND 40% OPEN WELL AT ANY DEPTH.
2. STEEL WELL GRATE TO BE INSTALLED OVER 24" WELL CASING. STEEL GRATE TO BE HOT DIPPED GALVANIZED AFTER FABRICATION. COST TO BE INCLUDED IN THE PRICE OF CASING.
3. DEVELOPER OF WELL TO ASSURE 1500 P.P.M. SALINITY. THE WELL CASING SHALL PENETRATE A ZONE CONTAINING A MINIMUM OF 10,000 mg/L OF TOTAL DISSOLVED SOLIDS (TDS) IN ACCORDANCE WITH RULE 62-528.20(6), FAC.
4. WELL TESTING TO COMPLY WITH ASTM D 5472-93 AND D-4050-96 AND BE PERFORMED BY A THIRD PARTY FIRM/INDIVIDUAL REGISTERED GEOLOGIST.
5. ALL DRAINAGE WELL BOXES SHALL BE WATER TIGHT. ALL WELL BOX CONSTRUCTION JOINTS SHALL BE WATER TIGHT. WELL BOX MUST BE DESIGNED FOR UPLIFT FORCES (MIN 3 PSF) AND SIGNED AND SEALED BY A REGISTERED FLOOR PROFESSIONAL ENGINEER.
6. CONTRACTOR TO SUBMIT SHOP DRAWING TO ENGINEER OF RECORD.



Kimley»Horn

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5/2/2025

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BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

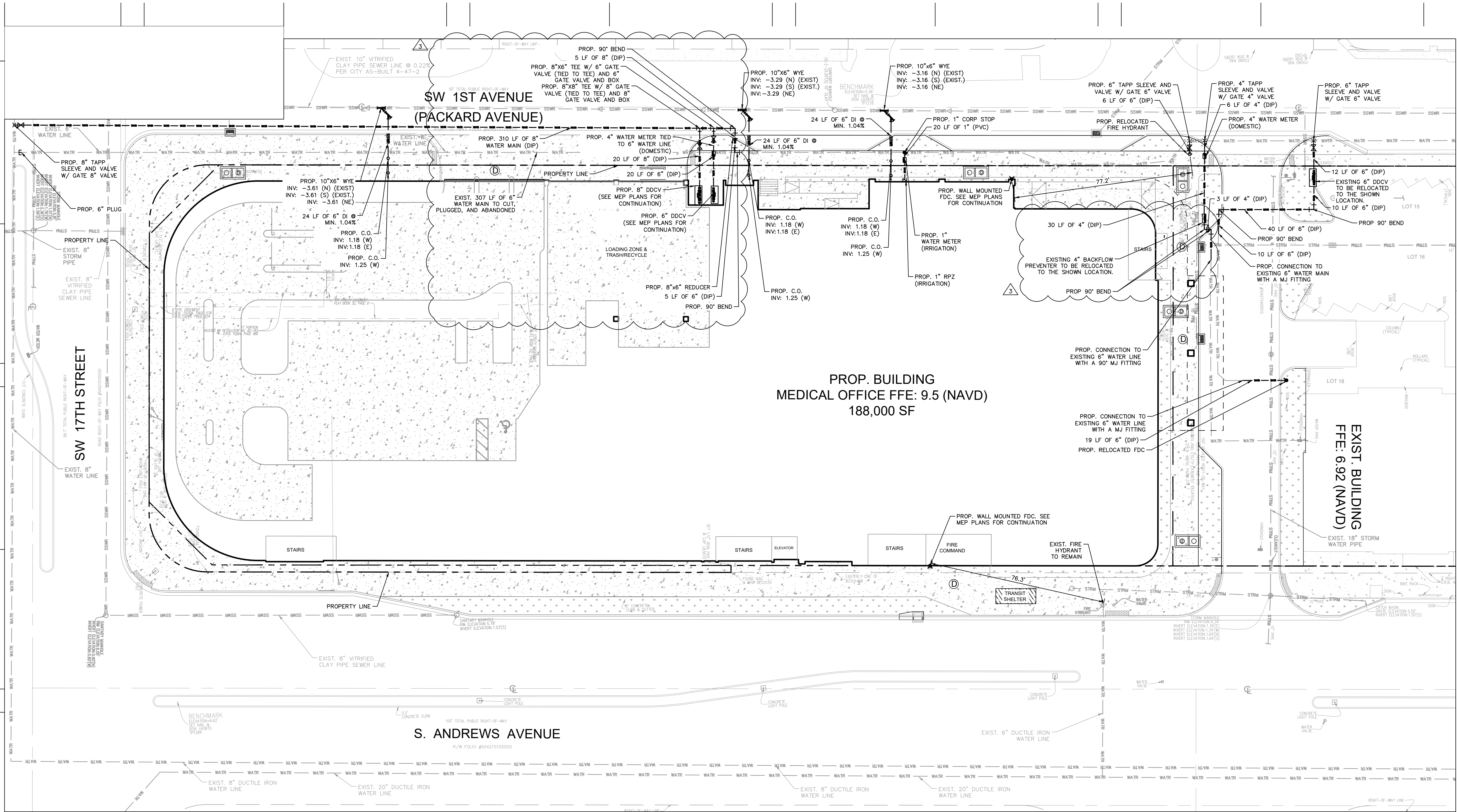
PAVING, GRADING, AND DRAINAGE DETAILS

175309

JOB NO.

C503.0

SHEET



Kimley»Horn

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BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

WATER AND SEWER
PLAN



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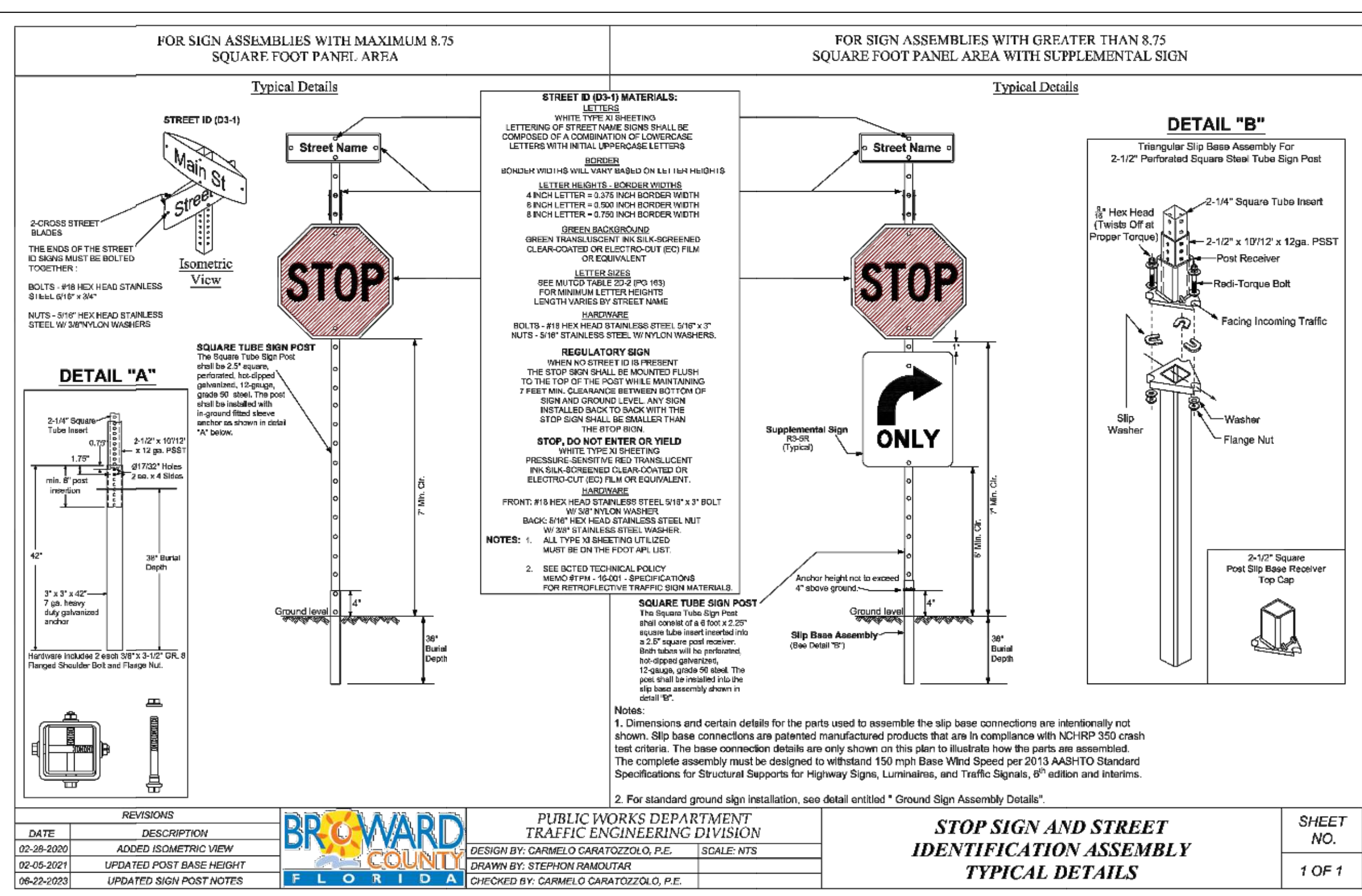
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175309
JOB NO.

C600.0
SHEET

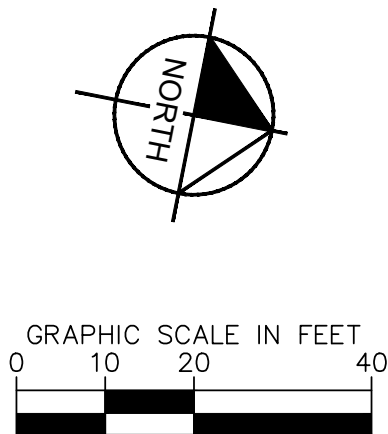
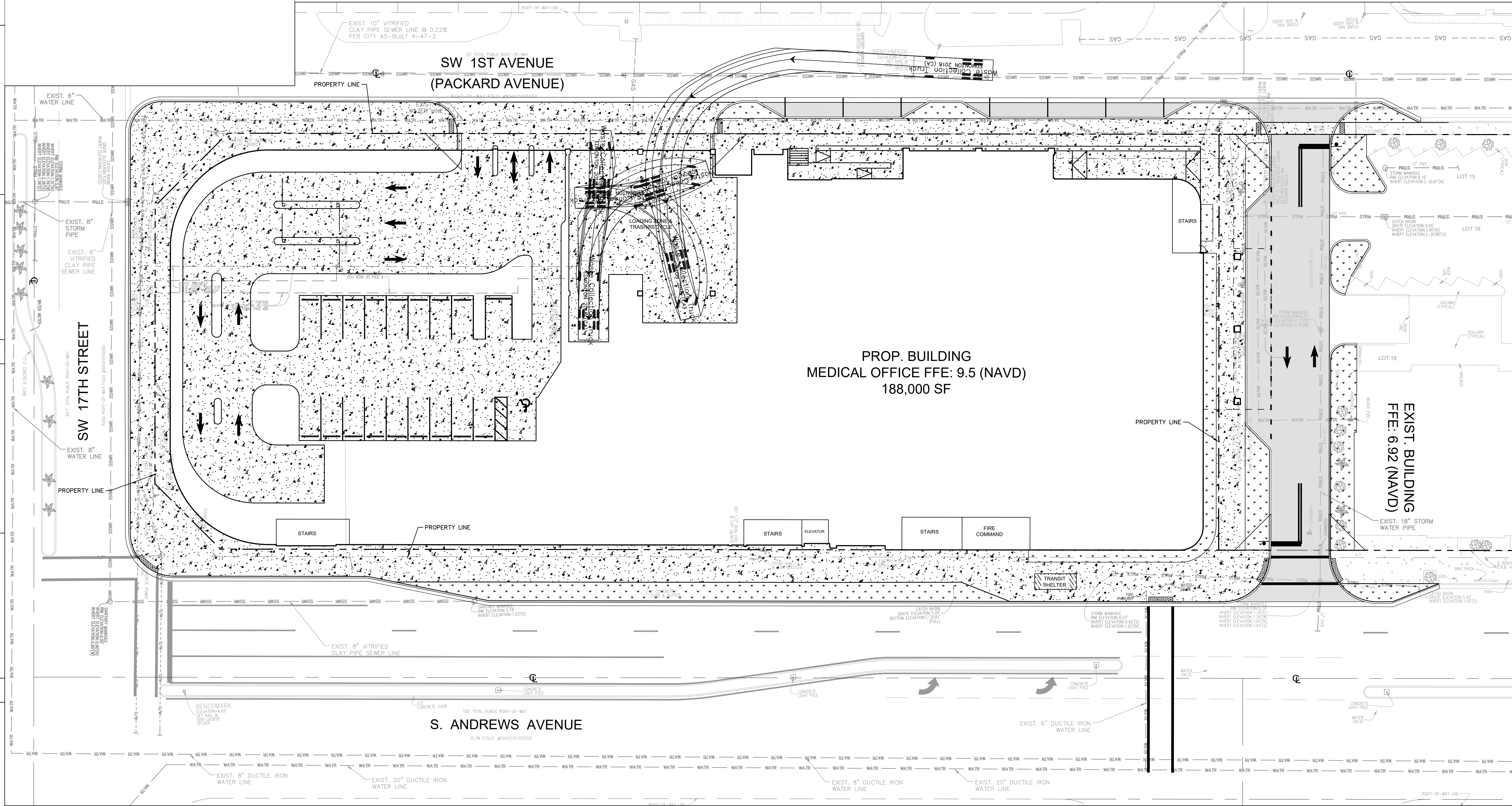


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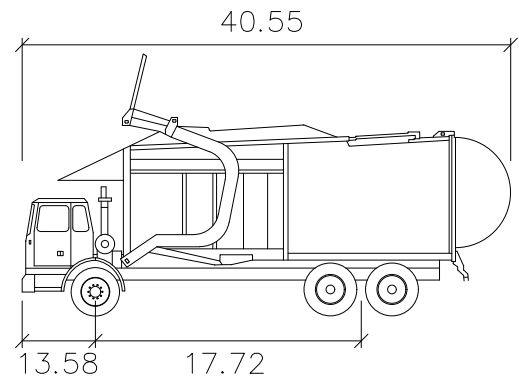


SHEET

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LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY BOUNDARIES
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED DETECTABLE WARNING



Front Loading Collection truck
feet
Width : 8.53
Track : 8.53
Lock to Lock Time : 6.0
Steering Angle : 27.7

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FORT LAUDERDALE, FL 33301
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BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

GARBAGE TRUCK
MANEUVERABILITY

175309
JOB NO. SHEET

C800.0

SW 1ST AVENUE
(PACKARD AVENUE)

PROP. BUILDING
MEDICAL OFFICE FFE: 9.5 (NAVD)
GARAGE FFE: 8.0 (NAVD)
188,000 SF

S. ANDREWS AVENUE



BECK
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
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THOMAS HARGRETT, PLA
FL REGISTRATION #6667512

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5/1/2025

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BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

TREE DISPOSITION
PLAN

175309
JOB NO.

L000.0
SHEET



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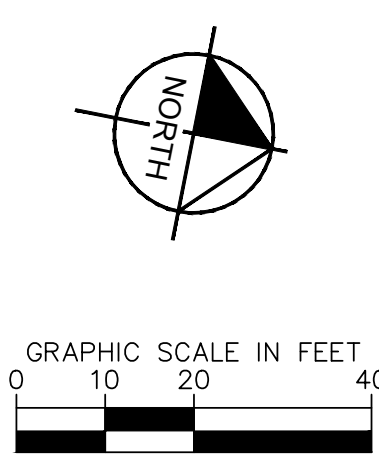
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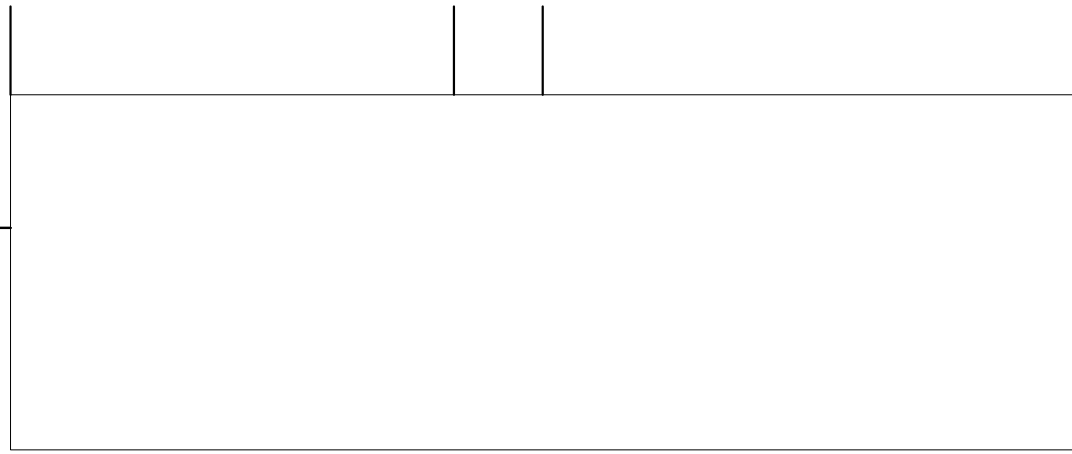
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KEY:

	TREE TO REMAIN
	TREE TO BE REMOVED
	TREE TO BE RELOCATED
	TREE TO BE PROTECTED PER DETAIL ON SHEET L001.0
	SHRUB TO BE REMOVED



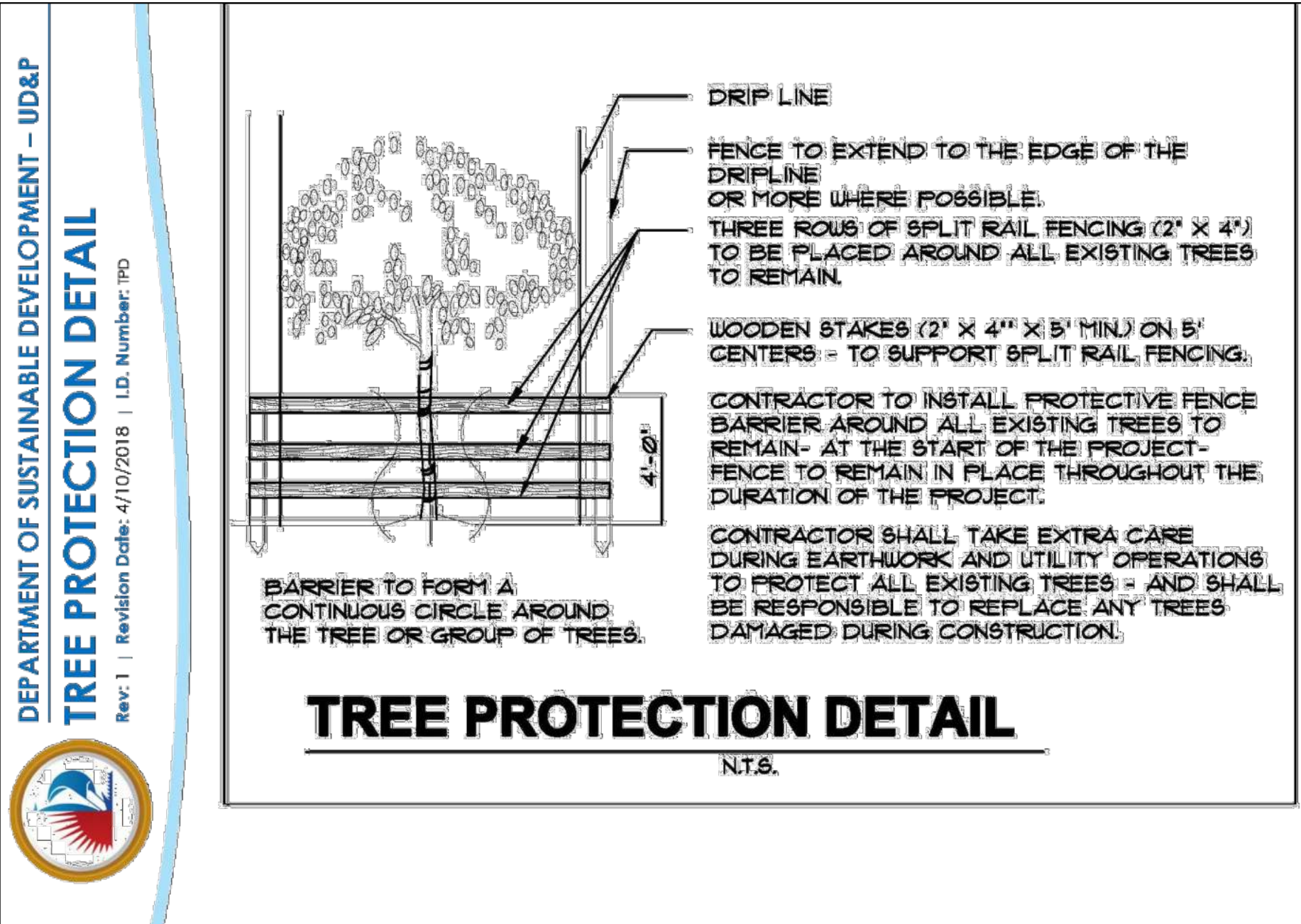


Tree No.	Common Name	Botanical Name	DBH (")	Class Rating	Class Rating %	Condition	Action	Mitigation Required*
1	<i>Cupaniopsis anacardioides</i>	Beach Tamarind	18 in.	F	0%	75%	Remove	0.0
2	<i>Sabal palmetto</i>	Sabal Palm	12' CT				Remove	1 PALM
3	<i>Bursera simaruba</i>	Gumbo Limbo (S)	11 in.	A	100%	65%	Remove	\$ 1,520.00
4	<i>Dypsis lutescens</i>	Areca Palm (Double Trunk)	8' CT				Remove	1 PALM
5	<i>Dypsis lutescens</i>	Areca Palm (Triple Trunk)	6' CT				Remove	
6	<i>Sabal palmetto</i>	Sabal Palm	6' CT				Remove	
7	<i>Sabal palmetto</i>	Sabal Palm	8' CT				Remove	1 PALM
8	<i>Sabal palmetto</i>	Sabal Palm	10' CT				Remove	1 PALM
9	<i>Sabal palmetto</i>	Sabal Palm	6' CT				Remove	
10	<i>Sabal palmetto</i>	Sabal Palm	7' CT				Remove	
11	<i>Sabal palmetto</i>	Sabal Palm	4' CT				Remove	
12	<i>Sabal palmetto</i>	Sabal Palm	9' CT				Remove	1 PALM
13	<i>Bursera simaruba</i>	Gumbo Limbo	STUMP	A	100%	0%	Remove	0.0
14	<i>Sabal palmetto</i>	Sabal Palm	6' CT				Remove	
15	<i>Sabal palmetto</i>	Sabal Palm	4' CT				Remove	
16	<i>Lagerstroemia indica</i>	Crape Myrtle (Multi Trunk)(S)	20 in.	C	60%	70%	Remove	\$ 3,480.00
17	<i>Quercus virginiana</i>	Southern Live Oak	7 in.	A	100%	70%	Remove	4.9
18	<i>Cordia sebestena</i>	Orange Geiger (S)	10 in.	B	80%	70%	Remove	\$ 1,544.00
19	<i>Cordia sebestena</i>	Orange Geiger	5 in.	B	80%	50%	Remove	2.0
20	<i>Lagerstroemia indica</i>	Crape Myrtle (Multi Trunk)(S)	20 in.	C	60%	75%	Remove	\$ 3,480.00
21	<i>Cordia sebestena</i>	Orange Geiger	4 in.	B	80%	70%	Remove	2.2
22	<i>Bursera simaruba</i>	Gumbo Limbo(S)	14 in.	A	100%	75%	Remove	\$ 3,180.00
23	<i>Bursera simaruba</i>	Gumbo Limbo(S)	17 in.	A	100%	70%	Remove	\$ 3,500.00
24	<i>Bursera simaruba</i>	Gumbo Limbo(S)	15 in.	A	100%	75%	Remove	\$ 3,380.00
25	<i>Quercus virginiana</i>	Southern Live Oak(S)	8 in.	A	100%	75%	Remove	\$ 1,610.00
26	<i>Dypsis lutescens</i>	Areca Palm (Double Trunk)	15' CT				Remove	1 PALM
27	<i>Quercus virginiana</i>	Southern Live Oak(S)	10 in.	A	100%	90%	Relocate	
28	<i>Dypsis lutescens</i>	Areca Palm (Double Trunk)	13' CT				Remove	1 PALM
29	<i>Quercus virginiana</i>	Southern Live Oak(S)	8 in.	A	100%	70%	Relocate	
30	<i>Lagerstroemia indica</i>	Crape Myrtle (Multi Trunk)(S)	15 in.	C	60%	65%	Remove	\$ 1,692.00
31	<i>Lagerstroemia indica</i>	Crape Myrtle (Multi Trunk)(S)	20 in.	C	60%	75%	Remove	\$ 3,720.00
32	<i>Dypsis lutescens</i>	Areca Palm (Double Trunk)	10' CT				Remove	1 PALM
33	<i>Quercus virginiana</i>	Southern Live Oak(S)	9 in.	A	100%	90%	Relocate	
34	<i>Bursera simaruba</i>	Gumbo Limbo(S)	14 in.	A	100%	80%	Remove	\$ 3,770.00
35	<i>Bursera simaruba</i>	Gumbo Limbo(S)	12 in.	A	100%	80%	Remove	\$ 2,880.00
36	<i>Dypsis lutescens</i>	Areca Palm (Double Trunk)	15' CT				Remove	1 PALM
37	<i>Quercus virginiana</i>	Southern Live Oak	7 in.	A	100%	80%	Relocate	
38	<i>Lagerstroemia indica</i>	Crape Myrtle (Multi Trunk)(S)	22 in.	C	60%	70%	Remove	\$ 4,140.00
39	<i>Dypsis lutescens</i>	Areca Palm (Double Trunk)	12' CT				Remove	1 PALM
40	<i>Dypsis lutescens</i>	Areca Palm	15' CT				Remove	1 PALM
41	<i>Dypsis lutescens</i>	Areca Palm	16' CT				Remove	1 PALM
42	<i>Lagerstroemia indica</i>	Crape Myrtle (Multi Trunk)(S)	20 in.	C	60%	70%	Remove	\$ 3,480.00
43	<i>Quercus virginiana</i>	Southern Live Oak	7 in.	A	100%	75%	Remove	5.3
44	<i>Bursera simaruba</i>	Gumbo Limbo (S)	18 in.	A	100%	75%	Remove	\$ 5,000.00
45	<i>Bursera simaruba</i>	Gumbo Limbo (S)	11 in.	A	100%	75%	Remove	\$ 2,120.00
46	<i>Bursera simaruba</i>	Gumbo Limbo (S)	20 in.	A	100%	70%	Remove	\$ 4,990.00
47	<i>Dypsis lutescens</i>	Areca Palm	15' CT				Remove	1 PALM
48	<i>Dypsis lutescens</i>	Areca Palm	18' CT				Remove	1 PALM
49	<i>Lagerstroemia indica</i>	Crape Myrtle (Multi Trunk)(S)	20 in.	C	60%	70%	Remove	\$ 3,480.00
50	<i>Quercus virginiana</i>	Southern Live Oak	6 in.	A	100%	75%	Remove	4.5
51	<i>Quercus virginiana</i>	Southern Live Oak	6 in.	A	100%	70%	Remove	4.2
52	<i>Quercus virginiana</i>	Southern Live Oak	6 in.	A	100%	60%	Remove	3.6
53	<i>Quercus virginiana</i>	Southern Live Oak(S)	9 in.	A	100%	65%	Remove	\$ 1,400.00
54	<i>Adonidia merrillii</i>	Christmas Palm (Multi Trunk)	6' CT				Remove	
55	<i>Phoenix roebelenii</i>	Pygmy Date Palm	5' CT				Remove	
56	<i>Sabal palmetto</i>	Sabal Palm	1' CT				Remove	
57	<i>Sabal palmetto</i>	Sabal Palm	2' CT				Remove	
58	<i>Lagerstroemia indica</i>	Crape Myrtle (Multi Trunk)(S)	20 in.	C	60%	70%	Remove	\$ 3,480.00
59	<i>Lagerstroemia indica</i>	Crape Myrtle (Multi Trunk)(S)	20 in.	C	60%	70%	Remove	\$ 3,480.00
TOTAL REPLACEMENT DBH REQ. (NON-SPECIMEN)								26.7
TOTAL EQUIVALENT VALUE (SPECIMEN)								\$ 65,326.00
TOTAL PALM REPLACEMENT REQ. (1:1 PALM)								12

*Equivalent Replacement for Non-Specimen Trees per City of Fort Lauderdale Code: DBH X CONDITION RATING % X CLASS RATING % = MITIGATION INCHES REQ.
*Equivalent Value for Specimen Trees per City of Fort Lauderdale Code: Appraisal Method by Registered Landscape Architect using the Guide for Plant Appraisal, 10th Edition
*Equivalent Replacement for Specimen Trees per City of Fort Lauderdale Code: RETAIL COST (WHOLE SALE X 2.5) - EQUIVALENT VALUE OF SPECIMEN TREE = MITIGATION INCHES REQ.

TREE DISPOSITION SUMMARY - NON SPECIMEN	
Total Non-Specimen Trees to be Relocated:	4
Total Non-Specimen Trees to be Removed	27
Total Replacement DBH Required for Mitigation (inches)	26.7
Total Proposed Non-Specimen Tree Mitigation (Inches):	
(6) Orange Geiger @ 3.5" Cal	21.0
(11) Muskogee Crape Myrtle Crape @ 3.5" Cal (Multi)	38.5
(11) Southern Live Oak @ 4" Cal.	44.0
Total Inches provided:	103.5
TREE DISPOSITION SUMMARY - PALMS	
Total Palms to be Protected:	0
Total Palms to be Removed:	25
Replacement Palms Required (1:1 Rate @ 8' CT.)	14.0
Total Proposed Palm Mitigation:	
(17) Solitaire Palms	17.0
Total Surplus:	3.0
TREE DISPOSITION SUMMARY - SPECIMEN	
Total Specimen Trees to be Protected:	0
Total Specimen Trees to be Removed:	21
Total Proposed Specimen Equivalent Value**:	
(via Canopy Trust Fund Payment)	\$ 65,326.00
Total Proposed Specimen Replacement (Inches):	0

**Per City of FTL Code, Equivalent replacement for specimen trees = Equivalent Value of Specimen Trees - 5 of wholesale replacement trees x 2.5



THOMAS HARGRETT, PLA
FL REGISTRATION #6667512

INCOMPLETE DOCUMENTS
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PERMIT, OR
CONSTRUCTION.

5/1/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
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C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

TREE DISPOSITION
DETAILS



Call 811 or visit sunshine811.com two full
business days before digging to have
buried facilities located and marked.

Check positive response codes before you dig!

THE PRESENCE OF GROUNDWATER SHOULD BE
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INCLUDE CONSIDERATION FOR ADDRESSING THIS
ISSUE AND OBTAINING ALL NECESSARY PERMITS.

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175309
JOB NO.

L001.0
SHEET

SW 1ST AVENUE
(PACKARD AVENUE)

SW 1ST /
PACKARD



BECK
501 EAST LAS OLAS BLVD.,
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM



Kimley»Horn

PROP. BUILDING
MEDICAL OFFICE FFE: 9.5 (NAVD)
GARAGE FFE: 8.0 (NAVD)
188,000 SF

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BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

LANDSCAPE PLAN

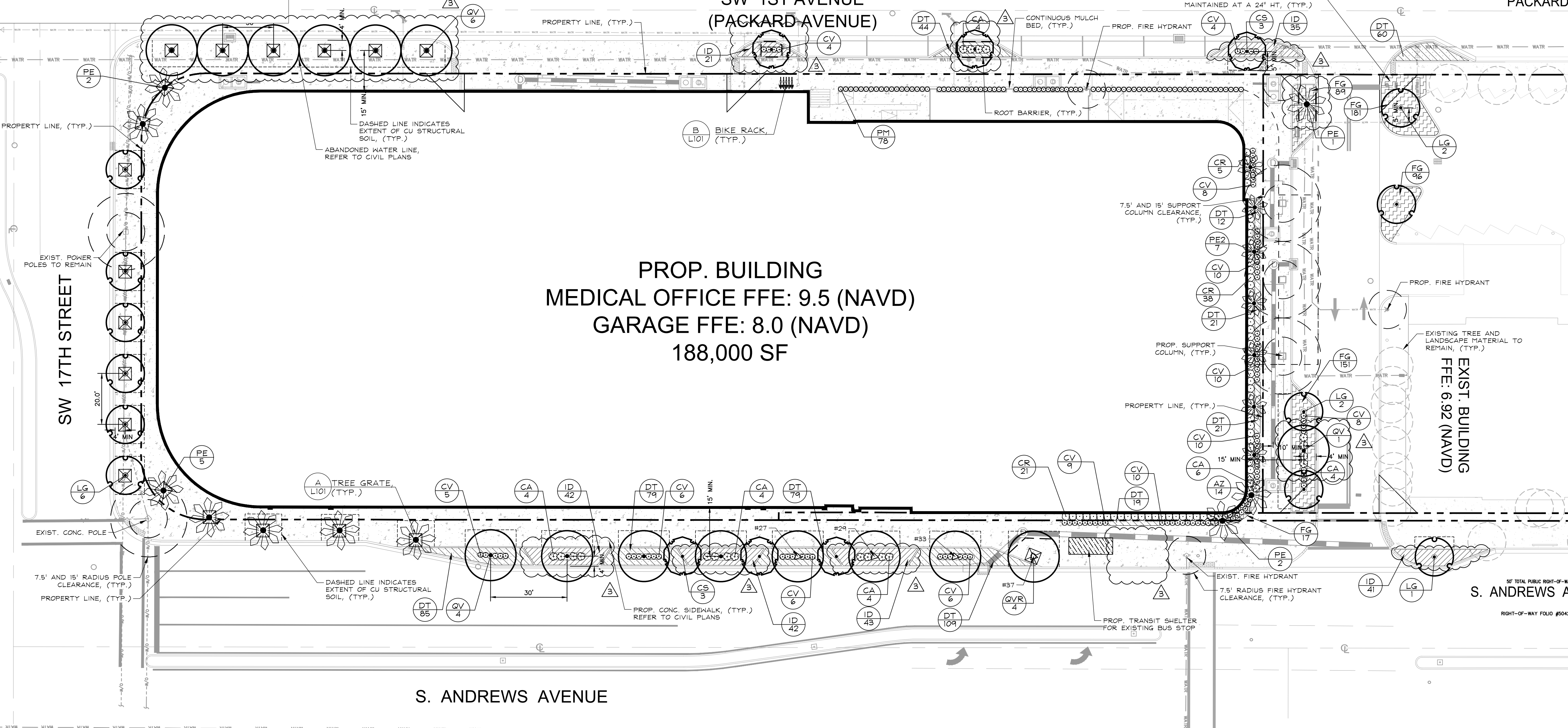


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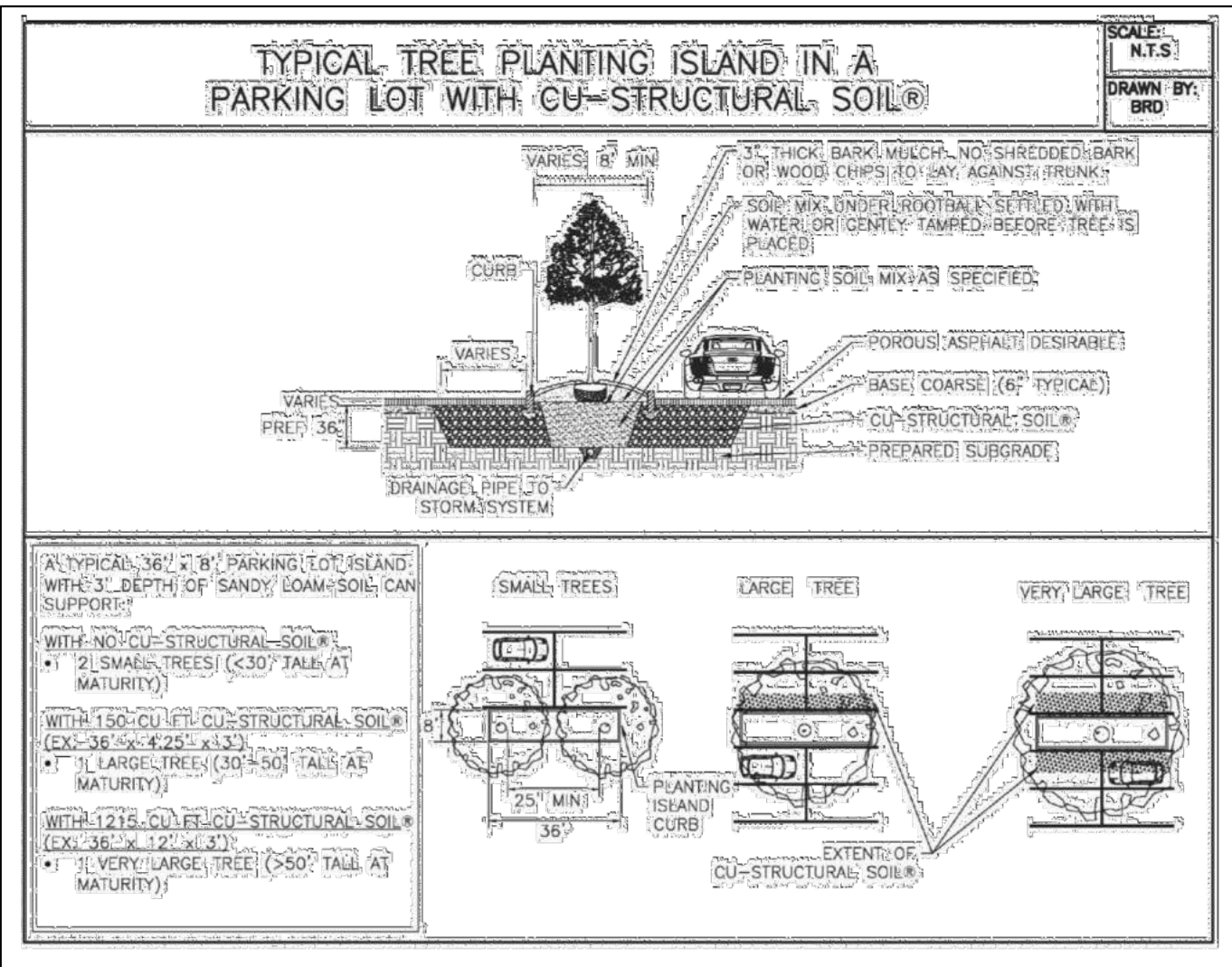
175309
JOB NO.

L100.0
SHEET



PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME
TREES		
CS	Cordia sebestena	Orange Geiger Tree
LG	Lagerstroemia indica 'Muskogee'	Muskogee Crape Myrtle
6' CT	Quercus virginiana	Southern Live Oak
QVR	Quercus virginiana RELOCATED	Southern Live Oak
PALM TREES		
PE	Ptychosperma elegans	Alexander Palm
PE2	Ptychosperma elegans	Alexander Palm
SHRUBS		
AZ	Alpinia zerumbet	Shell Ginger
CA	Cordyline fruticosa 'Auntie Lou'	Auntie Lou Ti Plant
CR	Clusia rosea	Clusia
CV	Codiaeum variegatum 'Mammy'	Mammy Croton
PM	Podocarpus macrophyllus 'Pringles'	Dwarf Podocarpus
GROUND COVERS		
DT	Dianella tasmanica	Flax Lily
FG	Ficus microcarpa 'Green Island'	Green Island Ficus
ID	Ilex vomitoria 'Schillings Dwarf'	Schillings Dwarf Yaupon Holly



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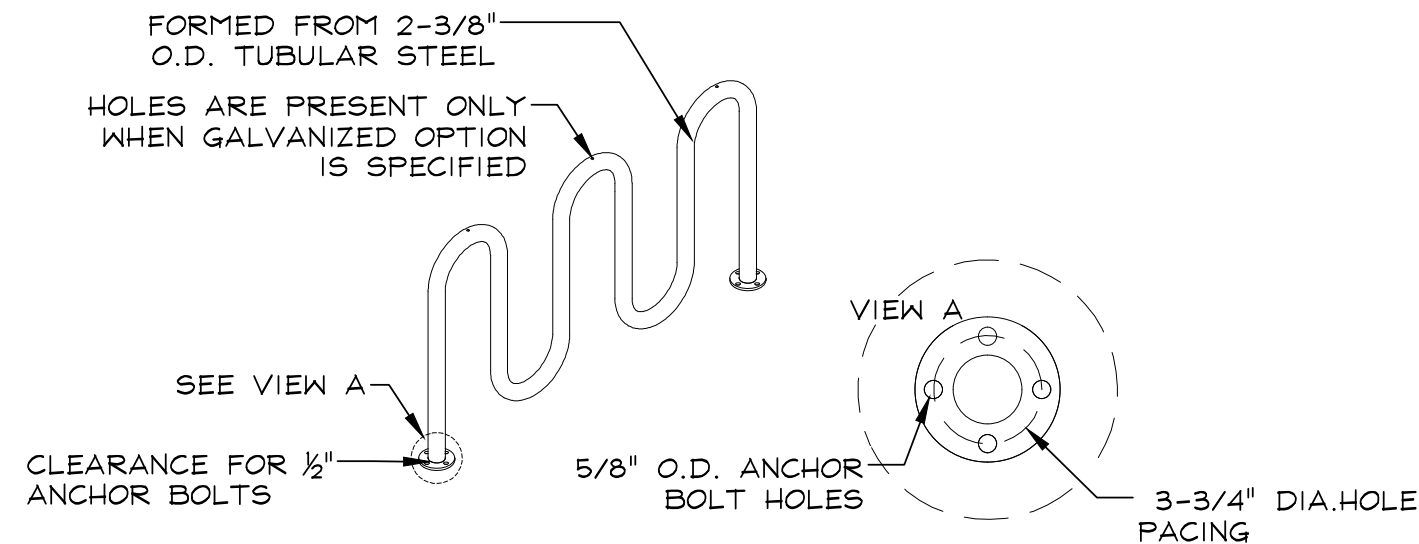
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CODE REQUIREMENTS (PER FT. LAUDERDALE LAND DEVELOPMENT CODE)

SITE AREA: 75,646 SF (1.74 ACRES) ZONING: SRAC-SAe LAND USE: SRAC	IMPERVIOUS AREA: 6,134 SF (0.14 ACRES) PERVIOUS AREA: 964 SF (0.02 ACRES) BUILDING AREA: 67,762 SF (1.56 ACRES)		
		REQUIRED	PROVIDED
SEC. 47-21.8.E			
50% OF ALL VEGETATION, EXCLUDING ALL TURFGRASS, SHALL BE NATIVE		24 TREES/PALMS	21 (44%) TREES/PALMS
48 TREES/PALMS X 50% = 24 TREES/PALMS		783 SHRUBS/GC	288 (19%) SHRUBS/GC
1,565 SHRUBS/GC X 50% = 783 SHRUBS/GC			
SEC. 47-21.8.R			
NO MORE THAN 50% OF THE LANDSCAPED AREA MAY BE IN TURFGRASS		482 SF (MAX)	0 SF (0%)
964 SF PERVIOUS AREA X 50% = 482 SF MAX			
SEC. 47-21.8.S			
A MINIMUM OF 50% OF THE LANDSCAPED AREA MUST BE DROUGHT TOLERANT		24 TREES/PALMS	48 (100%) TREES/PALMS
48 TREES/PALMS X 50% = 24 TREES/PALMS		783 SHRUBS/GC	1,455 (92%) SHRUBS/GC
1,565 SHRUBS/GC X 50% = 783 SHRUBS/GC			
SEC. 47-21.12.A.1			
LANDSCAPING SHALL BE PROVIDED IN A SQUARE FOOTAGE AREA EQUAL TO A MINIMUM OF 20% IF THE GROSS VEHICULAR USE AREA. THIS AREA SHALL CONSIST OF PERIMETER, PENINSULAR AND INTERIOR LANDSCAPES AND SHALL NOT EXTEND MORE THAN 10' BEYOND THE VUA		365 SF	964 SF
1,825 SF VUA (EMERGENCY DROP-OFF) X 20% = 365 SF LANDSCAPE AREA			
SEC. 47-21.12.C.1			
ONE TREE AND 6 SHRUBS SHALL BE REQUIRED FOR EVERY 1,000 SF OR FRACTION THEREOF, OF VUA		2 TREE	48 TREES
1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 1 TREE = 2 TREES		12 SHRUBS	1,565 SHRUBS
1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 6 SHRUBS = 12 SHRUBS			
SEC. 47-21.12.C.1.a			
THE FIRST 25%, OR FRACTION THEREOF, OF THE REQUIRED TREES SHALL BE SHADE SPECIES WITH A 3 1/2" MIN TRUNK CALIPER, AND SHALL BE DISTRIBUTED BETWEEN INTERIOR AND PERIMETER LANDSCAPE AREAS		12 TREES	15 TREES (QV,QVR)
48 REQUIRED TREES X 25% = 12 TREES			
SEC. 47-21.12.C.1.c			
20% OF THE REQUIRED TREES SHALL BE CONSPICUOUSLY FLOWERING SPECIES		10 TREES	17 TREES (LG,CS)
48 REQUIRED TREES X 20% = 10 TREES			
SEC. 47-21.13.B.1.a			
ALL AREAS NOT BEING USED FOR STRUCTURES, REQUIRED WALKS, VUA (INCLUDING LANDSCAPE), DECKING, POOL AND OTHER IMPERVIOUS AREAS, SHALL BE COVERED WITH LAWN OR GROUND COVER		YES	YES
SEC. 47-21.13.B.10			
NO MORE THAN 50% OF THE OVERALL TREE COUNT MAY BE ACCOUNTED FOR BY ONE GENUS, AND MINIMUM 40% SHALL BE NATIVE		MAX 24 TREES	11 TREES (QV, LG)
48 TREES/PALMS X 50% = MAX 24 TREES OF SAME GENUS		19 TREES/PALMS	21 (44%) TREES/PALMS
48 TREES/PALMS X 40% = 19 NATIVE TREES/PALMS			
SRAC-SA CHAPTER 2			
STREET TREES SHALL BE PROVIDED AT A RATIO OF ONE LARGE TREE PER 30' OF STREET FRONTAGE OR ONE ORNAMENTAL/PALM TREE PER 20' OF STREET FRONTAGE, NOT SUBTRACTING INGRESS/EGRESS DIMENSIONS.			
NORTH FRONTAGE: 175 LF / 20 LF = 9 TREES EAST FRONTAGE: 440 LF / 30 LF = 15 TREES SOUTH FRONTAGE: 175 LF / 20 LF = 9 TREES WEST FRONTAGE: 440 LF / 30 LF = 15 TREES		9 TREES 15 TREES 9 TREES 15 TREES	3 TREES + 9 PALMS 11 TREES + 4 PALMS 6 TREES + 3 PALMS 9 TREES

PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT TOL.	QTY
TREES								
CS	Cordia sebestena	Orange Geiger Tree	F.G.	3.5" Cal.	14' HT X 6' SPR	Yes	Yes	6
LG	Lagerstroemia indica 'Muskogee'	Muskogee Grape Myrtle	F.G.	3.5" Cal.	14' HT X 6' SPR	No	Yes	11
QV	Quercus virginiana 6' CT	Southern Live Oak	F.G.	4" Cal.	20' HT X 8' SPR	Yes	Yes	11
QVR	Quercus virginiana 6' CT	Southern Live Oak	Relocated					4
PALM TREES								
PE	Ptychosperma elegans	Alexander Palm	F.G.		14' CT	No	Yes	10
PE2	Ptychosperma elegans	Alexander Palm	F.G.		8' CT	No	Yes	7
SHRUBS								
AZ	Alpinia zerumbet	Shell Ginger	Cont.	24" O.C.	30" HT x 24" SPR	No	Low	14
CA	Cordyline fruticosa 'Auntie Lou'	Auntie Lou Ti Plant	Cont.	36" O.C.	3-4' HT	No	Yes	26
CR	Clusia rosea	Clusia	Cont.	36" O.C.	30" HT x 24" SPR	Yes	Yes	64
CV	Codiaeum variegatum 'Mammy'	Mammy Croton	5 gal	24" O.C.	18"x18"	No	Low	96
PM	Podocarpus macrophyllus 'Pringles'	Dwarf Podocarpus	Cont.	24" O.C.	24" HT x 20" SPR	No	Yes	78
GROUND COVERS								
DT	Dianella tasmanica	Flax Lily	Cont.	18" O.C.	12"x12"	No	Yes	529
FG	Ficus microcarpa 'Green Island'	Green Island Ficus	Cont.	18" O.C.	15"x15"	No	Yes	534
ID	Ilex vomitoria 'Schillings Dwarf'	Schillings Dwarf Yaupon Holly	Cont.	24" O.C.	18"x18"	Yes	Yes	224



TREE GRATE - RECTANGLE

MANUFACTURER: IRONSMITH
WWW.IRONSMITH.CC
(800) 338-4766

MODEL: GRATE - 4850 OLYMPIAN
FRAME - 48x48F

SIZE: 48" X 48" IN 2 SECTIONS
1/4" MAXIMUM SLOT OPENINGS
24" TREE OPENING

COLOR: YELLOW BRASS

FINISH: STANDARD BRUSH FINISH

- NOTES:
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 2. TREAT ALL BRASS WITH THE FOLLOWING TARNISH TO BRONZE:
 - SULFURATED POTASH - GRAPE SIZED CLUMP, CRUSHED W/ DISTILLED WATER - 1 PINT
 - APPLY EVENLY WITH A SPRAYER AND LET DRY. RINSE WITH COOL WATER.
 - CONTRACTOR TO REPEAT PROCESS UNTIL TARNISHING REACHES OWNER-DESIRED DARKNESS, UP TO FOUR TREATMENTS.
 3. OUTER FRAME DIMENSION IS 3/4" ± 1/8" GREATER THAN THE GRATE
 4. ESTIMATED QUANTITY - 30

BIKE RACK

1. MANUFACTURER: VICTOR STANLEY (WWW.VICTORSTANLEY.COM)
FLORENCE GIBENRO - florenceg@victorstanley.com
2. MODEL: BRCS-105, CYCLE SENTRY
3. COLOR/FINISH: BLACK
4. INSTALLATION: SURFACE MOUNT IN FOOTING PER MANUFACTURER'S SPECIFICATION USING SS TAMPER RESISTANT EXPANSION BOLTS.
5. MINIMUM QUANTITY: 1
6. OWNER TO CONFIRM SELECTION FROM MANUFACTURER'S FULL RANGE

PLANTING NOTES:

1. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND ALL CONTRACT DOCUMENTS FOR FURTHER AND COMPLETE INSTRUCTIONS.
2. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING.
3. PLANT SIZES LISTED ARE THE MINIMUM SIZE THAT WILL BE ACCEPTED FOR THAT PLANT.
4. ANY SUBSTITUTION IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNERS REPRESENTATIVE BEFORE PLANTING CAN BEGIN.
5. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR INTERFERE WITH EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
6. THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS.
7. CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.
8. ALL NEW AND TRANSPLANTED PLANT MATERIAL SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

TREE GRATE - RECTANGLE

PLAN

1"=1'-0"

BIKE RACK

NTS



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.,
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235

WWW.BECKARCHITECTURE.COM



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BROWARD HEALTH
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GARGAGE

LANDSCAPE DETAILS



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L101.0

SHEET

GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

1. GENERAL

MATERIALS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. UPON SUBMITTALS' APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SUBMITTAL
MULCH	PRODUCT DATA
TOPSOIL MIX	AMENDMENT MIX/ PRODUCT DATA/ TEST RESULTS
PLANTS	PHOTOGRAPHS OF ONE (1) OF EACH SPECIES (OR TAGGED IN NURSERY) CLIENT-REQUESTED TAGGING MAY SUBSTITUTE PHOTOS. INDICATE SIZES (HEIGHT/WIDTH) AND QUALITY PER SPEC.
FERTILIZER	PRODUCT DATA
INNOCUANT	PRODUCT DATA
HERBICIDE	PRODUCT DATA
STAKING/GUYING	FOR ALTERNATE TO DETAILS: SEND PRODUCT DATA, DETAIL

2. PLANT MATERIALS

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1992 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

1. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF 20% CLEAN FLORIDA MUCK AND 80% PARTS CLEAN SAND. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
2. MUCK (OR MUCKY PEAT) FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, AND OF A VERY HIGH ORGANIC CONTENT DERIVED FROM FLORIDA SOURCES; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
3. SAND FOR USE IN PREPARING SOIL MIXTURE SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY THE OWNER.
4. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
5. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

F. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

*WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZER

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

*FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A MINIMUM DEPTH OF 3 INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). TYPE OF MATERIAL: *FLORIMULCH® OR SHREDDED, STERILE EUCALYPTUS MULCH

I. DIGGING AND HANDLING

1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILT-PRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
2. BALLED AND BURLAPPED PLANTS (BBB) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.
3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS, COMPLYING WITH FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO PLANTING.
4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.
5. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB- BASES.

J. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, FLORIDA #1 OR BETTER.
2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
3. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.
4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL IS OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.

K. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

L. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

M. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

N. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.
2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.
3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES.

O. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL - 811 - TO LOCATE UTILITIES.
3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND ADEQUATE PERCOLATION CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.

4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES, METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.

7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 2601, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER PERCOLATION. IF POOR PERCOLATION EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL. TREES SHALL BE SET PLUMBS AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTIN' IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.

8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.

9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.

10. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT GROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY HAND (AFTER TAMPING).

11. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INCULCATION.

12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

13. PRUNING: TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A-300.

14. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" TO ACHIEVE SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

16. MULCHING: PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED UNDER THIS CONTRACT.

17. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER NEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM

4. SODDING

- A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- B. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.
- C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOFT SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED - REFER TO DETAILS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SNEATING OR EXCESSIVE HEAT AND MOISTURE.

6. LAWN MAINTENANCE:

- A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADED IF NECESSARY).
- B. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

Q. CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

R. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

S. MAINTENANCE (ALTERNATE BID ITEM)

CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST-PER-MONTH BASIS.

T. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

U. WARRANTY

1. THE LIFE AND SATISFACTORY CONDITION OF ALL 7 GALLON AND LARGER PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.
3. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.
4. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.



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CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

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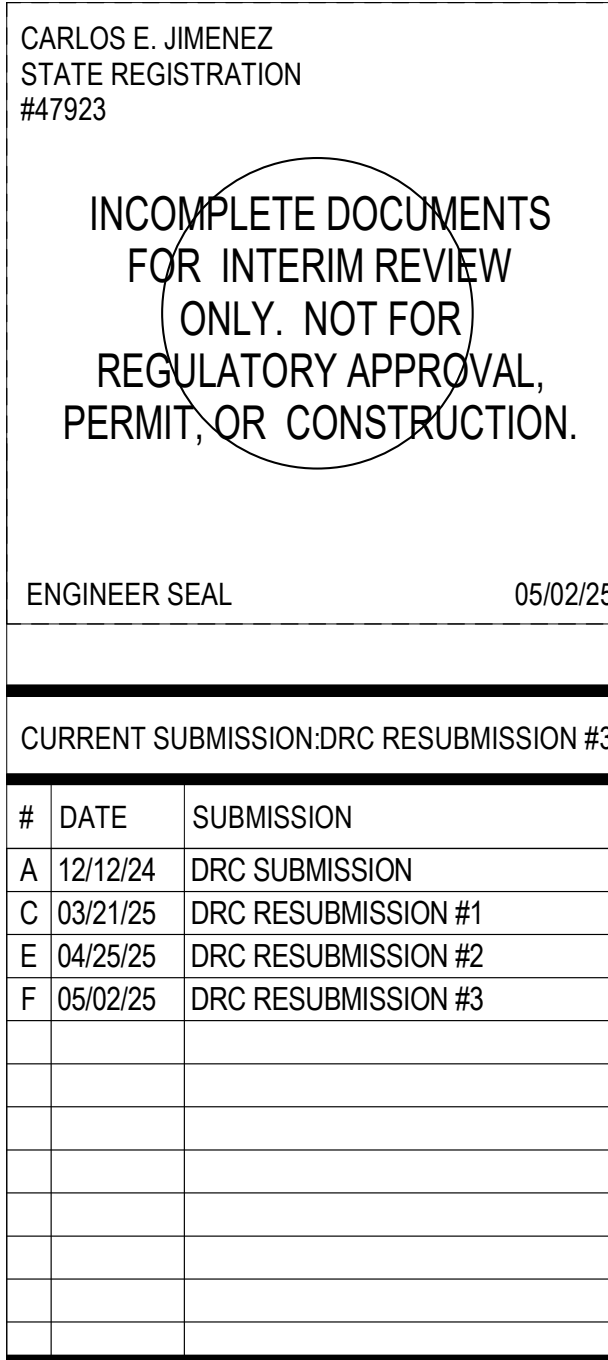
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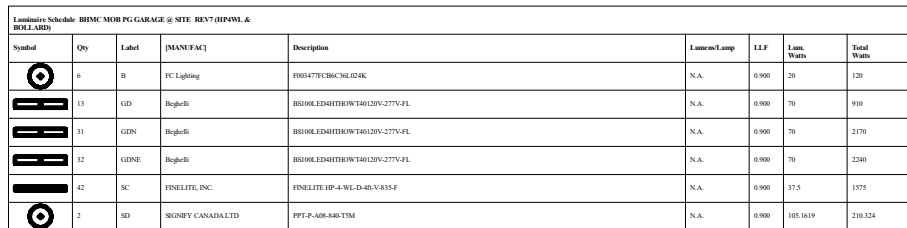
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SHEET



SITE PLAN - PHOTOMETRIC STUDIES

E-100

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PROP. BUILDING
MEDICAL OFFICE FFE: 9.5 (NAVD)
188,000 SF

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