



ADMINISTRATIVE REVIEW – NOTICE OF DETERMINATION

Site Plan Level I: Change of Use from used car lot to retail/restaurant/dog park with outdoor seating

Project Name / Case No: Progresso Park / PLN-AR-19120011

Applicant / Agent: 825 Progresso Drive, LLC / Jay Adams

Location: 825 & 833 Progresso Drive

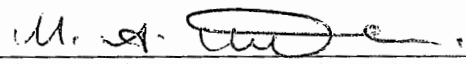
Zoning District: North West Regional Activity Center-Mixed Use northeast (NWRAC-MUne)

Land Use: Northwest Regional Activity Center

Project Description: The applicant is proposing a change of use from an existing used car lot to a retail/restaurant with a dog park and outdoor seating.

Determination: The Administrative Review Committee reviewed the project on January 2, 2020. Approved as per plans and narratives submitted with this application.

Conditions: All applicable ULDR requirements must be complied with. All proper building permits must be applied for.
Engineering:
1. Advisory comments to be tracked during permitting.

Determination Approved By: 
[Zoning Administrator or Designee]

Approval Date: February 8, 2021

Staff Present: Nicholas Kalargyros, Adam Schnell, Yvonne Redding

Staff Contact Person: Tyler Laforme 954-828-5633

NOTE: Please be advised that Administrative Approval is the first step of the development review process. A building permit must be obtained subsequent to this approval.

ADMINISTRATIVE REVIEW						
CASE NUMBER: PLN-AR-19120011			PROJECT NAME: Progresso Park			
✓	DEPARTMENT / DISCIPLINE	REPRESENTATIVE SIGNATURE	APPROVED	SUBJECT TO CONDITIONS	ADDITIONAL COMMENTS	NOT APPLICABLE
X	ENGINEERING	RJM	X		X	
X	LANDSCAPE		X			
X	TRANSPORTATION AND MOBILITY	BKR	X			
X	URBAN DESIGN AND PLANNING	Tyler Laforme	X			
	ZONING					
	OTHER:					
APPROVAL DATE: February 8, 2021		COMMENTS OR CONDITIONS OF APPROVAL MAY BE FOUND IN THE NOTICE OF DETERMINATION <small>*Please note that administrative approval does not extend site plan expiration dates pursuant to ULDR Section, 47-24, I.M. Expiration of site plan and conditional use approvals. Final approval date is the date on which the project was approved by the applicable approving body; Site Plan Level II - Final DRC approval date, Site Plan Level III - PZB approval date, Site Plan Level IV - City Commission approval date.</small>				

DEPARTMENT OF SUSTAINABLE DEVELOPMENT
700 NW 19 AVENUE | FORT LAUDERDALE, FLORIDA 33311
954-828-5207 | www.fortlauderdale.gov

PROGRESSO PARK CONSTRUCTION PERMIT UPDATES NOVEMBER 3, 2021

OWNER/ CLIENT:
PROGRESSO PARK
C/O JAY ADAMS
825 & 833 PROGRESSO DRIVE,
FORT LAUDERDALE, FL 33304

ARCHITECT:
ERIC CHANCELLOR, AIA, NCARB
DEC PARTNERS
400 NW 7th Ave #305
Fort Lauderdale, FL 33311
954.507.7150
AR08770



LOCATION MAP



AERIAL LOCATION

GENERAL NOTES

1. WHERE A TYPICAL CONDITION IS DETAILED & NOTED, IT SHALL BE UNDERSTOOD THAT ALL USE OR SIMILAR CONDITIONS SHALL BE THE SAME UNLESS SPECIFICALLY DETAILED OR NOTED OTHERWISE.
2. ALL DIMENSIONS ARE TO THE FACE OF THE STUDY WALL, GUTTER FACE OR MASONRY (BRICK, CMU) UNLESS NOTED OTHERWISE. DIMENSIONS AT WALLS WITH TILE FINISH ARE TO THE FACE OF SUBSTRATE.
3. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS. THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT OR ANY DIMENSIONAL REQUIREMENT AS NECESSARY FOR THE PROPER EXECUTION OF ANY AFFECTED WORK PRIOR TO THE COMMENCEMENT OF SUCH WORK.
4. THE TERM "AFFECTED WORK" AS USED IN THESE GENERAL NOTES SHALL BE DEEMED TO BE ANY REQUIREMENT OF THE CONSTRUCTION DOCUMENTS & SHALL BE FURTHER DETAILED TO INCLUDE THE PROCUREMENT OF ANY & ALL MATERIALS, TOOLS, LABOR, ETC., AS FURTHER DESCRIBED IN THE PROJECT MANUAL REQUIRED FOR THE EXECUTION OF SUCH WORK.
5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY WITHIN THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR CLARIFICATION & FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. SUCH CLARIFICATION & FOR RESOLUTION SHALL BE PROVIDED BY THE ARCHITECT ACCORDING TO THE PROVISIONS OF THE PROJECT MANUAL PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK.
6. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE, BUILDING & UTILITY CONDITIONS & SHALL REPORT ANY DISCREPANCIES BETWEEN SUCH EXISTING CONDITIONS & THE REQUIREMENTS OF THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR CLARIFICATION & FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. THE ARCHITECT SHALL PROVIDE SUCH CLARIFICATION & FOR RESOLUTION REGARDING ANY SUCH DISCREPANCY ACCORDING TO THE PROVISIONS OF THE PROJECT MANUAL PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY REQUIREMENTS FOR ALL SUCH MISCELLANEOUS COMPONENTS THAT DRAWINGS NECESSARY FOR PROPER EXECUTION OF THE WORK, & ALL SUCH MISCELLANEOUS COMPONENTS SHALL BE DEEMED TO BE PART OF THE SCOPE OF WORK REQUIRED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MANUFACTURER'S REQUIREMENTS FOR MECHANICAL EQUIPMENT RELATED TO POWER, WATER SUPPLY, DRAINAGE, PADS, PENETRATING WALLS & FOR FLOOR/CEILING ASSEMBLIES SHALL BE PROVIDED WITH ALL NECESSARY FRAMES, BRACING, & ACOUSTICAL SEALANT AROUND SUCH OPENINGS. SEE MECHANICAL DRAWINGS & SPECIFICATIONS.
7. THE LOCATION OF ALL NEW PLUMBING FIXTURES, MECHANICAL EQUIPMENT, DUCTWORK, & PIPING ARE TO BE CONSIDERED DIAGNOSTIC UNLESS SPECIFICALLY NOTED & FOR DIMENSIONS OTHERWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION REQUIREMENTS FOR THE SAME & SHALL REPORT ANY CONFLICTS AFFECTING THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. THE ARCHITECT SHALL PROVIDE CLARIFICATION & FOR RESOLUTION REGARDING ANY SUCH CONFLICT ACCORDING TO THE PROVISIONS OF THE PROJECT MANUAL PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY REQUIREMENTS FOR ALL SUCH MISCELLANEOUS COMPONENTS THAT DRAWINGS NECESSARY FOR PROPER EXECUTION OF THE WORK, & ALL SUCH MISCELLANEOUS COMPONENTS SHALL BE DEEMED TO BE PART OF THE SCOPE OF WORK REQUIRED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MANUFACTURER'S REQUIREMENTS FOR MECHANICAL EQUIPMENT RELATED TO POWER, WATER SUPPLY, DRAINAGE, PADS, PENETRATING WALLS & FOR FLOOR/CEILING ASSEMBLIES SHALL BE PROVIDED WITH ALL NECESSARY FRAMES, BRACING, & ACOUSTICAL SEALANT AROUND SUCH OPENINGS. SEE MECHANICAL DRAWINGS & SPECIFICATIONS.
8. THE CONTRACTOR SHALL PROVIDE & INSTALL ALL STIFFENERS, BRACING, BLOCKING, SACK OF PLATES, & SUPPORTING BRACKETS NOT DRAWN OR SPECIFIED BUT REQUIRED FOR THE PROPER INSTALLATION OF ALL CEILING & SHELVING, TOILET & BATH ACCESSORIES, HAND & GUARD RAILS, & OTHER FIXTURES.

DEFINITIONS

- EXTERIOR RESTORATION OPERATIONS**
- NEW** - PROVIDE MATERIAL WHICH MATCHES ORIGINAL MATERIAL IN ALL RESPECTS. USE MATERIAL WITH PERFORMANCE CHARACTERISTICS THAT WILL CLEANER SURFACES THAN OF THE ORIGINAL MATERIAL.
- REPAIR** - RETURN ENTIRE ASSEMBLY TO SOUND CONDITION. MATCH ORIGINAL PROFILES UNLESS NOTED OTHERWISE. INCLUDE ASSOCIATED MATERIALS WHETHER OR NOT EXPOSED TO VIEW AS PART OF THE COMPLETED WORK.
- REPLACE** - REMOVE EXISTING AND INSTALL NEW MATERIAL IN SUCH A MANNER AS TO INSURE STRUCTURAL AND VISUAL INTEGRITY OF THE ENTIRE AREA.
- RESTORE** - RETURN TO ORIGINAL FORM AND CONDITION.

DRAWING LIST

GENERAL	COVER
A000	CODE REVIEW & LIFE SAFETY SHEET/
A010	SITE PLAN
L100	LANDSCAPE PLAN
L-2	EXISTING TREE DISPOSITION PLAN
L-3	LANDSCAPE DETAILS & SPECIFICATIONS
R-1	IRRIGATION PLAN
R-2	IRRIGATION DETAILS & SPECIFICATIONS

SYMBOLS

REMOVE EXISTING WALL ASSEMBLY OF EQUIPMENT

REMOVE EXISTING DOOR AND FRAME

EXISTING WALL CONSTRUCTION

NEW PARTITION AS PER SCHEDULE

NEW MASONRY AS PER SCHEDULE

CEILING HEIGHT & TYPE

DOOR FINISH

WINDOW TYPE LABEL

WINDOW TYPE

WINDOW NUMBER

STONEFRONT TYPE LABEL

STONEFRONT TYPE

STONEFRONT NUMBER

ROOM LABEL

ROOM NAME

ROOM NUMBER

WALL TYPE

REVISION KEY

KEY NOTE

ROUND KEYNOTE

APPLY KEYNOTE TO ALL CONDITIONS THAT APPLY BETWEEN APPROXIMATES



DEC
partners



Approved Architect
ERIC CHANCELLOR
DEC PARTNERS
400 NW 7th Ave #305
Fort Lauderdale, FL 33311
954.507.7150
AR08770

Project:

PROGRESSO PARK

SITE: 825 & 833 PROGRESSO DRIVE
 FT. LAUDERDALE, FL 33304

Keynote:

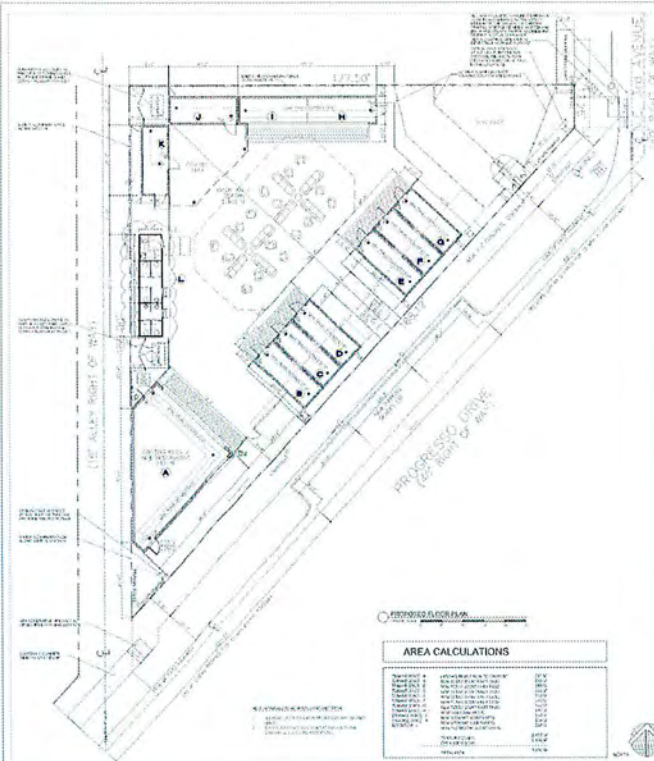
Block:

Block:

ANY SURFACE
 FINISH IS
 TO BE
 AS SHOWN
 IN THE
 PROJECT MANUAL

COVER
A000

CONSTRUCTION PERMIT



FIRE SAFETY LEGEND

REFER TO FLOOR PLAN AND EARTHQUAKE TYPICALS FOR SPECIFIC PARTITION LOCATIONS AND DETAILS

- ROOM OCCUPANT LOAD
- AREA IN SQUARE FEET
- OCCUPANT LOAD
- OCCUPANT LOAD FACTOR
- ACTUAL OCCUPANT LOAD BY ACTIVITY(IES)
- FIRE CAPACITY
- FLOOR BOARD
- ELEVATION
- DIRECTION OF TRAVEL WITH OCCUPANT OCCUPANT LOAD HORIZONTAL
- MAXIMUM TRAVEL DISTANCE FROM EXIT
- EXIT
- AREA OF REFUGE
- MINIMUM ACCESSIBLE EXIT
- ACCESSIBLE EXIT
- CLASS 1C FIRE RESISTIBLE EXISTING WALL
- EDGE OF EXISTING WALL SIGN

CODE SUMMARY

BUILDING INFORMATION
 BUILDING ADDRESS: 825 & 833 PROGRESSO DRIVE, FORT LAUDERDALE, FL 33304
 PARCEL ID: 8472000700A-0242000027
 COUNTY/STATE CODE: 27 - FLORIDA, 12-01-0000000000000000
 SITE AREA: 12.14 ACRES
 ZONE: RM-BC (MIXED USE RESIDENTIAL)

APPLICABLE CODES
 THE BUILDING SHALL COMPLY WITH THE FOLLOWING CONSTRUCTION CODES, STANDARDS, & SPECIFICATIONS CODES OF ORDINANCES OF THE CITY OF FORT LAUDERDALE, FLORIDA
 2020 IBC - BUILDING, STRUCTURAL
 2020 IBC - MECHANICAL, ELECTRICAL, PLUMBING, AND MECHANICAL
 2020 IBC - ACCESSIBILITY, SAFETY
 2020 FLOOD DAMAGE PREVENTION CODE

CHARACTER OF OCCUPANCY
 RESIDENTIAL (SINGLE-FAMILY)
 RESIDENTIAL (MULTIFAMILY)
 RESIDENTIAL (MIXED-USE)

CONSTRUCTION TYPE
 II-B
 UNDESIGNED EXTERIOR FINISHES WITH CONCRETE/MASS CONSTRUCTION

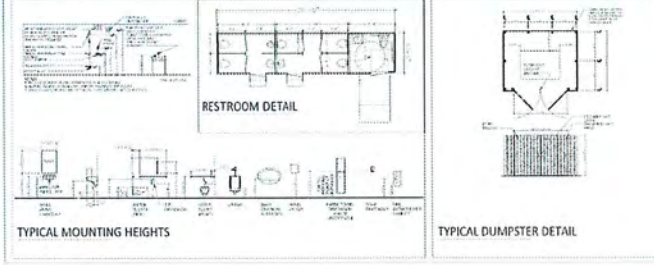
FIRE AND SMOKE RATING
 EXTERIOR WALLS: 2 HR
 INTERIOR WALLS: 1 HR
 FLOOR: 1 HR
 ROOF: 1 HR
 STAIR ENCLAVEMENT: 2 HR
 ELEVATOR SHAFT ENCLAVEMENT: 2 HR
 ELEVATOR PIT ENCLAVEMENT: 2 HR
 ELEVATOR MACHINE ROOM ENCLAVEMENT: 2 HR
 MECHANICAL ROOM ENCLAVEMENT: 1 HR
 ELECTRICAL ROOM ENCLAVEMENT: 1 HR
 TELEPHONE ROOM ENCLAVEMENT: 1 HR
 ELEVATOR HOISTWAY ENCLAVEMENT: 2 HR
 ELEVATOR MACHINE ROOM ENCLAVEMENT: 2 HR
 ELEVATOR PIT ENCLAVEMENT: 2 HR
 ELEVATOR MACHINE ROOM ENCLAVEMENT: 2 HR

FIRE RATING DESIGNATIONS

- 1 HOUR FIRE SEPARATION WALL
- 2 HOUR FIRE SEPARATION WALL
- 3 HOUR FIRE SEPARATION WALL
- 4 HOUR FIRE SEPARATION WALL

PARKING CALCULATIONS

MINIMUM REQUIRED PARKING SPACES: 157 SPACES
 AVAILABLE SPACES: 157 SPACES
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 AVAILABLE SPACES: 157 SPACES
 MINIMUM REQUIRED PARKING SPACES: 157 SPACES
 AVAILABLE SPACES: 157 SPACES



PARKING CALCULATIONS

RESTROOMS (12) x 100' x 50' = 6000 SQ FT
 MEANS OF EGRESS
 ELEVATOR SHAFTS (2) x 100' x 50' = 2000 SQ FT
 MINIMUM REQUIRED PARKING SPACES: 157 SPACES
 AVAILABLE SPACES: 157 SPACES
 MINIMUM REQUIRED PARKING SPACES: 157 SPACES
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MEANS OF EGRESS

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 MINIMUM REQUIRED PARKING SPACES: 157 SPACES
 AVAILABLE SPACES: 157 SPACES

DEC partners

Registered Address:
 ERIC CHANCELLOR
 DEC PARTNERS
 405 HWY 70, Box 4955
 Fort Lauderdale, FL 33304
 (954) 571-7100
 JACB70

PROGRESSO PARK

825 & 833 Progresso Drive
 Fort Lauderdale, FL 33304

CONSTRUCTION PERMIT

A010

Progresso Park

825 & 833 Progresso Drive, Fort Lauderdale, Florida

ARCHITECTURE:

CHASE ARCHITECT, INC.
635 SW 1st AVENUE, SUITE B
FORT LAUDERDALE, FLORIDA 33301
TEL: (954) 467-7892

LANDSCAPE ARCHITECTURE:

M.I.A. GROUP, INC.
1016 NE 45th STREET
OAKLAND PARK, FLORIDA 33334
TEL: (954) 763-4071

CIVIL ENGINEERING:

GATOR ENGINEERING ASSOCIATES, INC.
11390 TEMPLE STREET
COOPER CITY, FLORIDA 33330
TEL: (954) 434-5804

REVISIONS	BY
DATE: 09/10/20 BY: JTC	JTC

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PROPOSED SITE DEVELOPMENT
FOR
PROGRESSO PARK
825 & 833 PROGRESSO DRIVE
FORT LAUDERDALE, FLORIDA

CHASE ARCHITECT, INC.
635 SW 1st Avenue
Fort Lauderdale, Florida 33301
Phone: (954) 467-7892
Corporation
FLORIDA

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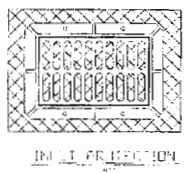
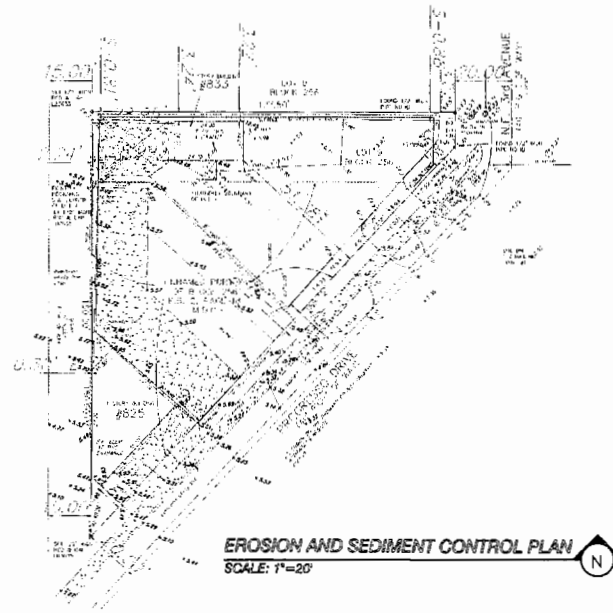
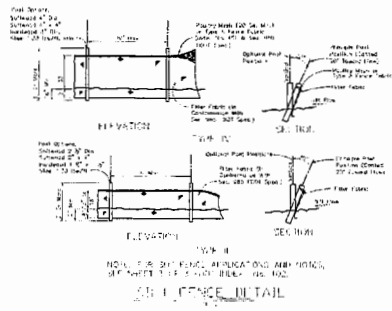
CHASE ARCHITECT, INC.
635 SW 1st Avenue
Fort Lauderdale, Florida 33301
Phone: (954) 467-7892
Corporation
FLORIDA

DATE: 7/10/20
SCALE: AS SHOWN
DRAWN: T.R.C.
CHECKED: JTC
DATE: 7/10/20
DRAWN: T.R.C.

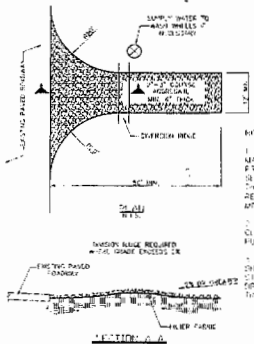
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EROSION AND SEDIMENT CONTROL NOTES

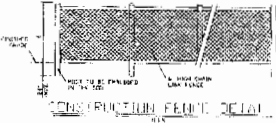
1. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND APPLICABLE WATER MANAGEMENT DISTRICT PERMIT(S) FOR THIS PROJECT.
2. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWERS MANUAL" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION (FDER).
3. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
4. ALL EXCAVATIONS AND BARTHWORX SHALL BE DONE IN A MANNER TO MINIMIZE WATER TURBIDITY AND POLLUTION. DISCHARGE SHALL BE CONTROLLED AND REROUTED THROUGH FILTERS, SILTATION DIAPERS AND SUMPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION, CORRECTION, CONTROL AND ABATEMENT OF EROSION AND WATER POLLUTION IN ACCORDANCE WITH CHAPTER 62-302, FLORIDA ADMINISTRATIVE CODE.
5. THE CONTRACTOR SHALL PAY FOR ANY WATER QUALITY CONTROL VIOLATIONS FROM ANY AGENCY THAT RESULTS IN FINES BEING ASSESSED TO THE OWNER BECAUSE OF THE CONTRACTOR'S FAILURE TO ELIMINATE TURBID RUNOFF FROM LEAVING THE SITE AND RAISING BACKGROUND LEVELS ABOVE EXISTING BACKGROUND LEVEL.
6. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
7. ADDITIONAL PROTECTION - ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DO TO UNFORSEEN CONDITIONS OR ACCIDENTS.
8. SILT FENCES SHALL BE USED ALONG THE PROPERTY LINES TO MINIMIZE OFFSITE SILTATION MITGRATION.
9. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEASE DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
10. SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
11. FILTER FABRIC SHALL BE INSTALL UNDER INLET GRATES AND EXTEND A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. IF MORE THAN ONE STRIP OF FABRIC IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED 1 FOOT.
12. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL AND AS NEEDED.
13. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
14. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE APPLICABLE WATER MANAGEMENT DISTRICT.
15. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
16. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
17. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER BARRIER ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
18. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
19. FLOATING TURBIDITY BARRIERS WILL BE PLACED OFF SET FROM THE SEAWALL ADJACENT TO THE PROPERTY. IF SEAGRASSES ARE PRESENT BARRIERS WILL NOT BE PLACED OVER THEM. THE FLOATING TURBIDITY BARRIERS SHALL ALSO BE INSTALLED IN A MANNER TO PREVENT MANATEE ENTANGLEMENT.
20. ALL DEATERING, EROSION, AND SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL AFTER COMPLETION OF CONSTRUCTION AND SHALL BE REMOVED WHEN AREAS HAVE BEEN STABILIZED.



INSTALL FILTER FABRIC UNDER ALL GRATES TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM ENTERING THE SYSTEM.



TEMPORARY GRAVEL COLLECTION STRUCTURE



CONSTRUCTION FENCE DETAIL

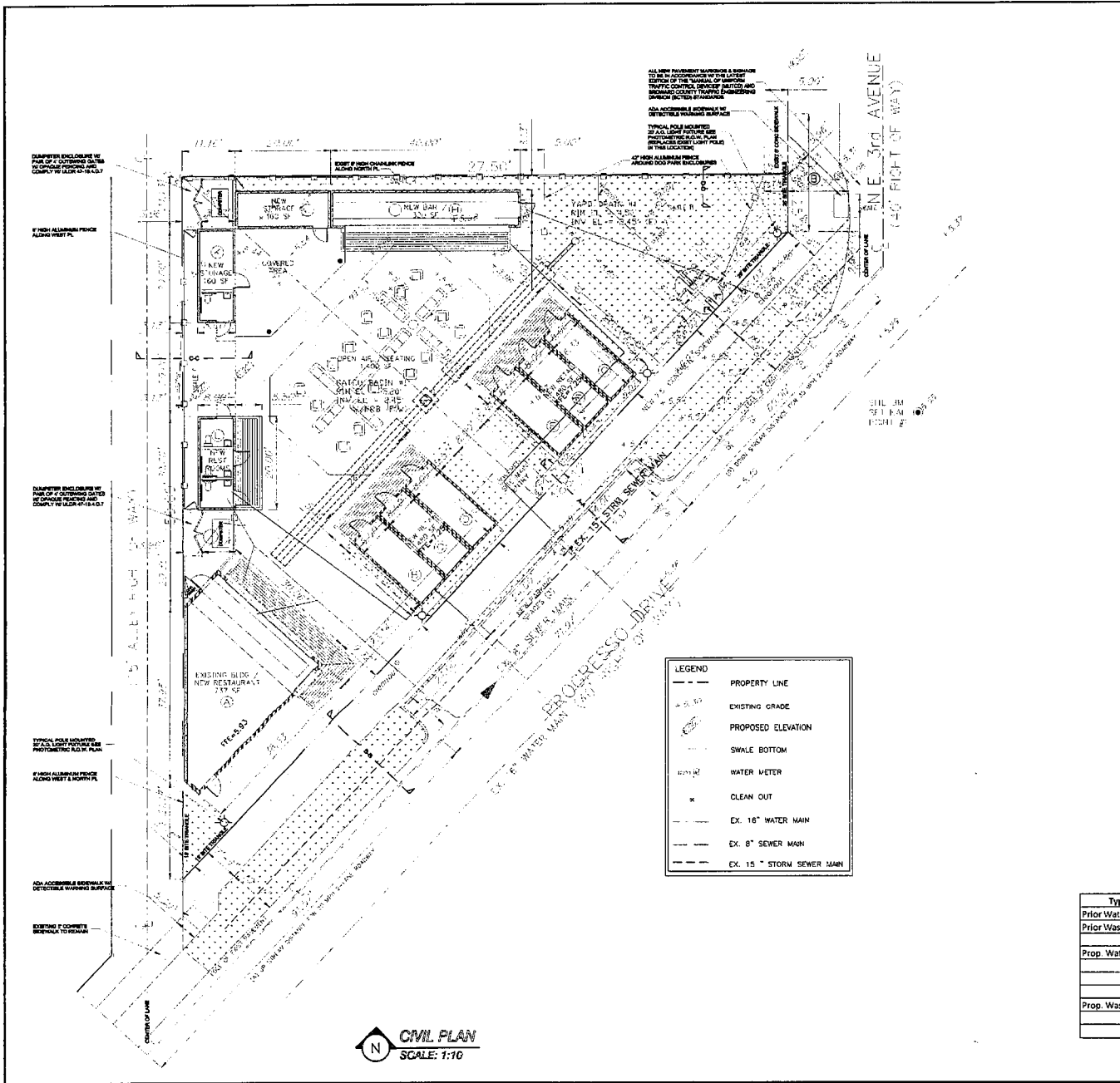
- NOTES:**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 2. WHEN NECESSARY, ALL UTILITIES OF EXISTING STRUCTURES SHALL BE PROTECTED BY INSTALLING PROTECTIVE STRUCTURES.
 3. WHEN NECESSARY, ALL UTILITIES OF EXISTING STRUCTURES SHALL BE PROTECTED BY INSTALLING PROTECTIVE STRUCTURES.



**PROGRESSO PARK
825 & 833 PROGRESSO DRIVE
FORT LAUDERDALE, FLORIDA**

NO. 1	DATE	REVISION

SCALE	PROJECT NO.
DATE	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE
SHEET TITLE	
EROSION & SEDIMENT CONTROL PLAN	
C1 - 4	



LEGEND

- PROPERTY LINE
- EXISTING GRADE
- PROPOSED ELEVATION
- SHALE BOTTOM
- WATER METER
- CLEAN OUT
- EX. 16" WATER MAIN
- EX. 8" SEWER MAIN
- EX. 15" STORM SEWER MAIN

CIVIL PLAN
SCALE: 1:10

LEGAL DESCRIPTION

SEE PLAT AND SURVEY FOR LEGAL DESCRIPTION TO THE PLAT THEREOF, AS RECORDED IN PUBLIC BOOK # 1503, PAGE 15, AT THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. FILE # 2007-01-01-7700

GENERAL NOTES:

1. THESE NOTES ARE TO BE READ IN CONJUNCTION WITH THE CONTRACT DOCUMENTS AND THE LEGAL DESCRIPTION OF THE PROPERTY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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SPECIFIC NOTES:

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8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SITE CALCULATIONS:

DESCRIPTION	EXISTING	PROPOSED
EXISTING FOOTPRINT AREA (SQ. FT.)	10,711.50	2,411.50
EXIST. PARKING SURFACE	1,814.50	1,814.50
NEW PAVED PARKING	1,400.00	1,400.00
GREEN AREA	2,520.00	2,721.50
TOTAL AREA	16,446.00	16,347.50
EXIST. PARKING AREA	2,214.50	2,214.50
EXIST. DRIVEWAY AREA	1,000.00	1,000.00

DEMAND TABLE

Type Demand	Type Unit	ERCs/Unit	No. of Units	ERCs
Prior Water Demand	Office	0.636	1137	0.723
Prior Wastewater Demand	Office	0.636	1137	0.723
Prop. Water Demand	Restaurant	2.495	737	1.839
	Bar	1.236	320	0.396
	Retail	0.55	960	0.528
Prop. Wastewater Demand	Restaurant	2.495	737	1.839
	Bar	1.236	320	0.396
	Retail	0.55	960	0.528



REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 1000-AC-000011
 L.S.E. NO. 30-3050

**PROGRESSO PARK
 825 & 833 PROGRESSO DRIVE
 FORT LAUDERDALE, FLORIDA**

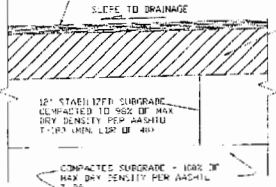
REVISIONS

NO.	DATE	DESCRIPTION

PLA PROJECT NO. 2007
 DATE: 08/20/07
 SCALE: AS SHOWN
 PERIODICITY: PERM
 DRAWN BY: JLB
 CHECKED BY: JLB
 APPROVED BY: JLB

SHEET TITLE
CIVIL PLAN
 C2 of 4

1-1/2" MIN THICK TYPE 2-3
NORMALTY CONCRETE PLACED
IN 4" LIFTS. SECOND LIFT TO
BE INSTALLED AFTER FINAL
LANDSCAPING AND IRRIGATION
INSPECTIONS.

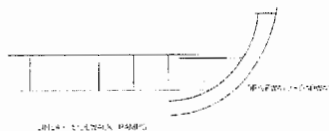


1/2" MIN LIMB ROCK
BASE COMPACTED
TO 95% OF MAX
DRY DENSITY PER
ASTM D 1557
WHEN LBM IS 100

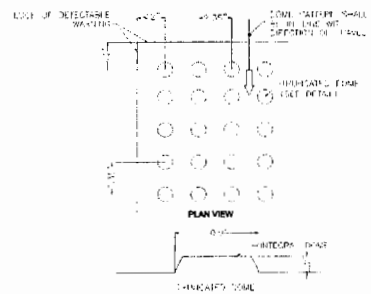
NOTES

1. STABILIZED SUBGRADE SHALL HAVE A MINIMUM UNIFORM BEARING RATIO (UBR) OF 40 AND IS REQUIRED FOR ALL NEW PAVEMENT CONSTRUCTION.
2. ALL STABILIZED SUBGRADE SHALL BE STRIPING COULDED FOR GRADE AND PASS ALL REQUIRED DENSITY TESTING PRIOR TO PLACEMENT OF LIMB ROCK BASE.
3. LIMB ROCK BASE FOR PARKING LOTS SHALL BE A MINIMUM OF TWO COURSES OF CALCEM AND MAGNULIM.
4. PRIME COAT SHALL BE APPLIED TO ALL FINISHED LIMB ROCK BASE SURFACES AFTER BOARDING AND DENSITY INSPECTIONS. APPLICATION RATES AND MATERIALS SHALL BE IN ACCORDANCE WITH FOOT SPECIFICATIONS.
5. TACK COAT SHALL BE PLACED BETWEEN SURFACE LIFTS. APPLICATION RATES AND MATERIALS SHALL BE IN ACCORDANCE WITH FOOT SPECIFICATIONS.
6. THE FINAL PAVEMENT LIFT SHALL NOT BE PLACED UNTIL ALL FINAL LANDSCAPING IS IN PLACE AND THE IRRIGATION SYSTEM IS FINISHED.

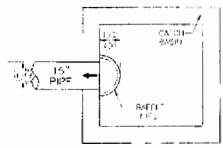
ASPHALTIC CONCRETE PAVEMENT DETAIL
N.T.S.



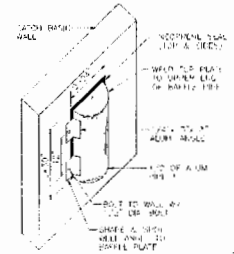
ALL SURFACES OTHER THAN CURB SHALL HAVE BEATABLE WARNING SURFACES THAT
FURNISH THE 1/4\"/>



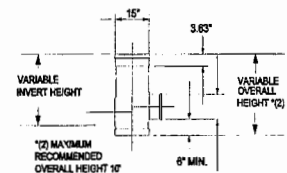
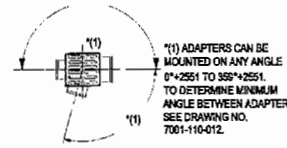
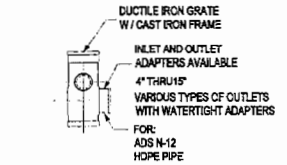
CURB RAMP DETECTABLE WARNING
N.T.S.



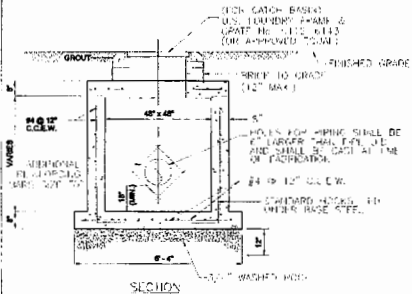
NOTES
1. BEATABLE SURFACES SHALL BE PLACED AT EACH END OF THE CURB RAMP AND AT THE POINTS OF ENTRY AND EXIT FROM THE CURB RAMP.
2. THE SURFACES SHALL BE IN ACCORDANCE WITH FOOT SPECIFICATIONS.



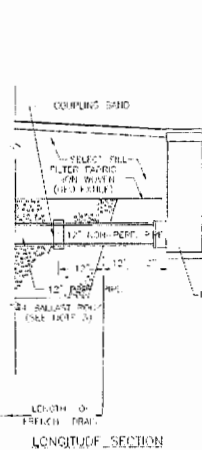
POLLUTION RETARDENT BAFFLE (PRB)
N.T.S.



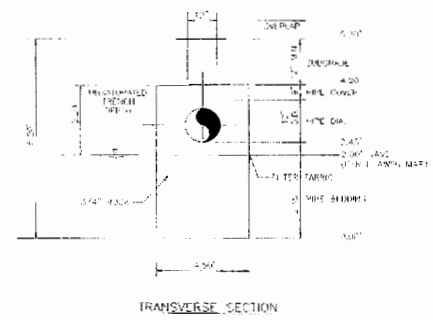
15\"/>



PRECAST DRAINAGE CATCH BASIN
N.T.S.



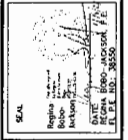
LONGITUDINAL SECTION



TRANSVERSE SECTION

TYPICAL DETAIL - EXFILTRATION TRENCH

- NOTES**
1. THE CURB RAMP SHALL BE PLACED AT EACH END OF THE CURB RAMP AND AT THE POINTS OF ENTRY AND EXIT FROM THE CURB RAMP.
 2. THE SURFACES SHALL BE IN ACCORDANCE WITH FOOT SPECIFICATIONS.
 3. THE SURFACES SHALL BE PLACED AT EACH END OF THE CURB RAMP AND AT THE POINTS OF ENTRY AND EXIT FROM THE CURB RAMP.



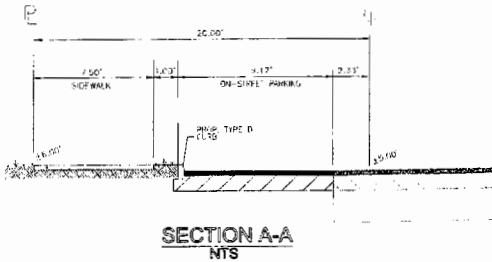
**PROGRESSO PARK
825 & 833 PROGRESSO DRIVE
FORT LAUDERDALE, FLORIDA**

REVISIONS	NO.	DATE	DESCRIPTION

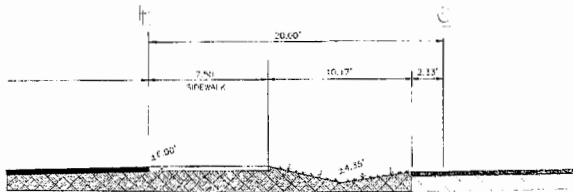
SEA PROJECT NO. 2000-001
DATE: 05-10-2000
SCALE: AS SHOWN
DESIGNED BY: J.L.G.
DRAWN BY: J.L.G.
CHECKED BY: J.L.G.
APPROVED BY: J.L.G.

SHEET TITLE
DETAILS

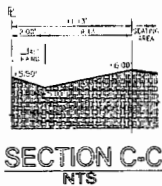
C3 - 4



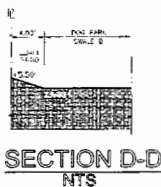
SECTION A-A
NTS



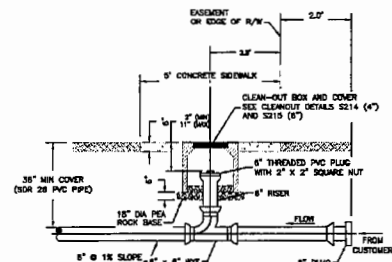
SECTION B-B
NTS



SECTION C-C
NTS

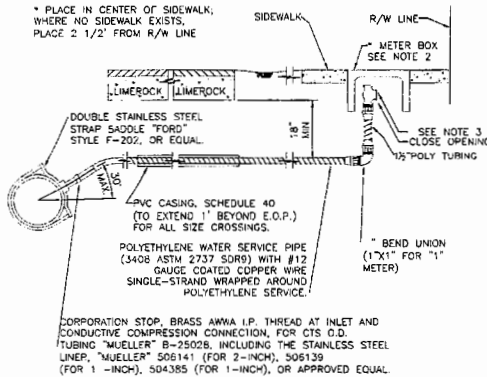


SECTION D-D
NTS



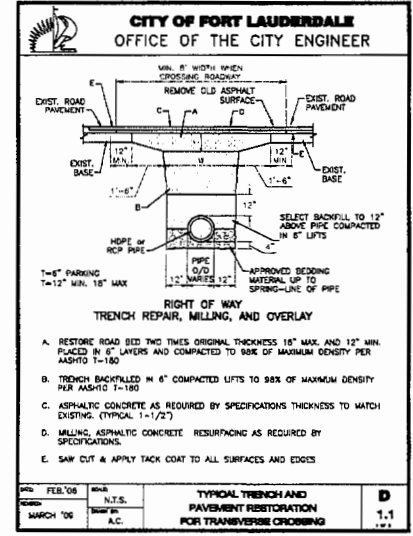
1. THE CLEAN OUT SHALL BE INSTALLED IN THE MIDDLE OF THE SIDEWALK. THE DIMENSION SHALL VARY DEPENDING UPON THE WIDTH OF THE SIDEWALK. 2.5' APPLIES TO 5' SIDEWALK WIDTH. IF SIDEWALKS DO NOT EXIST, THE CLEAN OUT SHALL BE INSTALLED 2.5' FROM THE RIGHT OF WAY LINE.
2. A NEW SECTION OF SIDEWALK SHALL BE POURED AROUND THE CLEAN-OUT BOX WHEN WORKING IN AN AREA WITH EXISTING SIDEWALKS.
3. IN GRASS AREA USE 24"x24" OR 24" DIAMETER CONCRETE COLLAR. SEE DETAILS S214 AND S215 FOR 4 AND 8 INCH CLEAN-OUT.

213 SANITARY SERVICE CONNECTION AT PROPERTY LINE OR EASEMENT LINE (PROFILE) N.T.S.



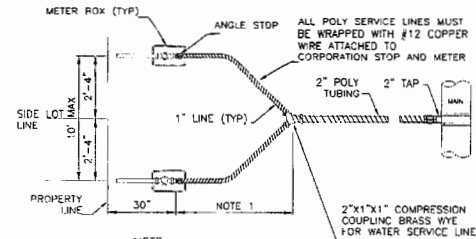
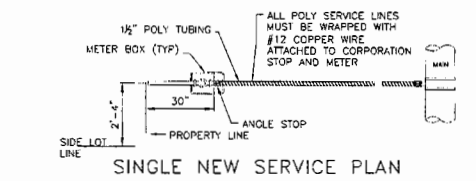
- NOTE:
1. GROUND KEY ANGLE METER STOP, CONDUCTIVE COMPRESSION FOR CTS O.D. TUBING, X METER FLANGE 180° TURN CHECK-LOCK WING "MUELLER" H-1427, FOR 2-INCH INCLUDING THE STAINLESS STEEL LINER, "MUELLER" 506141 (FOR 2-INCH) OR APPROVED EQUAL, AND MUELLER 110 COMPRESSION CONNECTION.
 2. METER BOXES FOR 5/8, 3/4, AND 1 INCH METERS SHALL BE THE OKIE DOKIE #890-40-260282 MEDIUM BOX AND 890-40-260257 MEDIUM LD OR EQUAL.
 3. CONNECT ANGLE VALVE TO EXISTING METER WHERE APPLICABLE.

TYPICAL WATER SERVICE INSTALLATION 300



CITY OF FORT LAUDERDALE
OFFICE OF THE CITY ENGINEER
TYPICAL TRENCH AND PAVEMENT RESTORATION FOR TRANSVERSE CROSSING D

FOR USE ONLY FOR THE CITY OF FORT LAUDERDALE



NOTE:
1. KEEP 1/8" WYE AS CLOSE AS POSSIBLE TO METER BOX.
TYPICAL WATER SERVICE 301



GATOR ENGINEERING, INC.
REGISTERED PROFESSIONAL ENGINEER
CORPORATE OFFICE:
1000 W. UNIVERSITY BLVD., SUITE 100
FORT LAUDERDALE, FL 33304
TEL: (904) 486-8885 FAX: (904) 486-8884
CERTIFICATE OF AUTHORIZATION NUMBER: 3608

SEAL
Registration No. 12500
Expiration Date 12/31/2012
Professional Seal
Professional Engineer
State of Florida
No. 12500
GATOR ENGINEERING, INC.
1000 W. UNIVERSITY BLVD., SUITE 100
FORT LAUDERDALE, FL 33304
TEL: (904) 486-8885 FAX: (904) 486-8884

PROGRESSO PARK
625 & 833 PROGRESSO DRIVE
FORT LAUDERDALE, FLORIDA

REVISIONS	DATE	BY	DESCRIPTION

SEA PROJECT NO.: 2007
DATE: 07-26-2007
SCALE: AS SHOWN
DESIGNED BY: P.B.A.
DRAWN BY: L.H.
CHECKED BY: P.B.A.
APPROVED BY: P.B.A.

SHEET FILE
DETAILS
C4 of 4



ARCHITECT:
ERIC CHANCELLOR
CHANCELLOR DESIGN GROUP
1521 GUNN RD.
WINTER PARK, FL 32792
850.380.2600



PROGRESSO PARK

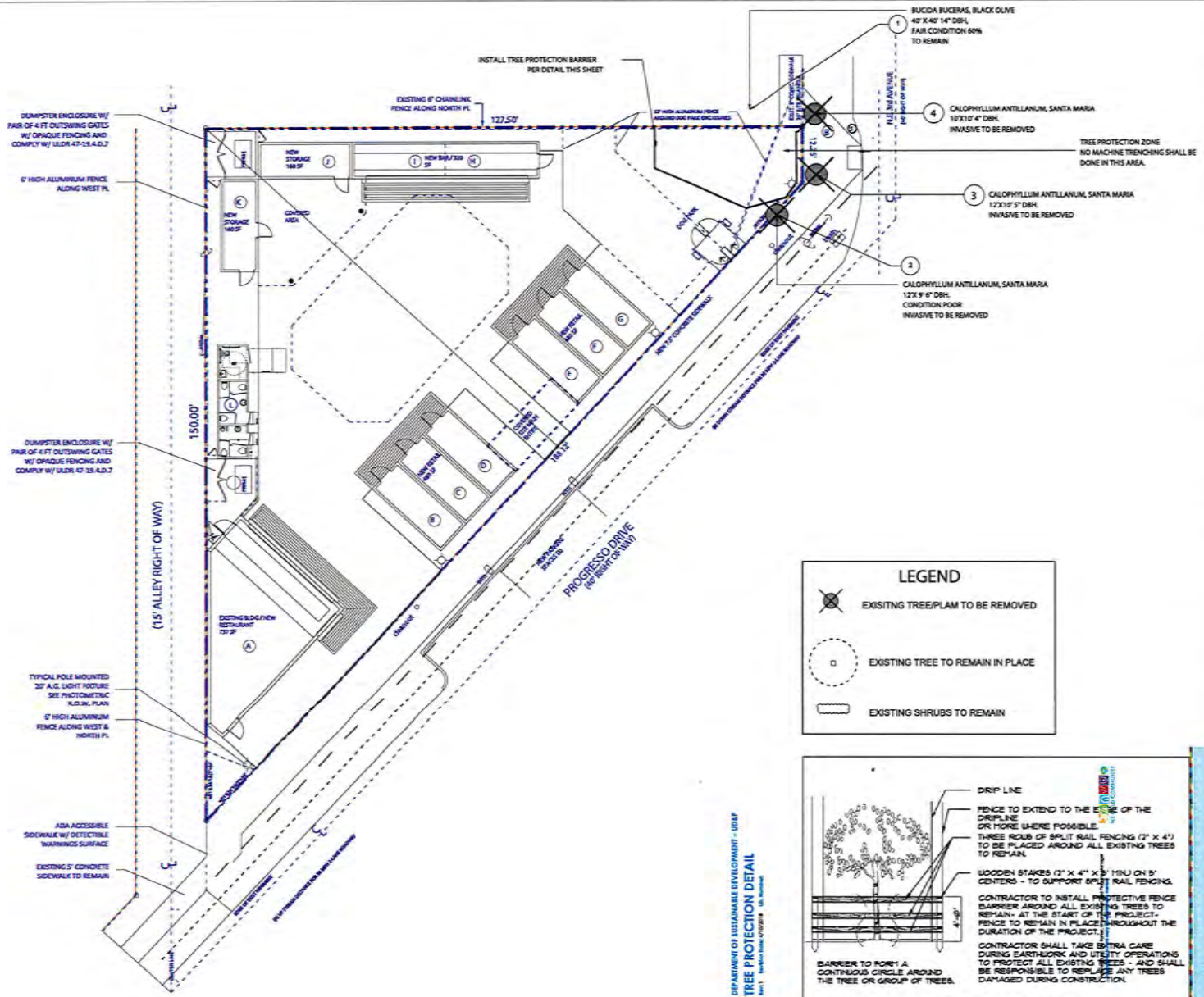
PROGRESSO PARK

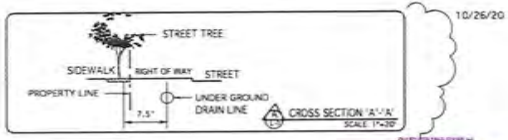
825 & 833 PROGRESSO DRIVE,
FORT LAUDERDALE, FL 33304

PROGRESSO PARK

825 & 833 PROGRESSO DRIVE,
FORT LAUDERDALE, FL 33304

NO.	DATE	DESCRIPTION





CITY OF FORT LAUDERDALE
 ZONING: R-2
 PREVIOUS AREA PROVIDED = 2,081 S.F.
 PREVIOUS AREA REQUIRED = 2,723 S.F.
 TOTAL SITE AREA = 10,465 S.F.
 PARKING STALLS = 3.

RECTANGULAR AND ISLAND LANDSCAPING
 PARKING LOT WATER LANDSCAPE REQUIREMENTS
 (1) TREE PER PARKING ISLAND
 N/A (NO PARKING ISLANDS PROPOSED)

VIA CRITERIA
 PLANTING REQUIREMENTS:
 VIA-A 0 SF
 VIA GREEN SPACE REQ = 0 (20%)
 PROVIDED = 0 SF (20%)

(1) TREE AND (4) SHRUBS PER 1,000 SF OF VIA.
 VIA PROVIDED = N/A 541,120 SF = N/A.
 TREES REQUIRED = N/A (4 SHRUBS)
 TREES PROVIDED = N/A (4 SHRUBS)
 25% SHADE TREE 3" CAL. = N/A REQUIRED PROVIDED = N/A
 25% SHADE TREE 2" CAL. = N/A REQUIRED PROVIDED = N/A
 25% FLOWERING = N/A REQUIRED PROVIDED = N/A
 25% PALM = N/A REQUIRED PROVIDED = N/A
 25% OPTIONAL = N/A REQUIRED PROVIDED = N/A

INTERIOR REQUIREMENTS
 (1) TREE PER 1,000 SF OF PERVIOUS AREA.
 2,359 SF / 1,000 = 3 TREES REQUIRED
 PROVIDED = 3

30 SF OF LANDSCAPE AREA PER INTERIOR PARKING STALLS
 10 INTERIOR PARKING STALLS X 30 = N/A
 PROVIDED = N/A

FENCING LANDSCAPE REQUIREMENTS
 MIN. 2' OFFSET TO PROPERTY LINE REQUIRED
 PROVIDED = MIN. 3'
 30"X1" HEDGE AND GRASS COVERS REQUIRED
 PROVIDED = HEDGE AND GRASS COVER
 (1) TREE/PALM PER 20 SF (12" X 15") = 1 TREE
 PROVIDED = 2 PALMS 6" CT.

STREET TREE REQUIREMENTS
 (1) TREE PER 20 SF UNDER POWER LINES 18A/20S = 10
 PROVIDED = 11

TOTAL TREES REQUIRED ON SITE = 13
 PROVIDED ON SITE = 13
 NATIVES REQ. NOW = 6
 NATIVES PROVIDED = 6 (96%)

TURF REQUIREMENTS 30% MAX TURF (1,342 SF)
 REQUIRED = 1,773 SF
 PROVIDED = 2,699 SF

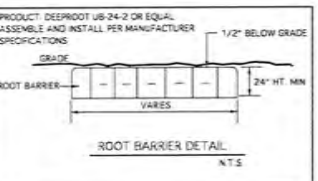
SEE SHEET L-3 FOR PLANTING SPECIFICATIONS AND DETAILS
 SEE SHEET L-2 FOR EXISTING TREE DISPOSITIONS



NOTE: PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST IF QUANTITIES DIFFERENTIATE FROM THE PLAN

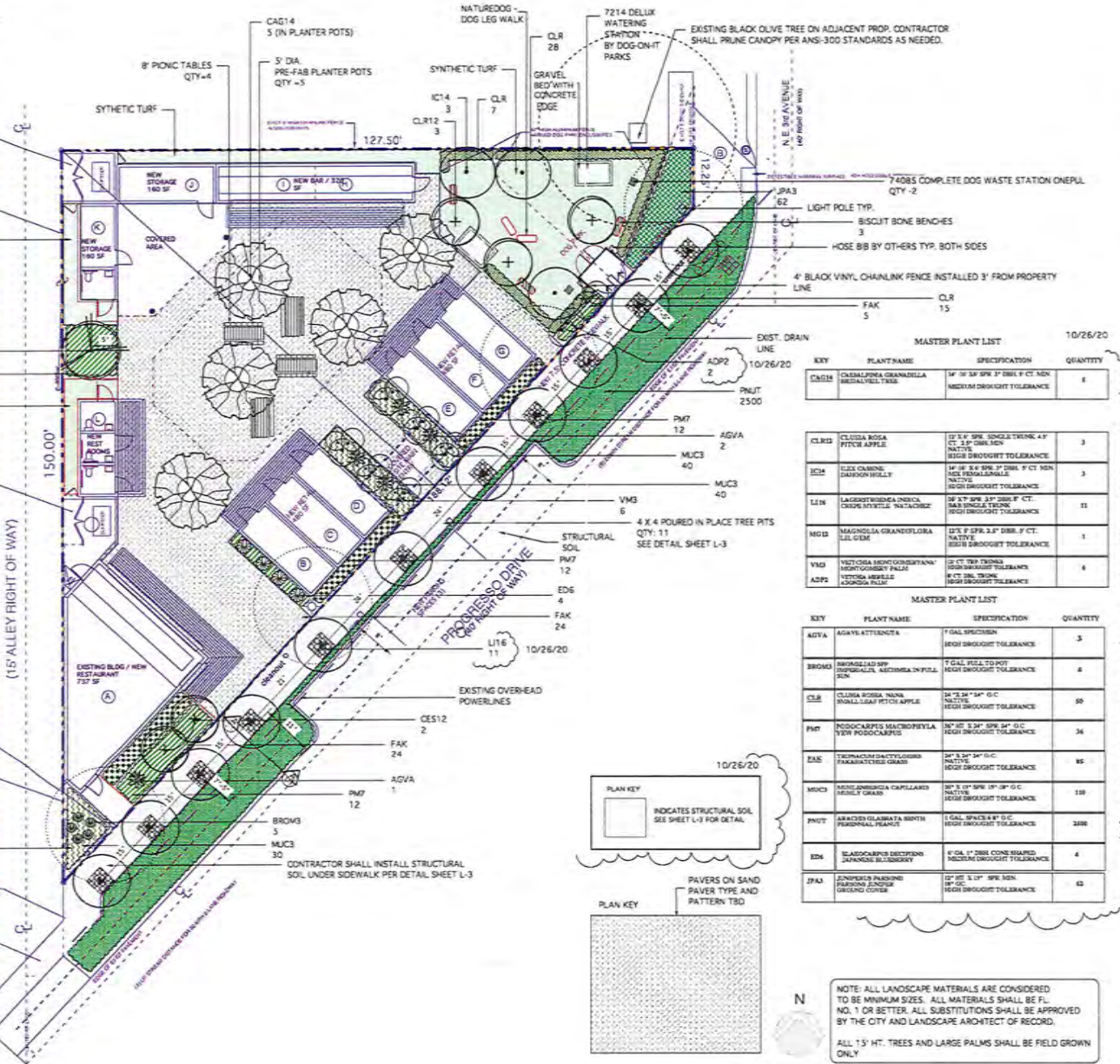
AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED AT TIME OF PERMITTING TO PROVIDE 100% COVERAGE WITH A RAIN SENSOR.

REFER TO SHEET L-2 FOR EXISTING TREE DISPOSITION INFORMATION
 REFER TO SHEET L-3 FOR LANDSCAPE PLANS AND DETAILS



NOTE: ALL LANDSCAPE MATERIALS WITHIN THE 15' SIGHT TRIANGLES SHALL BE MAINTAINED BELOW 30" IN HEIGHT.

NOTE: ALL STREET TREES SHALL BE OFF SET FROM BACK OF CURB BY 4'-0" PROVIDE ROOT BARRIER BETWEEN TREES AND SIDEWALK SEE DETAIL THIS SHEET

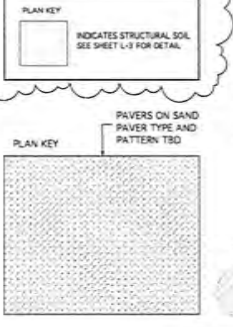


MASTER PLANT LIST 10/26/20

KEY	PLANT NAME	SPECIFICATION	QUANTITY
CAG14	CASALPINA GRANADELLA RED/VELVET TREE	14" Ø 5' SP 3" DBH 9' CT. NEN MEDIUM DROUGHT TOLERANCE	1
CL12	CLUSA ROSA FITCH APPLE	12" Ø 5' SP SINGLE TRUNK 4" CT. 2" SP DBH 10" NEN MEDIUM DROUGHT TOLERANCE	3
IC14	ILEX CORNUTI JAPONICUS HILL	14" Ø 5' SP 3" DBH 9' CT. NEN RED/IRIDESCENT NATIVE MEDIUM DROUGHT TOLERANCE	3
L14	LAGERSTROMIA INDICA CRANE HYDRATE NATAGORSE	14" Ø 5' SP 3" DBH 9' CT. NEN RED/IRIDESCENT NATIVE MEDIUM DROUGHT TOLERANCE	11
M12	MAGNOLIA GRANDIFLORA	12" Ø 5' SP 3" DBH 9' CT. NATIVE MEDIUM DROUGHT TOLERANCE	1
V12	YUCCA MONTONIANA/ MONTONIA PALM	12" CT. 3" DBH 10" NEN MEDIUM DROUGHT TOLERANCE	6
ADP2	YUCCA MONTONIANA/ MONTONIA PALM	12" CT. 3" DBH 10" NEN MEDIUM DROUGHT TOLERANCE	6

MASTER PLANT LIST 10/26/20

KEY	PLANT NAME	SPECIFICATION	QUANTITY
AGVA	AGAVE ATTENUATA	1" FALL SPECIES MEDIUM DROUGHT TOLERANCE	3
BROSD	BROGELIA SP. (BROGELIA IN FOLI)	1" FALL SPECIES MEDIUM DROUGHT TOLERANCE	4
CLR	CLUSA ROSA FITCH APPLE	14" Ø 5' SP 3" DBH 9' CT. NATIVE MEDIUM DROUGHT TOLERANCE	30
PM7	PODOCARPUS MACROPHYLLA NEW POSOCCARPO	14" Ø 5' SP 3" DBH 9' CT. NATIVE MEDIUM DROUGHT TOLERANCE	34
EAE	ERANDIUM DACTYLOIDES PARAKATYCHES GRASS	14" Ø 5' SP 3" DBH 9' CT. NATIVE MEDIUM DROUGHT TOLERANCE	85
MUC3	MUNDTIA ANONACEA CAPILLARIS BERRY GRASS	14" Ø 5' SP 3" DBH 9' CT. NATIVE MEDIUM DROUGHT TOLERANCE	110
PNUT	PARACHLOASIA BERTH FERNETAL PLANT	1" FALL SPECIES MEDIUM DROUGHT TOLERANCE	200
B26	BELASCOPHYLLON BERTH JAPANESE BLOSSOM	1" FALL SPECIES MEDIUM DROUGHT TOLERANCE	4
3PA3	3-PARTICLE PARKING AND/OR UTILITY COVER	12" Ø 5' SP 3" DBH 9' CT. MEDIUM DROUGHT TOLERANCE	62



NOTE: ALL LANDSCAPE MATERIALS ARE CONSIDERED TO BE MINIMUM SIZES. ALL MATERIALS SHALL BE FL. NO. 1 OR BETTER. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE CITY AND LANDSCAPE ARCHITECT OF RECORD.

ALL 15' HT. TREES AND LARGE PALMS SHALL BE FIELD GROWN ONLY

ROOT BARRIER NOTE: CONTRACTOR SHALL INSTALL ROOT BARRIER BETWEEN NEW TREES AND UNDER GROUND UTILITY LINE WHEN SEPARATION IS LESS THAN 5'-0"



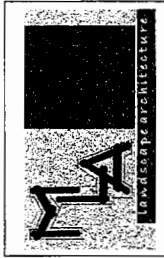
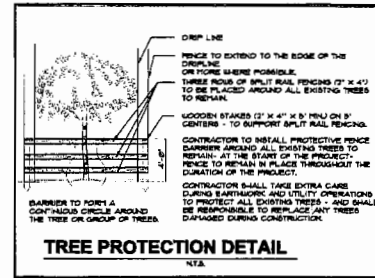
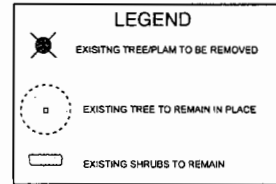
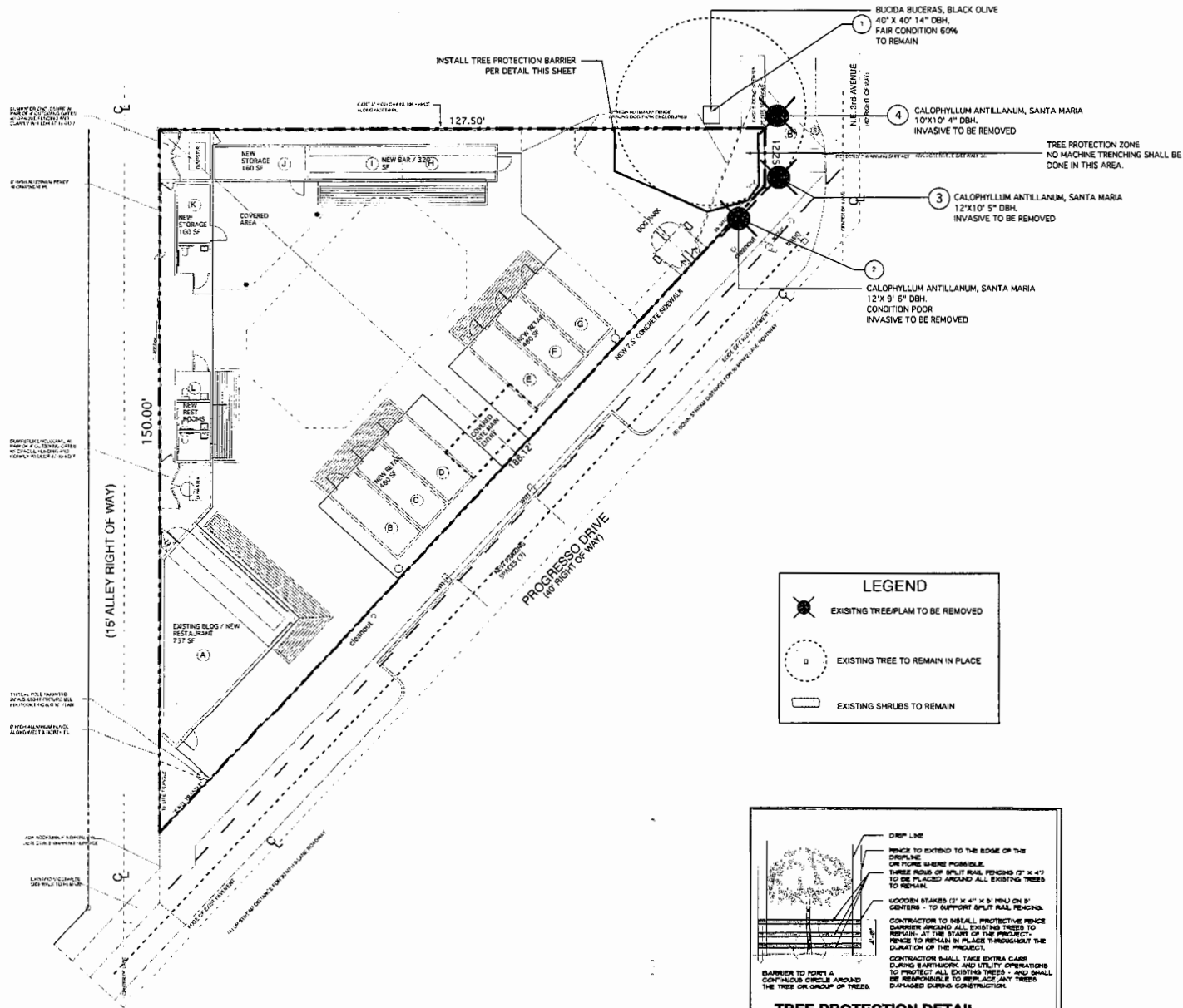
REVISIONS
 CITY COMMENTS: 10/26/20

SHEET TITLE:
LANDSCAPE PLAN

PROJECT:
PROGRESSO PARK
 825 & 833 PROGRESSO DRIVE
 FORT LAUDERDALE, FLORIDA

TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS SUBMITTED HEREWITH COMPLY WITH EXISTING REGULATIONS AND PROVISIONS OF THE APPLICABLE BUILDING CODES. THIS DRAWING IS THE PROPERTY OF JMA GROUP, INC. AND IS AN INSTRUMENT OF SERVICE AND MAY NOT BE REPRODUCED, COPIED OR USED IN ANY MANNER WITHOUT EXPRESS WRITTEN PERMISSION OF SAME.
 © JMA GROUP, INC.

SEAL: **James McCune**
 MCCI
 Date: 2020.10.30
 11:54:24
 SCALE: 1"=40'
 DATE DRAWN: 1/21/20
 SHEET NO. **L-1**



REVISIONS:

SHEET TITLE
EXISTING TREE DISPOSITION PLAN

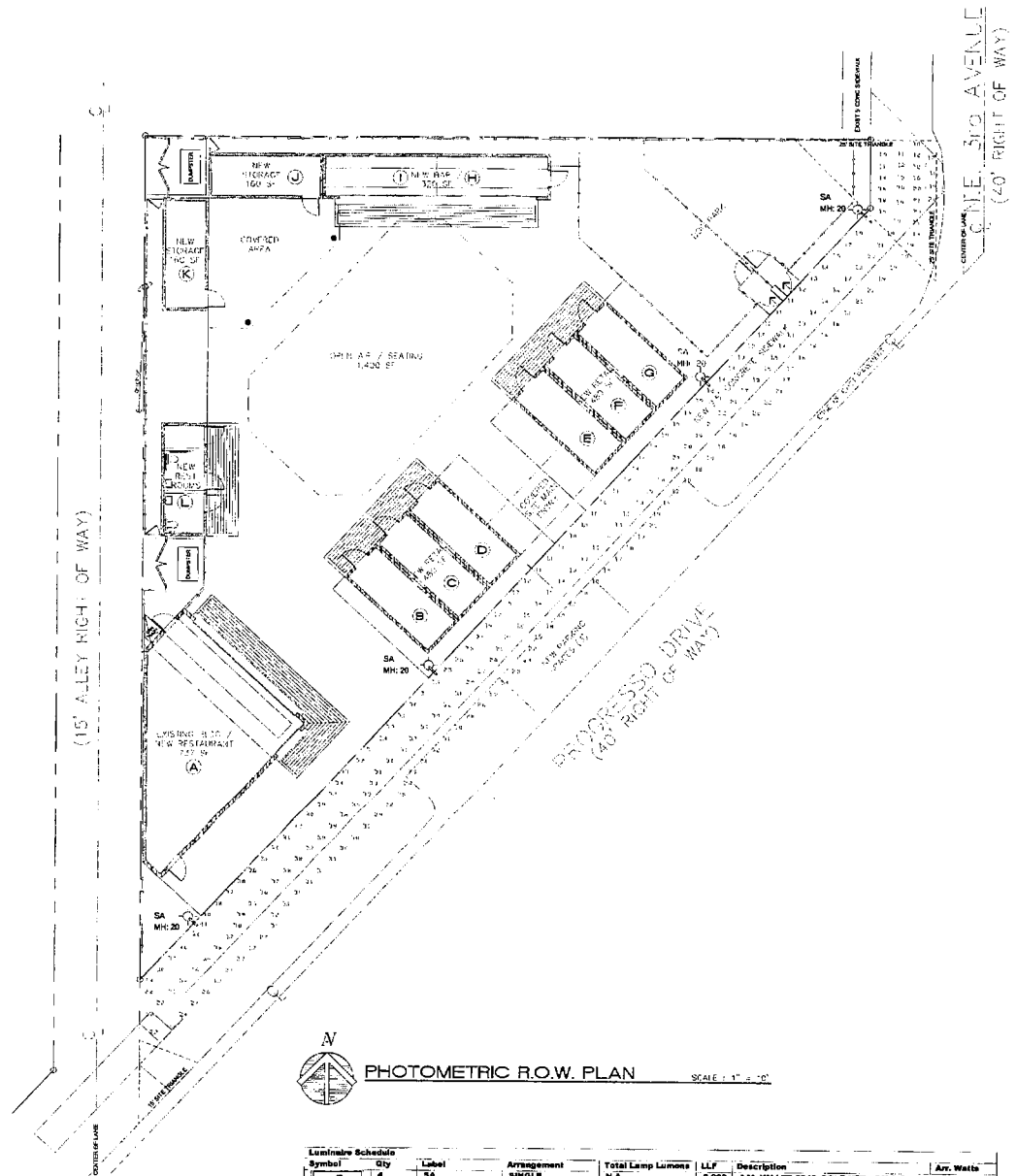
PROJECT:
PROPOSED SITE DEVELOPMENT FOR PROGRESSO PARK
 825 & 893 PROGRESSO DRIVE
 FORT LAUDERDALE, FLORIDA

TO THE BEST OF MY KNOWLEDGE THE PLANS HEREON SPECIFICALLY AND GENERALLY REFER TO COMPLY WITH EXISTING INTERJECTIONS AND PROVISIONS OF THE APPLICABLE HAZARD CODES. THIS DRAWING IS THE PROPERTY OF JMA GROUP, INC. AND IS NOT TO BE REPRODUCED, COPIED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT EXPRESS WRITTEN PERMISSION OF JMA GROUP, INC.

SEAL: **James McCarty**
 Date: 2/20/20
 21538
 05/20

SCALE: 1"=10'
 DATE DRAWN: 1/21/20

SHEET NO.
L-2



PHOTOMETRIC R.O.W. PLAN SCALE: 1" = 10'

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Avr. Watts
SA	4	SA	SINGLE	N.A.	0.900	AAL KM4-T2-3040 FOLE MTD - 29' A.D.	32.9

Calculation Summary	Calc Type	Units	Avr	Max	Min	Avr/Min	Max/Min
BEATING & SIDEWALK - PROGRESSO D	Illuminance	Fc	2.49	4.2	0.6	4.18	7.00

REVISIONS
 BLAC 0271 CCRK
 7/10/20
 BY: FAC

PROPOSED SITE DEVELOPMENT
 FOR
PROGRESSO PARK
 623 W. JESU PERDUE BLVD
 PORT CHARLOTTE, FLORIDA

CHASE ARCHITECT, INC.
 635 S. SHILOH ROAD, SUITE 101
 FORT LINDSEY, MISSISSIPPI 39201
 Phone (661) 467-7892
 Corporation
 AA-C000680

Todd R. Chase
 RUSSELL C. CHASE
 AP-005518
 AP-001754

Date: 7/10/20
 Scale: AS SHOWN
 Drawn: I.R.C.
 Job No.: 2022-PM1
 Sheet:

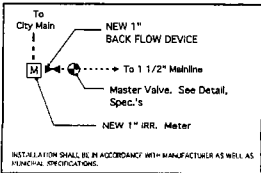
PM-1

LEGEND	
	VALVE
	SPRAY, 360°
	SPRAY, 180°
	SPRAY, 90°
	SIDE STRIP
	10' NOZZLE
	8' NOZZLE
	6' NOZZLE
	4' NOZZLE

PIPE SLEEVING SCHEDULE	
PIPE SIZE	SLEEVE SIZE
1"	2"
1 1/4"	2"
1 1/2"	3"
2"	4"
2 1/2"+	6"

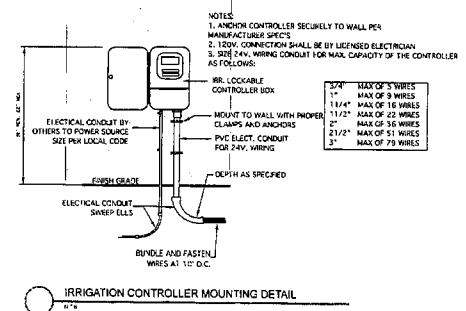
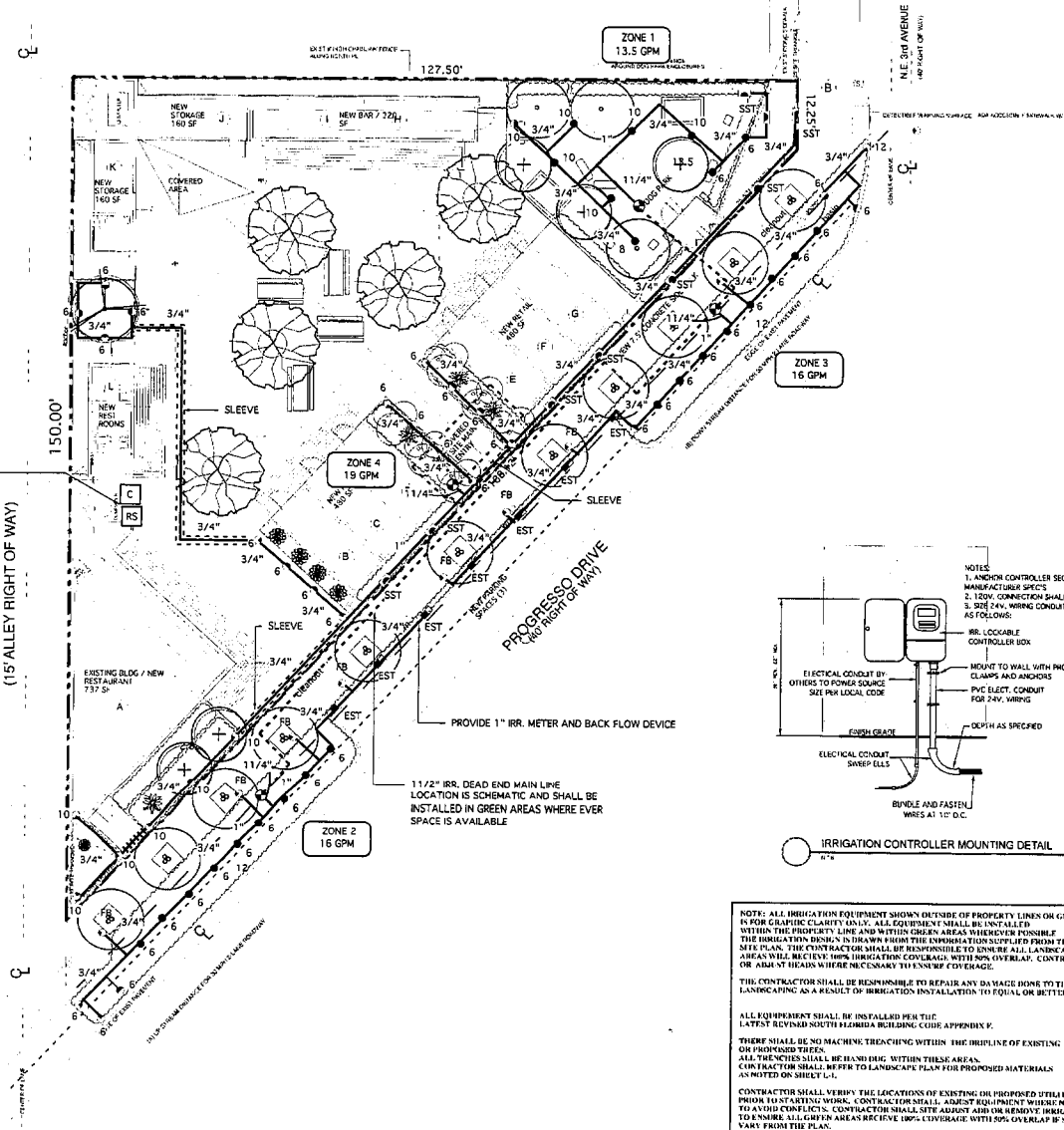
IN SPECT TO THE IRR. CONTROLLER AND RAIN SENSOR MOUNTED TO INSIDE OF DUMPSTER ENCLOSURE

- C** IRRIGATION CONTROLLER
MOUNT TO EXTERIOR WALL IN ACCESSIBLE AREA
- RS** RAIN SENSOR
MOUNT CLEAR OF OVERHAND CANOPY



SPECIAL NOTE: UNLESS OTHERWISE NOTED, ALL IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISIONS OF THE IRRIGATION AND LANDSCAPE IRRIGATION CODE.

NOT AVAILABLE PER SECTION 20.04 OF THE IRRIGATION AND LANDSCAPE IRRIGATION CODE.



IRRIGATION SYSTEM TIME SCHEDULES	
SYSTEM 1	
TOTAL ZONES = 4	
GRID NO. ZONES = 3	
RUN TIMES = 20 MIN. PER ZONE ON MON. WED. FR.	
TOTAL RUN TIME PER DAY = 1 HR.	
EVEN NO. ZONES = 3	
RUN TIMES = 20 MIN. PER ZONE ON TUES. THURS. SAT.	
TOTAL RUN TIME PER DAY = 1 HR.	

NOTE:
NEW LANDSCAPE MATERIALS WILL NEED ONLY WATERING FOR A PERIOD OF 3 WEEKS OR UNTIL ESTABLISHED. ONCE MATERIAL IS ESTABLISHED WATERING SHALL BE REDUCED TO 2-3 DAYS A WEEK DURING STABLE WEATHER CONDITIONS.
IRRIGATION ZONE RUN TIMES ARE FLEXIBLE DEPENDING ON THE SEASON OF YEAR AND PRECIPITATION RATES. ZONE TIMES SHALL BE ADJUSTED IMMEDIATELY TO COMPENSATE FOR NATURAL EVENTS SUCH AS HEAVY RAIN, HIGH WIND AND DROUGHT. IRRIGATION SHOULD NOT BE RUN DURING PERIODS OF HEAVY RAIN, HIGH WINDS OR IN CASES OF EXTREME DROUGHT.
IRRIGATION ZONES SHOULD BE RUN BETWEEN THE HOURS OF 7:00 AM AND 7:00 AM. IRRIGATION ZONES SHOULD NOT BE RUN DURING MID DAY OR EVENING HOURS.

NOTE: ALL IRRIGATION EQUIPMENT SHOWN OUTSIDE OF PROPERTY LINES OR GREEN AREAS IS FOR GRAPHIC CLARITY ONLY. ALL EQUIPMENT SHALL BE INSTALLED WITHIN THE PROPERTY LINE AND WITHIN GREEN AREAS WHEREVER POSSIBLE. THE IRRIGATION DESIGN IS DRAWN FROM THE INFORMATION SUPPLIED FROM THE SITE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL LANDSCAPED AREAS WILL BE LEVEL WITH IRRIGATION COVERS. WITH NO OVERLAP. CONTRACTOR MAY ADD OR ADJUST HEADS WHERE NECESSARY TO ENSURE COVERAGE.

THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE DONE TO THE LANDSCAPING AS A RESULT OF IRRIGATION INSTALLATION TO EQUAL OR BETTER CONDITION.

ALL EQUIPMENT SHALL BE INSTALLED PER THE LATEST REVISIONS OF THE IRRIGATION AND LANDSCAPE IRRIGATION CODE APPENDIX F.

THERE SHALL BE NO MACHINE TRENCHING WITHIN THE IMPLINE OF EXISTING OR PROPOSED TREES.

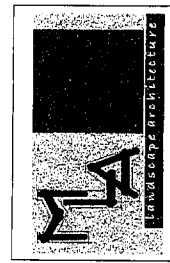
ALL TRENCHES SHALL BE HAND DUG WITHIN THESE AREAS.

CONTRACTOR SHALL REFER TO LANDSCAPE PLAN FOR PROPOSED MATERIALS AS NOTED ON SHEET L-1.

CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING OR PROPOSED UTILITIES PRIOR TO STARTING WORK. CONTRACTOR SHALL ASSESS EQUIPMENT WHERE NECESSARY TO AVOID CONFLICTS. CONTRACTOR SHALL SITE ADJUST AND DIMENSION IRRIGATION HEADS TO TO ENSURE ALL COVER AREAS RECEIVE 100% COVERAGE WITH NO OVERLAP IF SITE CONDITIONS VARY FROM THE PLAN.

IRRIGATION HEADS INSTALLED IN TALL SHRUB BEDS AND DECK PLANTS SHALL BE PLACED ON RINGS. SEE DETAIL SHEET H-2. RISER SHALL BE PAINTED BLACK AND ONLY BE AS TALL AS NEEDED TO ENSURE PROPER COVERAGE.

ALL NEW EQUIPMENT SHALL BE SPECIFIED AS NOTED ON SHEET H-2.



REVISIONS:

SHEET TITLE:
IRRIGATION PLAN

PROJECT:
PROPOSED SITE DEVELOPMENT FOR PROGRESSO PARK
825 & 833 PROGRESSO DRIVE
FORT LAUDERDALE, FLORIDA

TO THE BEST OF MY KNOWLEDGE THE PLANS AND SPECIFICATIONS SUBMITTED HEREIN COMPLY WITH ALL CITY ORDINANCES AND PROVISIONS OF THE APPLICABLE BUILDING CODE. THIS DRAWING IS THE PROPERTY OF M.A. LANDSCAPE ARCHITECTURE AND IS NOT TO BE REPRODUCED, COPIED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF M.A. LANDSCAPE ARCHITECTURE.

SEAL: **James McClure**, Licensed Professional Engineer, No. 12483, State of Florida.

SCALE: 1"=10'

DATE DRAWN: 7/21/20

SHEET NO.

IR-1

OF-2

SITE PLAN DATA

CURRENT USE	COMMERCIAL BUREAU CITY SQUARE
LAND USE DESIGNATION	HIGH-MIDWEST REGIONAL ACTIVITY CENTER - MIXED-USE DISTRICT
ZONING DESIGNATION	CMX-100, M-100
WATER SERVICE	CITY OF FORT LAUDERDALE
SEWER SERVICE	10465 SF 42X-4085 100%
EXISTING BLOCK FOOTPRINT (COMMERCIAL)	737 SF
PROPOSED ADDITION (COMMERCIAL)	2,497 SF + 24 %
TOTAL BUILDING AREA	3,234 SF
OPEN SPACE	7,800 SF
REFLECTIVE PAVEMENT AREA	5,180 SF + 60 %
PENETRUS LANDSCAPING AREA	2,720 SF + 30 %
LINEAL FEET OF SIDEWALK	104' L
VEHICLE LOADING	NONE REQUIRED
NUMBER OF STORIES	ONE 3 STORY + COVERED ENTRY FEATURE
PARKING REQUIRED	3 SPACES (SEE PARKING CALCULATIONS)
PARKING PROVIDED	3 ON-STREET PARKING SPACES

ADDRESS / LEGAL DESCRIPTION

ADDRESS: 876 PROGRESSO DRIVE PT. LAUDERDALE, FLORIDA 33309
 LEGAL DESCRIPTION: TRACT OF LAND SOUTH OF E PROGRESSO, DADE COUNTY PUBLIC RECORDS, FLORIDA
 ADDRESS: 832 PROGRESSO DRIVE PT. LAUDERDALE, FLORIDA 33309
 LEGAL DESCRIPTION: PART OF LOT 16, BLOCK 28 OF PROGRESSO, DADE COUNTY PUBLIC RECORDS, FLORIDA

OCCUPANT LOAD

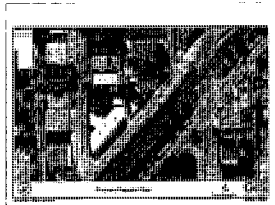
RESTAURANT (Assembly, Unenclosed) 11' x 15' SF ft	737 SF x 1/10 = 68 PERSONS
BAR (Assembly, Unenclosed) 11' x 15' SF ft	307 SF x 0/10 = 22 PERSONS
OUTDOOR SEATING (Assembly, Unenclosed) 11' x 15' SF ft	162 SF x 1/10 = 12 PERSONS
RETAIL (Shopping) 11' x 80' SF ft	900 SF x 1/60 = 15 PERSONS
STORAGE (Storage) 11' x 200' SF ft	220 SF x 1/600 = 1 PERSONS
TOTAL OCCUPANCY LOAD:	102 PERSONS
RESTROOM REQUIREMENTS	
RESTAURANT (1 WC / 75 sq)	100 / 750 = 0.07 WC
BAR (1 WC / 40 sq)	200 / 400 = 0.50 WC
OUTDOOR SEATING (1 WC / 40 sq)	200 / 400 = 0.50 WC
RETAIL (1 WC / 800 sq)	100 / 8000 = 0.01 WC
STORAGE (1 WC / 1000 sq)	10 / 1000 = 0.01 WC
TOTAL WATER CLOSETS REQUIRED:	0.59 WC
TOTAL W.C. PROVIDED (1 MALE / 1 FEMALE WC - (1) FAMILY WC - (1) UNisex)	4.0 WC

PARKING CALCULATIONS

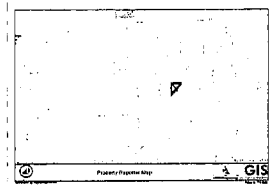
RESTAURANT (11' x 150' SF ft)	737 SF (Restaurant) = 0.00 SPACES
BAR (11' x 60' SF ft)	300 SF (Bar) = 0.00 SPACES
OUTDOOR SEATING (11' x 150' SF ft)	160 SF (Outdoor) = 0.00 SPACES
MIXED-USE (Retail/Restaurant) (170' x 200' SF ft)	3400 SF (Mixed-Use) = 0.00 SPACES
RETAIL (11' x 200' SF ft)	220 SF / 200 SF = 1.10 SPACES
STORAGE (11' x 200' SF ft)	220 SF / 400 SF = 0.55 SPACES
RESTROOM BUILDING (none required)	180 SF / 0 SF = 0.00 SPACES
DOG PARK (none required)	1180 SF / 0 SF = 0.00 SPACES
MIXED-USE (Mixed-Use) (60% of required parking) 4.74 spaces x 0.60 %	2.84 SPACES
TOTAL PARKING SPACES REQUIRED:	0.24 SPACES
TOTAL PARKING SPACES PROVIDED (3 ON STREET PARKING SPACES)	3.0 SPACES

AREA CALCULATIONS

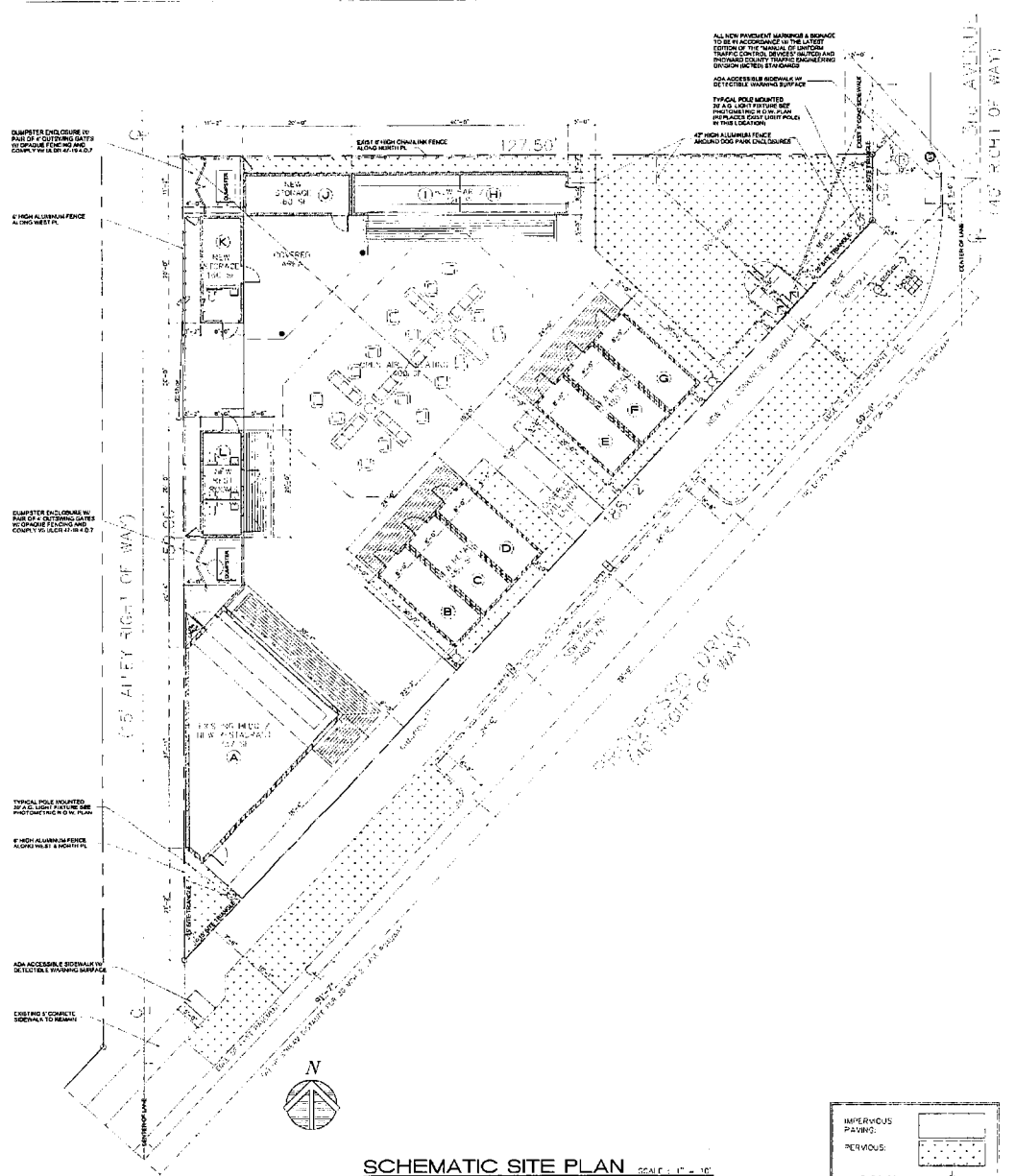
BUILD A - EXISTING BUILDING / RESTAURANT	737 SF
BUILD B - NEW RETAIL	160 SF
BUILD C - NEW RETAIL	160 SF
BUILD D - NEW RETAIL	160 SF
BUILD E - NEW RETAIL	160 SF
BUILD F - NEW RETAIL	160 SF
BUILD G - NEW RETAIL	160 SF
BUILD H - NEW RETAIL	160 SF
BUILD I - NEW RETAIL	160 SF
BUILD J - NEW STORAGE	220 SF
BUILD K - NEW STORAGE	180 SF
BUILD L - NEW RESTROOMS	180 SF
TOTAL BUILDINGS	2,497 SF
OPEN AIR SEATING	1,620 SF
TOTAL AREA	4,117 SF



AERIAL



LOCATION PLAN



SCHEMATIC SITE PLAN SCALE: 1" = 10'

REVISIONS BY

1	10/21/20	REC
2	10/21/20	REC

PROPOSED SITE DEVELOPMENT FOR PROGRESSO PARK
 876 & 832 PROGRESSO DRIVE
 FORT LAUDERDALE, FLORIDA

CHASE ARCHITECT, INC.
 832 S. Southland 151 Avenue
 Fort Lauderdale, Florida 33301
 Phone (954) 487-7892
 Corporation
 Registration No. AA-000660

Todd R. Chase
 Registered Professional Architect
 License No. 12357-00007

Date: 10/21/20
 Scale: AS SHOWN
 Drawn: J.B.C.
 Job No: 7022
 Draw File No: 7022-SP1

SP-1



ARCHITECT:
ERIC CHANCELLOR
CHANCELLOR DESIGN GROUP
1921 GUNN RD.
WINTER PARK, FL 32792
850.380.2500



PROGRESSO PARK

PROGRESSO PARK
825 & 833 PROGRESSO DRIVE,
FORT LAUDERDALE, FL 33304

PROGRESSO PARK
825 & 833 PROGRESSO DRIVE,
FORT LAUDERDALE, FL 33304

NO.	DATE	DESCRIPTION

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DATE: 11/13/2021
DRAWN BY: TRS
JOB NO.: 180
SCALE: AS SHOWN

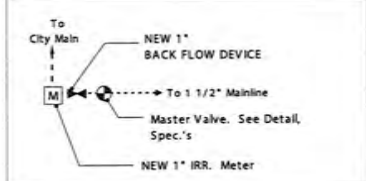
IRRIGATION PLAN
SHEET

IR-1

CONSTRUCTION PERMIT

LEGEND		PIPE SLEEVING SCHEDULE	
	VALVE	PIPE SIZE	SLEEVE SIZE
	SPRAY, 360°	1"	2"
	SPRAY, 180°	1 1/4"	2"
	SPRAY, 90°	1 1/2"	3"
	SIDE STRIP	2"	4"
	10" NOZZLE	2 1/2"+	6"
	8" NOZZLE		
	6" NOZZLE		
	4" NOZZLE		

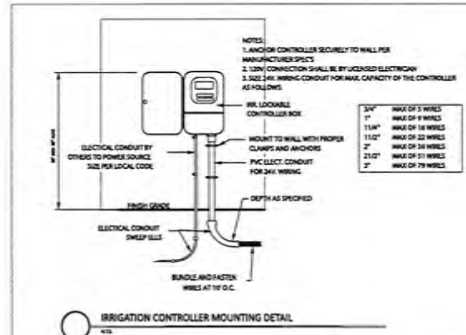
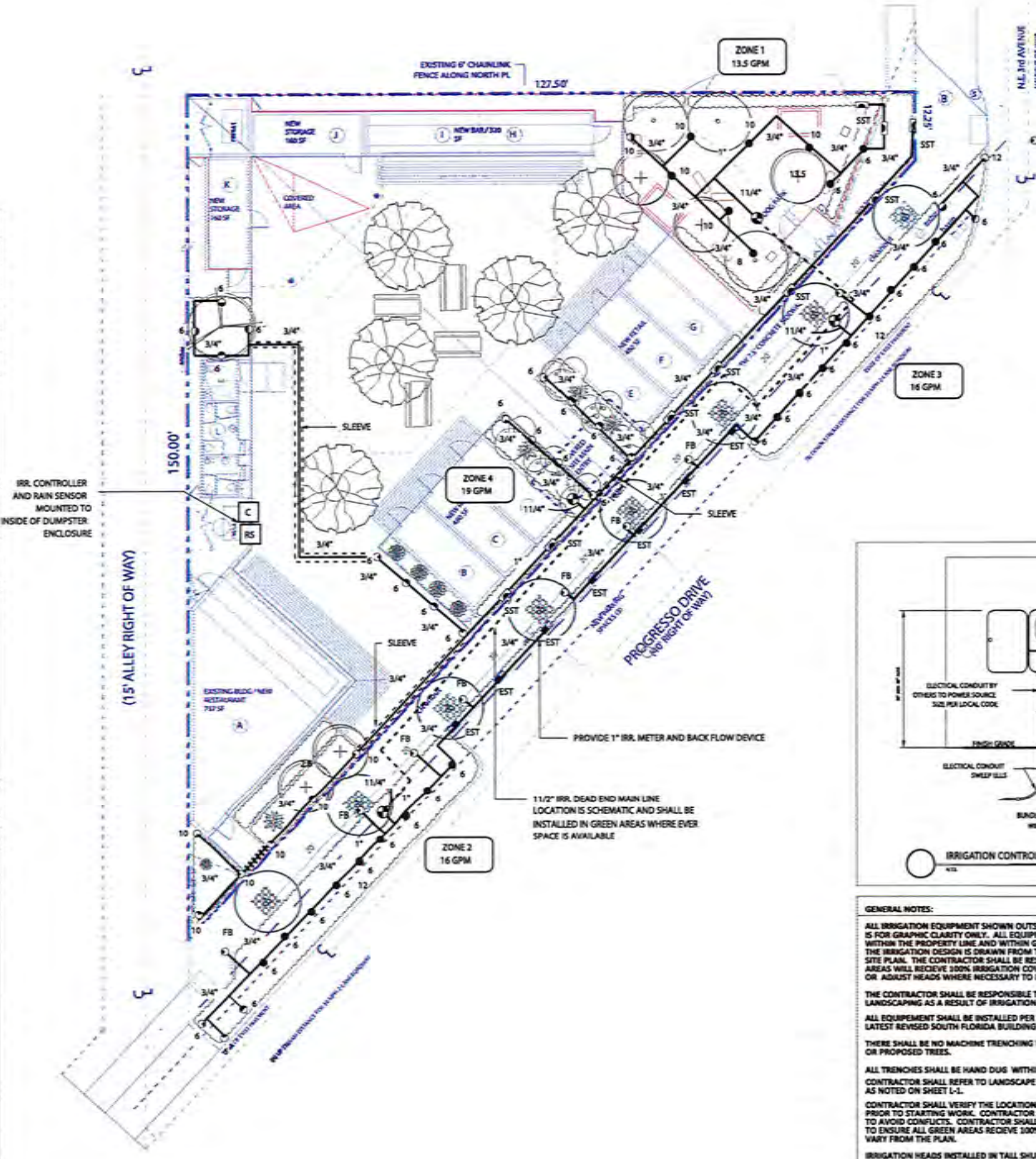
	IRRIGATION CONTROLLER MOUNT TO EXTERIOR WALL IN ACCESSIBLE AREA
	RAIN SENSOR MOUNT CLEAR OF OVERHAND CANOPY



INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER AS WELL AS MUNICIPAL SPECIFICATIONS.

IRRIGATION SYSTEM TIME SCHEDULES	
SYSTEM 1	TOTAL ZONES = 4
ODD NO. ZONES = 3	RUN TIMES = 20 MIN. PER ZONE ON MON, WED, FRI.
EVEN NO. ZONES = 3	TOTAL RUN TIME PER DAY = 1 HR.
TUES, THURS, SAT.	RUN TIMES = 20 MIN. PER ZONE ON TUES, THURS, SAT.
TOTAL RUN TIME PER DAY = 1 HR.	

NOTE:
NEW LANDSCAPE MATERIALS WILL NEED DAILY WATERING FOR A PERIOD OF 3 WEEKS OR UNTIL ESTABLISHED. ONCE MATERIAL IS ESTABLISHED WATERING SHALL BE REDUCED TO 2-3 DAYS A WEEK DURING STABLE WEATHER CONDITIONS.
IRRIGATION ZONE RUN TIMES ARE FLEXIBLE DEPENDING ON THE SEASON OF YEAR AND PRECIPITATION RATES. ZONE TIMES SHALL BE ADJUSTED PERIODICALLY TO COMPENSATE FOR NATURAL EVENTS SUCH AS HEAVY RAIN, HIGH WIND AND DROUGHT. IRRIGATION SHOULD NOT BE RUN DURING PERIODS OF HEAVY RAIN, HIGH WINDS OR IN CASES OF EXTREME DROUGHT. IRRIGATION ZONES SHOULD BE RUN BETWEEN THE HOURS OF 5:00 AM AND 7:00 AM IRRIGATION ZONES SHOULD NOT BE RUN DURING MID DAY OR EVENING HOURS.



GENERAL NOTES:

ALL IRRIGATION EQUIPMENT SHOWN OUTSIDE OF PROPERTY LINES OR GREEN AREAS IS FOR GRAPHIC CLARITY ONLY. ALL EQUIPMENT SHALL BE INSTALLED WITHIN THE PROPERTY LINE AND WITHIN GREEN AREAS WHEREVER POSSIBLE. THE IRRIGATION DESIGN IS OBTAINED FROM THE INFORMATION SUPPLIED FROM THE SITE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE ALL LANDSCAPED AREAS WILL RECEIVE 100% IRRIGATION COVERAGE WITH 50% OVERLAP. CONTRACTOR MAY ADD OR ADJUST HEADS WHERE NECESSARY TO ENSURE COVERAGE.

THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE DONE TO THE LANDSCAPING AS A RESULT OF IRRIGATION INSTALLATION TO EQUAL OR BETTER CONDITION.

ALL EQUIPMENT SHALL BE INSTALLED PER THE LATEST REVISED SOUTH FLORIDA BUILDING CODE APPENDIX F.

THERE SHALL BE NO MACHINE TRENCHING WITHIN THE DISPLINE OF EXISTING OR PROPOSED TREES.

ALL TRENCHES SHALL BE HAND DUG WITHIN THESE AREAS. CONTRACTOR SHALL REFER TO LANDSCAPE PLAN FOR PROPOSED MATERIALS AS NOTED ON SHEET L-1.

CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING OR PROPOSED UTILITIES PRIOR TO STARTING WORK. CONTRACTOR SHALL ADJUST EQUIPMENT WHERE NECESSARY TO AVOID CONFLICTS. CONTRACTOR SHALL SITE ADJUST ADD OR REMOVE IRRIGATION HEADS TO ENSURE ALL GREEN AREAS RECEIVE 100% COVERAGE WITH 50% OVERLAP IF SITE CONDITIONS VARY FROM THE PLAN.

IRRIGATION HEADS INSTALLED IN TALL SHRUB BEDS AND DECK PLANTERS SHALL BE PLACED ON RISERS. SEE DETAIL SHEET IR-2. RISER SHALL BE PAINTED BLACK AND ONLY BE AS TALL AS NEEDED TO ENSURE PROPER COVERAGE.

ALL NEW EQUIPMENT SHALL BE SPECIFIED AS NOTED ON SHEET IR-2.

IRRIGATION MASTER KEY

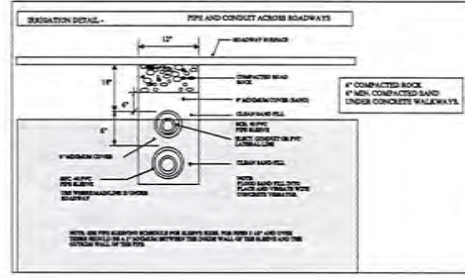
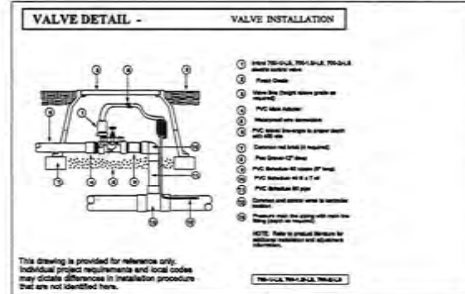
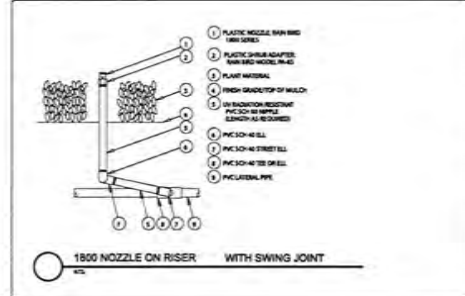
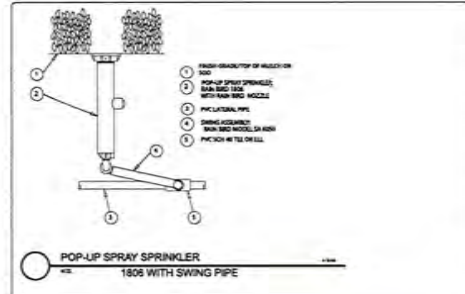
KEY	NO.	CODE	ITEM DESCRIPTION	INSTALLATION SPEC.
	14	SLV LINE NOTE	SLEEVES IN THIS CONTRACT Sleeves under roadways and driveways shall be SCH 40. Sleeves under sidewalks shall be CLASS 150 PVC. Install as per details and specifications.	Each sleeve shall be a minimum of two sizes larger than lateral pipe installed and each sleeve shall indicate separate electrical conduit diameter. All sleeves under pavement or roads shall be a minimum of 24" below the top of paving to the top of the concrete structure under it. Slope grade, inspection. Sleeves shall be installed at the most logical locations to avoid underground utilities and structures. Sloving locations shall be coordinated electrically by irrigation plans. The GC shall install and permit as required. No work shall be in contact with UTILITY . The GC shall inspect and permit shall be made by the Permitting Contractor on the job.
C	06C17	CON	PROVIDE NEW IRRIGATION CONTROLLER RAIN SENS. IRR 4 4 zones Electro-mechanical controller. Add zone module as needed. Controller will be installed as part of the pump station within pump enclosure. Contractor shall provide electrical service to pump station. Electrical hook-up provided by GC to disconnect on site. Irrigation Contractor to coordinate with GC / Electrician.	Contractor shall mark enclose on the controller panel to correspond with the meter numbers on this plan and set operating sequence to correspond with the sequencing.
	02	CONTR. NOTE	IRRIGATION CONTRACTOR UTILITIES ABOVE AND BELOW GROUND.	Contractor shall be responsible for the location and verification of all overhead and underground utilities. Contractor shall coordinate with all of the appropriate agencies to verify utilities in the field. Contractor shall be responsible for the protection and maintenance and any damage to existing utilities and structures that may occur as the implementation of the scope of work within this project. CONTRACTORS MUST USE THE STANDARD SCHEDULE OF COLORS DESIGNATED FOR MARKINGS ON THE GROUND 1994 edition.
	06V11	VALVE BOX	VALVE COVER BOX - AMETEK Heavy Duty Box with Locking Cover. 7/8"-18 Box 18" Dia.	All valve assemblies to be installed below grade shall include AMETEK valve boxes with a 2" layer of drainage gravel as close as possible to the box. Install top of box flush with surrounding grade, grass or mulch depending on location. Group valve assemblies as they are available with the correct size box. Any substitutions must be approved by landscape architect by providing sample or product information for review and written approval.
X	76A	Head	RADNOR 1800 SERIES, XP and VAN SERIES 1806-PS 6" POP-UP Low Caliber Nozzle 1/4 IPS 1/2 IPS 3/4 IPS 2.5" 4.5" 6" 8" 10" 12" 15" Models RADNOR SPECIAL PATTERNS SERIES 15 RADNOR EST. 507	All heads in walk shrub beds shall be mounted on 180" 12" diam. pedestal by using jangle grass. Contractor shall adjust head spray to eliminate over spray of water onto structure walls, driveways, and walkways.
	90	HEAD NOTE	GENERAL HEAD NOTE ALL HEAD LOCATIONS SHOWN ON PLANS ARE SCHEMATIC	Contractor to maintain 100% coverage with minimum 50% overlap when storm head location changes are necessary due to field conditions. Install adjustable angle nozzle where needed. All heads in open grass areas to be mounted on polypropylene swing joints. Heads in shrub areas shall be installed on SCH 160 stems raised to 1" above plant height, and with PVC SCH 160 swing joint assembly below grade. Stems taller than 24" above grade shall be supported for support. All stems shall be fitted with shrub adapters and approved bottom. All stems shall be painted with Krylon Jungle Green or equal.
X	92	RAIN SENSOR	"MINI CLIC" RAIN SENSOR MODEL 302 TO BE INSTALLED BY IRRIGATION CONTRACTOR IN AN EASILY ACCESSIBLE POSITION A MIN. OF 4" ABOVE ADJACENT SPRAY HEIGHT	"MINI CLIC" Mount the Mini Clic PER MANUFACTURER'S SPECIFICATIONS. Each system shall have its own individual rain sensor. Contractor is responsible for a fully operational system from completion to location of the sensor.

NOTE: IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE TO ADHERE TO ALL MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF IRRIGATION EQUIPMENT.

NOTE: ALL DETAILS AND SPECIFICATIONS ON THIS SHEET SHALL BE APPLIED TO ALL PROPOSED AND REPLACEMENT IRRIGATION EQUIPMENT.

IRRIGATION MASTER KEY

KEY	NO.	CODE	ITEM DESCRIPTION	INSTALLATION SPEC.
	06V11	WIRE LOW VOLT	Control wires for 24V Automatic Valves shall be installed by Irrigation Contractor. Wire shall be elevated in minimum 1" SCH 40 electrical conduit buried a minimum of 24". Contractor shall run (2) spare control wires and (1) one spare common wire to the furthest side of system to which direction. Common wire shall be grey or green, while the control wires shall each be a different color.	All irrigation control wires shall be U.L. approved 24V solid copper wire. Wires shall separate 24V automatic controller valve and meter the line from below. List and open wires to be AWG size 14 gauge and common wire to be AWG wire size 12 gauge. Number 14 wire to be color coded separately with dark colors. Multi strand cable shall only be used between the controller and the first splice and shall not exceed 25 feet. No splices between valves. All splicing shall be done in valve boxes only. All splicing shall be with IMRDY wire connectors. All valve box locations to be approved by the lead arch. All valve box to be set level with grade.
	06V1A	MASTER VALVE	Intertec Series 700 or Series 180 Use Aclite seal gaskets 2" valve for areas in CFM volumes 171-204 3" valve for areas in CFM volumes 211-279 1.5" valve for areas in CFM volumes 41-76 1" valve for areas in CFM volumes 18-40	All Valves shall be installed in a separate AMETEK valve box. All valve boxes to be placed upon a 2" layer of gravel. All valves assembled with Sch. 80 PVC supply shall be used in place of male adapters. Top part of valve assembly to be 9" below top of valve cover box. This valve shall be used as the job dictated. Valve controlling each zone as well as used as the Master Control Valve for applicable phase. All valve box locations to be approved by the Landscape Architect. All boxes to be set level with grade.
	11	PIPE GDN NOTE	LATERAL PIPE All New Pipe and Fittings. Size as noted in plans.	2 1/2" Pipe to be Class 200. All other lateral pipe to be Class 144, except where ground is rocky; in rocky ground SCH 40 pipe will be used. Class 200/144 will be provided on all sides with a least 12" of cover. Lateral line buildings shall be installed to be placed 12" minimum below grade. All lateral pipe under pavement to be elevated. No lateral installed shall be less than 36".
	12	PIPE GDN NOTE	MAIN & LATERALS	Unless specifically detailed ALL PIPING LOCATIONS SHOWN ON PLANS ARE SCHEMATIC. Contractor to adjust resulting to field for existing conditions, obstructions and structures. Install pipes clear of building rows and tree canopies. Irrigation contractor is responsible to adjust lines at his own expense if not coordinated with all other work. All piping shall be laid in class 80 per Florida Building Code 2001 and back BS 40 transition line of ducts. Mechanical breakers are acceptable except in drainage reticula and utility areas which shall be hand dug and backfilled to original grade. CONTRACTOR ADJUSTMENTS DOES NOT WAIVER ANY ADDITIONAL COSTS BIDDING OR BASK BID.
	13	PIPE GDN NOTE	MAIN & LATERALS BACKFLOWING	Overhead Lines: The sub-contractor shall do all necessary electrical and backflowing required for the proper installation of the work. Minimum depth of cover over piping shall be 24 inches. Backflow preventer shall be done in 2 inch dia. 1/2 inch diameter pipe. The backflow preventer shall be installed in a location that is accessible for maintenance. The backflow preventer shall be installed in a location that is accessible for maintenance. The backflow preventer shall be installed in a location that is accessible for maintenance. The backflow preventer shall be installed in a location that is accessible for maintenance.
	10	MAIN LINE NOTE	110" DEAD END MAIN LINE ALL MAINLINE PIPE SHALL BE 80#-24 CLASS 30 SOLVENT WELD OR CLASS 300-0-RING PVC PIPE TERRACE LINES SHALL BE 80# CLASS 300 FOR 24" AND 1" LINES AND 80# CLASS 300 FOR ALL LINES 1 1/4" AND ABOVE 10" PIPE SHALL NOT BE USED EXCEPT FOR BRANCH LINES AND SHALL THEN BE SCH 40 PVC. ALL PIPING SHALL BE 100' PER 10' NOT TO EXCEED A VELOCITY OF 5 FPS.	MAIN LINES LOCATION IS SHOWN SCHEMATICALLY. Where over possible, lateral lines are to be buried to common trench with main line. All wires shall be run under main line for protection. All Main lines shall be buried at minimum 18" depth. Main should run deeper at road crossings. All pipe and fitting materials shall be new. All pipe to be cut squarely and burrs removed. All P.V.C. Material 4" and larger to be installed with use of SANDCO Chopped Straps and poured concrete three inches as per spec.
M BF	90MS	WM	NEW 1" WATER METER WITH 1" PRESSURE VACUUM BREAKER Meter supplied by County or City. Verify requirements for installation (if needed). Contractor shall install a Backflow Prevention Device and supply appropriate replacement per city requirements if existing equipment does not meet code requirements.	* See plans for location. Irrigation contractor shall begin at the point of the meter to step up to the size service main called for in plans. If an approved Backflow Prevention Device is not already in place or is not required, the Contractor shall supply and install equipment as required to meet local code. Install a Street Gate Valve, size to match meter size, at the beginning of the main to supply the applicable system. *



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ERIC CHANCELLOR
CHANCELLOR DESIGN GROUP
1921 GUNN RD.
WINTER PARK, FL 32792
850.380.2600

PROGRESSO PARK
PROGRESSO PARK
825 & 833 PROGRESSO DRIVE,
FORT LAUDERDALE, FL 33304

PROGRESSO PARK
825 & 833 PROGRESSO DRIVE,
FORT LAUDERDALE, FL 33304

NO.	DATE	DESCRIPTION

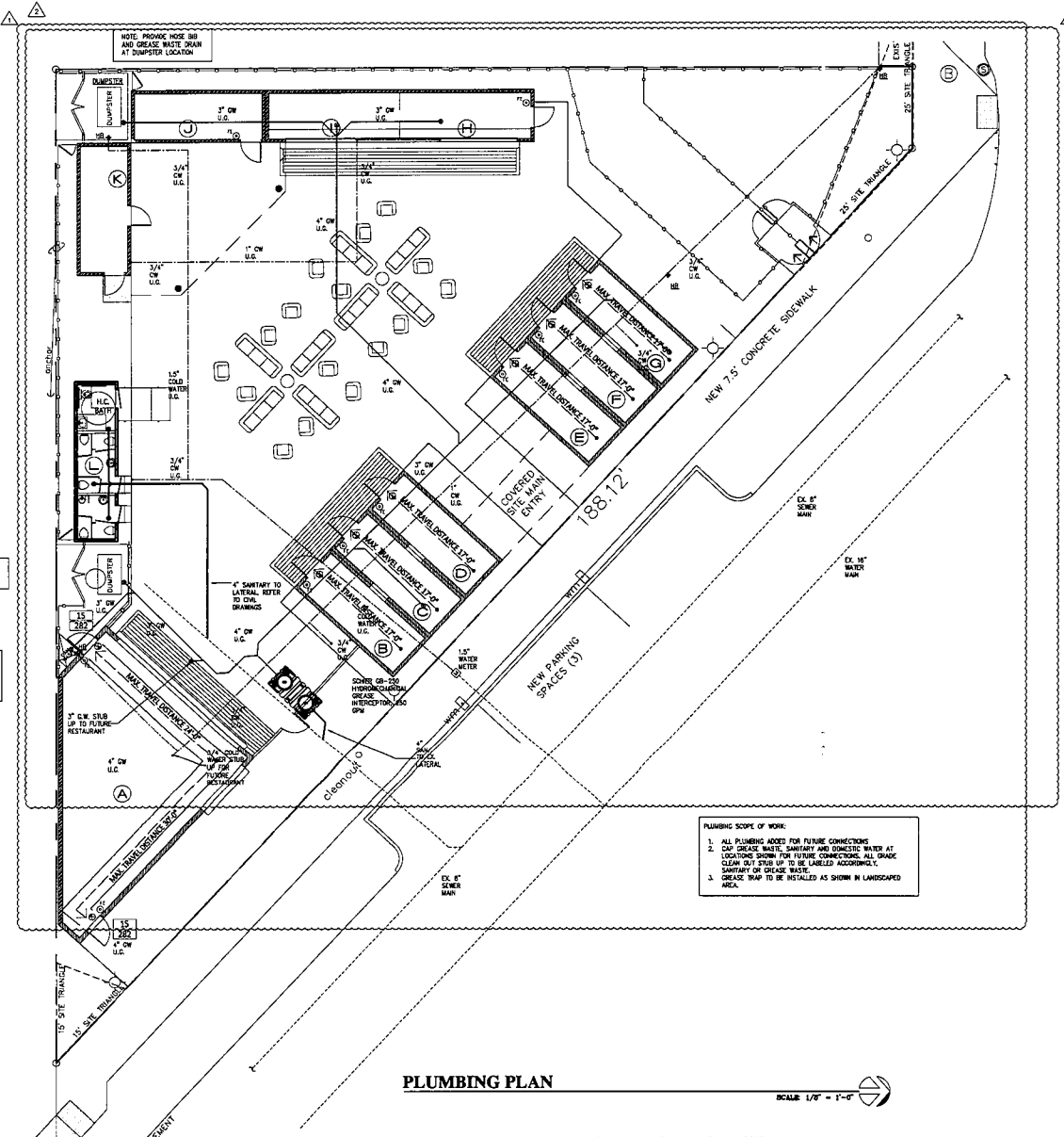
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DATE: 12/15/2011
DRAWN BY: TBO
JOB NO.: 780
SCALE: AS SHOWN

IRRIGATION DETAILS & SPECIFICATIONS SHEET

IR-2

CONSTRUCTION PERMIT



NOTE: BATHROOMS SHOWN ARE FOR FUTURE CONNECTION AND SHALL BE MODULAR PRE-ASSEMBLED WHEN INSTALLED.

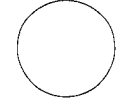
NOTE: PROVIDE HOSE BIB AND GREASE WASTE DRAIN AT DUMPSTER LOCATION.

NOTE: NEW UTILITIES TO STUB UP FOR FUTURE RESTAURANT. CONNECTIONS FOR FUTURE RESTAURANT SHALL BE DONE UNDER SEPARATE PERMIT.

PLUMBING SCOPE OF WORK:
 1. ALL PLUMBING ADDED FOR FUTURE CONNECTIONS.
 2. CAP GREASE WASTE, SANITARY AND DOMESTIC WATER AT LOCATIONS SHOWN FOR FUTURE CONNECTIONS. ALL GRAB CLEAN OUT STUBS UP TO BE LABELED ACCORDING TO SANITARY OR GREASE WASTE.
 3. GREASE TRAP TO BE INSTALLED AS SHOWN IN LANDSCAPED AREA.

PLUMBING PLAN

SCALE 1/8" = 1'-0"



ARCHITECT:
 ERIC CHANCELLOR
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PROGRESSO PARK
 PROGRESSO PARK
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 FORT LAUDERDALE, FL
 33304

PROGRESSO PARK
 825 & 833 PROGRESSO DRIVE,
 FORT LAUDERDALE, FL
 33304

NO.	DATE	DESCRIPTION
1.	11-30-21	R.D.C.
2.	03-29-22	S.D.C.
3.	04-22-22	COORO

Richard Corbett Digitally signed by Richard Corbett
 Date: 2022.04.27 10:32:56 -04'00'

IN THE BEST OF HIS PROFESSIONAL JUDGMENT AND IN ACCORDANCE WITH THE PROFESSIONAL SEAL OF THE ARCHITECTURE BOARD OF FLORIDA, I HEREBY CERTIFY THAT THE DESIGN AND CONSTRUCTION OF THE ABOVE DESCRIBED PROJECT IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA ARCHITECTURE BOARD OF FLORIDA. I AM NOT PROVIDING ANY GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREIN WITHOUT THE EXPRESS WRITTEN PERMISSION OF CHANCELLOR DESIGN GROUP, INC.

I, **RICHARD C. CORBETT**, AS A PROFESSIONAL ENGINEER, HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA AND AM PROVIDING MY SERVICES IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BOARD OF PROFESSIONAL ENGINEERING. I AM NOT PROVIDING ANY GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREIN WITHOUT THE EXPRESS WRITTEN PERMISSION OF CHANCELLOR DESIGN GROUP, INC.

THIS SET OF PLANS HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY RICHARD C. CORBETT, P.E., IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BOARD OF PROFESSIONAL ENGINEERING. ANY REVISIONS TO THESE PLANS MUST BE MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BOARD OF PROFESSIONAL ENGINEERING.

RICHARD C. CORBETT, P.E.
 800 N. BERRY AVE., SUITE 100
 FORT LAUDERDALE, FL 33304
 TEL: 954.344.1111
 FAX: 954.344.1112
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PROJECT No.: 21040.00

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DATE: 11/30/21
 DRAWN BY: TBO
 CHECKED BY: TBO
 SCALE: AS INDICATED

SHEET
 Data

P-1

CONSTRUCTION PERMIT

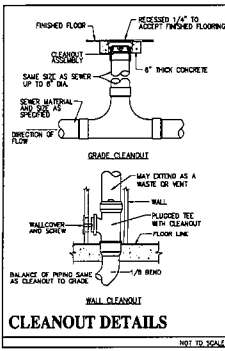
PLUMBING SPECIFICATIONS:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH FLORIDA PLUMBING CODE 774 (2018) (FCO) AND ALL CODES NOTED BY IT.
- BEFORE ORDERING, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL MATERIALS AND EQUIPMENT TO ENGINEER OF RECORD FOR APPROVAL.
- PLUMBING CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE THAT ALL PLUMBING WORK IS FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP, AND FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE, REPAIR AND REPLACE ALL WORK WHICH BECOMES DEFECTIVE AT NO EXPENSE TO THE OWNER.
- MATERIALS SHALL BE AS FOLLOWS:
 - DOMESTIC WATER PIPING - TYPE 1/2 COPPER
 - SANITARY WASTE PIPING - SCH. 40 PVC
 - CONDENSATE DRAINAGE PIPING - SCH. 40 PVC
 - VALVES - BRASS BODY OR EQUAL AND RATED AT 125 PSI
 - HANGERS - COPING SHALL BE SUPPORTED EVERY 4'-0" HORIZ. AND AT THE BASE OF EACH STORY LESS THAN 15' HIGH. PVC PIPING SHALL BE SUPPORTED EVERY 4'-0" HORIZ. AND AT THE BASE OF EACH STORY FOR PIPES GREATER THAN 3" AND AT EACH HALF STORY FOR PIPES UP TO 1 1/2".
 - NOT USED
 - NOT USED
 - ALL PLUMBING FITTINGS SHALL BE WATER SAVER PER CODE, PVC TABLE 604.4 TYPE, COLOR AND TRIM TO BE SELECTED BY OWNER.
 - NOT USED
- PERFORM FOLLOWING TESTS:
 - WATER PIPING SHALL BE SUBJECTED TO 100 PSI HYDROSTATIC PRESSURE FOR A PERIOD OF THE SUPPLIER TO EXAMINE THE WHOLE SYSTEM BUT NOT LESS THAN 24 HOURS.
 - DRAINAGE PIPING - THE CROSS OF THE PIPING SHALL BE PLUGGED AND THE SYSTEM FILLED WITH 10 FOOT HEAD OF WATER. WATER SHALL STAND UNTIL INSPECTION IS MADE AND WATER LEVEL REMAINS CONSTANT.
 - CORRECT DEFECTS DISCLOSED BY ABOVE TEST.
 - CONTRACTOR SHALL PROVIDE ENGINEER A CERTIFIED LETTER THAT THE PLUMBING SYSTEM HAS PASSED ALL TESTS.
- STAINLESS STEEL WATER LINES WITH A Mixture of 4 LBS OF CHLORINATED LIME TO EACH 1000 GALLONS OF WATER WITHIN THE Mixture IN PIPES FOR 24 HOURS AND FLUSH THOROUGHLY WITH POTABLE WATER BEFORE PLACING IN SERVICE.
- COMPLETE SYSTEM FITTINGS AND EQUIPMENT SHALL BE GIVEN AN IN-SERVICE TEST AFTER COMPLETION OF INSTALLATION.
- FURNISH REQUIRED FLASHING TO ROOFING CONTRACTOR FOR PIPES PENETRATING THE ROOF.
- PROVIDE EXCAVATION AND BANDOL COMPACTOR REQUIRED FOR PLUMBING UNDERGROUND WORK. ALL PIPES BELOW GRADE SHALL BE COORDINATED WITH STRUCTURAL ELEMENTS PRIOR TO POURING.
- FOR ARRESTORS SHALL BE ONLY APPROVED MEANS OF CONTROLLING WATER HAMMER.

HANGER SPACING

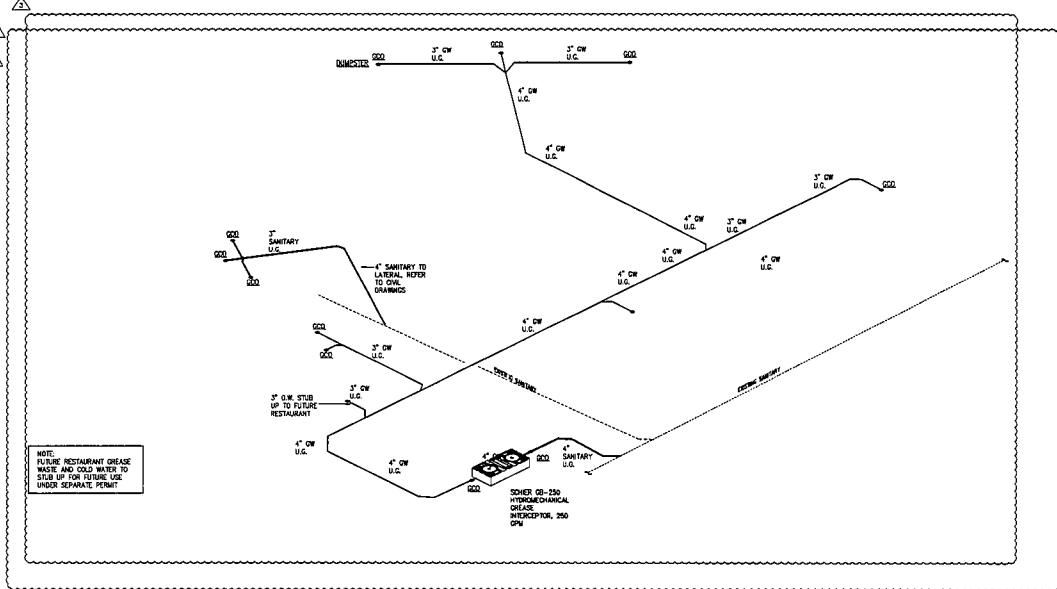
PIPE MATERIAL	MAXIMUM HORIZONTAL SPACING	MAXIMUM VERTICAL SPACING
CAST IRON	3' (A)	15'
COPPER PIPE	12'	12'
COPPER TUBING 1 1/4" AND LESS	4'	12'
COPPER TUBING 1 1/2" AND OVER	12'	12'
PVC PIPE	4'	12' (B)
STEEL PIPE	12'	15'

A - SPACING SHALL BE 1/2" IF 10' LENGTHS ARE INSTALLED
 B - MID STORY GIRDERS FOR 7" AND LARGER

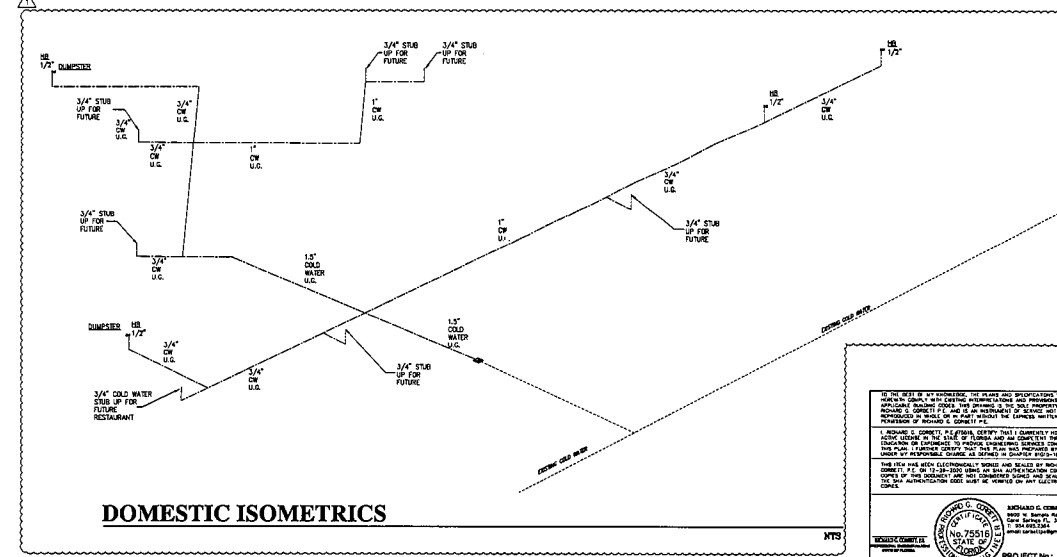


SYMBOL LEGEND

SYMBOL	DESCRIPTION
⊘	SHUT OFF VALVE
⊕	PIST RELIEF VALVE
⊖	SAFETY VALVE IN RISER
⊙	PIPE FLUNG DOWN
⊙	PIPE FLUNG UP
⊕	UNION
⊕	HOSE BIBB
⊕	PSI WATER HAMMER ARRESTOR LETTER DENOTES PSI SIZE
⊕	WALL CLEAN OUT
⊕	WATER METER
⊕	FLOOR CLEAN OUT
---	COLD WATER PIPING
---	HOT WATER PIPING
---	SANITARY WASTE PIPING
---	VENT PIPING
---	CONDENSATE DRAIN PIPE
---	PAN - PAN DRAIN PIPE
---	PAT - PAT RELIEF PIPE



SANITARY ISOMETRICS



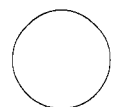
DOMESTIC ISOMETRICS

IF THE OWNER OR CONTRACTOR HAS ANY QUESTIONS REGARDING THE INFORMATION CONTAINED HEREIN, CONTACT THE ENGINEER OF RECORD AT THE ADDRESS LISTED BELOW. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

1. APPROVED CONTRACTOR: ERIC CHANCELLOR DESIGN GROUP, INC. (E.C.D.G.)
 2. APPROVED CONTRACTOR: ERIC CHANCELLOR DESIGN GROUP, INC. (E.C.D.G.)
 3. APPROVED CONTRACTOR: ERIC CHANCELLOR DESIGN GROUP, INC. (E.C.D.G.)

ERIC CHANCELLOR DESIGN GROUP, INC.
 1921 GUNN RD.
 WINTER PARK, FL 32792
 850.380.2600

PROJECT No.: 21040.00



ARCHITECT:
 ERIC CHANCELLOR
 CHANCELLOR DESIGN GROUP
 1921 GUNN RD.
 WINTER PARK, FL 32792
 850.380.2600

PROGRESSO PARK

PROGRESSO PARK
 825 & 833 PROGRESSO DRIVE,
 FORT LAUDERDALE, FL 33304

PROGRESSO PARK
 825 & 833 PROGRESSO DRIVE,
 FORT LAUDERDALE, FL 33304

NO.	DATE	DESCRIPTION
1.	11-30-21	S.B.C
2.	03-29-22	S.B.C
3.	04-22-22	CCORD

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 JOB NO.: 190
 SCALE: AS INDICATED

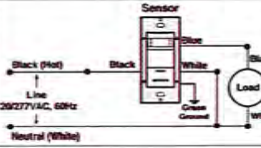
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P-2

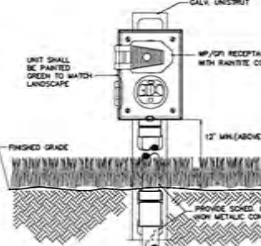
CONSTRUCTION PERMIT

POWER LEGEND

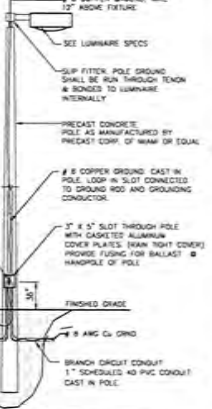
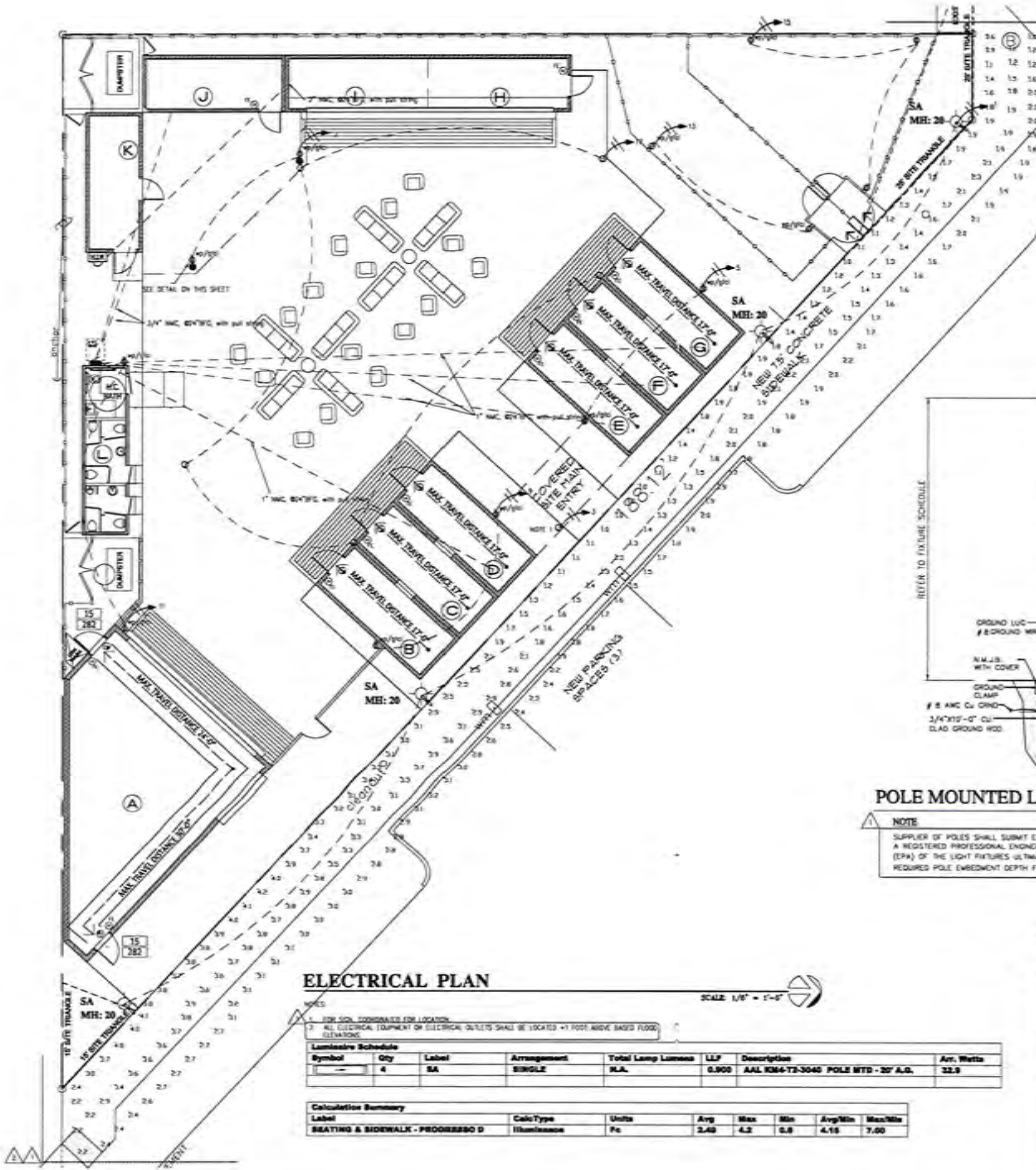
SYMBOL	DESCRIPTION
⊙	DUPLEX OUTLET (ISA +18" TO FC FROM AFF. U.S.D.)
⊙	DUPLEX RECEPT. (ISA +18" TO FC FROM AFF. U.S.D.)
⊙	DUPLEX RECEPT. WITH GROUND (ISA +18" TO FC ABOVE COUNTER U.S.D.)
⊙	QUICK RECEPT. (ISA +18" TO FC FROM AFF. U.S.D.)
⊙	FLOOR MTD. DUPLEX W/ PHONE/DATA (ISA U.S.D.)
⊙	SMITHSON DUPLEX (ISA +18" TO FC FROM AFF. U.S.D.)
⊙	2ND V. RECEPT. (ISA +18" TO FC FROM AFF. U.S.D.)
⊙	SPECIAL PURPOSE RECEPT. (ISA +18" TO FC FROM AFF. U.S.D.)
⊙	TYPICAL DATA AND PHONE DUPLEX & SPECIAL PURPOSE RECEPT. SHALL BE INSTALLED AS FOLLOWS: • 12" MIN. ABOVE FINISHED FLOOR • 18" MIN. ABOVE COUNTER • 18" MIN. ABOVE FINISHED FLOOR • 18" MIN. ABOVE FINISHED FLOOR • 18" MIN. ABOVE FINISHED FLOOR
⊙	JUNCTION BOX (4" MIN. GALVANNEED STEEL, 18" U.S.D.)
⊙	DATA/PHONE JUNCTION BOX (4" MIN. GALVANNEED STEEL, 18" U.S.D.)
⊙	DATA/PHONE OUTLET (18" TO FC FROM AFF. U.S.D.)
⊙	INDICATES AMOUNT OF DATA/PHONE (SEE LEG. FOR DETAILS) 1 = 1 DATA + 1 PHONE, 2 = 2 DATA + 2 PHONES, ETC.
⊙	TR. CABLE BOX, SATELLITE BOX CONNECTION OUTLET
⊙	TR. CABLE BOX, SATELLITE BOX CONNECTION OUTLET (SEE LEG. FOR DETAILS)
⊙	PANELBOARD (18" AFF. TO FC OF PANEL U.S.D.)
⊙	ELECTRICAL METER (18" AFF. TO FC OF MTR. U.S.D.)
⊙	INDICATES DIRECTION OF LINE
⊙	INDICATES HORIZONTAL LINE
⊙	INDICATES VERTICAL LINE
⊙	INDICATES CHASE
⊙	INDICATES WIRE IN FREE AIR COMPARED TO SLAC STRUCTURE
⊙	INDICATES FRAME SIDE
⊙	INDICATES NUMBER OF HOLES



WALL MOUNTED OCCUPANCY SENSOR WIRING DIAGRAM



LANDSCAPE RECEPTACLE DETAIL



POLE MOUNTED LUMINAIRE DETAIL

NOTE: SUPPLIER OF POLES SHALL SUBMIT ENGINEERED SHOP DRAWINGS SIGNED & SEALED BY A REGISTERED PROFESSIONAL ENGINEER (RPE) FOR THE EFFECTIVE PROJECTED AREA (EPA) OF THE LIGHT FIXTURES ULTIMATELY INSTALLED AND SHALL DETERMINE THE REQUIRED POLE EMBEDMENT DEPTH FOR THE CODE REQUIRED WIND VELOCITY PRESSURE.

Carlos A. Estenoz
 Digitally signed by Carlos A. Estenoz
 DN: cn=Carlos A. Estenoz, o=Carlos A. Estenoz, email=ca@caest.com
 Date: 2023.04.26 11:58:16 -0400

SEAL

PROJECT NO. 230408

ARCHITECT:
 ERIC CHANCELLOR
 CHANCELLOR DESIGN GROUP
 1521 GUNNY RD.
 WINTER PARK, FL 32792
 850.380.2600

PROGRESSO PARK

PROGRESSO PARK
 825 & 833 PROGRESSO DRIVE,
 FORT LAUDERDALE, FL 33304

PROGRESSO PARK
 825 & 833 PROGRESSO DRIVE,
 FORT LAUDERDALE, FL 33304

NO.	DATE	DESCRIPTION
1	11/23/21	COORDINATION
2	4/27/22	COORDINATION

C CONTRACTOR
 UNLICENSED OR UNREGISTERED

DATE: 10/20/23
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 SCALE: AS SHOWN

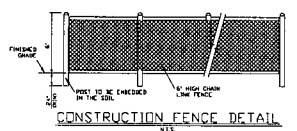
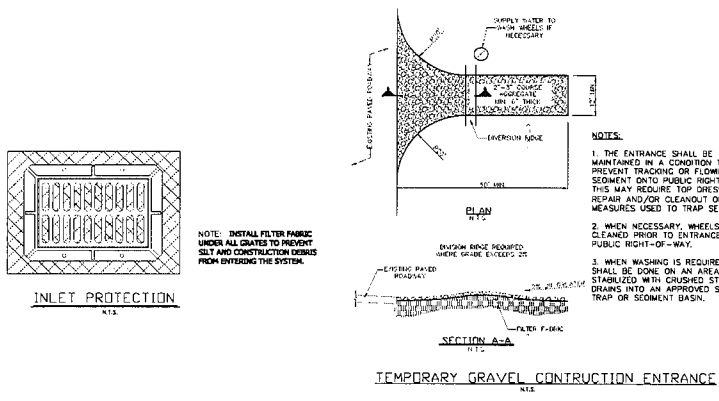
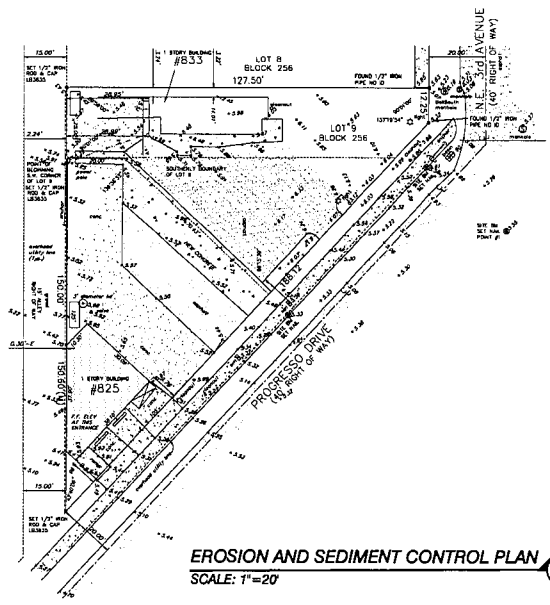
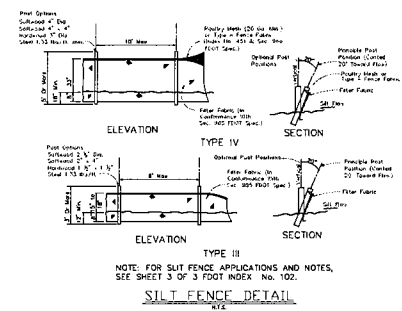
DATE: [blank]

E-1

CONSTRUCTION PERMIT

EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND APPLICABLE WATER MANAGEMENT DISTRICT PERMIT(S) FOR THIS PROJECT.
2. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWERS MANUAL" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION (FDER).
3. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT CONTROL MEASURES REQUIRED FOR THIS PROJECT THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
4. ALL EXCAVATIONS AND EARTHWORK SHALL BE DONE IN A MANNER TO MINIMIZE WATER TURBIDITY AND POLLUTION. DISCHARGE SHALL BE CONTROLLED AND REROUTED THROUGH FILTERS, SILTATION DIAPERS AND SUMPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION, CORRECTION, CONTROL AND ABATEMENT OF EROSION AND WATER POLLUTION IN ACCORDANCE WITH CHAPTER 62-302, FLORIDA ADMINISTRATIVE CODE.
5. THE CONTRACTOR SHALL PAY FOR ANY WATER QUALITY CONTROL VIOLATIONS FROM ANY AGENCY THAT RESULTS IN FINES BEING ASSESSED TO THE OWNER BECAUSE OF THE CONTRACTOR'S FAILURE TO ELIMINATE TURBID RUNOFF FROM LEAVING THE SITE AND RAISING BACKGROUND LEVELS ABOVE EXISTING BACKGROUND LEVEL.
6. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
7. ADDITIONAL PROTECTION - ON-SITE PROTECTION MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DO TO UNFORSEEN CONDITIONS OR ACCIDENTS.
8. SILT FENCES SHALL BE USED ALONG THE PROPERTY LINES TO MINIMIZE OFFSITE SILTATION MITIGATION.
9. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
10. SHOULD THE FABRIC ON A SILT FENCE DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER IS STILL NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
11. FILTER FABRIC SHALL BE INSTALLED UNDER INLET GRATES AND EXTEND A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. IF MORE THAN ONE STRIP OF FABRIC IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED 1 FOOT.
12. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL AND AS NEEDED.
13. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
14. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE APPLICABLE WATER MANAGEMENT DISTRICT.
15. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED.
16. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
17. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER BARRIER ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
18. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
19. FLOATING TURBIDITY BARRIERS WILL BE PLACED OFF SET FROM THE SEAWALL ADJACENT TO THE PROPERTY. IF SEAGRASSES ARE PRESENT BARRIERS WILL NOT BE PLACED OVER THEM. THE FLOATING TURBIDITY BARRIERS SHALL ALSO BE INSTALLED IN A MANNER TO PREVENT MANATEE ENTANGLEMENT.
20. ALL DEATERING, EROSION, AND SEDIMENT CONTROL SHALL REMAIN IN PLACE UNTIL AFTER COMPLETION OF CONSTRUCTION AND SHALL BE REMOVED WHEN AREAS HAVE BEEN STABILIZED.



This item has been digitally signed and sealed by Regina Bobo-Jackson, P.E. on the date adjacent to the seal. Printed copies of this document is not considered signed and sealed and the signature must be verified on any electronic copies.

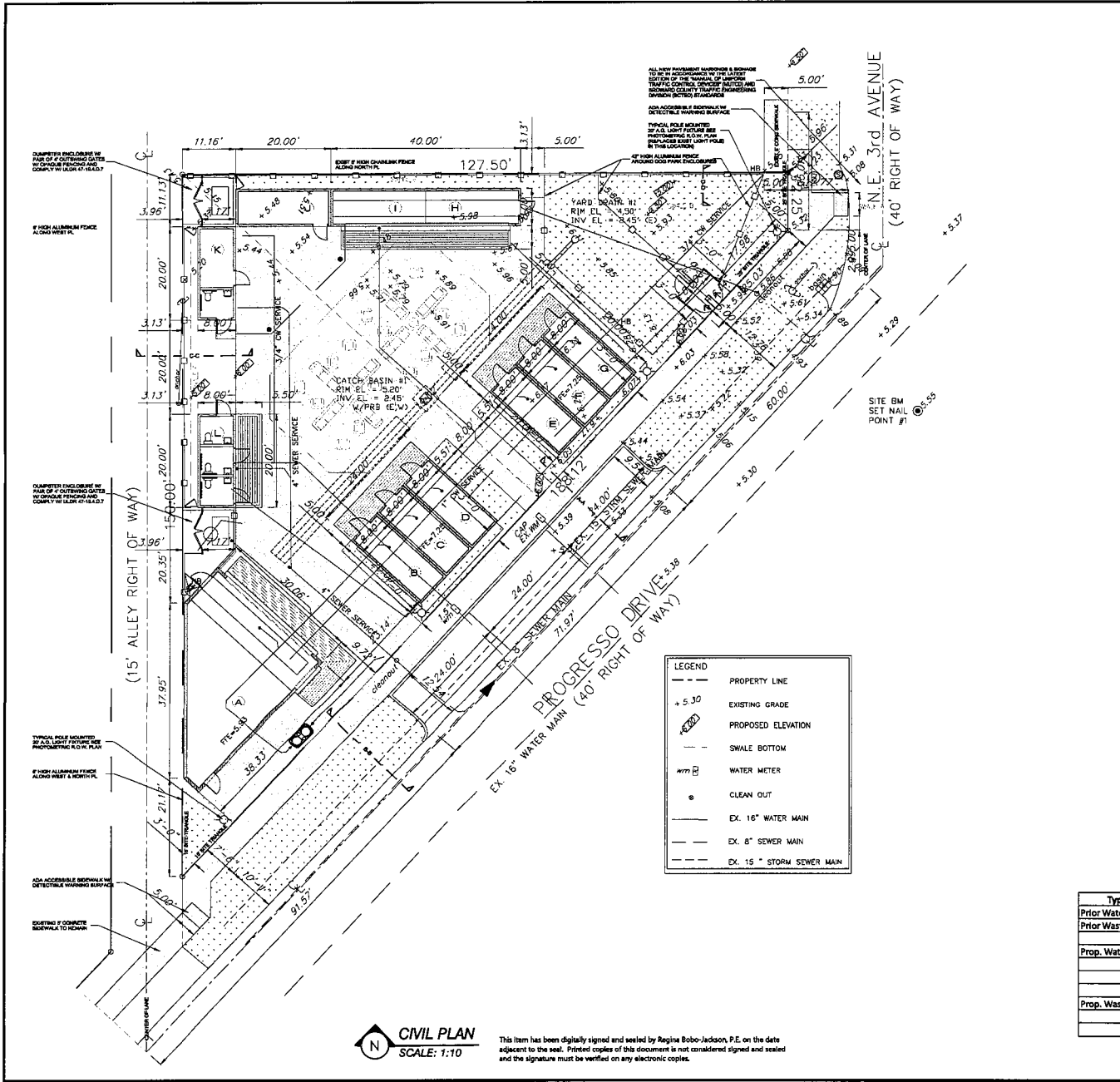


**PROGRESSO PARK
 825 & 833 PROGRESSO DRIVE
 FORT LAUDERDALE, FLORIDA**

REVISIONS	DATE	DESCRIPTION

SEA PROJECT NO.: 3007
 DATE: 05-25-2012
 SCALE: AS SHOWN
 CHECKED BY: R.B.J.
 DRAWN BY: J.B.
 DESIGNED BY: R.B.J.
 APPROVED BY: R.B.J.

SHEET TITLE
EROSION & SEDIMENT CONTROL PLAN
 C1 of 4



LEGAL DESCRIPTION

LOT 31, 32, AND 33, BLOCK 179 PROGRESSO, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 18, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. FOLIO # 4942 34 04 7760

GENERAL NOTES:

1. BASE SURVEY WAS PROVIDED BY ACCURATE LAND SURVEYING, INC. (N.A.V.D.).
2. ELEVATIONS SHOWN REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D.).
3. HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE CONTRACTOR'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER REPRESENTATIVE.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES VERIFIED AND LOCATED PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE SUCH DAMAGES.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTING ANY DISTURBED EXISTING MANHOLES, VALVE BOXES, SLOW-OFF RISERS OR ANY OTHER POINT OF ACCESSIBILITY TO UTILITIES, AND TO MATCH ASPHALT CONDES. AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THE DRAWINGS OR NOT.
7. TO AVOID MISUNDERSTANDING AND TO INSURE COMPLIANCE WITH SPECIFICATIONS, BEFORE FURNISHING MATERIALS OR EQUIPMENT FOR WORK, THE CONTRACTOR SHALL FURNISH A COPY OF SHOP DRAWINGS OR ILLUSTRATION SHEETS FOR APPROVAL BY THE ENGINEER. THE APPROVAL OF SHOP OR WORKING DRAWINGS BY THE ENGINEER SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRONEOUS OR INCONSISTENT DIMENSIONS, NOTATIONS, OMISSIONS OR OTHER ERRORS, OR FOR THE PROPER FUNCTIONING OF THE COMPLETE INSTALLATION.
8. THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

SPECIFIC NOTES:

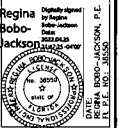
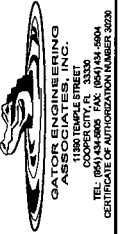
1. AT ALL TIMES DURING CONSTRUCTION, ALL STORMWATER MUST REMAIN ONSITE. NO DISCHARGE IS ALLOWED INTO THE PUBLIC RIGHT OF WAY.
2. FOLLOWING DEMOLITION WATER AND SEWER SERVICES SHOULD BE INSTALLED TO PREPARED FOR SURFACE CONCRETE PADS TO BE MANFOLD BELOW THE PROPOSED MODULAR BUILDING (REFER TO PLUMBING PLANS).
3. THE CONTRACTOR SHALL INSTALL WATER AND SEWER SERVICES AND RESTORE ANY EXISTING PAVEMENT TO REMAIN IN ACCORDANCE WITH THE TRENCHING DETAIL ON C4).
4. NO NEW SEWER OR WATER SERVICES ARE PROPOSED.
5. THESE PLANS SHALL BE COORDINATED WITH THE PLUMBING AND LANDSCAPE PLANS.
7. NO INCREASE IN PAVEMENT IS PROPOSED THEREFORE NO NEW DRAINAGE SYSTEM IS PROPOSED. TRADITIONAL RUNOFF WILL BE MAINTAINED. ALL NEW BUILDING ARE PROPOSED AS MODULAR AND ON-SITE SEATING AREAS AND WALKWAY ARE PROPOSED AS ABOVE GRADE DOCKING (SEE ARCHITECTURAL PLANS).

SITE CALCULATIONS:

	EXISTING	PROPOSED
BUILDING FOOTPRINTS (AT GRADE)	1,075 50 FT	2,497 50 FT
EXIST. PAVED SURFACES	6,810 50 FT	0 50 FT
NEW PAVED SURFACES	0 50 FT	5,185 50 FT
GREEN AREA	2,520 50 FT	2,773 50 FT
TOTAL AREA	10,405 50 FT	10,405 50 FT
TOTAL PEROUS AREA	2,520 50 FT	2,723 50 FT
TOTAL IMPERVIOUS AREA	7,885 50 FT	7,682 50 FT
TOTAL R/W HALF AREA	4,115 50 FT	4,115 50 FT
TOTAL PEROUS AREA	1,802 50 FT	1,690 50 FT
TOTAL IMPERVIOUS AREA	2,313 50 FT	2,425 50 FT

DEMAND TABLE

Type Demand	Type Unit	ERCs/Unit	No. of Units	ERCs
Prior Water Demand	Office	0.636	1137	0.723
Prior Wastewater Demand	Office	0.636	1137	0.723
Prop. Water Demand	Restaurant	2.495	737	1.839
	Bar	1.236	320	0.396
	Retail	0.55	960	0.528
Prop. Wastewater Demand	Restaurant	2.495	737	1.839
	Bar	1.236	320	0.396
	Retail	0.55	960	0.528



**PROGRESSO PARK
825 & 833 PROGRESSO DRIVE
FORT LAUDERDALE, FLORIDA**

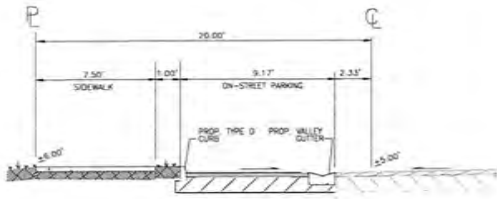
REVISIONS	DATE	DESCRIPTION

SEA PROJECT NO. 20017
DATE: 06-28-2019
SCALE: AS SHOWN
DESIGNED BY: R.B.J.
DRAWN BY: R.B.J.
CHECKED BY: R.B.J.
APPROVED BY: R.B.J.

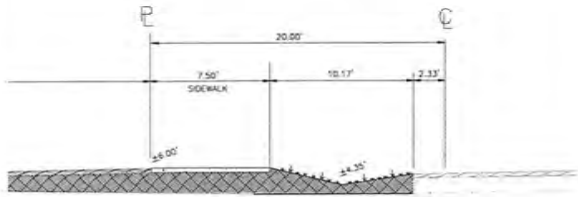
SHEET TITLE
CIVIL PLAN
C2 of 4

CIVIL PLAN
SCALE: 1:10

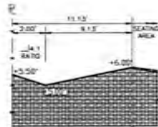
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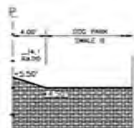
SECTION A-A
NTS



SECTION B-B
NTS

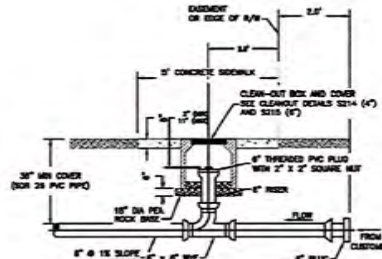


SECTION C-C
NTS



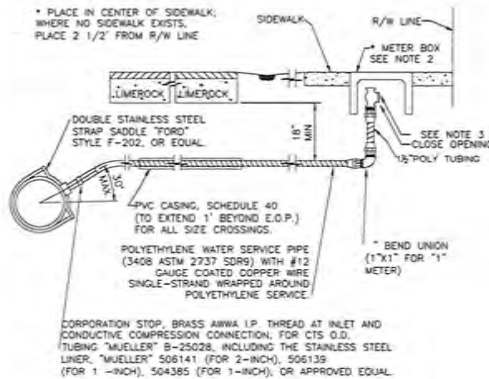
SECTION D-D
NTS

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1. THE CLEAN OUT SHALL BE INSTALLED IN THE MIDDLE OF THE SIDEWALK. THIS DIMENSION WILL VARY DEPENDING UPON THE WIDTH OF THE SIDEWALK. 2.5' APPLIES TO 5' SIDEWALK WIDTH. IF SIDEWALKS DO NOT EXIST, THE CLEAN OUT SHALL BE LOCATED 2.5' FROM THE FRONT OF R/W LINE.
2. A NEW SECTION OF SIDEWALK SHALL BE POURED AROUND THE CLEAN-OUT BOX WHEN WORKING IN AN AREA WITH EXISTING SIDEWALKS.
3. IN CROSS AREA USE 24"X24" OR 24" DIAMETER CONCRETE COLLAR. SEE DETAILS S214 AND S215 FOR A 4' X 6' X 8" CLEAN-OUT.

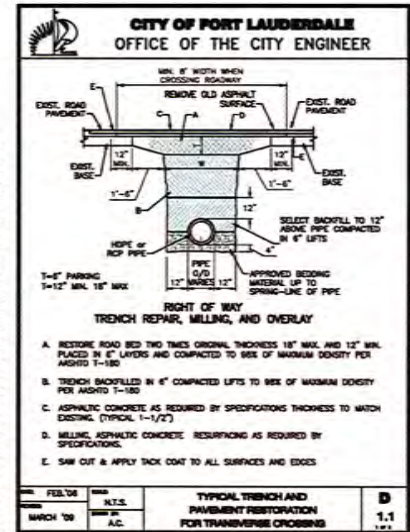
213 SANITARY SERVICE CONNECTION AT PROPERTY LINE OR EASEMENT LINE (PROFILE) N.T.S.



NOTE:

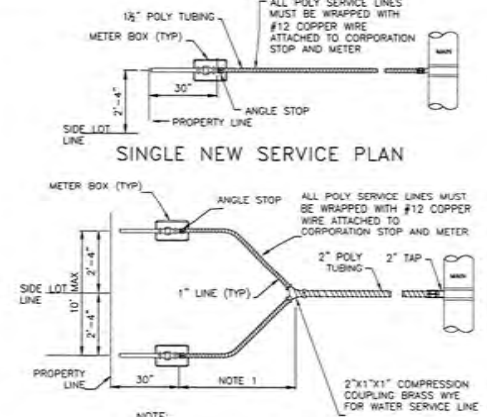
1. GROUND KEY ANGLE METER STOP CONDUCTIVE COMPRESSION FOR CTS O.D. TUBING. X METERS PLANGE 180° TURN CHECK-LOCK WITH "MUELLER" H-14277. FOR 2-INCH INCLUDING THE STAINLESS STEEL LINER, "MUELLER" 506141 (FOR 2-INCH) OR APPROVED EQUAL, AND MUELLER 110 COMPRESSION CONNECTION.
2. METER BOXES FOR 5/8, 3/4, AND 1 INCH METERS SHALL BE THE OKIE DOKIE #890-40-260282 MEDIUM BOX AND 890-40-260257 MEDIUM LID OR EQUAL.
3. CONNECT ANGLE VALVE TO EXISTING METER WHERE APPLICABLE.

TYPICAL WATER SERVICE INSTALLATION (300)



PLAN VIEW TRENCH REPAIR, MILLING AND OVERLAY FOR 18" DIA. R/W LINE, 2 1/2" DIA. R/W LINE, 2 1/2" DIA. R/W LINE

REV.	DATE	BY	DESCRIPTION	SCALE
MARCH '08	N.T.S.		TYPICAL TRENCH AND PARALLEL RESTRICTION FOR TRANSVERSE CROSSINGS	D
MARCH '08	A.C.			1.1



DOUBLE NEW SERVICE PLAN

TYPICAL WATER SERVICE (301)



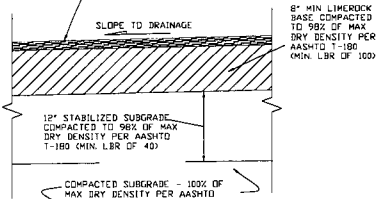
PROGRESS PARK
825 & 833 PROGRESS DRIVE
FORT LAUDERDALE, FLORIDA

REVISIONS	DATE	DESCRIPTION

SEA PROJECT NO. 2007
DATE: 03-25-2008
SCALE: AS SHOWN
DRAWN BY: S.B.A.
CHECKED BY: S.B.A.
APPROVED BY: S.B.A.

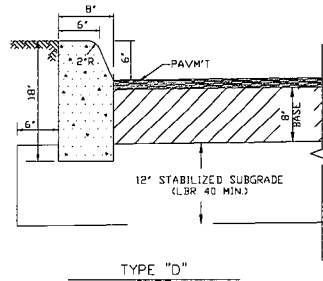
SHEET TITLE
DETAILS
C3 of 4

1-1/2" MIN THICKNESS TYPE S-3 ASPHALTIC CONCRETE PLACED IN (2) LIFTS. SECOND LIFT TO BE INSTALLED AFTER FINAL LANDSCAPING AND IRRIGATION INSPECTIONS.



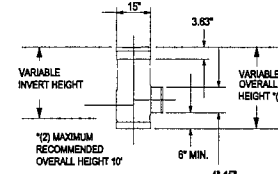
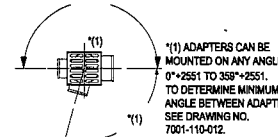
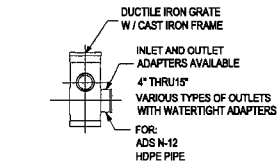
- NOTES:**
1. STABILIZED SUBGRADE SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (LBR) OF 40 AND IS REQUIRED FOR ALL NEW PAVEMENT CONSTRUCTION. ALL STABILIZED SUBGRADE SHALL BE STRING LINED FOR GRADE AND PASS ALL REQUIRED DENSITY TESTING PRIOR TO PLACEMENT OF LIMEROCK BASE.
 2. LIMEROCK BASE FOR PARKING LOTS SHALL BE A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM.
 3. PRIME COAT SHALL BE APPLIED TO ALL FINISHED LIMEROCK BASE SURFACES AFTER BOARDING AND DENSITY INSPECTIONS. APPLICATION RATES AND MATERIALS SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS.
 4. TACK COAT SHALL BE PLACED BETWEEN SURFACE LIFTS. APPLICATION RATES AND MATERIALS SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS.
 5. THE FINAL PAVEMENT LIFT SHOULD NOT BE PLACED UNTIL ALL PROJECT LANDSCAPING IS IN PLACE AND THE IRRIGATION SYSTEM IS FINALED.

ASPHALTIC CONCRETE PAVEMENT DETAIL
N.T.S.

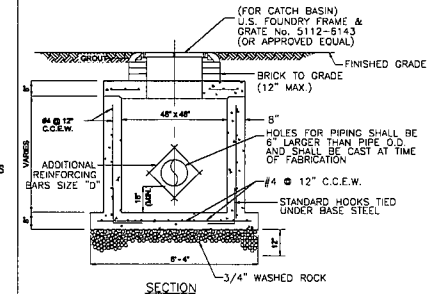


- CURB NOTES:**
1. PROVIDE 1/4" WIDE CONTRACTION JOINT A MINIMUM OF 1-1/2" DEEP AND AT 10' SPACING MAXIMUM FOR ALL CURBS.
 2. CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
 3. TYPE 'D' CURB FOR PARKING LOTS MAY BE INSTALLED AS 'TRENCHED' D CURB WITH EXTRUDED TOP AT THE CONTRACTOR'S OPTION. TRENCHED CURB REQUIRES CITY TRENCH INSPECTION AND APPROVAL. EXTRUDED CURB MUST BE PLACED WITHIN 15 MINUTES OF PLACEMENT OF TRENCH CONCRETE. EXTRUDED CURB AND TRENCH CONCRETE SHALL BE MONOLITHIC.

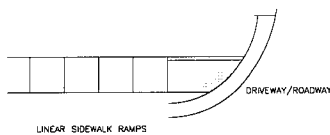
TYPE "D" CURB DETAIL
N.T.S.



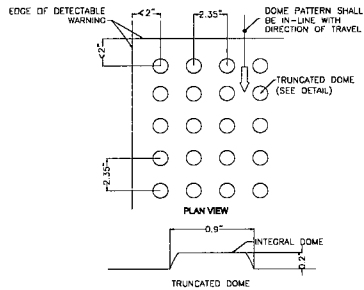
15" DRAIN BASIN
N.T.S.



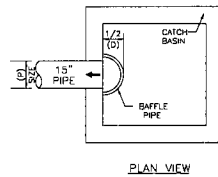
PRECAST DRAINAGE CATCH BASIN
N.T.S.



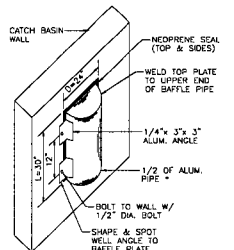
ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTENDS THE FULL WIDTH OF THE RAMP AND THE DIRECTION OF TRAVEL 36 INCHES FROM THE BACK OF CURB, PER BROWARD COUNTY BUILDING CODE.



CURB RAMP DETECTABLE WARNING
N.T.S.

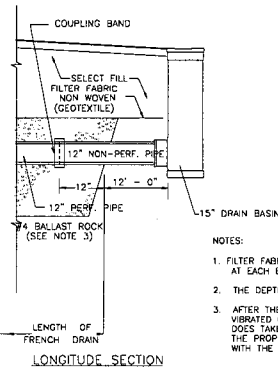


NOTE:
INSTALL BAFFLE WITH TOP PLATE 3" ABOVE TOP OF OUTFALL PIPE AND BOTTOM OF BAFFLE PIPE 6" BELOW INV. OF OUTFALL PIPE.



POLLUTION RETARDENT BAFFLE (PRB)
N.T.S.

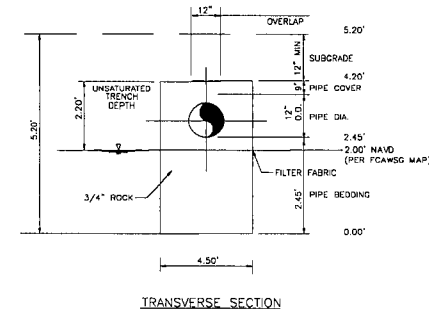
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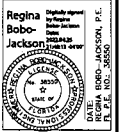
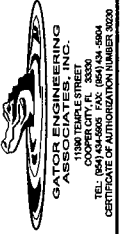
NOTES:

1. FILTER FABRIC PER F.D.O.T. STD. INDEX #199 SHALL BE USED AT EACH SIDE AND ON TOP, AND AT EACH END OF FRENCH DRAIN TRENCH.
2. THE DEPTH OF THE EXFILTRATION TRENCH SHALL BE 4.20 FEET.
3. AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION IT SHALL BE CAREFULLY VIBRATED OR COMPACTED IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION SO THAT THE EXFILTRATION TRENCH CAN BE COMPLETED IN ACCORDANCE WITH THE DETAIL.

LONGITUDE SECTION



TYPICAL DETAIL - EXFILTRATION TRENCH
N.T.S.

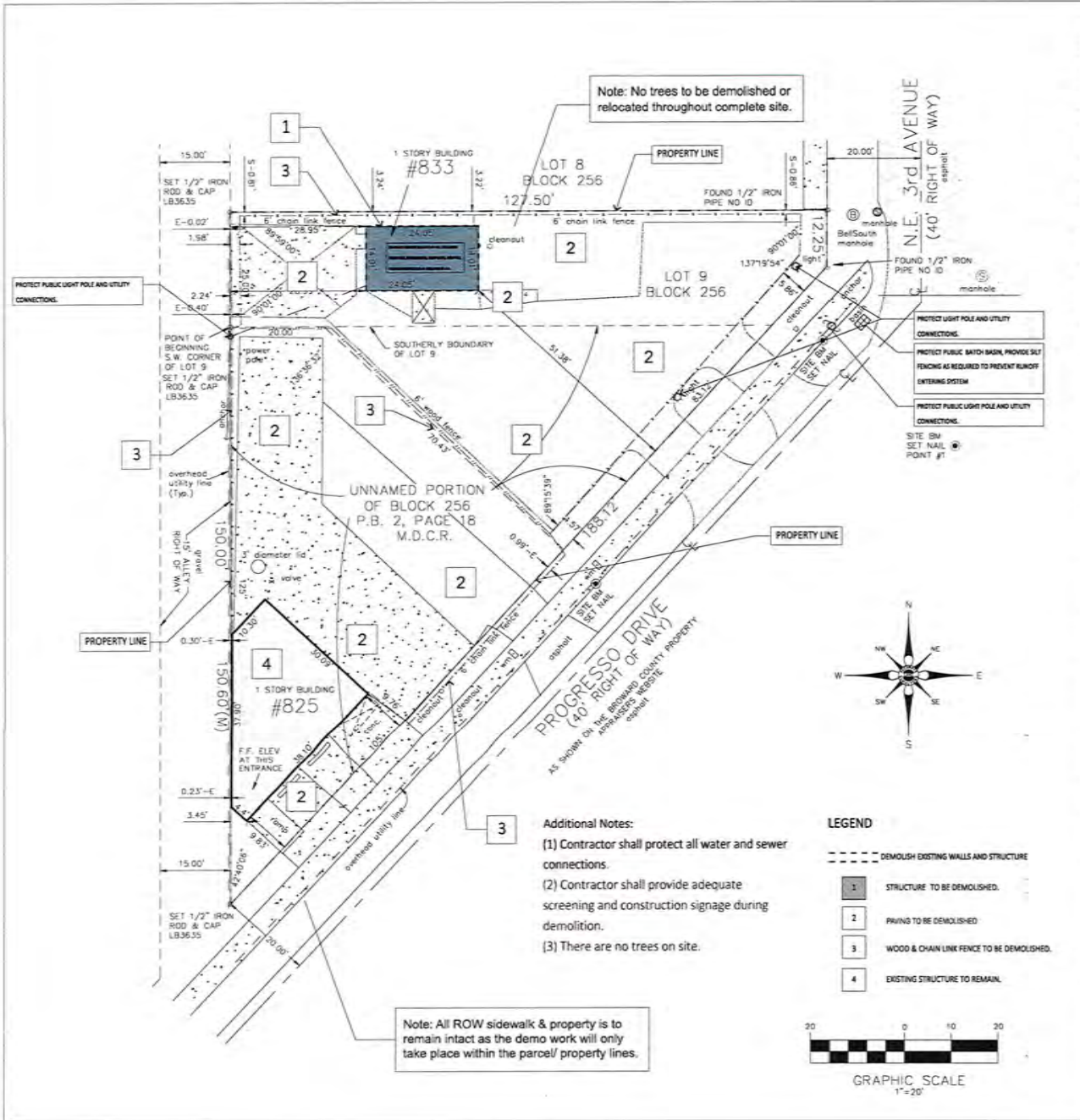


PROGRESSO PARK
825 & 833 PROGRESSO DRIVE
FORT LAUDERDALE, FLORIDA

REVISIONS	DATE	DESCRIPTION

S&L PROJECT NO.:	2007
DATE:	05-05-2010
SCALE:	AS SHOWN
DESIGNED BY:	R.B.J.
DRAWN BY:	J.S.
CHECKED BY:	R.B.J.
APPROVED BY:	R.B.J.

SHEET TITLE
DETAILS
C4 of 4



CODE SUMMARY

BUILDING INFORMATION	
BUILDING ADDRESS:	825 & 833 PROGRESSO DRIVE, FORT LAUDERDALE, FL 33304
PARCEL ID:	494234062470 & 494234062340
EXISTING USE CODE:	27- AUTO SALES, REPAIR AND STORAGE
SITE AREA:	10,446 SF, 0.23 ACRES
ZONE:	NWRAC-Mixe - MIXED-USE NORTHEAST
BUILDING TO BE DEMOLISHED: #833	
BUILDING TO REMAIN: #825	
APPLICABLE CODES	
THE BUILDING SHALL COMPLY WITH THE FOLLOWING CONSTRUCTION CODES, STANDARDS, & GUIDELINES	
CODE OF ORDINANCES OF THE CITY OF FORT LAUDERDALE, FLORIDA	
2020 FBC - BUILDING, 6TH EDITION	
2020 FBC - EXISTING BUILDING, 6TH EDITION	
2020 FBC - PLUMBING, 6TH EDITION	
2020 FBC - ACCESSIBILITY, 6TH EDITION	
2020 FLORIDA FIRE PREVENTION CODE	

- DEMOLITION GENERAL NOTES**
1. THE PLANS ARE DIAGRAMMATIC ONLY AND MAY NOT SHOW ALL DEMOLITION WHICH MAY BE REQUIRED. THE CONTRACTOR MUST VISIT THE SITE TO DOCUMENT ALL SITE CONDITIONS WHICH WILL BE REMOVED TO CONSTRUCT THE PROJECT AS DOCUMENTED.
 2. CONTRACTOR SHALL LOCATE ALL LOAD BEARING WALLS, COLUMNS, ETC. PRIOR TO COMMENCING WORK AND SHALL PROTECT ALL STRUCTURAL ELEMENTS UNLESS NOTED OTHERWISE.
 3. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL SUPPORTS, ACCESSORIES AND CONVEYANCES RELATED TO EQUIPMENT AND FIXTURES THAT ARE REMOVED.
 4. EXISTING SURFACES SHALL BE CLEANED AND THE PATH SHALL BE PROPERLY PREPARED FOR THE INSTALLATION OF NEW EQUIPMENT. THIS IS TO BE INSTALLED AS PER MANUFACTURER'S SPECS AND GUIDELINES PRIOR TO RECEIVING NEW SCHEDULED FINISHES.
 5. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING EXIT WAYS AND SHALL NOT BLOCK ANY EXIT PATHS. IF AN EXIT PATH MUST BE BLOCKED, AN ALTERNATIVE MEANS OF EGRESS SHALL BE PROVIDED AS APPROVED BY THE LOCAL GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
 6. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE DETECTION OR REMOVAL OF ANY HAZARDOUS MATERIAL INCLUDING BUT NOT LIMITED TO ASBESTOS IN ANY FORM. PARTIES RESPONSIBLE FOR DEMOLITION SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY SUSPECTED MATERIALS. ALL FEES SHALL BE PAID FOR BY THE GENERAL CONTRACTOR OF RECORD.
 7. AFTER DEMOLITION AND BEFORE THE START OF CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND IMMEDIATELY ALERT THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE PLANS AND EXISTING FIELD CONDITIONS.
 8. UNLESS OTHERWISE NOTED, THE MATERIALS AND WORKMANSHIP REQUIRED IN SUCH REPAIR WORK SHALL CONFORM IN ALL RESPECTS TO THAT OF THE EXISTING SURFACES.
 9. SURFACES, SUCH AS PLASTER, DRYWALL, MASONRY, CONCRETE, ETC., SHALL BE MATCHED WITH SUFFICIENT ACCURACY SO THAT WHEN FINISHES ARE APPLIED, THE JUNCTURE BETWEEN EXISTING AND REPAIRED SURFACES SHALL BE INDISCERNABLE.
 10. FINISHES, INCLUDING PAINTS, CERAMIC TILES, TILE CEILINGS, VINYL WALL FABRICS, VINYL COMPOSITION TILES CARPETS, ETC., SHALL NOT BE PATCHED UNLESS SUCH AVAILABLE PATCHING MATERIALS ARE TOTALLY INDISTINGUISHABLE FROM THE EXISTING. IF NOT AND UNLESS OTHERWISE NOTED, PROVIDE ALL NEW FINISHES FOR ENTIRE FLOOR, WALL, CEILING, ETC. OR PORTION OF THE SAME, IF A DISTINCT BREAK OR CHANGE OF PLANS OCCUR.
 11. SALVAGED MATERIALS MAY BE USED AS A SOURCE OF MATCHING MATERIALS FOR PATCHING, WHEN APPROVED BY OWNER.
 12. DURING DEMOLITION, THE CONTRACTOR SHALL MAINTAIN FREE AND SAFE PASSAGE TO AND THROUGH THE WORK AS REQUIRED. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN DUST-PROOF PARTITIONS AND/OR BARRICADES AS REQUIRED.

DEC partners

Registered Architect:
ERIC CHANCELLOR
 DEC PARTNERS
 400 NW 7th Ave #99S
 Fort Lauderdale, FL 33311
 954.507.7150
 AR98770

Project:
PROGRESSO PARK
 825 & 833 PROGRESSO DRIVE,
 FORT LAUDERDALE, FL 33304

Revisions:

Notes:
 1. _____

North:

DATE: 08.12.23
 DRAWN BY: CL
 JOB NO.: 780
 SCALE: AS SHOWN

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DEMO SHEET
A101
 DEMO PERMIT

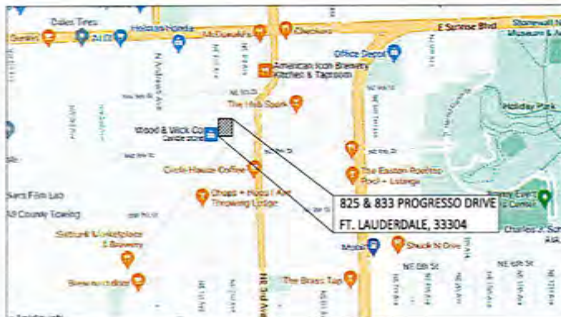
PROGRESSO PARK CONSTRUCTION PERMIT UPDATES NOVEMBER 3, 2021

OWNER/ CLIENT:

PROGRESSO PARK
C/O JAY ADAMS
825 & 833 PROGRESSO DRIVE,
FORT LAUDERDALE, FL 33304

ARCHITECT:

ERIC CHANCELLOR, AIA, NCARB
CHANCELLOR DESIGN GROUP
1921 GUNN RD.
WINTER PARK, FL 32792
850.380.2600



LOCATION MAP



AERIAL LOCATION

GENERAL NOTES

- WHERE A TYPICAL CONDITION IS DETAILED &/OR NOTED, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS SHALL BE THE SAME UNLESS SPECIFICALLY DETAILED OR NOTED OTHERWISE.
- ALL DIMENSIONS ARE TO THE FACE OF THE STUD WALL (S/W) OR FACE OF MASONRY (BRICK, CMU) UNLESS NOTED OTHERWISE. DIMENSIONS AT WALLS WITH TILE FINISH ARE TO THE FACE OF SUBSTRATE.
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS. THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT OF ANY DIMENSIONAL REQUIREMENT AS NECESSARY FOR THE PROPER EXECUTION OF ANY AFFECTED WORK PRIOR TO THE COMMENCEMENT OF SUCH WORK.
- THE TERM "AFFECTED WORK" AS USED IN THESE GENERAL NOTES SHALL BE DEEMED TO BE ANY REQUIREMENT OF THE CONSTRUCTION DOCUMENTS & SHALL BE FURTHER DEEMED TO INCLUDE THE PROCUREMENT OF ANY & ALL MATERIALS, TOOLS, LABOR, ETC., AS FURTHER DESCRIBED IN THE PROJECT MANUAL REQUIRED FOR THE EXECUTION OF SUCH WORK.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY WITHIN THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR CLARIFICATION &/OR RESOLUTION PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. SUCH CLARIFICATION &/OR RESOLUTION SHALL BE PROVIDED BY THE ARCHITECT ACCORDING TO THE PROVISIONS OF THE PROJECT MANUAL PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE, BUILDING & UTILITY CONDITIONS & SHALL REPORT ANY DISCREPANCIES BETWEEN SUCH EXISTING CONDITIONS & THE REQUIREMENTS OF THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR CLARIFICATION &/OR RESOLUTION, PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. THE ARCHITECT SHALL PROVIDE SUCH CLARIFICATION &/OR RESOLUTION PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK.
- THE LOCATIONS OF ALL NEW PLUMBING FIXTURES, MECHANICAL EQUIPMENT, DUCTWORK, & PIPING ARE TO BE CONSIDERED DIAGRAMMATIC UNLESS SPECIFICALLY NOTED &/OR DIMENSIONED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION REQUIREMENTS FOR THE SAME & SHALL REPORT ANY CONFLICTS AFFECTING THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. THE ARCHITECT SHALL PROVIDE CLARIFICATION &/OR RESOLUTION REGARDING ANY SUCH CONFLICT ACCORDING TO THE PROVISIONS OF THE PROJECT MANUAL PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY REQUIREMENTS FOR ALL OFFSETS, BENDS, ELBOWS, &/OR OTHER COMPONENTS NOT DRAWN BUT NECESSARY FOR PROPER EXECUTION OF THE WORK, & ALL SUCH MISCELLANEOUS COMPONENTS SHALL BE DEEMED TO BE PART OF THE SCOPE OF WORK REQUIRED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MANUFACTURERS' REQUIREMENTS FOR MECHANICAL EQUIPMENT RELATED TO POWER, WATER SUPPLY, DRAINAGE, PADS, PENETRATING WALLS &/OR FLOOR/ CEILING ASSEMBLIES SHALL BE PROVIDED WITH ALL NECESSARY FRAMES, BRACING, & ACOUSTICAL SEALANT AROUND SUCH OPENINGS. SEE MECHANICAL DRAWINGS & SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE & INSTALL ALL STIFFENERS, BRACING, BLOCKING, BACK-UP PLATES, & SUPPORTING BRACKETS NOT DRAWN OR SPECIFIED BUT REQUIRED FOR THE PROPER INSTALLATIONS OF ALL CASEWORK & SHELVING, TOILET & BATH ACCESSORIES, HAND & GUARD RAILS, & OTHER FIXTURES.

DEFINITIONS: EXTERIOR RESTORATION DEFINITIONS

NEW - PROVIDE MATERIAL WHICH MATCHES ORIGINAL MATERIAL IN ALL RESPECTS. USE MATERIAL WITH PERFORMANCE CHARACTERISTICS THAT WILL EQUAL OR SURPASS THAT OF THE ORIGINAL MATERIAL.

REPAIR - RETURN ENTIRE ASSEMBLY TO SOUND CONDITION. MATCH ORIGINAL PROFILES UNLESS NOTED OTHERWISE. INCLUDE ASSOCIATED MATERIALS WHETHER OR NOT EXPOSED TO VIEW AS PART OF THE COMPLETED WORK.

REPLACE - REMOVE EXISTING AND INSTALL NEW MATERIAL IN SUCH A WAY AS TO INSURE STRUCTURAL AND VISUAL INTEGRITY OF THE ENTIRE AREA.

RESTORE - RETURN TO ORIGINAL FORM AND CONDITION.

DRAWING LIST

GENERAL	
A000	COVER
A010	CODE REVIEW & LIFE SAFETY SHEET/ SITE PLAN
L100	LANDSCAPE PLAN
L-2	EXISTING TREE DISPOSITION PLAN
L-3	LANDSCAPE DETAILS & SPECIFICATIONS
R-1	IRRIGATION PLAN
R-2	IRRIGATION DETAILS & SPECIFICATIONS

SYMBOLS

REMOVE EXISTING WALL ASSEMBLY OF EQUIPMENT	
REMOVE EXISTING DOOR AND FRAME	
EXISTING WALL CONSTRUCTION	
NEW PARTITION AS PER SCHEDULE	
NEW MASONRY AS PER SCHEDULE	
CEILING HEIGHT & TYPE	
DOOR NUMBER	
WINDOW TYPE LABEL	
WINDOW TYPE	
WINDOW NUMBER	
STOREFRONT TYPE LABEL	
STOREFRONT TYPE	
STOREFRONT NUMBER	
ROOM LABEL	
ROOM NAME	
ROOM NUMBER	
WALL TYPE	
REVISION KEY	
KEY NOTE	
DEMO KEYNOTE	
APPLY KEYNOTE TO ALL CONDITIONS THAT APPLY BETWEEN ARROWHEADS	



ARCHITECT:
ERIC CHANCELLOR
CHANCELLOR DESIGN GROUP
1921 GUNN RD.
WINTER PARK, FL 32792
850.380.2600



PROGRESSO PARK

PROGRESSO PARK

825 & 833 PROGRESSO DRIVE,
FORT LAUDERDALE, FL
33304

PROGRESSO PARK

825 & 833 PROGRESSO DRIVE,
FORT LAUDERDALE, FL
33304

NO. DATE DESCRIPTION

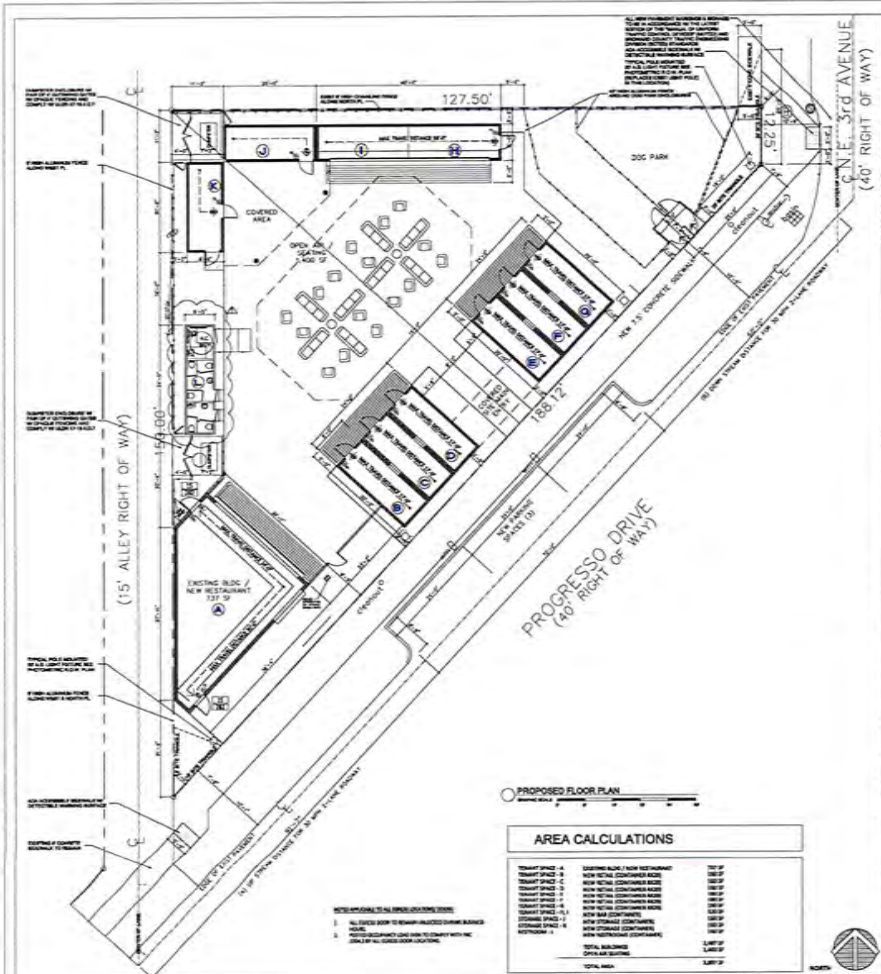
NO.	DATE	DESCRIPTION

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DATE: 11/3/2021
DRAWN BY: TSD
JOB NO.: 780
SCALE: AS SHOWN

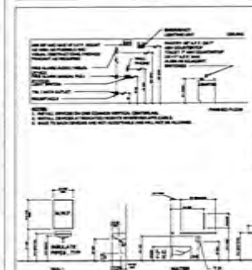
COVER
A000

CONSTRUCTION PERMIT

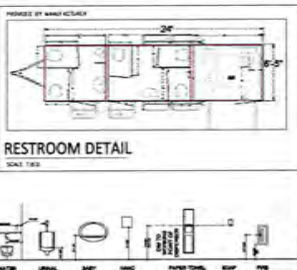


AREA CALCULATIONS

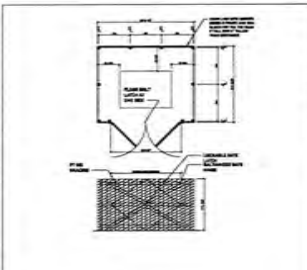
ROOM NAME	AREA (SF)	TYPE
RESTAURANT	1,100	GFA
BAR	46	GFA
OUTDOOR SEATING	46	GFA
RETAIL	250	GFA
STORAGE	80	GFA
RESTROOM BUILDING	160	GFA
DOG PARK	1,282	None Required
TOTAL BUILDING	1,624	GFA
TOTAL AREA	2,497	SF



TYPICAL MOUNTING HEIGHTS
SCALE: 1/8" = 1'-0"



RESTROOM DETAIL
SCALE: 1/8" = 1'-0"



TYPICAL DUMPSTER DETAIL
SCALE: 1/8" = 1'-0"

FIRE SAFETY LEGEND

REFER TO FLOOR PLAN AND PARTITION TYPES FOR SPECIFIC PARTITION LOCATIONS AND DETAILS.

ROOM NAME	ROOM OCCUPANT LOAD
XXX SF	AREA IN SQ FT
XX P	OCCUPANT LOAD
XX SF	OCCUPANT LOAD FACTOR
ACTUAL = XX P	ACTUAL OCCUPANT LOAD (IF APPLICABLE)

EXIT CAPACITY	ACTUAL LOAD	EXIT CAPACITY
15		
200		

← → DIRECTIONAL OF TRAVEL WHICH ACCUMULATED OCCUPANT LOAD

← → HORIZONTAL EXIT

← → MAXIMUM TRAVEL DISTANCE FROM FURTHEST POINT

⊕ EXIT

⊖ AREA OF REFUGE

⊘ NON-ACCESSIBLE EXIT

⊙ ACCESSIBLE EXIT

⊚ CLASS 'K' PORTABLE FIRE EXTINGUISHER

⊛ EDGE-IT DIRECTIONAL EXIT SIGN

FIRE RATING DESIGNATIONS

---	SMOKE PARTITION
---	1 HOUR FIRE SEPARATION WALL
---	2 HOUR FIRE SEPARATION WALL
---	3 HOUR FIRE SEPARATION WALL
---	4 HOUR FIRE SEPARATION WALL

PARKING CALCULATIONS

RESTAURANT (1 / 100 SF GFA)	737 SF (EXEMPTION) = 0.73 SPACES
BAR (1 / 66 SF GFA)	330 SF (EXEMPTION) = 0.00 SPACES
OUTDOOR SEATING (1 / 66 SF GFA)	1400 SF (EXEMPTION) = 0.00 SPACES
NWTRAC-MU DISTRICT PARKING REQUIREMENT (FIRST 2500 SF GFA EXEMPTION)	2457 SF EXEMPTION = 0.00 SPACES
RETAIL (1 / 250 SF GFA)	960 SF / 250 SF = 3.84 SPACES
STORAGE (1 / 80 SF GFA)	320 SF / 80 SF = 0.40 SPACES
RESTROOM BUILDING (NONE REQUIRED)	160 SF / 0 SF = 0.00 SPACES
DOG PARK (NONE REQUIRED)	1282 SF / 0 SF = 0.00 SPACES
TOTAL	4.24 SPACES
NWTRAC-MU DISTRICT PARKING REQUIREMENT (60 % OR REQUIRED PARKING)	4.24 SPACES X 0.60% = 2.54 SPACES
TOTAL PARKING SPACES REQUIRED	2.54 SPACES
TOTAL PARKING SPACES PROVIDED (3.0 ON-STREET PARKING SPACES)	3.0 SPACES

TABLE 1. SEC 47-30.2 FT. LAUDERDALE ZONING AND TABLE 2. SEC 47-30.2 FT. LAUDERDALE ZONING

CODE SUMMARY

BUILDING INFORMATION	825 & 833 PROGRESSO DRIVE, FORT LAUDERDALE, FL 33304
BUILDING ADDRESS:	825 & 833 PROGRESSO DRIVE, FORT LAUDERDALE, FL 33304
PARCEL ID:	494234062470 & 494234062340
EXISTING USE CODE:	Z7- AUTO SALES, REPAIR AND STORAGE
SITE AREA:	10,445 SF, 0.23 ACRES
ZONE:	NWRAC-MU-NE - MIXED-USE - NORTH-EAST

APPLICABLE CODES

THE BUILDING SHALL COMPLY WITH THE FOLLOWING CONSTRUCTION CODES, STANDARDS, & GUIDELINES

CODE OF ORDINANCES OF THE CITY OF FORT LAUDERDALE, FLORIDA

2020 FBC - BUILDING, 6TH EDITION

2020 FBC - EXISTING BUILDING, 6TH EDITION

2020 FBC - PLUMBING, 6TH EDITION

2020 FBC - ACCESSIBILITY, 6TH EDITION

2020 FLORIDA FIRE PREVENTION CODE

CHANGE OF OCCUPANCY	COMMERCIAL USED CAR SALES	CHAPTER 10, 2020 FBC
EXISTING OCCUPANCY	COMMERCIAL USED CAR SALES	EXISTING BUILDING, 6TH EDITION
PROPOSED OCCUPANCY	MIXED-USE, "A-2" ASSEMBLY WITH "B" AND "M" MERCANTILE	EXISTING BUILDING, 6TH EDITION

CONSTRUCTION TYPE	CHAPTER 6, 2020 FBC
II-B	CHAPTER 6, 2020 FBC
MASONRY EXTERIOR BEARING WALLS WITH COMBUSTIBLE ROOF CONSTRUCTION	BUILDING, 6TH EDITION

FIRE AND SMOKE RATINGS	2 HRS	TABLE 601, 2020 FBC
EXTERIOR BEARING WALLS	2 HRS	TABLE 601, 2020 FBC
INT, NON-BEARING WALLS, FLOOR & ROOF CONSTRUCTION	0 HRS	BUILDING, 6TH EDITION

FIRE PROTECTION SYSTEMS	CHAPTER 9, 2020 FBC
NONSPRINKLERED (RESTAURANT NOT REQUIRED IF OCCUPANCY UNDER 200. NOTE OCCUPANT AT FAC 903.3.1.3.)	CHAPTER 9, 2020 FBC
AUTOMATIC FIRE ALARM SYSTEM WITH AUTOMATIC FIRE DETECTION	BUILDING, 6TH EDITION
PORTABLE FIRE EXTINGUISHERS	

BUILDING HEIGHT AND AREA	TABLES 504.3 & 504.4, 2020 FBC
BUILDING HEIGHT: ONE STORY	ONE STORY ALLOWED WITHOUT SPRINKLERS
BUILDING AREA: 2,497 SQUARE FEET	9,500 SF ALLOWED WITHOUT SPRINKLERS

MEANS OF EGRESS	TABLE 1004.1.2, 2020 FBC
PRIMARY OCCUPANT LOAD FACTORS	OCCUPANTS / SF
RESTAURANT (ASSEMBLY / UNCONCENTRATED)	1 PER 15
BAR (ASSEMBLY / UNCONCENTRATED)	1 PER 15
OUTDOOR SEATING (ASSEMBLY / UNCONCENTRATED)	1 PER 15
RETAIL (MERCANTILE)	1 PER 60
STORAGE (STORAGE S-1)	1 PER 300 SF GROSS
TOTAL OCCUPANCY LOAD:	183 PERSONS
MAX. ALLOWABLE TRAVEL DISTANCE:	200'
MAX. COMMON PATH TRAVEL (UNSPRINKLERED):	75'
REMOVEDNESS OF MEANS OF EGRESS:	107' / 2" = 54' MIN
MAX. DEAD END CORRIDOR:	20'

RESTROOM REQUIREMENTS:	50 P / 75 P = 0.67 WC
RESTAURANT (1 WC / 75 P)	50 P / 75 P = 0.67 WC
BAR (1 WC / 40 P)	22 P / 40 P = 0.55 WC
OUTDOOR SEATING (1 WC / 40 P)	93 P / 40 P = 2.32 WC
RETAIL (1 WC / 500 P)	16 P / 500 P = 0.03 WC
STORAGE (1 WC / 100 P)	2 P / 100 P = 0.02 WC
TOTAL WATER CLOSETS REQUIRED:	3.58 WC
TOTAL WATER CLOSETS PROVIDED:	4.0 WC

ARCHITECT:
ERIC CHANCELLOR
CHANCELLOR DESIGN GROUP
1521 GUNN RD.
WINTER PARK, FL 32792
850.380.2600
A85877C

PROGRESSO PARK

PROGRESSO PARK

825 & 833 PROGRESSO DRIVE, FORT LAUDERDALE, FL 33304

PROGRESSO PARK

825 & 833 PROGRESSO DRIVE, FORT LAUDERDALE, FL 33304

NO.	DATE	DESCRIPTION
1	04.05.22	RESTROOM LAYOUT

DATE: 11/20/23
DRAWN BY: TBO
JOB NO.: 780
SCALE: AS SHOWN

SITE PLAN, CODE REVIEW & LIFE SAFETY

A010

CHANGE OF USE PERMIT

DRAINAGE CALCULATION
FOR
825-833 PROGRESSO DRIVE
FORT LAUDERDALE, FLORIDA
NOVEMBER, 2020

Prepared By:

Gator Engineering Associates, Inc.
11390 Temple Street
Cooper City, Florida 33330

GEC Project No. 20017

Regina Bobo-Jackson
Digitally signed by Regina Bobo-Jackson
Date: 2020.11.07 19:01:20 -05'00'



Signed: _____

Regina Bobo-Jackson, P.E.
P.E. No. 0038550

Dated: _____
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I. INTRODUCTION

The project, 825-833 Progresso Drive, is proposed on a 10,405 square feet (0.239 Ac) site located at Progresso Drive within the City of Fort Lauderdale, Broward County, Florida. The project proposes the development of an existing building, 3 additional modular units with supporting outdoor seating.

The site drainage is design to satisfy the Broward County Surface Water Management Division and SFWMD drainage criteria and regulations.

II. GIVEN PARAMETERS

- The average wet season water table is 2.00' NAVD per the FCAWSG map.
- Flood Zone: X
Map No.: 125105/120011C 0369H
Base Flood Elevation: N/A
- The average existing site grade is 5.56' NAVD
- Site elevations

Road Crown (Progresso Drive)
Proposed Finish Floor

Highest Elevation = 5.38' NAVD
Elevation = 7.25' NAVD

III. SITE BREAKDOWN

	EXISTING	PROPOSED
• Total	(0.239 Ac)	(0.239 Ac)
• Impervious		
Buildings	(0.025 Ac)	(0.057 Ac)
Parking Areas & Sidewalk	(0.156 Ac)	(0.119 Ac)
• Pervious	(0.058 Ac)	(0.063 Ac)