

ITEM VI

MEMORANDUM MF NO. 14-08

DATE: March 20, 2014

TO: Marine Advisory Board Members

FROM: Andrew Cuba, Manager of Marine Facilities

RE: April 3, 2014 MAB – Application - Dock Waiver of Distance Limitations – Joseph and Susan Fallon, 505 Idlewyld Drive

Attached for your review is an application from Joseph and Susan Fallon, 505 Idlewyld Drive (see **Exhibit 1**).

APPLICATION AND BACKGROUND INFORMATION

The applicant is requesting a waiver to construct a 65' long by 8' wide floating concrete dock, access walkway/ramp, boatlift, and 2 mooring pilings extending a maximum of 68.5' from the property line into the New River Sound. The distances that these structures extend from the property line into the Intracoastal Waterway (New River Sound) are shown in the survey in **Exhibit 1** and summarized in Table 1:

TABLE 1

STRUCTURES REQUIRING WAIVER	MAXIMUM SURVEYED DISTANCE OF STRUCTURES	PERMITTED DISTANCE WITHOUT WAIVER	DISTANCE REQUIRING WAIVER
Concrete Floating Dock	46'	25'	21'
Boat Lift	28'	25'	3'
2 Mooring Pilings	68.5'	25'	43.5'
Access Walkway/Ramp	46'	25'	21'

The City's Unified Land and Development Regulations (UDLR), Sections 47-19.3.C and D limits the maximum distance of the dock, boat lift, access walkway and mooring pilings at this location to 25'. Section 47.19.3.E authorizes the City Commission to waive that limitation based on a finding of extraordinary circumstances.

The applicant's narrative summary indicates shallow water depths insufficient for dockage purposes and sea grass avoidance necessitate mooring structures extending beyond Code.

PROPERTY LOCATION AND ZONING

The property is located within the Idlewyld Isles RS-8 Residential Low Density Zoning District. It is situated on the western shore of the Intracoastal Waterway where the overall width of the New River Sound is identified as approximately +/-420'.

WATERWAY DEPTH AND TIDAL CONDITIONS

The Idlewyld Drive waterfront has a history of dock waivers due to shallow water depths and extensive silting, as illustrated in Table 2.

DOCK PLAN AND BOATING SAFETY

Marine Facilities' records reflect that there have been fifteen (15) waivers of docking distance limitations approved by the City Commission since 1986 with the most recent at 721 Idlewyld approved by the City Commission at their meeting of February 4, 2014. A comparison of these follows:

TABLE 2

DATE	ADDRESS	MAXIMUM DISTANCE
1986	801 Idlewyld Drive	54.00'
1994	407 Idlewyld Drive	63.75'
1995	517 Idlewyld Drive	42.00'
2000	629 Idlewyld Drive	50.70'
2001	606 Idlewyld Drive	55.80'
2005	413 Idlewyld Drive	81.45'
2007	649 Idlewyld Drive	45.00'
2007	375 Idlewyld Drive	68.00'
2008	674 Idlewyld Drive	58.00'
2008	637 Idlewyld Drive	58.00'
2009	709 Idlewyld Drive	53.20'
2011	815 Idlewyld Drive	42.70'
2011	417 Idlewyld Drive	78.00'
2013	801 Idlewyld Drive	38.10'
2014	721 Idlewyld Drive	61.50'

RECOMMENDATIONS

Should the Marine Advisory Board consider approval of the application, the resolution under consideration for approval by the City Commission should include at least the following as prescribed in the ULDR and City Code of Ordinances:

1. The applicant is required to comply with all applicable building and zoning regulations as well as any other Federal and State laws and permitting requirements including the Broward County Environmental Protection and Growth Management Department and the U.S. Army Corps of Engineers.
2. As a general condition of approval and in order to review for final consistency with construction of facilities in accord with this application and City building permits the applicant is required to provide the City's Supervisor of Marine Facilities with copies of "As Built" drawings from a certified and licensed contractor, and verification of receipt of all applicable Federal and State permits.
3. The applicant is required to install and affix reflector tape to the boatlift pilings in accord with Section 47.19.3.E of the Unified Land and Development Regulations (ULDR).

AC
Attachment

cc: Carl Williams, Deputy Director of Parks and Recreation
Jonathan Luscomb, Supervisor of Marine Facilities

APPLICANT

JOSEPH FALLON

505 IDLEWYLD

FORT LAUDERDALE, FLORIDA

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1. Application with fee payment
2. Zoning aerial map
3. Proof of ownership
4. Narrative summary
5. Survey 11x17
6. Photos
7. Site and Dock plans with cross sectional plans 11x17
8. Environmental Agencies response that application for permit has been made and in process

CITY OF FORT LAUDERDALE
MARINE FACILITIES
APPLICATION FOR WATERWAY PERMITS, WAIVERS AND LICENSES

Any agreement with the City of Fort Lauderdale and other parties, such as, but not limited to, licenses, permits and approvals involving municipal docking facilities or private uses in the waterways as regulated by Section 8 of the City Code of Ordinances or Section 47-19.3 of the City's Urban Land Development Regulations, shall be preceded by the execution and filing of the following application form available at the Office of the Supervisor of Marine Facilities. The completed application must be presented with the applicable processing fee paid before the agreement is prepared or the application processed for formal consideration (see City of Fort Lauderdale Code Section 2-157). If legal publication is necessary, the applicant agrees to pay the cost of such publication in addition to the application fee.

APPLICATION FORM
(Must be in Typewritten Form Only)

1. LEGAL NAME OF APPLICANT - (If corporation, name and titles of officers as well as exact name of corporation. If individuals doing business under a fictitious name, correct names of individuals, not fictitious names, must be used. If individuals owning the property as a private residence, the name of each individual as listed on the recorded warranty deed):

NAME: Joseph F. Fallon

TELEPHONE NO: 617 484 1436 (home) 617 737 4100 (business) FAX NO. 617 737 4101

2. APPLICANT'S ADDRESS (if different than the site address): Same

3. TYPE OF AGREEMENT AND DESCRIPTION OF REQUEST: Request for approval to extend dock - "Waiver of limitations of section 47-19.3.C

4. SITE ADDRESS: 505 Idlewyld ZONING: RS 8

LEGAL DESCRIPTION: Plot 1&2, less the West 75' thereof, Block 3 of Idlewyld, according to the plat Thereof as recorded in plat book 1 at page 19, of the public records of Broward County Florida

5. EXHIBITS (In addition to proof of ownership, list all exhibits provided in support of the applications). See attached table of Contents.

Applicant's Signature [Handwritten Signature]

3-22-2014 Date

The sum of \$ 300.00 was paid by the above-named applicant on the of , 2014 Received by:

City of Fort Lauderdale

====For Official City Use Only=====

Marine Advisory Board Action Formal Action taken on

Commission Action Formal Action taken on

Recommendation Action

JOSEPH F. FALLON
SUSAN G. FALLON
124 WELLESLEY ROAD
BELMONT, MA 02478

5-234/110

1630

DATE 3.22.14

PAY TO THE
ORDER OF

City of Needham

\$ 300.00

Three hundred

~~20~~ DOLLARS



Security Features
Included.
Details on Back.

BOSTON PRIVATE BANK
TRUST COMPANY
70 Boston, Massachusetts 02210

MEMO _____

[Handwritten signature]

⑆011002343⑆ 0943367255⑆ 01630

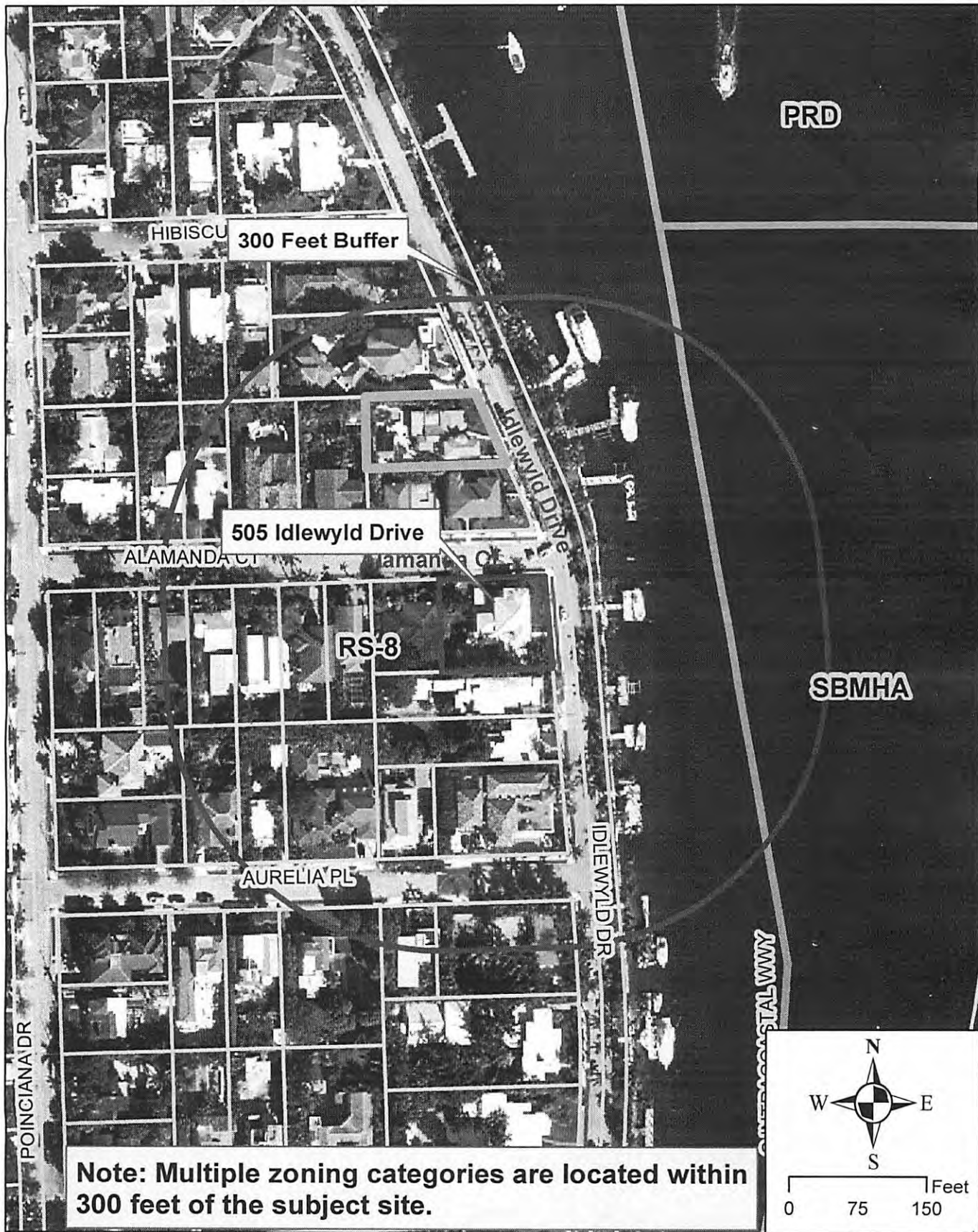
CAM 14-0605

Exhibit 1

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SAFETY PAPER

DELUXE deluxe.com/checks



CITY OF FORT LAUDERDALE

505 Idlewyld Drive



This instrument prepared by:
Record and Return to:
James D Camp III
Camp & Camp, P.A.
111 S.E. 17th Street
Fort Lauderdale, Florida 33316

QUIT CLAIM DEED

THIS QUIT CLAIM DEED, made this 31st day of July, 2012, A.D., between Joseph F. Fallon, a single man, whose post office address is One Marina Park Drive, Boston, MA 02210, Grantor, and 505 Idlewyld, LLC, a Florida Limited Liability Company, whose post office address is 505 Idlewyld Drive, Fort Lauderdale, FL 33301, Grantee.

(Whoever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trust and trustees)

WITNESSETH, that said grantor, for and in consideration of the sum of TEN AND NO DOLLARS (\$10.00) and other good and valuable consideration, to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim to the said grantee, and grantee's heirs and assigns forever, all the right, title, interest, claim and demand which grantor has in and to the following described land, situate, lying and being in the County of Broward State of Florida, to wit:

PROPERTY ADDRESS: 505 Idlewyld Drive, Fort Lauderdale, FL 33301

LEGAL DESCRIPTION: Lots 1 and 2, less the West 75 feet, Block 3, IDLEWYLD, according to the Plat thereof, as recorded in Plat Book 1, Page 19, of the Public Records of Broward County, Florida.

FOLIO #: 5042-12-02-0260

TO HAVE AND TO HOLD, the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of grantors, wither in law or equity, for the use, benefit and profit of the said grantee forever.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered the presence of:

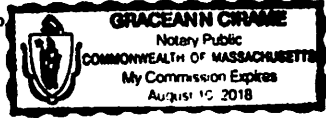
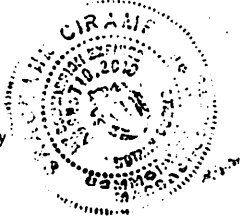
[Signature]
Witness #1 Signature
Myrna Putziger
Witness #1 Printed Name
[Signature]
Witness #2 Signature
Gracann Ciarame
Witness #2 Printed Name

[Signature]
Joseph F. Fallon, Grantor - signature

STATE OF Mass
COUNTY OF Suffolk

The foregoing instrument was acknowledged before me this 31 day of July, 2012, by Joseph F. Fallon, who is personally known to me or who produced _____ as identification.

[Signature]
Notary Public
My Commission No./Exp _____



Subject: Fwd: Fwd: Hearing,505 IDLEWYLD
From: Fred Blitstein <jfb4244@gmail.com>
Date: 3/24/2014 10:06 AM
To: ANDREW CUBA <ACuba@fortlauderdale.gov>

Andrew Cuba

City of Fort Lauderdale
Manager of Marine Facilities
2 South New River Drive
Fort Lauderdale, Florida
33301

Reference:

Application for construction of new boat dock at 505 Idlewyld
Applicant: **Joseph and Susan Fallon**

This application is a request for a waiver of the Limitations of Section 47-19.3.c of the Code of Ordinances of the City of Fort Lauderdale

Please be advised of the following:

1. The applicant has a boat dock (needing repairs and corrections as proposed) located at the property fronting the Intercoastal waterway
2. There has been continuing shoaling/shallowing of the dock area
3. Access and use of the dock has been greatly limited allowing docking only for a smaller shallow draft boat at high tide.
4. The boat lift as presently located is unusable; at low tide there is no water ; only exposed bottom
4. A required biological study indicates various seagrass habitats within the present boat dock location
5. The new dock plan allows for the following:
 - .. docking location is now outside the surveyed seagrass areas
 - .. docking location provides minimum but sufficient depth for the 60+/- foot vessel to be docked at this location
 - .. the dock lines up exactly with the dock immediately to the north which received the approval as requested in this application; with no impact to navigation

The applicant is requesting:

The existing dock extends 36 feet from the face of the seawall; originally to accommodate the lessening depth of water. The condition has worsened. Because of the ongoing boat traffic along the waterway there will be a constant plume of sediments which, with the wave action, will continually settle along the seawalls which

act as a stop to the movement of the sediment; causing continuing shallowing.

The City Building Code Section 47-19.3 allows docks, piers and lifts to extend from the property line up to 25% of the waterway or 25 feet whichever is less

The 10 foot requested extension will allow the face of the new dock to be at 46 feet; aligned exactly with the dock immediately adjacent to the north; providing the same depth of water

The configuration of the dock will allow also for the new placement of the boat lift while keeping the required 10 foot side yard setbacks

The waterway at this location is approximately 420ft +/- wide. The proposed dock location will be approximately 100ft +/- from the edge of the navigational channel; not creating any navigational hazards

In order to have safe mooring of vessels at this location and for the reasons clearly explained above the applicant is requesting review and approval of the dock reconfiguration

1. The constant shallowing of the docking area does not allow the safe mooring of anything other than a smaller shallow draft vessel; which cannot accommodate the applicant's boat
2. The Environmental Agencies which issue permits for the dock are requiring the configuration in order to avoid seagrass habitat
3. The shallow depth does not allow the use of the existing boat lift

Sincerely

J.F.Blitstein PhD

Authorized representative for the applicant

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IDLE SPEED
NO WAKE

**IDLE SPEED
NO WAKE**

PERMIT NO. 83-001 CITY ORD. 8-1462(J)







JUPITER
MIC + B...

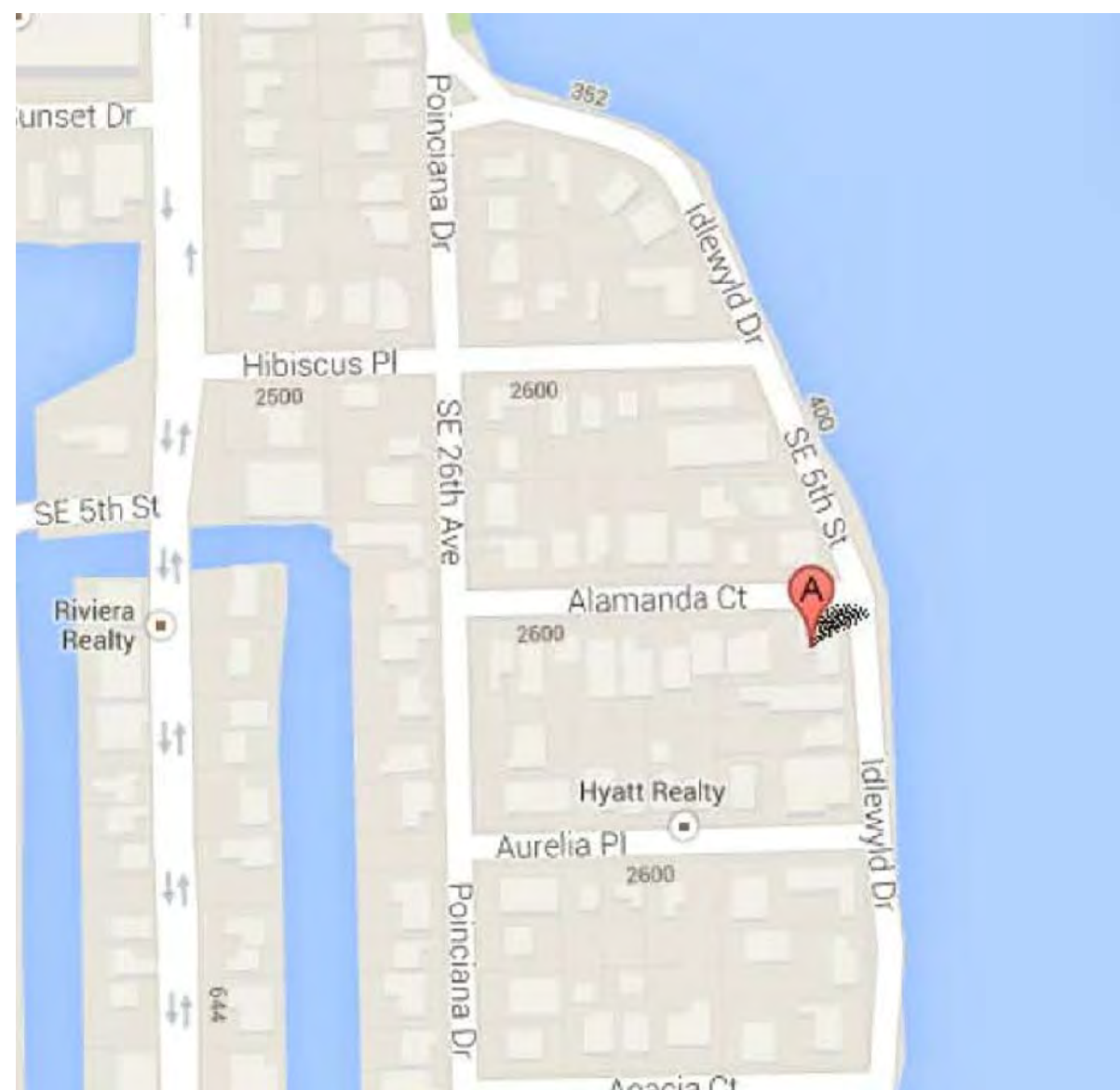
SITE PLAN

SYMBOL LEGEND:

- LIGHT POLE
- TYPICAL STATION
- UTILITY POLE
- MAIL BOX
- ELECTRIC BOX
- TRAFFIC SIGNAL BOX
- FIRE HYDRANT
- STORM SEWER/CATCH BASIN
- WATER METER
- SIGN
- TELEPHONE BOX
- WATER VALVE
- ELEVATIONS
- TRAFFIC LANE FLOW
- CENTER LINE
- MONUMENT LINE
- DIAMETER.

ABBREVIATIONS:

- A ARC
- A/C AIR CONDITIONER
- BUDG BUILDING
- CHD CHORD LENGTH
- C & G CURB AND GUTTER
- CHD BEARING CHORD BEARING
- CB CATCH BASIN
- CC CONCRETE BLOCK STUCCO
- CLR CLEAR
- CLM CHAIN LINK FENCE
- CONC CONCRETE
- DELT DELTA
- E EAST
- ENG ENGINEERING BUSINESS LICENSE NUMBER
- ELC ELEVATION
- ENC ENCUMBRANCE
- EP EDGE OF PAVEMENT
- FEMA FEDERAL EMERGENCY MANAGEMENT AGENCY
- FP FOUND FOOTING
- FIP FOUND IRON PIPE
- FIRM FLOOD INSURANCE RATE MAP
- FIR FOUND IRON ROD
- FPL FLORIDA POWER AND LIGHT CO.
- GLS GLOBAL POSITIONING SYSTEM
- GPS GLOBAL POSITIONING SYSTEM
- IP INCH
- IP SURVEYING & MAPPING BUSINESS LICENSE NUMBER
- LS LAND SURVEYOR
- M & B MEASURED AND BOUND
- MEAS MEASURED
- MH MANHOLE
- N NORTH
- N/A NOT APPLICABLE
- N & DSC NAD 83 DATUM
- NAD83 NORTH AMERICAN DATUM OF 1983
- NAD83/90 NORTH AMERICAN DATUM OF 1983 ADJUSTMENT
- NIP NATIONAL FLOOD INSURANCE PROGRAM
- NOS NATIONAL GEODETIC SURVEY NUMBER
- NOID NO IDENTIFICATION
- NOIA NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION
- NRS 2007 NATIONAL SPATIAL REFERENCE SYSTEM OF 2007
- N/S NOT TO SCALE
- D° DEGREE
- M' MINUTES OR FEET
- OBV OBSERVED ANGLE
- OE OVERHEAD ELECTRIC
- ORB OFFICIAL RECORD BOOK
- PAV PAVEMENT
- PC PLAT BOOK
- PC POINT OF CURVATURE
- PC POINT OF CURVATURE AND CURVATURE
- PG PAGE
- PL PROPERTY LINE
- PLS PROFESSIONAL LAND SURVEYOR
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PT POINT OF TERMINATION
- PT POINT OF REVERSE CURVATURE
- PSM PROFESSIONAL SURVEYOR AND MAPPER
- REC RECORD
- RES RESIDENCE
- RMG RANGE
- RLS REGISTERED LAND SURVEYOR
- R/W RIGHT OF WAY LINE
- S SOUTH
- SEC SECTION
- STATION STATION
- SWK SIDEWALK
- TANG TANGENT
- TWP TOWNSHIP
- TYP TYPICAL
- W WEST OR WITH
- WDR WOOD PILING
- WM WATER METER
- WV WATER VALVE
- ZW ZURWELLE-WHITTAKER, INC.



LOCATION MAP (N.T.S.)



THE SPECIFIC PURPOSE OF THIS SURVEY IS TO SHOW LOCATION OF A DESIGNED DOCK

FLOOD INFORMATION:
 COMMUNITY NUMBER : 125105
 PANEL NUMBER : 12011C0219F
 SUFFIX : F
 DATE OF FIRM : 09-11-2009
 FIRM ZONE : AE
 BASE FLOOD ELEVATION : 6.00' AND 7.00'
 DATE FIELD WORK : 01-20-2014
 DATE DRAFTING : 01-22-2014
 DATE SIGNED AND SEALED : 01-22-2014
 REVISED FIELD SURVEY : N/A

SURVEYOR'S NOTES:

- EXAMINATION OF THE ABSTRACT OF THE TITLE WILL HAVE TO BE MADE TO DETERMINE RECORD INSTRUMENTS IF ANY, AFFECTING THE PROPERTY.
- LOCATION AND IDENTIFICATION OF UNDERGROUND ENCROACHMENTS OR UTILITIES ON AND/OR ADJACENT TO THE PROPERTY WERE NOT SECURED AS SUCH INFORMATION WAS NOT REQUESTED
- NO SEARCH OF PUBLIC RECORDS HAS BEEN MADE (BY THIS OFFICE) FOR ACCURACY AND OR OMISSIONS.
- THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED, IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM FROM ENCUMBRANCES, "TITLE" ABSTRACT NOT REVIEWED
- THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY
- THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF ENTITIES NAMED HEREON AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.
- DIMENSIONS, BEARINGS OR ANGLES INDICATED HEREIN ARE MEASURED AND ARE THE SAME AS PLAT VALUES UNLESS OTHERWISE INDICATED BEARINGS ARE BASED ON SHOWN PLAT VALUES (IF ANY) OR AN ASSUMED VALUE.
- ALL RIGHTS OF WAYS SHOWN ARE PUBLIC UNLESS OTHERWISE NOTED
- UTILITY FACILITIES WITHIN UTILITY EASEMENTS NOT NOTED AS VIOLATIONS, DRIVEWAYS OR PORTIONS THEREOF WITHIN ROADWAYS NOT NOTED AS VIOLATIONS OR ENCROACHMENTS.
- R/W LINES DEPICTED HEREON ARE REFERENCED TO THE PLATS OF PUBLIC RECORD (LISTED BELOW) NO ADDITIONAL INFORMATION WAS PROVIDED TO THIS OFFICE REGARDING CHANGES IN RIGHTS OF WAY, DEDICATIONS, LOT LINES, PROPERTY LINES, ZONING ETC.
- THIS DRAWING IS PROPERTY OF ZURWELLE-WHITTAKER, INC AND CANNOT BE REPRODUCED WITHOUT WRITTEN CONSENT
- THE ELEVATION INFORMATION SHOWN HEREON (IF ANY) IS RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM, (N.G.V.D.), OF 1929, UNLESS OTHERWISE NOTED
- BENCHMARK USED: NO ELEVATION REQUESTED
- COORDINATES SHOWN ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983/90/ 2007 NRSR ADJUSTMENT.
- COORDINATE CONVERSIONS (IF ANY) HAVE BEEN CONVERTED USING CORPCSON VERSION 6.6.1, FROM U.S. ARMY CORPS OF ENGINEERS ALEXANDRIA, VIRGINIA.
- UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER, THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.
- ACCURACY OF HORIZONTAL CONTROL: (FOR EXPECTED USE OF LAND AS DEFINED BY (S-17)) THE FIELD MEASUREMENTS VERIFIED BY CALCULATIONS OF A CLOSED GEOMETRIC FIGURE BASED UPON FIELD INFORMATION TAKEN IN THE FIELD BY TOTAL STATION AND OR GPS/GNSS.

RELATIVE DISTANCE ACCURACY FOR THIS SURVEY IS MORE OR LESS.
 COMMERCIAL/HIGH RISK LINEAR: 1 FOOT IN 10,000 FEET
 SUBURBAN LINEAR: 1 FOOT IN 7,500 FEET
 RURAL LINEAR: 1 FOOT IN 5,000 FEET

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED "SPECIFIC PURPOSE SURVEY" WAS PREPARED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THE SURVEY MEETS MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 51-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027.

* TO BE REMOVED:

- EXISTING DOCK (50 SQ FT)
- EXISTING BOAT LIFT

* NEW DOCK:

- EXISTING MARGINAL DOCK (105 SQ FT)
- ACCESS WALKWAY (184 SQ FT)
- RAMP (60 SQ FT)
- 4" DOCK (390 SQ FT)
- ATTACHED (131 SQ FT)

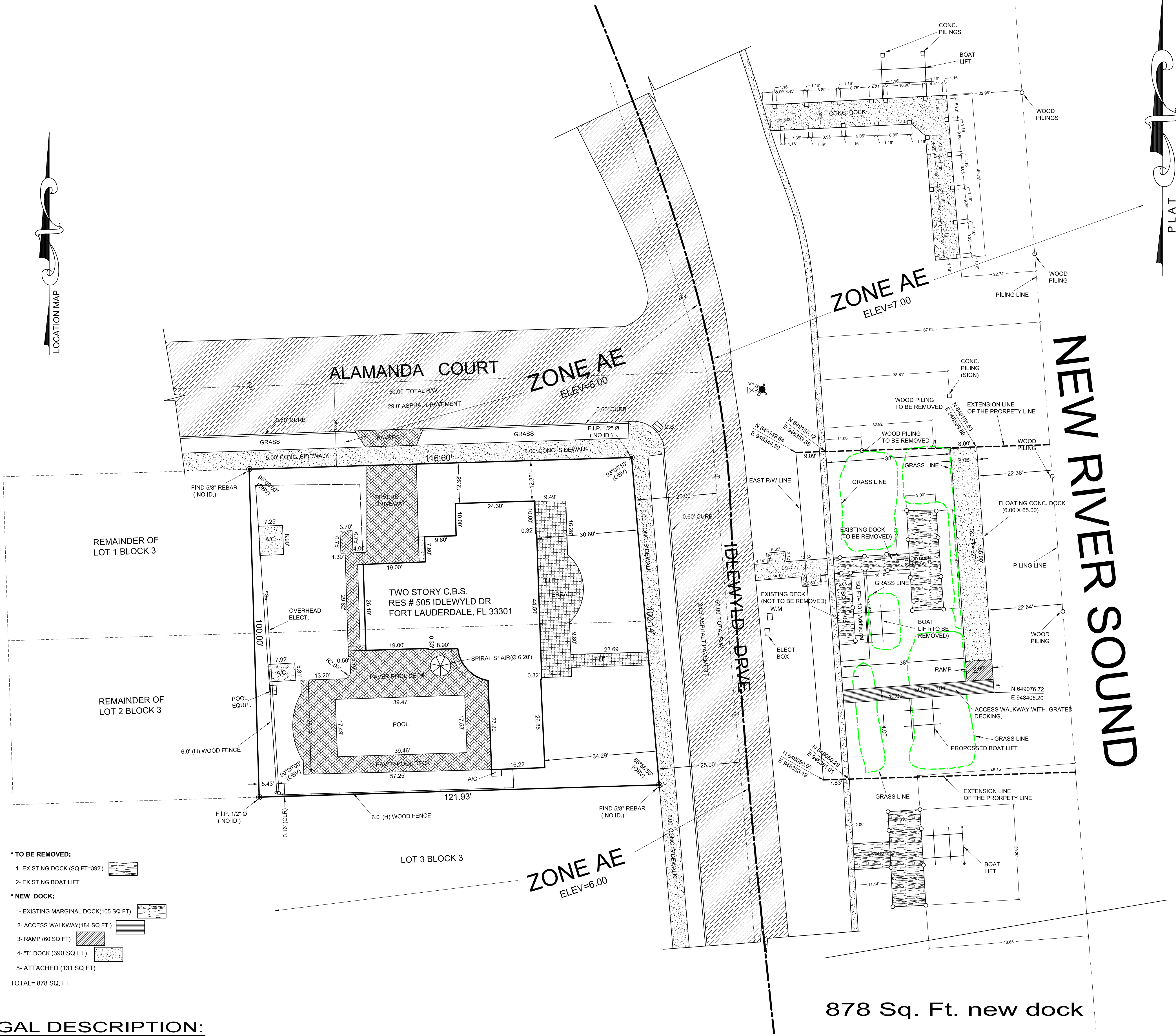
TOTAL = 878 SQ. FT

LEGAL DESCRIPTION:

LOT 1 AND 2, LESS THE WEST 75 FEET THEREOF, BLOCK 3 OF "IDLEWYLD", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1 AT PAGE 19, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

PROPERTY CONTAINS 11,927 SQUARE FEET, MORE OR LESS OR 0.274 ACRES MORE OR LESS.

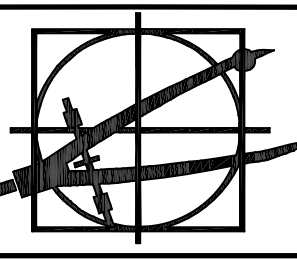
PROPERTY LIES WITHIN SECTION 12 TOWNSHIP 50S RANGE 42E



878 Sq. Ft. new dock

Note:

The waterway at this property is approximately 420+/- feet wide to the opposite bulkhead. The watermost structures, the proposed dock, will be approximately 130 feet from the edge of the navigational channel. Based on these distances, these structures will be more than sufficiently far from the channel so as to not impose any navigational hazards or obstructions.



ZURWELLE-WHITTAKER, INC. ESTAB. 1926
 CONSULTING ENGINEERS AND SURVEYORS
 1140 WEST 50th ST., SUITE 307, HIALEAH, FL 33012
 PH: (305) 534-4668 FAX (305) 531-4689
 WWW.ZURWELLE-WHITTAKER.COM
 CERTIFICATE OF AUTHORIZATION NO. LB0000166 EB 0028651
 MEMBER: FLORIDA LAND SURVEYORS COUNCIL, FLORIDA SURVEYING AND MAPPING SOCIETY

Colleen S. ...
EDDIE A. MARTINEZ
 PROFESSIONAL SURVEYOR AND MAPPER
 LICENSE NO. 159755
 STATE OF FLORIDA

PROJECT:
**RES # 505 IDLEWYLD DR
 FORT LAUDERDALE, FL 33301**

JOB No. N/A

FIELD BOOK: J.C. CAREAGA

SCALE: 1"=16'

DRAWN: JMR

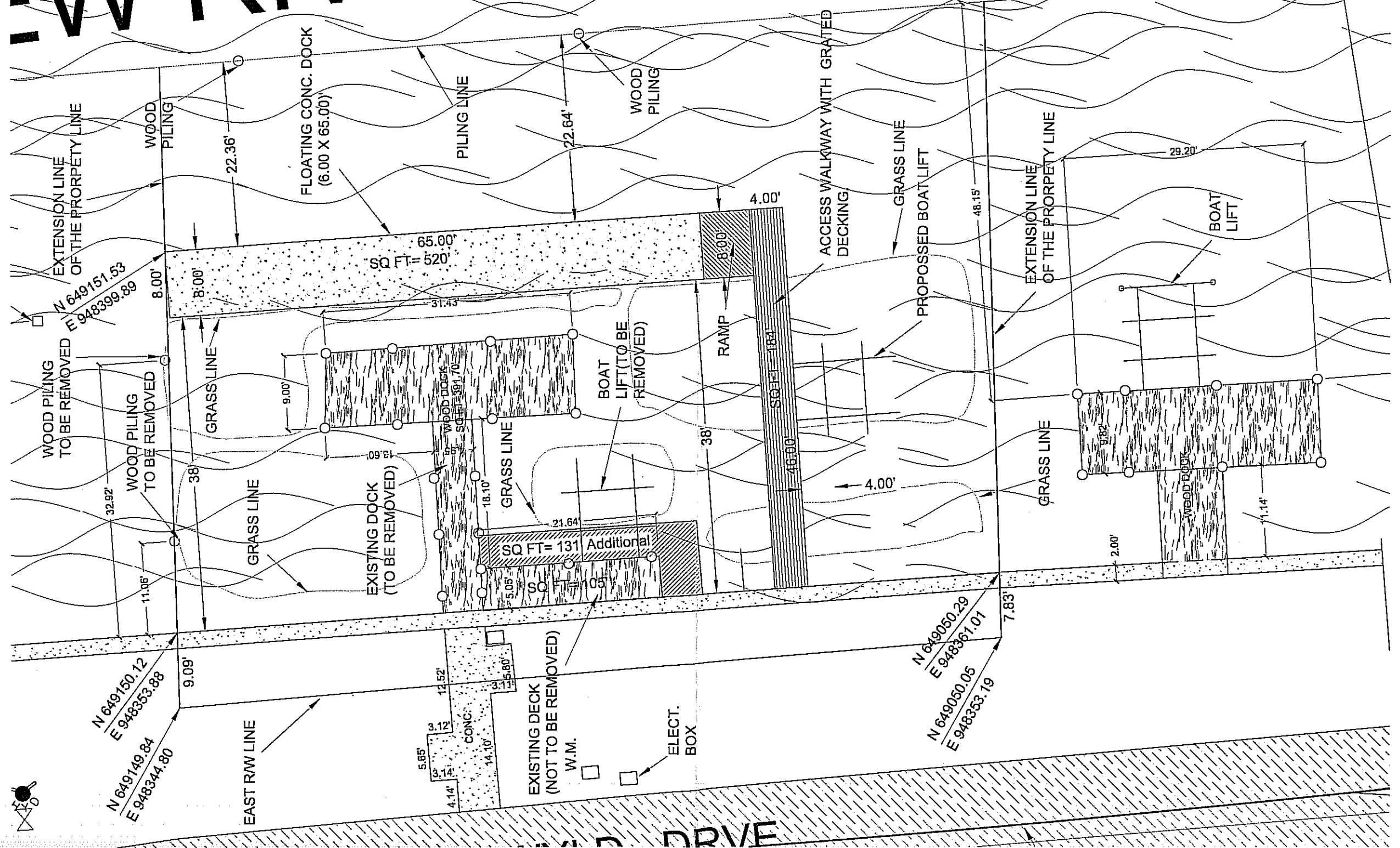
REVISED: EAM

REVISIONS mm-dd-yyyy

SHEET No. 1 OF 1

CAM 14-0605
 Exhibit 1
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W RIVER SOUND



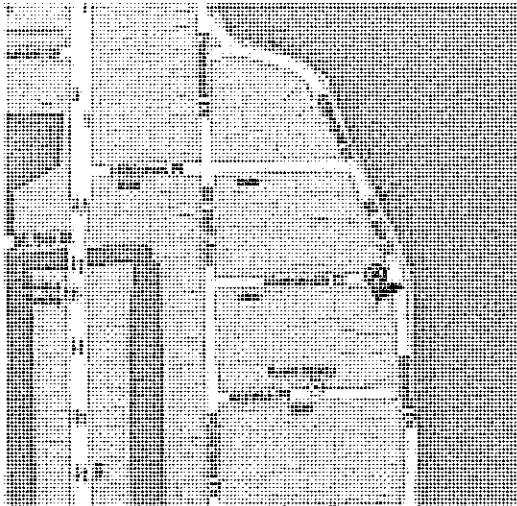
BOUNDARY SURVEY

SYMBOL LEGEND:

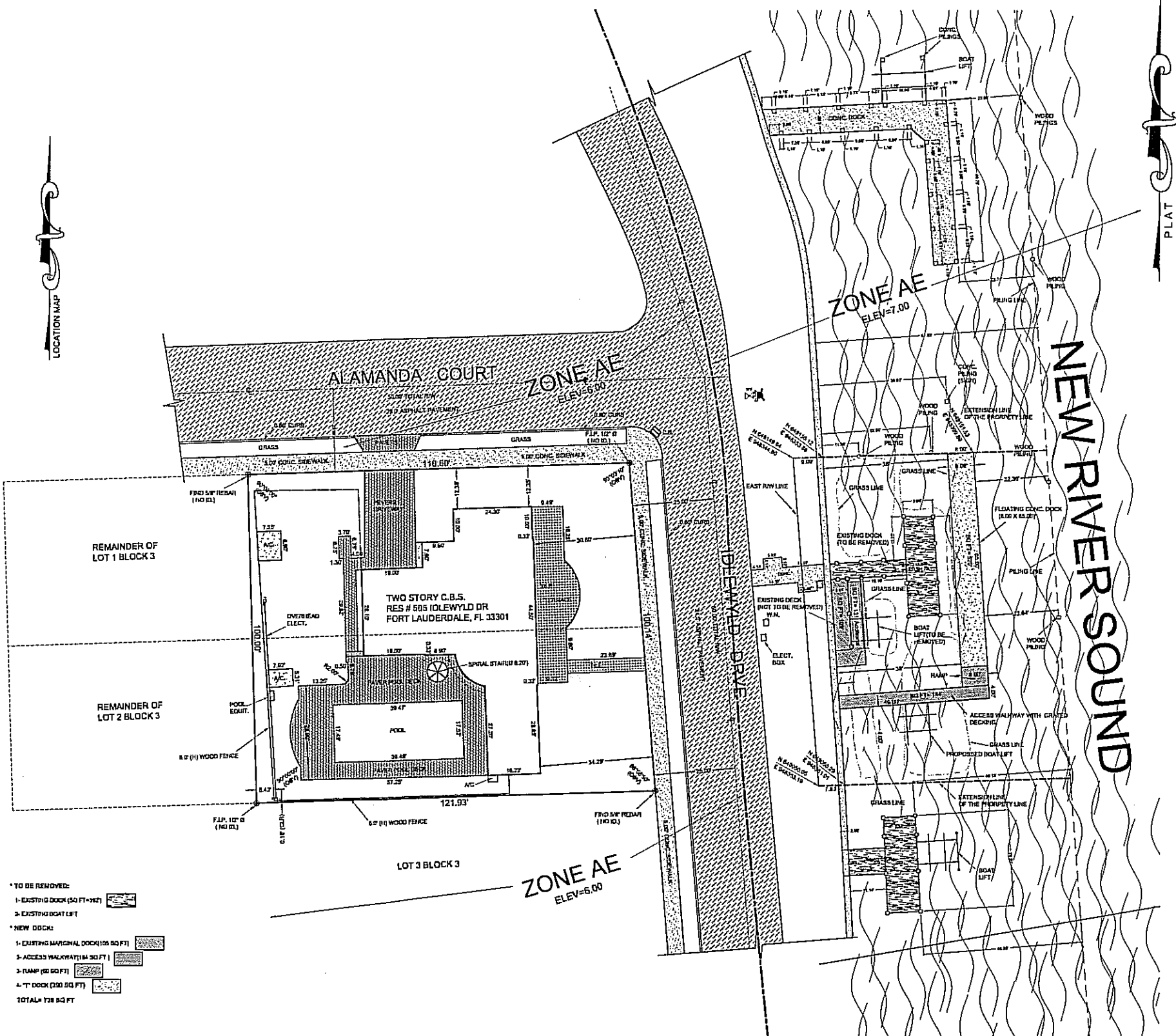
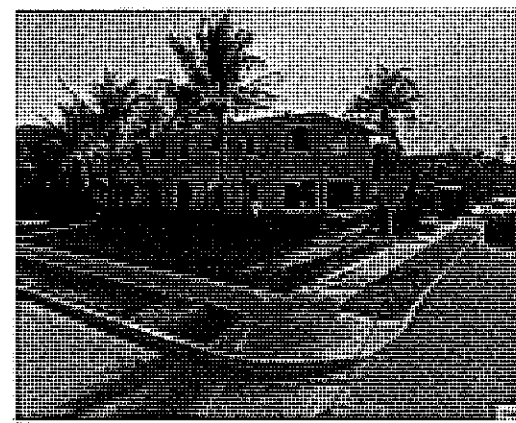
- LIGHT POLE
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- STORM SEWER/CATCH BASIN
- WATER METER
- SIGN
- TELEPHONE BOX
- WATER VALVE
- ELEVATIONS
- TRAFFIC LANE FLOW
- CENTER LINE
- MONUMENT LINE
- DIAMETER

ABBREVIATIONS:

- A AIR LIGHTS
- AK AIR KETTLES
- AL ALUMINUM
- AS ASPHALT
- AV ASPHALT VENEER
- BE BRICK
- BL BRICK LINED
- BS BRICK SURFACE
- CA CONCRETE
- CB CONCRETE BLOCK
- CC CONCRETE CURB
- CD CONCRETE DRIVE
- CE CONCRETE EDGE
- CF CONCRETE FINISH
- CG CONCRETE GRASS
- CH CONCRETE HATCH
- CI CONCRETE INTERLOCK
- CJ CONCRETE JOINT
- CK CONCRETE KEY
- CL CONCRETE LANE
- CM CONCRETE MASONRY
- CS CONCRETE SIDEWALK
- CT CONCRETE TYPICAL
- CU CONCRETE UNDER
- CV CONCRETE VENEER
- CW CONCRETE WALL
- DX DRAINAGE
- EA EARTH
- EB EARTH BRICK
- EC EARTH CONCRETE
- ED EARTH DRIVE
- EE EARTH EDGE
- EF EARTH FINISH
- EG EARTH GRASS
- EH EARTH HATCH
- EI EARTH INTERLOCK
- EJ EARTH JOINT
- EK EARTH KEY
- EL EARTH LANE
- EM EARTH MASONRY
- EN EARTH SIDEWALK
- EO EARTH TYPICAL
- EP EARTH UNDER
- EQ EARTH VENEER
- ER EARTH WALL
- FA FLOOR
- FB FLOOR BRICK
- FC FLOOR CONCRETE
- FD FLOOR DRIVE
- FE FLOOR EDGE
- FF FLOOR FINISH
- FG FLOOR GRASS
- FH FLOOR HATCH
- FI FLOOR INTERLOCK
- FJ FLOOR JOINT
- FK FLOOR KEY
- FL FLOOR LANE
- FM FLOOR MASONRY
- FN FLOOR SIDEWALK
- FO FLOOR TYPICAL
- FP FLOOR UNDER
- FQ FLOOR VENEER
- FR FLOOR WALL
- GA GRASS
- GB GRASS BRICK
- GC GRASS CONCRETE
- GD GRASS DRIVE
- GE GRASS EDGE
- GF GRASS FINISH
- GG GRASS GRASS
- GH GRASS HATCH
- GI GRASS INTERLOCK
- GJ GRASS JOINT
- GK GRASS KEY
- GL GRASS LANE
- GM GRASS MASONRY
- GN GRASS SIDEWALK
- GO GRASS TYPICAL
- GP GRASS UNDER
- GQ GRASS VENEER
- GR GRASS WALL
- HA HAMMER
- HB HAMMER BRICK
- HC HAMMER CONCRETE
- HD HAMMER DRIVE
- HE HAMMER EDGE
- HF HAMMER FINISH
- HG HAMMER GRASS
- HH HAMMER HATCH
- HI HAMMER INTERLOCK
- HJ HAMMER JOINT
- HK HAMMER KEY
- HL HAMMER LANE
- HM HAMMER MASONRY
- HN HAMMER SIDEWALK
- HO HAMMER TYPICAL
- HP HAMMER UNDER
- HQ HAMMER VENEER
- HR HAMMER WALL
- IA IRON
- IB IRON BRICK
- IC IRON CONCRETE
- ID IRON DRIVE
- IE IRON EDGE
- IF IRON FINISH
- IG IRON GRASS
- IH IRON HATCH
- II IRON INTERLOCK
- IJ IRON JOINT
- IK IRON KEY
- IL IRON LANE
- IM IRON MASONRY
- IN IRON SIDEWALK
- IO IRON TYPICAL
- IP IRON UNDER
- IQ IRON VENEER
- IR IRON WALL
- JA JAIL
- JB JAIL BRICK
- JC JAIL CONCRETE
- JD JAIL DRIVE
- JE JAIL EDGE
- JF JAIL FINISH
- JG JAIL GRASS
- JH JAIL HATCH
- JI JAIL INTERLOCK
- JJ JAIL JOINT
- JK JAIL KEY
- JL JAIL LANE
- JM JAIL MASONRY
- JN JAIL SIDEWALK
- JO JAIL TYPICAL
- JP JAIL UNDER
- JQ JAIL VENEER
- JR JAIL WALL
- KA KICK
- KB KICK BRICK
- KC KICK CONCRETE
- KD KICK DRIVE
- KE KICK EDGE
- KF KICK FINISH
- KG KICK GRASS
- KH KICK HATCH
- KI KICK INTERLOCK
- KJ KICK JOINT
- KK KICK KEY
- KL KICK LANE
- KM KICK MASONRY
- KN KICK SIDEWALK
- KO KICK TYPICAL
- KP KICK UNDER
- KQ KICK VENEER
- KR KICK WALL
- LA LAMP
- LB LAMP BRICK
- LC LAMP CONCRETE
- LD LAMP DRIVE
- LE LAMP EDGE
- LF LAMP FINISH
- LG LAMP GRASS
- LH LAMP HATCH
- LI LAMP INTERLOCK
- LJ LAMP JOINT
- LK LAMP KEY
- LL LAMP LANE
- LM LAMP MASONRY
- LN LAMP SIDEWALK
- LO LAMP TYPICAL
- LP LAMP UNDER
- LQ LAMP VENEER
- LR LAMP WALL
- MA MAIL
- MB MAIL BRICK
- MC MAIL CONCRETE
- MD MAIL DRIVE
- ME MAIL EDGE
- MF MAIL FINISH
- MG MAIL GRASS
- MH MAIL HATCH
- MI MAIL INTERLOCK
- MJ MAIL JOINT
- MK MAIL KEY
- ML MAIL LANE
- MM MAIL MASONRY
- MN MAIL SIDEWALK
- MO MAIL TYPICAL
- MP MAIL UNDER
- MQ MAIL VENEER
- MR MAIL WALL
- NA NORTH
- NB NORTH BRICK
- NC NORTH CONCRETE
- ND NORTH DRIVE
- NE NORTH EDGE
- NF NORTH FINISH
- NG NORTH GRASS
- NH NORTH HATCH
- NI NORTH INTERLOCK
- NJ NORTH JOINT
- NK NORTH KEY
- NL NORTH LANE
- NM NORTH MASONRY
- NN NORTH SIDEWALK
- NO NORTH TYPICAL
- NP NORTH UNDER
- NQ NORTH VENEER
- NR NORTH WALL
- OB OBTUSE
- OC OBTUSE BRICK
- OD OBTUSE CONCRETE
- OE OBTUSE DRIVE
- OF OBTUSE EDGE
- OF OBTUSE FINISH
- OG OBTUSE GRASS
- OH OBTUSE HATCH
- OI OBTUSE INTERLOCK
- OJ OBTUSE JOINT
- OK OBTUSE KEY
- OL OBTUSE LANE
- OM OBTUSE MASONRY
- ON OBTUSE SIDEWALK
- OO OBTUSE TYPICAL
- OP OBTUSE UNDER
- OQ OBTUSE VENEER
- OR OBTUSE WALL
- OA OBTUSE
- OB OBTUSE BRICK
- OC OBTUSE CONCRETE
- OD OBTUSE DRIVE
- OE OBTUSE EDGE
- OF OBTUSE FINISH
- OG OBTUSE GRASS
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- OK OBTUSE KEY
- OL OBTUSE LANE
- OM OBTUSE MASONRY
- ON OBTUSE SIDEWALK
- OO OBTUSE TYPICAL
- OP OBTUSE UNDER
- OQ OBTUSE VENEER
- OR OBTUSE WALL



LOCATION MAP (N.T.S.)



- * TO BE REMOVED:**
- 1- EXISTING DOCK (50 FT x 18 FT)
- 2- EXISTING BOAT LIFT
- * NEW DOCK:**
- 1- EXISTING MARINA DOCK (105 SQ FT)
- 2- ACCESS WALKWAY (10 SQ FT)
- 3- RAMP (60 SQ FT)
- 4- T DOCK (100 SQ FT)
- TOTAL = 178 SQ FT

LEGAL DESCRIPTION:

LOT 1 AND 2, LESS THE WEST 75 FEET THEREOF, BLOCK 3 OF "IDLEWYLD", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1 AT PAGE 19, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

PROPERTY CONTAINS 11,927 SQUARE FEET, MORE OR LESS OR 0.274 ACRES MORE OR LESS.

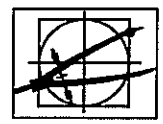
878 Sq. Ft. new dock

FLOOD INFORMATION:
 COUNTY NUMBER : 125105
 PARCEL NUMBER : 1201100210F
 DISTRICT : F
 DATE OF FIRM : 08-11-2008
 FIRM ZONE : AE
 BASE FLOOD ELEVATION : 8.00' AND 7.00'
 DATE FIELD WORK : 01-23-2014
 DATE DRAWING : 01-22-2014
 DATE CHECKED AND SEALED : 01-22-2014
 REVIEWED SURVEY : N/A

- SURVEYOR'S NOTES:**
1. EXAMINATION OF THE ABSTRACT OF THE TITLE WILL HAVE TO BE MADE TO DETERMINE RECORD INSTRUMENTS IF ANY, AFFECTING THE PROPERTY.
 2. LOCATION AND IDENTIFICATION OF UNDERGROUND ENCROACHMENTS OR UTILITIES ON AND/OR ADJACENT TO THE PROPERTY WERE NOT SECURED AS SUCH INFORMATION WAS NOT REQUESTED.
 3. NO SEARCH OF PUBLIC RECORDS HAS BEEN MADE (BY THIS OFFICE) FOR ACCURACY AND OR OMISSIONS.
 4. THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED, IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM FROM ENCUMBRANCES, "TITLE" ABSTRACT NOT REVIEWED.
 5. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
 6. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF ENTITIES NAMED HEREON AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.
 7. DIMENSIONS, BEARINGS OR ANGLES INDICATED HEREON ARE MEASURED AND ARE THE SAME AS PLAT VALUES UNLESS OTHERWISE INDICATED. READINGS ARE BASED ON SHOWN PLAT VALUES IF ANY ON AN ASSUMED VALUE.
 8. ALL RIGHTS OF WAYS SHOWN ARE PUBLIC UNLESS OTHERWISE NOTED.
 9. UTILITY FACILITIES WITHIN UTILITY EASEMENTS NOT NOTED AS VIOLATIONS, DRIVEWAYS OR PORTIONS THEREOF WITHIN ROADWAYS NOT NOTED AS VIOLATIONS OR ENCROACHMENTS.
 10. ANY LINES DEPICTED HEREON ARE REFERENCED TO THE PLATS OF PUBLIC RECORD (LISTED BELOW) NO ADDITIONAL INFORMATION WAS PROVIDED TO THIS OFFICE REGARDING CHANGES IN RIGHTS OF WAYS, DEDICATIONS, LOT LINES, PROPERTY LINES, ZONING ETC.
 11. THIS DRAWING IS PROPERTY OF ZURWELLE-WHITTAKER AND CANNOT BE REPRODUCED WITHOUT WRITTEN CONSENT.
 12. THE ELEVATION INFORMATION SHOWN HEREON (IF ANY) IS RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM, (N.G.V.D.), OF 1973, UNLESS OTHERWISE NOTED.
 13. BENCHMARK USED: NO ELEVATION REQUESTED.
 14. COORDINATES SHOWN ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983/2011 1983 ADJUSTMENT.
 15. COORDINATE CONVERSIONS (IF ANY) HAVE BEEN CONVERTED USING COORDINATE VERSION 8.1, FROM U.S. ARMY CORPS OF ENGINEERS ALEXANDRIA, VIRGINIA.
 16. UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER, THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.
 17. ACCURACY OF HORIZONTAL CONTROL: (FOR EXPECTED USE OF LAND AS DEFINED BY 35-171) THE FIELD MEASUREMENTS VERIFIED BY CALCULATIONS OF A CLOSED GEOMETRIC FIGURE BASED UPON FIELD INFORMATION TAKEN IN THE FIELD BY TOTAL STATION AND OR GPS/RTK.

RELATIVE DISTANCE ACCURACY FOR THIS SURVEY IS 1 IN 1000 OR LESS.
 COMMERCIAL/RISK : URBAN: 1 FOOT IN 10,000 FEET
 SUBURBAN : URBAN: 1 FOOT IN 7,500 FEET
 RURAL : URBAN: 1 FOOT IN 5,000 FEET

SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY THAT THE ATTACHED "BOUNDARY SURVEY" WAS PREPARED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THE SURVEY MEETS MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 35-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.007.



ZURWELLE-WHITTAKER, INC. EST. 1926
 CONSULTING ENGINEERS AND SURVEYORS
 1140 WEST 50th ST., SUITE 307, HALEGH, FL 33012 PH: (888) 534-4668 FAX (888) 531-4589
 WWW.ZURWELLE-WHITTAKER.COM
 CERTIFICATE OF AUTHORIZATION NO. LD0000166 EB 002851
 MEMBER: FLORIDA LAND SURVEYORS' COUNCIL, FLORIDA SURVEYING AND MAPPING SOCIETY

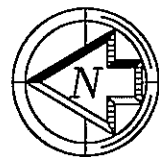
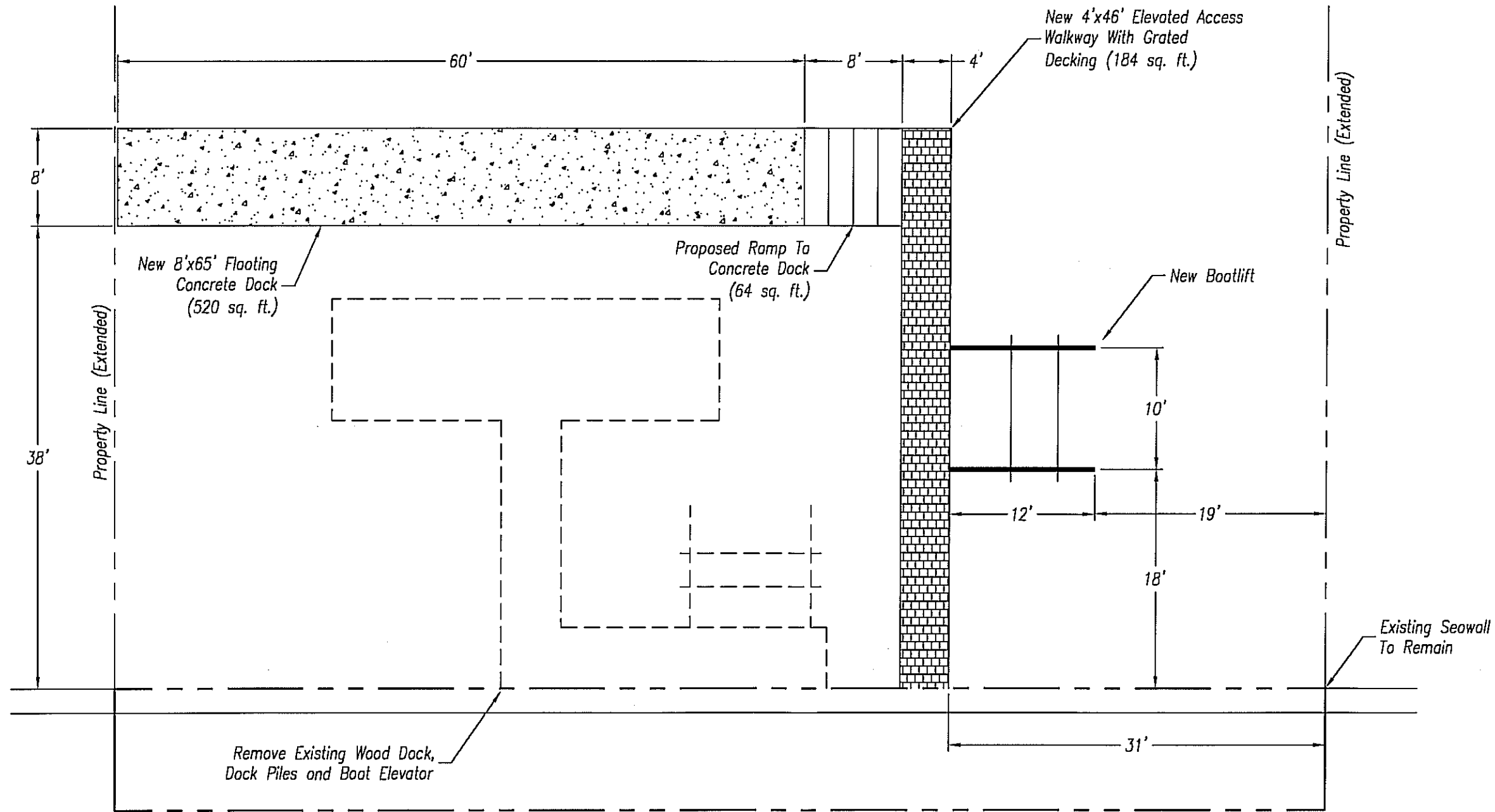
Eddie A. Martinez
EDDIE A. MARTINEZ
 PROFESSIONAL SURVEYOR AND MAPPER
 MEMBER: FLORIDA
 STATE OF FLORIDA

PROJECT: **RES # 505 IDLEWYLD DR FORT LAUDERDALE, FL 33301**

JOB No.	N/A
FIELD BOOK	J.C. CAREAGA
SCALE	1" = 16'
DRAWN	JMR
REVISED	EM
REVISIONS	mm-dd-yyyy

SHEET No. **44-065**

New River Sound

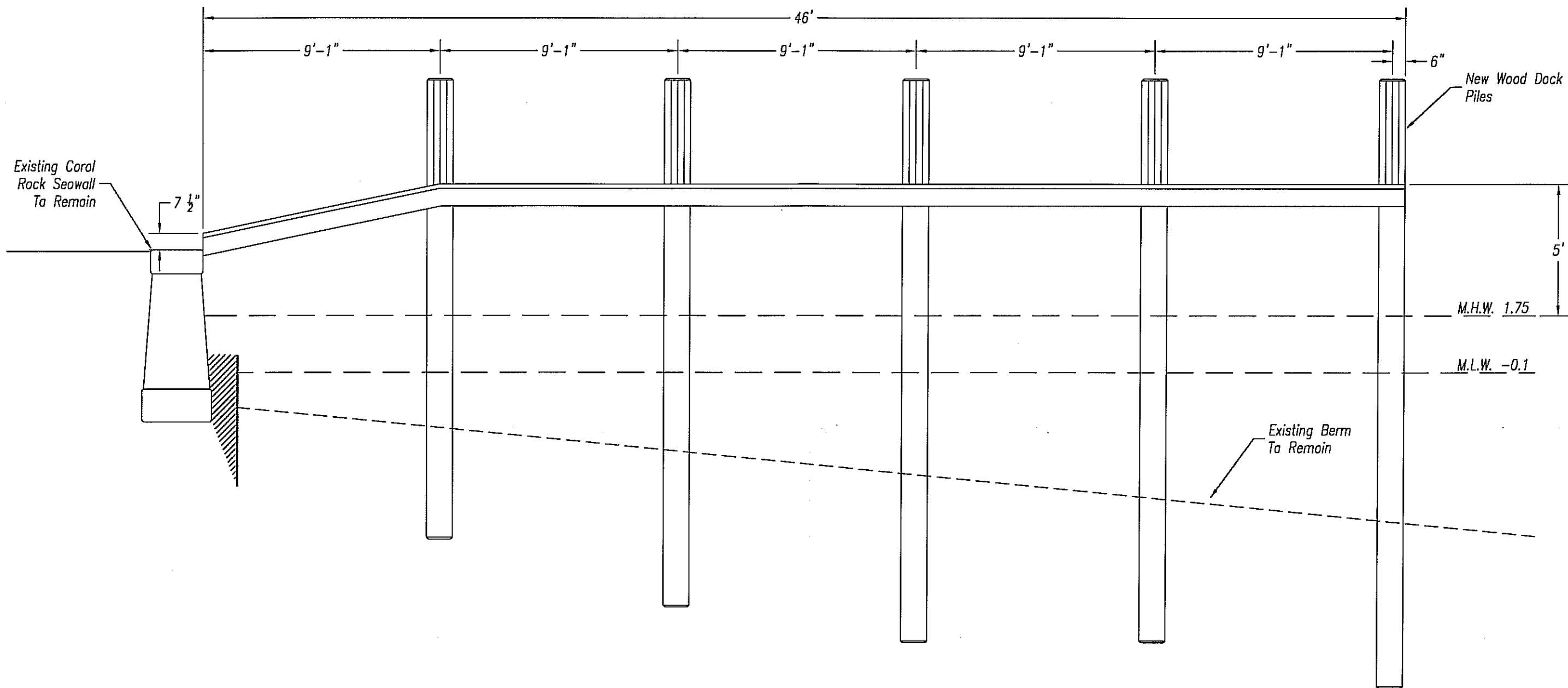


Lot 1 Block 3
IDLEWYLD
 Plat Book 1 Page 19
 Broward County
 Florida

Site Plan
 Existing Conditions
 Scale: 1" = 10'

Dock Replacement
 Joe Fallon
 505 Idlewyld Drive
 Fort Lauderdale, Florida 33301
 Dynamic Engineering Solutions, Inc.
 E.B. #26829, License #52733
 950 N. Federal Highway Suite 212
 Pompano Beach, Florida 33062
 (954) 545-1740

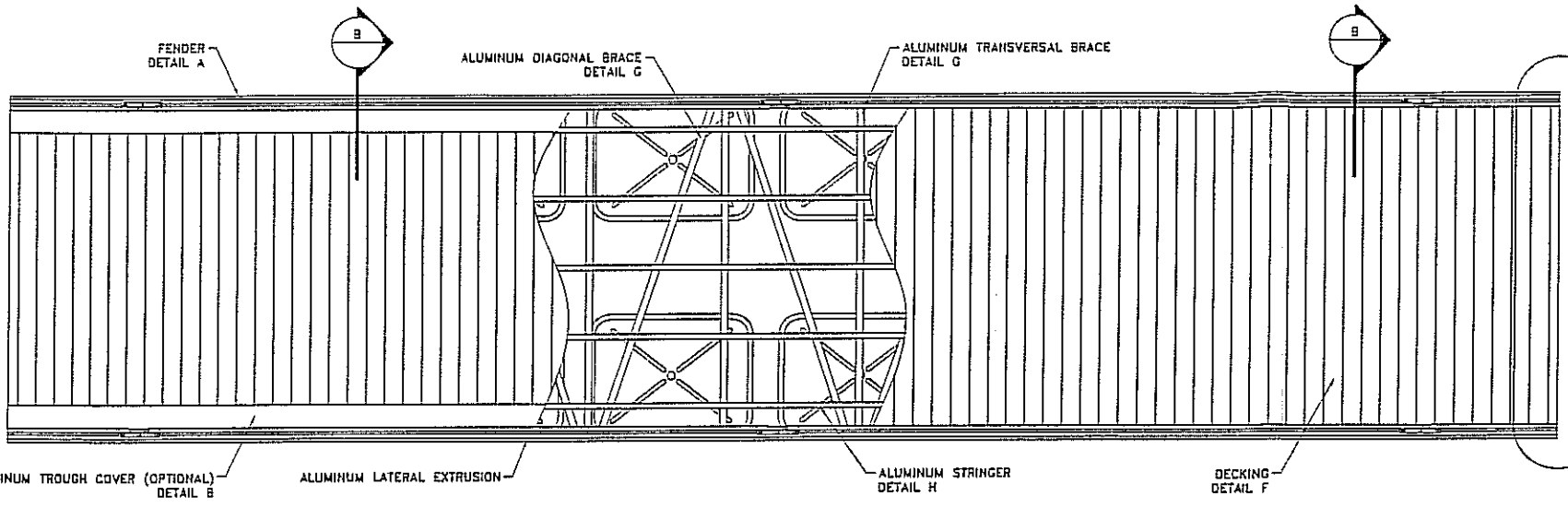
DSN	DWN
WRT	
DATE	
10.01.12	
PLOT	
120	
DWG No.	
505 Site	
DIRECTORY	
SEM/Docks	
CAM 14-0605	
Sheet 1	



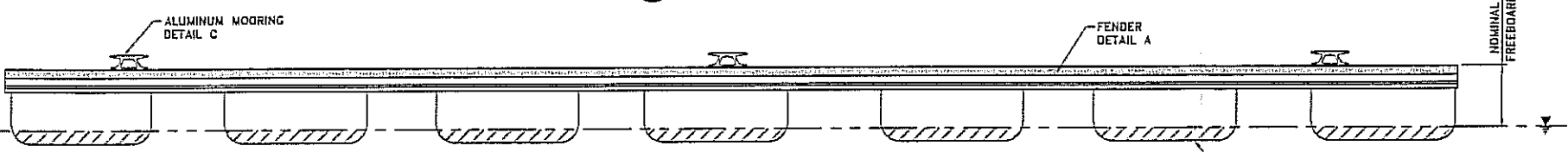
Typical Dock Section

Scale 1/4" = 1'-0"

Dock Replacement		DSN	DWN
Joe Follon		WRT	
505 Idlewyld Drive		DATE	10.01.12
Fort Lauderdale, Florida 33301		PLOT	48
Dynamic Engineering Solutions, Inc.		DWG No.	505 Conc Dock
E.B. #26829, License #52733		DIRECTORY	SEM/Docks
950 N. Federal Highway Suite 212		Sheet	2
Pompano Beach, Florida 33062		Exhibit	1
(954) 545-1740		Jahn H. Ormsler, CAM	



PLAN VIEW
SYSTEM 186



ELEVATION VIEW
SYSTEM 186

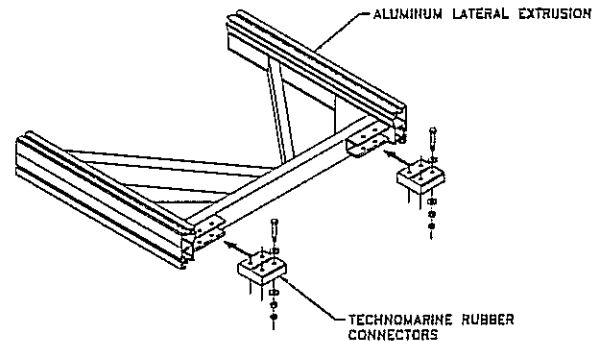
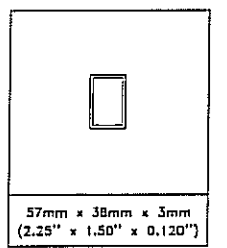
F DECKINGS

DECKING	DIMENSIONS	
	METRIC	IMPERIAL
HARDWOOD	25mm x 135mm	1.00" x 5.32"
COMPOSITE	25mm x 135mm	1.00" x 5.32"
TREATED WOOD	25mm x 135mm	1.00" x 5.32"
ALUMINUM	25mm x 305mm	1.00" x 12.00"

G DIAGONAL & TRANSVERSAL BRACES

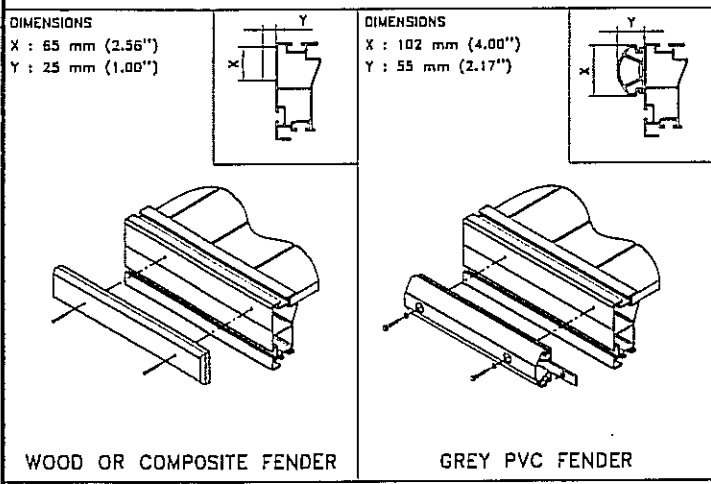
PATCH PENDING	
STRONG	REGULAR
76mm x 57mm x 3mm (3.0" x 2.25" x 0.120")	76mm x 51mm x 3mm (3.0" x 2.0" x 0.120")

H STRINGER

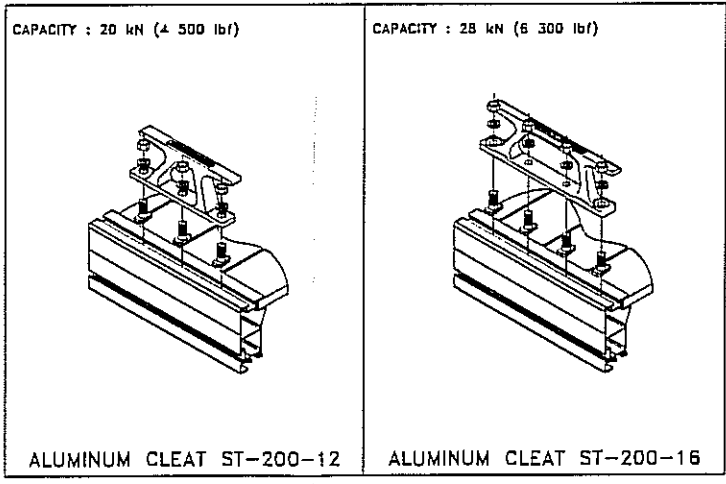


E ISOMETRIC VIEW
DOCK CONNECTIONS

A FENDERS

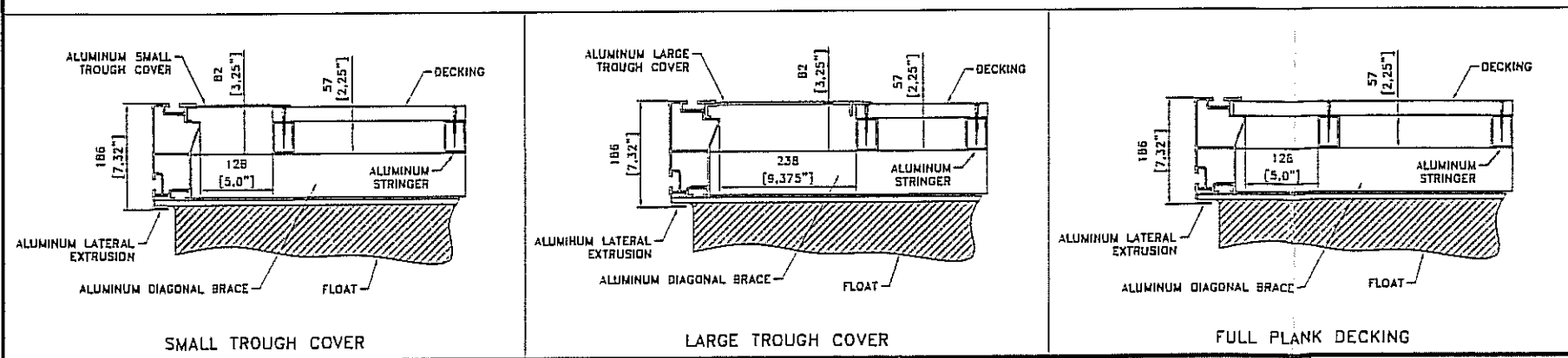


C MOORINGS

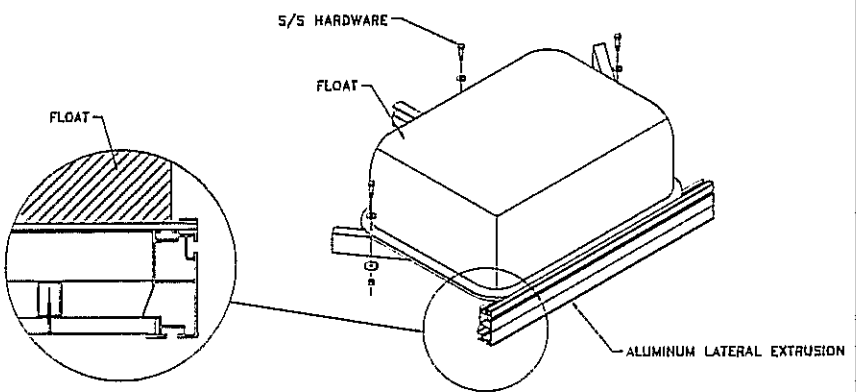


FOR INFORMATION ONLY

B SERVICE TROUGHS



D ISOMETRIC VIEW
FLOAT CONNECTIONS



CHARACTERISTICS

- EXTRUSIONS, PLATES AND GUSSETS: MARINE GRADE ALUMINUM ALLOY 6061-T6
- ALL HARDWARES UNLESS NOTED: STAINLESS STEEL AISI 304
- T-BOLTS AND HARDWARES UNDER WATER LINE: STAINLESS STEEL AISI 316
- WELDING: MIG PROCEDURE USING 5358 WELDING AS PER CSA W-47.2 & ANSI/AWS D1.2
- STRUCTURE: CSA S 157 M, CSA W 59.2 M
- FLOATS: POLYETHYLENE SHELL FILLED WITH EPS FOAM 16.0 Kg/m³ (1 lbs/ft³) MIN. DENSITY
- MOORINGS: ALUMINUM ALLOY A356

NOTES

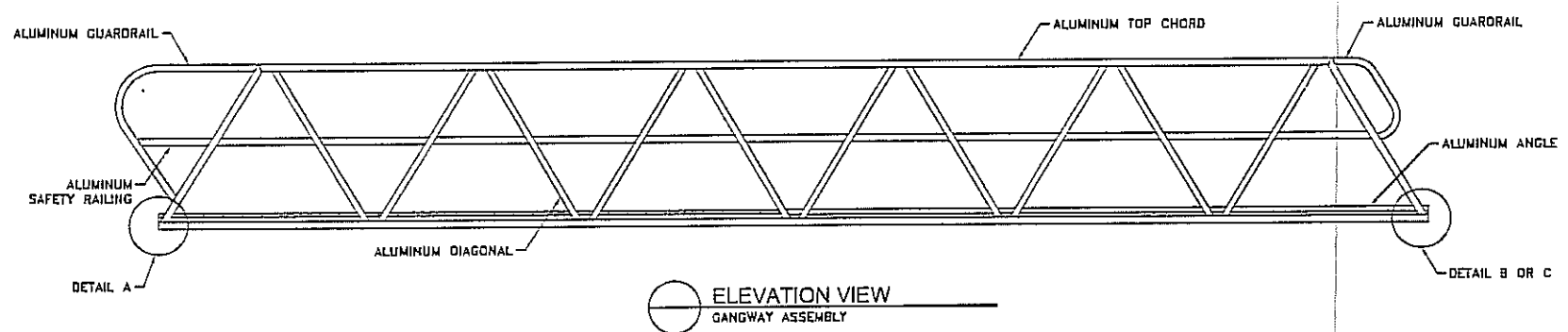
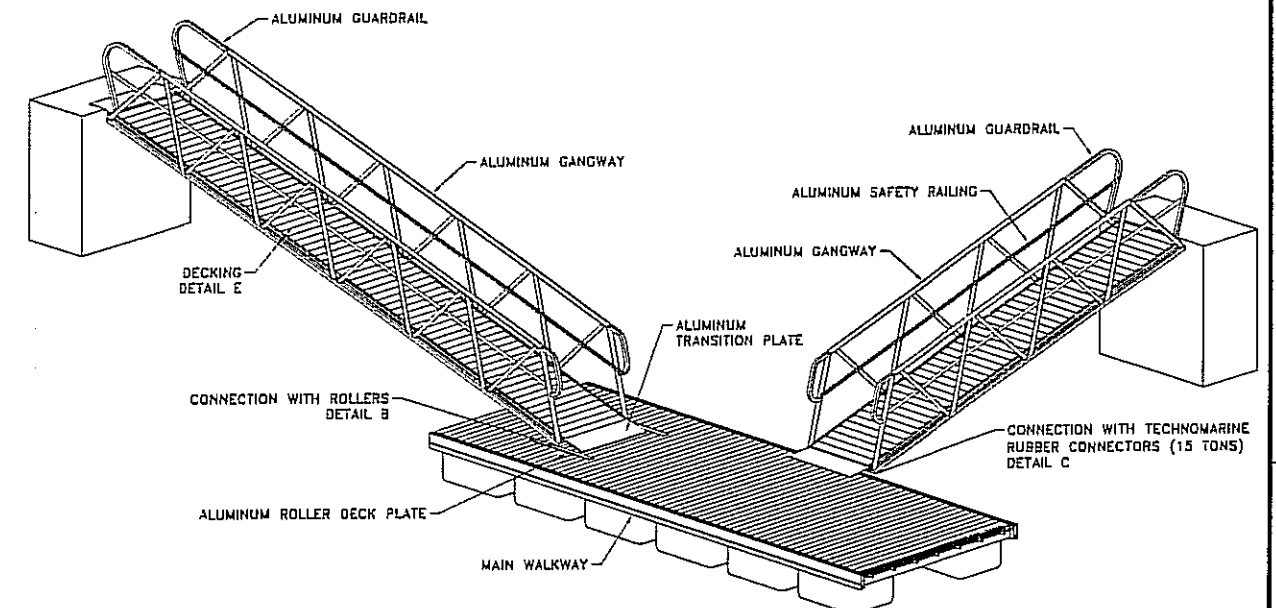
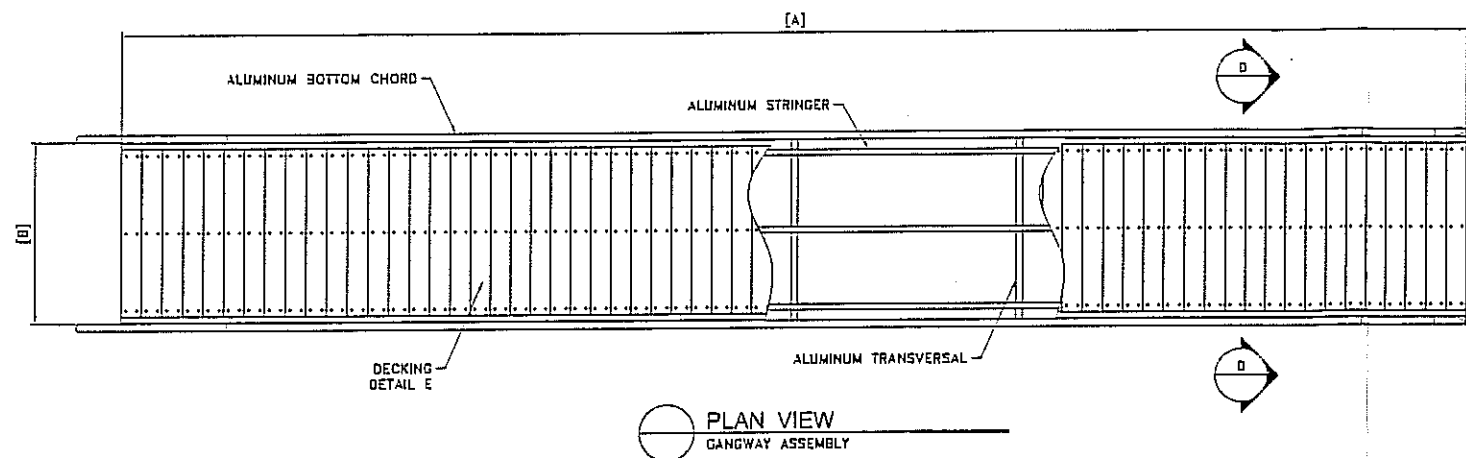
- FLOAT QUANTITY IS FOR REFERENCE ONLY
- CLEAT QUANTITY IS FOR REFERENCE ONLY
- ALL DIMENSIONS ARE NOMINAL

INITIAL ISSUE	R.G.	10/11/12		
No.	Description	By	Appr.	Feb. Inal.

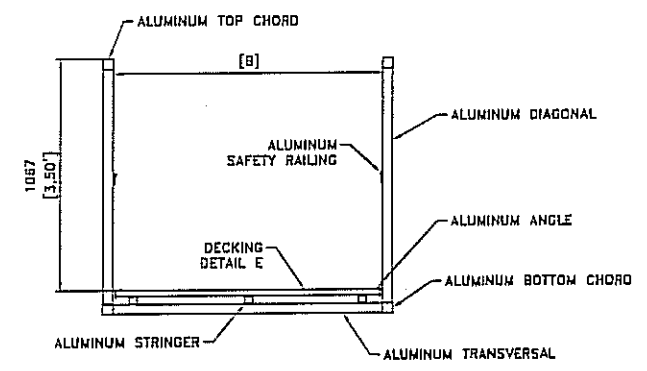
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TECHNOMARINE
Advanced Docking Solutions

Project	
200 SERIES ALUMINUM FLOATING DOCK MAIN WALKWAY - SYSTEM 186 TECHNICAL DRAWING	
No. de Control	Gérant de projet
Contract no.	Project manager
Tracé le 09/11/15	Dessiné par P. CHAMPAGNE
Imprimé	Drawn by
Dessin de réf.	No. de dessin 200MW186
Ref. dessin	Rev. 03
	14-06-09



FOR INFORMATION ONLY

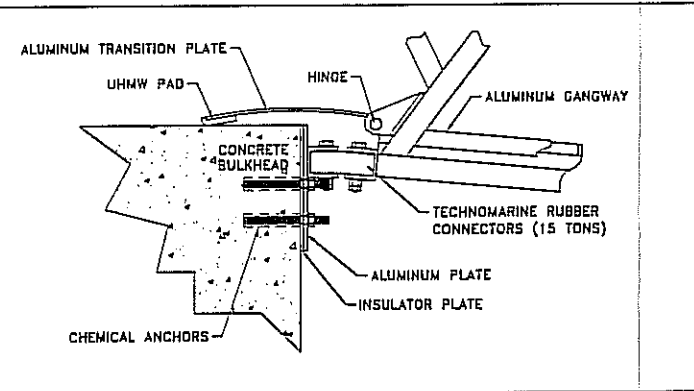
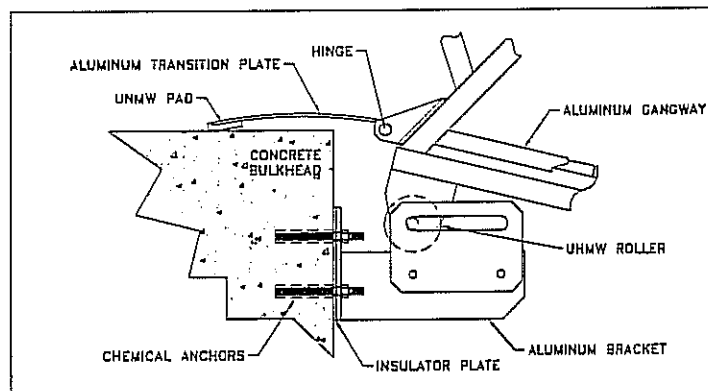


CHARACTERISTICS

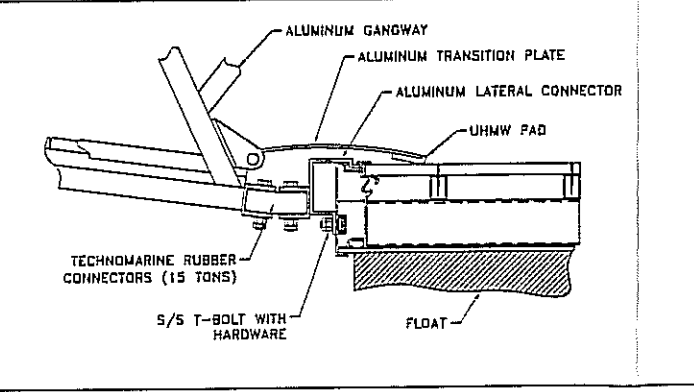
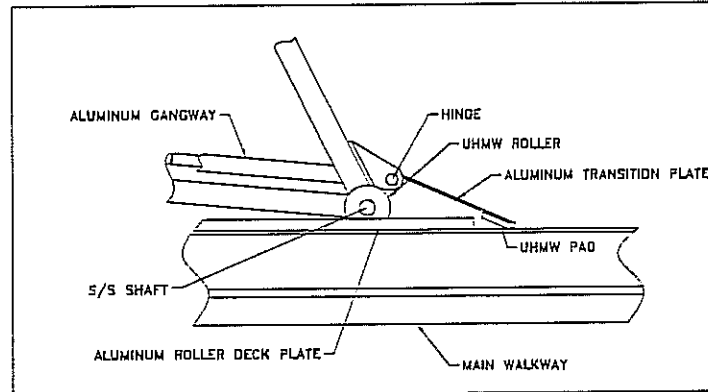
- EXTRUSIONS, PLATES AND GUSSETS: MARINE GRADE ALUMINUM ALLOY 6061-T6
- ALL HARDWARES UNLESS NOTED: STAINLESS STEEL AISI 304
- T-BOLTS AND HARDWARES UNDER WATER LINE: STAINLESS STEEL AISI 316
- STRUCTURE: CSA S 157 M, CSA W 59.2 M
- WELDING: MIG PROCEDURE USING 5356 WELDING AS PER CSA W-47.2 & ANSI/AWS D1.2

NOTES

- ALL DIMENSIONS ARE NOMINAL



GANGWAY MODEL	A		B	
	LENGTH		WIDTH	
	METRIC	IMPERIAL	METRIC	IMPERIAL
MINIMUM	3.05 m	10.00'	0.61 m	2.00'
MAXIMUM	18.29 m	60.00'	1.83 m	6.00'



E DECKINGS

DECKING	DIMENSIONS	
	METRIC	IMPERIAL
HARDWOOD	25mm x 135mm	1.00" x 5.32"
COMPOSITE	25mm x 135mm	1.00" x 5.32"
TREATED WOOD	25mm x 135mm	1.00" x 5.32"
ALUMINUM	25mm x 305mm	1.00" x 12.00"

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TECHNOMARINE
Advanced Docking Solutions

No. de Contrat	Gérant de projet
Contract no.	Project manager
Tracé le	Dessiné par
09/11/15	P. CHAMPAGNE
Dessin de ref.	No. de dessin
Ref. drawing	200GA035REG
	Rev.
	03

Subject: SAJ-2012-03075 (505 Idlewyld LLC/Fallon, Joe/Ft. Lauderdale/Dock and Boatlift) (UNCLASSIFIED)
From: "Carothers, James M SAJ" <James.M.Carothers@usace.army.mil>
Date: 3/21/2014 2:31 PM
To: "jfb4244@gmail.com" <jfb4244@gmail.com>

Classification: UNCLASSIFIED
Caveats: NONE

Fred,

I have received your revised submittals for the subject project. The permit file has been reactivated for processing.

Thanks,

Mike Carothers, Project Manager
U.S. Army Corps of Engineers
Palm Beach Gardens Regulatory Office
4400 PGA Boulevard, Suite 500
Palm Beach Gardens, Florida 33410
(561) 472-3526 work
(561) 626-6971 fax

We invite you to take a few minutes to visit the following link and complete our automated Customer Service Survey: http://corpsmapu.usace.army.mil/cm_apex/f?p=regulatorysurvey.

Your input is appreciated - favorable or otherwise.

Classification: UNCLASSIFIED
Caveats: NONE

Subject: FW: 505 Idlewyld DF12-1148

From: "Magrino, Marisa" <MMAGRINO@broward.org>

Date: 3/24/2014 9:45 AM

To: "Fred Blitstein (jfb4244@gmail.com)" <jfb4244@gmail.com>

Hi Fred,

I am responding back so you know that I received the attachment and email below. The file is still active; however, staff has not deemed the file complete or reviewed the response yet.

Thank you,



Marisa Magrino
Environmental Protection and Growth Management Dept.
Environmental Licensing and Building Permitting Division
1 North University Drive, Suite 102-A
Plantation, Florida 33324
Phone (954) 519-1205
Fax (954) 519-1412

From: Fred Blitstein [mailto:jfb4244@gmail.com]
Sent: Friday, March 21, 2014 2:01 PM
To: Magrino, Marisa; William Thomas
Subject: 505 Idlewyld DF12-1148
Importance: High

Marisa,

I am now working with Bill Thomas to complete this application and have submitted to you the updated dock plans
I have been working closely with Mike Carothers of the Army Corps and the new dock plan meets the requirements of the Corps
The plan includes a current survey.
We are submitting a package to the City of Fort Lauderdale no later than next Wednesday; as required for the placement of the new dock
Can I please confirm with you that you have received the plans and that the file is active
The square footage is less than 1000
The old dock will be removed; but is shown on the plan
The 10 foot side yard setbacks are retained
The new configuration aligns with the approved built dock to the north and provides the depth of water required for the vessel proposed for the dock
I look forward to speaking with you as soon as possible
Thanks, Fred

--



J. Frederic Blitstein PhD
285 Sevilla Ave. Coral Gables, Florida, 33134
Office: 305 361 9062; Cell: 305 785 4919; Fax 305 444 0181
e-mail: jfb4244@gmail.com



Under Florida law, most e-mail messages to or from Broward County employees or officials are public records, available to any person upon request, absent an exemption. Therefore, any e-mail message to or from the County, inclusive of e-mail addresses contained therein, may be subject to public disclosure.

—Attachments:—

CCF_0115505 IDLEWYLD DOCK.pdf

7.4 MB



J. Frederic Blitstein PhD

285 Sevilla Ave. Coral Gables, Florida, 33134

Office: 305 361 9062; Cell: 305 785 4919; Fax 305 444 0181

e-mail: jfb4244@gmail.com

