

SHEET NO.	ARCHITECTURE
A1.01	PLAN
A1.02	SECTION
A1.03	SECTION
A1.04	SECTION
A1.05	SECTION
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A1.100	SECTION

SHEET NO.	LANDSCAPE
L1.01	CONCEPT SITE PLAN
L1.02	LANDSCAPE MASTER PLAN
L1.03	LANDSCAPE PLAN
L1.04	LANDSCAPE PLAN
L1.05	LANDSCAPE PLAN
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L1.98	LANDSCAPE PLAN
L1.99	LANDSCAPE PLAN
L1.100	LANDSCAPE PLAN



ELECTRIC PRELIMINARY
 FLORIDA POWER AND LIGHT COMPANY
 600 N. PALM BEACH BLVD., SUITE 1000
 PALM BEACH, FL 33480
 CONTACT: J. GILBERT

ENGINEERING
 BRUNNEN CONSULTING GROUP
 1001 YAMATO ROAD, SUITE 105
 BOCA RATON, FLORIDA 33431
 PHONE: (561) 392-0221

INSURANCE AND BONDING
 BRUNNEN CONSULTING GROUP
 1001 YAMATO ROAD, SUITE 105
 BOCA RATON, FLORIDA 33431
 PHONE: (561) 392-0221

CABLE PROVIDER
 COMCAST
 1001 YAMATO ROAD, SUITE 105
 BOCA RATON, FLORIDA 33431
 PHONE: (561) 392-0221

TELEPHONE PROVIDER
 AT&T
 1001 YAMATO ROAD, SUITE 105
 BOCA RATON, FLORIDA 33431
 PHONE: (561) 392-0221

NATURAL GAS PROVIDER
 TECO ENERGY
 1001 YAMATO ROAD, SUITE 105
 BOCA RATON, FLORIDA 33431
 PHONE: (561) 392-0221

WATER PROVIDER
 CITY OF FT. LAUDERDALE
 1001 YAMATO ROAD, SUITE 105
 BOCA RATON, FLORIDA 33431
 PHONE: (561) 392-0221

CITY ENGINEERING
 CITY OF FT. LAUDERDALE
 1001 YAMATO ROAD, SUITE 105
 BOCA RATON, FLORIDA 33431
 PHONE: (561) 392-0221

Submission for Planned Development District Rezoning
 09/14/2023

WESTIN/AURA CYPRESS CREEK

200, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33334

LANDSCAPE:
 landscape
DESIGN
 workshop
 621 NW 53rd St,
 Suite #125
 Boca Raton, FL 33487
 PHONE: (954) 772-0724

ENGINEERING:

 1001 Yamato Road,
 Suite 105
 Boca Raton, Florida 33431
 PHONE: (561) 392-0221

ATTORNEY:

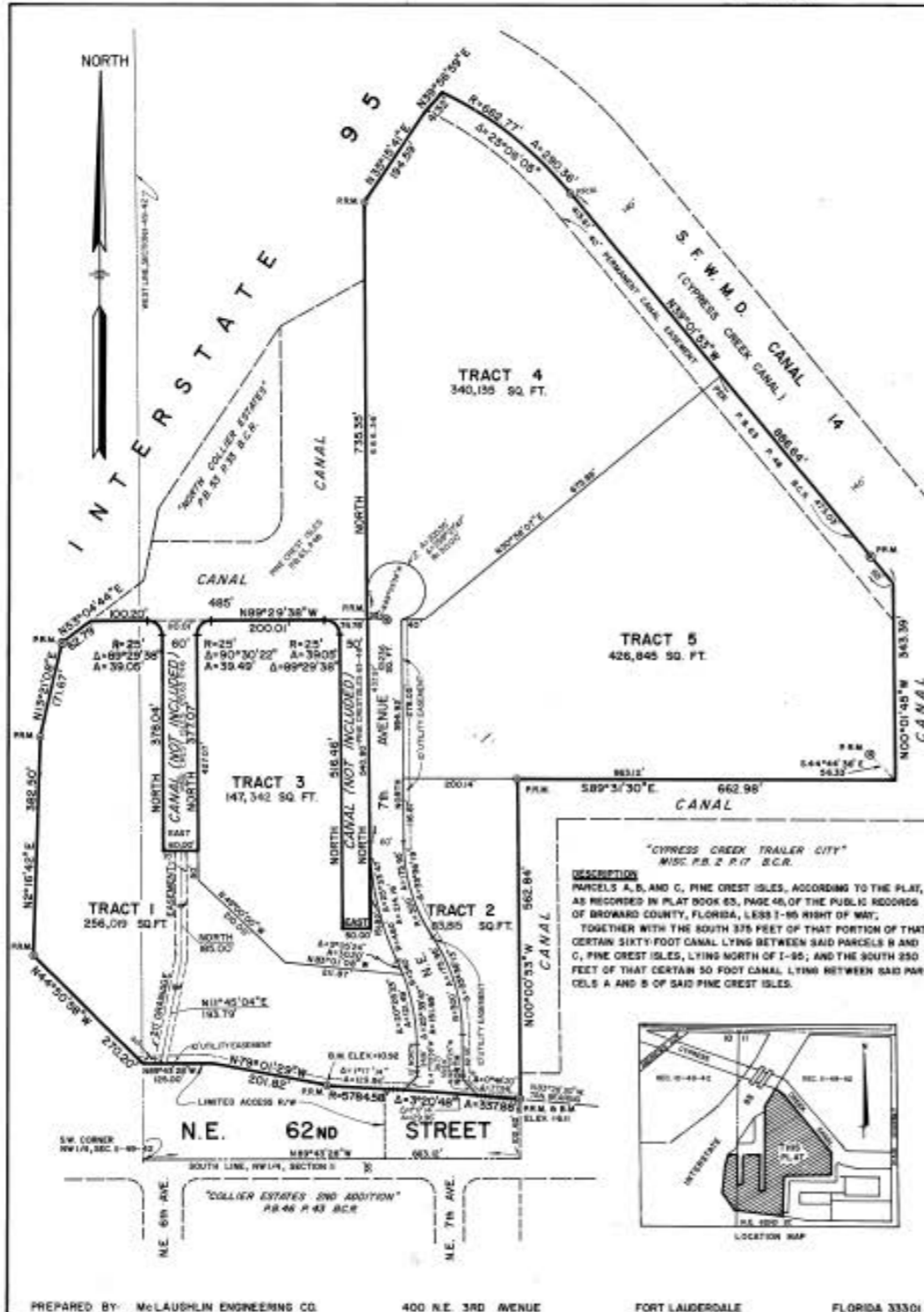
 1401 East Broward Boulevard,
 Suite 303
 Fort Lauderdale, FL 33301
 PHONE: (954) 779-1119

TRG
TRINISIC
 RESIDENTIAL GROUP
 8235 Douglas Ave,
 Dallas, TX 75225

CA
CORWIL ARCHITECTS
 1001 YAMATO ROAD, SUITE 105
 BOCA RATON, FLORIDA 33431

"SHELL AT I-95"

BEING A RESUBDIVISION OF PORTIONS OF PARCELS A, B, AND C, PINE CREST ISLES, RECORDED IN PLAT BOOK 63, PAGE 48, BROWARD COUNTY RECORDS, OF SECTIONS 10 & 11, TOWNSHIP 49 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.



DEDICATION

STATE OF TEXAS KNOW ALL MEN BY THESE PRESENTS: That SHELL OIL COMPANY, owner of the lands described and shown as included in this COUNTY OF HARRIS plat, has caused said lands to be subdivided and platted as herein shown, said plat to be known as, "SHELL AT I-95," being a re-subdivision of portions of Parcels A, B, and C, PINE CREST ISLES, recorded in Plat Book 63, Page 48, Broward County Records, Broward County, Florida. The thoroughfare is hereby dedicated to the perpetual use of the public in fee simple. All easements are hereby dedicated to the perpetual use of the public for purposes as indicated.

IN WITNESS WHEREOF: We hereunto set our hands and affix the corporate seal in the City of Houston, County of HARRIS, State of Texas, this 17th day of NOVEMBER, 1977.
Witness: *[Signature]* Witness: *[Signature]* Officer: *[Signature]* Title: SECL. CLERK, BROWARD COUNTY
Witness: *[Signature]* Witness: *[Signature]* Officer: *[Signature]* Title: ASST. SECRETARY

ACKNOWLEDGEMENT

STATE OF TEXAS I HEREBY CERTIFY: That on this day personally appeared before me, an officer duly authorized by law to administer oaths and take COUNTY OF HARRIS acknowledgements, *[Signature]* and *[Signature]*, *[Signature]* and *[Signature]*, respectively of SHELL OIL COMPANY, to me well known to be the individuals described in and who executed the foregoing dedication and they acknowledged before me that they executed the same freely and voluntarily for uses and purposes therein expressed. WITNESS: My hand and official seal in the City of Houston, County of HARRIS, State of Texas, this 17th day of NOVEMBER, 1977.
My Commission Expires the 15th day of October, 1978. NOTARY PUBLIC *[Signature]* STATE OF TEXAS

BROWARD COUNTY PLANNING AND ADMINISTRATIVE SERVICES

This plat is hereby approved and accepted for record this 3rd day of May, A.D. 1978.
BY: *[Signature]*, Director

BROWARD COUNTY PLANNING COUNCIL

THIS IS TO CERTIFY: That the Broward County Planning Council approved this plat with regard to dedication of Rights-of-Way for Traffic Ways by Resolution duly adopted this 6th day of July, 1978. BY: *[Signature]*, this 6th day of October, 1978.

BROWARD COUNTY ENGINEERING DIVISION

This plat has been approved and accepted for record.
BY: *[Signature]* Date: 5/1/78
J.B. Ruckling, Director
By: *[Signature]* Date: 5-3-78
Bruce S. Stokewes, County Surveyor
Fla. P.L.S. Reg. No. 2942

BROWARD COUNTY CENTRAL SERVICES DEPARTMENT - ARCHIVES AND MINUTES DIVISION

THIS IS TO CERTIFY: That this plat complies with the provisions of an ACT TO REGULATE THE MAKING AND FILING FOR RECORD OF MAPS AND PLATS IN THE STATE OF FLORIDA approved by the Governor, June 27, 1971. This plat accepted and approved for record by the BOARD OF COUNTY COMMISSIONERS, of Broward County, Florida, this 13th day of OCTOBER, 1978. GRHAMM WATT - COUNTY ADMINISTRATOR BY: *[Signature]* DEPUTY

BROWARD COUNTY FINANCE DEPARTMENT - RECORDING DIVISION

This plat filed for record this 11th day of May, 1978 in Book 662 of PLATS, of PAGE 25. "RECORD VERIFIED"
GRHAMM WATT COUNTY ADMINISTRATOR BY: *[Signature]* DEPUTY.

SURVEYOR'S CERTIFICATE

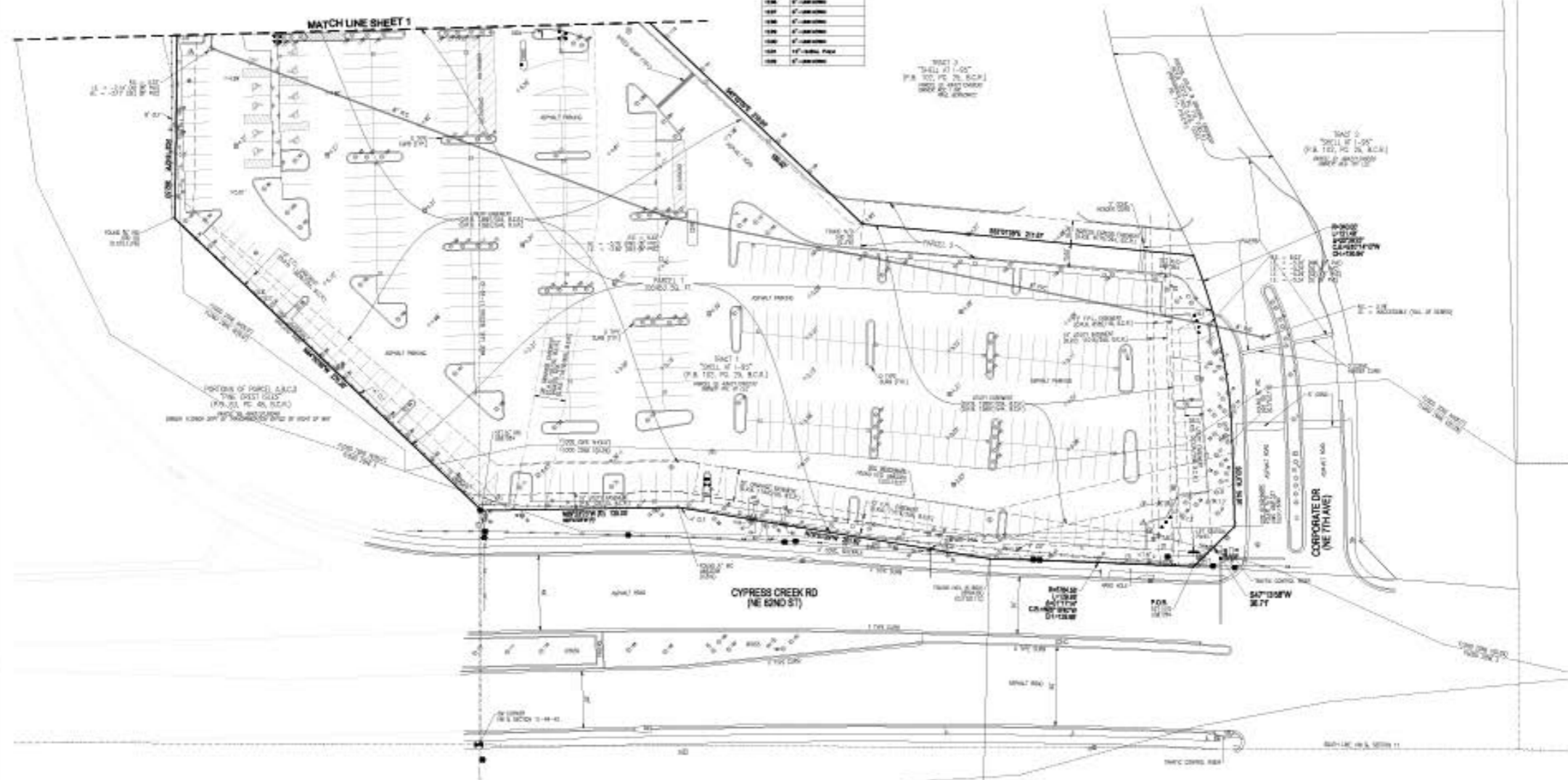
STATE OF FLORIDA I HEREBY CERTIFY: That the attached plat, is a true and correct representation of the lands recently surveyed, subdivided and platted under my COUNTY OF BROWARD responsible direction and supervision, that the survey data shown complies with the applicable requirements of Chapter 177, FLORIDA STATUTES, A.D. 1971, and meets the minimum requirements established by the Florida Society of Professional Land Surveyors, and further that the PERMANENT REFERENCE MONUMENTS were set in accordance with Section 177.02(1) of said Chapter 177, on this 12th day of December, 1978. The BENCH MARKS shown are referenced to N.O.S. VERTICAL DATUM and conforms to standards for third order work. McLAUGHLIN ENGINEERING CO
This plat done at Fort Lauderdale, Florida, this 12th day of Dec, 1977. By: *[Signature]* James M. McLaughlin
Registered Land Surveyor No. 2021
State of Florida.

NOTES:

- PRM - INDICATES PERMANENT REFERENCE MONUMENT
- BEARINGS REFER TO AN ASSUMED MERIDIAN
- THIS PLAT CONTAINS 30.2890 ACRES
- B.M. - INDICATES BENCH MARK
- ++++ INDICATES NON-VEHICULAR ACCESS
- THE MAXIMUM DENSITY FOR THE RESIDENTIAL AREA IS TO BE 200 UNITS

TREE LIST

001	1" Oak
002	1" Oak
003	1" Oak
004	1" Oak
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3647 Clint Moore Road
Pace Palms, FL 33487
Tel: (561) 241-8888
Fax: (561) 241-5187

**ALTA/NPS LAND TITLE SURVEY
WESTIN AURA CYPRESS CREEK**

NO.	DATE	BY	CHKD	REVISION

JOB NO. 22161
SCALE 1" = 30'
DRAWN AAR
CHECKED JSH
SHEET 2 OF 3



VIEW 1



VIEW 2



VIEW 3



VIEW 4



SUBJECT PROPERTY LOCATION



VIEW 5



VIEW 6



VIEW 7



VIEW 8



VIEW 9



VIEW 10



VIEW 11



VIEW 12



VIEW 13



VIEW 14



VIEW 15



VIEW 16



CORWIL ARCHITECTS
400 LUCAS ST. CORP. BLDG. 200
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



8225 Douglas Ave,
Dallas, TX 75225

CONTEXT PLAN

PHASE:
PDD SUBMITTAL



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DATE: 04/24/2023
JOB No.: 2023-04
DRAWN BY: MAC/DA/AMW
CHECKED BY: JLM
PRINTED: 04/24/2023 10:11 AM

SHEET NUMBER:
A-0.02



NORTHWEST PEDESTRIAN VIEW



KEY PLAN
HP2



CORWIL ARCHITECTS
400 LUCAS ST. CORP. OFFICE - 3RD FL.
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304
OWNER:



8235 Douglas Ave,
Dallas, TX 75225

RENDERINGS

PHASE:
PDD SUBMITTAL

SCALE:



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DATE: 04/24/2023
FILE NO.: 2023-04
DESIGNER: MAC/DA/AMW
PROJECT: AURAC
PRINTED: 04/20/23 10:58:12 AM

SHEET NUMBER:

A-0.03



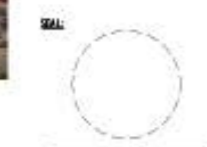
CORWIL ARCHITECTS
400 LAUREL ST. SUITE 2000 FT. LAUDERDALE, FL 33304
TEL: 954.776.1100 FAX: 954.776.1101

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304
OWNER:

TRG
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

RENDERINGS

PHASE:
PDD SUBMITTAL



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JOB No.: 2023-04
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CHECKED BY: ALM/C
PRINTED: 04/24/23 10:46 AM

SHEET NUMBER:
A-0.04



SOUTH VIEW





CORWIL ARCHITECTS
400 LAUREL ST. SUITE 2000 FT. LAUDERDALE, FL 33304
TEL: 954.776.1100 FAX: 954.776.1101

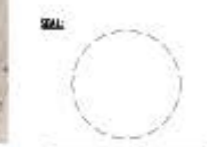
PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC
TRINSIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225



RENDERINGS

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DATE: 04/24/2023
1/31 PLOT: 2023-04
DESIGNER: MAC/DV/AMW
APPROVER: AJM/C
PRINTED: 10:50:23 AM 04/24/2023

NORTHWEST AERIAL VIEW

SHEET NUMBER:
A-0.05



KEY PLAN



SOUTHEAST AERIAL VIEW



CORWIL ARCHITECTS
400 LUCAS ST. CORP. CENTER, 3010
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304
OWNER:



8285 Douglas Ave,
Dallas, TX 75225

RENDERINGS

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PDD SUBMITTAL



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DATE: 04/04/2023
FILE NO.: 2023-04
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APP'D: AMW
PRINTED: 04/03/2023 10:06 AM

SHEET NUMBER:
A-0.06



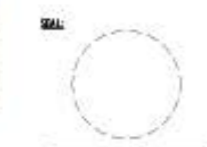
CORWIL ARCHITECTS
400 LAUREL ST. CORP. CENTER, SUITE 1000
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304
OWNER:

TRG
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

RENDERINGS

PHASE:
PDD SUBMITTAL

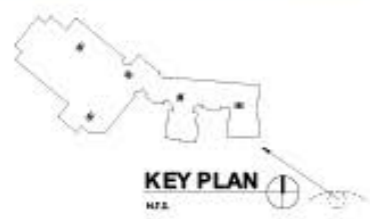


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PRINTED: 10:50:23 AM 04/24/23

SHEET NUMBER:
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SOUTHEAST PEDESTRIAN VIEW





CORWIL ARCHITECTS
400 LAUDERDALE BOULEVARD, SUITE 1000
LAUDERDALE, FLORIDA 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

RENDERINGS

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EAST LINEAR PARK PEDESTRIAN VIEW



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DESIGNER: AMW
APPROVED: ALM
PRINTED: 04/24/2023 10:28 AM



SHEET NUMBER:
A-0.08



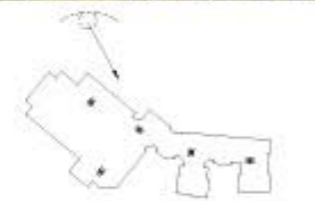
CORWIL ARCHITECTS
400 LUCAS ST. CORP. CENTER, 3RD FL.
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG
TRINSIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225



NORTHWEST PEDESTRIAN VIEW



KEY PLAN
N.T.S.

RENDERINGS

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DATE: 04/24/2023
FILE NO.: 2023-04
DESIGNER: MAC/DV/AMW
APP'D BY: JLM/C
PRINTED: 04/20/23 10:00:21 AM

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A-0.09



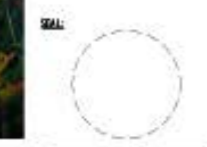
CORWIL ARCHITECTS
400 LAUREL ST. CORP. CENTER - 1500
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304
OWNER:

TRG
TRINSIC
RESIDENTIAL GROUP
8285 Douglas Ave,
Dallas, TX 75225

RENDERINGS

PHASE:
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A-0.10



NORTH PUBLIC PARK PEDESTRIAN VIEW





CORWIL ARCHITECTS
400 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.776.1111 FAX: 954.776.1112

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304
OWNER:

TRG
TRINSIC
RESIDENTIAL GROUP
8225 Douglas Ave,
Dallas, TX 75225



RENDERINGS

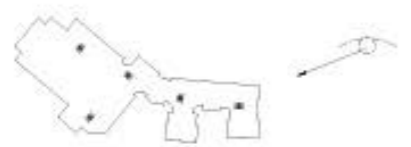
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DATE: 04/24/2023
1/31 PLOT: 2023-04
CONTRACT: AMWV
PROJECT: A.M.C.
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NORTH PUBLIC PARK PEDESTRIAN VIEW



KEY PLAN
M.P.S.

SKETCH NUMBER:
A-0.11



AERIAL PLAN
SCALE: 1" = 50'-0"



CORWIL ARCHITECTS
400 LAUREL ST. CORP. CENTER, SUITE 1000
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



8235 Douglas Ave,
Dallas, TX 75225

AERIAL PLAN

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DATE: 04/24/2023
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A-1.00



CORWIL ARCHITECTS
4100 LAUDERDALE BOULEVARD, SUITE 200
FORT LAUDERDALE, FLORIDA 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33324
OWNER:



8235 Douglas Avenue,
Dallas, TX 75225

ZONING DATA SHEET

Project Location: 200, 400 CORPORATE DRIVE, FORT LAUDERDALE, FL 33324

SITING CRITERION			
	PARCELS (NO. & PARCEL)	PARCELS (RESIDENTIAL, COMMERCIAL & PARKING GARAGE)	ENTIRE PARCEL
Site Area			
Net Lot Area	PARCEL 4= 122,636 square feet (2.8469 acres)	PARCEL 5= 25,453 square feet (0.5872 acres)	91785 PARCEL = 388,029 square feet (8.8846 acres)
Ground Lot Area			6.8 acres
Land-Use Designation			
Existing	Residential Medium High (R2)	Residential Medium High (R2)	Residential Medium High (R2)
Proposed	Mixed Use	Mixed Use	Mixed Use
Zoning Ordinance			
Existing	R-6 County (40'x118'-60' DISTRICT)	R-6 County (40'x118'-60' DISTRICT)	R-6 County (40'x118'-60' DISTRICT)
Proposed	Planned Development District (PDD)	Planned Development District (PDD)	Planned Development District (PDD)
MIXING REQUIREMENTS			
Density and Use	R-6 COUNTY ZONING (NO. OF UNITS) Allowed/Required	Proposed	Proposed
Nothing - No changes		Hotel: 298 rooms and accessory meeting space, food and beverage and retail	Hotel: 298 rooms and accessory meeting space, food and beverage and retail
Proposed Residential	Per City Land Use: 60 d.u. / 6.5 Net Acre = 9.24 d.u. max. Per County Land Use: 90 d.u. / 6.8 Gross Acres = 13.24 d.u. max.	Residential: 360 d.u. Commercial: 4,717 SF	Residential: 340 d.u. 50 units per gross acre 51.51 units per net acre Commercial: 4,717 SF
Net Building Area	N/A	310,853 SF (based on drawings done by other)	350,708.38 SF 564,545 SF
FAR (Gross Building Area)			
Parking Garage Excluded Per ULR Sec 47-3.3	R-6: R requirement PDD: 3.0 MAX (38,000 sq ft or 888,187 SF)	25,904 SF (based on drawings done by other)	No garage: 236,043 SF Garage: 607,148 SF
Building Height (From Grade)	R-6 MAX: 35 STORES (150'-0") PDD MAX: 30'	34 Stories (140'-0")	32 Stories (138'-0")
Setbacks			
NORTH	33'-0"	see overall	see overall
NORTH (Private Road)	33'-0"	see overall	29'-12"
WEST (Hwy)	33'-0"	see overall	35'-0"
EAST (Medway)	33'-0"	see overall	14'-0"
EAST (Private Road)	33'-0"	see overall	9'-0"
SOUTH (City Street)	33'-0"	see overall	52'-10"
Building Footprint Coverage			
	288,089 SF*, 4= 1.2, 2.38 SF (40%)	45,000 SF (14%)	618,135 SF (40%)
Open Space	3.36 FAR = 31 ORHS PACK WITH	43,388 SF (13%)	79,961 SF (12.2%)
Landscape Area	N/A	17,088 SF (12.8%)	51,680.54 SF (12.2%)
Structure Length			
Primary Pedestrian (Private Road)	N/A	240'-0"	266'-10"
Primary Pedestrian (Private Road)			230'-0"
Vehicular Use Area	N/A	15,911 (12%)	14,279 (8%)
LOADING	Provided	Provided	Required
	1		1

	Area (sq ft)	Use	Required Parking (City Code for all categories and 18.00 for proposed use)	Proposed Ratio under PDD (per parking study)
RETAIL USES (to remain):				
Hotel Rooms	298	3 per 4 rooms	238 spaces	@ 0.87/room = 238 spaces
Hotel Restaurant #1	4,000 sf	35% of 1 space per 50 sf of CSA 15A = 50% of gross of 2,500 sf of CSA = 1 space/50sf	34 spaces	Included as accessory to hotel
Hotel Restaurant #2 (Lobby)	1,500 sf	35% of 1 space per 50 sf of CSA 15A = 50% of gross of 750 sf of CSA = 1 space/50sf	5 spaces	Included as accessory to hotel
Hotel Restaurant #3 (Coffee Shop)	1,000 sf	35% of 1 space per 50 sf of CSA 15A = 50% of gross of 500 sf of CSA = 1 space/50sf	4 spaces	Included as accessory to hotel
Kitchen Area	3,000 sf	Included as accessory to hotel	0 spaces	Included as accessory to hotel
Meeting space (assembly use)	21,000 sf	10% of 1 space per 200 sf	105 spaces	Included as accessory to hotel
Retail (Hotel Gift Shop)	500 sf	10% of 1 space per 400 sf	0 spaces	Included as accessory to hotel
		SUBTOTAL RETAIL USES:	238 spaces	238 spaces
PROPOSED USES:				
Affordable Studio/1 Bedroom	---			51 units @ 1.0/unit = 51 spaces**
Studio/1 Bedroom	186 units	@ 1.75/unit	326 spaces	137 units @ 1.75/unit = 236 spaces
2 Bedroom	134 units	@ 2.0/unit	268 spaces	134 units @ 2.0/unit = 268 spaces
3 Bedroom	38 units	@ 2.1/unit	79 spaces	38 units @ 2.1/unit = 79 spaces
Total	340 units	SUBTOTAL MULTIFAMILY:	686 spaces	687 spaces
Retail (Gift Shop)	4,717 sf	@ 1/250 sf	19 spaces	4,717 sf @ 1/250 sf = 19 spaces
		SUBTOTAL RETAIL USES:	19 spaces	19 spaces
		TOTAL REQUIRED:	943 spaces	TOTAL REQUIRED:
		TOTAL PARKING PROVIDED:	686 spaces (garage) (surplus of 257 spaces)	686 spaces (garage) (surplus of 257 spaces)
				(Standard 642 spaces; Compact 161 spaces**); (A1 A13 spaces)
Bicycle Parking	240 units	N/A		255 bike racks

** Parking reduction proposal pursuant to article in Sec. 47-30.3 (Parking reduction and exam plan)
 *** Parking reduction for multifamily affordable housing authorized by LDR 67-20.3A.3.3.
 **** City code limits can park spaces to a max of 30% and minimum size of 8'6" x 18'

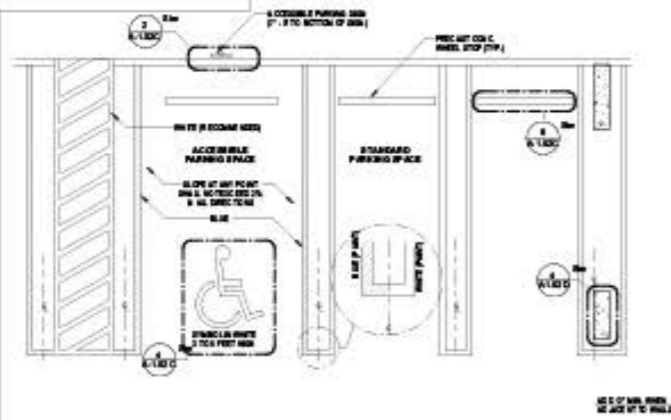
ZONING DATA

USE:
PDD SUBMITTAL

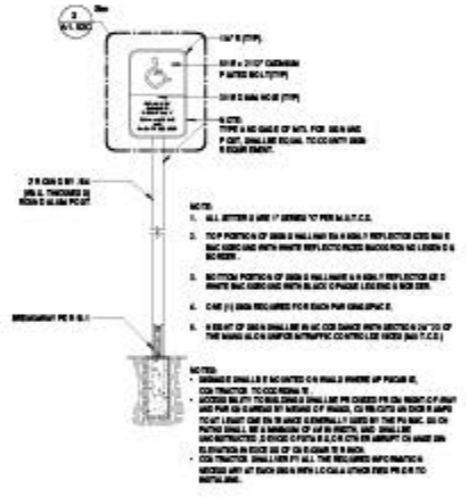


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 1:00 PM
 2023-04
 1:00 PM
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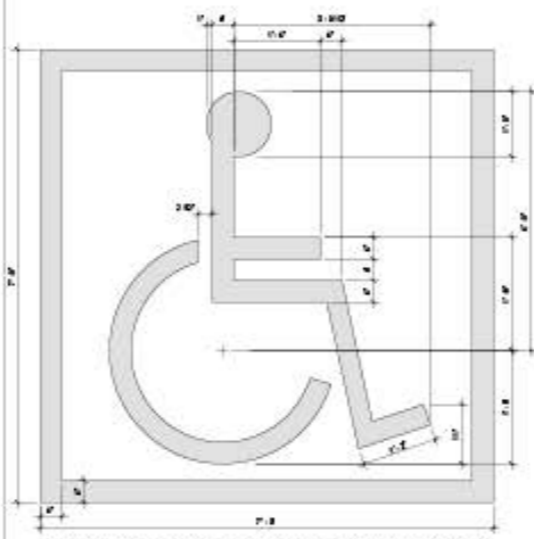
1 ACCESSIBLE AND STANDARD PARKING DETAIL
SCALE: 1/8" = 1'-0"



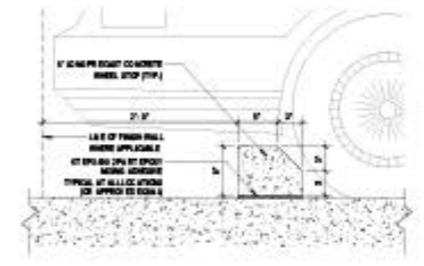
2 ACCESSIBLE PARKING SPACE SIGN
SCALE: 1/4" = 1'-0"



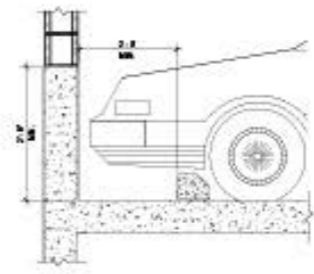
3 ACCESSIBLE PARKING SIGN DETAIL
SCALE: 1" = 1'-0"



4 STRIPPED SYMBOL @ H.C. PARKING STALL
SCALE: 1" = 1'-0"



5 TYPICAL WHEEL STOP DETAIL
SCALE: 1 1/2" = 1'-0"



6 TYPICAL CRASH WALL/ WHEEL STOP DETAIL
SCALE: 3/4" = 1'-0"



CORWIL ARCHITECTS
400 LAUDERDALE BOULEVARD, SUITE 100
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



TRINISIC RESIDENTIAL GROUP
8285 Douglas Ave,
Dallas, TX 75225

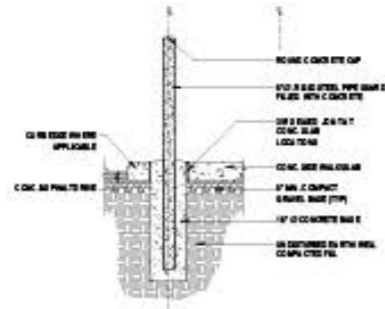
SITE DETAILS

PHASE:
PDD SUBMITTAL

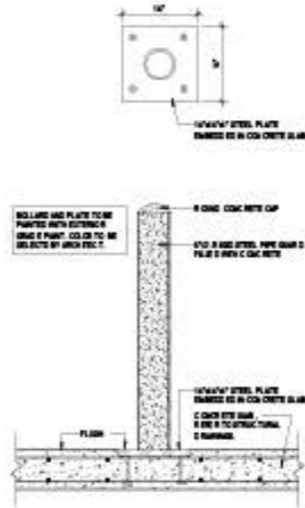


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APPRECIATED: ALM/C
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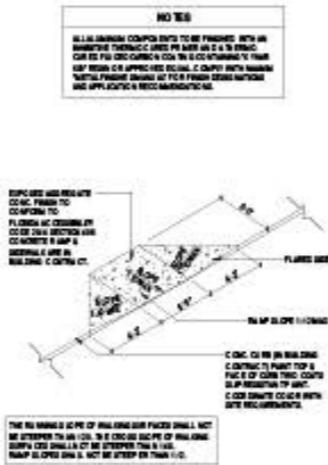
SKETCH NUMBER:
A-1.02C



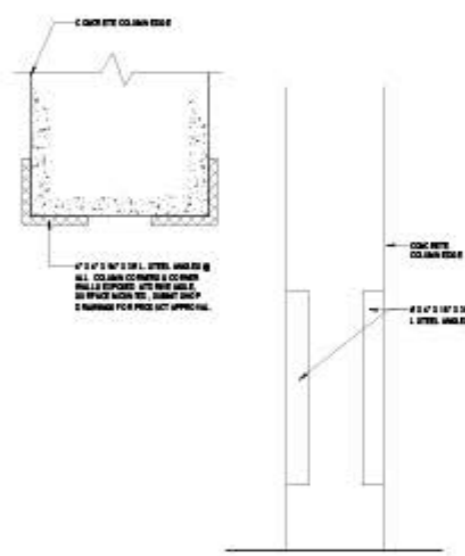
1 TYPICAL BOLLARD AT GROUND FLOOR
SCALE: 3/8" = 1'-0"



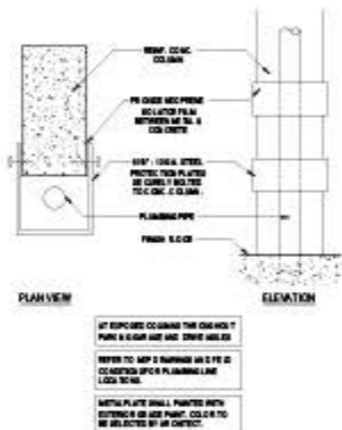
2 TYPICAL BOLLARD AT ELEVATED SLABS
SCALE: 1" = 1'-0"



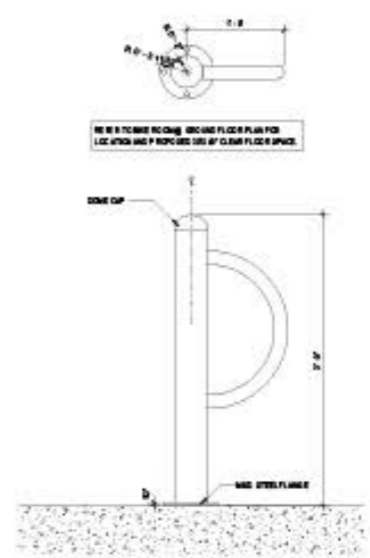
3 CONCRETE RAMP SLOPE
SCALE: 1" = 1'-0"



4 COLUMN GUARD DETAIL
SCALE: 1" = 1'-0"



5 TYPICAL PIPE PROTECTION DETAIL
SCALE: 1" = 1'-0"



6 TYPICAL FLOOR MOUNTED BIKE RACK DETAIL
SCALE: 1 1/2\"/>



CORWIL ARCHITECTS
470 LUCAS ST. CORP. SUITE 100
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



8235 Douglas Ave,
Dallas, TX 75225

SITE DETAILS

PHASE:
PDD SUBMITTAL



DATE: 04/24/2023
100 PLOT: 2023-04
CONTRACT: MCD/A/AMV
PROJECT: A.M.C.
PROJECT: WESTIN AURA CYPRESS

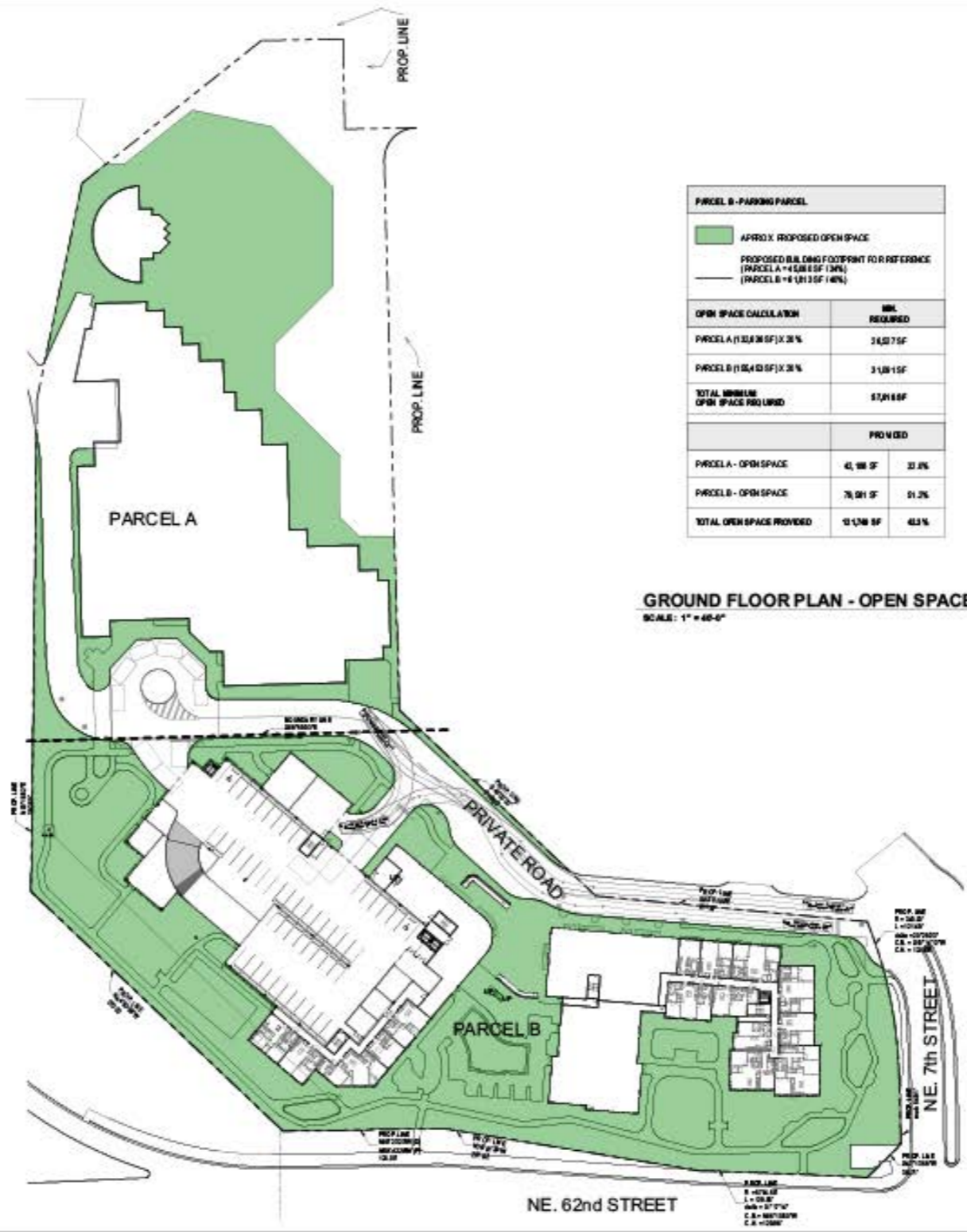
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A-1.02D



CORWIL ARCHITECTS
 400 LAUDERDALE BOULEVARD, SUITE 100
 FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
 200, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC TRINSIC RESIDENTIAL GROUP
 8235 Douglas Ave,
 Dallas, TX 75225



PARCEL B - PARKING PARCEL		
APPROX. PROPOSED OPEN SPACE		
PROPOSED BUILDING FOOTPRINT FOR REFERENCE (PARCEL A = 45,000 SF (33%) (PARCEL B = 81,000 SF (44%))		
OPEN SPACE CALCULATION	MIN. REQUIRED	
PARCEL A (132,000 SF) X 30%	39,600 SF	
PARCEL B (132,400 SF) X 30%	39,720 SF	
TOTAL MINIMUM OPEN SPACE REQUIRED	79,320 SF	
PROVIDED		
PARCEL A - OPEN SPACE	41,000 SF	31.1%
PARCEL B - OPEN SPACE	78,000 SF	59.3%
TOTAL OPEN SPACE PROVIDED	119,000 SF	48.3%

GROUND FLOOR PLAN - OPEN SPACE
 SCALE: 1" = 40'-0"

OPEN SPACE

DATE:
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PROJECT: 2023-04
DESIGNER: MCD/A/AMW
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PRINTED: 04/03/23 10:41:43 AM

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 400 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
 TEL: 954.776.1100 FAX: 954.776.1101

PROJECT:
WESTIN/AURA CYPRESS CREEK
 200, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC TRINISIC RESIDENTIAL GROUP
 8235 Douglas Ave.
 Dallas, TX 75225

PARCEL B - F.A.R.

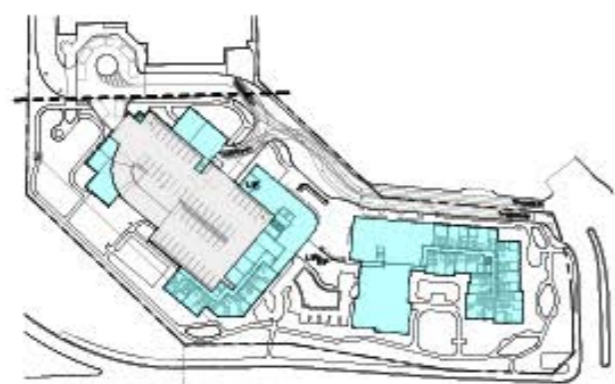
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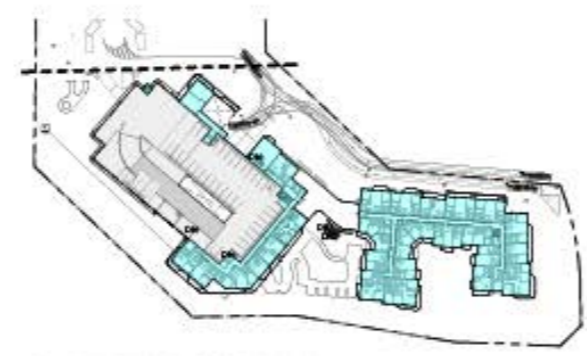
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DATE: 04/24/2023
1/31 No.: 2023-04
DESIGNER: MC/D/A/AMW
PROJECT: A/M/C
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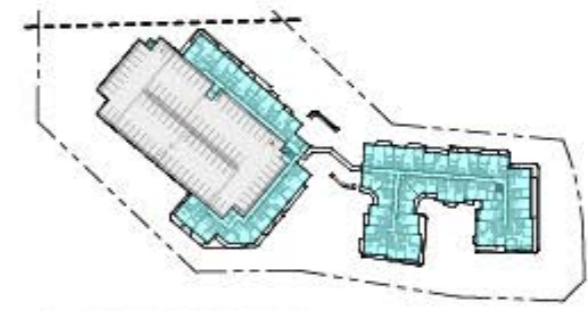
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A-1.04



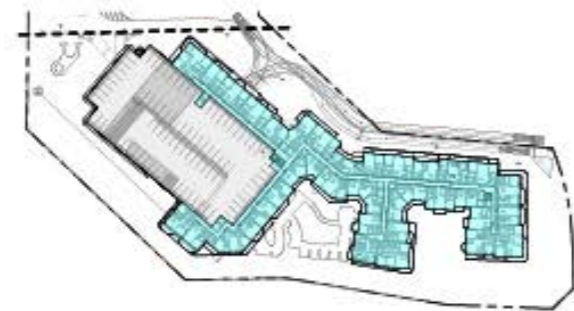
GROUND FLOOR PLAN
 SCALE: 1" = 8'-0"



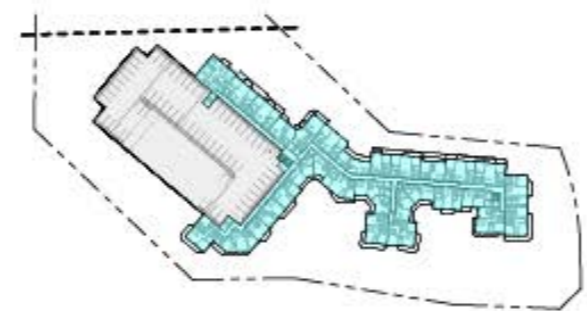
2nd LEVEL FLOOR PLAN
 SCALE: 1" = 8'-0"



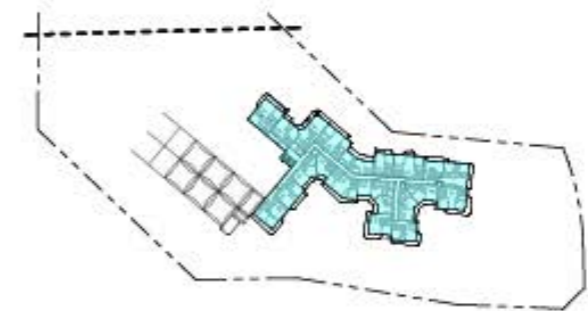
3rd LEVEL FLOOR PLAN
 SCALE: 1" = 8'-0"



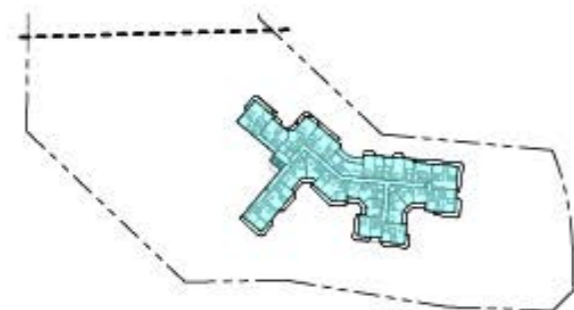
4th - 6th LEVEL FLOOR PLAN
 SCALE: 1" = 8'-0"



7th-9th LEVEL FLOOR PLAN
 SCALE: 1" = 8'-0"



10th -11th LEVEL FLOOR PLAN
 SCALE: 1" = 8'-0"



12th LEVEL FLOOR PLAN
 SCALE: 1" = 8'-0"

LEVELS	FAR (SF)	
	NO GARAGE	WITH GARAGE
Ground Level	37,957.18	60,639.18
2nd Level	31,086.29	57,595.29
3rd Level	30,526.07	61,289.07
4th Level	30,456.00	66,198.00
5th Level	30,456.00	66,198.00
6th Level	30,456.00	66,198.00
7th Level	32,982.00	60,674.00
8th Level	32,982.00	60,674.00
9th Level	32,982.00	47,975.00
10th Level	19,909.50	19,909.50
11th Level	19,909.50	19,909.50
12th Level	19,909.50	19,909.50
TOTAL	376,042.04	609,368.08

per parcel 2.4 FAR 3.9 FAR
 as a whole with
 hotel (288,000
 SF) 2.2 FAR 3.00 FAR



CORWIL ARCHITECTS
 170 LACRANT CIRCLE, SUITE 300
 FT. LAUDERDALE, FL 33304-4678

PROJECT:
WESTIN/AURA CYPRESS CREEK
 200, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC TRINSIC RESIDENTIAL GROUP
 6225 Douglas Ave.
 Dallas, TX 75225

PARCEL B - NET AREA

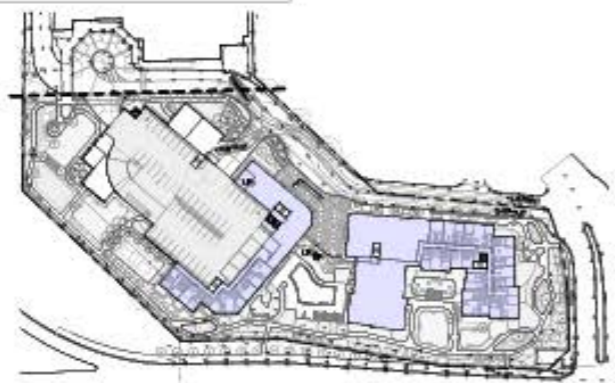
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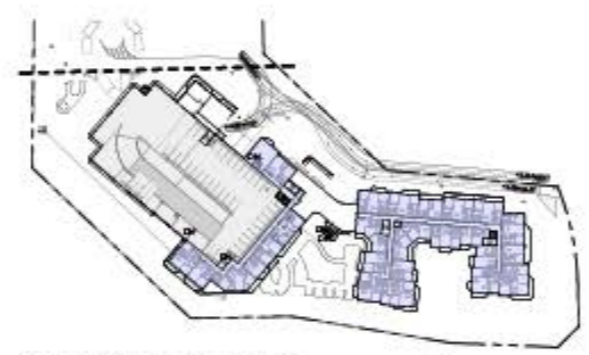
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DATE: 04/04/2023
 JOB No.: 2023-04
 DRAWN BY: JAW
 CHECKED BY: AARC
 PROJECT: WESTIN/AURA CYPRESS CREEK

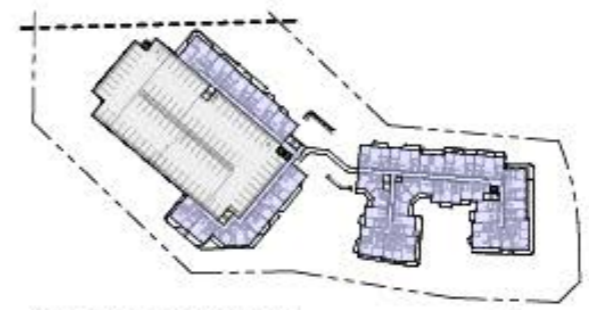
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A-1.05



GROUND FLOOR PLAN
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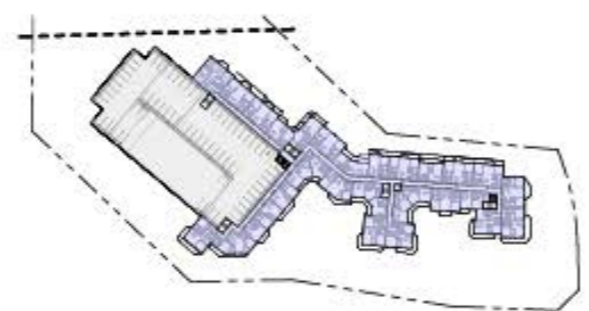
2nd LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



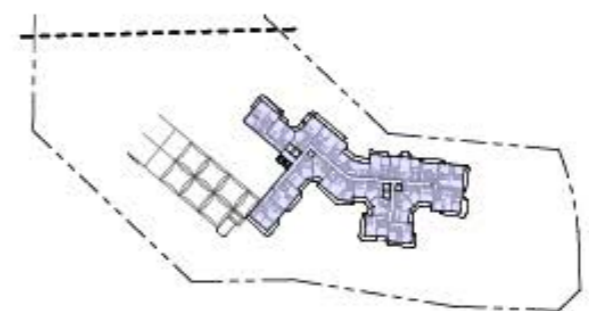
3rd LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



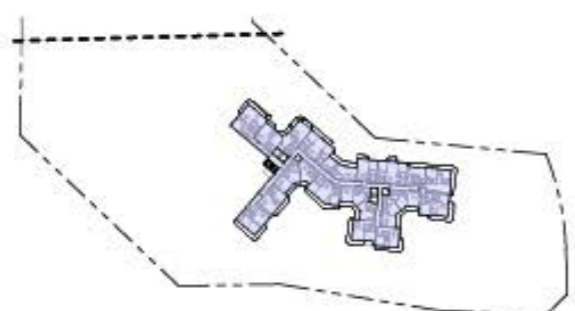
4th - 6th LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



7th-9th LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



10th -11th LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



12th LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"

NET AREA (PARCEL B)	
LEVELS	NET AREA (SF)
Ground Level	30,526.63
2nd Level	28,284.38
3rd Level	32,142.80
4th Level	37,296.15
5th Level	37,296.15
6th Level	37,296.15
7th Level	31,704.94
8th Level	31,704.94
9th Level	31,704.94
10th Level	19,249.10
11th Level	19,249.10
12th Level	19,249.10
TOTAL	355,704.38

NET AREA (PARCEL A)	
LEVELS	NET AREA (SF)
Ground Level	37,214.98
2nd Level	7,097.71
3rd Level	9,845.27
4th Level	13,318.13
5th Level	13,318.13
6th Level	13,318.13
7th Level	13,318.13
8th Level	13,318.13
9th Level	13,318.13
10th Level	13,318.13
11th Level	12,692.00
12th Level	12,693.00
13th Level	12,694.00
14th Level	12,695.00
15th Level	12,696.00
TOTAL	210,854.87



CORWIL ARCHITECTS
 2511 LAURELWOOD DRIVE, SUITE 100
 FT. LAUDERDALE, FL 33304
 TEL: (954) 575-4600 FAX: (954) 575-4601

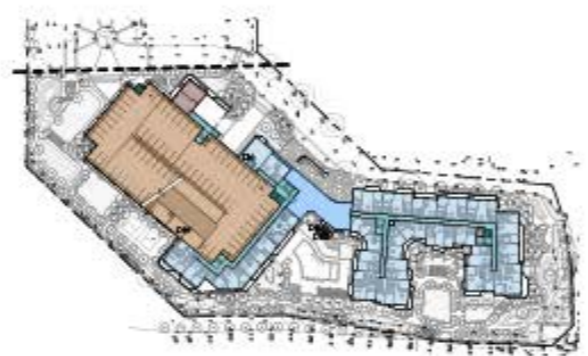
PROJECT:
WESTIN/AURA CYPRESS CREEK
 200, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33324
OWNER:

TRG
TRINISIC
 RESIDENTIAL GROUP
 8235 Douglas Ave.
 Dallas, TX 75225

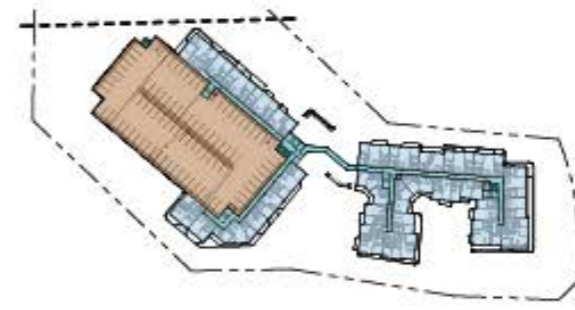
PARCEL B - GROSS SQUARE FOOTAGE



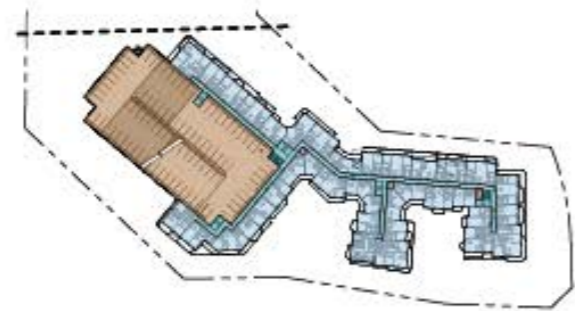
GROUND FLOOR PLAN
 SCALE: 1" = 80'-0"



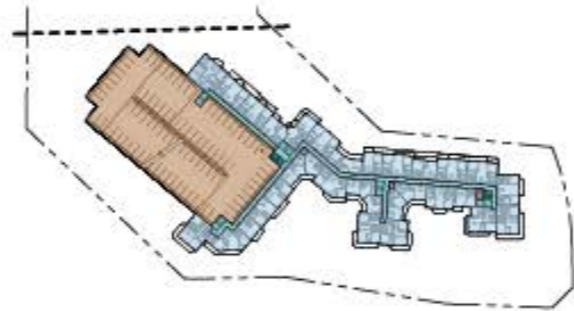
2nd LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



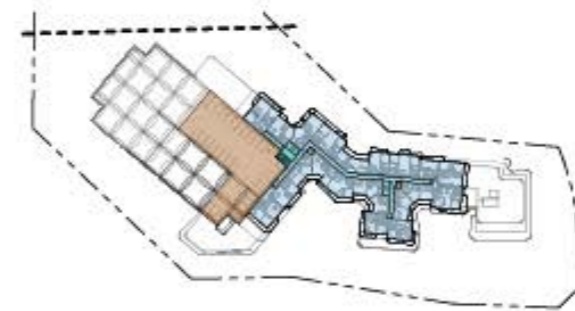
3rd LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



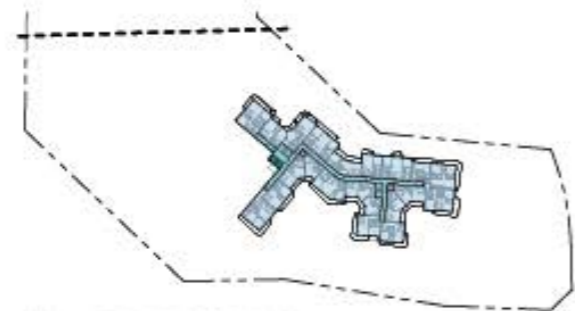
4th - 6th LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



7th-9th LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



10th - 11th LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



12th LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"

LEVELS	RESIDENTIAL		PARKING		GROSS SQUARE FOOTAGE ANALYSIS						
	# Units	Apartment (SF)	Garage # Spaces	Garage Area (SF)	COMMERCIAL (SF)	LOBBY/MALL/ LEASING/ SUPPORT (SF)	AMENITY (SF)	COMMON AREA/ CIRCULATION (SF)	POOL/DECK (SF)	BACK OF HOUSE (SF)	FLOOR TOTAL (SF)
Ground Level	15	13,343.15	0	24,068.23	4,700.00	4,718.30	5,460.39	3,789.16	9,489.32	5,407.96	71,886.45
2nd Level	28	25,393.08	0	27,876.29			3,127.82	4,874.39		936.70	63,208.28
3rd Level	31	28,545.75	0	27,876.29				5,471.31		257.91	63,181.26
4th Level	37	33,170.07	0	27,882.96				5,249.35		306.69	66,632.07
5th Level	37	33,170.07	0	27,882.96				5,249.35		306.69	66,632.07
6th Level	37	33,170.07	0	27,882.96				5,249.35		306.69	66,632.07
7th Level	31	27,152.61	0	27,897.55				4,716.34		306.69	60,036.19
8th Level	31	27,152.61	0	27,897.55				4,716.34		306.69	60,036.19
9th Level	31	27,152.61	0	27,897.55				4,716.34		306.69	60,036.19
10th Level	31	17,115.09	30	10,158.56				2,452.15		205.40	29,881.20
11th Level	31	17,115.09						2,452.15		205.40	19,772.64
12th Level	30	17,115.09						2,452.15		205.40	19,772.64
Roof Level								800.89			800.89
TOTAL	380	299,538.29	842	258,241.90	4,700.00	4,718.30	8,588.21	32,189.27	9,439.32	9,076.91	626,593.14

* DOES NOT INCLUDE ROOFS/ BALCONIES * GRAND TOTAL: 626,593.14

PHASE: PDD SUBMITTAL



DATE: 04/24/2023
 JOB No.: 2021-54
 DRAWN BY: MCD/AMW
 APPROV: AMC
 PRINTED: 10:00:23 WED 04/24/2023

9/27/2023
A-1.06



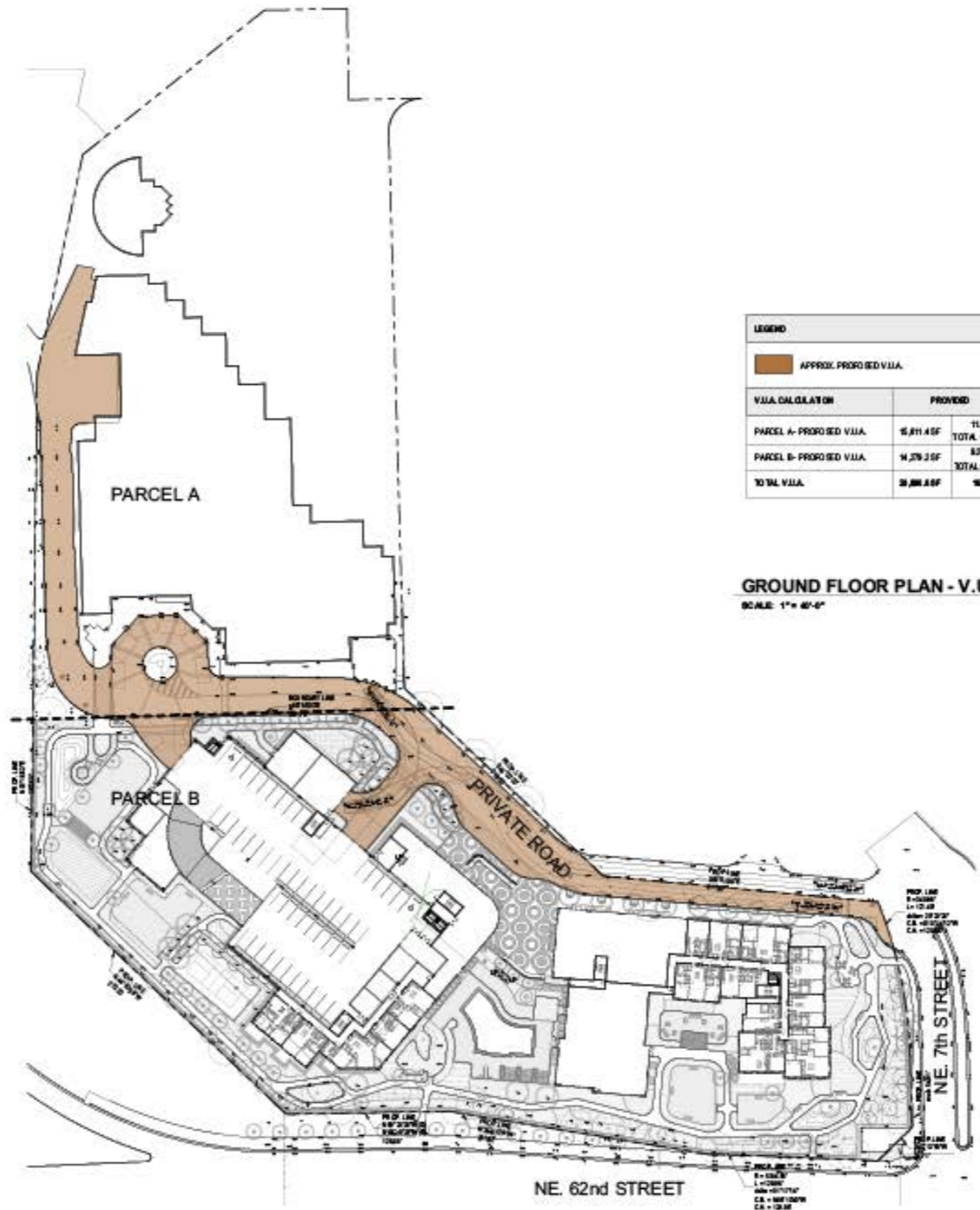
CORWIL ARCHITECTS
 400 LAUREL ST. CORP. CENTER, 3RD FL.
 FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
 200, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304

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TRINSIC
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 8235 Douglas Ave,
 Dallas, TX 75225

LEGEND		
	APPROX. PROVIDED V.U.A.	
V.U.A. CALCULATION	PROVIDED	
PARCEL A- PROVIDED V.U.A.	16,811 ASF	11.6%
PARCEL B- PROVIDED V.U.A.	14,276 ASF	8.2%
TOTAL V.U.A.	31,087 ASF	19.8%

GROUND FLOOR PLAN - V.U.A.
 SCALE: 1" = 40'-0"



V.U.A.

DATE:
PDD SUBMITTAL



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DATE: 04/24/2023
1/31 PLOT: 2023-04
CONTRACT: MC/D/A/AMW
PROJECT: A/M/C
PROJECT: WESTIN/AURA CYPRESS CREEK

SKETCH NUMBER:
A-1.07



CORWIL ARCHITECTS
 400 LUCAS ST. CORP. CENTER, 3RD FL.
 FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
 200, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33324

OWNER:
TRC TRINSIC RESIDENTIAL GROUP
 8235 Douglas Ave,
 Dallas, TX 75225

LANDSCAPE AREA

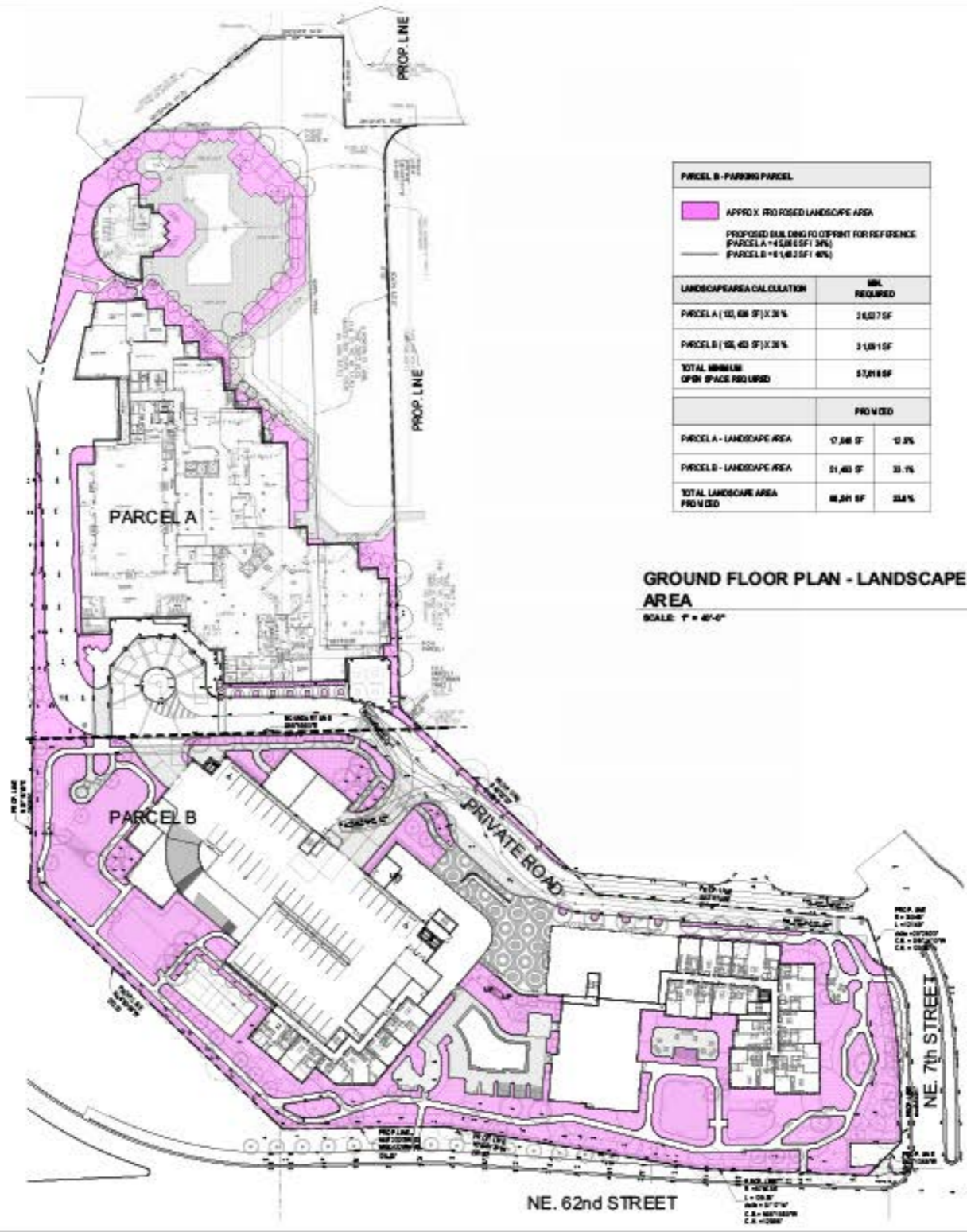
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DATE: 04/24/2023
100 No.: 2023-04
DESIGNER: MCD/A/AMV
APPROVER: A.M.C.
PRINTED: 04/24/2023 10:42:23 AM

SHEET NUMBER:
A-1.08



PARCEL B - PARKING PARCEL

APPROX. PROPOSED LANDSCAPE AREA
 PROPOSED BUILDING FOOTPRINT FOR REFERENCE
 PARCELA = 45,818 SF (34%)
 PARCELB = 81,403 SF (40%)

LANDSCAPE AREA CALCULATION	MIN. REQUIRED
PARCELA (45,818 SF) X 34%	15,578 SF
PARCELB (81,403 SF) X 34%	27,677 SF
TOTAL MINIMUM OPEN SPACE REQUIRED	43,255 SF

	PROVIDED	
PARCELA - LANDSCAPE AREA	17,348 SF	38%
PARCELB - LANDSCAPE AREA	51,403 SF	63%
TOTAL LANDSCAPE AREA PROVIDED	68,751 SF	58%

GROUND FLOOR PLAN - LANDSCAPED AREA
 SCALE: 1" = 40'-0"



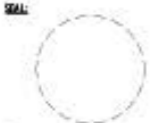
CORWIL ARCHITECTS
400 LUCAS ST. SUITE 200 FT. LAUDERDALE, FL 33304
TEL: 954.776.1111 FAX: 954.776.1112

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33324

OWNER:
TRC
TRINISIC
RESIDENTIAL GROUP
8285 Douglas Ave,
Dallas, TX 75225

PEDESTRIAN AND VEHICULAR
CIRCULATION

PHASE:
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DATE: 04/24/2023
JOB No.: 2023-04
DRAWN BY: MAC/DA/AMW
CHECKED BY: JLM/AC
PRINTED: 04/24/2023 10:42:34 AM

SHEET NUMBER:

A-1.09



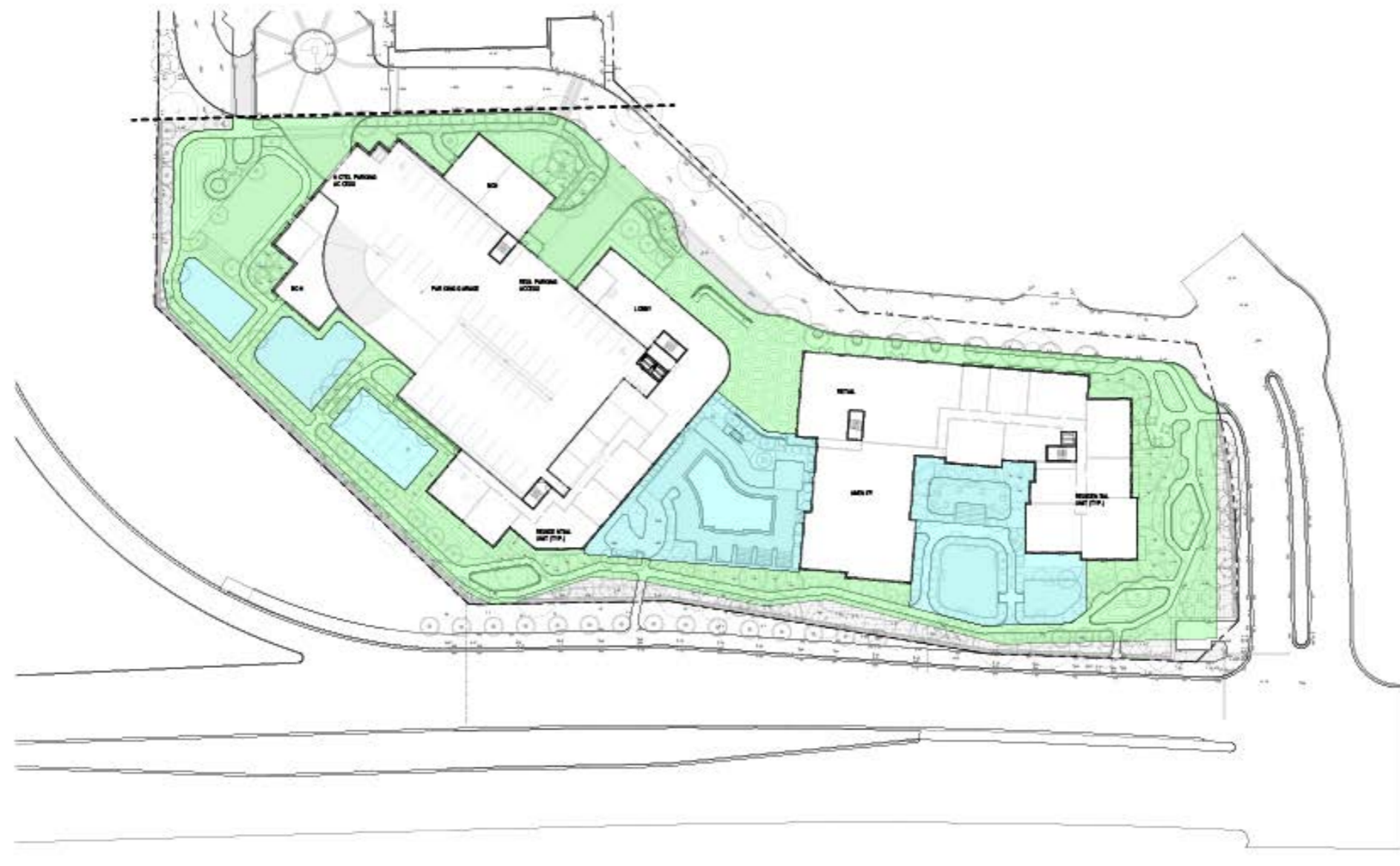
VEHICULAR AND PEDESTRIAN CIRCULATION



CORWIL ARCHITECTS
400 LAUREL ST. CORP. CENTER, 3RD FL.
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33324
OWNER:

TRC
TRINISIC
RESIDENTIAL GROUP
8285 Douglas Ave,
Dallas, TX 75225



PUBLIC AND PRIVATE SPACES

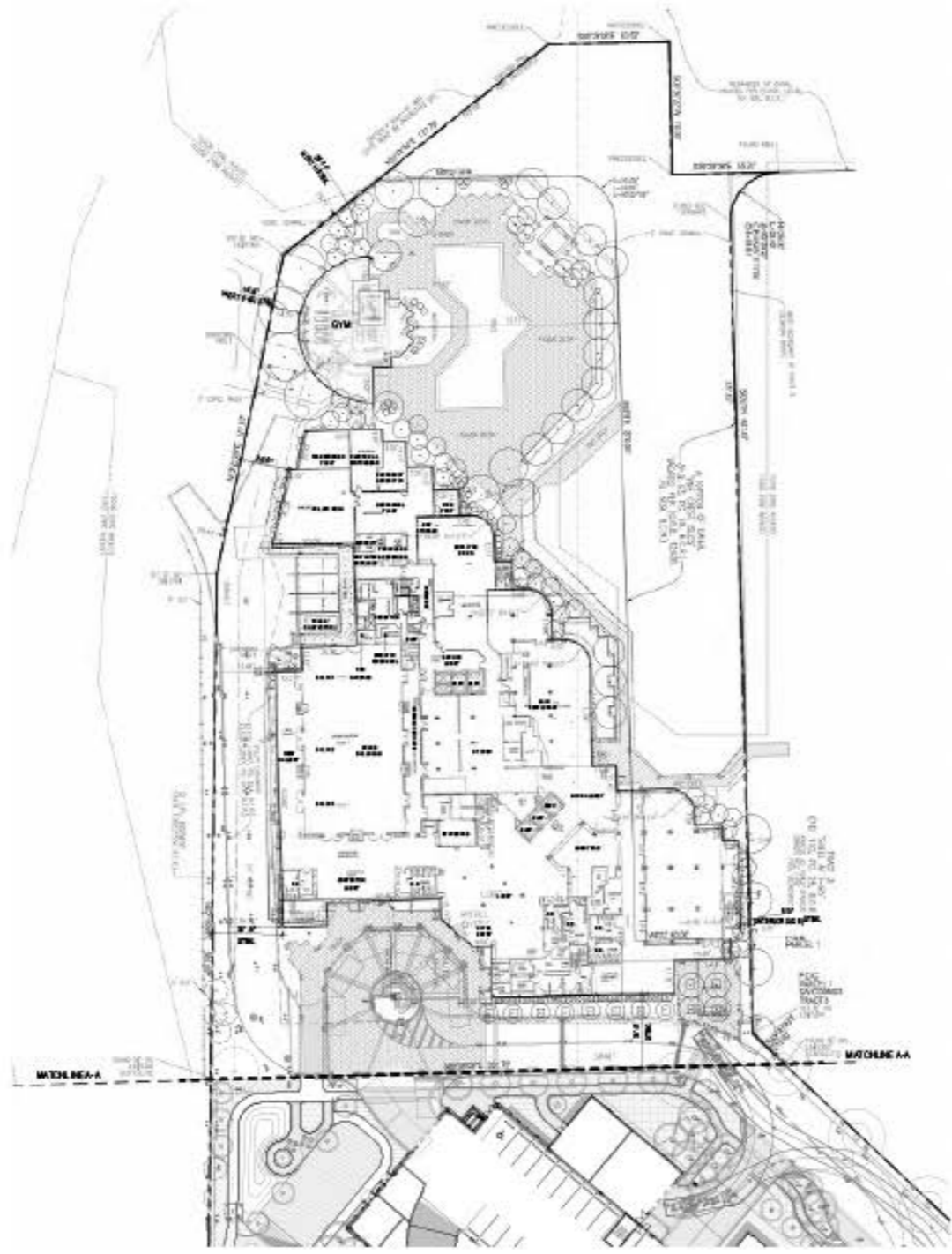
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DATE: 04/24/2023
1/31 PLOT: 2023-04
DRAWN BY: GPF
APPROVED: A.M.C.
PRINTED: 10:50:23 AM 04/24/2023

PUBLIC & PRIVATE SPACES
Private Residential Space
Public Space

SHEET NUMBER:
A-1.10



CORWIL ARCHITECTS
 400 LUCAS ST. CORP. OFFICE SUITE 100
 FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
 200, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304



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PARCEL A - GROUND FLOOR PLAN

PHASE:
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DATE: 04/24/2023
1/31 PLOT: 2023-04
DATE PLOTTED: 04/24/2023
APPRE: A.M.C.
PRINTED: 04/24/2023 10:21 AM

GROUND FLOOR PLAN - PARCEL A

SCALE: 1" = 30'-0"
 NO THIS DRAWING HAS BEEN CREATED FROM PASTOR IMAGES OF THE ORIGINAL DRAWINGS DONE BY OTHERS.

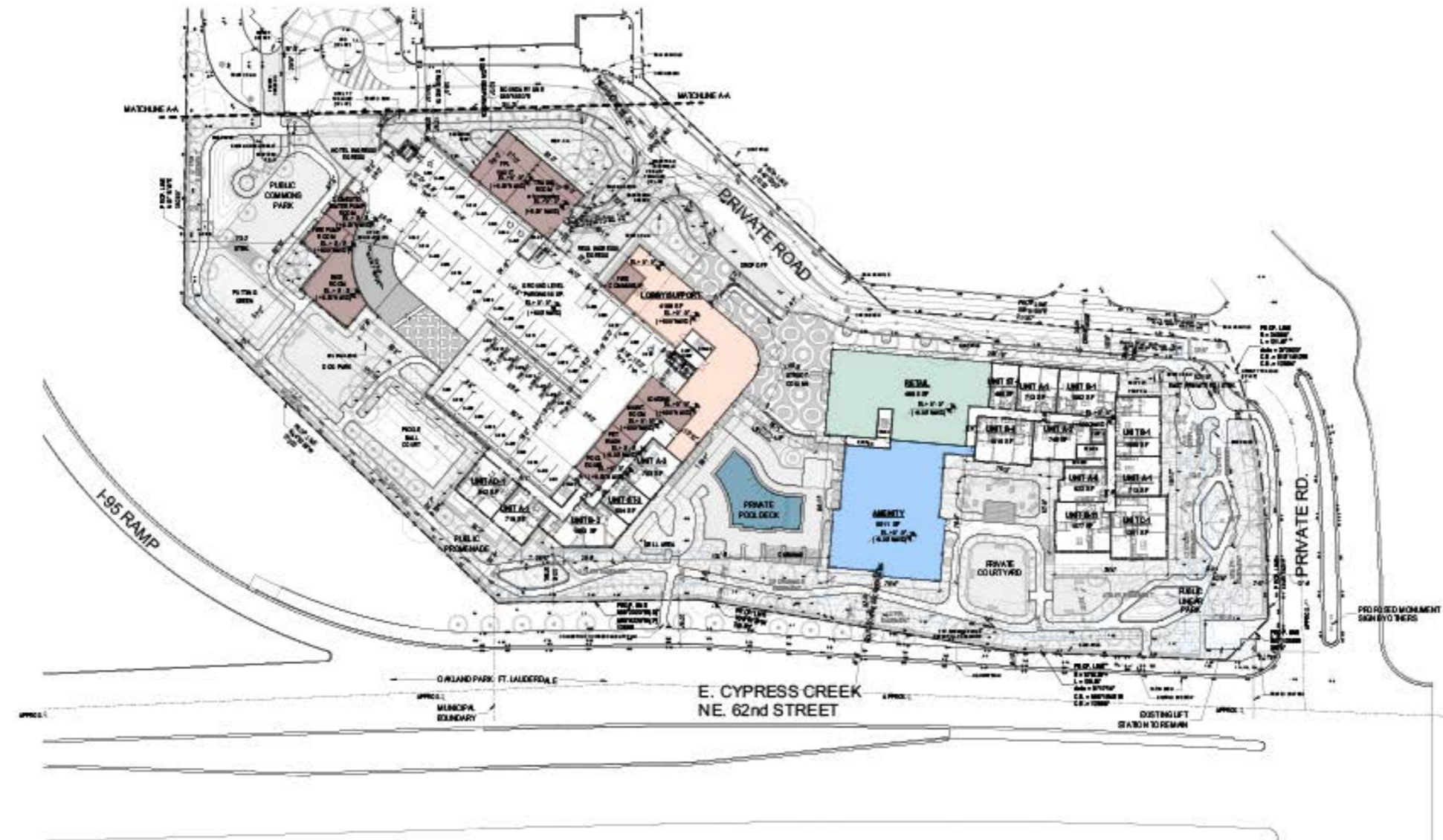
SHEET NUMBER:
A-2.00



CORWIL ARCHITECTS
400 LUDLOW ST. CORP. CENTER, SUITE 100
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
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8235 Douglas Ave,
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PARCEL B - GROUND FLOOR PLAN

DATE:
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DATE: 04/24/2023
JOB No.: 2023-04
DRAWN BY: MC/DA/AM/HP
CHECKED BY: AMC
PRINTED: 04/24/2023 10:48 AM

GROUND FLOOR PLAN - PARCEL B
SCALE: 1" = 30' 0"
NOTE: Certain copies of this drawing may be used in accordance with the Florida Building Code.

SHEET NUMBER:
A-2.00A

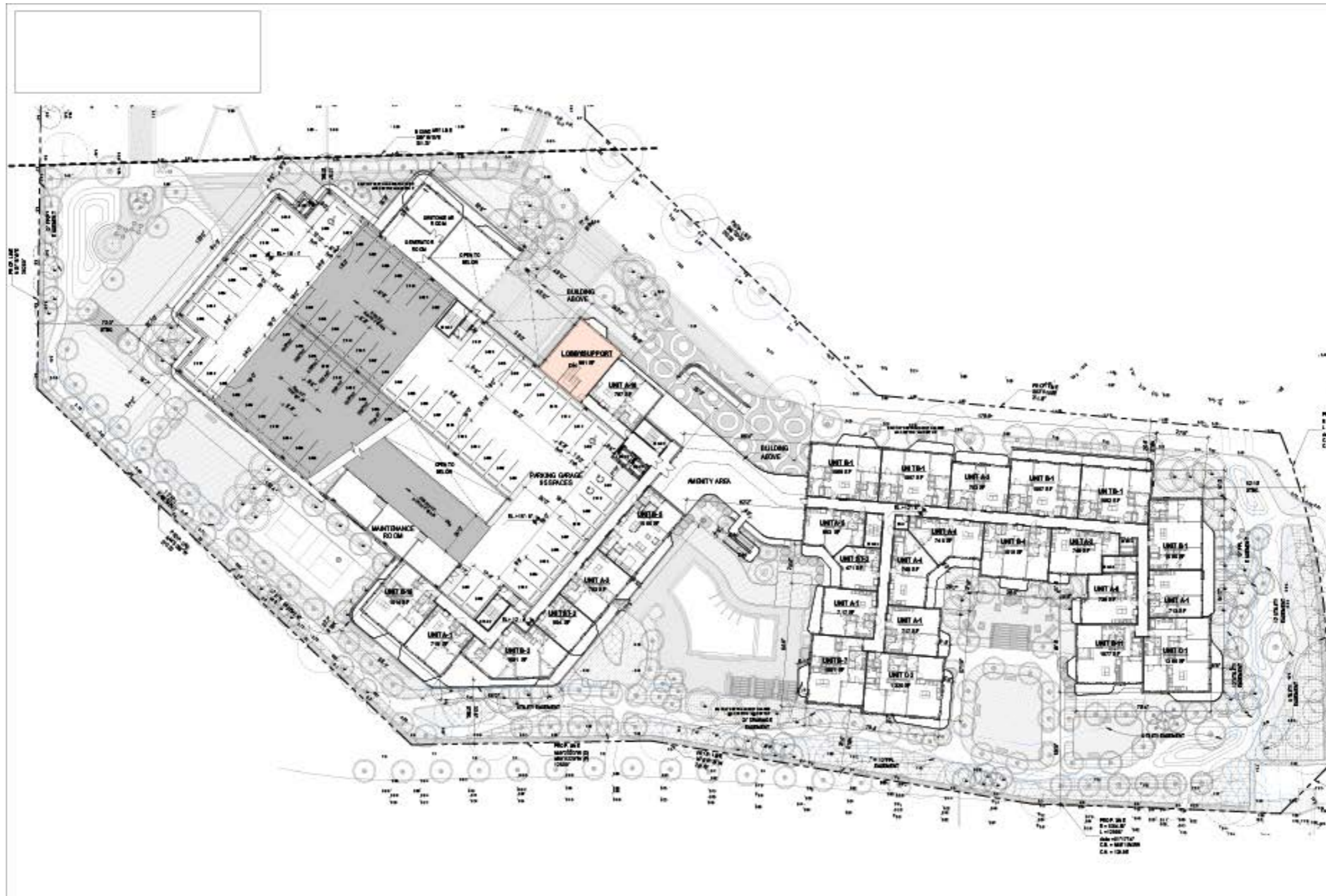


CORWIL ARCHITECTS
 4700 LUDLOW ST. SUITE 200, FT. LAUDERDALE, FL 33309
 (954) 575-1100 FAX (954) 575-1101

PROJECT:
WESTIN/AURA CYPRESS CREEK
 200, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304
OWNER:



8235 Douglas Ave,
 Dallas, TX 75225



PARCEL B - 2nd LEVEL FLOOR PLAN

PROJ. NO. 2023-04
 DATE: 04/24/2023
 SCALE: 3/8" = 1'-0"

PHASE: PDD SUBMITTAL

DATE: 04/24/2023
 ITR No.: 2023-04
 DRAWN BY: MC/DA/AM/MP
 CHECKED BY: J.A.M.C.
 PRINTED: 04/24/2023 10:04 AM

SKETCH NUMBER:
A-2.01

2nd LEVEL FLOOR PLAN

SCALE: 3/8" = 1'-0"
 NOTE: Civil symbols and annotations are per Section 103 of the 2023 FBC will be used.



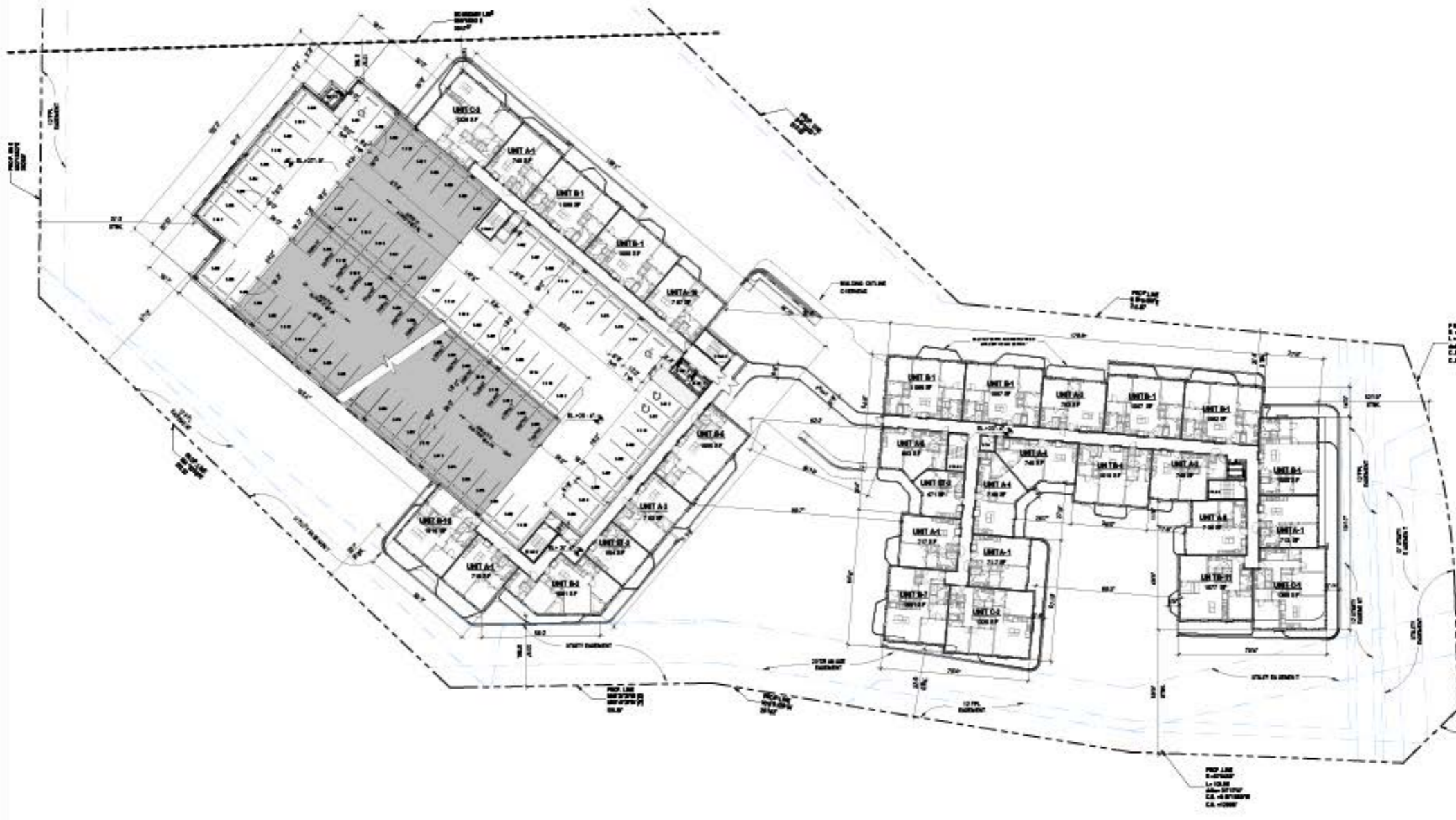


CORWIL ARCHITECTS
400 LAUDERDALE CREEK CENTER, SUITE 100
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304
OWNER:

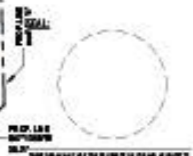


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PARCEL B - 3rd LEVEL FLOOR PLAN

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DATE: 04/24/2023
JOB No.: 2023-04
DRAWN BY: JAWW
CHECKED BY: A.M.C.
PROJECT: WESTIN/AURA CYPRESS

3rd LEVEL FLOOR PLAN

SCALE: 3/8" = 1'-0"

NOTE: Coordinate symbols are per Section 3.0 of the 2021 FBC will be used.

SHEET NUMBER:
A-2.02



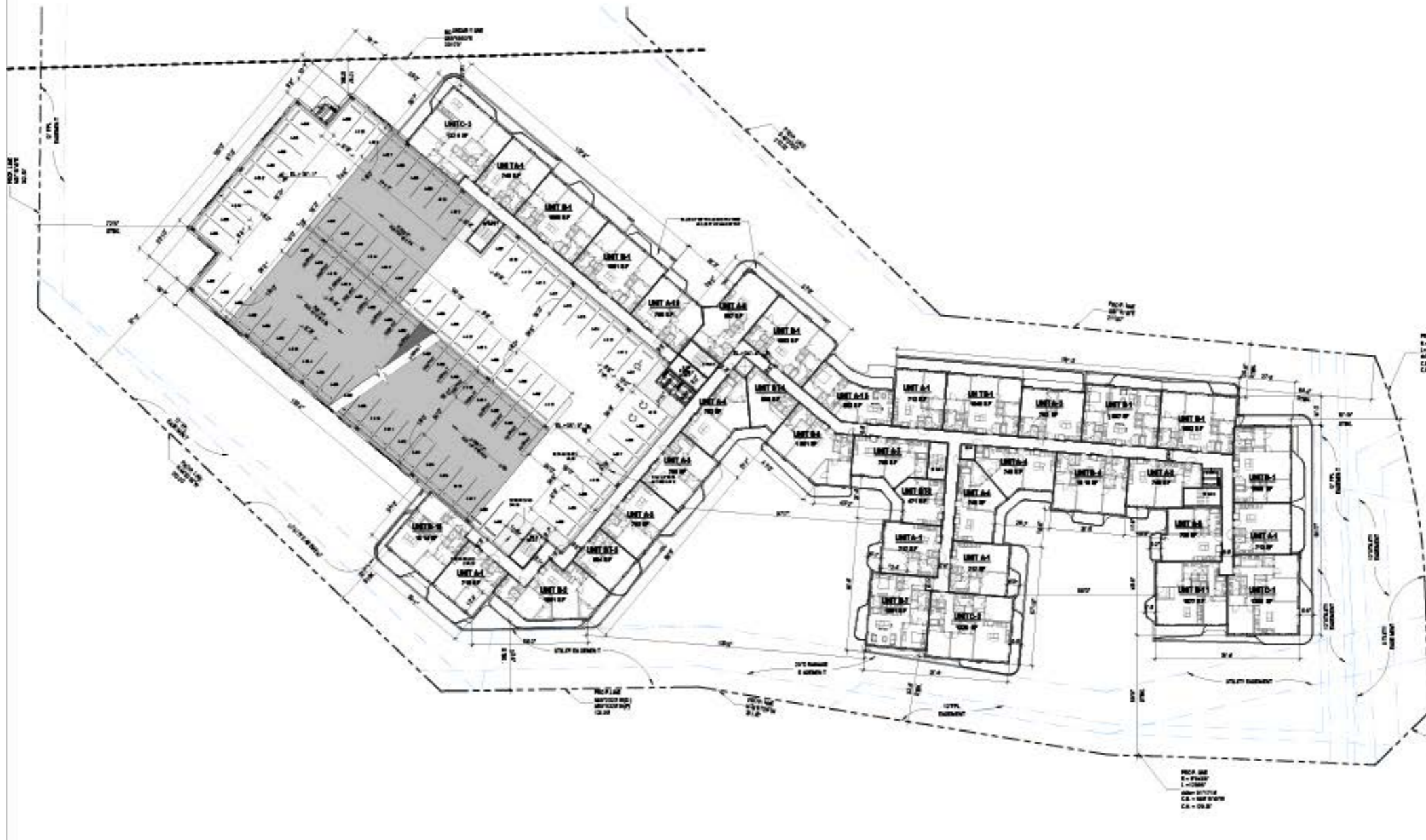
CORWIL ARCHITECTS
400 LAUDERDALE BOULEVARD, SUITE 100
FT. LAUDERDALE, FLORIDA 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



8235 Douglas Ave,
Dallas, TX 75225

PARCEL B - 4th LEVEL FLOOR PLAN



PROP. LINE
8'-0000"
L=12.00"
A=10.7500"
CA=10.0000"
CA=10.0000"

DATE:
PDD SUBMITTAL



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DATE: 04/24/2023
L1: 2023-04
DRAWN BY: AMY/JP
CHECKED BY: A.M.C.
PROJECT: WESTIN/AURA CYPRESS CREEK

4th LEVEL FLOOR PLAN

SCALE: 3/8" = 1'-0"
NOTE: Civil copy of site plan and site plan to be used in all 3 of the 300 PDD will be used.

DATE: 04/24/2023
L1: 2023-04
DRAWN BY: AMY/JP
CHECKED BY: A.M.C.
PROJECT: WESTIN/AURA CYPRESS CREEK
SHEET NUMBER:
A-2.03

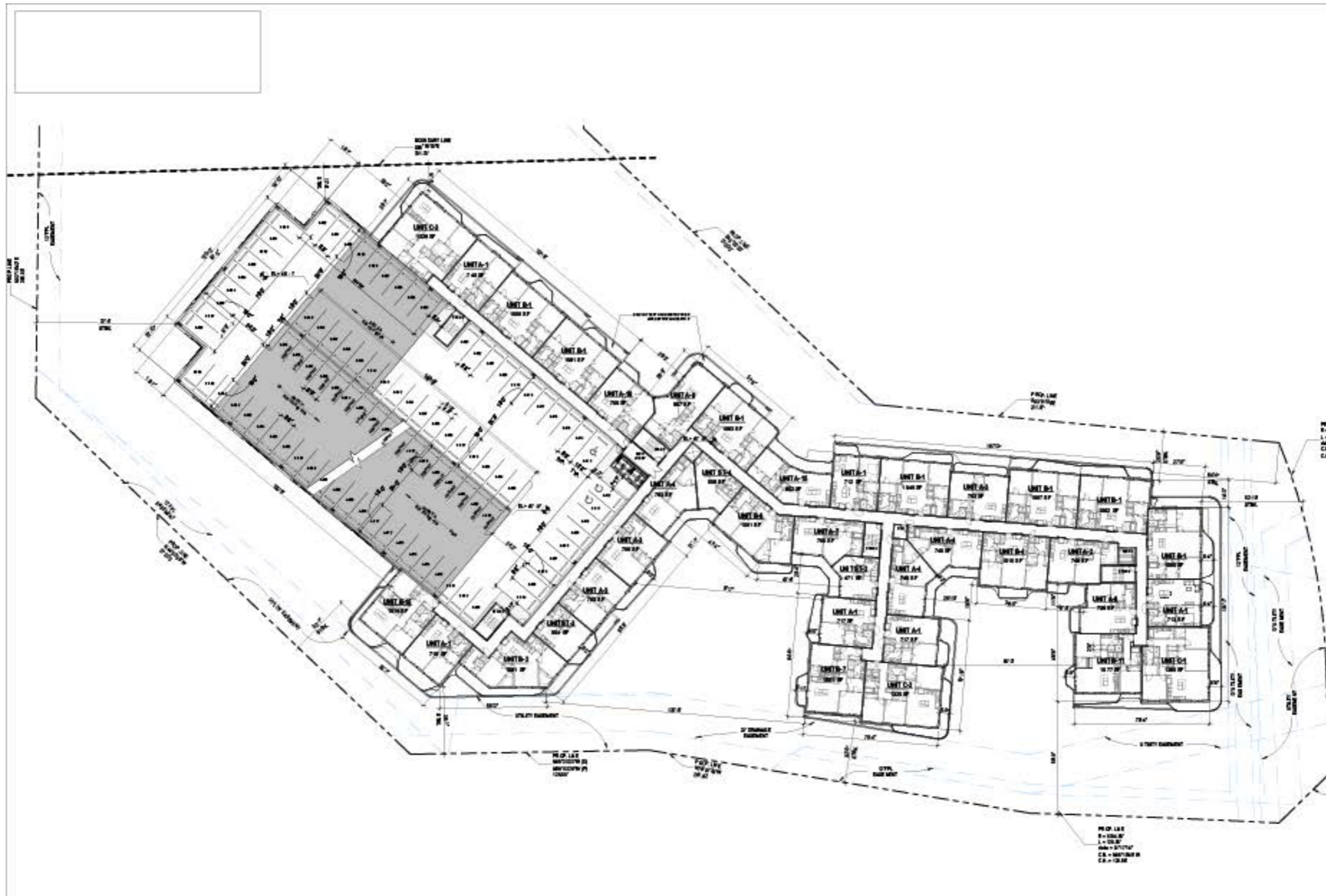


CORWIL ARCHITECTS
470 LUDLOW ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.575.1100 FAX: 954.575.1101

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33324
OWNER:



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PARCEL B - 5th - 6th LEVEL FLOOR PLAN

PHASE:
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DATE: 04/24/2023
1/31 PLOT: 2023-04
DRAWN BY: MC/DA/AM/MP
CHECKED BY: JMC
PRINTED: 04/24/2023 10:00 AM

5th - 6th LEVEL FLOOR PLAN
SCALE: 3/8" = 1'-0"
NOTE: Coordinate system is based on the 2011 NAD 83 datum. The 2011 NAD 83 datum will be used.

SHEET NUMBER:
A-2.04

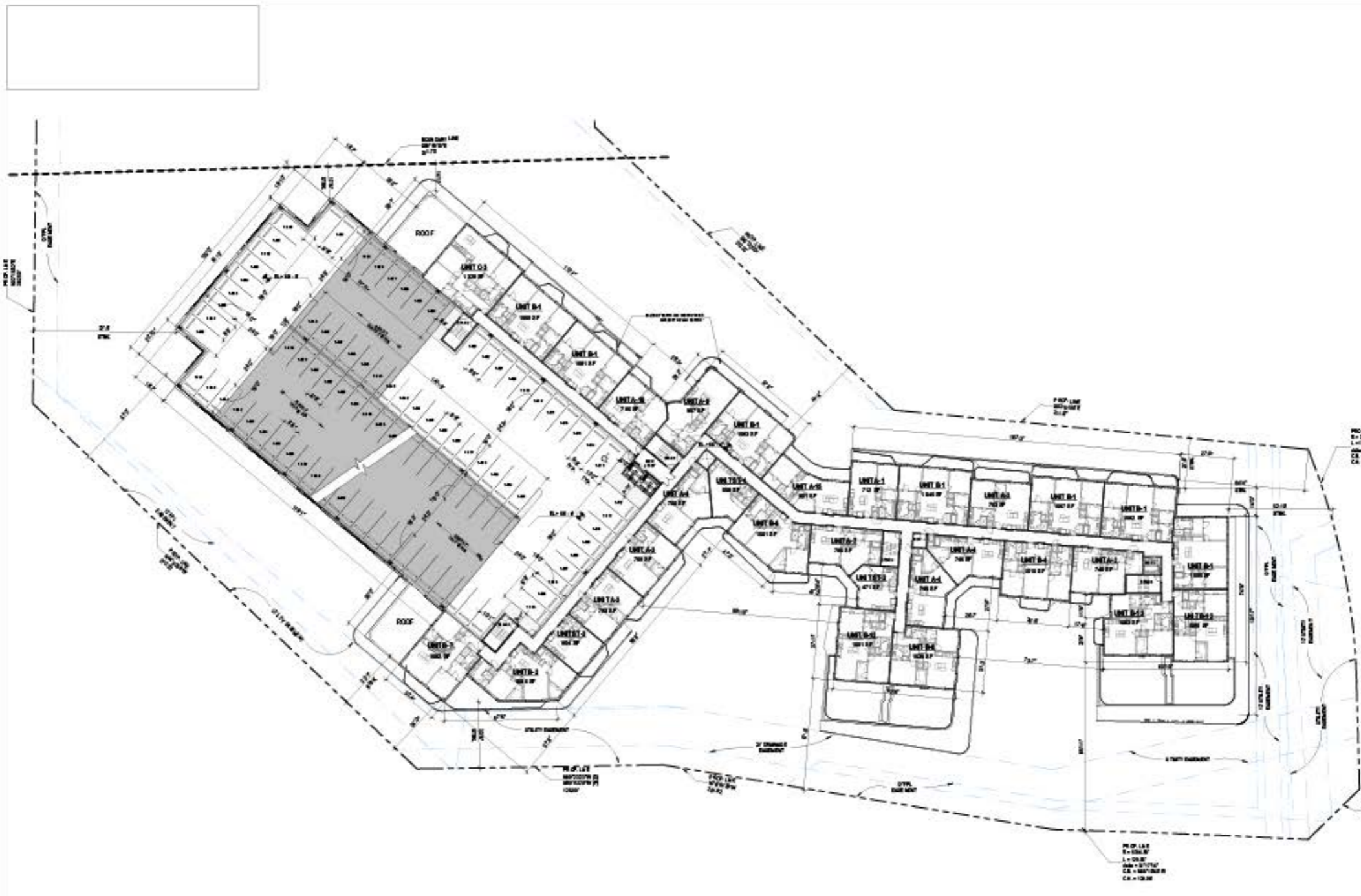


CORWIL ARCHITECTS
400 LAUREL ST. SUITE 200 FT. LAUDERDALE, FL 33304
TEL: 954.561.1111 FAX: 954.561.1112

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33324

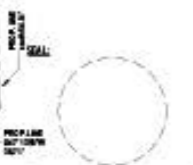


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PARCEL B - 7th LEVEL FLOOR PLAN

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DATE: 04/24/2023
1/31 PLOT: 2023-04
DRAWN BY: MC/DA/AM/MP
CHECKED BY: A.M.C.
PRINTED: 04/24/2023 10:58:28 AM

6th - 7th LEVEL FLOOR PLAN
SCALE: 3/8" = 1'-0"
NOTE: Civil copy of site plan and survey data to be used in the 3D EIR PDD will be used.

SHEET NUMBER:
A-2.05

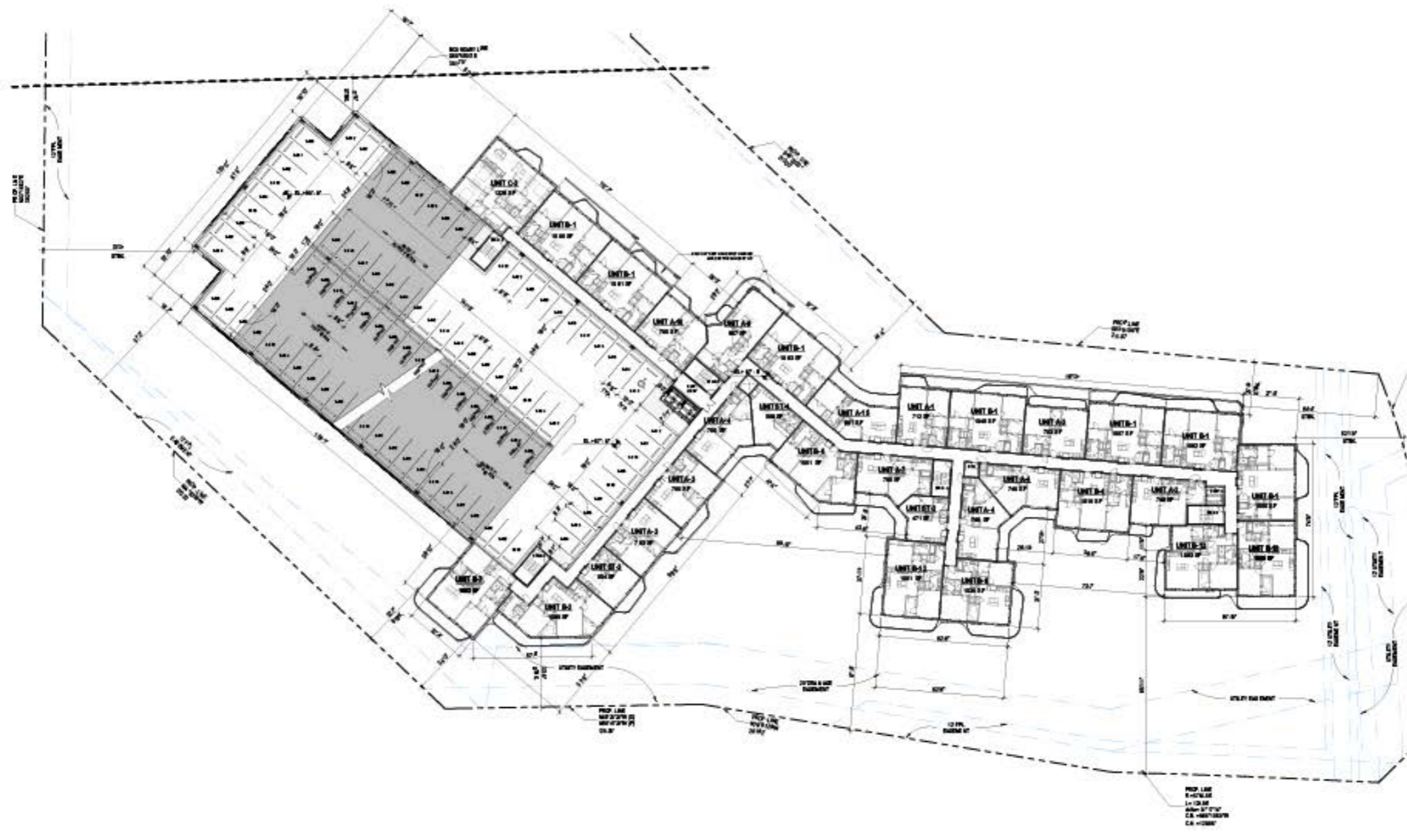


CORWIL ARCHITECTS
 470 LUCAS ST. CORP. OFFICE SUITE 100
 FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
 200, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33324



8235 Douglas Ave,
 Dallas, TX 75225



PARCEL B - 8th - 9th LEVEL FLOOR PLAN

NO. OF LINES
 1 - 10000
 1/4" = 1'-0"
 1/8" = 1'-0"
 1/16" = 1'-0"

PHASE:
 PDD SUBMITTAL

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DATE: 04/24/2023
 ITR No: 2023-04
 DRAWN BY: MC/DA/AM/MP
 APPROVED: AMC
 PRINTED: 04/24/2023 10:47:02 AM

8th - 9th LEVEL FLOOR PLAN

SCALE: 3/8" = 1'-0"
 NOTE: Certain copies of specifications apply to Section 03 of the 2021 FBC will be used.

SHEET NUMBER:
A-2.06

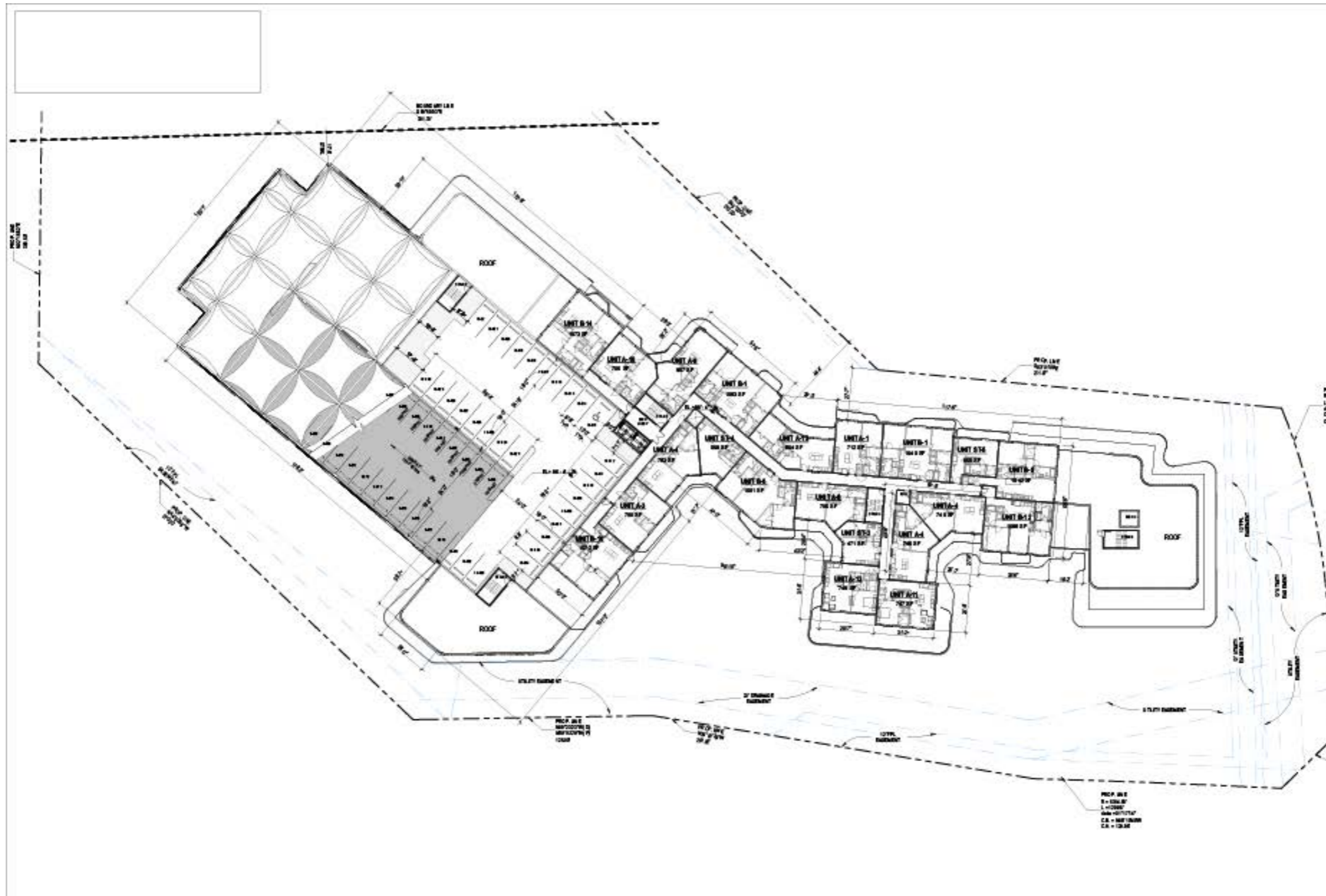


CORWIL ARCHITECTS
 4700 LUDLOW ST. CORP. CENTER, 10TH FL.
 FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
 200, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304



8285 Douglas Ave,
 Dallas, TX 75225



PARCEL B - 10th LEVEL FLOOR PLAN

PROJECT: WESTIN/AURA CYPRESS CREEK
 DATE: 04/24/2023
 SCALE: 1/8" = 1'-0"

DESIGNED BY: MC/DA/AM/HP
 CHECKED BY: AMC
 DATE: 04/24/23

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10th LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"
 NOTE: Grids are typical of apartment complex as shown in Section 10.1 of the 2021 IRC. FRC will be used.

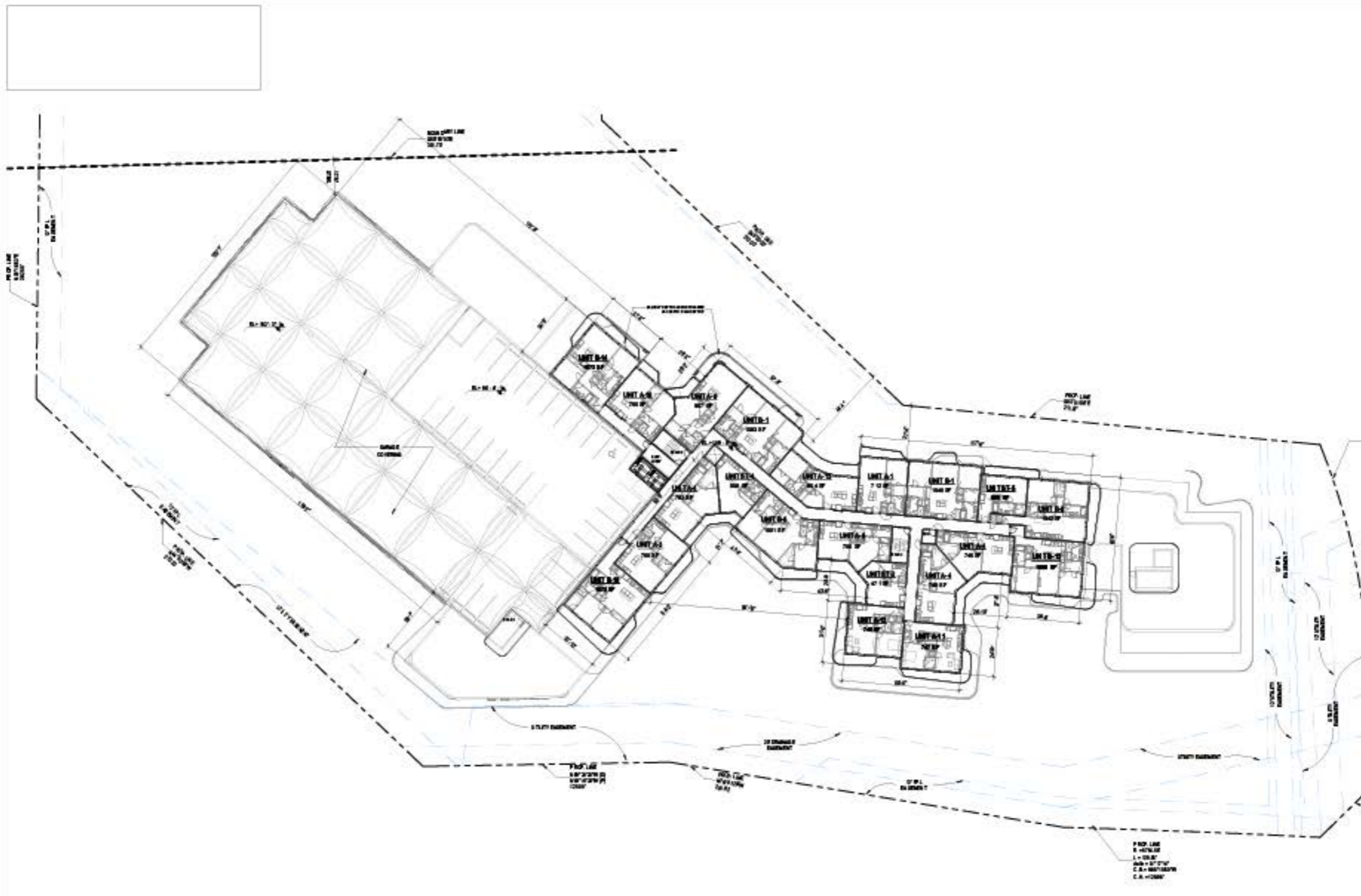
PROJECT NUMBER:
A-2.07



CORWIL ARCHITECTS
400 LAUREL ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.575.1100 FAX: 954.575.1101

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225



PARCEL B - 11th LEVEL FLOOR PLAN

PHASE:
PDD SUBMITTAL

PROJ. LINE
SCALE:
PROJ. LINE
SCALE:

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DATE: 04/24/2023
JOB No.: 2023-04
DRAWN BY: AMY/NGP
CHECKED BY: AMC
PROJECT: 20230401-04

10th - 11th LEVEL FLOOR PLAN
SCALE: 3/8" = 1'-0"

NOTE: Certain copies of specifications are provided in the 2021 IRC. IRC will be used.

SHEET NUMBER:
A-2.08



CORWIL ARCHITECTS
470 LAUREL ST. CORP. CENTER, 3RD FL.
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304
OWNER:



8285 Douglas Ave,
Dallas, TX 75225

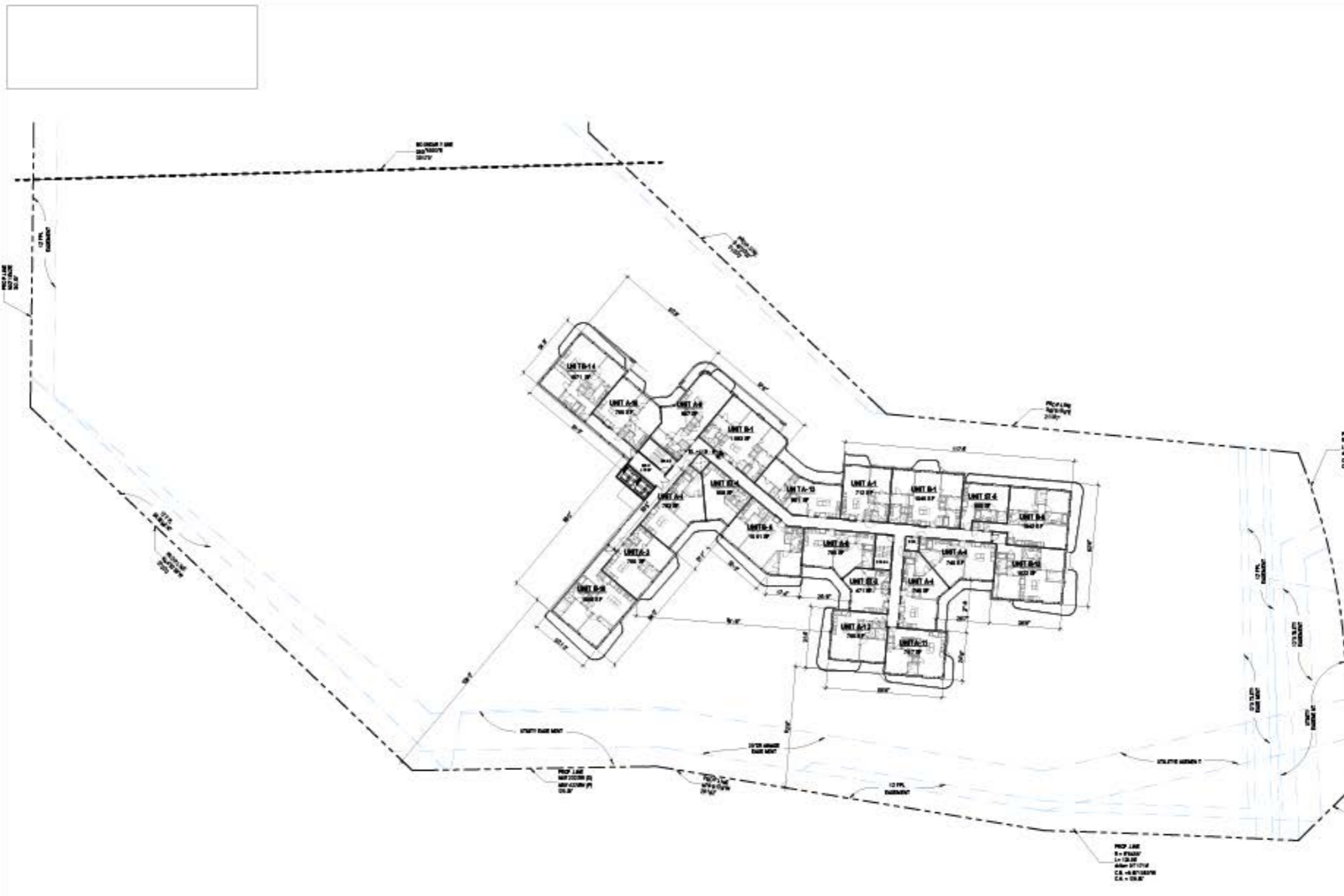
PARCEL B - 12th LEVEL FLOOR PLAN

PROJECT:
PDD SUBMITTAL



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SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CORWIL ARCHITECTS.
DATE: 04/24/2023
JOB No.: 2023-04
DRAWN BY: MC/DA/AM/NGP
CHECKED BY: AMC
PROJECT: WESTIN/AURA CYPRESS CREEK

SHEET NUMBER:
A-2.09



12th LEVEL FLOOR PLAN

SCALE: 3/8" = 1'-0"
NOTE: Civil copies of site plan and site plan shall be used for the 30% FDC. FDC will be used.



CORWIL ARCHITECTS
400 LAUDERDALE CREEK CENTER, SUITE 100
FT. LAUDERDALE, FLORIDA 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC TRINSIC RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

PARCEL A - ROOF LEVEL FLOOR PLAN

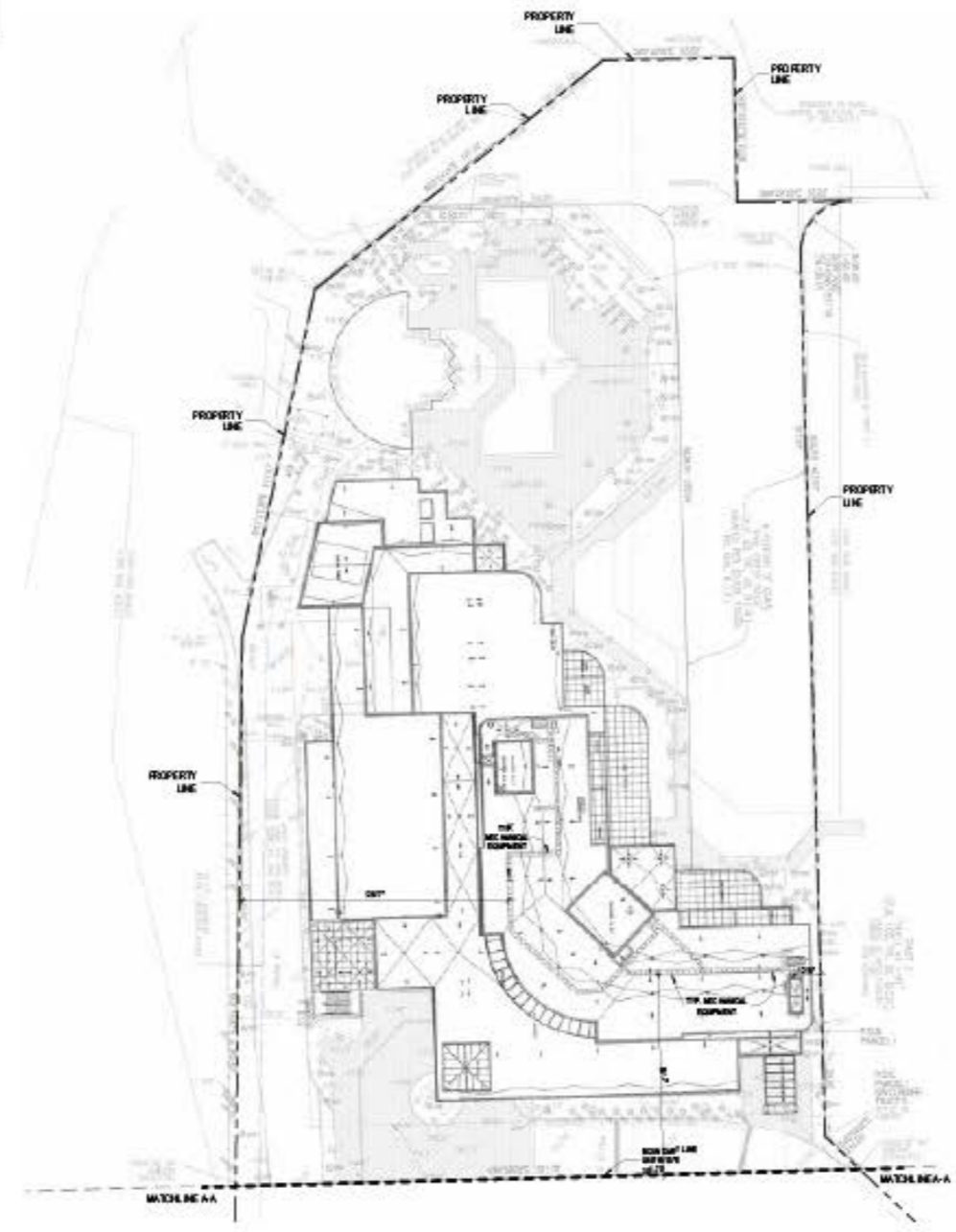
PHASE:
PDD SUBMITTAL



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DATE:	04/24/2023
1/31 PLOT:	2023-04
DESIGNER:	AMW
APPROVER:	AMC
PRINTED:	04/24/2023 04:48 AM

SHEET NUMBER:
A-2.10



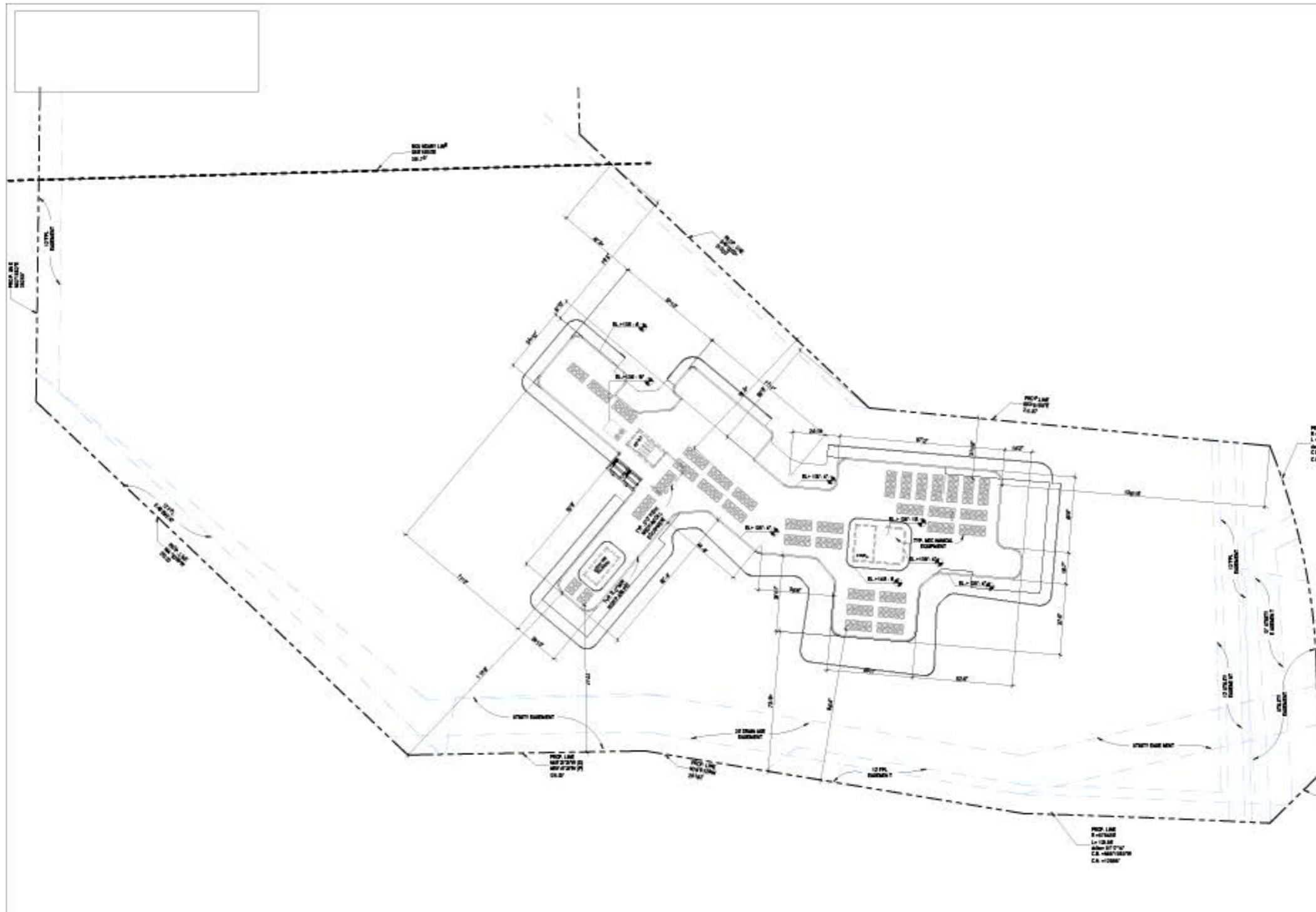
Roof Level PARCEL A 
SCALE: 1" = 32'-0"
NOTE: DRAWING HAS BEEN CREATED FROM PASTOR IMAGES OF THE ORIGINAL DRAWINGS DONE BY OTHERS.



CORWIL ARCHITECTS
400 LAUDERDALE BOULEVARD, SUITE 100
FT. LAUDERDALE, FLORIDA 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33324

OWNER:
TRC
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225



PARCEL B - ROOF LEVEL FLOOR PLAN

PHASE:
PDD SUBMITTAL



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DATE: 04/24/2023
JOB No.: 2023-04
DRAWN BY: MAC/DA/AMW
CHECKED BY: A.M.C.
PRINTED: 10:50:23 AM 04/24/2023

Roof Level
SCALE: 3/8" = 1'-0"

SHEET NUMBER:
A-2.11



CORWIL ARCHITECTS
4700 LUDLOW ST. CORP. CENTER, SUITE 100
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33324

OWNER:
TRC
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

PARCEL B - PARKING LEVELS 1st - 4th

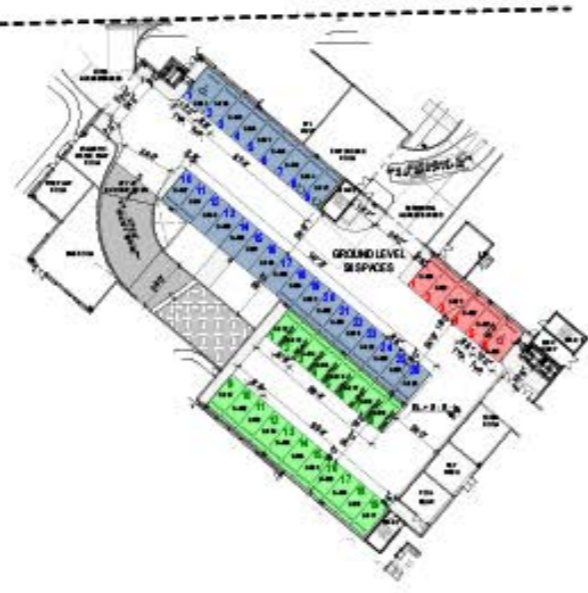
PHASE:
PDD SUBMITTAL



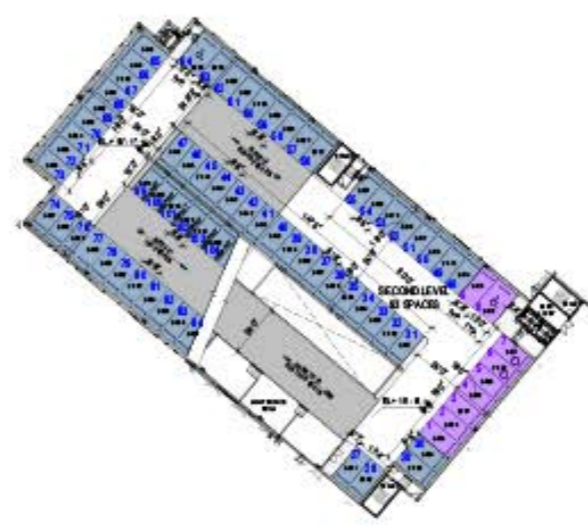
THIS DOCUMENT IS THE PROPERTY OF CORWIL ARCHITECTS. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CORWIL ARCHITECTS.

DATE: 04/24/2023
JOB No.: 2023-04
DRAWN BY: MCD/A/AMW
CHECKED BY: JLM/C
PRINTED: 04/20/23 10:56:17 AM

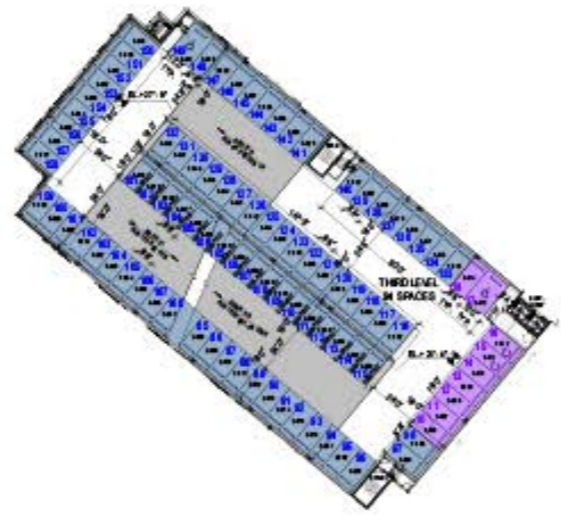
SHEET NUMBER:
A-2.12



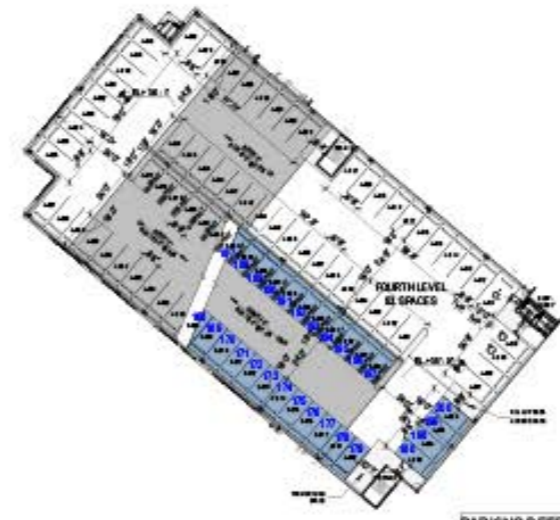
PARKING LEVEL 1
SCALE: 1" = 30'-0"



PARKING LEVEL 2
SCALE: 1" = 30'-0"



PARKING LEVEL 3
SCALE: 1" = 30'-0"



PARKING LEVEL 4
SCALE: 1" = 30'-0"

PARKING BEFORE RESI. ACCESS GATE

- Blue: CYCL. PARKING - 220 SPACES
- Green: BICYCLE PARKING - 8 SPACES
- Red: POTENTIAL RESIDENT PARKING - 100+ SPACES
- Purple: VISITANT PARKING - 10 SPACES



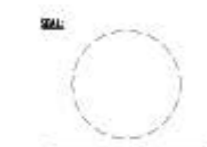
CORWIL ARCHITECTS
400 LAUREL ST. CORP. CENTER, 30th FL.
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

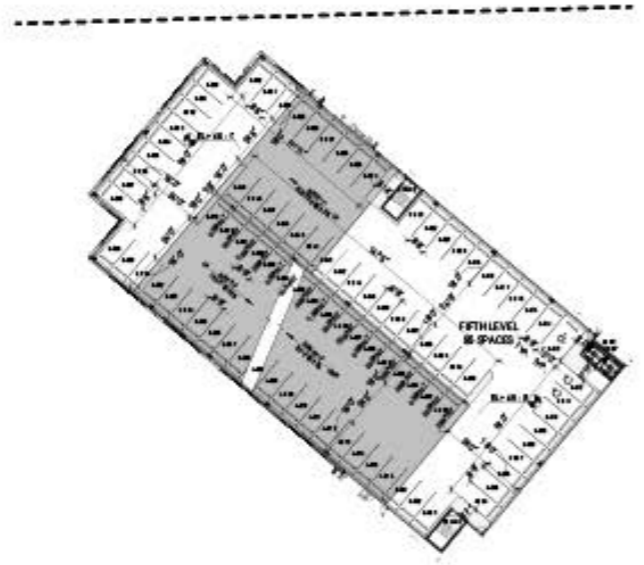
PARCEL B - PARKING LEVELS 5th - 8th

PHASE:
PDD SUBMITTAL

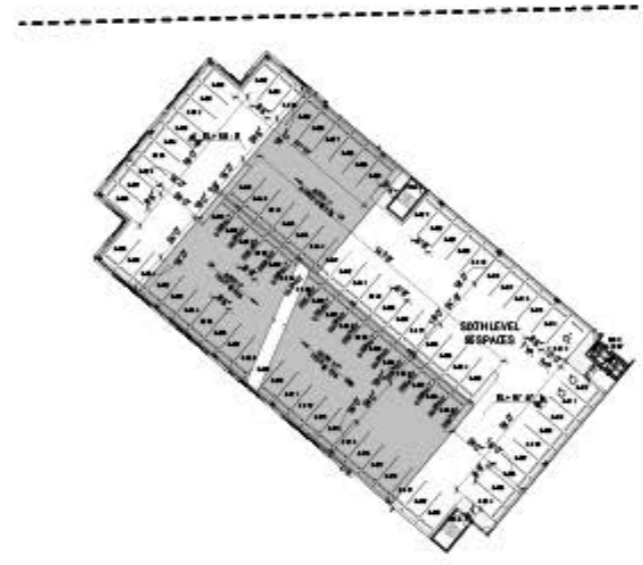


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DATE: 04/24/2023
JOB No.: 2023-04
DRAWN BY: DA/AMW
CHECKED BY: JLM
PRINTED: 04/24/2023 10:08:28 AM

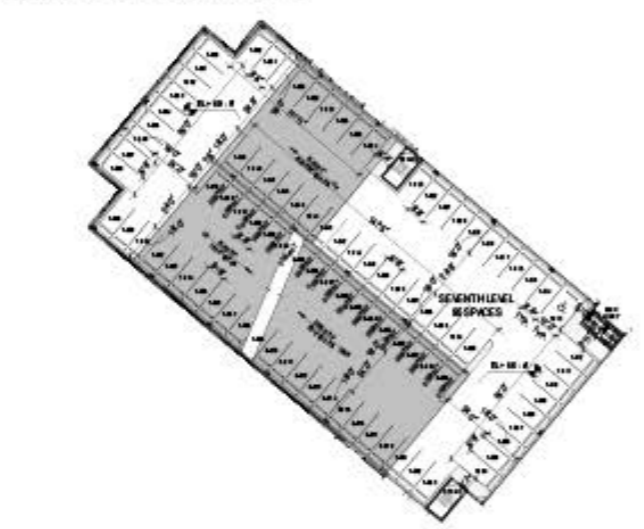
SHEET NUMBER:
A-2.13



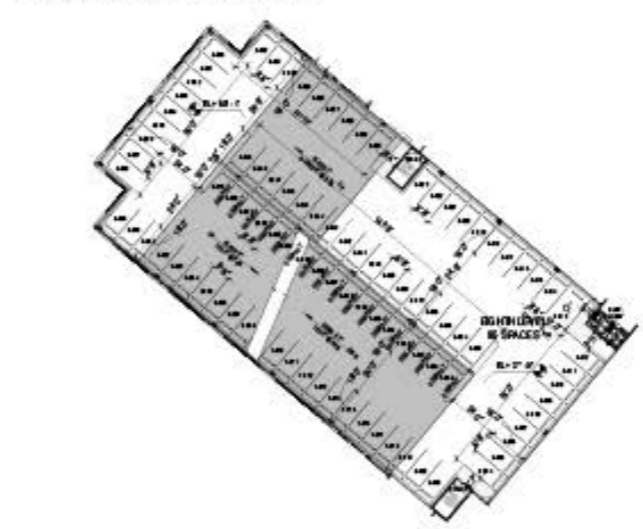
PARKING LEVEL 5
SCALE: 1" = 30' 0"



PARKING LEVEL 6
SCALE: 1" = 30' 0"



PARKING LEVEL 7
SCALE: 1" = 30' 0"



PARKING LEVEL 8
SCALE: 1" = 30' 0"



CORWIL ARCHITECTS
400 LAUDERDALE BOULEVARD, SUITE 100
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33324



8285 Douglas Ave,
Dallas, TX 75225

PARCEL B - PARKING LEVELS 9th -
10th

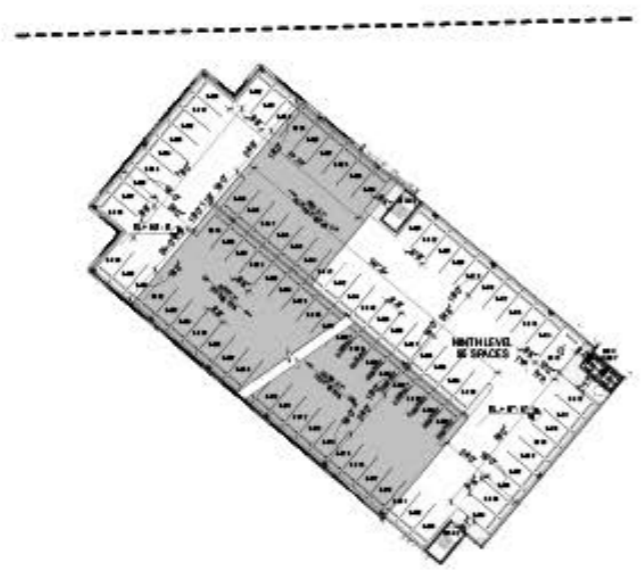
PHASE:
PDD SUBMITTAL



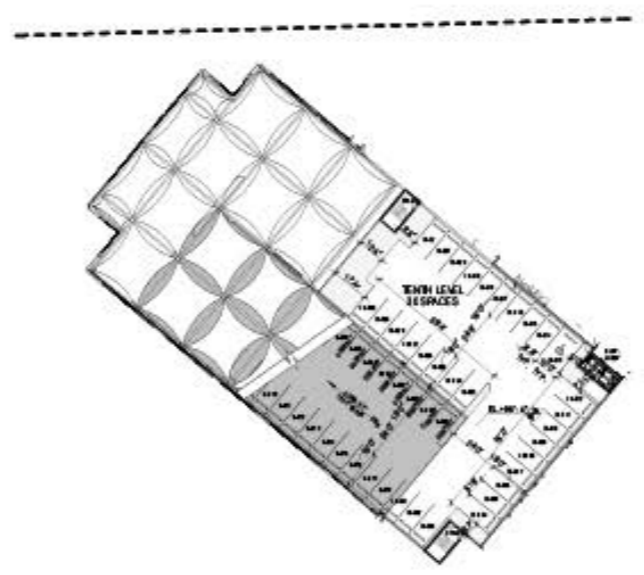
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DATE: 04/24/2023
JOB No.: 2021-04
DESIGNER: AMW
APPROVER: AJM/C
PRINTED: 04/24/2023 10:58:23 AM

SHEET NUMBER:
A-2.14



PARKING LEVEL 9
SCALE: 1" = 30'-0"



PARKING LEVEL 10 (TOP LEVEL)
SCALE: 1" = 30'-0"



CORWIL ARCHITECTS
400 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.575.1100 FAX: 954.575.1101

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC TRINSIC RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225



EL. +130'-0"	Roof Level
EL. +128'-0"	Level 10
EL. +126'-0"	Level 9
EL. +124'-0"	Level 8
EL. +122'-0"	Level 7
EL. +120'-0"	Level 6
EL. +118'-0"	Level 5
EL. +116'-0"	Level 4
EL. +114'-0"	Level 3
EL. +112'-0"	Level 2
EL. +10'-0"	Ground Level

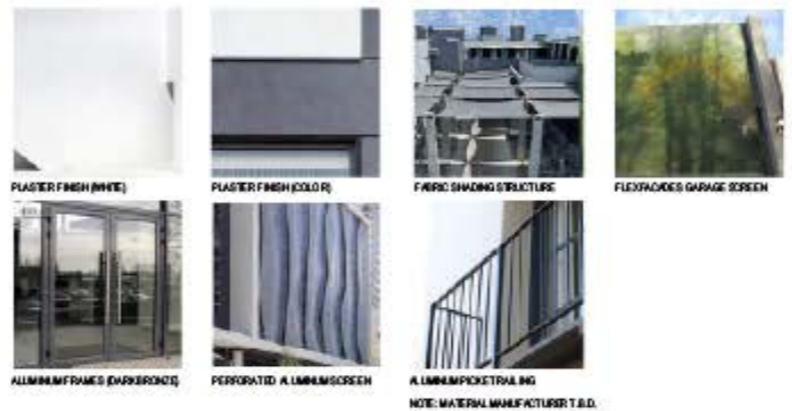
AVERAGE SIDEWALK (D) (+8'-0" HAWK)
AVERAGE ROAD ELEV. (A) (+8'-0" HAWK)
GROUND FFG. LEVEL (G) (+7'-0" HAWK)

NORTHEAST ELEVATION

NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION LEGEND	
1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	8 IMPACT RESISTANT METAL DOOR
2 CONCRETE (BY BELOW PARAPET SLOPED TO EXTERIOR W/ APPLIED WATER PROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.)	9 STAIR/ELEVATORS BULKHEAD
3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATER PROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS.	10 GARAGE ENTRANCE
4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH	11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)
5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)	12 ARTIFICIAL GREEN SCREEN
6 8 HIGH A.F.F. PARAPET WALL	13 DECORATIVE PERFORATED ALUMINUM SCREEN
7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)	14 FABRIC SHADING STRUCTURE
	15 PROPOSED SIGNAGE LOCATIONS
	16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH
	17 FLEXSCREEN
	18 HANGING GARDEN FEATURE

NOTE: ELEVATIONS AT 1/4" AS REFERENCED ON THESE PLANS - 1/4" = 1'-0"



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DATE: 04/24/2023
JOB No.: 2023-04
DRAWN BY: MCD/A/AMV
CHECKED BY: JAC
PRINTED: 04/20/23 10:08:27 AM

SHEET NUMBER:
A-3.00



CORWIL ARCHITECTS
400 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.776.1111 FAX: 954.776.1112

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC TRINSIC RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225



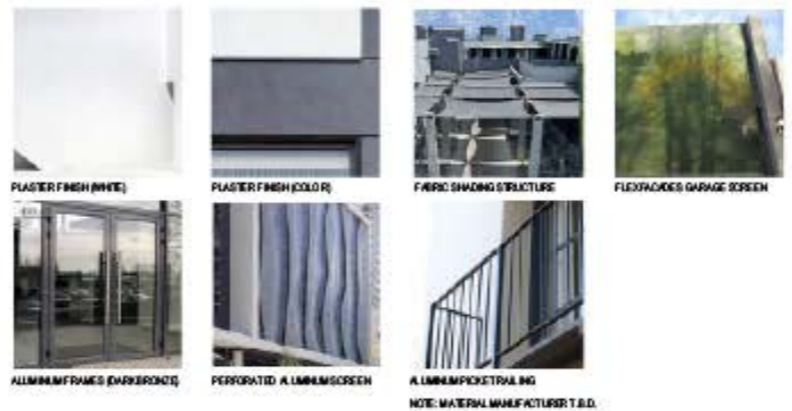
AVERAGE SIDEWALK AT (+0'-0" NAVD)
AVERAGE ROAD ELEV. AT (+0'-0" NAVD)
GROUND LEVEL FTE. AT (+0'-0" NAVD)

NORTH ELEVATION

NORTH ELEVATION
SCALE: 1/16" = 1'-0"

ELEVATION LEGEND	
1 LIGHT TEXTURE CONCRETE PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	8 IMPACT RESISTANT METAL DOOR
2 CONCRETE CYBROW PARAPET SLOPED TO EXTERIOR W/ APPLIED WHITE ROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.	9 STAIR/ELEVATORS BULKHEAD
3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS.	10 GARAGE ENTRANCE
4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH	11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)
5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)	12 ARTIFICIAL GREEN SCREEN
6 8" HIGH A.F.F. PARAPET WALL	13 DECORATIVE PERFORATED ALUMINUM SCREEN
7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)	14 FABRIC SHADING STRUCTURE
	15 PROPOSED SIGNAGE LOCATIONS
	16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH
	17 FLEXSCREEN
	18 HANGING GARDEN FEATURE

NOTE: ELEVATIONS AT 0'-0" AS REFERENCED ON THESE PLANS - 0'-0" NAVD



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DATE: 04/24/2023
JOB No.: 2023-04
DRAWN BY: MCD/A/AMW
CHECKED BY: JLM/AMC
PRINTED: 04/20/23 09:46:41 AM

SHEET NUMBER:
A-3.01



CORWIL ARCHITECTS
400 LUGER BLVD, SUITE 200
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC TRINISIC RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

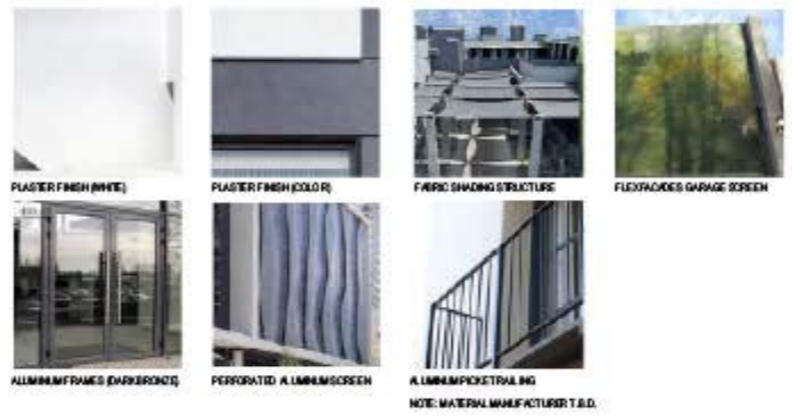
EAST ELEVATION



EAST ELEVATION
SCALE: 1/16" = 1'-0"

ELEVATION LEGEND	
1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	8 IMPACT RESISTANT METAL DOOR.
2 CONCRETE CYBROW PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.	9 STAIR/ELEVATORS BULKHEAD
3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS.	10 GARAGE ENTRANCE
4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH	11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)
5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)	12 ARTIFICIAL GREEN SCREEN
6 8" HIGH A.F.F. PARAPET WALL	13 DECORATIVE PERFORATED ALUMINUM SCREEN
7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)	14 FABRIC SHADING STRUCTURE
	15 PROPOSED SIGNAGE LOCATIONS
	16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH
	17 FLEXSCREEN
	18 HANGING GARDEN FEATURE

NOTE: ELEVATIONS AT 4' AS REFERENCED ON THESE PLANS - 4' NAVD



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DATE: 04/24/2023
JOB No.: 2023-04
DRAWN BY: MCD/A/AMV
CHECKED BY: JMC
PRINTED: 04/20/23 10:56:07 AM

SHEET NUMBER:
A-3.02



CORWIL ARCHITECTS
400 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.575.1100 FAX: 954.575.1101

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC TRINSIC RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

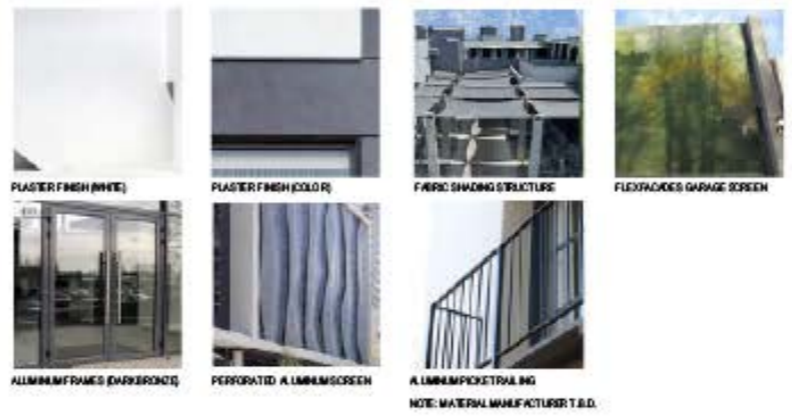
SOUTH ELEVATION



SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

ELEVATION LEGEND	
1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	8 IMPACT RESISTANT METAL DOOR
2 CONCRETE CYBROW PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.	9 STAIR/ELEVATORS BULKHEAD
3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS.	10 GARAGE ENTRANCE
4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH	11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)
5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)	12 ARTIFICIAL GREEN SCREEN
6 8" HIGH A.F.F. PARAPET WALL	13 DECORATIVE PERFORATED ALUMINUM SCREEN
7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)	14 FABRIC SHADING STRUCTURE
	15 PROPOSED SIGNAGE LOCATIONS
	16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH
	17 FLEXSCREEN
	18 HANGING GARDEN FEATURE

NOTE: ELEVATIONS AT 1/4" ARE REFERENCED ON THESE PLANS - 1/4" = 1'-0"



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DATE: 04/24/2023
JOB No.: 2023-04
DRAWN BY: MCD/A/AMV
CHECKED BY: A.M.C.
PRINTED: 04/24/23 10:00 AM

SHEET NUMBER:
A-3.03

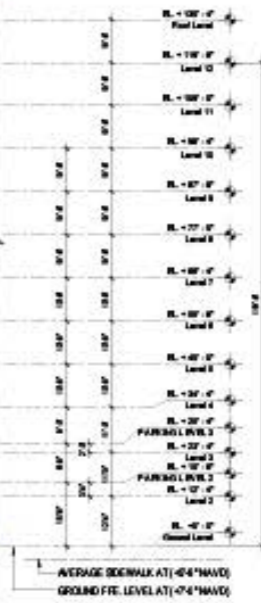
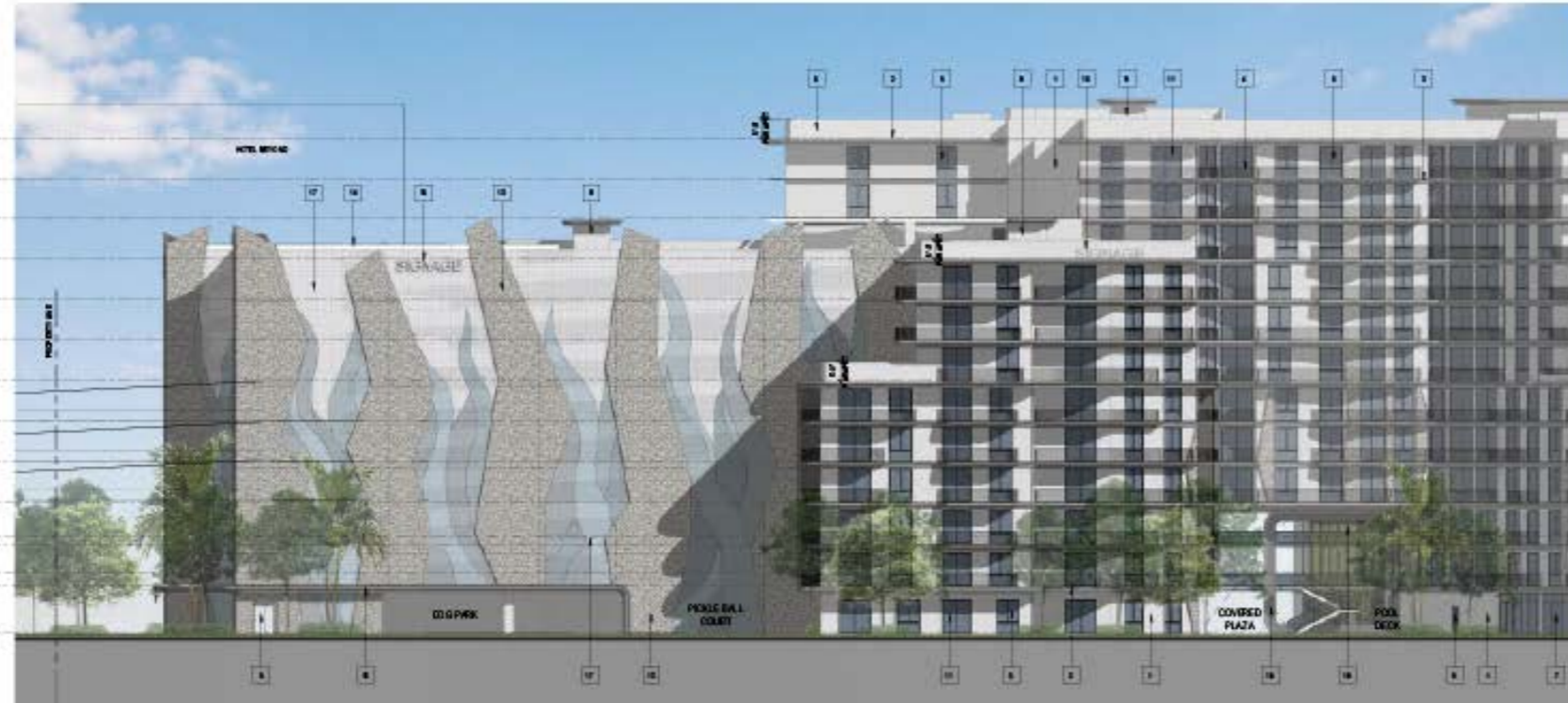


CORWIL ARCHITECTS
470 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.575.1100 FAX: 954.575.1101

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC TRINISIC RESIDENTIAL GROUP
8285 Douglas Ave,
Dallas, TX 75225

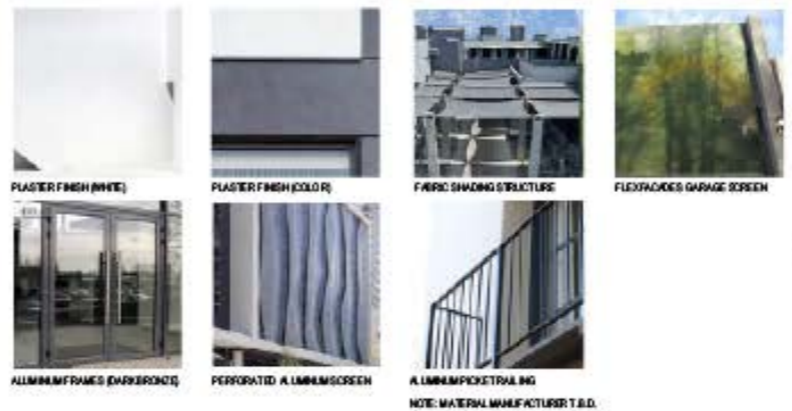
SW GARAGE ELEVATION



SOUTHWEST GARAGE ELEVATION
SCALE: 1/16" = 1'-0"

ELEVATION LEGEND	
1 LIGHT TEXTURE CONCRETE PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	8 IMPACT RESISTANT METAL DOOR
2 CONCRETE CYBORON PARAPET SLOPED TO EXTERIOR W/ APPLIED WHITE ROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.	9 STAIR/ELEVATORS BULKHEAD
3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS.	10 GARAGE ENTRANCE
4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH	11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)
5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)	12 ARTIFICIAL GREEN SCREEN
6 8 HIGH A.F.F. PARAPET WALL	13 DECORATIVE PERFORATED ALUMINUM SCREEN
7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)	14 FABRIC SHADING STRUCTURE
	15 PROPOSED SIGNAGE LOCATIONS
	16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH
	17 FLEX SCREEN
	18 HANGING GARDEN FEATURE

NOTE: ELEVATIONS AT 1/4" AS REFERENCED ON THESE PLANS - 1/4" = 1'-0"



PHASE:
PDD SUBMITTAL



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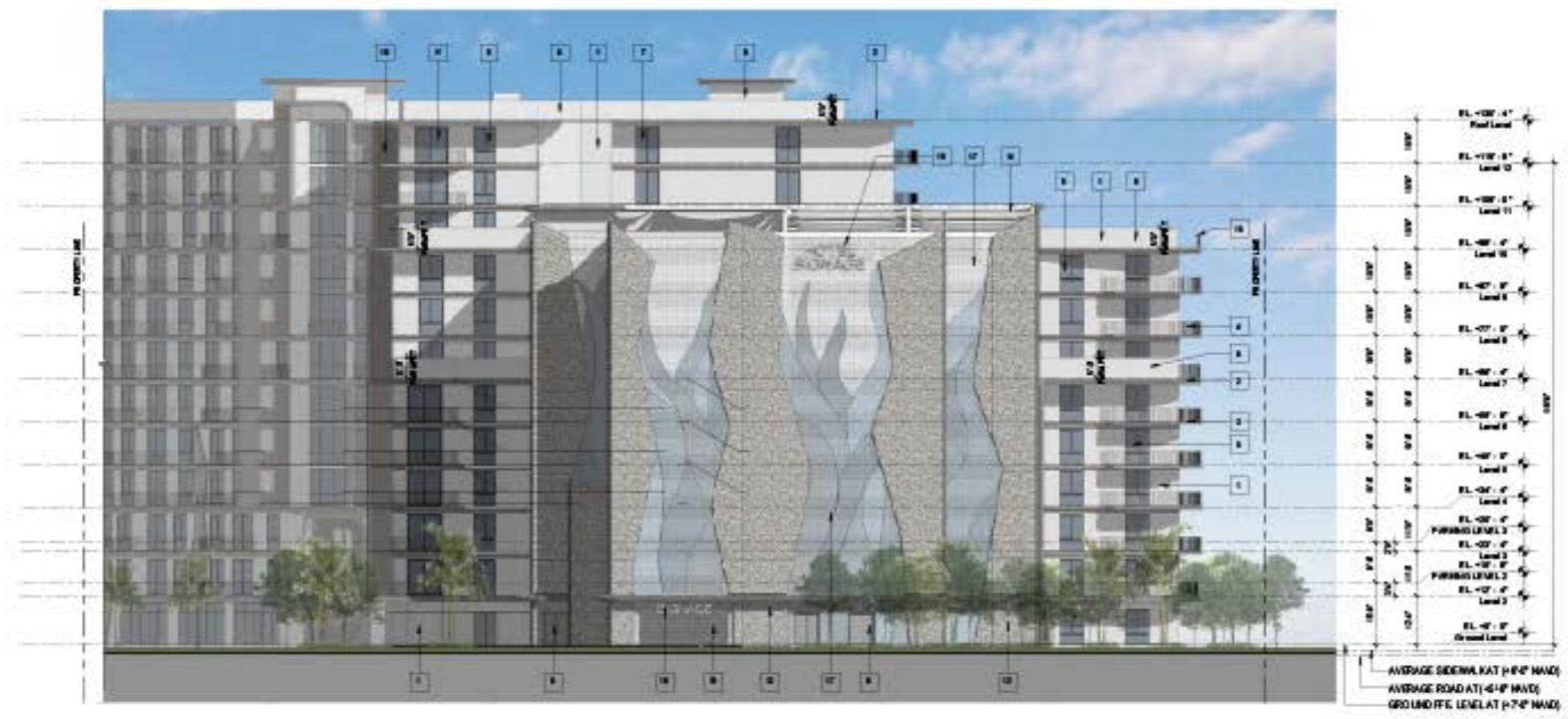


CORWIL ARCHITECTS
400 LUCAS STREET, SUITE 200
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC TRINSIC RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

NW GARAGE ELEVATIONS



NORTHWEST GARAGE ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION LEGEND	
1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	8 IMPACT RESISTANT METAL DOOR
2 CONCRETE CYBORON PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.	9 STAIR/ELEVATORS BULKHEAD
3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS.	10 GARAGE ENTRANCE
4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH	11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)
5 HORIZONTAL SLIDING WINDOW W/BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)	12 ARTIFICIAL GREEN SCREEN
6 8" HIGH A.F.F. PARAPET WALL	13 DECORATIVE PERFORATED ALUMINUM SCREEN
7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)	14 FABRIC SHADING STRUCTURE
	15 PROPOSED SIGNAGE LOCATIONS
	16 DECORATIVE FRAME DESIGN W/SMOOTH STUCCO FINISH
	17 FLEXSCREEN
	18 HANGING GARDEN FEATURE

NOTE: ELEVATIONS AT 1/4" AS REFERENCED ON THESE PLANS - 1/4" = 1'-0"



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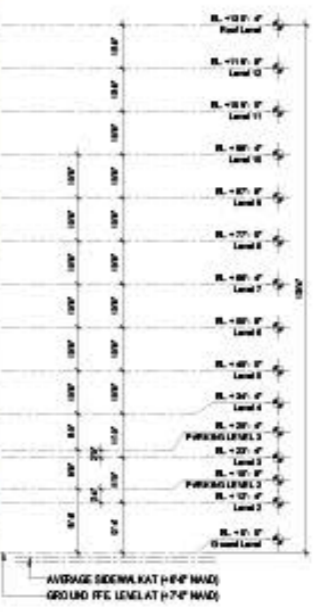


CORWIL ARCHITECTS
400 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.575.1100 FAX: 954.575.1101

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC TRINISIC RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

SE GARAGE ELEVATIONS



SOUTHEAST GARAGE ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION LEGEND	
1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	8 IMPACT RESISTANT METAL DOOR
2 CONCRETE CYBROW PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.	9 STAIR/ELEVATOR BULKHEAD
3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS.	10 GARAGE ENTRANCE
4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH	11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)
5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)	12 ARTIFICIAL GREEN SCREEN
6 8" HIGH A.F.F. PARAPET WALL	13 DECORATIVE PERFORATED ALUMINUM SCREEN
7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)	14 FABRIC SHADING STRUCTURE
	15 PROPOSED SIGNAGE LOCATIONS
	16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH
	17 FLEXSCREEN
	18 HANGING GARDEN FEATURE

NOTE: ELEVATIONS AT 1/4" AS REFERENCED ON THESE PLANS - 1/4" = 1'-0"



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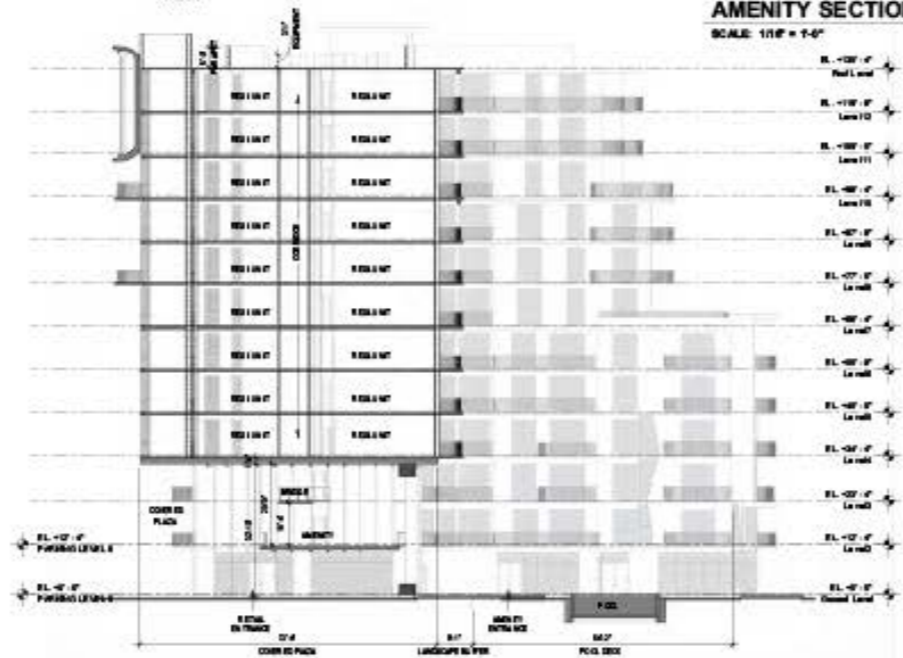
CORWIL ARCHITECTS
400 LUGANO DRIVE, SUITE 200
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225



AMENITY SECTION
SCALE: 1/8" = 1'-0"



SECTION THROUGH PLAZA
SCALE: 1/8" = 1'-0"



KEY PLAN
HT.S.



KEY PLAN
HT.S.

PRELIMINARY SECTIONS

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CORWIL ARCHITECTS
400 LAUDERDALE CORPORATE DR. SUITE 200
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



8235 Douglas Ave,
Dallas, TX 75225

PRELIMINARY SECTION

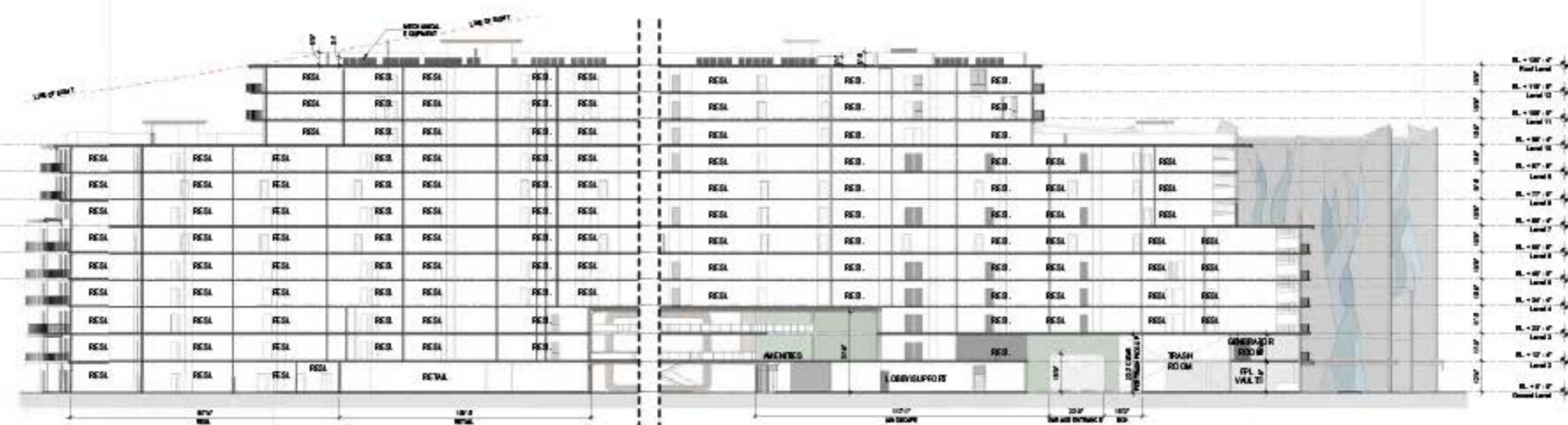
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RETAIL SECTION
SCALE: 1" = 20'-0"





CORWIL ARCHITECTS
400 LAUDERDALE BOULEVARD, SUITE 1000
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC
TRINISIC
RESIDENTIAL GROUP
8285 Douglas Ave,
Dallas, TX 75225

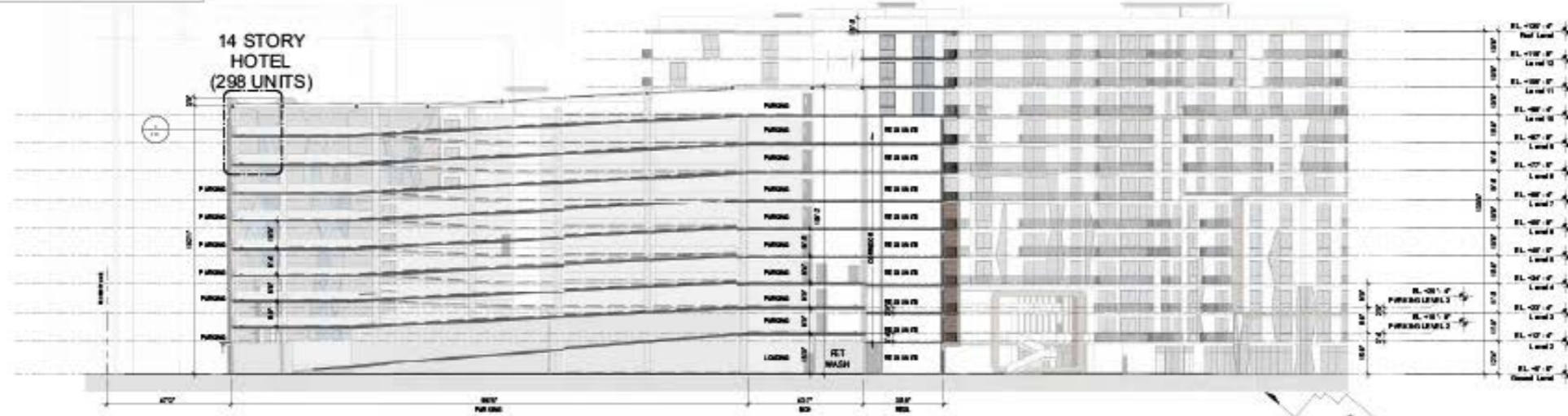
PRELIMINARY SECTION

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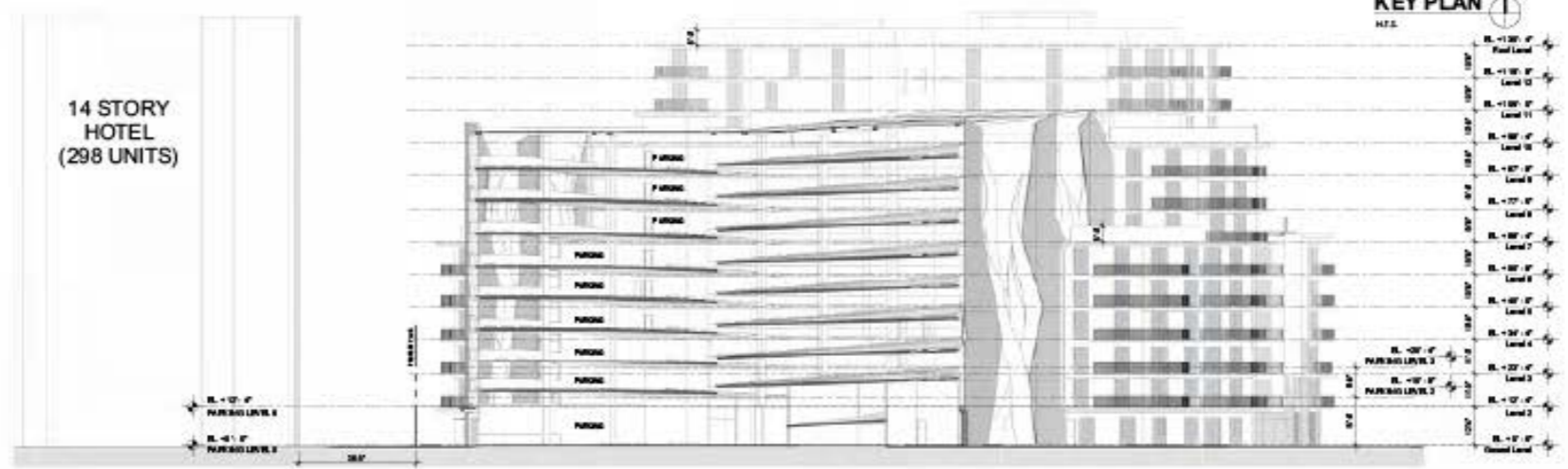


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A-3.09



PARKING GARAGE SECTION
SCALE: 1" = 20'-0"



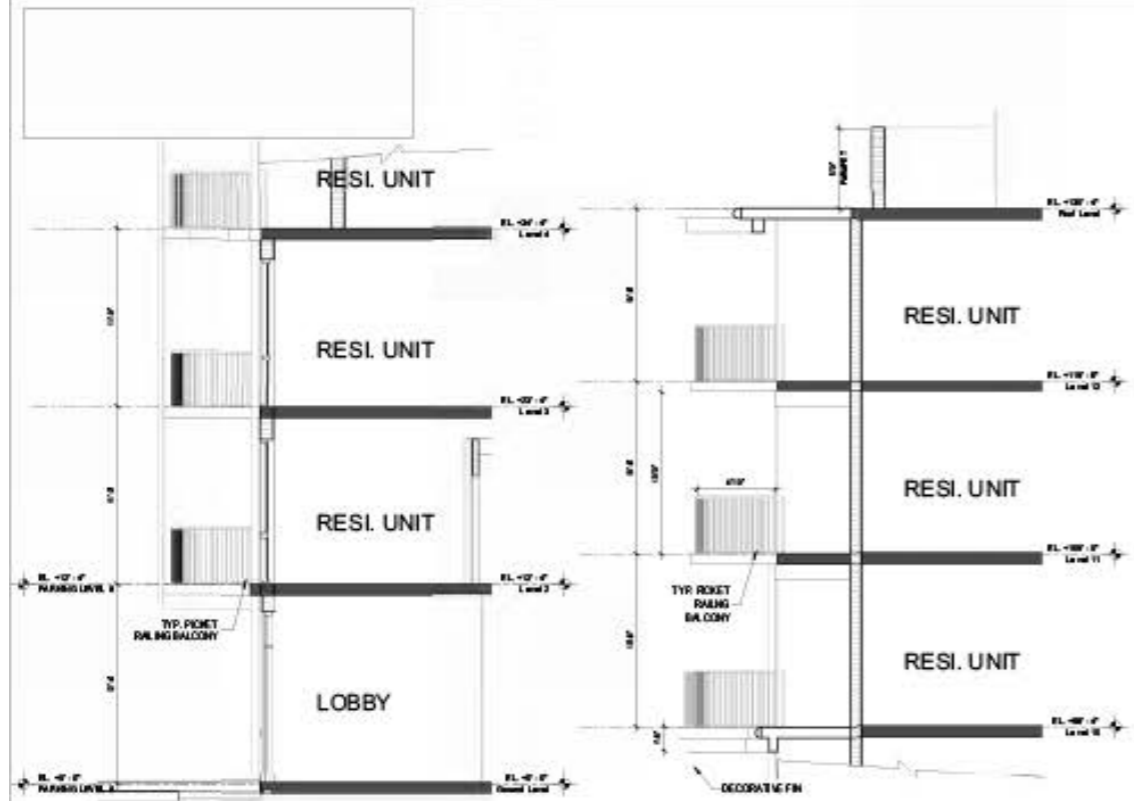
**ANGLED CUT THROUGH BUILDING AND
ADJACENT BUILDING**
SCALE: 1" = 20'-0"



CORWIL ARCHITECTS
400 LUCAS ST. CORP. CENTER, 18TH
FL. FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225



ENLARGED LOBBY SECTION
SCALE: 1/8" = 1'-0"

ENLARGEMENT TYPICAL PARAPET
SCALE: 1/8" = 1'-0"

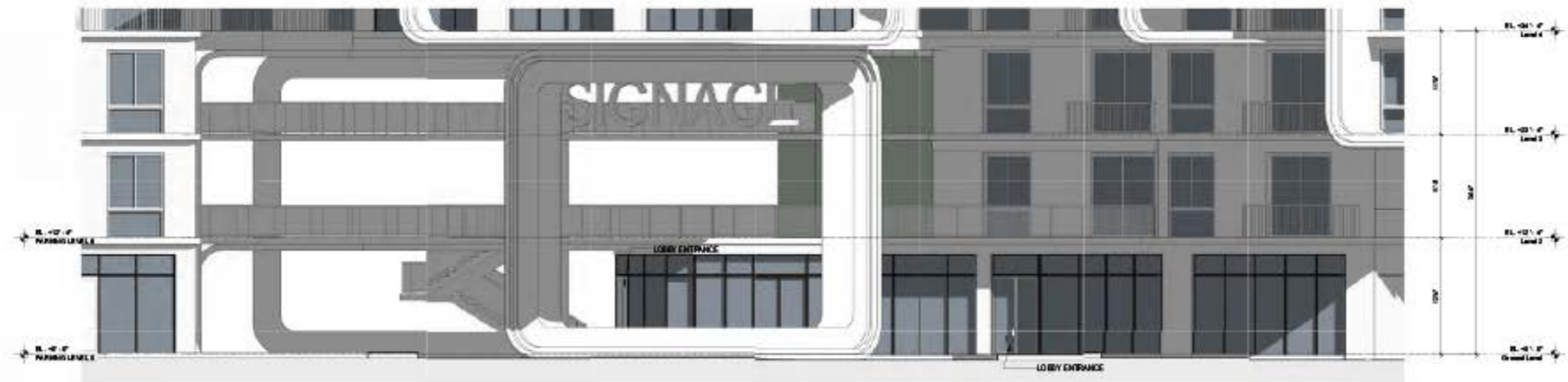


PARTIAL MAIN ENTRANCE 3D SECTION
SCALE:



MAIN ENTRANCE - 3D
SCALE:

ENLARGEMENTS/DETAILS



MAIN ENTRANCE ENLARGEMENT
SCALE: 3/8" = 1'-0"

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CORPORATE DR - STREET SECTION
SCALE: 1/8" = 1'-0"



62ND STREET - STREET SECTION
SCALE: 1/8" = 1'-0"



PRIVATE ROAD - STREET SECTION
SCALE: 1/8" = 1'-0"



CORWIL ARCHITECTS
400 LAUDERDALE BOULEVARD, SUITE 200
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



8235 Douglas Ave,
Dallas, TX 75225

STREET SECTIONS

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APPREVED: Approver
PRINTED: 04/26/23 09:58:28 AM

SKETCH NUMBER:
A-3.10a



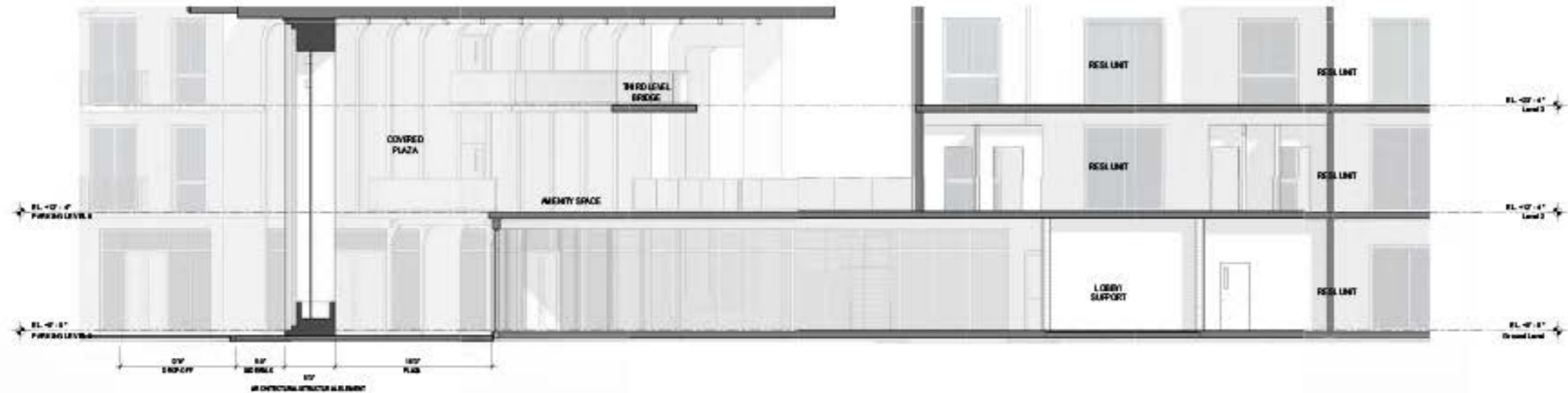
CORWIL ARCHITECTS
400 LAUREL ST. SUITE 200, FT. LAUDERDALE, FL 33304
(954) 443-1111

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304
OWNER:

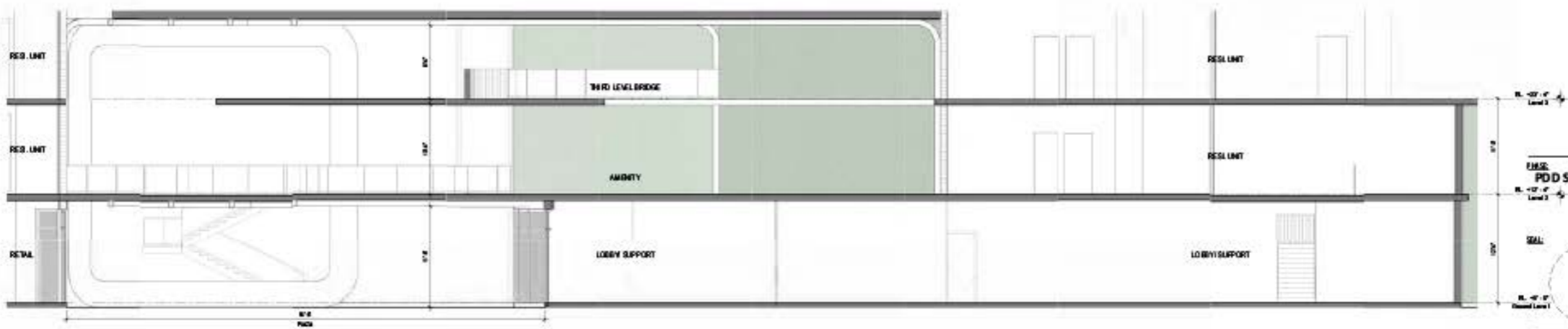


8255 Douglas Ave,
Dallas, TX 75225

ENLARGEMENTS



ENLARGED LOBBY/SUPPORT SECTION
SCALE: 3/16" = 1'-0"



ENLARGED LOBBY SECTION
SCALE: 3/16" = 1'-0"

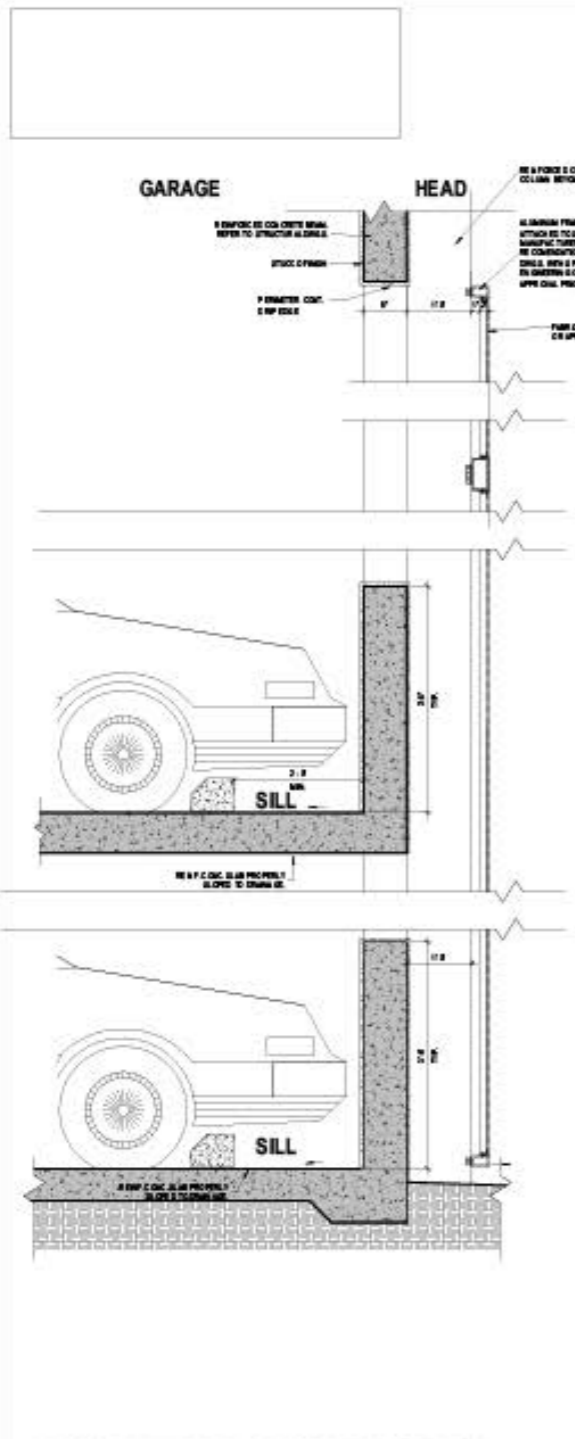
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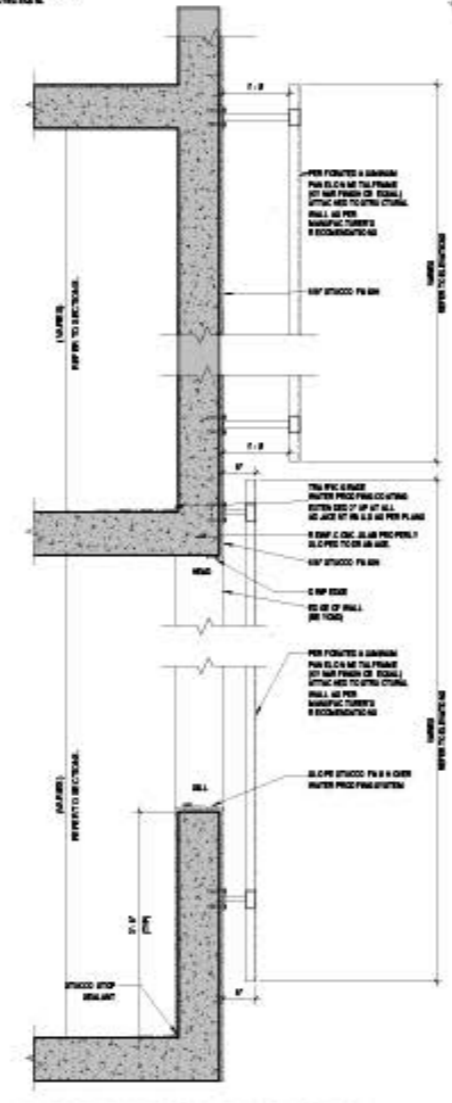
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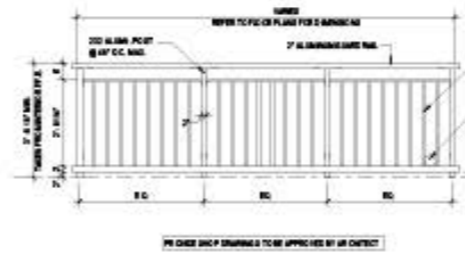
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A-3.11



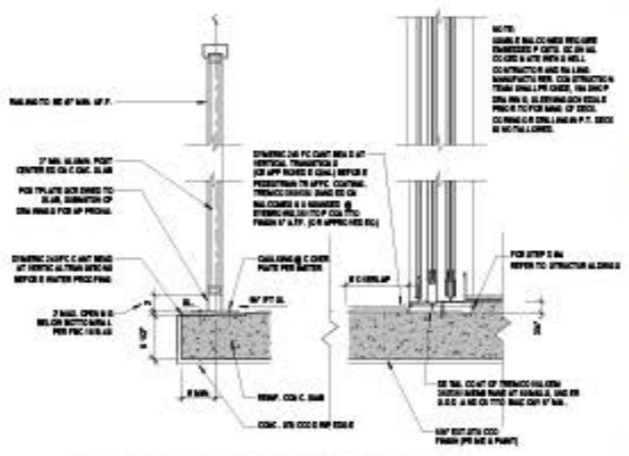
DECORATIVE GARAGE SCREEN SECTION
SCALE: 1" = 1'-0"



TYP. DOWNTURNED EYEBROW DETAIL
SCALE: 1 1/2" = 1'-0"



TYP. PICKET BALCONY RAILING
SCALE: 1/2" = 1'-0"



GUARD RAIL AT BALCONY SECTION
SCALE: 1 1/2" = 1'-0"

- ### ELEVATION LEGEND
- 1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)
 - 2 CONCRETE OVER FORMWORK SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.
 - 3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS.
 - 4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH
 - 5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS (TYP.)
 - 6 2' HIGH A.F.F. PARAPET WALL
 - 7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)
 - 8 IMPACT RESISTANT METAL DOOR
 - 9 STAIR/ELEVATOR BULKHEAD
 - 10 GARAGE ENTRANCE
 - 11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS (TYP.)
 - 12 ARTIFICIAL GREEN SCREEN
 - 13 DECORATIVE PERFORATED ALUMINUM SCREEN
 - 14 FABRIC SHADING STRUCTURE
 - 15 PROPOSED SIGNAGE LOCATIONS
 - 16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH
 - 17 FLOORSCREEN
 - 18 HANGING GARDEN FEATURE



CORWIL ARCHITECTS
4115 LINDEN DR. CORAL GABLES, FL 33134
TEL: 305.442.0000 FAX: 305.442.0001

OWNER:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG TRINIC
REINTEGRAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

MATERIAL DETAILS

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JOB No.: 2023-04
DRAWN BY: AMW
CHECKED BY: A.M.C.
PROJECT: WESTIN AURA CYPRESS CREEK

SHEET NUMBER:
A-3.12



CORWIL ARCHITECTS
400 LAUREL ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.575.1100 FAX: 954.575.1101

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304
OWNER:



8235 Douglas Ave,
Dallas, TX 75225

SPRING EQUINOX SUN STUDY

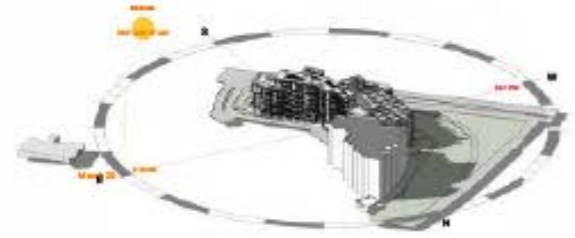
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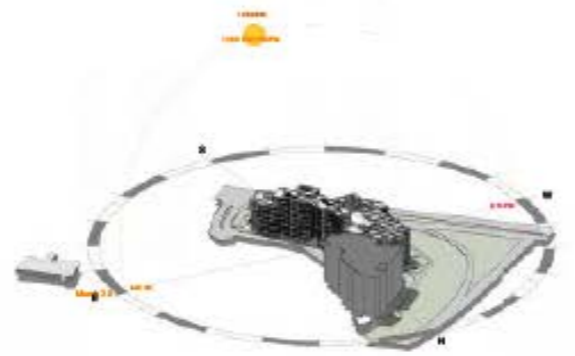
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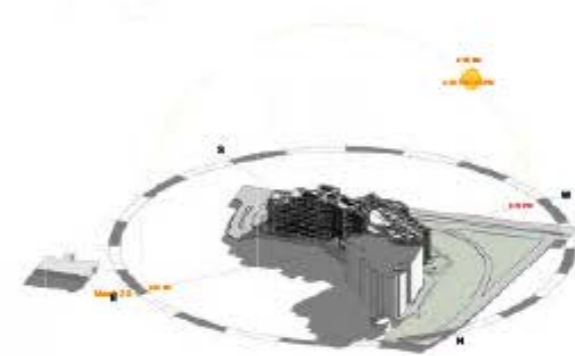
SHEET NUMBER:
A-4.00



SPRING EQUINOX 9 AM NORTH
SCALE:



SPRING EQUINOX 12 PM NORTH
SCALE:



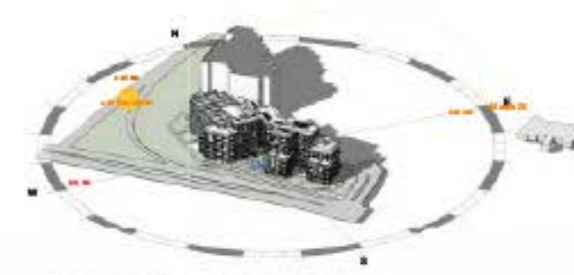
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SCALE:



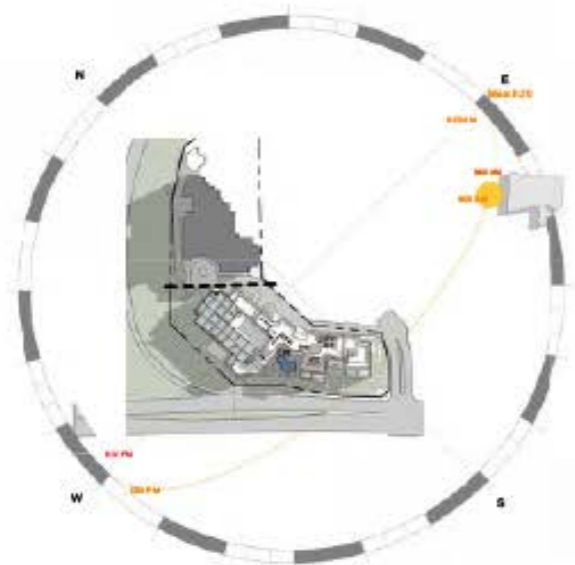
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SCALE:



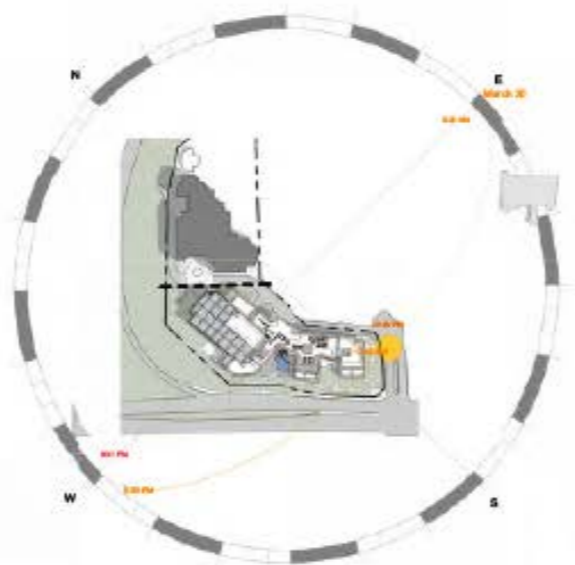
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SCALE:



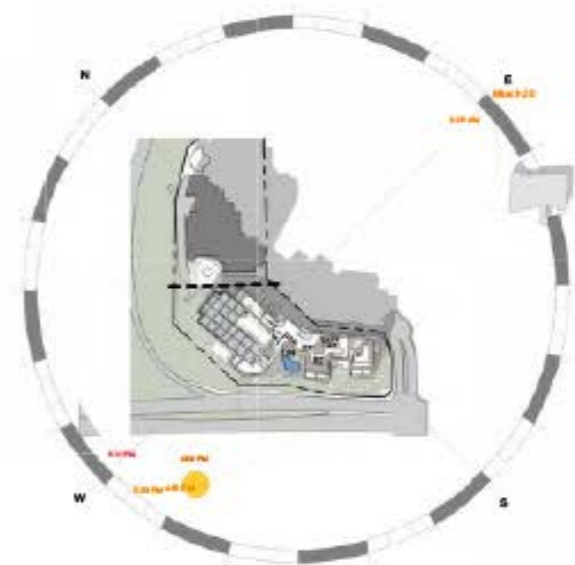
SPRING EQUINOX 4 PM SOUTH
SCALE:



Site Plan - SPRING EQUINOX 9 AM
SCALE: 1" = 200'-0"



Site Plan - SPRING EQUINOX 12 PM
SCALE: 1" = 200'-0"



Site Plan - SPRING EQUINOX 4 PM
SCALE: 1" = 200'-0"



CORWIL ARCHITECTS
400 LAUREL ST. CORP. CENTER, 30th FL.
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



8235 Douglas Ave,
Dallas, TX 75225

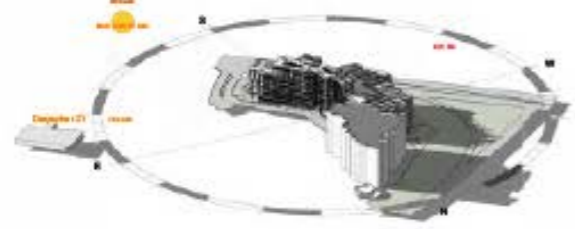
WINTER SOLSTICE SUN STUDY

PHASE:
PDD SUBMITTAL

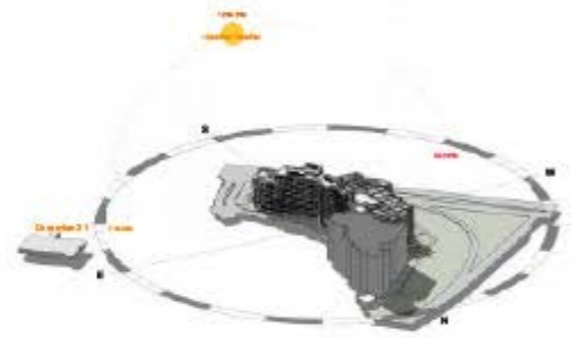


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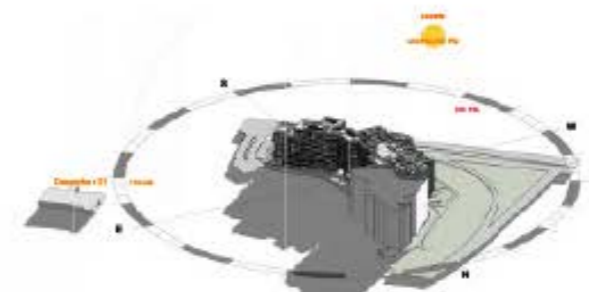
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A-4.01



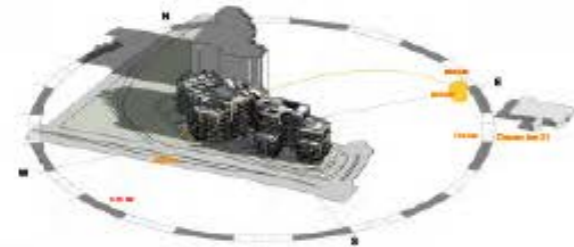
WINTER SOLSTICE 9 AM NORTH
SCALE:



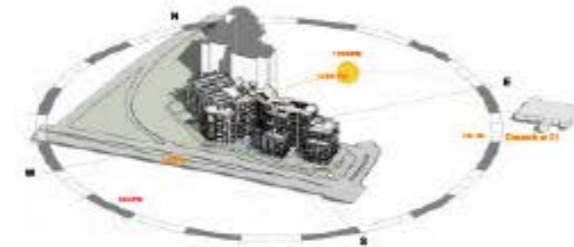
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SCALE:



WINTER SOLSTICE 4 PM NORTH
SCALE:



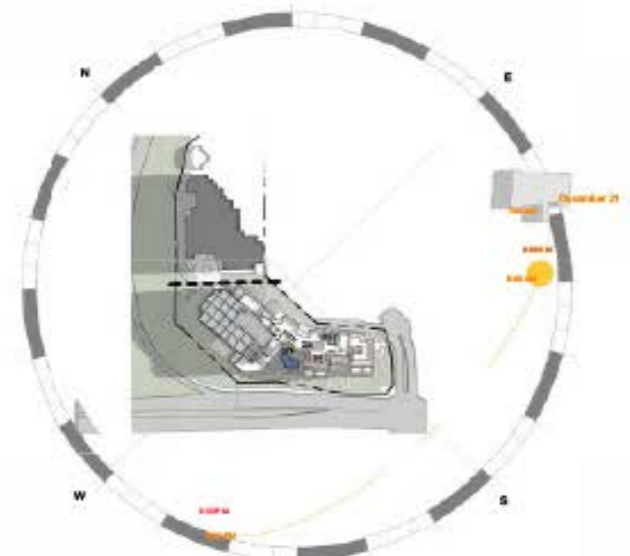
WINTER SOLSTICE 9 AM SOUTH
SCALE:



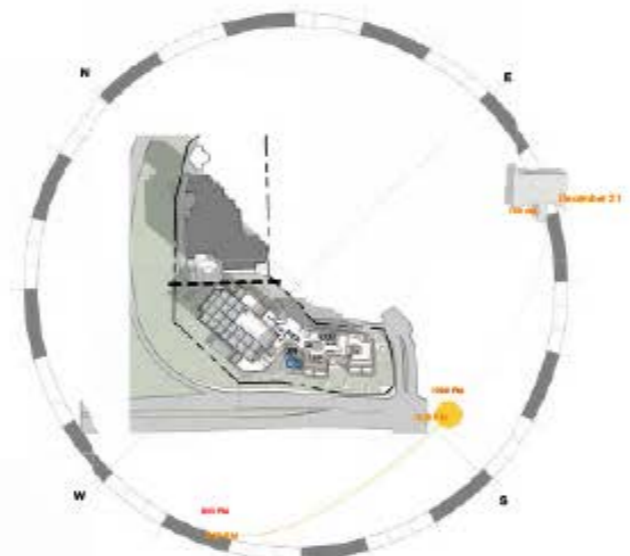
WINTER SOLSTICE 12 PM SOUTH
SCALE:



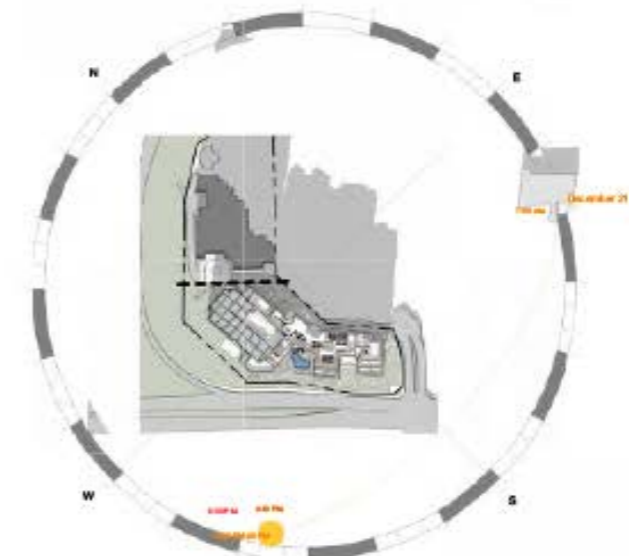
WINTER SOLSTICE 4 PM SOUTH
SCALE:



Site Plan - WINTER SOLSTICE 9 AM
SCALE: 1" = 200'-0"



Site Plan - WINTER SOLSTICE 12 PM
SCALE: 1" = 200'-0"



Site Plan - WINTER SOLSTICE 4 PM
SCALE: 1" = 200'-0"



STAGING PLAN



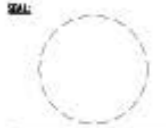
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400 LAUREL ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.776.1111 FAX: 954.776.1112

PROJECT:
WESTIN/AURA CYPRESS CREEK
200, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRC
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

STAGING PLAN

PHASE:
PDD SUBMITTAL

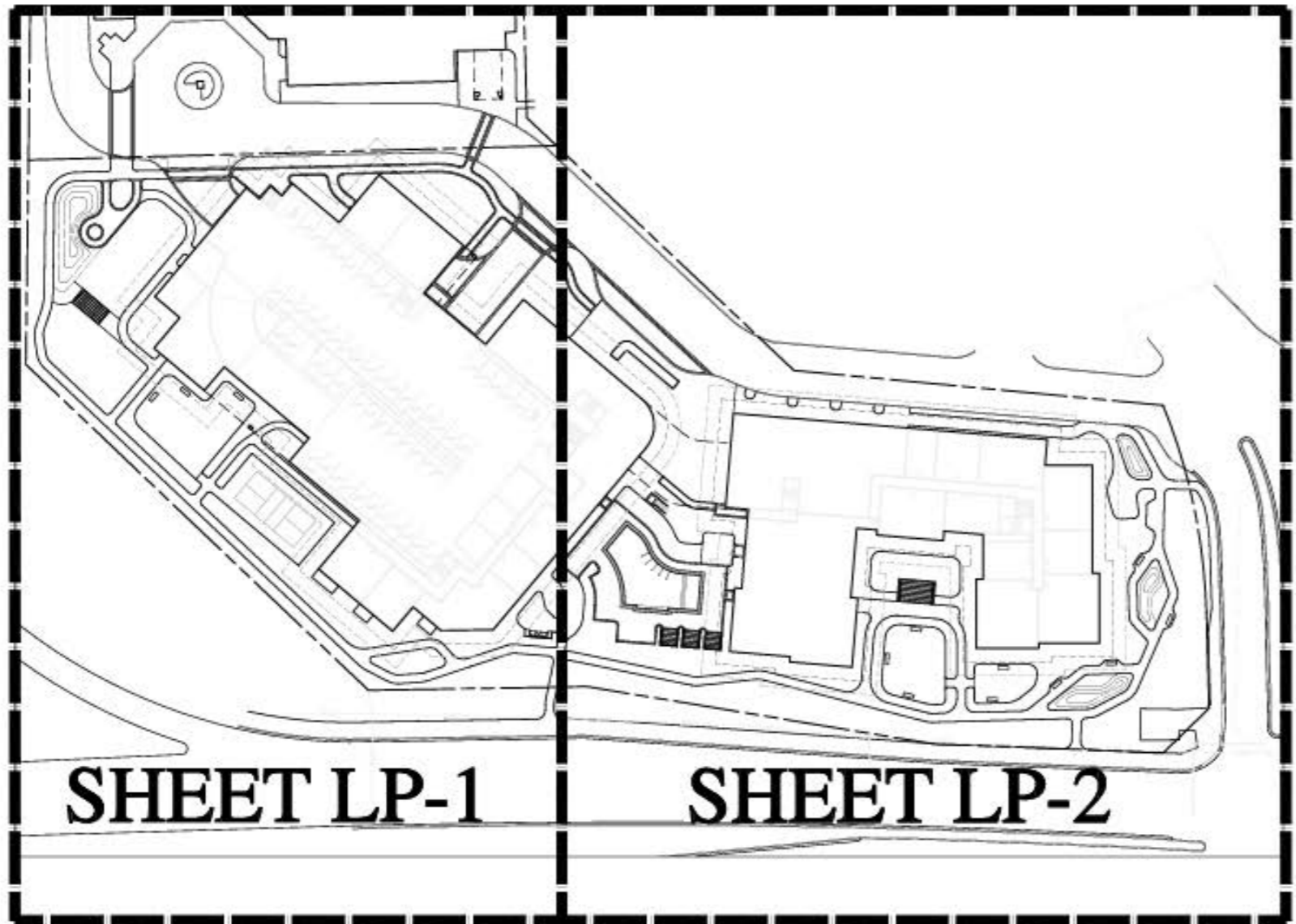


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DATE: 04/24/2023
FILE NO.: 2023-04
DESIGNER: TRINISIC
PROJECT: AURAC
PRINTED: 04/24/23 10:28 AM

SHEET NUMBER:
A-4.02

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SHEET LP-1

SHEET LP-2

LIST OF DRAWINGS	
SHEET	SHEET NAME
L-1	OVERALL SITE PLAN
L-2	ILLUSTRATED MASTER PLAN
L-3	LINEAR PARK PLAN
L-4	AURA COMMONS PARK PLAN
L-5	AMENITY AREA PLAN
L-6	SECTIONS
L-7	OPEN SPACE EXHIBIT
L-8	CPTED
LH-1	HARDSCAPE PLAN
LH-2	HARDSCAPE PLAN
LP-1	PLANTING PLAN
LP-2	PLANTING PLAN
LP-3	PLANTING DETAILS AND NOTES
LP-4	PLANTING TABULATIONS
LP-5	HYDROZONE PLAN
TD-1	TREE DISPOSITION PLAN
TD-2	TREE DISPOSITION PLAN
TD-3	TREE DISPOSITION LIST
TD-4	TREE DISPOSITION PLAN
LD-1	DETAILS



BASE INFORMATION TAKEN FROM GORDON ARCHITECTS

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AURA CYPRESS CREEK
 City of Fort Lauderdale
OVERALL SITE PLAN



L-1

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Aura Cypress Creek Legend:

- A. Linear Park
- B. Retail & Lobby Plaza
- C. Aura Commons Park
- D. Sculptural Earthwork
- E. Amenities & Pool Deck
- F. Community Courtyard
- G. Wellness Track
- H. Dog Park
- I. Putting Green
- J. Pickleball Court

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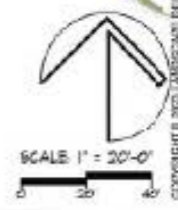
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AURA CYPRESS CREEK
City of Fort Lauderdale
ILLUSTRATED MASTER PLAN

DATE	DESCRIPTION
MAY 15, 2024	REVISED
APRIL 18, 2024	REVISED
NOVEMBER 15, 2023	REVISED
DATE	DESCRIPTION
MAY 15, 2024	REVISED
DATE	DESCRIPTION
MAY 15, 2024	REVISED



L-2

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Mood Images:



Paving



Sculptural Earthwork



Park Furniture



Lushly Planted Walkway



Linear Park Legend

1. Lushly planted walkway
2. Sculptural earthwork
3. Dining Court
4. Rain Garden
5. Bike Racks
6. Benches & Trash Receptacles
7. Connect to Future Starbucks
8. Connect to future Cypress Creek Mobility Path



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AURA CYPRESS CREEK
City of Fort Lauderdale
LINEAR PARK PLAN

MAY 17, 2023
APRIL 10, 2023
NOVEMBER 23, 2022

NOVEMBER 16, 2022

100%

DATE: 11/16/22

BY: [Signature]

APPROVED BY: [Signature]

SCALE: AS SHOWN

DATE: 11/16/22

BY: [Signature]

APPROVED BY: [Signature]

L-3

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Mood Images:



Sculptural Earthwork



Event Lawn



Specialty paving



Lush Planting

Aura Commons Park Legend

1. Shade Trellis
2. Bike Rack
3. Event Lawn / Flex Lawn
4. Sculptural Earthwork
5. Dining Court
6. Benches & Trash Receptacles
7. Dog Park
8. Putting Green
9. Pickleball Court
10. Connect to Hotel



Furniture



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AURA CYPRESS CREEK

City of Fort Lauderdale

AURA COMMONS PARK PLAN

MEAN 17, 2024
 APRIL 16, 2024
 NOVEMBER 15, 2023
 DATE
 DRAWN BY
 APPROVED BY

L-4

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Mood Images:



Dining Court



Pool Spout



Cabana



Amenity Area Legend

1. Swimming Pool w/ Deck-Level Grate
2. Water Spout
3. 10' x 10' Aluminum Cabanas
4. Lounging Area w/ Artificial Sed
5. Dining Plaza w/ Summer Kitchen
6. Bocce court
7. Trellis w/ Flowering Vines
8. Dog park
9. Community Lawn
10. Connect to future Cypress Creek Mobility Path



Lush Planting



Dog Park



Bocce Court



Bench & Trash



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AURA CYPRESS CREEK
 City of Fort Lauderdale
AMENITY AREA PLAN

REVISED: MAY 17, 2023
 APRIL 18, 2017
 NOVEMBER 13, 2012
 NOVEMBER 13, 2009
 DATE: 04/17/2023
 DRAWN BY: [Signature]
 APPROVED BY: [Signature]

L-5

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Linear Park Section B-B'
Scale: 3/16"=1'-0"



Street Tree Cross Section A-A'
Scale: 3/16"=1'-0"



Wellness Track Section C-C'
Scale: 3/16"=1'-0"

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AURA CYPRESS CREEK
City of Fort Lauderdale
SECTIONS

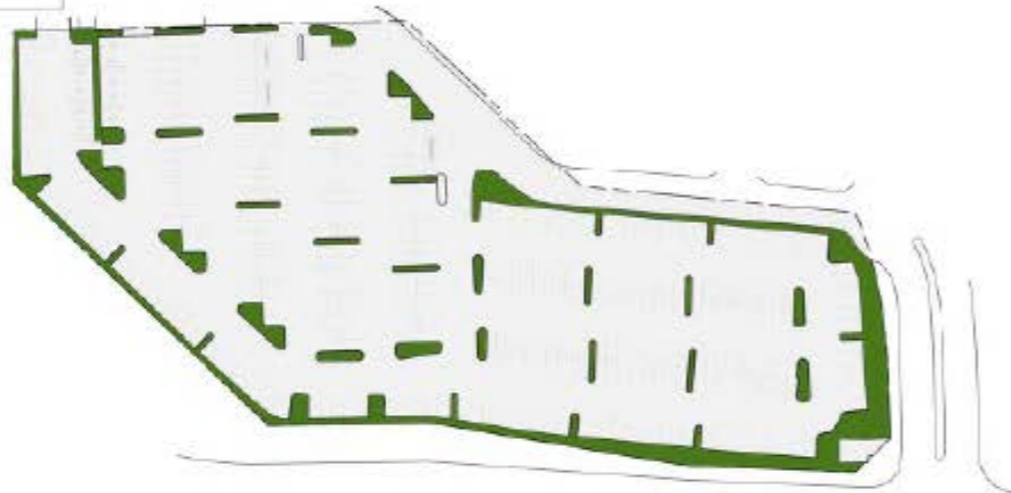
JUNE 2, 2023
MAY 17, 2023
APRIL 18, 2023
NOVEMBER 13, 2022
NOVEMBER 15, 2022
MAY 17, 2022
MAY 17, 2022

L-6

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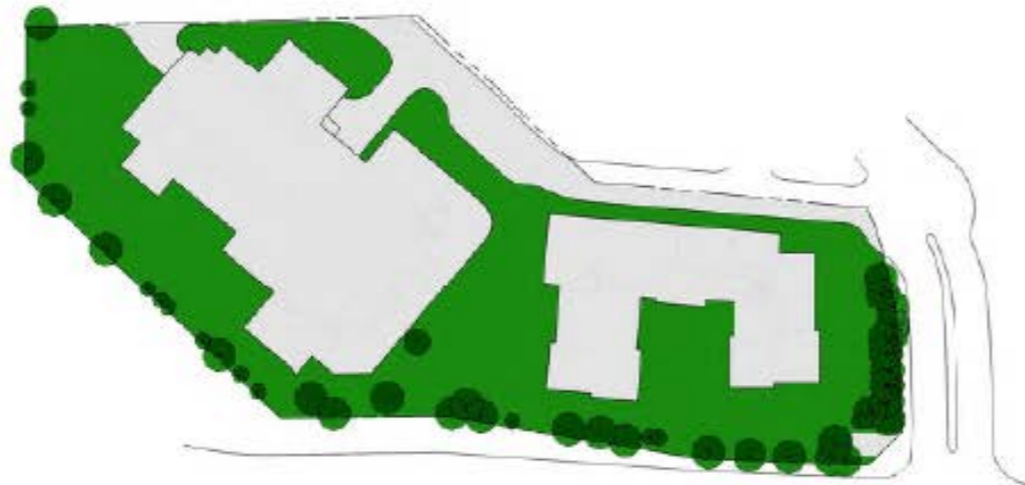
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Existing

■	Open space	18,411 sf
■	Impervious area	137,043 sf



Proposed

■	Open space	80,204 sf
■	Impervious area	75,397 sf

Note: Significantly more than **triple** the open space of existing conditions

Existing Trees to Remain

- Existing trees/palms to remain

Note: Total 696' DBH of preserved trees

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AURA CYPRESS CREEK
City of Fort Lauderdale
OPEN SPACE EXHIBIT

SEAL 17, 2012
APRIL 16, 2012
NOVEMBER 15, 2012
NOVEMBER 15, 2012
DATE
DATE
DATE
DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

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DATE

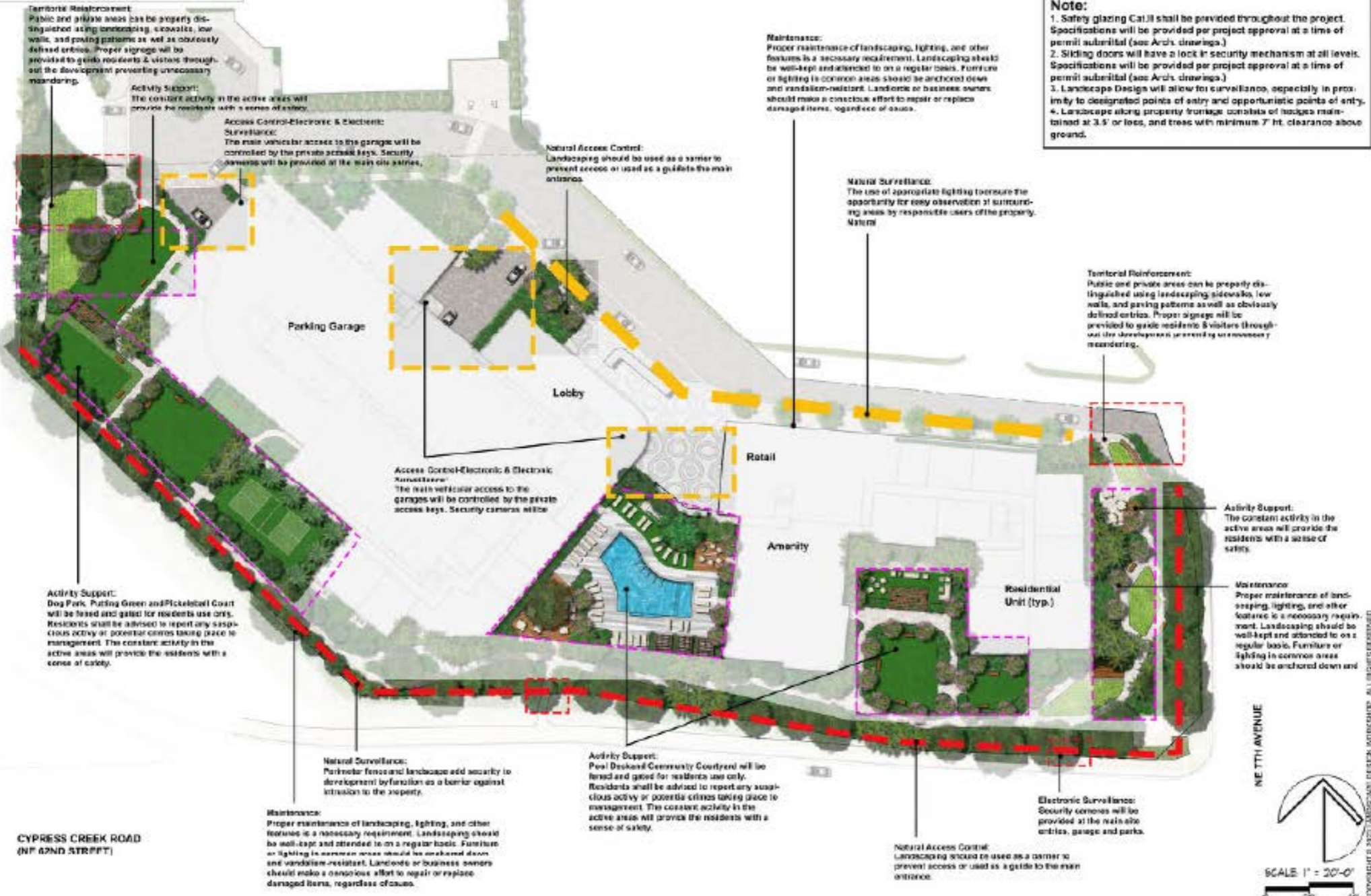
DATE

L-7

WESTIN HOTEL
FORT LAUDERDALE

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Note:
1. Safety glazing Cat II shall be provided throughout the project. Specifications will be provided per project approval at a time of permit submittal (see Arch. drawings.)
2. Sliding doors will have a lock in security mechanism at all levels. Specifications will be provided per project approval at a time of permit submittal (see Arch. drawings.)
3. Landscape Design will allow for surveillance, especially in proximity to designated points of entry and opportunistic points of entry.
4. Landscaping along property frontage consists of bushes maintained at 3.5' or less, and trees with minimum 7' ht. clearance above ground.



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AURA CYPRESS CREEK
City of Fort Lauderdale
Crime Prevention Through Environmental Design (CPTED)

DATE	DESCRIPTION
MAY 17, 2023	REVISED
APRIL 26, 2023	REVISED
MAY 17, 2023	REVISED
MAY 17, 2023	REVISED
MAY 17, 2023	REVISED
MAY 17, 2023	REVISED
MAY 17, 2023	REVISED

L-8

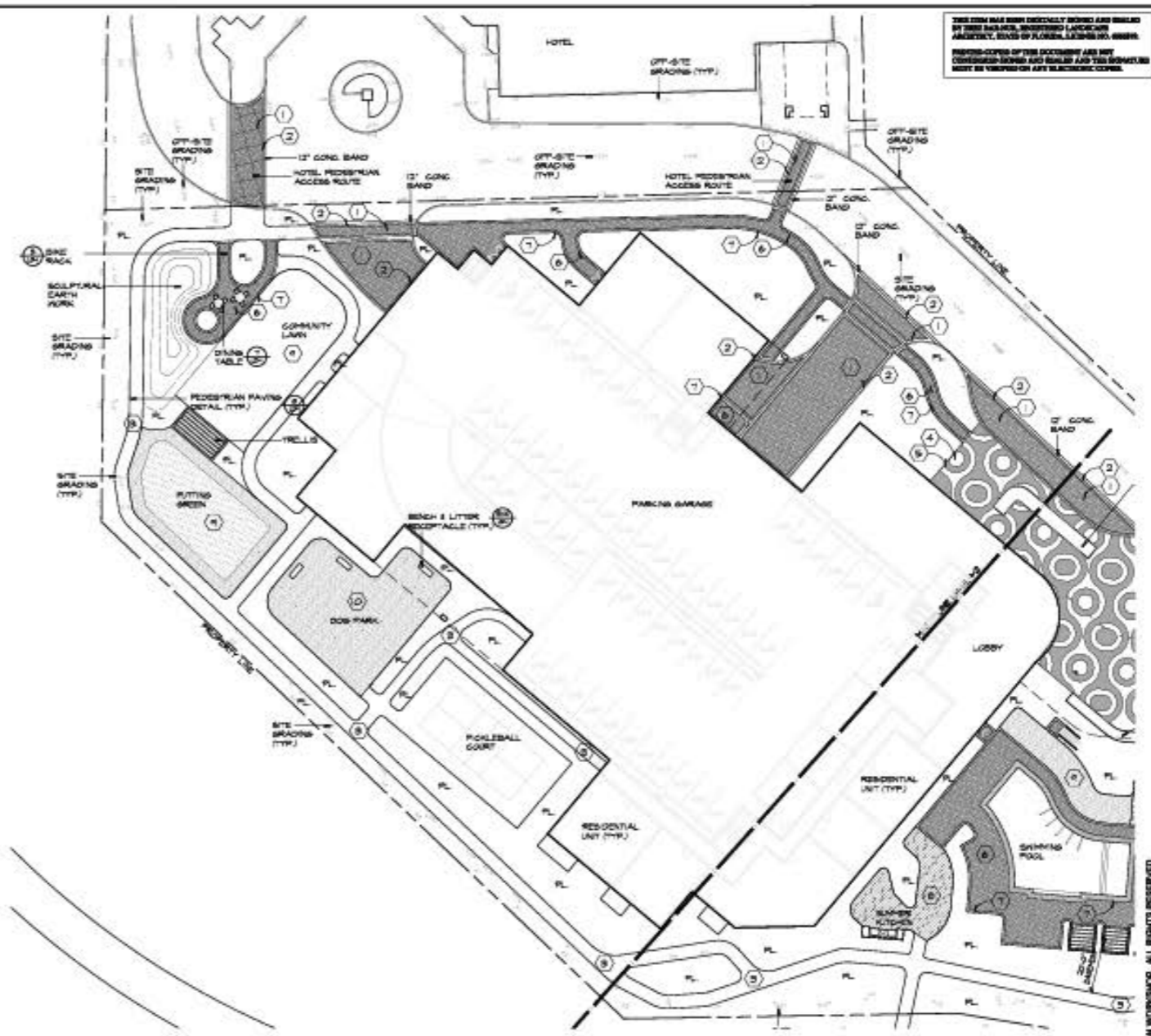
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HARDSCAPE MATERIALS

- 1 DRIVEWAY PAVEMENT FIELD: 6"x6" x 6"x6" APRIAN PAVEMENT BY BELGARD OR APPROVED EQUAL, PATTERN: RANDOM (SEE DETAIL), COLOR: SLATE
- 2 DRIVEWAY PAVEMENT SAND: 6"x6" APRIAN PAVEMENT BY BELGARD OR APPROVED EQUAL, PATTERN: 1" WIDE SOLDIER COURSE, COLOR: SLATE
- 3 WALKWAY PAVEMENT: 8"x12" MODULINE PAVEMENT BY BELGARD OR APPROVED EQUAL, PATTERN: RADIAL RUNNING BOND, COLOR: TITANIUM
- 4 PLAZA PAVEMENT 1: 4"x8" PAVEMENT BY BELGARD OR APPROVED EQUAL, PATTERN: RUNNING BOND, COLOR: TITANIUM
- 5 PLAZA PAVEMENT 2: 4"x8" PAVEMENT BY BELGARD OR APPROVED EQUAL, PATTERN: RUNNING BOND, COLOR: CHARCOAL
- 6 PARK & POOL DECK PAVEMENT FIELD: 6"x6" x 6"x6" APRIAN PAVEMENT BY BELGARD OR APPROVED EQUAL, PATTERN: RANDOM, COLOR: TITANIUM
- 7 PARK & POOL DECK PAVEMENT SAND: 6"x6" APRIAN PAVEMENT BY BELGARD OR APPROVED EQUAL, PATTERN: 1" WIDE SOLDIER COURSE, COLOR: TITANIUM
- 8 WOOD PORCELAIN PAVEMENT: 12"x24" HKE BY CAESAR, OR APPROVED EQUAL, COLOR: LODGE IV TEXTURED FINISH
- 9 ARTIFICIAL SOG: SYN AUGUSTINE-1 BY SYNLAWN, OR APPROVED EQUAL
- 10 DOG PARK ARTIFICIAL SOG: PET PREMIUM ARTIFICIAL TURF BY SYNLAWN, OR APPROVED EQUAL, INSTALL WITH ZEOLITE ODOR REDUCING MIX OVER COMPACTED CLASS II ROAD AGGREGATE BASE AS RECOMMENDED BY MANUFACTURER

NOTES

- USE THIS PLAN FOR PAVEMENT SELECTION ONLY. USE CIVIL ENGINEERING PAVEMENT & MARKINGS PLANS FOR LOCATION AND SPECIFICATIONS OF PAVEMENT MARKINGS
- PAVEMENT CONTRACTOR SHALL PROVIDE PAVING MOCK UP FOR ALL PAVING DETAILS & COLORS FOR OWNER & LANDSCAPE ARCHITECT APPROVAL
- SUBMIT ALL STONE AND GROUT COLOR FOR OWNER & LANDSCAPE ARCHITECT APPROVAL
- INSTALL PAVEMENT IN SAND & COMPACTED SUBGRADE AS SPECIFIED BY CIVIL ENGINEER
- ALL PAVED SURFACES SHALL MEET ALL ADA REGULATIONS
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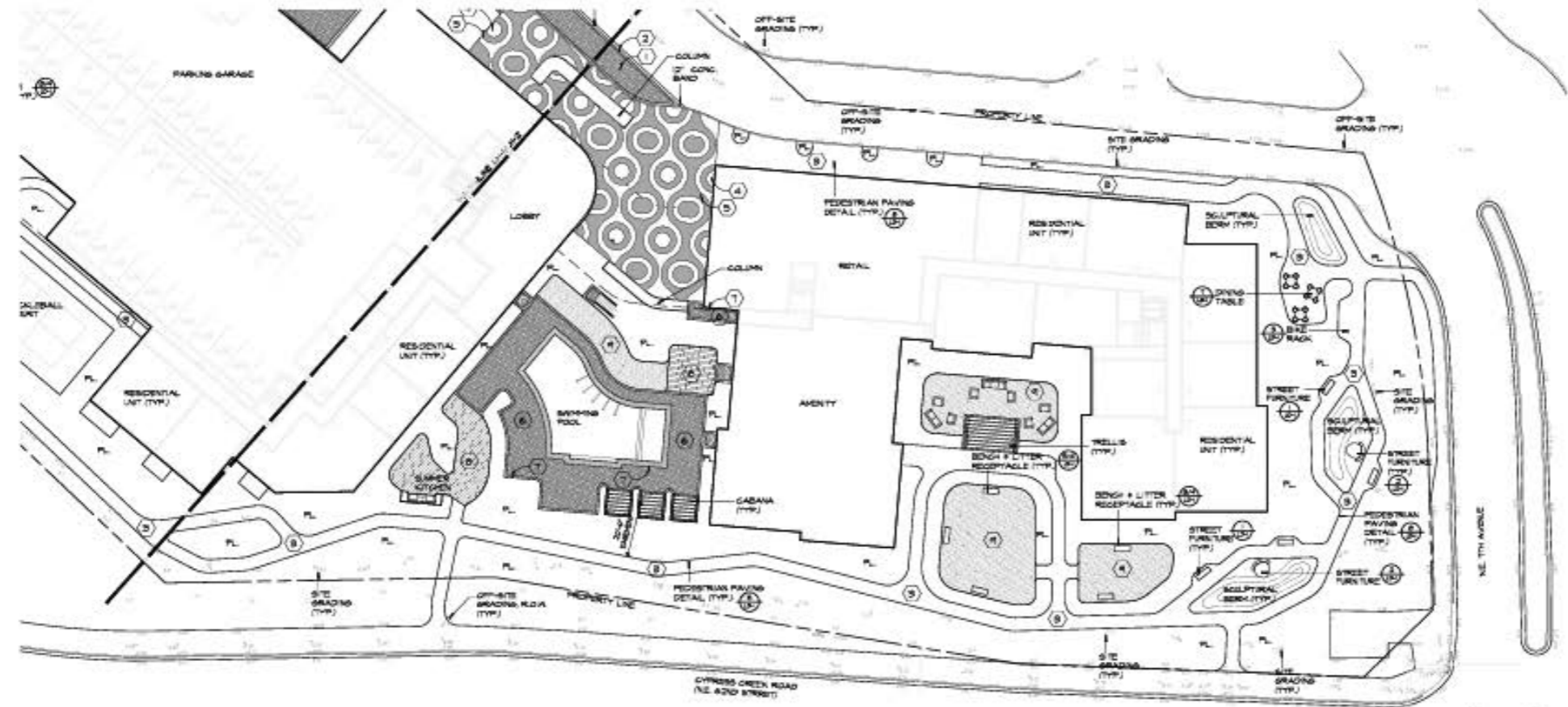


AURA CYPRESS CREEK
City of Fort Lauderdale
HARDSCAPE PLAN



LH-1

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- ② DRIVEWAY PAVEMENT BAND: 6" x 6" x 3/4" ASPHALT PAVEMENT BY BELMONT OR APPROVED EQUAL, PATTERN: 1" WIDE SOLDIER COURSE COLOR: SLATE
- ③ PLAZA PAVEMENT: 6" x 6" MODULINE PAVEMENT BY BELMONT OR APPROVED EQUAL, PATTERN: RADIAL RUNNING BAND COLOR: TITANIUM
- ④ PLAZA PAVEMENT 1: 4" x 6" PAVEMENT BY BELMONT OR APPROVED EQUAL, PATTERN: RUNNING BAND COLOR: TITANIUM
- ⑤ PLAZA PAVEMENT 2: 4" x 6" PAVEMENT BY BELMONT OR APPROVED EQUAL, PATTERN: RUNNING BAND COLOR: CHARCOAL
- ⑥ POOL & POOL DECK PAVEMENT FIELD: 6" x 6" x 3/4" ASPHALT PAVEMENT BY BELMONT OR APPROVED EQUAL, PATTERN: RANDOM COLOR: TITANIUM
- ⑦ POOL & POOL DECK PAVEMENT BAND: 6" x 6" x 3/4" ASPHALT PAVEMENT BY BELMONT OR APPROVED EQUAL, PATTERN: 1" WIDE SOLDIER COURSE COLOR: TITANIUM
- ⑧ ROUGH PORCELAIN PAVEMENT: 12" x 12" x 1/2" BY CARBON OR APPROVED EQUAL, COLOR: LOOKS IVY TEXTURED FINISH
- ⑨ ARTIFICIAL SAND: 8/16" GRANULOMETER BY SYLVARC OR APPROVED EQUAL
- ⑩ DOG PARK ARTIFICIAL SAND: PET FRIENDLY ARTIFICIAL TURF BY SYLVARC OR APPROVED EQUAL, INSTALL WITH 200% TO 300% REDUCING MIX OVER COMPACTED CLASS 1 ROAD APPROPRIATE SAND AS RECOMMENDED BY MANUFACTURER

NOTES

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AURA CYPRESS CREEK
City of Fort Lauderdale
HARDSCAPE PLAN



LH-2

Plant List LP-1
Dwarf & Tree

Key	Qty	Water Need	Botanical/Common Name	Height	Spread	Trunk	Remarks
BT	1	Low	Bursera simaruba* Gumbo Limbo	20	20	12 DBH	Specimen Grazing Full sun, Matched Stem, Full sun
CD	12	Medium	Conocarpus gracilior Windward Tree	6	7	8" C.T.	
CM	25	Low	Coconut Palms Majesty Coconut Palm	40-22 O.A.	7' 0" O.V.		Full Sun Grazing Certified
K	20	Low	Red Ironwood East Palms Holly	4	6		Full to full sun, Full of State Trunk
PE	3	Medium	Flame Tree Alexander Palm	40	40	12" DBH @ 4' C.T.	Heavy, Full Florida Palm
PL	1	Low	Redwood Soleira Palm	10-14	12		Stemless Full sun, Matched
Q	1	Low	Queen Palm Lily Palm	10	10	8" DBH	
SE	8	Medium	Seagrape Florida Red Palm	10-15	10-15	4" C.T.	
SP	16	Low	Spine Palm Cabbage Palm	10-14	10-14	4" C.T.	
WD	3	Medium	Windward Palm Majesty Palm	40	40	12" DBH @ 4' C.T.	Heavy, Full, No Side Trunk

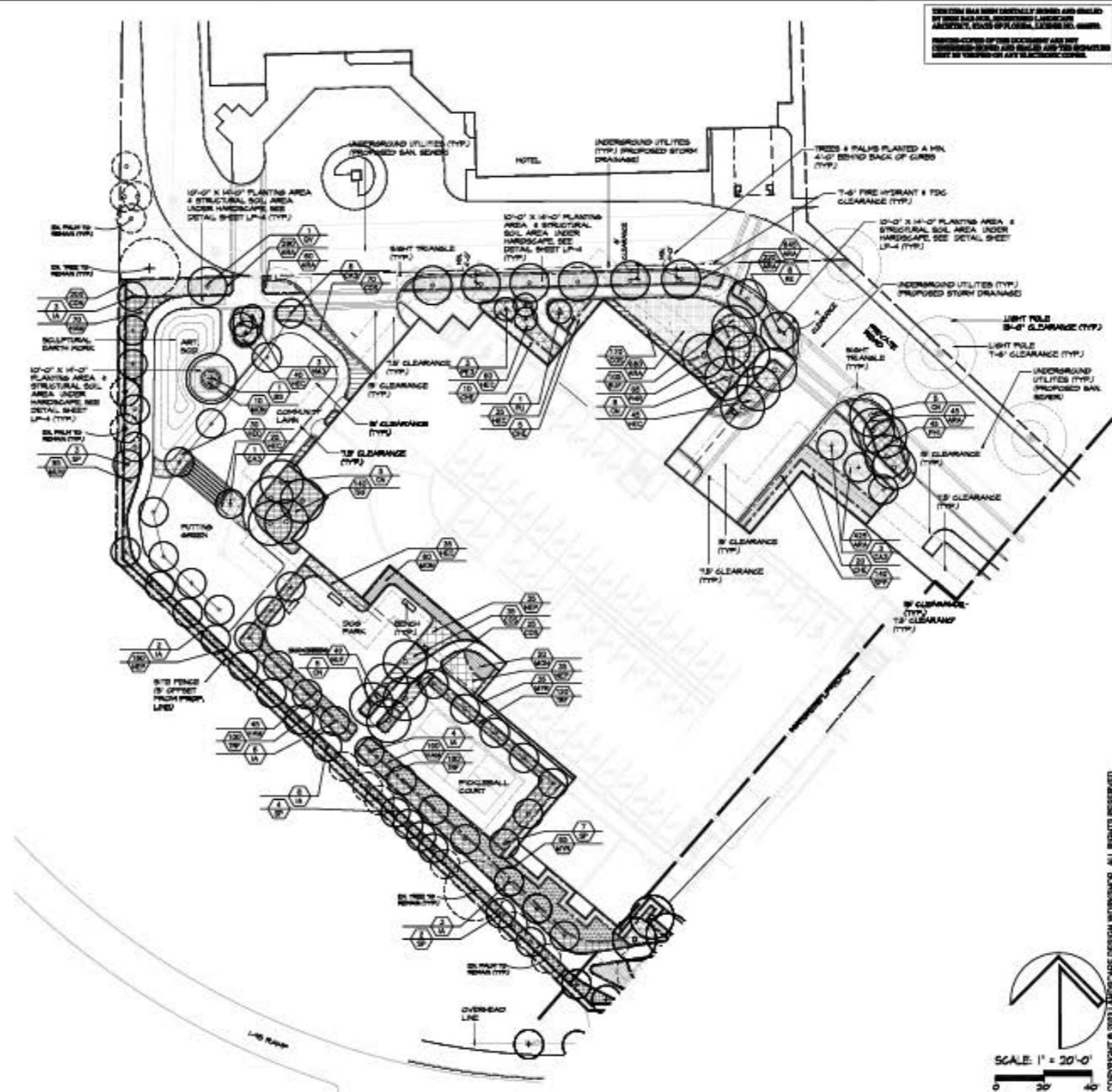
Shrub & Groundcover

Key	Qty	Water Need	Botanical/Common Name	Height	Spread	Trunk	Remarks
ARA	200	Low	Ardisia glabra Florida Pearl	15	15		Full & dense solid set and color
BIF	140	Low	Boltonia floridana Dwarf Candy	6	6		Full, 10" db
CHR	30	Shade	Chorizanthe exoniensis Baldwin Palm	6	6		Full, multiple, slightly T get material
CON	200	Low	Conocarpus erectus* Green Broomcorn	30	24		Full, 24" db
COE	300	Shade	Cordia alliodora 'Red Button' Red Button Ginger	30	24		Full, 24" db
HAF	200	Low	Hemelia patens 'Compacta' Dwarf Fire Bush	24	24		Full, 24" db
HIC	200	Shade	Hibiscus syriacus Lady Di	24	24		Full, 24" db
MOY	60	Shade	Moroneja tomentosa Giant Orange	24	24		Full, 24" db
MUH	120	Low	Muhlenbergia capillaris Misty Grass	24	24		Full, 24" db
MYR	100	Low	Myrica aspera Sweet Myrtle	24	24		Full, 24" db
SPH	200	Shade	Spathoglottis hirsuta 'Bambusa' Bambusa Palm	24	24		Full, 24" db
PH	40	Medium	Philodendron Soft Leaf Philodendron	24	24		Full, 24" db
PHS	60	Medium	Philodendron Philodendron 'Red Congo'	24	24		Full, 24" db
SPR	140	Medium	Spathoglottis Spathoglottis Palm	18	18		Full, 18" db, 100% Garden 50-750-378
TYP	500	Low	Typha latifolia Dwarf Palmetto Grass	24	24		Full, 24" db

MISCELLANEOUS
* Indicates Native Plant Material

NOTES

1. Soil - All soil to be St. Augustine Grade County soil and
2. All plants to be landscape contractor to all provide 2" depth of mulch over all planting beds and as per planting specifications
3. Use of 2" landscape fabric between planting plants and plant material covering plant base is required.
4. All landscape areas to receive 100% irrigation coverage with 100% coverage
5. Detailed irrigation requirements by each site plan



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AURA CYPRESS CREEK
City of Fort Lauderdale
PLANTING PLAN



LP-1

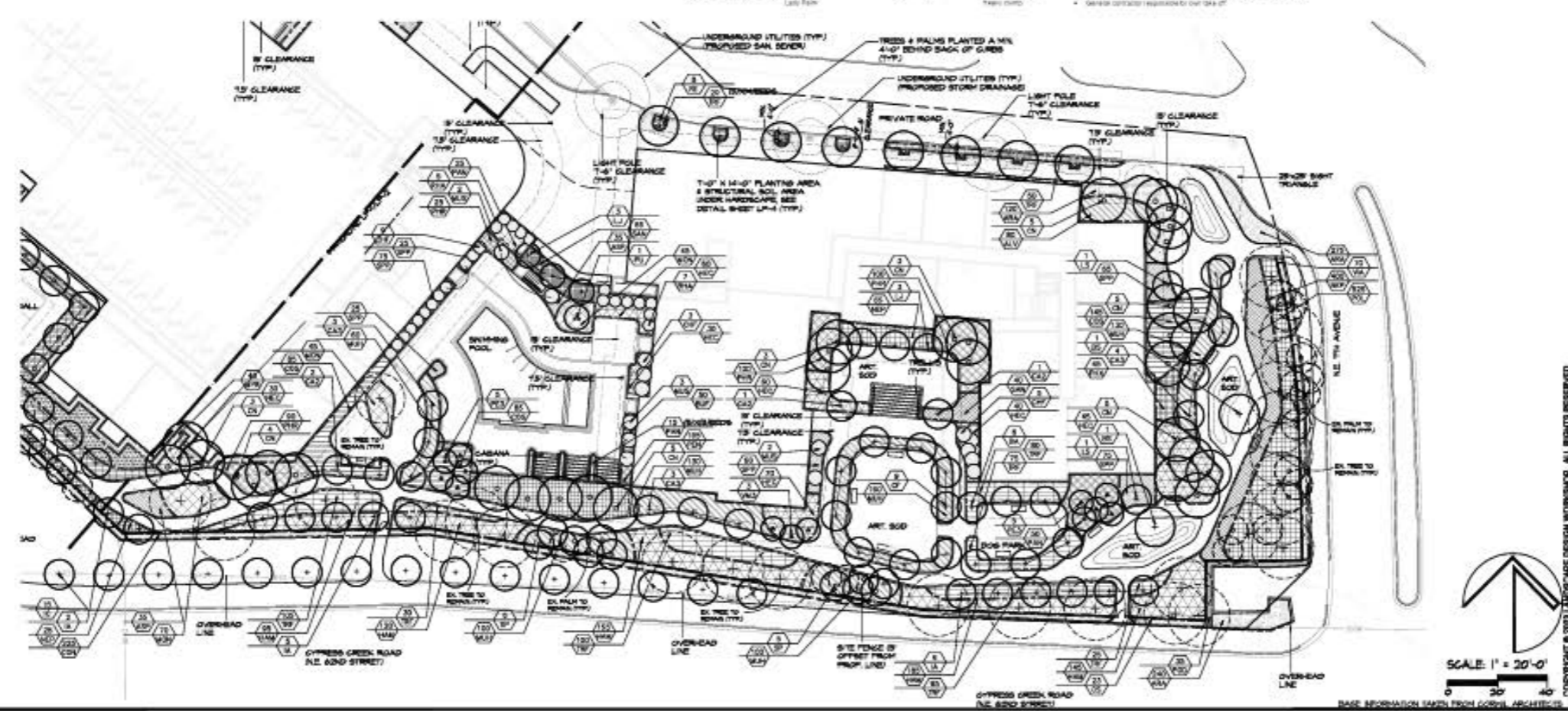
Plant List LP-2

Table with 4 columns: Key, Qty, Avail. Name, Botanical/Common Name. Lists various plant species and their quantities.

Table with 10 columns: Height, Spread, Trunk, Remarks, Strata, Species, Botanical/Common Name, Height, Spread, Trunk, Remarks. Provides detailed specifications for each plant, including height, spread, trunk diameter, and specific botanical names.

NOTES:
1. See all notes to be in August, Chrome Domes and all...
2. 3" max of the clearance between planting items and plant out, planting items please present...
3. All to show a tree to show 100% of water coverage with 100% water...
4. General contractor responsible for our take off.

DESIGN HAS BEEN CAREFULLY REVIEWED AND CHECKED BY THE DESIGNER, LANSKAP DESIGN WORKSHOP ARCHITECTS, L.L.C. FOR ACCURACY, CLARITY, AND COMPLETENESS. THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE SIGNATURE AND SEAL OF THE REGISTERED PROFESSIONAL ARCHITECT.



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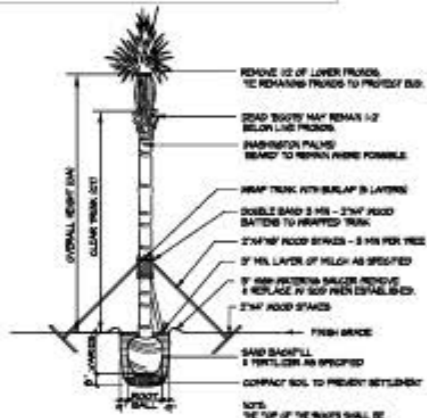


AURA CYPRESS CREEK

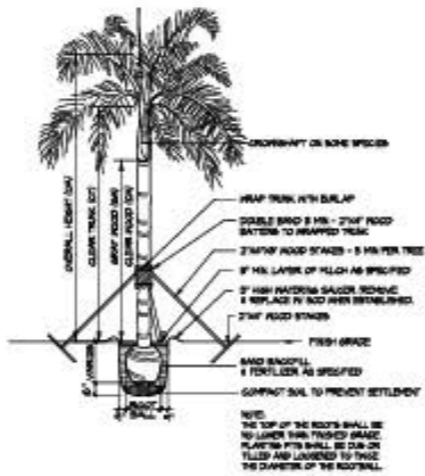
City of Fort Lauderdale

PLANTING PLAN

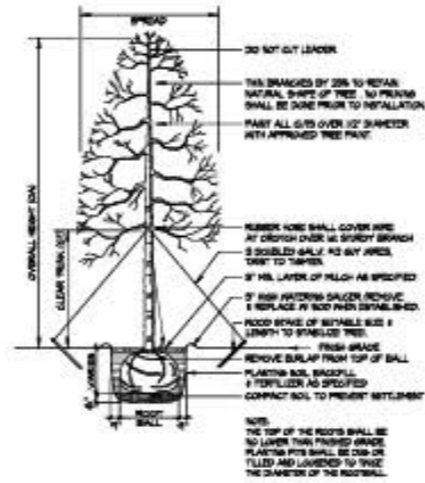
LP-2



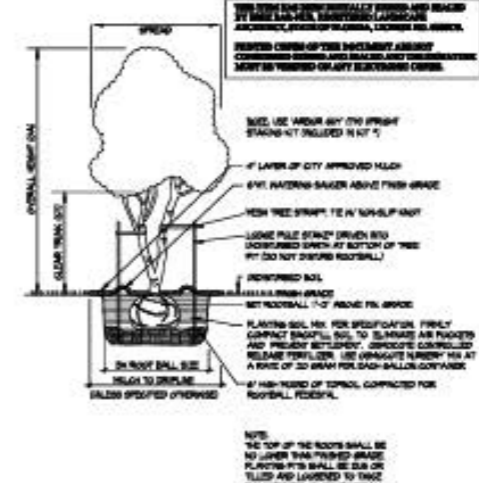
SABAL / WASHINGTON PALM PLANTING DETAIL
N.T.S.



TYPICAL PALM PLANTING DETAIL
N.T.S.



TYPICAL TREE PLANTING DETAIL
N.T.S.



MULTI TRUNK TREE PLANTING DETAIL
N.T.S.

- GENERAL NOTES**
- All plant materials shall conform to the standards for Florida No. 1 or better as given in "Grades and Standards for Nursery Plants", 3rd Edition, February 1990, State of Florida Department of Agriculture, Tallahassee, or thereto.
 - All landscape areas to be provided with a 100% automatic irrigation system.
 - All landscaping and irrigation shall be installed in a sound workmanlike manner and according to accepted and proper planting procedures with the quality of plant materials described.
 - Specifications of plant materials as follows: Spread-indicates average spread to nearest height (S.A.)-indicates overall height from top of root ball to highest of current season's growth; C.T.-indicates clear trunk measurement to first branching; Ft. of Plant-indicates measurement on points from top of ball to top of stems.
 - All trees shall be properly gaged and staked at the time of planting to ensure proper establishment.
 - Hedges shall be planted and maintained so as to form a continuous, uniform, solid visual screen.
 - All sod areas to be St. Augustine 'Florador' solid sod.
 - Planting soil: the depth of the root ball and twice the diameter of the root ball for palms & trees, 6 inches for shrubs & groundcover, 2 inches for sod.
 - Landscape areas, including landscape islands, within or abutting vehicular use areas shall be excavated to a depth of 25 feet to ensure 90% adequate planting soil exists. Parking lot base course material, line rock, asphalt and other similar material shall be removed to a depth of 25 feet.
 - A minimum of three inches of shredded mulch or ground cover shall be installed around each tree planting, including palm trees, and throughout hedge and shrub plantings.
 - The contractor is responsible for his own quantity count. Any discrepancy between drawings and plant list shall be considered as correct on the drawings.
 - The landscape contractor shall schedule an on-site pre-construction meeting with the City Landscaper.

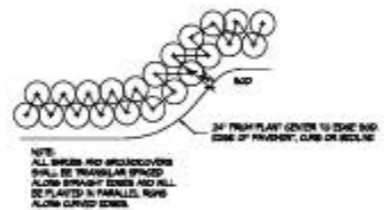
PLANTING SOIL:
GRADE LEVEL SOIL: 50/50 MIX BY ATLAS PEAT & SOIL, OR APPROVED EQUAL FOR TREES, SHRUBS & GROUNDCOVER (261-734-7360)

RECREATION DECK PLANTERS: 80% COARSE SAND & 20% FLORIDA PEAT MIX BY ATLAS PEAT & SOIL, OR APPROVED EQUAL (261-734-7360)

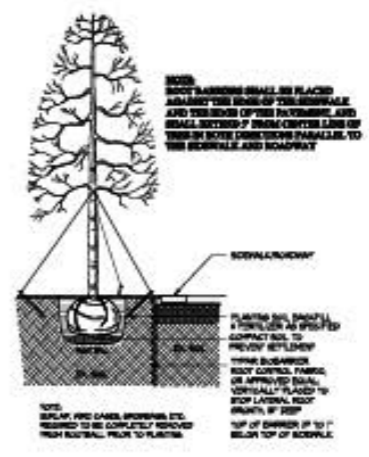
SOIL SAMPLE TOGETHER WITH CERTIFIED SOIL ANALYSIS REPORT MUST BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION

MULCH:
PREMIUM GREEN SMART MULCH/ALBUQU MULCH BY AMERIKROW, OR APPROVED EQUAL (261-489-8148)

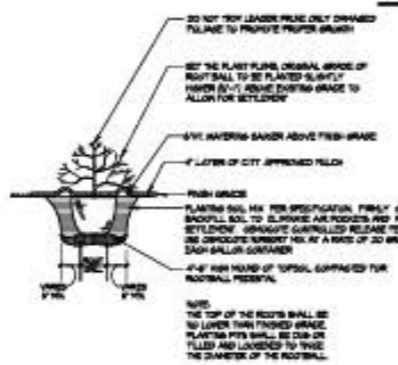
MULCH SAMPLE TOGETHER WITH CERTIFIED ANALYSIS REPORT MUST BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION



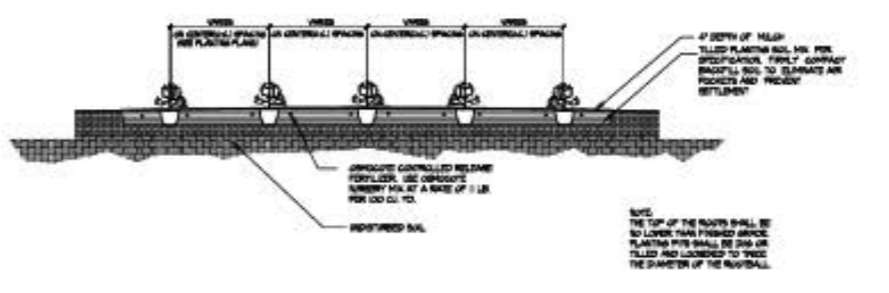
TYPICAL SMALL SHRUB / GROUNDCOVER PLANTING DETAIL
N.T.S.



TYPICAL ROOT BARRIER DETAIL
N.T.S.



TYPICAL SHRUB / GROUNDCOVER PLANTING DETAIL
N.T.S.



TYPICAL SMALL SHRUB / GROUNDCOVER PLANTING DETAIL
N.T.S.

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TRINISI
Landscape Architecture

AURA CYPRESS CREEK
City of Fort Lauderdale
PLANTING DETAILS AND NOTES

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LP-3

Landscape Requirements

Zoning District: RRM-4C

Net Lot Area: 155,454 s.f.

Landscape area:	REQUIRED	PROVIDED
A. Landscape area requirement: min. 25% x Net Lot Area (Sec. 47-21.13 B.3.) 35% x Net Lot Area 155,454 s.f. = 54,409 s.f.	54,409 s.f.	65,721 s.f.
Trees:		
A. Number of trees required: (1) tree / 1,000 s.f. (Sec. 47-21.13 B.1.a.) Net Lot Area 155,454 s.f. / 1,000 s.f. = 155	65	159
B. Shade trees required: 20% of req. trees (Sec. 47-21.13 B.1.a.) Number of required trees: 55 x 20% = 31	31	36
C. Palm trees required: max. 20% of req. trees Number of required trees: 55 x 20% = 31	31	31
D. Number of native trees required: 40% of req. trees (Sec. 47-21.13 B.1.b.) Number of required trees: 55 x 40% = 22	22	23
E. Number of STREET trees required: (1) tree / 40 L.F. (Sec. 47-21.13 B.1.c.) Length of street frontage: 340 L.F. / 40 L.F. = 8.5	9	11
F. Street Shade trees required: 50% of req. street trees (Sec. 47-21.13 B.1.c.) Number of required Street Trees x 50% = 4.5	5	11
G. Number of Required Species (Sec. 47-21.8.F.) (5) or more trees required: a minimum of (5) species	5 species	10 species
Shrubs:		
A. Number of shrubs required: (1) shrub / 1,000 s.f. (Sec. 47-21.13 B.1.d.) 12 s (Net Lot Area 155,454 s.f. / 1,000 s.f.) = 106	1,966	2,069
B. Number of native shrubs required: 40% of req. shrubs (Sec. 47-21.13 B.1.d.) Number of required shrubs: 1966 x 40% = 786	786	1,482
C. Turfgrass areas required: max. 50% of landscape area (Sec. 47-21.8.X.2.) 55% x req. Landscape area 54,409 s.f. = 29,925 s.f.	min. 27,205 s.f.	2,264

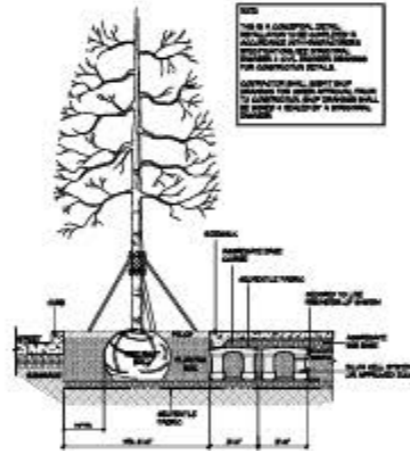
* Total provided trees include 31 existing trees to be preserved

Minimum Vehicular Use Area (VUA) Requirements

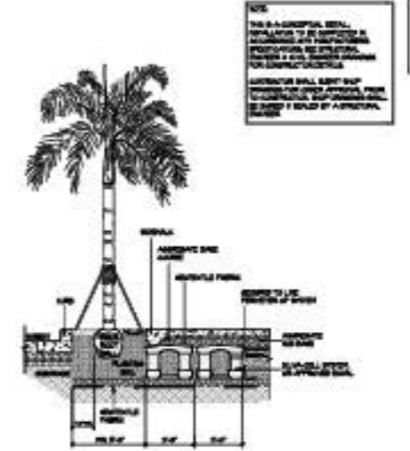
Sec. 47-21.12

Total VUA: 5,830 s.f.

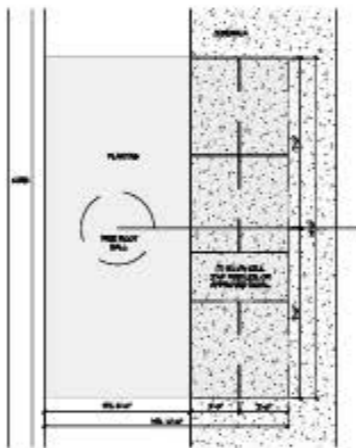
VUA Landscape area:	REQUIRED	PROVIDED
A. VUA Landscaping requirement: 20% of VUA area (Sec. 47-21.12 A.1.) 20% x 5,830 = 1,166 s.f.	1,166 s.f.	2,118 s.f.
B. VUA Landscaping Area: 30 sq. ft. per parking space (Sec. 47-21.12 A.3.) 30 s.f. x (2) parking spaces = 60 s.f.	60 s.f.	228 s.f.
VUA Trees:		
A. Number of trees required: 1 tree per 1,000 sq. ft. of VUA area (Sec. 47-21.12 C.1.) 5,830 sq. ft. / 1,000 sq. ft. = 6	6	6
B. Shade trees required: 25% trees w/ min. 3 1/2" trunk caliper (Sec. 47-21.12 C.1.a.) Number of required shade trees: 6 x 25% = 1.5	2	3
C. Shade trees required: 15% trees w/ min. 2 1/2" trunk caliper (Sec. 47-21.12 C.1.b.) Number of required trees: 6 x 15% = 1	1	2
D. Flowering trees required: 25% flowering trees (Sec. 47-21.12 C.1.c.) Number of required trees: 6 x 20% = 1.2	1	2
E. Palm trees required: max. 25% palm trees (Sec. 47-21.12 C.1.d.) Number of required trees: 6 x 20% = 1.2	1	1
F. Number of native trees: 50% native and/or drought tolerant (Sec. 47-21.8.S.2.) Number of required trees: 6 x 50% = 3	3	3
VUA Shrubs:		
A. Number of required shrubs: (10) shrubs per required tree (Sec. 47-21.12 C.1.) (10) x 6 = 60	60	360
B. Number of required native shrubs: 55% native / drought tolerant (Sec. 47-21.8.S.2.) Number of required shrubs: 50% x 60 = 33	33	30



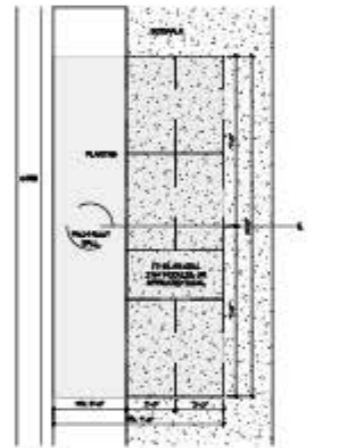
1 STRUCTURAL SOIL TYPICAL DETAIL
SCALE: 3/8" = 1'-0"



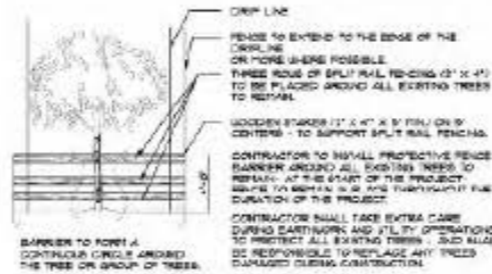
2 STRUCTURAL SOIL TYPICAL DETAIL
SCALE: 3/8" = 1'-0"



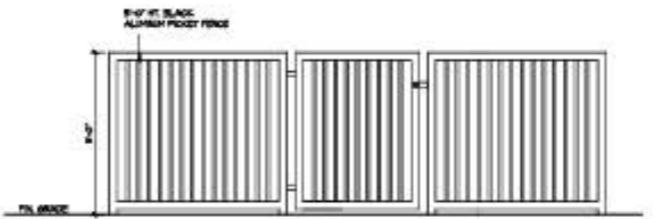
3 STRUCTURAL SOIL TYPICAL PLAN
SCALE: 3/8" = 1'-0"



4 STRUCTURAL SOIL TYPICAL PLAN
SCALE: 3/8" = 1'-0"



TREE GROUP PROTECTION DETAIL
N.T.S.



5 SITE PERIMETER FENCE & GATE FRONT ELEVATION
SCALE: 1/8" = 1'-0"

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AURA CYPRESS CREEK
City of Fort Lauderdale
LANDSCAPE TABULATIONS

DATE: 11/11/2024
PROJECT: AURA CYPRESS CREEK
SHEET: LP-4

LP-4

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Hydrozone Table

Hydrozone	Water Need
HZ-01	Low
HZ-02	Low
HZ-03	Medium
HZ-04	Low
HZ-05	Medium
HZ-06	Low
HZ-07	Low
HZ-08	Medium
HZ-09	Medium
HZ-10	Medium
HZ-11	Low
HZ-12	Low
HZ-13	Medium
HZ-14	Medium
HZ-15	Low
HZ-16	Medium
HZ-17	Low
HZ-18	Medium
HZ-19	Low
HZ-20	Medium
HZ-21	Low

LEGEND:

- LOW
- MEDIUM



BASE INFORMATION TAKEN FROM GORDON ARCHITECTS

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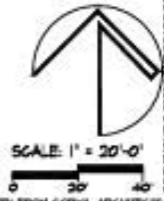
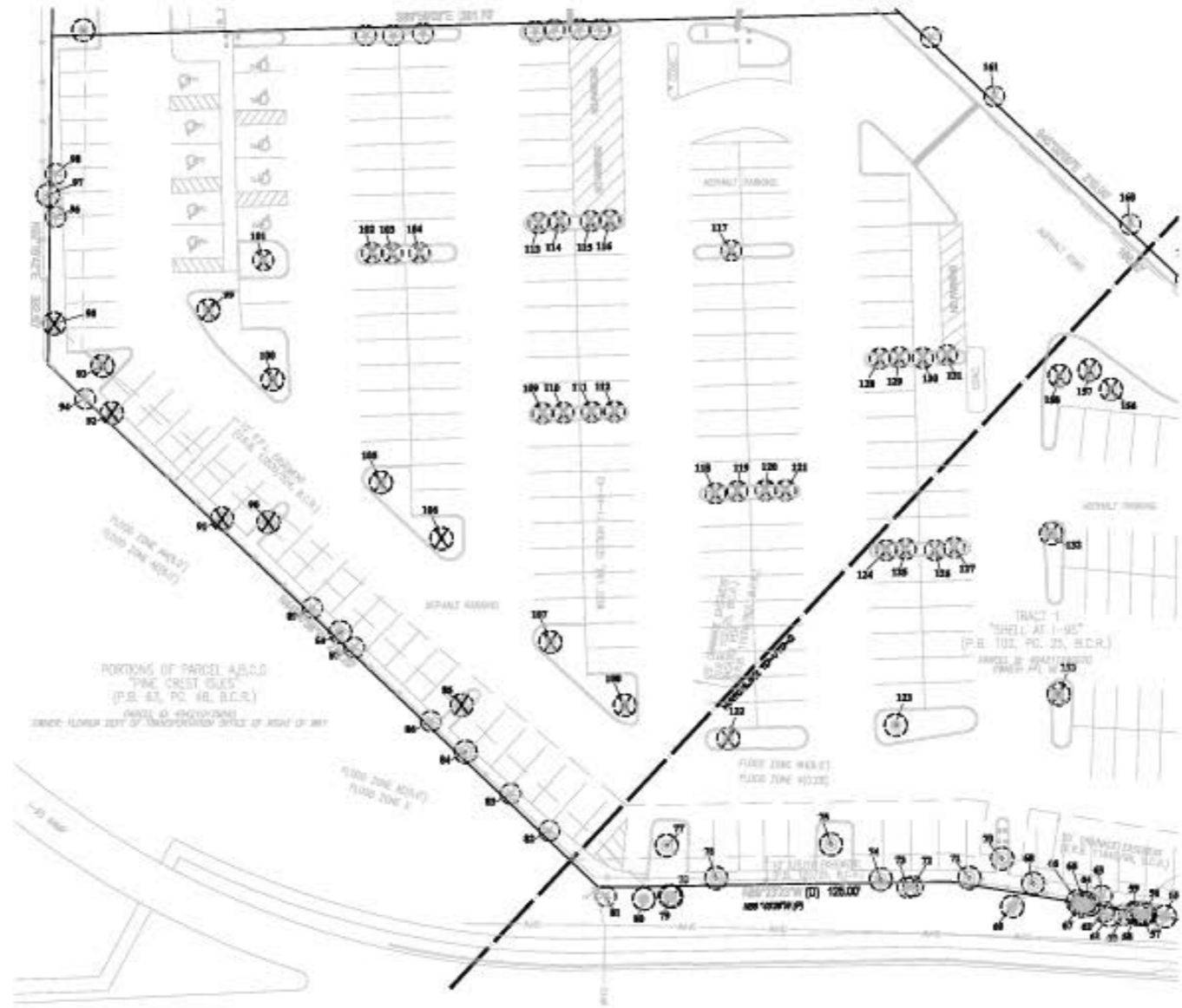


AURA CYPRESS CREEK
 City of Fort Lauderdale
HYDROZONE PLAN

DATE: 08/14/2023
 TIME: 10:00 AM
 PROJECT: AURA CYPRESS CREEK
 SHEET: LP-5

LP-5

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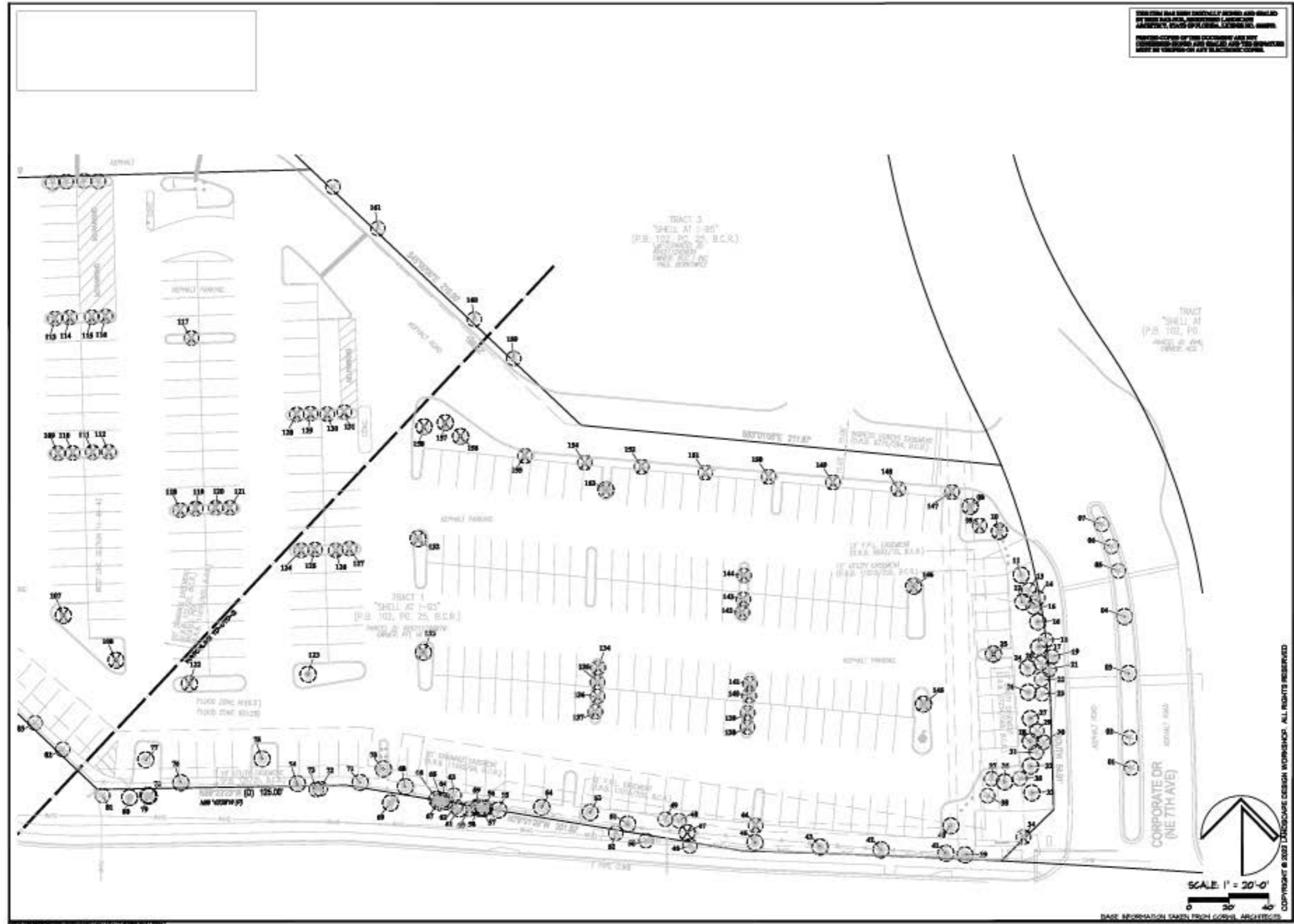


AURA CYPRESS CREEK
City of Fort Lauderdale
TREE DISPOSITION PLAN



TD-1

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AURA CYPRESS CREEK
City of Fort Lauderdale
TREE DISPOSITION PLAN



TD-2

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NO.	DESCRIPTION	QTY	SIZE	REMARKS
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TOTAL CALIPER REQUIRED: 1384
 TOTAL CALIPER PROVIDED: 139
 TOTAL PALM REQUIRED (1:1 BASE): 50
 TOTAL PALM PROVIDED: 50

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AURA CYPRESS CREEK
 City of Fort Lauderdale
TREE DISPOSITION LIST



TD-3

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STREET FURNITURE: 1.00K 4/1 WITH BACK BY DESIGN: 10" X 2 1/2" X 1/2" (1/2" POST) PERFORMANCE LAMINATE, FINISH: VENEER, SPECIFY: TREADWAYING BY L&L LIGHTING

1 STREET FURNITURE BENCH DETAIL
10/2



3.100 1.00K 4/1 WITH BACK BY DESIGN: 10" X 2 1/2" X 1/2" (1/2" POST) PERFORMANCE LAMINATE, FINISH: VENEER, SPECIFY: TREADWAYING BY L&L LIGHTING

2 STREET FURNITURE DETAIL
10/2



BENCH DETAIL: 1.00K 4/1 WITH BACK BY DESIGN: 10" X 2 1/2" X 1/2" (1/2" POST) PERFORMANCE LAMINATE, FINISH: VENEER, SPECIFY: TREADWAYING BY L&L LIGHTING

3 BENCH DETAIL
10/2



LITTER RECEPTACLE: 1.00K 4/1 WITH BACK BY DESIGN: 10" X 2 1/2" X 1/2" (1/2" POST) PERFORMANCE LAMINATE, FINISH: VENEER, SPECIFY: TREADWAYING BY L&L LIGHTING

4 LITTER RECEPTACLE DETAIL
10/2



BIKE RACK DETAIL: 1.00K 4/1 WITH BACK BY DESIGN: 10" X 2 1/2" X 1/2" (1/2" POST) PERFORMANCE LAMINATE, FINISH: VENEER, SPECIFY: TREADWAYING BY L&L LIGHTING

5 BIKE RACK DETAIL
10/2



WALKWAY LIGHT DETAIL: 1.00K 4/1 WITH BACK BY DESIGN: 10" X 2 1/2" X 1/2" (1/2" POST) PERFORMANCE LAMINATE, FINISH: VENEER, SPECIFY: TREADWAYING BY L&L LIGHTING

6 WALKWAY LIGHT DETAIL
10/2



TABLE AND CHAIR SET: 1.00K 4/1 WITH BACK BY DESIGN: 10" X 2 1/2" X 1/2" (1/2" POST) PERFORMANCE LAMINATE, FINISH: VENEER, SPECIFY: TREADWAYING BY L&L LIGHTING

7 TABLE & CHAIR DETAIL
10/2



PAVING: 1" X 2" 400LBS PAVER, COLOR TO BE SELECTED BY OWNER AND LANDSCAPE ARCHITECT

8 PAVING DETAIL
10/2



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AURA CYPRESS CREEK
City of Fort Lauderdale
DETAILS

MAY 17, 2022
NOVEMBER 23, 2022
NOVEMBER 21, 2022
NOVEMBER 11, 2022

LD-1

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AURA CYPRESS CREEK

CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA

INDEX OF PLANS

SHEET NO.	SHEET DESCRIPTION
CS-1	COVER SHEET
DM-1	DEMOLITION PLAN
EN-1	CONCEPTUAL ENGINEERING PLAN
EN-2	CONCEPTUAL ENGINEERING PLAN
PDD-1	PAVING AND GRADING DETAILS
PDD-2	PAVING AND GRADING DETAILS
PDD-3	PAVING AND GRADING DETAILS
WSD-1	WATER AND SEWER DETAILS
WSD-2	WATER AND SEWER DETAILS
WSD-3	WATER AND SEWER DETAILS
WSD-4	WATER AND SEWER DETAILS
SPM-1	STRIPING AND PAVEMENT MARKING PLAN
SPM-2	STRIPING AND PAVEMENT MARKING PLAN
TR-1	TRUCK ROUTING PLAN
TR-2	TRUCK ROUTING PLAN
TR-3	GARBAGE TRUCK ROUTING PLAN
TR-4	GARBAGE TRUCK ROUTING PLAN
PH-1	PHOTOMETRIC PLAN
PH-2	PHOTOMETRIC PLAN

THIS SPECIAL OF THE BEST PROFESSIONAL SERVICE CONTRACT FOR ENGINEERING SERVICES IS SUBJECT TO THE STANDARD SPECIFICATIONS FOR PROFESSIONAL ENGINEERING SERVICES, LATEST EDITION, AS ADOPTED BY THE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS OF THE STATE OF FLORIDA. THIS SPECIAL IS SUBJECT TO THE STANDARD SPECIFICATIONS FOR PROFESSIONAL ENGINEERING SERVICES, LATEST EDITION, AS ADOPTED BY THE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS OF THE STATE OF FLORIDA. THIS SPECIAL IS SUBJECT TO THE STANDARD SPECIFICATIONS FOR PROFESSIONAL ENGINEERING SERVICES, LATEST EDITION, AS ADOPTED BY THE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS OF THE STATE OF FLORIDA. THIS SPECIAL IS SUBJECT TO THE STANDARD SPECIFICATIONS FOR PROFESSIONAL ENGINEERING SERVICES, LATEST EDITION, AS ADOPTED BY THE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS OF THE STATE OF FLORIDA.

PROJECT SITE



LOCATION MAP



SECTION 34 / TOWNSHIP 50 S / RANGE 42 E

SITE PLAN



HSQ GROUP, LLC
 Engineers - Planners - Surveyors
 1001 Yamato Road, Suite 105
 Boca Raton, Florida 33431 - 561.392.0221
 CA26258 - LB7924

ENGINEER'S CERTIFICATION
 THESE PLANS WERE PREPARED UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE INTENT OF THE HARBOR OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS AS ADOPTED BY THE STATE OF FLORIDA LEGISLATURE, CHAPTER 1222FF-5.

PROJECT NO.: 19051
 DRAWING NO.: 021175.038

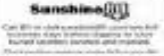
DATE: 05/14/2014
 DESIGNED BY: Z.T.
 DRAWN BY: S.S.
 CHECKED BY: J.M.



PROJECT: 2201-06
 SHEET: CS-1

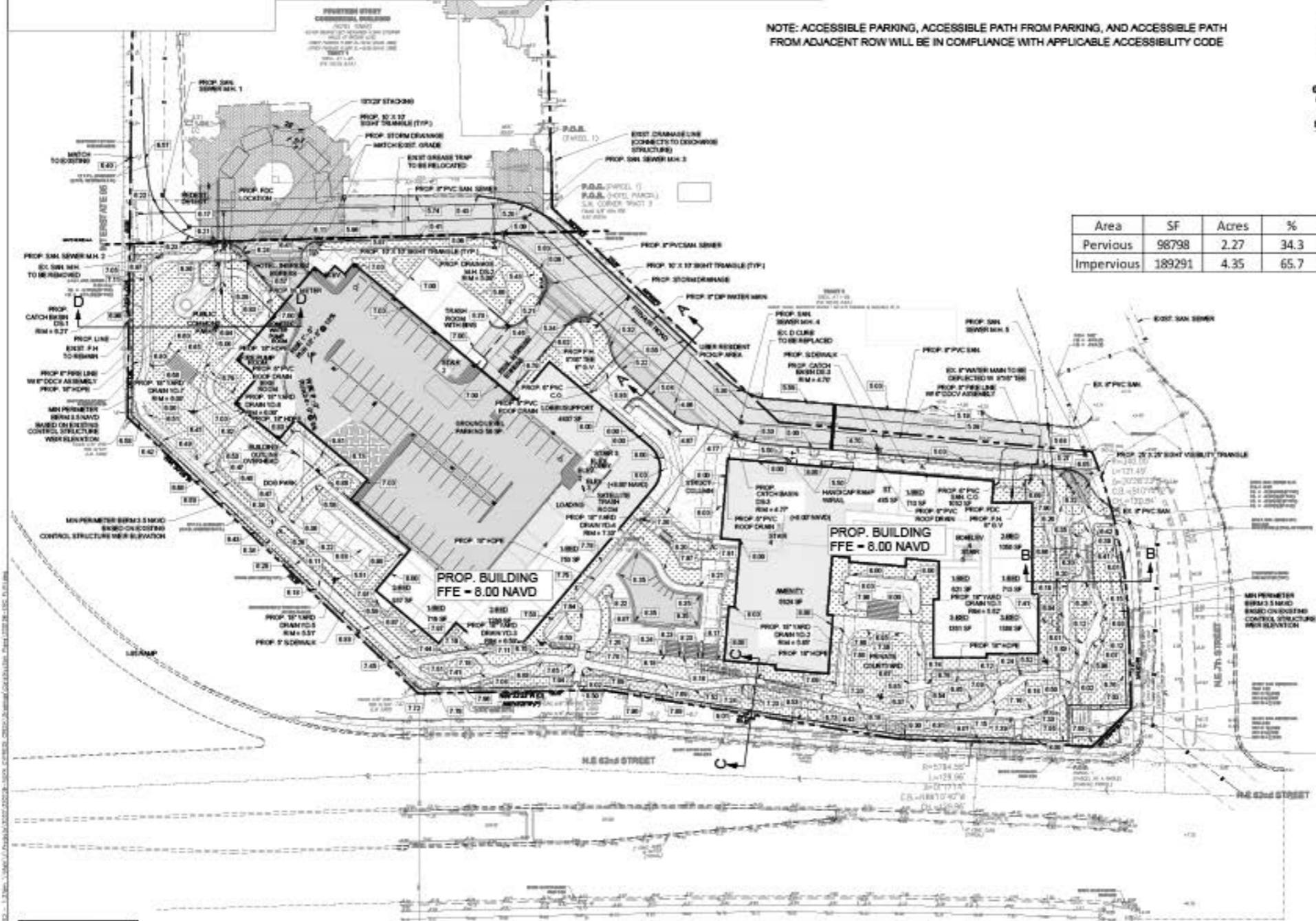


AURA CYPRESS CREEK
 COVER SHEET



MATCHLINE - SEE SHEET EN-2

NOTE: ACCESSIBLE PARKING, ACCESSIBLE PATH FROM PARKING, AND ACCESSIBLE PATH FROM ADJACENT ROW WILL BE IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY CODE



Area	SF	Acres	%
Pervious	98798	2.27	34.3
Impervious	189291	4.35	65.7

HSO GROUP, LLC
 Engineers - Planners - Surveyors
 8111 Vista Pointe, Suite 100
 San Antonio, Texas 78203

AURA CYPRESS CREEK
CONCEPTUAL ENGINEERING PLAN

DATE: 06/06
 DESIGNED BY: Z.T.
 DRAWN BY: S.S.
 CHECKED BY: J.H.

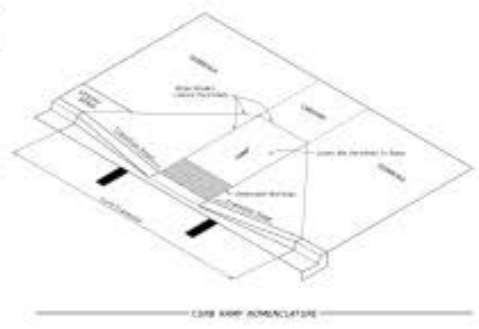


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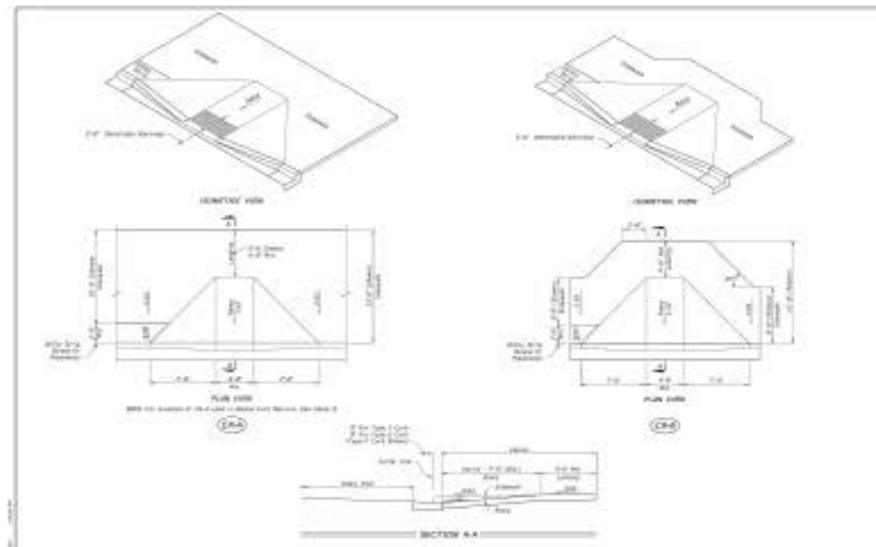


GENERAL NOTES

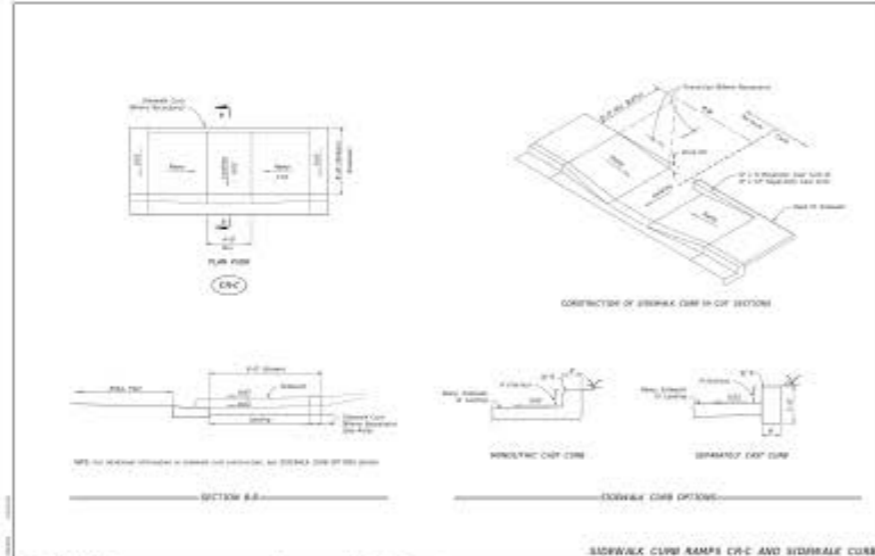
1. **Curbs, Ramps and Slopes:**
 - A. Curbs, ramps and slopes shall be cast in place concrete with a minimum thickness of 4 inches.
 - B. Curbs shall have a top finish that is 1/4" above the top of the curb.
 - C. Slopes shall be cast in place concrete with a minimum thickness of 4 inches.
2. **Curbs, Ramps and Slopes:**
 - A. Curbs shall be cast in place concrete with a minimum thickness of 4 inches.
 - B. Ramps shall be cast in place concrete with a minimum thickness of 4 inches.
 - C. Slopes shall be cast in place concrete with a minimum thickness of 4 inches.
3. **Curbs, Ramps and Slopes:**
 - A. Curbs shall be cast in place concrete with a minimum thickness of 4 inches.
 - B. Ramps shall be cast in place concrete with a minimum thickness of 4 inches.
 - C. Slopes shall be cast in place concrete with a minimum thickness of 4 inches.



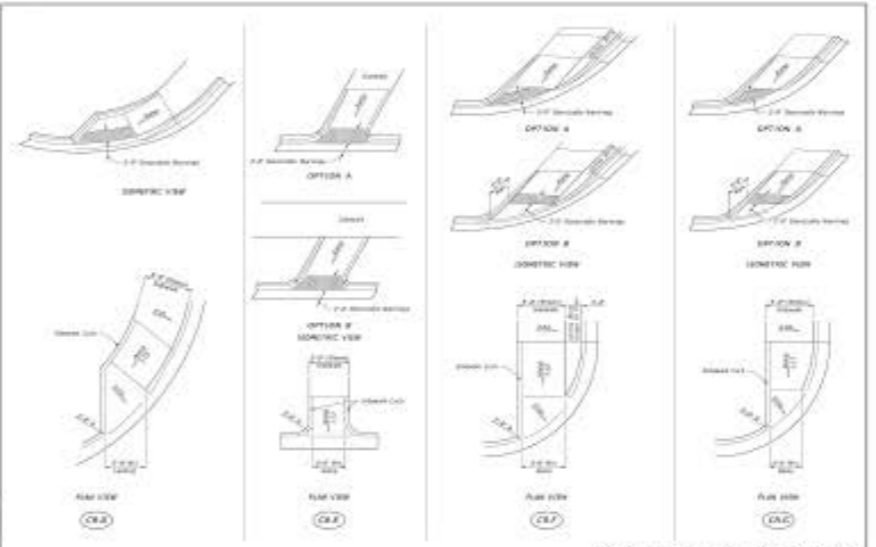
DATE: 11/19/21	REVISION:	PROJECT: FY 2020-21 STANDARD PLANS	SHEET: DETECTABLE WARNINGS AND SIDEWALK CURB RAMP	NO.:	DATE:
1522-002				1 of 7	



DATE: 11/19/21	REVISION:	PROJECT: FY 2020-21 STANDARD PLANS	SHEET: DETECTABLE WARNINGS AND SIDEWALK CURB RAMP	NO.:	DATE:
1522-002				2 of 7	



DATE: 11/19/21	REVISION:	PROJECT: FY 2020-21 STANDARD PLANS	SHEET: DETECTABLE WARNINGS AND SIDEWALK CURB RAMP	NO.:	DATE:
1522-002				3 of 7	



DATE: 11/19/21	REVISION:	PROJECT: FY 2020-21 STANDARD PLANS	SHEET: DETECTABLE WARNINGS AND SIDEWALK CURB RAMP	NO.:	DATE:
1522-002				4 of 7	



NO.	DATE	BY



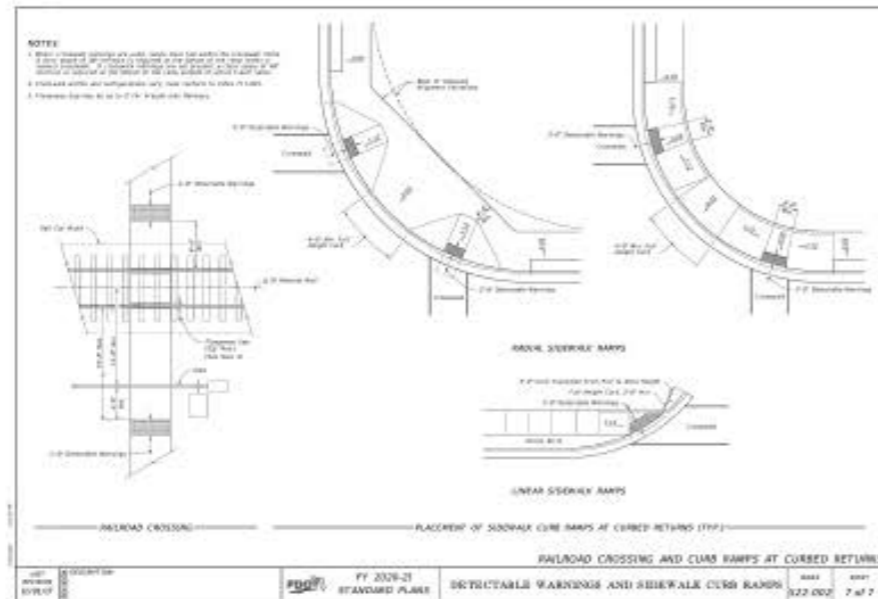
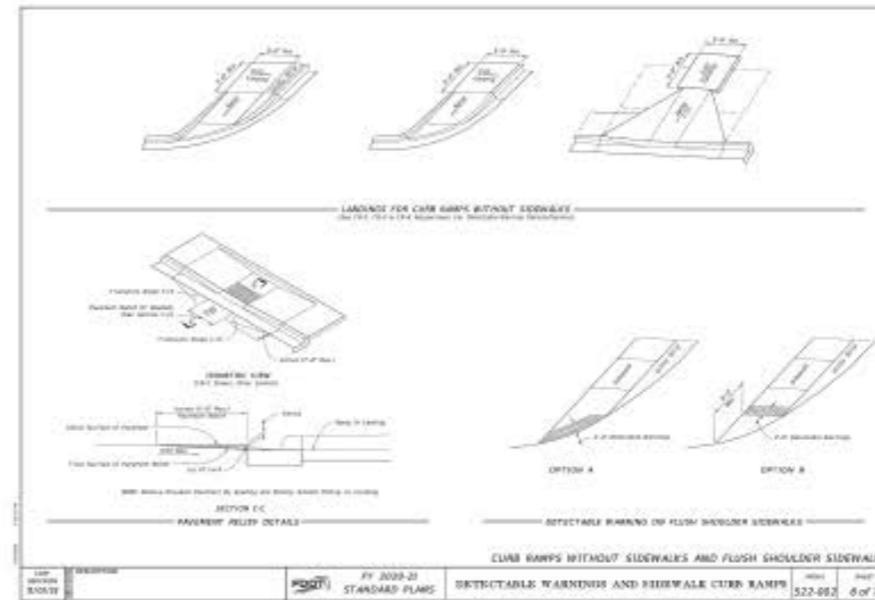
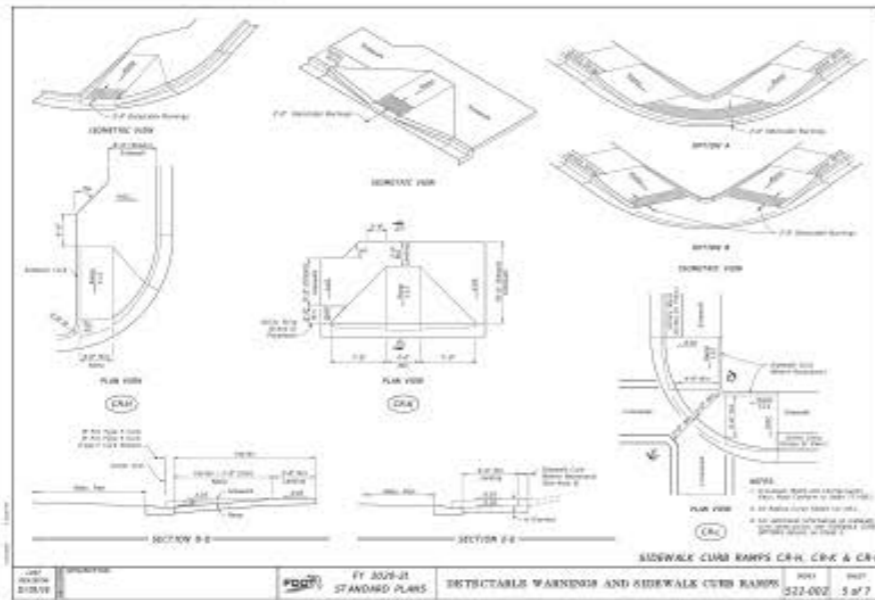
AURA CYPRESS CREEK
PAVING AND DRAINAGE DETAILS

DATE:	11/19/21
DESIGNED BY:	Z.T.
DRAWN BY:	S.E.
CHECKED BY:	J.M.



PROJECT:	2201-05
SHEET:	PDD-2

[Empty box for drawing title or notes]



Sunshine
Call 800-285-5300 for more information.
Sunshine Group, Inc. is an Equal Opportunity Employer.
Minority and Women Owned Business Enterprise.

NO.	DATE	BY

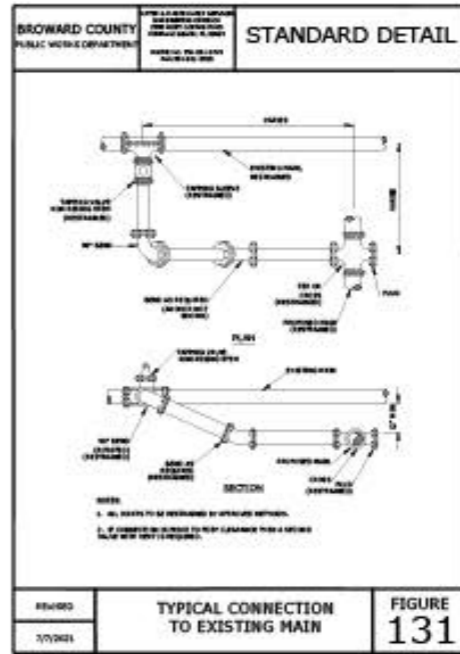
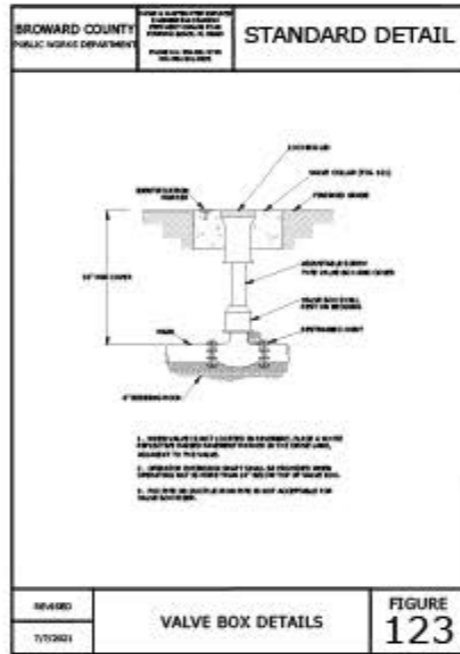
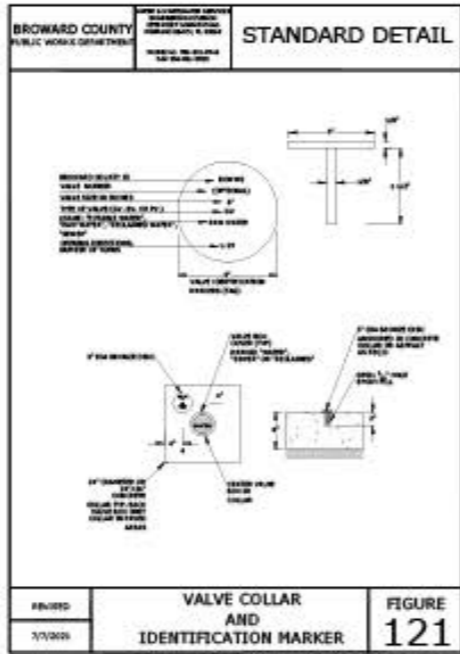
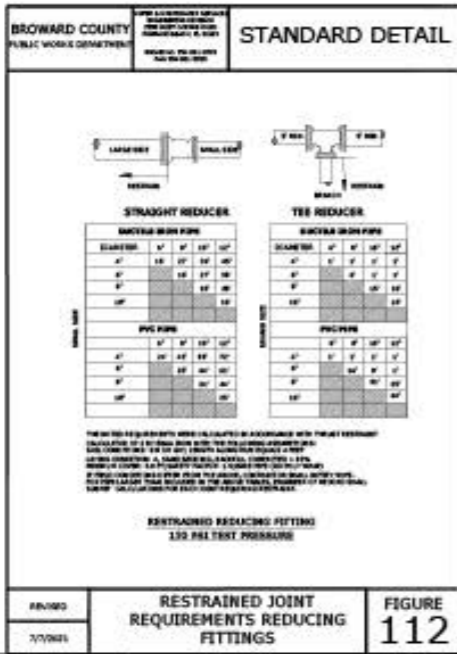
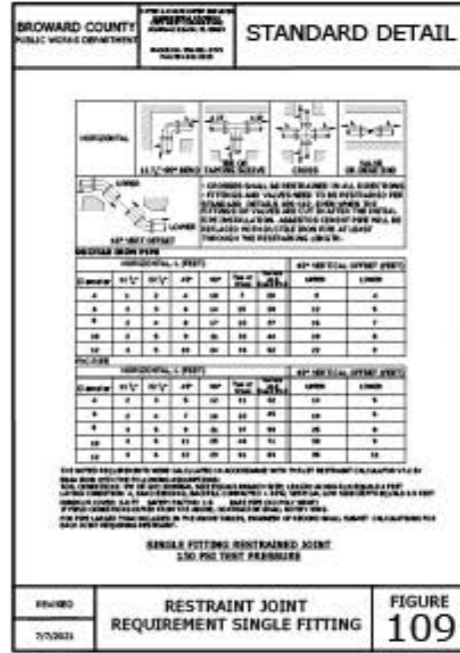
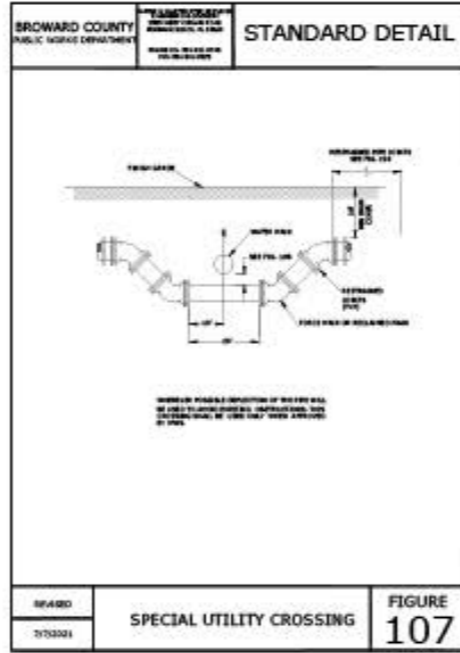
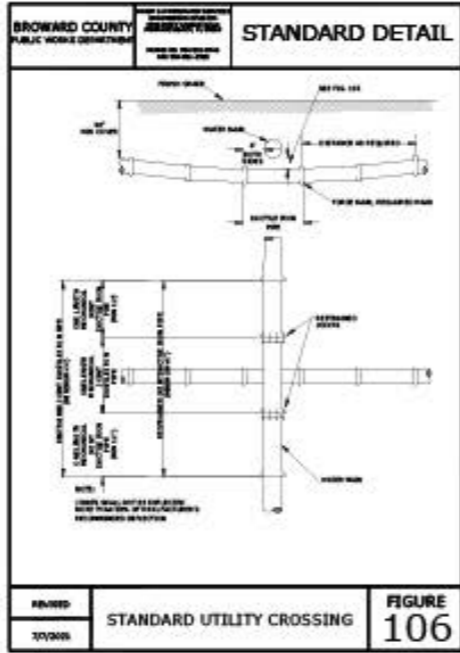
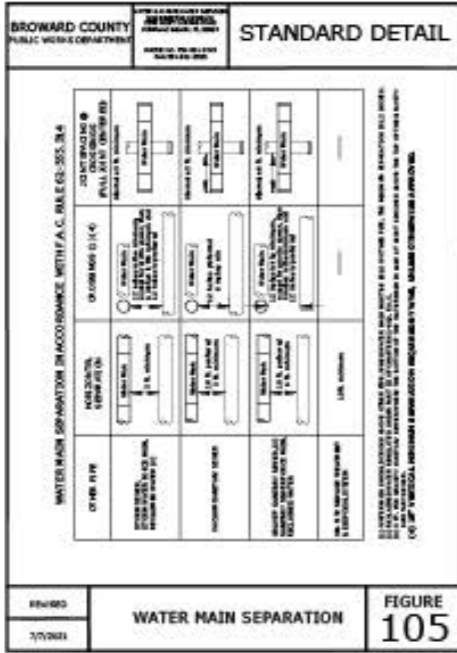
HSQ
HSQ GROUP, LLC
Engineers, Planners, Scientists
3801 N. Greenway Road, Suite 100
Orem, UT 84057
Tel: 801-225-1100
Fax: 801-225-1101

AURA CYPRESS CREEK
PAVING AND DRAINAGE DETAILS

DATE	8/11/21
DESIGNED BY	Z.T.
DRAWN BY	S.B.
CHECKED BY	J.M.



PROJECT: 2201-05
SHEET: PDD-3

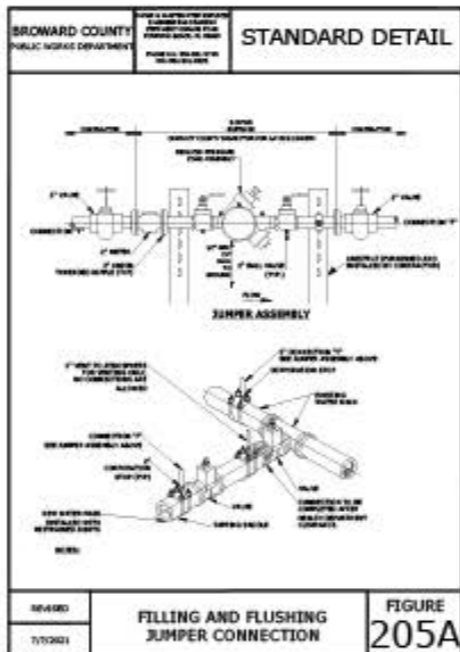
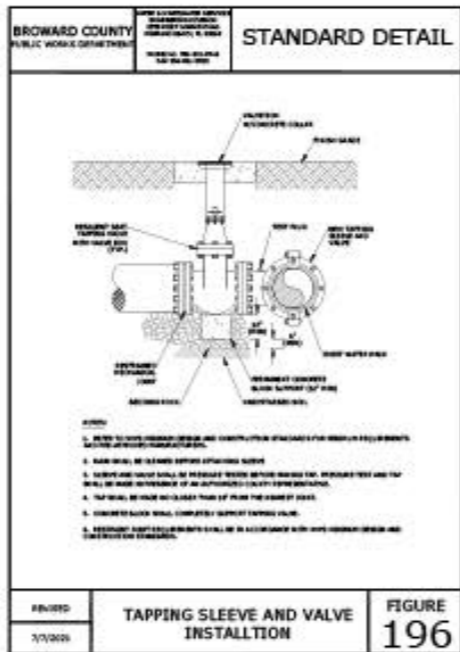
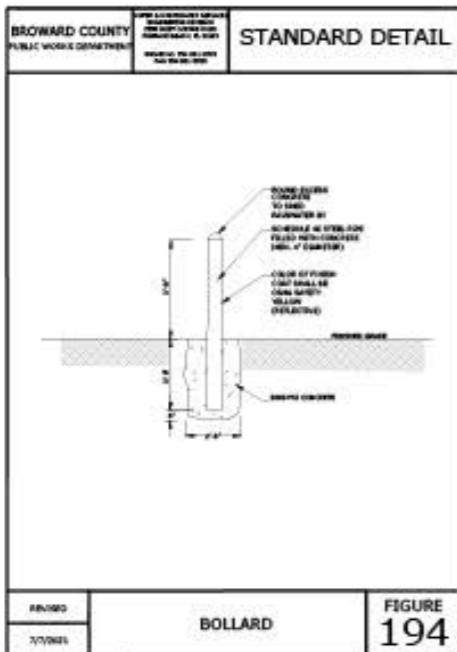
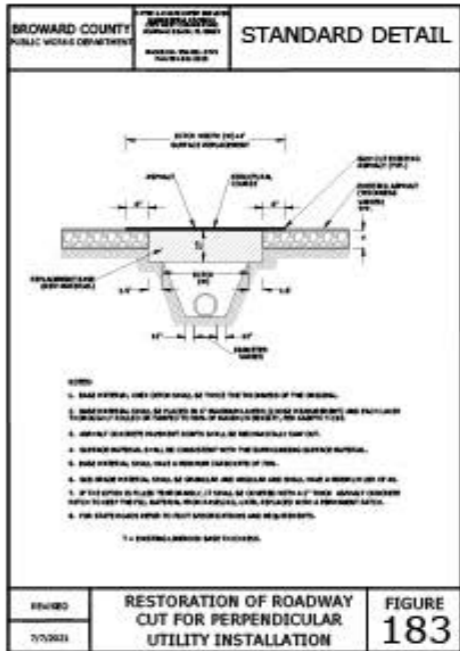
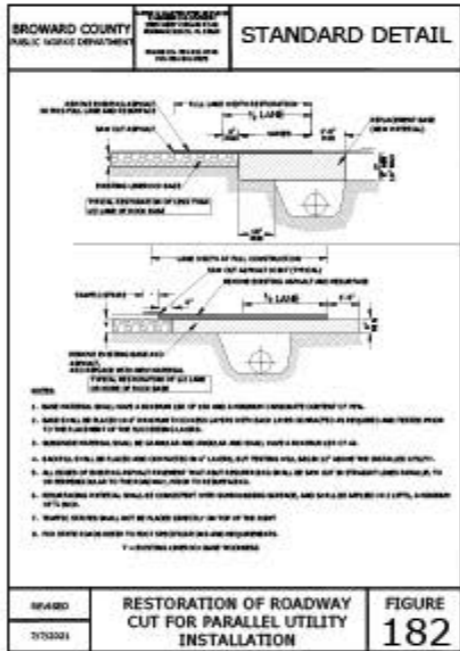
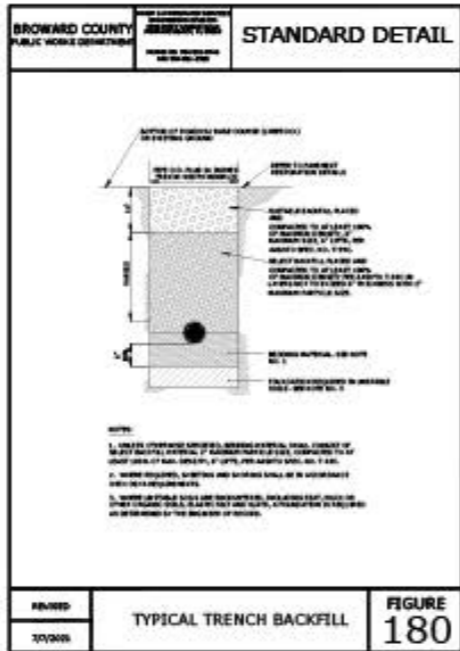
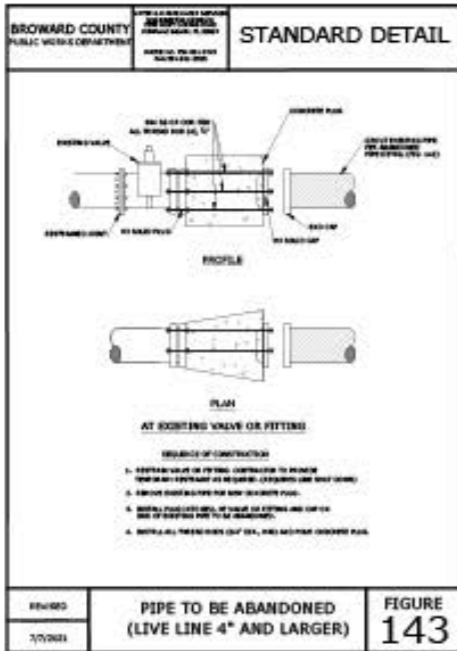


HSQ
HSQ GROUP, LLC
Engineers - Planners - Surveyors
14111 Vesper Park Dr. Suite 200
Dallas, Texas 75244-1102
Phone: (972) 498-7800
Fax: (972) 498-7801
www.hsqr.com

AURA CYPRESS CREEK
WATER AND SEWER DETAILS

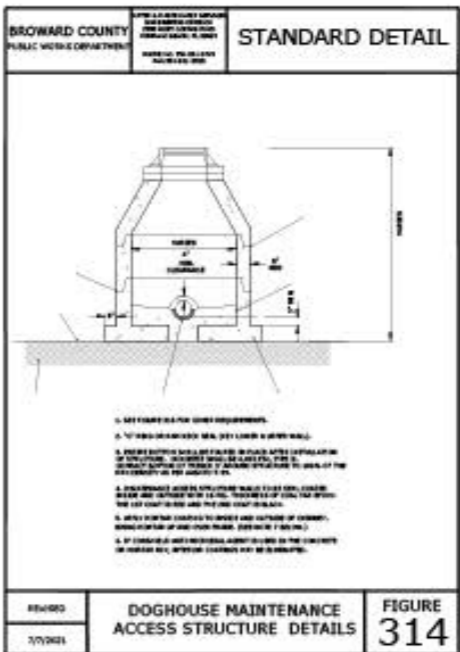
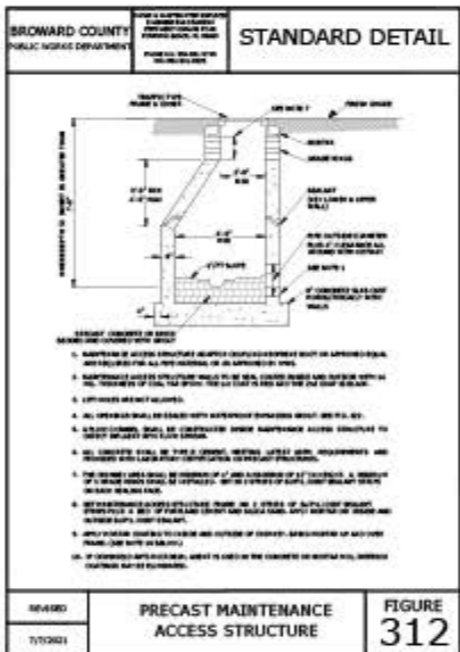
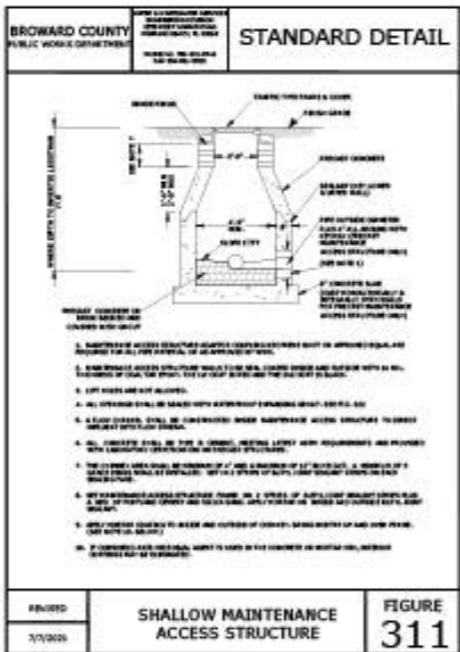
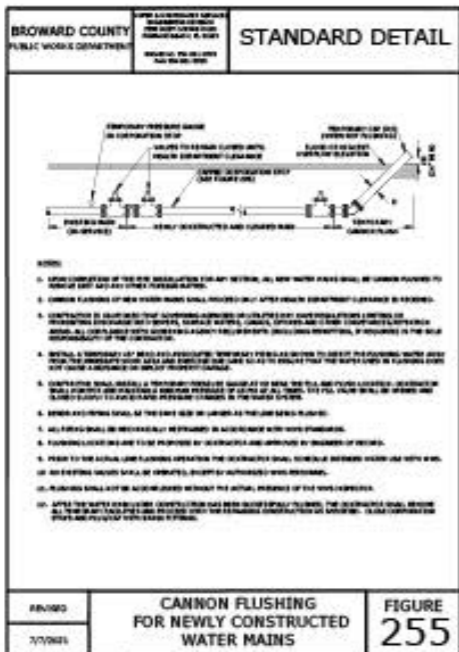
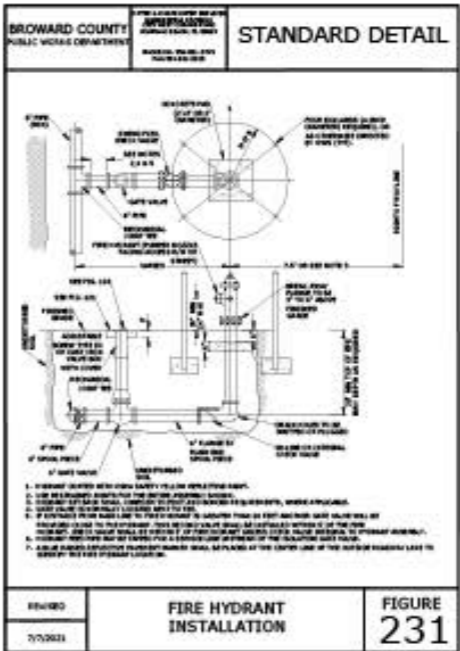
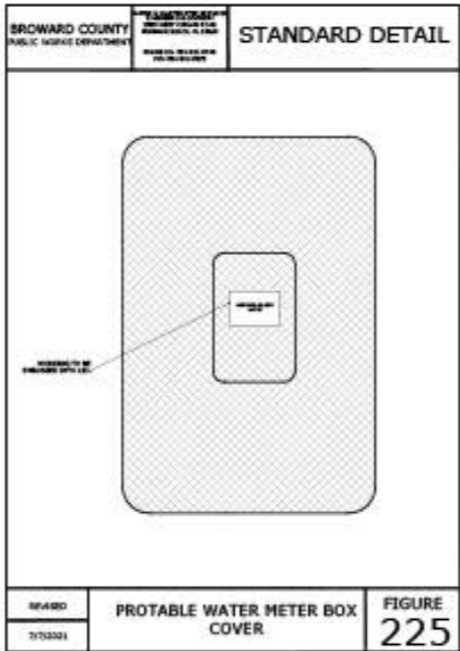
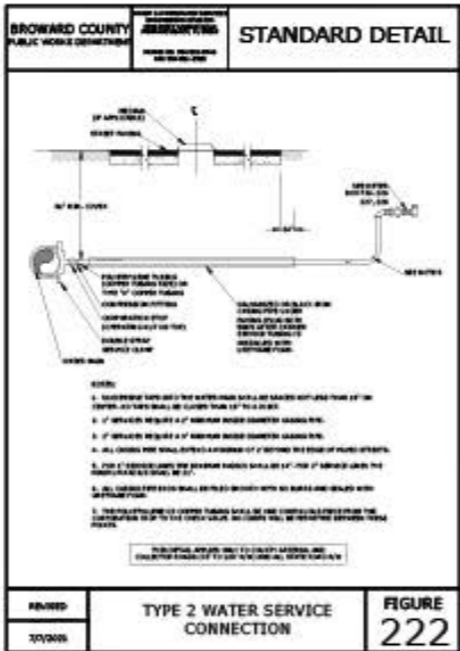
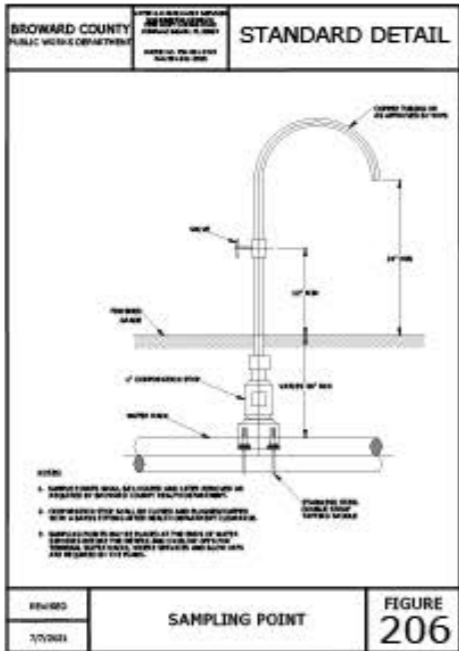
DATE: 08/24
DESIGNED BY: Z.T.
DRAWN BY: S.S.
CHECKED BY: J.H.

PROJECT: 2301-06
SHEET: WSD-1



AURA CYPRESS CREEK
WATER AND SEWER DETAILS

DATE:	05/19
DESIGNED BY:	Z.T.
DRAWN BY:	S.S.
CHECKED BY:	J.H.
PROJECT:	2301-06
SHEET:	WSD-2



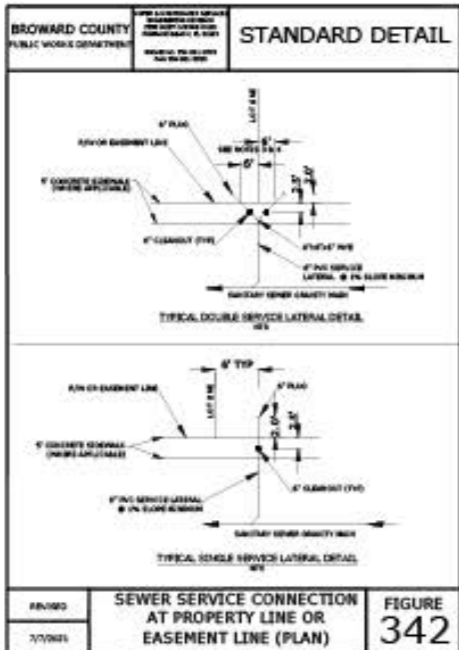
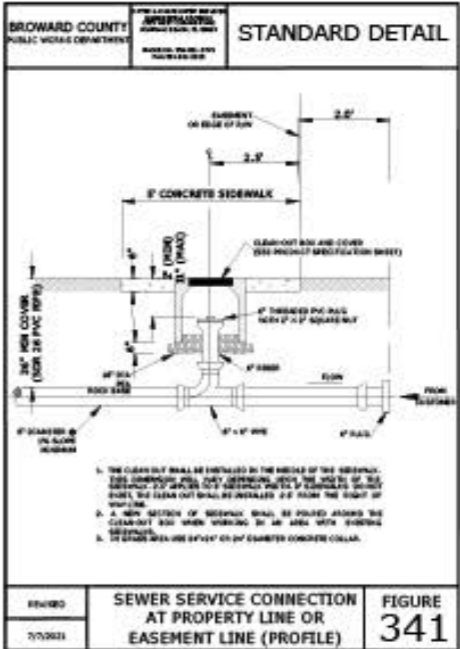
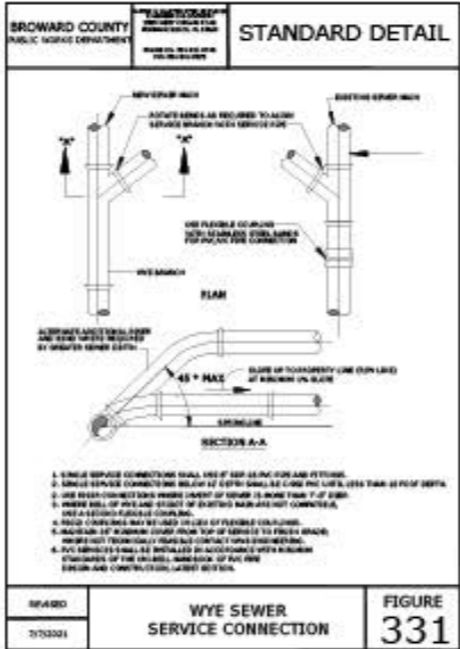
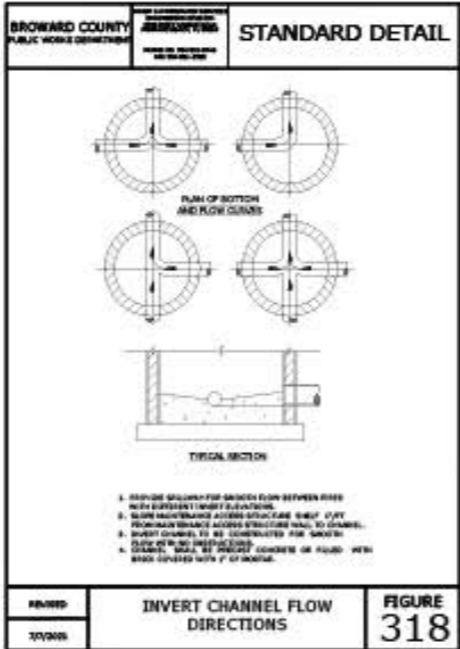
Sunchino
 3000 PSI CONCRETE
 3000 PSI CONCRETE
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HSQ
HSQ GROUP, LLC
 Engineers - Planners - Surveyors
 1111 West Park Dr. Suite 100
 Fort Lauderdale, FL 33304

AURA CYPRESS CREEK
WATER AND SEWER DETAILS

DATE: 05/19
 DESIGNED BY: Z.T.
 DRAWN BY: S.E.
 CHECKED BY: J.H.

 PROJECT: 2301-06
 SHEET: WSD-3



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NO. DATE BY: W. WILSON



AURA CYPRESS CREEK
 WATER AND SEWER DETAILS

DATE: 05/11
 DESIGNED BY: Z.T.
 DRAWN BY: S.S.
 CHECKED BY: J.H.



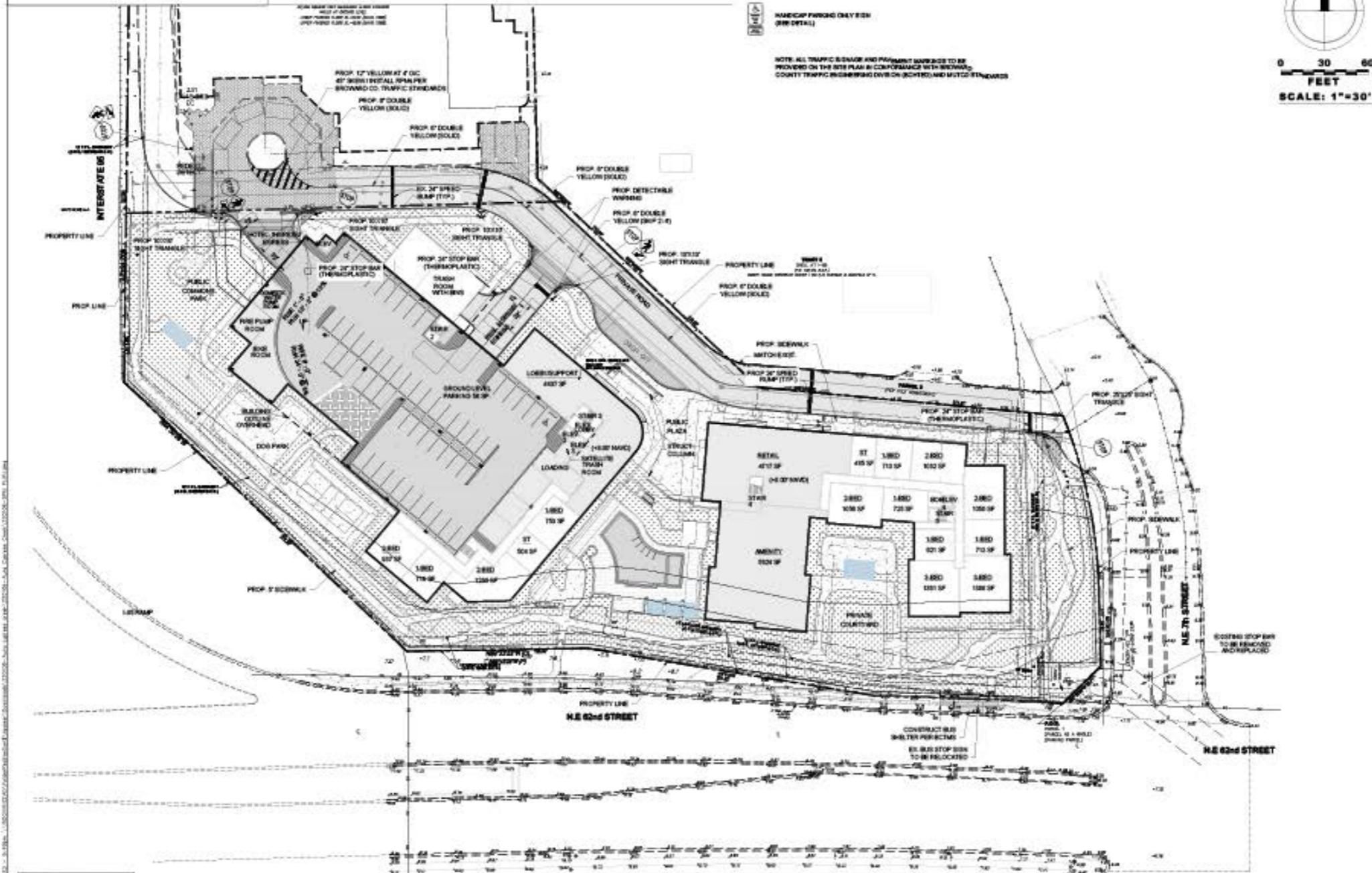
PROJECT: 2301-06
 SHEET: WSD-4

CUTSHEET - SEE SHEET SPM-2

SIGN LEGEND:

- R1-1 STOP SIGN (24" x 30")
- W1-121 TRUCKS AND CROWDS ONLY (SEE DETAIL)
- R1-2 DOUBLE YELLOW (24" x 30") (SEE DETAIL)

NOTE: ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS TO BE PROVIDED ON THE SITE PLAN IN CONFORMANCE WITH BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BCTED) AND MUTCD STANDARDS



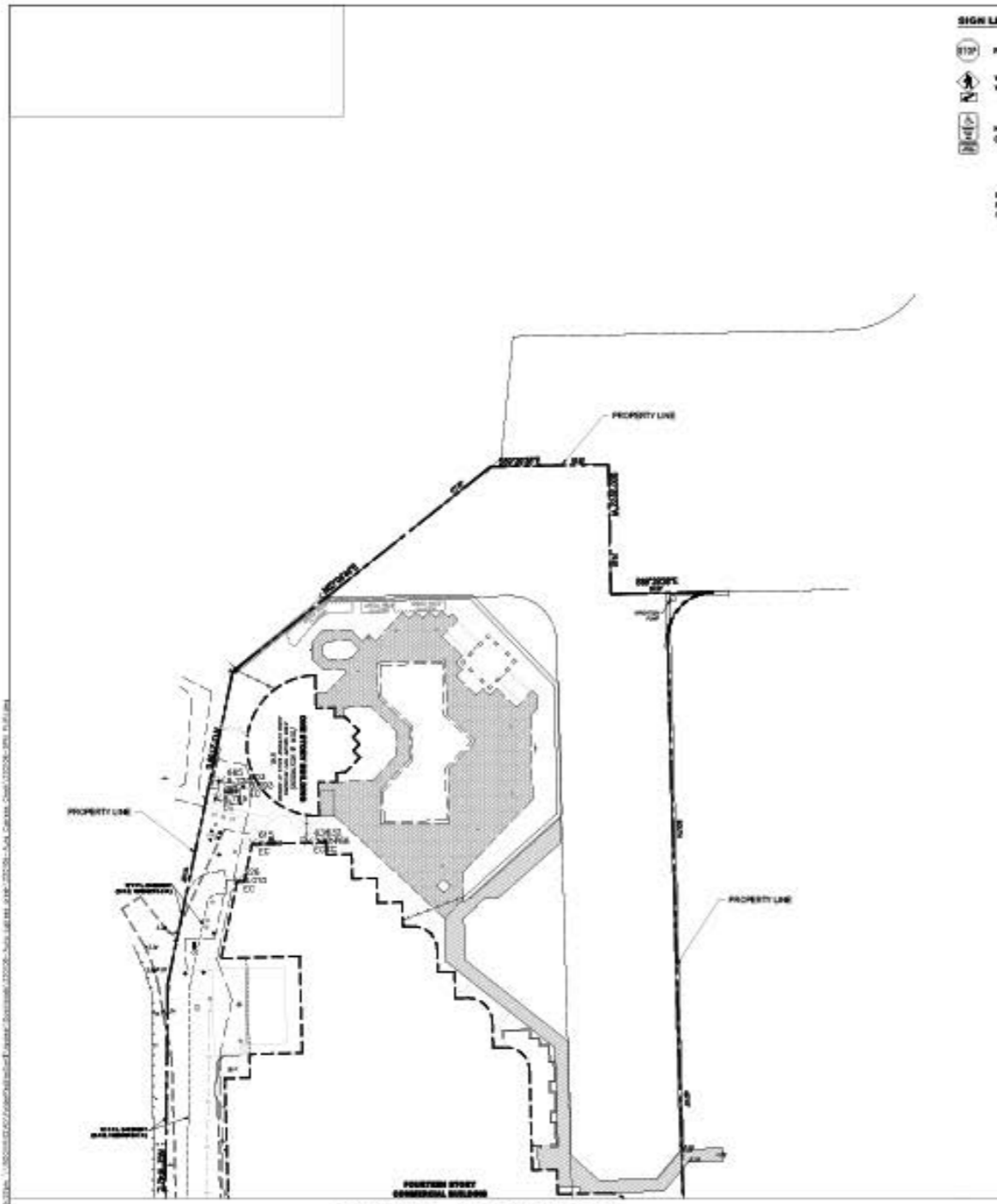
AURA CYPRESS CREEK
STRIPING AND PAVEMENT MARKINGS PLAN

DATE: 05/14
 DESIGNED BY: Z.T.
 DRAWN BY: S.S.
 CHECKED BY: J.H.



PROJECT: 2201-06
 SHEET: SPM-1

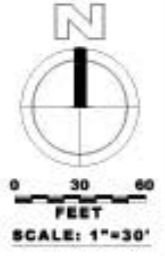




SIGN LEGEND:

- R1-1 STOP SIGN (24" X 30")
- W1-102 WALKWAY CROSSING ROAD W/AVIS CPL. ARROW
- HANDICAP PARKING ONLY SIGN (SEE DETAIL)

NOTE: ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS TO BE PROVIDED ON THE SITE PLAN IN CONFORMANCE WITH INCORPORATED COUNTY TRAFFIC ENGINEERING DIVISION (S-0478) AND MUTCD STANDARDS.

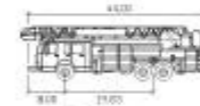


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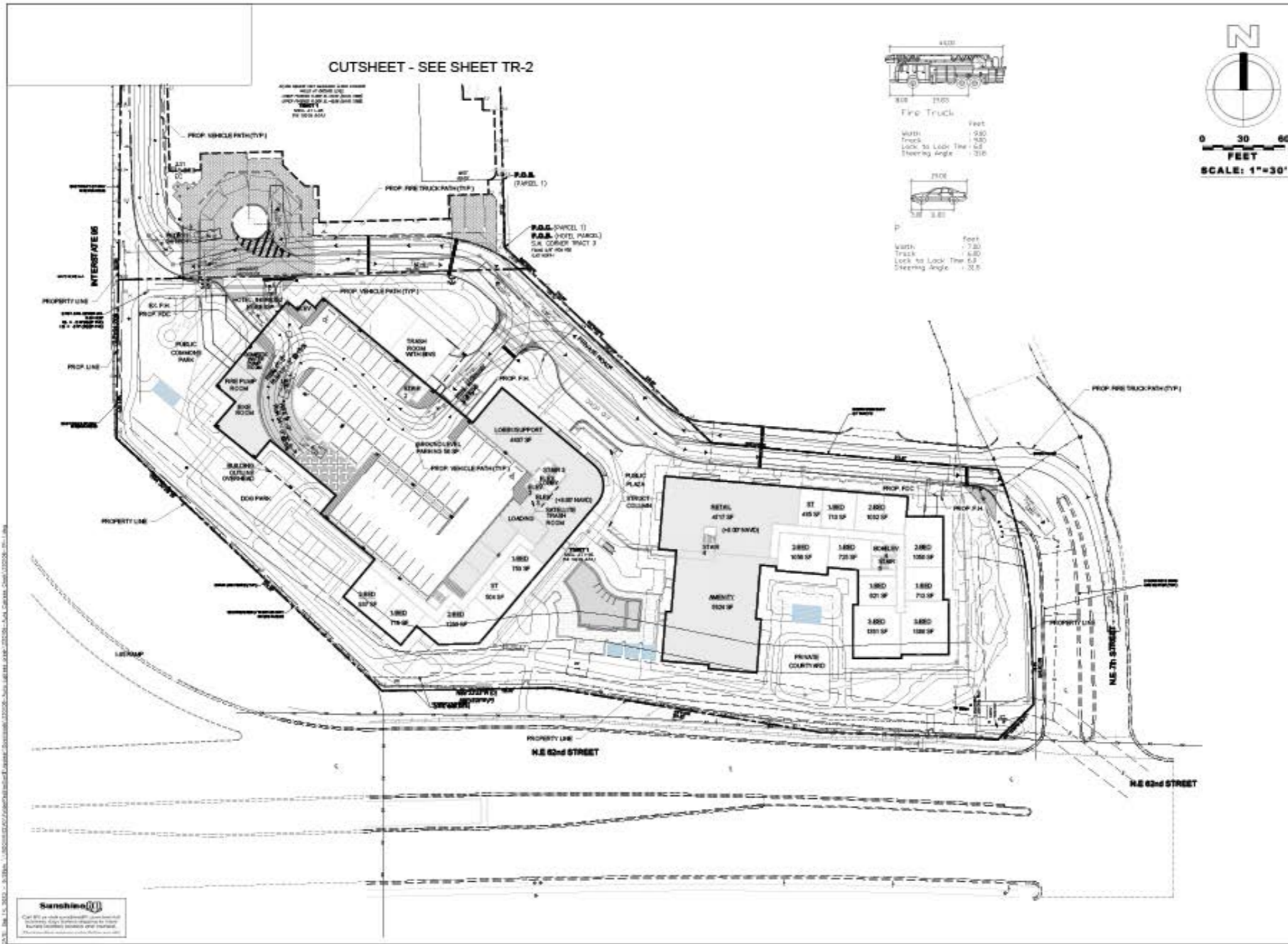
CUTSHEET - SEE SHEET SPM-1

HSQ GROUP, LLC Engineers - Planners - Surveyors 8111 Vista Pointe, Suite 100 San Diego, CA 92126	NO DATE BY REVISIONS
AURA CYPRESS CREEK STRIPING AND PAVEMENT MARKINGS PLAN	
DATE:	BSM
DESIGNED BY:	Z.T.
DRAWN BY:	S.E.
CHECKED BY:	J.H.
PROJECT:	2201-06
SHEET:	SPM-2

CUTSHEET - SEE SHEET TR-2



0 30 60
FEET
SCALE: 1"=30'



HSG
HSQ GROUP, LLC
 Engineers - Planners - Surveyors
 8411 Vantage Point, Suite 200
 Northridge, CA 91324

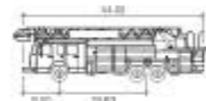
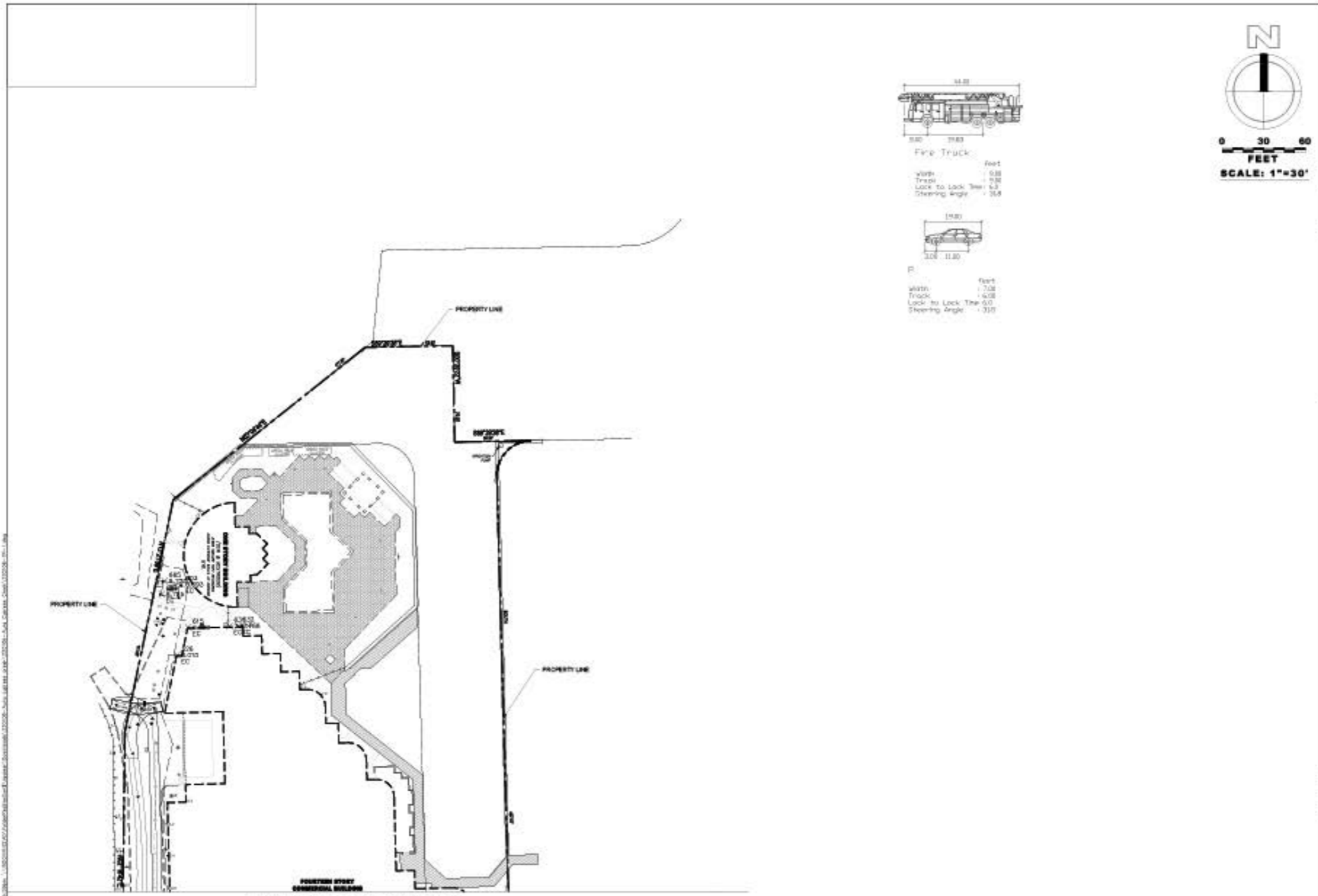
AURA CYPRESS CREEK
TRUCK ROUTING PLAN

DATE: 05/14
 DESIGNED BY: Z.T.
 DRAWN BY: S.S.
 CHECKED BY: J.H.

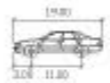


PROJECT: 2201-06
 SHEET: TR-1

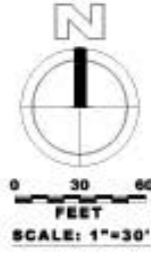
Sanshine
 Call 800 or visit us online! We are located in Southern California and have a nationwide network of field offices.
 www.sanshine.com



Fire Truck
 feet
 Width: 9.00
 Track: 9.00
 Lock to Lock Time: 6.2
 Steering Angle: 35.8



Car
 feet
 Width: 7.00
 Track: 6.00
 Lock to Lock Time: 5.0
 Steering Angle: 31.0



NO.	DATE	BY

HSQ GROUP, LLC
 Engineers - Planners - Surveyors
 4415 Vesta Road, Suite 100
 Fort Worth, Texas 76104

AURA CYPRESS CREEK

TRUCK ROUTING PLAN

DATE:	8/24
DESIGNED BY:	Z.T.
DRAWN BY:	S.E.
CHECKED BY:	J.H.

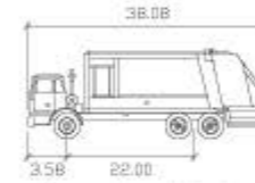


PROJECT: 2201-06
 SHEET: TR-2

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 Call 800 or visit sandhico.com for more information
 Sandhico Group, Inc. is an Equal Opportunity Employer
 M/F/V/D/V. Equal Opportunity Employer. Minorities and Women are Encouraged to Apply.

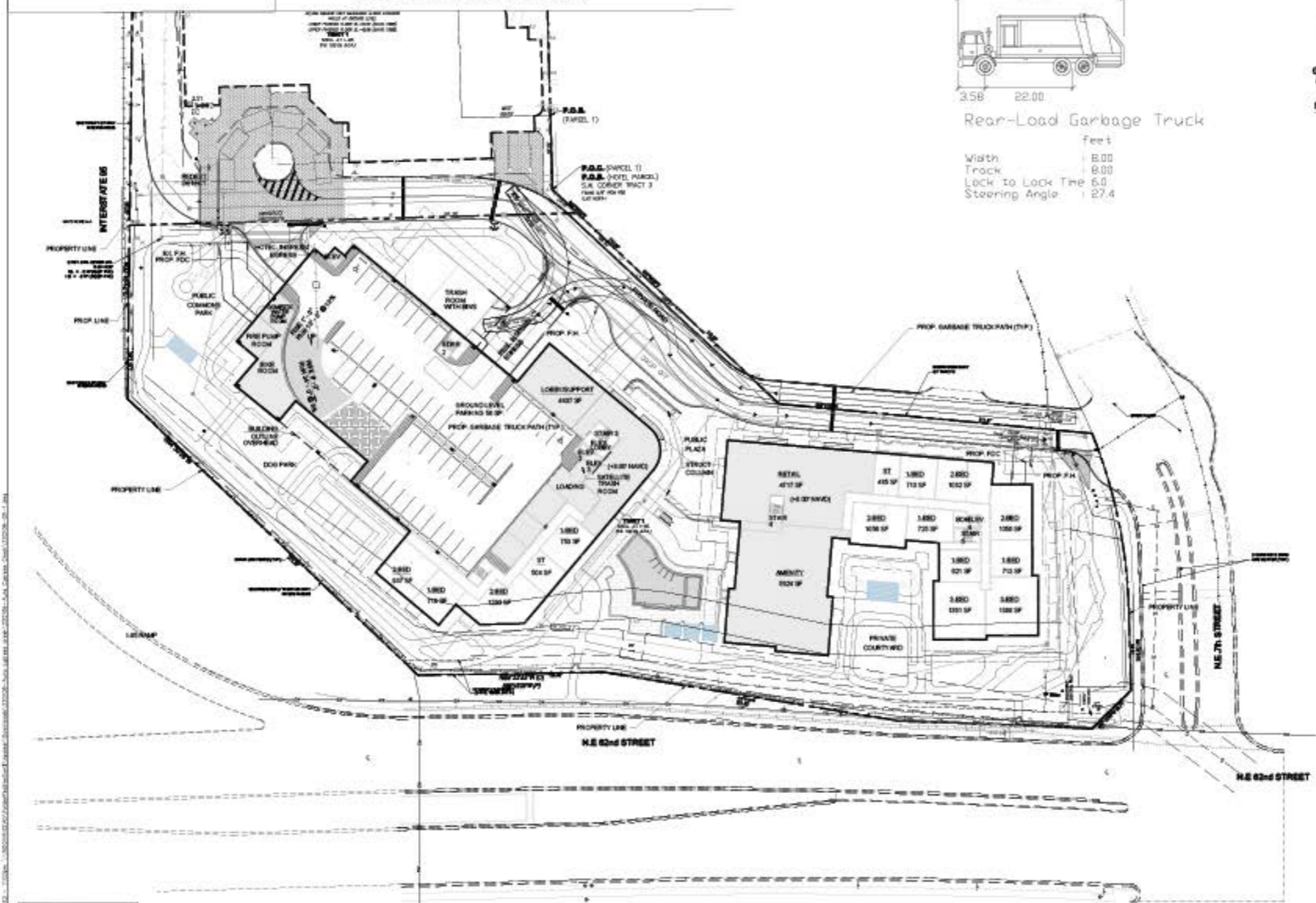
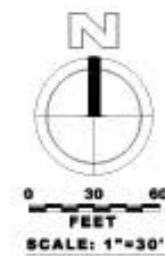
CUTSHEET - SEE SHEET TR-1

CUTSHEET - SEE SHEET TR-4



Rear-Load Garbage Truck

	feet
Width	8.00
Track	8.00
Lock to Lock Time	6.0
Steering Angle	27.4



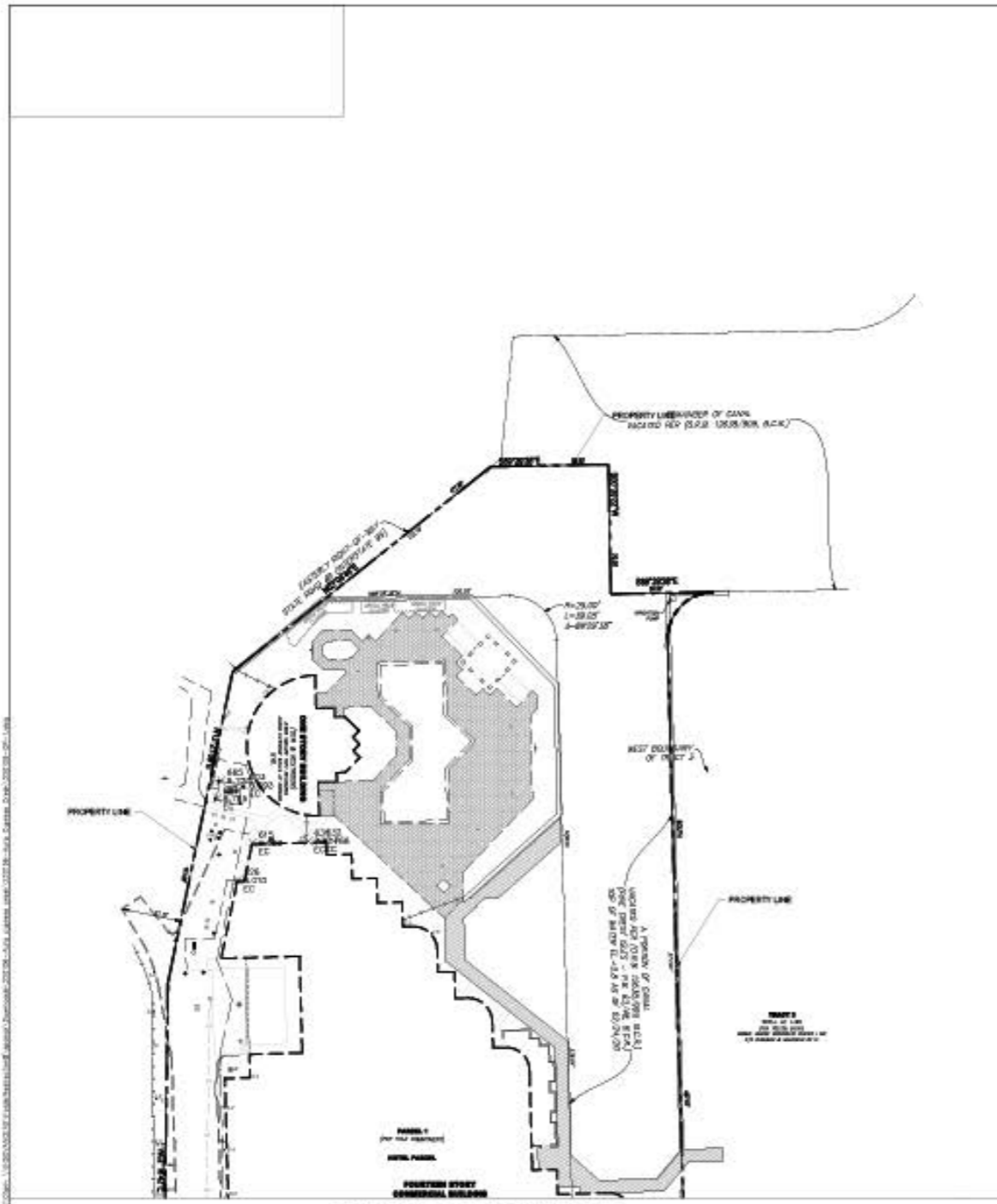
AURA CYPRESS CREEK
GARBAGE TRUCK ROUTING PLAN

DATE: 05/14
 DESIGNED BY: Z.T.
 DRAWN BY: S.E.
 CHECKED BY: J.H.



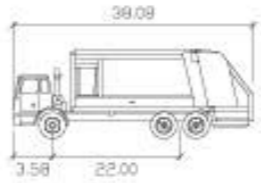
PROJECT: 2201-06
 SHEET: TR-3





CUTSHEET - SEE SHEET TR-3

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Rear-Load Garbage Truck

	Feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 27.4



HSQ GROUP, LLC Engineers - Planners - Surveyors 4111 Vantage Point, Suite 100 Northridge, CA 91324		NO.	DATE	BY
AURA CYPRESS CREEK GARBAGE TRUCK ROUTING PLAN		DATE: 05/14 DESIGNED BY: Z.T. DRAWN BY: S.E. CHECKED BY: J.H.		
		PROJECT: 2201-06 SHEET: TR-4		



MATCHLINE - SEE SHEET PH-2

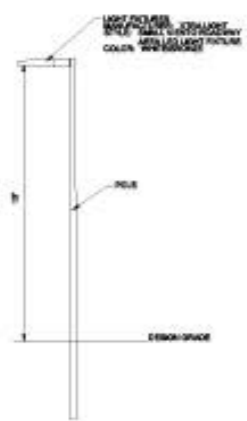
EXIST.
WESTIN
BLDG.

INTERSTATE 95

NE 62nd ST

PROP.
PARKING
GARAGE

DATE	BY	NO.	DATE	BY	NO.



LIGHT POLE DETAIL (GLAN)
N.T.S.

- GENERAL NOTES**
- THE ABOVE LIGHT POLE DETAIL IS FOR REFERENCE PURPOSES ONLY. REFER TO THE MANUFACTURER'S SPECIFICATIONS FOR THE ACTUAL CONSTRUCTION AND INSTALLATION INFORMATION.
 - THE EXACT LOCATIONS OF THE NEW LIGHT POLES ARE TO BE FIELD VERIFIED BY THE CONTRACTOR. REFER TO THE PHOTOMETRIC PLAN FOR THE LIGHT POLE EXACT LOCATION. THE LIGHT POLES SHALL BE MAINTAINED A MINIMUM OF 14 FEET FROM THE EDGE OF PAVEMENT.
 - ALL NEW LIGHT POLES ARE TO BE MANUFACTURED AND INSTALLED TO WITHSTAND CURRENT CODE WIND LOADS PER THE FLORIDA BUILDING CODE.

Sunshine

CALL FOR YOUR APPROVED CONTRACTOR LIST.
MAINTENANCE OF PUBLIC UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
CHECK LOCAL AND STATE REGULATIONS.

NOTE: EXISTING LIGHT FIXTURE SPECIFICATIONS AND RESULTS NOT CURRENTLY KNOWN.
APPROXIMATE ESTIMATE USED FOR PHOTOMETRIC CALCULATIONS

Offsets	Onsite (North) (Existing)	Onsite Roadway
ADJACENT TO PARALLEL 5' 0"	ADJACENT TO PARALLEL 1' 0"	ADJACENT TO PARALLEL 1' 0"
ADJACENT TO PARALLEL 5' 0"	ADJACENT TO PARALLEL 1' 0"	ADJACENT TO PARALLEL 1' 0"
ADJACENT TO PARALLEL 5' 0"	ADJACENT TO PARALLEL 1' 0"	ADJACENT TO PARALLEL 1' 0"
ADJACENT TO PARALLEL 5' 0"	ADJACENT TO PARALLEL 1' 0"	ADJACENT TO PARALLEL 1' 0"
ADJACENT TO PARALLEL 5' 0"	ADJACENT TO PARALLEL 1' 0"	ADJACENT TO PARALLEL 1' 0"
ADJACENT TO PARALLEL 5' 0"	ADJACENT TO PARALLEL 1' 0"	ADJACENT TO PARALLEL 1' 0"
ADJACENT TO PARALLEL 5' 0"	ADJACENT TO PARALLEL 1' 0"	ADJACENT TO PARALLEL 1' 0"

CATEGORY	TYPE	DESCRIPTION	QTY	REMARKS	DATE	BY	CHKD.	APP. FOR
OFF	□	REMOVE EXISTING LIGHT FIXTURES TO BE FIELD VERIFIED BY THE CONTRACTOR.	12					
ON	■	INSTALL NEW LIGHT FIXTURES TO BE FIELD VERIFIED BY THE CONTRACTOR. REFER TO PHOTOMETRIC PLAN FOR EXACT LOCATION AND HUNG HEIGHT.	12					



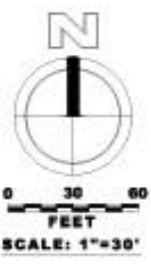
AURA CYPRESS CREEK

PHOTOMETRIC PLAN

DATE: 08/24
DESIGNED BY: Z.T.
DRAWN BY: S.E.
CHECKED BY: J.H.



PROJECT: 2201-05
SHEET: PH-1



Onsite (North) (Existing)

ADJACENT TO ROADWAY	0.0
ADJACENT TO PROPERTY	0.0
ADJACENT TO SIDEWALK	0.0
ADJACENT TO DRIVE	0.0
ADJACENT TO DRIVE	0.0
ADJACENT TO DRIVE	0.0

Offsite

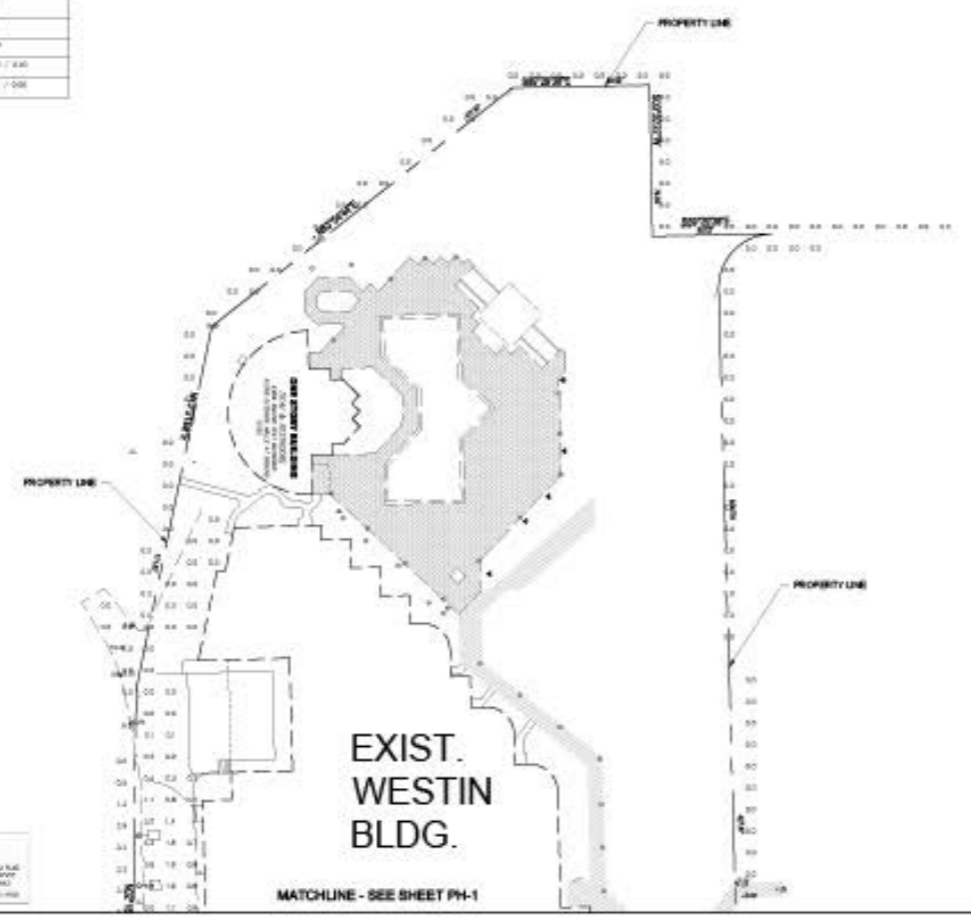
ADJACENT TO ROADWAY	0.0
ADJACENT TO PROPERTY	0.0
ADJACENT TO SIDEWALK	0.0
ADJACENT TO DRIVE	0.0
ADJACENT TO DRIVE	0.0
ADJACENT TO DRIVE	0.0

Onsite Roadway

ADJACENT TO ROADWAY	0.0
ADJACENT TO PROPERTY	0.0
ADJACENT TO SIDEWALK	0.0
ADJACENT TO DRIVE	0.0
ADJACENT TO DRIVE	0.0
ADJACENT TO DRIVE	0.0

LUMINAIRE SCHEDULE

CLASS	SYMBOL	DESCRIPTION	AMOUNT	SPACING	HEIGHT	BEAM ANGLE	FOOT CANDLE	SPACING	SPACING
01	□	SP. 150 W. 150 H. 150 D. 150 LUMINAIRE	150	150'	15'	15°	150	150'	150'
02	■	SP. 150 W. 150 H. 150 D. 150 LUMINAIRE	150	150'	15'	15°	150	150'	150'



Sunshine
 Call for more information...
 Check website...
 www.sunshine.com

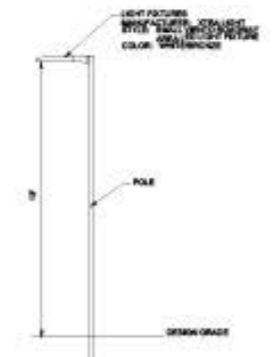
Site Schedule

NO.	DESCRIPTION	DATE	BY	CHECKED
1
2
3
4
5

Material Schedule

NO.	DESCRIPTION	QUANTITY	UNIT	BY	CHECKED
1
2
3
4
5

COOPER LIGHTING
 10000 SW 15th Ave, Suite 100
 Miami, FL 33185
 (305) 553-1100
 www.cooperlighting.com



LIGHT POLE DETAIL (GLAN)
 N.T.S.

GENERAL NOTES

1. THE ABOVE LIGHT POLE DETAIL IS FOR REFERENCE PURPOSES ONLY. REFER TO THE MANUFACTURER'S SPECIFICATIONS FOR THE ACTUAL CONSTRUCTION AND INSTALLATION INFORMATION.
2. THE EXACT LOCATIONS OF THE NEW LIGHT POLES ARE TO BE FIELD DETERMINED AS NECESSARY. WORKERS TO AVOID COLLISIONS WITH EXISTING AND PROPOSED UTILITIES, CONCRETE CURBS, SIDEWALKS, ETC. ALL LIGHT POLES MUST BE INSTALLED AT A MINIMUM OF 2.0 FEET FROM THE EDGE OF PAVEMENT.
3. ALL NEW LIGHT POLES ARE TO BE MANUFACTURED AND INSTALLED TO WITHSTAND CURRENT CODE WIND LOADS PER THE FLORIDA BUILDING CODE.

*NOTE: EXISTING LIGHT FIXTURE SPECIFICATIONS AND RISER NOT CURRENTLY KNOWN.
 (APPROXIMATE ESTIMATE USED FOR PHOTOMETRIC CALCULATIONS)

AURA CYPRESS CREEK
PHOTOMETRIC PLAN

DATE:	05/14
DESIGNED BY:	Z.T.
DRAWN BY:	S.E.
CHECKED BY:	J.H.
PROJECT:	2201-05
SHEET:	PH-2

MATCHLINE - SEE SHEET PDP-2

NOTE: ACCESSIBLE PARKING, ACCESSIBLE PATH FROM PARKING, AND ACCESSIBLE PATH FROM ADJACENT ROW WILL BE IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY CODE

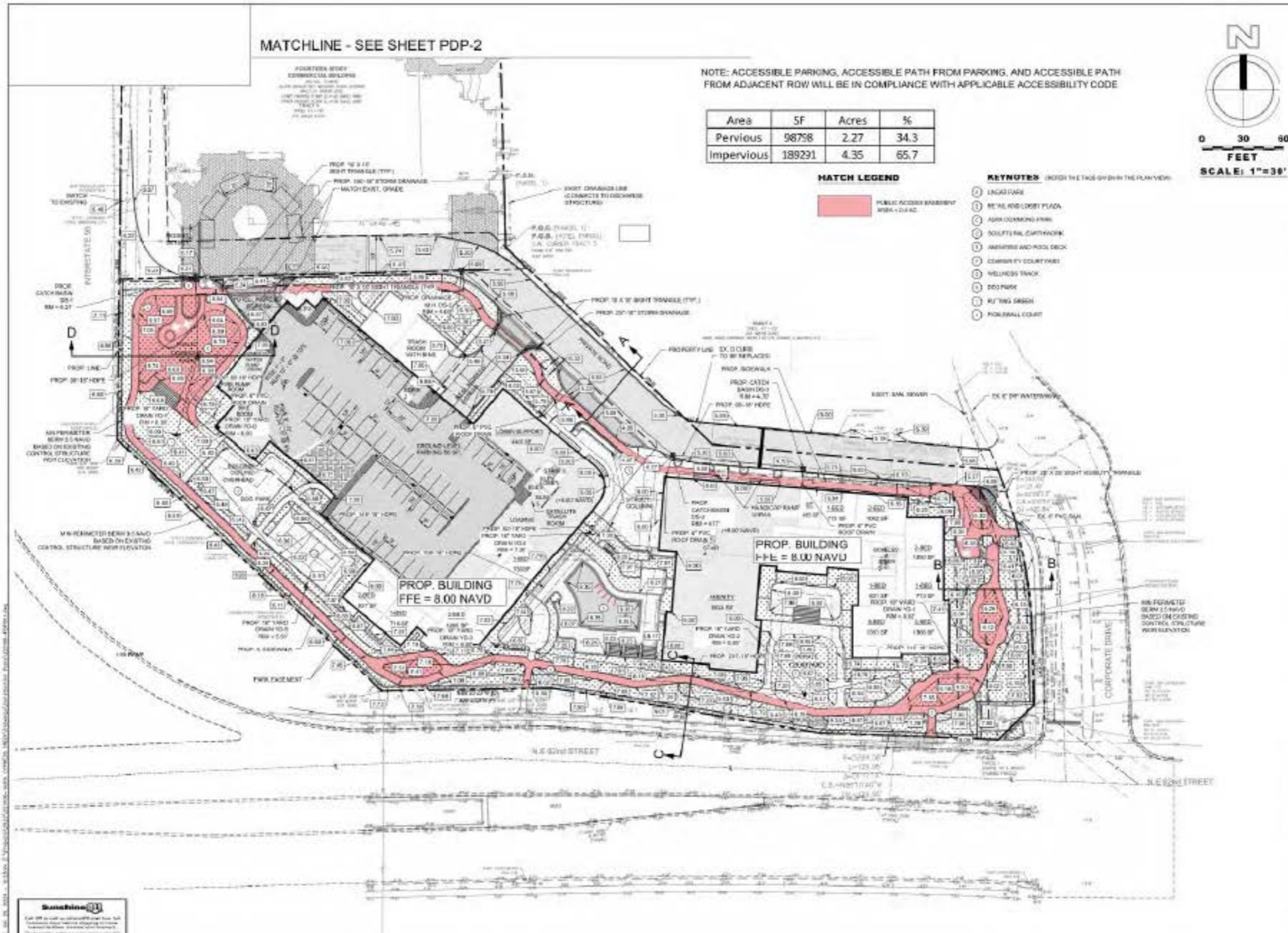
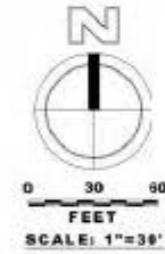
Area	SF	Acres	%
Pervious	98758	2.27	34.3
Impervious	189291	4.35	65.7

MATCH LEGEND

 PUBLIC ACCESSIBLE WALKWAY

KEYNOTES (REFER TO THE TAGS GIVEN BY THE PLAN VIEW)

- ① LANDSCAPE
- ② RETAIL AND LOBBY PLAZA
- ③ ASH COMMONS PARK
- ④ CULTURAL GYMNASIUM
- ⑤ AMUSEMENT AND POOL DECK
- ⑥ COMMUNITY COURTYARD
- ⑦ WELLNESS TRACK
- ⑧ DOG PARK
- ⑨ RYING SADDLE
- ⑩ FOOTBALL COURT



AURA CYPRESS CREEK
PAVING AND DRAINAGE PLAN

DATE: 05/19
DESIGNED BY: J.T.
DRAWN BY: S.E.
CHECKED BY: C.H.



PROJECT: 2291-06
SHEET: POP-1

