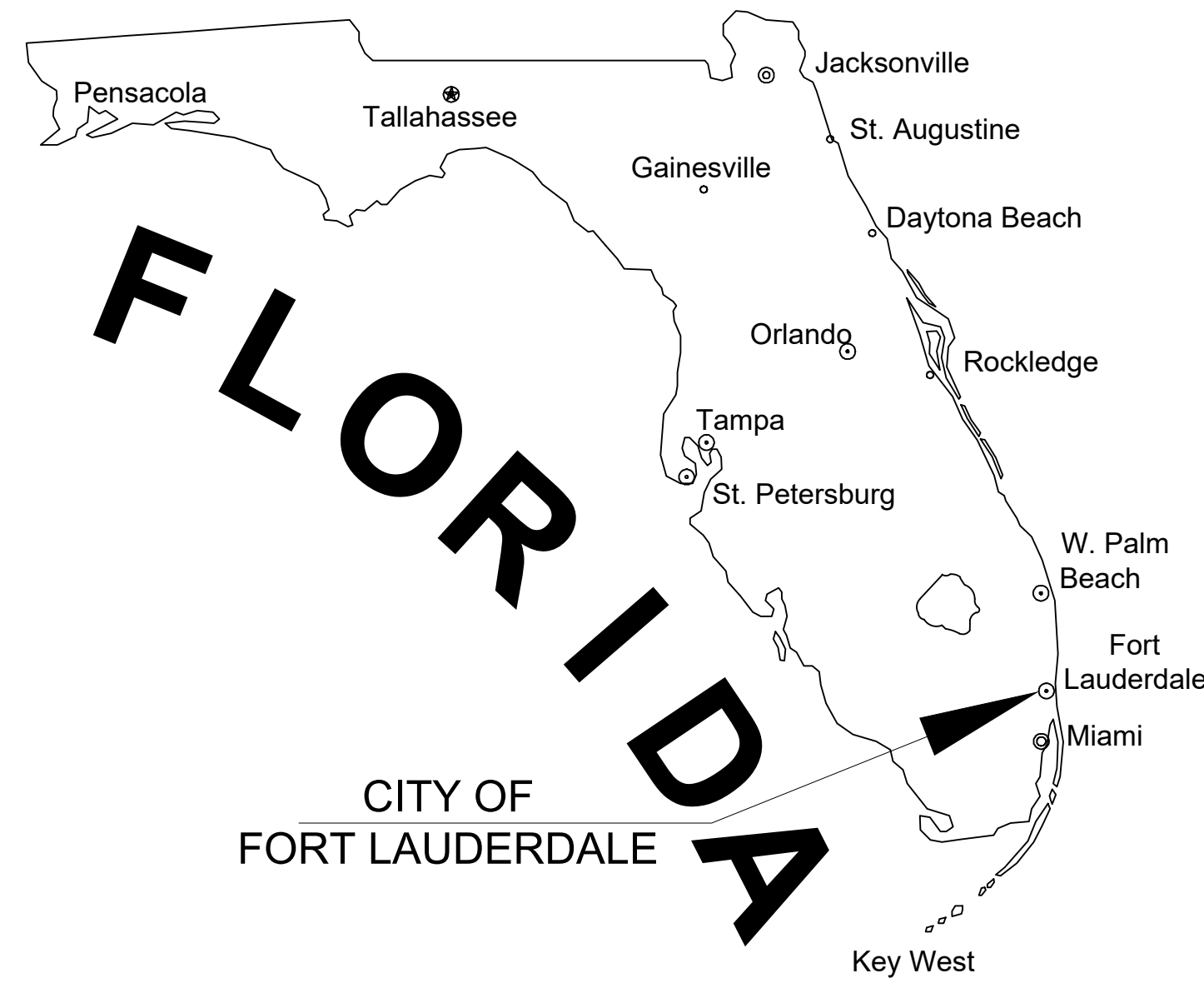


FORT LAUDERDALE POLICE HEADQUARTERS PZB SUBMITTAL

1300 W BROWARD BLVD,
FT. LAUDERDALE, FL 33312



LAND DESCRIPTION:

LEGAL DESCRIPTION
ALL OF BLOCKS 117, 118, 125; AND THE 10 FOOT ALLEYS WITHIN SAID BLOCKS; AND THAT PORTION OF FLORIDA STREET (S.W. 1st STREET) AND NORTH 3rd STREET (S.W. 2nd STREET) LYING BETWEEN SAID BLOCKS, PER WAVERLY PLACE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 19 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; AND LESS THEREOF THE RIGHT-OF-WAY FOR WEST BROWARD BOULEVARD AS SHOWN ON STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP OF STATE ROAD NO. 842, SECTION 86006-2501, DATED 7-15-1971.

TOGETHER WITH:

THE NORTH 855.00 FEET OF LOT 7, THE NORTH 900.00 FEET OF LOT 8, AND THE NORTH 850.00 FEET OF LOT 9, W.C. VALENTINES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK B, PAGE 29 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; AND LESS THEREOF THE RIGHT-OF-WAY FOR WEST BROWARD BOULEVARD AS SHOWN ON STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP OF STATE ROAD NO. 842, SECTION 86006-2501, DATED 7-15-1971.

ALL OF THE ABOVE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID BLOCK 117, WAVERLY PLACE; THENCE SOUTH 88°00'53" WEST ALONG THE SOUTH LINE OF SAID BLOCK 117, A DISTANCE OF 350.79 FEET TO A POINT ON THE WEST LINE OF SAID BLOCK 117 AND A POINT ON THE EAST LINE OF SAID LOT 9, W.C. VALENTINES SUBDIVISION; THENCE NORTH 01°57'46" WEST ALONG SAID EAST LINE OF LOT 9, A DISTANCE OF 10.00 FEET; THENCE SOUTH 88°00'53" WEST ALONG THE SOUTH LINE OF THE NORTH 850.00 FEET OF SAID LOT 9, A DISTANCE OF 209.00 FEET TO A POINT ON THE EAST LINE OF SAID LOT 8, W.C. VALENTINES SUBDIVISION; THENCE SOUTH 01°57'46" EAST ALONG SAID EAST LINE, A DISTANCE OF 50.00 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 900.00 FEET OF SAID LOT 8; THENCE SOUTH 88°00'53" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 209.00 FEET TO A POINT ON THE EAST LINE OF SAID LOT 7, W.C. VALENTINES SUBDIVISION; THENCE NORTH 01°57'46" WEST ALONG SAID EAST LINE, A DISTANCE OF 45.00 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 855.00 FEET OF SAID LOT 7; THENCE SOUTH 88°00'53" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 188.26 FEET TO A POINT ON A LINE 20.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID LOT 7; THENCE NORTH 02°05'07" WEST ALONG SAID PARALLEL LINE, A DISTANCE OF 795.91 FEET; THENCE NORTH 88°01'11" EAST, A DISTANCE 5.00 FEET; THENCE NORTH 42°57'35" EAST, A DISTANCE OF 34.68 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF WEST BROWARD BOULEVARD, AS SHOWN ON SAID RIGHT OF WAY MAP SECTION 86006-2501; THENCE EASTERLY ALONG SAID SOUTH RIGHT-OF-WAY LINE THE FOLLOWING NINE (9) COURSES AND DISTANCES: THENCE NORTH 88°01'11" EAST, A DISTANCE OF 150.97 FEET TO A POINT OF CURVATURE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 9.50 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00" FOR A DISTANCE OF 14.92 FEET TO A POINT OF TANGENCY AND A POINT ON THE EAST LINE OF SAID LOT 7, W.C. VALENTINES SUBDIVISION; THENCE SOUTH 01°58'49" EAST, A DISTANCE OF 4.50 FEET; THENCE NORTH 88°01'11" EAST, A DISTANCE OF 44.50 FEET; THENCE NORTH 01°58'49" WEST, A DISTANCE OF 3.00 FEET; THENCE NORTH 88°01'11" EAST, A DISTANCE OF 60.00 FEET TO A POINT OF CURVATURE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 107.00 FEET; THENCE EASTERLY AND NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 19°05'28", FOR A DISTANCE OF 35.65 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE HAVING A RADIUS OF 93.00 FEET; THENCE NORTHEASTERLY AND EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 19°05'28", FOR A DISTANCE OF 30.99 FEET TO A POINT OF TANGENCY; THENCE NORTH 88°01'11" EAST, FOR A DISTANCE OF 587.84 FEET TO THE TERMINATION OF SAID NINE (9) COURSES AND DISTANCES AND A POINT ON THE EAST LINE OF SAID BLOCK 125, WAVERLY PLACE; THENCE SOUTH 02°02'58" EAST ALONG SAID EAST LINE AND THE EXTENTION THEREOF, FOR A DISTANCE OF 825.37 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA, AND CONTAINING 793.409 SQUARE FEET OR 18.21 ACRES, MORE OR LESS.

FEMA FLOOD ZONE:

THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X WITH A BASE FLOOD ELEVATION OF N/A FEET, AS SHOWN ON F.I.R.M. NUM. 12011C0556J, BEARING A MAP EFFECTIVE DATE OF 12/31/2019.

THESE PLANS MAY HAVE BEEN
REDUCED IN SIZE BY REPRODUCTION.
THIS MUST BE CONSIDERED WHEN
OBTAINING SCALED DATA.



SECTION 09, TOWNSHIP 50 S, RANGE 42 E
FOLIO #504209010070

PREPARED FOR:
AECOM
2 ALHAMBRA PLAZA, SUITE 900
CORAL GABLES, FL 33134

INDEX OF SHEETS	
SHEET No.	SHEET TITLE
--	COVER SHEET
S1-S9	SURVEY
EX-101	SITE IMAGES
SP-100-SP-105	SITE PLANS
SP-501	VEHICLE CIRCULATION PLAN
ARCHITECTURAL PLANS	
HQ-A1-1-01	ARCHITECTURAL SITE PLAN - OVERALL
HQ-A1-4-20	HEADQUARTER BLDG - LIFE SAFETY PLAN LEVEL 2
HQ-A2-2-01 - 2-03	HEADQUARTERS BLDG - FLOOR PLAN LEVEL 1 - 3 OVERALL
HQ-A2-2-04	HEADQUARTERS BLDG - ROOF PLAN - OVERALL
HQ-A3-2-00	HEADQUARTERS BLDG - BUILDING ELEVATIONS - OVERALL
HQ-A3-2-01 - 2-11	HQ BLDG - BUILDING ELEVATIONS - ENLARGED
HQ-A5-4-04	HQ BLDG - DETAILS - MISCELLANEOUS
HQ-A8-1-01 - 1-03	HQ BLDG - RENDERINGS
HQ-A8-1-04-1-05	HQ BLDG - GREEN SCREEN AND MATERIALS BOARD
PG-A2-2-01	PARKING GARAGE - FLOOR PLAN LEVEL 1 - OVERALL
PG-A2-2-02	PARKING GARAGE - FLOOR PLAN LEVEL 2 - OVERALL
PG-A2-2-03	PARKING GARAGE - FLOOR PLAN LEVEL 3 - OVERALL
PG-A3-1-01 - 1-02	OVERALL BUILDING ELEVATIONS
PG-A3-4-01 - 4-02	WALL SECTIONS
CIVIL PLANS	
GI-001	LEGEND AND ABBREVIATIONS
GI-002	GENERAL CONSTRUCTION NOTES
GI-003	CONSTRUCTION SPECIFICATIONS
CD-000-CD-105	DEMOLITION PLANS
CG-000-CG-105	EROSION CONTROL PLANS
CG-501	EROSION CONTROL DETAILS
CP-000-CP-105	PAVING, GRADING, AND DRAINAGE PLANS
CP-301-CP-303	PAVING, GRADING, AND DRAINAGE SECTIONS
CP-501-CP-506	PAVING, GRADING, AND DRAINAGE DETAILS
CU-000-CU-105	WATER AND SEWER PLANS
CU-501-CU-505	WATER AND SEWER DETAILS
CM-000-CM-105	PAVEMENT MARKING AND SIGNAGE PLAN
LANDSCAPE PLANS	
LC-100	OVERALL REFERENCE PLAN
LC-101	ILLUSTRATIVE SITE PLAN
LD-001	TREE DISPOSITION LIST
LD-101	TREE DISPOSITION PLANS
LH 100-105	HARDSCAPE PLANS
LH 501-504	HARDSCAPE DETAILS
LP 001-002	PLANTING NOTES AND SCHEDULE
LP 101-105	LANDSCAPE PLANS (CANOPY)
LP 201-205	LANDSCAPE PLAN (UNDERSTORY)
LP-501	PLANTING DETAILS
LI 101-105	IRRIGATION PLAN
LL-101	PHOTOMETRIC PLAN
LL-501	PHOTOMETRIC DETAILS

PERMITTING AGENCIES	PERMIT NO.	EXPIRES
CITY OF XXXXX	XXXXXXXXXX	XX/XX/XX
BROWARD COUNTY XXXXX		



THOMAS F. DONAHUE, P.E.
FLORIDA REG. NO. 60529
(FOR THE FIRM)

PROJECT No. 11112.00 04/11/2022

ADJACENT PROPERTY
ZONING: B1
LAND USE: ACTIVITY CENTER

SHEET
SP-101

SHEET
SP-102

GRAPHIC SCALE
0 50 100
SCALE: 1" = 50'
NOTE: PRINTED DRAWING SIZE
MAY HAVE CHANGED FROM
ORIGINAL. VERIFY SCALE USING
BAR SCALE ABOVE.

KEITH
301 East Atlantic Blvd.
Pompano Beach, FL 33060
PH: (954) 788-3400

Florida Engineering Business License: CA7928
Florida Surveyor and Mapper Business License: LB6860
Florida Landscape Architecture Business License: LC26000457

REVISIONS

NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS FROM
ALL AGENCIES HAVING JURISDICTION OVER
THE PROJECT WILL FALL SOLELY UPON THE
USER.

ISSUE DATE: 04/04/22
DESIGNED BY: MH, LW, AS
DRAWN BY: MH, AS
CHECKED BY: KS, PW
BID-CONTRACT:

6/25/21

PAUL H. WEINBERG, R.L.A.
FLORIDA REG. NO. LA6666804
(FOR THE FIRM)

CLIENT

**CITY OF FORT
LAUDERDALE**

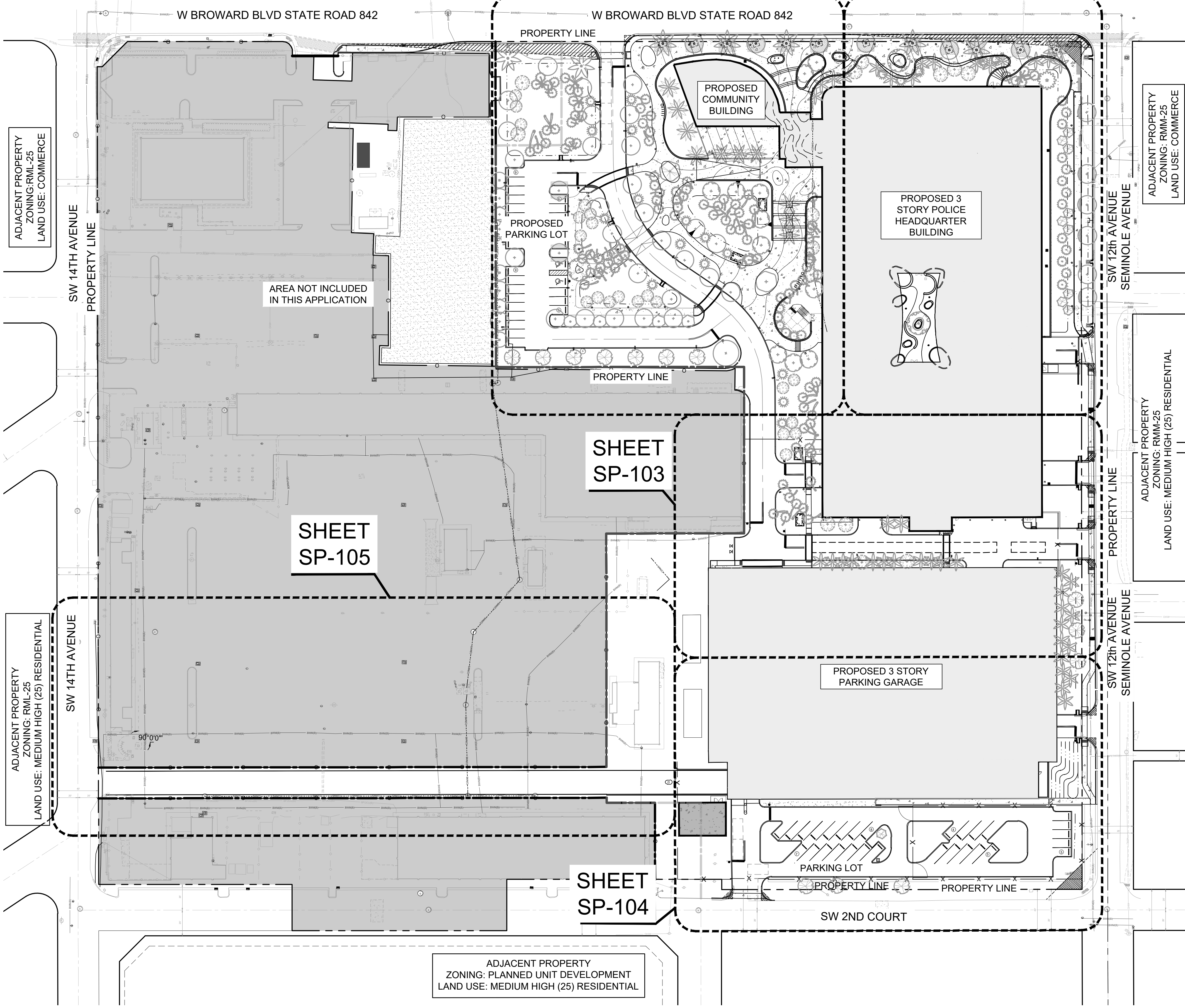
PROJECT

**NEW POLICE
HEADQUARTERS
1300-1350 WEST
BROWARD BLVD**

SHEET TITLE

**SITE PLAN KEY
SHEET**

SHEET NUMBER **SP-000**
PROJECT NUMBER **11112.00**



ADJACENT PROPERTY
ZONING: PLANNED UNIT DEVELOPMENT
LAND USE: MEDIUM HIGH (25) RESIDENTIAL

SHEET
SP-104

SHEET
SP-105

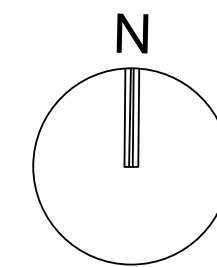
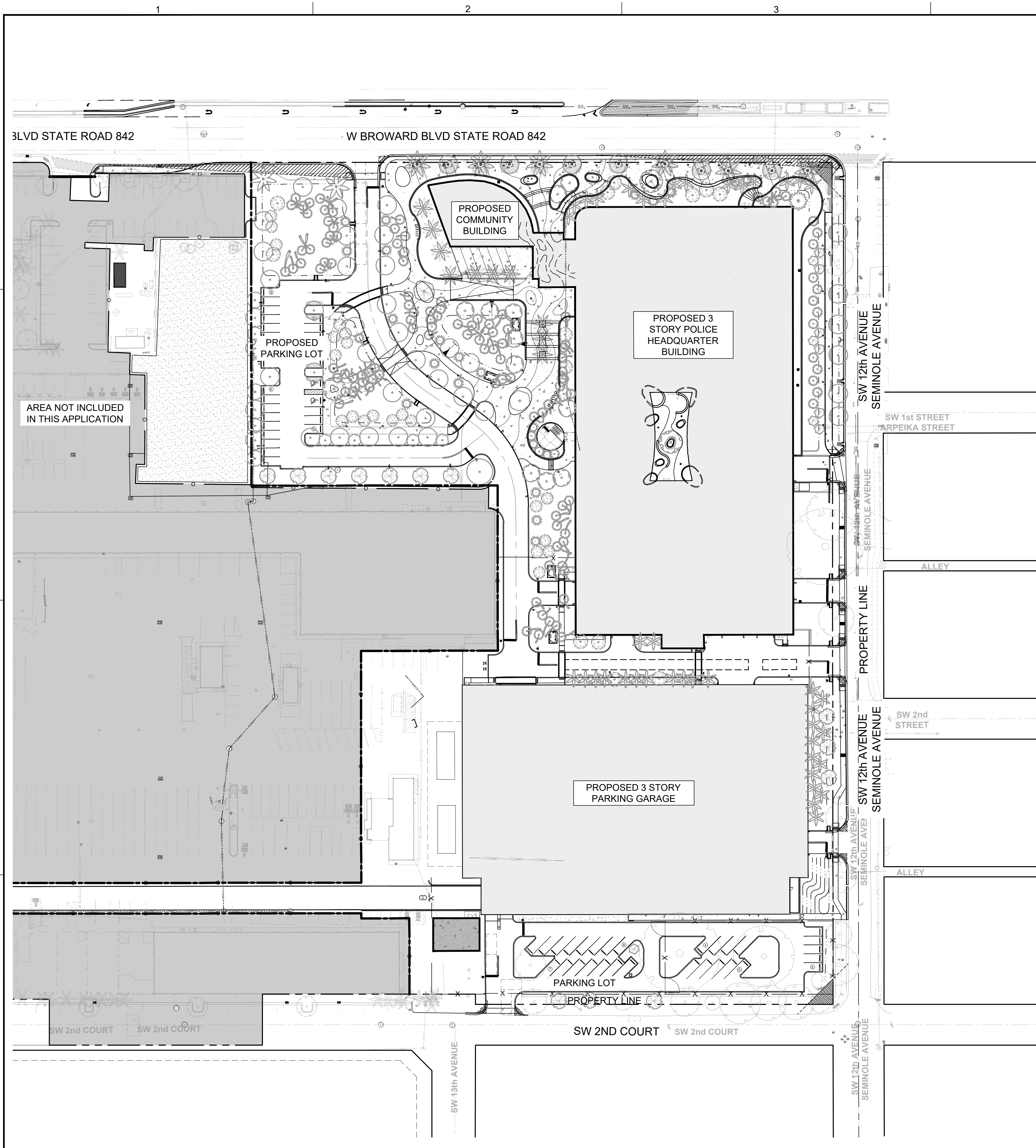
SHEET
SP-103

ADJACENT PROPERTY
ZONING: RML-25
LAND USE: MEDIUM HIGH (25) RESIDENTIAL

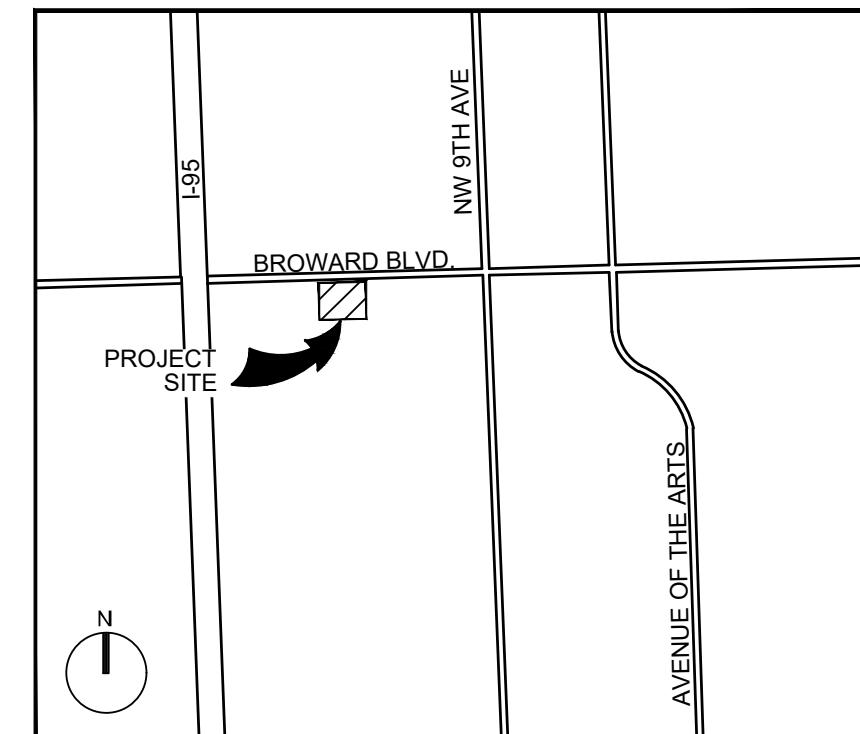
ADJACENT PROPERTY
ZONING: RMM-25
LAND USE: MEDIUM HIGH (25) RESIDENTIAL

ADJACENT PROPERTY
ZONING: RML-25
LAND USE: COMMERCE

ADJACENT PROPERTY
ZONING: RMM-25
LAND USE: COMMERCE



GRAPHIC SCALE
 0 50 100
 SCALE: 1" = 50'
 NOTE: PRINTED DRAWING SIZE
 MAY HAVE CHANGED FROM
 ORIGINAL. VERIFY SCALE USING
 BAR SCALE ABOVE.



LOCATION SKETCH
(NOT TO SCALE)

NOTES:

- REFER TO ARCHITECTURE SET FOR INTERIOR OF BUILDING
- REFER TO CIVIL SET FOR ENGINEERING PLANS
- REFER TO SURVEY FOR FULL LEGAL DESCRIPTION

LEGAL DESCRIPTION:

VALENTINES SUB B-29 D LOT 7 N 855 LESS RD LOT 8 N 900 LESS RD, & LOT 9 N 850 LESS RD & TOGETHER WITH BLKS 117,118 & LOT 5 TO 28 BLK 125 & VAC ALLEYS WITHIN SAID BLKS 117&118 & LOTS 5 TO 28 BLK 125 & THAT POR OF VAC SW 1 ST & SW 2 ST BETWEEN SAID BLKS IN OF SUB WAVERLY PLACE OF 2-19 D

SITE DATA TABLE		
PROJECT ADDRESS:	1300 W BROWARD BLVD, FORT LAUDERDALE, FL 33312	
FOLIO No.	504209010070, 504209092510	
LAND USE DESIGNATION:	Community Facilities, Commercial Medium-High Residential	
ZONING DESIGNATION:	CF - Community Facility, RMM-25 - Residential MF Mid Rise/ Med. High Density	
	SQ. FT.	ACREAGE
GROSS SITE AREA (PER SURVEY)	793,409	18.21
NET SITE AREA (SF)	404,295	9.28
GROSS BUILDING AREA	413,061	SF
HEADQUARTERS BUILDING	190,980	SF
PARKING GARAGE	222,081	SF
NOTES:	1. SEE ARCHITECTURAL PLANS FOR INTERIOR BUILDING AREA	
SERVICE PROVIDERS:	POTABLE WATER: CITY OF FORT LAUDERDALE SANITARY SEWER: CITY OF FORT LAUDERDALE SOLID WASTE: CITY OF FORT LAUDERDALE	
ZONING DISTRICT REQUIREMENTS:	REQUIRED	PROVIDED
BUILDING HEIGHT	60'	50'
SETBACK REQUIREMENTS:		
FRONT YARD (NORTH)	25'	17.58'
STREET SIDE YARD (EAST)	25'	
STREET REAR YARD (SOUTH)	25'	88.2'
SIDE YARD (WEST)	25'	75.3'
SITE AREA CALCULATIONS:	SQ. FT.	%
NET SITE AREA:	404,295	100%
VUA - VEHICLE USE AREA (% OF VUA)	75,817 SF	18.75%
PARKING CALCULATIONS:	REQUIRED	PROVIDED
OFFICE		
1 SPACE PER 250 SF (182,591 SF)	730	
COMMUNITY CENTER		
1 SPACE PER 400 SF (5,270SF)	13	
TOTAL PARKING	743	415
BICYCLE PARKING	REQUIRED	PROVIDED
1 per 10,000 SF Floor Area (190,980)	19 per Design Manual	24

KEITH
 301 East Atlantic Blvd.
 Pompano Beach, FL 33060
 PH: (954) 788-3400

Florida Engineering Business License: CA7928
 Florida Surveyor and Mapper Business License: LB6860
 Florida Landscape Architecture Business License: LC26000457

REVISIONS

NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
 DESIGNED BY: MH, LW, AS
 DRAWN BY: MH, AS
 CHECKED BY: KS, PW
 BID-CONTRACT:



PAUL H. WEINBERG, R.L.A.
 FLORIDA REG. NO. LA6666804
 (FOR THE FIRM)

CLIENT
CITY OF FORT LAUDERDALE

PROJECT
**NEW POLICE HEADQUARTERS
 1300-1350 WEST BROWARD BLVD**

SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER **SP-100**
 PROJECT NUMBER **11112.00**

STATUS: 100% SUBMISSION

DOC051721-05172021140137

GRAPHIC SCALE

0 20 40

SCALE: 1" = 20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



301 East Atlantic Blvd.
Pompano Beach, FL 33060
PH: (954) 788-3400

Florida Engineering Business License: CA7928
Florida Surveyor and Mapper Business License: LC26000457
Florida Landscape Architecture Business License: LC26000457

REVISIONS

NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22

DESIGNED BY: MH, LW, AS

DRAWN BY: MH, AS

CHECKED BY: KS, PW

BID-CONTRACT:



PAUL H. WEINBERG, R.L.A.
FLORIDA REG. NO. LA6666804
(FOR THE FIRM)

CLIENT

CITY OF FORT LAUDERDALE

PROJECT

NEW POLICE HEADQUARTERS
1300-1350 WEST BROWARD BLVD

SHEET TITLE

SITE PLAN

SHEET NUMBER SP-101

PROJECT NUMBER 11112.00

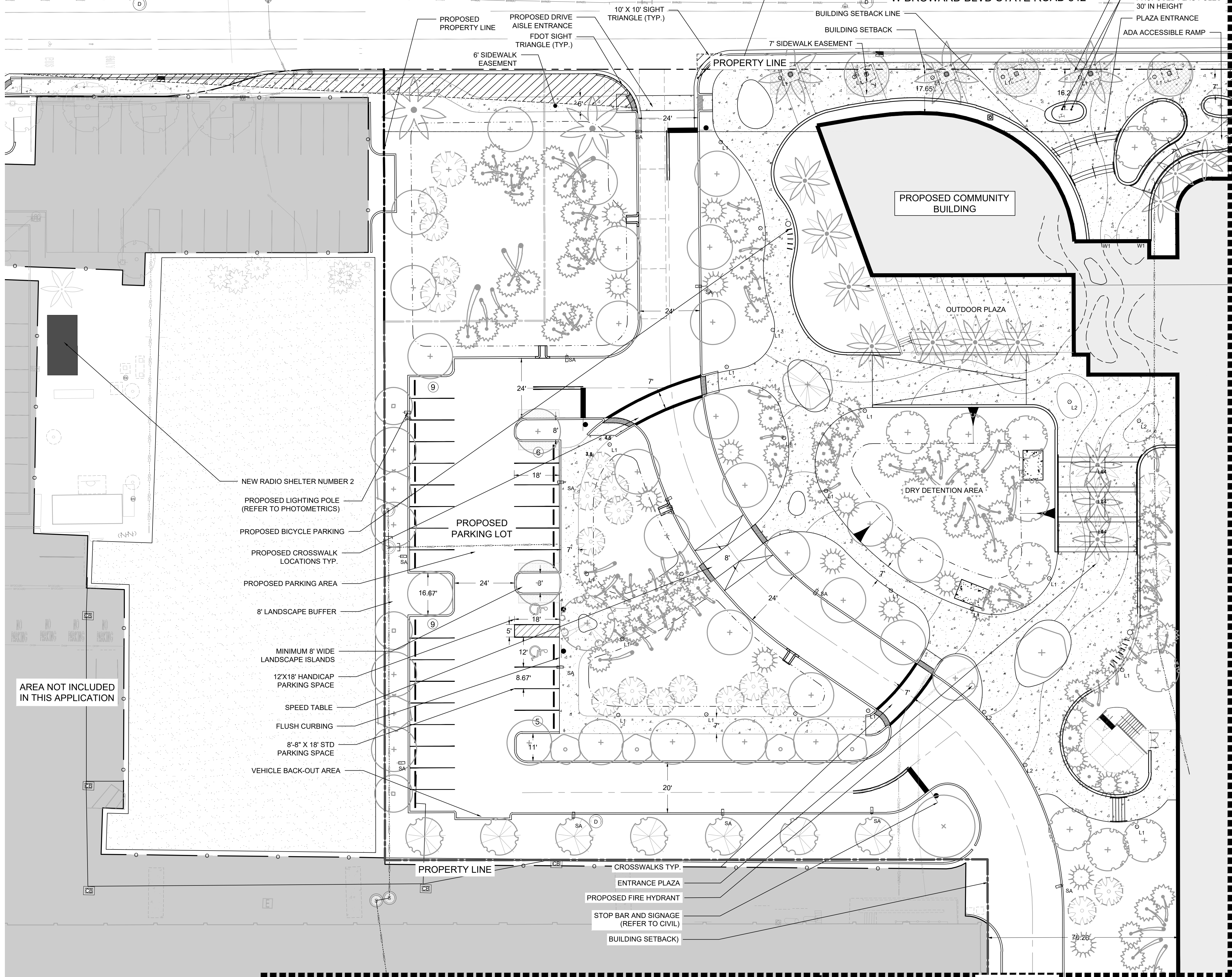
STATUS: 100% SUBMISSION

D

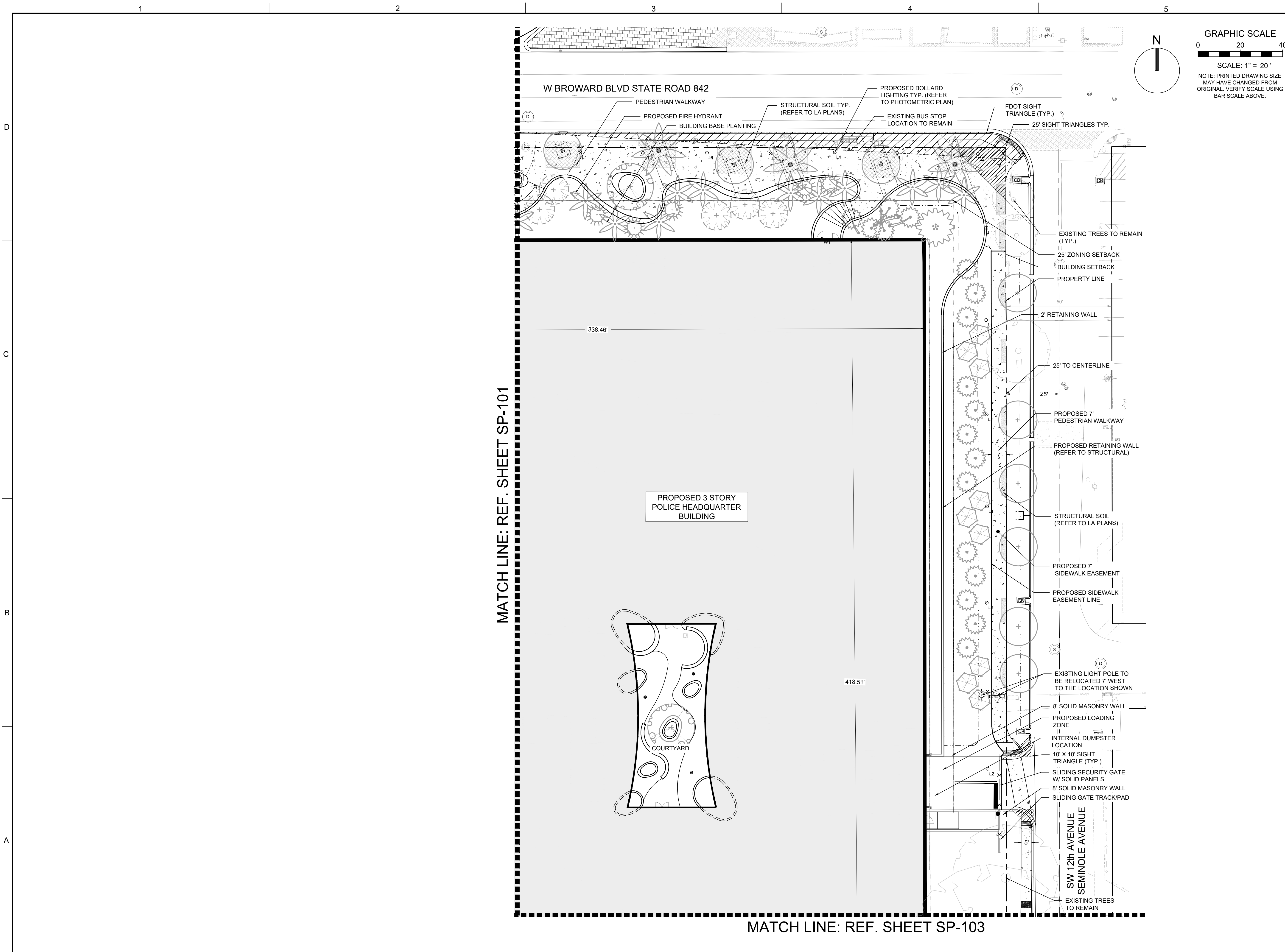
C

B

A



PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1



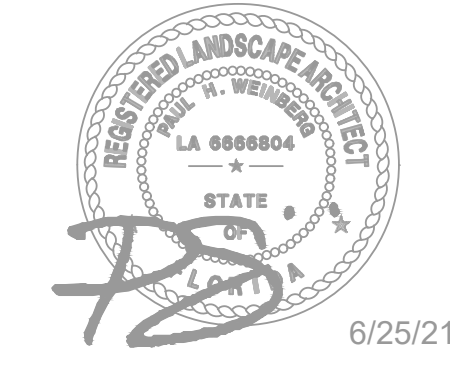
GRAPHIC SCALE
 0 20 40
 SCALE: 1" = 20'
 NOTE: PRINTED DRAWING SIZE
 MAY HAVE CHANGED FROM
 ORIGINAL. VERIFY SCALE USING
 BAR SCALE ABOVE.

KEITH
 301 East Atlantic Blvd.
 Pompano Beach, FL 33060
 PH: (954) 788-3400
 Florida Engineering Business License: CA7928
 Florida Surveyor and Mapper Business License: LB6860
 Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE
 PLANS PRIOR TO OBTAINING PERMITS FROM
 ALL AGENCIES HAVING JURISDICTION OVER
 THE PROJECT WILL FALL SOLELY UPON THE
 USER.

ISSUE DATE: 04/04/22
 DESIGNED BY: MH, LW, AS
 DRAWN BY: MH, AS
 CHECKED BY: KS, PW
 BID-CONTRACT:



PAUL H. WEINBERG, R.L.A.
 FLORIDA REG. NO. LA6666804
 (FOR THE FIRM)

CLIENT
CITY OF FORT LAUDERDALE

PROJECT
**NEW POLICE HEADQUARTERS
 1300-1350 WEST BROWARD BLVD**

SHEET TITLE
SITE PLAN

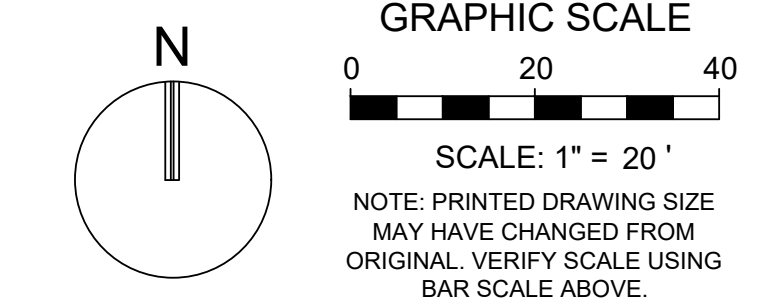
SHEET NUMBER **SP-102**
 PROJECT NUMBER **11112.00**

MATCH LINE: REF. SHEET SP-101

MATCH LINE: REF. SHEET SP-103

STATUS: 100% SUBMISSION

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1



KEITH
 301 East Atlantic Blvd.
 Pompano Beach, FL 33060
 PH: (954) 788-3400
Florida Engineering Business License: CA7928
 Florida Surveyor and Mapper Business License: LB68860
 Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
 DESIGNED BY: MH, LW, AS
 DRAWN BY: MH, AS
 CHECKED BY: KS, PW
 BID-CONTRACT:



PAUL H. WEINBERG, R.L.A.
 FLORIDA REG. NO. LA6666804
 (FOR THE FIRM)

CLIENT

CITY OF FORT LAUDERDALE

PROJECT

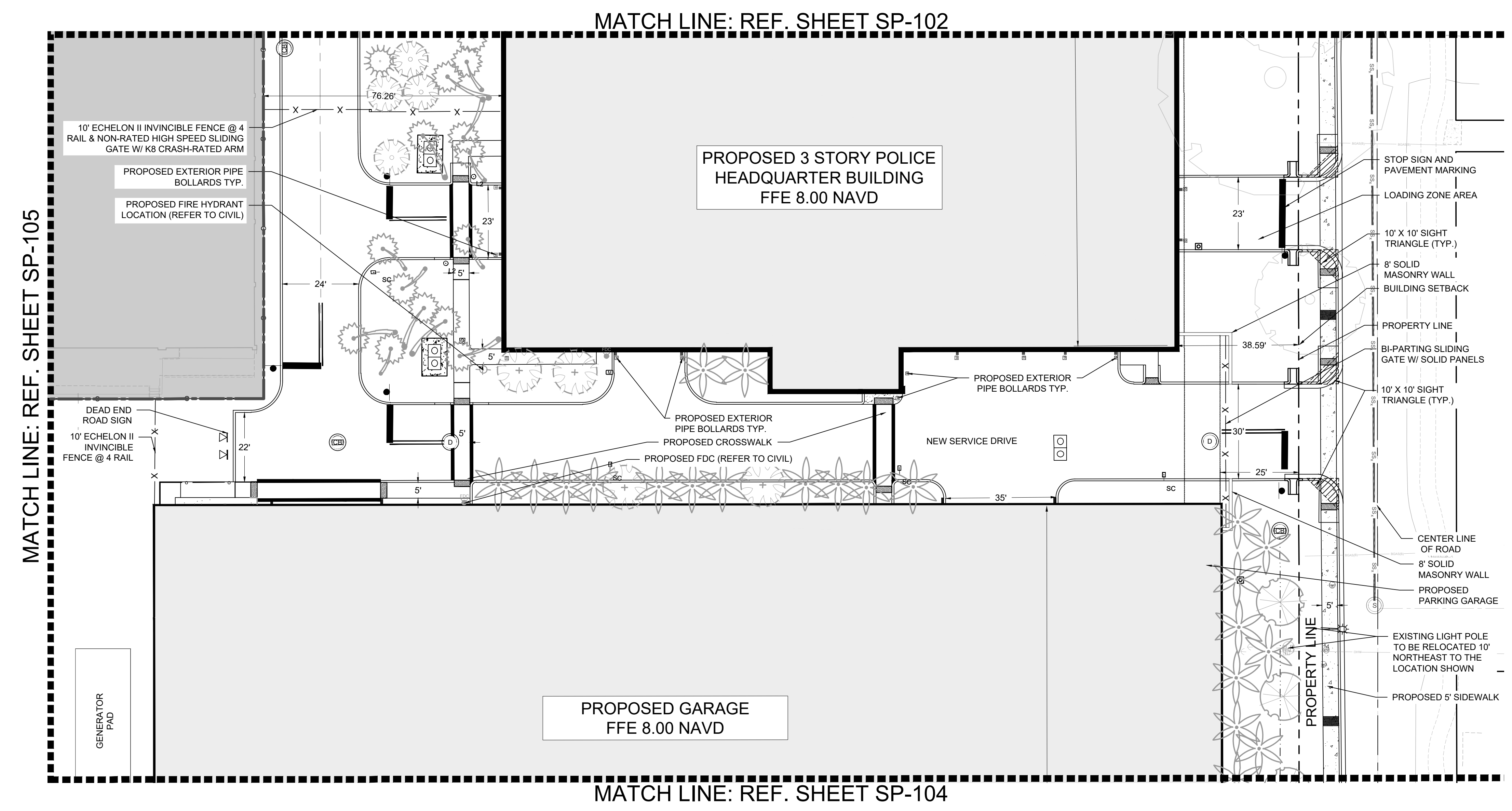
**NEW POLICE HEADQUARTERS
 1300-1350 WEST BROWARD BLVD**

SHEET TITLE

SITE PLAN

SHEET NUMBER **SP-103**
 PROJECT NUMBER **11112.00**

STATUS: 100% SUBMISSION



MATCH LINE: REF. SHEET SP-102

MATCH LINE: REF. SHEET SP-105

MATCH LINE: REF. SHEET SP-104



301 East Atlantic Blvd.
Pompano Beach, FL 33060
PH: (954) 788-3400

Florida Engineering Business License: CA7928
Florida Surveyor and Mapper Business License: LB6860
Florida Landscape Architecture Business License: LC26000457

REVISIONS

NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

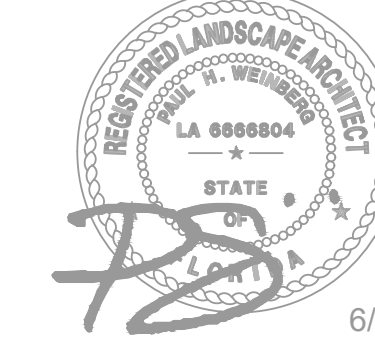
ISSUE DATE: 04/04/22

DESIGNED BY: MH, LW, AS

DRAWN BY: MH, AS

CHECKED BY: KS, PW

BID-CONTRACT:



PAUL H. WEINBERG, R.L.A.
FLORIDA REG. NO. LA6666804
(FOR THE FIRM)

CLIENT

CITY OF FORT LAUDERDALE

PROJECT

NEW POLICE HEADQUARTERS
1300-1350 WEST BROWARD BLVD

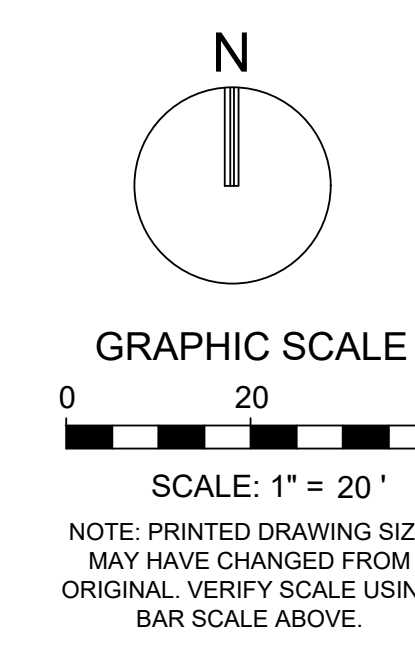
SHEET TITLE

SITE PLAN

SHEET NUMBER SP-104

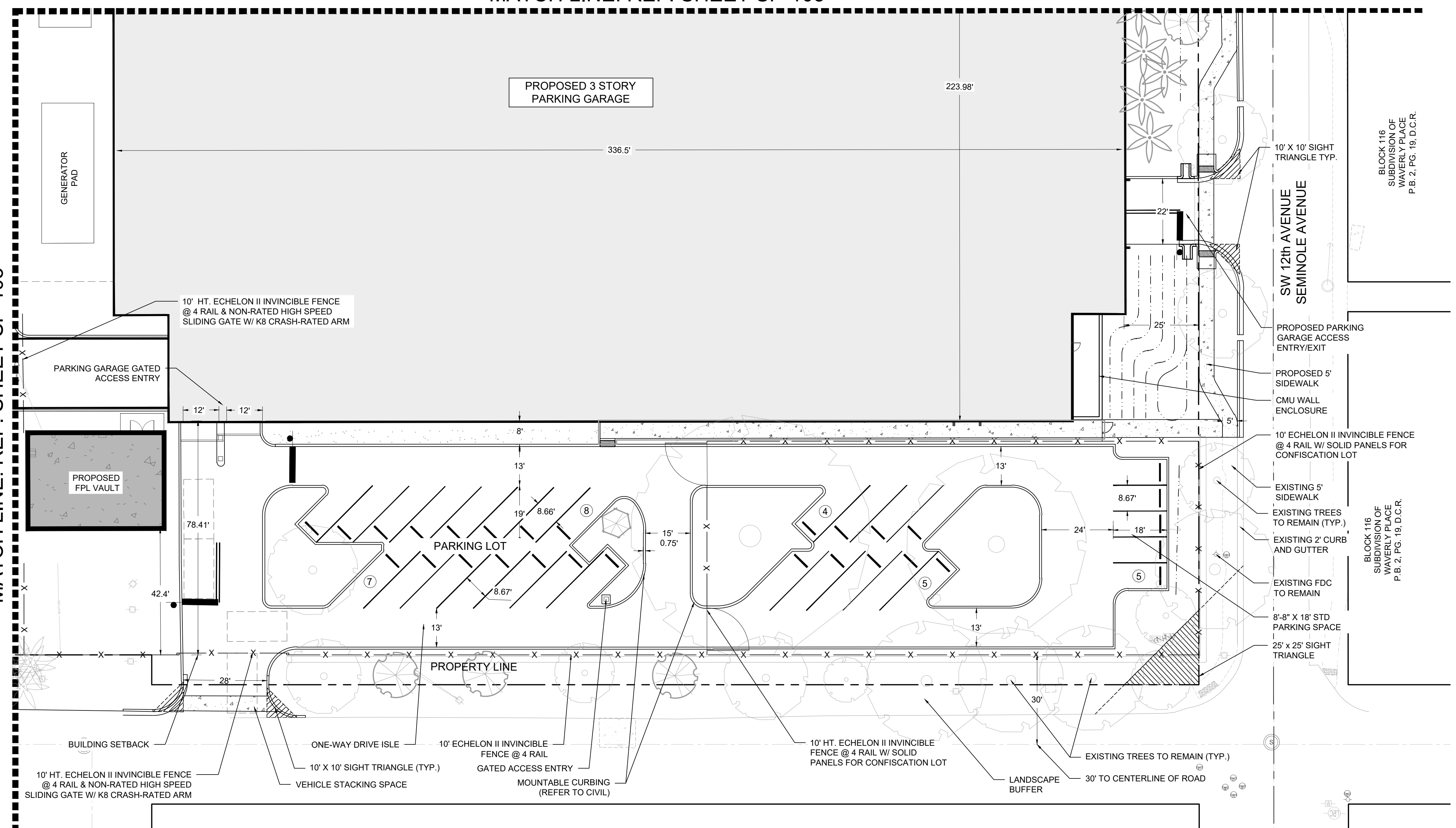
PROJECT NUMBER 11112.00

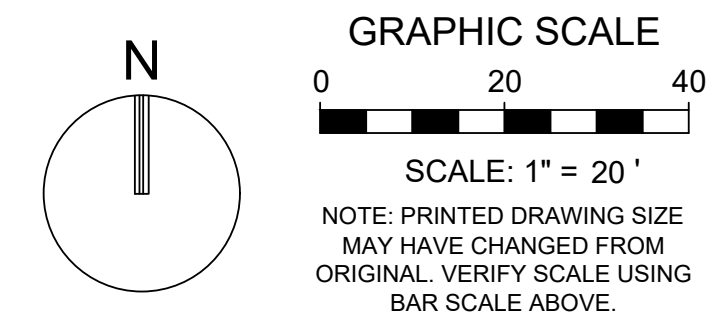
STATUS: 100% SUBMISSION



MATCH LINE: REF. SHEET SP-103

MATCH LINE: REF. SHEET SP-105





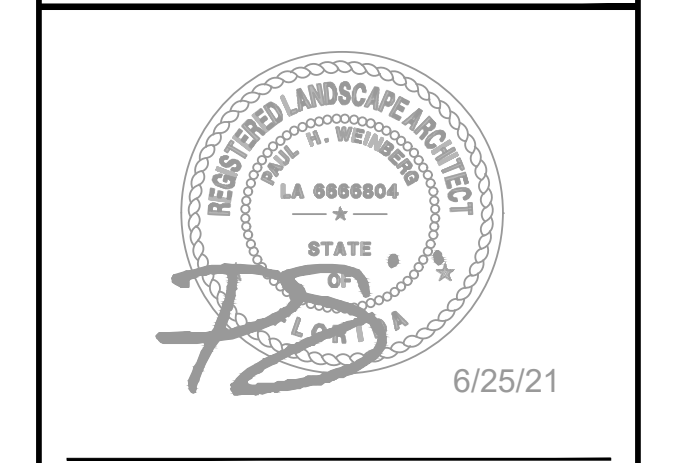
KEITH
 301 East Atlantic Blvd.
 Pompano Beach, FL 33060
 PH: (954) 788-3400

Florida Engineering Business License: CA7928
 Florida Surveyor and Mapper Business License: LB6860
 Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
 DESIGNED BY: MH, LW, AS
 DRAWN BY: MH, AS
 CHECKED BY: KS, PW
 BID-CONTRACT:



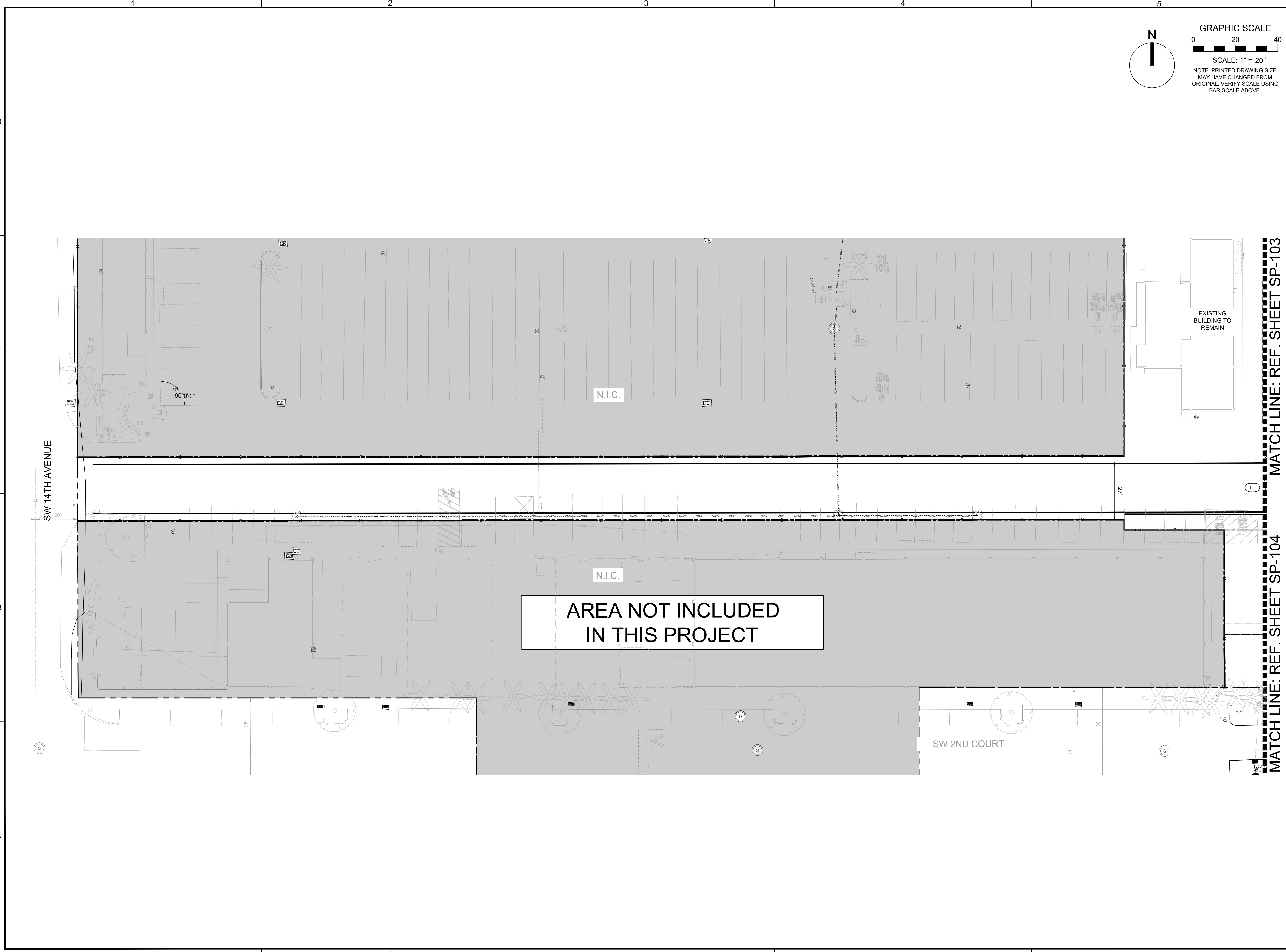
CLIENT
CITY OF FORT LAUDERDALE

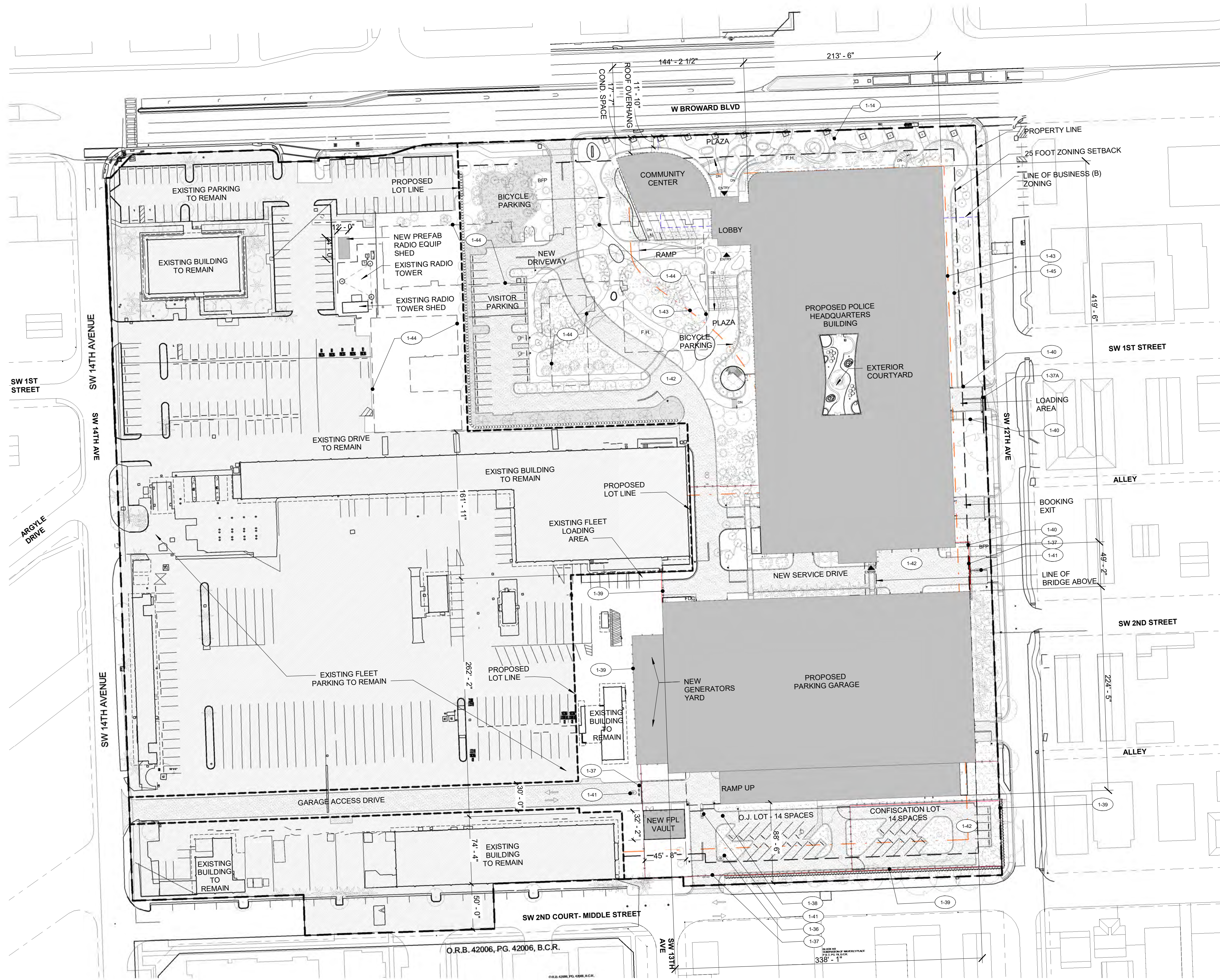
PROJECT
**NEW POLICE HEADQUARTERS
 1300-1350 WEST BROWARD BLVD**

SHEET TITLE
SITE PLAN

SHEET NUMBER **SP-105**
 PROJECT NUMBER **11112.00**

STATUS: 100% SUBMISSION

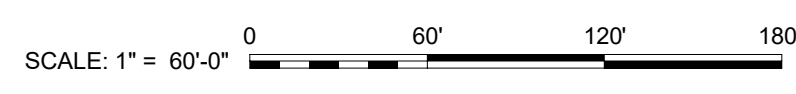




- KEYNOTES**
- 1-14 PRECAST CONCRETE PAVER SIDEWALK/PLAZA
 - 1-36 PEDESTAL MOUNTED CARD READER, INTERCOM AND AUTOMATIC GATE OPENER
 - 1-37 BI-PARTING SLIDING SECURITY GATE - 8FT HIGH
 - 1-37A SLIDING SECURITY GATE - 8FT HIGH
 - 1-38 SWINGING SECURITY GATE - 8FT HIGH
 - 1-39 SECURITY FENCING - 8FT HIGH
 - 1-40 SECURITY MASONRY WALL - 8FT HIGH
 - 1-41 PEDESTAL MOUNTED CARD READER, SECURITY GATE ARM ACCESS CONTROL
 - 1-42 ASPHALT DRIVEWAY, SEE CIVIL DWGS
 - 1-43 50 FOOT SECURITY SETBACK (FROM FACE OF CURB)

- KEYNOTES**
- 1-44 LINE OF EXISTING BUILDING TO DEMO SEE DEMO DWGS.
 - 1-45 2' RETAINING WALL WALL SEE LANDSCAPE DWGS.

SITE PLAN
Scale: 1" = 60'-0"



PROJECT DATA		
FORT LAUDERDALE POLICE HEADQUARTERS 1300 W BROWARD BLVD FORT LAUDERDALE, FL 33321 OWNERS: CITY OF FORT LAUDERDALE DEPARTMENT OF PUBLIC WORKS		
EXISTING CONDITIONS		
ZONING	CF - COMMUNITY FACILITY, B-1 - BUSINESS	
FLOOD ZONE	ZONE AH & ZONE X	
LOT SIZE	793,409 SF (18.21 ACRES) LOT A - 389,486 SF (8.94 ACRES)	
LEGAL DESCRIPTION		
ALL OF BLOCKS 117, 118, 125; AND THE 10 FOOT ALLEYS WITHIN SAID BLOCKS; AND THAT PORTION OF FLORIDA STREET (S.W. 1st STREET) AND NORTH 3rd STREET (S.W. 2nd STREET) LYING BETWEEN SAID BLOCKS, PER WAVERLY PLACE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 19 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; AND LESS THEREOF THE RIGHT-OF-WAY FOR WEST BROWARD BOULEVARD AS SHOWN ON STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP OF STATE ROAD NO. 842, SECTION 86006-2501, DATED 7-15-1971.		
TOGETHER WITH: THE NORTH 855.00 FEET OF LOT 7, THE NORTH 900.00 FEET OF LOT 8, AND THE NORTH 850.00 FEET OF LOT 9, W.C. VALENTINES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 29 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; AND LESS THEREOF THE RIGHT-OF-WAY FOR WEST BROWARD BOULEVARD AS SHOWN ON STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP OF STATE ROAD NO. 842, SECTION 86006-2501, DATED 7-15-1971.		
BUILDING HEIGHT		
NEW BUILDING	ALLOWED 60 FT	PROVIDED 50 FT
BUILDING SETBACKS		
FRONT	REQUIRED 25 FT	PROVIDED 17'-7" COND. SPACE 11'-10" ROOF OVERHANG
SIDE	25 FT	38'-7"
REAR	25 FT	88'-6"
FLOOD LEGEND		
HIGHEST CROWN OF ROAD (EXISTING)	PROPOSED GROUND FLOOR	ADJACENT GRADE (SIDEWALK)
4.95' (NAVD88)	8.00' (NAVD88)	4.49' (NAVD88)
PROPOSED SITE IMPROVEMENTS		
	EXISTING	NEW
NEW BUILDING - USABLE (A/C)	-	190,980 SF
GARAGE	-	222,081 SF
TOTAL	0 SF	413,061 SF
FLOOR AREA RATIO - FAR		
MAXIMUM FAR	NEW PROPOSED	
1.0 X 389,486 = 389,486 SF	HEADQUARTERS BUILDING 190,980 SF (NOT INCLUDING PARKING GARAGE)	
LOT COVERAGE		
ALLOWED	NEW PROPOSED	
NOT APPLICABLE	HEADQUARTERS = 98,480 SF PARKING GARAGE = 78,044 SF FPL VAULT = 2,060 SF	
TOTAL NEW BUILDING FOOT PRINT:		178,605 SF
NEW 3 STORY BUILDING & 3 STORY PARKING GARAGE		
COST OF CONSTRUCTION : SCOPE OF WORK		
ITEMIZED LIST:		
NEW CONSTRUCTION		
COST OF CONSTRUCTION : SCOPE OF WORK		
NEW (A/C)	190,980	SQ. FT. OF CONSTRUCTION
NEW (GARAGE)	222,081	SQ. FT. OF CONSTRUCTION
TOTAL COST OF WORK :		\$ 83,390,250



PROJECT
FORT LAUDERDALE POLICE HEADQUARTERS
1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312



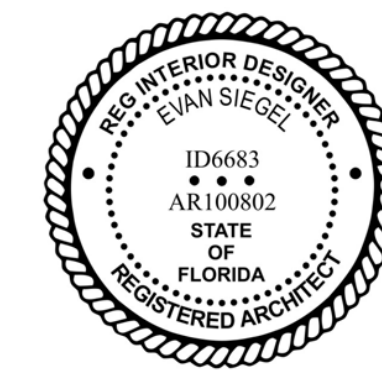
CLIENT
CITY OF FORT LAUDERDALE DEPARTMENT OF PUBLIC WORKS

PRIME CONSULTANT

AECOM
2 ALHAMBRA PLAZA, SUITE 900
CORAL GABLES, FL 33134
305.444.4691 tel 305.675.3843 fax
http://www.aecom.com

CONSULTANTS

REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
5	APRIL 4, 2022	100% CONSTRUCTION DOCS
4	NOV 24, 2021	75% CONSTRUCTION DOCS
3	AUG 16, 2021	DRG RESUBMIT
2	JUNE 21, 2021	DESIGN DEVELOPMENT
1	MAR 15, 2021	SCHEMATIC DESIGN

LR	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER

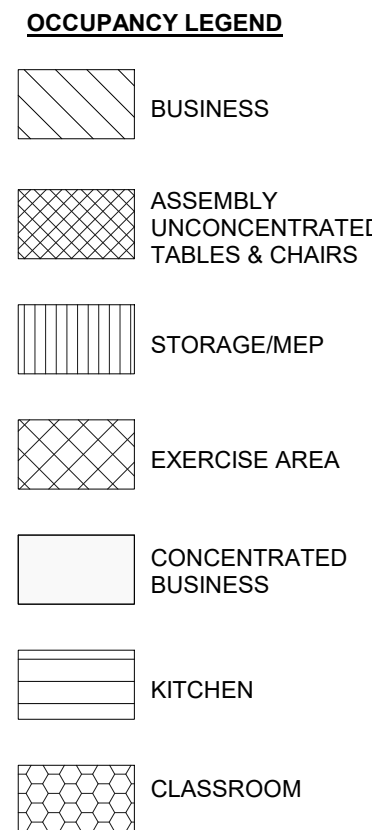
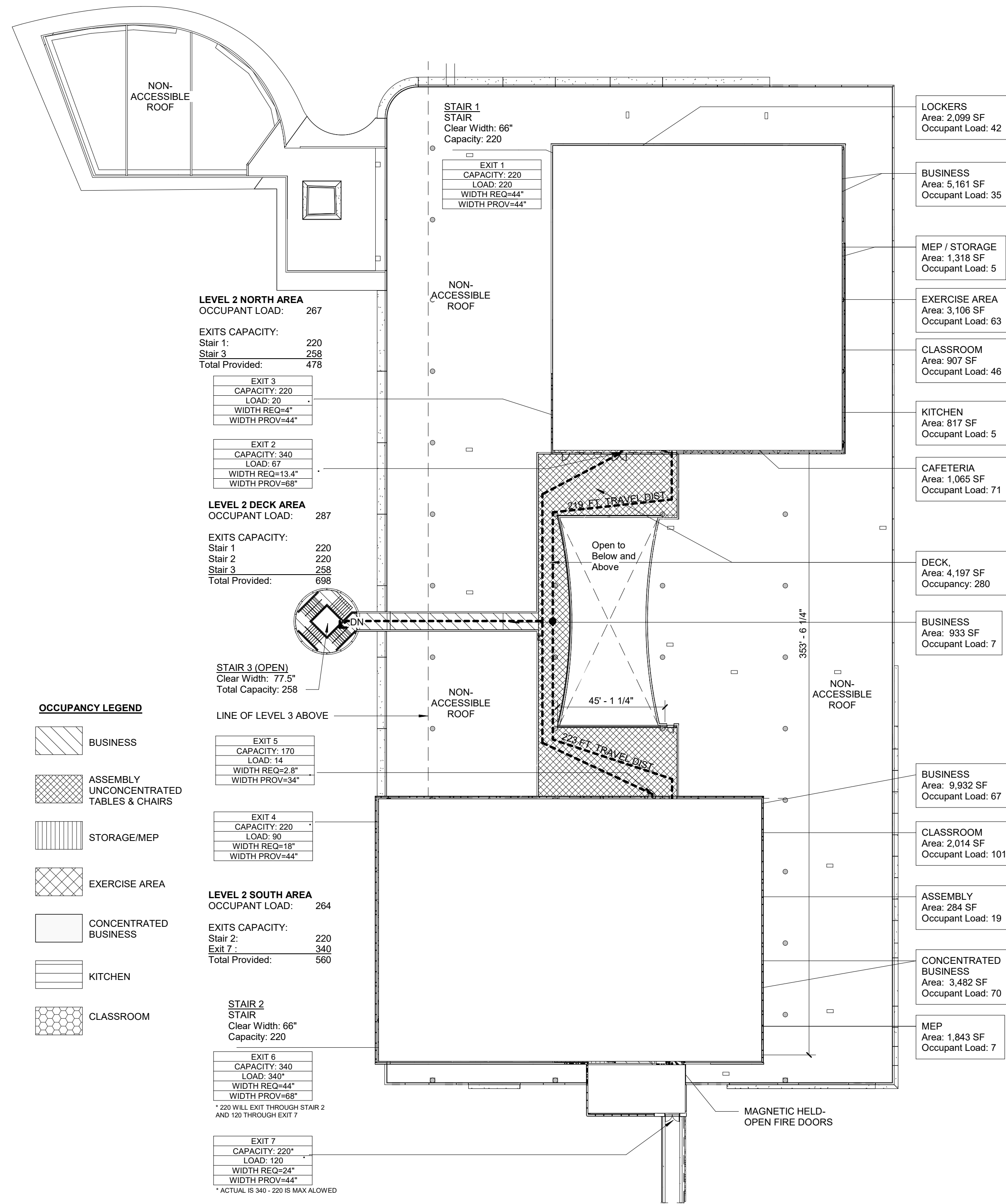
60639620

SHEET TITLE

ARCHITECTURAL SITE PLAN - OVERALL

SHEET NUMBER

HQ-A1-1-01



LEVEL 2 NORTH AREA
 OCCUPANT LOAD: 267

EXITS CAPACITY:
 Stair 1: 220
 Stair 3: 258
 Total Provided: 478

EXIT 3
 CAPACITY: 220
 LOAD: 220
 WIDTH REQ=44"
 WIDTH PROV=44"

EXIT 2
 CAPACITY: 340
 LOAD: 67
 WIDTH REQ=13.4"
 WIDTH PROV=68"

LEVEL 2 DECK AREA
 OCCUPANT LOAD: 287

EXITS CAPACITY:
 Stair 1: 220
 Stair 2: 220
 Stair 3: 258
 Total Provided: 698

STAIR 3 (OPEN)
 Clear Width: 77.5"
 Total Capacity: 258

EXIT 5
 CAPACITY: 170
 LOAD: 14
 WIDTH REQ=2.8"
 WIDTH PROV=34"

EXIT 4
 CAPACITY: 220
 LOAD: 90
 WIDTH REQ=18"
 WIDTH PROV=44"

LEVEL 2 SOUTH AREA
 OCCUPANT LOAD: 264

EXITS CAPACITY:
 Stair 2: 220
 Exit 7: 340
 Total Provided: 560

STAIR 2
 STAIR
 Clear Width: 66"
 Capacity: 220

EXIT 6
 CAPACITY: 340
 LOAD: 340
 WIDTH REQ=44"
 WIDTH PROV=68"

* 220 WILL EXIT THROUGH STAIR 2 AND 120 THROUGH EXIT 7

EXIT 7
 CAPACITY: 220
 LOAD: 120
 WIDTH REQ=24"
 WIDTH PROV=44"

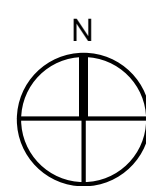
* ACTUAL IS 340 - 220 IS MAX ALLOWED

SEE PARKING GARAGE DRAWINGS VOLUME 2 OF 3

1 HQ BLDG - LIFE SAFETY PLAN - LEVEL 2

Scale: 1" = 30'-0"

SCALE: 1" = 30'-0" 0 30' 60' 90'



LIFE SAFETY LEGEND

- 1 HOUR FIRE RATING
- 2-HOUR FIRE RATING
- 3-HOUR FIRE RATING
- SMOKE BARRIER (1-HOUR RATED)
- SMOKE PARTITION (NON-RATED)
- ASSUMED PROPERTY LINE
- # FT. TRAVEL DISTANCE → EXIT ACCESS TRAVEL DISTANCE
- # FT. COMMON PATH → COMMON PATH DISTANCE
- # FT. DEAD END → DEAD END DISTANCE
- EXIT # CAPACITY LOAD WIDTH REQUIRED="X" WIDTH PROVIDED="X" EXIT WIDTH EGRESS CAPACITY (NUMBER OF PERSONS)
- FE MULTIPURPOSE FIRE EXTINGUISHER ON HOOK
- FEC SEMI RECESSED FIRE EXTINGUISHER CABINET WITH MULTIPURPOSE FIRE EXTINGUISHER. PROVIDE ONE TYPE IA-405BC FIE FOR EVERY 3000 SF. TRAVEL DISTANCE NOT TO EXCEED 75 FEET



PROJECT
FORT LAUDERDALE POLICE HEADQUARTERS
 1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312



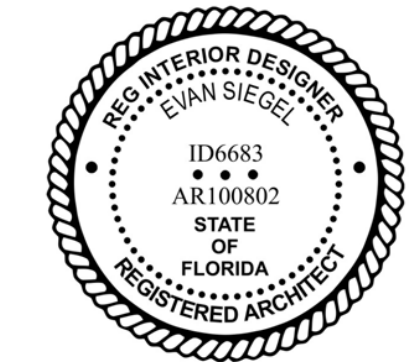
CLIENT
CITY OF FORT LAUDERDALE DEPARTMENT OF PUBLIC WORKS

PRIME CONSULTANT

AECOM
 2 ALHAMBRA PLAZA, SUITE 900
 CORAL GABLES, FL 33134
 305.444.4691 tel 305.675.3843 fax
 http://www.aecom.com

CONSULTANTS

REGISTRATION

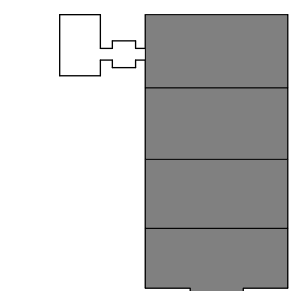


ISSUE/REVISION

NO	DATE	DESCRIPTION
5	APRIL 4, 2022	100% CONSTRUCTION DOCS
4	NOV 24, 2021	75% CONSTRUCTION DOCS
3	AUG 16, 2021	DRC RESUBMIT
2	JUNE 21, 2021	DESIGN DEVELOPMENT
1	MAR 15, 2021	SCHEMATIC DESIGN

LR	DATE	DESCRIPTION

KEY PLAN



PROJECT NUMBER

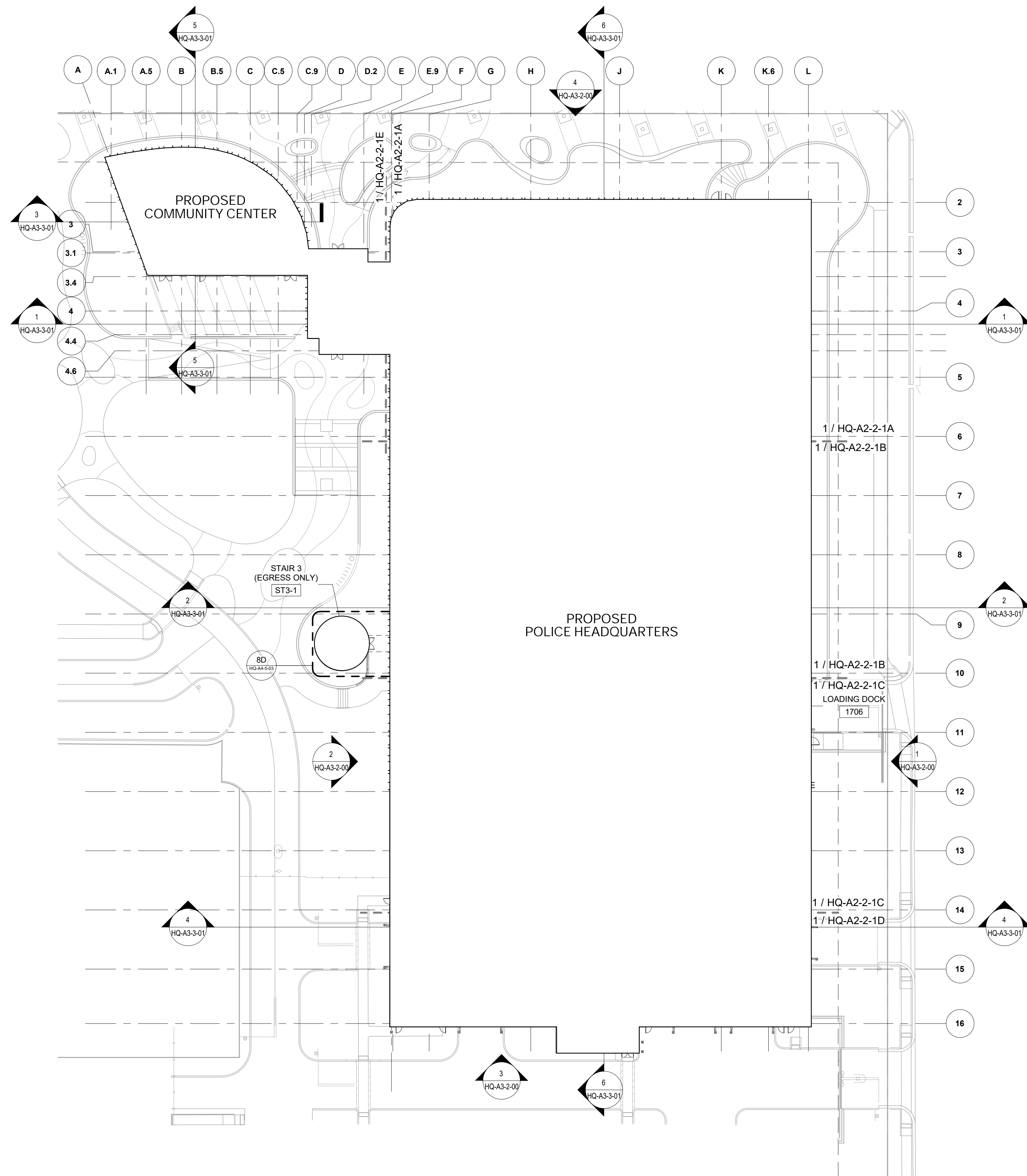
60639620

SHEET TITLE

HEADQUARTERS BLDG - LIFE SAFETY PLAN LEVEL 2

SHEET NUMBER

HQ-A1-4-20



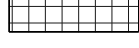
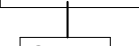

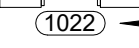

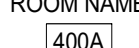



1 HQ BLDG - FLOOR PLAN LEVEL 1 - OVERALL
 Scale: 1" = 30'-0"

GENERAL NOTES

1. THESE GENERAL NOTES APPLY TO SUBSEQUENT BUILDING AREA FLOOR PLANS HQ-A2-2-1A THRU HQ-A2-2-3E AS DESIGNATED BY MATCH LINE.
2. GENERAL DEPARTMENT USES ARE IDENTIFIED AT OVERALL FLOOR PLANS; INDIVIDUAL ROOM NAMES GIVEN AT AREA PLANS.
3. REFER TO SHEET HQ-A0-1-01 AND HQ-A0-1-02 FOR ABBREVIATIONS, LEGENDS, SYMBOLS, AND GENERAL NOTES.
4. REFER TO HQ-A1-1-01 AND HQ-A1-1-16 THRU 30 FOR LIFE SAFETY PLANS AND LOCATION OF FIRE RATED ENCLOSURES, HORIZONTAL EXITWAY, AND USE SEPARATION WALLS.
5. REFER TO SHEET HQ-A2-1-03 OVERALL DIMENSION PLANS FOR INTERIOR LAYOUT. REFER TO HQ-A2-1-1A THRU HQ-A2-1-3E FOR ENLARGED AREA DIMENSIONS.
6. REFER TO HQ-A4-1-01 THRU HQ-A4-1-08 ENLARGED PLANS INDICATED BY CALLOUT FOR WALL TYPES, EQUIPMENT AND ACCESSORIES WITHIN INDIVIDUAL SPACES. EQUIPMENT SHOWN DASHED IS NIC.
7. REFER TO HQ-A2-4-00 SERIES DRAWINGS FOR WALL FINISHES AT WALL ASSEMBLIES SHOWN.
8. REFER TO HQ-A2-3-00 SERIES FOR CEILING FINISHES AND HQ-A5-00 SERIES FOR FLOOR FINISHES AT PLAN AREAS.
9. REFER TO SHEETS HQ-A6-1-01 THRU HQ-A6-1-03 FOR WALL ASSEMBLY DETAILS.
10. WALL ASSEMBLY TYPE AND STC CLASSIFICATION VARIES THROUGHOUT LEVELS AND USE AREAS; CONTINUE STC WALL ASSEMBLY TO STRUCTURAL DECK AND CORNER TO CORNER WITHIN INDIVIDUAL SPACES UON.
11. STC RATED WALL ASSEMBLY TO CONTINUE AT FULL ENCLOSURE OF INDIVIDUAL ROOMS. PARTITION FINISHES ALIGN TO ONE SURFACE PLANE AT INDIVIDUAL SPACES.
12. REFER TO SHEETS HQ-A4-7-01 THRU 05 FOR ENLARGED PLAN DETAILS AT FIRE RATED SHAFTS, CHASES AND COLUMN SURROUNDS. MAINTAIN FIRESTOPPING AT PIPE CHASES AND 2HR WALL CONSTRUCTION AT SHAFTS; ALIGN SHAFT OUTER FINISH SURFACE TO ADJACENT NON-RATED ASSEMBLY WHERE OCCURS.
13. REFER TO SHEETS HQ-A4-7-02 THRU 04 FOR ENLARGED COLUMN SURROUND WALL DETAILS. WALL WIDTHS VARY WITH PLACEMENT OF DATA OUTLETS AND LOCATION OF SEMI-RECESSED FECS.
14. REFER TO HQ-A6-4-00 SERIES FOR INTERIOR OPENINGS SCHEDULE AND DETAILS; GLASS PANE AND FRAME ASSEMBLY TO MEET STC RATING OF ADJACENT WALL; EXCEPT STC 63, WHERE STC 59 IS ACCEPTABLE. BALLISTIC RATED GLASS AND FRAMES REQUIRED AS SCHEDULED.
15. REFER TO HQ-A6-5-00 SERIES FOR DOOR SCHEDULES AND DETAILS. DOOR AND FRAME ASSEMBLY TO MEET STC RATING OF ADJACENT WALL; EXCEPT STC 63, WHERE STC 59 IS ACCEPTABLE. BALLISTIC RATED DOOR AND FRAME REQUIRED AS SCHEDULED.
16. INSTALL FIRE EXTINGUISHER BRACKETS AND SEMI-RECESSED CABINETS WHERE SHOWN. LOCATIONS ARE APPROXIMATE; FIELD ADJUST AS DIRECTED BY AHJ CODE OFFICIALS.

PARTITION LEGEND

-  NEW MILLWORK
-  METAL LAB GRADE MILLWORK
-  HOLDING CELL CONCRETE BENCH
-  NEW PARTITION
-  DENOTES PARTITION TYPE
-  DOOR NUMBER
-  WINDOW TAG
-  ROOM NAME
-  ROOM NAME AND NUMBER



PROJECT
FORT LAUDERDALE
POLICE HEADQUARTERS
 1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312



CLIENT
CITY OF FORT
LAUDERDALE
DEPARTMENT OF
PUBLIC WORKS
PRIME CONSULTANT

AECOM
 2 ALHAMBRA PLAZA, SUITE 900
 CORAL GABLES, FL 33134
 305.444.4691 tel 305.675.3843 fax
 http://www.aecom.com

CONSULTANTS

REGISTRATION

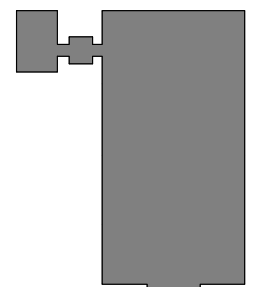


ISSUE/REVISION

NO.	DATE	DESCRIPTION
4	APRIL 4, 2022	100% CONSTRUCTION DOCS
3	NOV 24, 2021	75% CONSTRUCTION DOCS
2	JUNE 21, 2021	DESIGN DEVELOPMENT
1	MAR 15, 2021	SCHEMATIC DESIGN

REV	DATE	DESCRIPTION

KEY PLAN



PROJECT NUMBER

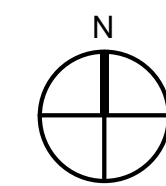
60639620

SHEET TITLE

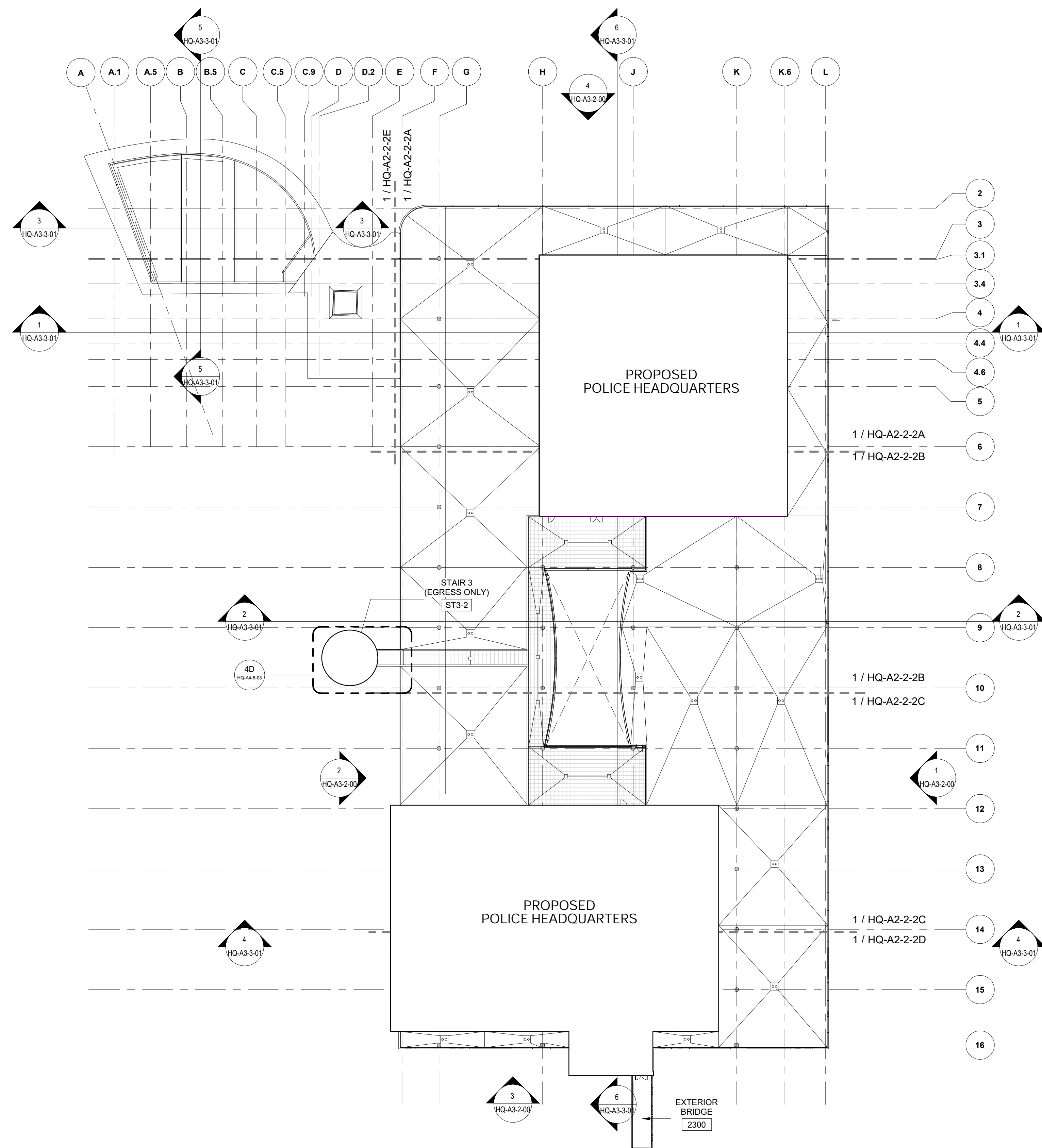
HEADQUARTERS BLDG - FLOOR
 PLAN LEVEL 1 - OVERALL

SHEET NUMBER

HQ-A2-2-01



SCALE: 1" = 30'-0" 0 30' 60' 90'



1 HQ BLDG - FLOOR PLAN LEVEL 2 - OVERALL
Scale: 1" = 30'-0"

GENERAL NOTES

1. THESE GENERAL NOTES APPLY TO SUBSEQUENT BUILDING AREA FLOOR PLANS HQ-A2-2-1A THRU HQ-A2-2-3E AS DESIGNATED BY MATCH LINE.
2. GENERAL DEPARTMENT USES ARE IDENTIFIED AT OVERALL FLOOR PLANS; INDIVIDUAL ROOM NAMES GIVEN AT AREA PLANS.
3. REFER TO SHEET HQ-A0-1-01 AND HQ-A0-1-02 FOR ABBREVIATIONS, LEGENDS, SYMBOLS, AND GENERAL NOTES.
4. REFER TO HQ-A1-4-01 AND HQ-A1-4-10 THRU 30 FOR LIFE SAFETY PLANS AND LOCATION OF FIRE RATED ENCLOSURES, HORIZONTAL EXITWAY, AND USE SEPARATION WALLS.
5. REFER TO HQ-A2-1-01 THRU HQ-A2-1-03 OVERALL DIMENSION PLANS FOR INTERIOR LAYOUT. REFER TO HQ-A2-1-1A THRU HQ-A2-1-3E FOR ENLARGED AREA DIMENSIONS.
6. REFER TO HQ-A4-1-01 THRU HQ-A4-1-08 ENLARGED PLANS INDICATED BY CALLOUT FOR WALL TYPES, EQUIPMENT AND ACCESSORIES WITHIN INDIVIDUAL SPACES. EQUIPMENT SHOWN DASHED IS N/C.
7. REFER TO HQ-A2-4-00 SERIES DRAWINGS FOR WALL FINISHES AT WALL ASSEMBLIES SHOWN.
8. REFER TO HQ-A2-3-00 SERIES FOR CEILING FINISHES AND HQ-A5-00 SERIES FOR FLOOR FINISHES AT PLAN AREAS.
9. REFER TO SHEETS HQ-A6-1-01 THRU HQ-A6-1-03 FOR WALL ASSEMBLY DETAILS.
10. WALL ASSEMBLY TYPE AND STC CLASSIFICATION VARIES THROUGHOUT LEVELS AND USE AREAS; CONTINUE STC WALL ASSEMBLY TO STRUCTURAL DECK AND CORNER TO CORNER WITHIN INDIVIDUAL SPACES UON.
11. STC RATED WALL ASSEMBLY TO CONTINUE AT FULL ENCLOSURE OF INDIVIDUAL ROOMS. PARTITION FINISHES ALIGN TO ONE SURFACE PLANE AT INDIVIDUAL SPACES.
12. REFER TO SHEETS HQ-A4-7-01 THRU 05 FOR ENLARGED PLAN DETAILS AT FIRE RATED SHAFTS, CHASES AND COLUMN SURROUNDS. MAINTAIN FIRESTOPPING AT PIPE CHASES AND 2HR WALL CONSTRUCTION AT SHAFTS; ALIGN SHAFT OUTER FINISH SURFACE TO ADJACENT NON-RATED ASSEMBLY WHERE OCCURS.
13. REFER TO SHEETS HQ-A4-7-02 THRU 04 FOR ENLARGED COLUMN SURROUND WALL DETAILS. WALL WIDTHS VARY WITH PLACEMENT OF DATA OUTLETS AND LOCATION OF SEMI-RECESSED FECS.
14. REFER TO HQ-A6-4-00 SERIES FOR INTERIOR OPENINGS SCHEDULE AND DETAILS; GLASS PANE AND FRAME ASSEMBLY TO MEET STC RATING OF ADJACENT WALL; EXCEPT STC 63, WHERE STC 59 IS ACCEPTABLE. BALLISTIC RATED GLASS AND FRAMES REQUIRED AS SCHEDULED.
15. REFER TO HQ-A6-5-00 SERIES FOR DOOR SCHEDULES AND DETAILS. DOOR AND FRAME ASSEMBLY TO MEET STC RATING OF ADJACENT WALL; EXCEPT STC 63, WHERE STC 59 IS ACCEPTABLE. BALLISTIC RATED DOOR AND FRAME REQUIRED AS SCHEDULED.
16. INSTALL FIRE EXTINGUISHER BRACKETS AND SEMI-RECESSED CABINETS WHERE SHOWN. LOCATIONS ARE APPROXIMATE; FIELD ADJUST AS DIRECTED BY AHJ CODE OFFICIALS.

PARTITION LEGEND

- NEW MILLWORK
- METAL LAB GRADE MILLWORK
- HOLDING CELL CONCRETE BENCH
- NEW PARTITION
- DENOTES PARTITION TYPE
- DOOR NUMBER
- WINDOW TAG
- ROOM NAME
- ROOM NAME AND NUMBER



PROJECT
FORT LAUDERDALE
POLICE HEADQUARTERS
1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312



CLIENT
CITY OF FORT
LAUDERDALE
DEPARTMENT OF
PUBLIC WORKS
PRIME CONSULTANT

AECOM
2 ALHAMBRA PLAZA, SUITE 900
CORAL GABLES, FL 33134
305.444.4691 tel 305.675.3843 fax
http://www.aecom.com

CONSULTANTS

REGISTRATION

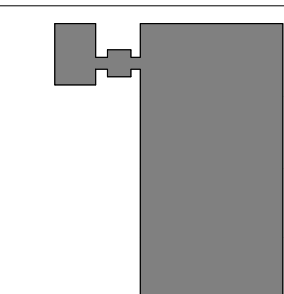


ISSUE/REVISION

ISSUE	DATE	DESCRIPTION
4	APRIL 4, 2022	100% CONSTRUCTION DOCS
3	NOV 24, 2021	75% CONSTRUCTION DOCS
2	JUNE 21, 2021	DESIGN DEVELOPMENT
1	MAR 15, 2021	SCHEMATIC DESIGN

LR	DATE	DESCRIPTION

KEY PLAN



PROJECT NUMBER

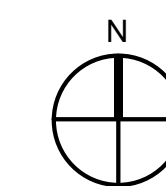
60639620

SHEET TITLE

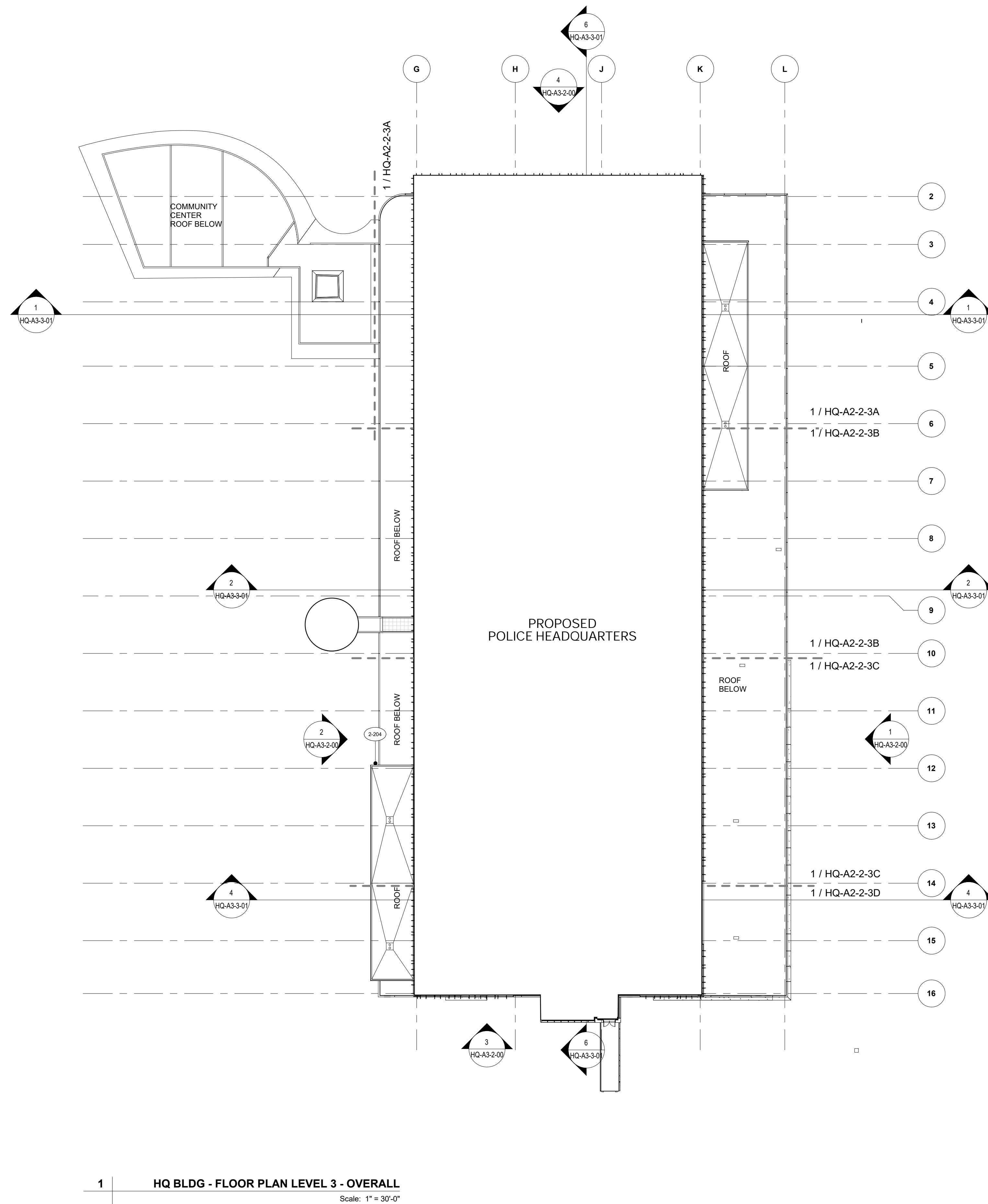
HEADQUARTERS BLDG - FLOOR
PLAN LEVEL 2 - OVERALL

SHEET NUMBER

HQ-A2-2-02



SCALE: 1" = 30'-0" 0 30' 60' 90'



1 HQ BLDG - FLOOR PLAN LEVEL 3 - OVERALL
 Scale: 1" = 30'-0"

GENERAL NOTES

1. THESE GENERAL NOTES APPLY TO SUBSEQUENT BUILDING AREA FLOOR PLANS HQ-A2-2-1A THRU HQ-A2-2-3E AS DESIGNATED BY MATCH LINE.
2. GENERAL DEPARTMENT USES ARE IDENTIFIED AT OVERALL FLOOR PLANS; INDIVIDUAL ROOM NAMES GIVEN AT AREA PLANS.
3. REFER TO SHEET HQ-A0-1-01 AND HQ-A0-1-02 FOR ABBREVIATIONS, LEGENDS, SYMBOLS, AND GENERAL NOTES.
4. REFER TO HQ-A1-4-01 AND HQ-A1-4-10 THRU 30 FOR LIFE SAFETY PLANS AND LOCATION OF FIRE RATED ENCLOSURES, HORIZONTAL EXITWAY, AND USE SEPARATION WALLS.
5. REFER TO HQ-A2-1-01 THRU HQ-A2-1-03 OVERALL DIMENSION PLANS FOR INTERIOR LAYOUT. REFER TO HQ-A2-1-1A THRU HQ-A2-1-3E FOR ENLARGED AREA DIMENSIONS.
6. REFER TO HQ-A4-1-01 THRU HQ-A4-1-08 ENLARGED PLANS INDICATED BY CALLOUT FOR WALL TYPES, EQUIPMENT AND ACCESSORIES WITHIN INDIVIDUAL SPACES. EQUIPMENT SHOWN DASHED IS NIC.
7. REFER TO HQ-A2-4-00 SERIES DRAWINGS FOR WALL FINISHES AT WALL ASSEMBLIES SHOWN.
8. REFER TO HQ-A2-3-00 SERIES FOR CEILING FINISHES AND HQ-A5-00 SERIES FOR FLOOR FINISHES AT PLAN AREAS.
9. REFER TO SHEETS HQ-A6-1-01 THRU HQ-A6-1-03 FOR WALL ASSEMBLY DETAILS.
10. WALL ASSEMBLY TYPE AND STC CLASSIFICATION VARIES THROUGHOUT LEVELS AND USE AREAS; CONTINUE STC WALL ASSEMBLY TO STRUCTURAL DECK AND CORNER TO CORNER WITHIN INDIVIDUAL SPACES UNLESS NOTED OTHERWISE.
11. STC RATED WALL ASSEMBLY TO CONTINUE AT FULL ENCLOSURE OF INDIVIDUAL ROOMS. PARTITION FINISHES ALIGN TO ONE SURFACE PLANE AT INDIVIDUAL SPACES.
12. REFER TO SHEETS HQ-A4-7-01 THRU 05 FOR ENLARGED PLAN DETAILS AT FIRE RATED SHAFTS, CHASES AND COLUMN SURROUNDS. MAINTAIN FIRESTOPPING AT PIPE CHASES AND 2HR WALL CONSTRUCTION AT SHAFTS; ALIGN SHAFT OUTER FINISH SURFACE TO ADJACENT NON-RATED ASSEMBLY WHERE OCCURS.
13. REFER TO SHEETS HQ-A4-7-02 THRU 04 FOR ENLARGED COLUMN SURROUND WALL DETAILS. WALL WIDTHS VARY WITH PLACEMENT OF DATA OUTLETS AND LOCATION OF SEMI-RECESSED FECS.
14. REFER TO HQ-A6-4-00 SERIES FOR INTERIOR OPENINGS SCHEDULE AND DETAILS; GLASS PANE AND FRAME ASSEMBLY TO MEET STC RATING OF ADJACENT WALL, EXCEPT STC 63, WHERE STC 59 IS ACCEPTABLE. BALLISTIC RATED GLASS AND FRAMES REQUIRED AS SCHEDULED.
15. REFER TO HQ-A6-5-00 SERIES FOR DOOR SCHEDULES AND DETAILS. DOOR AND FRAME ASSEMBLY TO MEET STC RATING OF ADJACENT WALL, EXCEPT STC 63, WHERE STC 59 IS ACCEPTABLE. BALLISTIC RATED DOOR AND FRAME REQUIRED AS SCHEDULED.
16. INSTALL FIRE EXTINGUISHER BRACKETS AND SEMI-RECESSED CABINETS WHERE SHOWN. LOCATIONS ARE APPROXIMATE; FIELD ADJUST AS DIRECTED BY AHJ CODE OFFICIALS.

PARTITION LEGEND

- NEW MILLWORK
- METAL LAB GRADE MILLWORK
- HOLDING CELL CONCRETE BENCH
- NEW PARTITION
- S1480 DENOTES PARTITION TYPE
- 1022 DOOR NUMBER
- WINDOW TAG
- ROOM NAME
- ROOM NAME AND NUMBER



PROJECT
FORT LAUDERDALE
POLICE HEADQUARTERS
 1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312

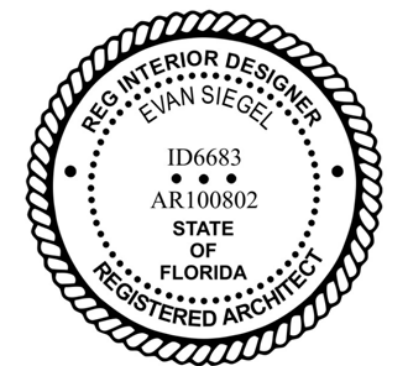


CLIENT
CITY OF FORT
LAUDERDALE
DEPARTMENT OF
PUBLIC WORKS
PRIME CONSULTANT

AECOM
 2 ALHAMBRA PLAZA, SUITE 900
 CORAL GABLES, FL 33134
 305.444.4691 tel 305.675.3843 fax
 http://www.aecom.com

CONSULTANTS

REGISTRATION

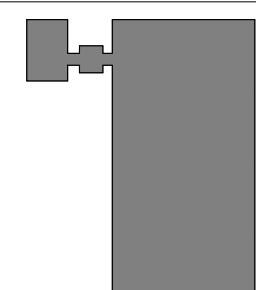


ISSUE/REVISION

ISSUE/REVISION	DATE	DESCRIPTION
4	APRIL 4, 2022	100% CONSTRUCTION DOCS
3	NOV 24, 2021	75% CONSTRUCTION DOCS
2	JUNE 21, 2021	DESIGN DEVELOPMENT
1	MAR 15, 2021	SCHEMATIC DESIGN

REV	DATE	DESCRIPTION

KEY PLAN



PROJECT NUMBER

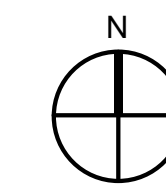
60639620

SHEET TITLE

HEADQUARTERS BLDG - FLOOR
 PLAN LEVEL 3 - OVERALL

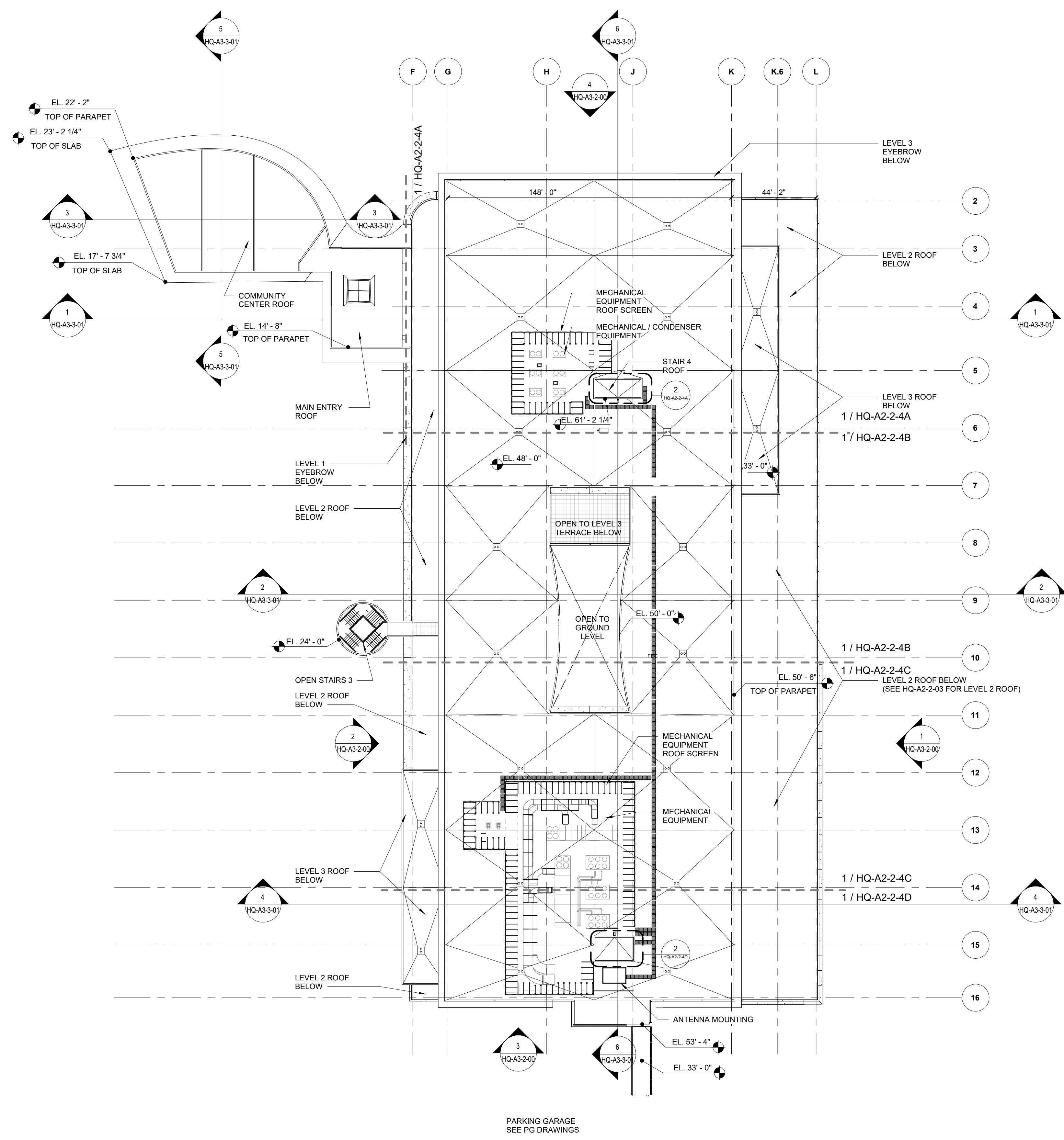
SHEET NUMBER

HQ-A2-2-03



SCALE: 1" = 30'-0" 0 30' 60' 90'

Project Management Initials: Designer: Designer Checked: Checker Approved: Approver ARCHD 24' x 36'



1 | HQ BLDG - ROOF PLAN - OVERALL
 Scale: 1" = 30'-0"



PROJECT
FORT LAUDERDALE
POLICE HEADQUARTERS
 1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312



CLIENT
CITY OF FORT
LAUDERDALE
DEPARTMENT OF
PUBLIC WORKS
PRIME CONSULTANT

AECOM
 2 ALHAMBRA PLAZA, SUITE 900
 CORAL GABLES, FL 33134
 305.444.4691 tel 305.675.3843 fax
 http://www.aecom.com

CONSULTANTS

REGISTRATION

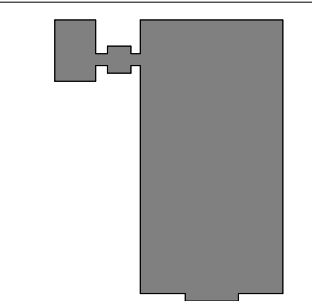


ISSUE/REVISION

NO.	DATE	DESCRIPTION
4	APRIL 4, 2022	100% CONSTRUCTION DOCS
3	NOV 24, 2021	75% CONSTRUCTION DOCS
2	AUG 16, 2021	DRC RESUBMIT
1	JUNE 21, 2021	DESIGN DEVELOPMENT

REV	DATE	DESCRIPTION

KEY PLAN



PROJECT NUMBER

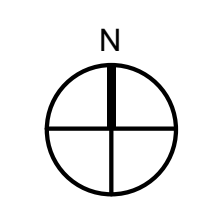
60639620

SHEET TITLE

HEADQUARTERS BLDG - ROOF PLAN - OVERALL

SHEET NUMBER

HQ-A2-2-04

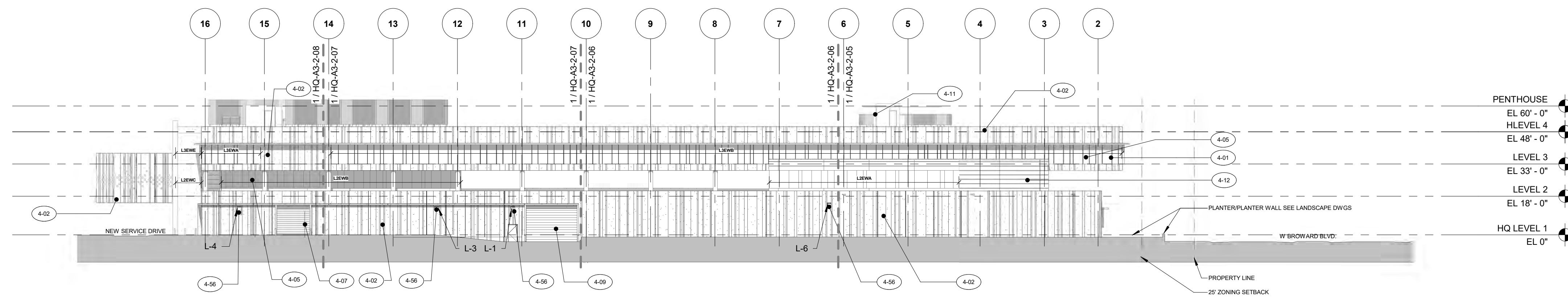


SCALE: 1" = 30'-0" 0 30' 60' 90'

Last Printed: 3/18/2022 11:16:17 PM
 Filename: BM 380/BP-AMER (USA) 60639620-FPH03038201_F1_P1_HQ_ARCH_L201.rvt

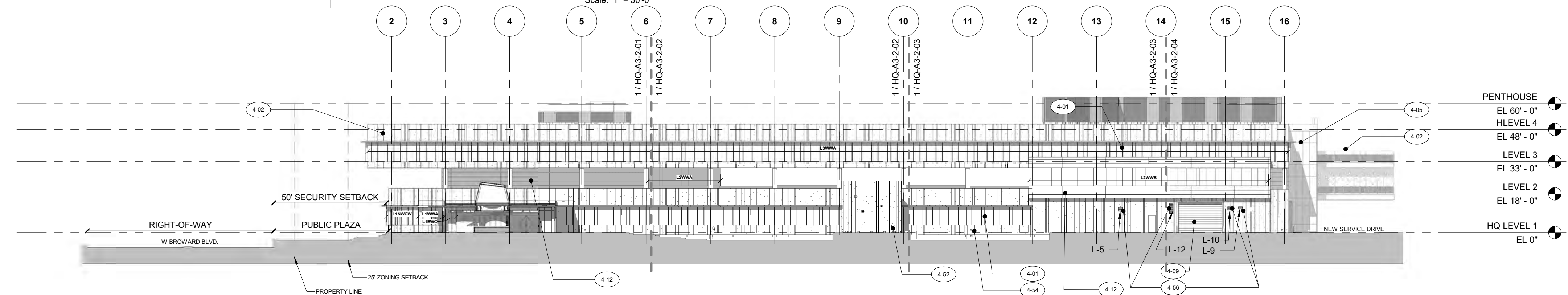
Printed on 100% Post-Consumer Recycled Content Paper

©2016 AECOM Corporation
 PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1



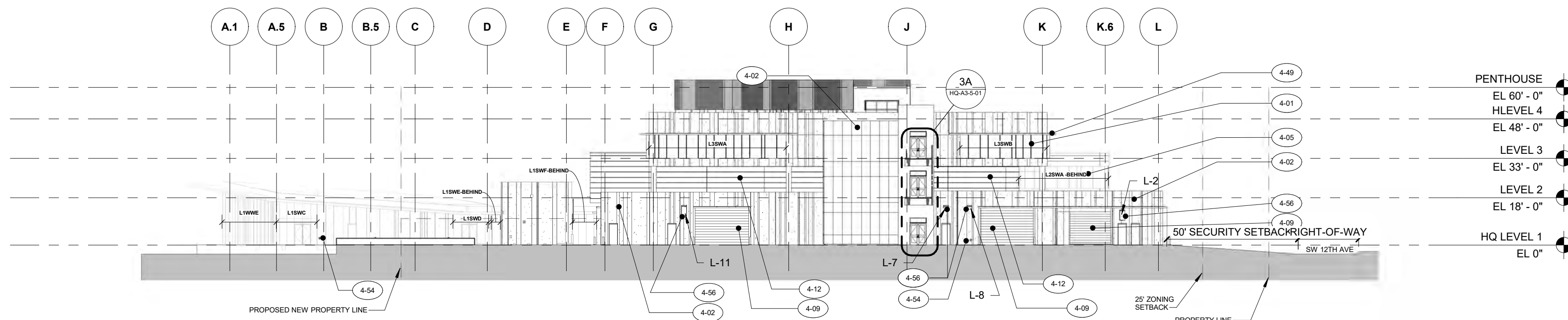
1 HQ BLDG - OVERALL BUILDING ELEVATION EAST

Scale: 1" = 30'-0"



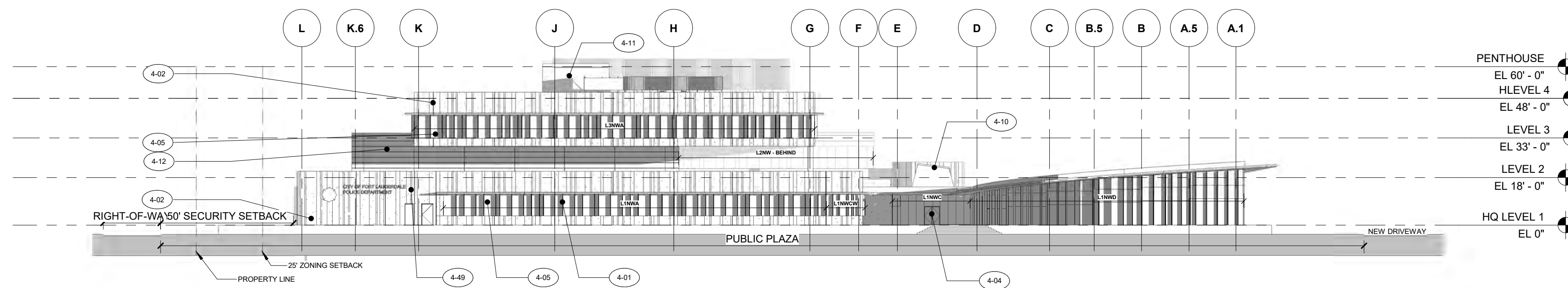
2 HQ BLDG - OVERALL BUILDING ELEVATION WEST

Scale: 1" = 30'-0"



3 HQ BLDG - OVERALL BUILDING ELEVATION SOUTH

Scale: 1" = 30'-0"



4 HQ BLDG - OVERALL BUILDING ELEVATION NORTH

Scale: 1" = 30'-0"

- KEYNOTES**
- 4-01 PREFINISHED ALUMINUM FINIS ON CURTAIN WALL SYSTEM
 - 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
 - 4-04 ALUMINUM STOREFRONT DOOR WITH LAMINATED GLAZING
 - 4-05 LAMINATED GLAZING ASSEMBLY ON ALUMINUM CURTAIN WALL SYSTEM
 - 4-07 IMPACT RESISTANT HIGH SPEED OVERHEAD DOOR
 - 4-09 IMPACT RESISTANT INSULATED OVERHEAD DOOR
 - 4-10 ARCHITECTURAL PRECAST CONCRETE PANELS (APC-2) SUPPORTING SKYLIGHT ABOVE
 - 4-11 PORTLAND CEMENT STUCCO FINISH SYSTEM (PT-15) ON CMU WALL
 - 4-12 PORTLAND CEMENT STUCCO FINISH (PT-15) ON CMU WALL WITH HORIZONTAL REVEALS
 - 4-49 PRECAST CONCRETE EYEBROW (APC-1)
 - 4-52 12" X 12" OPENING IN PRECAST PANEL (TYP)
 - 4-54 EMERGENCY OVERFLOW DRAIN OUTLET NOZZLE (COW'S TONGUE) AT MINIMUM 2'-3" ABOVE GRADE HEIGHT
 - 4-56 LOUVER, SEE MECHANICAL



PROJECT
FORT LAUDERDALE
POLICE HEADQUARTERS
 1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312



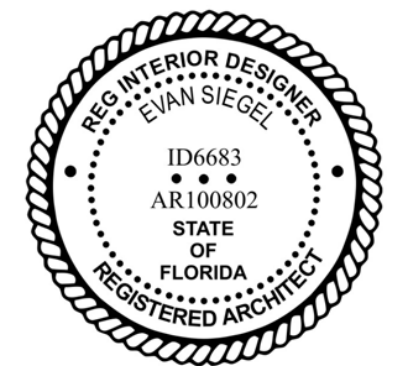
CLIENT
CITY OF FORT
LAUDERDALE
DEPARTMENT OF
PUBLIC WORKS

PRIME CONSULTANT

AECOM
 2 ALHAMBRA PLAZA, SUITE 900
 CORAL GABLES, FL 33134
 305.444.4691 tel 305.675.3843 fax
 http://www.aecom.com

CONSULTANTS

REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
5	APRIL 4, 2022	100% CONSTRUCTION DOCS
4	NOV 24, 2021	75% CONSTRUCTION DOCS
3	AUG 16, 2021	DRC RESUBMIT
2	JUNE 21, 2021	DESIGN DEVELOPMENT
1	MAR 15, 2021	SCHEMATIC DESIGN

REV	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER

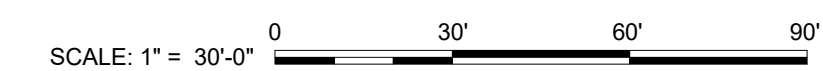
60639620

SHEET TITLE

HEADQUARTERS BLDG - BUILDING ELEVATIONS - OVERALL

SHEET NUMBER

HQ-A3-2-00





1 ENLARGED BUILDING ELEVATION - WEST AREA A
 Scale: 1/8" = 1'-0"

- KEYNOTES**
- 4-01 PREFINISHED ALUMINUM FINNS ON CURTAIN WALL SYSTEM
 - 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
 - 4-05 LAMINATED GLAZING ASSEMBLY ON ALUMINUM CURTAIN WALL SYSTEM
 - 4-10 ARCHITECTURAL PRECAST CONCRETE PANELS (APC-2) SUPPORTING SKYLIGHT ABOVE
 - 4-11 PORTLAND CEMENT STUCCO FINISH SYSTEM (PT-15) ON CMU WALL
 - 4-12 PORTLAND CEMENT STUCCO FINISH (PT-15) ON CMU WALL WITH HORIZONTAL REVEALS
 - 4-17 SKIM COAT PORTLAND CEMENT STUCCO (PT-14) OVER CONCRETE COLUMN
 - 4-54 EMERGENCY OVERFLOW DRAIN OUTLET NOZZLE (COW'S TONGUE) AT MINIMUM 2'-3" ABOVE GRADE HEIGHT
 - 4-57 ARCHITECTURAL PRECAST CONCRETE PANEL JOINT, TYP
 - 4-59 MECHANICAL EQUIPMENT ROOF SCREEN (DELEGATED DESIGN - SEE SPEC)
 - 4-64 1-1/2" HORIZONTAL STUCCO REVEAL, TYP
 - 4-66 3/8" CONTROL JOINT THRU STUCCO AND CMU WALL
 - 4-67 1" PRECOMPRESSED FOAM SEAL EXPANSION JOINT WITH COLOR CAP



PROJECT
FORT LAUDERDALE
POLICE HEADQUARTERS
 1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312

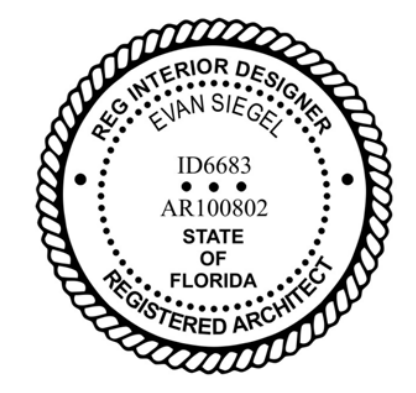


CLIENT
CITY OF FORT
LAUDERDALE
DEPARTMENT OF
PUBLIC WORKS

PRIME CONSULTANT
AECOM
 2 ALHAMBRA PLAZA, SUITE 900
 CORAL GABLES, FL 33134
 305.444.4691 tel 305.675.3843 fax
 http://www.aecom.com

CONSULTANTS

REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
3	APRIL 4, 2022	100% CONSTRUCTION DOCS
2	NOV 24, 2021	75% CONSTRUCTION DOCS
1	JUNE 21, 2021	DESIGN DEVELOPMENT

LR	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER

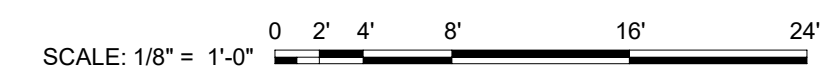
60639620

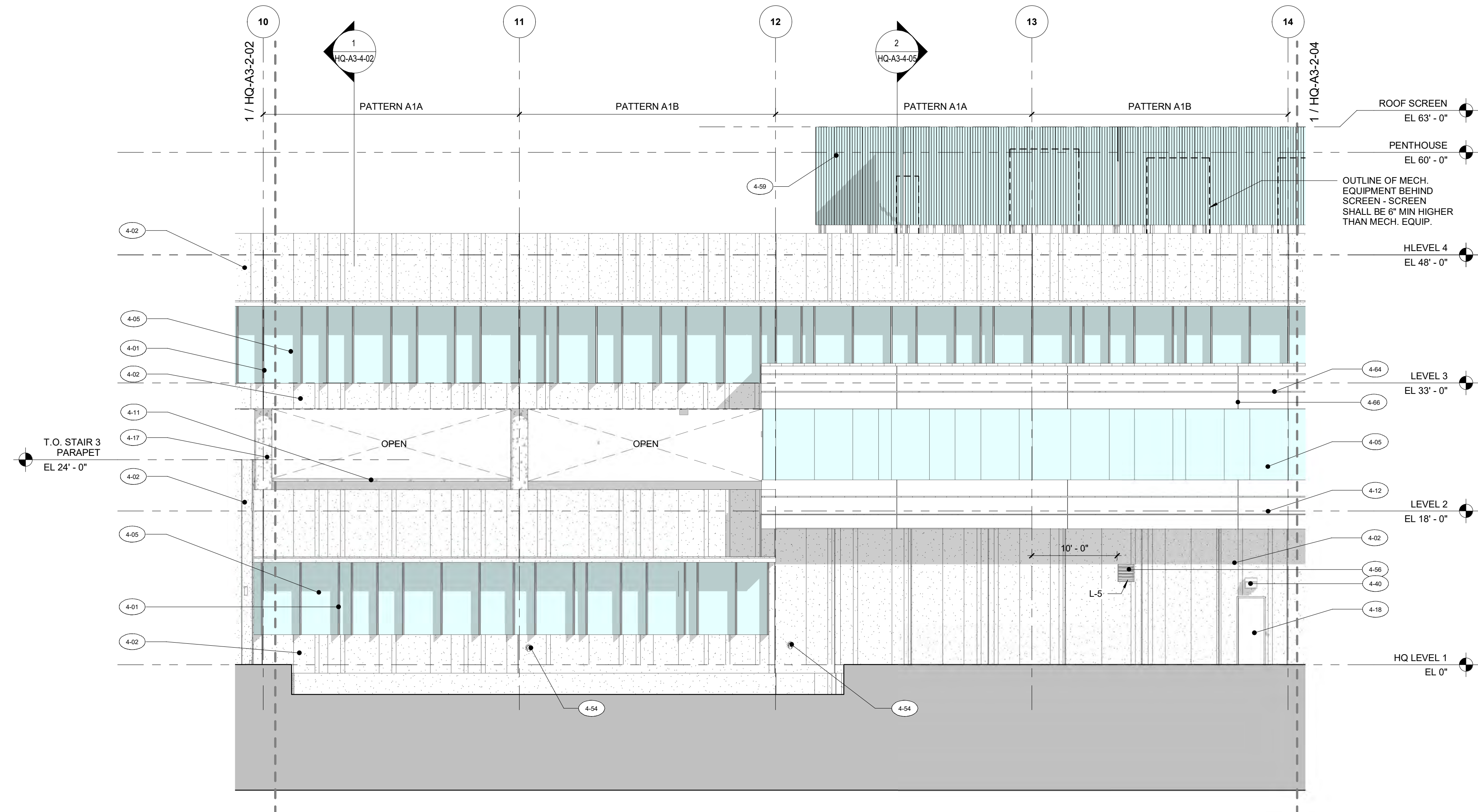
SHEET TITLE

HEADQUARTERS BLDG - BUILDING
 ELEVATION WEST - ENLARGED

SHEET NUMBER

HQ-A3-2-01





1 ENLARGED BUILDING ELEVATION - WEST AREA C
 Scale: 1/8" = 1'-0"

KEYNOTES

- 4-01 PREFINISHED ALUMINUM FINS ON CURTAIN WALL SYSTEM
- 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
- 4-05 LAMINATED GLAZING ASSEMBLY ON ALUMINUM CURTAIN WALL SYSTEM
- 4-11 PORTLAND CEMENT STUCCO FINISH SYSTEM (PT-15) ON CMU WALL
- 4-12 PORTLAND CEMENT STUCCO FINISH (PT-15) ON CMU WALL WITH HORIZONTAL REVEALS
- 4-17 SKIM COAT PORTLAND CEMENT STUCCO (PT-14) OVER CONCRETE COLUMN
- 4-18 IMPACT RESISTANT HOLLOW METAL DOOR (PTD)
- 4-40 LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- 4-54 EMERGENCY OVERFLOW DRAIN OUTLET NOZZLE (COW'S TONGUE) AT MINIMUM 2'-3" ABOVE GRADE HEIGHT
- 4-56 LOUVER, SEE MECHANICAL
- 4-59 MECHANICAL EQUIPMENT ROOF SCREEN (DELEGATED DESIGN - SEE SPEC)
- 4-64 1-1/2" HORIZONTAL STUCCO REVEAL, TYP
- 4-66 3/8" CONTROL JOINT THRU STUCCO AND CMU WALL



PROJECT
**FORT LAUDERDALE
 POLICE HEADQUARTERS**
 1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312



CLIENT
**CITY OF FORT
 LAUDERDALE
 DEPARTMENT OF
 PUBLIC WORKS**

PRIME CONSULTANT

AECOM
 2 ALHAMBRA PLAZA, SUITE 900
 CORAL GABLES, FL 33134
 305.444.4691 tel 305.675.3843 fax
 http://www.aecom.com

CONSULTANTS

REGISTRATION



ISSUE/REVISION

ISSUE/REVISION	DATE	DESCRIPTION
3	APRIL 4, 2022	100% CONSTRUCTION DOCS
2	NOV 24, 2021	75% CONSTRUCTION DOCS
1	JUNE 21, 2021	DESIGN DEVELOPMENT

ISSUE/REVISION	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER

60639620

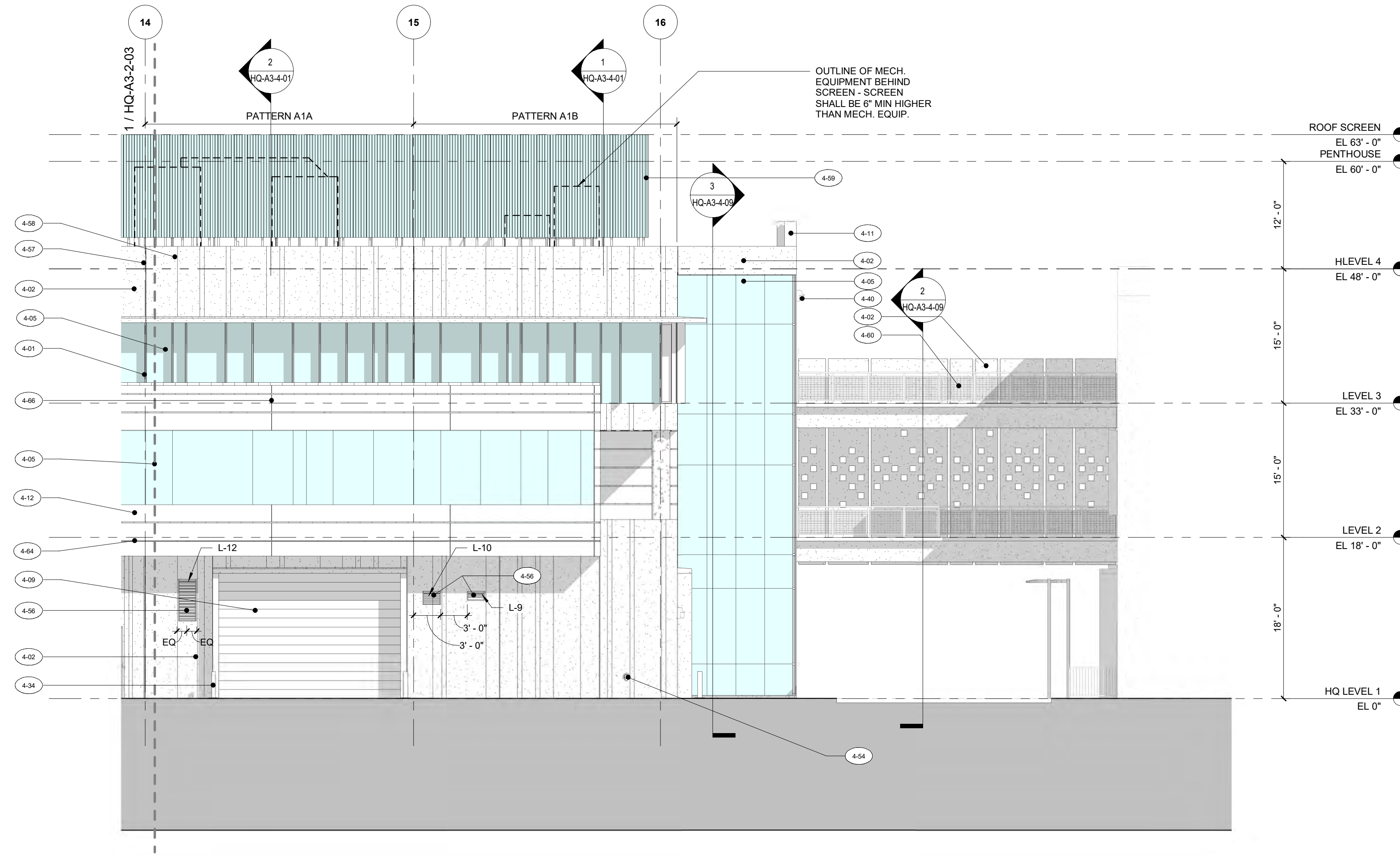
SHEET TITLE

HEADQUARTERS BLDG - BUILDING
 ELEVATION WEST - ENLARGED

SHEET NUMBER

HQ-A3-2-03

SCALE: 1/8" = 1'-0" 0 2' 4' 8' 16' 24'



1 ENLARGED BUILDING ELEVATION - WEST AREA D
 Scale: 1/8" = 1'-0"

KEYNOTES

- 4-01 PREFINISHED ALUMINUM FINNS ON CURTAIN WALL SYSTEM
- 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
- 4-05 LAMINATED GLAZING ASSEMBLY ON ALUMINUM CURTAIN WALL SYSTEM
- 4-09 IMPACT RESISTANT INSULATED OVERHEAD DOOR
- 4-11 PORTLAND CEMENT STUCCO FINISH SYSTEM (PT-15) ON CMU WALL
- 4-12 PORTLAND CEMENT STUCCO FINISH (PT-15) ON CMU WALL WITH HORIZONTAL REVEALS
- 4-34 BOLLARD
- 4-40 LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
- 4-54 EMERGENCY OVERFLOW DRAIN OUTLET NOZZLE (COW'S TONGUE) AT MINIMUM 2'-3" ABOVE GRADE HEIGHT
- 4-56 LOUVER, SEE MECHANICAL
- 4-57 ARCHITECTURAL PRECAST CONCRETE PANEL JOINT, TYP
- 4-58 ARCHITECTURAL PRECAST CONCRETE PANEL REVEAL, TYP - ALIGN VERTICALLY ENTIRE HEIGHT OF BUILDING
- 4-59 MECHANICAL EQUIPMENT ROOF SCREEN (DELEGATED DESIGN - SEE SPEC)
- 4-60 HD GALV. STEEL GUARDRAIL W/METAL MESH INFILL PANEL
- 4-64 1-1/2" HORIZONTAL STUCCO REVEAL, TYP
- 4-66 3/8" CONTROL JOINT THRU STUCCO AND CMU WALL



PROJECT
FORT LAUDERDALE
POLICE HEADQUARTERS
 1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312



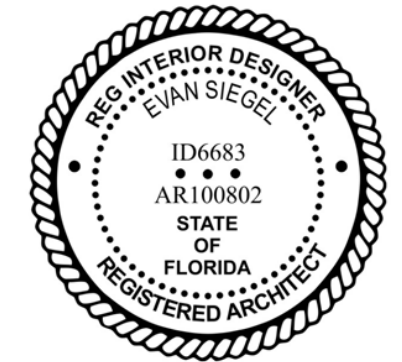
CLIENT
CITY OF FORT
LAUDERDALE
DEPARTMENT OF
PUBLIC WORKS

PRIME CONSULTANT

AECOM
 2 ALHAMBRA PLAZA, SUITE 900
 CORAL GABLES, FL 33134
 305.444.4691 tel 305.675.3843 fax
 http://www.aecom.com

CONSULTANTS

REGISTRATION



ISSUE/REVISION

ISSUE/REVISION	DATE	DESCRIPTION
3	APRIL 4, 2022	100% CONSTRUCTION DOCS
2	NOV 24, 2021	75% CONSTRUCTION DOCS
1	JUNE 21, 2021	DESIGN DEVELOPMENT

ISSUE/REVISION	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER

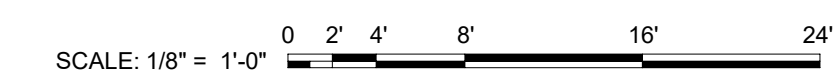
60639620

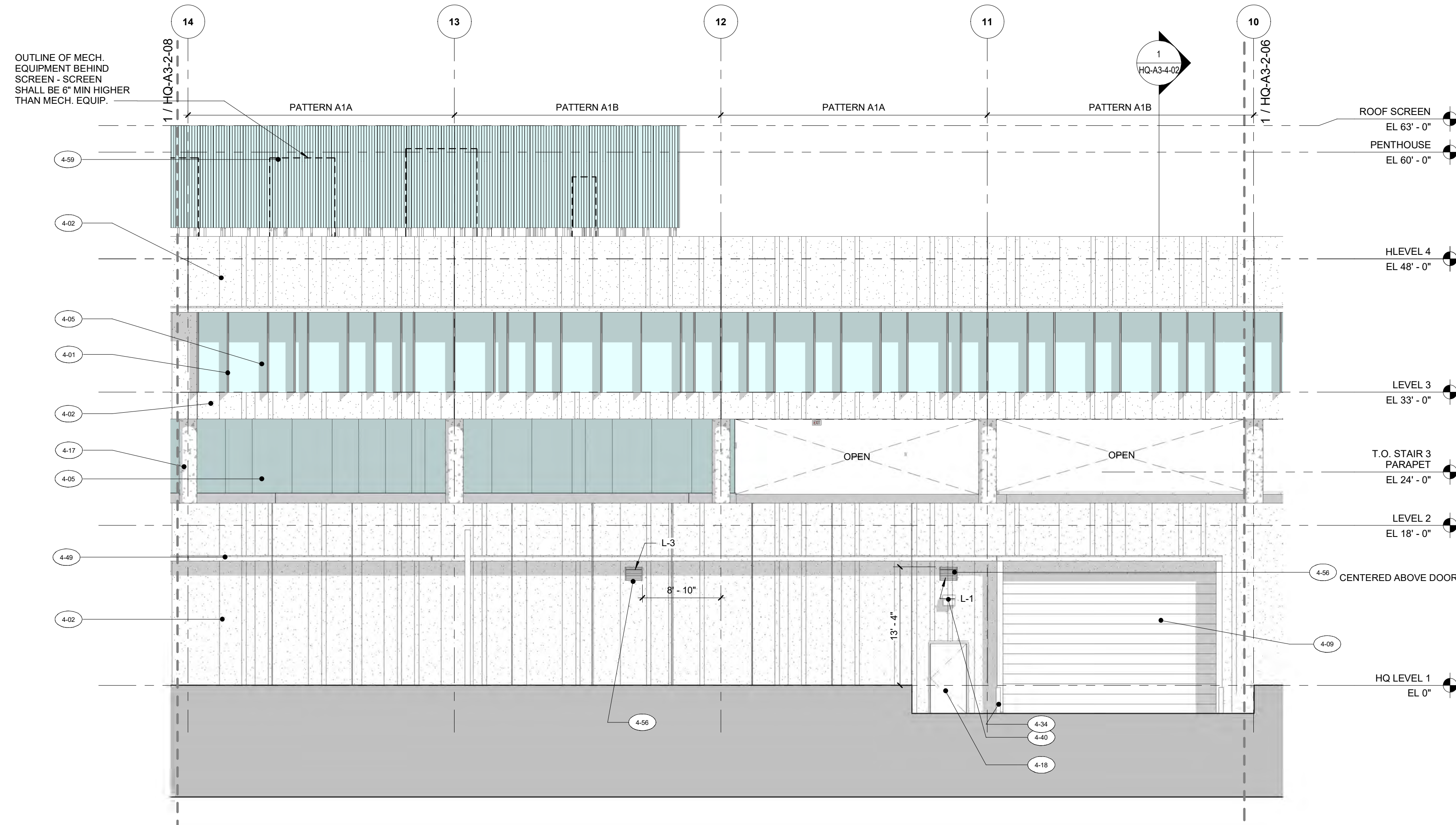
SHEET TITLE

HEADQUARTERS BLDG - BUILDING
 ELEVATION WEST - ENLARGED

SHEET NUMBER

HQ-A3-2-04





1 ENLARGED BUILDING ELEVATION - EAST AREA C
 Scale: 1/8" = 1'-0"

- KEYNOTES**
- 4-01 PREFINISHED ALUMINUM FINS ON CURTAIN WALL SYSTEM
 - 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
 - 4-05 LAMINATED GLAZING ASSEMBLY ON ALUMINUM CURTAIN WALL SYSTEM
 - 4-09 IMPACT RESISTANT INSULATED OVERHEAD DOOR
 - 4-17 SKIM COAT PORTLAND CEMENT STUCCO (PT-14) OVER CONCRETE COLUMN
 - 4-18 IMPACT RESISTANT HOLLOW METAL DOOR (PTD)
 - 4-34 BOLLARD
 - 4-40 LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
 - 4-49 PRECAST CONCRETE EYEBROW (APC-1)
 - 4-56 LOUVER, SEE MECHANICAL
 - 4-59 MECHANICAL EQUIPMENT ROOF SCREEN (DELEGATED DESIGN - SEE SPEC)



PROJECT
FORT LAUDERDALE
POLICE HEADQUARTERS
 1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312



CLIENT
CITY OF FORT
LAUDERDALE
DEPARTMENT OF
PUBLIC WORKS

PRIME CONSULTANT
AECOM
 2 ALHAMBRA PLAZA, SUITE 900
 CORAL GABLES, FL 33134
 305.444.4691 tel 305.675.3843 fax
 http://www.aecom.com

CONSULTANTS

REGISTRATION



ISSUE/REVISION

ISSUE/REVISION	DATE	DESCRIPTION
3	APRIL 4, 2022	100% CONSTRUCTION DOCS
2	NOV 24, 2021	75% CONSTRUCTION DOCS
1	JUNE 21, 2021	DESIGN DEVELOPMENT

LR	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER

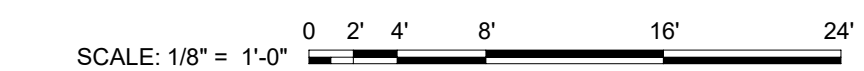
60639620

SHEET TITLE

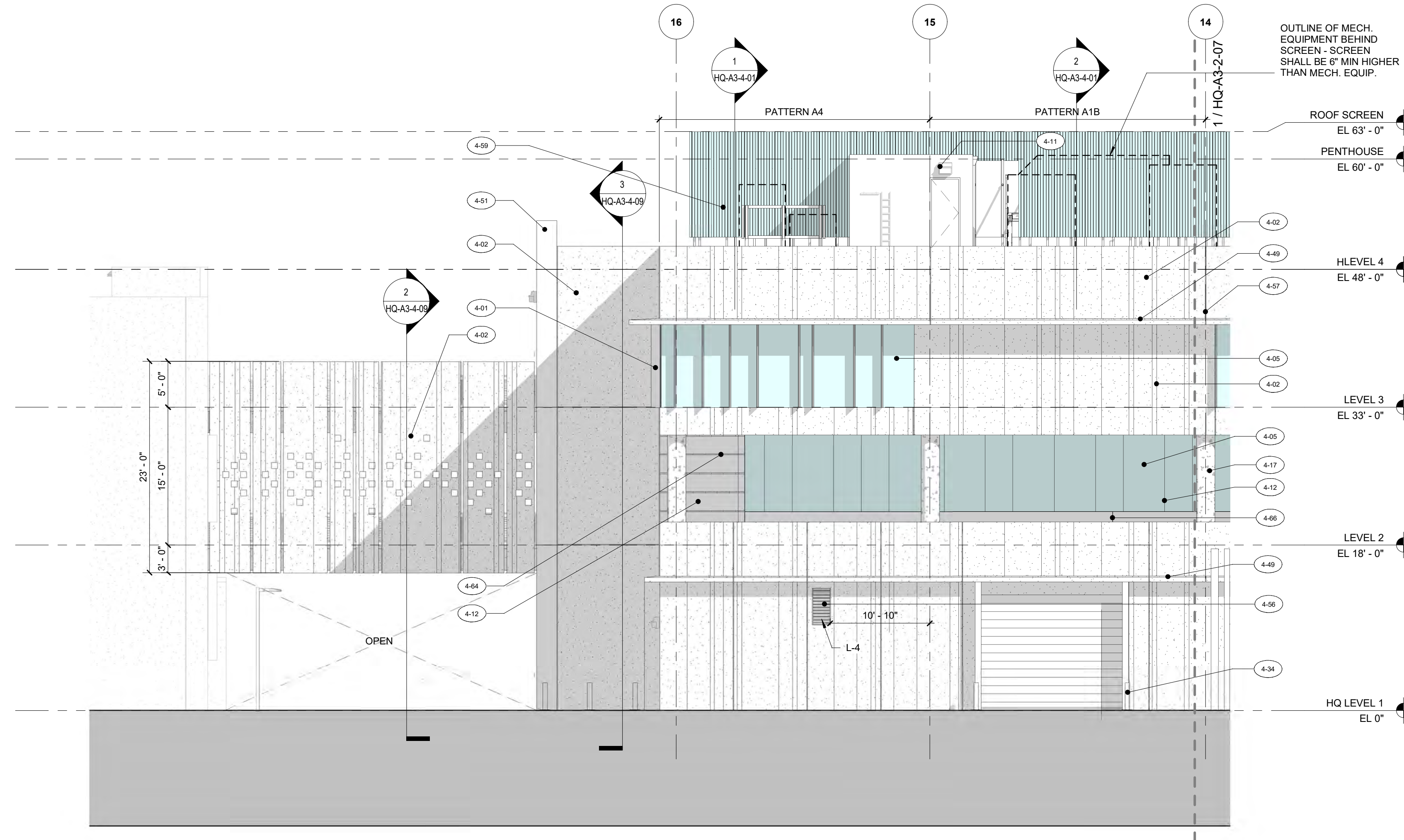
HEADQUARTERS BLDG - BUILDING ELEVATION EAST - ENLARGED

SHEET NUMBER

HQ-A3-2-07



SCALE: 1/8" = 1'-0"



- KEYNOTES**
- 4-01 PREFINISHED ALUMINUM FINS ON CURTAIN WALL SYSTEM
 - 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
 - 4-05 LAMINATED GLAZING ASSEMBLY ON ALUMINUM CURTAIN WALL SYSTEM
 - 4-11 PORTLAND CEMENT STUCCO FINISH SYSTEM (PT-15) ON CMU WALL
 - 4-12 PORTLAND CEMENT STUCCO FINISH (PT-15) ON CMU WALL WITH HORIZONTAL REVEALS
 - 4-17 SKIM COAT PORTLAND CEMENT STUCCO (PT-14) OVER CONCRETE COLUMN
 - 4-34 BOLLARD
 - 4-49 PRECAST CONCRETE EYEBROW (APC-1)
 - 4-51 ARCHITECTURAL FINISHED CAST-IN-PLACE CONCRETE (PT-14)
 - 4-56 LOUVER, SEE MECHANICAL
 - 4-57 ARCHITECTURAL PRECAST CONCRETE PANEL JOINT, TYP
 - 4-58 ARCHITECTURAL PRECAST CONCRETE PANEL REVEAL, TYP - ALIGN VERTICALLY ENTIRE HEIGHT OF BUILDING
 - 4-59 MECHANICAL EQUIPMENT ROOF SCREEN (DELEGATED DESIGN - SEE SPEC)
 - 4-64 1-1/2" HORIZONTAL STUCCO REVEAL, TYP
 - 4-66 3/8" CONTROL JOINT THRU STUCCO AND CMU WALL
 - 4-68 HOSE BIB, SEE PLUMBING



PROJECT
FORT LAUDERDALE POLICE HEADQUARTERS
 1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312



CLIENT
CITY OF FORT LAUDERDALE DEPARTMENT OF PUBLIC WORKS

PRIME CONSULTANT
AECOM
 2 ALHAMBRA PLAZA, SUITE 900
 CORAL GABLES, FL 33134
 305.444.4691 tel 305.675.3843 fax
 http://www.aecom.com

CONSULTANTS

REGISTRATION



ISSUE/REVISION

ISSUE/REVISION	DATE	DESCRIPTION
3	APRIL 4, 2022	100% CONSTRUCTION DOCS
2	NOV 24, 2021	75% CONSTRUCTION DOCS
1	JUNE 21, 2021	DESIGN DEVELOPMENT

LR	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER

60639620

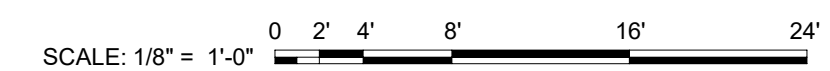
SHEET TITLE

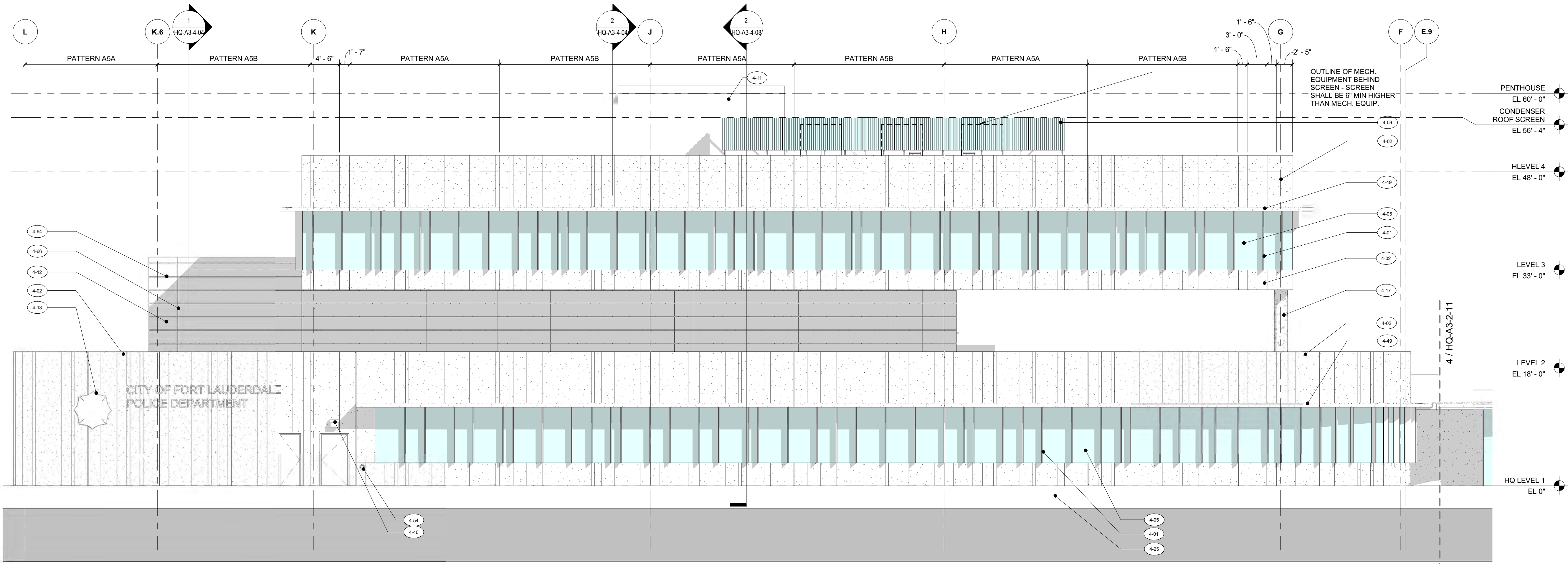
HEADQUARTERS BLDG - BUILDING ELEVATION EAST - ENLARGED

SHEET NUMBER

HQ-A3-2-08

1 ENLARGED BUILDING ELEVATION - EAST AREA D
 Scale: 1/8" = 1'-0"





- KEYNOTES**
- 4-01 PREFINISHED ALUMINUM FINS ON CURTAIN WALL SYSTEM
 - 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
 - 4-05 LAMINATED GLAZING ASSEMBLY ON ALUMINUM CURTAIN WALL SYSTEM
 - 4-11 PORTLAND CEMENT STUCCO FINISH SYSTEM (PT-15) ON CMU WALL
 - 4-12 PORTLAND CEMENT STUCCO FINISH (PT-15) ON CMU WALL WITH HORIZONTAL REVEALS
 - 4-13 SIGNAGE (NIC)
 - 4-17 SKIM COAT PORTLAND CEMENT STUCCO (PT-14) OVER CONCRETE COLUMN
 - 4-25 CONCRETE LANDSCAPE WALL, SEE LANDSCAPE DRAWINGS
 - 4-40 LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
 - 4-49 PRECAST CONCRETE EYEBROW (APC-1)
 - 4-54 EMERGENCY OVERFLOW DRAIN OUTLET NOZZLE (COW'S TONGUE) AT MINIMUM 2'-3" ABOVE GRADE HEIGHT
 - 4-59 MECHANICAL EQUIPMENT ROOF SCREEN (DELEGATED DESIGN - SEE SPEC)
 - 4-64 1-1/2" HORIZONTAL STUCCO REVEAL, TYP
 - 4-66 3/8" CONTROL JOINT THRU STUCCO AND CMU WALL

AECOM

PROJECT
FORT LAUDERDALE POLICE HEADQUARTERS
 1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312

CLIENT
CITY OF FORT LAUDERDALE DEPARTMENT OF PUBLIC WORKS

PRIME CONSULTANT

AECOM
 2 ALHAMBRA PLAZA, SUITE 900
 CORAL GABLES, FL 33134
 305.444.4691 tel 305.675.3843 fax
 http://www.aecom.com

CONSULTANTS

REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
3	APRIL 4, 2022	100% CONSTRUCTION DOCS
2	NOV 24, 2021	75% CONSTRUCTION DOCS
1	JUNE 21, 2021	DESIGN DEVELOPMENT

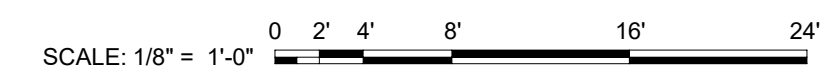
KEY PLAN

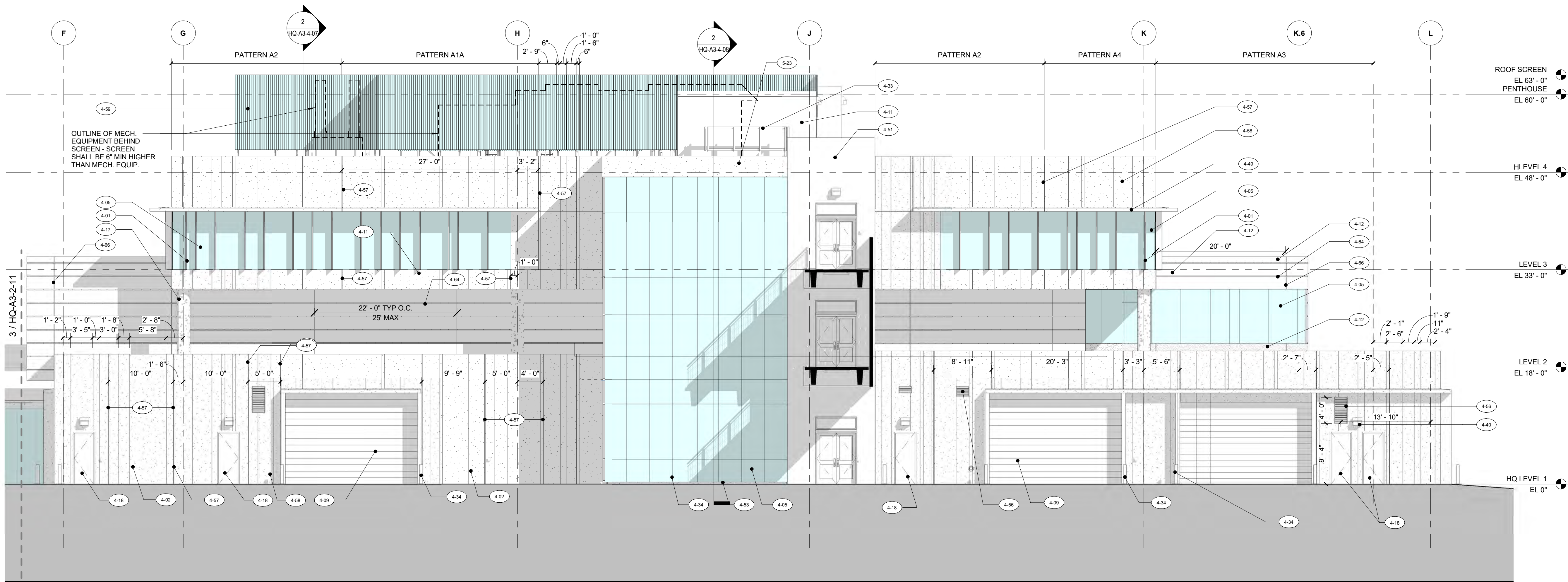
PROJECT NUMBER
 60639620

SHEET TITLE
 HEADQUARTERS BLDG - BUILDING ELEVATION NORTH - ENLARGED

SHEET NUMBER
 HQ-A3-2-09

1 ENLARGED BUILDING ELEVATION - NORTH AREA A
 Scale: 1/8" = 1'-0"





1 ENLARGED BUILDING ELEVATION - SOUTH AREA D
Scale: 1/8" = 1'-0"

- KEYNOTES**
- 4-01 PREFINISHED ALUMINUM FINS ON CURTAIN WALL SYSTEM
 - 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
 - 4-05 LAMINATED GLAZING ASSEMBLY ON ALUMINUM CURTAIN WALL SYSTEM
 - 4-09 IMPACT RESISTANT INSULATED OVERHEAD DOOR
 - 4-11 PORTLAND CEMENT STUCCO FINISH SYSTEM (PT-15) ON CMU WALL
 - 4-12 PORTLAND CEMENT STUCCO FINISH (PT-15) ON CMU WALL WITH HORIZONTAL REVEALS
 - 4-17 SKIM COAT PORTLAND CEMENT STUCCO (PT-14) OVER CONCRETE COLUMN
 - 4-18 IMPACT RESISTANT HOLLOW METAL DOOR (PTD)
 - 4-33 ANTENNA SUPPORT RACK
 - 4-34 BOLLARD
 - 4-40 LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
 - 4-49 PRECAST CONCRETE EYEBROW (APC-1)
 - 4-51 ARCHITECTURAL FINISHED CAST-IN-PLACE CONCRETE (PT-14)
 - 4-53 CAST IN PLACE CONCRETE CURB
 - 4-54 EMERGENCY OVERFLOW DRAIN OUTLET NOZZLE (COW'S TONGUE) AT MINIMUM 2'-3" ABOVE GRADE HEIGHT
 - 4-56 LOUVER, SEE MECHANICAL
 - 4-57 ARCHITECTURAL PRECAST CONCRETE PANEL JOINT, TYP
 - 4-58 ARCHITECTURAL PRECAST CONCRETE PANEL REVEAL, TYP - ALIGN VERTICALLY ENTIRE HEIGHT OF BUILDING
 - 4-59 MECHANICAL EQUIPMENT ROOF SCREEN (DELEGATED DESIGN - SEE SPEC)
 - 4-64 1-1/2" HORIZONTAL STUCCO REVEAL, TYP
 - 4-66 3/8" CONTROL JOINT THRU STUCCO AND CMU WALL
 - 5-23 8" PRECAST CONCRETE PANEL



PROJECT
FORT LAUDERDALE POLICE HEADQUARTERS
1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312



CLIENT
CITY OF FORT LAUDERDALE DEPARTMENT OF PUBLIC WORKS
PRIME CONSULTANT

AECOM
2 ALHAMBRA PLAZA, SUITE 900
CORAL GABLES, FL 33134
305.444.4691 tel 305.675.3843 fax
http://www.aecom.com

CONSULTANTS

REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
3	APRIL 4, 2022	100% CONSTRUCTION DOCS
2	NOV 24, 2021	75% CONSTRUCTION DOCS
1	JUNE 21, 2021	DESIGN DEVELOPMENT

LR	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER

60639620

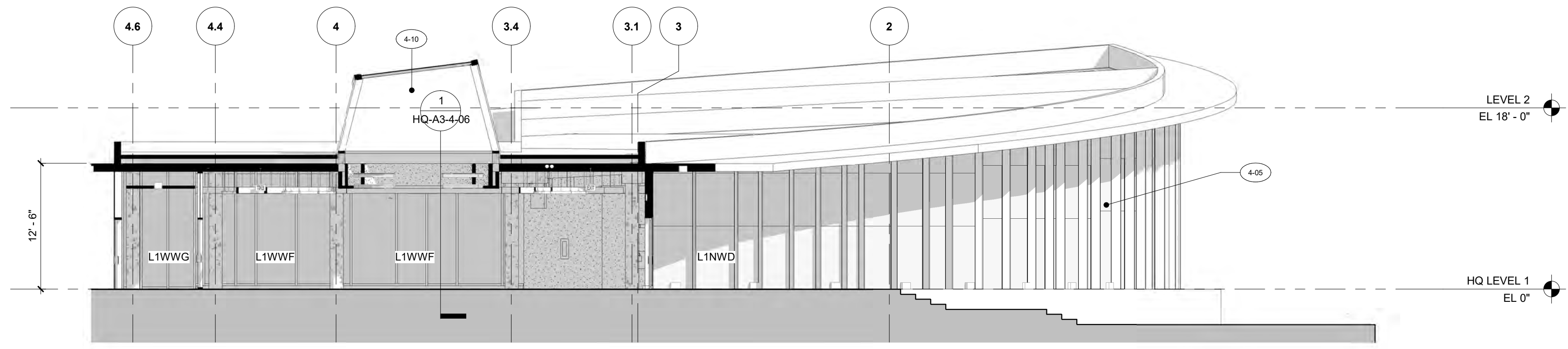
SHEET TITLE

HEADQUARTERS BLDG - BUILDING ELEVATION SOUTH - ENLARGED

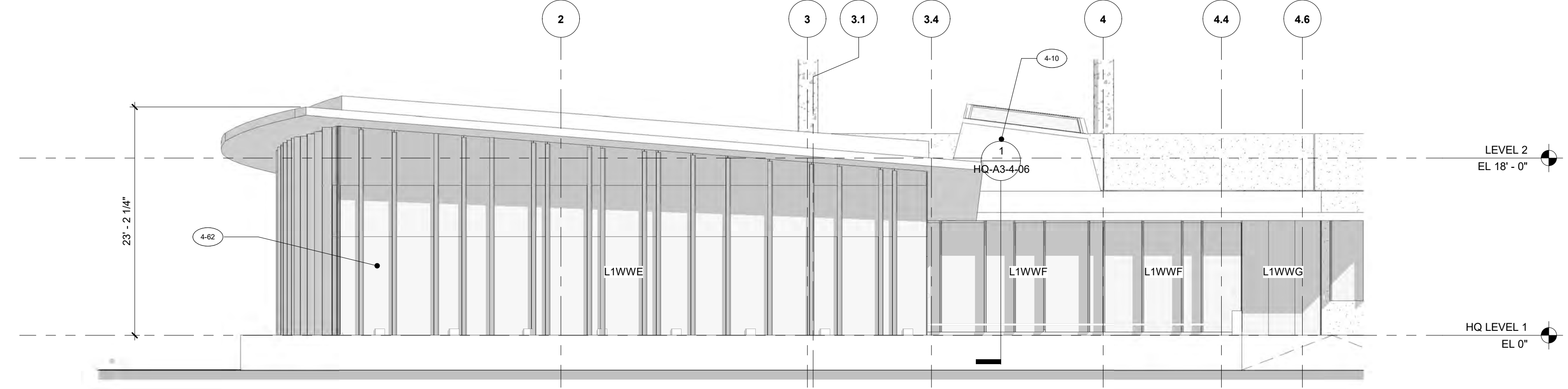
SHEET NUMBER

HQ-A3-2-10

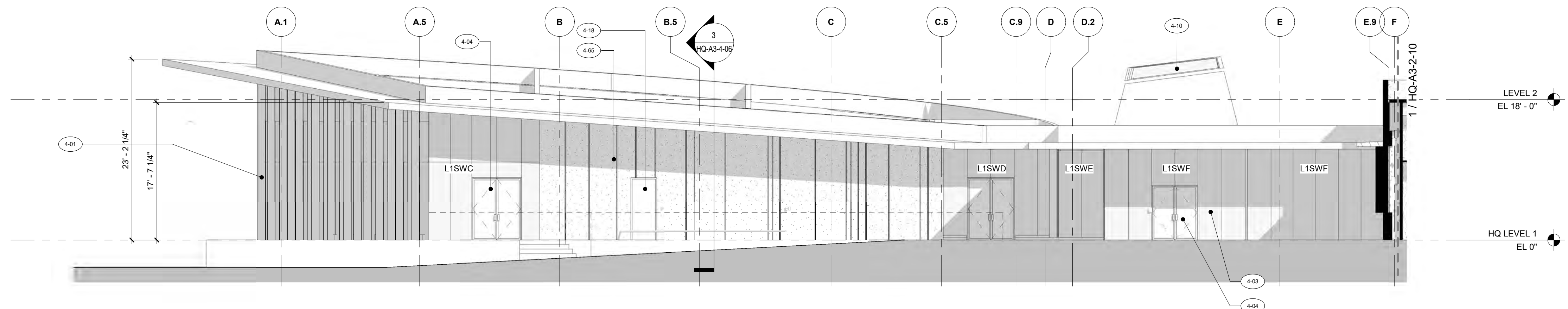
SCALE: 1/8" = 1'-0" 0 2' 4' 8' 16' 24'



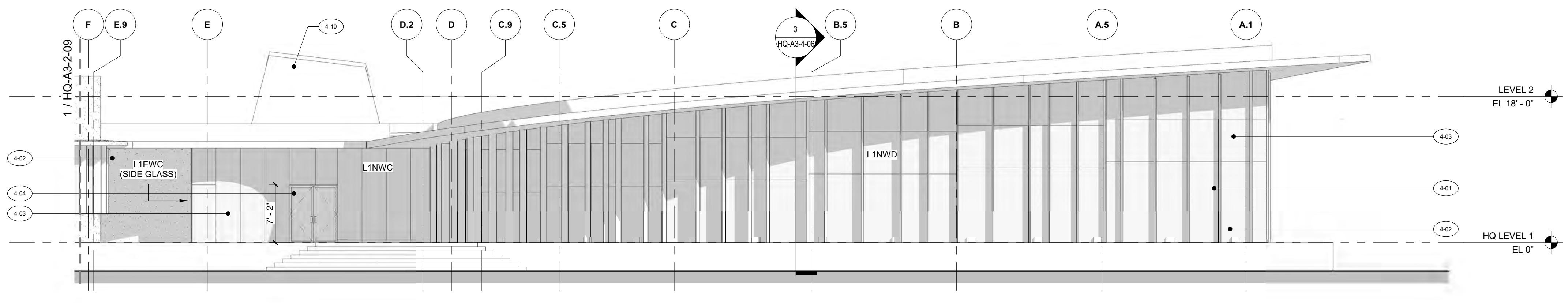
1 ENLARGED BUILDING ELEVATION - COMMUNITY CENTER - EAST
 Scale: 1/8" = 1'-0"



2 ENLARGED BUILDING ELEVATION - COMMUNITY CENTER - WEST
 Scale: 1/8" = 1'-0"



3 ENLARGED BUILDING ELEVATION - COMMUNITY CENTER - SOUTH
 Scale: 1/8" = 1'-0"



4 ENLARGED BUILDING ELEVATION - COMMUNITY CENTER - NORTH
 Scale: 1/8" = 1'-0"

- KEYNOTES**
- 4-01 PREFINISHED ALUMINUM FINNS ON CURTAIN WALL SYSTEM
 - 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
 - 4-03 LAMINATED GLAZING ON ALUMINUM STOREFRONT SYSTEM
 - 4-04 ALUMINUM STOREFRONT DOOR WITH LAMINATED GLAZING
 - 4-05 LAMINATED GLAZING ASSEMBLY ON ALUMINUM CURTAIN WALL SYSTEM
 - 4-10 ARCHITECTURAL PRECAST CONCRETE PANELS (APC-2) SUPPORTING SKYLIGHT ABOVE
 - 4-18 IMPACT RESISTANT HOLLOW METAL DOOR (PTD)
 - 4-62 LAMINATED GLAZING WITH TRANSLUCENT CERAMIC COATING ON ALUMINUM CURTAIN WALL SYSTEM
 - 4-65 ARCHITECTURAL PRECAST CONCRETE ACCENT PANEL (APC-2)



PROJECT
FORT LAUDERDALE
POLICE HEADQUARTERS
 1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312



CLIENT
CITY OF FORT
LAUDERDALE
DEPARTMENT OF
PUBLIC WORKS
PRIME CONSULTANT

AECOM
 2 ALHAMBRA PLAZA, SUITE 900
 CORAL GABLES, FL 33134
 305.444.4691 tel 305.675.3843 fax
 http://www.aecom.com

CONSULTANTS

REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
3	APRIL 4, 2022	100% CONSTRUCTION DOCS
2	NOV 24, 2021	75% CONSTRUCTION DOCS
1	JUNE 21, 2021	DESIGN DEVELOPMENT

KEY PLAN

PROJECT NUMBER

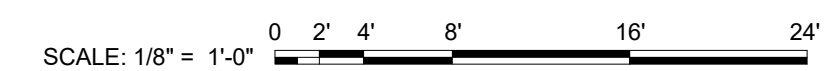
60639620

SHEET TITLE

HEADQUARTERS BLDG - BUILDING ELEVATIONS - COMMUNITY CENTER

SHEET NUMBER

HQ-A3-2-11





1 | 3D VIEW-NORTHWEST CORNER (FOR INFORMATION ONLY)
Scale: NTS



2 | 3D VIEW-NORTHEAST CORNER (FOR INFORMATION ONLY)
Scale: NTS



3 | 3D VIEW-ENTRANCE PLAZA (FOR INFORMATION ONLY)
Scale: NTS



4 | 3D VIEW-NORTH ELEVATION (FOR INFORMATION ONLY)
Scale: NTS



PROJECT
**FORT LAUDERDALE
 POLICE HEADQUARTERS**
 1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312



CLIENT
**CITY OF FORT
 LAUDERDALE
 DEPARTMENT OF
 PUBLIC WORKS**

PRIME CONSULTANT
AECOM
 2 ALHAMBRA PLAZA, SUITE 900
 CORAL GABLES, FL 33134
 305.444.4691 tel 305.675.3843 fax
 http://www.aecom.com

CONSULTANTS

REGISTRATION



ISSUE/REVISION

ISSUE/REVISION	DATE	DESCRIPTION
3	NOV 24, 2021	75% CONSTRUCTION DOCS
2	JUNE 21, 2021	DESIGN DEVELOPMENT
1	MAR 15, 2021	SCHEMATIC DESIGN

ISSUE/REVISION	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER

60639620

SHEET TITLE

HEADQUARTERS BLDG -
RENDERINGS (FOR INFORMATION
ONLY)

SHEET NUMBER

HQ-A8-1-01



CONSULTANTS

REGISTRATION



ISSUE/REVISION

ISSUE/REVISION	DATE	DESCRIPTION
1	NOV 24, 2021	75% CONSTRUCTION DOCS

ISSUE/REVISION	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER

60639620

SHEET TITLE

HEADQUARTERS BLDG -
RENDERINGS (FOR INFORMATION
ONLY)

SHEET NUMBER

HQ-A8-1-02



1 | 3D VIEW-OFFICER BRIDGE ENTRANCE (FOR INFORMATION ONLY)
Scale: NTS



2 | 3D VIEW-SOUTHEAST CORNER (FOR INFORMATION ONLY)
Scale: NTS

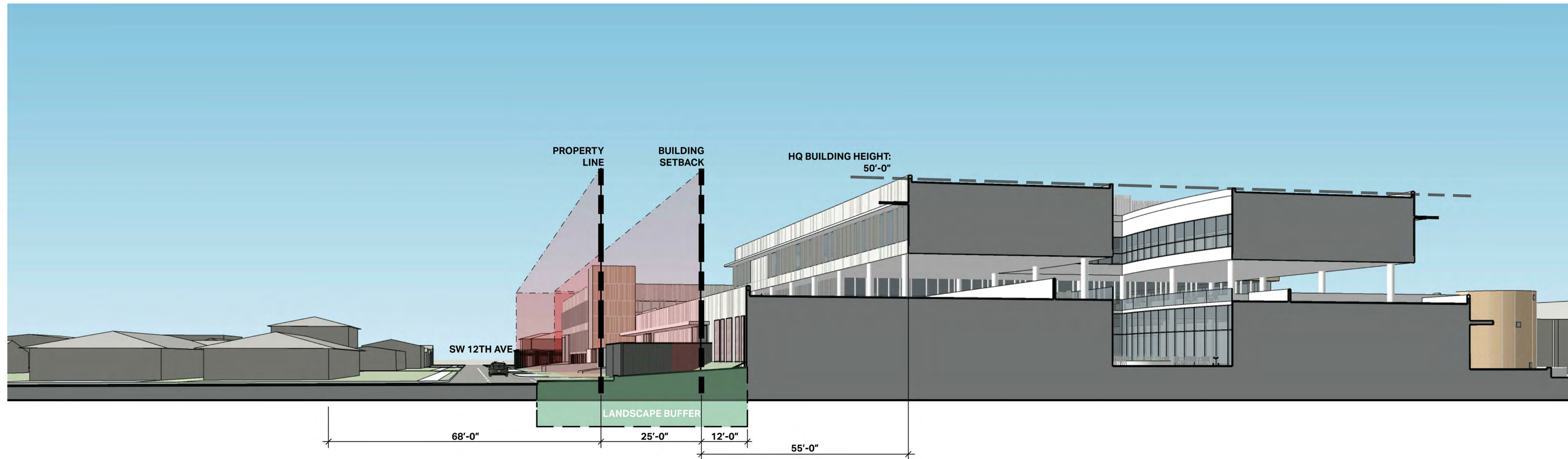


3 | 3D VIEW-LOADING DOCK/TRASH AREA (FOR INFORMATION ONLY)
Scale: NTS

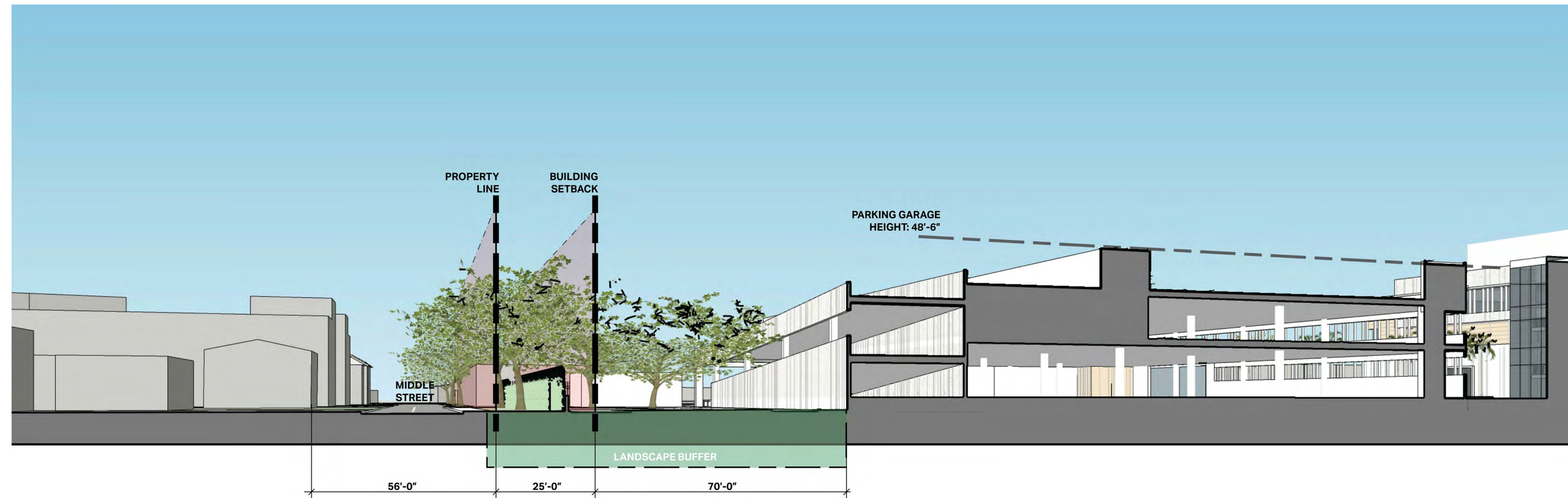


ISSUE/REVISION	DATE	DESCRIPTION
1	NOV 24, 2021	75% CONSTRUCTION DOCS

UR	DATE	DESCRIPTION



1 | 3D VIEW-PERSPECTIVE SECTION 1
 Scale: N.T.S.



2 | 3D VIEW-PERSPECTIVE SECTION 2
 Scale: N.T.S.



STAINLESS STEEL GREEN WALL SYSTEM WITH BOUGAINVILLEA, 20 FT HIGH TYP.

STAINLESS STEEL GREEN WALL SYSTEM WITH BOUGAINVILLEA, 8 FT HIGH TYP.

STAINLESS STEEL GREEN WALL SYSTEM WITH BOUGAINVILLEA, 12 FT HIGH TYP.

1 GREEN SCREENS CONCEPT
Scale: NTS

2 GREEN SCREENS HARDWARE
Scale: NTS



NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION



CONSULTANTS

REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION

UR	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER

60639620

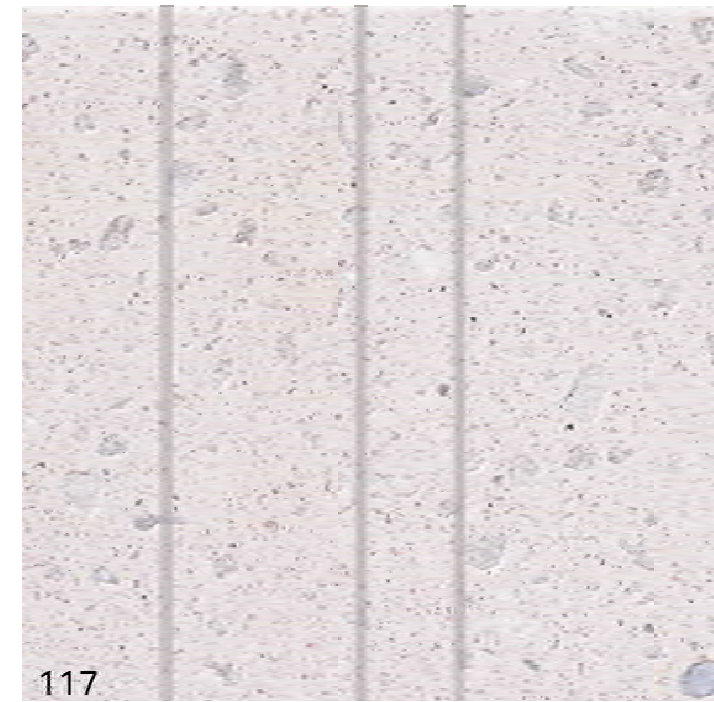
SHEET TITLE

MATERIALS BOARD

SHEET NUMBER

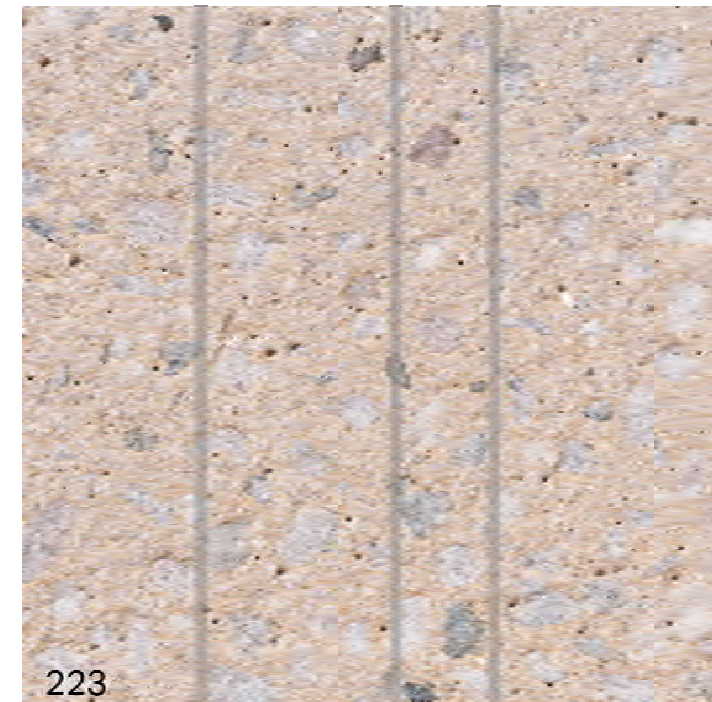
HQ-A8-1-05

PRECAST CONCRETE BASE WALLS



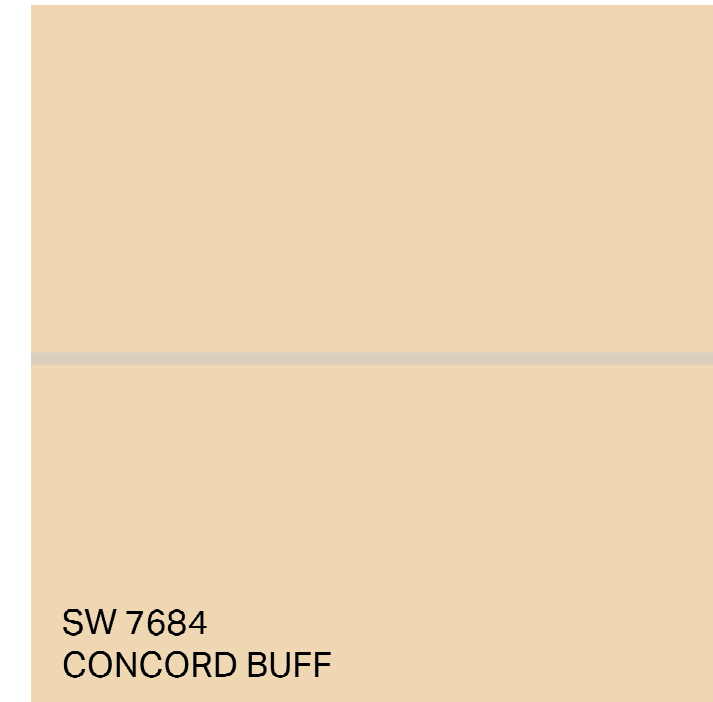
117

PRECAST CONCRETE ACCENT WALLS



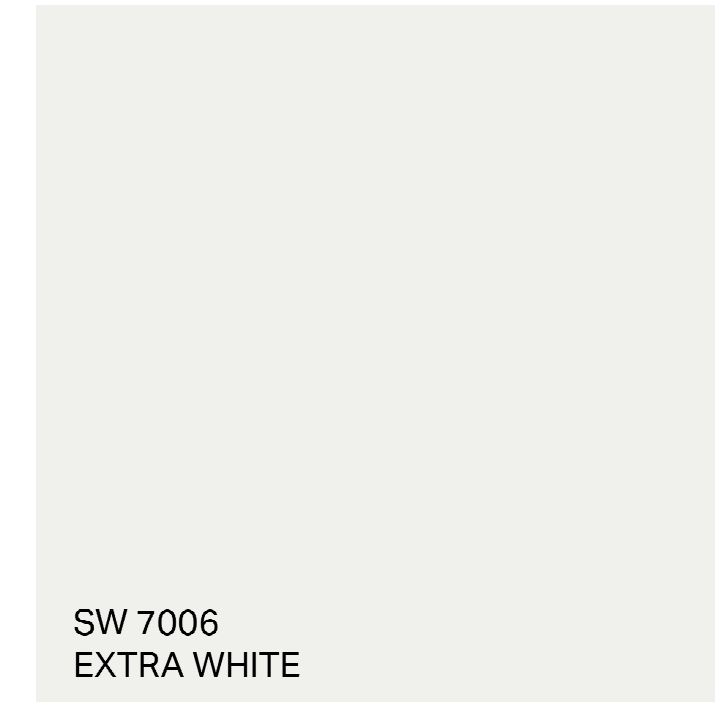
223

STUCCO WALLS



SW 7684
CONCORD BUFF

EXTERIOR SOFFITS



SW 7006
EXTRA WHITE

CURTAIN WALL FINS



SW 6252
ICE CUBE

EXTERIOR ELEMENTS (BOLLARDS, HANDRAILS, ETC)

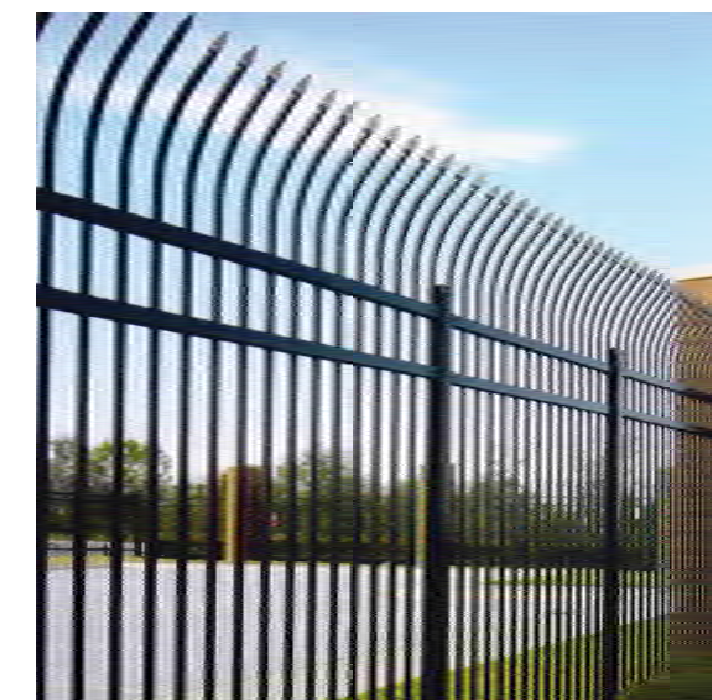
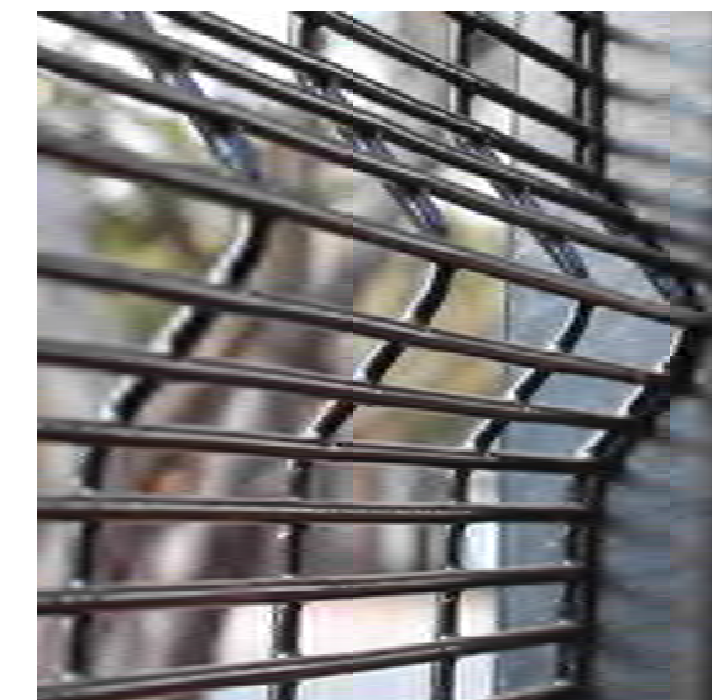


SW 7069
IRON ORE

BUILDING RENDERINGS



SECURITY FENCING



EXTERIOR CURTAIN WALL GLAZING

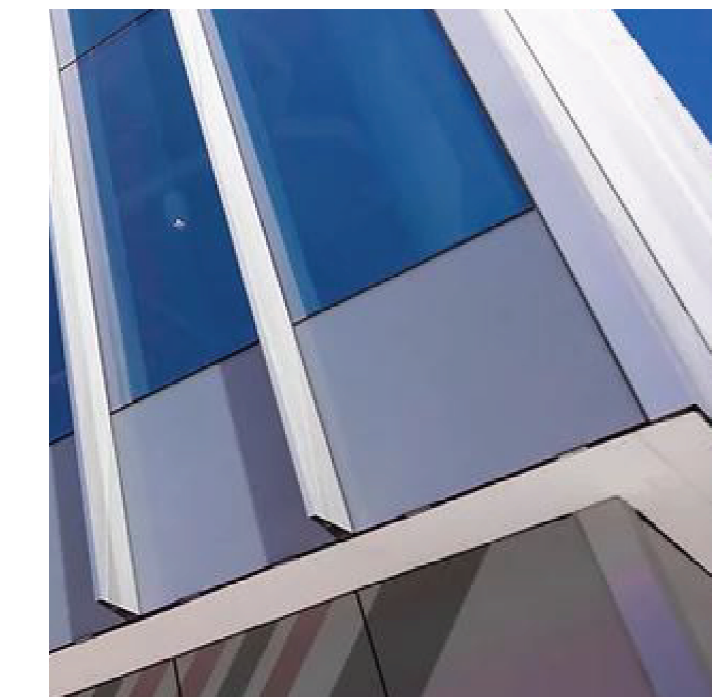
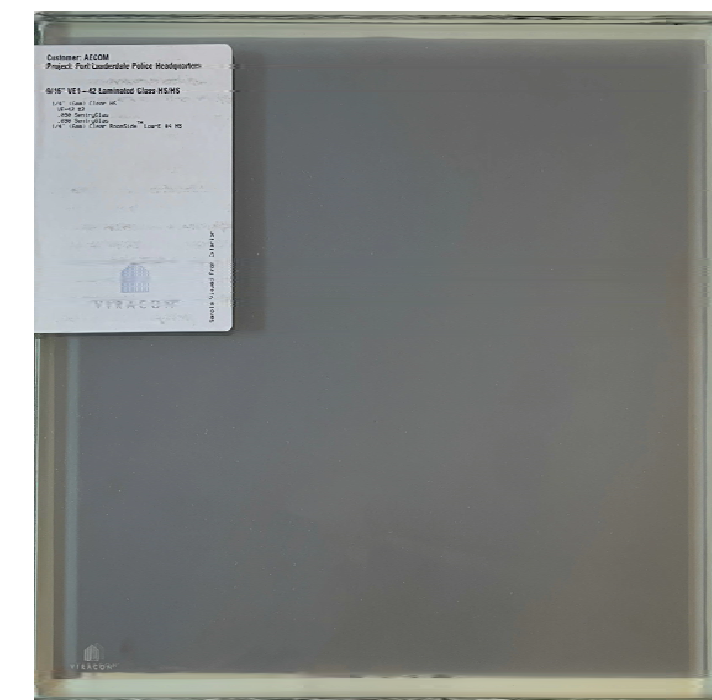
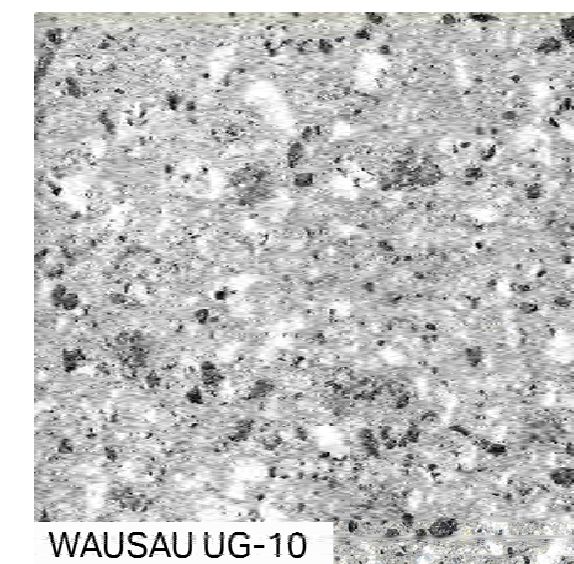
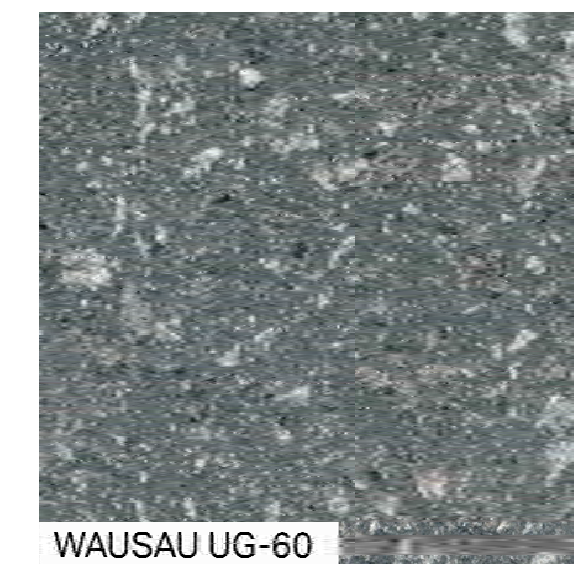


IMAGE FOR FINS REFERENCE ONLY
NOT FOR GLAZING COLOR

EXTERIOR PAVERS

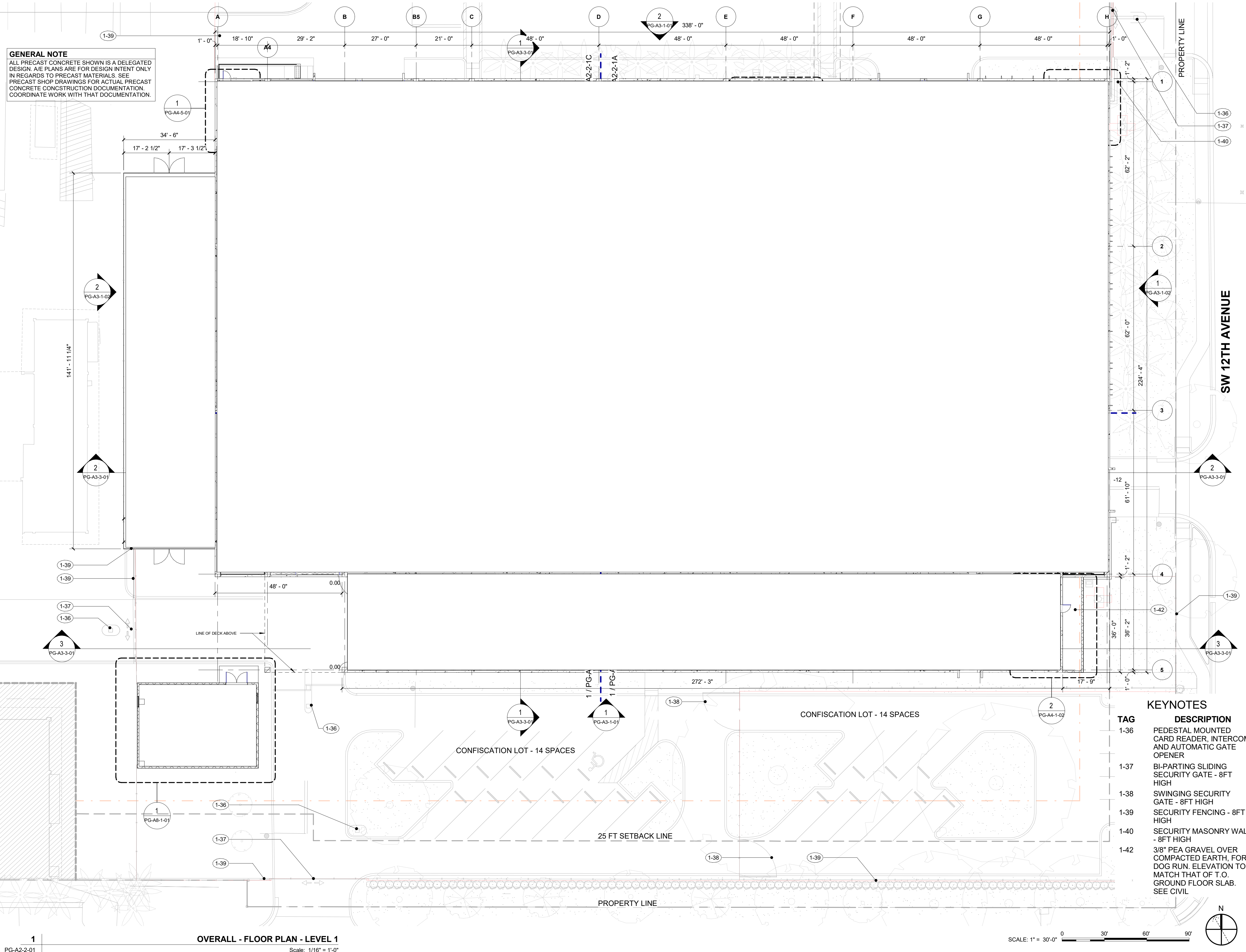


WAUSAU UG-10



WAUSAU UG-60

Project Management Initials: Designer: Designer Checked: Checker Approved: ARCH D 24' x 36'



GENERAL NOTE
 ALL PRECAST CONCRETE SHOWN IS A DELEGATED DESIGN. A/E PLANS ARE FOR DESIGN INTENT ONLY IN REGARDS TO PRECAST MATERIALS. SEE PRECAST SHOP DRAWINGS FOR ACTUAL PRECAST CONCRETE CONSTRUCTION DOCUMENTATION. COORDINATE WORK WITH THAT DOCUMENTATION.

1 OVERALL - FLOOR PLAN - LEVEL 1
 Scale: 1/16" = 1'-0"

KEYNOTES

TAG	DESCRIPTION
1-36	PEDESTAL MOUNTED CARD READER, INTERCOM AND AUTOMATIC GATE OPENER
1-37	BI-PARTING SLIDING SECURITY GATE - 8FT HIGH
1-38	SWINGING SECURITY GATE - 8FT HIGH
1-39	SECURITY FENCING - 8FT HIGH
1-40	SECURITY MASONRY WALL - 8FT HIGH
1-42	3/8" PEA GRAVEL OVER COMPACTED EARTH, FOR DOG RUN. ELEVATION TO MATCH THAT OF T.O. GROUND FLOOR SLAB. SEE CIVIL

AECOM
 PROJECT
FORT LAUDERDALE POLICE HEADQUARTERS
 1300 W BROWARD BLVD - FORT LAUDERDALE, FL 33312



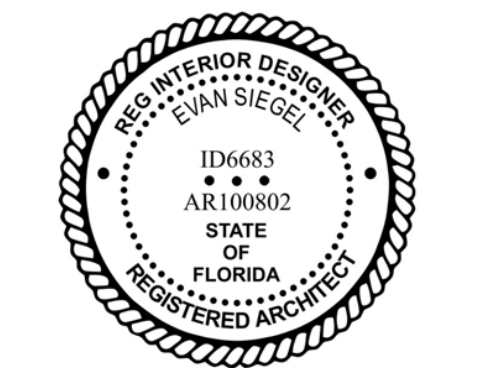
CLIENT
AECOM

PRIME CONSULTANT
AECOM

http://www.aecom.com

CONSULTANTS

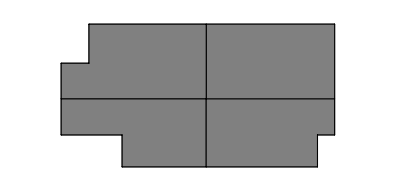
REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
4	NOV 24, 2021	75% CONSTRUCTION DOCS
3	AUG 16, 2021	DRG RESUBMIT
2	JUNE 21, 2021	DESIGN DEVELOPMENT
1	MAR 15, 2021	SCHEMATIC DESIGN

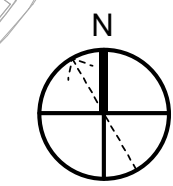
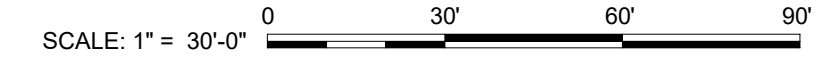
KEY PLAN



PROJECT NUMBER
 60639620

SHEET TITLE
 PARKING GARAGE - FLOOR PLAN LEVEL 1 - OVERALL

SHEET NUMBER
 PG-A2-2-01

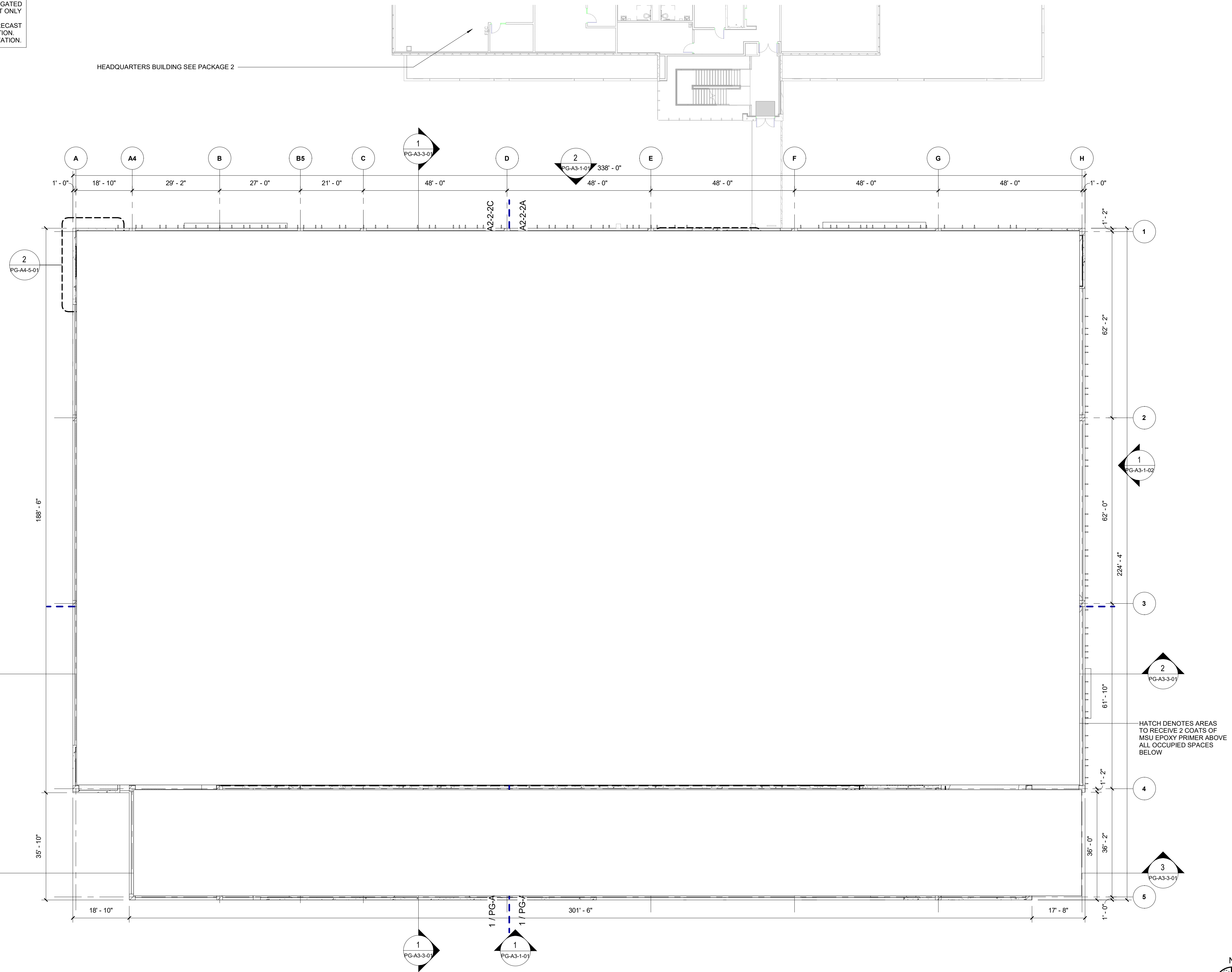


©2016 AECOM Corporation
 PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

Last Printed: 3/19/2022 5:04:58 PM
 Filename: BM 3601/BP-AMER (USA) 60639620-FLPH036R02_F1_PH_PG_ARCH_L020.rvt

Printed on 100% Post-Consumer Recycled Content Paper

GENERAL NOTE
 ALL PRECAST CONCRETE SHOWN IS A DELEGATED DESIGN. A/E PLANS ARE FOR DESIGN INTENT ONLY IN REGARDS TO PRECAST MATERIALS. SEE PRECAST SHOP DRAWINGS FOR ACTUAL PRECAST CONCRETE CONSTRUCTION DOCUMENTATION. COORDINATE WORK WITH THAT DOCUMENTATION.



OVERALL - FLOOR PLAN - LEVEL 2
 Scale: 1/16" = 1'-0"

1
 PG-A2-2-02



PROJECT
**FORT LAUDERDALE
 POLICE HEADQUARTERS**
 1300 W BROWARD BLVD - FORT LAUDERDALE, FL 33312



CLIENT
AECOM

PRIME CONSULTANT
AECOM

<http://www.aecom.com>

CONSULTANTS

REGISTRATION

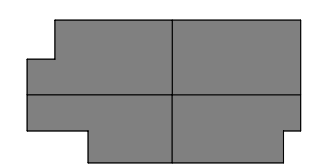


ISSUE/REVISION

ISSUE/REVISION	DATE	DESCRIPTION
4	NOV 24, 2021	75% CONSTRUCTION DOCS
3	AUG 16, 2021	DRG RESUBMIT
2	JUNE 21, 2021	DESIGN DEVELOPMENT
1	MAR 15, 2021	SCHEMATIC DESIGN

ISSUE/REVISION	DATE	DESCRIPTION

KEY PLAN



PROJECT NUMBER

60639620

SHEET TITLE

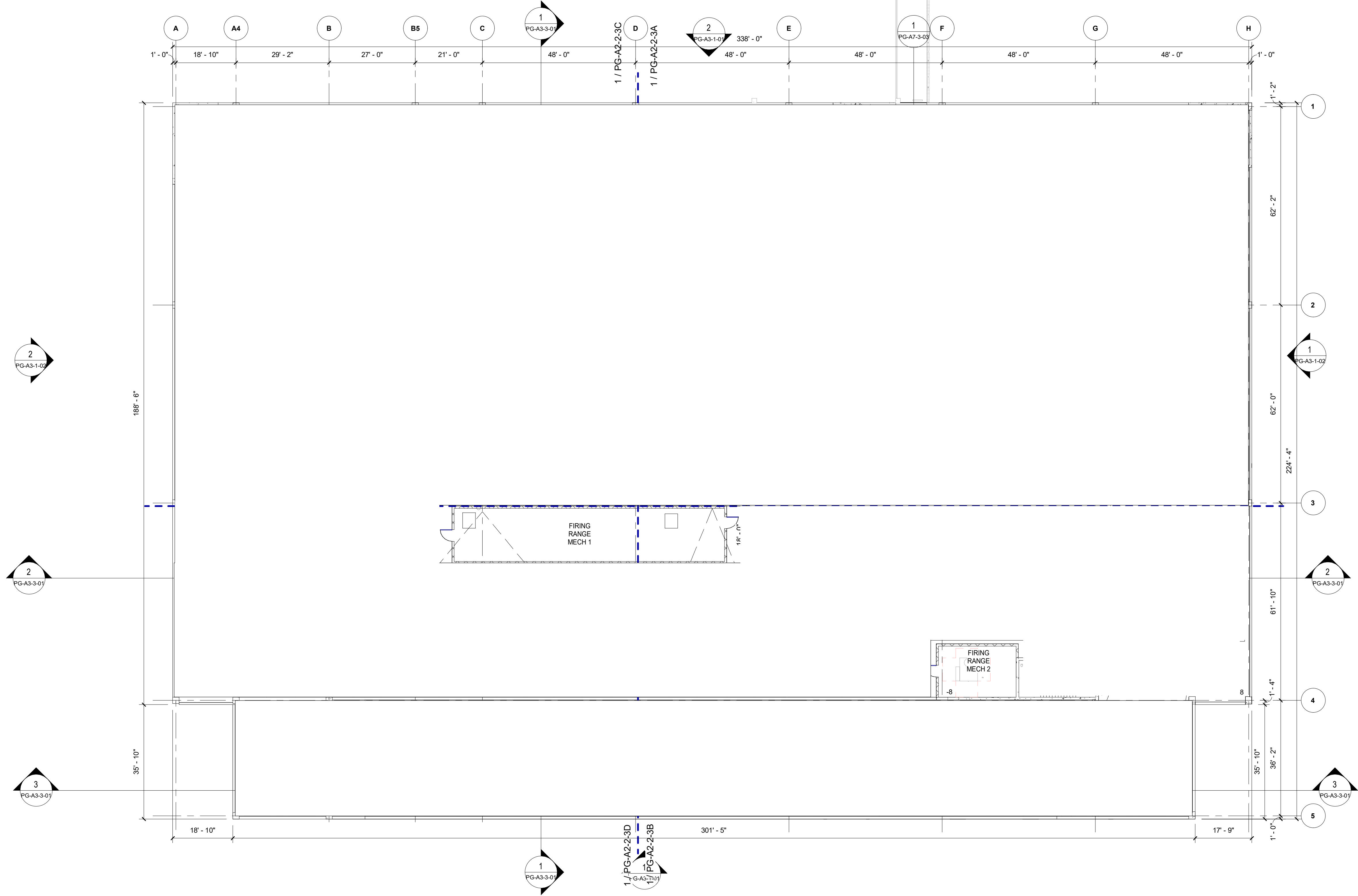
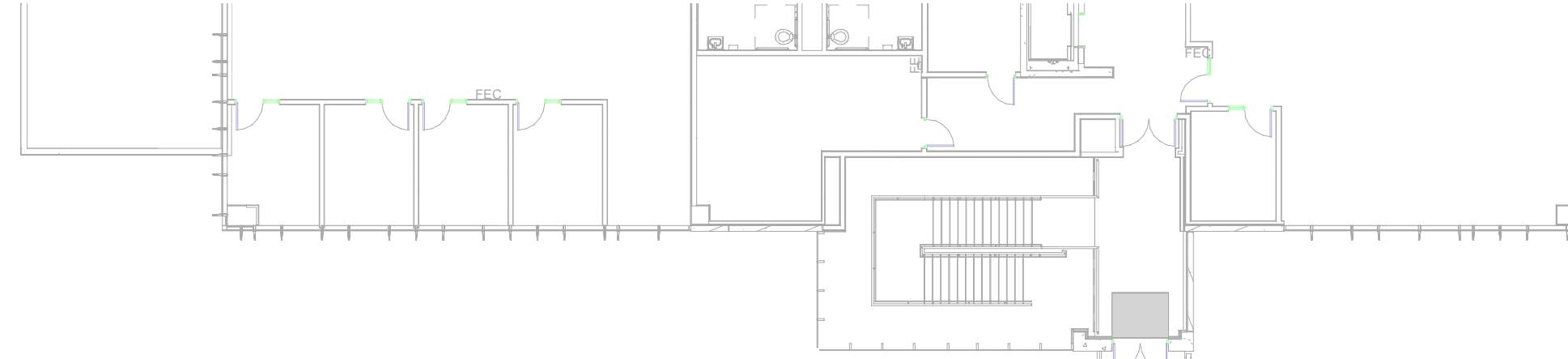
PARKING GARAGE - FLOOR PLAN
 LEVEL 2 - OVERALL

SHEET NUMBER

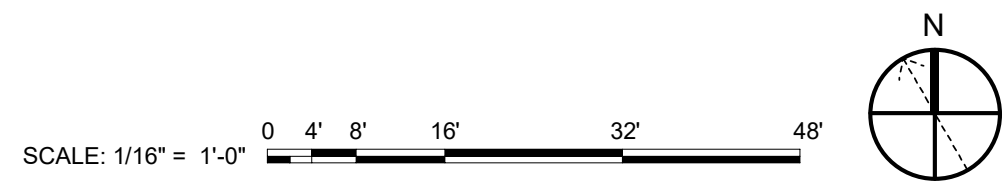
PG-A2-2-02

GENERAL NOTE
 ALL PRECAST CONCRETE SHOWN IS A DELEGATED DESIGN. A/E PLANS ARE FOR DESIGN INTENT ONLY IN REGARDS TO PRECAST MATERIALS. SEE PRECAST SHOP DRAWINGS FOR ACTUAL PRECAST CONCRETE CONSTRUCTION DOCUMENTATION. COORDINATE WORK WITH THAT DOCUMENTATION.

TAG	DESCRIPTION
2-03	4" WHITE TRAFFIC MARKING (TYP)
2-04	4' BLUE TRAFFIC MARKING
2-08	E.V. PARKING SYMBOL IN WHITE PAINT
2-18	GRAY FILLED AREA DENOTES FLOOR AREA DIRECTLY ABOVE SHOOTING RANGE. PROVIDE PMMA TRAFFIC WATERPROOFING SYSTEM OVER THIS AREA



1
OVERALL - FLOOR PLAN - LEVEL 3
 Scale: 1/16" = 1'-0"



PROJECT
FORT LAUDERDALE POLICE HEADQUARTERS
 1300 W BROWARD BLVD - FORT LAUDERDALE, FL 33312



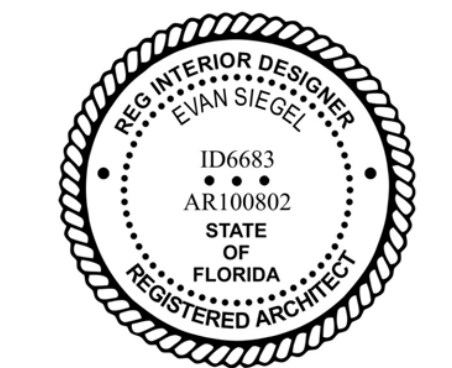
CLIENT
AECOM

PRIME CONSULTANT
AECOM

<http://www.aecom.com>

CONSULTANTS

REGISTRATION

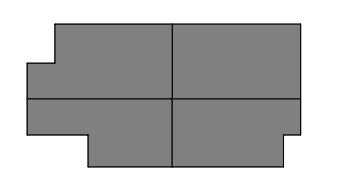


ISSUE/REVISION

NO.	DATE	DESCRIPTION
4	NOV 24, 2021	75% CONSTRUCTION DOCS
3	AUG 16, 2021	DRG RESUBMIT
2	JUNE 21, 2021	DESIGN DEVELOPMENT
1	MAR 15, 2021	SCHEMATIC DESIGN

LR	DATE	DESCRIPTION

KEY PLAN



PROJECT NUMBER

60639620

SHEET TITLE

PARKING GARAGE - FLOOR PLAN LEVEL 3 - OVERALL

SHEET NUMBER

PG-A2-2-03

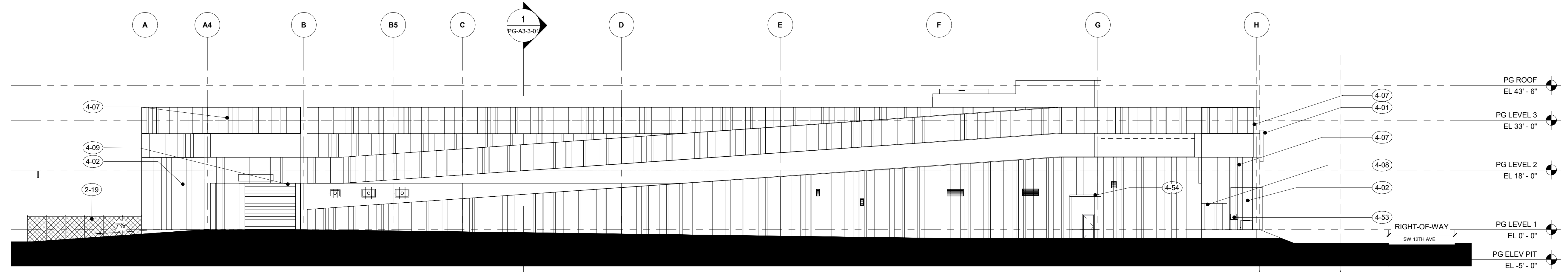
Project Management Initials: Designer: Designer Checked: Checker Approved: Approver ARCH D 24' x 36'

OPEN AIR CALCULATIONS FOR NORTH ELEVATION

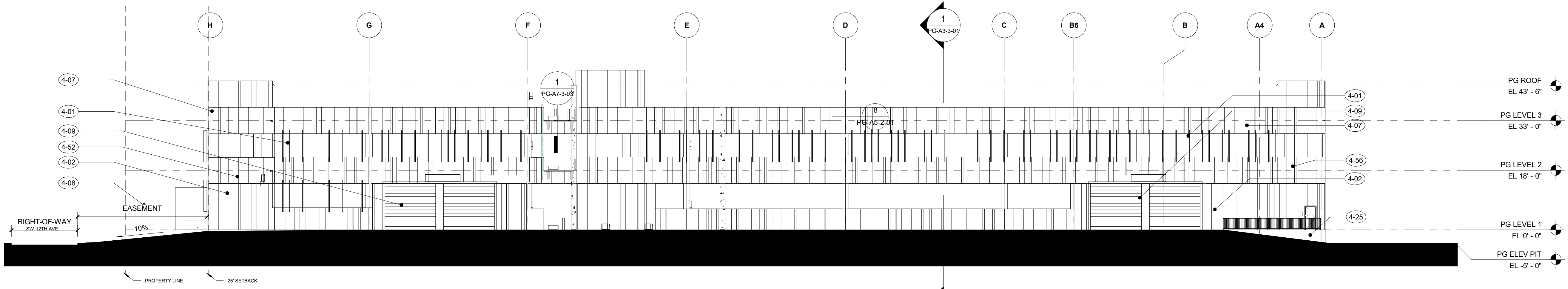
TOTAL LENGTH OF NORTH ELEVATION = 242'-0"

TOP OF 1ST FLOOR SLAB TO BOTTOM OF 2ND FLOOR SLAB HEIGHT = 17'-6"
 AREA OF NORTH FACADE WALL (L x H) LEVEL 1 = 5,880 SF
 REQUIRED OPEN AREA: 5,882 X 20% = 1,176 SF
 OPEN AREA PROVIDED: 1,349 SF

TOP OF 2ND FLOOR SLAB TO BOTTOM OF 3RD FLOOR SLAB HEIGHT = 14'-6"
 AREA OF NORTH FACADE WALL (L x H) LEVEL 2 = 4,872 SF
 REQUIRED OPEN AREA: 4,872 X 20% = 975 SF
 OPEN AREA PROVIDED: 1,813 SF



1 OVERALL - PARKING GARAGE ELEVATION - SOUTH
 Scale: 1/16" = 1'-0"



2 OVERALL - PARKING GARAGE ELEVATION - NORTH
 Scale: 1/16" = 1'-0"

KEYNOTES

TAG	DESCRIPTION
2-19	8' HEIGHT METAL CHAIN LINK ENCLOSURE WITH GATE.
4-01	EXTRUDED ALUMINUM FINS ANCHORED TO PRECAST CONCRETE PANELS
4-02	LIGHTLY SANDBLASTED ARCHITECTURAL PRECAST CONCRETE PANELS, WHITE CEMENT AND COLOR IN FACE MIX, FALSE JOINTS
4-07	PRECAST CONCRETE PANEL GUARD RAIL/SPANDREL PANEL
4-08	ALUMINUM SECURITY FENCE
4-09	IMPACT RESISTANT PAINTED STEEL OVERHEAD DOOR
4-25	RETAINING WALL
4-52	12"x12" GLASS BLOCK INSERT
4-53	MECHANICAL EQUIPMENT, SEE MECHANICAL
4-54	PRECAST CONCRETE PORTAL
4-56	12"x12" OPENING



PROJECT
FORT LAUDERDALE POLICE HEADQUARTERS
 1300 W BROWARD BLVD - FORT LAUDERDALE, FL 33312



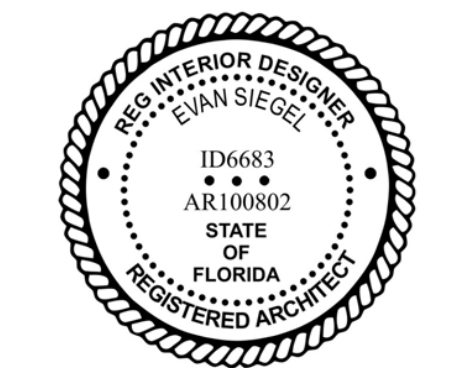
CLIENT
AECOM

PRIME CONSULTANT
AECOM

http://www.aecom.com

CONSULTANTS

REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
4	NOV 24, 2021	75% CONSTRUCTION DOCS
3	AUG 16, 2021	DRG RESUBMIT
2	JUNE 21, 2021	DESIGN DEVELOPMENT
1	MAR 15, 2021	SCHEMATIC DESIGN

REV	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER

60639620

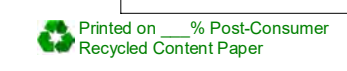
SHEET TITLE

OVERALL BUILDING ELEVATIONS

SHEET NUMBER

PG-A3-1-01

Last Printed: 3/19/2022 5:09:23 PM
 Filename: BM 3807/BP-AMER (USA) 60639620.FLPH030302.FLPH_PG_ARCH_L120.rvt



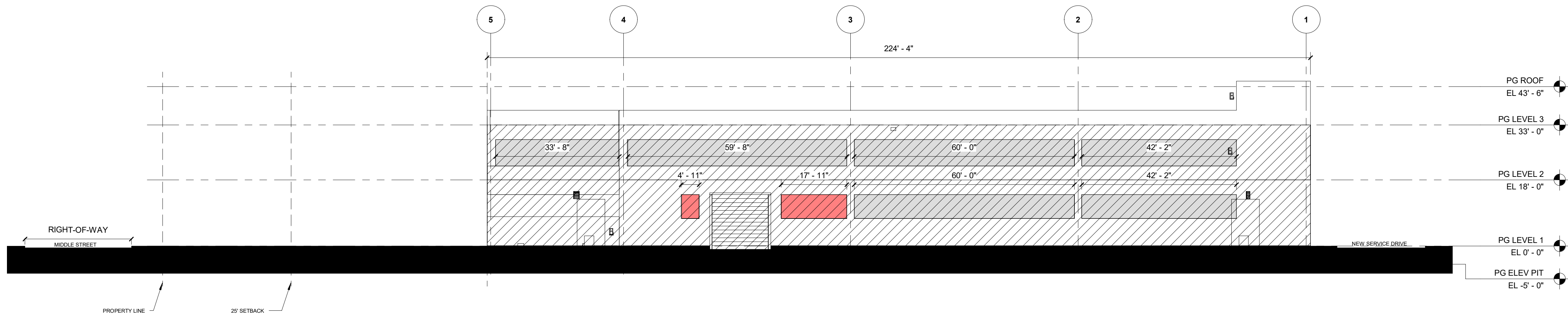
©2016 AECOM Corporation
 PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

Designer: Designer Checked: Checker Approver: ARCHD 24' x 36'

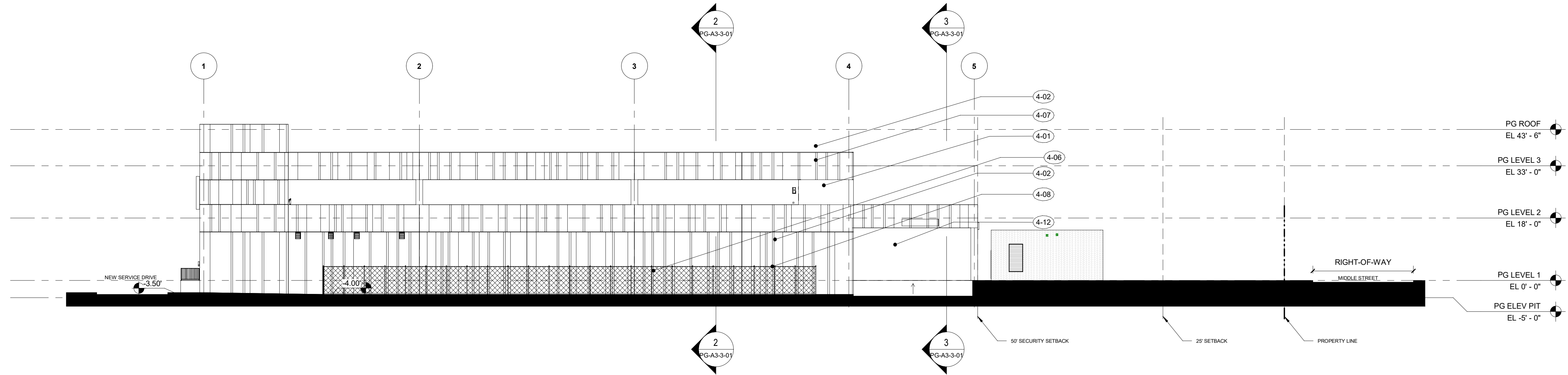
Project Management Initials:

Last Printed: 3/19/2022 5:09:24 PM
Filename: BM 360/BP-AMER (USA) 60639620.FLPH00000002.FLPH_PG_ARCHD_1020.rvt

OPEN AIR CALCULATIONS FOR EAST ELEVATION
 TOTAL LENGTH OF EAST ELEVATION = 186'-0" (NOT INCLUDING OUTBOARD VEHICULAR RAMP)
 TOP OF 1ST FLOOR SLAB TO BOTTOM OF 2ND FLOOR SLAB HEIGHT = 17'-6"
 AREA OF EAST FACADE WALL (L x H) LEVEL 1 = 3,255 SF
 REQUIRED OPEN AREA: 3,255 SF X 20% = 651 SF
 OPEN AREA PROVIDED: 663 SF
 TOP OF 2ND FLOOR SLAB TO BOTTOM OF 3RD FLOOR SLAB HEIGHT = 14'-6"
 AREA OF EAST FACADE WALL (L x H) LEVEL 2 = 2,697 SF
 REQUIRED OPEN AREA: 2,697 SF X 20% = 540 SF
 OPEN AREA PROVIDED: 1,134 SF



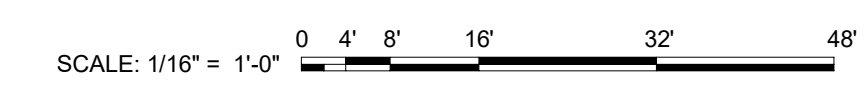
1 | PARKING GARAGE ELEVATION - EAST Code
 PG-A3-1-02 | Scale: 1/16" = 1'-0"



2 | OVERALL - PARKING GARAGE ELEVATION - WEST
 PG-A3-1-02 | Scale: 1/16" = 1'-0"

KEYNOTES

TAG	DESCRIPTION
4-01	EXTRUDED ALUMINUM FINS ANCHORED TO PRECAST CONCRETE PANELS
4-02	LIGHTLY SANDBLASTED ARCHITECTURAL PRECAST CONCRETE PANELS, WHITE CEMENT AND COLOR IN FACE MIX, FALSE JOINTS
4-06	IMPACT RESISTANT LOUVERED OPENINGS
4-07	PRECAST CONCRETE PANEL GUARD RAIL/SPANDREL PANEL
4-08	ALUMINUM SECURITY FENCE
4-12	CAST IN PLACE CONCRETE VEHICULAR RAMP



PROJECT
FORT LAUDERDALE
POLICE HEADQUARTERS
 1300 W BROWARD BLVD - FORT LAUDERDALE, FL 33312



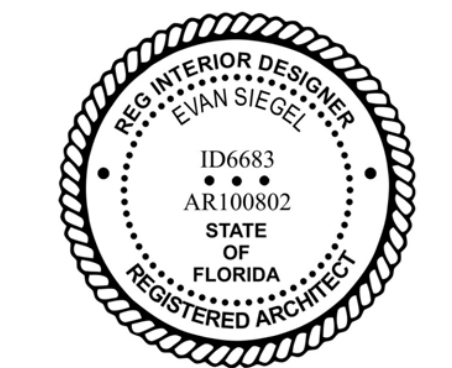
CLIENT
AECOM

PRIME CONSULTANT
AECOM

http://www.aecom.com

CONSULTANTS

REGISTRATION



ISSUE/REVISION

NO.	DATE	DESCRIPTION
4	NOV 24, 2021	75% CONSTRUCTION DOCS
3	AUG 16, 2021	DRG RESUBMIT
2	JUNE 21, 2021	DESIGN DEVELOPMENT
1	MAR 15, 2021	SCHEMATIC DESIGN

REV	DATE	DESCRIPTION

KEY PLAN

PROJECT NUMBER

60639620

SHEET TITLE

OVERALL BUILDING ELEVATIONS

SHEET NUMBER

PG-A3-1-02

©2016 AECOM Corporation
 PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1



301 East Atlantic Blvd.
Pompano Beach, FL 33060
PH: (954) 788-3400

Florida Engineering Business License: CA7923
Florida Surveyor and Mapper Business License: LB6860
Florida Landscape Architecture Business License: LC26000457

REVISIONS

NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
DESIGNED BY: MH, LW, AS
DRAWN BY: MH, AS
CHECKED BY: KS, PW
BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.
FLORIDA REG. NO. LA6666804
(FOR THE FIRM)

CLIENT

CITY OF FORT LAUDERDALE

PROJECT

NEW POLICE HEADQUARTERS
1300-1350 WEST BROWARD BLVD

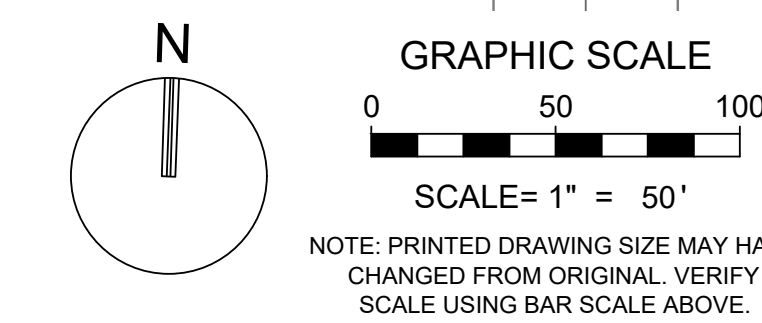
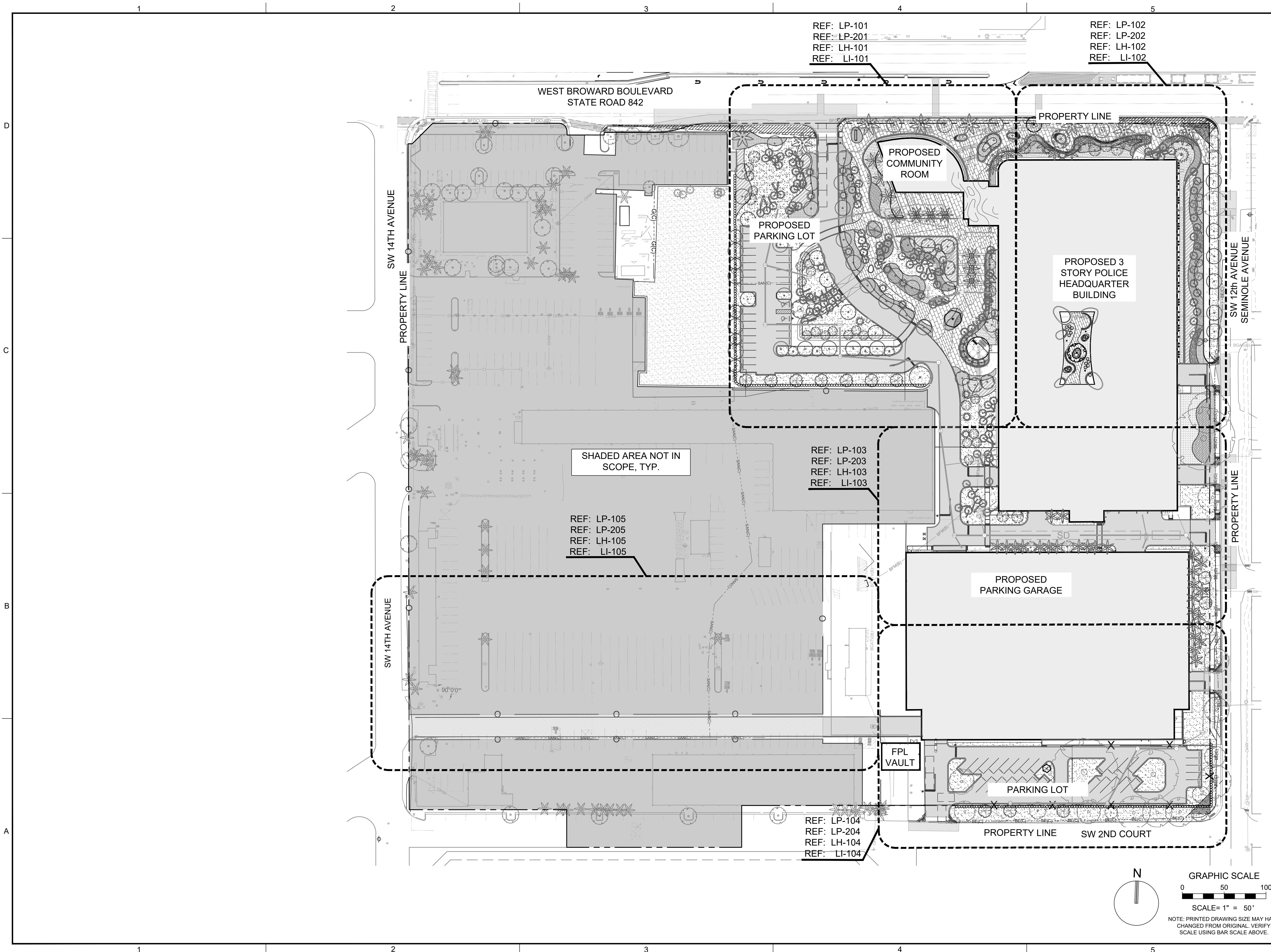
SHEET TITLE

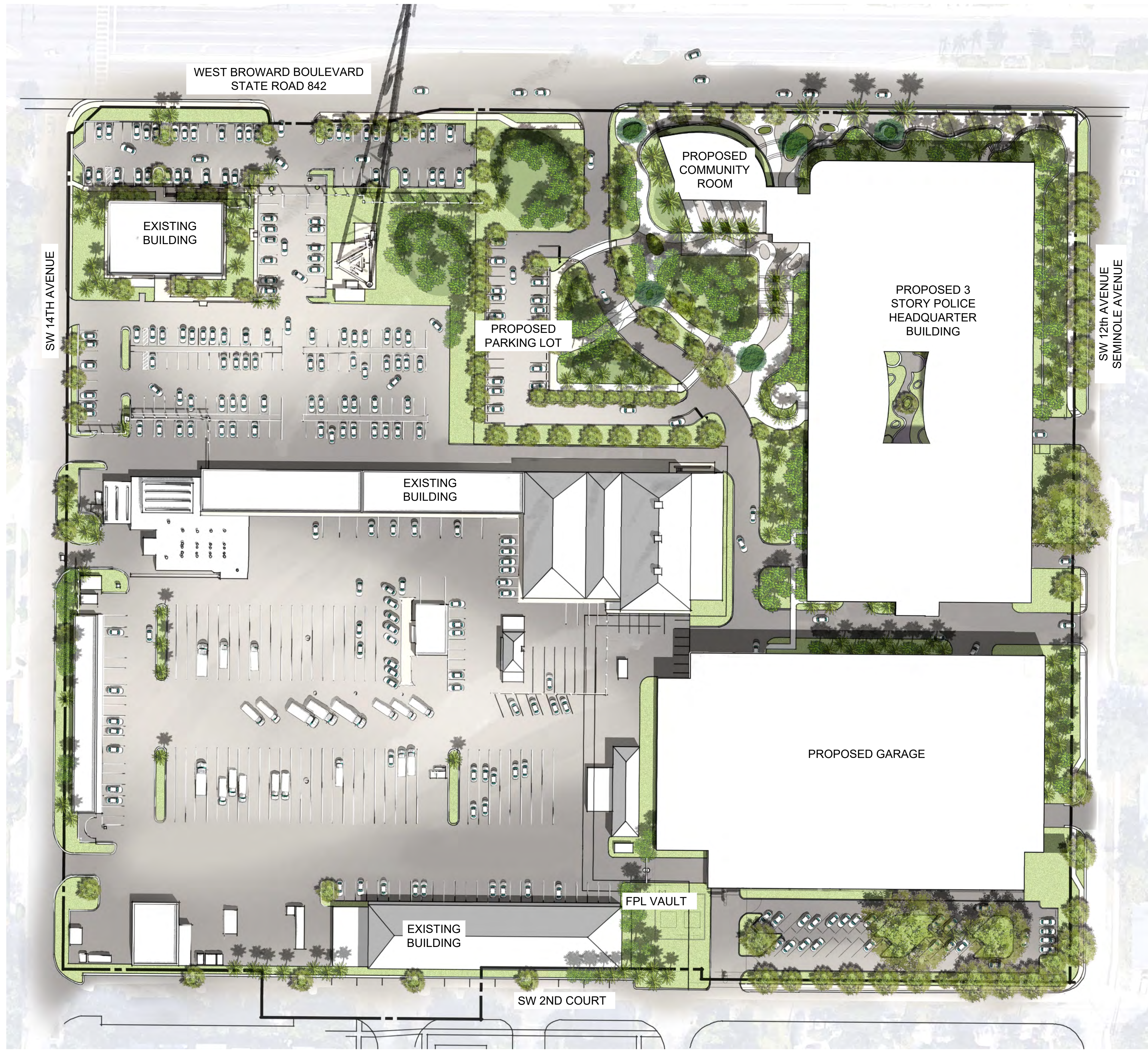
OVERALL REFERENCE PLAN

SHEET NUMBER LC-100

PROJECT NUMBER 11112.00

STATUS: 100% SUBMISSION





KEITH
 301 East Atlantic Blvd.
 Pompano Beach, FL 33060
 PH: (954) 788-3400
 Florida Engineering Business License: CA7928
 Florida Surveyor and Mapper Business License: LB68660
 Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
 DESIGNED BY: MH, LW, AS
 DRAWN BY: MH, AS
 CHECKED BY: KS, PW
 BID-CONTRACT:

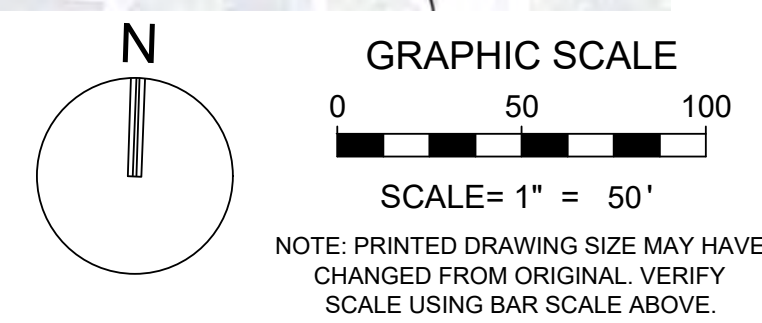
PAUL H. WEINBERG, R.L.A.
 FLORIDA REG. NO. LA6666804
 (FOR THE FIRM)

CLIENT
CITY OF FORT LAUDERDALE

PROJECT
**NEW POLICE HEADQUARTERS
 1300-1350 WEST BROWARD BLVD**

SHEET TITLE
ILLUSTRATIVE SITE PLAN

SHEET NUMBER **LC-101**
 PROJECT NUMBER **11112.00**



PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

STATUS: 100% SUBMISSION

REVISIONS		
NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
 DESIGNED BY: MH, LW, AS
 DRAWN BY: MH, AS
 CHECKED BY: KS, PW
 BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.
 FLORIDA REG. NO. LA6666804
 (FOR THE FIRM)

CLIENT

CITY OF FORT LAUDERDALE

PROJECT

**NEW POLICE HEADQUARTERS
 1300-1350 WEST BROWARD BLVD**

SHEET TITLE

PLANTING NOTES & SCHEDULE

SHEET NUMBER **LP-002**
 PROJECT NUMBER **11112.00**

STATUS: 100% SUBMISSION

CITY OF FORT LAUDERDALE - LANDSCAPE REQUIREMENTS
(UNIFIED LAND DEVELOPMENT REGULATIONS, CHAPTER 47, ARTICLE III, SECTION 47-31 LANDSCAPE AND TREE PRESERVATION REQUIREMENTS)

PROPOSED VEHICULAR USE AREAS (SEC. 47-21.9 LANDSCAPING REQUIREMENTS FOR VEHICULAR USE AREAS)

	REQUIRED	PROVIDED
TOTAL SITE AREA:	404,295 S.F. = 9.28 ACRES	
NET LOT AREA:	104,731 S.F. = 2.40 ACRES	
VUA AREA:	78,817 S.F. = 1.81 ACRES	

[AS DEFINED BY SEC. 47-58.2]

VUA LANDSCAPE REQUIRED (20% OF VUA)

	REQUIRED	PROVIDED
PERIMETER LANDSCAPE AREA	15,763 S.F.	23,774 S.F.
ABUTTING A STREET	1,784 L.F.	18,682 S.F.
NOT ABUTTING A STREET	1,268 L.F.	3,500 S.F.
INTERIOR LANDSCAPE AREA (30 S.F./PKNG SPACE)	63 SPACES	1,890 S.F.
1 TREE REQUIRED PER 1,000 S.F. VUA AREA	79 TREES	79 TREES

BREAKDOWN:

Category	Required	Provided
3" CALIPER SHADE TREES (25%)	20 TREES	21 TREES
2" -3" CALIPER SHADE TREES (25%)	16 TREES	21 TREES
FLOWERING TREE SPECIES (20%)	20 TREES	16 TREES
PALM TREES (20%)	16 TREES	16 TREES
OTHER TREES (FPL SMALL TREES) (10%)	8 TREES	15 TREES
6 SHRUBS PER 1,000 S.F. VUA AREA	473 SHRUBS	>1000 SHRUBS

SITE LANDSCAPE REQUIREMENTS (SEC. 47-21.10 LANDSCAPE REQUIREMENTS FOR ALL ZONED DISTRICTS)

LOT ZONING DESIGNATION: **CF**

NET LOT AREA: 104,731 S.F.

REQUIRED LANDSCAPE:

1 TREE/1000 S.F. OF NET LOT AREA (IN ADDITION TO VUA LANDSCAPE)
 SHADE SPECIES (20% MIN.)

	REQUIRED	PROVIDED
1 TREE/1000 S.F. OF NET LOT AREA (IN ADDITION TO VUA LANDSCAPE)	105 TREES	226 TREES
SHADE SPECIES (20% MIN.)	21 SHADE TREES	38 SHADE TREES

PROVIDED BREAKDOWN:

Category	Required	Provided
EXISTING SHADE TREES	8 TREES	
EXISTING PALM TREES	6 TREES	
PROPOSED SHADE TREES	30 TREES	
PROPOSED PALM TREES	182 TREES	
12 SHRUBS/1000 S.F. OF NET LOT AREA (IN ADDITION TO VUA LANDSCAPE)	1257 SHRUBS	2348 SHRUBS

STREET TREES:

1 TREE/30 LF OF STREET FRONTAGE

	REQUIRED	PROVIDED
1 TREE/30 LF OF STREET FRONTAGE	45 TREES	46 TREES

PROVIDED BREAKDOWN:

Category	Required	Provided
EXISTING TREES	21 TREES	
PROPOSED SHADE TREES	25 TREES	
SHADE SPECIES (50% MIN.)	22 SHADE TREES	46 SHADE TREES

TURF GRASS:
 LESS THAN 50% LANDSCAPE TO BE SOD

	ALLOWED	PROVIDED
TURF GRASS	50%	<50%

PLANTING ABBREVIATIONS

B&B	BALLED AND BURLAPPED
CAL.	CALIPER
CT	CLEAR TRUNK
CRZ	CRITICAL ROOT ZONE
FG	FIELD GROWN
GAL.	GALLON
GW	GREY WOOD
HT	HEIGHT
MIN.	MINIMUM
MULTI	MULTI-TRUNK
OA	OVERALL
O.C.	ON CENTER
QTY	QUANTITY
SPRD.	SPREAD
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE

PLANT SCHEDULE

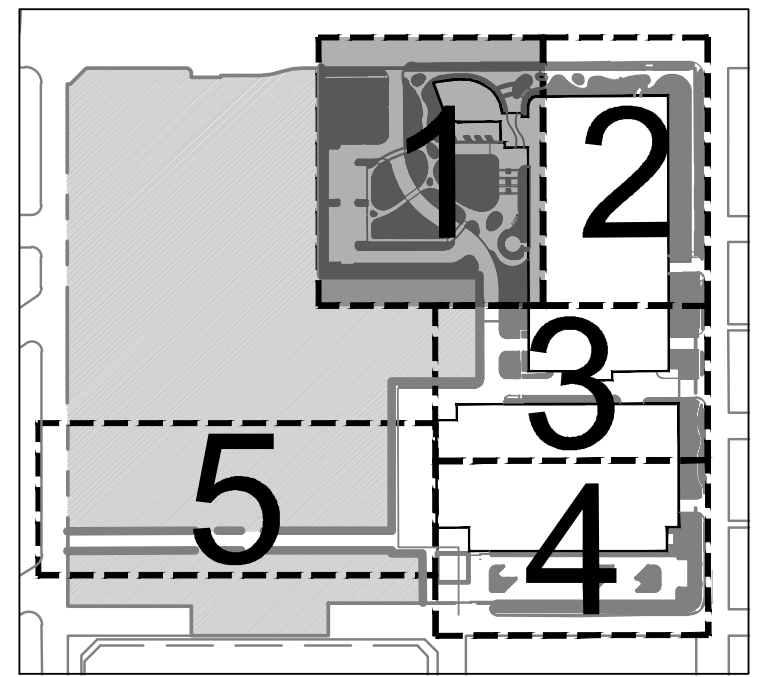
TREES	QTY	BOTANICAL / COMMON NAME	SIZE	NATIVE/DROUGHT	REMARKS
BS	11	BURSERA SIMARUBA GUMBO LIMBO	14' HT. X 6' SPRD., 4" CAL	N**	
BS-1	3	BURSERA SIMARUBA SPECIMEN GUMBO LIMBO	20' HT X 14' SPRD, 8" CAL	N**	SPECIMEN TREE
CP	1	CEIBA PENTANDRA KAPOK TREE	25' HT. X 20' SPRD., 10" CAL	**	COLLECTED SPECIMEN
CS	1	CEIBA SPECIOSA FLOSS SILK TREE	20' HT X 15' SPRD., 8" CAL	**	COLLECTED SPECIMEN
CES	15	CONOCARPUS ERECTUS 'SERICEUS' SILVER BUTTWOOD	14' HT. X 6' SPRD, 3" DBH, FULL CANOPY	N**	MULTI-TRUNK
LI	4	LAGERSTROEMIA INDICA CRAPE MYRTLE	10' HT X 5' SPRD, 1.5" DBH, FULL CANOPY	**	MULTI-TRUNK
MF	10	MYRCIANTHES FRAGRANS SIMPSON'S STOPPER	10' HT. X 5' SPRD., 2" CAL.	N**	MULTI-TRUNK
QV	46	QUERCUS VIRGINIANA SOUTHERN LIVE OAK	15' HT X 6' SPRD, 4" CAL. MIN.	N**	
QV-1	1	QUERCUS VIRGINIANA SPECIMEN SOUTHERN LIVE OAK	25' HT X 15' SPR, 8" CAL	N**	SPECIMEN TREE
SM	13	SWIETENIA MAHAGONI MAHOGANY	12' HT X 6' SPRD., 2" CAL.	N**	
TC	2	TABEBUIA CARAIBA YELLOW TABEBUIA	12' HT. X 6' SPRD., 2" CAL	**	
TI	3	TABEBUIA IMPETIGINOSA PURPLE TRUMPET TREE	12' HT X 6' SPRD, 2" DBH, FULL CANOPY	**	
TD	24	TAXODIUM DISTICHUM BALD CYPRESS	16' HT X 8' SPRD, 4" DBH, FULL CANOPY	N**	

PALMS	QTY	BOTANICAL / COMMON NAME	SIZE	NATIVE/DROUGHT	REMARKS
PR	1	PHOENIX RECLINATA SENEGAL DATE PALM	12'-16' CT, 20' OA MIN	**	5-7 STEMS
PS	10	PHOENIX SYLVESTRIS WILD DATE PALM	14' CT., 22' OA., 12" CAL MIN.	**	HEAVY, MATCHED
RE	8	ROYSTONIA ELATA FLORIDA ROYAL PALM	20' CT, 30' OA		
SP2	23	SABAL PALMETTO CABBAGE PALMETTO	14', 18', 22' CT, CURVED TRUNKS, STAGGERED PER PLAN	N**	BOOTED
SP	96	SABAL PALMETTO CABBAGE PALMETTO	14', 20', 26' CT	N**	CURVED, SLICK
TR	23	THRINAX RADIATA FLORIDA THATCH PALM	4-6' CT, 10-12' OA.	N**	HEAVY
VM3	41	VEITCHIA MONTGOMERYANA MONTGOMERY PALM	14' CT., 22' OA.	**	HEAVY, TRIPLE

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	NATIVE/DROUGHT	REMARKS
AE	18	ACCENT SHRUBS BROMELIADS, ALOCASIAS	3 GAL. CONT	**	
CON	286	CONOCARPUS ERECTUS GREEN BUTTWOOD HEDGE	24" HT. X 24" SPRD.	N**	2' OC

VINE	QTY	BOTANICAL / COMMON NAME	SIZE	NATIVE/DROUGHT	REMARKS
PAS	16	PASSIFLORA INCARNATA PASSION FLOWER VINE	6-8' HT	N**	FULL VINE ON TRELIS, ATTACH TO WIRE
TRJ	28	TRACHELOSPERMUM JASMINOIDES CONFEDERATE JASMINE	8-10' HT	*	FULL VINE ON TRELIS, ATTACH TO WIRE

SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	SIZE	NATIVE/DROUGHT	SPACING
ARG	394	ARACHIS GLABRATA PERENNIAL PEANUT	4" HT. X 12" SPRD.	*	12" OC
CHH	1,387	CHRYSOBALANUS ICACO 'HORIZONTALIS' HORIZONTAL COCOPLUM	18" HT. X 24" SPRD.	N**	24" OC
CHR	20	CHRYSOBALANUS ICACO 'RED TIP' RED TIP COCOPLUM	24" HT. X 24" SPRD.	N**	24" OC
CRJ	4,292	CRINUM JAGUS ST. CHRISTOPHER LILY	24" HT X 24" SPRD		36" OC
MUH	353	MUHLENBERGIA CAPILLARIS PINK MUHLY GRASS	24" HT. X 24" SPRD.	N**	30" OC
NEB	137	NEPHROLEPIS BISERRATA 'MACHO FERN' MACHO FERN	24" HT. X 24" SPRD.	N**	36" OC
NEP	819	NEPHROLEPIS EXALTATA BOSTON FERN	12" HT X 14" SPRD., CERTIFIED NATIVE ONLY	N**	24" OC
NER	1,605	NERIUM OLEANDER 'PETITE PINK' OLEANDER	18" HT. X 18" SPRD.	**	24" OC
PEN	552	PENNISETUM SETACEUM WHITE FOUNTAIN GRASS	24" HT. X 24" SPRD.	*	24" OC
POC	342	PONTEDERIA CORDATA PICKEREL WEED	12" HT., 4" POT	N	24" OC
SAL	137	SAGITTARIA LATIFOLIA LANCE-LEAFED ARROWHEAD	12" HT., 4" POT	N	24" OC
TRD	794	TRIPSACUM DACTYLOIDES FAKAHATCHEE GRASS	24" HT. X 24" SPRD.	N**	36" OC

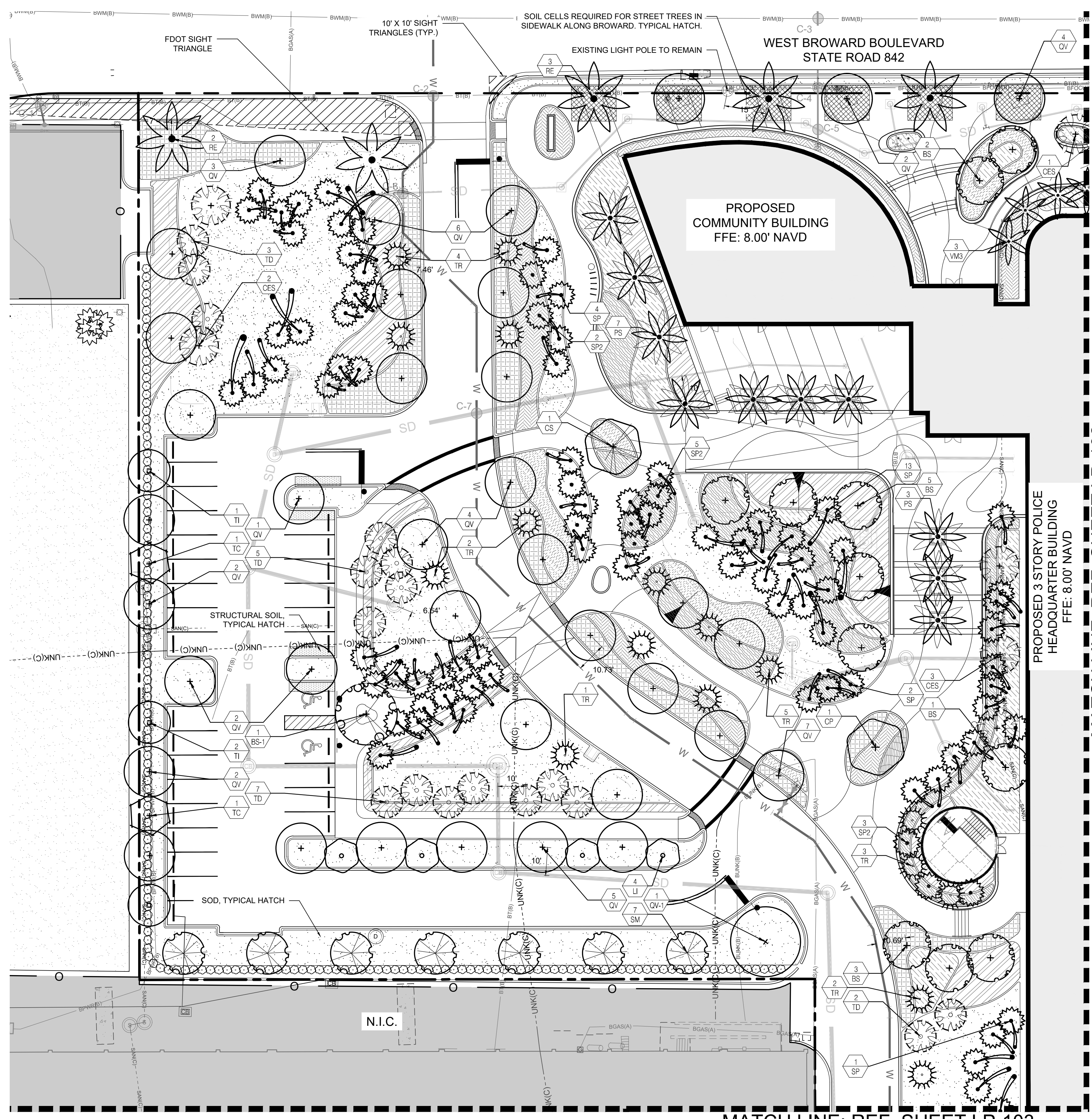


KEY MAP SCALE: N.T.S.

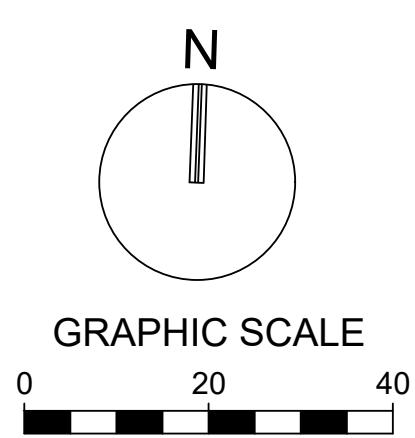
QUICK REFERENCE PLANT LIST. SEE SHEET LP-002 FOR COMPLETE PLANT LIST AND NOTES

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME
BS	11	BURSERA SIMARUBA GUMBO LIMBO
BS-1	3	BURSERA SIMARUBA SPECIMEN GUMBO LIMBO
CP	1	CEIBA PENTANDRA KAPOK TREE
CS	1	CEIBA SPECIOSA FLOSS SILK TREE
CES	15	CONOCARPUS ERECTUS 'SERICEUS' SILVER BUTTWOOD
LI	4	LAGERSTROEMIA INDICA CRAPE MYRTLE
MF	10	MYRCIANTHES FRAGRANS SIMPSON'S STOPPER
QV	46	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
QV-1	1	QUERCUS VIRGINIANA SPECIMEN SOUTHERN LIVE OAK
SM	13	SWIETENIA MAHAGONI MAHOGANY
TC	2	TABEBUIA CARAIBA YELLOW TABEBUIA
TI	3	TABEBUIA IMPETIGINOSA PURPLE TRUMPET TREE
TD	24	TAXODIUM DISTICHUM BALD CYPRESS
PALMS	QTY	BOTANICAL / COMMON NAME
PR	1	PHOENIX RECLINATA SENEGAL DATE PALM
PS	10	PHOENIX SYLVESTRIS WILD DATE PALM
RE	8	ROYSTONEA ELATA FLORIDA ROYAL PALM
SP2	23	SABAL PALMETTO CABBAGE PALMETTO
SP	98	SABAL PALMETTO CABBAGE PALMETTO
TR	23	THRINAX RADIATA FLORIDA THATCH PALM
VM3	41	VEITCHIA MONTGOMERYANA MONTGOMERY PALM



- NOTES:
- SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
 - ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
 - ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
 - BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
 - PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
 - ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
 - NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.
 - ALL CATEGORY 1 EXOTIC/INVASIVE TREES TO BE REMOVED PER LOCAL ORDINANCE.



NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

KEITH
 301 East Atlantic Blvd.
 Pompano Beach, FL 33060
 PH: (954) 788-3400

Florida Engineering Business License: CA7928
 Florida Surveyor and Mapper Business License: LB6860
 Florida Landscape Architecture Business License: LC26000457

REVISIONS

NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
 DESIGNED BY: MH, LW, AS
 DRAWN BY: MH, AS
 CHECKED BY: KS, PW
 BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.
 FLORIDA REG. NO. LA6666804
 (FOR THE FIRM)

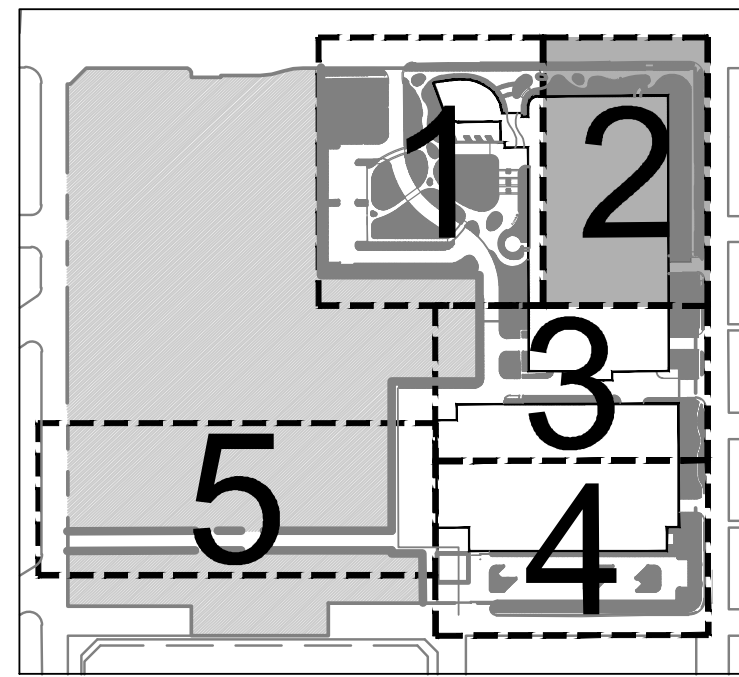
CLIENT
CITY OF FORT LAUDERDALE

PROJECT
**NEW POLICE HEADQUARTERS
 1300-1350 WEST BROWARD BLVD**

SHEET TITLE
CANOPY PLANTING PLAN

SHEET NUMBER **LP-101**
 PROJECT NUMBER **11112.00**

STATUS: 100% SUBMISSION



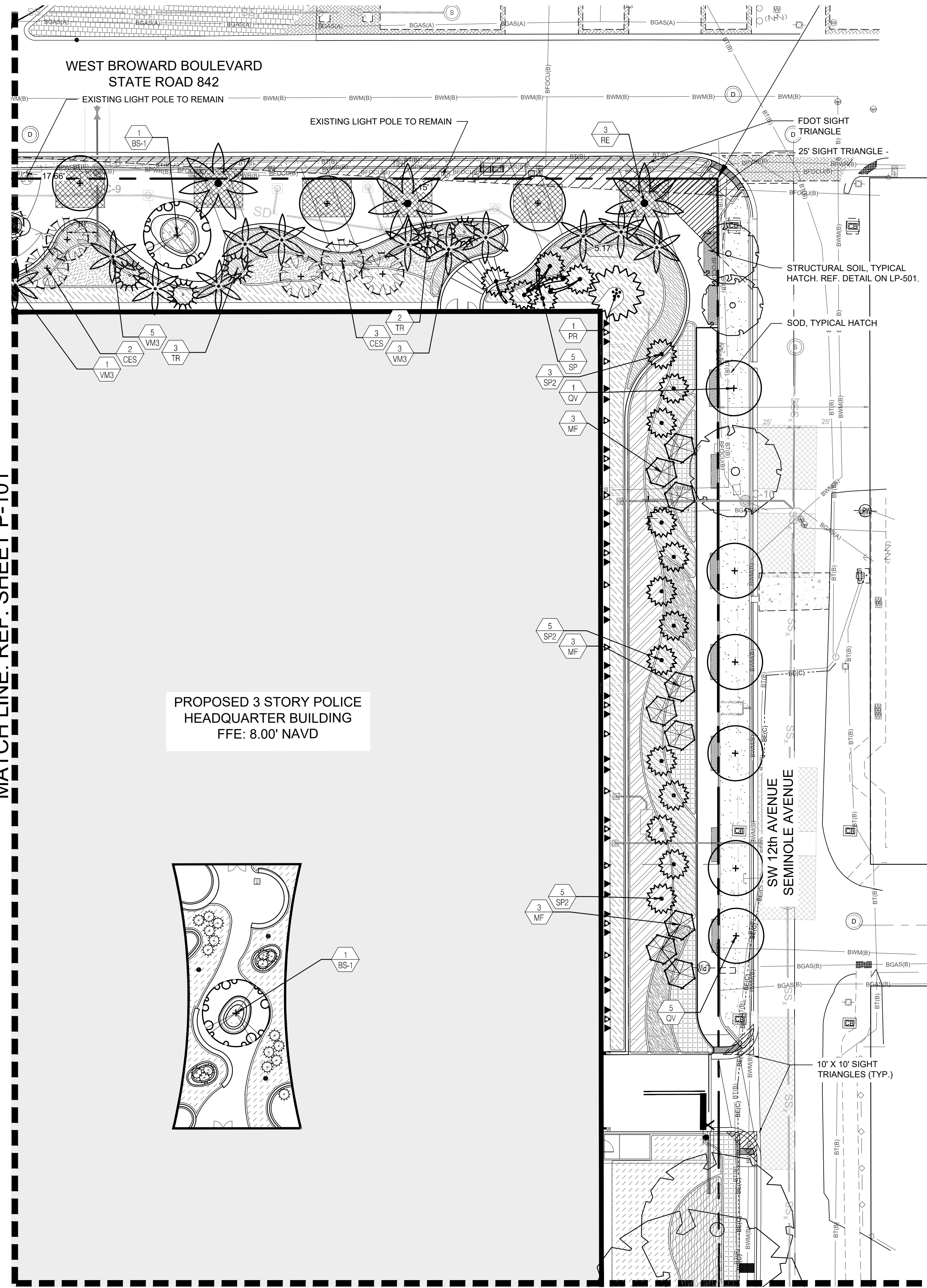
KEY MAP SCALE: N.T.S.

QUICK REFERENCE PLANT LIST. SEE SHEET LP-002 FOR COMPLETE PLANT LIST AND NOTES

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME
BS	11	BURSERA SIMARUBA GUMBO LIMBO
BS-1	3	BURSERA SIMARUBA SPECIMEN GUMBO LIMBO
CP	1	CEIBA PENTANDRA KAPOK TREE
CS	1	CEIBA SPECIOSA FLOSS SILK TREE
CES	15	CONOCARPUS ERECTUS 'SERICEUS' SILVER BUTTOWOOD
LI	4	LAGERSTROEMIA INDICA CRAPE MYRTLE
MF	10	MYRCIANTHES FRAGRANS SIMPSON'S STOPPER
QV	46	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
QV-1	1	QUERCUS VIRGINIANA SPECIMEN SOUTHERN LIVE OAK
SM	13	SWIETENIA MAHAGONI MAHOGANY
TC	2	TABEBUIA CARAIBA YELLOW TABEBUIA
TI	3	TABEBUIA IMPETIGINOSA PURPLE TRUMPET TREE
TD	24	TAXODIUM DISTICHUM BALD CYPRESS

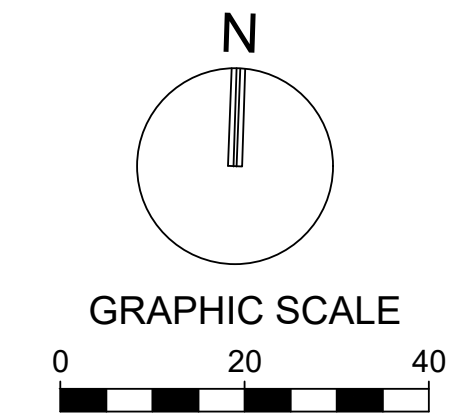
PALMS	QTY	BOTANICAL / COMMON NAME
PR	1	PHOENIX RECLINATA SENEGAL DATE PALM
PS	10	PHOENIX SYLVESTRIS WILD DATE PALM
RE	8	ROYSTONEA ELATA FLORIDA ROYAL PALM
SP2	23	SABAL PALMETTO CABBAGE PALMETTO
SP	98	SABAL PALMETTO CABBAGE PALMETTO
TR	23	THRINAX RADIATA FLORIDA THATCH PALM
VM3	41	VEITCHIA MONTGOMERYANA MONTGOMERY PALM



MATCH LINE: REF. SHEET P-101

MATCH LINE: REF. SHEET LP-103

- NOTES:**
- SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
 - ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
 - ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
 - BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
 - PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
 - ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
 - NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.
 - ALL CATEGORY 1 EXOTIC/INVASIVE TREES TO BE REMOVED PER LOCAL ORDINANCE.



SCALE= 1" = 20'
NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

KEITH
301 East Atlantic Blvd.
Pompano Beach, FL 33060
PH: (954) 788-3400

Florida Engineering Business License: CA7928
Florida Surveyor and Mapper Business License: LB6860
Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
DESIGNED BY: MH, LW, AS
DRAWN BY: MH, AS
CHECKED BY: KS, PW
BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.
FLORIDA REG. NO. LA6666804
(FOR THE FIRM)

CLIENT
CITY OF FORT LAUDERDALE

PROJECT
**NEW POLICE HEADQUARTERS
1300-1350 WEST BROWARD BLVD**

SHEET TITLE
CANOPY PLANTING PLAN

SHEET NUMBER **LP-102**
PROJECT NUMBER **11112.00**

STATUS: 100% SUBMISSION

REVISIONS

NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
 DESIGNED BY: MH, LW, AS
 DRAWN BY: MH, AS
 CHECKED BY: KS, PW
 BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.
 FLORIDA REG. NO. LA6666804
 (FOR THE FIRM)

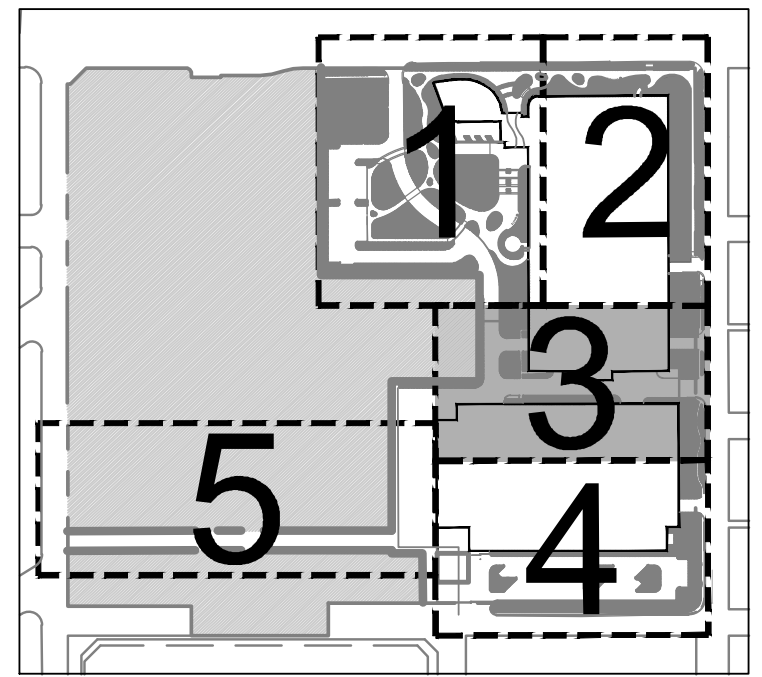
CLIENT
CITY OF FORT LAUDERDALE

PROJECT
**NEW POLICE HEADQUARTERS
 1300-1350 WEST BROWARD BLVD**

SHEET TITLE
CANOPY PLANTING PLAN

SHEET NUMBER **LP-103**
 PROJECT NUMBER **11112.00**

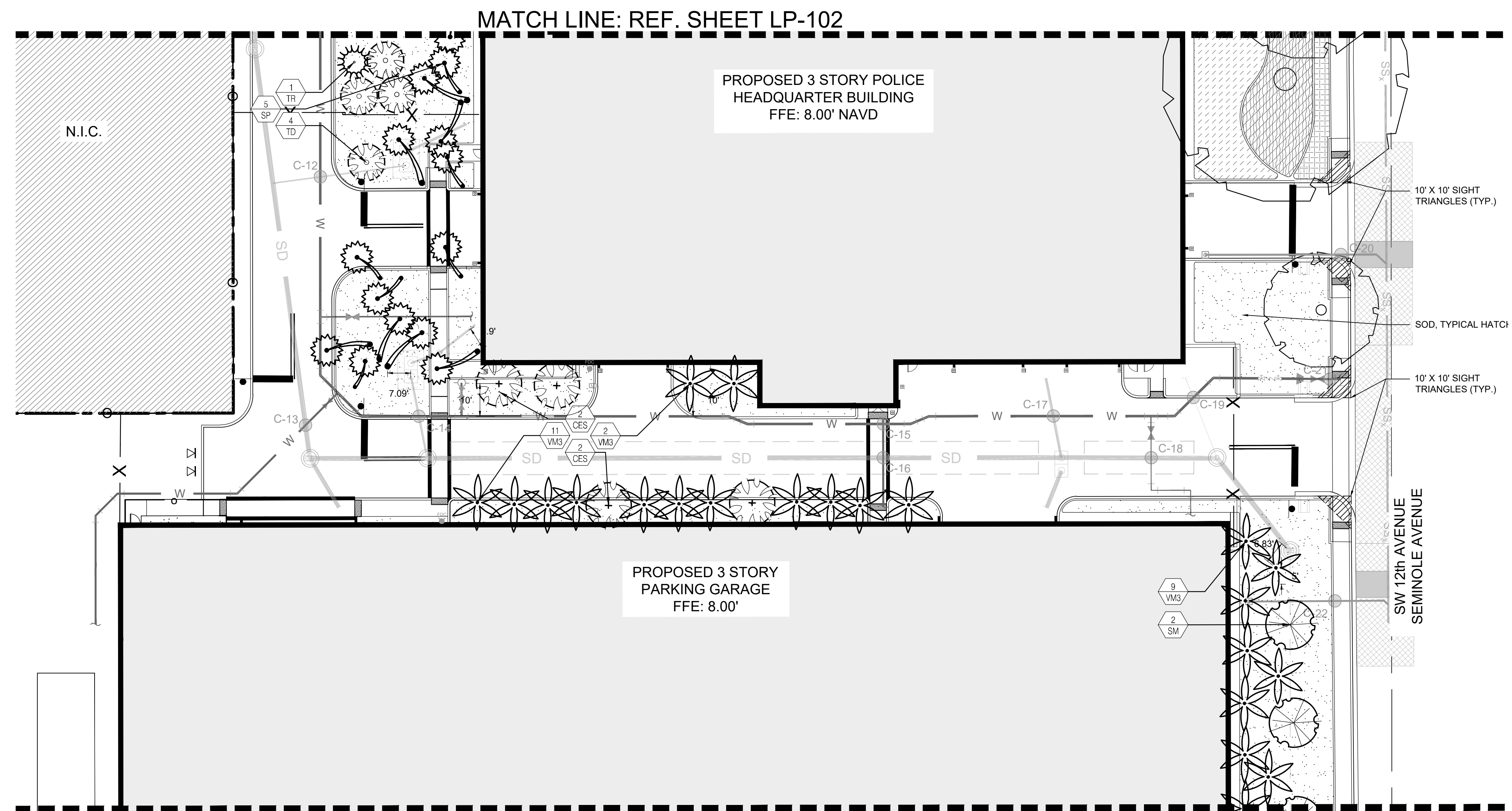
STATUS: 100% SUBMISSION



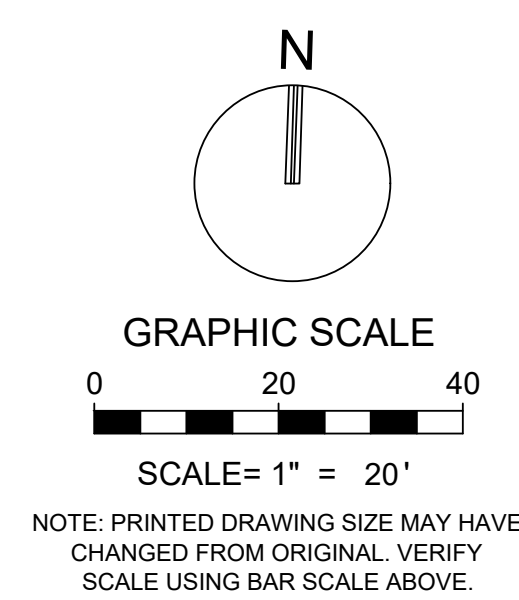
KEY MAP SCALE: N.T.S.

QUICK REFERENCE PLANT LIST, SEE SHEET LP-002 FOR COMPLETE PLANT LIST AND NOTES

PLANT SCHEDULE		
TREES	QTY	BOTANICAL / COMMON NAME
BS	11	BURSERA SIMARUBA GUMBO LIMBO
BS-1	3	BURSERA SIMARUBA SPECIMEN GUMBO LIMBO
CP	1	CEIBA PENTANDRA KAPOK TREE
CS	1	CEIBA SPECIOSA FLOSS SILK TREE
CES	15	CONOCARPUS ERECTUS 'SERICEUS' SILVER BUTTONWOOD
LI	4	LAGERSTROEMIA INDICA CRAPE MYRTLE
MF	10	MYRCIANTHES FRAGRANS SIMPSON'S STOPPER
QV	46	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
QV-1	1	QUERCUS VIRGINIANA SPECIMEN SOUTHERN LIVE OAK
SM	13	SWIETENIA MAHAGONI MAHOGANY
TC	2	TABEBUIA CARAIBA YELLOW TABEBUIA
TI	3	TABEBUIA IMPETIGINOSA PURPLE TRUMPET TREE
TD	24	TAXODIUM DISTICHUM BALD CYPRESS
PALMS	QTY	BOTANICAL / COMMON NAME
PR	1	PHOENIX RECLINATA SENEGAL DATE PALM
PS	10	PHOENIX SYLVESTRIS WILD DATE PALM
RE	8	ROYSTONEA ELATA FLORIDA ROYAL PALM
SP2	23	SABAL PALMETTO CABBAGE PALMETTO
SP	98	SABAL PALMETTO CABBAGE PALMETTO
TR	23	THRINAX RADIATA FLORIDA THATCH PALM
VM3	41	VEITCHIA MONTGOMERYANA MONTGOMERY PALM



- NOTES:
- SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
 - ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
 - ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
 - BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
 - PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
 - ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
 - NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.
 - ALL CATEGORY 1 EXOTIC/INVASIVE TREES TO BE REMOVED PER LOCAL ORDINANCE.



REVISIONS		
NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
 DESIGNED BY: MH, LW, AS
 DRAWN BY: MH, AS
 CHECKED BY: KS, PW
 BID-CONTRACT:

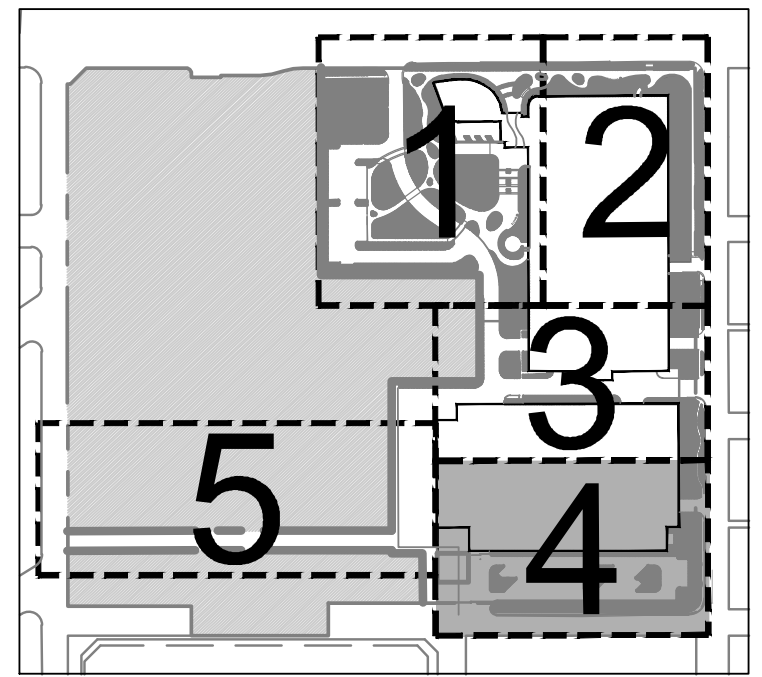
PAUL H. WEINBERG, R.L.A.
 FLORIDA REG. NO. LA6666804
 (FOR THE FIRM)

CLIENT
CITY OF FORT LAUDERDALE

PROJECT
**NEW POLICE HEADQUARTERS
 1300-1350 WEST BROWARD BLVD**

SHEET TITLE
CANOPY PLANTING PLAN

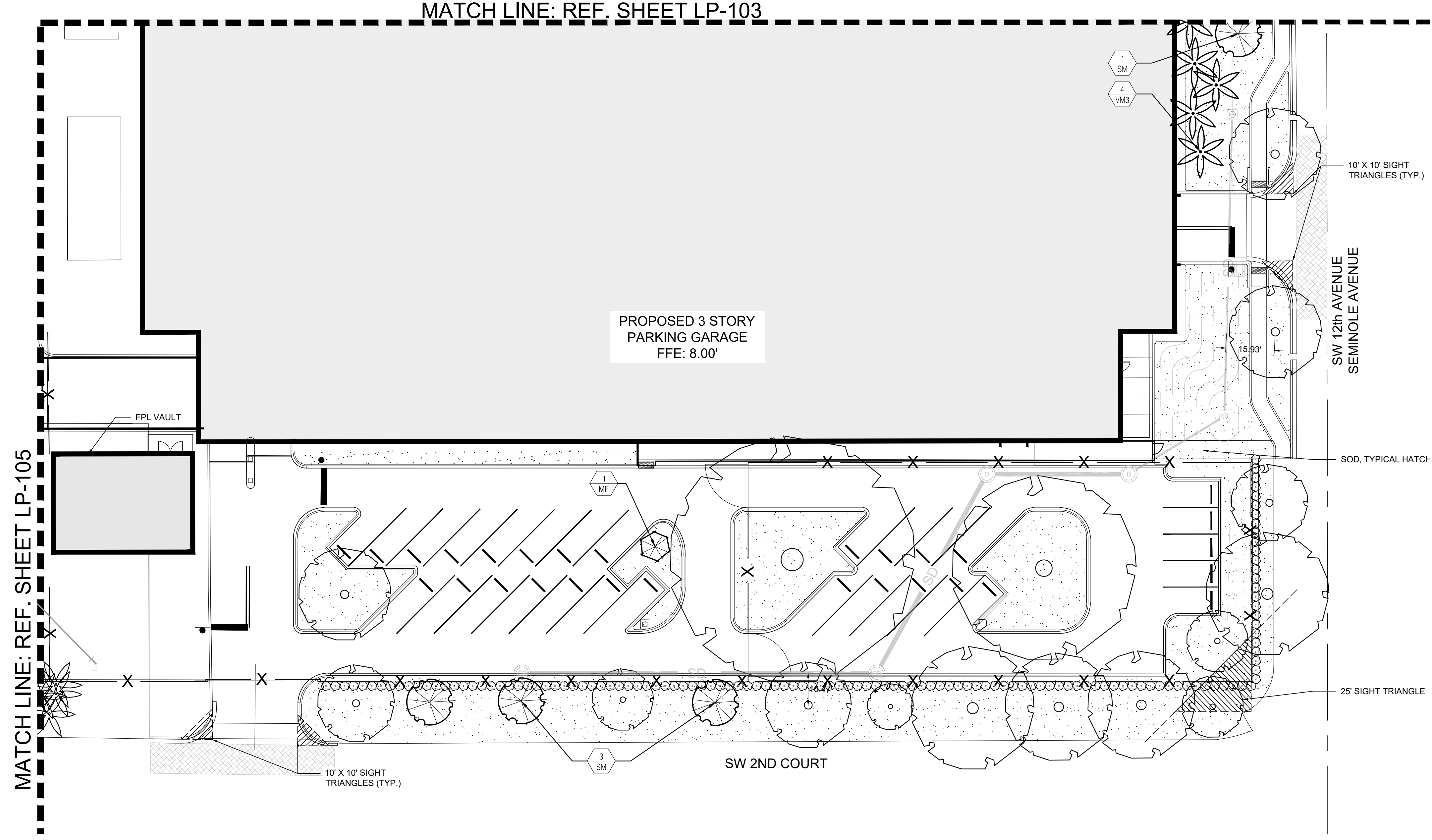
SHEET NUMBER **LP-104**
 PROJECT NUMBER **11112.00**



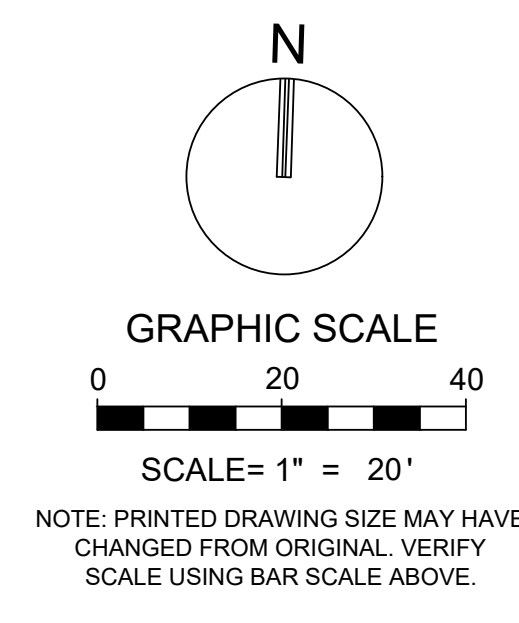
KEY MAP SCALE: N.T.S.

QUICK REFERENCE PLANT LIST, SEE SHEET LP-002 FOR COMPLETE PLANT LIST AND NOTES

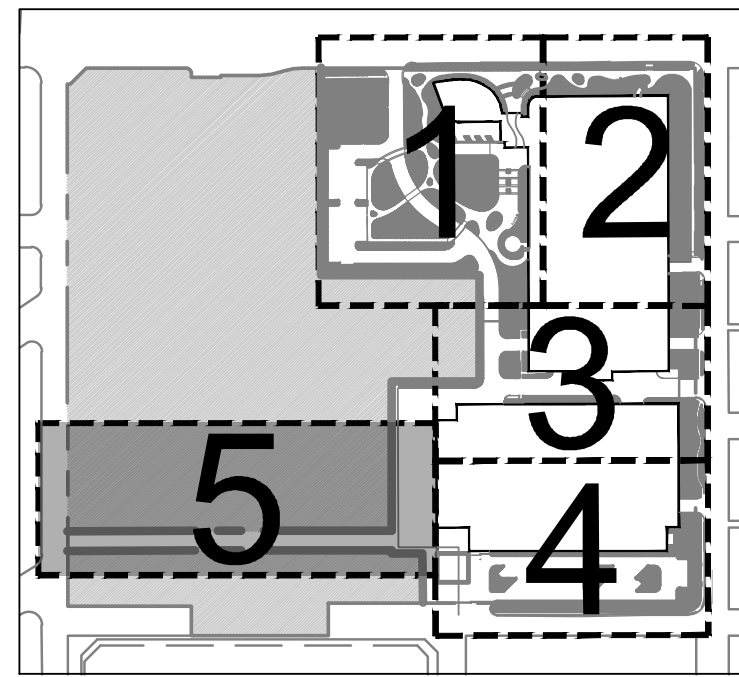
PLANT SCHEDULE		
TREES	QTY	BOTANICAL / COMMON NAME
BS	11	BURSERA SIMARUBA GUMBO LIMBO
BS-1	3	BURSERA SIMARUBA SPECIMEN GUMBO LIMBO
CP	1	CEIBA PENTANDRA KAPOK TREE
CS	1	CEIBA SPECIOSA FLOSS SILK TREE
CES	15	CONOCARPUS ERECTUS 'SERICEUS' SILVER BUTTONWOOD
LI	4	LAGERSTROEMIA INDICA CRAPE MYRTLE
MF	10	MYRCIANTHES FRAGRANS SIMPSON'S STOPPER
QV	46	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
QV-1	1	QUERCUS VIRGINIANA SPECIMEN SOUTHERN LIVE OAK
SM	13	SWIETENIA MAHAGONI MAHOGANY
TC	2	TABEBUIA CARAIBA YELLOW TABEBUIA
TI	3	TABEBUIA IMPETIGINOSA PURPLE TRUMPET TREE
TD	24	TAXODIUM DISTICHUM BALD CYPRESS
PALMS	QTY	BOTANICAL / COMMON NAME
PR	1	PHOENIX RECLINATA SENEGAL DATE PALM
PS	10	PHOENIX SYLVESTRIS WILD DATE PALM
RE	8	ROYSTONEA ELATA FLORIDA ROYAL PALM
SP2	23	SABAL PALMETTO CABBAGE PALMETTO
SP	98	SABAL PALMETTO CABBAGE PALMETTO
TR	23	THRINAX RADIATA FLORIDA THATCH PALM
VM3	41	VEITCHIA MONTGOMERYANA MONTGOMERY PALM



- NOTES:
- SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
 - ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
 - ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
 - BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
 - PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
 - ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
 - NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.
 - ALL CATEGORY 1 EXOTIC/NATIVE TREES TO BE REMOVED PER LOCAL ORDINANCE.



STATUS: 100% SUBMISSION



KEY MAP SCALE: N.T.S.

KEITH
 301 East Atlantic Blvd.
 Pompano Beach, FL 33060
 PH: (954) 788-3400

Florida Engineering Business License: CA7928
 Florida Surveyor and Mapper Business License: LB6860
 Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
 DESIGNED BY: MH, LW, AS
 DRAWN BY: MH, AS
 CHECKED BY: KS, PW
 BID-CONTRACT:

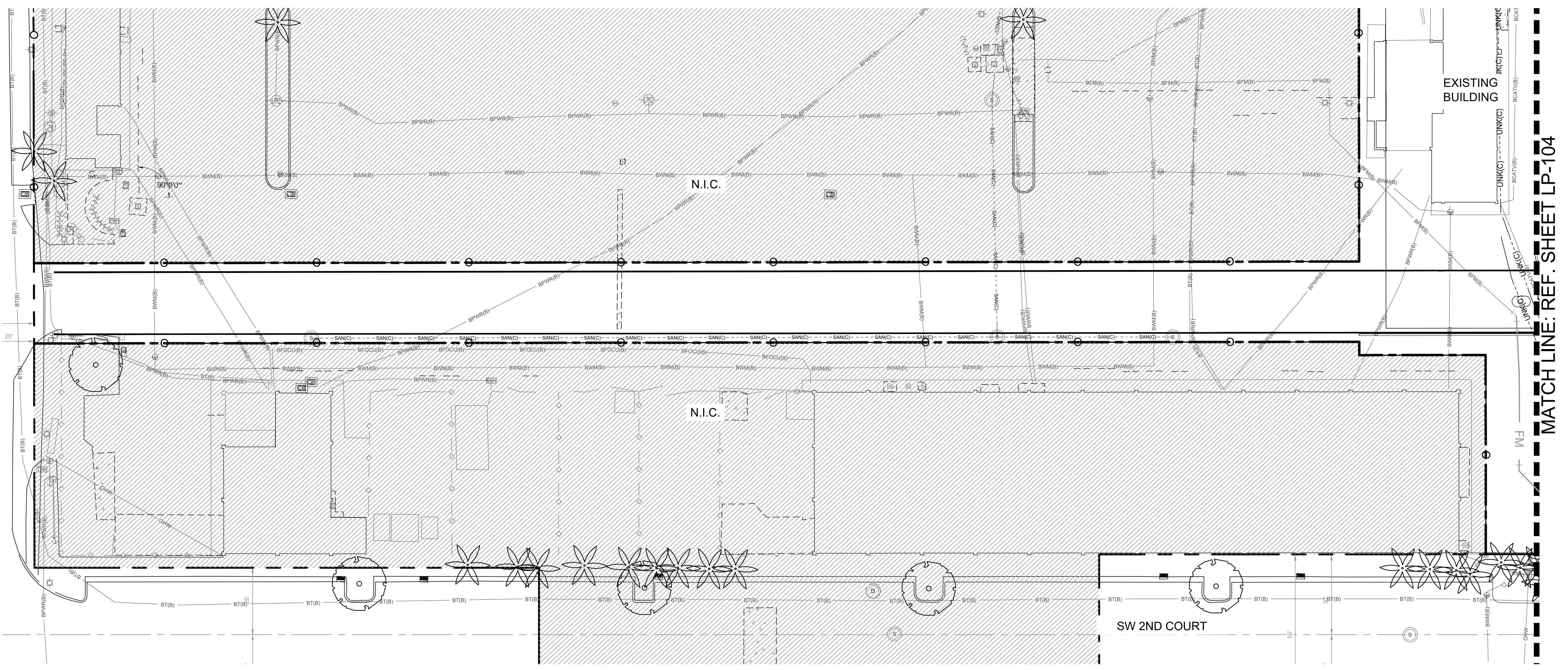
PAUL H. WEINBERG, R.L.A.
 FLORIDA REG. NO. LA6666804
 (FOR THE FIRM)

CLIENT
CITY OF FORT LAUDERDALE

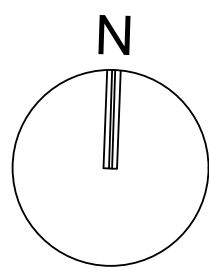
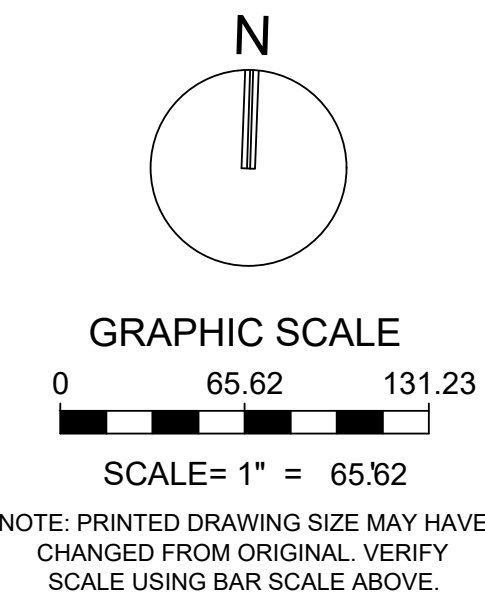
PROJECT
**NEW POLICE HEADQUARTERS
 1300-1350 WEST BROWARD BLVD**

SHEET TITLE
CANOPY PLANTING PLAN

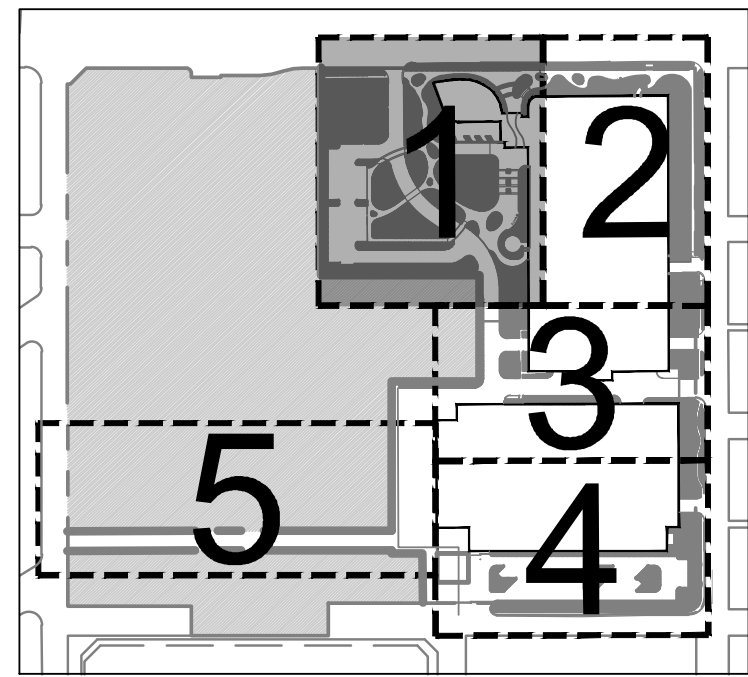
SHEET NUMBER **LP-105**
 PROJECT NUMBER **11112.00**



NOTE:
 NO PROPOSED PLANTING ON THIS SHEET



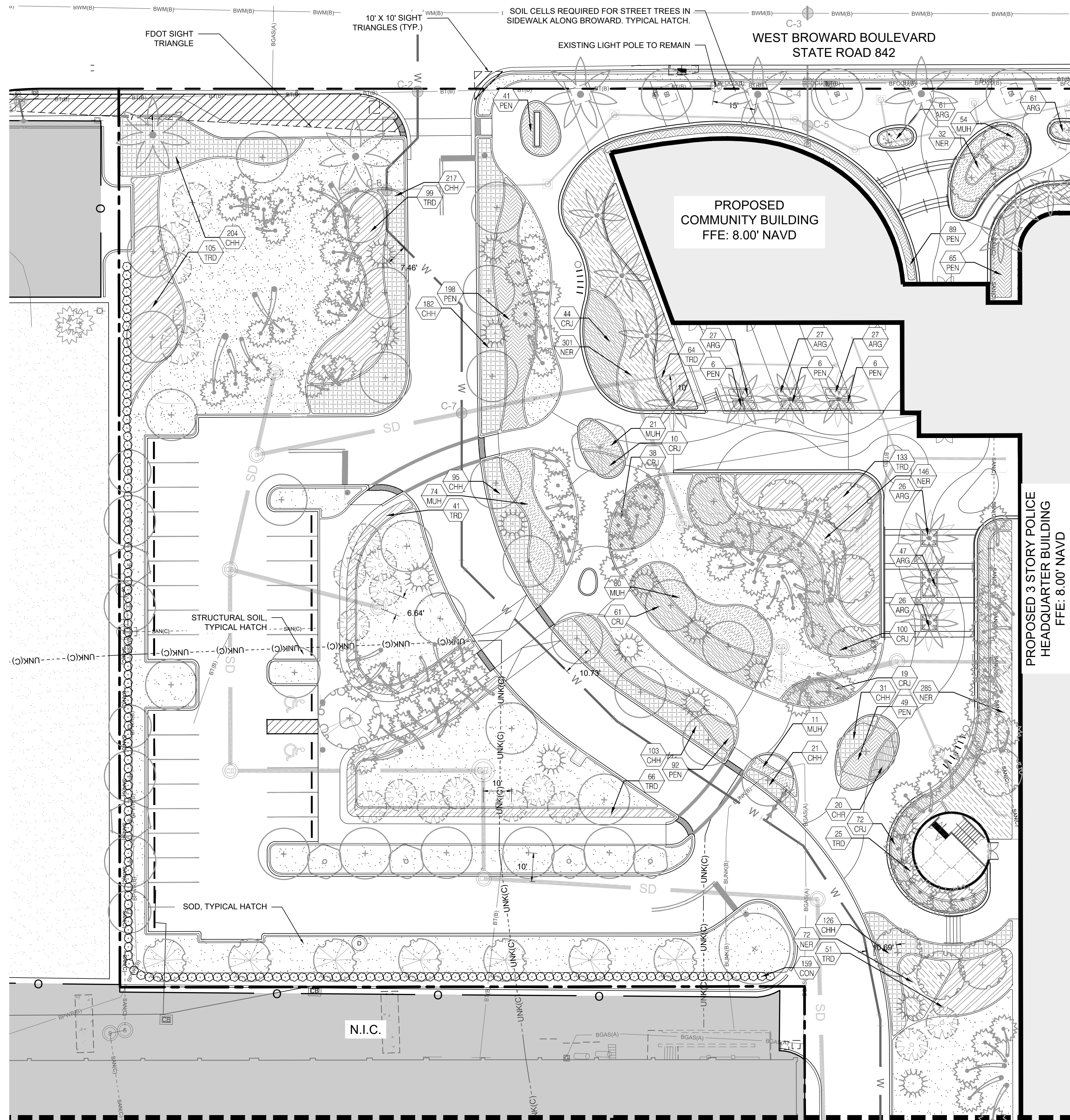
STATUS: 100% SUBMISSION



KEY MAP SCALE: N.T.S.

QUICK REFERENCE PLANT LIST. SEE SHEET LP-002 FOR COMPLETE PLANT LIST AND NOTES

SHRUBS	QTY	BOTANICAL / COMMON NAME
AE	18	ACCENT SHRUBS BROMELIADS, ALOCASIAS
CON	286	CONOCARPUS ERECTUS GREEN BUTTWOOD HEDGE
VINE	QTY	BOTANICAL / COMMON NAME
PAS	16	PASSIFLORA INCARNATA PASSION FLOWER VINE
TRJ	28	TRACHELOSPERMUM JASMINOIDES 'CONFEDERATE' CONFEDERATE JASMINE
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME
ARG	394	ARACHIS GLABRATA PERENNIAL PEANUT
CHH	1,387	CHRYSOBALANUS ICACO 'HORIZONTALIS' HORIZONTAL COCOPLUM
CHR	20	CHRYSOBALANUS ICACO 'RED TIP' RED TIP COCOPLUM
CRJ	4,292	CRINUM JAGUS ST. CHRISTOPHER LILY
MUH	353	MUHLENBERGIA CAPILLARIS PINK MUHLI GRASS
NEB	137	NEPHROLEPIS BISERRATA 'MACHO FERN' MACHO FERN
NEP	819	NEPHROLEPIS EXALTATA BOSTON FERN
NER	1,605	NERIUM OLEANDER 'PETITE PINK' OLEANDER
PEN	552	PENNISETUM SETACEUM WHITE FOUNTAIN GRASS
POC	342	PONTERDERIA CORDATA PICKEREL WEED
SAL	137	SAGITTARIA LATIFOLIA LANCE-LEAFED ARROWHEAD
TRD	794	TRIPSACUM DACTYLOIDES FAKAHATCHEE GRASS

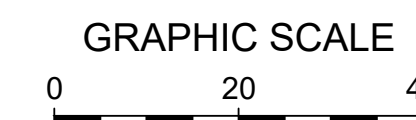
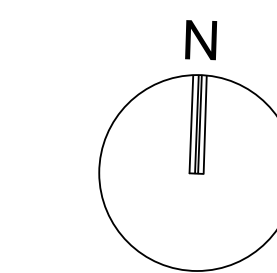


MATCH LINE: REF. SHEET LP-103

MATCH LINE: REF. SHEET LP-102

NOTES:

- SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
- ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
- ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
- PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
- ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
- NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.
- ALL CATEGORY 1 EXOTIC/INVASIVE TREES TO BE REMOVED PER LOCAL ORDINANCE.



SCALE= 1" = 20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

KEITH
 301 East Atlantic Blvd.
 Pompano Beach, FL 33060
 PH: (954) 788-3400

Florida Engineering Business License: CA7928
 Florida Surveyor and Mapper Business License: LB6860
 Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
 DESIGNED BY: MH, LW, AS
 DRAWN BY: MH, AS
 CHECKED BY: KS, PW
 BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.
 FLORIDA REG. NO. LA6666804
 (FOR THE FIRM)

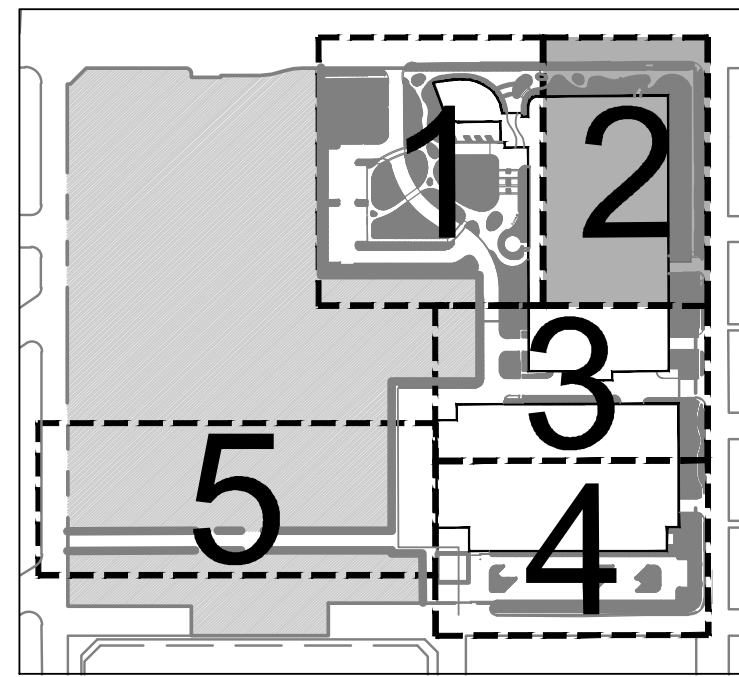
CLIENT
CITY OF FORT LAUDERDALE

PROJECT
**NEW POLICE HEADQUARTERS
 1300-1350 WEST BROWARD BLVD**

SHEET TITLE
UNDERSTORY PLANTING PLAN

SHEET NUMBER **LP-201**
 PROJECT NUMBER **11112.00**

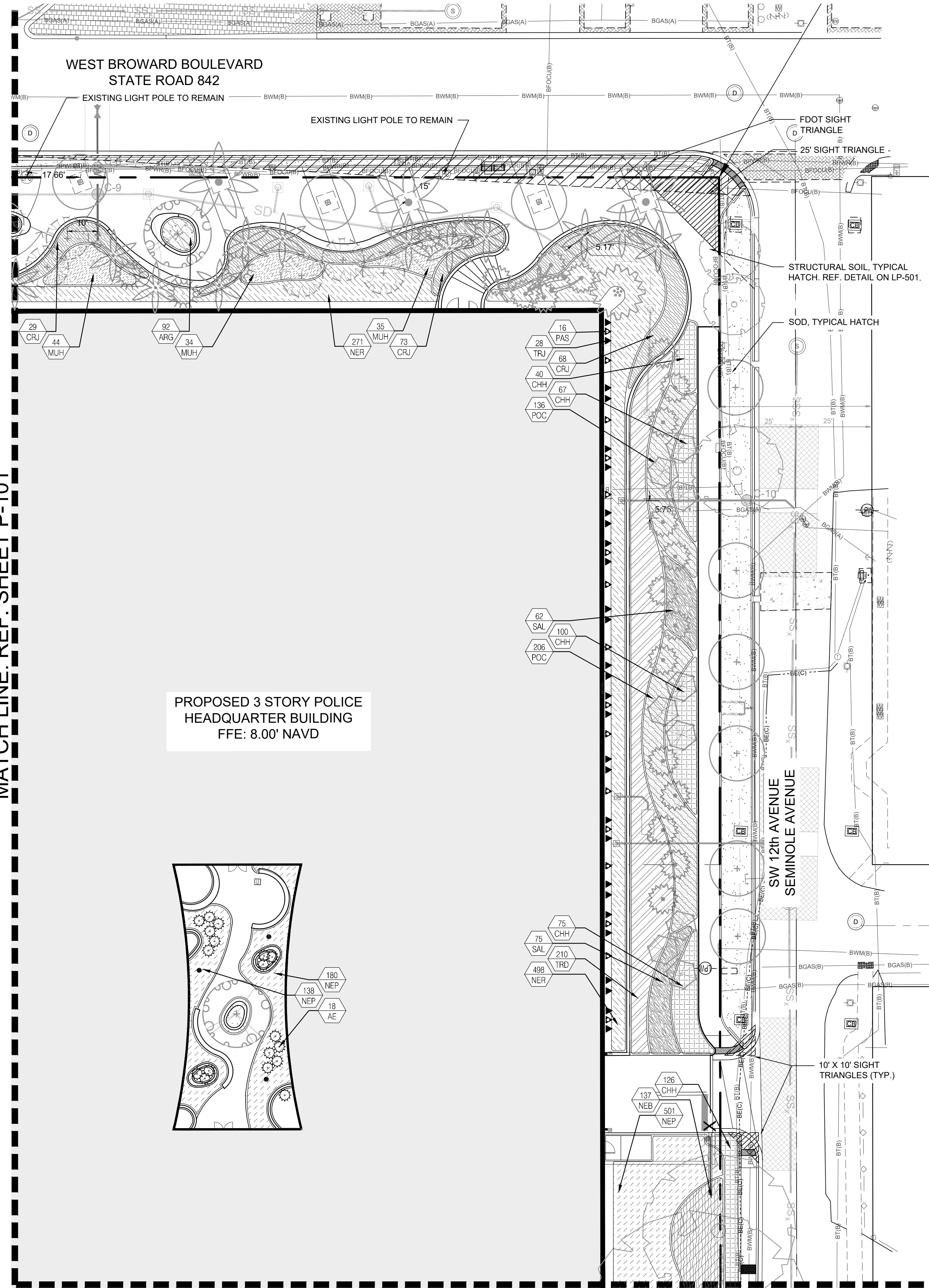
STATUS: 100% SUBMISSION



KEY MAP SCALE: N.T.S.

QUICK REFERENCE PLANT LIST. SEE SHEET LP-002 FOR COMPLETE PLANT LIST AND NOTES

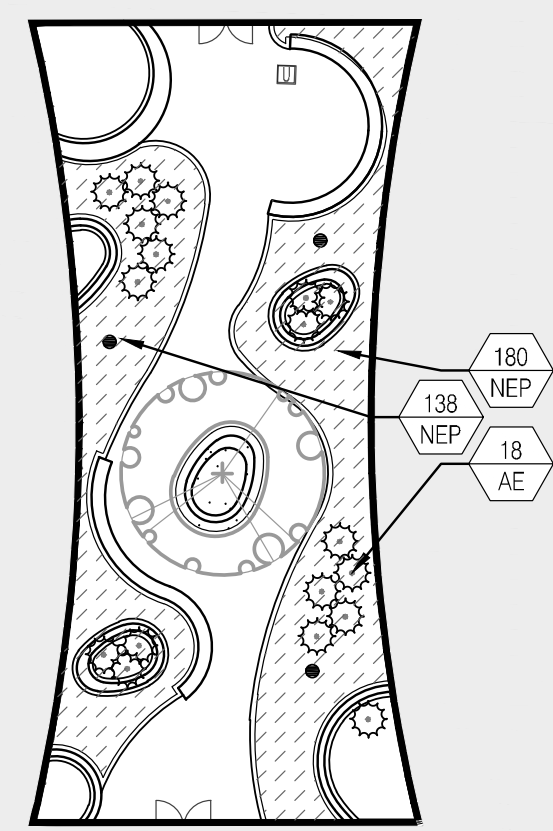
SHRUBS	QTY	BOTANICAL / COMMON NAME
AE	18	ACCENT SHRUBS BROMELIADS, ALOCASIAS
CON	286	CONOCARPUS ERECTUS GREEN BUTTWOOD HEDGE
VINE	QTY	BOTANICAL / COMMON NAME
PAS	16	PASSIFLORA INCARNATA PASSION FLOWER VINE
TRJ	28	TRACHELOSPERMUM JASMINOIDES 'CONFEDERATE' CONFEDERATE JASMINE
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME
ARG	394	ARACHIS GLABRATA PERENNIAL PEANUT
CHH	1,387	CHRYSOBALANUS ICACO 'HORIZONTALIS' HORIZONTAL COCOPLUM
CHR	20	CHRYSOBALANUS ICACO 'RED TIP' RED TIP COCOPLUM
CRJ	4,292	CRINUM JAGUS ST. CHRISTOPHER LILY
MUH	353	MUHLENBERGIA CAPILLARIS PINK MUHLY GRASS
NEB	137	NEPHROLEPIS BISERRATA 'MACHO FERN' MACHO FERN
NEP	819	NEPHROLEPIS EXALTATA BOSTON FERN
NER	1,605	NERIUM OLEANDER 'PETITE PINK' OLEANDER
PEN	552	PENNISETUM SETACEUM WHITE FOUNTAIN GRASS
POC	342	PONTEDERIA CORDATA PICKEREL WEED
SAL	137	SAGITTARIA LATIFOLIA LANCE-LEAFED ARROWHEAD
TRD	794	TRIPSACUM DACTYLOIDES FAKAHATCHEE GRASS



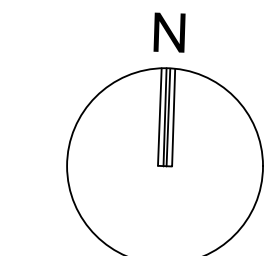
MATCH LINE: REF. SHEET P-101

MATCH LINE: REF. SHEET LP-103

PROPOSED 3 STORY POLICE HEADQUARTER BUILDING
FFE: 8.00' NAVD



- NOTES:
- SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
 - ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
 - ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
 - BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
 - PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
 - ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
 - NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.
 - ALL CATEGORY 1 EXOTIC/INVASIVE TREES TO BE REMOVED PER LOCAL ORDINANCE.



GRAPHIC SCALE
0 20 40

SCALE= 1" = 20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

KEITH
301 East Atlantic Blvd.
Pompano Beach, FL 33060
PH: (954) 788-3400

Florida Engineering Business License: CA7928
Florida Surveyor and Mapper Business License: LB6860
Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
DESIGNED BY: MH, LW, AS
DRAWN BY: MH, AS
CHECKED BY: KS, PW
BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.
FLORIDA REG. NO. LA6666804
(FOR THE FIRM)

CLIENT
CITY OF FORT LAUDERDALE

PROJECT
**NEW POLICE HEADQUARTERS
1300-1350 WEST BROWARD BLVD**

SHEET TITLE
UNDERSTORY PLANTING PLAN

SHEET NUMBER **LP-202**
PROJECT NUMBER **11112.00**

STATUS: 100% SUBMISSION

REVISIONS		
NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
 DESIGNED BY: MH, LW, AS
 DRAWN BY: MH, AS
 CHECKED BY: KS, PW
 BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.
 FLORIDA REG. NO. LA6666804
 (FOR THE FIRM)

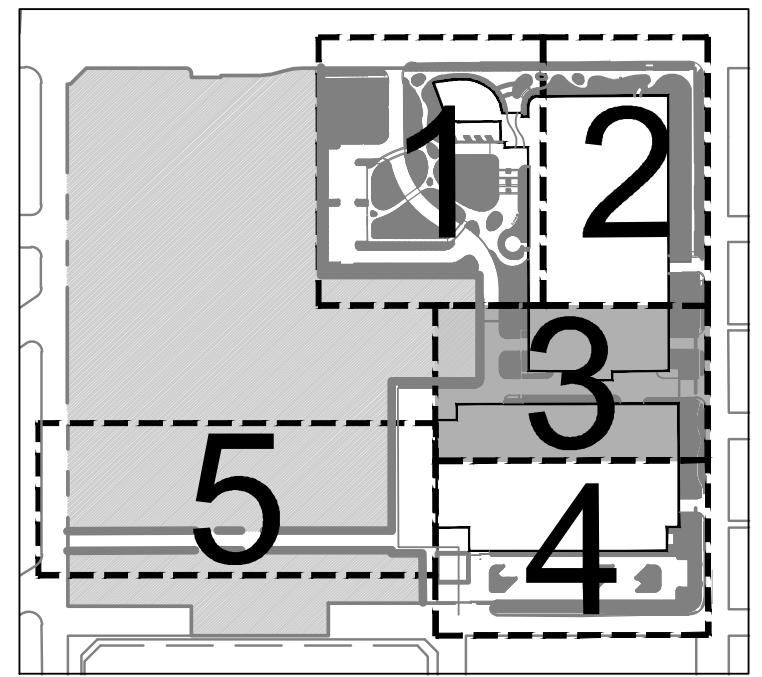
CLIENT
CITY OF FORT LAUDERDALE

PROJECT
**NEW POLICE HEADQUARTERS
 1300-1350 WEST BROWARD BLVD**

SHEET TITLE
UNDERSTORY PLANTING PLAN

SHEET NUMBER **LP-203**
 PROJECT NUMBER **11112.00**

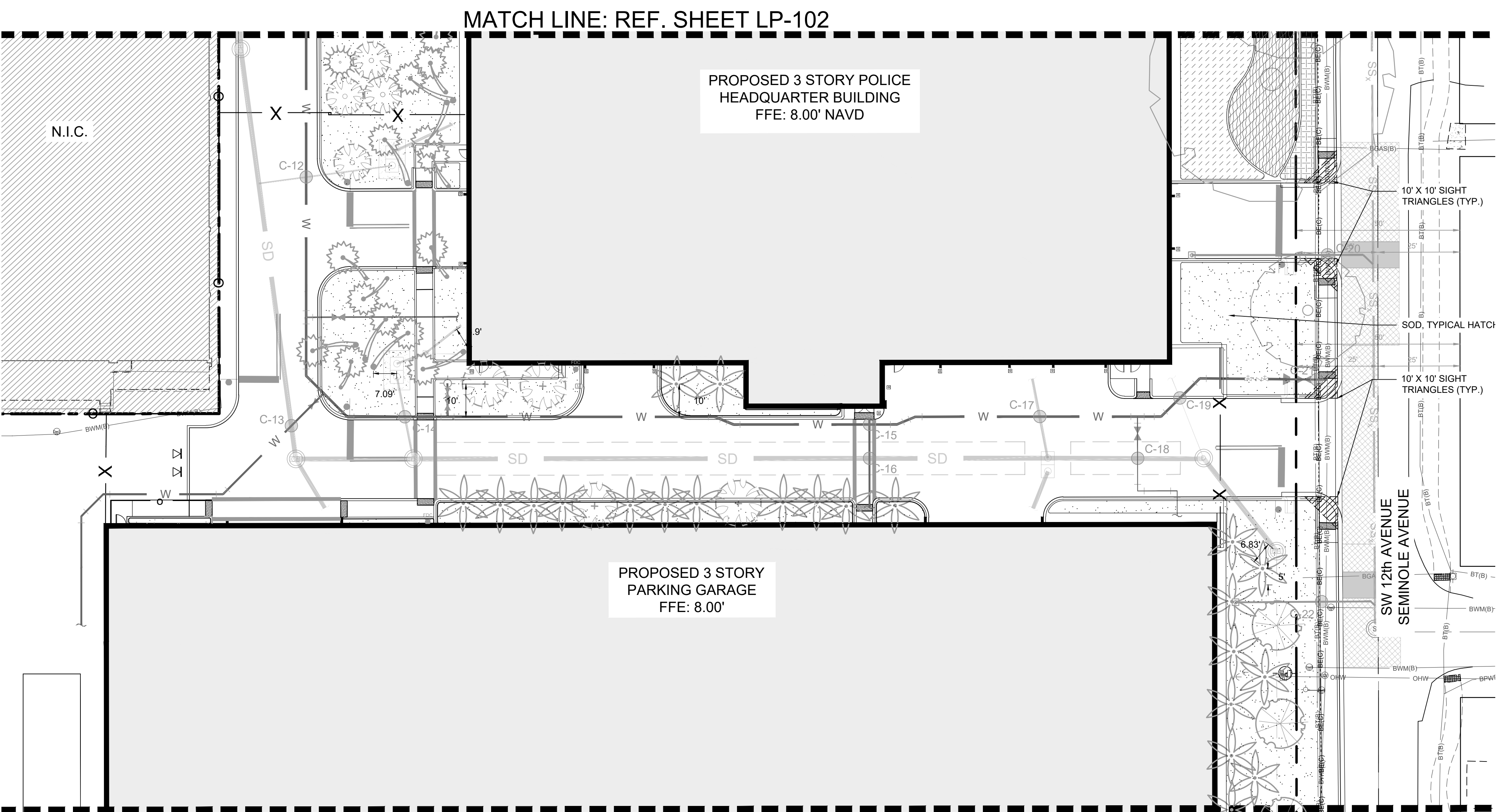
STATUS: 100% SUBMISSION



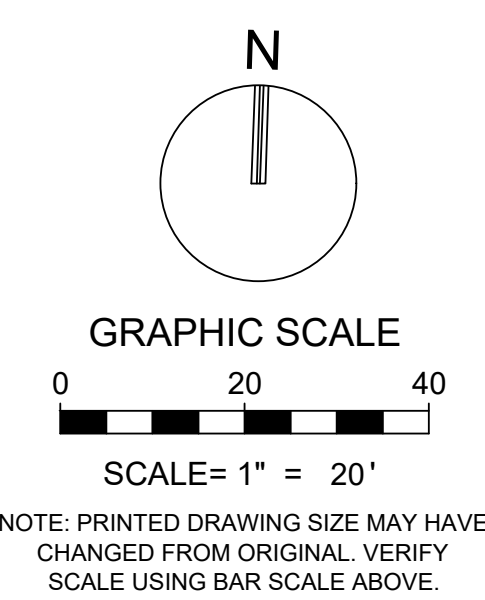
KEY MAP SCALE: N.T.S.

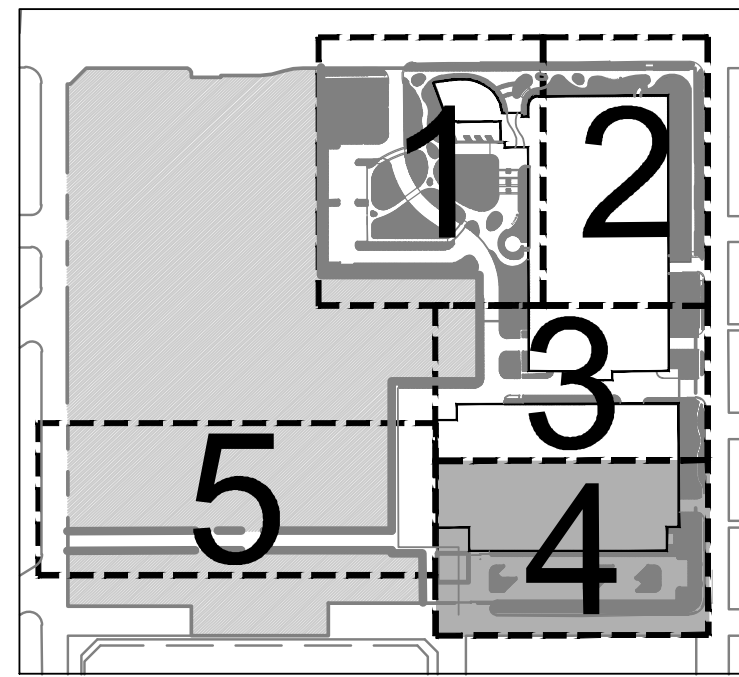
QUICK REFERENCE PLANT LIST. SEE SHEET LP-002 FOR COMPLETE PLANT LIST AND NOTES

SHRUBS	QTY	BOTANICAL / COMMON NAME
AE	18	ACCENT SHRUBS BROMELIADS, ALOCASIAS
CON	286	CONOCARPUS ERECTUS GREEN BUTTWOOD HEDGE
VINE	QTY	BOTANICAL / COMMON NAME
PAS	16	PASSIFLORA INCARNATA PASSION FLOWER VINE
TRJ	28	TRACHELOSPERMUM JASMINOIDES 'CONFEDERATE' CONFEDERATE JASMINE
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME
ARG	394	ARACHIS GLABRATA PERENNIAL PEANUT
CHH	1,387	CHRYSOBALANUS ICACO 'HORIZONTALIS' HORIZONTAL COCOPLUM
CHR	20	CHRYSOBALANUS ICACO 'RED TIP' RED TIP COCOPLUM
CRJ	4,292	CRINUM JAGUS ST. CHRISTOPHER LILY
MUH	353	MUHLENBERGIA CAPILLARIS PINK MUHLY GRASS
NEB	137	NEPHROLEPIS BISERRATA 'MACHO FERN' MACHO FERN
NEP	819	NEPHROLEPIS EXALTATA BOSTON FERN
NER	1,605	NERIUM OLEANDER 'PETITE PINK' OLEANDER
PEN	552	PENNISETUM SETACEUM WHITE FOUNTAIN GRASS
POC	342	PONTEDERIA CORDATA PICKEREL WEED
SAL	137	SAGITTARIA LATIFOLIA LANCE-LEAFED ARROWHEAD
TRD	794	TRIPSACUM DACTYLOIDES FAKAHATCHEE GRASS



- NOTES:**
- SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
 - ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
 - ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
 - BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
 - CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
 - PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
 - ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
 - NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.
 - ALL CATEGORY 1 EXOTIC/INVASIVE TREES TO BE REMOVED PER LOCAL ORDINANCE.





KEY MAP SCALE: N.T.S.

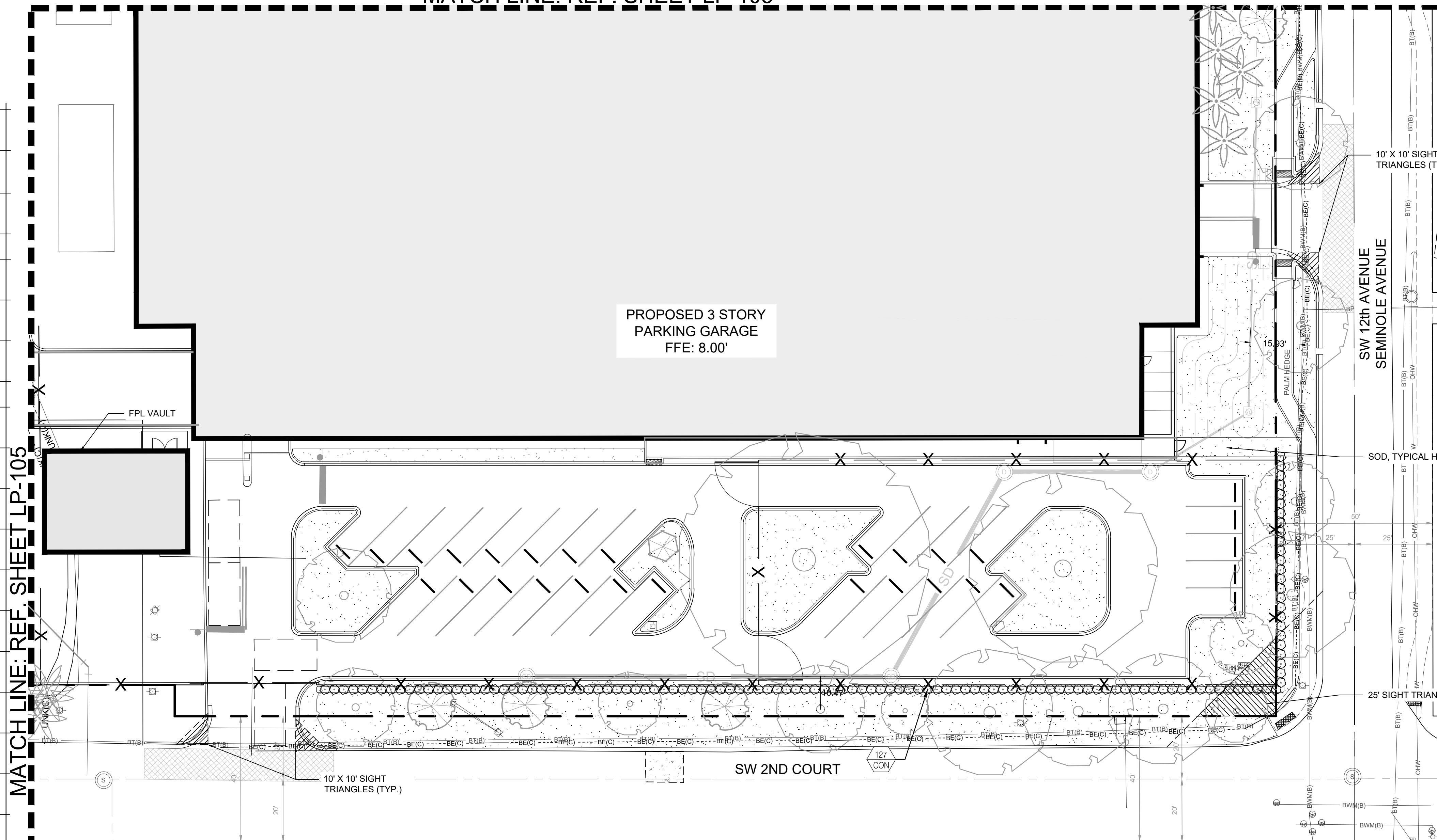
MATCH LINE: REF. SHEET LP-103

QUICK REFERENCE PLANT LIST. SEE SHEET LP-002 FOR COMPLETE PLANT LIST AND NOTES

SHRUBS	QTY	BOTANICAL / COMMON NAME
AE	18	ACCENT SHRUBS BROMELIADS, ALOCASIAS
CON	286	CONOCARPUS ERECTUS GREEN BUTTONWOOD HEDGE

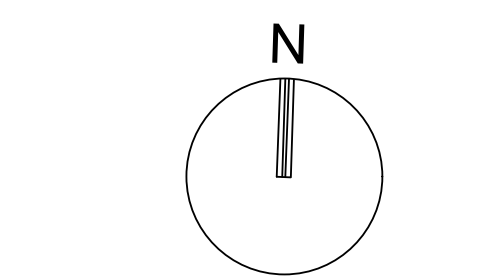
VINE	QTY	BOTANICAL / COMMON NAME
PAS	16	PASSIFLORA INCARNATA PASSION FLOWER VINE
TRJ	28	TRACHELOSPERMUM JASMINOIDES 'CONFEDERATE' CONFEDERATE JASMINE

SHRUB AREAS	QTY	BOTANICAL / COMMON NAME
ARG	394	ARACHIS GLABRATA PERENNIAL PEANUT
CHH	1,387	CHRYSOBALANUS ICACO 'HORIZONTALIS' HORIZONTAL COCOPLUM
CHR	20	CHRYSOBALANUS ICACO 'RED TIP' RED TIP COCOPLUM
CRJ	4,292	CRINUM JAGUS ST. CHRISTOPHER LILY
MUH	353	MUHLENBERGIA CAPILLARIS PINK MUHLY GRASS
NEB	137	NEPHROLEPIS BISERRATA 'MACHO FERN' MACHO FERN
NEP	819	NEPHROLEPIS EXALTATA BOSTON FERN
NER	1,605	NERIUM OLEANDER 'PETITE PINK' OLEANDER
PEN	552	PENNISETUM SETACEUM WHITE FOUNTAIN GRASS
POC	342	PONTEDERIA CORDATA PICKEREL WEED
SAL	137	SAGITTARIA LATIFOLIA LANCE-LEAFED ARROWHEAD
TRD	794	TRIPSACUM DACTYLOIDES FAKAHATCHEE GRASS



NOTES:

- SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
- ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
- ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
- PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
- ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
- NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.
- ALL CATEGORY 1 EXOTIC/NATIVE TREES TO BE REMOVED PER LOCAL ORDINANCE.



KEITH
 301 East Atlantic Blvd.
 Pompano Beach, FL 33060
 PH: (954) 788-3400

Florida Engineering Business License: CA7928
 Florida Surveyor and Mapper Business License: LB6860
 Florida Landscape Architecture Business License: LC26000457

REVISIONS

NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
 DESIGNED BY: MH, LW, AS
 DRAWN BY: MH, AS
 CHECKED BY: KS, PW
 BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.
 FLORIDA REG. NO. LA6666804
 (FOR THE FIRM)

CLIENT
CITY OF FORT LAUDERDALE

PROJECT
**NEW POLICE HEADQUARTERS
 1300-1350 WEST BROWARD BLVD**

SHEET TITLE
UNDERSTORY PLANTING PLAN

SHEET NUMBER **LP-204**
 PROJECT NUMBER **11112.00**

STATUS: 100% SUBMISSION

REVISIONS		
NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
 DESIGNED BY: MH, LW, AS
 DRAWN BY: MH, AS
 CHECKED BY: KS, PW
 BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.
 FLORIDA REG. NO. LA6666804
 (FOR THE FIRM)

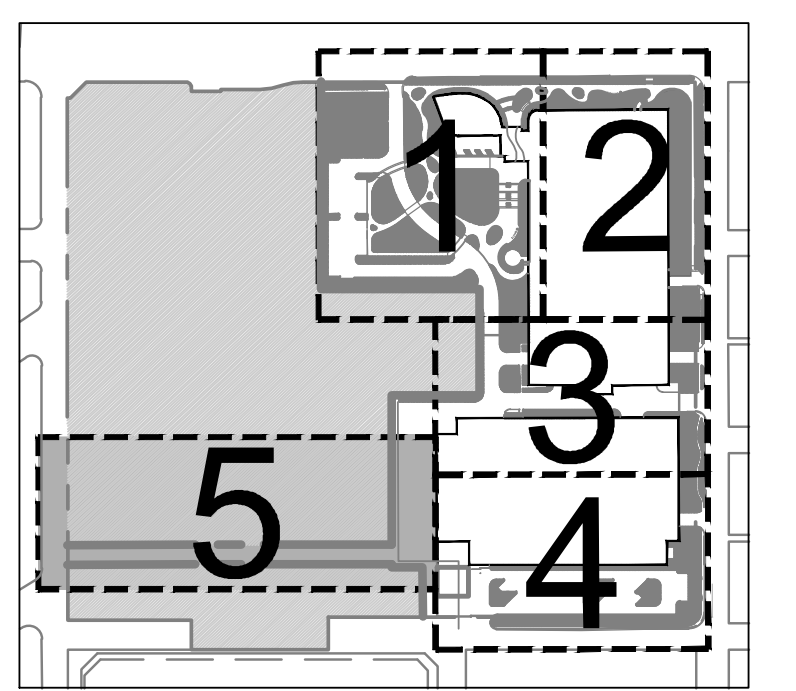
CLIENT
CITY OF FORT LAUDERDALE

PROJECT
**NEW POLICE HEADQUARTERS
 1300-1350 WEST BROWARD BLVD**

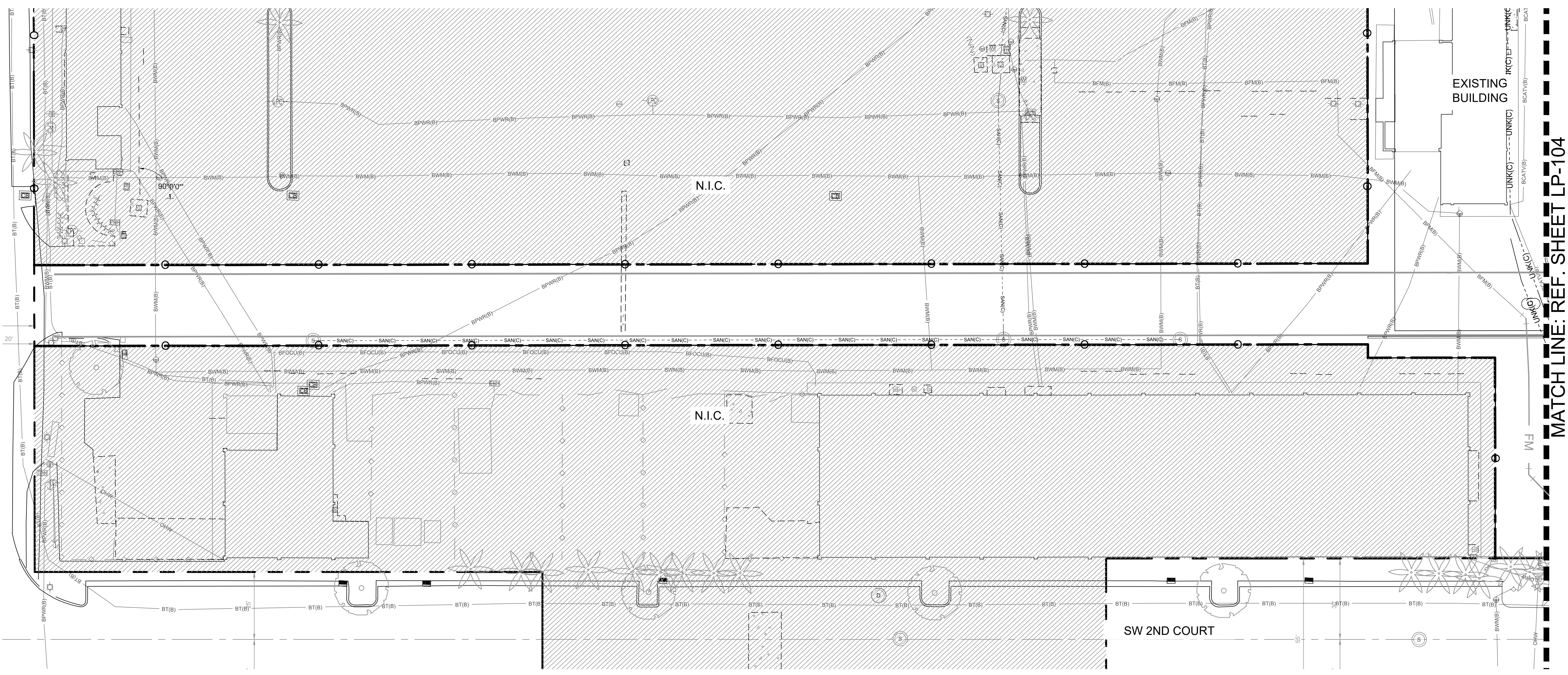
SHEET TITLE
UNDERSTORY PLANTING PLAN

SHEET NUMBER **LP-205**
 PROJECT NUMBER **11112.00**

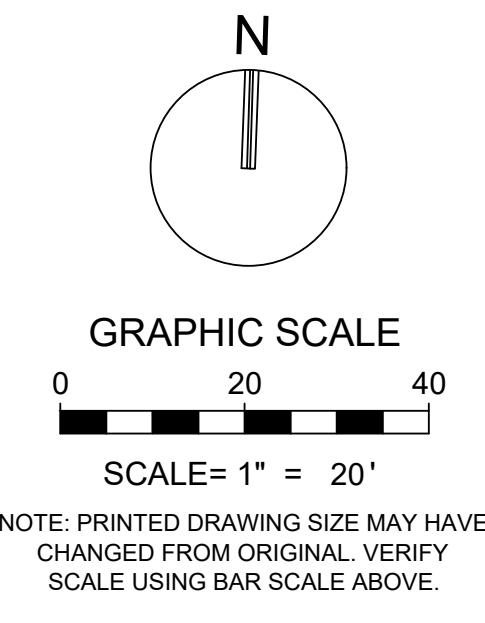
STATUS: 100% SUBMISSION



KEY MAP SCALE: N.T.S.

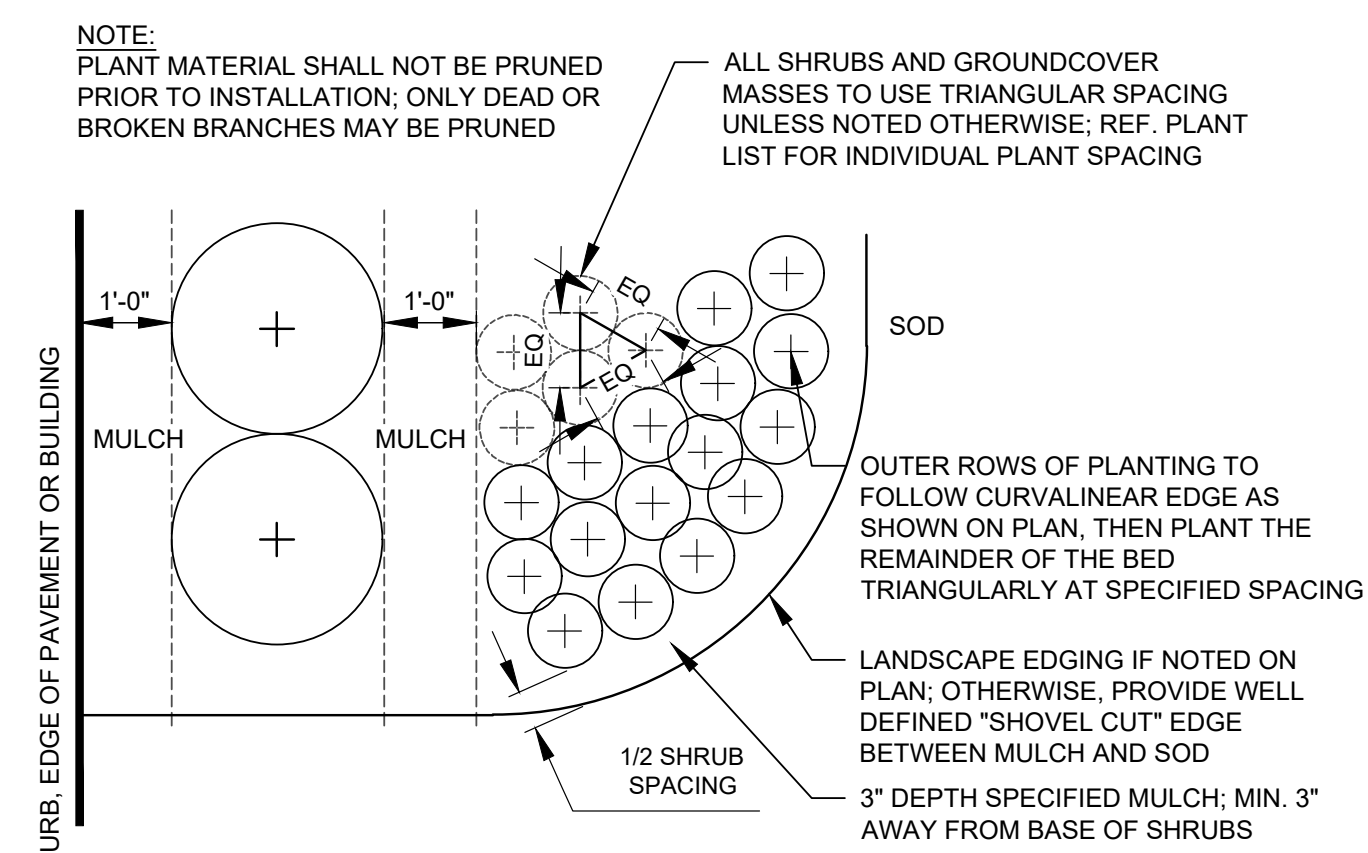
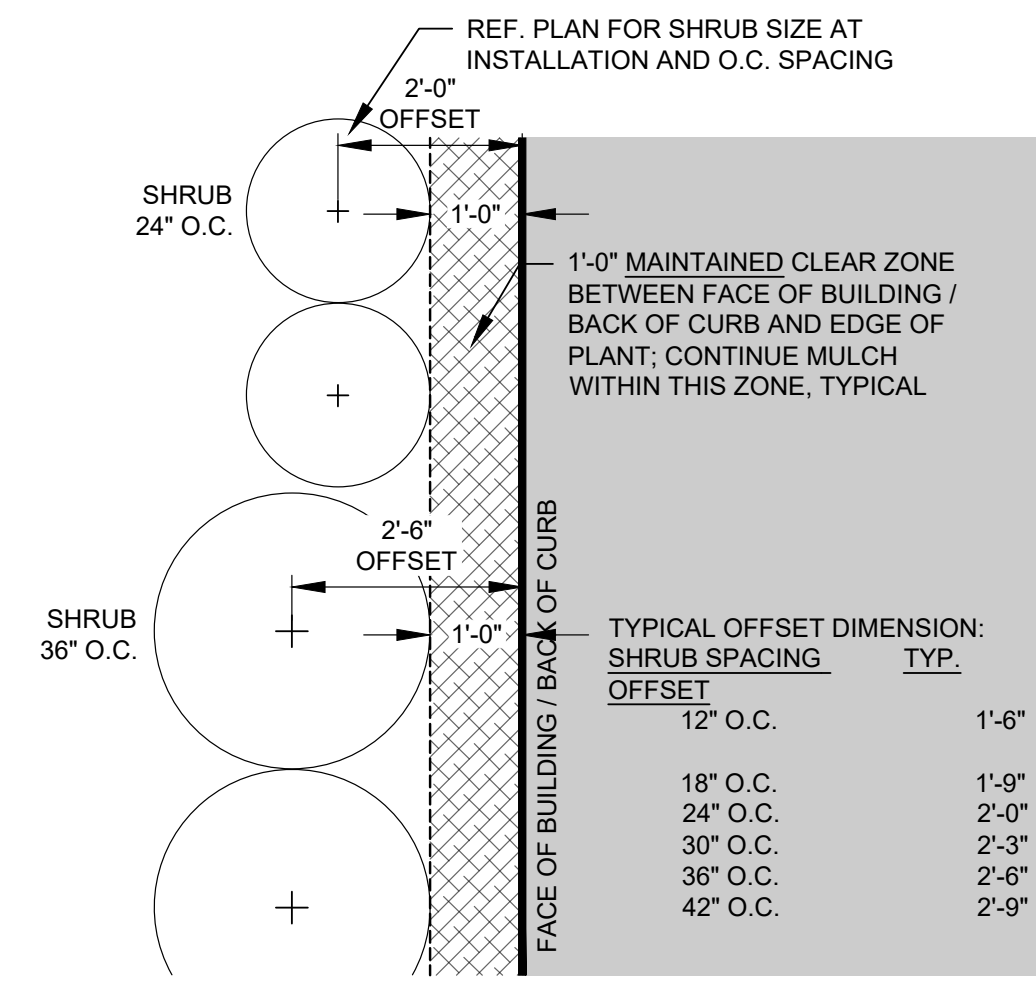
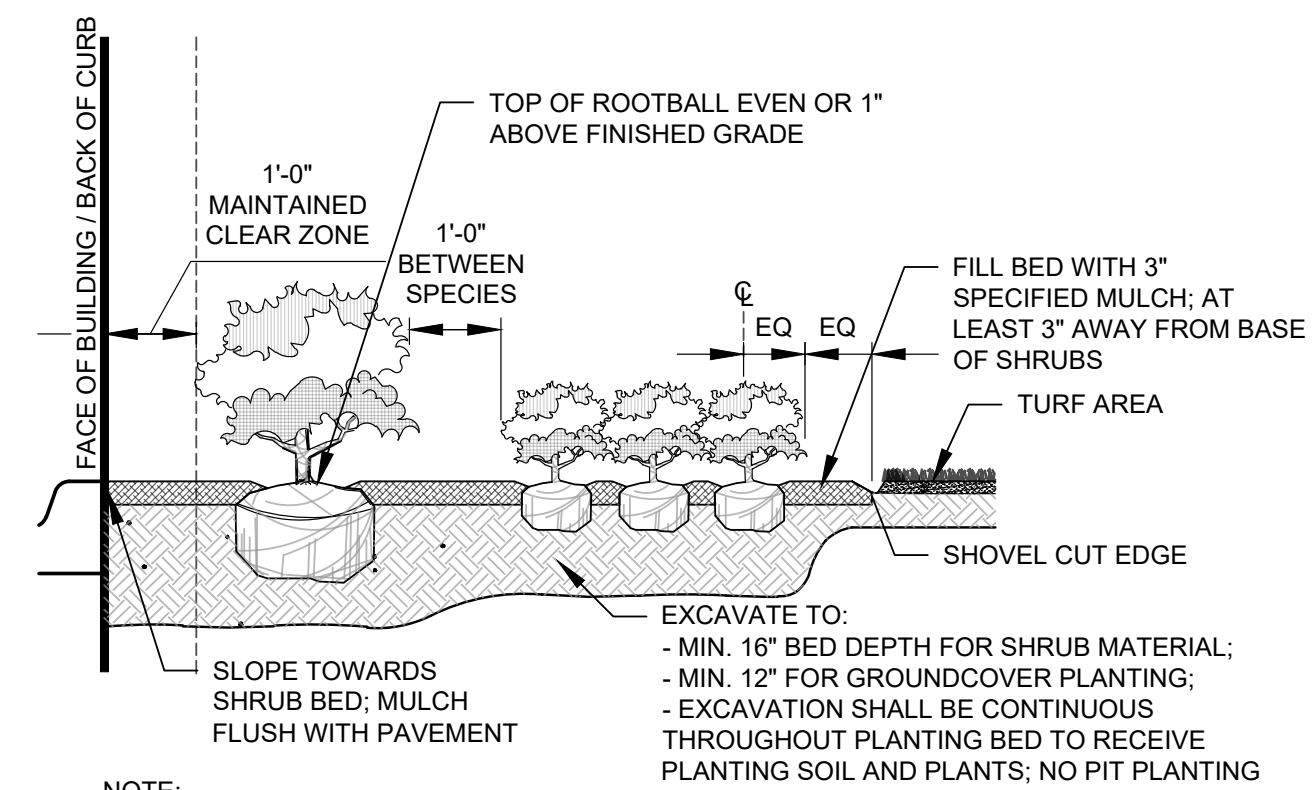
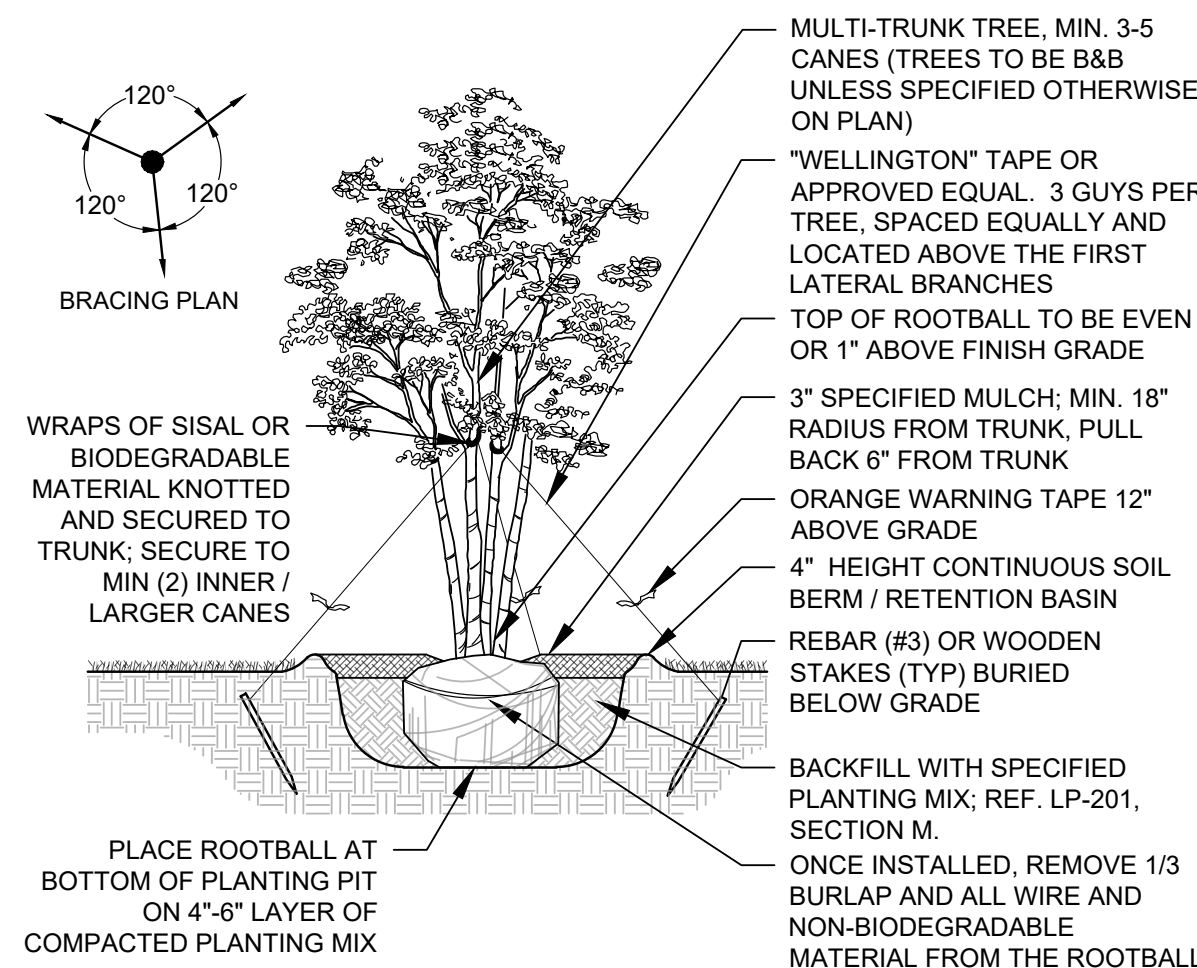
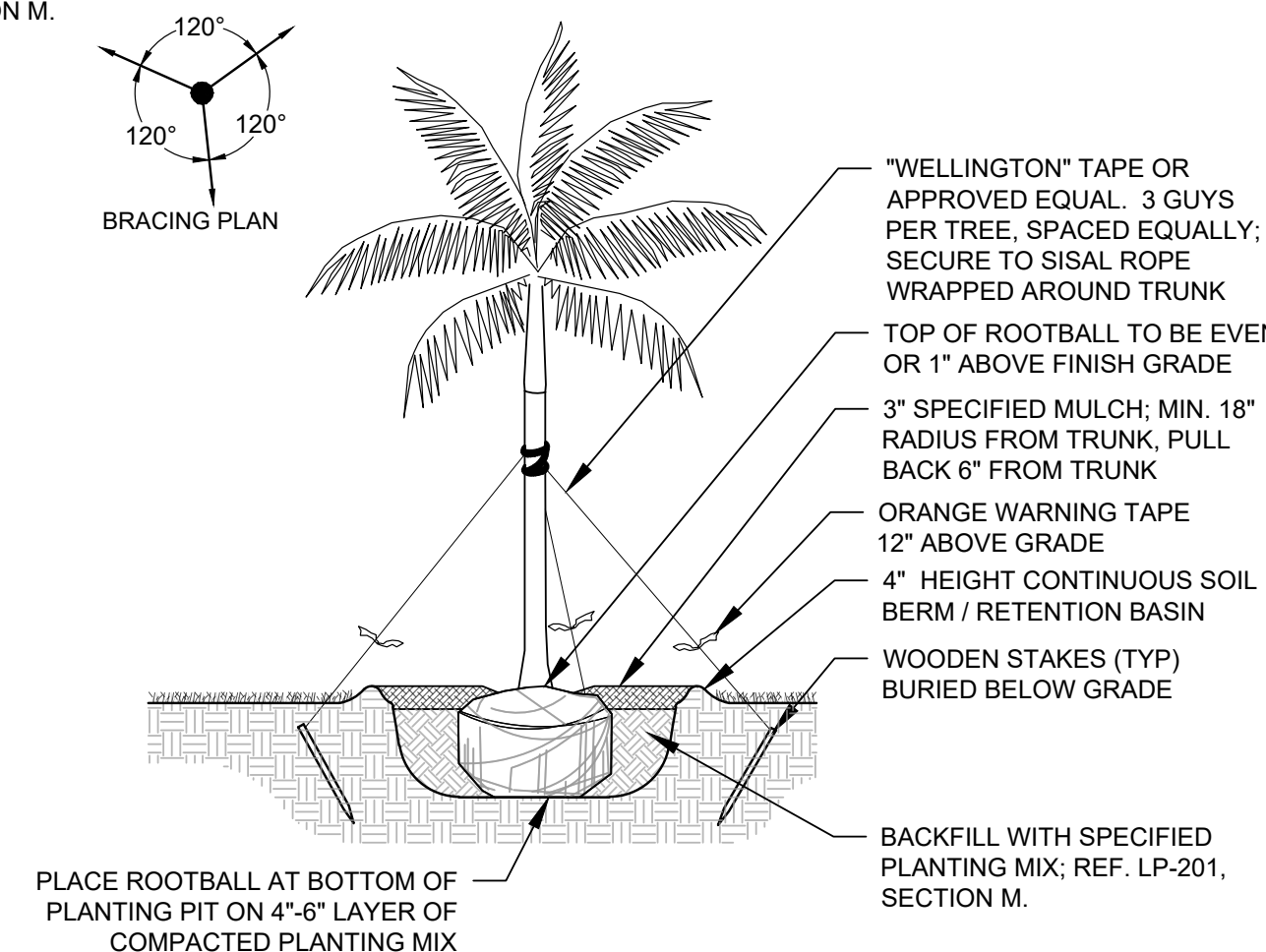
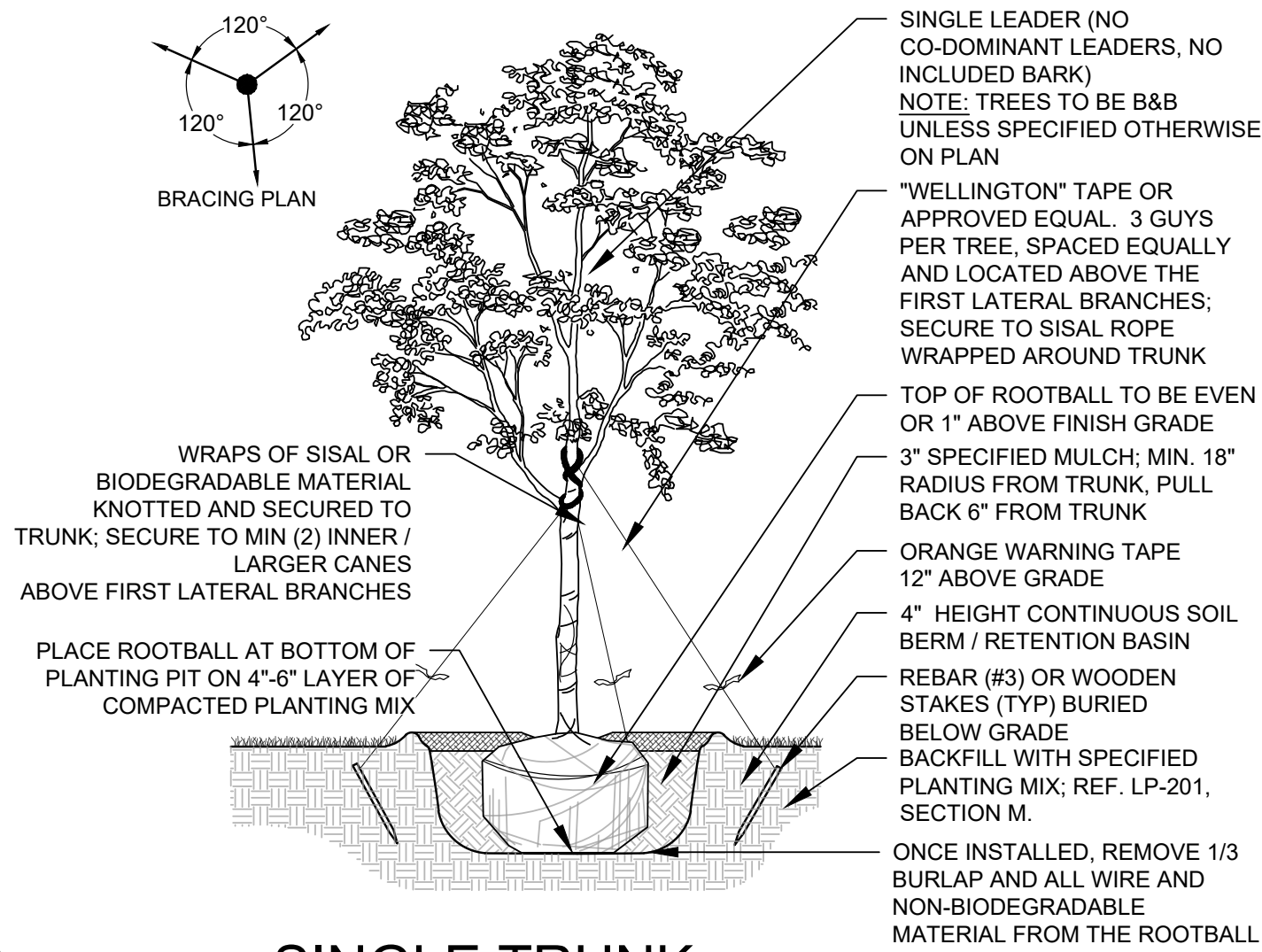
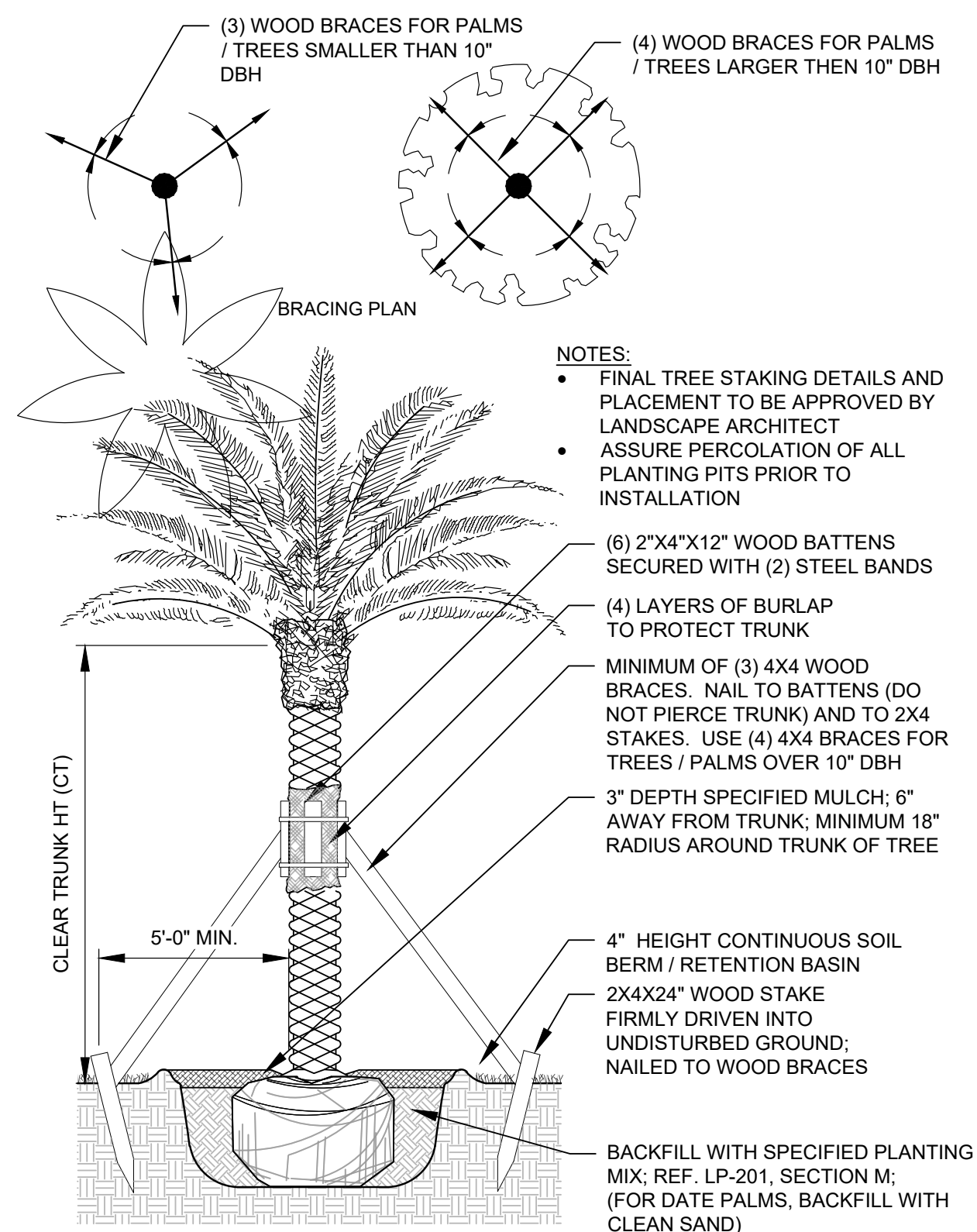
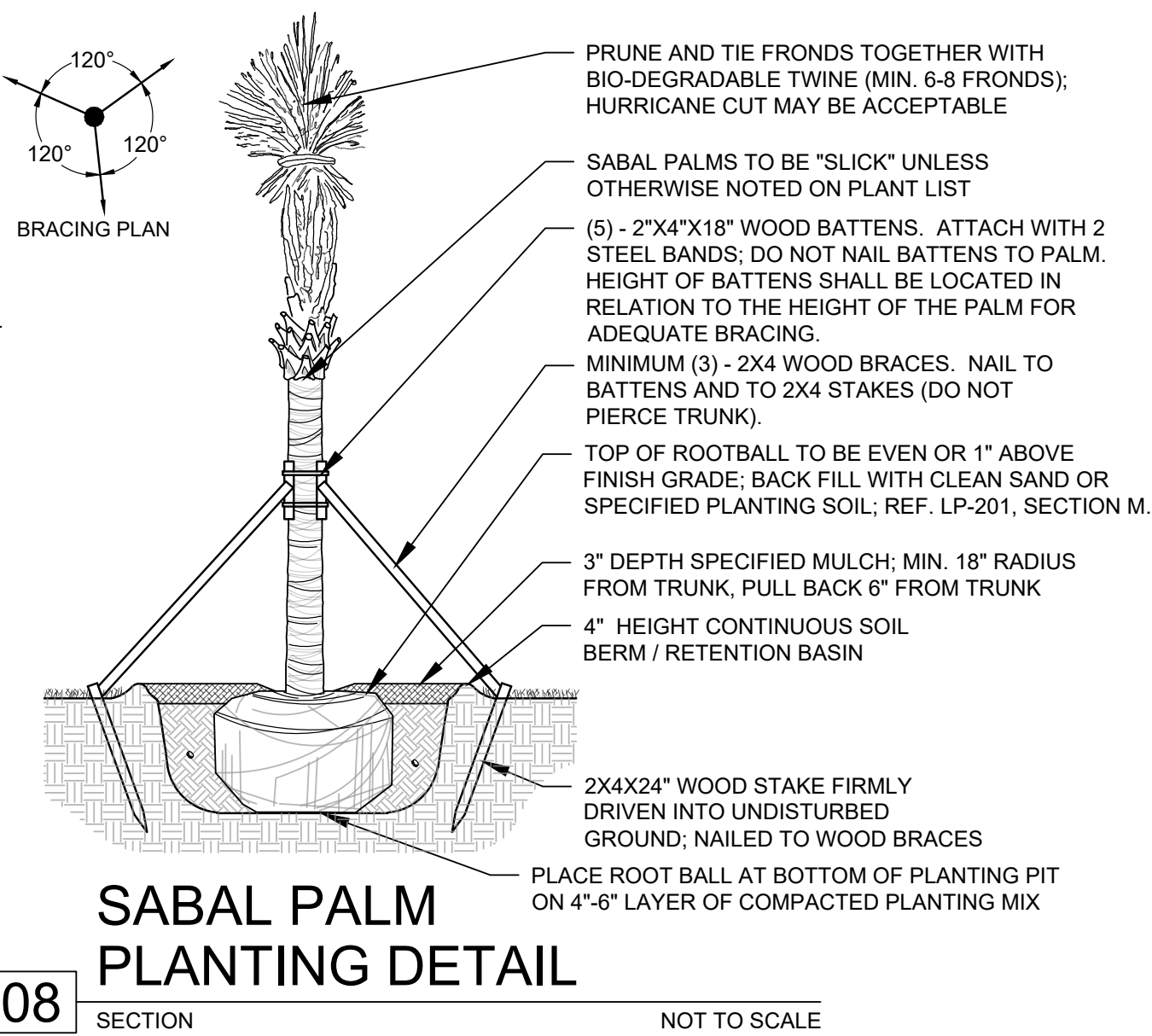
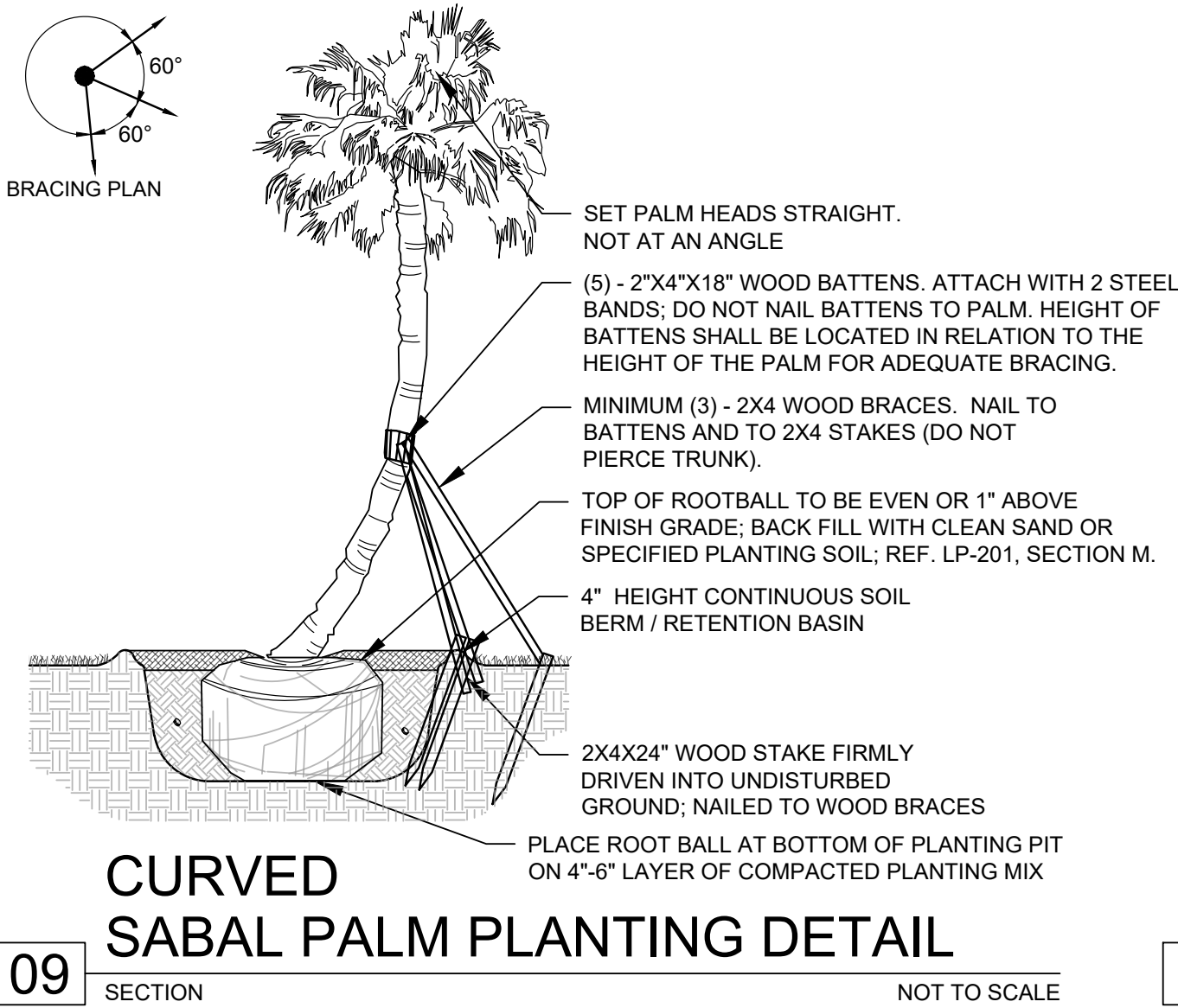


NOTE:
 NO PROPOSED PLANTING ON THIS SHEET



NOTE:

- REF. LP-001, LANDSCAPE NOTES, FOR ADDITIONAL REQUIREMENTS.
- ROOT BALL SIZE FOR ALL TREES AND PALMS TO BE IN PROPORTION TO SIZE AND TYPE OF PALM PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.



KEITH
 301 East Atlantic Blvd.
 Pompano Beach, FL 33060
 PH: (954) 788-3400

Florida Engineering Business License: CA7928
 Florida Surveyor and Mapper Business License: LB6860
 Florida Landscape Architecture Business License: LC2600457

REVISIONS

NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
 DESIGNED BY: MH, LW, AS
 DRAWN BY: MH, AS
 CHECKED BY: KS, PW
 BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.
 FLORIDA REG. NO. LA6666804
 (FOR THE FIRM)

CLIENT
CITY OF FORT LAUDERDALE

PROJECT
**NEW POLICE HEADQUARTERS
 1300-1350 WEST BROWARD BLVD**

SHEET TITLE
PLANTING DETAILS

SHEET NUMBER **LP-501**
 PROJECT NUMBER **11112.00**

STATUS: 100% SUBMISSION



301 East Atlantic Blvd.
Pompano Beach, FL 33060
PH: (954) 788-3400

Florida Engineering Business License: CA7929
Florida Surveyor and Mapper Business License: LB6860
Florida Landscape Architecture Business License: LC26000457

REVISIONS

NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
DESIGNED BY: MH, LW, AS
DRAWN BY: MH, AS
CHECKED BY: KS, PW
BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.
FLORIDA REG. NO. LA6666804
(FOR THE FIRM)

CLIENT

CITY OF FORT LAUDERDALE

PROJECT

NEW POLICE HEADQUARTERS
1300-1350 WEST BROWARD BLVD

SHEET TITLE

PHOTOMETRIC PLAN

SHEET NUMBER LL-101

PROJECT NUMBER 11112.00

STATUS: 100% SUBMISSION

QUICK REFERENCE LIGHTING LIST.
SEE SHEET LL-501 FOR COMPLETE LIST.

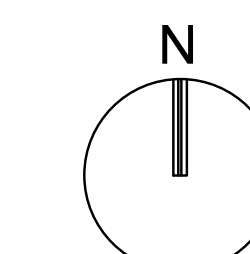
Symbol	Qty	Label	Description
(Symbol)	39	L1	LANDSCAPE FORMS AG-500L3-048F-40K POLE MTD 14' AFG
(Symbol)	8	L2	LANDSCAPE FORMS AG-500L5-058F-40K POLE MTD 14' AFG
(Symbol)	743	L3	Q-TRAN BOLA-SW-PPS2-WET-00-30-ENC-TL-XS-BW-CL-XX WALL MTD 2' AFG
(Symbol)	6	L4	BK LIGHTING DS-LED-E66-MFL-AS-FINISH-13-A-3805L / TS-TMC-FINISH-XX TREE MTD 12' AFG
(Symbol)	14	SA	LANDSCAPE FORMS AE-032L3-04F-40K POLE MTD 20' AFG
(Symbol)	4	SB	GARDCO ECF-S-64L-1A-NW-02-4 POLE MTD 25' AFG
(Symbol)	4	SC	GARDCO ECF-S-48L-900-NW-02-2 POLE MTD 25' AFG
(Symbol)	3	W1	FC LIGHTING FCC400-11-WM-UNV-940-10L-FINISH-72-ET WALL MTD 12' AFG

Calculation Summary

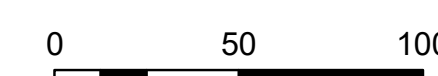
Project: NEW POLICE HEADQUARTERS FOR CITY OF FORT LAUDERDALE 1300-1350 WEST BROWARD BLVD. FORT LAUDERDALE REV 1 0-2-2021

Label	CalcType	Units	Avg	Max	Min	Max/Min	Avg/Min
EAST RESIDENTIAL SPILL	Illuminance	Fc	0.02	0.2	0.0	N.A.	N.A.
NORTH WEST ENTRY PLAZA_Top	Illuminance	Fc	2.89	4.9	1.0	3.06	1.81
PARKING AND DRIVE	Illuminance	Fc	2.66	6.7	1.0	6.70	2.66
SOUTH PARKING	Illuminance	Fc	2.70	6.6	1.0	6.60	2.70
SOUTH RESIDENTIAL SPILL	Illuminance	Fc	0.00	0.2	0.0	N.A.	N.A.
UPPER PLAZA_Top	Illuminance	Fc	3.26	5.0	2.1	2.38	1.55
ENTRY PLAZA, RAMP, STAIR	Illuminance	Fc	2.89	5.0	1.3	3.85	2.07
GROUND LEVEL SIDEWALK	Illuminance	Fc	2.61	6.5	1.0	6.50	2.61
NORTH EAST PLAZA, STAIR	Illuminance	Fc	2.54	4.7	1.0	2.94	1.59
NORTH PARKING SIDEWALK	Illuminance	Fc	3.05	4.5	1.0	2.81	1.91
NORTH WEST PLAZA, STAIR, RAMP	Illuminance	Fc	2.43	4.9	1.0	4.90	2.43

CONTACT INFORMATION FOR SESCO LIGHTING BELOW:
JASON BOEHM
P: (954) 474-9888
E: JBOEHM@SESCOLIGHTING.COM



GRAPHIC SCALE



SCALE: 1"=50'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

REVISIONS

NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22
 DESIGNED BY: MH, LW, AS
 DRAWN BY: MH, AS
 CHECKED BY: KS, PW
 BID-CONTRACT:

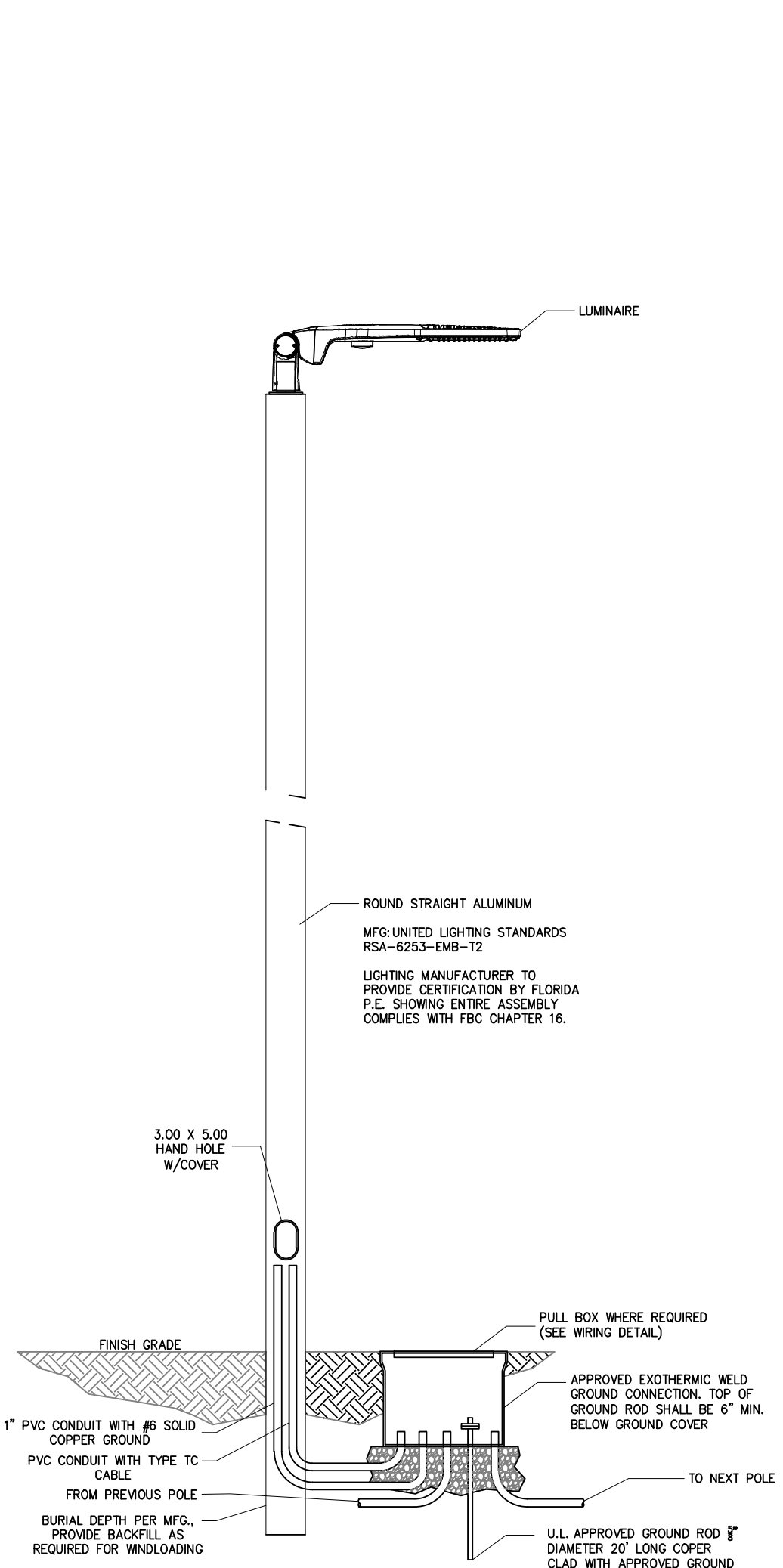
PAUL H. WEINBERG, R.L.A.
 FLORIDA REG. NO. LA6666804
 (FOR THE FIRM)

CLIENT
CITY OF FORT LAUDERDALE

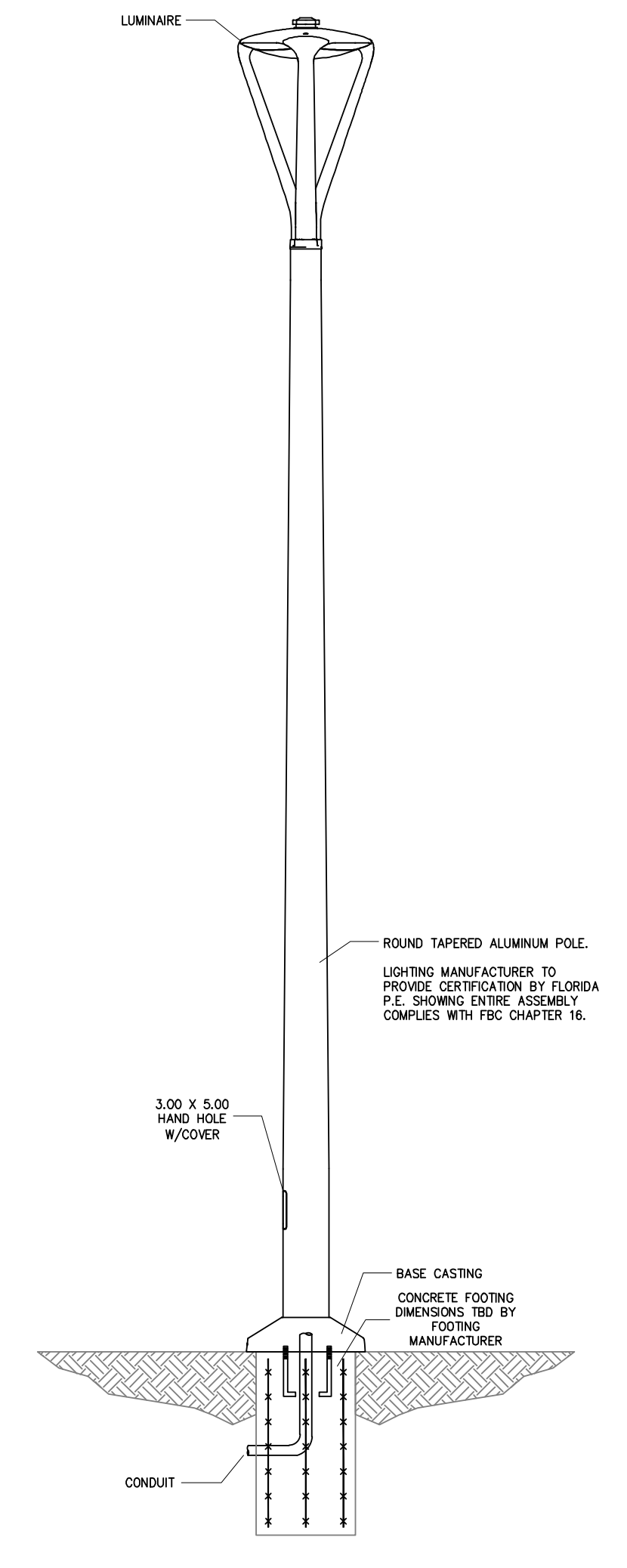
PROJECT
**NEW POLICE HEADQUARTERS
 1300-1350 WEST BROWARD BLVD**

SHEET TITLE
PHOTOMETRIC DETAILS

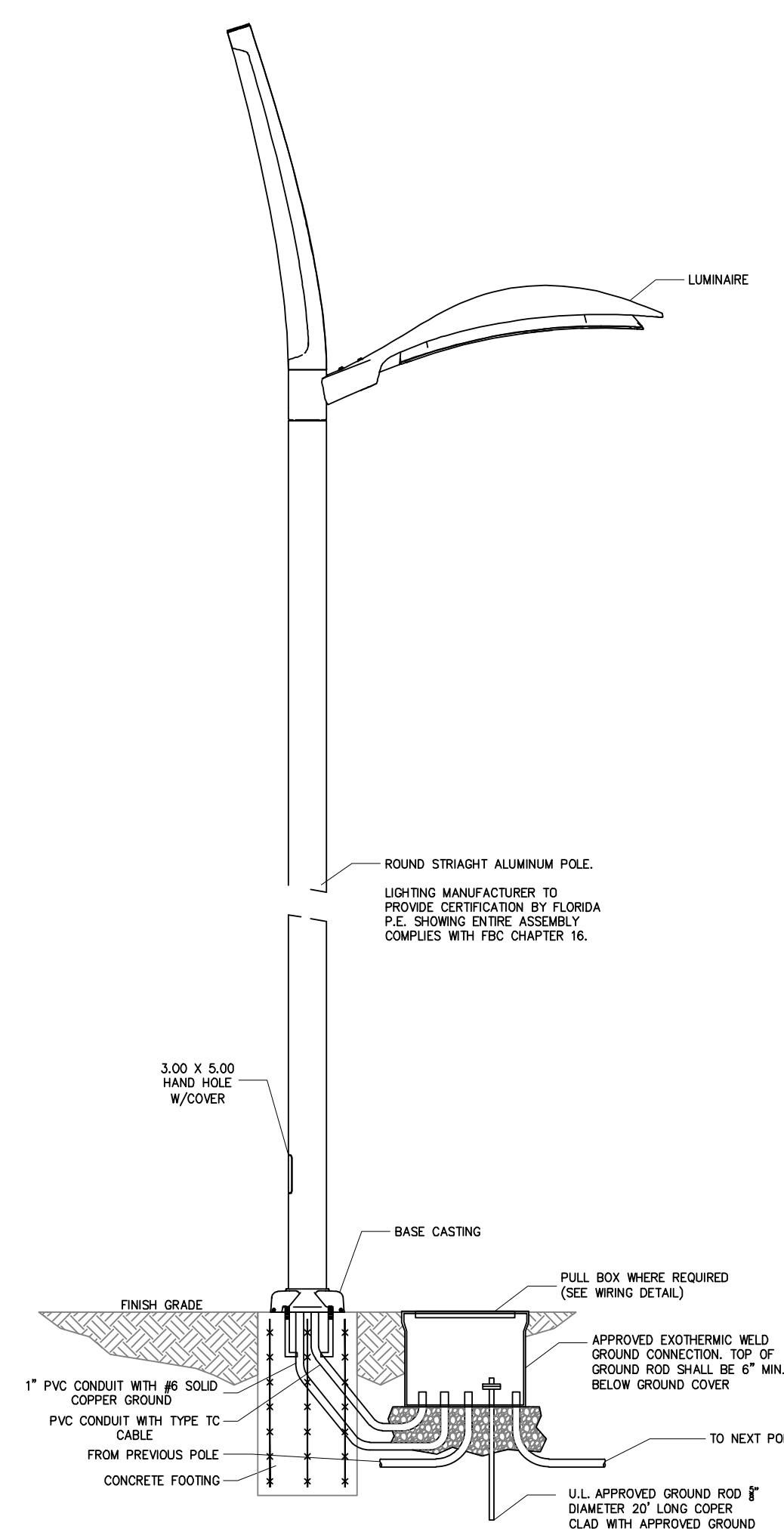
SHEET NUMBER **LL-501**
 PROJECT NUMBER **11112.00**



FIXTURES "SB,SC"
 LIGHT POLE DETAIL
 TYPICAL NOT TO SCALE



FIXTURE "L1,L2"
 POLE DETAIL
 TYPICAL NOT TO SCALE



FIXTURES "SA"
 LIGHT POLE DETAIL
 TYPICAL NOT TO SCALE

Calculation Summary

Project: NEW POLICE HEADQUARTERS FOR CITY OF FORT LAUDERDALE 1300-1350 WEST BROWARD BLVD. FORT LAUDERDALE REV 1 8-2-2021

Label	CalcType	Units	Avg	Max	Min	MaxMin	AvgMin
EAST RESIDENTIAL SPILL	Illuminance	Fc	0.02	0.2	0.0	N.A.	N.A.
NORTH WEST ENTRY PLAZA_Top	Illuminance	Fc	2.89	4.9	1.6	3.06	1.81
PARKING AND DRIVE	Illuminance	Fc	2.66	6.7	1.0	6.70	2.66
SOUTH PARKING	Illuminance	Fc	2.70	6.6	1.0	6.60	2.70
SOUTH RESIDENTIAL SPILL	Illuminance	Fc	0.08	0.2	0.0	N.A.	N.A.
UPPER PLAZA_Top	Illuminance	Fc	3.26	5.0	2.1	2.38	1.55
ENTRY PLAZA, RAMP, STAIR	Illuminance	Fc	2.69	5.0	1.3	3.85	2.07
GROUND LEVEL SIDEWALK	Illuminance	Fc	2.61	6.5	1.0	6.50	2.61
NORTH EAST PLAZA, STAIR	Illuminance	Fc	2.54	4.7	1.6	2.94	1.59
NORTH PARKING SIDEWALK	Illuminance	Fc	3.05	4.5	1.6	2.91	1.91
NORTH WEST PLAZA, STAIR, RAMP	Illuminance	Fc	2.43	4.9	1.0	4.90	2.43

Luminaire Schedule

Project: NEW POLICE HEADQUARTERS FOR CITY OF FORT LAUDERDALE 1300-1350 WEST BROWARD BLVD. FORT LAUDERDALE REV 1 8-2-2021

Symbol	Qty	Label	Description	Lum. Watts	LLF
⊕	39	L1	LANDSCAPE FORMS AG-500L3-046F-40K POLE MTD 14' AFG	48	0.900
⊕	8	L2	LANDSCAPE FORMS AG-500L5-056F-40K POLE MTD 14' AFG	57	0.900
⊕	743	L3	O-TRAN BOXA-SW-PP22-WET-40-S0-ENC/TL-XS-BW-CL-XX WALL MTD 2' AFG	1.5	0.900
⊕	6	L4	BK LIGHTING DS-LED-666-MFL-A8-FINISH-13-A-360SL / TS-TMC-FINISH-XX TREE MTD 12' AFG	9	0.900
⊕	14	SA	LANDSCAPE FORMS AE-032L3-04F-40K POLE MTD 20' AFG	96	0.900
⊕	4	SB	GARDCO ECF-S-64L-1A-NW-02-4 POLE MTD 25' AFG	206	0.900
⊕	4	SC	GARDCO ECF-S-48L-900-NW-02-2 POLE MTD 25' AFG	135	0.900
⊕	3	W1	FC LIGHTING FCC400-11-WM-UNV-940-10L-FINISH-72-ET WALL MTD 12' AFG	17	0.900