

**LECKEY
RESIDENCE
ALTERATION**
1802 ASPHTE COURT FT. LAUDERDALE, FLORIDA
JAMES ARCHER ARCHITECT, P.A.

**SUBMITTAL FOR
HISTORIC PRESERVATION BOARD
MAY 7, 2012**

CASE # 7-H-12

**CERTIFICATE OF APPROPRIATENESS
&
APPLICATION FOR HISTORIC PROPERTY TAX EXEMPTION**

**ARCHITECT: JAMES N. ARCHER, P.A.
PROJECT MANAGER: NEW WORLD BUILDERS, INC.**



**City of Fort Lauderdale
Urban Design & Development**

**CITY OF FORT LAUDERDALE
Urban Design & Development**
700 NW 19th Avenue
Fort Lauderdale, FL 33311
Telephone: (954) 828-8980
Fax (954) 828-5858
Website: www.fortlauderdale.gov

HISTORIC PRESERVATION BOARD (HPB)

**SAILBOAT BEND HISTORIC DISTRICT
Certificate of Appropriateness Application**

Case #7-H-12

- Cover:** Deadline & Fees
- Page 1:** Applicant Information Sheet
- Page 2:** Technical Specifications of Application
- Page 3:** Technical Specifications of Application - continued
- Page 4:** Submittal Checklist

DEADLINE: Submittals must be received by 12:00 PM (noon) each day. Applications will not be accepted after noon. You will be asked to come back the following day. Pursuant to Section 47-24.1(1), Urban Design Development has five (5) business days to review all applications for a development permit to determine completeness. You will be notified by email within five (5) business days if your plans do not meet the submittal requirements.

FEES: All applications for a development permit shall have an application fee as established by the City Commission as set forth by resolution, as amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit.

Certificate of Appropriateness for:

<input type="checkbox"/> Minor Alteration/Review & Comment	\$	230.00
<input checked="" type="checkbox"/> Major Alteration/Addition to Existing	\$	310.00
<input type="checkbox"/> New Construction ≤ 2000 SF GFA	\$	310.00
<input type="checkbox"/> New Construction > 2000 SF GFA	\$	560.00
<input type="checkbox"/> Demolition – Accessory	\$	230.00
<input type="checkbox"/> Demolition – Primary	\$	560.00
<input type="checkbox"/> Relocation	\$	490.00

Page 1: HPB - Applicant Information Sheet

INSTRUCTIONS: Please print or type all information. The application must be filled out accurately and completely. Answer all questions. Do not leave an item blank. If an item does not apply, write N/A (Not Applicable). The following information requested is per Unified Land Development Regulations (ULDR). Incomplete applications will not be accepted.

NOTE: To be filled out by Department

Case Number	7-H-12
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NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	Francis O. Leckey
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	1302 Coontie Court, Fort Lauderdale, Florida 33312
E-mail Address	fleckey@resolvemarine.com
Phone Number	(954) 444-3434
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	Charles M. Jordan, Agent
Applicant / Agent's Signature	
Address, City, State, Zip	Post Office Box 1723, Fort Lauderdale, Florida 33302-1723
E-mail Address	cjordan@new-worldbuilders.com
Phone Number	954.336.2209
Letter of Consent Submitted	Yes

Development / Project Name	LECKEY RESIDENCE ALTERATIONS
Development / Project Address	<u>Existing:</u> 1302 SW 4th Court <u>New:</u> Same
Legal Description	VALENTINES SUB B-29 D LOT 9 E 109 LESS N 1745
Tax ID Folio Numbers (For all parcels in development)	5042 09 01 0110
Request / Description of Project	ALTERATION & ADDITION TO EXISTING RESIDENCE
Applicable ULDR Sections	Sections 47-17, 47-24.11
Total Estimated Cost of Project	\$150,000 (Including land costs)

Future Land Use Designation	LOW-MEDIUM RESIDENTIAL
Proposed Land Use Designation	LOW-MEDIUM RESIDENTIAL
Current Zoning Designation	RS-8/SBHD
Proposed Zoning Designation	RS-8/SBHD
Current Use of Property	Residential
Residential SF (and Type)	1,666.01 SF/Residence 'A' 1,069.17 SF; Residence 'B' 596.84 SF
Number of Residential Units	2 (Cottage)
Non-Residential SF (and Type)	798.76
Total Bldg. SF (include structured parking)	2,464.77 SF
Site Adjacent to Waterway	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Dimensional Requirements	Required	Proposed
Lot Size (SF / Acreage)	6,000.00 SF	28,634.4 SF (.65 acre)
Lot Density	5.28 D.U. allowable	2 (existing)
Lot Width	109.00'	109.00'
Building Height (Feet / Levels)	35' maximum	23.3' NGVD
Structure Length	N/A	78'
Floor Area Ratio	.60	.11 (3,150.68/28,634.4)
Lot Coverage	40%	18% - 5,227.4 SF
Open Space	60%	82% - 23,407.0 SF
Landscape Area	N/A	N/A
Parking Spaces	3	3

NOTE: State north, south, east or west for each yard.

Setbacks/Yards*	Required	Proposed
Front [E]	25'-0"	14'-6" (existing)
Side [S]	25'-0" (waterway)	54'-11 3/8" (waterway)
Side [N]	5'-0"	145'-10 3/4"
Rear [W]	15'-0"	16'-3 5/8"

Page 2: Technical Specifications of Application

TECHNICAL SPECIFICATIONS:

Applicant must provide a narrative indicating that the following criteria has been satisfied:

Description of the Project

1. **Yards.** Is a Yard Reduction or Minimum Distance Separation Required? () Yes (X) No
(If Yes, please complete the remainder of this section)
 - Front of Building Faces: () North () South (X) East () West () Other
 - Principal Structure Yard Setbacks (Feet): Front 14.5 Rear 16.3 Left Side 54.95 Right Side 145.90
Street Side? (X) N/A () Left () Right
 - Accessory Structure #1 Yard Setbacks (Feet): Front 68.7 Rear 12.6 Left Side 148 Right Side 96
Street Side? (X) N/A () Left () Right
 - Accessory Structure #2 Yard Setbacks (Feet): Front 5.0 Rear 80.0 Left Side 201.2 Right Side 30.9
Street Side? (X) N/A () Left () Right
 - Distance Between Structures (Feet): Principal Structure and Accessory Structure #1: 27.9'
Principal Structure and Accessory Structure #2: 87'
2. **Alterations to Non-Conforming Structures?** (X) Yes () No

Nature of Non-Conformity: (X) Yard Setbacks () Alterations exceed 50% of Value of Structure
() Existing Use NOT permitted under current zoning and alterations exceed 50% of value of structure
3. **Material and Design Guidelines.** Shown below are the Sailboat Bend Historic District Material and Design Guidelines. If you choose to use a material or design not listed in the guidelines, check the "Other*" box and be prepared to present to the Historic Preservation Board your justification for proposing a material or design which does not conform to the guidelines.
 - a) Exterior Building Walls () N/A
 - 1) (X) Stucco
Finish: () Float; (X) Smooth; () Coarse; () Machine Spray; () Dashed; () Trowelled; () Other* _____
 - 2) (X) Wood
Finish: (X) Clapboard, 3 1/2"-7" to the weather ; * () Shingles, 7" to the weather ;
(X) Board and Batten , 8"-12" to the weather; () Shiplap Siding Smooth Face, 4"-8" to the weather;
(X) Other* HardiPanel & HardiTrim on new addition only.
*Novelty Type Wood Siding on existing building.
 - 3) (X) Masonry
Finish: (X) Coral; () Keystone; () Split Face Block; () Truncated Block; () Stack Bond Block; () Other* _____
 - b) Windows and Doors () N/A
 - 1) () Glass Block
 - 2) (X) Glass: (X) Clear; () Stained; () Leaded; () Beveled; () Non-Reflective-Tinted; () Other* _____
 - 3) () Translucent Glass: () Side Elevation; () Rear Elevation; () Other* _____
 - 4) () Skylights: () Flat Skylights in Sloped Roofs; () Domed Skylights in Flat Roofs Behind Parapet; () Other* _____
 - 5) (X) Window Frame Materials: () Wood-Painted or Stained; () Wood-Vinyl Clad; (X) Wood-Aluminum Clad
() Steel; () Aluminum; () Other* _____
 - c) Configurations (X) N/A
 - 1) () Garage Doors - 9' Maximum Width; () Other* _____
 - 2) () Windows (check all applicable): () Square; () Rectangular; () Circular ; () Semi-Circular; () Semi-Ellipse;
() Octagonal; () Diamond; () Triangular-Gables End Only; () Other* _____
 - d) Window Operations () N/A
() Single Hung; (X) Double Hung; () Casement; () Fixed with Frame; (X) Awning;
() Sliders-Side and Rear Only; () Jalousie; (X) Louvers; (X) Other* Sliding French Doors
 - e) General () N/A
() Operable Shutters Sized to Match Openings; () Non-Operable Shutters*
() Jalousies: () Wood; () Metal
() Awnings: () Wood; () Canvas; Other* _____
() Interior Security Grilles
() Bahama Shutters: () Wood; () Other* _____
(X) Screened Windows; (X) Screened Doors; () Other* _____

Page 3: Technical Specifications of Application – continued

- f) Roofs and Gutters () N/A
- 1) Roofs Materials: () Terra-Cotta; () Cement Tiles; () Cedar Shakes; () Steel Standing Seam; 5-V Crimp
 () Galvanized Metal Shingles; () Fiberglass/Asphalt Shingles; () Copper Shingles;
 () Built-Up Roof behind Parapets; () Victorian Pattern; () Diamond Pattern;
 () Other* _____
- 2) Gutters: () Exposed Half-Round; () Copper; () ESP Aluminum; Galvanized Steel; () Wood-Lined with Metal;
 () Other* _____
- 3) Roof Configuration: Type - Simple Gable; Hip
 Pitch - No less than 3:12 and no more than 8:12 (< 3:12 or > 8:12 requires DRC approval)
 Shed Roof attached to a higher wall (Any pitch less than 3:12 requires HPB approval)
 () Tower Roof (Any slope is allowed)
 () Flat with Parapet; () Flat with Railings; Other* _____
 Rafters in Overhangs to be Exposed; Other* _____
 () Solar Collectors or Turbine Fans (Rear Part of Roof)

- g) Outbuildings (x) N/A
- () Outbuilding rider attached

- h) Garden Walls and Fences () N/A
- 1) Materials/Style: () Stucco Finish () Float; () Smooth; () Coarse; () Machine Spray;
 () Dashed or Trowelled;
 () Other* _____
- () Wood () Picket; () Lattice; () Vertical Wood Board;
 () Other* _____
- Masonry Coral; () Keystone; () Split Face Block;
 () Truncated Block; () Stacked Bond Block;
 () Other* _____
- () Metal () Wrought Iron; () ESP Aluminum;
 () Chainlink (Green Vinyl Coated);
 () Other* _____
- 2) Configurations: () Front Yards spacing between pickets maximum 6" clear

- i) Arcades and Porches () N/A
- Materials/Style: () Stucco Finish (At Piers and Arches only) () Float; () Smooth; () Coarse;
 () Dashed; () Trowelled; () Machine Spray;
 () Other* _____
- Wood (Posts and Columns)
- () Masonry (At Piers and Arches only) () Coral; () Keystone; () Split Face Block;
 () Truncated Block; () Stacked Bond Block;
 () Other* _____
- Metal (At Railings only) () Wrought Iron; () ESP Aluminum;
 Other* Cable in aluminum frame

Page 4: Submittal Checklist

SUBMITTAL CHECKLIST:

Applicant shall provide to Urban Design & Development, a complete application, one (1) full set of plans, and any additional requirements, as specified below. Within five (5) days of receipt, the Planning and Zoning staff shall review the application to determine its completeness and compliance with the ULDR.

For those applications that can be approved administratively (See Sec. 47-17.4), once the application is deemed complete the applicant shall submit seven (7) additional sets of plans/applications/photos with additional requirements as listed below. For cases that require a hearing before the Historic Preservation Board, the applicant will be required to submit one (1) original and fifteen (15) additional sets of plans/applications/photos with any additional requirements.

FOR ALL APPLICATIONS:

- Complete application. No items are to be left blank. If it does not apply, indicate with 'n/a'.
- Provide Proof of Ownership
- Property owners signature and/or agent letter signed by the property owner
- 1 sealed survey
- 1 vicinity map (typically on the survey)
- 1 zoning and land use map of lands within a 700' radius

NEW CONSTRUCTION & ALTERATION:

- Photos of that part of the building that will be modified (e.g., if front elevation is to be modified, supply a photo of the front and label it with the direction it faces [i.e. FRONT – NORTH]).
- 1 set of sealed drawings that include the site plan, building elevations and floor plan. All drawings must be drawn to scale. Scale cannot exceed 1" = 30'. In addition, drawings shall include the following: proposed exterior alterations, additions, changes, architectural design of buildings/structures, including proposed materials, textures and colors, including walls, walks, terraces, plantings, accessory buildings, signs and lights.
- 1 landscape plan for any multi family or non-residential development.
- 1 set of Product Approvals, Manufacturers' Specifications, or brochures for all building features to be modified (see page 2 of the application). For example, windows, doors, roofs, fences, siding, garages, carports, etc...

FOR NEW CONSTRUCTION ONLY:

- Photos or elevation drawings of buildings adjacent to the subject site.

DEMOLITION:

- Demolition Rider completely filled out, signed and dated.
- A site plan showing the proposed demolition.
- Photos of all sides of structure to be demolished and label the direction each side faces.
- Mail requirements: The applicant must submit a tax map, property owners list, stamped, addressed standard envelopes. The mail affidavit must be signed.
- Sign posting requirements: The applicant must post signs and return the signed affidavit prior to the meeting.

RELOCATION:

- A site plan showing the property as it currently exists and a proposed site plan of how the property will look once the building is relocated.
- Narrative describing what the plans are for the site to be vacated, whether the building or structure can be moved without sufficient damage to its physical integrity, and the compatibility of the building or structure to its proposed site and adjacent properties.
- Photos of all sides of structure to be relocated and label the direction each side faces. If structure is to be relocated to another site, photos of that site as well.

HISTORIC DESIGNATION:

- Application (page 1 and 2) must be COMPLETELY FILLED OUT (all blanks filled-in or marked N/A). Proof of ownership if owner is applicant. If applicant is not property owner, this shall be noted on the application).
- Legal description of the landmark site, historic building or district written out.
- Photographs of subject building from all four sides and label the direction each side faces.
- Narrative describing (1) the architectural, historical, or archaeological significance of the proposed landmark, landmark site, (2) date of construction of the structures on the property, (3) names of current and past owners and, if possible, their dates of ownership.

I acknowledge that the Required Documentation and Technical Specifications of the application are met:

Print Name James N. Archer, Architect

PE / AIA Seal

Signature _____

Date April 9, 2012

For Urban Design & Development staff use only:

Date _____

Received By _____

Tech. Specs Reviewed By _____

Case No. _____

Francis O. Leckey

1302 SW 4th Court
Fort Lauderdale, Florida 33312

LETTER OF CONSENT

March 24, 2012

CITY OF FORT LAUDERDALE
Urban Design & Development
700 NW 19th Avenue
Fort Lauderdale, FL 33311

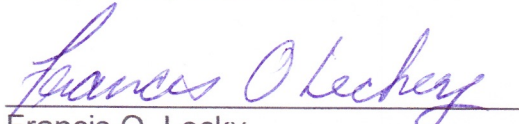
Property Address: 1302 SW 4th Court
Fort Lauderdale, FL 33312

To Whom It May Concern:

I am the Owner of the above-referenced property. This letter serves to authorize Charles M. Jordan to act as my agent in any matter concerning the project approval process on the above-referenced property.


Thank you.

Respectfully submitted,

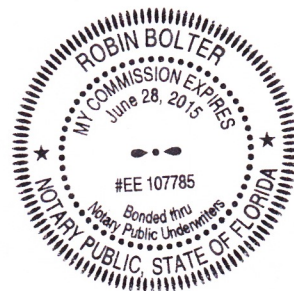

Francis O. Lecky

STATE OF FLORIDA }
COUNTY OF BROWARD }

Sworn to and subscribed before me this 24th day of March, 2012 at Broward County, Florida.


Notary Public, State of Florida at Large

SEAL:





Site Address	1302 SW 4 COURT , FORT LAUDERDALE	ID #	5042 09 01 0110
Property Owner	LECKEY,FRANCIS O	Millage	0312
Mailing Address	1302 SW 4 CT FORT LAUDERDALE FL 33312	Use	01

Abbreviated Legal Description	VALENTINES SUB B-29 D LOT 9 E 109 LESS N 1745
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The just values displayed below were set in compliance with **Sec. 193.011, Fla. Stat.**, and include a reduction for costs of sale and other adjustments required by **Sec. 193.011(8)**.

Property Assessment Values					
Click here to see 2011 Exemptions and Taxable Values to be reflected on Nov. 1, 2011 tax bill.					
Year	Land	Building	Just / Market Value	Assessed / SOH Value	Tax
2012	\$585,200	\$7,570	\$592,770	\$592,770	
2011	\$655,330	\$7,570	\$662,900	\$662,900	\$13,584.00
2010	\$731,500	\$7,570	\$739,070	\$739,070	\$15,438.47

IMPORTANT: The 2012 values currently shown are "roll over" values from 2011. These numbers will change frequently online as we make various adjustments until they are finalized on June 1. Please check back here AFTER June 1, 2012, to see the actual proposed 2012 assessments and portability values.

2012 Exemptions and Taxable Values by Taxing Authority				
	County	School Board	Municipal	Independent
Just Value	\$592,770	\$592,770	\$592,770	\$592,770
Portability	0	0	0	0
Assessed/SOH	\$592,770	\$592,770	\$592,770	\$592,770
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exempt Type	0	0	0	0
Taxable	\$592,770	\$592,770	\$592,770	\$592,770

Sales History					Land Calculations		
Date	Type	Price	Book	Page	Price	Factor	Type
6/17/2009	PR*-D	\$815,000	46315	1138	\$20.00	29,260	SF
10/24/1988	WD	\$205,000	15894	350			
11/26/1979	PRD	\$98,500	8594	24			
					Adj. Bldg. S.F. (See Sketch)		1695

* Denotes Multi-Parcel Sale (See Deed)

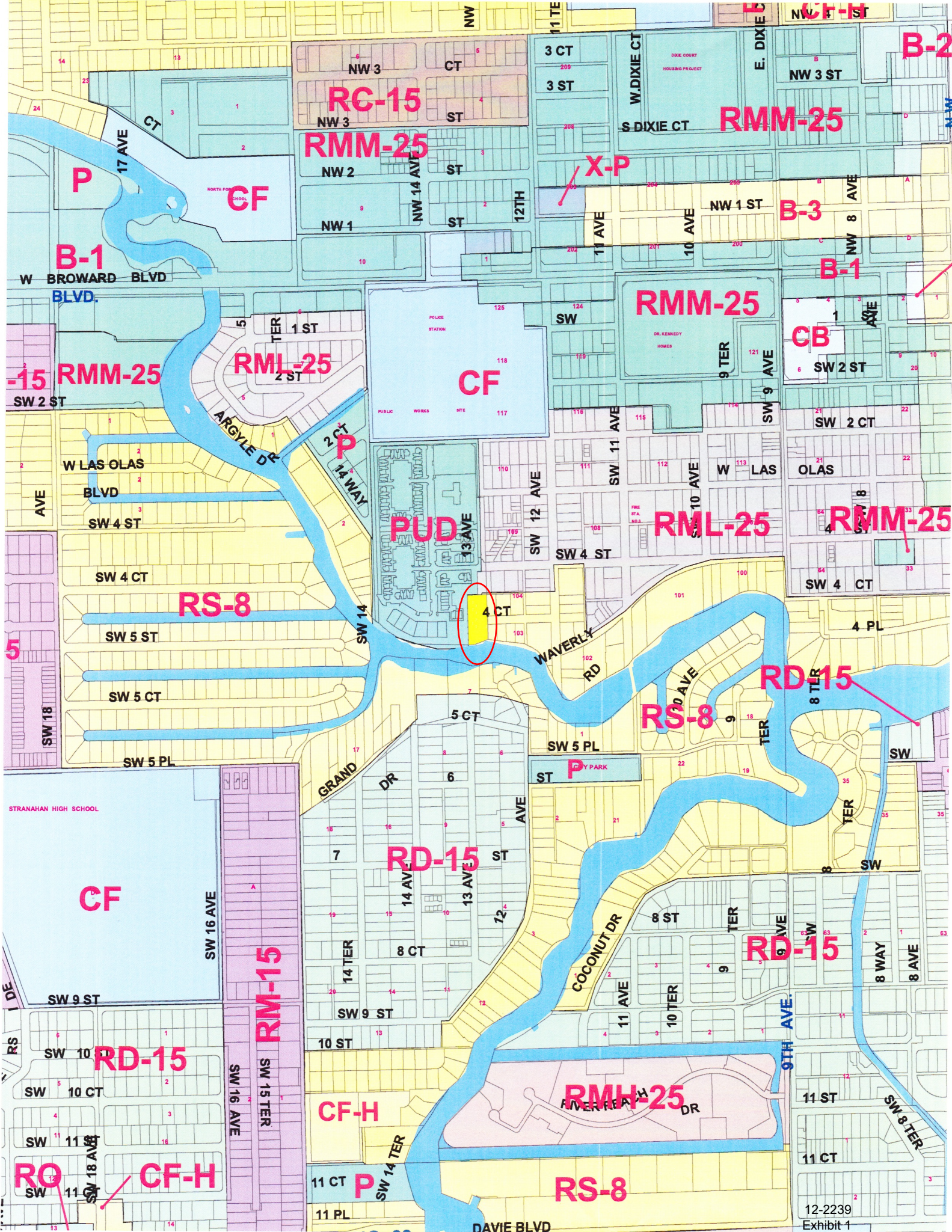
Special Assessments					
Fire	Garbage	Light	Drainage	Improvement	Safe
03					
R					
2					

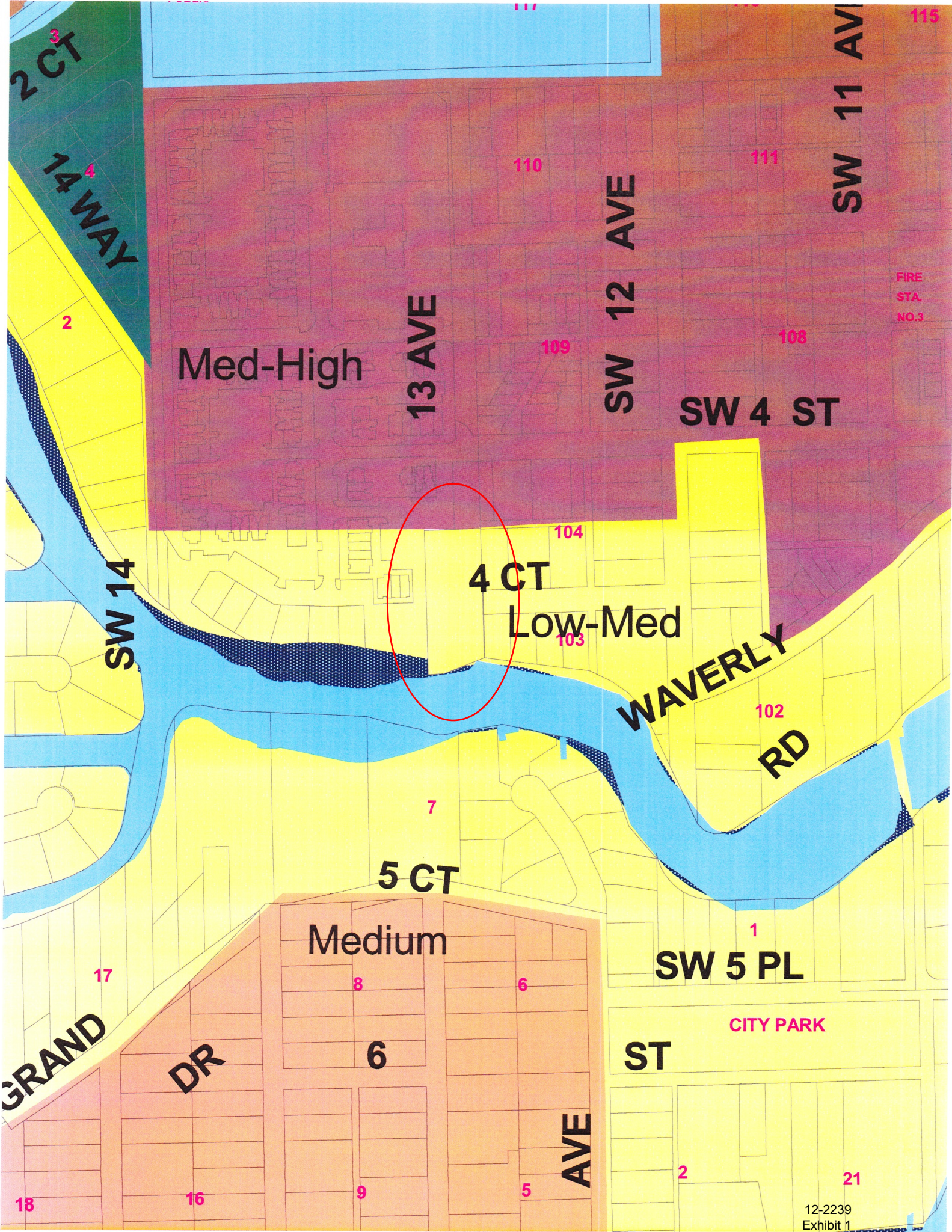
- Layers**
- Highways
 - Major Roads
 - Twn-Rng-Sec
 - Municipalities
 - City Limits
 - Zip Codes
 - CRA Boundaries
 - City Zoning Codes
 - County Land Use
 - Comm Appraisal Districts
 - Resid Appraisal Districts
 - Subdiv. Number
 - Subdiv. Name
 - No Sales
 - Streets
 - Parcels
 - Aerials (2012)
 - County Boundary



SELECTED PROPERTY-FOLIO: 504209010110
Source: Broward County Property Appraiser

2012 AERIALS
0 30 ft





Med-High

13 AVE

SW 12 AVE

SW 11 AV

SW 4 ST

4 CT

Low-Med

WAVERLY RD

5 CT

Medium

SW 5 PL

GRAND DR

DR

AVE

ST

CITY PARK

FIRE STA. NO.3



Broward County Historic Property Tax Exemption Application Form

Authorized Pursuant to Article VI, Chapter 31½ Broward County Code

I. Name of Applicant (Owner or Authorized Agent): Charles M. Jordan, authorized agent

II. Applicant's Address: Post Office Box 1723, Fort Lauderdale, Florida 33302-1723

III. Historic Property Address (if different from II above): 1302 Coontie Court (SW 4th Court)

IV. Historic Property Identification No.: 5042-09-01-0110

V. Is the Historic Property Exemption Being Sought for: (check one below)

- A. the entire property B. a portion of the property

If the exemption is not being sought for the entire property, provide a legal description of that portion of the property to which the exemption applies:

VI. Other Historic Property Information:

A. Common name for the historic property: Moesly/Leckey House

B. Is this property recognized primarily as an archaeological or historical site? If historical, please indicate the known or approximate date of construction of the improvements: 1924

C. If known, include the Florida Master Site File Number: 8-BD-

VII. Designation Status of the Historic Property (check each category that may apply):

- A. Individual listing in the National Register of Historic Places
B. Contributing property within a National Register of Historic Places listed district
C. Individual listing under the provisions of a local historic preservation ordinance
D. Contributing property within an historic district designated under the provisions of a local historic preservation ordinance.

VIII. Please Check that which Applies (check at least one):

A. If listed on the National Register of Historic Places, as either an individual or contributing property, please indicate the date of listing by the Secretary of the Interior:

B. If designated by a local historic preservation ordinance within Broward County, as either an individual or contributing property, please indicate whether it was by:

1. Broward County and the date of designation: _____ or

2. by a municipality. If by a municipality, please indicate:

a. The name of the municipality City of Fort Lauderdale

b. The date of designation: September 15, 1992

IX. Type of historic property exemption sought:

A. 100% of the assessed value of improvements from rehabilitation, restoration or renovation (Broward County Code 31 ½-103 and Florida Statute 196.1997)

1. Has a Florida Department of State Part 1 Preconstruction Application been submitted to the Broward County Historical Commission?

yes no

2. If yes, on what date was the completed Part 1 Preconstruction Application granted initial approval by the board of the Broward County Historical Commission? August 8, 2012

a. Assessed value of improvements, excluding land, at the time the Part 1 Preconstruction Application was approved by the board of the Broward County Historical Commission: \$7,570.00

3. If the project is located within a municipality with a historic preservation ordinance, please indicate the date that the rehabilitation work submitted for review in the Part 1 Preconstruction Application was reviewed and approved by that municipality's historic preservation board:

April 9, 2012

(The Broward County Historical Commission reserves the right to review, deny or request additional work for those applications that it believes does not comply with or fully meet the Secretary of the Interior's Standards for Rehabilitation or with local law.)

4. Date that the completed Part 2 Request for Review of Completed Work Application was approved by the board of the Broward County Historical Commission: _____
- B. _____ 100% of the assessed value of a property used for nonprofit or governmental purposes that is regularly open to the public and the improvements are equal to at least 50% of the total assessed value of the property (Broward County Code 31 ½-103(b) and Florida Statute 196.1998).
1. Please describe the nonprofit or governmental use of the property: _____
2. Please indicate the assessed value of the improvements: _____
3. Please indicate the total assessed value of the property: _____
- C. _____ Assessment for commercial or certain nonprofit uses solely on the basis of character or use (Broward County Code 31 ½-109 and Florida Statute Section 193.503).
- D. _____ 50% of the assessed value of the property used for commercial or certain nonprofit purposes (Broward County Code 31 ½-110 and Florida Statute Section 196.1961).

X. For exemption applications for commercial and certain nonprofit properties only (complete those that apply).

- A. _____ Commercial
1. Describe the type of commercial activity at the property: _____
2. Is this property used as legally permitted and zoned, multi-family apartment building?
_____ yes _____ no If yes, please indicate the number of units: _____
- B. _____ Nonprofit
2. Describe the type of taxable nonprofit activity at the property: _____
- C. For either commercial or taxable nonprofit properties, please indicate whether a city, county or state license is necessary for the activities conducted on the premises: _____ yes _____ no
1. If yes, please describe the type of license necessary: _____
2. If yes, is a copy of the license attached to this application? _____ yes _____ no

**XI. Broward County Historical Commission Findings and Preservation Exemption Covenant.
(To be filled out by the Broward County Historical Commission)**

- A. The board of the Broward County Historical Commission reviewed this application for compliance with the provisions of the Broward County Code regarding tax exemptions for historic properties. On _____ (date) the Historical Commission reviewed and recommended for _____ approval or _____ denial of this application for historic property tax exemption.
- B. The applicant has entered into a covenant for the term for which the exemption is granted.
This covenant was executed by the applicant on: _____

XII. Application Review Revenue Implications for Fiscal Year

(To Be Filled out by the Property Appraiser's Office)

- A. Total taxable value of all property within the county: _____
- B. Total exempted value of all property in the county, that has been approved to receive historic preservation ad valorem tax exemption for the current fiscal year: _____
- C. Total exempted value of applicant's historic property as a result of this exemption: _____

Please complete and return to:

County Historic Preservation Office
Broward County Historical Commission
301 S.W. 13th Avenue
Fort Lauderdale, FL 33312
Phone: 954-357-5554 • FAX: 954-357-5522

**Historic Preservation Property Tax Exemption Application
Part 1 – Evaluation of Property Eligibility**

Read the attached instructions carefully before completing this application. Your application cannot be evaluated unless it is complete and all required supporting materials are provided. In the event of any discrepancy between the application form and other supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form shall take precedence. Type or print clearly in black ink. If additional space is needed, attach additional sheets.

GENERAL INFORMATION (To be completed by all applicants)

1. Property identification and location:

Property Identification Number (from tax records): 5042-09-01-0110 *Attach legal description of property*

Address of property: Street 1302 SW 4 Court

City Fort Lauderdale County Broward Zip Code 33312

- Individually National Register listed Locally designated historic property or landmark*
 In a National Register district In a locally designated district

** For applications submitted to the Division of Historical Resources, attach a copy of the local designation report for the property and the official correspondence notifying the property owner of designation.*

Name of historic district Sailboat Bend Historic Preservation

For locally designated historic properties or landmarks, or properties located in locally designated historic districts, provide the following additional information:

Name of local historic preservation agency/office City of Fort Lauderdale, Urban Design & Development

Mailing Address 700 NW 19th Avenue

City Fort Lauderdale State Florida Zip Code 33311

Telephone Number (954) 828-8958

2. Type of request:

- Exemption under 196.1997, F.S. (standard exemption)
 Exemption under 196.1998, F.S. (exemption for properties occupied by non-profit organizations or government agencies and regularly open to the public) *If applying under s. 196.1998, F.S., complete Question 9 on page five.*

3. Owner information:

Name of individual or organization owning the property Francis O. Leckey

Mailing address 1302 SW 4 Court

City Fort Lauderdale State Florida Zip code 33312

Daytime Telephone Number (954) 766-2600

If the property is in multiple ownership, attach a list of all owners with their mailing addresses.

Page Two – Historic Preservation Property Tax Exemption Application

Property Identification Number 5042-09-01-0110

Property Address 1302 SW 4 Court, Fort Lauderdale

4. Owner Attestation: I hereby attest that the information I have provided is, to the best of my knowledge, correct, and that I own the property described above or that I am legally the authority in charge of the property. Further, by submission of this Application, I agree to allow access to the property by representatives of the Division of Historical Resources or the Local Historic Preservation Office, where such office exists, and appropriate representatives of the local government from which the exemption is being requested, for the purpose of verification of information provided in this Application. I also understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the local government granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption.

Francis O. Leckey April 9, 2012
Name Signature Charles M. Jordan, Agent Date

Complete the following if signing for an organization or multiple owners:

Title Organization name

EVALUATION OF PROPERTY ELIGIBILITY

(To be completed only for properties in historic or archaeological districts):

5. Description of Physical Appearance:
The Leckey Residence is a wood frame vernacular structure originally built circa 1924. The original structure is a front and rear facing gable with a cross gable front porch. The house was oriented to New River to the south. The interior is laid out in thirds: the east 1/3 is the bedroom, the center 1/3 is the living room and the west 1/3 is the kitchen and dining area.
It has had several modifications since it was built:
1. North Side Porch enclosure (circa 1945): If the Secretary of the Interior's Guidelines had been applied at that time, it is doubtful that this action would have been taken.
2. South Side Porch enclosure (circa 1960): The original rear porch was enclosed adding space to the single bedroom.
3. South Side Porch addition with a modified pitch & Side and Rear Porch addition (1997): This addition of a large amount of exterior porch space was done with Historic Preservation Board approval. Part of the rear porch roof is used in the proposed alterations to provide a link to the proposed 2 story addition without compromising the original structure.

Date of Construction 1924 Date(s) of Alteration(s) 1945, 1960, 1997

Has building been moved? ()Yes (x)No If so, when? _____

6. Statement of Significance:

The Leckey Residence is recognized as a contributing resource in the Sailboat Bend Historic District. Built in the wood frame vernacular that is the predominant building type in the district, this building is also located on the North Fork of New River, a navigable waterway. As with many historic buildings on the river, the Leckey Residence has a significant elevation facing the waterfront, in addition to having a street facing gable and a cross gable enclosed side porch.

The original owners, William & Helena Moesly were early Fort Lauderdale pioneers.

Page Three – Historic Preservation Property Tax Exemption Application

Property Identification Number 5042-09-01-0110

Property Address 1302 SW 4 Court, Fort Lauderdale, Florida 33312

7. Photographs and maps:

Attach photographs and maps to application.

See attached Project Summary with related photographs.

Historic Preservation Property Tax Exemption Application
Part 2 – Description of Improvements

(To be completed by all applicants):

Complete the blocks below. Include site work, new construction, alterations, etc.

Property Identification Number 5042-09-01-0110

Property Address 1302 SW 4 Court, Fort Lauderdale, Florida 33312

Feature 1

Feature Enclosed Side Porch-North Elevation
 Approx. date of feature 1924/1945

Describe existing feature and its condition:

The house was built in 1924 with an open front porch. Sometime, probably around 1945, the porch was enclosed and the entry door was relocated and brought down to grade level.

Photo no. 3 Drawing no. A-1, A-5

Describe work and impact on existing feature:

The entry door is removed and the fenestration pattern is continued to fill the space which was originally an open part of the porch.

In addition, the entry door previously added below the FEMA flood plain of 7.0 NGVD Not only makes that portion of the building prone to flooding, but also causes the entire building to be ineligible for flood insurance credits that would otherwise be available, since the rest of the structure is located well above the 100 year flood plain.

Feature 2

Feature Coral Rock
 Approx. date of feature 1924

Describe existing feature and its condition:

Coral rock was used as a filler between concrete piers in the original foundation. It is also used in the small retaining wall in the yard facing the river.

Photo no. 2, 6 Drawing no. A-5, Survey

Describe work and impact on existing feature:

Coral rock was chosen as a cladding for the single-story connection between the original building and the two-story part of the addition.

An extension of the retaining wall is proposed in coral rock. Usage of this indigenous material as a cladding to differentiate between the historic building and the new single story part of the addition honors the historic material without mimicking its original use.

Feature 3

Feature Open Rear Porch - West Elevation
 Approx. date of feature 1997

Describe existing feature and its condition:

The Rear Porch is a west-facing open gable. Rough grade lumber was used as a finish material and strapping and brackets are exposed. The floor is a wood deck with 2"x6" planks, elevated to a level one step down from the rear door.

Photo no. 4 Drawing no. A-1, A-5

Describe work and impact on existing feature:

Since the City of Fort Lauderdale Urban Land Use Regulations (ULDR) have been interpreted to require that homes in this zoning district may not have open breezeways to connect portions of the residence, the 1997 rear porch structure is used to connect to the new two story part of the addition. Using this existing roof and enclosing this section provides the linkage between the original house and the two story part of the addition. Since the porch was a recent addition, there is no negative impact on the historic resource.

Page Five – Historic Preservation Property Tax Exemption Application

Property Identification Number 5042-09-01-0110

Property Address 1302 SW 4 Court, Fort Lauderdale, Florida 33312

Feature 4

<p>Feature <u>Rear Exterior Wall - West Elevation</u> Approx. date of feature <u>1924</u></p> <p>Describe existing feature and its condition: The rear of the historic building has a small single-hung window and an entry door in a wall clad in novelty siding.</p> <p>Photo no. <u>4</u> Drawing no. <u>A-1, A-3, A-5</u></p>	<p>Describe work and impact on existing feature: The portion of the rear porch wall that lies under the west facing open gable will be enclosed as part of a new kitchen. This is the least intrusive way to connect the addition to the historic resource, while meeting the City of Fort Lauderdale ULDR. The window will be salvaged for use on some future project. The novelty siding will be salvaged to use on enclosed side porch to repair the section where the side door is being removed.</p>
---	---

Feature 5

<p>Feature <u>Open Gable Facing South</u> Approx. date of feature <u>1997</u></p> <p>Describe existing feature and its condition: The existing south facing open gable porch roof structure was constructed in 1997.</p> <p>Photo no. <u>2, 4</u> Drawing no. <u>A-5</u></p>	<p>Describe work and impact on existing feature: To provide a higher level of finish, while functionally blocking the south sun, wood louvers are added. This will also be carried forward in the balcony gable facing south in the new two story part of the addition.</p>
--	---

Feature 6

<p>Feature <u>Fiberglass Shingle Roofing</u> Approx. date of feature <u>1995</u></p> <p>Describe existing feature and its condition: The existing building has fiberglass/asphalt shingle roofing nearing the end of its life cycle. There is no record of the original roofing material.</p> <p>Photo no. <u>2, 3</u> Drawing no. <u>A-5</u></p>	<p>Describe work and impact on existing feature: The existing roofing will be replaced by 5-V Crimp Metal Roofing, a durable material historically used in this area. By using a durable, wind-resistant material, the historic resource - including the improvements - are protected for generations.</p>
---	--

Page Seven – Historic Preservation Property Tax Exemption Application

Property Identification Number 5042-09-01-0110

Property Address 1302 SW 4 Court, Fort Lauderdale, Florida 33312

Property Use (To be completed by all applicants):

1. Use(s) before improvement: Single-family Residence

2. Proposed use(s) after improvement: Single-family Residence

Special Exemption (Complete only if applying for exemption under s. 196.1998, F.S. (property occupied by non-profit organization or government agency and regularly open to the public):

NOTE: Applicants should check with local officials to determine whether or not the exemption program offered by their municipal government and/or county allows the special exemption provided by s. 196.1998, F.S.

1. Identify the governmental agency or non-profit organization that occupies the building or archaeological site:

2. How often does this organization or agency use the building or archaeological site? _____

3. For buildings, indicate the total useable area of the building in square feet. (For archaeological sites, indicate the total area of the upland component in acres) _____ square feet() acres()

4. How much area does the organization or agency use? _____ square feet() acres()

5. What percentage of the usable area does the organization or agency use? _____%

6. Is the property open to the public ()Yes ()No If so, when? _____

7. Are there regular hours? ()Yes ()No If so, what are they? _____

8. Is the property also open by appointment? ()Yes ()No

9. Is the property open only by appointment? ()Yes ()No

PART 1 APPLICATION REVIEW
For Local Historic Preservation Office or Division Use Only

Property Identification Number 5042-09-01-0110

Property Address 1302 SW 4 Court, Fort Lauderdale, Florida 33312

The Local Preservation Office () Division has reviewed the Historic Preservation Property Tax Exemption Application for the above named property and hereby:

- Certifies that the above referenced property **qualifies as a historic property** consistent with the provisions of s. 196.1997 (11), F.S.
- Certifies that the above referenced property **does not qualify as a historic property** consistent with the provisions of s. 196.1997 (11), F.S.
- Certifies that the above referenced property **qualifies for the special exemption** provided under s. 196.1998, F.S., for properties occupied by non-profit organizations or government agencies and regularly open to the public.
- Certifies that the above referenced property **does not qualify for the special exemption** provided under s. 196.1998, F.S.

Review Comments: _____

Additional Review Comments attached? Yes() No()

Signature _____
Typed or printed name _____
Title _____
Date _____

PART 2 APPLICATION REVIEW
For Local Historic Preservation Office or Division Use Only

Property Identification Number 5042-09-01-0110

Property Address 1302 SW 4 Court, Fort Lauderdale, Florida 33312

The Local Preservation Office () Division has reviewed the Historic Preservation Property Tax Exemption Application for the above named property and hereby:

Determines that improvements to the above referenced property **are consistent** with the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and the criteria set forth in Chapter 1A-38, F.A.C.

() Determines that improvements to the above referenced property **are not consistent with the Secretary of Interior's Standards** for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and the criteria set forth in Chapter 1A-38, F.A.C. All work not consistent with the referenced Standards, Guidelines and criteria are identified in the Review Comments. *Recommendations to assist the applicant in bringing the proposed work into compliance with the referenced Standards, Guidelines and criteria are provided in the Review Comments.*

Review Comments: _____

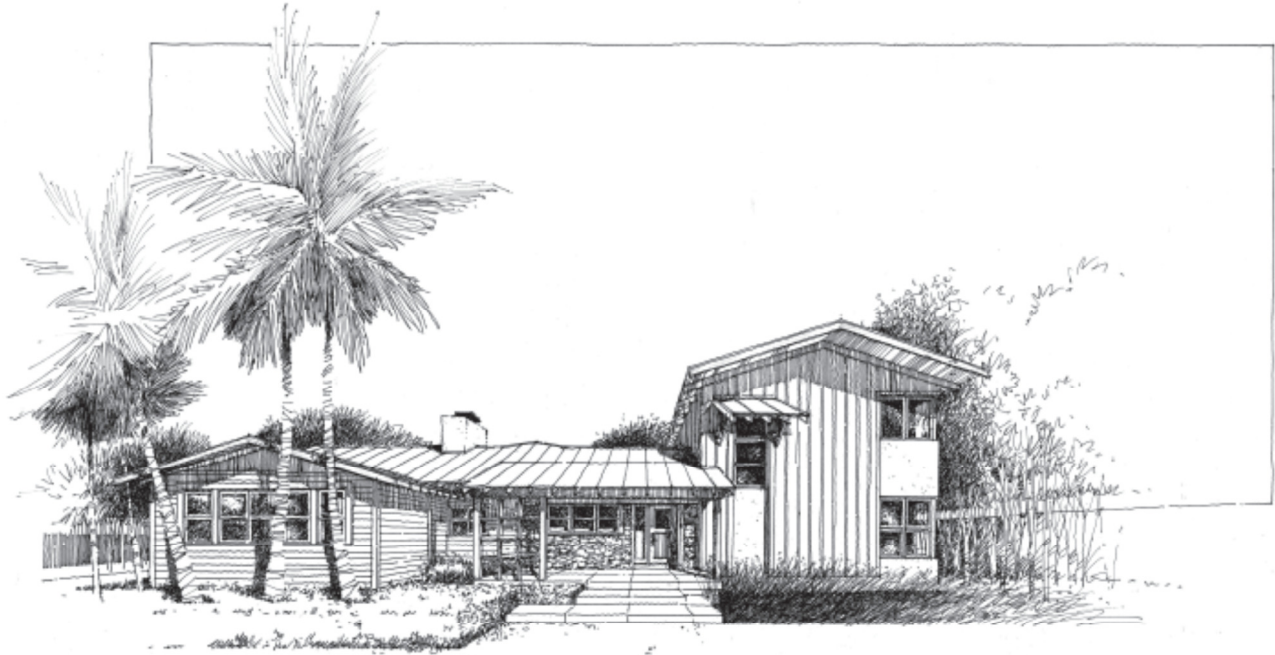
Additional Review Comments attached? Yes() No()

Signature _____

Typed or printed name _____

Title _____

Date _____



**LECKEY
RESIDENCE
ALTERATION**
1802 ASPHTE COURT FT. LAUDERDALE, FLORIDA
JAMES ARCHER ARCHITECT, P.A.

**SUBMITTAL FOR
HISTORIC PRESERVATION BOARD
MAY 7, 2012**

CASE # 7-H-12

**CERTIFICATE OF APPROPRIATENESS
&
APPLICATION FOR HISTORIC PROPERTY TAX EXEMPTION**

**ARCHITECT: JAMES N. ARCHER, P.A.
PROJECT MANAGER: NEW WORLD BUILDERS, INC.**

LECKEY RESIDENCE ALTERATION
1302 COONTIE COURT (SW 4 COURT)
FORT LAUDERDALE, FL 33312

PROJECT SUMMARY

The original house is a wood frame vernacular structure with an open cross-gabled front porch and modified pitch rear porch. Later, the front porch was enclosed and the entry door brought forward and down to the level of the grade.

Starting in 1995, alterations were approved by the Historic Preservation Board to add a large covered porch to the south and the west sides of the building. Wood decking was used as the deck floor under the new porch roofs.

Also on the property is a concrete block & stucco cottage circa 1945, indicated as Existing Residence 'B'.

In 1997, a free-standing carport was built and later converted into a garage. Novelty siding similar to the historic primary house was used to clad this new wood-frame structure.

The modified wood frame vernacular house and addition, indicated as Existing Residence 'A', is the subject of this Certificate of Appropriateness application. This one bedroom house is too small for the owner's needs and it is their desire to enlarge the house with an addition that would meet current needs, while being respectful of the original historic house.

Care has been taken to distinguish the original house from the addition, pursuant to the "United States Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings."

To distinguish between the new and the old, new cladding materials were chosen to differentiate the historic construction from the new construction. The indigenous coral rock material was used as a filler in the original foundation, below the wood siding on the house as well as in the riverfront yard as a low retaining wall. The proposal uses a similar type of material to clad the exterior of the connection between the single story original house and the new two story portion of the addition. In this section, the existing roof structure is used and extended to meet the two story section. A new kitchen is provided in this area.

The two story portion adds a bedroom and family room on the first floor and a master suite on the second floor. The siding and exterior finishes are a combination of board & batten concrete composition board siding and smooth stucco, clearly distinguishing the addition as a product of its own time.

All new windows, hinged doors and sliding glass doors are aluminum clad wood. Roofing specified is 5-V Crimp Galvalume Metal roofing, providing compatible, long-term protection for both the new addition and the existing historic portion of the home.

The proposed alterations take into consideration the general criteria and additional guidelines specified in the ULDR, Section 47-24.11 c., including the "United States Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings." The result is a compatible alteration to a contributing historic resource in the Sailboat Bend Historic District.

EXISTING RESIDENCE 'A' – SUBJECT BUILDING



1 Front (East) Elevation



4 Residence 'A' – Rear (West) Elevation



2 Residence 'A' – Left Side (South) Elevation



5 Residence 'A' – Right Side (South) Elevation – River Frontage



3 Residence 'A' – Right Side (North) Elevation



6 Residence 'A' - Coral Rock Filler in Foundation

EXISTING GARAGE



7 Garage - East Elevation w/Lennar Townhouses in background, adjacent to the west



8 Garage - South Elevation (faces Existing Residence A)



9 Garage - North Elevation

EXISTING RESIDENCE 'B'



10 Existing Residence B - South Elevation - (faces Existing Residence A)



11 Existing Residence B - West Elevation



12 Existing Residence B - North Elevation

ADJACENT PROPERTIES & STREETScape



13 Adjacent Property to the North - 3 story Townhouse



16 Adjacent Property to the East – South Side of Coontie Court from Street Frontage (1224 Coontie Court)



14 Adjacent Property to the West - 3 story Townhouse



17 Adjacent Property to the east, North side of Coontie Court from Street Frontage (1225 Coontie Court)



15 Adjacent Property to the East – South Side of Coontie Court from Subject Property (1224 Coontie Court, with 1220 and 1216 Coontie Court in the Background)



18 Streetscape looking east from subject property



Architect Series® Double Hung Window



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Interior view



Exterior view



My Options

Hardware: Champagne - Lock
 Interior Finish: Unfinished Pine
 Exterior Finish: Primed Pine
 Glass Options: Advanced Low-E Insulating Glass with Argon

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Architect Series® Awning Window



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- Energy Efficient
- Easy to Clean
- Low Maintenance Exteriors
- Virtually Unlimited Design Options
- Fine-Furniture Detailing

Interior view



Exterior view



My Options

- Hardware: Champagne
- Interior Finish: Unfinished Pine
- Exterior Finish: Primed Pine
- Glass Options: Advanced Low-E Insulating Glass with Argon



Architect Series® Sliding Patio Door



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- Virtually Unlimited Design Options
- Fine-Furniture Detailing

Interior view



Exterior view

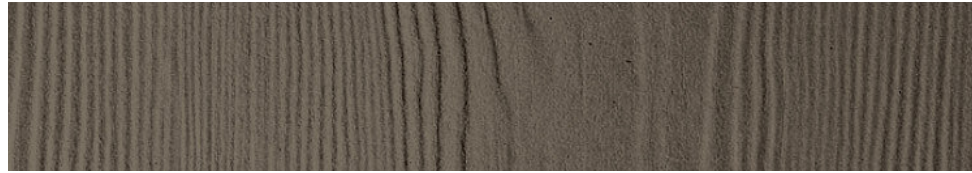


My Options

- Interior Finish: Unfinished Pine
- Glass Options: Double-Pane Advanced Low-E Insulating Glass with Argon*
- Hardware: Satin Nickel
- Exterior Finish: White

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For projects that call for vertical siding, HardiePanel® vertical siding provides value and long-lasting performance. As with all of our exterior products, HardiePanel® is engineered for climate and will stand up against the harshest weather conditions. When combined with HardieTrim® Batten boards, HardiePanel vertical siding gives you a traditional board-and-batten look. HardiePanel vertical siding comes with our strongest warranty ever; a 30 year nonprorated, transferable, limited warranty.

- PRODUCT INFORMATION
- WARRANTY
- INSTALLATION
- FAQ

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HardiePanel Cedarmill® Vertical Siding



Thickness: 5/16"
Weight: 2.3 lbs./sq. ft.

WIDTHS	4'X8'	4'X9'	4'X10'
COLORPLUS®	✓		✓
PRIMED	✓	✓	✓

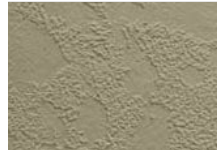
Smooth



Thickness: 5/16"
Weight: 2.3 lbs./sq. ft.

WIDTHS	4'X8'	4'X9'	4'X10'
COLORPLUS®	✓		✓
PRIMED	✓	✓	✓

Stucco



Thickness: 5/16"
Weight: 2.3 lbs./sq. ft.

WIDTHS	4'X8'	4'X9'	4'X10'
COLORPLUS®	✓		✓
PRIMED	✓	✓	✓

Sierra 8



Thickness: 5/16"
Weight: 2.3 lbs./sq. ft.

WIDTHS	4'X8'	4'X9'	4'X10'
COLORPLUS®	✓		✓
PRIMED	✓	✓	✓



Products / Exterior / HardieTrim® Boards

Our fiber cement trim and fascia add the finishing touches to a beautiful, lasting James Hardie home, and are all engineered for climate, so you get the right product for your home no matter how harsh the weather is where you live. HardieTrim® boards provide unmatched durability and allow you to create a variety of design possibilities for trim, gables, corners, fascia, windows, doors, column wraps, rakes, friezes, decorative trim and other non-structural architectural elements. HardieTrim boards come with a 15-year transferable, limited warranty.

- PRODUCT INFORMATION
- PHOTOS/VIDEOS
- WARRANTY
- INSTALLATION
- COMPARE

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Batten Boards Rustic



Thickness: 3/4"
Weight: 3.9 lbs./sq. ft.
Length: 12'

WIDTHS (ACTUAL) 2.50"
COLORPLUS®
PRIMED

Batten Boards Smooth



Thickness: 3/4"
Weight: 3.9 lbs./sq. ft.
Length: 12'

WIDTHS (ACTUAL) 2.50"
COLORPLUS®
PRIMED

4/4 Boards Rustic



Thickness: 3/4"
Weight: 3.8 lbs./sq. ft.
Length: 12' Boards

WIDTHS (ACTUAL)	3.50"	5.50"	7.25"	9.25"	11.25"
COLORPLUS®	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
PRIMED	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

4/4 Boards Smooth



Thickness: 3/4"
Weight: 3.8 lbs./sq. ft.
Length: 12' Boards

WIDTHS (ACTUAL)	3.50"	9.25"	11.25"
COLORPLUS®	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
PRIMED	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Crown Moulding 10'



Thickness: 1"
 Weight: 3.9 lbs./sq. ft.
 Length: 10'

WIDTHS (ACTUAL)	3.25"	5.25"
PRIMED	✓	✓

5/4 HardieTrim® Board Rustic



Thickness: 1"
 Weight: 7.12 lbs./sq. ft.
 Length: 12' Boards

WIDTHS (ACTUAL)	3.50"	5.50"	7.25"	9.25"	11.25"
COLORPLUS®	✓	✓	✓	✓	✓
PRIMED	✓	✓	✓	✓	✓



Your Roof. For Life.™

5V



Description

For generations, 5V roofing panels have been used on farm buildings and other rural projects. Today, many homeowners have recognized that the timeless design is ideal for homes as well. Our 5V panels are especially popular in Florida and other coastal areas. Designed with an enhanced "U" over "V" profile to provide maximum leak resistance.

Gauges

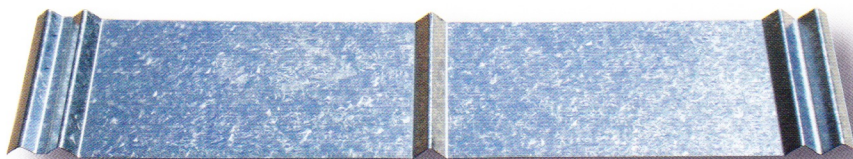
- Utility, 29, 26

Finish Options

- 9 Paint Colors
- Energy Star Certified Colors Available
- Unpainted Galvalume
- Unpainted Galvanized

Approvals and Certifications

- Metal Construction Association Certified
- Miami-Dade Approved for Wind Uplift
- Florida Building Code Approved
- Energy Star Certified
- Texas Department of Insurance Approved
- Highest UL Ratings for Wind Uplift, Fire and Impact Resistance



CERTIFICATIONS & TESTING

- Dade County NOA #05-0919.07
- Florida Building Code Approval #FL4586.1, #FL6144.3
- Texas Department of Insurance Approval #119
- UL 790 Fire Resistance Class 4
- UL 2218 Impact Resistance Class 4
- UL 580 Uplift UL Class 90 CONSTRUCTION #579

ALLOWABLE UNIFORM LOADS PER SQUARE FOOT

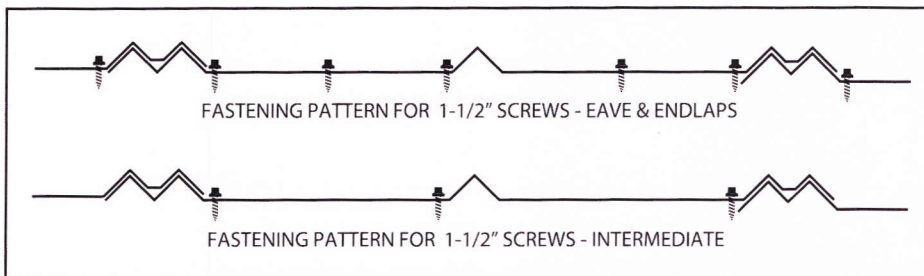
Maximum purlin spacing for roof 2' on center and maximum girt spacing for sidewall 3' on center. Place fasteners in the pan of panel for best results. (Three spans or more)

SPAN (INCHES)	LIVE LOAD (lb/ft ²)							WIND LOAD (lb/ft ²)						
	12"	15"	18"	21"	24"	30"	36"	12"	15"	18"	21"	24"	30"	36"
29 Gauge	146	93	64	47	36	23	16	200	128	89	65	50	32	22
26 Gauge	200	128	89	65	50	32	22	267	170	118	87	66	42	29

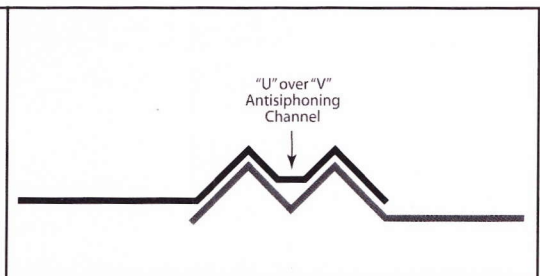
NOTES:

1. Theoretical allowable loads are based on section properties and allowables calculated in accordance with 2001 AISI Specifications.
2. Theoretical allowable loads are based on three or more uniform spans.
3. For roof panels, deduct self weight for actual 'live load' capacity of the panel.
4. These loads are for panel strength. Frames, purlins, decks and fasteners must be designed to resist all loads imposed on the panel.
5. Check local building codes if panel testing is required.

RECOMMENDED FASTENING PATTERN FOR 1-1/2" SCREWS



PANEL OVERLAP



STORAGE

If the panels are not to be used immediately, store inside in a well ventilated and dry location. Condensation or other moisture can form between the sheets during storage causing water stains or white rust which detract from the appearance of the product and may effect the product's useful life. Trapped moisture between sheets of painted metal can cause white rust to form underneath the paint. This can cause the paint to flake off of the panel immediately or several years later. To prevent white rust and staining, the following precautions should be taken:

1. Break the shipping bands on the metal and wipe the sheets dry.
2. Store metal on end or on an incline of at least 8" with support bands underneath to prevent sagging.
3. Fan sheets slightly at the bottom to allow for air circulation.
4. Keep the sheets off of the ground with an insulator such as wood.

Any outdoor storage is at the customer's own risk. If outdoor storage cannot be avoided, protect the metal using a canvas cover or waterproof paper. Never cover the metal with plastic as this will cause condensation to form.

BEFORE BEGINNING INSTALLATION OF THIS PRODUCT, READ OUR INSTALLATION INSTRUCTIONS.

** For more information, call (888) MTL-ROOF or visit our website at www.unionmetalroofing.com.

PROJECT CONTACTS:

OWNER:
FRANK LECKEY
1302 COONTIE COURT
FT. LAUDERDALE, FLORIDA 33312
954.1616889

GENERAL CONTRACTOR / PROJECT MANAGER:
NEW WORLD BUILDERS, INC.
P.O. 1123
FT. LAUDERDALE, FLORIDA 33302
954.3362209

SURVEYOR:
McLAUGHLIN ENGINEERING COMPANY
400 NE. 3rd AVENUE
FT. LAUDERDALE, FLORIDA 33301
954.1631611

ARCHITECT:
JAMES ARCHER ARCHITECT, AIA
514 SW 17th STREET
FT. LAUDERDALE, FLORIDA 33315
954.5252833

PROJECT DATA:

PROPERTY ADDRESS:
1302 COONTIE COURT (SW 4 COURT)
FORT LAUDERDALE, FLORIDA 33312

LEGAL DESCRIPTION:
THE EAST 109.00 FEET OF LOT 9, LESS THE NORTH 1745.00 FEET, VALENTINE'S SURVEY OF SECTION 9, TOWNSHIP 50 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 'B', PAGE 29, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA.

LOT AREA:
REQUIRED: 6000.0 SF. AND 50'-0" FRONTAGE, 15'-0" FRONTAGE WATERWAY FOR SINGLE FAMILY RESIDENTIAL USE (MINIMUM).
PROVIDED: 28,935.0 SF. (.66 ACRE) W/ 113.92' WATERWAY FRONTAGE

LOT COVERAGE:
REQUIRED: 40% MAXIMUM COVERAGE (OVER 12,000 SF. LOT)
PROVIDED: 10% (3,150.68 / 28,634.4 SF. = 0.11 (100) = 11%)

ZONING:
CITY OF FT. LAUDERDALE U.L.D.R. RESIDENTIAL ZONING DISTRICTS SECTION 41-5.

DESIGNATION: RS-8, RESIDENTIAL SINGLE FAMILY OVERLAY DESIGNATION: SBHD, SAILBOAT BEND HISTORIC DISTRICT

ALLOWABLE USES: SINGLE FAMILY RESIDENTIAL.
PROVIDED USES: SINGLE FAMILY RESIDENTIAL.

ALLOWABLE DENSITY: 8 UNITS / ACRE (NET) - (2,666) 928 D.U. ALLOWABLE
PROVIDED: 3 DETACHED STRUCTURES, 1 PRINCIPAL RESIDENTIAL STRUCTURE, 1 ACCESSORY DWELLING AND 1 ACCESSORY GARAGE STRUCTURE.

YARD SETBACKS:
REQUIRED: FRONT - 25'-0", SIDE - 5'-0", REAR - 15'-0", WATERFRONT - 25'-0"
PROVIDED: WATERFRONT - 54'-11 1/2" CLOSEST POINT TO PRINCIPAL STRUCTURE, SIDE - 14'-6" CLOSEST POINT TO PRINCIPAL STRUCTURE, REAR - 145'-10" CLOSEST POINT TO PRINCIPAL STRUCTURE.

HEIGHT:
ALLOWABLE MAXIMUM: 35'-0"
PROVIDED: 15'-8" HIGH POINT OF ROOF OF BUILDING 'A'

FLOOR AREA RATIO:
REQUIRED: 60 (OVER 12,000 SF. LOT)
PROVIDED: 11 (3,150.68 SF. / 28,634.4 SF. = 0.11)

PARKING:
CITY OF FT. LAUDERDALE U.L.D.R. PARKING AND LOADING REQUIREMENTS - SECTION 41-20

REQUIRED: 2 / RESIDENTIAL UNIT PLUS 1 / ACCESSORY DWELLING UNIT = 3 SPACES TOTAL
PROVIDED: 3 TOTAL, 2 GARAGE, 1 PARKING SPACE

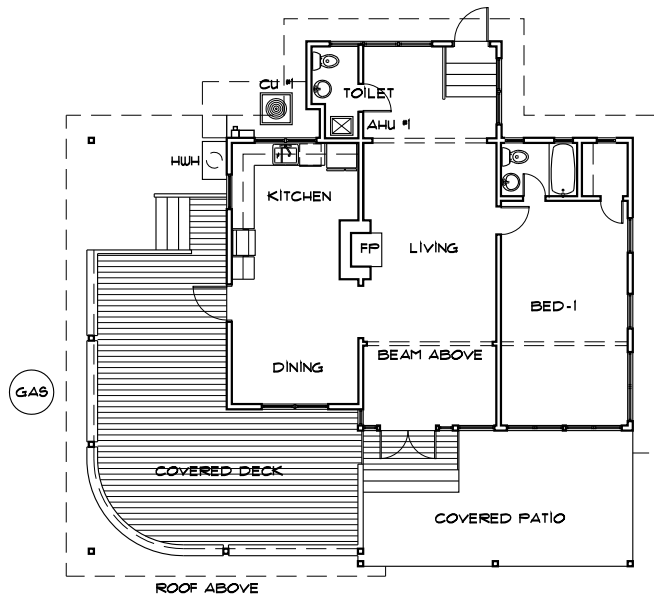
FLOOD ZONE:
FEMA BASE FLOOD ZONE AND REQUIRED MINIMUM ELEVATION - 'AE' = +1.00' NGVD

BUILDING AREAS:
REQUIRED: 1000 SF. PER SINGLE FAMILY RESIDENTIAL UNIT
EXISTING: SEE TABLE BELOW

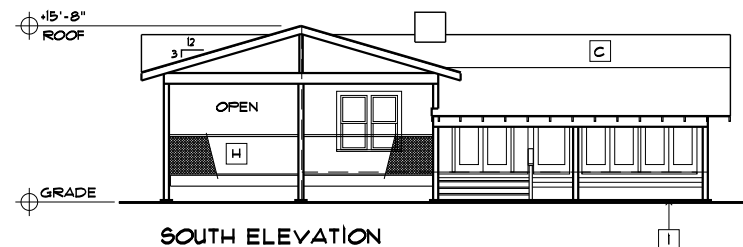
EXISTING RESIDENCE 'A'	1,069.17 SQ. FT.
EXISTING RESIDENCE 'B'	596.84 SQ. FT.
EXISTING GARAGE	198.76 SQ. FT.
EXISTING REAR PORCH (COVERED DECK)	389.46 SQ. FT.
EXISTING PATIO (COVERED)	296.45 SQ. FT.
TOTAL EXISTING GROSS BUILDING AREA	3,150.68 SQ. FT.

MATERIAL LEGEND	
A	EXISTING WOOD COVE SIDING
B	EXISTING WOOD FLANK TRIM
C	EXISTING SHINGLE ROOFING WITH PRIMARY ROOFS SLOPES OF 3:12 AND 4:12
D	EXISTING MASONRY PIERS W/ ROCK INFILL
E	EXISTING WOOD DOUBLE HUNG WINDOW
F	EXISTING WOOD CASEMENT WINDOW
G	EXISTING ALUMINUM SINGLE HUNG WINDOW
H	EXISTING WOOD DECK AND RAILING WITH LATTICE INFILL
I	EXISTING FINISH GRADE

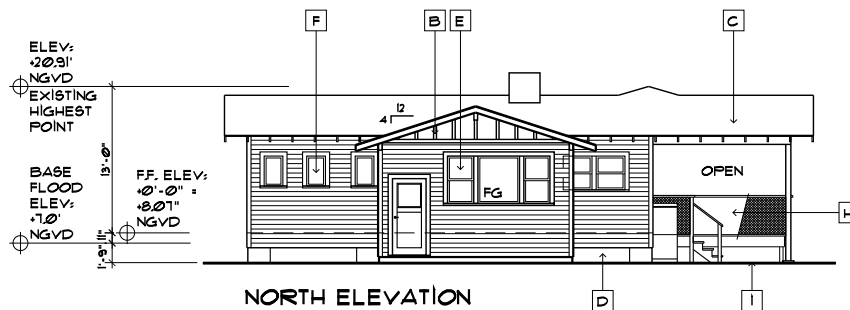
WALL LEGEND	
	EXISTING TO BE REMOVED (UON)
	EXISTING TO REMAIN
	NEW WALL OR PARTITION



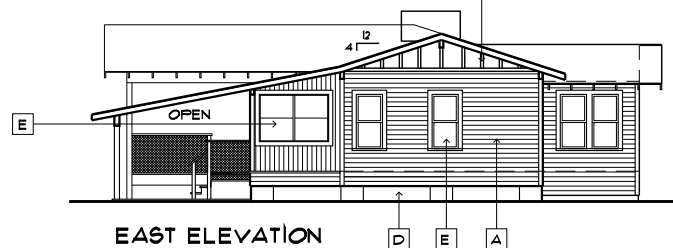
BUILDING 'A' EXISTING FLOOR PLAN
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION



NORTH ELEVATION

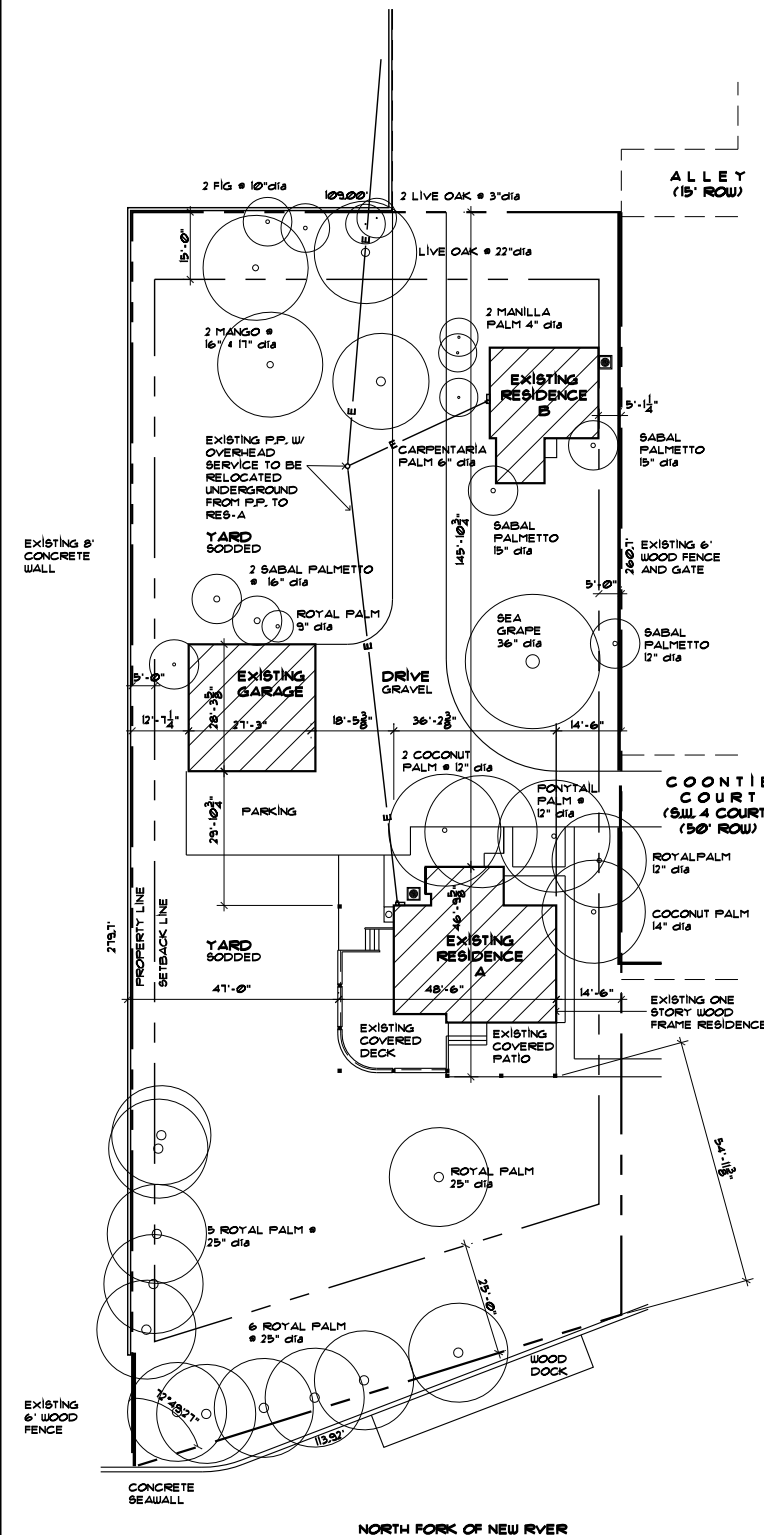


EAST ELEVATION



WEST ELEVATION

BUILDING 'A' EXISTING ELEVATIONS
SCALE: 1/8" = 1'-0"



SITE PLAN

SCALE: 1" = 20'-0"
SEE SURVEY PREPARED BY: McLAUGHLIN ENGINEERING COMPANY
DATED: 3/29/2012

JAMES ARCHER ARCHITECT, P.A.

514 SW Seventh Street
Ft. Lauderdale, FL 33315
954.525.2833
COR00026 FLA02601407
MA031008 NC#10646

Revisions

LECKEY RESIDENCE ALTERATIONS
1302 SW COONTIE COURT (aka: SW 4 COURT)
FORT LAUDERDALE, FLORIDA 33312

Date: 04-09-2012
Scale: AS SHOWN
Drawn: JA
Job:
Sheet:

A-1

2239 of 2239
Exhibit 1

PROJECT CONTACTS:

OWNER:
FRANK LECKEY
1302 COONIE COURT
FT. LAUDERDALE, FLORIDA 33312
954.7816883

GENERAL CONTRACTOR / PROJECT MANAGER:
NEW WORLD BUILDERS, INC.
P.O. 1123
FT. LAUDERDALE, FLORIDA 33302
954.3362209

SURVEYOR:
MCLAUGHLIN ENGINEERING COMPANY
400 NE 3rd AVENUE
FORT LAUDERDALE, FLORIDA 33301
954.1631611

ARCHITECT:
JAMES ARCHER ARCHITECT, P.A.
514 SW 11th STREET
FT. LAUDERDALE, FLORIDA 33315
954.5752833

PROJECT DATA:

PROPERTY ADDRESS:
1302 COONIE COURT (SU 4 COURT)
FORT LAUDERDALE, FLORIDA 33312

LEGAL DESCRIPTION:
THE EAST 100.00 FEET OF LOT 9, LESS THE NORTH 1745.00 FEET, VALENTINE'S SURVEY OF SECTION 9, TOWNSHIP 50 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 'B', PAGE 29, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SAID LAND SITUATE, LYING AND BEING IN THE CITY OF FT. LAUDERDALE, BROWARD COUNTY, FLORIDA.

LOT AREA:
REQUIRED: 6000.0 SF, AND 50'-0" FRONTAGE, 15'-0" FRONTAGE WATERWAY FOR SINGLE FAMILY RESIDENTIAL USE (MINIMUM).
PROVIDED: 28,634.4 SF. (.65 ACRE)

LOT COVERAGE:
REQUIRED: 40% MAXIMUM COVERAGE (OVER 12,000 SF. LOT)
PROVIDED: 18% (5221.4 / 28,634.4 SF. = 0.18 (18%) = 18%)

ZONING:
CITY OF FT. LAUDERDALE U.L.D.R. RESIDENTIAL ZONING DISTRICTS SECTION 41-5.

DESIGNATION: RS-8, RESIDENTIAL SINGLE FAMILY
OVERLAY DESIGNATION: SBND, SAILBOAT BEND HISTORIC DISTRICT

ALLOWABLE USES: SINGLE FAMILY RESIDENTIAL.
PROVIDED EXISTING AND PROPOSED USES: SINGLE FAMILY RESIDENTIAL.

ALLOWABLE DENSITY: 8 UNITS / ACRE (NET) - 8 (A-6) 528 D.U. ALLOWABLE /
EXISTING: 3 DETACHED STRUCTURES, 1 PRINCIPAL RESIDENTIAL STRUCTURE, 1 ACCESSORY DWELLING AND 1 ACCESSORY GARAGE STRUCTURE.
PROPOSED: NO CHANGE, ADDITION TO PRINCIPAL RESIDENCE "A" ONLY.

YARD SETBACKS:
REQUIRED: FRONT - 25'-0", SIDE - 5'-0", REAR - 15'-0", WATERFRONT - 25'-0"
PROVIDED: WATERFRONT - 34'-11 1/2" CLOSEST POINT TO PRINCIPAL STRUCTURE, SIDE - 16'-4" CLOSEST POINT TO PRINCIPAL STRUCTURE, REAR - 14'-10" CLOSEST POINT TO PRINCIPAL STRUCTURE.

HEIGHT:
ALLOWABLE MAXIMUM: 35'-0"
PROVIDED: 23'-4" @ HIGH POINT OF ROOF OF BUILDING "A"

FLOOR AREA RATIO:
REQUIRED: .60 (OVER 12,000 SF. LOT)
PROVIDED: .20 (5,944.58 SF. / 28,634.4 SF. = 0.20)

PARKING:
CITY OF FT. LAUDERDALE U.L.D.R. PARKING AND LOADING REQUIREMENTS - SECTION 41-20

REQUIRED: 2 / RESIDENTIAL UNIT PLUS 1 / ACCESSORY DWELLING UNIT + 3 SPACES TOTAL
PROVIDED: 3 TOTAL, 2 GARAGE, 1 PARKING - NO CHANGE

FLOOD ZONE:
FEMA BASE FLOOD ZONE AND REQUIRED MINIMUM ELEVATION - "AE" - 1.00' NGVD

BUILDING AREAS:
REQUIRED: 1000 SF, PER SINGLE FAMILY RESIDENTIAL UNIT
PROVIDED: SEE TABLE BELOW

EXISTING RESIDENCE "A"	1069.11 SQ. FT.
PROPOSED ADDITION	1160.91 SQ. FT.
FIRST FLOOR	1118 SQ. FT.
SECOND FLOOR	711.8 SQ. FT.
SUBTOTAL RESIDENCE "A" LIVING AREA	2,947.26 SQ. FT.
NEW FRONT PORCH (COVERED)	143.20 SQ. FT.
EXISTING REAR PORCH (COVERED DECK)	389.46 SQ. FT.
NEW REAR PATIO (COVERED + OPEN)	112.61 SQ. FT.
EXISTING PATIO (COVERED)	296.45 SQ. FT.
EXISTING RESIDENCE "B"	936.84 SQ. FT.
EXISTING GARAGE	788.76 SQ. FT.
TOTAL NEW + EXISTING GROSS BUILDING AREA	5,944.58 SQ. FT.

LANDSCAPE DATA:

LANDSCAPE:
CITY OF FT. LAUDERDALE U.L.D.R. LANDSCAPE AND TREE PRESERVATION REQUIREMENTS - SECTION 41-21

LANDSCAPE AREA:
REQUIRED: NO MINIMUM SPECIFIED FOR RS-8 ZONING.
PROVIDED: 67% = 28,634.4 SF. - 5221.4 - 4000.8 + 19,406.2 SF. / 28,634.4 SF. = .67 (67%) = 67% LANDSCAPE AREA

PLANTING:
TREES
REQUIRED: 1 TREE PER 1000.0 SF. OF NET LOT AREA (19,406.2 / 1000 = 19.4 OR 20)
PROVIDED: 20 (33 TOTAL EXISTING), 50% MAXIMUM OF THE SAME GENUS AND 50% NATIVE DROUGHT TOLERANT SPECIES.
ROYAL PALMS - 14 (10 PROVIDED @ 50% MAX. NATIVE AND DROUGHT TOLERANT)
SABAL PALMETTOS - 5 (5 PROVIDED, NATIVE AND DROUGHT TOLERANT)
COCONUT PALMS - 3 (1 PROVIDED, NATIVE AND DROUGHT TOLERANT)
CARPENTARIA - 1
LIVE OAK - 3 (3 PROVIDED, NATIVE AND DROUGHT TOLERANT)
SEA GRAPE - 1 (1 PROVIDED, NATIVE AND DROUGHT TOLERANT)
FIGS - 2
MANGO - 2
MISC. PALMS - 2

SHRUBS
REQUIRED: NO MINIMUM SPECIFIED FOR RS-8 ZONING
PROVIDED: N/A

GROUND COVER
REQUIRED: SOD
PROVIDED: SOD MULCHED PLANTING BEDS

GENERAL NOTE:
ALL PLANT MATERIAL TO BE FLORIDA GRADE NUMBER ONE PLANTED AREAS SHALL BE SUPPLIED WITH AN AUTOMATIC IRRIGATION SYSTEM WITH RAIN SWITCH FOR AUTOMATIC SHUT-OFF
SODDED AREAS TO BE FLORITAM OR EQUAL SHADE TOLERANT SPECIES
MULCHED AREAS TO HAVE MINIMUM 2" CYPRESS MULCH

GENERAL NOTES:

SUMMARY OF WORK: THE PROJECT CONSISTS OF ALTERATIONS TO THE EXISTING HISTORIC ONE STORY WOOD FRAME RESIDENCE. THE NEW WORK ADDS ADDITIONAL LIVING SPACE WITH A SECOND FLOOR MASTER SUITE. NEW ADDITIONS ARE EXTERNAL TO THE RESIDENCE REQUIRING MINOR INTERIOR ALTERATIONS FOR CONNECTING NEW AND EXISTING WORK AND EXTERIOR SITE WORK CONNECTIONS TO UTILITIES.

SCOPE OF WORK: THE G.C. AND ALL SUBCONTRACTORS SHALL INCLUDE ALL LABOR AND MATERIAL FOR THE PROJECT, AS SHOWN, AND AS IS CONSISTENT WITH THE INTENT OF THE DRAWINGS, AND SHALL INCLUDE ALL REPAIRS TO THE SITE AND OTHER PORTIONS OF THE EXISTING RESIDENCE AND STRUCTURES EFFECTED BY THE WORK AND AS REQUIRED FOR A COMPLETE AND FULLY OPERATIVE PROJECT.

EXECUTION OF THE WORK: ALL WORK SHALL BE PERFORMED BY A FLORIDA LICENSED AND INSURED GENERAL CONTRACTOR AND SUB CONTRACTORS, AS REQUIRED BY LAW, WHO SHALL COMPLY WITH THE FOLLOWING:

1) THE WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FLORIDA BUILDING CODE (FBC-2009) AND ALL OTHER APPLICABLE NATIONAL, STATE, AND LOCAL CODES AND ORDINANCES.

2) TO ENSURE PROPER INSTALLATION AND ASSEMBLY, THE GENERAL CONTRACTOR SHALL VERIFY AND MAKE THEMSELVES FAMILIAR WITH ALL EXISTING CONDITIONS OF THE SITE AND PROJECT AREA AND SHALL VERIFY ALL DIMENSIONS AND COORDINATE LAYOUTS WITH SUBCONTRACTORS PRIOR TO BEGINNING AND ORDERING ANY PORTION OF THE WORK. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH INSTALLATION OF THE WORK OR PORTION THEREOF.

3) REVISIONS TO THE SCOPE OF WORK AS DESCRIBED BY THE APPROVED PERMIT SET, SHALL BE PERFORMED BY APPROVED CHANGE ORDER ONLY, WHICH SHALL BE AGREED TO PRIOR TO PERFORMING THE REVISED WORK.

4) THE GENERAL CONTRACTOR SHALL DELIVER THE COMPLETED PROJECT IN A FULLY OPERATIVE MANNER FREE AND CLEAN OF DEFECTS AND SHALL PROVIDE A ONE YEAR GUARANTEE ON ALL MATERIAL AND WORKMANSHIP AND SHALL CORRECT DEFECTS FREE OF CHARGE FROM DATE OF FINAL ACCEPTANCE IDENTIFIED BY ISSUANCE OF A C.O. (CERTIFICATE OF OCCUPANCY) FROM THE LOCAL AUTHORITY HAVING JURISDICTION.

5) THE GENERAL CONTRACTOR SHALL COOPERATE AND COORDINATE WITH THE OWNER, ARCHITECT, BUILDING AUTHORITY AND OTHER TRADES, AS NEEDED, FOR AN ORDERLY, TIMELY, AND WORKMANLIKE INSTALLATION.

6) UNLESS SPECIFIED, ALL MATERIALS ARE TO BE NEW AND FREE OF DEFECTS AT THE TIME OF INSTALLATION.

7) THE GENERAL CONTRACTOR SHALL REGULARLY REMOVE CONSTRUCTION DEBRIS FROM THE SITE IN ORDER TO MAINTAIN SAFE AND ORDERLY WORKING CONDITIONS. DRAWINGS AND DOCUMENTS: THE DRAWINGS AND DOCUMENTS HAVE BEEN PREPARED FOR THE SPECIFIC USE OF THE OWNER FOR THIS PROJECT ONLY. THE ARCHITECT RETAINS ALL COMMON LAW COPYRIGHTS OF THE WORK WHICH SHALL NOT TO BE REUSED IN ANY FORM WITHOUT THE ARCHITECT'S WRITTEN PERMISSION AND/OR CONSENT.

1) THE DRAWINGS AND DOCUMENTS HAVE BEEN PREPARED TO COMPLY WITH THE BUILDING CODE REQUIREMENTS NECESSARY FOR A BUILDING PERMIT (MINIMUM). NO WARRANTY IS MADE OR IMPLIED AS TO CODE COMPLIANCE AS THE AUTHORITY HAVING JURISDICTION RESERVES THE RIGHT OF FINAL INTERPRETATION OF THE CODE.

2) THE DRAWINGS AND DOCUMENTS SUBMITTED AND APPROVED AS THE PERMIT SET ARE CONSIDERED THE BASIC SCOPE OF WORK. ANY REVISIONS AND DETAILED OR SPECIAL DESIGN WORK AND DRAWINGS BEYOND THE SCOPE DESCRIBED IN THE PERMIT SET SHALL BE CONSIDERED SUPPLEMENTAL AND ADDITIONAL.

3) THE ARCHITECT'S AGGREGATE LIABILITY IS LIMITED TO THE AMOUNT OF FEE PAID FOR BASIC SERVICES IN PREPARING THE PERMIT SET.

DESIGN CONFORMANCE: THE DRAWINGS ARE A REPRESENTATION OF THE ACTUAL INTENDED RESULT AND DO NOT DESCRIBE EVERY MINOR DETAIL OF CONSTRUCTION. THE ARCHITECT RESERVES THE RIGHT TO REVIEW AND REJECT ANY PORTION OF THE WORK WHICH IS CONSIDERED TO BE OF SUBSTANDARD WORKMANSHIP OR NOT IN CONFORMANCE WITH THE DESIGN INTENT AND MAY ORDER MINOR CHANGES OR ADJUSTMENTS IN THE WORK NOT REQUIRING WRITTEN CHANGE ORDERS OR APPROVALS BY OTHERS.

REVISIONS OF THE WORK: ALL REVISIONS OF THE WORK AS DIFFERING FROM THE APPROVED PERMIT SET, ARE TO BE PERFORMED BY WRITTEN CHANGE ORDER AND IN ACCORDANCE WITH REVISION DRAWINGS AND/OR DOCUMENTS OR OTHER SUBMITTALS REVIEWED AND ACCEPTED BY THE OWNER, ARCHITECT, GENERAL CONTRACTOR, AND AUTHORITY HAVING JURISDICTION, AS APPLICABLE.

DEMOLITION: THE GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED DEMOLITION ON SITE AND WITHIN THE PROJECT AREA AS NEEDED FOR INSTALLATION OF NEW WORK.

1) VERIFY LOCATION OF BUILDING SERVICES, AND DISCONNECT OR CAP-OFF, ALL EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES, CONNECTIONS, SERVICES, ETC., PRIOR TO BEGINNING ANY DEMOLITION WORK.

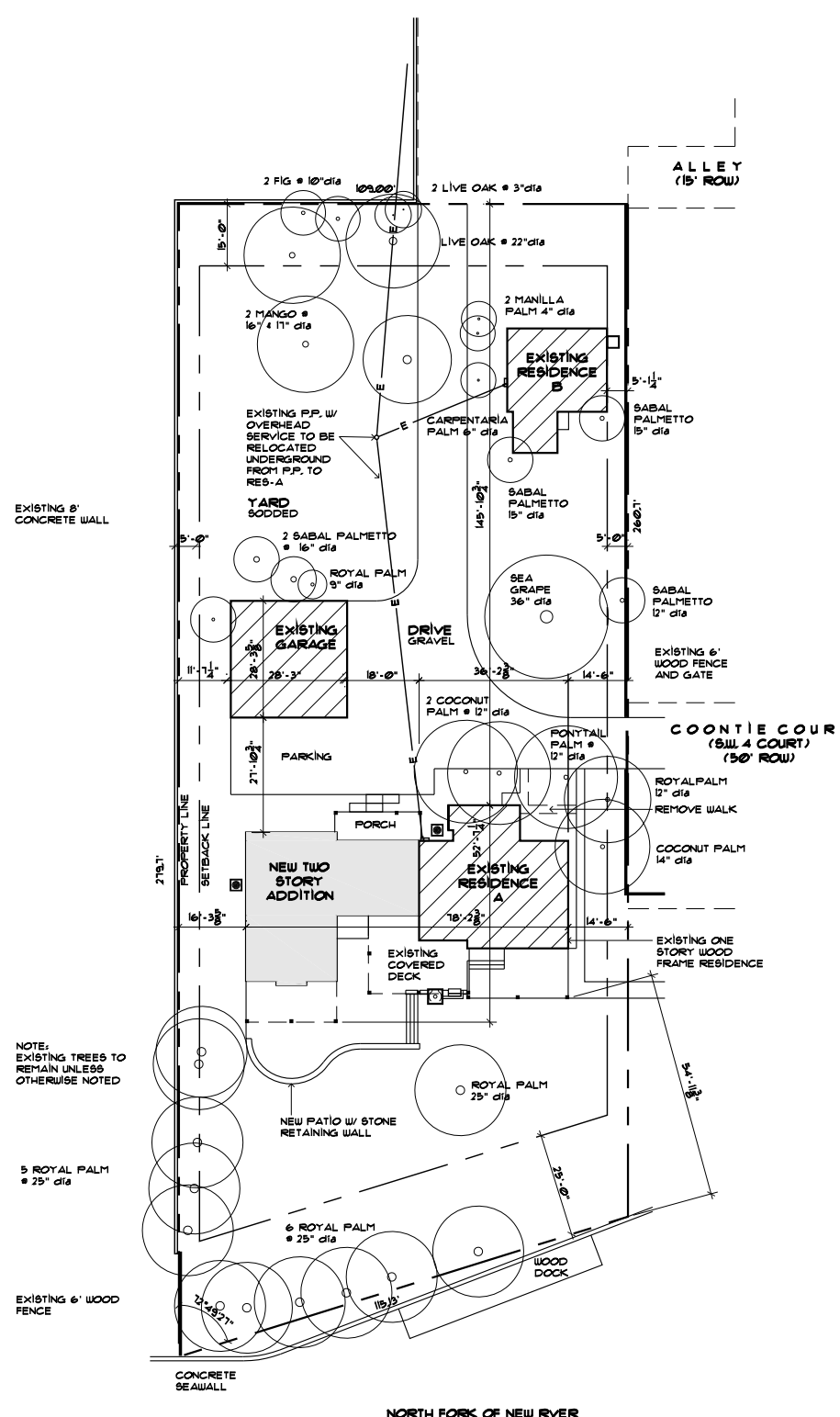
2) PROVIDE ALL TEMPORARY SHORINGS, AND/OR ENGAGE CONSULTING SPECIALTY ENGINEER, AS NEEDED, TO MAINTAIN STRUCTURAL INTEGRITY OF ALL STRUCTURES OR PORTIONS OF STRUCTURES TO REMAIN.

3) PERFORM ALL REQUIRED BUILDING DEMOLITION INCLUDING REMOVAL OF ALL ABOVE GROUND AND UNDERGROUND STRUCTURES AND OBJECTS, AND CLEAR AND REMOVE ALL DEBRIS, VEGETATION, STUMPS, AND OTHER ORGANIC MATERIAL, AND ROUGH GRADE AND PREPARE THE PROJECT/SITE AREA FOR INSTALLATION OF NEW WORK.

LANDSCAPE: THE GENERAL CONTRACTOR SHALL PROVIDE FINAL SITE CLEARING AND ROUGH GRADING READY FOR INSTALLATION OF PLANT MATERIAL BY A QUALIFIED LANDSCAPE SUBCONTRACTOR. INSTALLATION SHALL INCLUDE ALL PLANT MATERIAL AND IRRIGATION WORK IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN, AS APPLICABLE.

INDEX OF DRAWINGS:

- A-0 COVER - PROPOSED CONCEPT ILLUSTRATION
- A-1 EXISTING SITE PLAN, FLOOR PLAN AND ELEVATIONS
- A-2 PROPOSED SITE PLAN, LANDSCAPE PLAN AND PROJECT DATA
- A-3 FIRST FLOOR PLAN
- A-4 SECOND FLOOR PLAN
- A-5 ELEVATIONS AND FINISHES



NOTE: EXISTING TREES TO REMAIN UNLESS OTHERWISE NOTED

5 ROYAL PALM # 25" dia

EXISTING 6" WOOD FENCE

N SITE PLAN
0 5' 10' 20'
SCALE: 1" = 20'-0"
SEE SURVEY PREPARED BY: MCLAUGHLIN ENGINEERING COMPANY
DATED: 3/29/2012

JAMES ARCHER ARCHITECT, P.A.
514 SW Seventh Street
Fl. Lauderdale, FL 33315
954.525.2833p
CORP0206 FLAA26001407
MAR31008 NCR10646

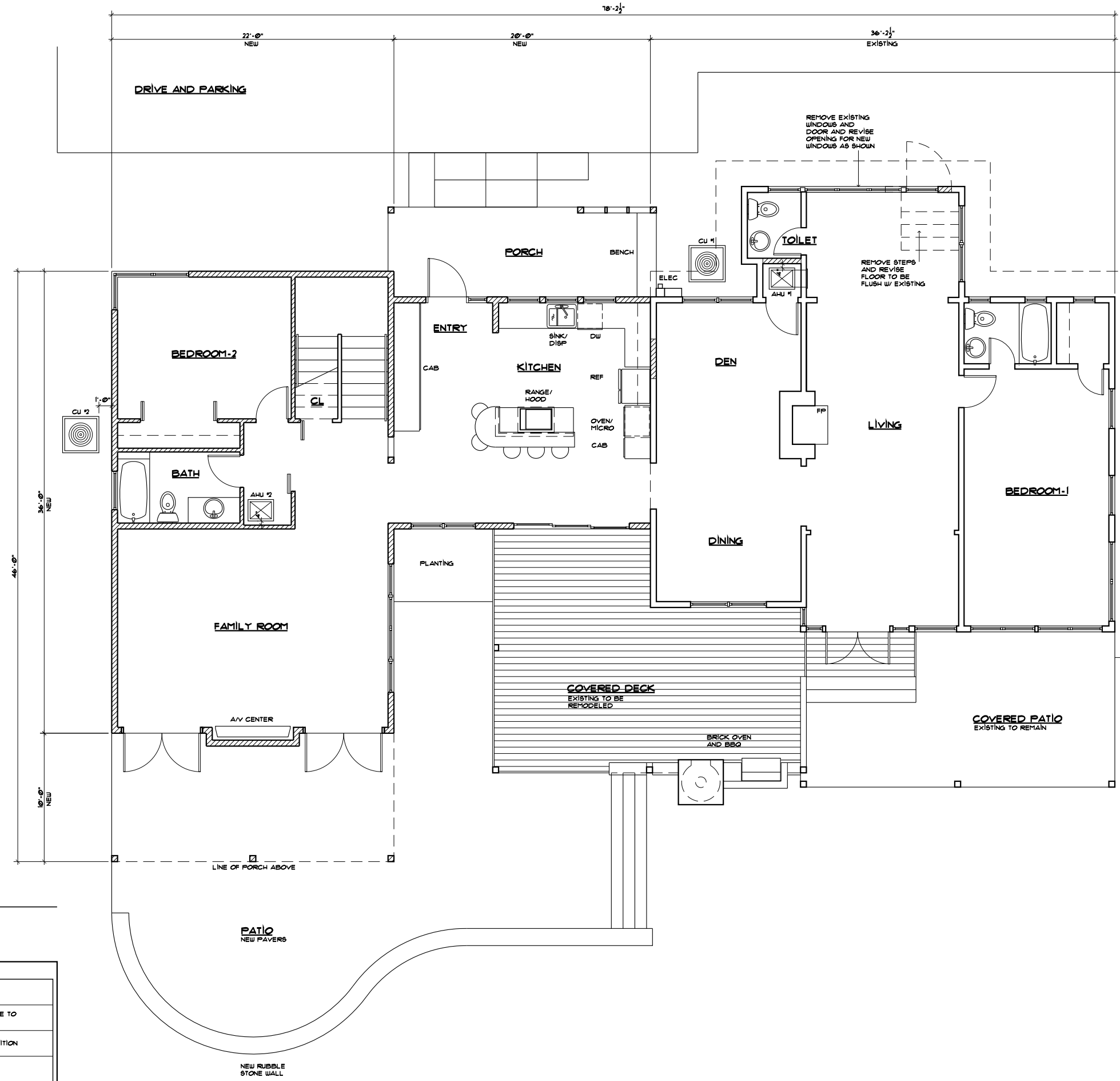
Revisions

PROPOSED SITE PLAN, LANDSCAPE PLAN AND PROJECT DATA

LECKEY RESIDENCE ALTERATIONS
1302 SW COONIE COURT (SU 4 COURT)
FORT LAUDERDALE, FLORIDA 33312

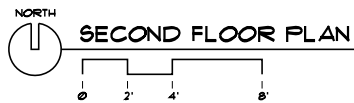
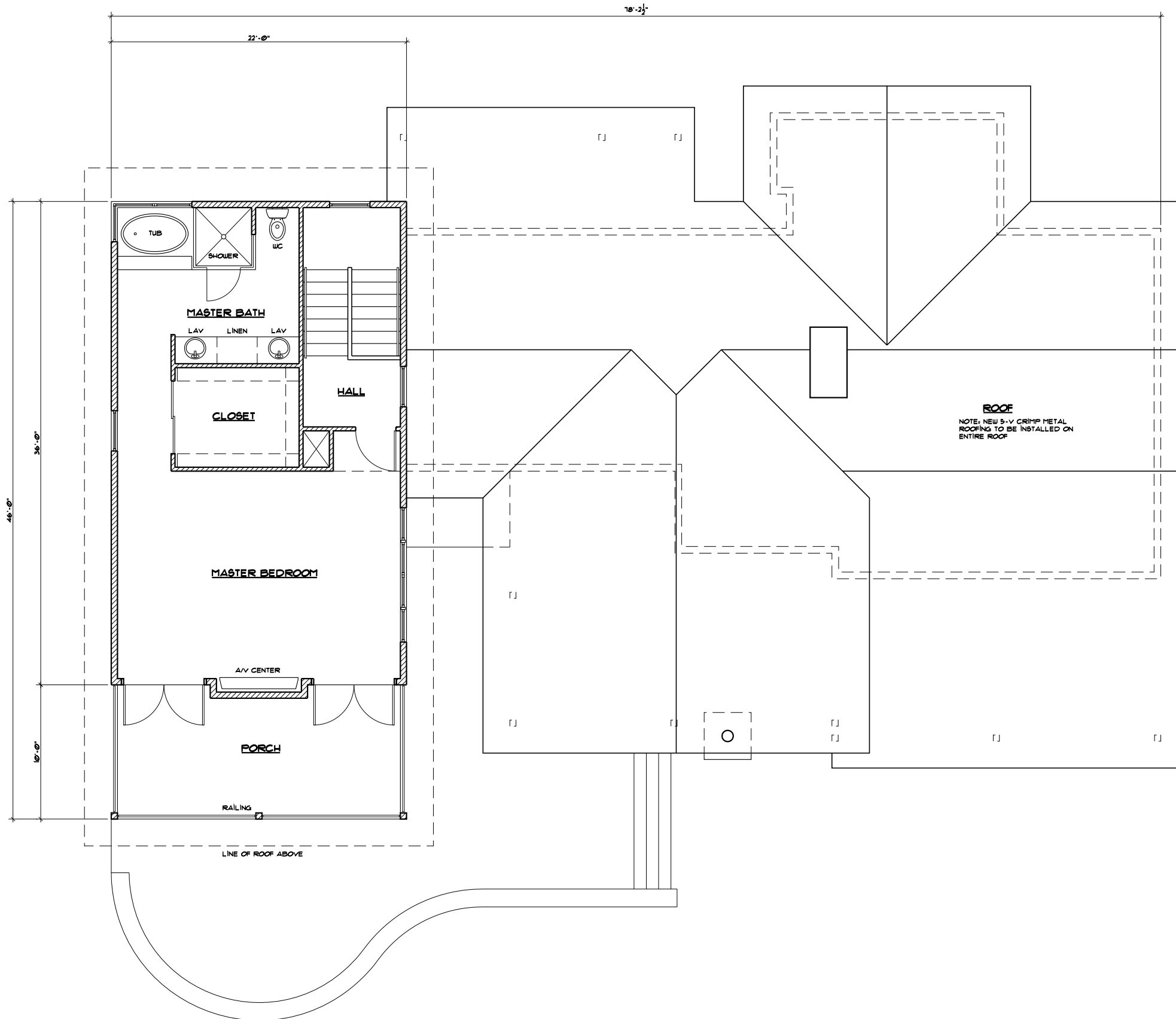
Date 04-09-2012
Scale AS SHOWN
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Job
Sheet

A-2
2239
Exhibit 1
Sheets



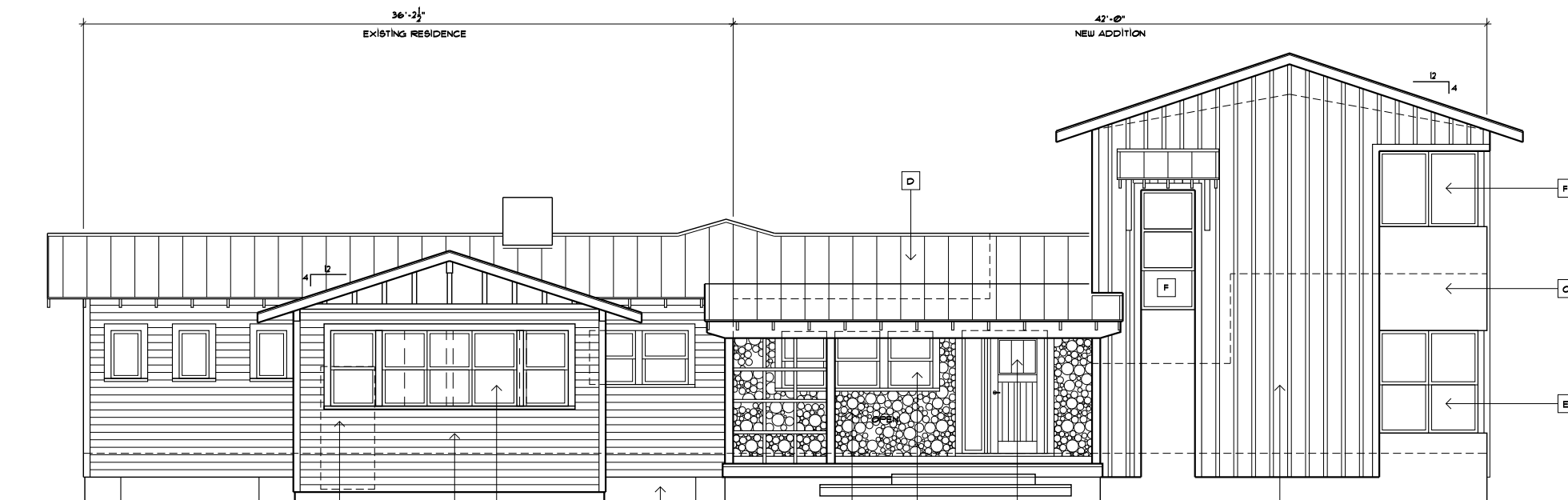
WALL LEGEND	
	EXISTING TO BE REMOVED (UON)
	EXISTING WOOD FRAME RESIDENCE TO REMAIN
	NEW WOOD FRAME WALL OR PARTITION

REVIEW SET / NOT FOR CONSTRUCTION - 04/09/2012



WALL LEGEND	
	EXISTING TO BE REMOVED (UON)
	EXISTING WOOD FRAME RESIDENCE TO REMAIN
	NEW WOOD FRAME WALL OR PARTITION

NORTH ELEVATION

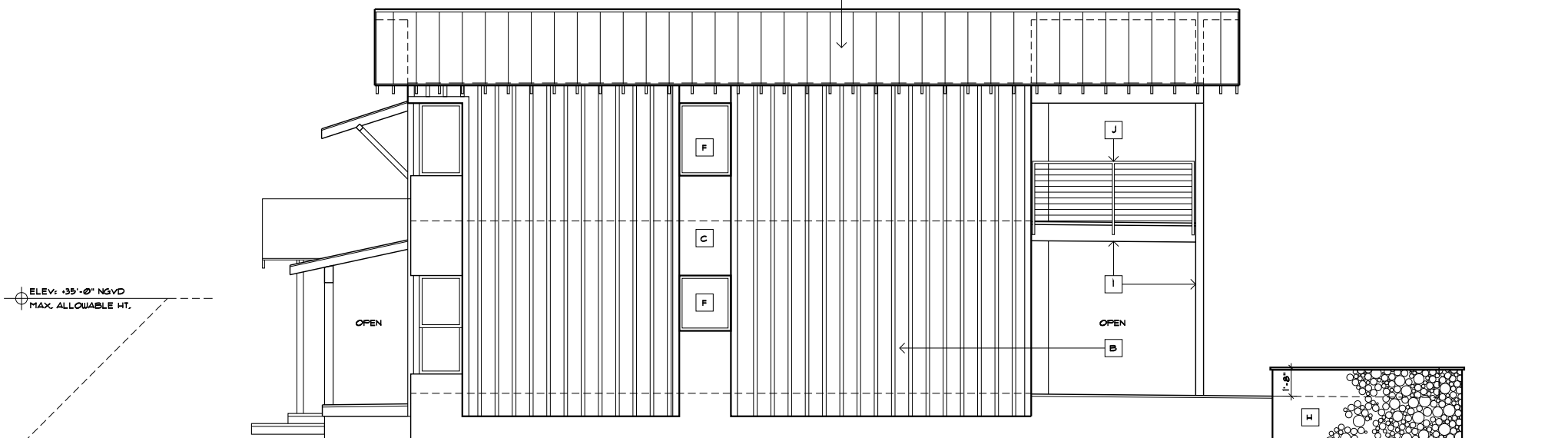
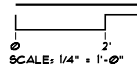


REMOVE EXISTING DOOR AND WINDOWS AND REVISE OPENING FOR NEW WINDOWS WITH MATCHING WOOD SIDING AS SHOWN.

MATERIAL LEGEND

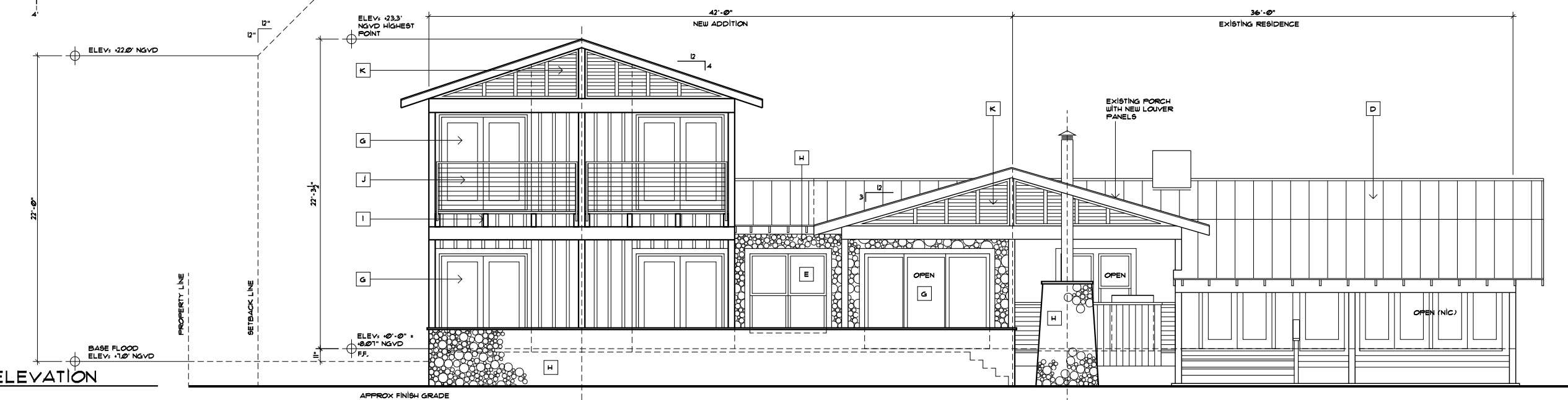
A	EXISTING WOOD SHIPLAP COVE SIDING (AKA NOVELTY SIDING)
B	NEW VERTICAL WOOD BOARD AND BATTEN SIDING
C	NEW SMOOTH STUCCO FINISH
D	NEW 5-V CRIMP GALVANIZED METAL ROOFING
E	NEW ALUMINUM CLAD WOOD DOUBLE HUNG WINDOWS - IMPACT RESISTANT
F	NEW ALUMINUM CLAD WOOD AWNING WINDOWS - IMPACT RESISTANT
G	NEW ALUMINUM CLAD WOOD FRENCH AND SLIDING DOORS - IMPACT RESISTANT
H	NEW STONE RUBBLE WALL
HJ	EXISTING STONE RUBBLE FOUNDATION INFILL
I	NEW WOOD TIMBER FRAMED SECOND FLOOR PATIO
J	NEW CABLE RAIL IN ALUMINUM FRAME
K	NEW WOOD LOUVER VENTS

WEST ELEVATION



ELEV. +35'-0\"/>
 MAX. ALLOWABLE HT.

SOUTH ELEVATION



ELEV. +23' NGVD HIGHEST POINT

ELEV. +0'-0\"/>
 +0.01' NGVD F.F.

APPROX FINISH GRADE

REVIEW SET / NOT FOR CONSTRUCTION - 04/09/2012