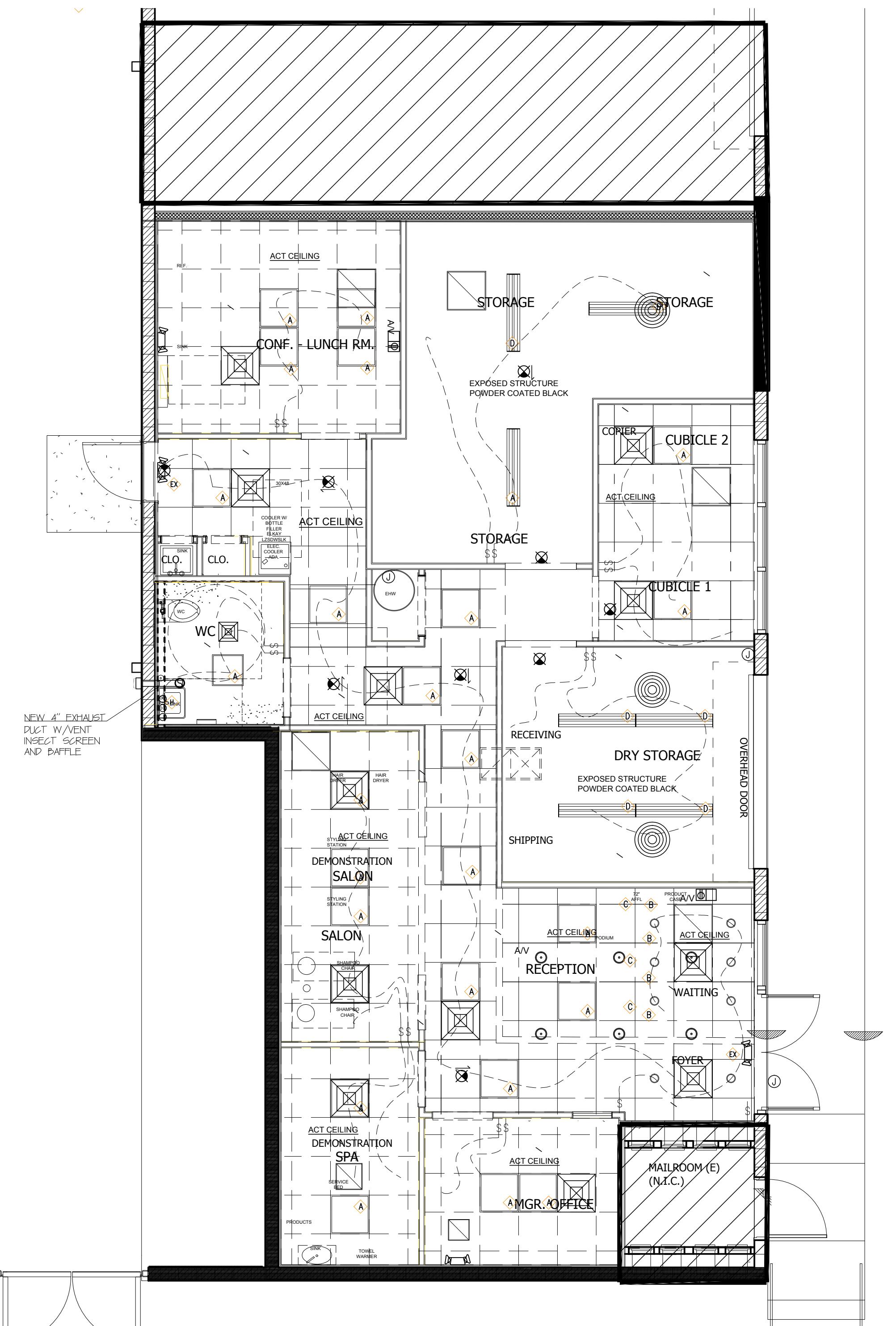
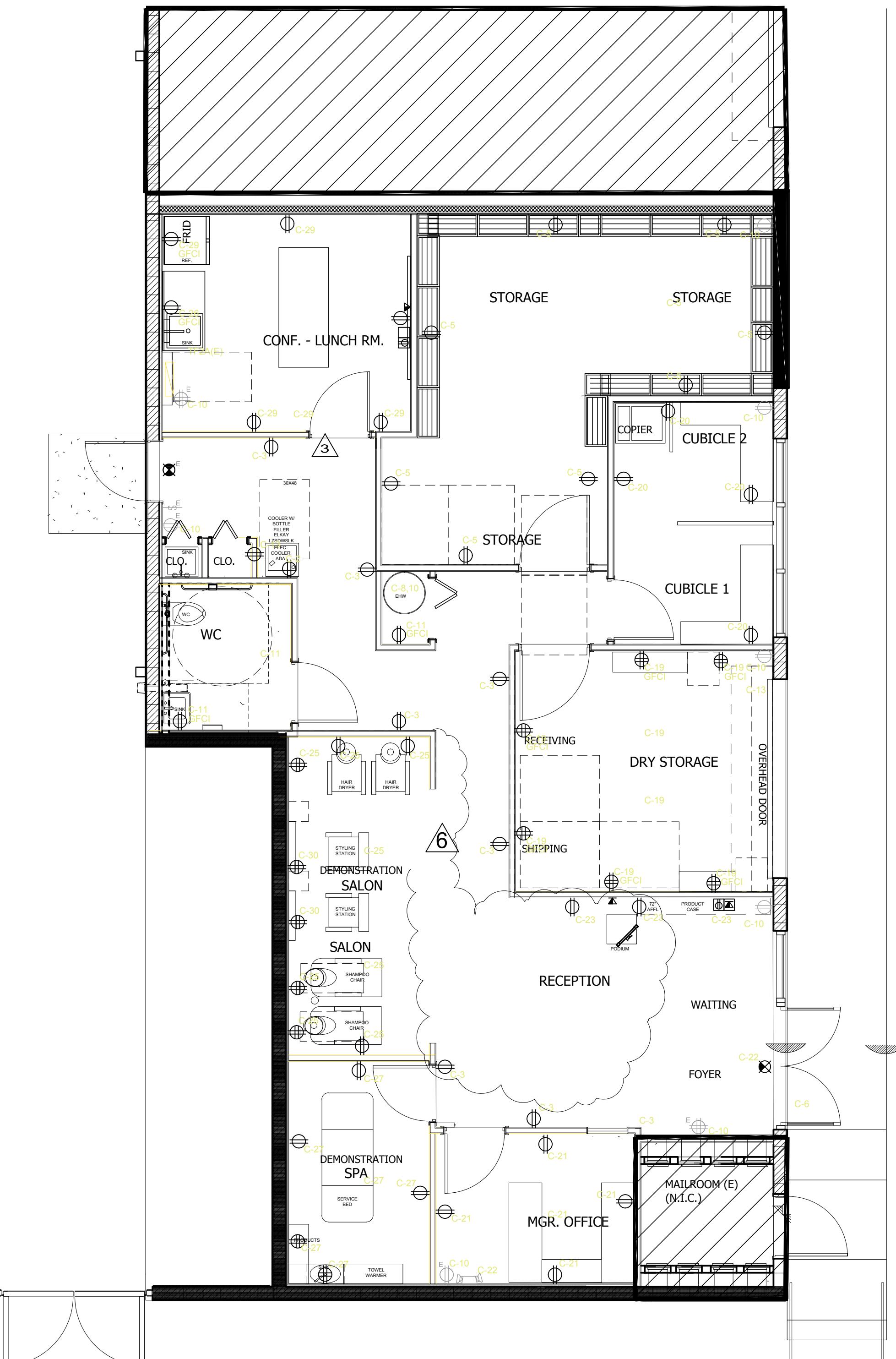


ALL HISTORICAL DATA IS TAKEN FROM FILES PROVIDED BY OWNER
ALL EXPOSED AND VISIBLE DATA IS FIELD VERIFIED BY A/E



ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

LIGHTING PLAN

CALENDAR

ALL HISTORICAL DATA IS TAKEN FROM FILES PROVIDED BY OWNER
ALL EXPOSED AND VISIBLE DATA IS FIELD VERIFIED BY A/E

OPMENT SCOPE: ELECTRICAL
EXISTING OUTLETS, SWITCHES, FIXTURES, LIGHTS
COMPONENTS TO BE COORDINATED, WITH NEW
REINSTALLED, TYPICAL THROUGHOUT.

TING ELEC. METER/ELEC. SERVICE LINE TO REMAIN
TING OUTLETS TO ADJUSTED IF IN CONFLICT WITH
ITION LAYOUT, TYPICAL U.O.N.

TING LIGHTING FIXTURES AND CONTROLS TO BE
- RELOCATED AS REQUIRED, REFER TO
E. TYPICAL U.O.N. PROVIDE TEMP LIGHT DURING
RK.

TING ELEC. PANEL TO REMAIN, RE-CIRCUIT PER
EL SCHEDULE - LOAD. TYPICAL U.O.N.

LIFE SAFETY FIXTURE TO REMAIN, RE-LOCATE
ATED. TYPICAL U.O.N.

ELEC. POWER / OUTLET FOR EQUIP./UNITS TO BE
D TYPICAL U.O.N.

LOW VOLTAGE POWER FOR SECURITY CAMERA
RM SYSTEM TO BE INSTALLED REFER TO PLANS.

LIGHT FIXTURES TO BE INSTALLED REFER TO
PLAN. TYPICAL U.O.N.

LIGHTING CONTROL - SWITCHES TO BE
D.

PENDANT LIGHT FIXTURE TO BE INSTALLED. REFER
DULE.

EWH TO BE INSTALLED REFER TO SCHEDULE.

THE HALL GROUP INC.

AA26001680

ARCHITECTURE
INTERIOR DESIGN
URBAN PLANNING
CONSTRUCTION SERVICES

THG

3246 N. MIAMI AVE. MIAMI, FLORIDA 33127
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FLORIDA
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Digitally
signed by
Daniel C Hall
Date: _____
RECORD
HALL, AIA, NOM
163

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SEA
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DESIGN FIRM

140 S. Dixie Hwy. #729, Hollywood, FL 33013
954.854.8582, archidesigngroup@gmail.com

DATE	REVISIONS No.	TITLE BLOCK FIX ADDRESS	OWNER REQ. PARTITION CHANGE
008.16.24	51		
011.06.25	61		

HEET TITLE :	ELECTRICAL PLAN	
OB TITLE :	COMMERCIAL BAY BUILD-OUT	
PL		LEASENT IMAGE DISTRIBUTION
5		701 NW 5TH AVENUE, UNIT 1071
FORT LAUDERDALE, FL 33311		

DATE:	07-31-23
SCALE:	AS NOTED
RAWN BY:	V.H.
HECKED BY:	N.H.
APPROVED BY:	N.H.

JOB.: 073123-PID
SHEET
E-1.0
OF **SHEETS**

OPMENT SCOPE: ELECTRICAL
EXISTING OUTLETS, SWITCHES, FIXTURES, LIGHTS
ONENTS TO BE COORDINATED, WITH NEW
REINSTALLED, TYPICAL THROUGHOUT.

TING ELEC. METER/ELEC. SERVICE LINE TO REMAIN
TING OUTLETS TO ADJUSTED IF IN CONFLICT WITH
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E. TYPICAL U.O.N. PROVIDE TEMP LIGHT DURING
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TING ELEC. PANEL TO REMAIN, RE-CIRCUIT PER
EL SCHEDULE - LOAD. TYPICAL U.O.N.

1. LIFE SAFETY FIXTURE TO REMAIN, RE-LOCATE
ATED. TYPICAL U.O.N.

ELEC. POWER / OUTLET FOR EQUIP./UNITS TO BE
D TYPICAL U.O.N.

LOW VOLTAGE POWER FOR SECURITY CAMERA
RM SYSTEM TO BE INSTALLED REFER TO PLANS.

LIGHT FIXTURES TO BE INSTALLED REFER TO
PLAN. TYPICAL U.O.N.

LIGHTING CONTROL - SWITCHES TO BE
D.

PENDANT LIGHT FIXTURE TO BE INSTALLED. REFER
DULE.

EWH TO BE INSTALLED REFER TO SCHEDULE.

ELECTRICAL SYMBOL LEGEND

(USE THOSE THAT APPLY)

WALL OR CEILING MOUNTED EXIT LIGHT W/BATTERY. ARROWS, NUMBER OF FACES AND MOUNTING AS REQUIRED TO INDICATE A CLEAN PATH TO EXIT

120/277 V., 20 AMP., SINGLE POLE LIGHT SWITCH.

120/277 V., 20 AMP., THREE WAY SWITCH.

120/277 V., 20 AMP., SINGLE POLE LIGHT SWITCH WITH DIMMER

ELECTRICAL PANEL

DISCONNECT SWITCH. "3" INDICATES NUMBER OF POLES;
"60" = FRAME SIZE AND "F" DENOTES FUSE SIZE AS
RECOMMENDED BY EQUIPMENT MANUFACTURER.

250V SPECIAL PURPOSE RECEPTACLE, TO MATCH EQUIPMENT PLUG

EXHAUST FAN

20 A., 120., V., DUPLEX RECEPTACLE, GROUNDING TYPE,
U.O.N. MOUNTED 18" A.F.F. OR AS DIRECTED BY ARCHITECT.

20A, 120V QUADRUPLEX RECEPTACLE

FLOOR (FLUSH) MOUNT 20 A., 120., V., DUPLEX RECEPTACLE,
AND PHONE/DATA OUTLET

GFI/WP 20A, 120V ROOF MOUNTED RECEPTACLE

FLOOR MOUNTED J-BOX FOR POWER USE. COORDINATE WITH
FURNITURE MANUFACTURER

FLOOR MOUNTED J-BOX FOR DATA/PHONE USE. COORDINATE WITH
FURNITURE MANUFACTURER

CEILING OR WALL MOUNTED JUNCTION BOX.

PHONE OUTLET @ +18" A.F.F. OR AS DIRECTED BY ARCHITECT.
(J. BOX W/3/4" EMPTY CONDUIT TO CEILING SPACE). PROVIDE
PULL STRING

DATA/COMPUTER OUTLET @ +18" A.F.F. OR AS DIRECTED BY ARCHITECT.
(J. BOX W/3/4" EMPTY CONDUIT TO CEILING SPACE). PROVIDE
PULL STRING

SMOKE DUCT DETECTOR WITH SHUT-DOWN RELAY

SYSTEM SENSOR #DH-100 AC/DC

REMOTE TEST STATION (WITH KEY) W/SUPERVISORY AND
AUDIBLE TROUBLE SIGNAL 'SYSTEM SENSOR' SSK451, OR
APPROVED EQUAL. MOUNT AT 48" AFF

8' FLUORESCENT STRIP

2'x2' FLUORESCENT PARABOLIC

THERMOSTAT

FLUORESCENT WALL PACK

WALL SCONCE

WALL/CEILING MOUNTED EMERGENCY LIGHT W/BATTERY BACKUP

GFI DEVICE

WEATHERPROOF

ISOLATED GROUND

20 amp, 120 V receptacles in lunch room
all be gfci protected. per NEC 210.8.
outlets shown with no circuit numbers are existing.

06.12 (A) Dwelling Unit:
all areas specified in 210.52, all nonlocking-type
125-volt, 15- and 20-ampere receptacles shall be
listed tamper-resistant receptacles.

exception to (A),
) Receptacles located more than 1.7 m (5 1/2 ft)
above the floor

2) Receptacles that are part of a luminaire or
outlet

6) A single receptacle or a duplex receptacle for two appliances located within dedicated space for each appliance that, in normal use, is not easily removed from one place to another and that is cord-and plug-connected in accordance with 400.7
(c) (4)(7) (4)(8)

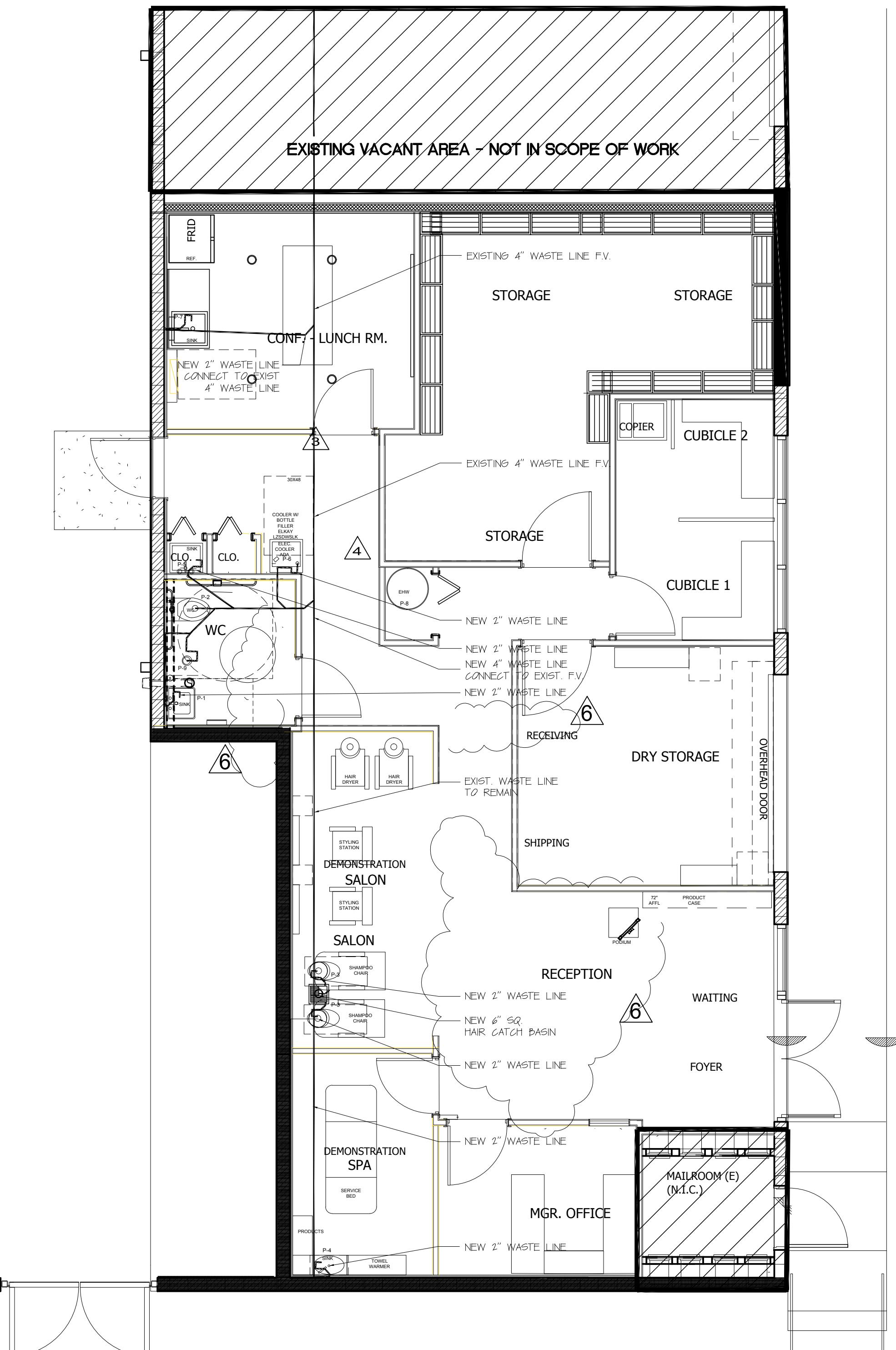
-) Nongrounding receptacles used for replacements
is permitted in 406.4(D)(2)(g)

ELECTRICAL PLAN

PLEASANT IMAGE DISTRIBUTION COMMERCIAL BAY BUILD-OUT

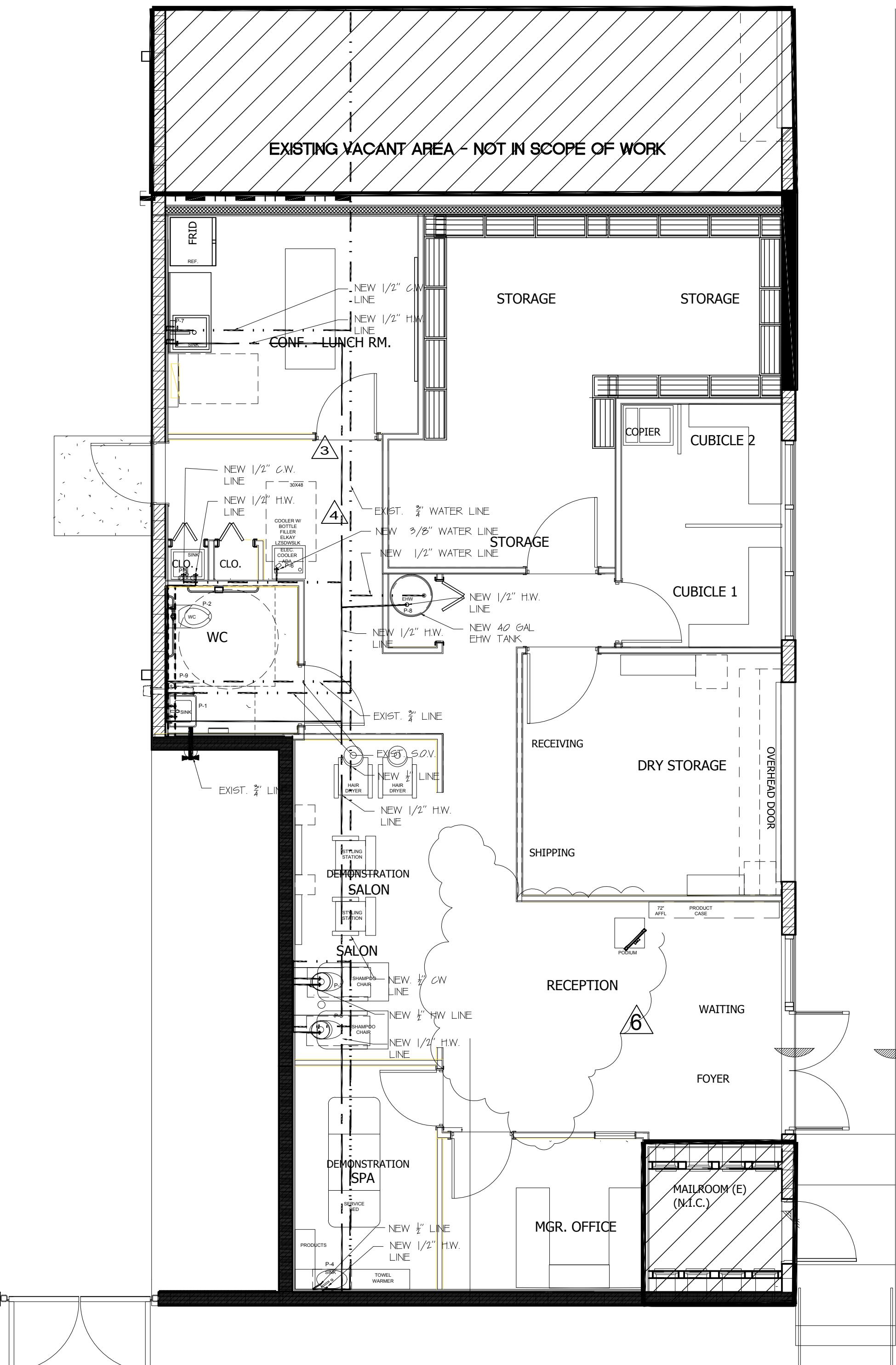
NW 5TH AVENUE, UNIT 10
FORT LAUDERDALE, FL 33311

E-1.0



WASTE PLAN

SCALE: 1/4" = 1'-0"



WATER PLAN

SCALE: 1/4" = 1'-0"

DEVELOPMENT SCOPE: PLUMBING
 NOTE: ALL EXISTING PLUMBING FIXTURE/LINES TO REMAIN UNLESS OTHERWISE INDICATED.

1. EXISTING PLUMBING SERVICE LINE INSTALLED IN FLOOR TO REMAIN. CONNECT NEW WASTE LINES TYPICAL THROUGHOUT U.O.N.
2. EXISTING WATER LINE INSTALLED, TO REMAIN TYPICAL U.O.N. PREP TO CONNECT NEW FIXTURES.
3. NEW PLUMBING FIXTURES / FAUCETS TO BE INSTALLED, REFER TO SCHEDULE LAV. WC, MOP SINK, COOLER, CAP-SINK, SHAMPOO SINK, HAND SINK.
4. NEW WATER LINE (HOT+COLD) TO BE RELOCATED AND CONNECTED AT EACH NEW SINK.
5. NEW ELEC. HOT WATER TANK HEATER TO BE INSTALLED.
6. RECONFIGURE WASTE LINE TO MEET NEW FIXTURE POSITION.
7. NEW FLOOR SINK WITH HAIR TRAP BASIN, CONNECT WASTE LINE TO SEWER.
8. NEW MOP SINK.
9. NEW FLOOR DRAIN, F.V. LINE.

403.1
PLUMBING FIXTURE CALC: DESIGN LOAD CAPACITY (6)
1523 SF DISTRIBUTION-WAREHOUSE/STORAGE :
HAZARD: LOW-MODERATE

REQUIRED	PROVIDED
WC (1:100)	1
LAV (1:100)	1
COOLER (ADA) (1:400)	1
W/BOTTLE FILLER SINK (1:100)	1

3

4

5

6

PLUMBING-GAS PLAN COMMERCIAL BAY BUILD-OUT PLEASANT IMAGE DISTRIBUTION 5 701 NW 5TH AVENUE, UNIT 1071 FORT LAUDERDALE, FL 33311	
SHEET TITLE : AS NOTED SCALE: V.H. DRAWN BY: N.H. CHECKED BY: N.H. APPROVED BY: N.H.	JOB TITLE : ARCHITECT OF RECORD DANIEL C HALL, AIA, NOMA ASR. 0013563 DATE: 2025.02.10 13:01:17 -05:00 DESIGN FIRM A D G 140 S Dixie Hwy, #729, Hollywood, FL 33013 o 954.854.8582, archdesgroup@gmail.com
DATE: 07-31-23 REVISIONS: 04.24.24 PLUMB REVIEW COMMENTS 05.07.24 PLUMB ADA BOTTLE COMMENTS 06.16.24 TITLE BLOCK 06.16.24 FIX. ADDRESS 01.06.25 OWNER REQ. 01.06.25 PARTITION CHANGE	SEAL
P-1.0 OF SHEETS	CROSS HATCH INDICATES EXISTING AREA NOT IN SCOPE OF WORK (E) INDICATES EXISTING ITEM JOB.: 073123-PID SHEET

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 ALL EXPOSED AND VISIBLE DATA IS FIELD VERIFIED BY A/E