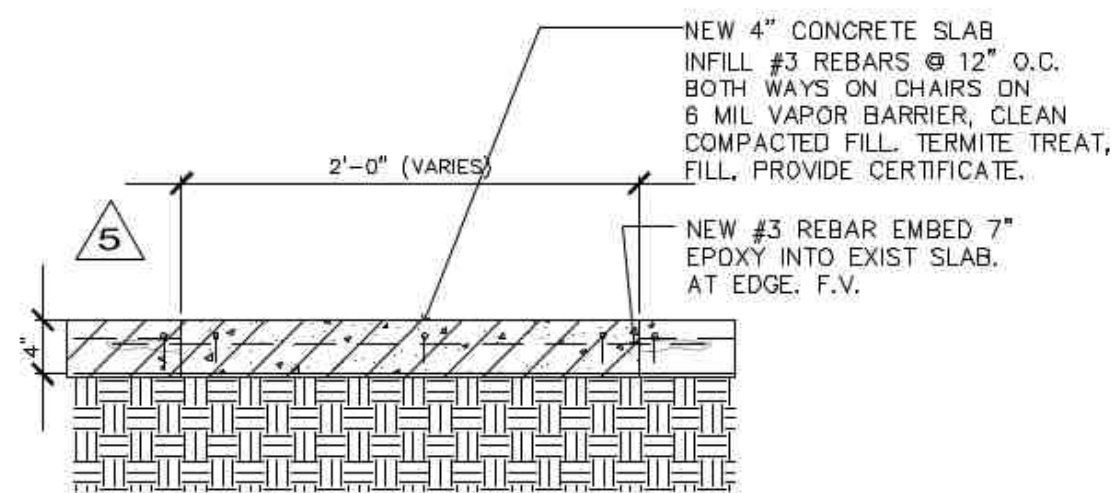


LOCATION PLAN

SCALE: 1/32" = 1'-0"



CONC. SLAB REPAIR DETAIL

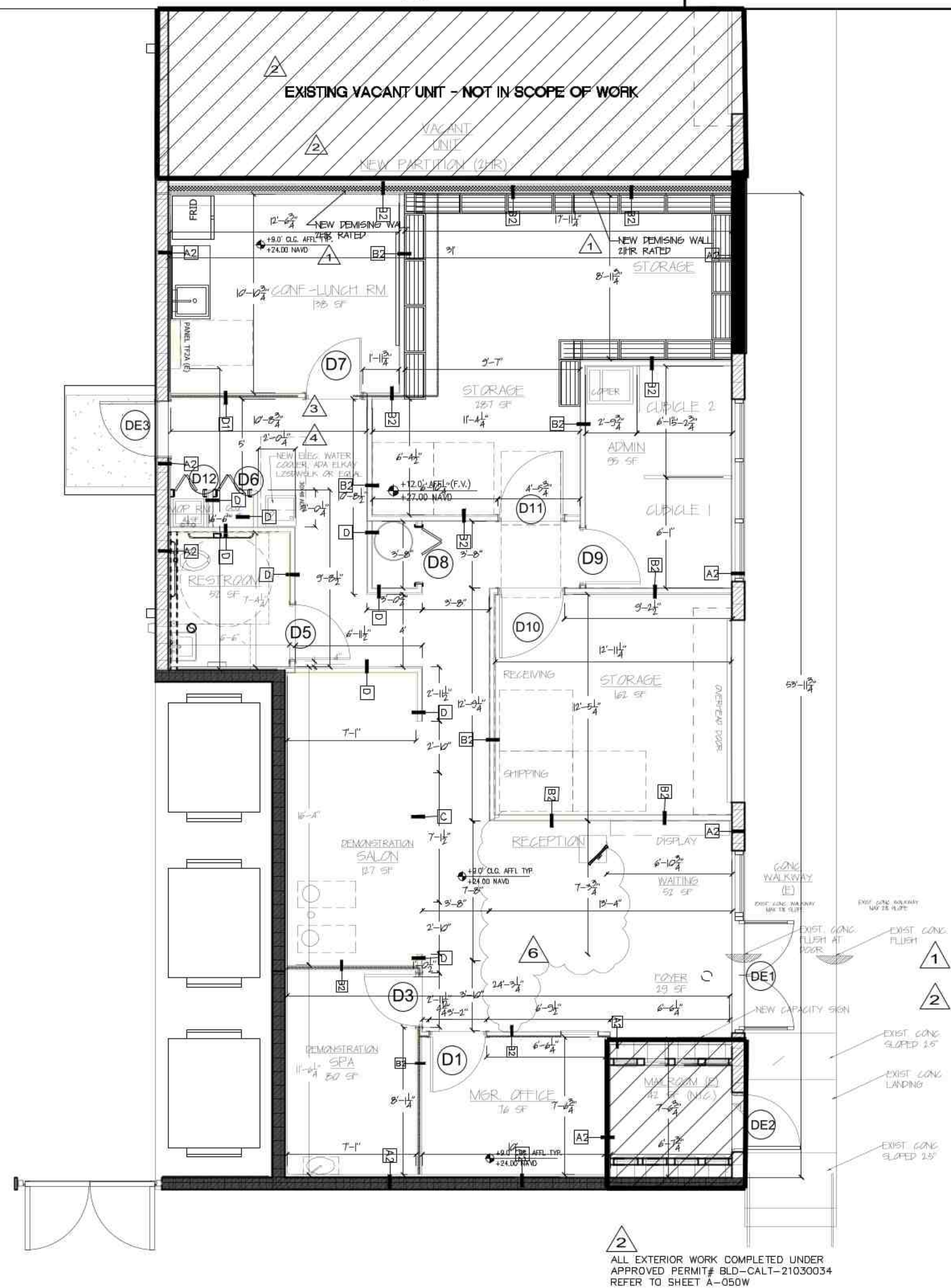
SCALE: NTS

CONSTRUCTION NOTES:

- Scope of Work (Alteration Level 2)
Contractor shall install new material and equipment as indicated on the plans. To include all integrated electric, plumbing and mechanical systems. Reconnect Slab up and secure at closet element to remain. Protect from damage.
Repair all walls and surfaces indicated to remain throughout. Install new gyp. bd. finish to match exist. adjacent fin. to meet specified partition type, refer to sch.
- Install interior floor finishes in all areas as indicated, to include their components, bases, subfloor and edge strips as required by manufacturer and indicated. Install new low gyp. bd. partition to frame service area. Refer to schedule. Install new counter top, base cabinets and its components or equipment as required and indicated.
- Repair/Install new gyp. bd. partition and its components in its entirety or portion horizontal and vertical as indicated, secure or shure up adjacent elements to protect from damage or deflection or deformation until completed.
- Existing item to remain i.e., secure and protect from damage. All existing items to remain shall be maintained or repair to as new status to match similar operable components.
- Install new ceiling to its existing ceiling system. Secure and restore to accommodate re-installed layout as indicated.
- Repair, Patch and Paint all existing building, interior and finishes to create a fully integrated remediation. No interior structural work is intended in this scope. Existing gyp. bd. ceiling indicated as to be worked/cleaned repaired.
- All mech, elec, and plumbing component are to be new U.O.N., existing to remain shall be cleaned, prep, painted and re-secured in ceiling, as required.
- All M.E.P. equipment and components designated to be installed in open exposed ceiling shall be the nature/finish/working for exposed use.
- Existing Roof to remain (N.I.C.), provide flashing and repair for new equipment on roof.
- Existing RTUs / A/C Equip. to be remain (N.I.C.) shown for reference only.

GENERAL NOTES

- CUTTING AND PATCHING
1. EXAMINE EXISTING CONDITIONS, INCLUDING ELEMENTS SUBJECT TO DAMAGE OR MOVEMENT DURING CUTTING AND PATCHING.
2. AFTER UNCOVERING WORK, ASSESS CONDITIONS AFFECTING PERFORMANCE OF WORK.
3. EXECUTE WORK BY METHODS TO AVOID DAMAGE TO OTHER WORK, AND WHICH WILL PROVIDE APPROPRIATE SURFACES TO RECEIVE PATCHING AND FINISHING.
4. EXECUTE EXCAVATING AND BACKFILLING BY METHODS WHICH WILL PREVENT SETTLEMENT OR DAMAGE TO OTHER WORK.
5. RESTORE WORK WITH NEW PRODUCTS IN ACCORDANCE WITH REQUIREMENTS OF CONTRACT DOCUMENTS.
6. FIT WORK TIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT, AND OTHER PENETRATIONS THROUGH SURFACES.
- ALTERATION PROJECT PROCEDURES: FIELD VERIFY ALL DIMENSIONS PRIOR TO START
1. MATCH EXISTING PRODUCTS AND WORK FOR PATCHING AND EXTENDING WORK
2. CUT, MOVE, OR REMOVE ITEMS AS NECESSARY FOR ACCESS TO ALTERATIONS AND RENOVATION WORK. REPLACE AND RESTORE AT COMPLETION.
3. REMOVE UNSUITABLE MATERIAL NOT MARKED FOR SALVAGE, SUCH AS ROTTED WOOD.
4. REPLACE MATERIALS AS SPECIFIED FOR FINISHED WORK. REMOVE DEBRIS AND ABANDONED ITEMS FROM AREA AND FROM CONCEALED SPACES.
- FINISHES
1. WHEN FINISHED SURFACES ARE CUT SO THAT A SMOOTH TRANSITION WITH NEW WORK IS NOT POSSIBLE, TERMINATE EXISTING SURFACE ALONG A STRAIGHT LINE AT A NATURAL LINE OF DIVISION AND MAKE RECOMMENDATIONS TO ARCHITECT.
2. AT COMPLETION OF WORK IN EACH AREA, CLEAN AND RETURN SPACE TO A CONDITION SUITABLE FOR USE BY OWNER.
3. RESTORE ALL NEW & REPAIRED SURFACES TO MATCH ADJACENT SURFACES.
- CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS:
1. VENTILATE ENCLOSED AREAS TO PREVENT ACCUMULATION OF DUST, FUMES, VAPORS OR GASES.
- BARRIERS:
1. PROVIDE BARRIERS TO PREVENT UNAUTHORIZED ENTRY TO CONSTRUCTION AREAS AND TO PROTECT EXISTING FACILITIES AND ADJACENT PROPERTIES FROM DAMAGE.
- SECURITY:
1. PROVIDE SECURITY AND FACILITIES TO PROTECT WORK, EXISTING FACILITIES, AND OWNER'S OPERATIONS FROM UNAUTHORIZED ENTRY, VANDALISM OR THEFT.
2. COORDINATE WITH OWNER'S SECURITY PROGRAM.
- PROGRESS CLEANING:
1. MAINTAIN AREAS FREE OF WASTE MATERIALS, DEBRIS, AND RUBBISH.
2. MAINTAIN SITE IN A CLEAN AND ORDERLY CONDITION.
3. REMOVE DEBRIS AND RUBBISH FROM PIPE CHASES, PLENUMS, CRAWL SPACES, AND OTHER CLOSED OR REMOTE SPACES, PRIOR TO ENCLOSING THE SPACE.
4. BROOM AND VACUUM CLEAN INTERIOR AREAS PRIOR TO START OF SURFACE FINISHING, AND CONTINUE CLEANING TO ELIMINATE DUST.
- TEMPORARY CONTROLS:
1. NOISE CONTROL: PROVIDE ALL NECESSARY REQUIREMENTS FOR NOISE CONTROL DURING CONSTRUCTION PERIOD. CONFORM WITH APPLICABLE OSHA REQUIREMENTS AND LOCAL ORDINANCES HAVING JURISDICTION.
2. DUST CONTROL: EXECUTE WORK BY METHODS TO MINIMIZE RAISING DUST FROM CONSTRUCTION OPERATIONS. PROVIDE POSITIVE MEANS TO PREVENT AIR-BORNE DUST FROM DISPERSING INTO ATMOSPHERE.
3. DEBRIS CONTROL: MAINTAIN ALL AREAS FREE OF EXTRANEOUS DEBRIS. PROVIDE CONTAINERS FOR DEPOSIT OF DEBRIS.
4. POLLUTION CONTROL: PROVIDE METHODS, MEANS, AND FACILITIES TO PREVENT CONTAMINATION OF SOIL, WATER, AND ATMOSPHERE FROM DISCHARGE OF NOXIOUS, TOXIC SUBSTANCES, AND POLLUTANTS PRODUCED BY CONSTRUCTION OPERATIONS.
- REMOVAL OF UTILITIES, FACILITIES, AND CONTROLS:
1. CLEAN AND REPAIR DAMAGE CAUSED BY INSTALLATION OR USE OF TEMPORARY WORK.
2. RESTORE EXISTING FACILITIES USED DURING CONSTRUCTION TO ORIGINAL CONDITION. RESTORE PERMANENT FACILITIES USED DURING CONSTRUCTION TO SPECIFIED CONDITION.
- CONTRACT CLOSEOUT:
1. SUBMIT WRITTEN CERTIFICATION THAT CONTRACT DOCUMENTS HAVE BEEN REVIEWED, WORK HAS BEEN INSPECTED, AND THE WORK IS COMPLETE IN ACCORDANCE WITH CONTRACT DOCUMENTS AND READY FOR ARCHITECT'S REVIEW.
2. PROVIDE SUBMITTALS TO ARCHITECT THAT ARE REQUIRED BY GOVERNING OR OTHER AUTHORITIES.
3. SUBMIT FINAL APPLICATION FOR PAYMENT IDENTIFYING TOTAL ADJUSTED CONTRACT PRICE, PREVIOUS PAYMENTS, AND AMOUNT OF REMAINING DUE.
4. ADJUST OPERATING PRODUCTS AND EQUIPMENT TO ENSURE SMOOTH AND UNHINDERED OPERATION.
5. INSTRUCT OWNER'S PERSONNEL IN OPERATION, ADJUSTMENT, AND MAINTENANCE OF EQUIPMENT AND SYSTEMS, USING THE OPERATION AND MAINTENANCE DATA AS THE BASIS OF INSTRUCTION.
6. USE MATERIALS WHICH WILL NOT CREATE HAZARDS TO HEALTH OR PROPERTY, AND WHICH WILL NOT DAMAGE SURFACES.
7. USE ONLY MATERIALS AND METHODS RECOMMENDED BY MANUFACTURER OF MATERIAL BEING CLEANED.
8. PROVIDE CONTAINERS AND LOCATE ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS, WHEN APPLICABLE.
9. EXECUTE CLEANING TO ENSURE THAT BUILDING, GROUNDS, AND PUBLIC PROPERTIES ARE MAINTAINED FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH.
10. CLEAN SITE DAILY, DURING PROGRESS OF WORK; DISPOSE WASTE, DEBRIS, AND SURPLUS MATERIALS FROM SITE.
11. BROOM CLEAN INTERIOR BUILDING AREAS WHEN READY TO RECEIVE FINISH PAINTING. CONTINUE BROOM CLEANING ON AN AS-NEEDED BASIS UNTIL BUILDING IS READY FOR ACCEPTANCE OR OCCUPANCY.
12. SCHEDULE CLEANING OPERATIONS SO DUST AND OTHER CONTAMINANTS RESULTING FROM CLEANING PROCESS WILL NOT FALL ON WET, NEWLY PAINTED SURFACES, OR JEOPARDIZE HEALTH OF EMPLOYEES OR OTHER OCCUPANTS.
13. USE EXPERIENCED WORKMEN, OR PROFESSIONAL CLEANERS FOR FINAL CLEANING.
14. REMOVE TEMPORARY PROTECTION AND LABELS NOT REQUIRED TO REMAIN.
15. VACUUM CARPET SURFACES AND POLISH HARD SURFACED FLOOR FINISHES INSTALLED OR AFFECTED BY WORK.
16. CLEAN PERMANENT FILTERS OF VENTILATING EQUIPMENT AND REPLACE DISPOSABLE FILTERS WHEN UNITS HAVE BEEN OPERATED DURING CONSTRUCTION.
17. REMOVE WASTE, DEBRIS, AND SURPLUS MATERIALS FROM SITE. CLEAN GROUNDS; REMOVE STAINS, SPILLS, AND FOREIGN SUBSTANCES RESULTING FROM CONSTRUCTION WORK FROM PAVED AREAS, AND SWEEP CLEAN.



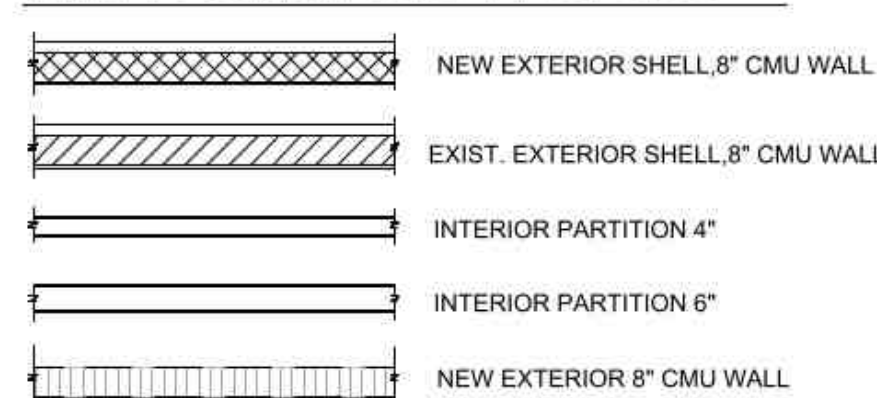
FLOOR PLAN

SCALE: 1/4" = 1'-0"

ROOF PLAN

SCALE: 1/4" = 1'-0"

WALL GRAPHIC LEGEND



USE--OCCUPANCY: B
CONSTRUCTION: TYPE II

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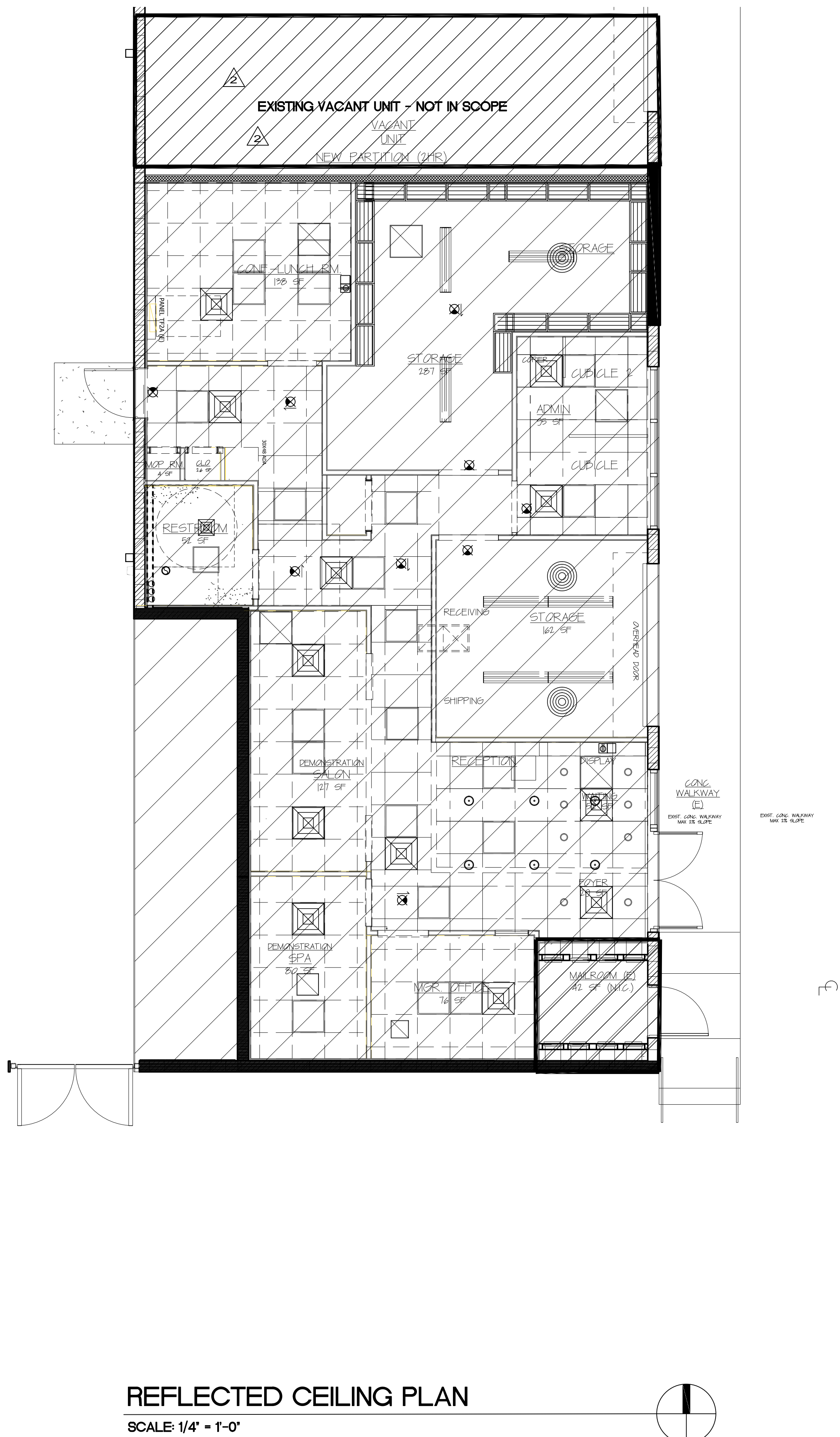
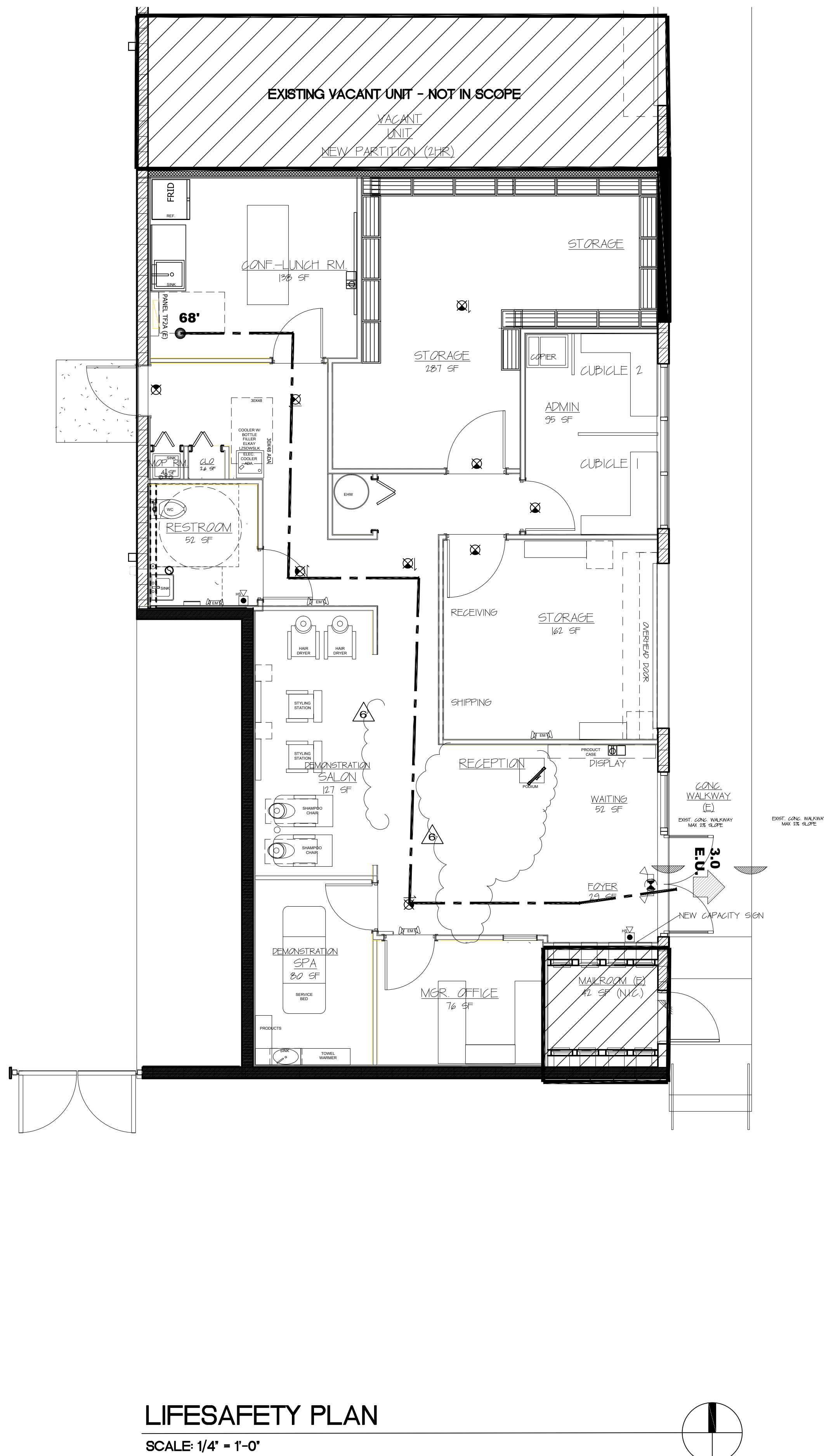
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140 S. Dixie Hwy #720 Hollywood, FL 33020
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No.	3	4	5	6
REVISIONS	PLUMB COMMENTS	PLUMB ADA BOTTLE UNIT	TITLE BLOCK	OWNER REQ. PARTITION CHANGE
DATE	08/26/24	05/07/24	08/19/24	01/08/25

FLOOR-- ROOF. PLAN
COMMERCIAL BAY BUILD-OUT
PLEASANT IMAGE DISTRIBUTION
701 NW 5TH AVENUE, UNIT 1071
FORT LAUDERDALE, FL. 33311

DATE	07-31-23
SCALE	AS NOTED
DRAWN BY	V.H.
CHECKED BY	N.H.
APPROVED BY	N.H.

JOB: 073123-PID
SHEET
A-1.0
OF SHEETS



MEANS OF EGRESS REQUIRED:
2' PER PERSON X 31 = 6.2' TOTAL (1.5 UNITS)
EGRESS PROVIDED = 108' TOTAL (4.5 UNITS)

1. FIRE EXTINGUISHER SHALL BE CURRENTLY DATED AND TAGGED BY LICENSED FIRE EQUIPMENT CO.
2. ADDITIONAL EXISTING SIGNS AND EMERGENCY LIGHTS MAY BE REQUIRED BY THE FIRE INSPECTOR AT THE TIME OF THE FIRE FINAL.
3. ALL DOORS IN THE MEAN OF EGRESS SHALL BE SINGLE ACTION RELEASE AND SHALL NOT REQUIRE THE USE OF A KEY, TOOL, OR SPECIAL KNOWLEDGE TO OPEN FROM EGRESS SIDE SHALL COMPLY WITH NFPA 101:7.2.1. AND NFPA 101:7.2.1.2.
4. TOTAL OCCUPANT LOAD 31.
5. SEPARATE UL 300 HOOD FIRE SUPPRESSION SHOP DRAWINGS COMPLYING WITH NFPA 96 (2011 ED) AND NFPA 17A (2009 ED) AND PERMITS TO BE PROVIDED BY LICENSED AND CERTIFIED FIRE EQUIPMENT CONTRACTOR.
6. A "MAXIMUM CAPACITY OF XXX" SIGN AND A MAXIMUM SEATING OF XXX SIGN WILL BE POSTED WITH A REDUCED COPY OF SEATING LAYOUT/PLAN AT THE FRONT ENTRANCE IN ACCORDANCE WITH NFPA-101:12.7.9.3.1
7. A REDUCED COPY OF THE FUTURE AND SEATING PLAN WILL BE PROVIDED ON A 8.5 X 11 SHEET OF PAPER TO THE FIELD INSPECTOR AT TIME OF FINAL AND A LEGIBLE COPY WILL BE PERMANENTLY POSTED NEAR THE MAXIMUM CAPACITY SIGN.
8. THE NUMERICAL ADDRESS WILL BE PROVIDED ON ALL EXTERIOR DOORS AS PER CITY ORDINANCE 52.10 WITH 6" NUMBERS, WEATHERPROOF, AND CONTRASTING COLORS. IF THE LETTERS ARE TO BE PLACED IN A WINDOW THEY SHALL BE "WHITE". IF THEY ARE TO BE PLACED ON A LIGHT COLORED BACKGROUND THEY SHALL BE "BLACK".
9. A GAS SHUT OFF SIGN WILL BE POSTED "GAS SHUT OFF" TO THE OUTSIDE OF THE BUILDING ABOVE THE GAS CYLINDER.
10. ANY CURTAINS OR DRAPERIES USED SHALL COMPLY WITH THE PROVISIONS OF SECTION 10.3.1 AND NFPA-701. STANDARD METHOD OF FIRE TESTS FOR FLAME PROPAGATION OF TEXTILES AND FILMS (FFPC NFPA-101:13.7.4.1). TREATED CLOTH MATERIALS MUST HAVE BARE MANUFACTURER LABELS.
11. SIGNAGE WILL BE PROVIDED TO STATE (METER ROOM, NO STORAGE) TO THE OUTSIDE OF THE ELECTRICAL ROOM DOOR WITH DURABLE, PERMANENT, MATERIAL AND A MINIMUM OF 1" LETTERS WITH CONTRACTING BACKGROUND.

LIFESAFETY
FIRE ALARM SYSTEM EXISTING TO BE PROVIDED BY CONTRACTOR, FIRE SPRINKLER HEADS AFFECTED BY NEW WORK SHALL BE ADJUSTED BY SPRINKLER CONTRACTOR UNDER SEPARATE PERMIT.
(*E* DENOTES EXISTING COMPONENT TO REMAIN)

1.5 EXIT UNITS REQ.
3 E.U. PROVIDED

EMER. LIGHT
WEXIT SIGN
EXIT LIGHT

EXIT UNITS
TRAVEL DISTANCE
POINT OF DISCHARGE
EXIT LIGHT
WARRIOR
FULL STATION
STROBE/HORN
STROBE
SMOKE DETECTOR
FIRE ALARM
FIRE ANUNCIATOR PANEL
FIRE SPRINKLER HEAD

NOTES
REFLECTED CEILING NOTES

1. LIGHT FIXTURES, LIGHTED EXIT SIGNS AND ALL OTHER CEILING MOUNTED FIXTURES ARE TO BE CENTERED IN ACT, WHERE LOCATED UNLESS OTHERWISE NOTED.
2. LIGHT SWITCHES TO BE MOUNTED AT 48" AFFL, UNLESS OTHERWISE NOTED.
3. REFER TO ELECTRICAL SHEETS FOR SPECIFIC FIXTURE MANUFACTURERS AND MODELS.
4. HEADER ABOVE DOORS TO GO TO UNDERSIDE OF DECK, MAINTAIN PARTITION INTEGRITY REFER TO PARTITION TYPE.
5. FOR SPRINKLER SYSTEM IF REQUIRED, PROVIDE FIRE PROTECTION SHOP DRAWINGS FOR LAY-OUT.
6. CYP. RO. CEILING TO BE INSTALLED AS INDICATED AND AS SPOTS WHERE LOCATED. ALL SPOTS SHALL HAVE A MINIMUM 6" TRANSITION 1:1 RISE/RUN U.O.N. PROVIDE CODE LIGHTING AT SPOTS WHERE INDICATED.
7. ALL CYP. RO. CEILING OR SPOTS SHALL BE INSTALLED ON METAL STUD FRAMING.

LEGEND
NOTE: "E" REFERS TO EXISTING COMPONENT.

2'X2' ACT CEILING TILE & GRID
REFER TO FINISH PLAN FOR SPECS
1" SPACES EXISTING COMPONENT

7' CYP. RO. CEILING
REFER TO C.E.L. PLAN FOR HEIGHT
REFER TO FINISH SOUL FOR TYPE

AIR SUPPLY OFFSEER
AIR OFFSEER PERFORMED

AIR RETURN

7'X4' FLOURESCENT FIXTURE

2'X4' FLOURESCENT FIXTURE

2'X2' FLOURESCENT FIXTURE

WALL MTL. INDIRECT LINEAR FIXTURE
LIGHTED EXIT SIGN W/ BAT PK. TYP.
ARROW INDICATES W/ DIRECTIONAL ARROW

EMERGENCY LIGHTS W/ BAT PK. TYP.
LIGHTED EXIT SIGN, EMER. LIGHTS
W/ BAT PK. TYP.

RECESSED FIXTURE

WALL MOUNTED FIXTURE

PENDANT FIXTURE

SPOT LIGHT ON TRACK
ACCENT FIXTURE

MUSIC SPEAKER SYSTEM

OUTLET CEILING MTL.

NEW WALL MOUNTED EXTERIOR SCENE

WALL MOUNTED EXTERIOR SCENE (E)

NOTE: OWNER CONTRACTOR MAY SELECT LED ELEMENTS / FIXTURES IN LIEU OF FLOURESCENT

Space Listing:

Space	Area	Capacity	Design
Waiting	56 sf	(3)	
Reception Counter	7 lf	(2.0)	1
Admin	46 sf	(2.0)	2
Office - MGR	70 sf	(1.0)	1
Demonstration SPA	80 sf	(2.0)	
Demonstration Salon	124 sf	(6.0)	
Restroom	52 sf	(1.0)	
Closet	10 sf		
Corridor	247 sf		
Lunch - Conf. Rm.	138 sf *	(10)	
Closet	8 sf		
Admin Cubicle	95 sf	(2)	2
Ship - Rec	162 sf		
Storage	248 sf *		
Service sta	26 sf *		

Total BLDG. Unit(int)Net 1369 sf
Total BLDG Unit 1,523 sf

Exist. Building 5,996 sf
Exist. BoyNet (1,440)

Gross Total 5,996 sf.

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SEAL

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No.	1	2	3	4	5	6
REVISIONS	PERMIT REVIEW COMMENTS	PERMIT REVIEW COMMENTS	TITLE BLOCK	FIX ADDRESS	OWNER REQ.	PARTITION CHANGE
DATE	12.30.23	02.28.24	08.16.24	01.06.25		

REF. CLG - LIFE SAFETY PLAN
COMMERCIAL BAY BUILD-OUT
PLEASANT IMAGE DISTRIBUTION
701 NW 5TH AVENUE, UNIT 1071
FORT LAUDERDALE, FL. 33311

SHEET TITLE: REF. CLG - LIFE SAFETY PLAN
JOB TITLE: COMMERCIAL BAY BUILD-OUT

DATE: 07-31-23
SCALE: AS NOTED
DRAWN BY: V.H.
CHECKED BY: N.H.
APPROVED BY: N.H.

JOB: 073123-PID
SHEET

A-1.1
OF SHEETS

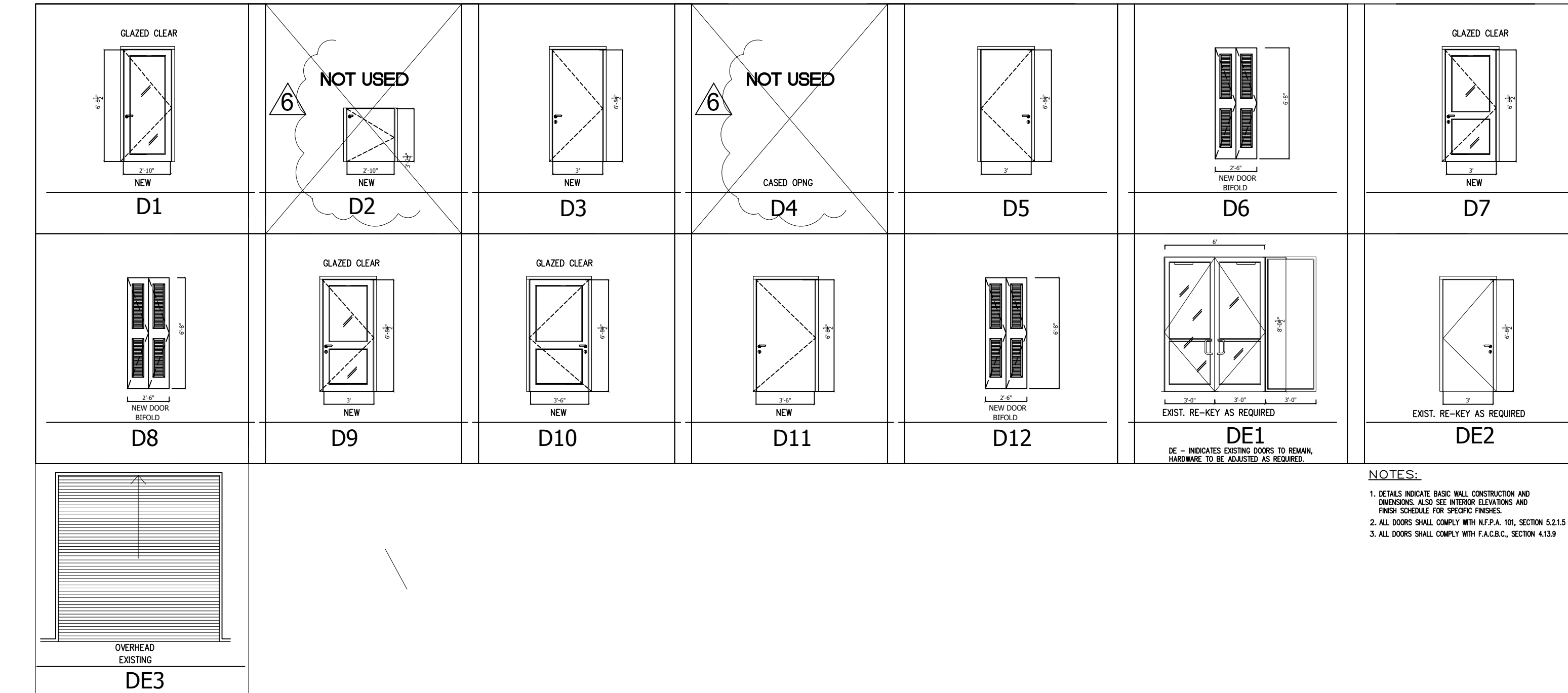
WINDOW SCHEDULE

[illegible]

DOOR SCHEDULE

DOOR SCHEDULE			DIMENSIONS				DOOR				DETAILS				DOORS AND WINDOW TO COMPLY WITH CHAPTER 16 NOTE: COLOR AND FIN. TO MATCH EXIST.	
ID	N.O.A.	LOCATION	W.	HT.	TK.	SRF.	MAT.	FIN.	GLAZ.	SW.	HW.	JAMB	HEAD	SILL	REMARKS	
6	D1	N/A	OFFICE - MGR	2'-10"	6'-8"	0'-1.5"	18.48	WOOD	PAINT	CLEAR -TEMP	LH	2	16/A6.0	16/A6.0		LOCKSET
	D2	N/A	CORRIDOR	2'-10"	3'-6"	0'-1.5"	7.8	WOOD	PAINT		RH	4	16/A6.0	16/A6.0		
6	D3	N/A	SPA ROOM	3'-0"	6'-8"	0'-1.5"	19.8	WOOD	PAINT		LH	2	16/A6.0	16/A6.0		LOCKSET
	D4	N/A	ADMIN	2'-10"	6'-8"	0'-1.5"	18.48	WOOD	PAINT		RH	4	16/A6.0	16/A6.0		
	D5	N/A	RESTROOM	3'-0"	6'-8"	0'-1.5"	19.8	METAL	PAINT		LH	4	16/A6.0	16/A6.0		
	D6	N/A	CLOSET	2'-6"	6'-8"	0'-1.5"	16.5	WOOD	PAINT		LH	4	16/A6.0	16/A6.0		
	D7	N/A	CONF. LUNCH RM	3'-0"	6'-8"	0'-1.5"	19.8	WOOD	PAINT	CLEAR -TEMP	RH	4	16/A6.0	16/A6.0		
	D8	N/A	EHW ROOM	2'-0"	6'-8"	0'-1.5"	13.2	METAL	PAINT		LH-BIFOLD		16/A6.0	16/A6.0		
	D9	N/A	ADMIN	2'-10"	6'-8"	0'-1.5"	18.48	WOOD	PAINT	CLEAR -TEMP	RH	4	16/A6.0	16/A6.0		
	D10	N/A	STORAGE	3'-6"	6'-8"	0'-1.5"	23.1	METAL	PAINT		LH	3	17/A6.0	18/A6.0		
	D11	N/A	STORAGE	3'-6"	6'-8"	0'-1.5"	23.1	METAL	PAINT		RH	3	17/A6.0	18/A6.0		
	D12	N/A	MOP ROOM	2'-6"	6'-8"	0'-1.5"	13.2	METAL	PAINT		RH-BIFOLD		16/A6.0	16/A6.0		
DE1	EXIST.	MAIN ENTRANCE	6'-0"	8'-0"	0'-1.5"	48.0	STOREFRONT	PAINT	CLEAR -TEMP						EXIST. DOOR TO REMAIN	
DE2	EXIST.	SOUTH EXIT	3'-0"	6'-8"	0'-1.5"	19.8	METAL	PAINT							EXIST. DOOR TO BE PAINTED PER SCHEME	
DE3	EXIST.	OVERHEAD DR	10'-0"	10'-4"	0'-1.5"	100.0	METAL	PAINT							EXIST. DOOR TO REMAIN	

FIELD VERIFY ALL SPEC
PROVIDE DOOR TO MATCH



FINISH SCHEDULE

NUMBER	ROOM NAME	FLOOR								BASE				WALLS								CLG.				CEILING HEIGHT	ALLOWANCES / REMARKS			
		1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24			25	26	27
		CURBET	CONCRETE SLAB FINISH STAINED/SEAL-ED, JOINTS KEEN	VINYL COMPOSITION TILE #1 (VCT)	CERAMIC-PORCELAIN TILE	WOOD FLOORING	VINYL COMPOSITION TILE #2 (VCT)	EXISTING TO REMAIN	CURBET #1	NONE	VINYL BASE	CERAMIC TILE	WOOD BASE	EXISTING TO REMAIN	MOSTURE RESISTANT CEMENTIOUS BD	GYP BD	WOOD PANEL WALL COVERING	PAINT - OFF WHITE (COLOR OWNER SELECT)	C.T. w/ VAPOR ABOVE	CERAMIC TILE AT 4'	WHITE BOARD ON ONE WALL	EXISTING TO REMAIN, EXPOSED STL	EXPOSED STRUCTURE - DECK	A.C.T. - GIRD	GYP/STAIN BOARD (MR. GYP. WET AREAS)	WOOD/DOOR FINISH	EXISTING TO REMAIN			
101	ENTRY FOYER	⊙										⊙				⊙	⊙					⊙						10'-0"		
102	WAITING	⊙														⊙		⊙					⊙						10'-0"	
103	RECEPTION	⊙										⊙				⊙						⊙							10'-0"	
104	ADMIN	⊙														⊙							⊙						10'-0"	
105	OFFICE 1	⊙														⊙													10'-0"	
106	SPA DEMO RM	⊙										⊙				⊙							⊙						10'-0"	
107	SALON DEMO RM	⊙										⊙				⊙							⊙						10'-0"	
108	CORRIDOR	⊙										⊙				⊙													10'-0"	1
109	WC	⊙										⊙			⊙									⊙				9'-0"	PROVIDE NON-SLIP FINISH	
110	CLOSET	⊙										⊙				⊙							⊙					9'-0"		
111	MOP SINK	⊙										⊙				⊙				⊙				⊙				9'-0"	PROVIDE NON-SLIP FINISH	1
112	LUNCH - CONF. RM	⊙										⊙				⊙							⊙					10'-0"	PROVIDE NON-SLIP FINISH	
113	STORAGE	⊙										⊙				⊙							⊙					14'-0"		
114	SHIP - RECEIVING	⊙										⊙				⊙							⊙					14'-0"		
115	ADMIN CUBICLES	⊙										⊙				⊙							⊙					9'-0"		
116	EWH	⊙										⊙			⊙									⊙			OPEN		PROVIDE NON-SLIP FINISH	1

THG

AA26001680
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CONSTRUCTION SERVICES

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Digitally signed by Daniel C Hall
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DESIGN FIRM

A D G


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o.954.854.5582, archidesignsgroup@gmail.com

DATE	REVISIONS	No.
11.02.23	OWNER REQ. EPOXY	1
08.16.24	TITLE BLOCK FIX ADDRESS	5
01.08.25	OWNER REQ. PARTITION CHANGE	6

SCHEDULES

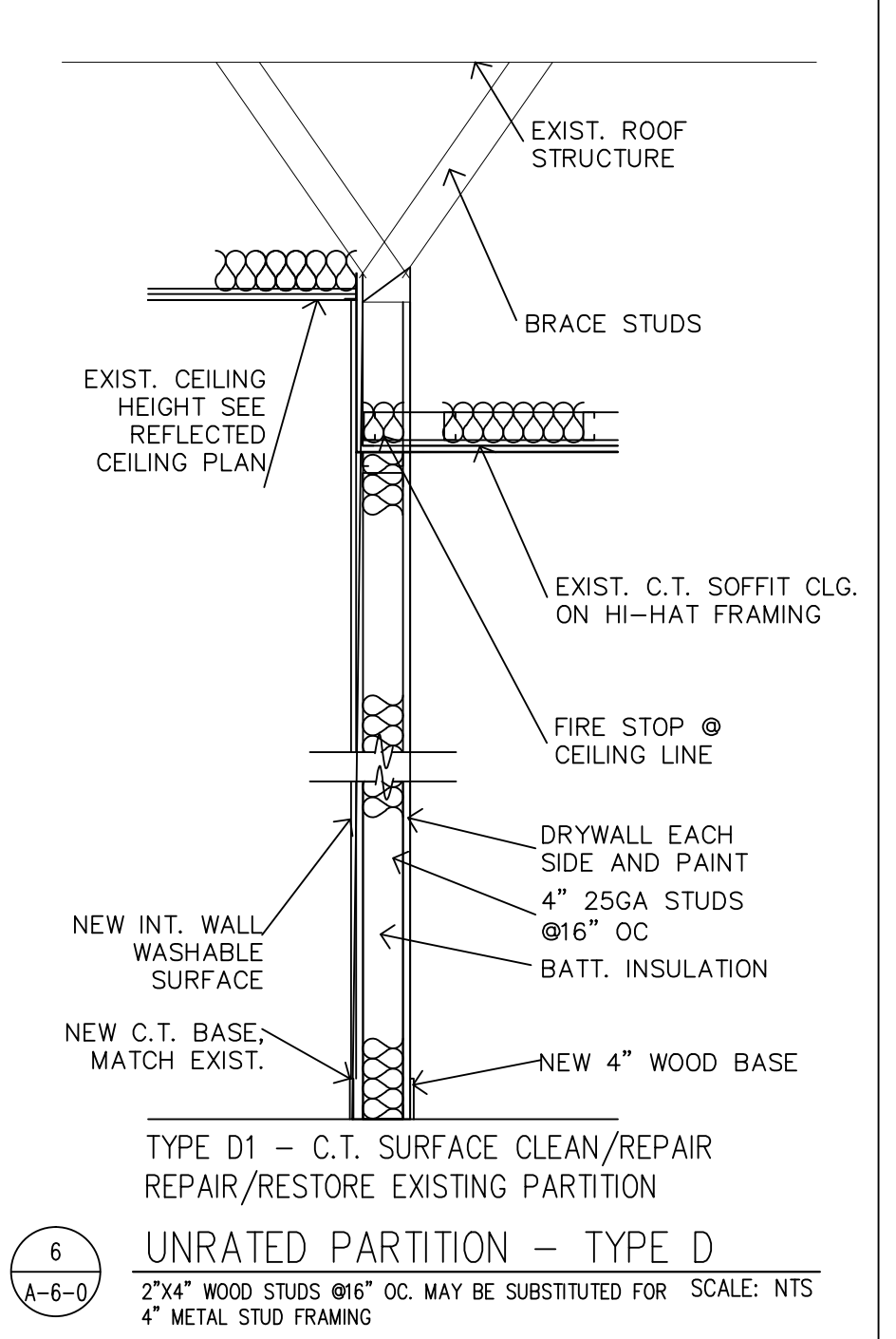
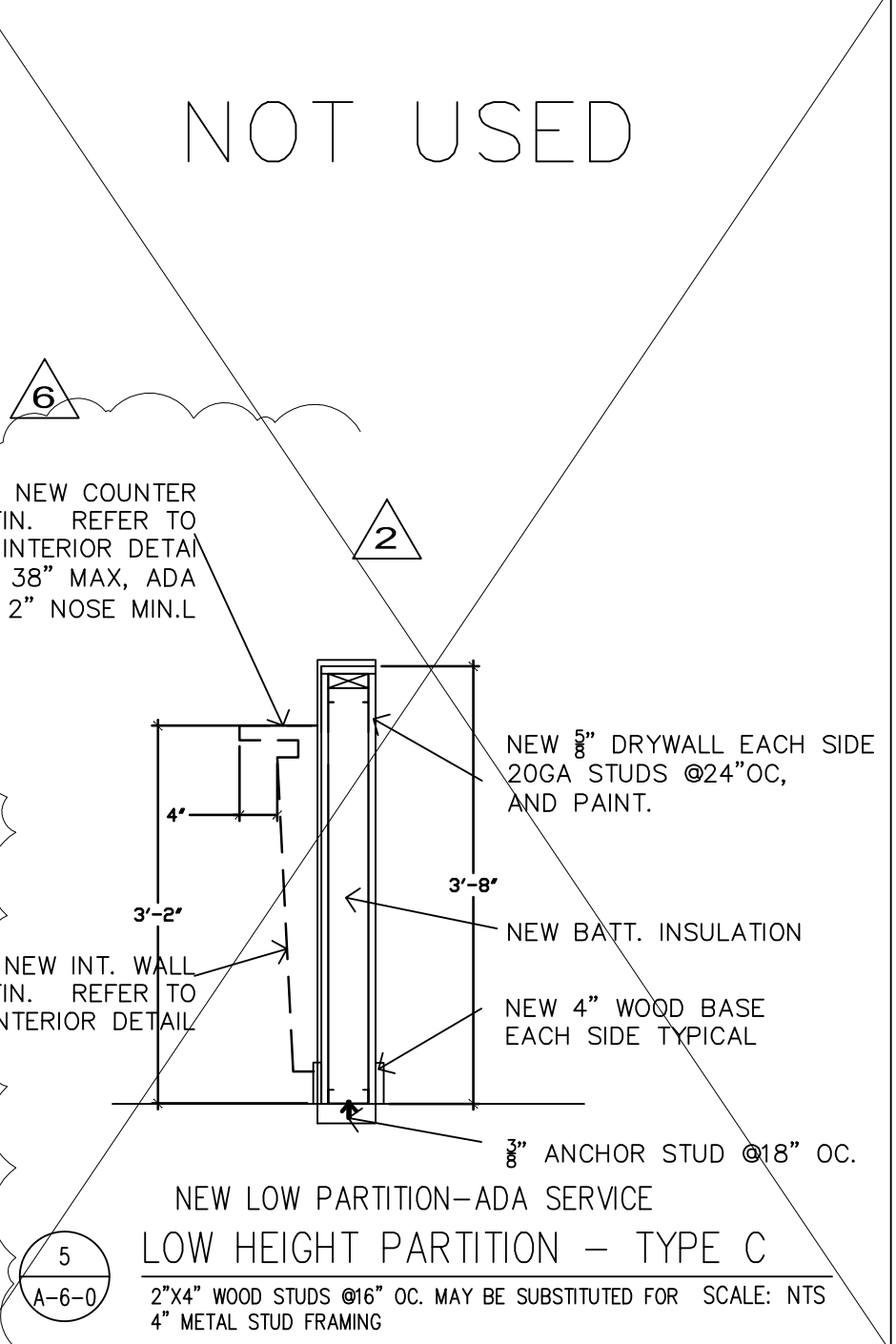
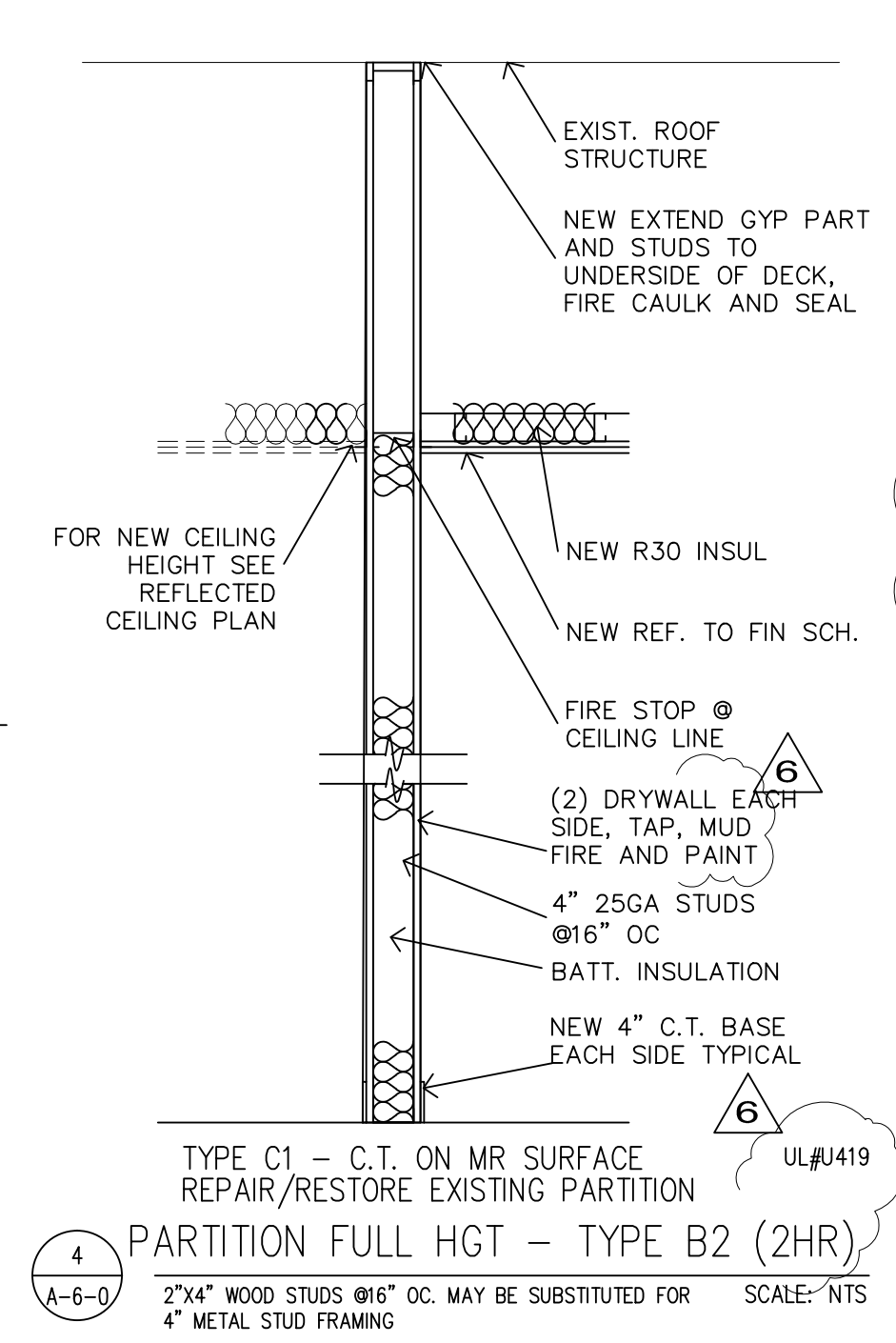
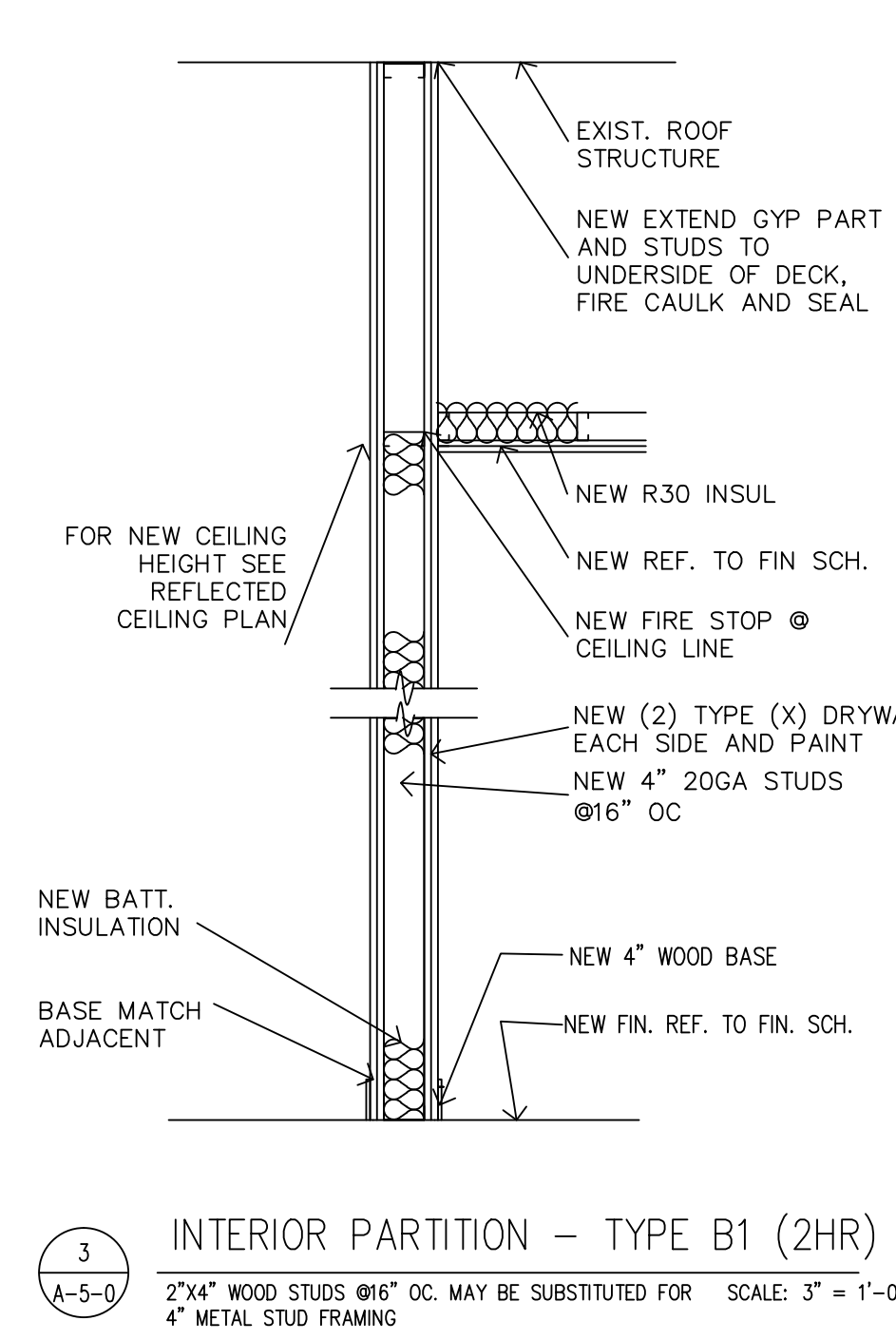
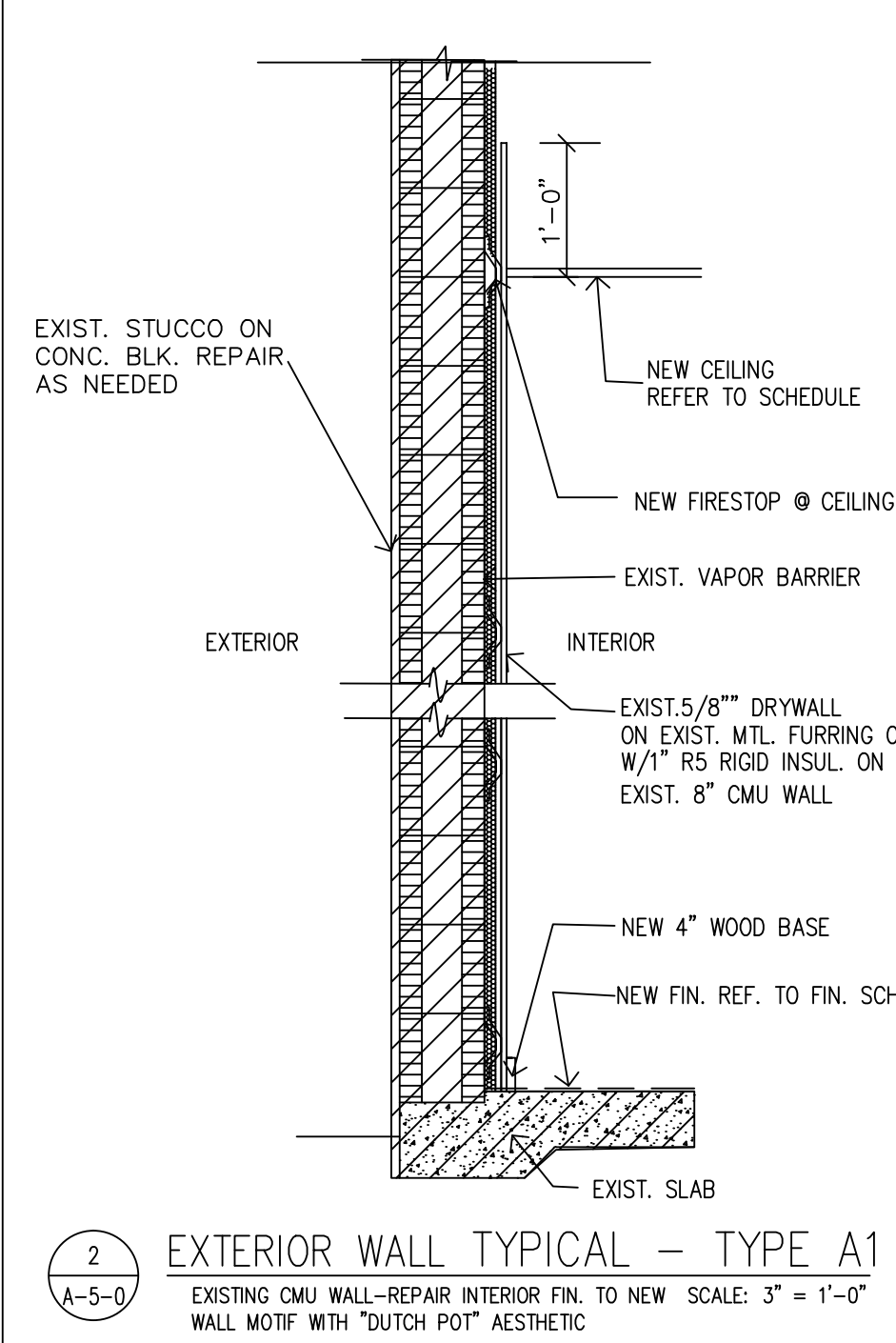
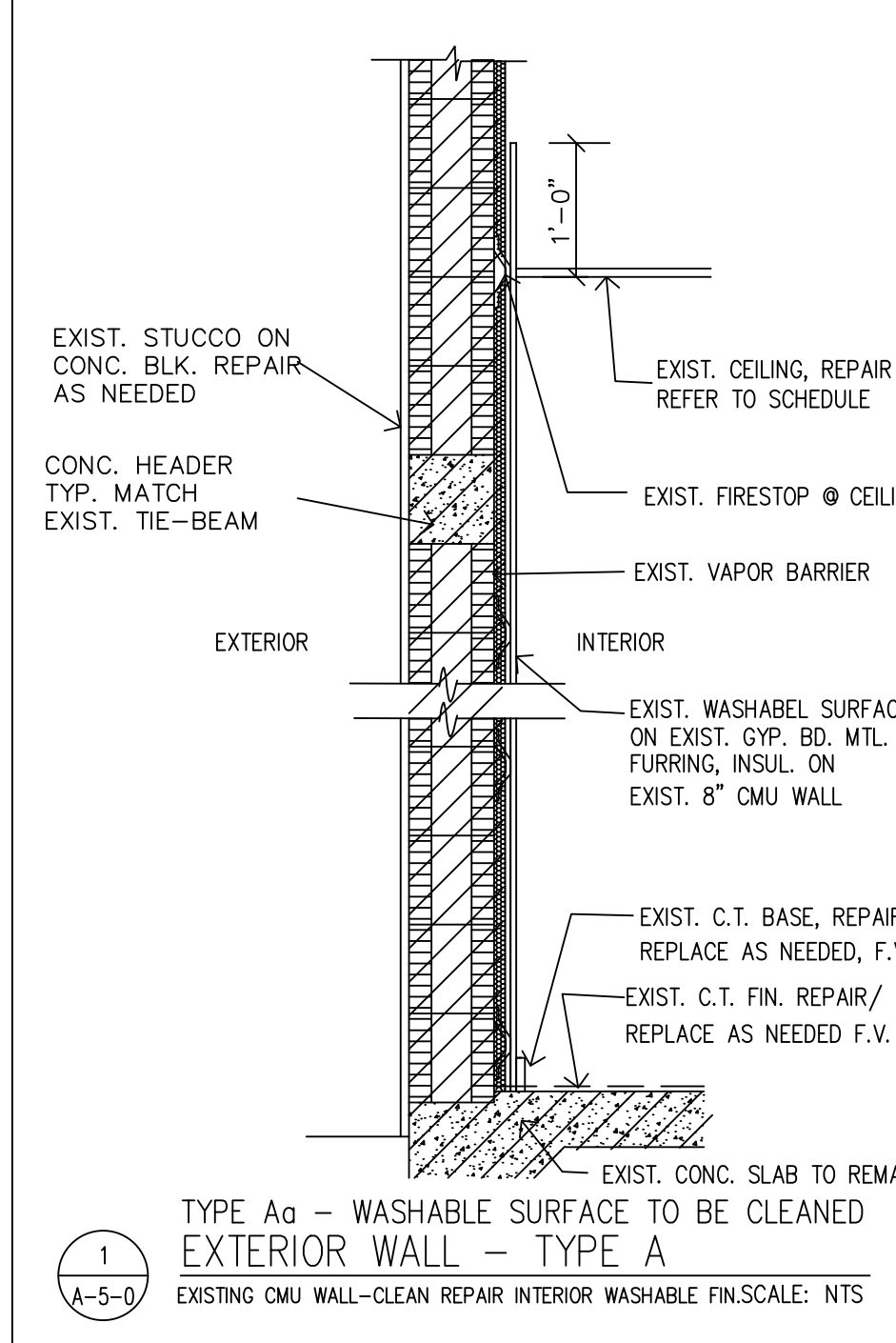
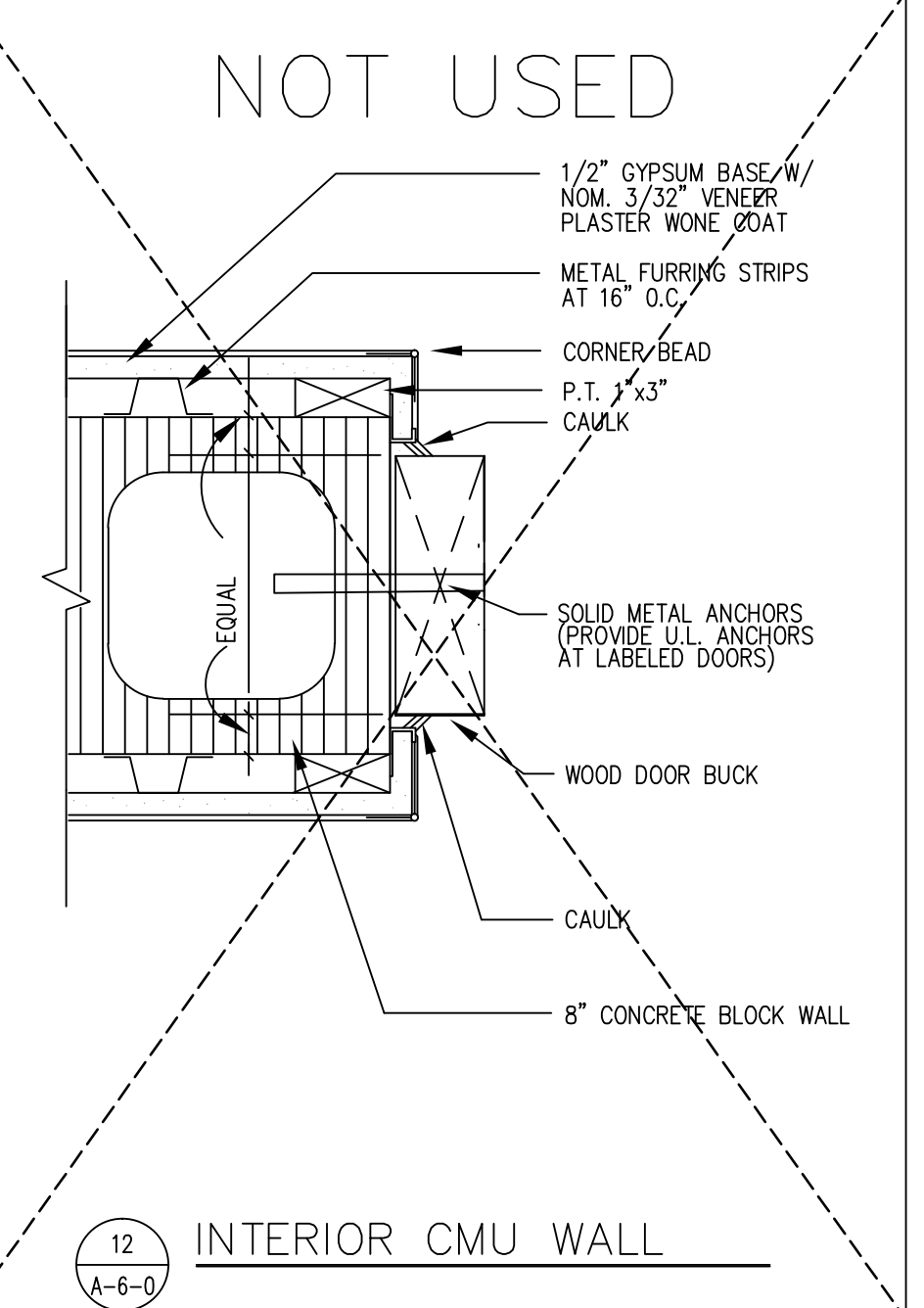
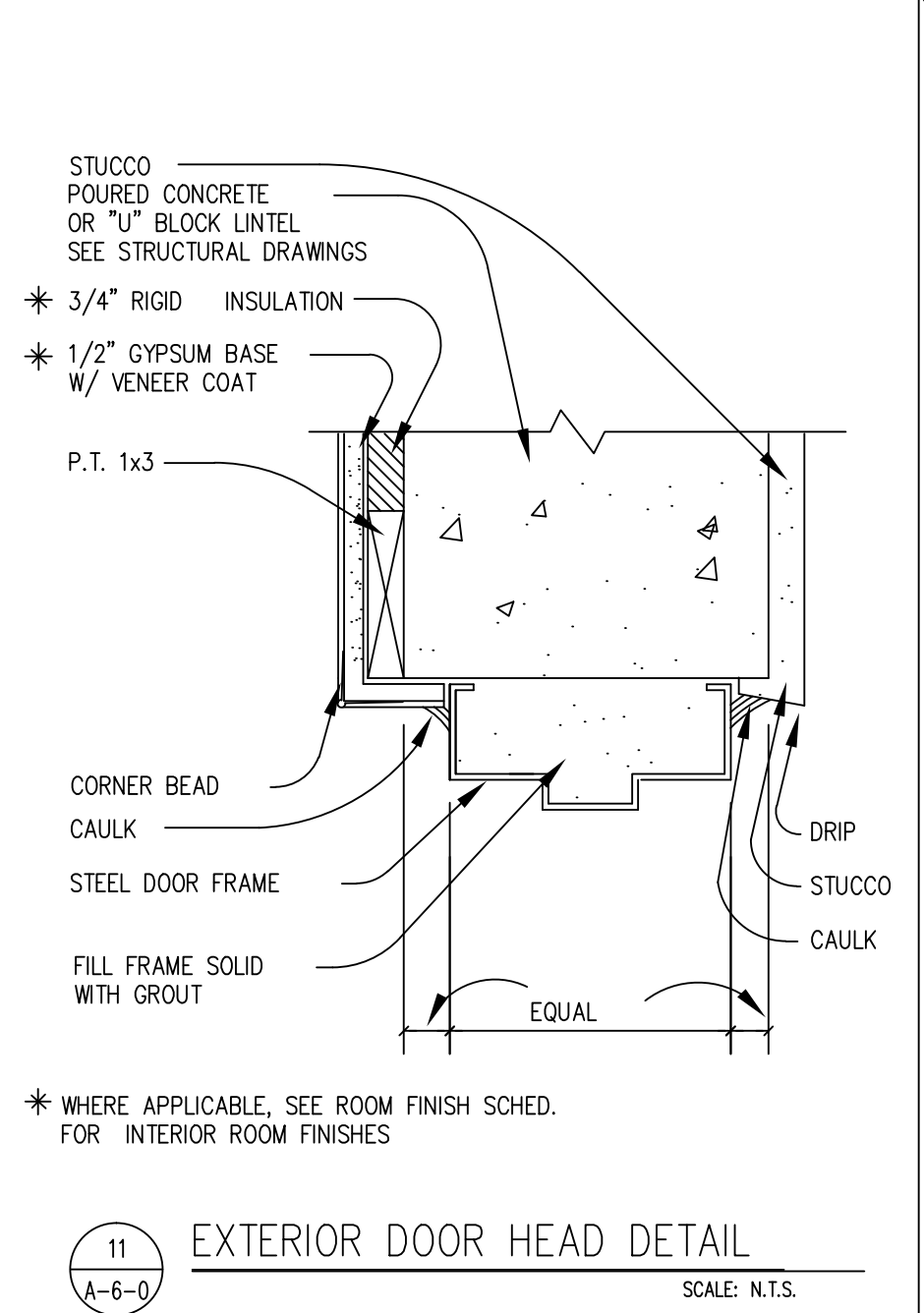
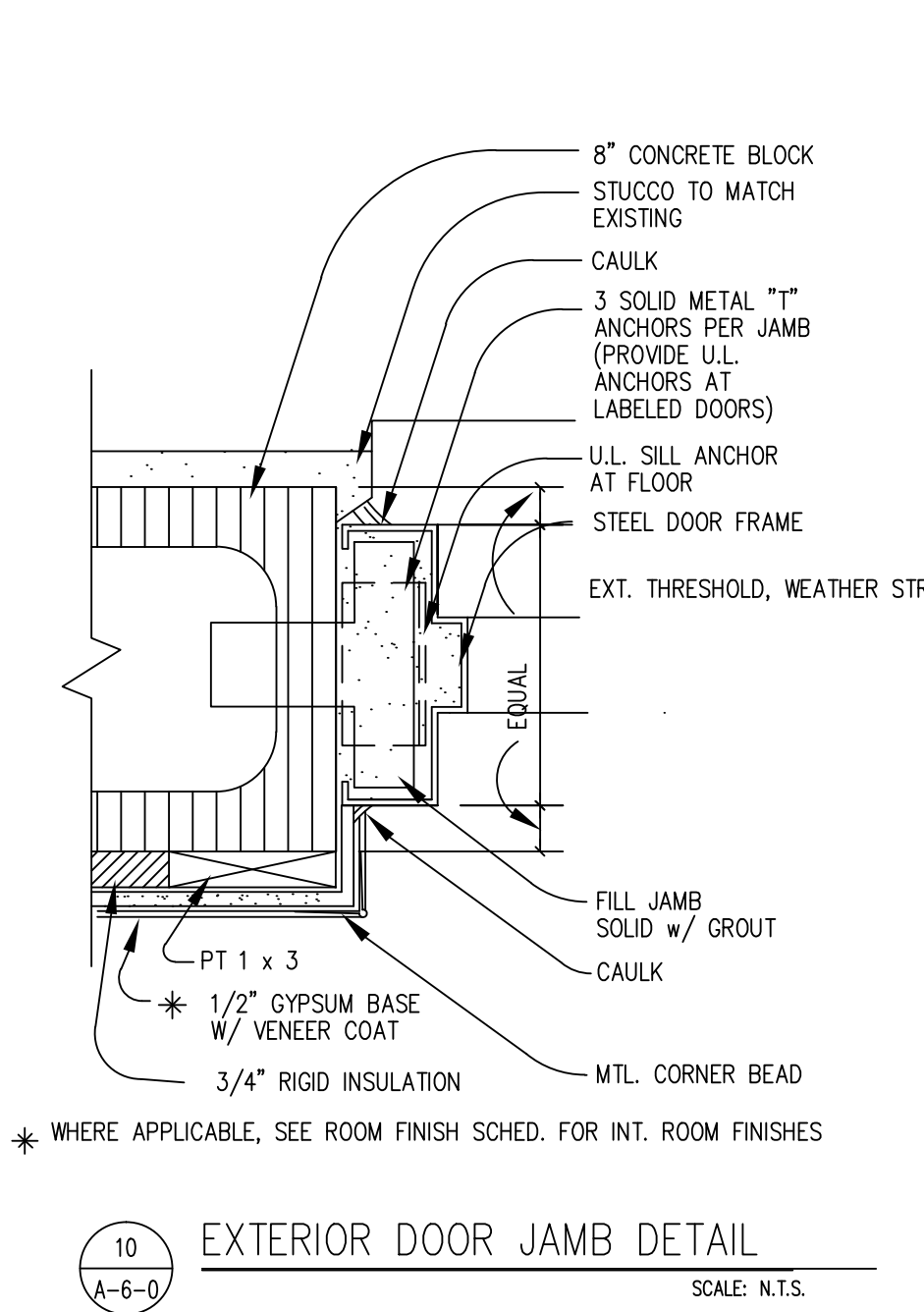
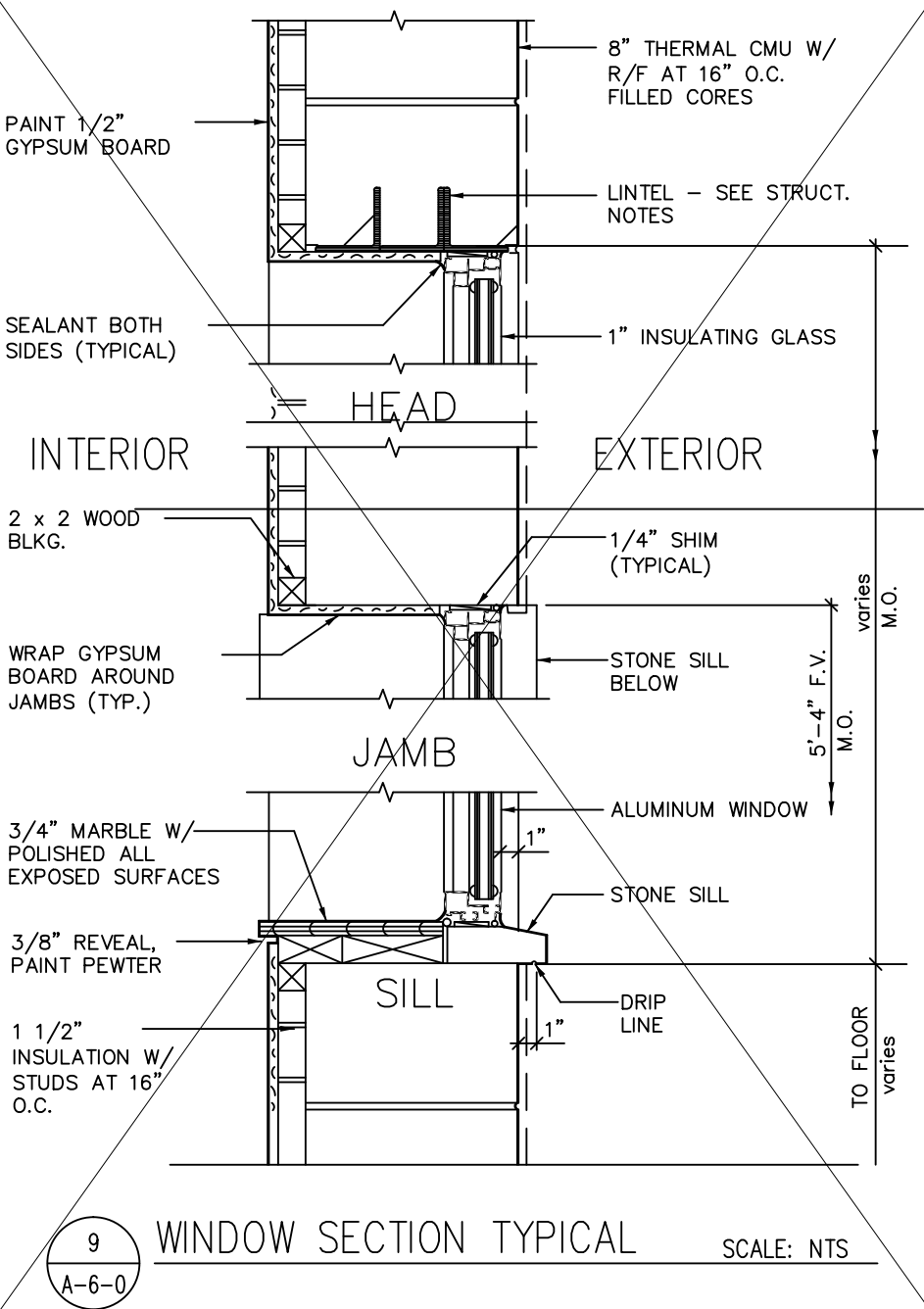
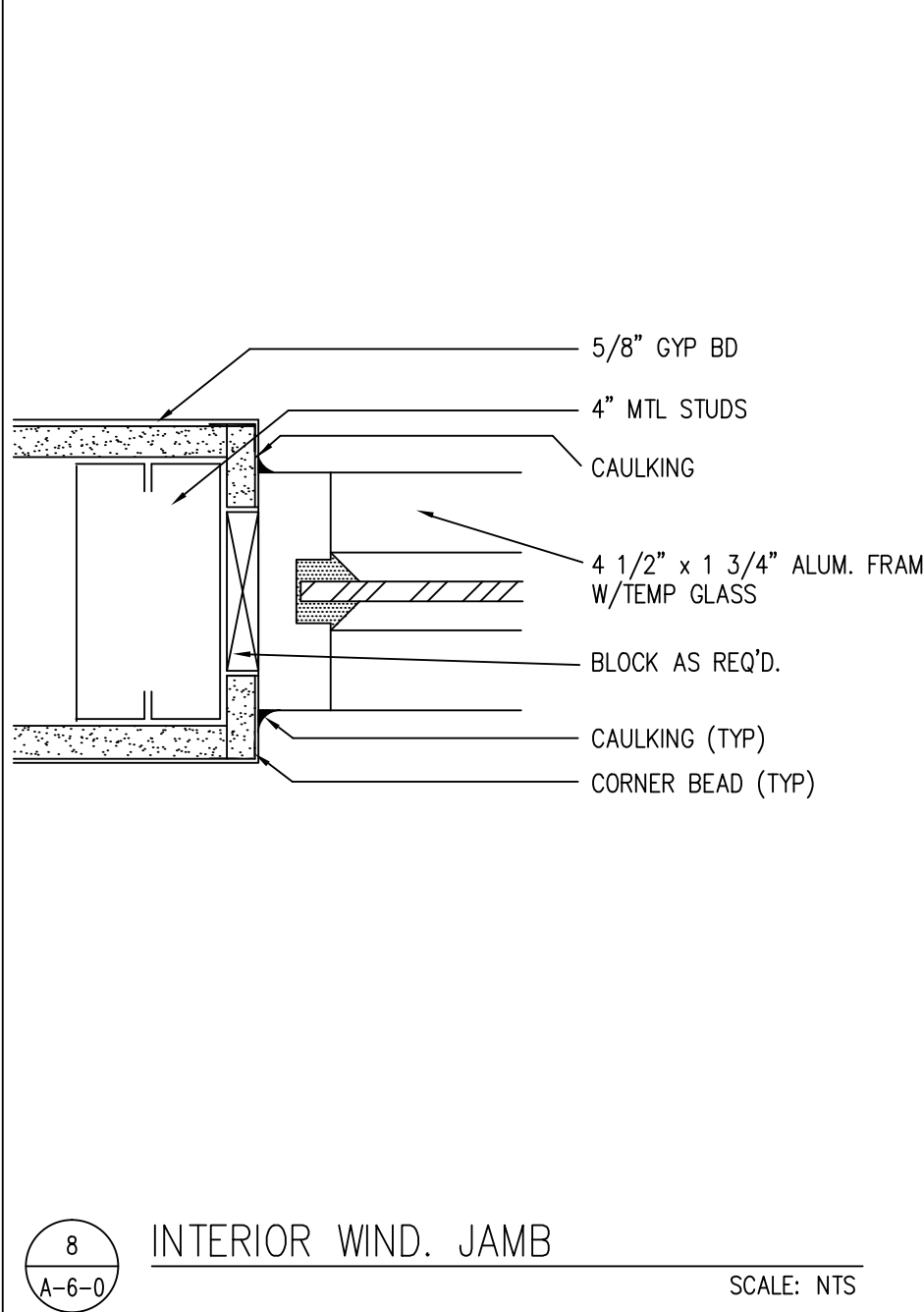
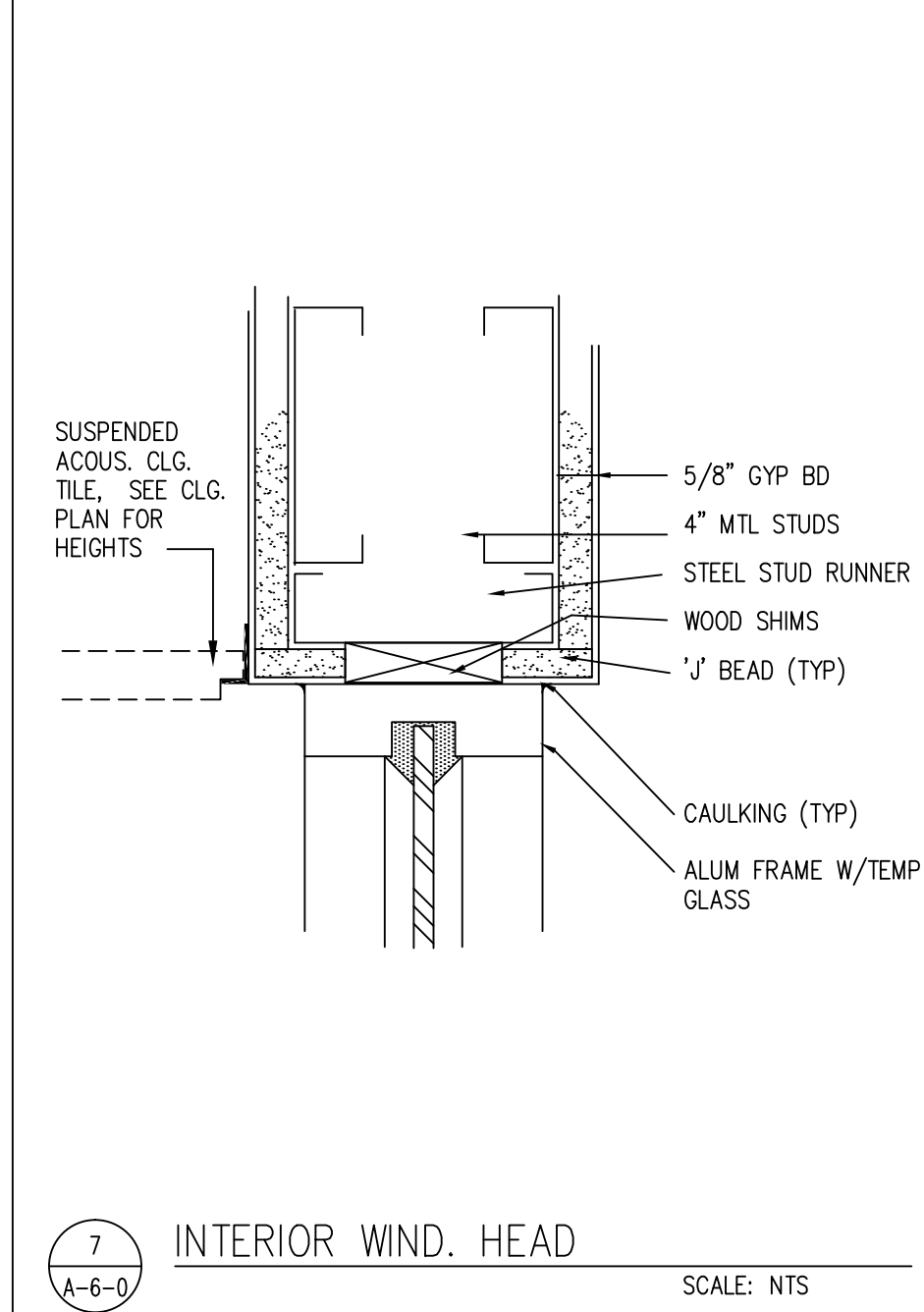
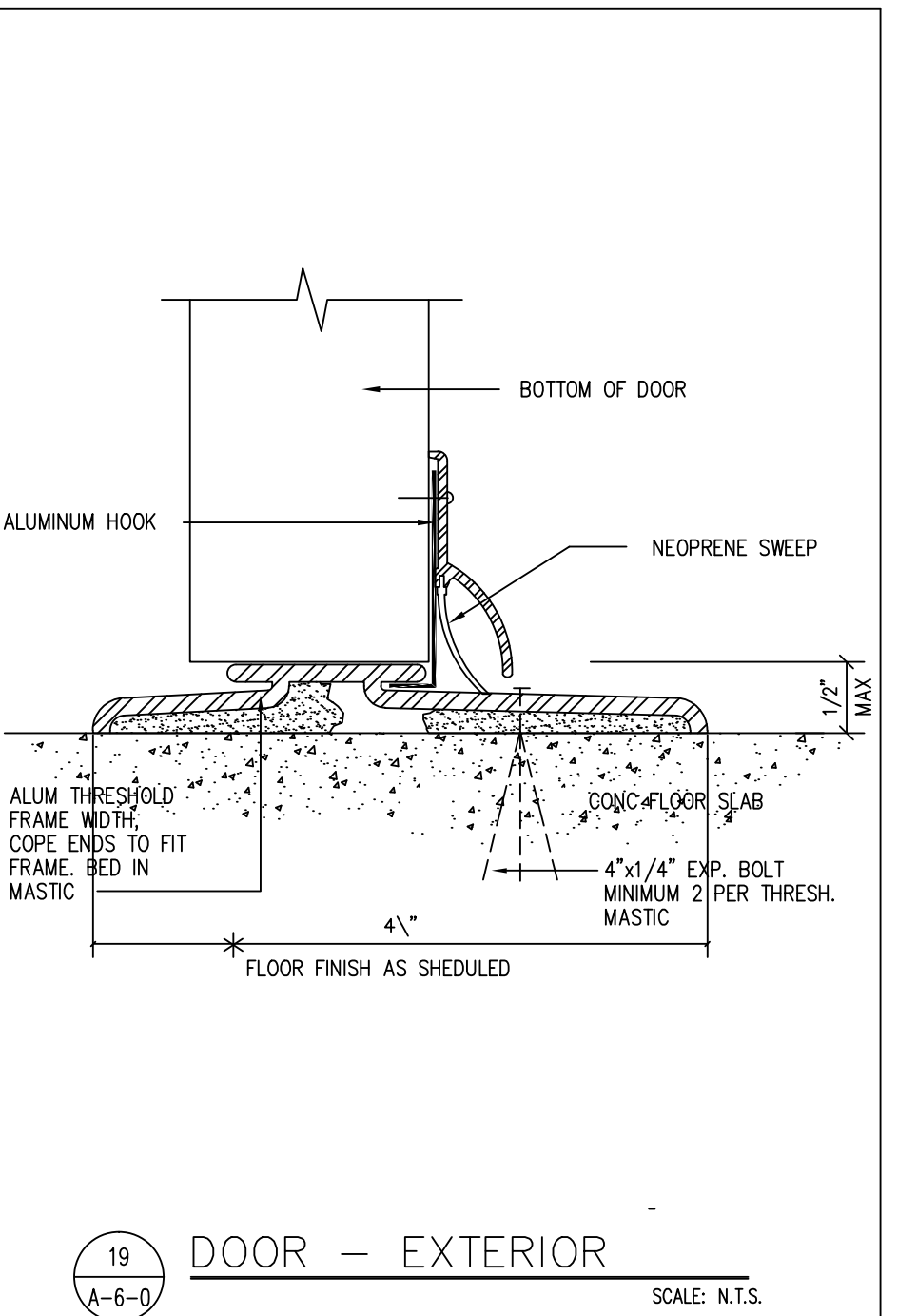
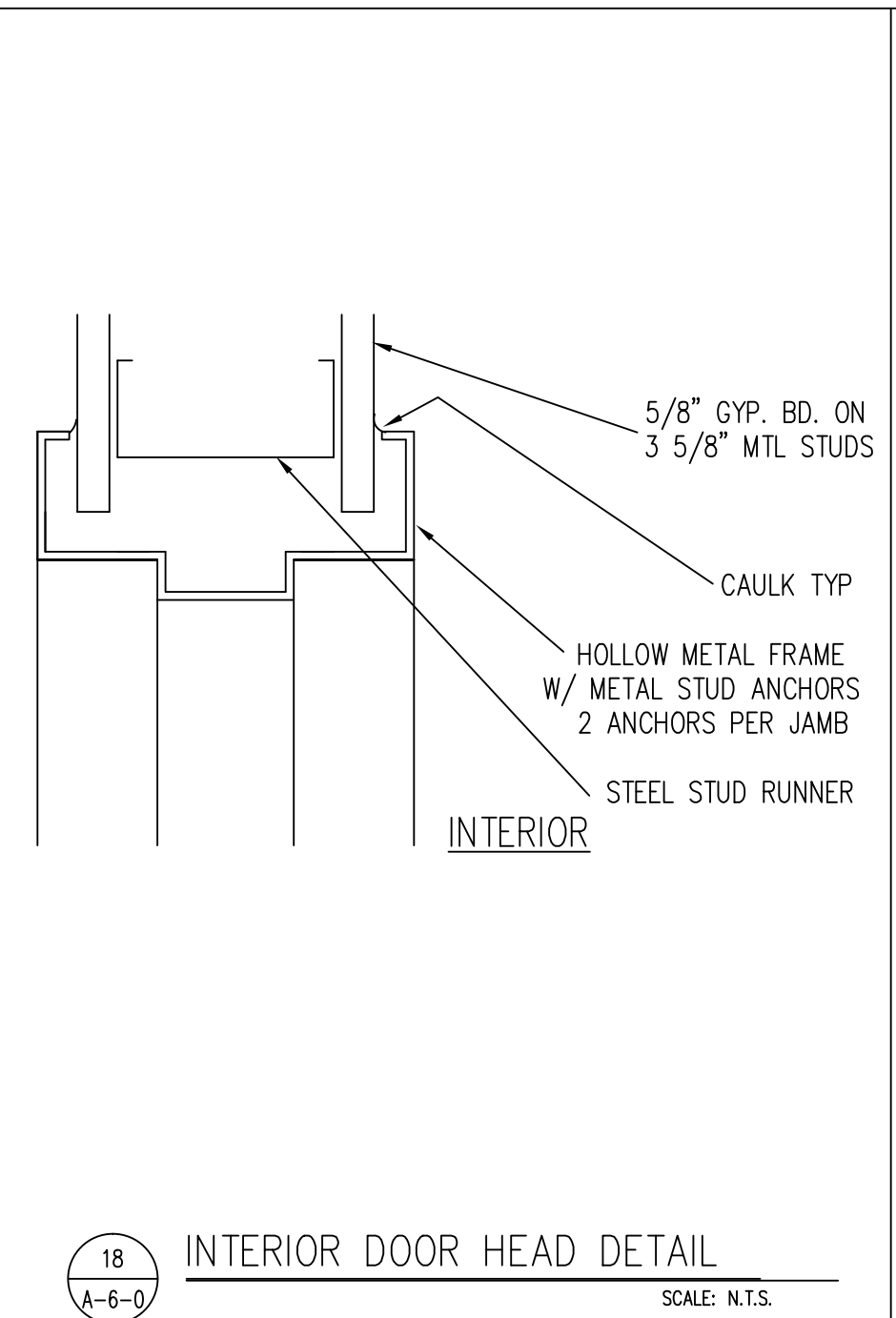
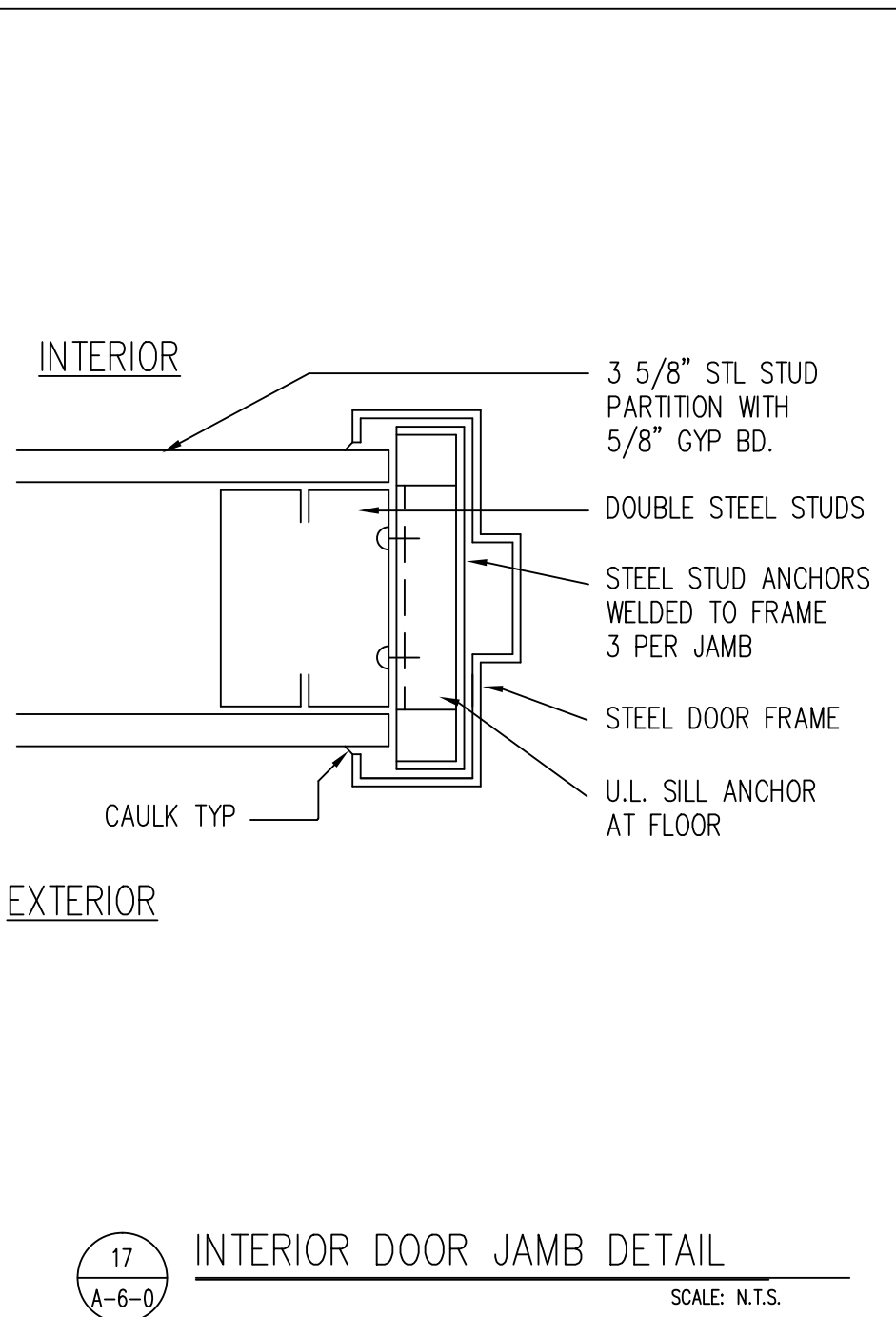
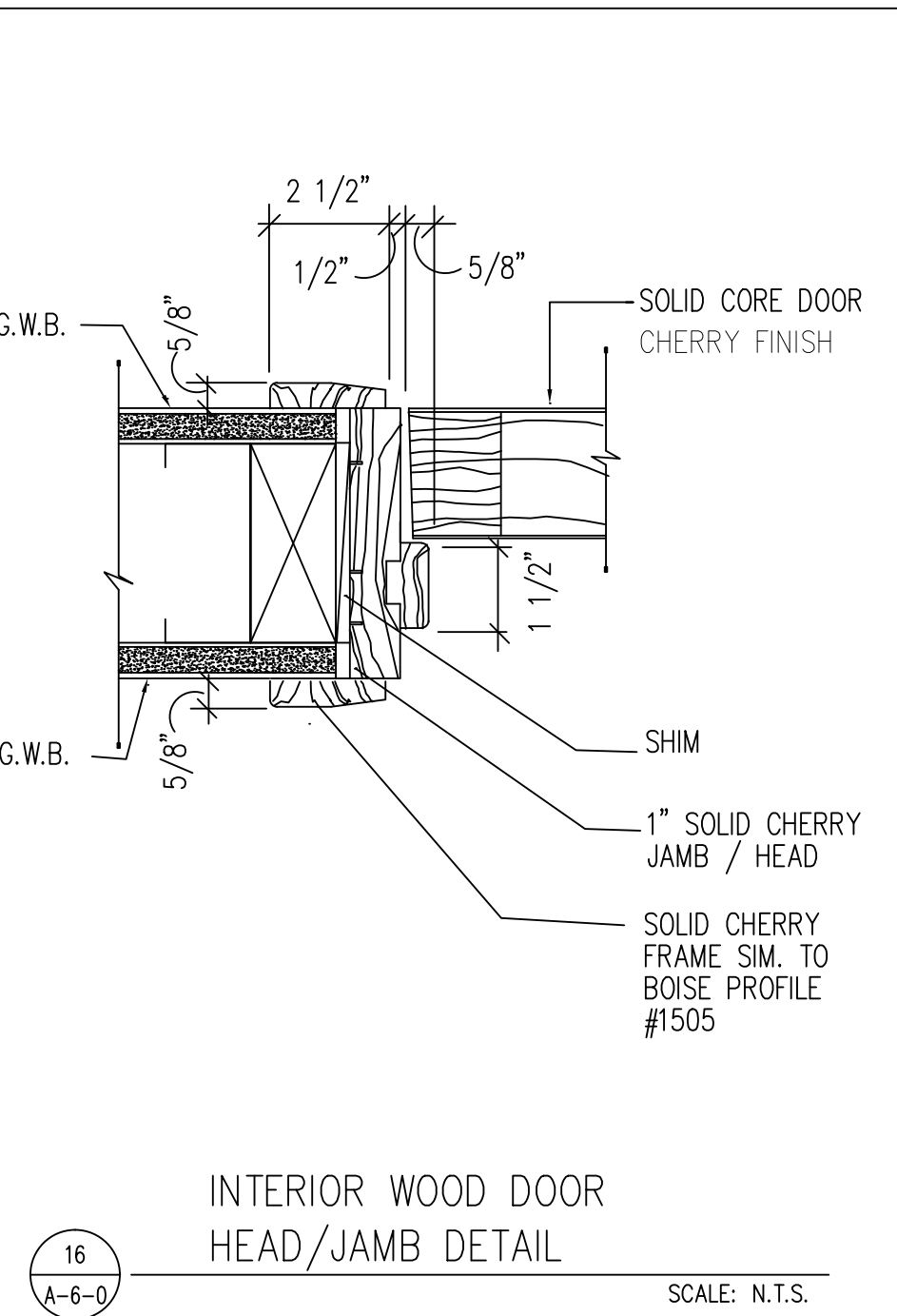
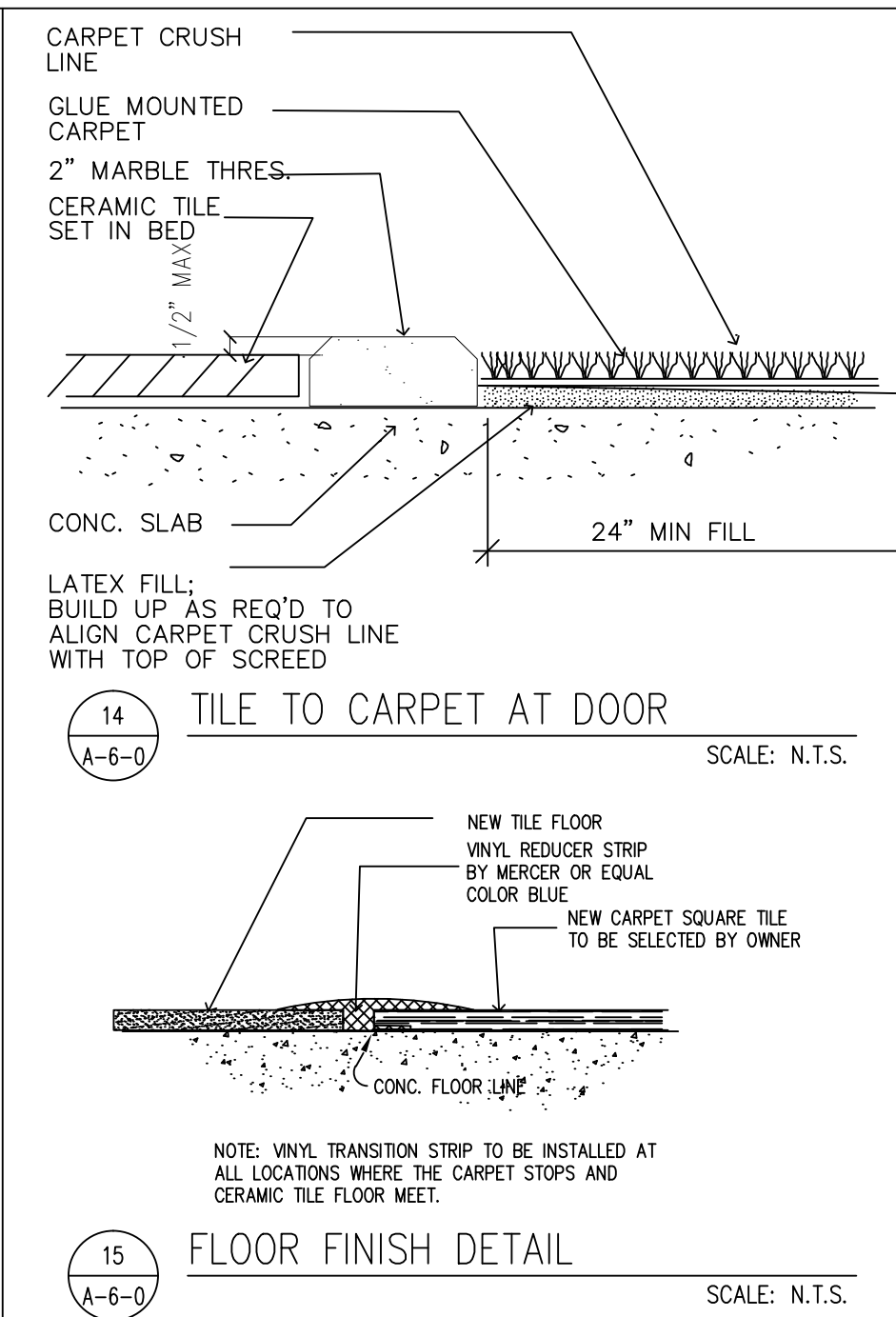
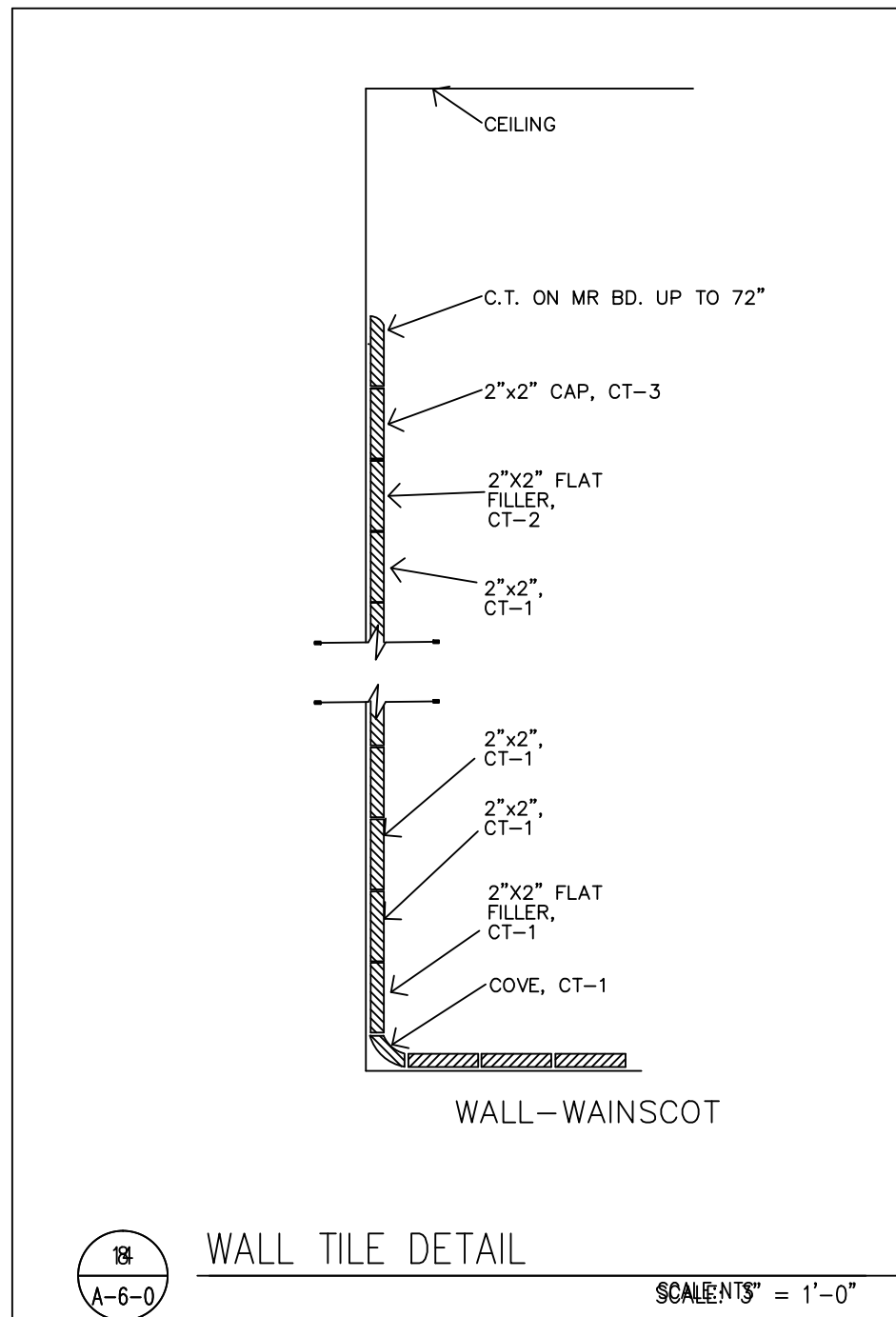
COMMERCIAL BAY BUILD-OUT

PLEASANT IMAGE DISTRIBUTION

 701 NW 5TH AVENUE, UNIT 1071
FORT LAUDERDALE, FL. 33311

DATE:	07-31-23
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CHECKED BY:	N.H.
APPROVED BY:	N.H.

JOB.: 073123-PID
SHEET
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OF SHEETS



THE HALL GROUP INC.
AA36001680
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Date: 2025.01.31 17:09:15 -05'00'
ARCHITECT OF RECORD
DANIEL C. HALL, AIA, NOMA
AP. 0015653

DESIGN FIRM
A D G
140 S. Dixie Hwy. #720 Hollywood, FL 33020
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No.	REVISIONS	PERMIT SET	COMMENTS
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6			

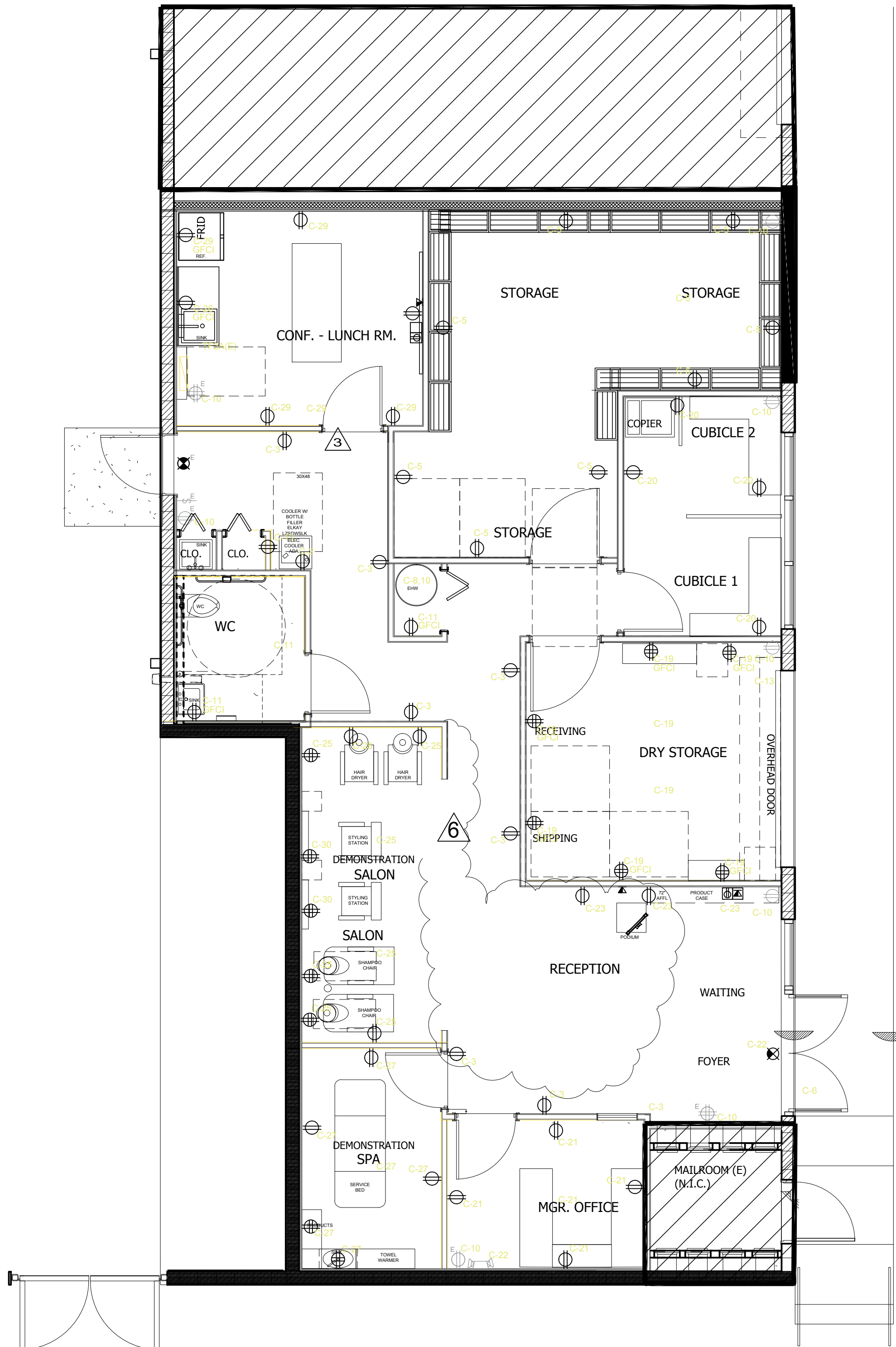
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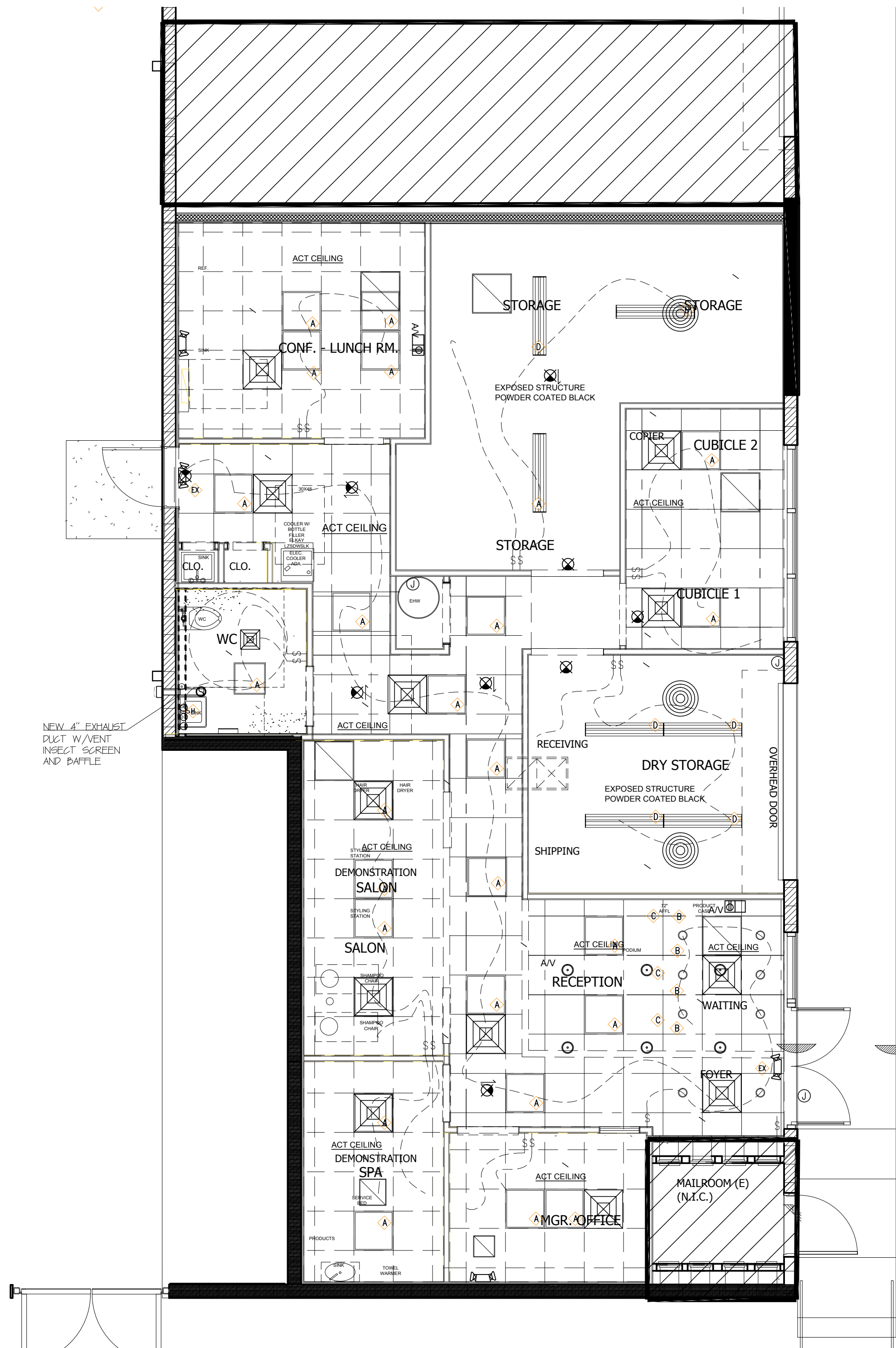
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ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



LIGHTING PLAN

SCALE: NTS

- DEVELOPMENT SCOPE: ELECTRICAL
SCOPE: EXISTING OUTLETS, SWITCHES, FIXTURES, LIGHTS AND COMPONENTS TO BE COORDINATED, WITH NEW LAYOUTS, REINSTALLED, TYPICAL THROUGHOUT.
- EXISTING ELEC. METER/ELEC. SERVICE LINE TO REMAIN.
 - EXISTING OUTLETS TO ADJUST IF IN CONFLICT WITH NEW PARTITION LAYOUT, TYPICAL U.O.N.
 - EXISTING LIGHTING FIXTURES AND CONTROLS TO BE REMOVED - RELOCATED AS REQUIRED, REFER TO SCHEDULE, TYPICAL U.O.N. PROVIDE TEMP LIGHT DURING NEW WORK.
 - EXISTING ELEC. PANEL TO REMAIN, RE-CIRCUIT PER NEW PANEL SCHEDULE - LOAD, TYPICAL U.O.N.
 - EXIST. LIFE SAFETY FIXTURE TO REMAIN, RE-LOCATE AS INDICATED, TYPICAL U.O.N.
 - NEW ELEC. POWER / OUTLET FOR EQUIP./UNITS TO BE INSTALLED TYPICAL U.O.N.
 - NEW LOW VOLTAGE POWER FOR SECURITY CAMERA AND ALARM SYSTEM TO BE INSTALLED REFER TO PLANS.
 - NEW LIGHT FIXTURES TO BE INSTALLED REFER TO LIGHTING PLAN, TYPICAL U.O.N.
 - NEW LIGHTING CONTROL - SWITCHES TO BE INSTALLED.
 - NEW PENDANT LIGHT FIXTURE TO BE INSTALLED REFER TO SCHEDULE.
 - NEW EWH TO BE INSTALLED REFER TO SCHEDULE.

ELECTRICAL SYMBOL LEGEND
(USE THOSE THAT APPLY)

- WALL OR CEILING MOUNTED EXIT LIGHT W/BATTERY, ARROWS, NUMBER OF FACES AND MOUNTING AS REQUIRED TO INDICATE A CLEAN PART TO EXIT
- 120/277 V., 20 AMP., SINGLE POLE LIGHT SWITCH.
- 120/277 V., 20 AMP., THREE WAY SWITCH.
- 120/277 V., 20 AMP., SINGLE POLE LIGHT SWITCH WITH DIMMER
- ELECTRICAL PANEL
- DISCONNECT SWITCH, "3" INDICATES NUMBER OF POLES; "30" = FRAME SIZE AND "F" DENOTES FUSE, SIZE AS RECOMMENDED BY EQUIPMENT MANUFACTURER.
- 250V SPECIAL PURPOSE RECEPTACLE, TO MATCH EQUIPMENT PLUG
- EXHAUST FAN
- 20 A., 120., V., DUPLEX RECEPTACLE, GROUNDING TYPE, U.O.N. MOUNTED 18" A.F.F. OR AS DIRECTED BY ARCHITECT.
- 20A, 120V QUADRUPEX RECEPTACLE
- FLOOR (FLUSH) MOUNT 20 A., 120., V., DUPLEX RECEPTACLE, AND PHONE/DATA OUTLET
- GFI/WP 20A, 120V ROOF MOUNTED RECEPTACLE
- FLOOR MOUNTED J-BOX FOR POWER USE, COORDINATE WITH FURNITURE MANUFACTURER
- FLOOR MOUNTED J-BOX FOR DATA/PHONE USE, COORDINATE WITH FURNITURE MANUFACTURER
- CEILING OR WALL MOUNTED JUNCTION BOX.
- PHONE OUTLET @ +18" A.F.F. OR AS DIRECTED BY ARCHITECT. (J. BOX W/3/4" EMPTY CONDUIT TO CEILING SPACE), PROVIDE FULL STRING
- DATA/COMPUTER OUTLET @ +18" A.F.F. OR AS DIRECTED BY ARCHITECT. (J. BOX W/3/4" EMPTY CONDUIT TO CEILING SPACE), PROVIDE FULL STRING
- SMOKE DETECTOR WITH SHUT-DOWN RELAY SYSTEM SENSOR #0H-100 AC/DC
- REMOTE TEST STATION (WITH KEY) W/SUPERVISORY AND AUDIBLE TROUBLE SIGNAL 'SYSTEM SENSOR' SSK451, OR APPROVED EQUAL, MOUNT AT 48" AFF
- 8" FLUORESCENT STRIP
- 2"x2" FLUORESCENT PARABOLIC
- THERMOSTAT
- FLUORESCENT WALL PACK
- WALL SCONCE
- WALL/CEILING MOUNTED EMERGENCY LIGHT W/BATTERY BACKUP
- GFI DEVICE
- WP WEATHERPROOF
- IG ISOLATED GROUND

All 20 amp, 120 V receptacles in lunch room shall be gfcı protected. per NEC 210.8.
Outlets shown with no circuit numbers are existing.

406.12 (A) Dwelling Unit:
In all areas specified in 210.52, all nonlocking-type 125-volt, 15- and 20-ampere receptacles shall be listed tamper-resistant receptacles.

Exception to (A),
(1) Receptacles located more than 1.7 m (5 ½ ft) above the floor.

(2) Receptacles that are part of a luminaire or appliance.

(3) A single receptacle or a duplex receptacle for two appliances located within dedicated space for each appliance that, in normal use, is not easily moved from one place to another and that is cord-and plug-connected in accordance with 400.7 (A)(6), (A)(7), or (A)(8).

(4) Nongrounding receptacles used for replacements as permitted in 406.4(D)(2)(a).

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No.	REVISIONS	TITLE BLOCK	FIX ADDRESS	OWNER REQ	PARTITION CHANGE
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6					

ELECTRICAL PLAN
SHEET TITLE :
JOB TITLE :
COMMERCIAL BAY BUILD-OUT
PLEASANT IMAGE DISTRIBUTION
701 NW 5TH AVENUE, UNIT 1071
FORT LAUDERDALE, FL. 33311

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6

FLORIDA BUILDING CODE 2023, ENERGY CONSERVATION SECTION 505.7
THIS BUILDING IS DESIGN TO MEET THE ELECTRICAL REQUIREMENTS OF
W/NEC 2018 ENERGY CONSERVATION TABLE 505. SUBSECTION 505.7.2
505.7.3, (505.7.3.1 AND 505.7.3.2)

SCALE: 1/4" = 1'-0"

NOTES: 1.- All exposed trim, can, and exposed baffle will be white u.o.n.
2.- All fixtures shall comply with Reference Standards as per 2020 FBC Electrical 406 through 421.
3.- Fluorescent luminaires (fixtures) with double ended lamps shall be provided with an internal disconnecting switch as per NEC Art. 410.130G

PLEASANT WAREHOUSE	ADG, V.HAYE	8.10.23	v1
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ALL PANELS ARE EXISTING EXCEPT THOSE NOTED WITH (N) NEW.



THE ENTIRE INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE LATEST EDITION OF THE FLORIDA BUILDING CODE AND ANY OTHER APPLICABLE FEDERAL, STATE AND LOCAL ORDINANCES.

2. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN IN A FIRST CLASS NONRESIDENTIAL MANNER. SAID CONTRACTOR SHALL MEET WITH THE CITY ENGINEER PRIOR TO ANY LOCAL ORDINANCE AND GOVERNING AUTHORITIES.

3. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED INSURANCE PROTECTION AGAINST PERSONAL INJURY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.

4. THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND SUPPLIES SHOWN EXISTING ON DRAWINGS TO LAST NOT LESS THAN (1) YEAR FROM DATE OF FINAL ACCEPTANCE.

5. IT SHALL NOT BE THE INTENT OF THESE PLANS AND SPECIFICATIONS TO COVER ALL CONDITIONS OR SITUATIONS THAT MAY OCCUR. THE CONTRACTOR SHALL FURNISH AND INSTALL ANY ADDITIONAL MATERIALS AND SUPPLIES AND MAKE NECESSARY ADJUSTMENTS TO THE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR EQUIPMENT TO BE PLACED IN PROVIDED WORKING ORDER.

6. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PROTECT ORIGINAL CONDITIONS AND ALL DAMAGES TO BUILDING SURFACES, EQUIPMENT, ETC. CAUSED DURING THE PERFORMANCE OF THE WORK.

7. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE OR DELAYS AND ALLOWED REPLACEMENT OF OR REPAIR OF ANY OTHER PARTS OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.

8. THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY ALL CONDITIONS CONCERNING THE LOCATION, DEPTHS, DRAWINGS, SPECIFICATIONS AND POSSIBLE ADDENDA PRIOR TO BEGINNING OF THE WORK. NO CLAIMS FOR REIMBURSEMENT WILL BE ALLOWED FOR FAILURE TO COMPLY WITH THIS REQUIREMENT.

9. THE CONTRACTOR SHALL NOT SCALE THE ELECTRICAL DWGS. PRIOR TO ARCHITECTURAL PLANS, FINISH ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENTS & ALL ELECTRICAL WORK.

10. CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR SO THAT INTERFERENCE WITH OTHER TRADES BE AVOIDED.

11. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS AND NECESSARY TRAVEL TO DISCOVER THE WORK AS SHOWN AND AS NOTED ON THE PLANS.

12. IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO OBTAIN PERMISSION FOR THE LOT/LINE ITEMS, AS TO NOT INTERFERE WITH THE WORK OF OTHER TRADES SUCH AS IN AN AREA WHERE CONDUITS ARE TO BE INSTALLED ALLOWED FOR ANY ITEMS UNTIL APPROVED SHOP DWGS. ARE RETURNED TO HIM.

13. CONTRACTOR SHALL COORDINATE SERVICES WITH THE RESPECTIVE UTILITY COMPANIES.

14. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF THE EXISTENCE OF ALL DEPENDENT ELECTRICAL OR ANY LIGHT FIXTURES.

15. ALL CONDUCTORS SHALL BE STRIPPED CORRECTLY, TYPE /THIRN/ UNLESS OTHERWISE SPECIFIED, MINIMUM SIZE SHALL BE #12 AWG, EXCLUDING CABLES, BONDING.

16. ALL CONDUCTORS SHALL BE IN CONDUITS. CONDUITS SHALL BE GALVANIZED RIGID STEEL (GRD) EXCEPT THAT:

(A) CONDUITS MAY BE USED IN WALLS OR CEILING WHEN ELBOWS AND RISERS ARE GRD. (B) ELECTRICAL METALLIC TUBING (EMT) MAY BE USED IN OR ON WALLS OR CEILING WHEN SUBJECT TO THE FOLLOWING LIMITATIONS: (1) IN DRY OR PROPOSED CONDITIONS; (2) LIGHTWIGHT FLEXIBLE CONDUIT IS REQUIRED; (3) CONDUITS SHALL BE USED IN ALL LOCATIONS REQUIRED IN DRY LOCATIONS ONLY. ALL CONDUITS IN HAZARDOUS AREAS (PER NEC) SHALL MEET THE REQUIREMENTS OF ARTICLE 505.

17. APPLY TWO COATS OF BUTYLATIC (KOPPEKS 60) TO ALL METALLIC CONDUITS IN SLABS OR UNDERGROUND. EMT IS NOT PERMITTED IN SLABS. ALUMINUM CONDUITS ARE NOT PERMITTED ANYWHERE.

18. FLEXIBLE CONDUIT SHALL BE USED FOR CONNECTIONS TO V-MOUNTED EQUIPMENT UNLESS OTHERWISE SPECIFIED, WHEN PERMITTED BY CODE.

19. FOR UNDERGROUND ELECTRICAL CONDUITS, PROVIDE PULL BOXES AT EACH END OF RUNS. PROVIDE PULL BOXES AT EACH ACCESS OF 360 DEGREES, OR 180 DEGREES FOR TELEPHONE CONDUITS. PROVIDE PULL BOXES AT EACH TURN, UNLESS INTENDED USE AND WITH IRON COVERS. WARNING TAPE WHICH "WARNING BURIED CABLES" SHALL BE PLACED IN TRENCHES WHERE ELECTRICAL CONDUITS ARE INSTALLED IN UNPAVED AREAS, THEY SHALL BE GRD. WHERE UNDERGROUND CONDUITS ARE NOT EXPOSED TO PHYSICAL DAMAGE, THEY ARE NOT UNDER PAVED AREAS, THEY SHALL BE SCHEDULE 40 PVC-ELBOWS AND RISERS SHALL BE GRD.

20. ALL CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY THE EXACT ROUTING SHALL BE DETERMINED IN THE FIELD, UNLESS NOTED OTHERWISE.

21. PRIOR TO ANY RETAILANT UL APPROVED SEALANT ON ALL PENETRATIONS, WALLS AND STRUCTURAL SLABS, IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO VERIFY THE METHOD TO SUBMIT THE RESULTS OF THE ANALYSIS OF ALL SUCH TEST PARTITIONS, WALLS, AND STRUCTURAL SLABS.

22. UNLESS NOTED AS EXISTING, ALL EQUIPMENT, WIRING, DEVICES, ETC., SHALL BE REMOVED.

23. A PULL WIRE OR CORD SHALL BE INSTALLED IN ALL EMPLOYED CONDUITS.

24. ALL DISCONNECT SWITCHES EQUIPPED BY MANUFACTURER SHALL BE ACCOMMODATED THE EQUIPMENT SIZED BY MANUFACTURER REACTION CLIPS AND FUSES. SWITCHES SHALL BE HP RATED AND BE MANUAL OPERATOR.

25. CONTRACTOR SHALL VERIFY CIRCUIT PROTECTIVE DEVICE RATING FOR EQUIPMENT PRIOR TO INSTALLATION.

26. ALL FUSES SHALL BE CURRENT LIMITING, PER U.L. RATED 600V

27. MOTORS STARTERS SHALL BE MANUAL OR MAGNETIC AS NOTED OR REQUIRED, WITH OVERLOAD RELAYS OR FUSES IN EACH PHASE.

28. FURNISH AND INSTALL DISCONNECT SWITCHES AND WIRING FOR AIR CONDITIONING SYSTEMS AS PER MANUFACTURERS NAMEPLATE OR RECOMMENDATIONS. SHOW IN LOCATIONS OF DATA LOGS AND THE HVAC CONTROLLER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.

29. ALL CIRCUIT BREAKERS SHALL BE OF THE INVERSE TIME TYPE (THERMAL-MAGNETIC). TWO AND THREE POLE CIRCUIT BREAKERS SHALL BE COMMON TRIP. THE HANDLES ARE NOT PERMITTED.

30. ALL ELECTRICAL EQUIPMENT SHALL BE RANTHUNT (NEMA 3R) WHEN EXPOSED TO WEATHER. ALL EQUIPMENT SHALL BE CONNECTED TO SUCH EQUIPMENT SHALL BE LIQUIDTIGHT.

31. OUTLET BOXES SHALL BE PRESSED STEEL, IN DRY LOCATIONS, SHALL BE GALVOY WITH THUNDER BOLTS IN WALLS OR DAMPS LOCATIONS, AND SPECIAL ENCLOSURES AS REQUIRED FOR OTHER CLASSIFIED AREAS, U.O.N.

32. REMOVE ALL FIXTURES WITH BOLTS. VERIFY TYPE WITH MANUFACTURER'S DATA.

33. ALL OPENINGS FOR LIGHT FIXTURES IN CEILINGS SHALL BE PROTECTED IN A SAME PATTERN (AS PER GOVERNOR CODES) THAT WILL PROVIDE THE SAME PROTECTION AS THE ORIGINAL SPLICES TO ALL FIRE RATED CEILINGS.

34. ELECTRICAL CONTRACTOR SHALL VERIFY THE CEILING FINISHES AND SUSPENSION SYSTEMS FOR SELECTION OF PROPER TRIMS AND SUPPORT ARMATURES FOR LIGHTING FIXTURES.

35. ALL SWITHING STATIONS AND/OR TERMINALS SHALL BE GANGED TOGETHER WHERE SHOWN TOGETHER.

36. ALL CONNECTIONS TO GROUND RODS SHALL BE MADE WITH UL APPROVED WELDED COPPER OR GALVANIZED STEEL. THE CONTRACTOR SHALL FORM A GROUNDING ELECTRODE SYSTEM AS PER NEC ARTICLE 250.

37. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN ACCESSIBLE AREAS.

38. THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER AND TELEPHONE COMPANIES.

39. ALL NEW FIXTURES DESCRIBED ON DRAWINGS ARE TO INDICATE THE GENERAL FIXTURE TYPE, WHICH SHALL BE SUBSTITUTELY AS SPECIFIED. IT IS NOT THE INTENT OF THIS SPECIFICATION TO REQUIRE THE CONTRACTOR TO PURCHASE PARTICULAR MANUFACTURER WHOME PRODUCT IS SELECTED.

40. CONNECT ALL EMERGENCY AND EXIT LIGHTS TO INDICATED CIRCUIT AREAS AS SHOWN.

41. PLASTER PLASTER RINGS SHALL BE USED WITH OUTLET BOXES. PLASTER RINGS SHALL BE A MAXIMUM OF 1/8" FROM THE EXISTING SURFACE OF THE ROOM AFTER THE PAVEMENT IS INSTALLED. PERFECT COORDINATION BETWEEN THE ELECTRICAL CONTRACTOR AND THE GENERAL CONTRACTOR FOR RING INSTALLATION IS REQUIRED. ALL OUTLET BOXES SHALL BE SECURELY FASTENED, ANY AND ALL IMPROPERLY INSTALLED PLASTER RING OR OUTLET BOXES SHALL BE REMOVED AND A NEW RING OR OUTLET INSTALLED AT THE CONTRACTOR'S EXPENSE.

42. APPROVAL SHALL BE OBTAINED FROM AN STRUCT. ENGINEER PRIOR TO CUTTING OR DRILLING ANY STRUCTURAL SUPPORT MEMBER.

43. INSTALL POWER AND CONTROL WIRING AND REQUIRED CONTROL COMPONENTS FOR A/C SYSTEMS AS SHOWN/NOTED ON THESE DRAWINGS AND PER OTHER TECHNICAL DRAWINGS/INSTRUCTIONS SEE AIR CONDITIONING DRAWING.

44. ALL MATERIAL REMOVED SHALL BE DISPOSABLE AS DIRECTED BY OWNER.

45. EMPTY CONDUITS TO BE PROVIDED WITH NYLON PULL STRINGS.

46. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WIRING, BKR, AND FUSE SIZES IN ACCORDANCE WITH A/C EQUIPMENT MANUFACTURER IF DIFFERENT FROM THAT SPECIFIED ON DWGS, AS WELL AS, ANY CABLES BELOW GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE SHALL MAKE ABOVE MENTIONED CHANGES AT NO EXTRA COST.

47. CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH OTHER TRADES IN OTHER TO FURNISH AND INSTALL ALL CONTROL WIRING AND MECHANISMS SHOWN ON THE A/C DRAWINGS AND ACCORDING TO SPECIFICATIONS. IF AIR CONDITIONING DRAWINGS REFER TO MECHANISMS SHOWN ON THE CONTRACTOR SHALL CONFIRM WITH SAID MANUFACTURER ALL REQUIREMENTS AND INCLUDE ALL THE WORK TO BE DONE IN HIS OWNERS' RECORD.

48. ALL LIMBARS SHALL BE PROPERLY SUPPORTED IN ACCORDANCE WITH THE CEILING SYSTEM MANUFACTURER RECOMMENDATIONS AND LOCAL CODE.

49. THIS DRAWING IS A GUIDE FOR THE ELECTRICAL INSTALLATION. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING A SOUND WORKING SYSTEM.

50. ALL CABLES SHALL BE RUN WITHOUT SPLICES, U.O.N.

51. ALL FIELD AND -BOXES SHALL BE ACCESSIBLE AT ALL TIMES.

52. EXCEPT POINT/METHODS OF CONNECTION SHALL BE DETERMINED IN THE FIELD.

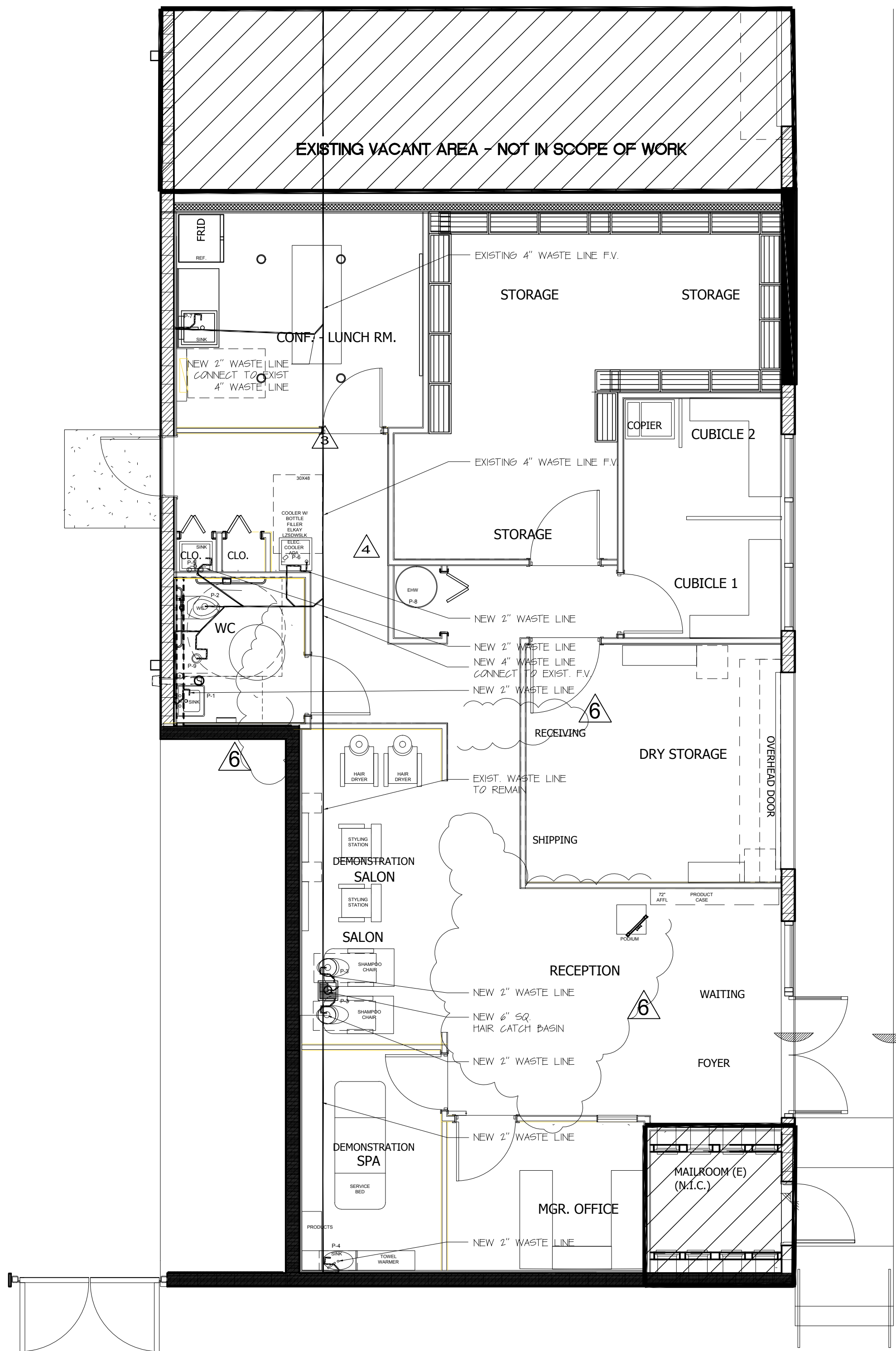
53. ALL RACEWAY POINTED INSULATED CONDUIT SYSTEMS SHALL BE COLOR CODED AS FOLLOWS:

120/208 V SYSTEM
PHASE "A": BLACK
PHASE "B": BLUE
NEUTRAL "N": RED
GROUND "G": GREEN
PHASE "C": WHITE (see note below)
GROUND
277/480 V SYSTEM
PHASE "A": BROWN
PHASE "B": PURPLE
PHASE "C": YELLOW
NEUTRAL "N": GRAY
GROUND (GREEN)

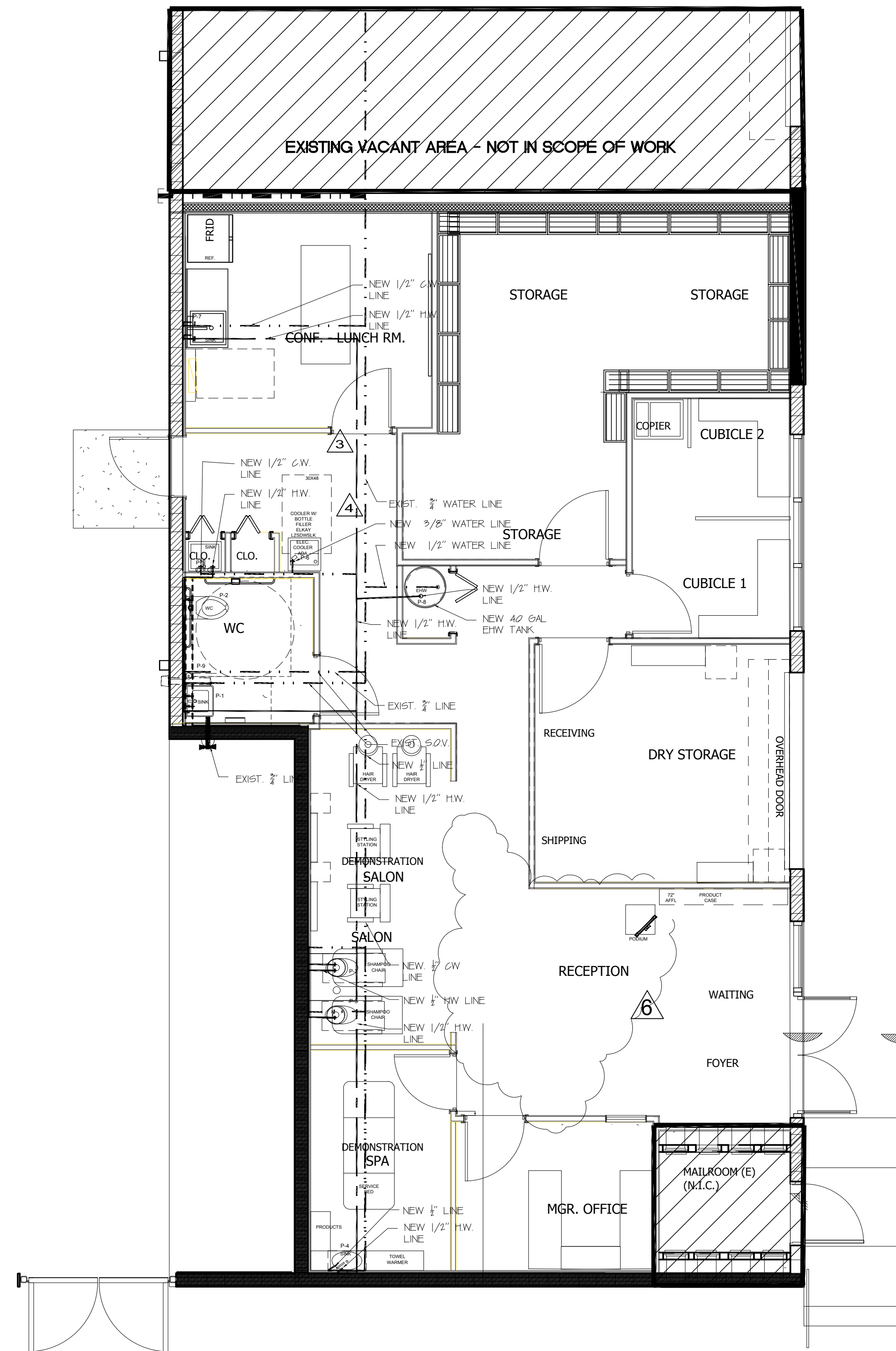
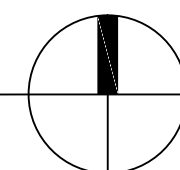
Note: When running different voltage systems in the same raceway or enclosure use white tape to clearly identify each system by color stripe running along its entire length.

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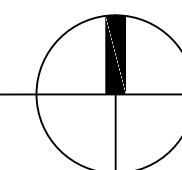
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WASTE PLAN
SCALE: 1/4" = 1'-0"



WATER PLAN
SCALE: 1/4" = 1'-0"

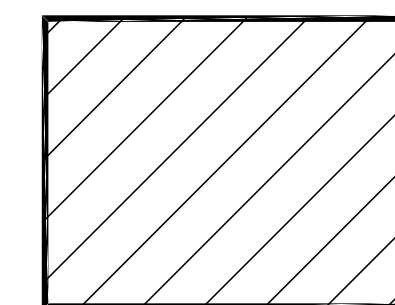


DEVELOPMENT SCOPE: PLUMBING

- NOTE: ALL EXISTING PLUMBING FIXTURE/LINES TO REMAIN UNLESS OTHERWISE INDICATED.
- EXISTING PLUMBING SERVICE LINE INSTALLED IN FLOOR TO REMAIN. CONNECT NEW WASTE LINES TYPICAL THROUGHOUT UON.
 - EXISTING WATER LINE INSTALLED TO REMAIN TYPICAL UON. PREP TO CONNECT NEW FIXTURES.
 - NEW PLUMBING FIXTURES / PACKETS TO BE INSTALLED. REFER TO SCHEDULE LAV, WC, MOP SINK, COOLER, CAB-SINK, SHAMPOO SINK, HAND SINK.
 - NEW WATER LINE (HOT+COLD) TO BE RELOCATED AND CONNECTED AT EACH NEW SINK.
 - NEW ELEC. HOT WATER TANK HEATER TO BE INSTALLED.
 - RECONFIGURE WASTE LINE TO MEET NEW FIXTURE POSITION.
 - NEW FLOOR SINK WITH HAIR TRAP BASIN. CONNECT WASTE LINE TO SEWER.
 - NEW MOP SINK.
 - NEW FLOOR DRAIN F.V. LINE.

403.1
PLUMBING FIXTURE CALC. DESIGN LOAD CAPACITY (6)
1523 SF DISTRIBUTION-WAREHOUSE/STORAGE :
HAZARD: LOW-MODERATE

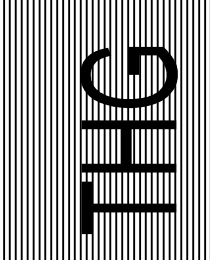
	REQUIRED	PROVIDED
WC	(1):100	1
LAV	(1):100	1
COOLER (ADA)	(1):400	1
W/BOTTLE FILLER	(1):100	1
SINK		



CROSS HATCH INDICATES
EXISTING AREA NOT IN SCOPE OF WORK
(E) INDICATES EXISTING ITEM

ALL HISTORICAL DATA IS TAKEN FROM FILES PROVIDED BY OWNER
ALL EXPOSED AND VISIBLE DATA IS FIELD VERIFIED BY A/E

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Digitally signed by Daniel C Hall
Date: 2025.02.10 13:01:17 -0500
ASCRIBED TO: DANIEL C HALL, AIA, NCMA
AR: 0013563



No.	3	4	5	6
REVISIONS	PLUMB REVIEW COMMENTS	PLUMB ADA BOTTLE COMMENTS	TITLE BLOCK FIX ADDRESS	CONFER REQ PARTITION CHANGE
DATE	04-24-24	05-07-24	08-16-24	01-06-25

SHEET TITLE :	PLUMBING-GAS PLAN
JOB TITLE :	COMMERCIAL BAY BUILD-OUT PLEASANT IMAGE DISTRIBUTION 701 NW 5TH AVENUE, UNIT 1071 FORT LAUDERDALE, FL. 33311

DATE:	07-31-23
SCALE:	AS NOTED
DRAWN BY:	V.H.
CHECKED BY:	N.H.
APPROVED BY:	N.H.

JOB.:	073123-PID
SHEET	
P-1.0	
OF	SHEETS