# **BROWARD HEALTH MEDICAL CENTER** - MOB AND PARKING GARAGE SITE PLAN LEVEL II REVIEW: CASE NO. UDP-S24072



## PROJECT TEAM

CLIENT IORTH BROWARD HOSPITAL DISTRIC 1800 NW 49TH STREET FT LAUDERDALE, FL 33309 (954) 473-7450 CONTACT: DAVID J. CLARK, MBA, FACHE

SURVEYOR PULICE LAND SURVEYORS, INC. 5381 NOB HILL ROAD SUNRISE, FLORIDA 33351 (954) 572-1777 CONTACT: JOHN F. PULICE

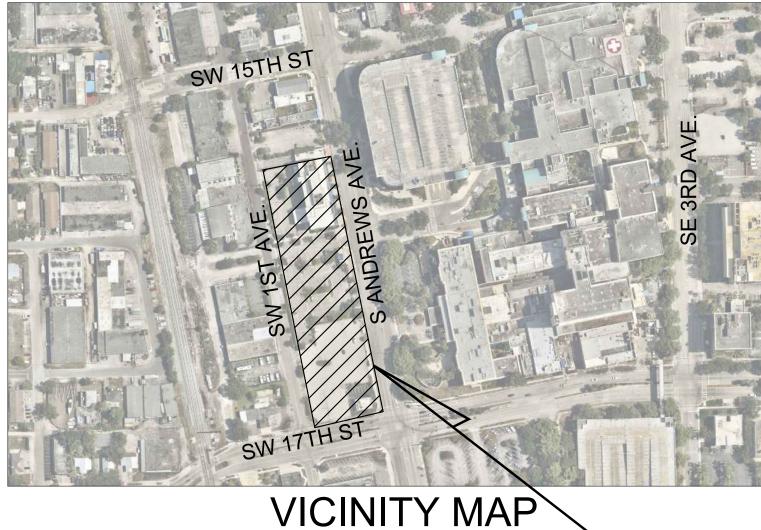
MEP **BR+A CONSULTING ENGINEERS** 2600 DOUGLAS RD STE 700 CORAL GABLES, FL 33134 (305) 503-6281 CONTACT: CHRISTOPHER PIETROCARLO, P.E.

**CIVIL ENGINEER** KIMLEY-HORN AND ASSOCIATES, INC 8201 PETERS ROAD, SUITE 2200 PLANTATION, FLORIDA 33324 954) 535-5100 CONTACT: CARLOS FLORIAN, P.E.

ARCHITECT BECK ARCHITECTURAL LLC 501 E LAS OLAS BLVD STE 200 & 300 FORT LAUDERDALE, FL 33301 (954) 412-9887 CONTACT: AMIR SAFVAT, AIA

LANDSCAPE ARCHITECT KIMLEY-HORN AND ASSOCIATES, INC. 8201 PETERS ROAD, SUITE 2200 PLANTATION, FLORIDA 33324 (561) 840-0812 CONTACT: TOM HARGRETT, PLA, ASLA





1"=250'

## **PROJECT LOCATION**

LOCATION 1627 S ANDREWS AVE FORT LAUDERDALE, FL 33316 SECTION: 15 TOWNSHIP: 50S RANGE: 42E

> THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM

Sheet Index				
Sheet No.				
Sheet No.	Sheet Title GENERAL			
C000.0	MASTER COVER SHEET			
-	SURVEY			
-	SURVEY			
C200.0	MASTER SITE PLAN			
	MOB - ARCHITECTURAL PLANS			
G1.01.1	GENERAL AND CODE INFORMATION 1 - CS+PG			
G2.01.1	LEVEL 1 CODE COMPLIANCE PLANS - CS			
G2.04.1	LEVEL 4 CODE COMPLIANCE PLANS - CS			
GP2.01 GP2.02	LEVEL 1 - CODE COMPLIANCE PLAN - PG LEVEL 2 - CODE COMPLIANCE PLAN - PG			
A1.01.1	OVERALL SITE PLAN			
A2.01.2	LEVEL 1 - FLOOR PLAN - TI			
A2.04.2	LEVEL 4 - FLOOR PLAN - TI			
A2.09.1	LEVEL 9 MECH - FLOOR PLAN - CS			
A2.10.1	ROOF LEVEL - CS			
A7.10.1	OVERALL EXTERIOR ELEVATIONS - CS			
A7.11.1	OVERALL EXTERIOR ELEVATIONS - CS			
A7.12.1	OVERALL EXTERIOR ELEVATIONS - CS			
A9.21 A9.22	DESIGN IMAGES DESIGN IMAGES			
A9.22	CONCEPTUAL EXTERIOR MATERIAL			
A9.24	PARKING GARAGE SCREENING			
A9.25	PARKING GARAGE FREE AIR AREA CALCULATIONS			
PAR	KING GARAGE - ARCHITECTURAL PLANS			
AP2.01	LEVEL P1 - OVERALL FLOOR PLAN			
AP2.01A	LEVEL P1 - PARTIAL FLOOR PLAN - AREA NORTH			
AP2.01B	LEVEL P1 - PARTIAL FLOOR PLAN - AREA SOUTH			
AP2.02	LEVEL P2 - OVERALL FLOOR PLAN			
AP2.02A	LEVEL P2 - PARTIAL FLOOR PLAN - AREA NORTH LEVEL P2 - PARTIAL FLOOR PLAN - AREA SOUTH			
AP2.02B AP2.05	LEVEL P2 - PARTIAL FLOOR PLAN - AREA SOUTH			
AP2.05A	LEVEL P5 - PARTIAL FLOOR PLAN - AREA NORTH			
AP2.05B	LEVEL P5 - PARTIAL FLOOR PLAN - AREA SOUTH			
AP2.07	LEVEL P7 - OVERALL FLOOR PLAN			
AP2.07A	LEVEL P7 - PARTIAL FLOOR PLAN - AREA NORTH			
AP2.07B	LEVEL P7 - PARTIAL FLOOR PLAN - AREA SOUTH			
C100.0	GENERAL NOTES AND SPECIFICATIONS			
C300.0 C301.0	EROSION CONTROL PLAN EROSION CONTROL NOTES AND DETAILS			
C400.0	DEMOLITION PLAN			
C401.0	DEMOLITION NOTES			
C500.0	PAVING, GRADING, AND DRAINAGE PLAN			
C501.0	TYPICAL CROSS SECTIONS			
C502.0	PAVING, GRADING, AND DRAINAGE DETAILS			
C503.0	PAVING, GRADING, AND DRAINAGE DETAILS			
C600.0	WATER AND SEWER PLAN			
C601.0	WATER AND SEWER DETAILS			
C700.0 C701.0	PAVEMENT MARKING AND SIGNAGE PLAN PAVEMENT MARKING AND SIGNAGE DETAILS			
C701.0 C800.0	GARBAGE TRUCK MANUEVERABILITY			
C801.0	LOADING TRUCK MANUEVERABILITY			
EX-01	ROW MAINTENANCE			
	LANDSCAPE PLANS			
L000.0	TREE DISPOSITION PLAN			
L001.0	TREE DISPOSITION DETAILS			
L100.0				
L101.0	LANDSCAPE DETAILS			
L102.0	LANDSCAPE DETAILS LANDSCAPE NOTES			
L105.0	L103.0 LANDSCAPE NOTES ELECTRICAL PLANS			
E-100	SITE PLAN - PHOTOMETRIC			
E-101	SITE LIGHTING SPECIFICATIONS			





**BECK ARCHITECT** 501 EAST LAS OLAS BLVD SUITE 200 AND 30 RT LAUDERDALE, FL 3330 PH: 754-799-22

WWW.BECKARCHITECTURE.C





	CARLOS FLORIAN, P.E. FL REGISTRATION # 80500					
	INCOMPLETE DOCUMENTS FOR INTERIM REVIEW ONLY. NOT FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION.					
		5/2/2025				
СІ	JRRENT SU	JBMISSION: DRC RESUBMISSION #3				
Cl #	JRRENT SU	JBMISSION: DRC RESUBMISSION #3				
#	DATE	SUBMISSION				
#	DATE	SUBMISSION				
A	12/12/25	DRC SUBMISSION				
#	DATE	SUBMISSION				
A	12/12/25	DRC SUBMISSION				
B	02/17/25	SCHEMATIC DESIGN				
#	DATE	SUBMISSION				
A	12/12/25	DRC SUBMISSION				
B	02/17/25	SCHEMATIC DESIGN				
C	03/21/25	DRC RESUBMISSION #1				
#	DATE	SUBMISSION				
A	12/12/25	DRC SUBMISSION				
B	02/17/25	SCHEMATIC DESIGN				
C	03/21/25	DRC RESUBMISSION #1				
D	04/24/25	DESIGN DEVELOPMENT - CS				
#	DATE	SUBMISSION				
A	12/12/25	DRC SUBMISSION				
B	02/17/25	SCHEMATIC DESIGN				
C	03/21/25	DRC RESUBMISSION #1				
D	04/24/25	DESIGN DEVELOPMENT - CS				
E	04/25/25	DRC RESUBMISSION #2				
#	DATE	SUBMISSION				
A	12/12/25	DRC SUBMISSION				
B	02/17/25	SCHEMATIC DESIGN				
C	03/21/25	DRC RESUBMISSION #1				
D	04/24/25	DESIGN DEVELOPMENT - CS				
E	04/25/25	DRC RESUBMISSION #2				
#	DATE	SUBMISSION				
A	12/12/25	DRC SUBMISSION				
B	02/17/25	SCHEMATIC DESIGN				
C	03/21/25	DRC RESUBMISSION #1				
D	04/24/25	DESIGN DEVELOPMENT - CS				
E	04/25/25	DRC RESUBMISSION #2				
#	DATE	SUBMISSION				
A	12/12/25	DRC SUBMISSION				
B	02/17/25	SCHEMATIC DESIGN				
C	03/21/25	DRC RESUBMISSION #1				
D	04/24/25	DESIGN DEVELOPMENT - CS				
E	04/25/25	DRC RESUBMISSION #2				
#	DATE	SUBMISSION				
A	12/12/25	DRC SUBMISSION				
B	02/17/25	SCHEMATIC DESIGN				
C	03/21/25	DRC RESUBMISSION #1				
D	04/24/25	DESIGN DEVELOPMENT - CS				
E	04/25/25	DRC RESUBMISSION #2				

**BROWARD HEALTH MEDICAL CENTER -**MOB & PARKING GARGAGE



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

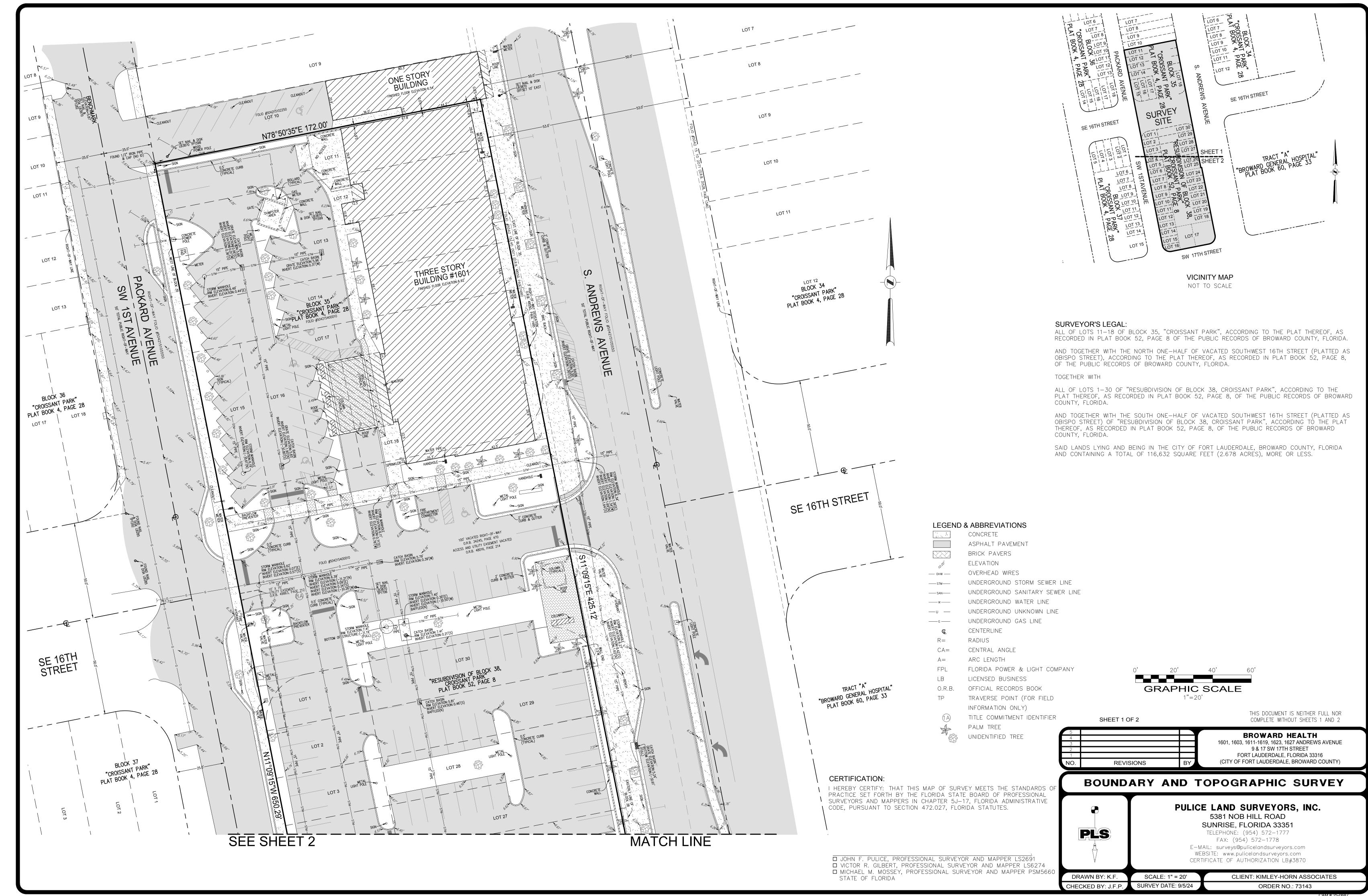
Check positive response codes before you dig!

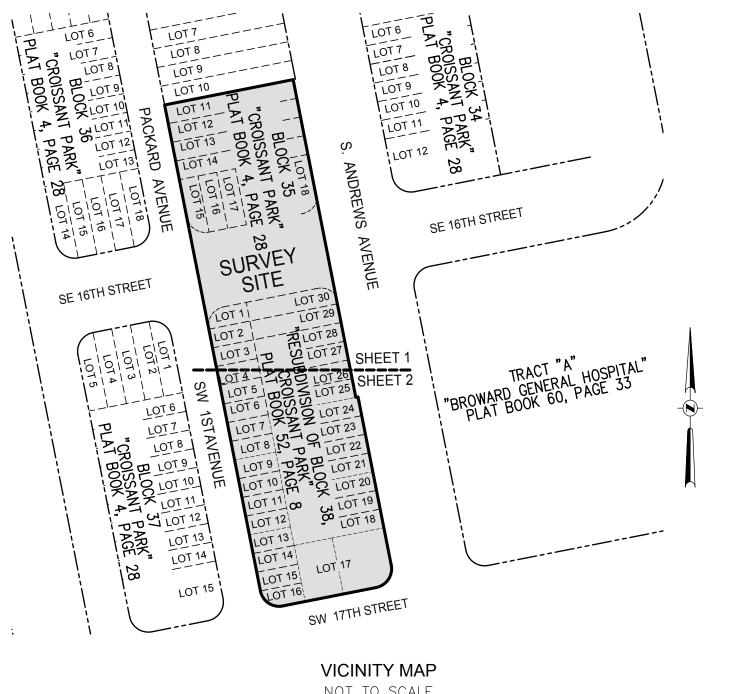
MASTER COVER SHEET

175309 JOB NO.

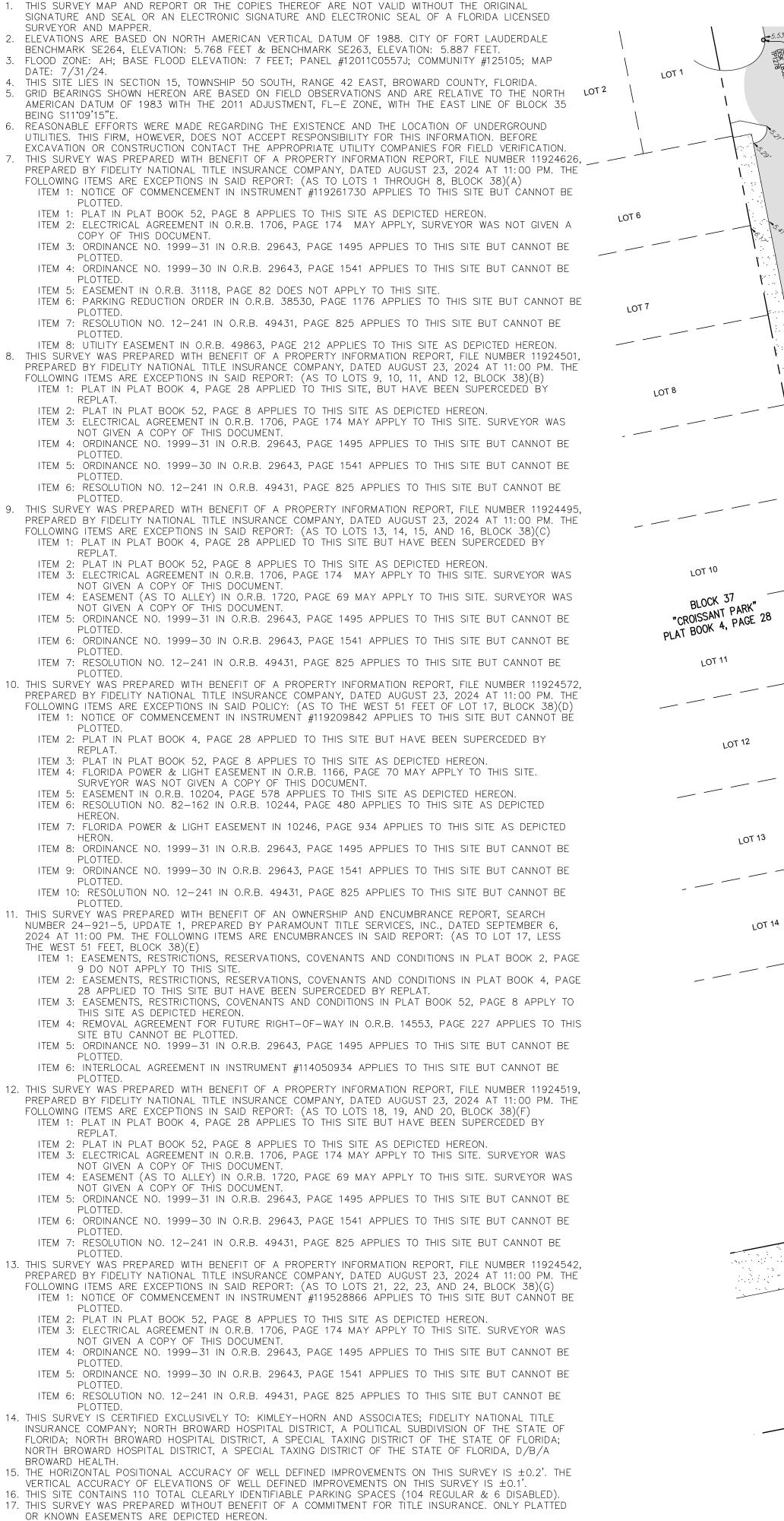
C000.0 SHEET

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### NOTES:



18. ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS.



IOT

LOT 10

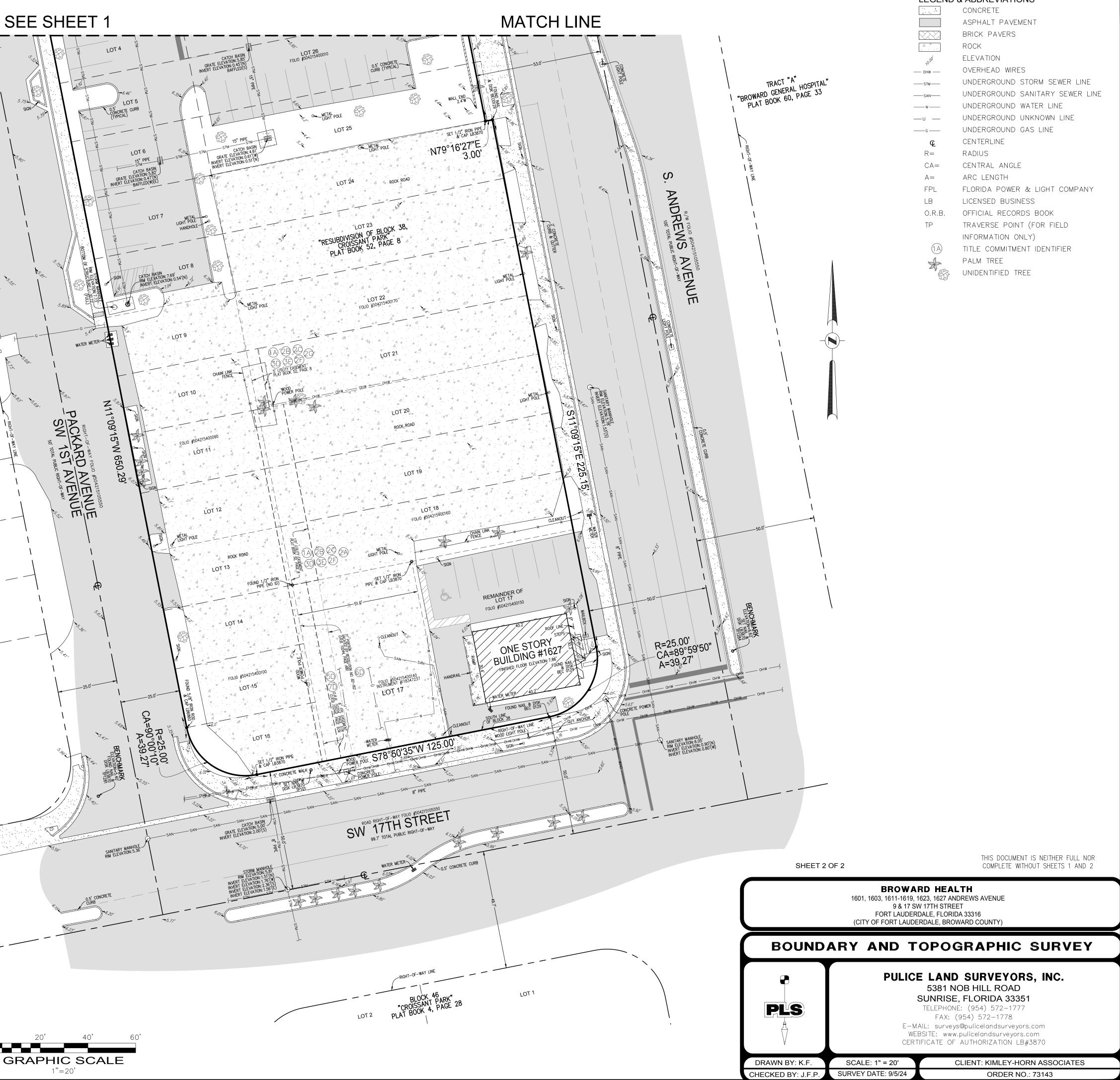
BLOCK 37

LOT 11

1 OT 12

LOT 13

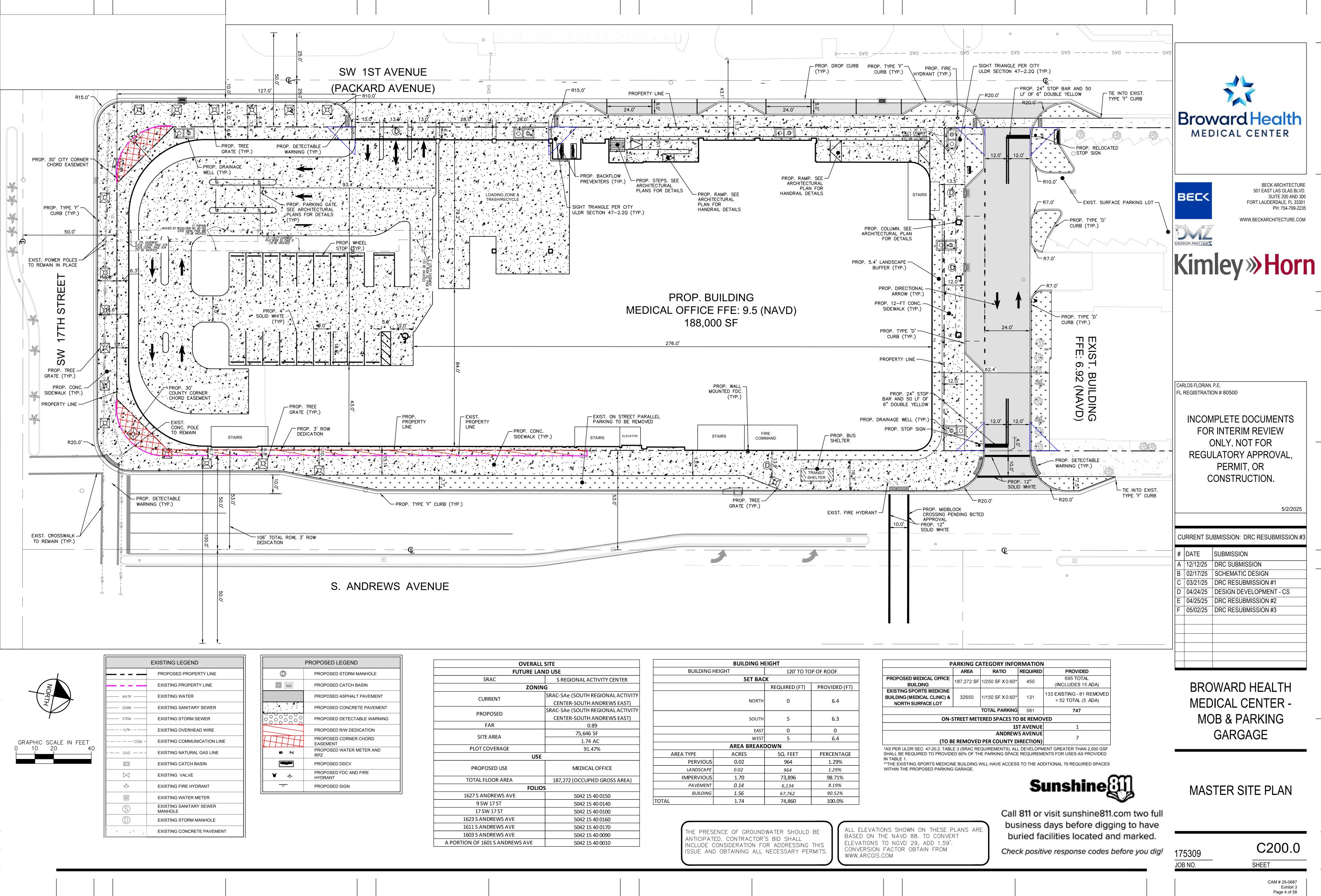
LOT 15

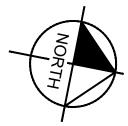


**LEGEND & ABBREVIATIONS** 

	CONCRETE
	ASPHALT PAVEMENT
2	BRICK PAVERS
	ROCK
	ELEVATION
_	OVERHEAD WIRES
	UNDERGROUND STORM SEWER LINE
	UNDERGROUND SANITARY SEWER LINE
	UNDERGROUND WATER LINE
	UNDERGROUND UNKNOWN LINE
	UNDERGROUND GAS LINE
-	CENTERLINE
	RADIUS
=	CENTRAL ANGLE
	ARC LENGTH
_	FLORIDA POWER & LIGHT COMPANY
	LICENSED BUSINESS
R.B.	OFFICIAL RECORDS BOOK
	TRAVERSE POINT (FOR FIELD
	INFORMATION ONLY)
A	TITLE COMMITMENT IDENTIFIER
anna anna	PALM TREE
E C C	UNIDENTIFIED TREE

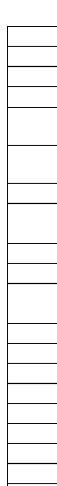
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	EXISTING LEGEND
	PROPOSED PROPERTY LINE
	EXISTING PROPERTY LINE
WATR	EXISTING WATER
SSWR	EXISTING SANITARY SEWER
STRM	EXISTING STORM SEWER
0/W	EXISTING OVERHEAD WIRE
— — — — COM —	EXISTING COMMUNICATION LINE
—— GAS ——-	EXISTING NATURAL GAS LINE
	EXISTING CATCH BASIN
$\boxtimes$	EXISTING VALVE
ů	EXISTING FIRE HYDRANT
W	EXISTING WATER METER
S	EXISTING SANITARY SEWER MANHOLE
$\bigcirc$	EXISTING STORM MANHOLE
A 4 4	EXISTING CONCRETE PAVEMENT

PROPOSED LEGEND			
D	PROPOSED STORM MANHOLE		
	PROPOSED CATCH BASIN		
	PROPOSED ASPHALT PAVEMENT		
4	PROPOSED CONCRETE PAVEMENT		
000000000	PROPOSED DETECTABLE WARNING		
	PROPOSED R/W DEDICATION		
H = H	PROPOSED CORNER CHORD EASEMENT		
Ø N	PROPOSED WATER METER AND RPZ		
	PROPOSED DDCV		
¥ -	PROPOSED FDC AND FIRE HYDRANT		
	PROPOSED SIGN		

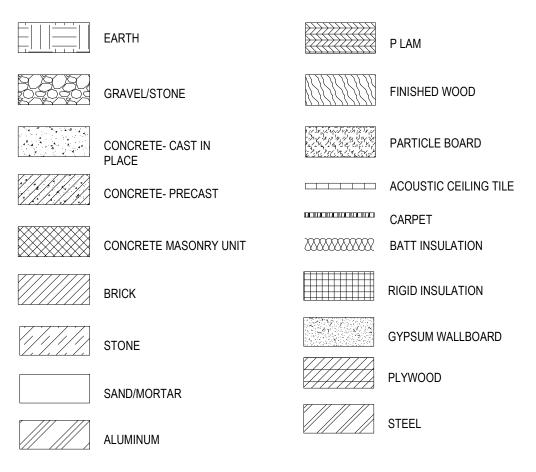


		BUILDING HEIGHT				
	P OF ROOF	120' TO TO	EIGHT	BUILDING H		
PRO		K	SET BAC			
	PROVIDED (FT)	REQUIRED (FT)				
EXIS BUILI N	6.4	0	NORTH			
	6.3	5	SOUTH			
	0	0	EAST			
	6.4	5	WEST			
*AS PE		OWN	AREA BREAKD			
SHALL	PERCENTAGE	SQ. FEET	ACRES	AREA TYPE		
IN TAB **THE	1.29%	964	0.02	PERVIOUS		
WITHI	1.29%	964	0.02	LANDSCAPE		
	98.71%	73,896	1.70	IMPERVIOUS		
	8.19%	6,134	0.14	PAVEMENT		
	90.52%	67,762	1.56	BUILDING		
	100.0%	74,860	1.74	TOTAL		

OVERALL SITE					
FUTURE LA	FUTURE LAND USE				
SRAC	S REGIONAL ACTIVITY CENTER				
ZONII	NG				
CURRENT	SRAC-SAe (SOUTH REGIONAL ACTIVITY				
CORRENT	CENTER-SOUTH ANDREWS EAST)				
PROPOSED	SRAC-SAe (SOUTH REGIONAL ACTIVITY				
	CENTER-SOUTH ANDREWS EAST)				
FAR	0.89				
SITE AREA	75,646 SF				
SHEAREA	1.74 AC				
PLOT COVERAGE	91.47%				
USE					
PROPOSED USE	MEDICAL OFFICE				
TOTAL FLOOR AREA	187,272 (OCCUPIED GROSS AREA)				
FOLIC	DS				
1627 S ANDREWS AVE	5042 15 40 0150				
9 SW 17 ST	5042 15 40 0140				
17 SW 17 ST	5042 15 40 0100				
1623 S ANDREWS AVE	5042 15 40 0160				
1611 S ANDREWS AVE	5042 15 40 0170				
1603 S ANDREWS AVE	5042 15 40 0090				
PORTION OF 1601 S ANDREWS AVE	5042 15 40 0010				

DIMENSIONING NOTES						
MARK NOTE						
1	MASONRY PLAN DIMENSIONS ARE NOMINAL AT SCALES NOT SHOWING INDIVIDUAL MODULES					
2	OPENINGS ARE NOMINAL MASONRY OPENINGS AT SCALES NOT SHOWING INDIVIDUAL MODULES					
3	EXTERIOR WALL DIMENSIONS ARE TO FINISH FACE (SEE WALL SECTION) UNLESS NOTED OTHERWISE					
4	DRAWINGS WITH INDIVIDUAL MODULAR UNITS SHOWN ARE DIMENSIONED TO ACTUAL SIZE.					
5	AT LOCATIONS OF STRUCTURAL MASONRY, UNIT TYPE IS SHOWN AS REPRESENTATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL MASONRY CONSTRUCTION.					
6	INTERIOR WALL DIMENSIONS ARE TO FINISH FACE OF PARTITION AS TAGGED, PER PARTITION SCHEDULE UNLESS NOTED OTHERWISE. ADDITIONAL FINISHES MAY EXIST. SEE FINISH PLAN.					
7	WHERE DOORS ARE ADJACENT TO PERPENDICULAR WALLS, DIMENSION FROM FACE OF WALL TO EDGE OF FRAME IS 4 INCHES UNLESS NOTED OTHERWISE					
8	WHERE WALLS OF VARYING FIRE AND/OR SMOKE RATING MEET OR INTERSECT, WALLS OF GREATER RATING SHALL RUN CONTINUOUS					
9	ELEMENT POSITIONS BASED ON NON PARALLEL OR NON PERPENDICULAR RELATIONSHIPS TO OTHER ELEMENTS SHALL BE PLACED BY THE WORK POINTS DEFINED INCIDENTALLY FROM THE OTHER ELEMENTS.					
10	RADIUSED ELEMENTS DEFINED BY MORE THAN 2 WORKPOINTS SHALL BE PLACED BY STRIKING AN ARC TANGENT TO ALL WORK POINTS. WHERE MORE THAN 3 WORKPOINTS ARE PRESENT, THE ARC AT EACH WORKPOINT SHALL BE TANGENT TO THE ADJACENT WORKPOINT ON EACH SIDE.					
11	RADIUSED ELEMENTS DEFINED BY CENTERPOINTS, RADII, AND ANGLES SHALL BE PLACED BY MARKING THE CENTERPOINT AND ANGLE OFF THE OBJECTS THE DIMENSIONS ARE INCIDENT FROM.					
12	OBJECTS AND INFORMATION SHOWN FROM OTHER TRADES IS FOR REFERENCE ONLY. OBJECTS AND INFORMATION SHOWN MAY NOT BE ALL INCLUSIVE. REFER TO THE APPROPRIATE CONSULTANTS DOCUMENTS FOR INFORMATION ON THESE SYSTEMS.					

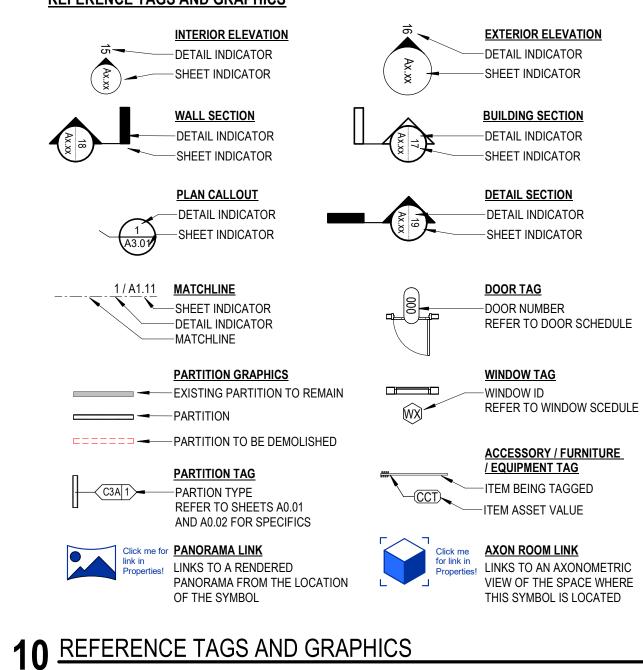
## **12** DIMENSION GUIDE NOTES



THE MATERIAL HATCH PATTERN KEY IS PROVIDED AS A GENERAL GRAPHIC REFERENCE ONLY. REFER TO MATERIAL NOTES AND LEGENDS FOR ACTUAL MATERIAL DESIGNATIONS. HATCHES PROVIDED ON FINISH PLANS, RCP'S, OR ANY OTHER DRAWING HAVING ITS OWN KEYED NOTATION AND GRAPHICAL LEGEND WILL SUPERCEDE THIS KEY.

### **1** DETAIL CUT PATTERNS SCALE: NO SCALE

**REFERENCE TAGS AND GRAPHICS** 

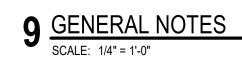


Le	eet Series vel(plan sheets) ckage Designator: .1 (Core/Shell Pack .2 (Tenant Improve
OFFICE BUILDI	NG SHEETS
SHEET NUM	BERING

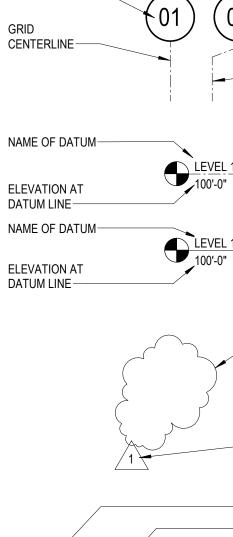
- 3. DO NOT SCALE THE DOCUMENTS.
- PRIOR TO PROCEEDING WITH THE WORK.
- BEFORE INSTALLATION.
- OTHERWISE
- 10. ACCESS PANELS (SIZED AS NEEDED) SHALL BE PROVIDED IN ALL GYP. BOARD PARTITIONS OR CEILING WHERE
- CONSTRUCTION.

ALL AREAS REQUIRING ACCESS.

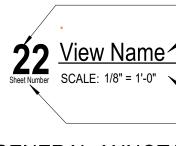
- PROJECT.



GRID NAME







**GENERAL ANNOTATIONS** 

### NEW BUILDING CONSTRUCTION TYPE:

BUILDING NAME

TYPE I-B (w/ APPROVED SPRINKLER SYSTEM PER FBC2023 903.3.1.1)

TYPE I-B

### EXISTING BUILDING CONSTRUCTION TYPE: N/A

\_\_\_\_\_Sheet Discipline inator Shell Package) t Improvement Package)

-Sheet Discipline —Parking Garage Designator —Sheet Series -Level(plan sheets) **AP2.01** 

PARKING GARAGE SHEETS

1. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL CODES LISTED IN "CODE INFORMATION."

2. ALL WORK RELATING TO THIS CONSTRUCTION SHALL COMPLY WITH U.S. DEPARTMENT OF LABOR, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL RELATED LOCAL BUILDING CODES AND ORDINANCES.

### 4. ALL DIMENSIONS ARE TO BE FIELD VERIFIED AND BACK CHECKED FOR CORRECTNESS. IF ANY DEVIATIONS OR DISCREPANCIES OCCUR, CONTACT THE ARCHITECT FOR VERIFICATION PRIOR TO PROCEEDING WITH THE WORK.

5. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CAREFULLY REVIEW THE DRAWINGS, SPECIFICATIONS, DETAILS AND NOTES FOR INFORMATION REGARDING THE SCOPE OF THE WORK INTENDED

6. THE GENERAL CONTRACTOR SHALL COORDINATE ALL BUILDING MANAGEMENT SYSTEMS, SECURITY SYSTEMS, AND LOCKING HARDWARE WITH THE OWNER PRIOR TO INSTALLATION. SECURITY SYSTEM EQUIPMENT FURNISHED BY OWNER. ALL CONDUIT AND BOXES BY ELECTRICAL SUBCONTRACTOR.

7. CONTRACTOR SHALL VERIFY LOCATIONS AND QUANTITY OF FIRE EXTINGUISHERS WITH THOSE SHOWN ON PLANS

8. ALL WOOD INDICATED IN THESE DOCUMENTS IS TO BE TREATED FOR FIRE RETARDANCY UNLESS NOTED

9. INTERIOR DIMENSIONS ARE FROM FACE OF GYP. BOARD TO FACE OF GYP. BOARD UNLESS NOTED OTHERWISE.

ELECTRICAL TRANSFORMERS, J-BOXES, PLUMBING VALVES, HVAC VAV BOXES, PTB BOXES, MOTORIZED DAMPERS, VOLUME DAMPERS, FIRE DAMPERS, SANITARY SEWER OR GREASE LINE TRAPS REQUIRING ACCESS LOCATED. NOTE THAT MANY OF THESE ITEMS ARE NOT INDICATED ON THESE DOCUMENTS, BUT ACCESS PANEL SHALL BE PROVIDED AS THOUGH THEY HAVE BEEN SHOWN THROUGHOUT (BURDEN OF DETERMINING QUANTITY IS ON THE CONTRACTOR). THE ARCHITECT SHALL COORDINATE THESE ACCESS PANELS WITH THE CONTRACTOR AT A LATER DATE SO AS TO MINIMIZE THE IMPACT ON AESTHETIC DESIGN OF THE PROJECT. ACCESS PANELS LOCATED IN FIRE RATED PARTITIONS OR CEILINGS SHALL HAVE THE SAME FIRE RATING (U.L. LABEL) AS THE PARTITION OR CEILING IN WHICH THEY ARE HOUSED. THE CONTRACTOR SHALL LOCATE ALL ELEMENTS WHICH REQUIRE ACCESS ABOVE NON-PUBLIC AREA CEILINGS OR ABOVE LAY-IN ACOUSTICAL TILE CEILINGS, IF POSSIBLE. THE CONTRACTOR SHALL PROVIDE A MARKED-UP PLAN TO THE ARCHITECT AND OWNER SHOWING

11. ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS, FIRE RATED CEILING ASSEMBLIES SHALL BE INSTALLED ACCORDING TO U.L. STANDARDS AND PER APPLICABLE CODES FOR REQUIRED HOUR FIRE RATED

12. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO INDUSTRY STANDARDS, ALL AGENCIES OR "STANDARD" RECOMMENDATIONS REFERENCED IN THE SPECIFICATIONS, OR MANUFACTURERS RECOMMENDED INSTALLATION PROCEDURES, WHICHEVER IS THE MOST STRINGENT, IN ORDER TO PROVIDE A COMPLETE AND HIGH QUALITY

13. THE CONTRACTOR REPRESENTS AND WARRANTS THAT IT HAS EXAMINED THE PLANS, DRAWINGS SPECIFICATIONS AND ALL CONSTRUCTION CRITERIA OF OWNER AND HAS SATISFIED ITSELF THAT THE INFORMATION CONTAINED THEREIN IS SUFFICIENT TO FULLY AND COMPLETELY CONSTRUCT THE PROJECT.

-GRID HEAD OFFSET

ARRANGEMENT ONLY

IS FOR SHEET

CENTERLINE

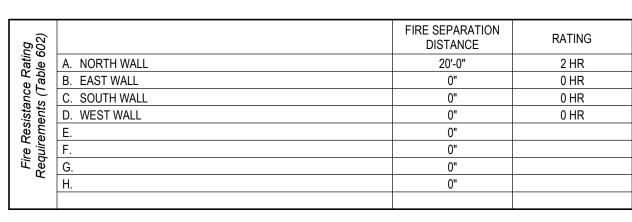
DATUM LINE

LEVEL HEAD OFFSET IS FOR

SHEET ARRANGEMENT ONLY

GRID

Resistance Rating Requirements (Table 601)		PRIMARY STRUCTURAL FRAME	1 HR
	BEARING WALLS	1 HR	
e ce	60	EXTERIOR	2 HR
itar	e e	INTERIOR	0 HR
SiSe	Table	NONBEARING WALLS AND PARTITIONS - EXTERIOR	See Table 602
		NONBEARING WALLS AND PARTITIONS - INTERIOR	0 HR
Fire		FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HR
_		ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HR
		ROOF SUPPORT RATING REDUCTION (Note a.):	YES
		ROOF CONSTRUCTION ABOVE 20 FT RATING REDUCTION (Note b.):	NO
		HEAVY TIMBER ALLOWED (Note c.):	YES
		AUTOMATIC SPRINKLER SYSTEM RATING REDUCTION (Note d.):	YES



### **7** TYPE OF CONSTRUCTION

SCALE: NO SCALE

PRIMARY BUILDING OCCUPANCY: B SECONDARY BUILDING OCCUPANCIES: S-2, A, S-1 MIXED-USE SEPARATION:

ACCESSORY OCCUPANCIES \_\_ \_\_ \_\_ YES NON-SEPARATED OCCUPANCIES \_\_\_\_ YES SEPARATED OCCUPANCIES (SEE TABLE) \_\_\_\_ YES \*\*SPECIAL PROVISIONS (PER IBC 510) \_\_\_\_ NO

SEPARATION REQUIREMENTS PER FBC TABLE 508.4						
OCCUPANCY	В	S-2	Α	S-1		
В	NOT REQUIRED	3 HR	0 HR	SMOKE		
S-2	-	NOT REQUIRED	3 HR	SMOKE		
Α	-	-	NOT REQUIRED	SMOKE		
S-1	-	-	-	NOT REQUIRED		

\*\* SPECIAL PROVISIONS COMMENTARY

## 6 OCCUPANCY CLASSIFICATION

### PARKING GARAGE (PG)

### MEDICAL OFFICE BUILDING (MOB)

EVEL	OCCUPANTS	LEVEL	OCCUPANTS
LEVEL 1	148	LEVEL 1	157
LEVEL 2	148	LEVEL 2	157
LEVEL 3	148	LEVEL 3	157
LEVEL 4	148	LEVEL 4	157
LEVEL 5	148	LEVEL 5	157
LEVEL 6	148	LEVEL 6	157
LEVEL 7	148	LEVEL 7	157
		LEVEL 8	157
		LEVEL 9 (MECHANICAL LEV	EL) 69
TOTAL	1,036	TOTAL	1,325

### **5** BUILDING OCCUPANT LOAD

	Building Code:	2023 FLORIDA BUILDING CODE (8TH EDITION): BUILDING
	Mechanical Code:	2023 FLORIDA BUILDING CODE (8TH EDITION): MECHANICAL
ON	Plumbing Code:	2023 FLORIDA BUILDING CODE (8TH EDITION): PLUMBING
UT	Electric Code:	2023 NFPA 70, NATIONAL ELECTRICAL CODE (NEC)
	Fire Code:	2023 FLORIDA FIRE PREVENTION CODE (8TH EDITION)
	Energy Code:	2023 FLORIDA BUILDING CODE (8TH EDITION): ENERGY
	Fuel Gas Code:	2023 FLORIDA BUILDING CODE (8TH EDITION): FUEL GAS
ED	Accessibility:	2023 FLORIDA BUILDING CODE (8TH EDITION): ACCESSIBILITY
	Life Safety:	FLORIDA FIRE PREVENTION CODE 8TH EDITION NFPA 101 (FLORIDA SPECIFIC)
		FLORIDA FIRE PREVENTION CODE 8TH EDITION NFPA 1 (FLORIDA SPECIFIC)
	Local Code:	CITY OF FT LAUDERDALE - CODE OF ORDINANCES
OX		CITY OF FT LAUDERDALE - DESIGN AND CONSTRUCTION MANUAL (DCM)
	Other Code(s):	FGI GUIDELINES FOR DESIGN AND CONSTRUCTION OF HOSPITAL AND OUTPATIENT FACILITIES – 2022 EDITION
	4 APPLIC	CABLE CODES AND STANDARDS

ACTUAL AREA: GSF PER FLOOR TOTAL GSF

ALLOWAE FLORIDA HEIGHT NUMBE

EXCEP

ALLOWAE AREA FA

MIXED OCCUPANCY: HIGH RISE:

FIRE PROTECTION SYSTEMS FIRE EXTINGUISING SYSTEM:

## MEDICAL OFFICE BUILDING (MOB)

HIGH RISE:

FIRE PROTECTION SYSTEMS FIRE EXTINGUISING SYSTEM

PROJECT NAME:

## -DATUM LINE -EXTENT OF REVISION NOTE: CLOUDED DETAIL TITLE INDICATES COMPREHENSIVE REVISIC CHANGES TO ENTIRE DETAIL, NOT A CHANGE TO THE DETAIL TITLE CALLOU **VIEW TITLE-BOXE**

**VIEW TITLE-NO BC** 

-VIEW SCALE -VIEW NUMBER -VIEW TITLE

-REVISION NUMBER

-VIEW NUMBER

-VIEW TITLE

-VIEW SCALE

SHEET THAT VIEW IS ON

STRUCTURAL

GRID

LEVEL

DATUM

LEVEL LEVEL LEVEL

NONE





BECK ARCHITECTURE 501 EAST LAS OLAS BLVD SUITE 200 AND 300 FORT LAUDERDALE, FL 33301 PH: 754-799-2235 WWW.BECKARCHITECTURE.COM

# ARCHITECT NAME STATE REGISTRATION #

INCOMPLETE DOCUMENTS FØR INTERIM REVIĘW ONLY. NOT FOR **REGULATORY APPROVAL** PERMIT, QR CONSTRUCTION.

05/02/25

ARCHITECT SEAL

СІ	JRRENT SL	JBMISSION: DRC Resubmission #3		
#	DATE	SUBMISSION		
В	02/17/25	Schematic Design		
Е	04/24/25	Design Development - CS		
D	04/25/25	DRC Resubmission #2		
F	05/02/25	DRC Resubmission #3		

Broward Health Medical Center - MOB and PG

GENERAL AND CODE
<b>INFORMATION 1 -</b>
CS+PG

175309 JOB NO.

G1.01.1 SHEET

> CAM # 25-0687 Exhibit 3 Page 5 of 58

### **PARKING GARAGE (PG)**

ACTUAL BUILDING HEIGHT:

HEIGHT ABOVE GRADE: NUMBER OF STORIES ABOVE GRADE: 88'-0" (T.O. ROOF)

44,411 GSF

310,877 GSF

BLE BUILDING HEIGHT:	180' / 12 STORIES
BUILDING CODE - ALLOWABLE BUILDING	HEIGHT:
T ABOVE GRADE (TABLE 504.3):	180'
ER OF STORIES ABOVE GRADE (TABLE 504.4):	12
TIONS TAKEN:	NONE
BLE AREA (506.2.1 - 506.3):	UNLIMITED
FACTOR "At" (TABLE 506.2):	TYPE IA = UNLIMITED

### MEDICAL OFFICE BUILDING (MOB)

### **ACTUAL BUILDING HEIGHT:**

HEIGHT ABOVE GRADE: NUMBER OF STORIES ABOVE GRADE:

**ACTUAL AREA:** 

GSF PER FLOOR TOTAL GSF (W/O MECHANICAL LEVEL - 20,709 GSF) TOTAL GSF (W/ MECHANICAL LEVEL - 20,709 GSF)

NONOCCUPIABLE MECHANICAL LEVEL) 23,409 GSF

8 (NOT INCLUDING THE ENCLOSED,

140'-0" (T.O. ROOF)

187,272 GSF

207,981 GSF

ALLOWABLE BUILDING HEIGHT:

FLORIDA BUILDING CODE - ALLOWABLE BUILDING HEIGHT HEIGHT ABOVE GRADE (TABLE 504.3): NUMBER OF STORIES ABOVE GRADE (TABLE 504.4): EXCEPTIONS TAKEN:

180' 12 NONE UNLIMITED

TYPE IB = UNLIMITED

180' / 12 STORIES

ALLOWABLE AREA (506.2.1 - 506.3): AREA FACTOR "At" (TABLE 506.2):

### **3** GROSS BUILDING AREA

### PARKING GARAGE (PG)

**BUILDING PLANNING** 

REQUIRED FIRE SEPARATION:

YES, 3HR BETWEEN MOB AND PARKING GARAGE NO

NON-SPRINKLERED

**BUILDING PLANNING** MIXED OCCUPANCY: REQUIRED FIRE SEPARATION:

YES, B- BUSINESS, A-ASSEMBLY (WAITING,) S-2 (PARKING GARAGE) YES, 3HR BETWEEN MOB AND PARKING GARAGE YES; HIGHEST OCCUPIABLE LEVEL - 106'-0" IN ACCORDANCE WITH FBC SECTION 403

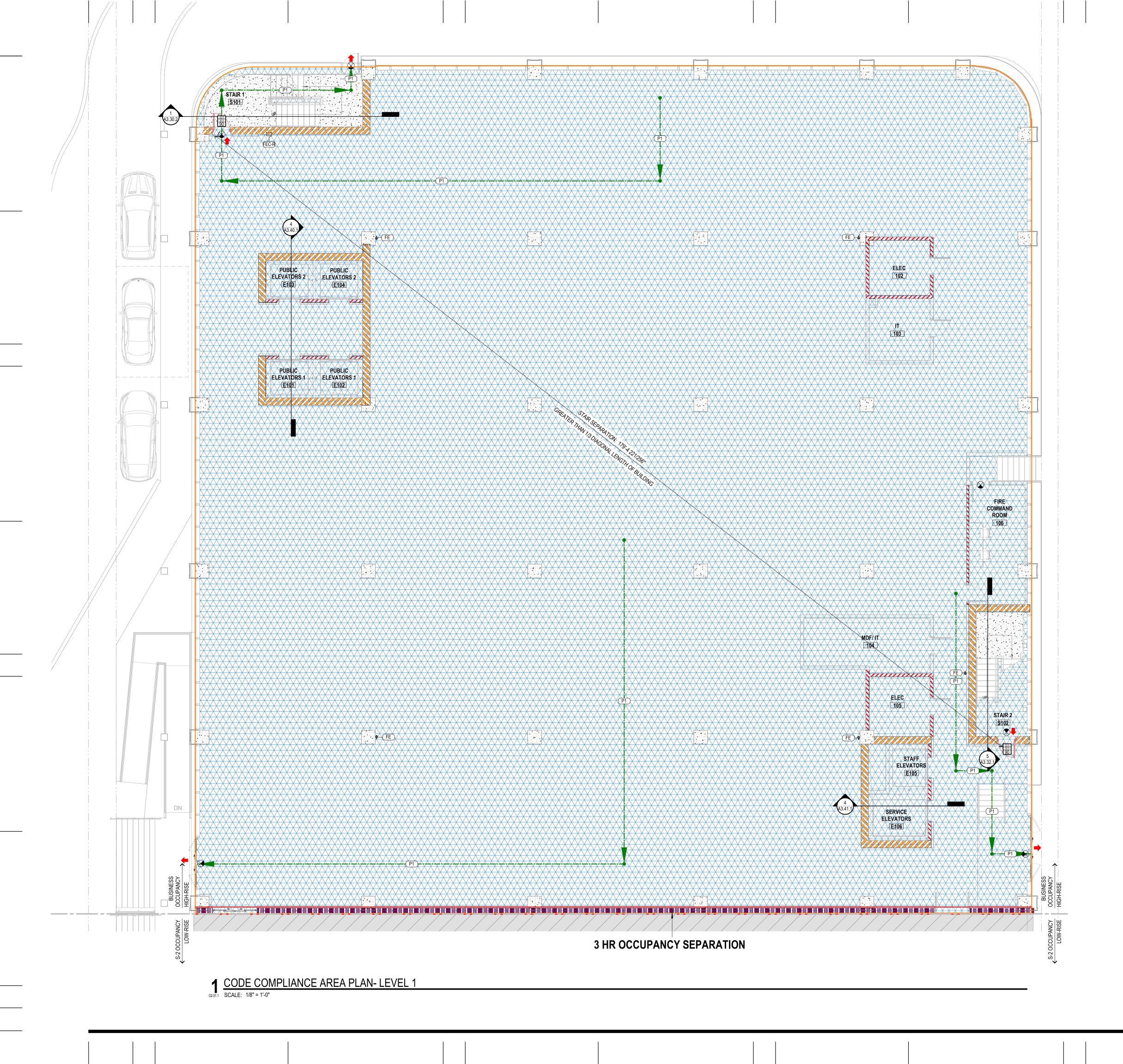
YES, B- BUSINESS, A-ASSEMBLY (WAITING,) S-2 (PARKING GARAGE)

YES; TYPE - FULL COVERAGE AUTOMATIC SPRINKLER SYSTEM, IN ACCORDANCE WITH FBC SECTION 903.3.1.1

**7** BUILDING INFORMATION & SYSTEMS

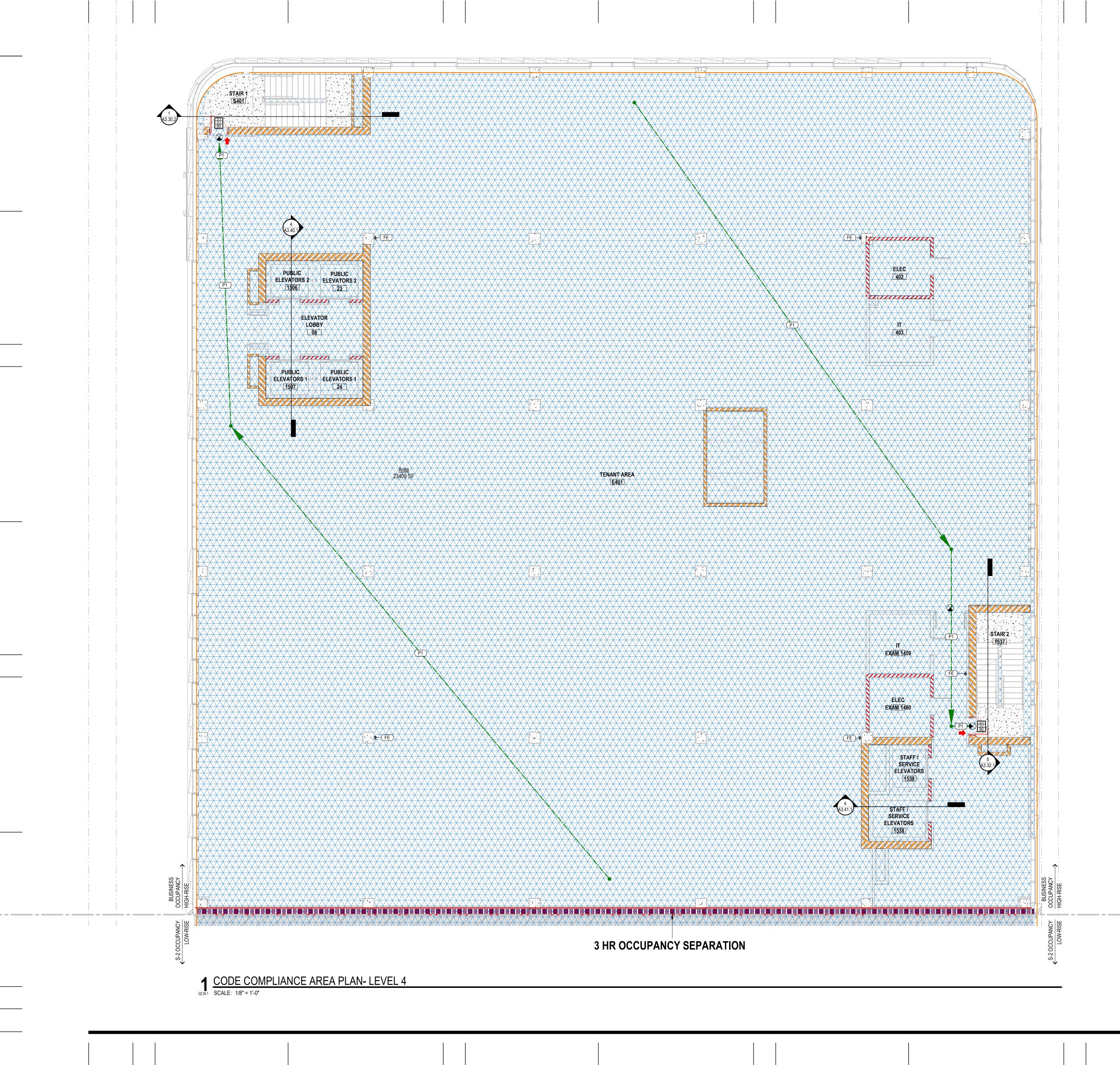
BROWARD HEALTH MAIN CAMPUS MEDICAL OFFICE BUILDING (MOB) AND PARKING GARAGE (PG) 17TH STREET AND S. ANDREWS **PROJECT ADDRESS:** FT LAUDERDALE, FL MEDICAL OFFICE BUILDING **PROPOSED PROJECT USE:** AMBULATORY CARE FACILITY HUBERT POULARD **OWNER / CONTACT INFORMATION:** HPOULARD@BROWARDHEALTH.ORG 239-425-5322

**1** PROJECT INFORMATION



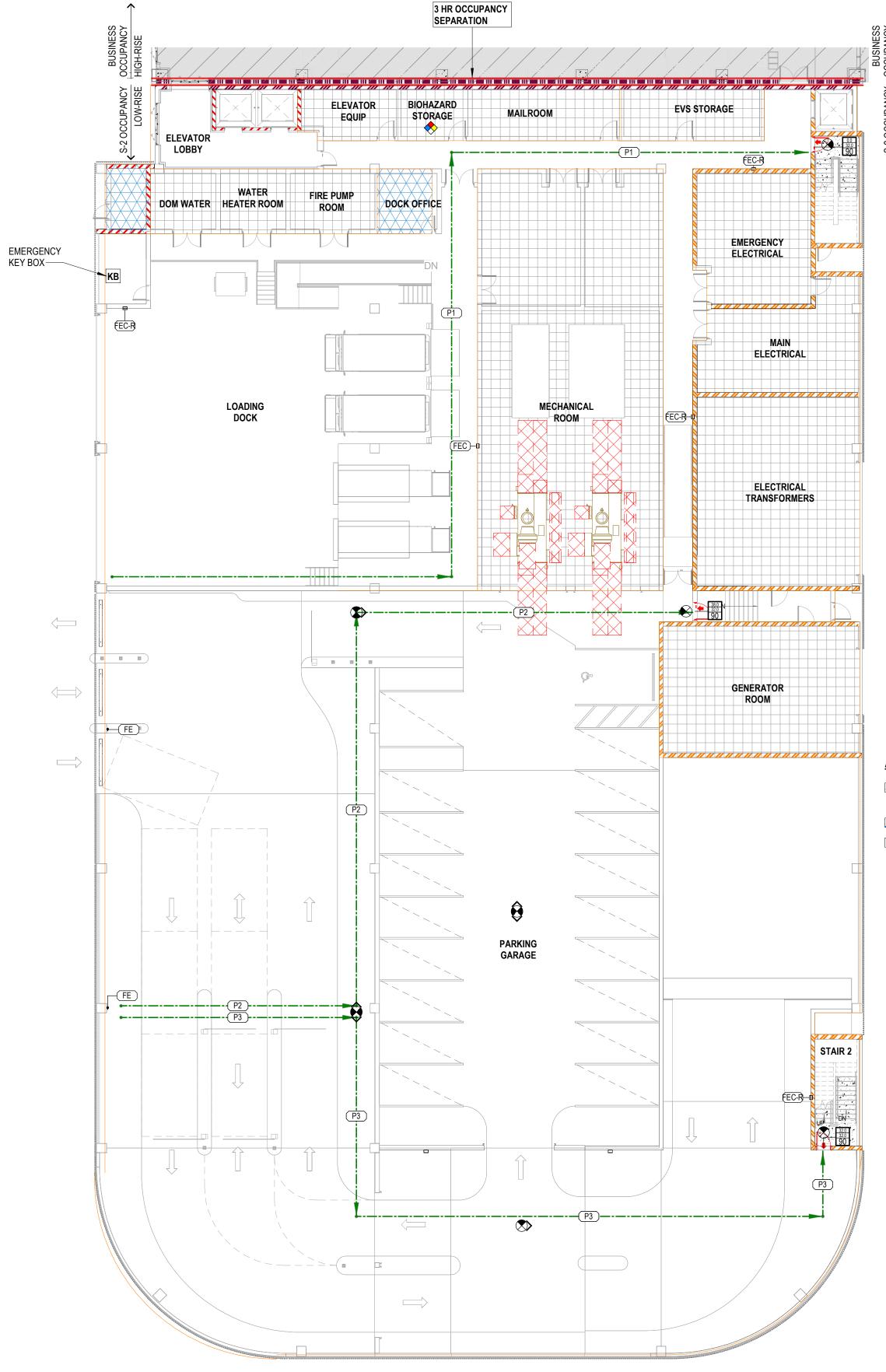
	FOR WALLS. REFER TO UL ASSEMBLY FOR WALL CONSTRUCTION.		
3. REFER T	O AREA FLOOR PLANS, AND SHEETS A0.01 AND R PARTITION INFORMATION. O AREA FLOOR PLANS FOR DOOR TAGS, REFER ERIES FOR DOOR SCHEDULE AND DOOR		-
	ATION. O A3.xx SERIES SHEETS FOR ENLARGED PLANS, ENSIONS BETWEEN PARTITIONS AT CHASE		ц 11. Ца
	O A11.xx SERIES SHEETS FOR FINISH PLANS NG WALL PROTECTION) AND SHEET A11.00 FOR	Broward MEDICAL	
CODE COI	MPLIANCE GRAPHICS		
	EXISTING PARTITION TO REMAIN		
	├━─ PARTITION		
		BCC/	BECK ARCHITECT 501 EAST LAS OLAS B SUITE 200 AND
	III ──────────────────────────────────	BEC	ORT LAUDERDALE, FL 3 PH: 754-799-
	2 HR / SMOKE BARRIER	WWW	V.BECKARCHITECTURE.
	✓ → 3 HR BARRIER III → 3 HR / SMOKE BARRIER		
	EXIT SIGN TWO SIDED DIRECTIONAL TWO WAY		
	EXIT SIGN ONE SIDED DIRECTIONAL		
	PROVIDED EGRESS WIDTH		
	REQUIRED EGRESS WIDTH		
45	DOOR RATING (TAG USED ON NON-EGRESS DOORS)		
	FE-K AT KITCHENS/SERVING AREAS  FIRE EXTINGUISHER CABINET - SEMI		
II(FEC-	RECESSED $\mathbb{R}^{}$ FIRE EXTINGUISHER CABINET (RATED)		
<i>_</i>	COMMON PATH TRAVEL DISTANCE PATH NUMBER	ARCHITECT NAME	
	EXIT TRAVEL DISTANCE	STATE REGISTRATION #	
······	DEAD END DISTANCE PATH		
•	NUMBER	INCOMPLETE D	
-	EXIT DISCHARGE	FOR INTERIM	\
TRAVEL [	DISTANCES TOTALS SHOWN ON SCHEDULE	ONLY. NO	
	— HAZARDOUS STORAGE	REGULATORY A	, ,
		PERMIT, OR CON	ISTRUCTION.
			05/02/
TRA PATH	VEL DISTANCE PATHS	ARCHITECT SEAL	05/02/
PATH	LENGTH		
PATH	LENGTH	CURRENT SUBMISSION: # DATE SUBMISSION	DRC Resubmission
PATH P1	LENGTH 2514'-6"	CURRENT SUBMISSION: # DATE SUBMISSION D 04/25/25 DRC Resubmis	DRC Resubmission
PATH P1	LENGTH 2514'-6" DING EGRESS DOORS	CURRENT SUBMISSION: # DATE SUBMISSION	DRC Resubmission ssion #2 oment - CS
PATH P1 BUIL Number	LENGTH 2514'-6" DING EGRESS DOORS Egress_Building Width Egress Provided	CURRENT SUBMISSION: # DATE SUBMISSION D 04/25/25 DRC Resubmis E 04/24/25 Design Develo	DRC Resubmission ssion #2 oment - CS
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CAM # 25-0687 Exhibit 3 Page 6 of 58



	NGS FOR WALLS. REFER T		
A0 02	AL WALL CONSTRUCTION R TO AREA FLOOR PLANS FOR PARTITION INFORMA	, AND SHEETS A0.01 AND	
3. REFE TO A	R TO AREA FLOOR PLANS 6 SERIES FOR DOOR SCH	FOR DOOR TAGS, REFER	5.7
4. REFE	RMATION. R TO A3.xx SERIES SHEET DIMENSIONS BETWEEN PA	TS FOR ENLARGED PLANS,	
CON	DITIONS. R TO A11.xx SERIES SHEE		<b>Broward Healt</b>
	UDING WALL PROTECTION H LEGEND.	N) AND SHEET A11.00 FOR	MEDICAL CENTER
<u>CODE (</u>	OMPLIANCE GRAPH	HICS	
	EXISTING PART	ITION TO REMAIN	
		ION	
	✓ → 1 HR BARRIER I HR / SMOKE B		BECK ARCHITE 501 EAST LAS OLA SUITE 200 /
	2 HR BARRIER	ARRIER	FORT LAUDERDALE, F PH: 754-7
		ARRIER	WWW.BECKARCHITECTU
	✓ A HR BARRIER ✓ A HR / SMOKE B	BARRIER	
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	FE-K AT KITCHE	NS/SERVING AREAS	
	RECESSED	SHER CABINET - SEMI	
		, γ	
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•	NUMBER		
-	EXIT DISCHARG	θE	INCOMPLETE DOCUMENTS
TRAV	EL DISTANCES TOTALS SH	HOWN ON SCHEDULE	(ONLY. NOT FOR)
		AGE	REGULATORY APPRØVAL,
			PERMIT, OR CONSTRUCTION
TR	VEL DIST	ΔΝϹΕ ΡΔΤΗS	ARCHITECT SEAL 05/0
TR/ PA		LENGTH	ARCHITECT SEAL 05/0
PA			
PA		LENGTH	11 11
PA P1	Ή	LENGTH 2514'-6	CURRENT SUBMISSION: DRC Resubmission # DATE SUBMISSION D 04/25/25 DRC Resubmission #2
P1 BUI	H LDING EG	LENGTH 2514'-6 RESS DOORS	<ul> <li>CURRENT SUBMISSION: DRC Resubmission</li> <li># DATE SUBMISSION</li> <li>D 04/25/25 DRC Resubmission #2</li> <li>E 04/24/25 Design Development - CS</li> </ul>
P1 P1 Number	н LDING EG Egress_ Building	LENGTH 2514'-6 RESS DOORS Width Egress Provided	CURRENT SUBMISSION: DRC Resubmission # DATE SUBMISSION D 04/25/25 DRC Resubmission #2
P1 P1 BUI Number 8048 8057	TH LDING EG Egress_Building Yes Yes	LENGTH 2514'-6 RESS DOORS Width Egress Provided 32.0 32.0	<ul> <li>CURRENT SUBMISSION: DRC Resubmission</li> <li># DATE SUBMISSION</li> <li>D 04/25/25 DRC Resubmission #2</li> <li>E 04/24/25 Design Development - CS</li> </ul>
P1 P	H         LDING EG         Egress_ Building         Yes	LENGTH 2514'-6 RESS DOORS Width Egress Provided 32.0 32.0 32.0 32.0 32.0	<ul> <li>CURRENT SUBMISSION: DRC Resubmission</li> <li># DATE SUBMISSION</li> <li>D 04/25/25 DRC Resubmission #2</li> <li>E 04/24/25 Design Development - CS</li> </ul>
P1 P1 Number 8048 8057 8066 8075 8084 \$102	H         Egress_Building         Yes	LENGTH 2514'-6 <b>RESS DOORS</b> Width Egress Provided 32.0	<ul> <li>CURRENT SUBMISSION: DRC Resubmission</li> <li># DATE SUBMISSION</li> <li>D 04/25/25 DRC Resubmission #2</li> <li>E 04/24/25 Design Development - CS</li> </ul>
P1 P1 BUI Number 8048 8057 8066 8075 8066 8075 8084 \$102 \$201A \$202	H         Egress_Building         Yes	LENGTH 2514'-6 RESS DOORS Width Egress Provided 32.0	<ul> <li>CURRENT SUBMISSION: DRC Resubmission</li> <li># DATE SUBMISSION</li> <li>D 04/25/25 DRC Resubmission #2</li> <li>E 04/24/25 Design Development - CS</li> </ul>
P1 P1 Number 8048 8057 8066 8075 8084 \$102 \$201A \$202 \$401A \$202 \$401A \$501A	H         Image: Display of the second state of t	LENGTH  2514'-6	<ul> <li>CURRENT SUBMISSION: DRC Resubmission</li> <li># DATE SUBMISSION</li> <li>D 04/25/25 DRC Resubmission #2</li> <li>E 04/24/25 Design Development - CS</li> </ul>
P1 P1 P1 Number 8048 8057 8066 8075 8084 \$102 \$201A \$202 \$401A \$202 \$401A \$501A \$501A \$501A	H         Egress_Building         Yes	LENGTH 2514'-6 <b>RESS DOORS</b> Width Egress Provided 32.0	<ul> <li>CURRENT SUBMISSION: DRC Resubmission</li> <li># DATE SUBMISSION</li> <li>D 04/25/25 DRC Resubmission #2</li> <li>E 04/24/25 Design Development - CS</li> </ul>
P1 P1 Number 8048 8057 8066 8075 8084 \$102 \$201A \$202 \$401A \$202 \$401A \$501A \$501A	H         Image: Display of the second seco	LENGTH  2514'-6	<ul> <li>CURRENT SUBMISSION: DRC Resubmission</li> <li># DATE SUBMISSION</li> <li>D 04/25/25 DRC Resubmission #2</li> <li>E 04/24/25 Design Development - CS</li> </ul>
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P1 P1 P1 Number 8048 8057 8066 8075 8066 8075 8084 S102 S201A S202 S401A S202 S401A S501A S501A S501A S601A S701A	H         Image: Display of the second state	LENGTH 2514'-6 <b>RESS DOORS</b> Width Egress Provided 32.0	CURRENT SUBMISSION: DRC Resubmission # DATE SUBMISSION D 04/25/25 DRC Resubmission #2 E 04/24/25 Design Development - CS F 05/02/25 DRC Resubmission #3 D D D D D D D D D D D D D D D D D D D
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P1 P1 P1 <b>BUI</b> 8048 8057 8066 8075 8084 S102 S201A S202 S401A S501A S501A S501A S501A S601A S501A	H         Image: Display of the second state	LENGTH 2514'-6 <b>RESS DOORS</b> Width Egress Provided 32.0	URRENT SUBMISSION: DRC Resubmission The DATE SUBMISSION D 04/25/25 DRC Resubmission #2 E 04/24/25 Design Development - CS F 05/02/25 DRC Resubmission #3 D 04/25/25 DRC Resubmission #3 D 05/02/25 DRC Resubmission #3 D 04/25/25 DRC Resubmission #3 D 05/02/25 DRC Resubmission #3
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P1 P1 <b>BUI</b> Number 8048 8057 8066 8075 8084 \$102 \$201A \$202 \$401A \$202 \$401A \$501A \$501A \$501A \$501A \$501A	H         Image: Display of the second state	LENGTH 2514'-6 <b>RESS DOORS</b> Width Egress Provided 32.0	CURRENT SUBMISSION:       DRC Resubmission         #       DATE       SUBMISSION         D       04/25/25       DRC Resubmission #2         E       04/24/25       Design Development - CS         F       05/02/25       DRC Resubmission #3         D       D       DRC Resubmission #3         D       DRC Resubmission #3       DRC Resubmission #3 <tr< td=""></tr<>

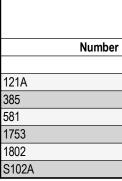
CAM # 25-0687 Exhibit 3 Page 7 of 58



CODE COMPLIANCE AREA PLAN- LEVEL P1 SCALE: 1/16" = 1'-0"

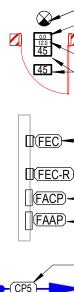
1.	WALL RATI
	WALL CON
2.	REFER TO
3.	REFER TO
	INFORMAT
4.	REFER TO
	CONDITION
5.	REFER TO
	LEGEND.

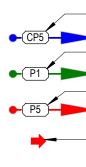
	PATH
P1	
P2	
P3	
P4	
P5	



AREA	OCCUF	PANCY	LEGEN

- Accessory Storage Areas, Mechanical equipment rooms
- Business (FBC 2023)
- Parking Garages







### CODE COMPLIANCE PLAN GENERAL NOTES:

1. WALL RATINGS BELOW REFLECT REQUIRED MINIMUM RATINGS FOR WALLS. REFER TO UL ASSEMBLY FOR ACTUAL STRUCTION. O AREA FLOOR PLANS, AND SHEETS A0.01 AND A0.02 FOR PARTITION INFORMATION. O AREA FLOOR PLANS FOR DOOR TAGS, REFER TO A6 SERIES FOR DOOR SCHEDULE AND DOOR TION. ) A3.xx SERIES SHEETS FOR ENLARGED PLANS, FOR DIMENSIONS BETWEEN PARTITIONS AT CHASE O A11.xx SERIES SHEETS FOR FINISH PLANS (INCLUDING WALL PROTECTION) AND SHEET A11.00 FOR FINISH

## TRAVEL DISTANCE PATHS LENGTH





240'-3

206'-11

207'-1

1330'-4"

1319'-3'

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### **BUILDING EGRESS DOORS** Egress Building

ımber	Egress_ Building	Width Egress Provided
	Yes	38.0
	Yes	32.0

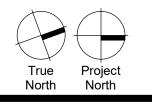
### CODE COMPLIANCE GRAPHICS

	EXISTING PARTITION TO REMAIN
	PARTITION
	⊢1 HR BARRIER
	- 1 HR / SMOKE BARRIER
	-2 HR BARRIER
	⊢2 HR / SMOKE BARRIER
	-3 HR BARRIER
	─3 HR OCCUPANCY SEPARATION LINE
	- EXIT SIGN TWO SIDED DIRECTIONAL TWO
	WAY – EXIT SIGN ONE SIDED DIRECTIONAL
	- EXIT SIGN ONE SIDED
	-PROVIDED EGRESS WIDTH
	-REQUIRED EGRESS WIDTH
45	-DOOR RATING (TAG USED ON
	NON-EGRESS DOORS)
☐(FEC) <del>-</del>	- FIRE EXTINGUISHER CABINET - SEMI RECESSED
EFEC-R	FIRE EXTINGUISHER CABINET (RATED)
FACP-	FIRE ALARM CONTROL PANEL
FAAP-	FIRE ALARM ANNUNCIATOR PANEL
	-COMMON PATH TRAVEL DISTANCE PATH NUMBER
- CP5	-EXIT TRAVEL DISTANCE
P1	PATH NUMBER
	-DEAD END DISTANCE PATH
P5	NUMBER
<b>•</b> -	-EXIT DISCHARGE
TRAVEL DISTA	NCES TOTALS SHOWN ON SCHEDULE
<b>~</b>	HAZARDOUS STORAGE

## ARCHITECT NAME STATE REGISTRATION # INCOMPLETE DOCUMENTS FOR INTERIM REVIEW ONLY. NOT FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION. 05/02/25 ARCHITECT SEAL CURRENT SUBMISSION: DRC Resubmission #3 # DATE SUBMISSION D 04/25/25 DRC Resubmission #2 E 04/24/25 Design Development - CS F 05/02/25 DRC Resubmission #3

Broward Health Medical Center - MOB and PG

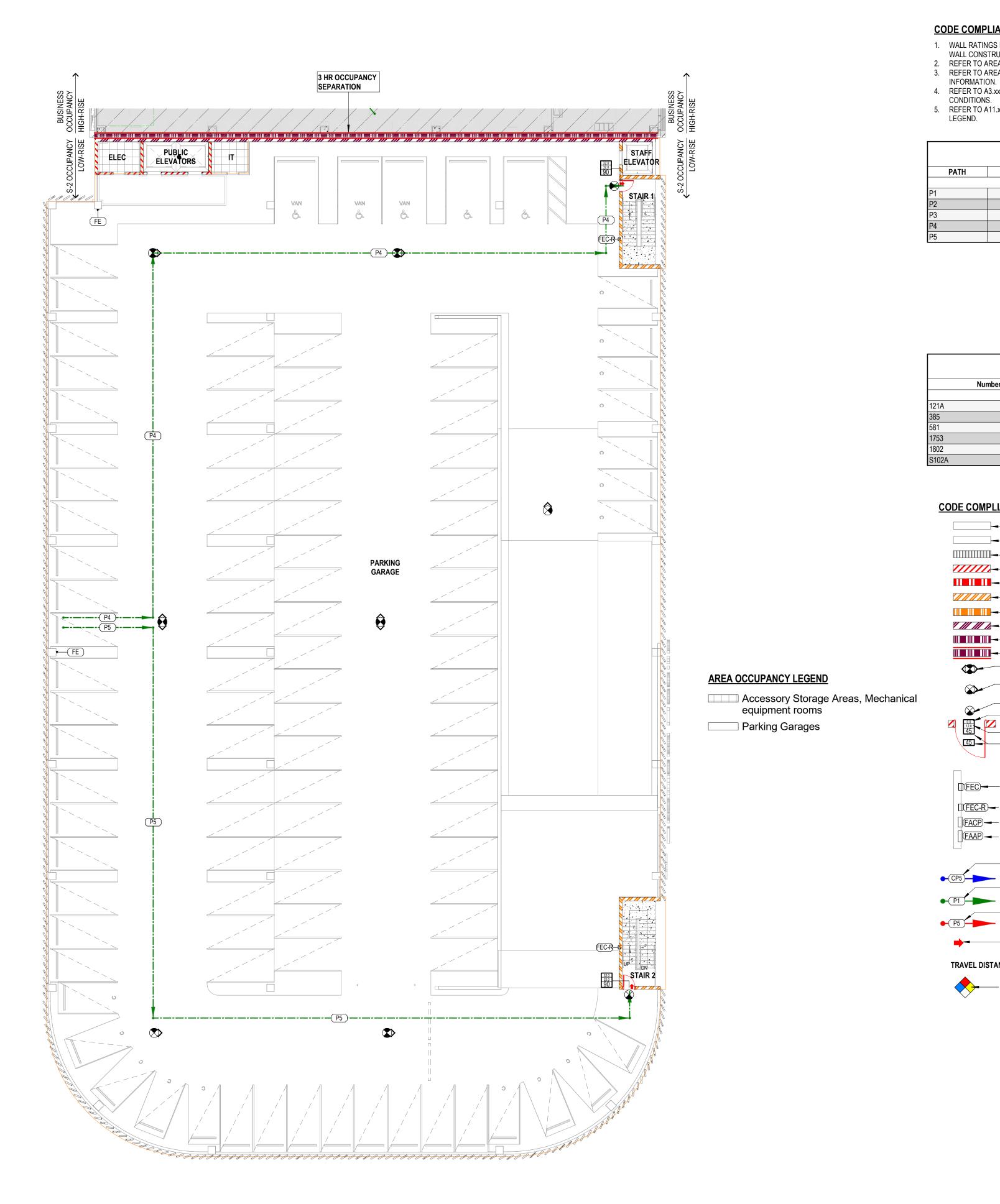
LEVEL 1 - CODE
<b>COMPLIANCE PLAN -</b>
PG



175309	
JOB NO.	



CAM # 25-0687 Exhibit 3 Page 8 of 58



1 <u>CODE COMPLIANCE AREA PLAN- LEVEL P2</u> SCALE: 1/16" = 1'-0"

### CODE COMPLIANCE PLAN GENERAL NOTES:

1. WALL RATINGS BELOW REFLECT REQUIRED MINIMUM RATINGS FOR WALLS. REFER TO UL ASSEMBLY FOR ACTUAL WALL CONSTRUCTION. REFER TO AREA FLOOR PLANS, AND SHEETS A0.01 AND A0.02 FOR PARTITION INFORMATION.
 REFER TO AREA FLOOR PLANS FOR DOOR TAGS, REFER TO A6 SERIES FOR DOOR SCHEDULE AND DOOR 4. REFER TO A3.xx SERIES SHEETS FOR ENLARGED PLANS, FOR DIMENSIONS BETWEEN PARTITIONS AT CHASE 5. REFER TO A11.xx SERIES SHEETS FOR FINISH PLANS (INCLUDING WALL PROTECTION) AND SHEET A11.00 FOR FINISH

## TRAVEL DISTANCE PATHS LENGTH





240'-3

206'-11

207'-1

1330'-4" 1319'-3'

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## **BUILDING EGRESS DOORS**

Number	Egress_ Building	Width Egress Provided
	Yes	38.0
	Yes	32.0

### CODE COMPLIANCE GRAPHICS

EXISTING PARTITION TO REMAIN	١
PARTITION	

-	-SMOKE	PART	ITIO

1 HR BARRIER

- 1 HR / SMOKE BARRIER
- 2 HR BARRIER

11 III III - 2 HR / SMOKE BARRIER

3 HR BARRIER

3 HR OCCUPANCY SEPARATION LINE

EXIT SIGN TWO SIDED DIRECTIONAL TWO WAY

EXIT SIGN ONE SIDED DIRECTIONAL

EXIT SIGN ONE SIDED PROVIDED EGRESS WIDTH EXIT SIGN ONE SIDED PROVIDED EGRESS WIDTH DOOR RATING (TAG LISED CH 

> RECESSED FEC-R FIRE EXTINGUISHER CABINET (RATED) FAAP ----- FIRE ALARM ANNUNCIATOR PANEL

COMMON PATH TRAVEL DISTANCE PATH NUMBER EXIT TRAVEL DISTANCE PATH NUMBER

DEAD END DISTANCE PATH

EXIT DISCHARGE

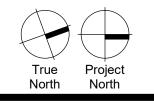
### TRAVEL DISTANCES TOTALS SHOWN ON SCHEDULE

HAZARDOUS STORAGE

## ARCHITECT NAME STATE REGISTRATION # INCOMPLETE DOCUMENTS FOR INTERIM REVIEW ONLY. NOT FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION. 05/02/25 ARCHITECT SEAL CURRENT SUBMISSION: DRC Resubmission #3 # DATE SUBMISSION D 04/25/25 DRC Resubmission #2 E 04/24/25 Design Development - CS F 05/02/25 DRC Resubmission #3

Broward Health Medical Center - MOB and PG

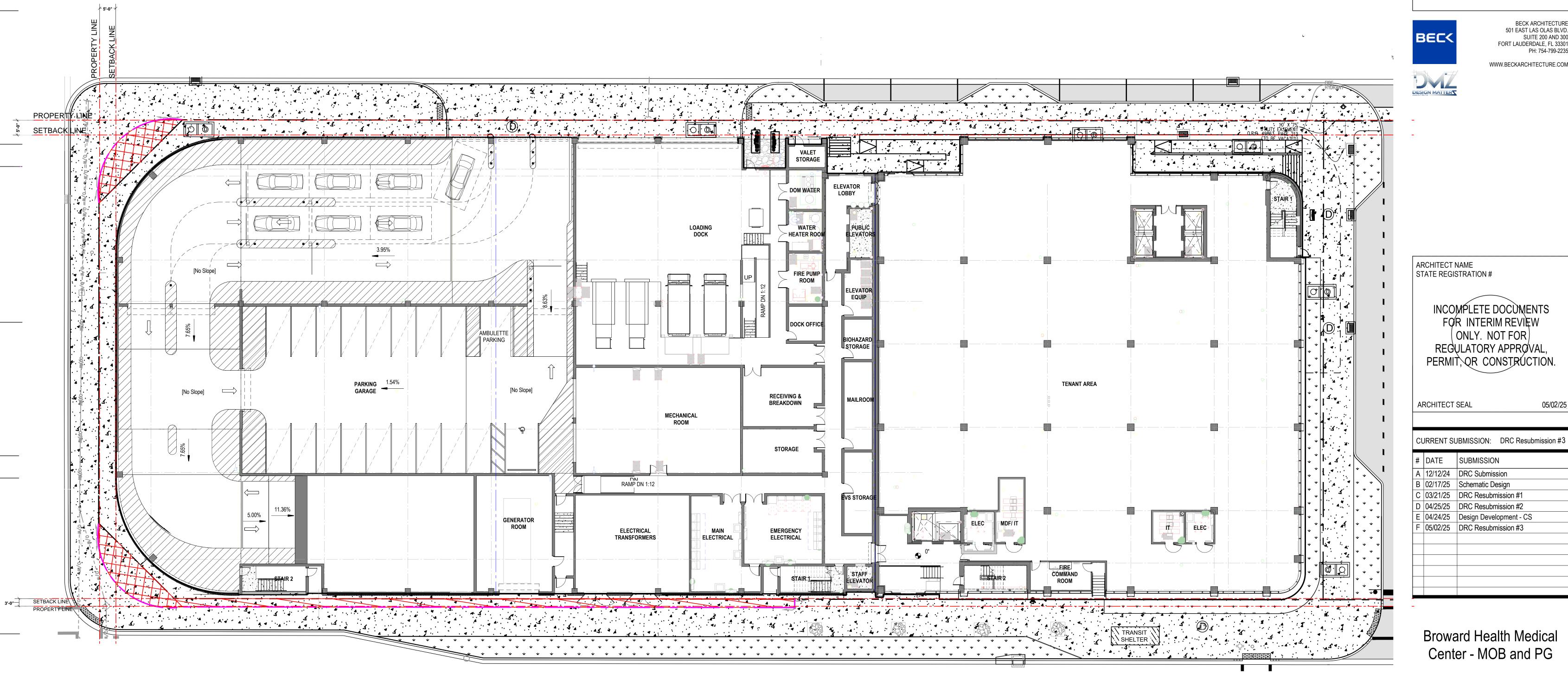
LEVEL 2 - CODE
<b>COMPLIANCE PLAN -</b>
PG



175309
JOB NO.



CAM # 25-0687 Exhibit 3 Page 9 of 58



SITE PLAN SCALE: 1/16" = 1'-0"

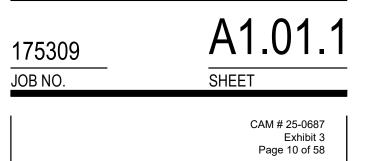


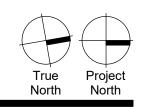


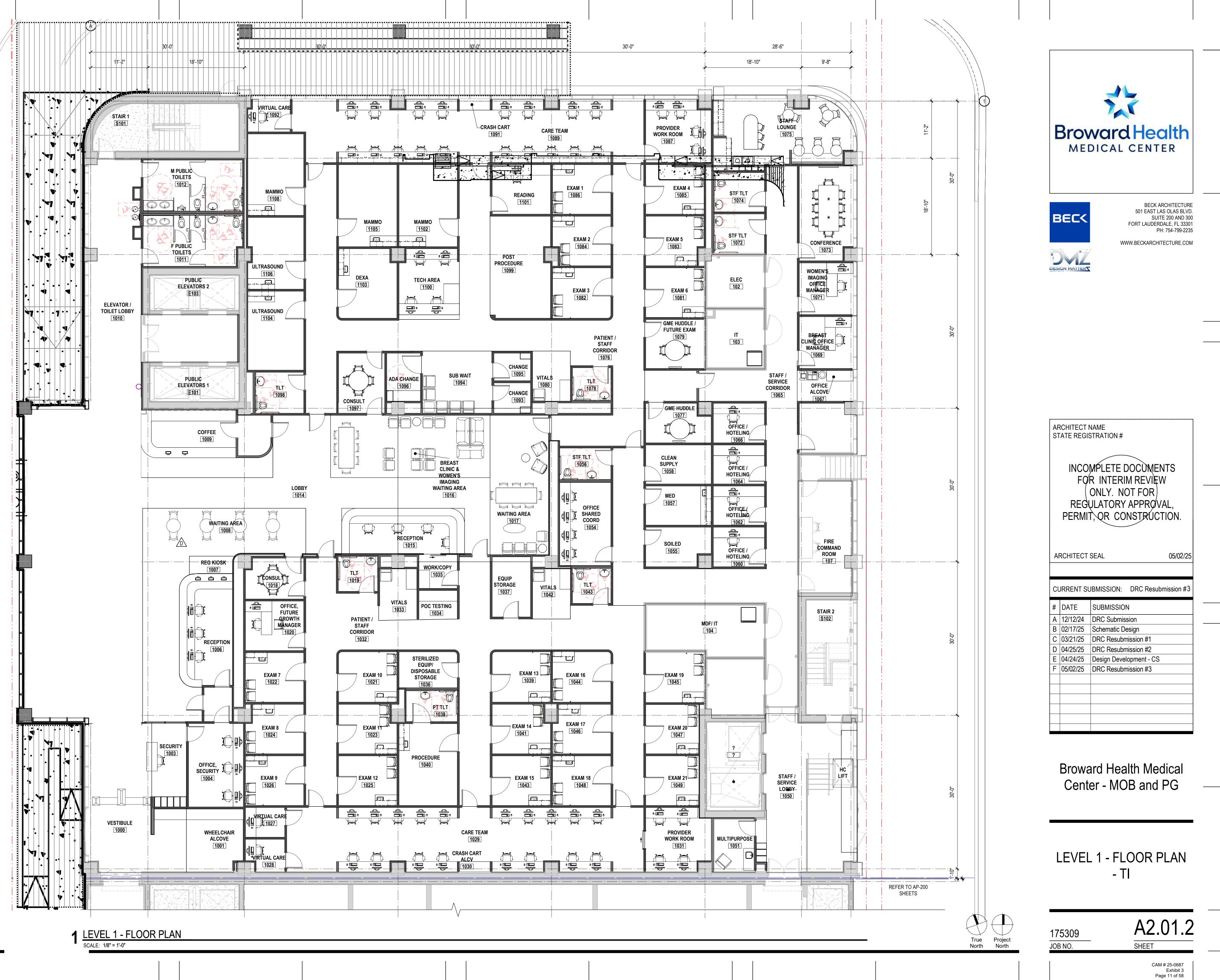
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05/02/25

OVERALL SITE PLAN

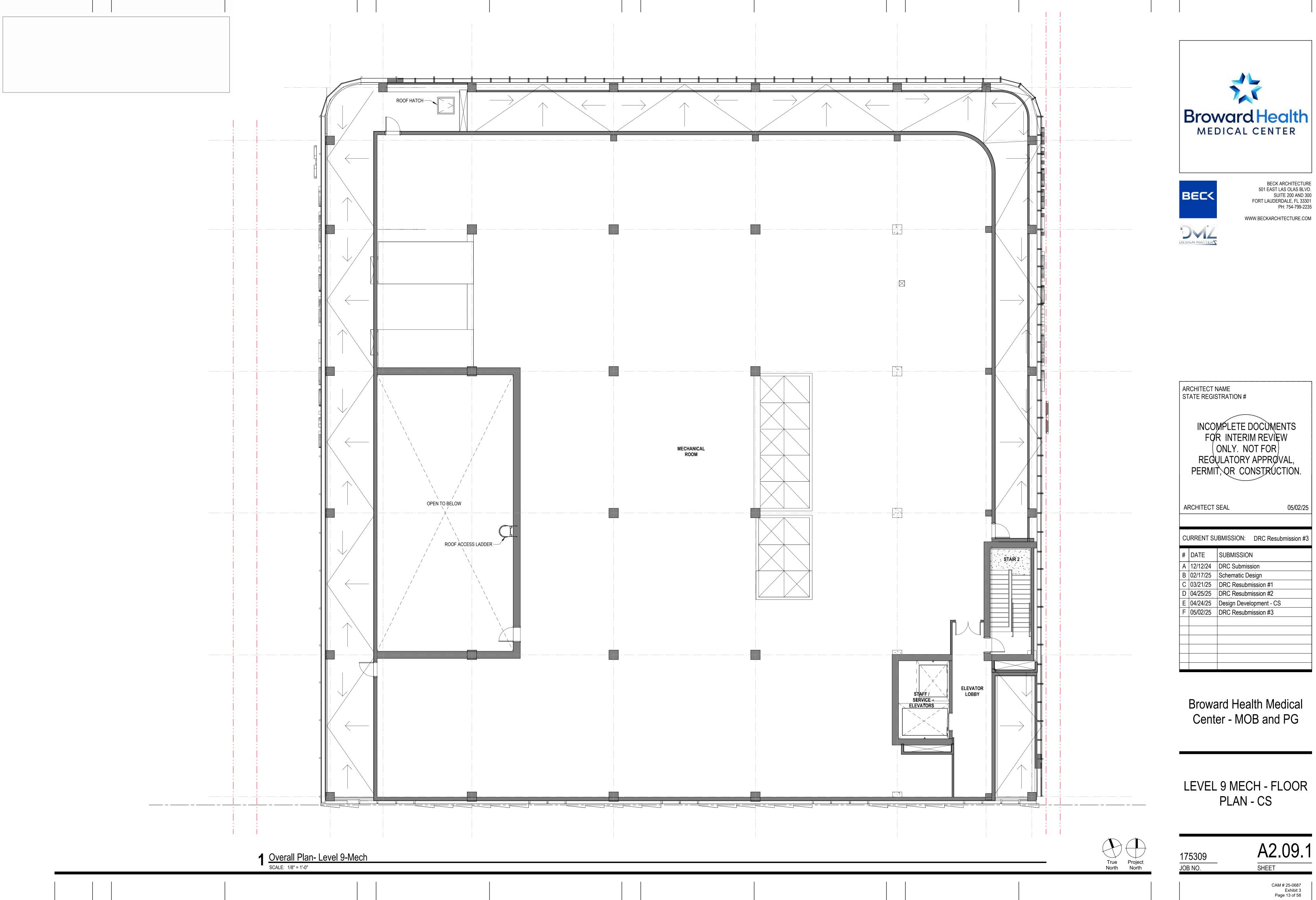






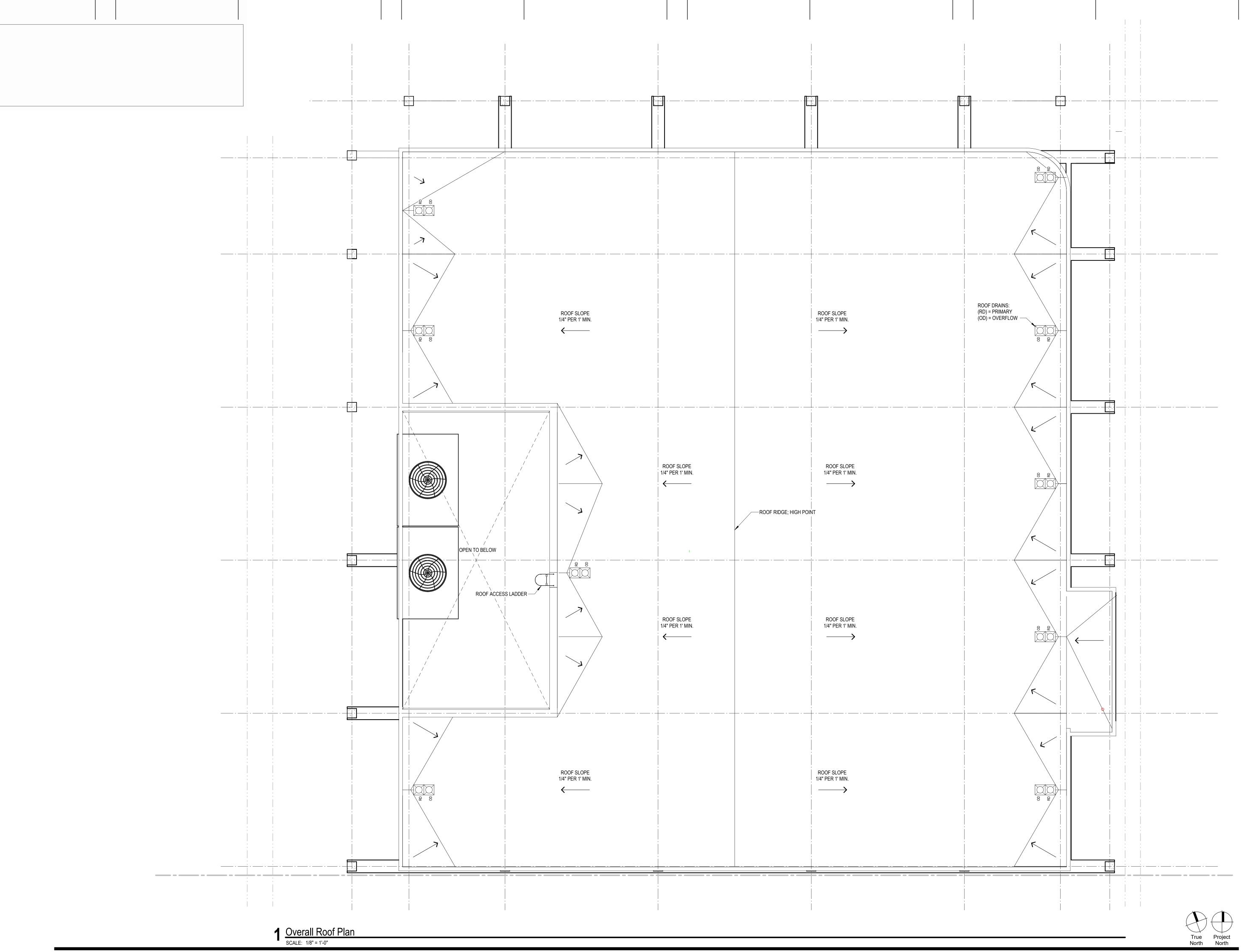
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ARCHITECT NAME STATE REGISTRATION #				
INCOMPLETE DOCUMENTS FOR INTERIM REVIEW ONLY. NOT FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION.				
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Cเ #	JRRENT SU	JBMISSION: DRC Resubmission #3 SUBMISSION		
#	DATE	SUBMISSION		
# A	DATE 12/12/24	SUBMISSION DRC Submission		
# A B	DATE 12/12/24 02/17/25	SUBMISSION DRC Submission Schematic Design		
# A B C	DATE 12/12/24 02/17/25 03/21/25	SUBMISSION DRC Submission Schematic Design DRC Resubmission #1		
# A B C D	DATE 12/12/24 02/17/25 03/21/25 04/25/25	SUBMISSION DRC Submission Schematic Design DRC Resubmission #1 DRC Resubmission #2		
# A B C D E	DATE 12/12/24 02/17/25 03/21/25 04/25/25 04/24/25	SUBMISSION DRC Submission Schematic Design DRC Resubmission #1 DRC Resubmission #2 Design Development - CS		
# A B C D E	DATE 12/12/24 02/17/25 03/21/25 04/25/25 04/24/25	SUBMISSION DRC Submission Schematic Design DRC Resubmission #1 DRC Resubmission #2 Design Development - CS		
# A B C D E	DATE 12/12/24 02/17/25 03/21/25 04/25/25 04/24/25	SUBMISSION DRC Submission Schematic Design DRC Resubmission #1 DRC Resubmission #2 Design Development - CS		
# A B C D E	DATE 12/12/24 02/17/25 03/21/25 04/25/25 04/24/25	SUBMISSION DRC Submission Schematic Design DRC Resubmission #1 DRC Resubmission #2 Design Development - CS		

LEVEL 9 MECH - FLOOR
PLAN - CS



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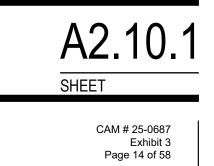
ARCHITECT NAME STATE REGISTRATION #				
INCOMPLETE DOCUMENTS FOR INTERIM REVIEW ONLY. NOT FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION.				
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Cเ #	JRRENT SI	JBMISSION: DRC Resubmission #3 SUBMISSION		
#	DATE	SUBMISSION		
# A	DATE 12/12/24	SUBMISSION DRC Submission		
# A B	DATE 12/12/24 02/17/25	SUBMISSION DRC Submission Schematic Design		
# A B C	DATE 12/12/24 02/17/25 03/21/25	SUBMISSIONDRC SubmissionSchematic DesignDRC Resubmission #1		
# A B C D	DATE 12/12/24 02/17/25 03/21/25 04/25/25	SUBMISSIONDRC SubmissionSchematic DesignDRC Resubmission #1DRC Resubmission #2		
# A B C D E	DATE 12/12/24 02/17/25 03/21/25 04/25/25 04/24/25	SUBMISSIONDRC SubmissionSchematic DesignDRC Resubmission #1DRC Resubmission #2Design Development - CS		
# A B C D E	DATE 12/12/24 02/17/25 03/21/25 04/25/25 04/24/25	SUBMISSIONDRC SubmissionSchematic DesignDRC Resubmission #1DRC Resubmission #2Design Development - CS		
# A B C D E	DATE 12/12/24 02/17/25 03/21/25 04/25/25 04/24/25	SUBMISSIONDRC SubmissionSchematic DesignDRC Resubmission #1DRC Resubmission #2Design Development - CS		
# A B C D E	DATE 12/12/24 02/17/25 03/21/25 04/25/25 04/24/25	SUBMISSIONDRC SubmissionSchematic DesignDRC Resubmission #1DRC Resubmission #2Design Development - CS		

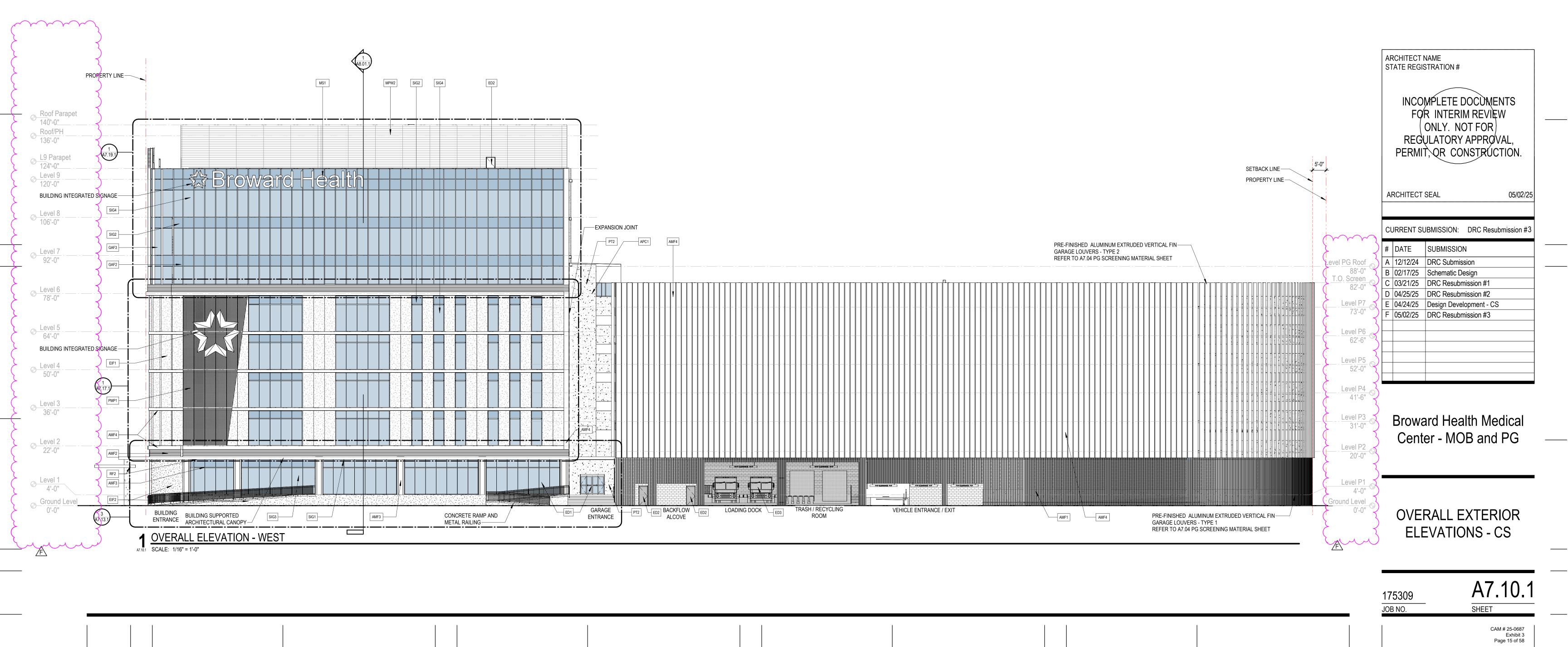
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Broward Health Medical Center - MOB and PG

175309

JOB NO.





	Ν	ATERIAL LIST		
TAG #	KEYNOTE DESCRIPTION			
PMP1	PERFORATED METAL PANEL SYSTEM - WHITE	MC3	FLASHING AND SHEET META	
PMP2	PERFORATED METAL PANEL SYSTEM LIGTH BLUE	ED1	AUTOMATIC DUAL SLIDING E	
PMP3	PERFORATED METAL PANEL SYSTEM MEDIUM BLUE	ED2	ALUM SWINGING EXTERIOR	
PMP4	PERFORATED METAL PANEL SYSTEM DARK BLUE	ED3	EXTERIOR HM DOOR ASSEM	
APC1	PRECAST CONCRETE WALL PANEL SYSTEM WITH FORMILINERS	ED4	EXTERIOR RATED LOUVERS	
PT1	PAINT - WHITE - SW 7004 " Snowbound"	ED5	ROLLUP OVERHEAD DOOR	
PT2	PAINT - GRAY - SW 7066 " Gray Matters"	GAF1	PUNCHED OPENING SYSTEM	
PT3	PAINT - DARK BLUE - SW 6966 " Blueblood"	GAF2	CURTAINWALL SYSTEM	
PT4	PAINT - MEDIUM BLUE - SW 6796 " Blue Plate"	GAF3	CURVED GLASS CORNER CL	
PT5	PAINT - LIGHT BLUE - SW 9049 "Sky Fall"	SIG1	SPANDREL 1 5/16" INSULATIN	
PT6	PAINT - DARK GRAY - SW 7069 " Iron Ore"	SIG2	SPANDREL 9/16" INSULATING	
AMF1	ARCHITECTURAL METAL FINISH - DARK BRONZE	SIG3	VISION 1 5/16" INSULATING L	
AMF2	ARCHITECTURAL METAL FINISH - MEDIUM GRAY	SIG4	VISION 9/16" INSULATING LA	
AMF3	ARCHITECTURAL METAL FINISH - LIGHT GRAY	SIG5	EXTERIOR DOOR GLASS LAN	
AMF4	ARCHITECTURAL METAL FINISH - WHITE	RF1	ROOFING	
AMF5	ARCHITECTURAL METAL FINISH - CLR ANODIZED	RF2	BUILDING SUPPORTED ARCH	
MWP1	METAL WALL PANEL - COMPOSITE WALL PANELS	RF3	MAIN ROOF	
MWP2	METAL WALL PANEL - CORRUGATED METAL CLADDING	EIF1	CEMENT PLASTER SYSTEM	
MC1	FLASHING AND SHEET METAL - METAL COPING	EIF2	CEMENT PLASTER SYSTEM -	
MC2	FLASHING AND SHEET METAL - METAL COPING	MS1	FACE LIT MONUMENTAL SIG	

### MATERIAL LIST

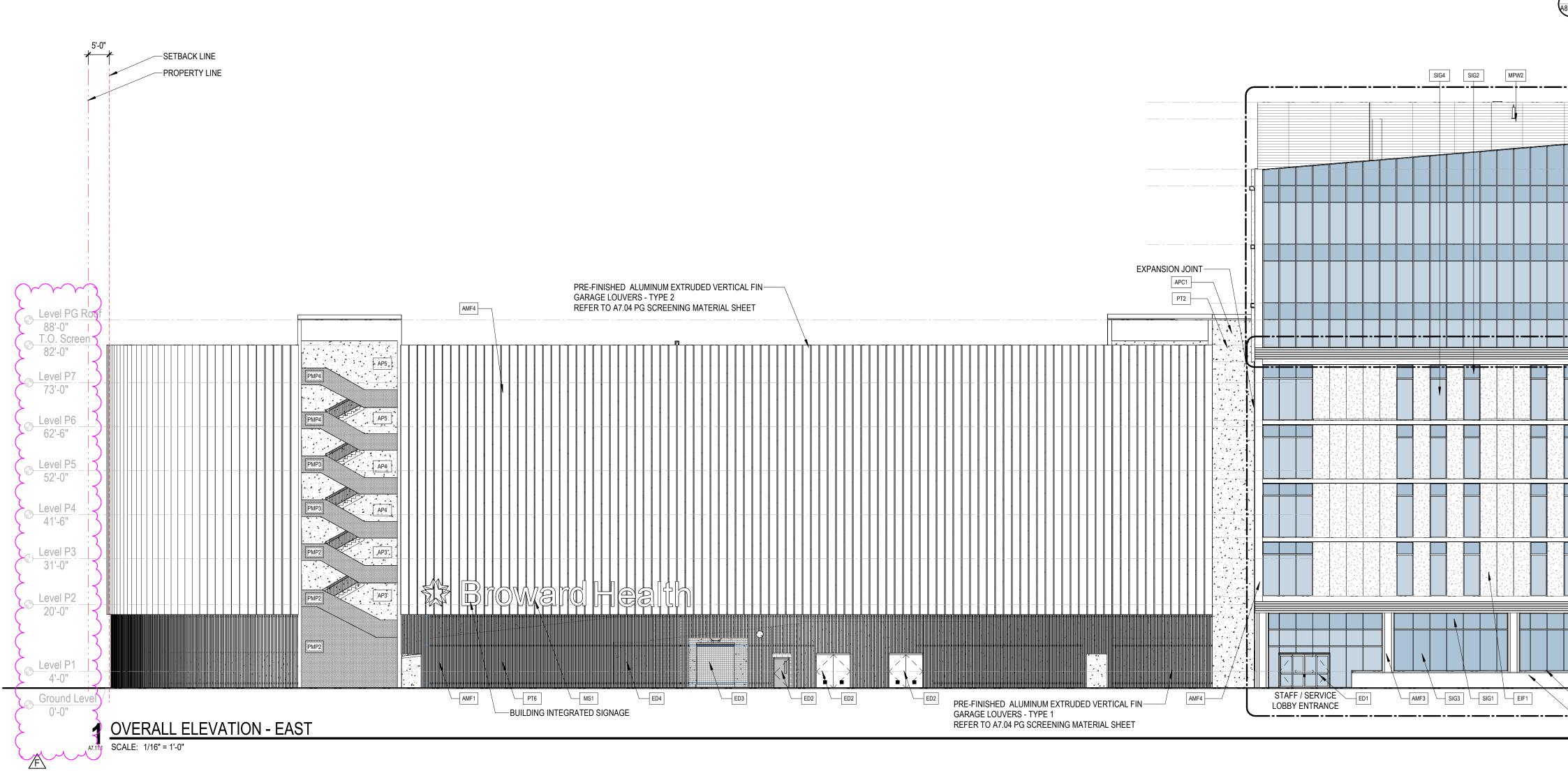
**KEYNOTE DESCRIPTION** MC3 FLASHING AND SHEET METAL - METAL COPING ED1 AUTOMATIC DUAL SLIDING ENTRANCE ED2 ALUM SWINGING EXTERIOR DOOR ASSEMBLIES ED3 EXTERIOR HM DOOR ASSEMBLIES ED4 EXTERIOR RATED LOUVERS ED5 ROLLUP OVERHEAD DOOR GAF1 PUNCHED OPENING SYSTEM GAF2 CURTAINWALL SYSTEM GAF3 CURVED GLASS CORNER CURTAINWALL SYSTEM SIG1 SPANDREL 1 5/16" INSULATING LAMINATED COATED GLASS (LARGE MISSILE) SIG2 SPANDREL 9/16" INSULATING LAMINATED COATED GLASS (SMALL MISSILE) SIG3 VISION 1 5/16" INSULATING LAMINATED COATED GLASS (LARGE MISSILE) SIG4 VISION 9/16" INSULATING LAMINATED COATED GLASS (SMALL MISSILE) SIG5 EXTERIOR DOOR GLASS LAMINATED RF1 ROOFING RF2 BUILDING SUPPORTED ARCHITECTURAL CANOPY (DELEGATED DESIGN) RF3 MAIN ROOF EIF1 CEMENT PLASTER SYSTEM - TerraNeo EIF2 CEMENT PLASTER SYSTEM - Lymestone MS1 FACE LIT MONUMENTAL SIGNAGE (DELEGATED DESIGN)





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TAG #	AG # KEYNOTE DESCRIPTION				
PMP1	PERFORATED METAL PANEL SYSTEM - WHITE	MC3	FLASHING AND SHEET METAL - METAL COPING		
PMP2	PERFORATED METAL PANEL SYSTEM LIGTH BLUE	ED1	AUTOMATIC DUAL SLIDING ENTRANCE		
PMP3	PERFORATED METAL PANEL SYSTEM MEDIUM BLUE	ED2	ALUM SWINGING EXTERIOR DOOR ASSEMBLIES		
PMP4	PERFORATED METAL PANEL SYSTEM DARK BLUE	ED3	EXTERIOR HM DOOR ASSEMBLIES		
APC1	PRECAST CONCRETE WALL PANEL SYSTEM WITH FORMILINERS	ED4	EXTERIOR RATED LOUVERS		
PT1	PAINT - WHITE - SW 7004 " Snowbound"	ED5	ROLLUP OVERHEAD DOOR		
PT2	PAINT - GRAY - SW 7066 " Gray Matters"	GAF1	PUNCHED OPENING SYSTEM		
PT3	PAINT - DARK BLUE - SW 6966 " Blueblood"	GAF2	CURTAINWALL SYSTEM		
PT4	PAINT - MEDIUM BLUE - SW 6796 " Blue Plate"	GAF3	CURVED GLASS CORNER CURTAINWALL SYSTEM		
PT5	PAINT - LIGHT BLUE - SW 9049 "Sky Fall"	SIG1	SPANDREL 1 5/16" INSULATING LAMINATED COATED GLASS (LARGE MISSILE)		
PT6	PAINT - DARK GRAY - SW 7069 " Iron Ore"	SIG2	SPANDREL 9/16" INSULATING LAMINATED COATED GLASS (SMALL MISSILE)		
AMF1	ARCHITECTURAL METAL FINISH - DARK BRONZE	SIG3	VISION 1 5/16" INSULATING LAMINATED COATED GLASS (LARGE MISSILE)		
AMF2	ARCHITECTURAL METAL FINISH - MEDIUM GRAY	SIG4	VISION 9/16" INSULATING LAMINATED COATED GLASS (SMALL MISSILE)		
AMF3	ARCHITECTURAL METAL FINISH - LIGHT GRAY	SIG5	EXTERIOR DOOR GLASS LAMINATED		
AMF4	ARCHITECTURAL METAL FINISH - WHITE	RF1	ROOFING		
AMF5	ARCHITECTURAL METAL FINISH - CLR ANODIZED	RF2	BUILDING SUPPORTED ARCHITECTURAL CANOPY (DELEGATED DESIGN)		
MWP1	METAL WALL PANEL - COMPOSITE WALL PANELS	RF3	MAIN ROOF		
MWP2	METAL WALL PANEL - CORRUGATED METAL CLADDING	EIF1	CEMENT PLASTER SYSTEM - TerraNeo		
MC1	FLASHING AND SHEET METAL - METAL COPING	EIF2	CEMENT PLASTER SYSTEM - Lymestone		
MC2	FLASHING AND SHEET METAL - METAL COPING	MS1	FACE LIT MONUMENTAL SIGNAGE (DELEGATED DESIGN)		



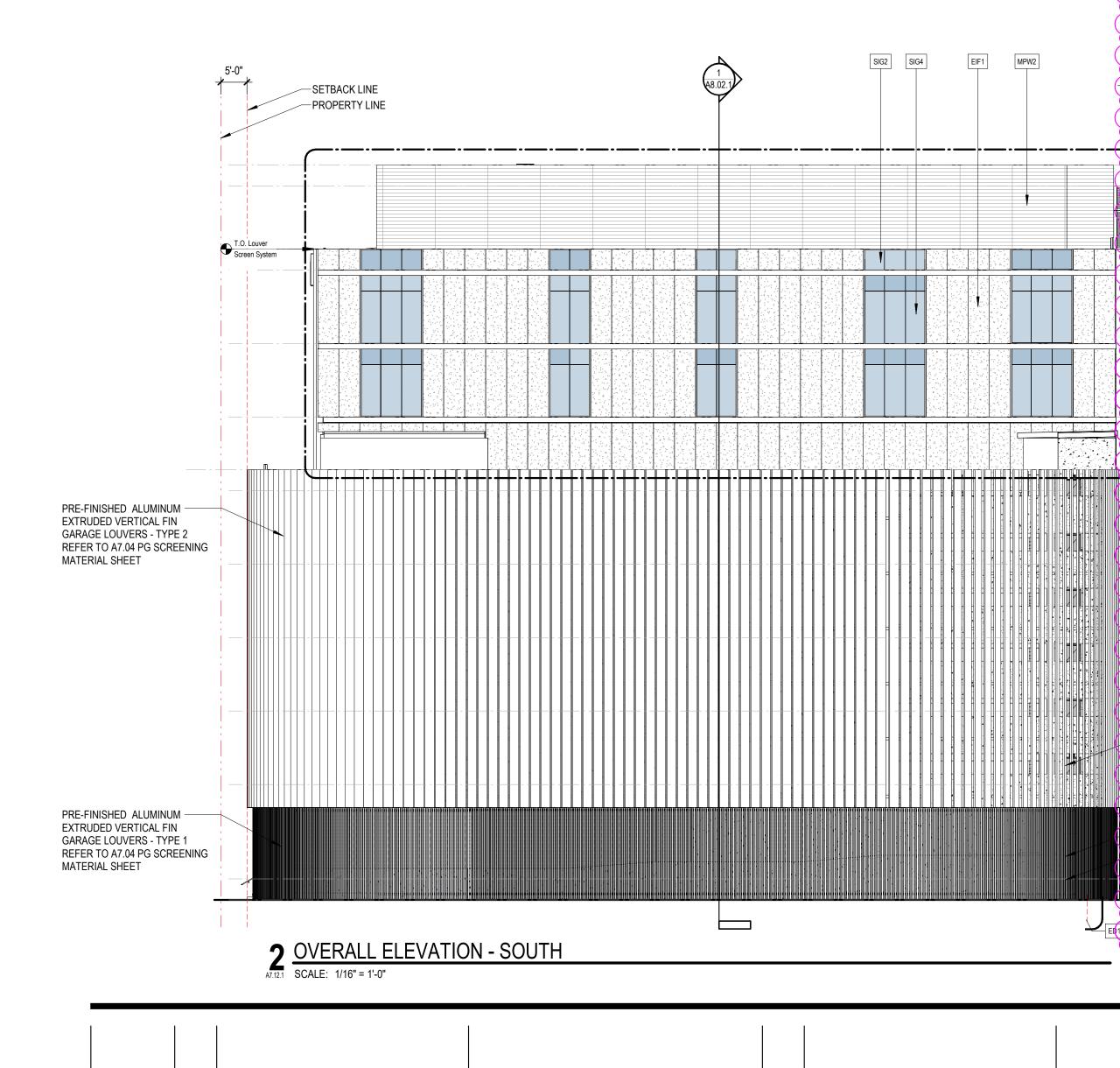


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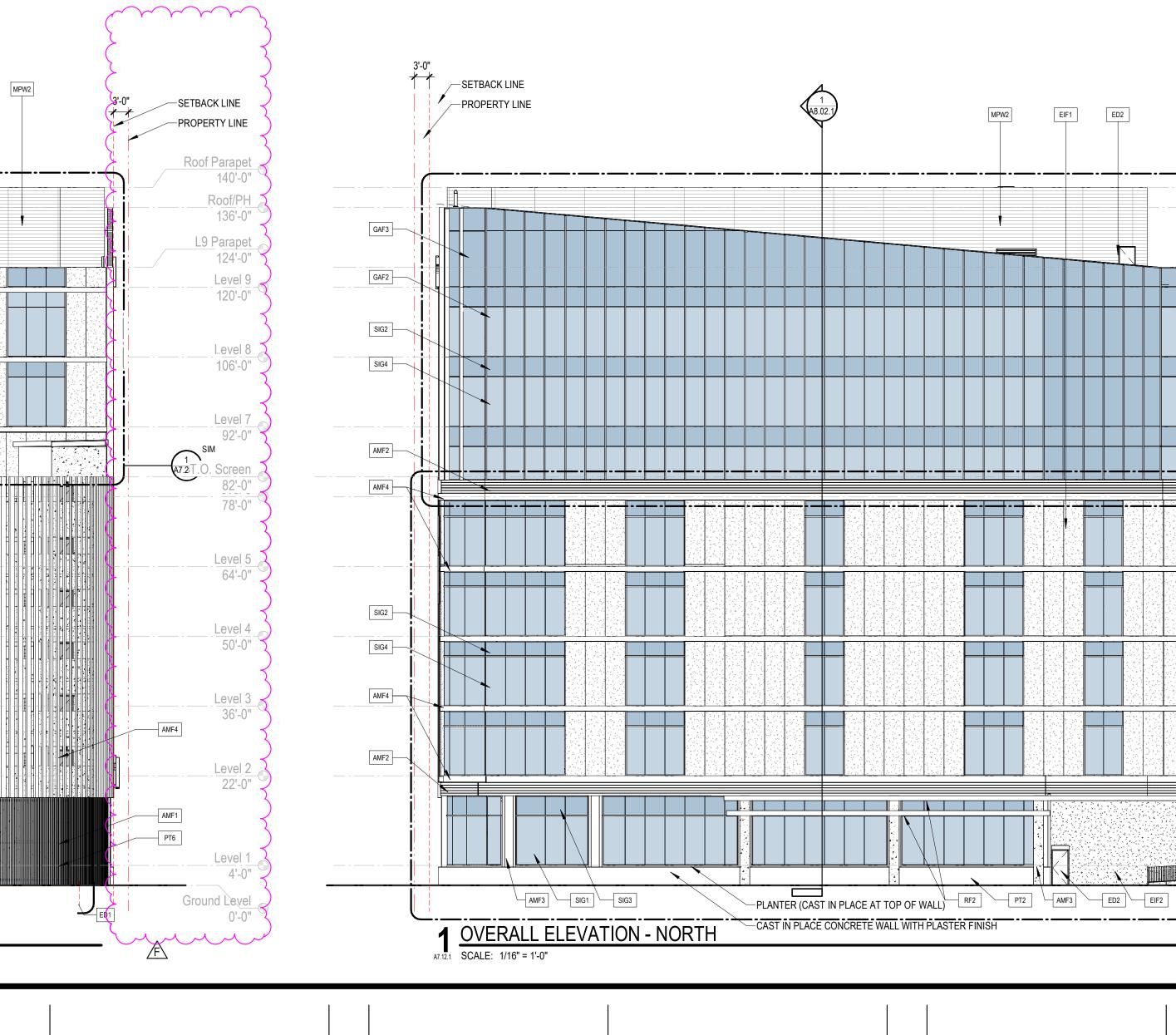
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 $\sim \sim \sim \sim \sim \sim$ ARCHITECT NAME -PROPERTY LINE STATE REGISTRATION # -BUILDING INTEGRATED INCOMPLETE DOCUMENTS SIGNAGE MS1 FOR INTERIM REVIĘW Roof Parapet \_\_\_\_\_ 140'-0 ONLY. NOT FOR Roof/PH **REGULATORY APPROVAL** 136'-0" PERMIT, QR CONSTRUCTION. L9 Parapet 124'-0" GAF2 23 Level 9 120'-0" GAF3 05/02/25 ARCHITECT SEAL SGI2 Level SIG4 106'-0 CURRENT SUBMISSION: DRC Resubmission #3 1 A7.23.1 # DATE SUBMISSION A 12/12/24 DRC Submission AMF2 B 02/17/25 Schematic Design ينُ 🖂 ثريف ي ثم ينه بين ي ثم ينه بيا تعريف ما تعريف و توريخ و ثم ينه بين ي ثم ين ي ثم ينه بين ي ثم ينه بين ي ثم ي ث C 03/21/25 DRC Resubmission #1 AMF4 Leve D 04/25/25 DRC Resubmission #2 E 04/24/25 Design Development - CS F 05/02/25 DRC Resubmission #3 - (1 A7.21.1 Level 5 Ĺ 64'-0" -Building integrated GAF3 Level 4 50'-0 PMP1 AMF4 Level 3 36'-0 Broward Health Medical AMF2 Center - MOB and PG Level 2 22'-0" Å 4.8 . Level 1 4'-0" PT2 \_\_\_\_\_ OVERALL EXTERIOR Ground Level CAST IN PLACE CONCRETE WALL WITH PLASTER FINISH **ELEVATIONS - CS** A A7.11.1 175309 SHEET JOB NO. CAM # 25-0687 Exhibit 3 Page 16 of 58

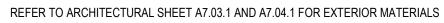
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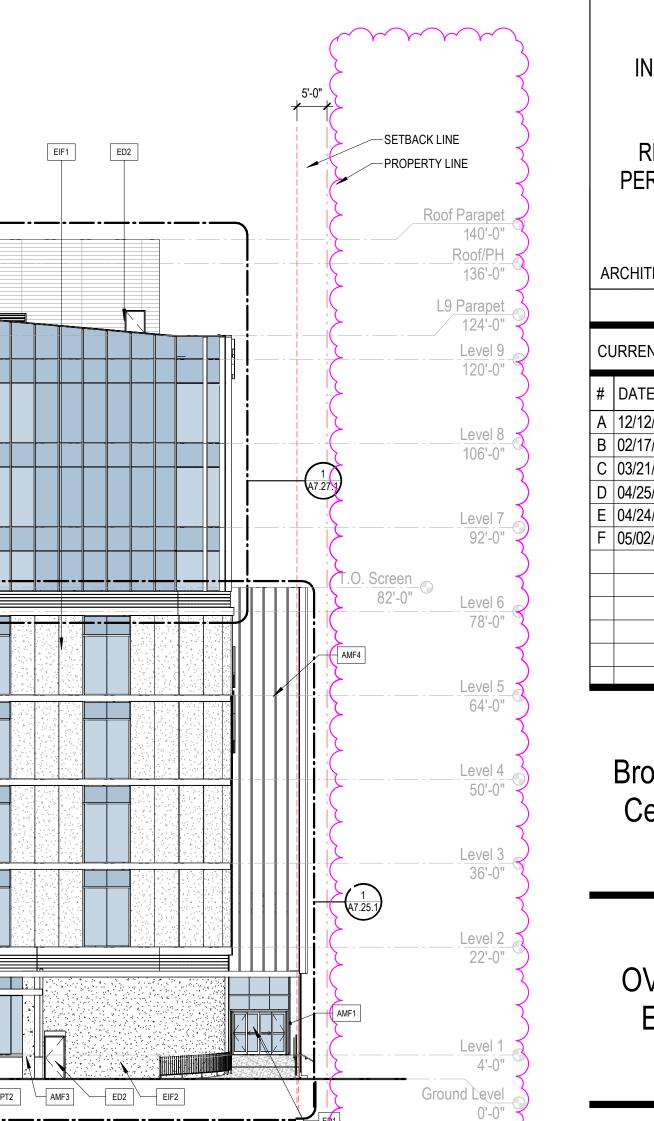
<b>KEYNOTE DESCRIPTION</b>
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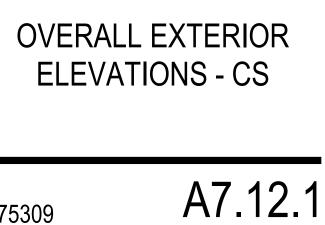


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ARCHITECT NAME STATE REGISTRATION #								
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ARCHITECT SEAL 05/02/25								
Cl	JRRENT S	UBMISSION: DRC R	esubmission #3					
Cl #	JRRENT S	UBMISSION: DRC R SUBMISSION	esubmission #3					
			esubmission #3					
#	DATE	SUBMISSION	esubmission #3					
# A	DATE 12/12/24	SUBMISSION DRC Submission						
# A B	DATE 12/12/24 02/17/25	SUBMISSION DRC Submission Schematic Design	1					
# A B C D E	DATE 12/12/24 02/17/25 03/21/25 04/25/25 04/24/25	SUBMISSION DRC Submission Schematic Design DRC Resubmission # DRC Resubmission # DRC Resubmission #	1 2 - CS					
# A B C D	DATE 12/12/24 02/17/25 03/21/25 04/25/25	SUBMISSION DRC Submission Schematic Design DRC Resubmission # DRC Resubmission #	1 2 - CS					
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Broward Health Medical Center - MOB and PG



SHEET

CAM # 25-0687 Exhibit 3 Page 17 of 58

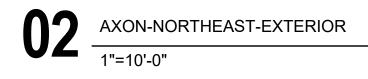
175309 JOB NO.

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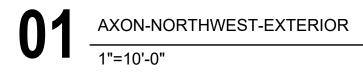
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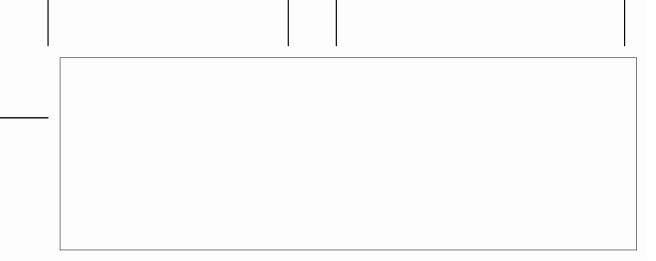
ARCHITECT NAME STATE REGISTRATION #						
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Cl	JRRENT SI	JBMISSION: DRC Resubmission #3				
CL #	JRRENT SU	JBMISSION: DRC Resubmission #3 SUBMISSION				
#	DATE	SUBMISSION				
# A	DATE 12/12/24	SUBMISSION DRC Submission				
# A B	DATE 12/12/24 02/17/25	SUBMISSION DRC Submission Schematic Design				
# A B C	DATE 12/12/24 02/17/25 03/21/25	SUBMISSION DRC Submission Schematic Design DRC Resubmission #1				
# A B C D	DATE 12/12/24 02/17/25 03/21/25 04/25/25	SUBMISSIONDRC SubmissionSchematic DesignDRC Resubmission #1DRC Resubmission #2				
# A B C D E	DATE 12/12/24 02/17/25 03/21/25 04/25/25 04/24/25	SUBMISSIONDRC SubmissionSchematic DesignDRC Resubmission #1DRC Resubmission #2Design Development - CS				
# A B C D E	DATE 12/12/24 02/17/25 03/21/25 04/25/25 04/24/25	SUBMISSIONDRC SubmissionSchematic DesignDRC Resubmission #1DRC Resubmission #2Design Development - CS				
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## DESIGN IMAGES

175309	A9.2			
JOB NO.	SHEET			
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02 AXON-NORTHWEST-EXTERIOR 1"=10'-0"



AXON-SOUTHEAST-EXTERIOR 1"=10'-0" 01





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A	RCHITECT	SEAL 05/02/25				
Cl	JRRENT SI	JBMISSION: DRC Resubmission #3				
Cl #	JRRENT SI	JBMISSION: DRC Resubmission #3 SUBMISSION				
	-					
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## DESIGN IMAGES

175309	A9.22		
JOB NO.	SHEET		
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## E29 EIFS EXTERIOR INSULATION AND FINISH SYSTEM

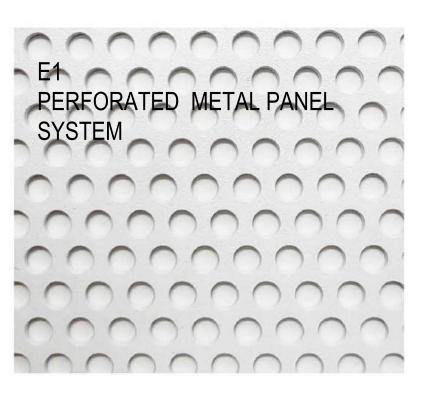
E8 WOOD LOOK COMPOSITE WALL PANELS CANOPY SOFFITS

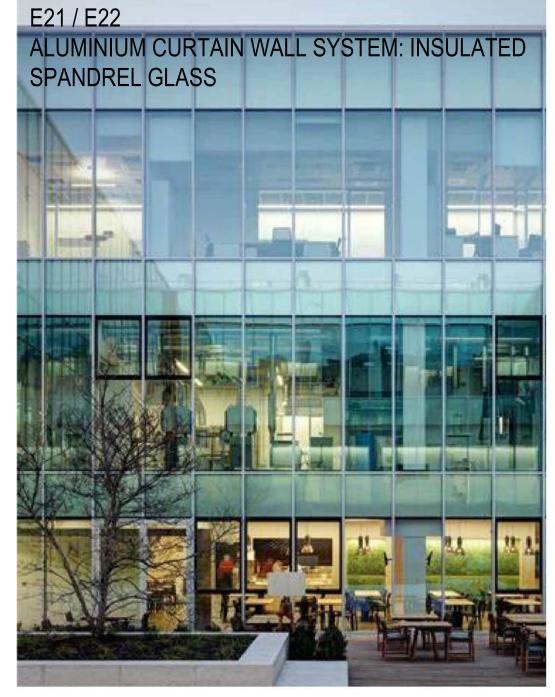
METAL WALL PANEL CORRUGATED METAL CLADDING

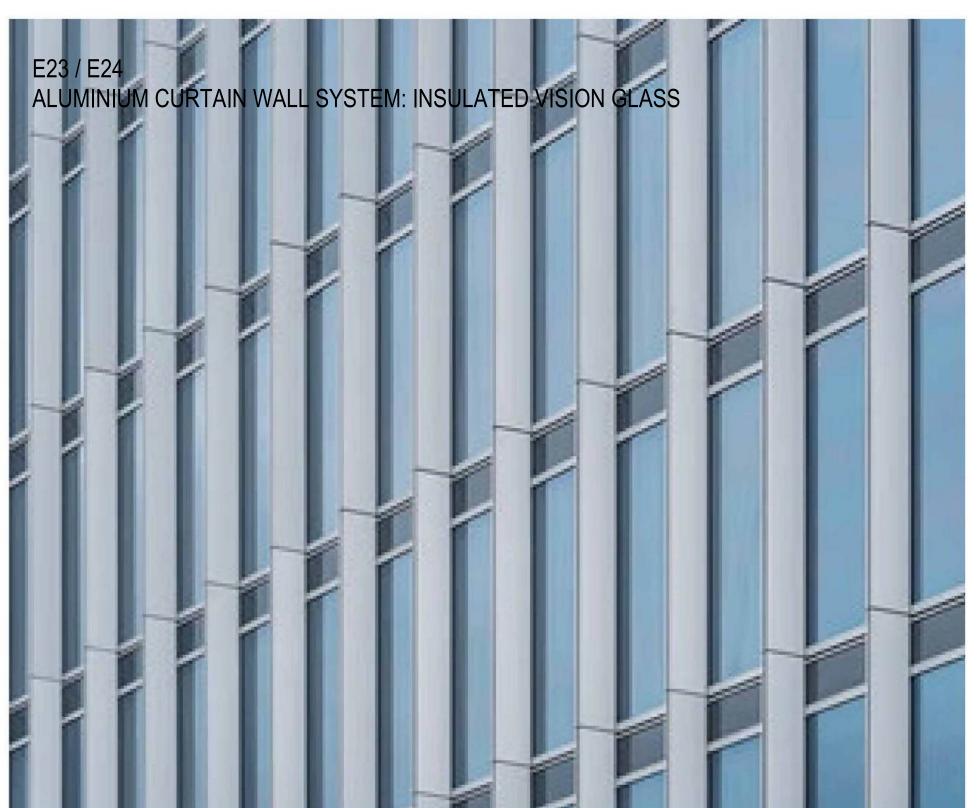
E2

PRECAST CONCRETE

WALL PANEL SYSTEM

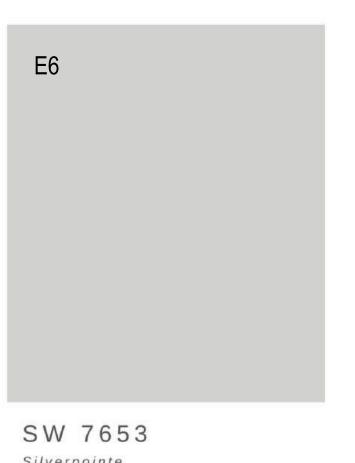






Material: Name	Material: MATCATEGORY	MARK	SPECIFICATION	LOCATION	MANUFACTURER	MODEL/COLOR	PATTERN	COMMENTS	
PERFORATED METAL PANEL SYSTEM									
PERFORATED METAL PANEL SYSTEM	PAINTED ALUMINIUM PERFORATED SCREEN	E1	GENERAL SELECTIONS	WEST AND SOUTH SCREEN	ALPOLIC.	ALUMINUM PERFORATED SCREEN PANELS, WITH STANDARD PATTERN BY MANUFACTURER TO MATCH RENDERING, ALUMINUM FRAME TO MATCH SCREEN FINISH		DELEGATED DESIGN	FPA: 105
RCHITECTURAL PRECAST CONCRETE									
RECAST CONCRETE	ARCHITECTURAL PRECAST CONCRETE	E2	- GENERAL SELECTIONS	BLDG FACADE	TBD	WHITE, MEDIUM SANDBLASTED FINISH		DELEGATED DESIGN	
RCHITECTURAL METAL FINISH									
bark Bronze	ARCHITECTURAL METAL FINISH	E3	- GENERAL SELECTIONS	PAINT COLOR FOR CANOPIES	SHERWIN WILLIAMS	SW 7069 "Iron Ore"			
/HITE	ARCHITECTURAL METAL FINISH	E4	- GENERAL SELECTIONS	PAINT FOR PLASTER WALLS	SHERWIN WILLIAMS	SW 7006 "Extra White"			
RAY	ARCHITECTURAL METAL FINISH	E5	- GENERAL SELECTIONS	PAINT FOR PLASTER WALLS	SHERWIN WILLIAMS	SW 7067 "Cityscape"			
EDIUM GRAY	ARCHITECTURAL METAL FINISH	EG	- GENERAL SELECTIONS	PAINT FOR PLASTER WALLS	CENTRIA	MEDIUM GRAY 9960			
LR ANODIZED	ARCHITECTURAL METAL FINISH	E7	- GENERAL SELECTIONS	ALUMINUM FINISH- ALL CURTAIN WALLS TO MATCH	МАТСН ҮКК	ALUMINUM, CLEAR ANODIZED FINISH			
IETAL WALL PANEL									
OMPOSITE WALL PANELS	COMPOSITE WOOD PANEL	E8	DIVISION 7-074243	CANOPY SOFFITS	PARKLEX PRODEMA	RUSTIK NATURCLAD-W			FPA: 41
ORRUGATED METAL CLADDING	METAL WALL PANEL	E9	DIVISION 7-074213	PENTHOUSE	KINGSPAN / MORIN	Kingspan: Designwall 4000/Designwall 2000/Designwall 2000R Morin: X-12		PAINTED WITH MEDIUM GREY FINISH FROM ABOVE	NOA: 24
ASHING AND SHEET METAL									
IETAL COPING	FLASHING AND SHEET METAL	E10	DIVISION 7- 076200	USE AT WALLS USING	ARCONIC	MATCH WALL COLOR			FPA: 11
IETAL COPING	FLASHING AND SHEET METAL	E11	DIVISION 7- 076200	PRECAST COPING	ARCONIC	MATCH SCREEN PRECAST COLOR			FPA: 11
IETAL COPING	FLASHING AND SHEET METAL	E12	DIVISION 7-076200	STANDARD COPING	HICKMAN	PERMASNAP COPING			NOA: 2
(TERIOR DOOR									
JTOMATIC DUAL SLIDING ENTRANCE	EXTERIOR DOOR	E13	DIVISION 8 - 084229	WESTAND NORTH BI-PARTING SLIDING ENTRY DOOR	STANLEY ACCESS TECHNOLOGIES LLC	DURA-STORM 2000 SERIES AUTO SGD - MISSILE LEVEL E (FINISH TRIM AND DOOR TO MATCH ES AND GLAZING TO MATCH E25)			NOA: 2
UM SWINGING EXTERIOR DOOR ASSEMBLIES	EXTERIOR DOOR	E14	DIVISION 8 - 084213		УКК	35/50 DOORS ALUMINUM AND GLAZING SWING DOOR (FINISH TO MATCH ES FOR DOOR FRAME AND GLAZING E25)			FPA: 16 FPA: 16
XTERIOR HM DOOR ASSEMBLIES	EXTERIOR DOOR	E15	DIVISION 8 - 089100		CECO DOOR PRODUCTS	BLAST AND HURRICANE RESISTANT ASSEMBLY		PAINTED TO MATCH ADJACENT FINISH	FPA: 32 FPA: 32
KTERIOR RATED LOUVERS	EXTERIOR ALUMNINUM LOUVERS	E16	DIVISION 8 - 089100	EXTERIOR WALL EXHAUST OPENINGS	GREENHECK	EHV-901D			NOA: 2
ROLLUP OVERHEAD DOOR - LOADING DOCK	OVERHEAD COILING DOORS	E17	DIVISION 8 - 083323	LOADING DOCK	OVERHEAD DOOR	INSULATED WINDSTORM COMMERCIAL SECTIONAL DOOR - E5			NOA: 24
SLAZED ALUMINUM FRAMING SYSTEM									
UNCHED OPENING SYSTEM	GLAZED ALUMINUM FRAMING SYSTEMS	E18	DIVISION 8 - 084400	TYPICAL PUNCHED OPENINGS	үкк	YKK YHS 50 FI		PUNCHED OPENING GLASS ALUMINUM SYSTEM IMPACT RESISTANT	FPA: 14 FPA: 14
URTAINWALL SYSTEM	GLAZED ALUMINUM FRAMING SYSTEMS	E19	DIVISION 8 - 084400	TYPICAL CURTAIN WALL	үкк	YKK YHC 300 SSG		INSULATED APPLIED CURTAIN WALL SYSTEM- IMPACT RESISTANT	FPA: 12
URVED GLASS CORNER SYSTEM	GLAZED ALUMINUM FRAMING SYSTEMS	E20	DIVISION 8 - 084400						
LAZING									
PANDREL INSULATING LAMINATED COATED	GLAZING	E21	DIVISION 8 - 088000	PRIMARY SPANDREL GLASS	VIRACON / GUARDIAN GLASS	1 5/16" INSULATED LAMINATED GRAY W/.090 PVB		SPANDREL INSULATED LAMINATED COATED GLASS	n/a - se
PANDREL INSULATING LAMINATED COATED	GLAZING	E22	DIVISION 8 - 088000	PRIMARY SPANDREL GLASS	VIRACON / GUARDIAN GLASS	9/16" LAMINATED GRAY W/ .090 PVB		SPANDREL INSULATED LAMINATED COATED GLASS	n/a - se
ISION INSULATING LAMINATED COATED LASS	GLAZING	E23	DIVI5ION 8 - 088000	PRIMARY VISION GLASS	VIRACON / GUARDIAN GLASS	1 5/16" INSULATED LAMINATED GRAY W/ .090 PVB		VISION INSULATING LAMINATED COATED GLASS	n/a - se
SION INSULATING LAMINATED COATED	GLAZING	E24	DIVISION 8 - 088000	PRIMARY VISION GLASS	VIRACON / GUARDIAN GLASS	9/16" LAMINATED GRAY W/ .090 PVB		VISION INSULATING LAMINATED COATED GLASS	n/a - se
TERIOR DOOR GLASS LAMINATED	GLAZING	E25	DIVISION 8 - 088000	GLAZING AT EXTERIOR SWING AND SLIDING DOORS	VIRACON / GUARDIAN GLASS	9/16" W/ .090 PVB GRAY		5/8 IN LAMINATED IMPACT GLASS TO MATCH PRIMARY VISION GLASS - E3	n/a - se
DOFING									
ODFING	MEMBRANE ROOFING	E26	DIVISION 7 - 075000	PRIMARY ROOF	GAF	EVERGUARD TPO ROOF SYSTEM		SINGLE PLY TPO ROOF SYSTEM	FPA: 52
ANOPY		E27			NOVUM STRUCTURES			DELEGATED DESIGN	
IAIN ROOF		E28			NOVUM STRUCTURES			DELEGATED DESIGN	
XTERIOR INSULATION AND FINISH SYSTEM									

E4





SW 7067 Cityscape

SW 7004 Snowbound

Silverpointe

**NOTE:** EXTERIOR PAINT SELECTION TO BE COORDINATED WITH THE BROWARD HEALTH MEDICAL CENTER HOSPITAL'S NEW PAINT COLORS THAT ARE CURRENTLY IN THE PROCESS OF BEING REVIEWED AND APPROVED TO ENSURE FINAL PROJECT DESIGN IS COMPLIMENTARY WITH THE CAMPLIS

FPA/NOA	URL
0	https://www.mcnichols.com/perforated-metal/round-hole https://www.alpolic-americas.com/ https://www.floridabuilding.org/pr/pr_app_dtl.aspx?param=wGEVXQwtDqtfYBI2%2fM7I6AAmewrWPSFGHI9jjjBTAuKg%2b6vZojWOPv%3d%3d
1.1	https://parklexprodema.com/usa/ https://www.floridabuilding.org/pr/pr_app_dtl.aspx?param=wGEVXQwtDqsCkZMgpuFIHeOqKv37ito7cqbb24nbBRAcMhWhViREmQ%3d%3d
501.02 (Kingspan)	https://www.morincorp.com/us/en/products/wail-systems/
1.1 (Morin)	https://www.kingspan.com/us/en/ https://www.floridabuilding.org/pr/pr_app_dtl.aspx?param=wGEVXQwtDqvXaHHDwAAyb9HXHQINYAEY3YKdHavLru%2bVzYD85RnISQ%3d963d
	https://www.miamidade.gov/building/library/productcontrol/noa/24050102.pdf
L1	https://www.arconic.com; https://www.floridabuilding.org/upload/PR_Instl_Docs/FL11794_R3_II_Reyno-LM-FPA.pdf
.1	https://www.arconic.com, https://www.floridabuilding.org/upload/PR_Insti_Docs/FL11794_R3_IL_Reyno-LM-FPA.pdf
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314.08	https://www.overheaddoor.com/
	https://www.miamidade.gov/building/library/productcontrol/noa/24081408.pdf
3.2 (Inside Glazed) 1.4 (Outside Glazed)	https://www.ykkap.com/ https://www.floridabuilding.org/pr/pr_app_dtl.aspx?param=wGEVXQwtDquDElErt0SCevIbDEkr5alMGk04eVChXIH%2bvMlgW%2bxzdw%3d%3d
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SW 7069

Iron Ore





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ARCHITECT NAME STATE REGISTRATION #						
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CONCEPTUAL
<b>EXTERIOR MATERIAL</b>

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A9.23

CAM # 25-0687 Exhibit 3 Page 20 of 58







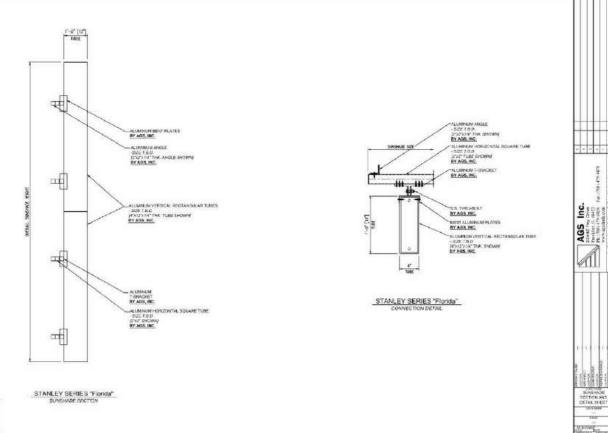


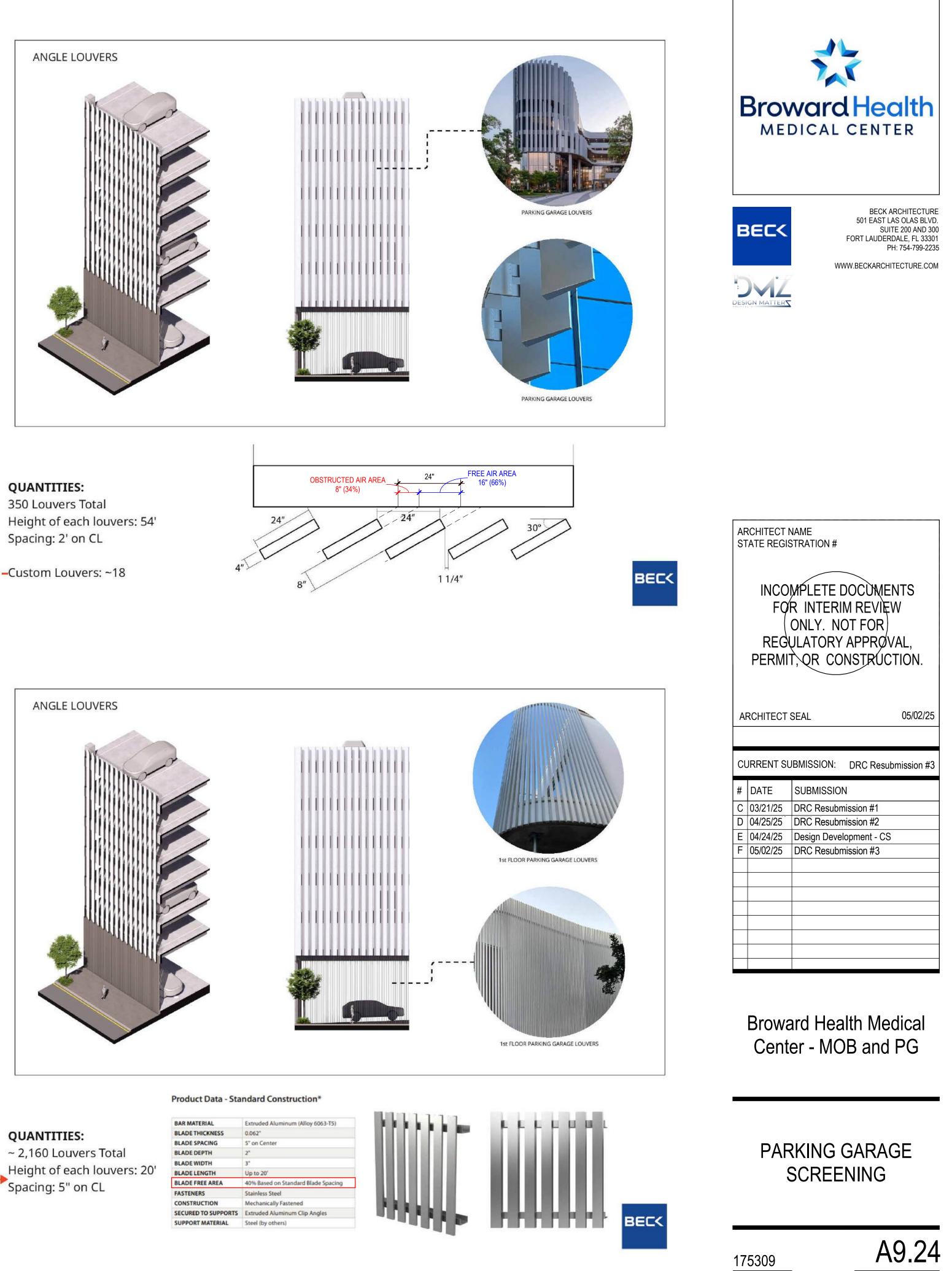




# TYPE 2 LOUVER DETAILS - 2nd to 7th Floor

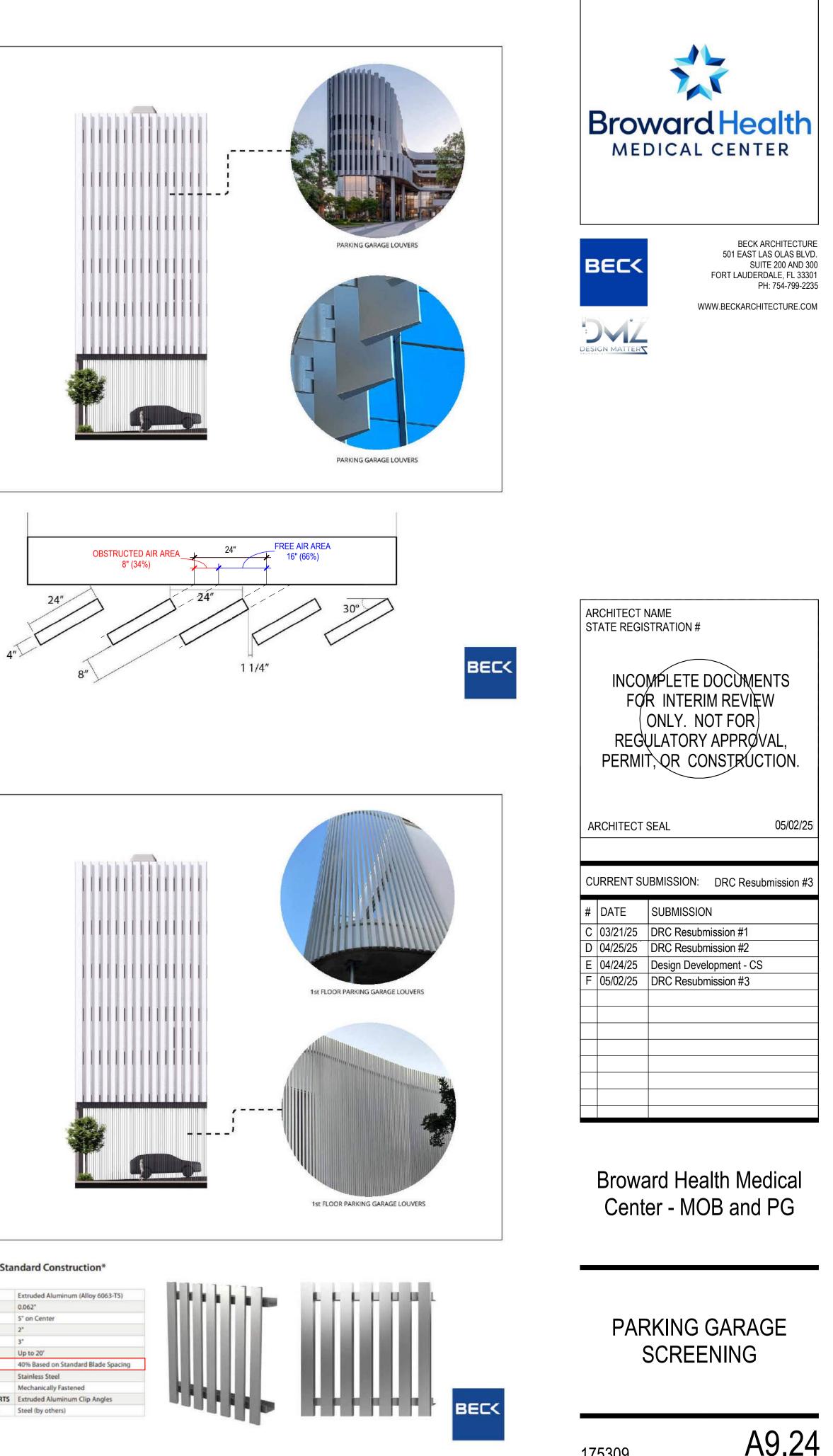
https://agsshade.com https://agsshade.com/wp-content/uploads/2021/04/Florida-FIN.pdf





QUANTITIES: 350 Louvers Total Height of each louvers: 54' Spacing: 2' on CL

-Custom Louvers: ~18



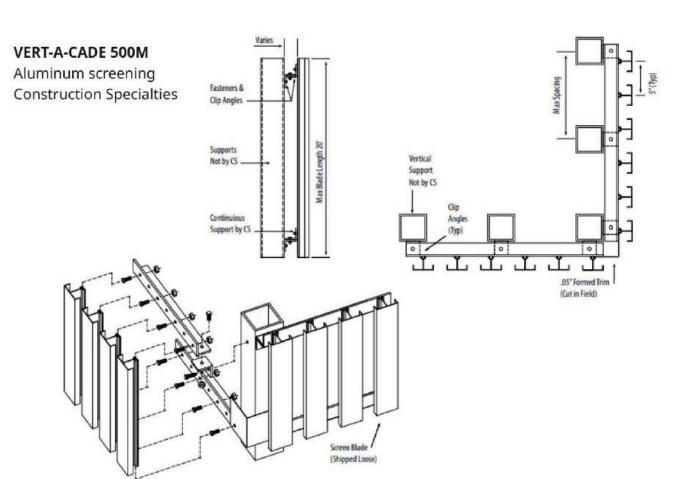
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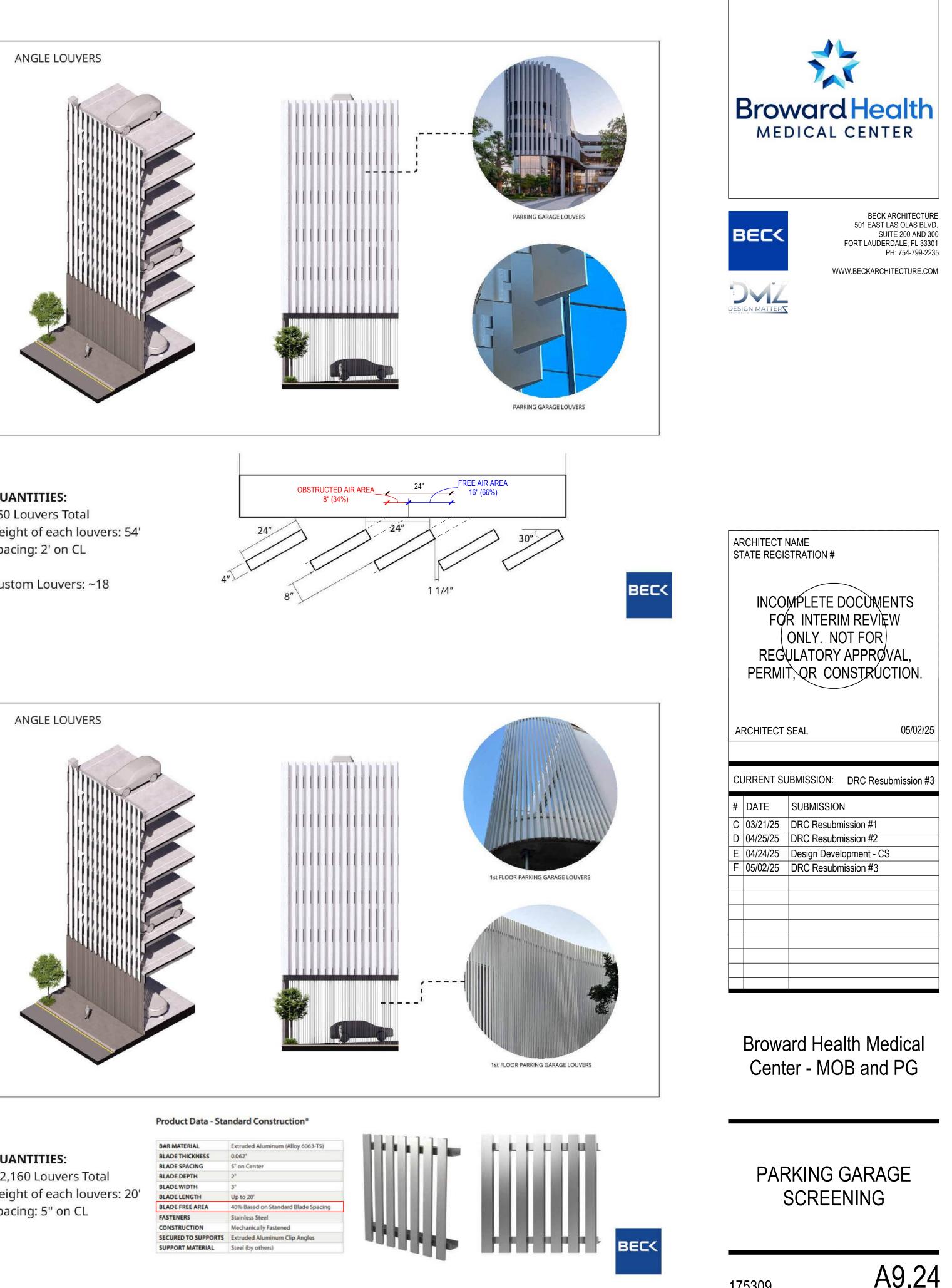
CAM # 25-0687 Exhibit 3 Page 21 of 58

JOB NO.

# LOUVER DETAILS - 1st Floor

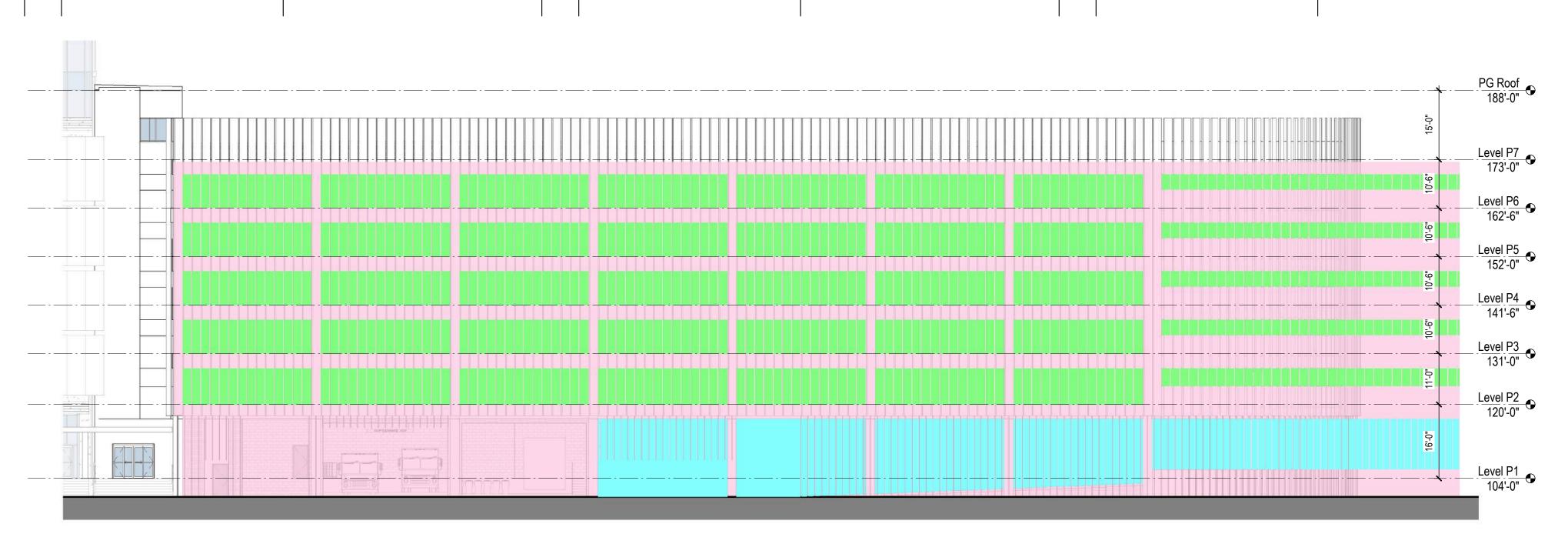
https://agsshade.com https://agsshade.com/wp-content/uploads/2021/04/Florida-FIN.pdf





~ 2,160 Louvers Total Height of each louvers: 20' Spacing: 5" on CL

BAR MATERIAL	Extruded Aluminum (Alloy 6063-T5
BLADE THICKNESS	0.062*
BLADE SPACING	5" on Center
BLADE DEPTH	2 <sup>s</sup>
BLADE WIDTH	3"
BLADE LENGTH	Up to 20'
BLADE FREE AREA	40% Based on Standard Blade Space
FASTENERS	Stainless Steel
CONSTRUCTION	Mechanically Fastened
SECURED TO SUPPORTS	Extruded Aluminum Clip Angles
SUPPORT MATERIAL	Steel (by others)

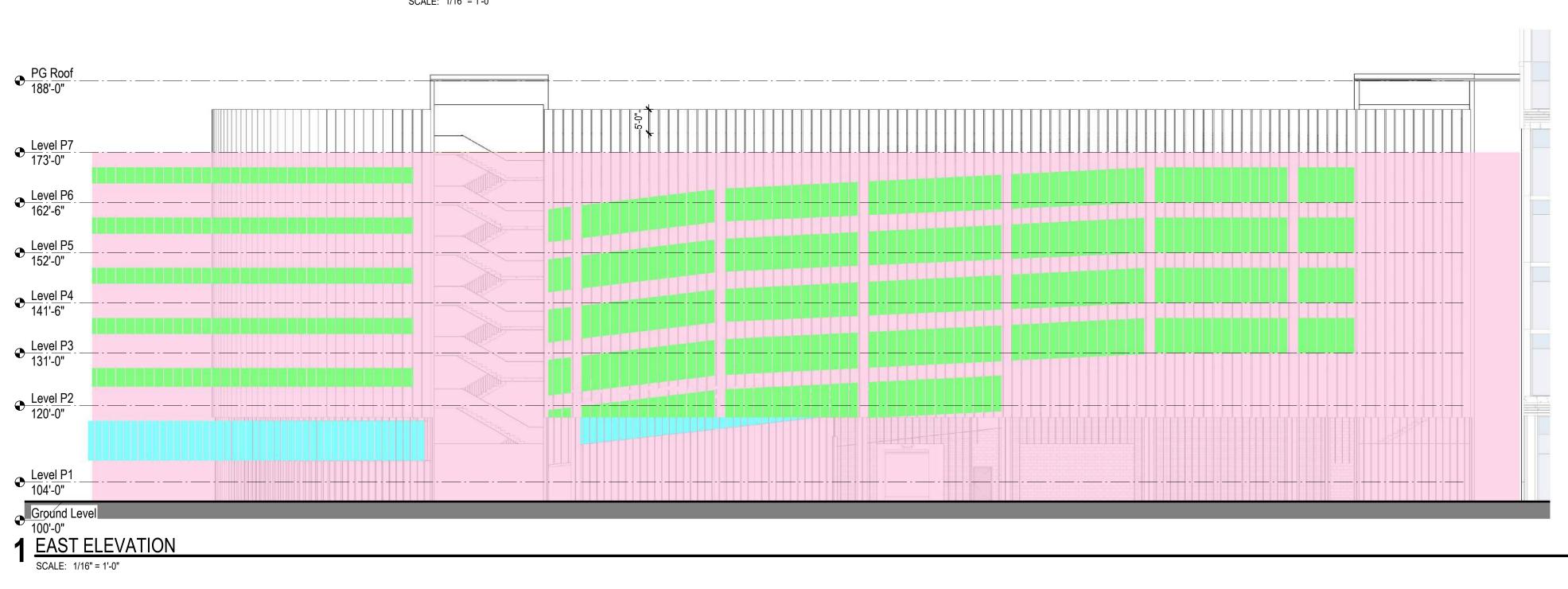


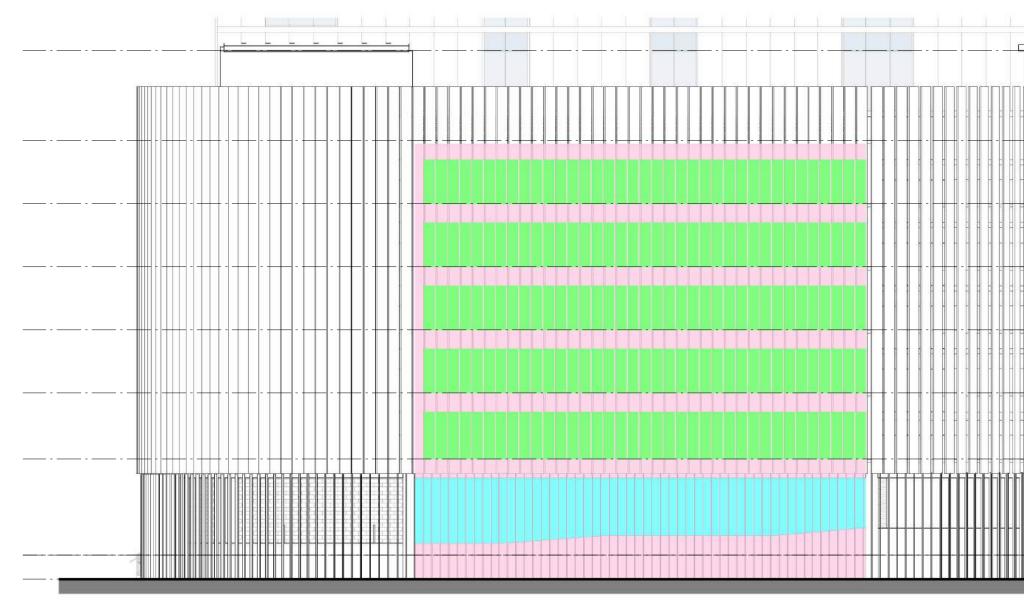
**3** WEST ELEVATION SCALE: 1/16" = 1'-0"

SCREEN TYPE	FREE AIR AREA	LEVELS	COLOR REGION
TYPE 2	66%	LEVELS 2 - 6	
TYPE 1	40%	LEVEL 1	
		OVERALL ELEVATIONS	
REF: A9.24 - PARKING GARAGE SO	CREENING FOR TYPES		

				FREE	AREA	SCHEDULE			
ELEV.		TYPE 2		TYPE 1		TOTAL OF TYPE 1 & TYPE 2		OVERALL	
Е	4,060.87	7 SQ FT	291.70 \$	SQ FT		4,352.57 SQ FT	21,817.7	8 SQ FT	
S	1,818.42	2 SQ FT	296.10 \$	SQ FT		2,114.52 SQ FT	5,449.58	SQ FT	
W	5,562.24	4 SQ FT	1,277.77	7 SQ FT		6,840.01SQ FT	20,159.9	6 SQ FT	
Total	11,441.5	53 SQ FT	1,865.57	7 SQ FT		13,307.1 SQ FT	47,427.7	8 SQ FT	

Free Air Percentage 13,307.1 SQ FT / 47,427.78 = 28.06%





## 2 SOUTH ELEVATION SCALE: 1/16" = 1'-0"





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		PG Roof 188'-0"
	15'-0"	
		<u>Level P7</u> 173'-0"
		Level P6 162'-6"
	10'-6"	
· : : : : : : : : : : : : : : : : : : :		Level P5 152'-0"
		<sup>€</sup> / <u>8</u> <u>Level P4</u> 141'-6" ●
	106"	Level P3 131'-0"
	11-0"	131'-0"
	· · · · · · · · · · · · · · · · · · ·	Level P2 120'-0"
	16'-0"	
	4'-0"	Level 1Level P1 104'-0"nd Level
		100'-0"

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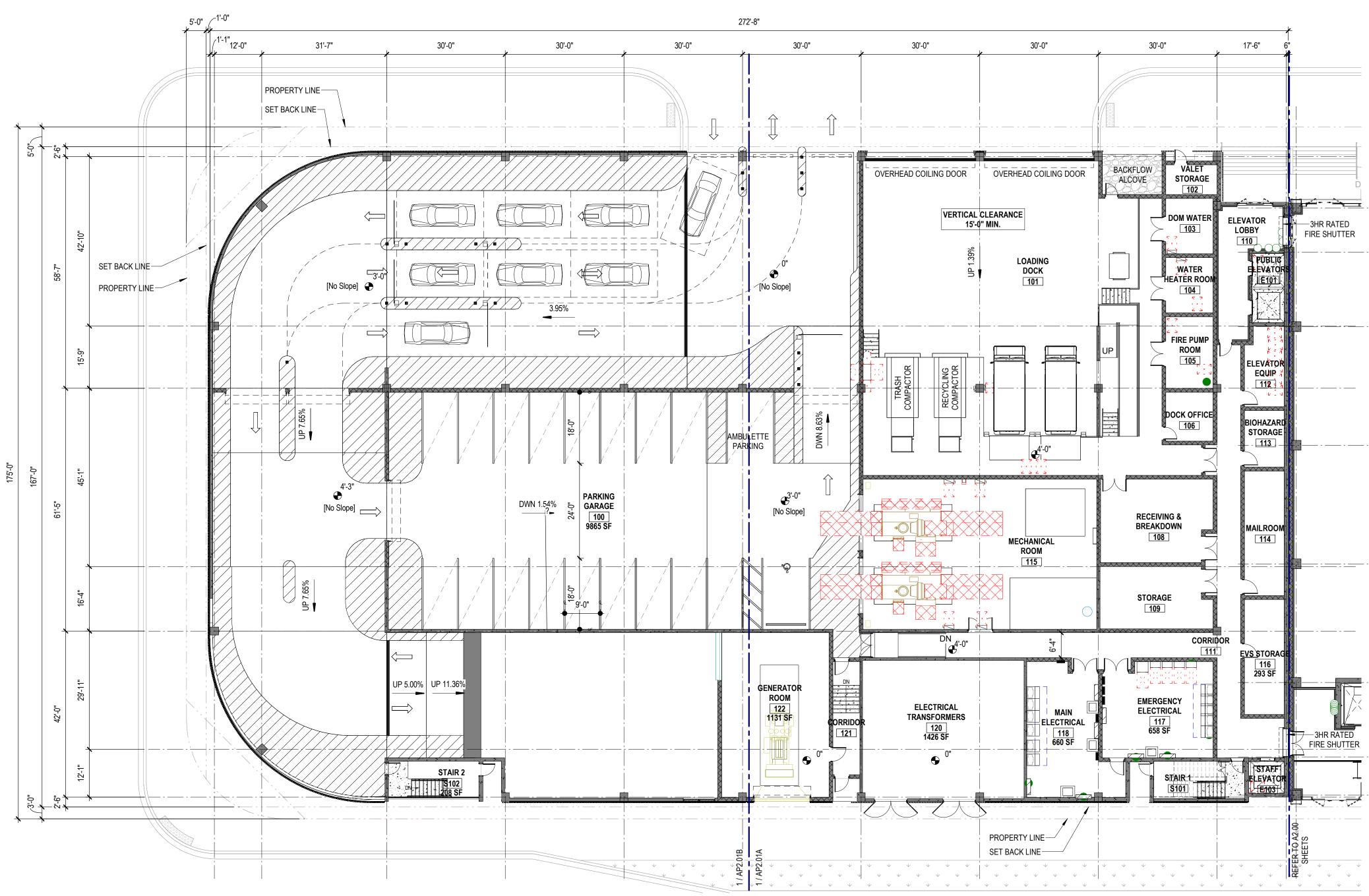
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## PARKING GARAGE FREE AIR AREA CALCULATIONS

175309 JOB NO.

A9.25 SHEET

CAM # 25-0687 Exhibit 3 Page 22 of 58



1 <u>LEVEL P1 - OVERALL FLOOR PLAN</u> SCALE: 1/16" = 1'-0"

P/	AKNII	NG COUNT
LEVEL	COUNT	PARKING SPACE TYPE
		1
Level P1	1	ACCESSIBLE 12X18
Level P1	17	STANDARD 9x18
Level P1	1	STANDARD 11x18
Level P1: 19		
Level P2	2	ACCESSIBLE 12X18
Level P2	3	ACCESSIBLE 12X18 - VAN
Level P2	16	COMPACT 8X16
Level P2	84	STANDARD 9x18
Level P2: 105		
Level P3	5	ACCESSIBLE 12X18
Level P3	22	COMPACT 8X16
Level P3	84	STANDARD 9x18
Level P3: 111		
Level P4	4	ACCESSIBLE 12X18
Level P4	22	COMPACT 8X16
Level P4	86	STANDARD 9x18
Level P4: 112		
Level P5	22	COMPACT 8X16
Level P5	93	STANDARD 9x18
Level P5: 115		
Level P6	22	COMPACT 8X16
Level P6	93	STANDARD 9x18
Level P6: 115		
Level P7	19	COMPACT 8X16





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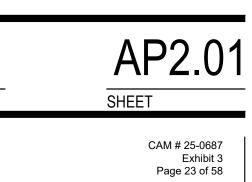
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# A B	DATE 12/12/24 02/17/25 03/21/25 04/25/25	SUBMISSION DRC Submission Schematic Design DRC Resubmission #1 DRC Resubmission #2	
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# A B C D E	DATE 12/12/24 02/17/25 03/21/25 04/25/25 04/24/25	SUBMISSION DRC Submission Schematic Design DRC Resubmission #1 DRC Resubmission #2 Design Development - CS	
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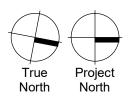
LEVEL P1 - OVERALL
FLOOR PLAN - PG

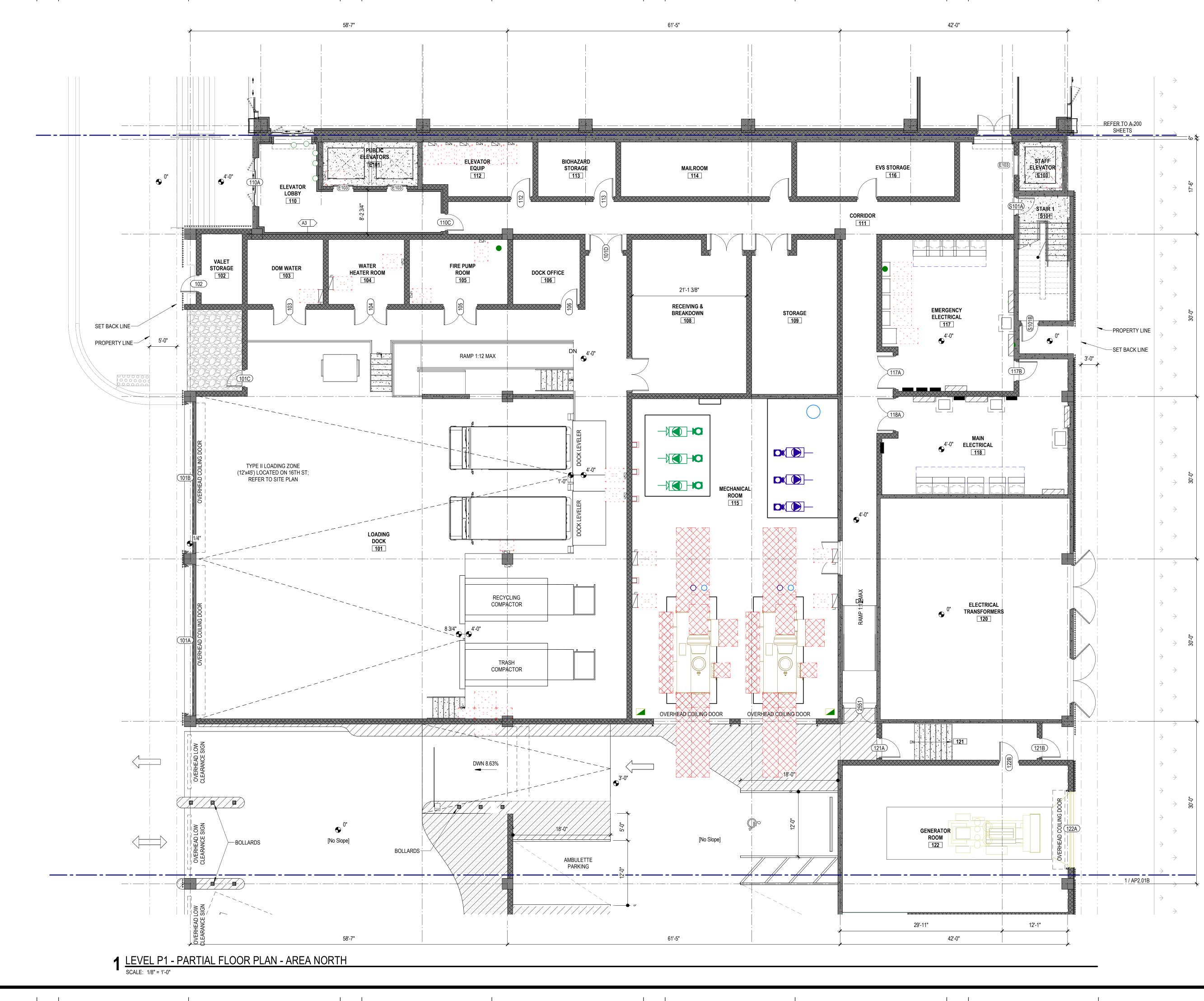
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P	ARKII	NG COUNT
LEVEL	COUNT	PARKING SPACE TYPE
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Level P1	1	ACCESSIBLE 12X18
Level P1	17	STANDARD 9x18
Level P1	1	STANDARD 11x18
Level P1: 19		
Total Spaces on	Level: 19	







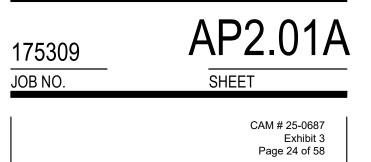


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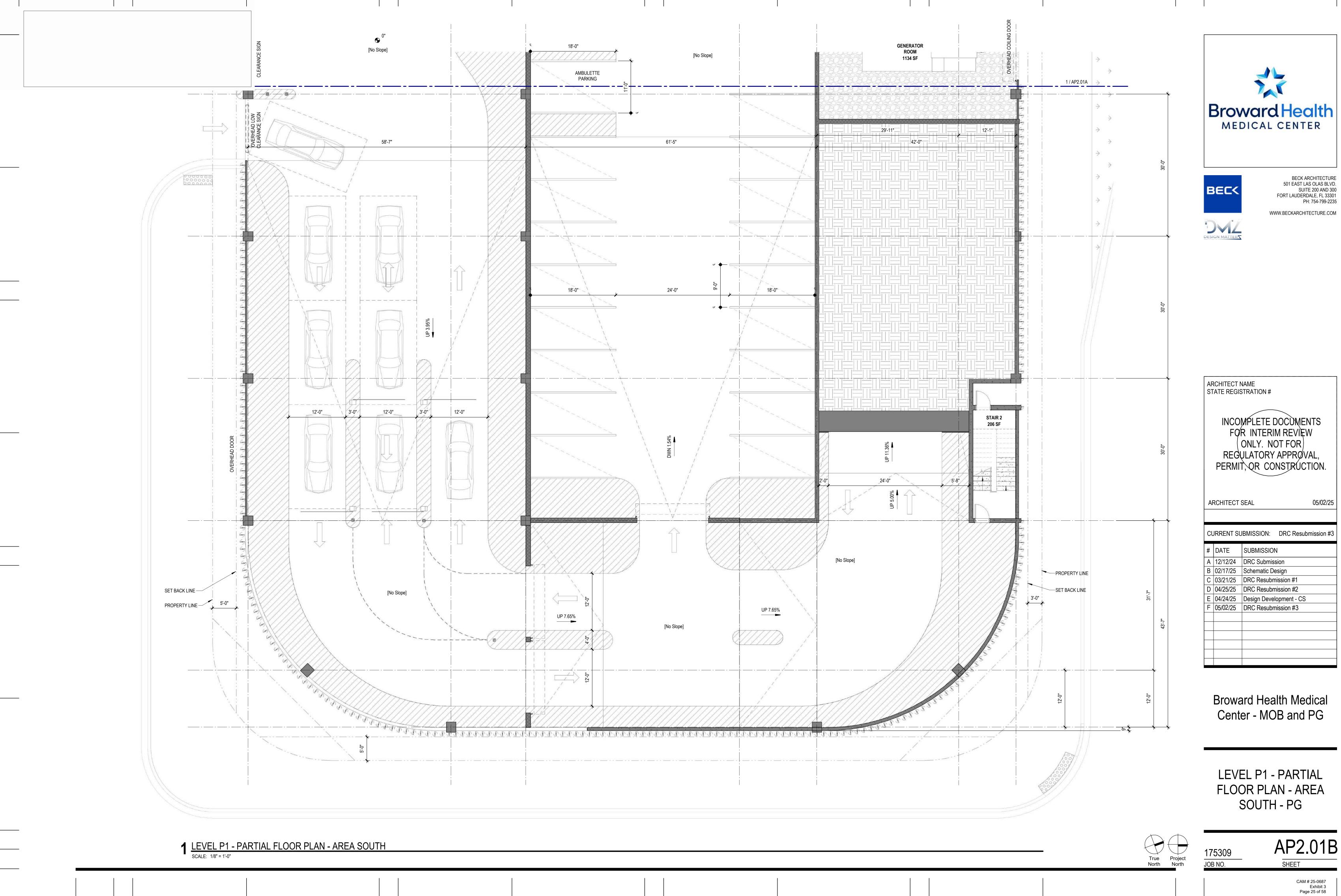
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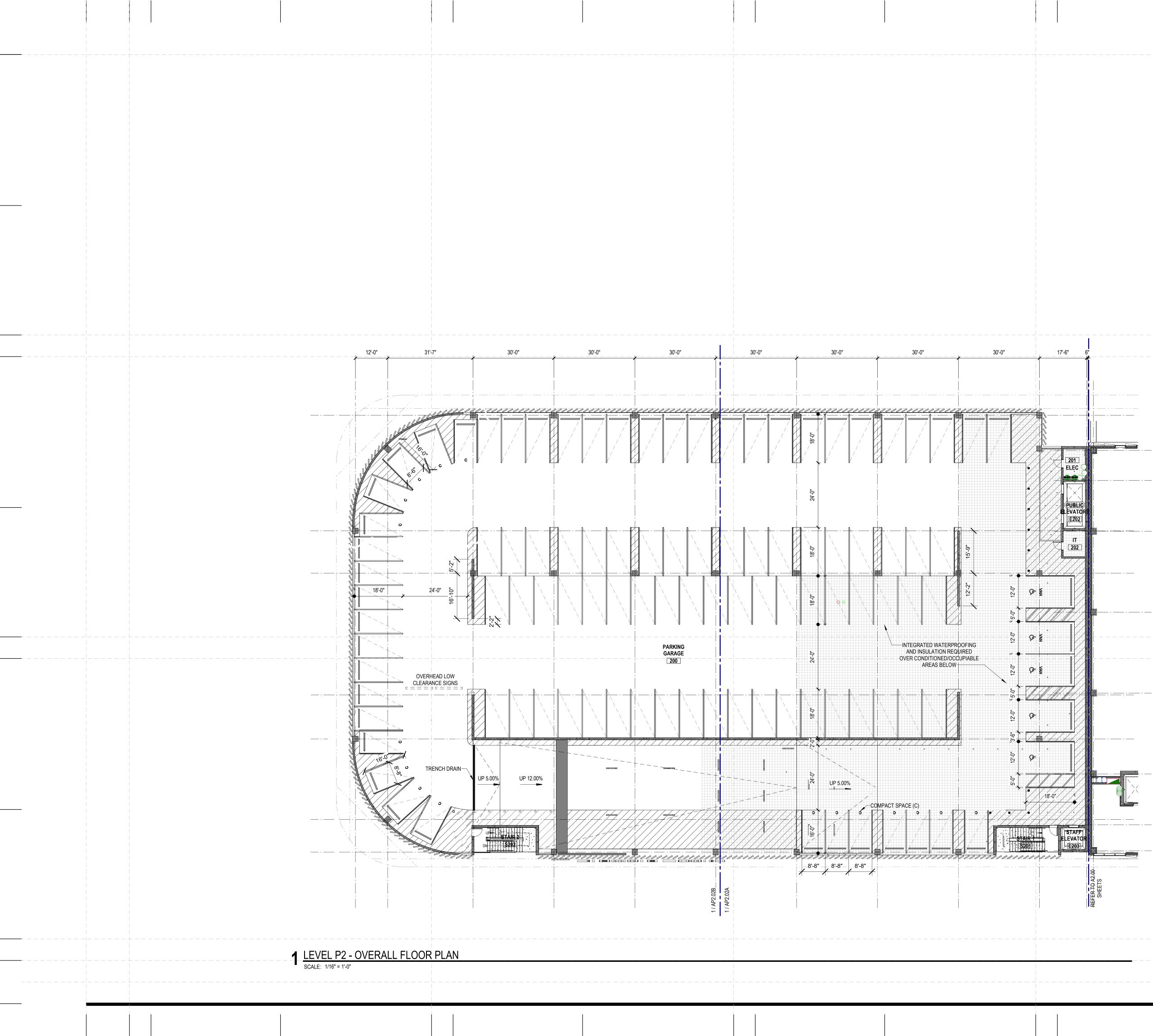
LEVEL P1 - PARTIAL FLOOR PLAN - AREA NORTH - PG



True Project North North



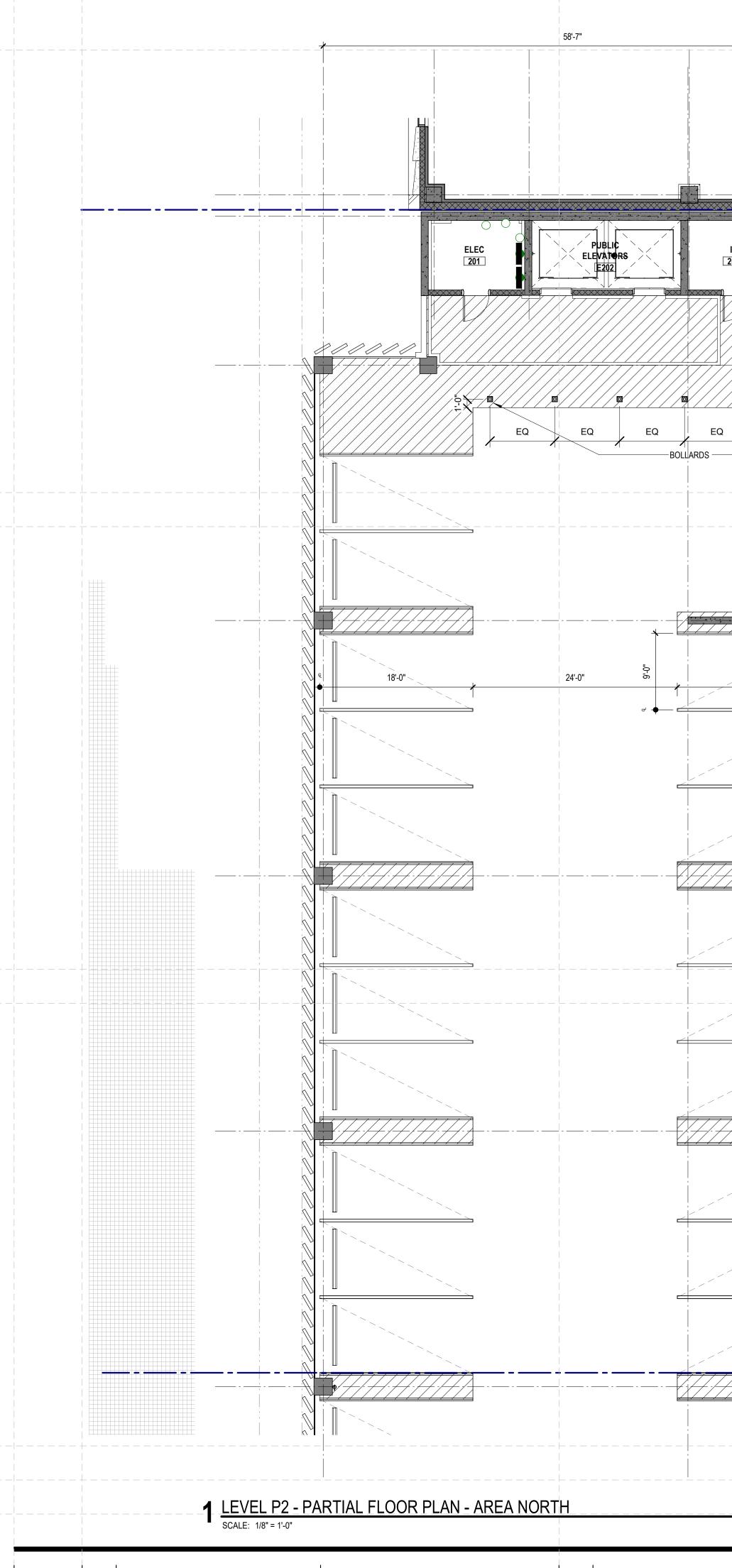
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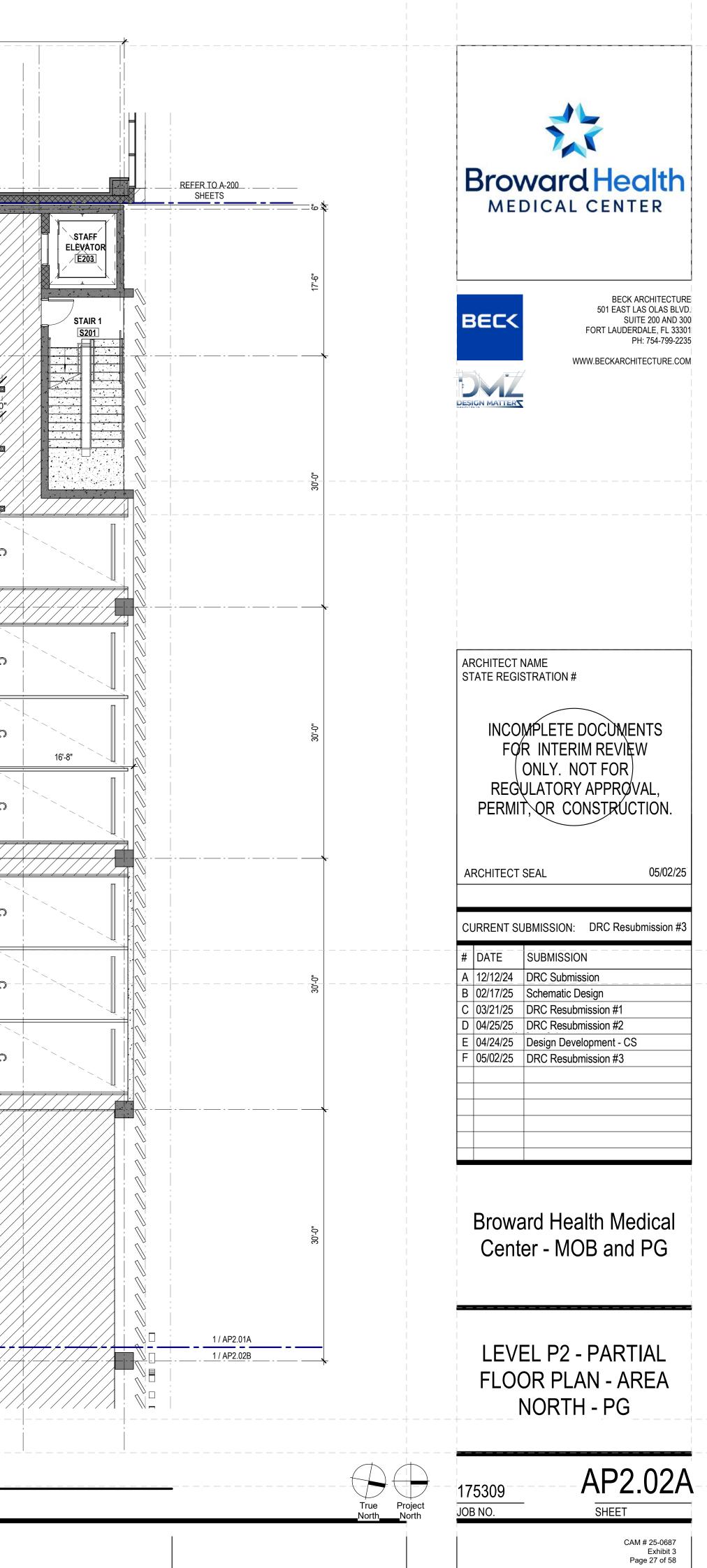
	Broward Health MEDICAL CENTER
	BECK ARCHITECTURE 501 EAST LAS OLAS BLVD. SUITE 200 AND 300 FORT LAUDERDALE, FL 33301 PH: 754-799-2235 WWW.BECKARCHITECTURE.COM
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PARKING COUNT         LEVEL       COUNT         PARKING SPACE TYPE         evel P2	Broward Health Medical Center - MOB and PG
evel P2 2 ACCESSIBLE 12X18 evel P2 3 ACCESSIBLE 12X18 - VAN evel P2 16 COMPACT 8X16 evel P2 84 STANDARD 9x18 evel P2: 105 otal Spaces on Level: 105	LEVEL P2 - OVERALL FLOOR PLAN - PG AP2.02
TrueProject North North	AP2.U2 JOB NO. SHEET CAM # 25-0687 Exhibit 3 Page 26 of 58

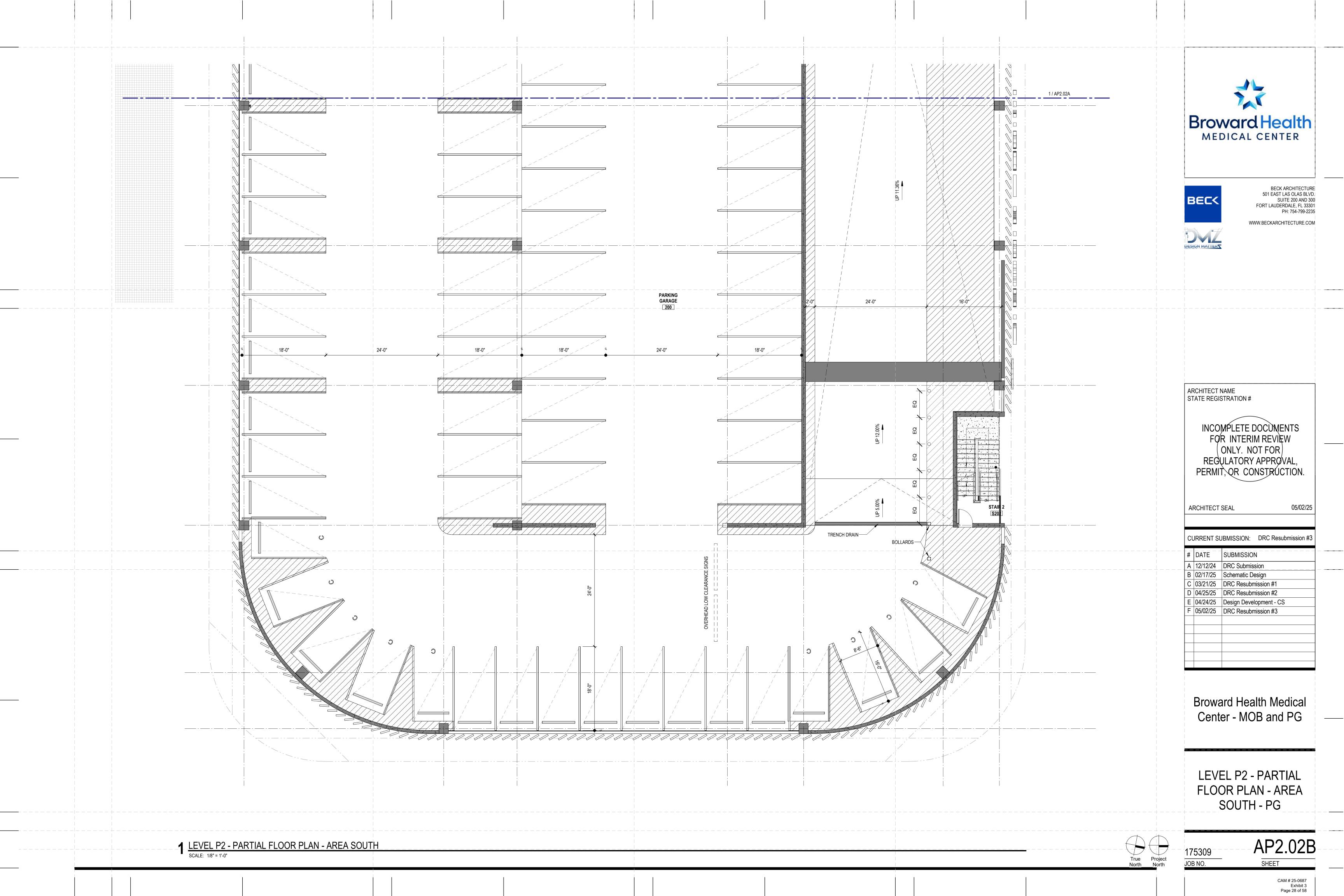
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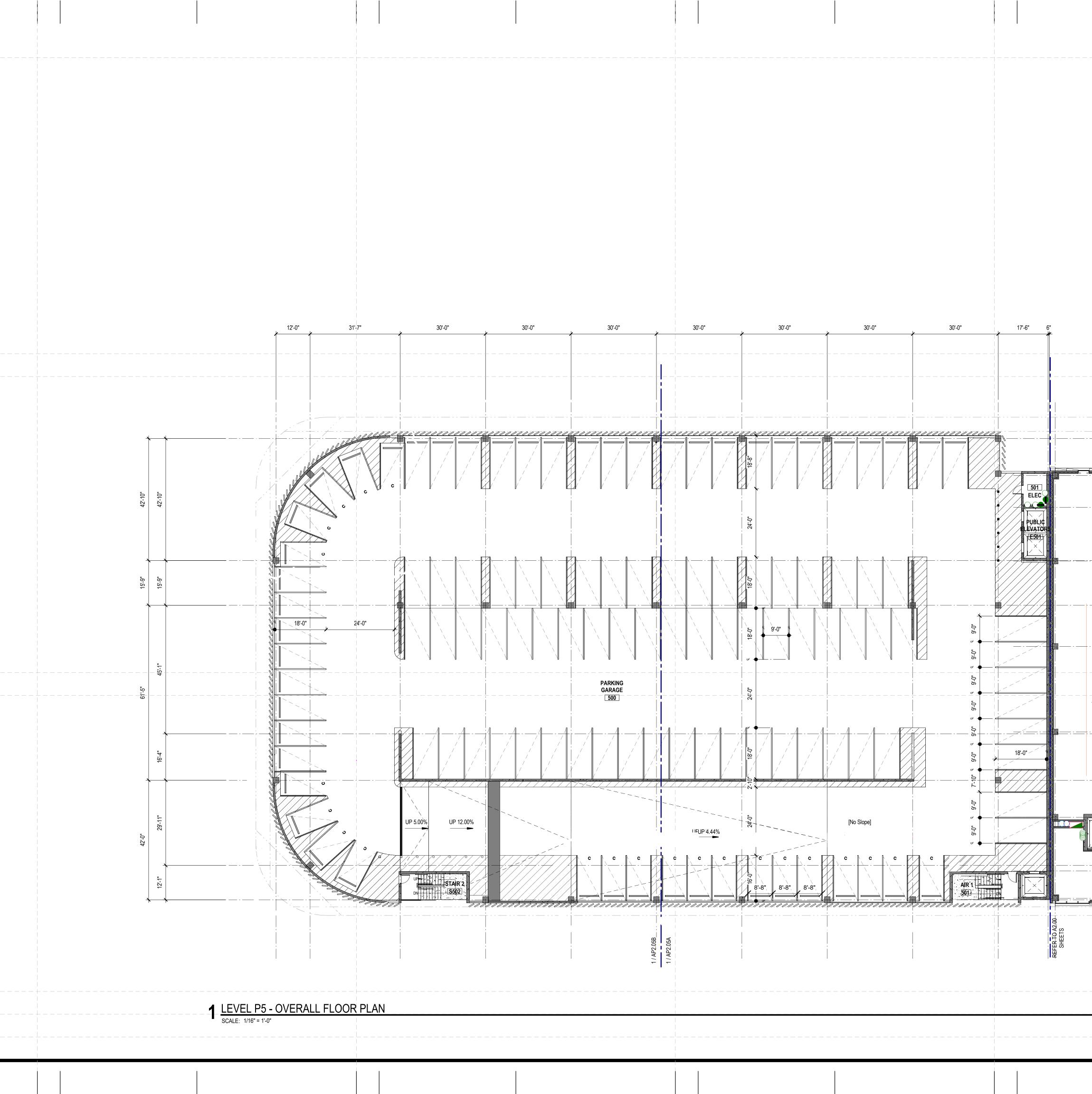
Total Spaces on Level: 105



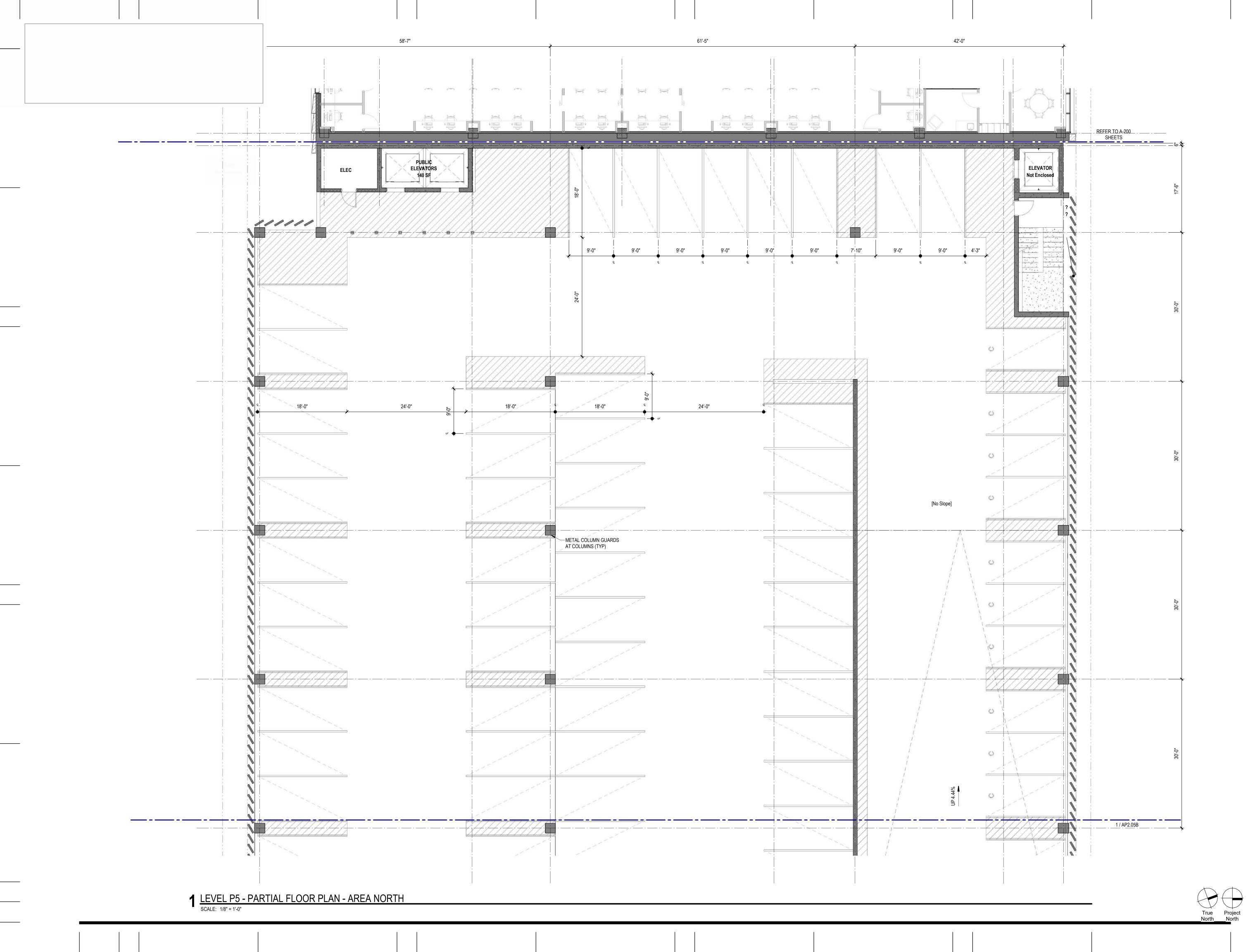
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	Broward Health MEDICAL CENTER
	BECK ARCHITECTURE         501 EAST LAS OLAS BLVD.         SUITE 200 AND 300         FORT LAUDERDALE, FL 33301         PH: 754-799-2235         WWW.BECKARCHITECTURE.COM
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PARKING COUNT         LEVEL       COUNT       PARKING SPACE TYPE         Level P5       Level P5       22       COMPACT 8X16         Level P5       93       STANDARD 9x18         Level P5:       115	Broward Health Medical Center - MOB and PG LEVEL P5 - OVERALL FLOOR PLAN - PG
Level P5: 115 Total Spaces on Level: 115 True Project North North	175309 JOB NO. CAM # 25-0687 Exhibit 3 Page 29 of 58





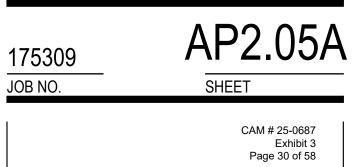
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Cl # A B	JRRENT SI DATE 12/12/24 02/17/25	UBMISSION: DRC SUBMISSION DRC Submission Schematic Design	Resubmission #3	
Cl # A B C	JRRENT SI DATE 12/12/24 02/17/25 03/21/25	UBMISSION: DRC SUBMISSION DRC Submission Schematic Design DRC Resubmission	Resubmission #3 #1 #2	
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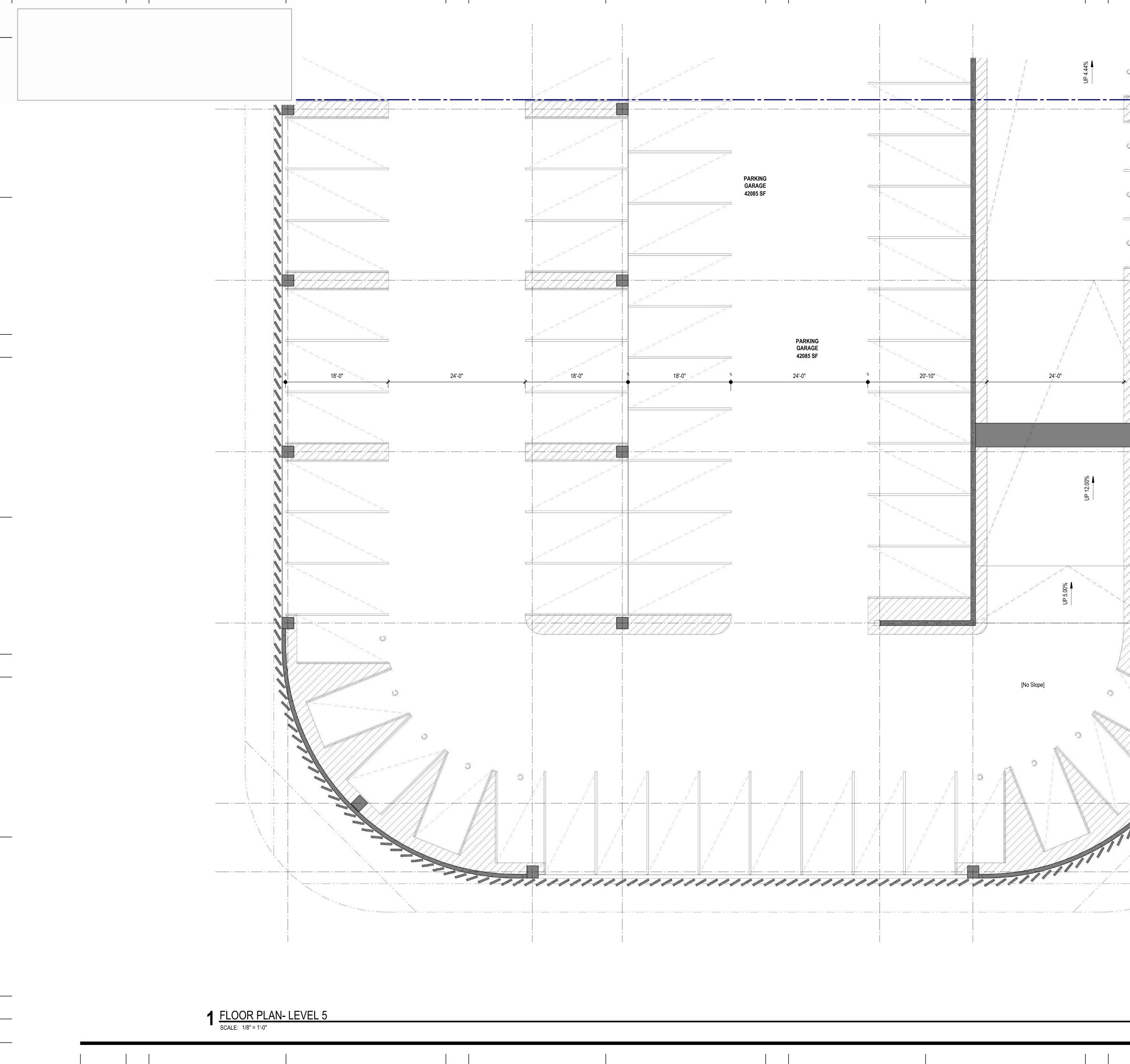
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Broward Health Medical Center - MOB and PG

LEVEL P5 - PARTIAL FLOOR PLAN - AREA NORTH - PG

JOB NO.





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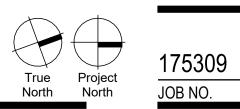
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С	03/21/25	DRC Resubmission #1			
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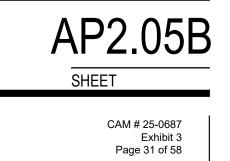
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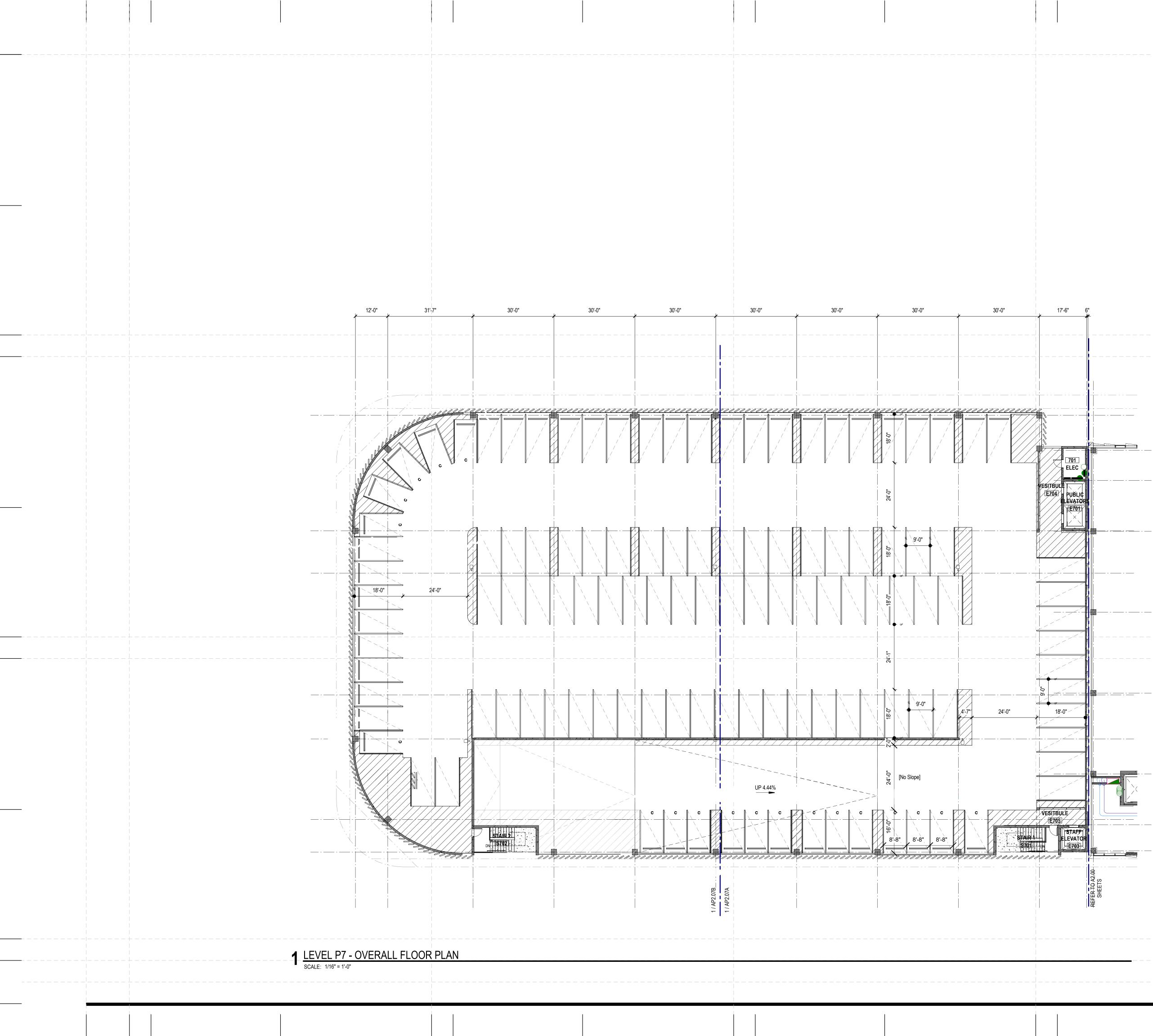
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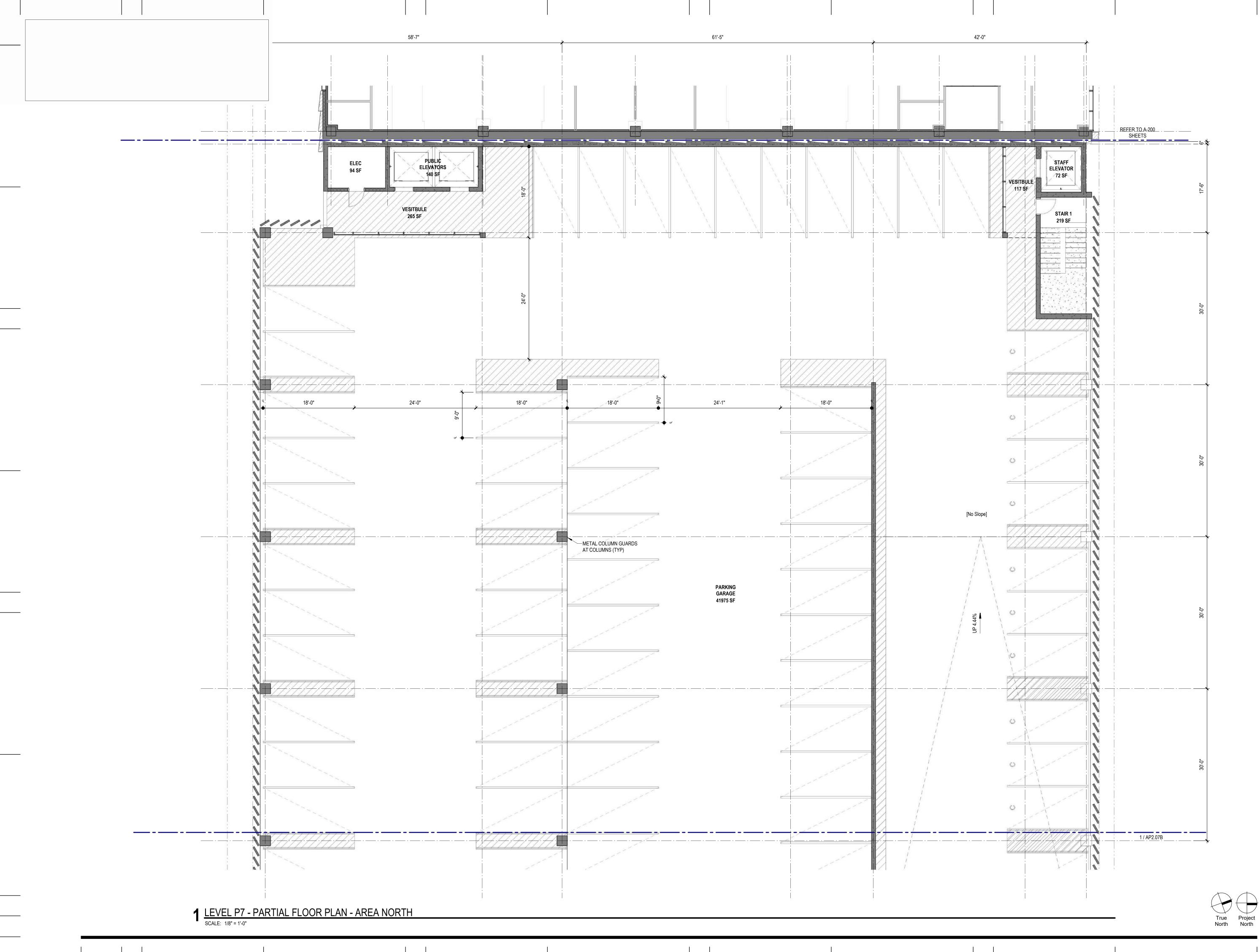
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	JOB NO. SHEET CAM # 25-0687 Exhibit 3 Page 32 of 58





CURRENT SUBMISSION: DRC Resubmission #3		
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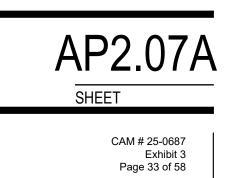
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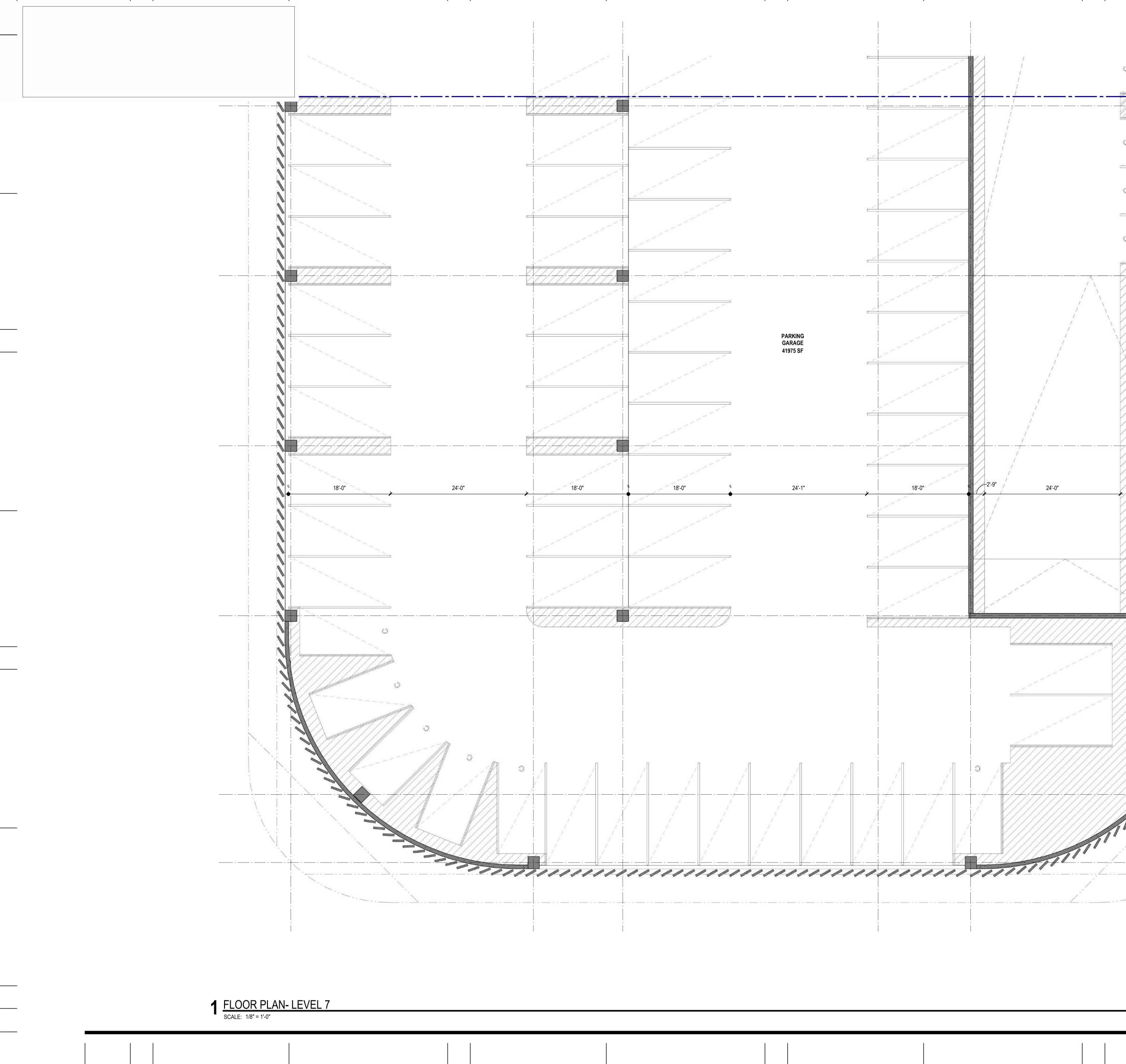
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LEVEL P7 - PARTIAL FLOOR PLAN - AREA NORTH - PG

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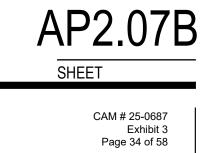
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**Broward Health Medical** Center - MOB and PG

LEVEL P7 - PARTIAL FLOOR PLAN - AREA SOUTH - PG





### **1. GENERAL CONSTRUCTION NOTES**

- 1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION) AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
- 3. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATION THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITION THAT WILL BE ENCOUNTERED AND UPON WHICH THEIR BIDS WILL BE BASED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE BOTH THE SURFACE AND SUBSURFACE CONDITIONS AND BASE HIS PRICING ACCORDINGLY GEOTECHNICAL AND ENVIRONMENTAL REPORTS ARE AVAILABLE FOR REVIEW.
- 4. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES. NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH
- 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
- 7. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
- 8. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
- 9. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING AND MAINTAINING AS-BUILT NFORMATION WHICH SHALL BE RECORDED AS CONSTRUCTION PROGRESSES OR AT THE COMPLETION OF APPROPRIATE CONSTRUCTION INTERVALS AND SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS TO THE OWNER FOR THE PURPOSE OF CERTIFICATION TO JURISDICTIONAL AGENCIES AS REQUIRED. ALL AS-BUILT DATA SHALL BE COLLECTED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR WHOSE SERVICES ARE ENGAGED BY THE CONTRACTOR
- 12. ANY WELLS DISCOVERED ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN A MANNER APPROVED BY ALL JURISDICTIONAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED
- 13. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- 14. ANY WELL TO REMAIN SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR.
- 15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE MAINTENANCE OF TRAFFIC FOR THE ADJACENT PROPERTY DURING CONSTRUCTION.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
- 17. PRIOR TO GRAND OPENING THE CONTRACTOR SHALL: SWEEP THE ENTIRE SITE
- ELIMINATE ALL DEBRIS IN THE LANDSCAPING AREAS PRESSURE CLEAN THE SITE ASPHALT
- PRESSURE CLEAN THE CURBS AND SIDEWALKS.

### RECORD DRAWINGS

1. CONTRACTOR SHALL PROVIDE TO THE ENGINEER AND OWNER A MINIMUM OF 3 HARD COPIES OF A PAVING, GRADING AND DRAINAGE RECORD DRAWING AND A SEPARATE UTILITY RECORD DRAWING, AS WELL AS BOTH IN AUTOCAD 2015 OR LATER, BOTH PREPARED BY A FLORIDA REGISTERED SURVEYOR. THE RECORD DRAWINGS SHALL VERIFY ALL DESIGN INFORMATION INCLUDED ON THE DESIGN PLANS OF THE SAME NAME.

### PAVING, GRADING AND DRAINAGE NOTES

- 1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
- 2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED
- 3. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT. THE MOST STRINGENT SHALL GOVERN
- 4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- 5. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- 6. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
- 7. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND REPLACE THE PAVEMENT WITH THE SAME TYPE AND DEPTH OF MATERIAL AS EXISTING OR AS INDICATED
- 8. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW CUT HE EXISTING PAVEMENT A MINIMUM 2" DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED

- END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
- 10. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PRIOR TO ANY EXCAVATION.
- 11. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME BUT ONLY AS DIRECTED BY THE OWNER.
- 12. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL MOST STRINGENT SHALL GOVERN.
- 13. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS LANDSCAPING PLAN.
- 14. ALL CUT OR FILL SLOPES SHALL BE 3 (HORIZONTAL) :1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
- OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN WATER QUALITY STANDARDS IN CHAPTER 17-302. FLORIDA ADMINISTRATIVE CODE.
- 17. SOD, WHERE CALLED FOR, MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
- 18. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE REPRESENTATIVES
- AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
- 20. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

### WATER AND SEWER UTILITY NOTES

- AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
- 2. ALL EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE THE CONSTRUCTION SECTION OF THIS SHEET.
- 3. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- 4. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE
- BROUGHT ON SITE.
- 7. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL SHALL GOVERN
- 8. UNDERGROUND LINES SHALL BE SURVEYED BY A STATE OF FLORIDA PROFESSIONAL LAND SURVEYOR PRIOR TO BACK FILLING.
- 9. CONTRACTOR SHALL PERFORM, AT HIS OWN EXPENSE, ANY AND ALL TESTS REQUIRED BY THE THE UTILITY PROVIDER, OWNER AND JURISDICTIONAL AGENCY AS REQUIRED.
- 10. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE EQUIPMENTS OF CHAPTER 62-555.320. FAC.
- DISTRIBUTION SYSTEM"
- ACCORDANCE WITH RULE 62-555.320(21)(B)(3), FAC
- 15. NO CONNECTIONS TO EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS & BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE
- 16. LOCATOR TAPE AND WIRE SHALL BE INSTALLED ON ALL NEW WATER MAINS. TAPE WILL BE 3" WIDE AND COLOR CODED AND INSTALLED 12" ABOVE WATER MAIN. WIRE WILL BE 14 STRAND AND COLOR CODED.

CITY OF FORT LAUDERDALE.

17. R.P.M.'S TO BE INSTALLED PRIOR TO C/O AT CENTER OF NEAREST DRIVE AISLE ADJACENT TO

9. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE

PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER

CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS

JURISDICTIONAL AGENCY OR TO FDOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE

THE AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS, FERTILIZED MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR

16. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE

EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE

48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO

PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT

19. THE CONTRACTOR SHALL ENSURE THAT ISLAND PLANTING AREAS AND OTHER PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL

21. ALL ADA SPACES MUST NOT EXCEED 2% SLOPE MEASURED IN ANY DIRECTION.

1. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL

CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS FOR UTILITY LOCATION AND COORDINATION IN ACCORDANCE WITH THE NOTES CONTAINED IN THE GENERAL

MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE

5. ALL PHASES OF INSTALLATION, INCLUDING UNLOADING, TRENCHING, LAYING AND BACK FILLING, SHALL BE DONE IN A FIRST CLASS WORKMANLIKE MANNER. ALL PIPE AND FITTINGS SHALL BE CAREFULLY STORED FOLLOWING MANUFACTURER'S RECOMMENDATIONS. CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE COATING OR LINING IN ANY D.I. PIPE FITTINGS ANY PIPE OR FITTING WHICH IS DAMAGED OR WHICH HAS FLAWS OR IMPERFECTIONS WHICH. IN THE OPINION OF THE ENGINEER OR OWNER, RENDERS IT UNFIT FOR USE, SHALL NOT BE USED. ANY PIPE NOT SATISFACTORY FOR USE SHALL BE CLEARLY MARKED AND IMMEDIATELY REMOVED FROM THE JOB SITE, AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

6. WATER FOR FIRE FIGHTING SHALL BE AVAILABLE FOR USE PRIOR TO COMBUSTIBLES BEING

BE COMPLETELY BACK FILLED IN ACCORDANCE WITH THE GOVERNING JURISDICTIONAL AGENCY'S SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT

SPECIFICATIONS AND/OR ANY AGENCY HAVING JURISDICTION. THESE TESTS MAY INCLUDE, BUT MAY NOT BE LIMITED TO, INFILTRATION AND EXFILTRATION, TELEVISION INSPECTION AND A MANDREL TEST ON GRAVITY SEWER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO

11. ALL PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-VELL PLASTIC PIPE ASSOCIATIONS "GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER

12. ALL DIP SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C600-05 OR LATEST REVISION. 13. ALL WATER MAIN PIPES SHALL BE COLOR CODED USING BLUE AS A PREDOMINANT COLOR IN

14. ALL WATER MAINS SHALL BE LAID WITH A MINIMUM 36" COVER FOR PVC AND 30" FOR DIP.

ALL HYDRANTS (BLUE). FOR HYDRANTS AT CORNERS, TWO (2) R.P.M.'S SHALL BE INSTALLED,

ONE AT EACH ROADWAY. 18. WATER DISTRIBUTION SYSTEM MATERIAL: 18.1. POLYVINYL CHLORIDE (PVC) WATER MAIN SHALL HAVE PUSH-ON RUBBER GASKET JOINTS.

- 18.2. PVC PIPE SHALL BE 1120 PRESSURE PIPE WITH IRON O.D., CLASS 150 (SDR 18), CONFORMING TO ANSI/AWWA C900-LATEST REVISION.

19. GRAVITY SEWAGE COLLECTION SYSTEM MATERIAL:

MANUFACTURER OR EQUAL

MANHOLES

20. MANHOLES:

(LBS/SQUARE IN.).

- 18.3. WHERE DUCTILE IRON PIPE (DIP) IS REQUIRED IT SHALL BE 60-42-10, CLASS 50 WALL THICKNESS WITH
- INTERIOR CEMENT LINING AND EXTERIOR COAL TAR COATING CONFORMING TO ANSI/AWWA C151/A21.51-LATEST REVISION.

19.1. ALL SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE PIPE (PVC)

19.2. ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE

19.3. WHERE DIP IS REQUIRED. IT SHALL BE 60-42-10 CLASS 50 WALL THICKNESS WITH INTERIOR POLY LINING

20.1. PRIOR TO ANY PHYSICAL CONNECTIONS TO EXISTING WATER MAIN SYSTEM, THE COMPLETE WATER

SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED. HYDROSTATIC TESTING OF NEW MAINS

SHALL BE PERFORMED AT A MINIMUM STARTING PRESSURE OF 150PSI FOR TWO HOURS IN

ACCORDANCE WITH ANSI/AWWA C600-05 OR LATEST REVISION. PRESSURE TEST SHALL NOT VARY

MORE THAN 5 PSI DURING THE TEST, OTHERWISE TEST SHALL BE CONSIDERED UNSATISFACTORY.

20.2. THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE CITY OF FORT

20.3. BEFORE ACCEPTANCE FOR OPERATION, THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE

20.5. METER CONNECTIONS SHALL BE MADE TO NEW LINES ONLY AFTER TWO CONSECUTIVE DAYS OF

ENGINEER OF RECORD, CITY REPRESENTATIVE AND BROWARD COUNTY HEALTH DEPARTMENT.

20.6. SAMPLING POINTS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS. SAMPLING POINTS

20.7. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS

IN WHICH L EQUALS THE MAXIMUM ALLOWABLE LEAKAGE IN GALLONS PER HOUR. S EQUALS LENGTH OF

PIPE (FT), D EQUALS NOMINAL DIAMETER OF PIPE (IN.) AND P EQUALS THE MINIMUM TEST PRESSURE

L = S \* D \* √P

148.000

1. ALL PAVEMENT MARKINGS SHALL BE MADE IN ACCORDANCE WITH FDOT STANDARD INDEX #

2. WHERE THE PLANS CALL FOR PAINTED PAVEMENT MARKINGS. INSTALLATION AND MATERIALS

SHALL MEET ALL REQUIREMENTS OF SECTION 710 OF FDOT STANDARD SPECIFICATIONS FOR

ROAD AND BRIDGE CONSTRUCTION AND THE FOLLOWING: CONTRACTOR TO APPLY TWO COATS

OF VOC COMPLIANT, LOCAL DOT APPROVED, UNDILUTED, SOLVENT BASED OR LATEX TRAFFIC

PAINT. CONTRACTOR TO FOLLOW MANUFACTURER'S RECOMMENDED APPLICATION RATE

WITHOUT THE ADDITION OF A THINNER, WITH A MAXIMUM OF 100 SQUARE FEET PER GALLON

OR AS REQUIRED PROVIDING MINIMUM 15 MILS WET FILM THICKNESS AND 7.5 MILS DRY FILM

THICKNESS PER COAT WITH MINIMUM OF 30 DAYS BETWEEN APPLICATIONS. SECOND COAT OF

PAINT SHALL NOT BE APPLIED EARLIER THAN 7 DAYS PRIOR TO GRAND OPENING. PAINT SHALL

BE CRISP, STRAIGHT AND APPLIED UNIFORMLY ACROSS THE WIDTH OF A LINE FOR A TOTAL

3. ALL PAVEMENT SYMBOLS AND MARKINGS ARE TO BE THERMOPLASTIC WITH THE EXCEPTION

1 THE STORM WATER POLILUTION PREVENTION PLAN ("SWPPP") IS COMPRISED OF THIS FROSION

2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION

3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE

4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE,

5. EROSION CONTROL PLAN MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY

6. THE CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS

7. CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH

8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.)

9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF MOTOR

MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL

OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS

THE PRESENCE OF GROUNDWATER SHOULD BE

INCLUDE CONSIDERATION FOR ADDRESSING THIS

ISSUE AND OBTAINING ALL NECESSARY PERMITS

ANTICIPATED. CONTRACTOR'S BID SHALL

SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.

SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE

PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND

PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.

OF PARKING STRIPING. THERMOPLASTIC INSTALLATION AND MATERIALS SHALL MEET ALL

REQUIREMENTS OF SECTION 711 OF FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE

CONTROL PLAN, THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN

SPECIFICATIONS OF THE SWPPP, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND

PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND

THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL

SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED

BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF

OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. THE CONTRACTOR

SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR

CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE

BACTERIOLOGICAL SAMPLES HAVE PASSED, AND COPIES OF RESULTS HAVE BEEN PROVIDED TO THE

SHALL BE PROVIDED AT INTERVALS OF A MAXIMUM OF 1200' UNLESS OTHERWISE SPECIFIED ON THE

CONFORMING TO ASTM D 3034, SRD 35, WITH PUSH-ON RUBBER GASKET JOINTS.

AND EXTERIOR COAT FOR COATING CONFORMING TO ANSI/AWWA C151/A21.51-91.

19.4.1. ALL SANITARY SEWER MANHOLES SHALL HAVE RAIN INSERT COVERS.

LAUDERDALE UTILITIES DEPARTMENT AND THE ENGINEER OF RECORD.

WITH THE ANSI/AWWA C651-05 OR LATEST REVISION.

DETERMINED BY THE FOLLOWING FORMULA:

**PAVEMENT MARKINGS NOTES:** 

711-001, WHERE SHOWN ON THE PLANS.

DRY FILM THICKNESS OF 15 MILS

**EROSION CONTROL NOTES** 

CONSTRUCTION.

RELATED DOCUMENTS

CONSTRUCTION

TOILET FACILITIES.

SPILLS AND LEAKS.

IS PROHIBITED.

MAINTAINED ON SITE AT ALL TIMES

REQUIRED BY THE GENERAL PERMIT.

OWNER

20.4. ALL WATER MAINS SHALL BE PIGGED PRIOR TO DISINFECTION.

19.4. MANHOLES SHALL BE PRECAST PER ASTM C 478 WITH 4000 PSI CONCRETE AND GRADE 40 STEEL

- 18.5. ALL GASKETS SHALL BE NEOPRENE. WHERE REQUIRED POLYETHYLENE WRAP SHALL BE INSTALLED.
- 18.4. PIPE JOINTS SHALL BE MECHANICAL, CONFORMING TO AWWA C-111-00.

### 11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR

12. STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.

WATERS OF THE STATE.

REQUIREMENTS.

CARRIED OFF THE SITE.

MAINTENANCE

FOLLOWING:

SILT FENCE.

TESTS OF UTILITIES

- DENSITY TEST REPORTS

WWW.ARCGIS.COM

ANY OTHER TESTING REQUIRED BY THE AGENCY

13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS. REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS FOR SEEDING AND MAINTENANCE

14. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD. THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS

15. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.

16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.

17. ON-SITE & OFF SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.

18. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.

19. DUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.

20. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE

INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.

ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED. WATERED AND RESEEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS. 4. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE

THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.

6. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.

7. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 55 CUBIC YARDS / ACRE.

8. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

### **TYPICAL ENGINEER OBSERVATIONS**

CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:

PRE-CONSTRUCTION MEETING CONNECTIONS TO WATER AND SEWER MAINS

- ANY OTHER INSPECTION FOR WHICH A PERMITTING AGENCY REQUIRES THE ENGINEER TO BE PRESENT

### 3RD PARTY TEST REPORTS REQ'D

TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:

BACTERIOLOGICAL TESTS OF WATER SYSTEM PRESSURE TEST OF WATER/SEWER LEAK TESTS ON SEWER SYSTEM AND GREASE TRAPS





BECK ARCHITECTURE 501 EAST LAS OLAS BLVD SUITE 200 AND 300 FORT LAUDERDALE, FL 33301 PH: 754-799-2235

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CARLOS FLORIAN, P.E.
FL REGISTRATION # 80500

**INCOMPLETE DOCUMENTS** FOR INTERIM REVIEW ONLY. NOT FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION

5/2/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
В	02/17/25	SCHEMATIC DESIGN
С	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
Е	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

**BROWARD HEALTH** MEDICAL CENTER **MOB & PARKING** GARGAGE



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

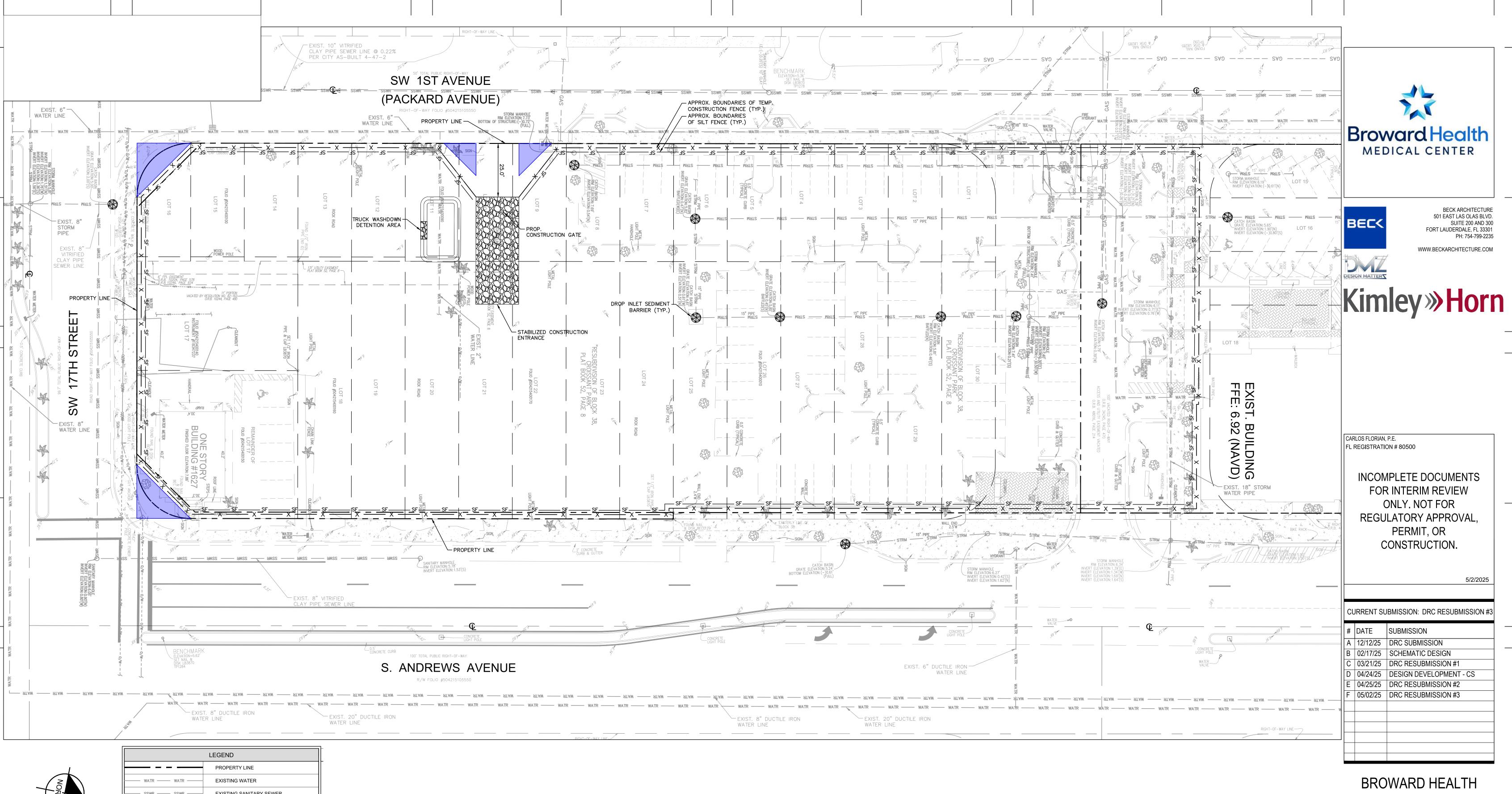
**GENERAL NOTES AND** SPECIFICATIONS

175309 JOB NO.

C100.0 SHEET

> CAM # 25-0687 Exhibit 3 Page 35 of 58

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM



NORTH
P

GRAPHIC SCALE IN FEET 10 20

LEGEND				
	PROPERTY LINE			
WATR WATR	EXISTING WATER			
SSWR SSWR	EXISTING SANITARY SEWER			
STRM STRM	EXISTING STORM SEWER			
	EXISTING OVERHEAD WIRE			
COM	EXISTING COMMUNICATION LINE			
GAS	EXISTING NATURAL GAS LINE			
[[]]]	EXITING CATCH BASIN			
$\bowtie$	EXISTING WATER VALVE			
X	EXISTING FIRE HYDRANT			
W	EXISTING WATER METER			
S	EXISTING SANITARY SEWER MANHOLE			
D	EXISTING STORM SEWER MANHOLE			
x x	PROPOSED CHAIN LINK CONSTRUCTION FENCE			
SF SF	PROPOSED SILT FENCE			
	PROPOSED TEMPORARY STABILIZED CONSTRUCTION ENTRANCE			
$\bigcirc$	PROPOSED DROP INLET SEDIMENT BARRIER			

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM

MEDICAL CENTER -MOB & PARKING GARGAGE



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Check positive response codes before you dig!

**EROSION CONTROL** PLAN

175309 JOB NO.

C300.0 SHEET

CAM # 25-0687 Exhibit 3 Page 36 of 58

ALL ELEVATIONS SHOWN ON THESE PLANS ARE

### BEST MANAGEMENT PRACTICES (BMPS)

THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH APPROPRIATE CONDITIONS OF THE BROWARD COUNTY LAND DEVELOPMENT REGULATIONS, THE RULES OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP). CHAPTER 17-25. F.A.C., THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), CHAPTER 40D-4, F.A.C. AND THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) DOCUMENT NO. EPA 832/R-92-005 (SEPTEMBER 1992). THE PLAN ADDRESSES THE FOLLOWING:

- A. PREVENT LOSS OF SOIL DURING CONSTRUCTION BY STORMWATER RUNOFF AND/OR WIND EROSION, INCLUDING PROTECTING TOPSOIL BY STOCKPILING FOR REUSE.
- B. SEDIMENTION PROTECTION OF STORM SEWER OR RECEIVING STREAM
- PREVENT POLLUTING THE AIR WITH DUST AND PARTICULATE MATTER. THE VARIOUS TECHNIQUES OR ACTIONS IDENTIFIED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUES SHOULD BE EMPLOYED. ALSO IDENTIFIED IS A CROSS-REFERENCE TO A DIAGRAM OR FIGURE REPRESENTING THE TECHNIQUE. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMP(S). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN ACCORDANCE WITH THE CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. CONTRACTOR SHAL PREPARE REQUIRED NPDES DOCUMENTATION AND OBTAIN PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE THE REQUIRED NPDES DOCUMENT AND OBTAIN THE NPDES PERMIT. ALL COST ASSOCIATED WITH SUCH WORK SHALL BE DEEMED INCIDENTAL TO THE PROJECT LUMP SUM COST.

#### GENERAL EROSION CONTROL NOTES:

- A. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THESE EROSION CONTROL DRAWINGS, THE STANDARD DETAILS, THE NPDES PERMIT (TO BE OBTAINED BY CONTRACTOR) AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THIS DRAWING AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP) IN ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- FUEL SPILLS AND LEAKS PREVENTION
- PREVENT/REDUCE VEHICLE AND EQUIPTMENT WASHING AND STEAM CLEANING VEHICLE AND EQUIPTMENT MAINTENANCE AND REPAIR
- PROPER OUTDOOR LOADING/UNLOADING OF MATERIALS PREVENT/REDUCE OUTDOOR STORAGE OF RAW MATERIALS, PRODUCTS, AND BY-PRODUCTS
- SOLID WASTE MANAGEMENT
- HAZARDOUS WASTE MANAGEMENT CONCRETE WASTE MANAGEMENT
- SANDBLASTING WASTE MANAGEMENT STRUCTURE CONSTRUCTION AND PAINTING
- SPILL PREVENTION AND CONTROL CONTAMINATED SOIL MANAGEMEN
- SANITARY/SEPTIC WASTE MANAGEMENT SOIL EROSION CONTROL STORM WATER TURBIDITY MANAGEMENT
- ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION
- D. BEST MANAGEMENT PRACTICES (BMPS) AND CONTROLS SHALL CONFORM TO FEDERAL. STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER
- E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. CONTRACTOR MUST MAINTAIN ALL PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS ON SITE AT ALL TIMES.
- F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- G. CONTRACTOR SHALL BEGIN CLEARING AND GRUBBING THOSE PORTIONS OF THE SITE NECESSARY TO IMPLEMENT PERIMETER CONTROL MEASURES, CLEARING AND GRUBBING FOR THE REMAINING PORTIONS OF THE PROPOSED SITE SHALL COMMENCE ONCE PERIMETER CONTROLS ARE IN PLACE, PERIMETER CONTROLS SHALL BE ACTIVELY MAINTAINED UNTIL SAID AREAS HAVE BEEN STABILIZED AND SHALL BE REMOVED ONCE FINAL STABILIZATION IS COMPLETE.
- H. GENERAL EROSION CONTROL BMPS SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND POTENTIAL LAKE SLOPE CAVE-INS. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE DURING CONSTRUCTION
- ON-SITE & OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- J. SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BMP'S IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.
- STORM WATER EROSION CONTROL PRACTICES
- A. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM DETENTION PONDS AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- B. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- C. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (COMPOST SOCK DEVICES, ETC.) TO PREVENT EROSION.
- D. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES.
- E. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING
- IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
- STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION. PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING AROUND INLETS IS COMPLETE
- WHEN NEEDED A TEMPORARY SEDIMENT TRAP SHOLD BE CONSTRUCTED TO DETAIN SEDIMENT-LADEN RUNOFF FROM DISTURBED AREAS
- F. SILT BARRIERS, ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS, AND ANY FILL USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE BARRIERS.

- G. SLOPES OF BANKS OF RETENTION/DETENTION PONDS SHALL BE CONSTRUCTED NOT STEEPER THAN 3H:1V FROM TOP OF BANK TO TWO FEET BELOW NORMAL WATER LEVEL, AS APPLICABLE
- H. SOD SHALL BE PLACED FOR A 2-FOOT WIDE STRIP ADJOINING ALL CURBING AND AROUND ALL INLETS. SOD SHALL BE PLACED BEFORE SILT BARRIERS ARE REMOVED.
- . WHERE REQUIRED TO PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A LAKE OR SWALE, A TEMPORARY SEDIMENT SUMP SHALL BE CONSTRUCTED. J. FILTER FABRIC SHOULD BE USED FOR STORM DRAIN INLET PROTECTION BEFORE FINAL STABILIZATION.

#### WIND EROSION CONTROL PRACTICES:

- A. WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE:
- BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED (SEE PERMANENT STABALIZATION PRACTICES FOR DETAILS). THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN. CLEARED SITE DEVELOPMENT AREAS NOT CONTINUALLY SCHEDULED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY OR OVERSEEDED AND PERIODICALLY WATERED SUFFICIENTLY TO STABILIZE THE TEMPORARY GROUNDCOVER (SEE TEMPORARY STABALIZATION PRACTICES FOR DETAILS).
- AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST. OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS SHOULD INCLUDE ERECTION OF DUST CONTROL FENCES. A 6-FT GEOTEXTILE FILTER FIBER SHOULD BE HANGING AGAINST THE EXISTING CHAIN LINK FENCE AND GATE.
- B. ALL DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED

STABILIZATION PRACTICES:

SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO 62-621.300(4)(a) STRUCTURAL PRACTICES

SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO 62-621.300(4)(a)

WASTE DISPOSAL:

- A. WASTE MATERIALS ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE AWS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITIES TO HAVE THE DUMPSTER EMPTIED AT LEAST TWICE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFILL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. THE SUPERINTENDEN SHALL BE RESPONSIBLE FOR POSTING AND ENFORCING WASTE MATERIAL PROCEDURES
- HAZARDOUS WASTE HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE POSTED ON THE SITE. THE PERSON WHO MANAGES THE SITE SHALL BE RESPONSIBLE FOR ENFORCING THE PROCEDURES.
- C. SANITARY WASTE SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITY FOR COLLECTION OF THE SANITARY WASTE AT EAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE SITE.
- D. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS, MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

### OFFSITE TRACKING:

- A. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATION PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS, CONTRACTORS SHALL PROVIDE BROAD DIKES HAY BAI ES OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN. SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OF OIL, GREASE OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLE, AND SHALL USE, ABSORBENT FILTER PADS TO CLEAN UP SPILLS AS SOON AS POSSIBLE AFTER OCCURRENCE.
- B. ALL WASH WATER FROM CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC. SHALL BE DETAINED ON SITE AND SHALL BE PROPERLY TREATED OR DISPOSED.
- . IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- D. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY

MAINTENANCE:

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING

- A. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- B. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- THE COMPOST ROCK FILTRATION DEVICE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDIMENT AND CONDITION OF DEVICE. COMPOST SOCK SHALL BE REPAIRED TO ITS ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE COMPOST SOCK WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE COMPOST SOCK.
- D. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- E. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND

- F. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. THE SEDIMENT BASINS/DITCHES SHALL BE CHECKED MONTHLY FOR DEPTH OF SEDIMENT. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 10% AND AFTER CONSTRUCTION IS COMPLETE.
- G. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN SEVEN CALENDAR DAYS FOLLOWING THE INSPECTION.DIVERSION DIKES SHALL BE INSPECTED MONTHLY. ANY BREACHES SHALL BE PROMPTLY REPAIRED.
- H. A MAINTENANCE REPORT SHALL BE COMPLETED DAILY AFTER EACH INSPECTION OF THE SEDIMENT AND EROSION CONTROL METHODS. THE REPORTS SHALL BE FILED IN AN ORGANIZED MANNER AND RETAINED ON-SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETED. THE REPORTS SHALL BE SAVED FOR AT LEAST THREE YEARS. THE REPORTS SHALL BE AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION CONTROL.
- I. ALL REPAIRS MUST BE MADE WITHIN 24 HOURS OF REPORT.
- J. THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES THAT COMPLETE INSPECTIONS AND REPORTS.
- K. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.

## SPILL PREVENTION AND CONTROL

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

#### A. GOOD HOUSEKEEPING

- 1. SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS.
- 2. STORE ONLY ENOUGH MATERIAL ON SITE FOR PROJECT COMPLETION.
- 3. ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER.
- 4. ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.
- 5. PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.
- 6. ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- B. HAZARDOUS PRODUCTS
- 1. MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED.
- 2. PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE REGULATIONS. C. PRODUCT SPECIFIC PRACTICES
- 1. PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY
- LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON SITE.
- 2. THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
- 3. PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROVED MANNER.
- 4. CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

#### SPILL CLEAN UP:

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED ABOVE, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- A. SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE TO INFORM EMPLOYEES ABOUT CLEANUP PROCEDURES AND RESOURCES.
- B THE FOLLOWING CLEAN-UP FOUIPMENT MUST BE KEPT ON-SITE NEAR THE MATERIAL STORAGE AREA: GLOVES, MOPS, RAGS, BROOMS, DUST PANS, SAND, SAWDUST, LIQUID ABSORBER GOGGLES AND TRASH CONTAINERS
- C. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ONSITE AND READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- D. ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE
- E. WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL VENTILATED AND THE EMPLOYEE SHALL WEAR PROPER PROTECTIVE COVERING TO PREVENT INJURY.
- F. TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL G. AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT
- FURTHER SIMILAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL, MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL BE RECORDED.
- H. THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR AND IS RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OVERSEES THE SPILL PREVENTION PLAN AND SHALL BE RESPONSIBLE FOR EDUCATING THE EMPLOYEES ABOUT SPILL PREVENTION AND CLEANUP PROCEDURES.

#### SEQUENCE OF CONSTRUCTION

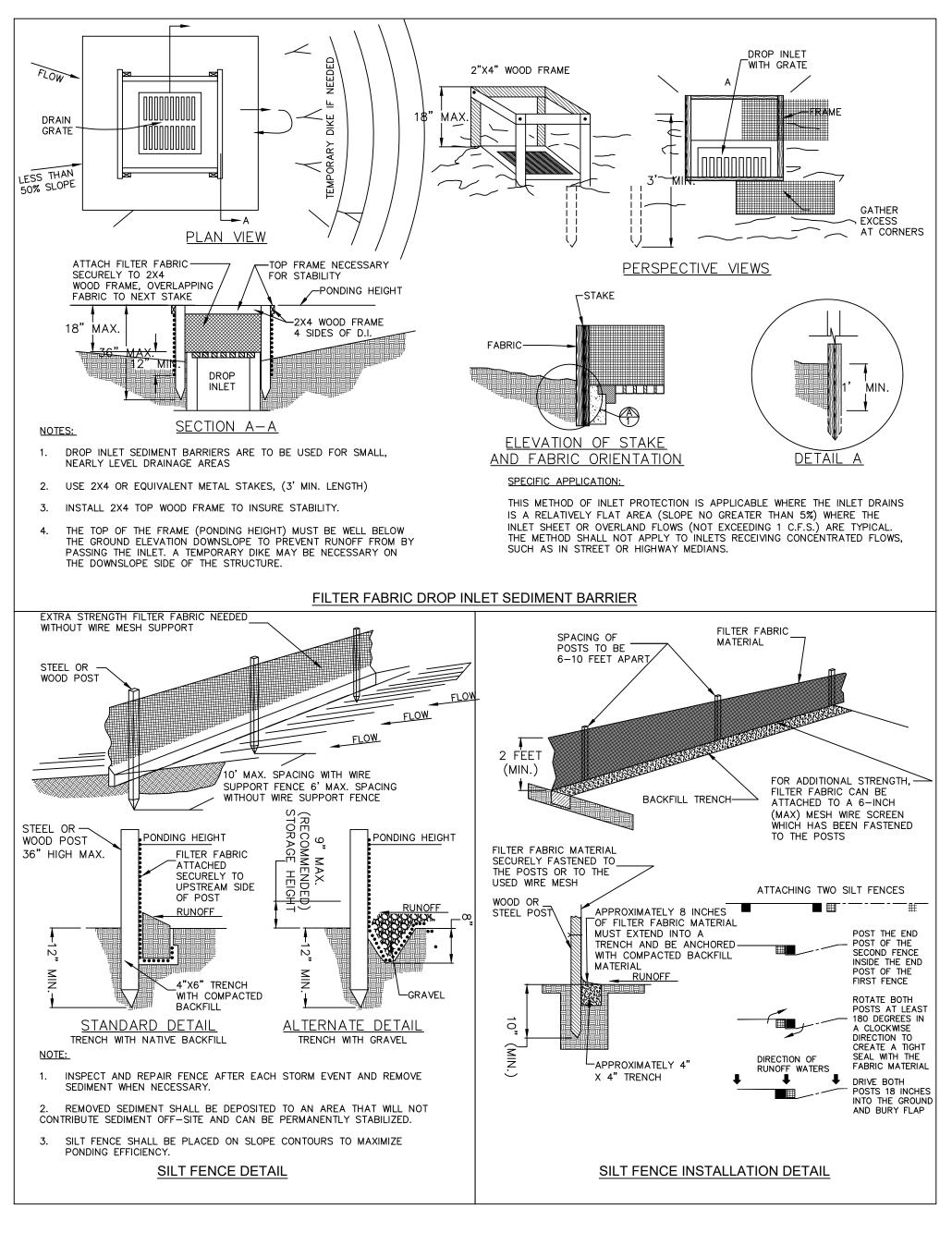
UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

- 1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AND INSTALL SILT FENCE 2. DEMOLISH EXISTING STRUCTURES, (IF APPLICABLE)
- 3. CONSTRUCT AND STABILIZE SEDIMENT BASIN AND DRAINAGE SWALES WITH
- APPROPRIATE OUTFALL STRUCTURES (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL CONTROL DEVICES LISTED ABOVE)
- 4. INSTALL AND STABILIZE ANY NECESSARY HYDRAULIC CONTROL STRUCTURES (DIKES, CHECK DAMS, OUTLET TRAPS, ETC.)
- 5. PREPARE CLEARING AND GRUBBING OF THE SITE, (IF APPLICABLE)
- 6. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES
- 7. PERFORM MASS GRADING, ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS
- 8. TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE AS REQUIRED BY GENERIC PERMIT.

HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEER CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION OF BMPS GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.

CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL DEWATERING PERMITS NECESSARY FOR CONSTRUCTION.

THE SEQUENCE OF CONSTRUCTION SHOWN ABOVE IS A GENERAL OVERVIEW AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN AND SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IMMEDIATELY. PRIOR TO AND/OR DURING CONSTRUCTION IF ANY ADDITIONAL INFORMATION ON THE CONSTRUCTION SEQUENCE IS NECESSARY, CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL OTHER APPLICABLE LAWS

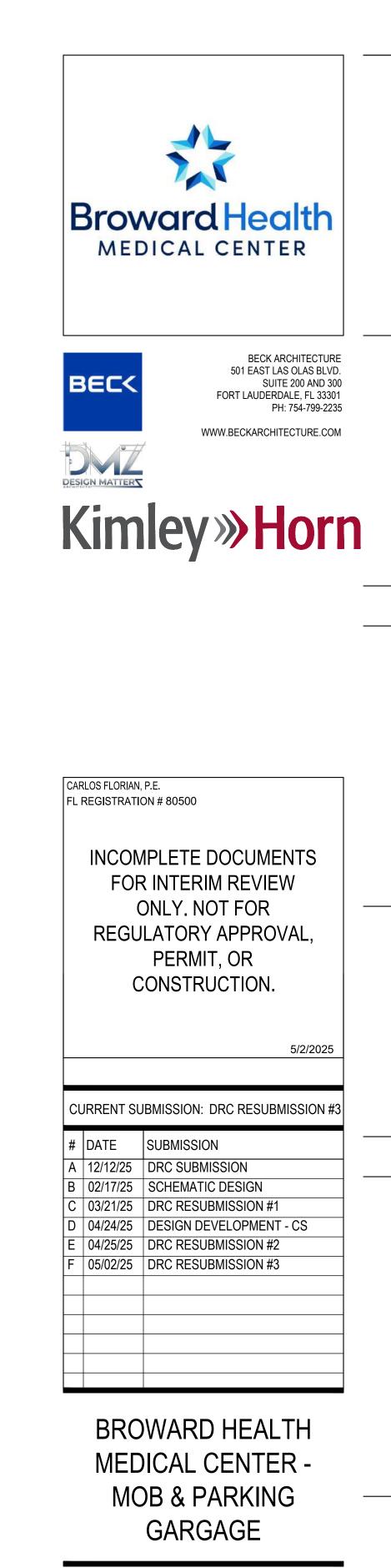


NOTES:

- 1. CONTRACTOR TO CONSIDER POTENTIAL DEWATERING ACTIVITIES WHEN PREPARING BID DOCUMENTS FOR THIS PROJECT.
- 2. CONTRACTOR SHALL OBTAIN ANY NECESSARY DEWATERING PERMITS AS SITE CONDITIONS AND CONSTRUCTION ACTIVITIES REQUIRE.
- 3. CONTRACTOR TO USE BEST MANAGEMENT PRACTICES TO ENSURE COMPLIANCE WITH NPDES AND WATER MANAGEMENT DISTRICT REGULATIONS FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND DEWATERING OPERATIONS.
- 4. IT SHOULD BE NOTED THAT THE MEASURE IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMP(S). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS NECESSARY TO CONFORM TO CURRENT CITY, FDEP AND SFWMD CODES AND SPECIFICATIONS.

PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM





Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

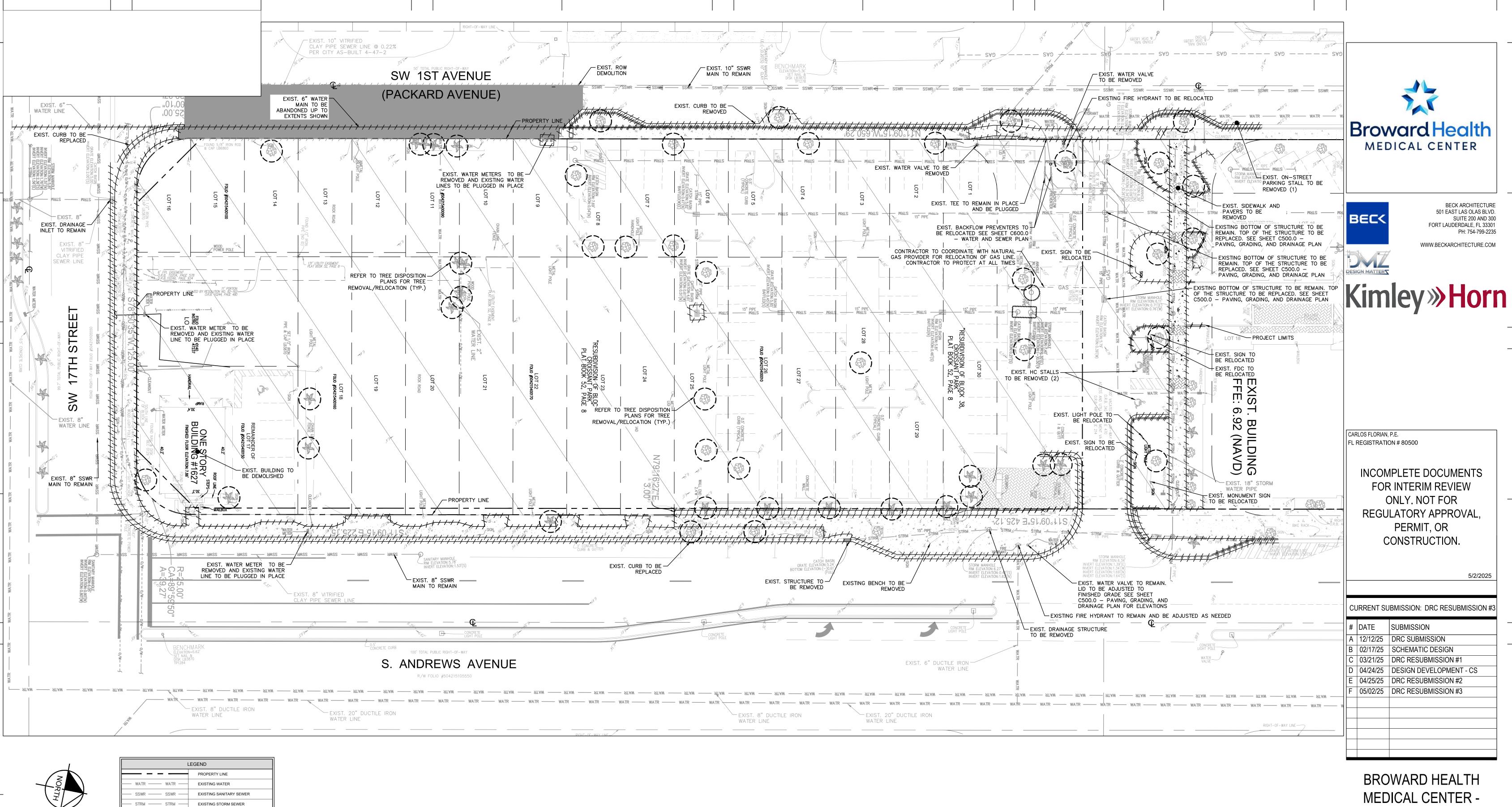
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**EROSION CONTROL** 

NOTES AND DETAILS

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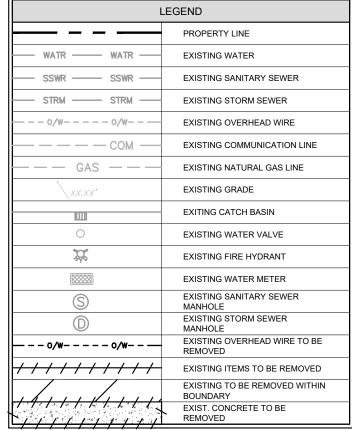
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THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS

BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM

MOB & PARKING GARGAGE



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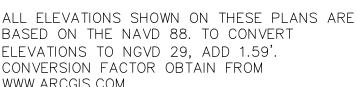
Check positive response codes before you dig!

**DEMOLITION PLAN** 

175309 JOB NO.

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## DEMOLITION NOTES AND SPECIFICATIONS:

SHOULD ANY SECTION OF THESE DEMOLITION NOTES BE IN DIRECT CONFLICT WITH THE PROVISIONS OR TECHNICAL SPECIFICATIONS CONTAINED IN THE CONTRACT DOCUMENT FOR THIS PROJECT, THE INTENT OF THE CONTRACT DOCUMENT SHALL GOVERN. I. GENERAL

#### FOR THIS PROJECT, "OWNER" SHALL MEAN NORTH BROWARD HOSPITAL DISTRICT, "SURVEY" SHALL MEAN THE BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY PULICE LAND SURVEYORS, INC. ON 09/16/2024 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: L.S.2691, AND "ENGINEER" SHALL MEAN THE ENGINEER OF RECORD.

- 1. EXISTING CONDITIONS, UTILITIES, STRUCTURES AND OTHER IMPROVEMENTS, AS SHOWN ON THE DEMOLITION DRAWINGS, WERE TAKEN FROM THE SURVEY, AND FROM INFORMATION PROVIDED BY UTILITY COMPANIES. AN ATTEMPT HAS BEEN MADE TO SHOW ALL EXISTING STRUCTURES, UTILITIES, DRIVES, WALKS, ETC., IN THEIR APPROXIMATE LOCATION. OTHERS MAY EXIST AND MAY BE FOUND UPON VISITING THE SITE. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACCURATELY LOCATE ALL FACILITIES AND TO DETERMINE THEIR EXTENT. IF SUCH FACILITIES OBSTRUCT THE PROGRESS OF THE WORK AND ARE NOT INDICATED TO BE REMOVED OR RELOCATED, THEY SHALL BE REMOVED OR RELOCATED ONLY AS DIRECTED BY THE OWNER, ARCHITECT, OR ENGINEER OF RECORD, AT NO ADDITIONAL COST TO THE OWNER.
- 2. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- 3. ORGANIZE AND PERFORM DEMOLITION WORK TO AVOID DAMAGE TO CONSTRUCTION INTENDED TO REMAIN, INCLUDING TREES (SEE LANDSCAPE PLANS FOR DETAILS).
- 4. DEMOLITION AND REMOVAL OPERATIONS SHALL BE CONDUCTED IN AN EXPEDIENT MANNER, WITH PRECAUTIONS TAKEN TO PREVENT THE DEMOLITION SITE FROM BEING A NUISANCE.
- 5. PERFORM REMOVAL AND DEMOLITION IN ACCORDANCE WITH DEMOLITION SCHEDULE (REFER TO SECTION IV.) AND TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING ADJACENT BUILDINGS, FURNISHINGS, AND EQUIPMENT, NOTIFY THE ENGINEER OF ANY CONDITIONS THAT MAY AFFECT THE SAFETY OF OCCUPANTS OF ADJACENT BUILDINGS, THE NORMAL USE OF THESE FACILITIES, OR THE PHYSICAL CONDITION OF THE STRUCTURES.
- 6. ALL EXISTING UTILITIES OUTSIDE THE PROPERTY BOUNDARIES ARE TO REMAIN, UNLESS OTHERWISE NOTED.
- 7. PRIOR TO DEMOLITION ACTIVITIES, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL AFFECTED UTILITY COMPANIES IN ORDER TO COORDINATE THE DEACTIVATION OF ALL EXISTING UTILITY LINES WITHIN THE PROPERTY. ONCE ALL ONSITE UTILITIES HAVE BEEN DEACTIVATED, ALL LINES SHALL BE CUT AND CAPPED INSIDE THE PROPERTY LINE, AND REMOVED (UNLESS OTHERWISE INDICATED).
- 8. THE CONTRACTOR SHALL USE EXTREME CAUTION IN REMOVING ANY STRUCTURES AND UTILITIES ABOVE AND BELOW GRADE TO PREVENT DAMAGE TO EXISTING UTILITIES WHICH ARE TO REMAIN IN SERVICE. ANY DAMAGE TO EXISTING PIPELINES. UTILITIES, ETC., CAUSED BY THE CONTRACTOR SHALL BE REPAIRED. AT THE CONTRACTOR'S EXPENSE, IN A MANNER ACCEPTABLE TO THE PARTY IN OWNERSHIP OF THE DAMAGED PROPERTY. THE CONTRACTOR SHALL REPORT ANY EXISTING DAMAGE PRIOR TO BEGINNING WORK. IN THE EVENT OF ACCIDENTAL DISRUPTION OF UTILITIES OR THE DISCOVERY OF PREVIOUSLY UNKNOWN UTILITIES, STOP WORK IMMEDIATELY AND NOTIFY THE AFFECTED UTILITY COMPANY AND THE ENGINEER. DO NOT CONTINUE WORK UNTIL THE UTILITY COMPANY. ENGINEER, AND CONTRACTOR AGREE ON A PLAN TO CORRECT THE SITUATION OR IDENTIFY THE UTILITY SERVICE LINE.
- 9. EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED, OR IN ANY WAY DISTURBED OR AI TERED BY THI CONTRACTORS ACTIVITIES SHALL BE REPAIRED, PATCHED OR REPLACED, SOLELY AT THE CONTRACTOR'S EXPENSE, TO THE ENGINEER'S AND OWNER'S SATISFACTION.
- 10. TITLE AND RESPONSIBILITY TO MATERIALS AND EQUIPMENT TO BE REMOVED. EXCEPT SALVAGEABLE EQUIPMENT TO BE RETAINED BY THE OWNER, IS VESTED TO THE CONTRACTOR UPON RECEIPT OF NOTICE TO PROCEED. THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITION, LOSS OR DAMAGE TO SUCH MATERIALS AND EQUIPMENT AFTER THE ISSUANCE OF THE NOTICE TO PROCEED.
- 11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO: A. PROTECT ALL EXISTING STRUCTURAL AND VEGETATIVE ELEMENTS TO REMAIN DURING DEMOLITION UNLESS OTHERWISE SPECIFIED.
- B. IF APPLICABLE, PATCH AND REPAIR ALL SURFACES WITHIN THE PUBLIC R/W AFFECTED BY DEMOLITION
- C. SAW-CUT IN NEAT, STRAIGHT LINES, EXISTING CONC. OR ASPHALT PAVEMENT.
- D. REMOVE ALL EXISTING IRRIGATION LINES WITHIN THE LIMITS OF DEMOLITION UNLESS OTHERWISE NOTED.
- E. ALL EXISTING CHAIN LINK FENCES AND CBS WALLS ALONG THE PERIMETER OF THE PROPERTY SHALL REMAIN, UNLESS OTHERWISE SPECIFIED.
- F. NO ELECTRIC POLES, STREET LIGHTS, WATER METERS/VALVES, FIRE HYDRANTS ETC. WILL BE REMOVED WITHIN THE ROADWAY RIGHT-OF-WAY, UNLESS OTHERWISE NOTED ON THE DEMOLITION PLANS.
- G. REFER TO LANDSCAPE PLANS FOR VERIFICATION OF ALL EXISTING TREES TO BE REMOVED. RELOCATED OR TO REMAIN.
- MAINTAIN ALL EXISTING SURVEY REFERENCES AND MARKERS IN PLACE, OTHERWISE THEY SHALL BE REPLACED BY THE CONTRACTOR AT NO

#### **II. DESCRIPTION**

PLANS.

- 1. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, ETC., NECESSARY AND INCIDENTAL TO THE COMPLETION OF ALL SITE DEMOLITION AND CLEARING WORK AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING THE LEGAL TRANSPORT AND OFF-SITE DISPOSAL OF DEMOLITION DEBRIS.
- 2. ALL SITE WORK INCLUDES , BUT IS NOT LIMITED TO THE FOLLOWING:
- A. FULL-DEPTH REMOVAL OF EXISTING SIDEWALKS, DRIVES, CURBS, AND PAVEMENT.
- B. FULL DEPTH REMOVAL OF EXISTING BUILDING FOUNDATIONS, UNDERGROUND UTILITIES AND RELATED STRUCTURES.
- C. CLEARING SITE OF VEGETATION AND TREES AS NOTED ON THE LANDSCAPE
- D. CLEARING SITE OF DEMOLITION DEBRIS.

DEACTIVATION OF EXISTING UTILITIES.

ADDITIONAL COST TO THE OWNER.

- E. REMOVAL FROM SITE AND DISPOSAL OF ALL EXCESS AND UNUSABLE MATERIAL.
- F. COORDINATION WITH ALL UTILITY COMPANIES/OWNERS PRIOR TO

### **III. APPLICABLE CODES**

- 1. DEMOLITION AND TRANSPORTATION OF DEBRIS SHALL COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS GOVERNING THESE OPERATIONS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS, BONDS, LICENSES, ETC., REQUIRED FOR DEMOLITION AND CLEARING WORK.
- 2. ANY WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT. AND OTHER GOVERNMENTAL AGENCIES WHO MAY HAVE JURISDICTION OF THE PUBLIC RIGHT-OF-WAY. SAID WORK SHALL NOT BEGIN UNTIL THE CONTRACTOR HAS OBTAINED ALL PERMITS AND NOTIFIED ALL THE GOVERNING AUTHORITIES.

#### IV. SEQUENCING AND SCHEDULING

- AREAS ADJACENT TO DEMOLITION AND REMOVAL WORK MAY BE OCCUPIED AND THEIR ACTIVITIES CANNOT BE INTERRUPTED OR DISTURBED DURING NORMAL WORKING HOURS. DEMOLITION SCHEDULE SHALL BE COORDINATED WITH ALL ADJACENT PROPERTY OWNERS AND ANY OTHER PARTIES WHOSE DAILY ACTIVITIES WOULD BE AFFECTED BY THE DEMOLITION WORK.
- 2. COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR UTILITY LINE REMOVAL, CAPPING AND UTILITY SHUTDOWNS NECESSITATED BY REMOVAL WORK.

#### **V. ENVIRONMENTAL PROTECTION**

- 1. CONTROL AMOUNT OF DUST RESULTING FROM CONSTRUCTION OR DEMOLITION TO PREVENT SPREAD OF DUST TO OTHER BUILDINGS AND TO AVOID CREATION OF A NUISANCE IN SURROUNDING AREAS. USE OF WATER TO CONTROL DUST WILL NOT BE PERMITTED WHEN IT WILL RESULT IN, OR CREATE, HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
- 2. NOISE PRODUCING ACTIVITIES SHALL BE HELD TO A MINIMUM. INTERNAL COMBUSTION ENGINES AND COMPRESSORS, ETC., SHALL BE EQUIPPED WITH MUFFLERS TO REDUCE NOISE TO A MINIMUM. CONTRACTOR SHALL COMPLY WITH ALL NOISE ABATEMENT ORDINANCES.
- 3. THE USE OF EXPLOSIVES WILL NOT BE PERMITTED.
- 4. DISPOSITION OF DEMOLISHED MATERIALS BY BURNING IS NOT PERMITTED.
- 5. ALL CLEARING SHALL BE PERFORMED IN A MANNER SUCH AS TO PREVENT ANY WASH-OFF OF SOILS AND DEBRIS FROM THE SITE INTO PUBLIC RIGHT-OF-WAY WATER BODIES. AND/OR STORM DRAINAGE SYSTEMS. APPROPRIATE SEDIMENTATION PONDS, DIKES, COLLARS, AND FILTER MEDIA SHALL BE EMPLOYED TO INSURE COMPLIANCE WITH THESE REQUIREMENTS. WHERE A SPECIFIC STATUTE GOVERNS THESE PROCEDURES, SUCH STATUTE SHALL BE COMPLIED WITH IN ITS ENTIRETY.
- 6. AT ALL TIMES DURING THE CLEARING OPERATION, THE EXPOSED AREAS OF SUBGRADE SHALL BE MAINTAINED IN A CONDITION COMPATIBLE WITH POSITIVE DRAINAGE OF THE WORK AREA. NO WATER WILL BE PERMITTED TO STAND IN OPEN EXCAVATIONS. ALL STORMWATER RUNOFF SHALL BE CONTAINED WITHIN THE SITE. FAILURE TO MAINTAIN SUCH DRAINAGE SHALL BE CONSIDERED ADEQUATE CAUSE TO ORDER TEMPORARY SUSPENSION OF THE WORK.
- 7. IF IT SHOULD BECOME NECESSARY TO STOP WORK FOR INDEFINITE PERIODS, THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE OR DETERIORATION OF THE WORK ALREADY PERFORMED, PROVIDE SUITABLE AND FUNCTIONAL DRAINAGE BY OPENING DITCHES, FILTER DRAINS, TEMPORARY CUT-OFE LINES, ETC., AND ERECT TEMPORARY PROTECTIVE STRUCTURES WHERE NECESSARY. ALL EMBANKMENTS SHALL BE BACK-BLADED AND SUITABLY SEALED TO PROTECT AGAINST ADVERSE WEATHER CONDITIONS.
- 8. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS WHEN REMOVING ABANDONED AND DE-ENERGIZED MATERIALS. IF ASBESTOS PIPES ARE ENCOUNTERED, THE CONTRACTOR WILL TAKE ALL NECESSARY ABATEMENT STEPS AS REQUIRED BY GOVERNING REGULATIONS TO SAFELY REMOVE AND DISPOSE OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF SAID MATERIALS.
- 9. THE CONTRACTOR SHALL SECURE THE WORK AREA WITH FENCING OR OTHER MEANS AS APPROVED BY THE OWNER.

#### VI. TRAFFIC MAINTENANCE

- 1. THE CONTRACTOR SHALL FOLLOW FDOT MAINTENANCE OF TRAFFIC PROCEDURES DURING DEMOLITION IN PUBLIC RIGHT-OF-WAYS AND PRIVATE DRIVEWAYS, PEDESTRIANS PATHS. AND ROADWAYS (INDEX 102-600 SERIES), AND PREPARE AND OBTAIN APPROVAL OF SUCH MAINTENANCE OF TRAFFIC PLAN FROM THE APPROPRIATE REGULATORY AGENCY.
- 2. THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING, SHORING, TEMPORARY CROSSOVER FOR PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING GUARDRAILS, LAMPS. WARNING SIGNS AND FLAGS AS REQUIRED BY AGENCIES HAVING JURISDICTION, AND SHALL NOT REMOVE THESE UNTIL THE NEED FOR PROTECTION CEASES.
- 3. THE CONTRACTOR MAY NOT CLOSE ANY SIDEWALKS WITHOUT PROVIDING ALTERNATE ROUTES IN ACCORDANCE WITH FDOT INDEX 102-660 AND OBTAINING APPROVAL FROM THE GOVERNING JURISDICTIONAL AGENCY.
- 4. THE CONTRACTOR SHALL CONDUCT REMOVAL OPERATIONS SO THAT TRAFFIC IS MAINTAINED ALONG EXISTING STREETS AND WALKS. ALL PUBLIC PAVED STREETS AND WALKWAYS MUST BE KEPT FREE OF DEBRIS. THE CONTRACTOR MUST REMOVE MATERIAL AND OTHER MATTER TRACKED OR FALLEN ONTO TRAFFIC SURFACES.

#### VII. CLEAN UP

- REMOVE DEMOLISHED CONSTRUCTION MATERIALS AND RELATED DEBRIS FROM THE SITE ON A REGULAR BASIS. ACCUMULATION OF DEBRIS ON THE SITE WILL NOT BE PERMITTED. SELLING OF SALVAGEABLE MATERIALS IS NOT PERMITTED AT THE SITE.
- REMOVE MATERIALS, INCLUDING DEBRIS AND DUST, AND DISPOSE OF LEGALLY OFF SITE. NO DEBRIS SHALL BE BURNED OR BURIED ON THE SITE AS A MEANS OF DISPOSAL. USE METHODS APPROVED BY THE REGULATORY AGENCIES PRIOR TO BEGINNING CLEANUP OPERATIONS. USE OF BLOWERS TO DISTRIBUTE DUST WILL NOT BE PERMITTED.
- 3. MATERIAL DESIGNATED FOR REMOVAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND ANY SALVAGE VALUE THERE FROM WILL ACCRUE TO THE CONTRACTOR
- GENERAL DEMOLITION SPECIFICATIONS:
- 1. THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES SHOWN ON THE DRAWINGS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY.
- 2. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES AND OTHER FEATURES AFFECTING THE WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT MIGHT IMPACT THE WORK
- 3. CHAPTER 553.851 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL UTILITIES A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO FXCAVATING.
- 4. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE EXCAVATION.
- 5. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE ORDERLY DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, PAVEMENT AND UTILITIES AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.
- 6. THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMSELF WITH THE STRUCTURES TO BE DEMOLISHED.
- 7. THE FOLLOWING LIST OF STRUCTURES REQUIRING DEMOLITION IS INCLUDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE DRAWINGS INDICATE THE SCOPE OF DEMOLITION WHERE DEMOLITION IS REQUIRED. 7.1. DEMOLITION AND REMOVAL OF A 5' MIN. ± STRIP OF EXISTING ON-SITE ASPHALT,
- CONCRETE AND CURBING AROUND THE PERIMETER OF THE EXISTING STRUCTURES AND UTILITIES BEING DEMOLISHED. 7.2. REMOVAL OF EXISTING ON-SITE ABOVEGROUND AND UNDERGROUND UTILITIES. INCLUDING REMOVAL OR PLUGGING OF EXISTING UTILITIES AS SHOWN ON PLANS.
- 8. PRIOR TO REMOVAL OF ANY UNDERGROUND TANK AND OTHER COMPONENT, CONTRACTOR MUST COMPLETELY DRAIN THE SYSTEMS TO AN APPROVED SANITATION TANK FOR DISPOSAL TO AN APPROVED LOCATION, AS REQUIRED BY DISPOSAL PFRMIT
- 9. PROTECT ALL UTILITIES, UNLESS OTHERWISE NOTED.
- 10. ALL THE CONCRETE AND PAVEMENT TO BE REMOVED MUST BE SAW CUT CLEAN PRIOR TO REMOVAL.
- 11. WET DOWN MASONRY WALLS AND DEBRIS DURING DEMOLITION AND LOADING OPERATIONS TO PREVENT THE SPREAD OF DUST (AS APPLICABLE TO PROJECT).
- 12. ALL EXISTING STRUCTURES, PAVEMENTS, SLABS, FOUNDATIONS, STEPS AND OTHER ON-SITE EXISTING FEATURES INDICATED ON THE DRAWINGS TO BE REMOVED SHALL BE DEMOLISHED AND REMOVED BY THE CONTRACTOR (AS APPLICABLE TO PROJECT)
- 13. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ON THE DRAWINGS ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.

- 14. THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO REMOVAL OR RELOCATION OF ANY ELECTRICAL, TELEPHONE, CABLE AND/OR GAS LINES. SUFFICIENT TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- 15. CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER/ENGINEER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINANT IS ENCOUNTERED DURING THE DEMOLITION/EXCAVATION PROCESS.
- 16. FILL FOR LOWER LEVELS OF DEMOLISHED STRUCTURES MAY INCLUDE CONCRETE OR MASONRY RUBBLE RESULTING FROM DEMOLITION, SUBJECT TO THE ENGINEER'S/ARCHITECT'S APPROVAL. RUBBLE SHALL PASS THROUGH A THREE-INCH
- 17. REMOVE AND LEGALLY DISPOSE OF ALL OTHER RUBBISH, RUBBLE, AND DEBRIS. COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING DISPOSAL OF WASTES AND DEBRIS.
- 18. MAINTAIN ACCESS TO SURROUNDING PROPERTIES AND BUILDINGS.
- 19. PRIOR TO DEMOLITION OCCURRING ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- 20. ALL TRAFFIC SIGNS OUTSIDE THE DEMOLITION AREA ARE TO REMAIN UNLESS OTHERWISE SPECIFIED.
- 21. ANY MUCK ENCOUNTERED UNDER PROPOSED STRUCTURES SHALL BE REMOVED TO FIVE-FEET BEYOND THE FOOTPRINT OF THAT STRUCTURE. BACKFILL WITH APPROVED FILL MATERIAL SATISFYING ALL COMPACTION REQUIREMENTS.
- 22. ALL EXISTING UTILITIES WITHIN THE DEMOLITION SITE AREA SHALL BE ADJUSTED, REMOVED OR RELOCATED AT THE CONTRACTOR'S EXPENSE. WORK SHALL BE COORDINATED BY THE CONTRACTOR DIRECTLY WITH THE APPROPRIATE UTILITY COMPANY. ALL EXPENSES SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
- 23. ALL TRASH, DEBRIS AND OTHER MATERIAL REMOVED FROM THE SITE SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. PRE-DEMOLITION RESPONSIBILITIES:
- UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRE-DEMOLITION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE ENGINEER AND THE CONTRACTOR.
- PRIOR TO DEMOLITION, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT A DEMOLITION SCHEDULE DEPICTING EACH PHASE OF THE WORK.
- 3. PRIOR TO DEMOLITION, CONTRACTOR TO PROVIDE FOR THE OWNER A LISTING OF THE FACILITIES THE CONTRACTOR SHALL UTILIZE FOR RECYCLING AND DISPOSAL OF SPECIFIC MATERIALS. CONTRACTOR TO INDICATE THE MATERIALS INTENDED FOR RECYCLING AND THE MATERIALS INTENDED FOR DISPOSAL FOR OWNER'S APPROVAL
- PRIOR TO DEMOLITION, CONTRACTOR TO PROVIDE THE OWNER SKETCHES SHOWING PROPOSED HAULING ROUTES TO RECYCLING AND DISPOSAL FACILITIES FOR APPROVAL
- 5. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF DEMOLITION.
- 6. EXISTING UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE. THE CITY AND THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES SHOWN OR FOR ANY EXISTING UTILITIES NOT SHOWN.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH IT FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER. THE CONTRACTOR IS RESPONSIBLE AS WELL FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.
- 8. THE LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY.
- 9. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL FIELD LOCATE EXISTING UNDERGROUND UTILITIES WITH THE UTILITY OWNERS.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR RELOCATION'S OF THE VARIOUS EXISTING UTILITIES WITH THE UTILITY OWNERS, WHICH SHALL BE DONE IN A TIMELY MANNER TO MINIMIZE IMPACT ON DEMOLITION SCHEDULE. ANY DELAY CAUSED BY THE CONTRACTOR BY THE RELOCATION OF UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- 11. SUNSHINE STATE ONE CALL OF FLORIDA, INC. REQUIRES THE CONTRACTOR TO CALL TWO (2) FULL BUSINESS DAYS (BUT NOT MORE THAN FIVE) PRIOR TO BREAKING GROUND TO FIND OUT WHERE BURIED FACILITIES (ELECTRICAL, GAS, TELEPHONE, CABLE, WATER) ARE LOCATED.

#### DEMOLITION SAFETY:

- 1. ALL DEMOLITION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL BE STRICTLY OBSERVED.
- 2. PROVIDE ADEQUATE PROTECTION FOR PERSONS AND PROPERTY AT ALL TIMES. EXECUTE THE WORK IN A MANNER TO AVOID HAZARDS TO PERSONS AND PROPERTY AND PREVENT INTERFERENCE WITH THE USE OF AND ACCESS TO ADJACENT BUILDINGS. STREETS AND SIDEWALKS SHALL NOT BE UNNECESSARILY BLOCKED BY DEBRIS AND EQUIPMENT.
- 3. BUILDING MATERIALS TO BE REMOVED SHALL BE TESTED FOR ASBESTOS AND LEAD
- 4. IF PETROLEUM PRODUCTS ARE FOUND WHILE DEMOLISHING, DISPOSE OF PETROLEUM WASTE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

#### PAVEMENT DEMOLITION:

- 5. WHERE EXISTING PAVEMENT IS TO BE REMOVED, SAW-CUT THE SURFACING LEAVING A UNIFORM AND STRAIGHT EDGE WITH MINIMUM DISTURBANCE TO THE REMAINING ADJACENT SURFACING. IF DEMOLITION RESULTS IN RAVELING OF SAW CUT SURFACE, RECUT BACK FROM THE RAVELED EDGE PRIOR TO RESTORATION.
- WHERE EXISTING PAVEMENT, CURB, CURB AND GUTTER, SIDEWALK, DRIVEWAY, OR VALLEY GUTTER IS REMOVED FOR INLETS, MANHOLES, APPURTENANCES, FACILITIES OR STRUCTURES, SAID PAVEMENT, SHALL BE REPLACED WITH NEW PAVEMENT, ETC. CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT, TOOLS, SUPPLIES, AND OTHER EQUIPMENT AS REQUIRED.
- CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THE DRAWINGS. HOWEVER. IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, SIDEWALK, BUILDINGS, UTILITIES, ETC., THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND REPLACEMENT. REPLACEMENT PAVEMENT, SIDEWALK, ETC., SHALL BE NEW.
- . DEMOLITION PERMITTING:
- 9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY REQUIRED PERMITS FOR DEMOLITION FROM RESPONSIBLE REGULATORY AGENCIES WHILE FULLY ACKNOWLEDGING AND COMPLYING WITH ALL REQUIREMENTS PRIOR TO COMMENCING DEMOLITION WORK.
- 10. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXTENT OF DEMOLITION, RECYCLING OR REUSE REQUIRED TO PERFORM THE CONTRACT WORK FOR THIS PROJECT. THE CONTRACTOR SHALL CONDUCT SITE VISITS AND SHALL EXAMINE ALL THE INFORMATION WITHIN THESE DOCUMENTS. ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BID SUBMITTAL.
- 11. THE CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO COMMENCEMENT OF ANY WORK. ACTUAL REMOVAL AND/OR RELOCATION OF ALL EXISTING LANDSCAPING WITHIN DEMOLITION AREAS TO BE CONDUCTED BY A LANDSCAPE CONTRACTOR. IT IS THE RESPONSIBILITY OF THE SITEWORK DEMOLITION CONTRACTOR TO COORDINATE DEMOLITION ACTIVITIES WITH THE LANDSCAPE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND PRESERVING TREES AS INDICATED ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TREE REMOVAL PERMIT OR ANY OTHER APPLICABLE PERMIT TO REMOVE, RELOCATE, OR PRESERVE EXISTING LANDSCAPE AND TREES.
- 12. ANY TREES FOR REMOVAL FOUND TO BE GREATER THAN OR EQUAL TO THREE ( INCHES IN DIAMETER AT BREAST HEIGHT (DBH) SHALL REQUIRE A PERMIT WITH THE BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT (BCEPGMD).

- 13. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE THE LIGHTING, STORM INLET STRUCTURES, OR OTHER STRUCTURES DESIGNATED TO BE SAVED, THEN THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 14. DEMOLITION EROSION AND SEDIMENT CONTROL NOTES:
- 15. THE SCHEDULING, SEQUENCING AND CONTROL MEASURES, WHICH ARE OUTLINED HEREIN, ARE SUBJECT TO THE FINAL DEFINITION BY THE CONTRACTOR WHO SHALL BE SELECTED TO PERFORM THE WORK AND SHALL BE RESPONSIBLE FOR IMPLEMENTATION AND COMPLIANCE.
- 16. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT A DEMOLITION SCHEDULE DEPICTING EACH PHASE OF THE WORK. THE CONTRACTOR SHALL ALSO BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN ENCOMPASSING THE PRINCIPALS AND THE REQUIREMENTS DESCRIBED HEREIN AND A SCHEDULE FOR THEIR IMPLEMENTATION AND MAINTENANCE FOR THE PROJECT DURATION.
- 17. DURING DEMOLITION. THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO ENSURE AGAINST POLLUTING, SILTATION OR DISTURBANCE TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING DRAINAGE SYSTEMS AND ADJACENT WATER BODIES AND WETLANDS, IN COMPLIANCE WITH ALL PERMIT REQUIREMENTS RELATED TO SUCH MEASURES.
- 18. METHODS MAY INCLUDE TEMPORARY EROSION AND SEDIMENT CONTROLS SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, SILT BARRIERS, SILT SCREENS, TURBIDITY BARRIERS OR THE BEST MANAGEMENT PRACTICES AVAILABLE TO THE INDUSTRY.
- 19. EROSION AND SEDIMENT CONTROL INSTALLATIONS SHALL BE MAINTAINED THROUGHOUT THE DEMOLITION PERIOD AND UNTIL NEW VEGETATIVE GROWTH HAS BEEN ESTABLISHED.
- 20. THROUGHOUT THE DEMOLITION PERIOD, THE CONTRACTOR SHALL INSPECT DAILY THE EROSION AND SEDIMENT CONTROL INSTALLATIONS FOR FAILURE OR SIGNS OF FAILURE OR MALFUNCTION. REPAIR OR REPLACE THE EROSION AND SEDIMENT CONTROL INSTALLATIONS IMMEDIATELY UPON DISCOVERY OF FAILURE OR MALEUNCTION.
- 21. INLETS AND CATCH BASINS, EXISTING ON-SITE AND OFF-SITE, SHALL BE PROTECTED FROM SEDIMENT STORM RUNOFF.
- 22. THE CONTRACTOR SHALL PROMPTLY REMOVE ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC ROADS AND FACILITIES DUE TO DEMOLITION.
- 23. DEWATERING ACTIVITIES SHALL NOT RESULT IN ANY DISCHARGE OF TURBID WATER FROM THE PROJECT SITE WITHOUT PROPER EROSION AND SEDIMENT CONTROL AND APPROVAL FROM ENGINEER.
- 24. PHASING OF EROSION CONTROL DEMOLITION SHALL BE RECOMMENDED AS FOLLOWS: PLACEMENT OF PERIMETER PROTECTIVE MEASURES (SILT FENCE, HAY BALES, TURBIDITY BARRIERS, ETC.) AROUND ON-SITE FEATURES TO BE RETAINED, AT POINTS OF OFF-SITE DISCHARGE AND AROUND WORK AREAS TO BE EXCAVATED OR FILLED.
- 25. REROUTE RUNOFF FROM AREAS OUTSIDE OF THE DEMOLITION AREA TO MINIMIZE FLOW THROUGH AREAS TO BE DISTURBED BY DEMOLITION. BERMS, SWALES AND OTHER MEANS USED FOR SUCH CONVEYANCE SHALL BE VEGETATED AND MEASURES TAKEN TO PROVIDE PROTECTION UNTIL STABILIZATION OCCURS (AS APPLICABLE TO THE PROJECT).
- 26. SELECT LOCATIONS FOR PLACEMENT OF EXCAVATED MATERIAL, WHERE SUITABLE FOR FILL OR UNSUITABLE MATERIAL, AND CONSTRUCT CONTAINMENT BERMS AROUND THE AREA. THE USE OF STRIPING FOR THIS PURPOSE MAY ACCELERATE BERM REVEGETATION. CONSTRUCT TEMPORARY OUTLETS FOR CONTAINMENT AREAS WITH SCREENS, HAY BALES, SETTLING BASINS OR OTHER MEASURES TO PREVENT SILT TRANSPORT.
- 27. SELECT / DESIGNATE ACCESS ROUTING FOR DEMOLITION EQUIPMENT AND VEHICLES AND PROVIDE PERIMETER PROTECTIVE MEASURES WHERE EXISTING TERRAIN SHALL BE SUBJECT TO DISRUPTION BY SUCH TRAFFIC.
- 28. CONSTRUCT ABOVE GROUND OR OTHER CONTAINMENT AREAS FOR DEMOLITION AREA RUNOFF. PROVIDE SCREENS, HAY BALES, ETC. TO FILTER DISCHARGE FROM THOSE AREAS
- 29. SPOIL MOUNDS SHALL NOT BE LEFT FOR MORE THAN ONE WEEK PRIOR TO REPLACEMENT UNLESS PROTECTIVE CONTAINMENT MEASURES IN THE WORK AREA ARE APPLIED.
- 30. GRASSING, SODDING, ETC. SHALL BE IN PLACE IMMEDIATELY UPON COMPLETION OF REGRADING, SWALE SLOPES AND THE CONSTRUCTED OR DISTURBED AREAS.
- 31. THE CONTRACTOR IS REQUIRED TO ADHERE TO THE REQUIREMENT OF THE NATIONAL POLLUTION DISCHARGE FLIMINATION SYSTEM (NPDES). THE CONTRACTOR SHALL INSTITUTE BEST MANAGEMENT PRACTICES (BMPS) TO ENSURE COMPLIANCE WITH THE NPDES PROGRAM AND TO MINIMIZE THE IMPACT TO PUBLIC STORMWATER FACILITIES. A NOTICE OF INTENT (NOI) SHALL BE FILED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.
- 32. THE CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN ALL RECORDS REQUIRED BY ITS NPDES STORMWATER PERMIT FOR ITS CONSTRUCTION ACTIVITIES. PRIOR TO CONSTRUCTION, A SILT FENCE IN ACCORDANCE WITH CITY'S DETAIL SHALL BE ERECTED AS NOTED ON PLANS. ALL PROPOSED CATCH BASINS SHALL HAVE THEIR INLETS PROTECTED BY THE INSTALLATION OF FILTER INLET INSERTS INTO THE FRAME AND GRATE. SILT FENCES AND FILTER INLET INSERTS SHALL REMAIN IN PLACE DURING THE ENTIRE DURATION OF CONSTRUCTION. CONTRACTOR SHALL BRACE ALL EXISTING LANDSCAPING TO REMAIN PRIOR TO BEGINNING ANY WORK AND SHALL ENSURE ITS STABILIZATION THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. EXISTING SOD DISTURBED BY CONSTRUCTION THAT IS NOT AFFECTED BY PROPOSED GRADING SHALL BE RESTORED TO NEW CONDITION UPON COMPLETION OF CONSTRUCTION. SODDED SLOPES STEEPER THAN FOUR HORIZONTAL TO ONE VERTICAL SHALL BE PEGGED.
- 33. ALL WASTE GENERATED FROM THE CONSTRUCTION SHALL BE DISCARDED IN ACCORDANCE WITH ALL APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS. CONTRACTOR SHALL OBTAIN ALL APPLICABLE CODES AND BECOME FAMILIAR WITH STATE, LOCAL AND FEDERAL REGULATIONS PRIOR TO BEGINNING CONSTRUCTION. TO ENSURE THAT OFF-SITE VEHICLE TRACKING OF SEDIMENTS AND THE GENERATION OF DUST IS MINIMIZED, CONTRACTOR SHALL PUT INTO PRACTICE THE METHODS DETAILED IN FLORIDA DEPARTMENT OF TRANSPORTATION INDEX 106 (2010 DESIGN STANDARDS) AND BMPS.
- 34. DUST GENERATED FROM CONSTRUCTION SHALL BE MINIMIZED BY DAILY WATERING OF THE SITE.
- 35. AT ANY TIME DURING CONSTRUCTION THAT THE SILT FENCING IS DISTURBED, THE SILT FENCING SHALL BE RESTORED TO ITS ORIGINAL STATE WITHIN 24 HOURS. AT NO TIME DURING CONSTRUCTION SHALL WORK BE PERFORMED WITHOUT THE INTEGRITY OF THE SILT FENCING SECURED.
- 36. A QUALIFIED INSPECTOR, PROVIDED BY THE CONTRACTOR, SHALL INSPECT ALL POINTS OF DISCHARGE INTO NEARBY SURFACE WATER. THE INSPECTION SHALL OCCUR AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER. INSPECTION INCLUDES THE WRITTEN RECORDING OF THE CONDITION OF ALL DISCHARGE POINTS. INTEGRITY OF SILT FENCING, DAILY DUST CONTROL MEASURES, VEHICULAR TRAFFIC AND CONSTRUCTION MATERIAL STORAGE AND DISPOSAL. WRITTEN RECORD OF ALL INSPECTIONS SHALL BE STORED BY THE CONTRACTOR.
- 37. THE INSPECTION REPORT SHALL INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING INFORMATION: NAME AND QUALIFICATION OF PERSONNEL MAKING THE INSPECTION, DATE OF INSPECTION. RAINFALL DATE. MAJOR OBSERVATIONS RELATING TO THE SWPPP, ACTIONS TAKEN BY CONTRACTOR AND ANY INCIDENT OF NONCOMPLIANCE WITH PERMIT. WHERE AN INSPECTION DOES NOT IDENTIFY ANY INCIDENT OF NONCOMPLIANCE, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE SWPPP AND THE PERMIT.
- 38. THE CONTRACTOR SHALL RETAIN A COPY OF THE SWPPP AND ALL REPORTS, RECORDS AND DOCUMENTATION REQUIRED BY THE PERMIT AT THE CONSTRUCTION SITE. OR AN APPROPRIATE ALTERNATIVE LOCATION AS SPECIFIED IN THE NOTICE OF INTENT, FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.
- 39. THE CONTRACTOR SHALL RETAIN THE SWPPP, NOI AND ALL RECORDS ASSOCIATED THEREWITH FOR A PERIOD OF AT LEAST THREE (3) YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED.
- 40. SEE LANDSCAPE PLANS FOR TREE REMOVAL AND LANDSCAPE DEMOLITION.
- 41. CONTRACTOR SHALL COORDINATE THROUGH CITY'S CONSTRUCTION DIVISION AND CITY'S PARKS DEPARTMENT ON HOW TO STOCK AND RE-USE EXCAVATED SOIL FROM SITE (AS APPLICABLE TO THE PROJECT).

PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS

BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM

INTERRUPTION OF EXISTING UTILITIES:

- 1. ANY DEMOLITION WORK THAT REQUIRES INTERRUPTION OF SERVICE TO ANY CUSTOMER SHALL BE DONE SO WITH A MINIMUM OF SEVENTY-TWO (72) HOUR WRITTEN NOTICE TO, AND WRITTEN APPROVAL BY, THE APPROPRIATE UTILITY COMPANY.
- 2. THE CONTRACTOR SHALL ARRANGE A MEETING WITH THE LOCAL JURISDICTIONAL AGENCIES AND OTHER GOVERNING AGENCIES, AND OTHER AFFECTED UTILITIES PRIOR TO SCHEDULING THE SHUT DOWN TO ASSESS THE SCOPE OF WORK.
- 3. ALL SYSTEM SHUT DOWNS SHALL BE SCHEDULED BY THE CONTRACTOR AT SUCH TIME THAT SYSTEM DEMAND IS LOW. THIS GENERALLY REQUIRES NIGHT TIME WORK BY THE CONTRACTOR AND REQUIRES FULL-TIME INSPECTION BY A REPRESENTATIVE OF THE UTILITY. ALL COST FOR OVERTIME WORK BY THE REPRESENTATIVE OF THE UTILITY SHALL BE BORNE BY THE CONTRACTOR.
- 4. EACH CUSTOMER AFFECTED BY THE SHUT-DOWN SHALL BE PROVIDED, MINIMUM, FORTY-EIGHT (48) HOURS WRITTEN NOTIFICATION BY THE CONTRACTOR. TEMPORARY
- DEMOLITION FACILITIES:
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY TO ITS EMPLOYEES AND SUBCONTRACTORS FOR THEIR USE DURING DEMOLITION.
- 2. MAINTENANCE OF TRAFFIC (MOT) IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
- 3. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- 4. NO TRENCHES OR HOLES NEAR WALKWAYS OR IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS WRITTEN PERMISSION OF THE CITY OR RESPECTIVE GOVERNING AGENCY.
- WASTE MANAGEMENT PLAN: 5. IMPLEMENT A WASTE MANAGEMENT PLAN FOR APPROVAL BY THE OWNER. PROVIDE HANDLING, CONTAINERS, STORAGE, SIGNAGE, TRANSPORTATION AND OTHER ITEMS AS NEEDED TO IMPLEMENT THE WASTE MANAGEMENT PLAN DURING THE ENTIRE DURATION OF THE CONTRACT.
- 6. DESIGNATE A WASTE MANAGEMENT COORDINATOR TO BE RESPONSIBLE FOR IMPLEMENTING, MONITORING AND REPORTING STATUS OF WASTE MANAGEMENT WORK PLAN. COORDINATOR SHALL BE PRESENT AT PROJECT SITE FULL-TIME FOR DURATION OF PROJECT.
- 7. TRAIN WORKERS, SUBCONTRACTORS AND SUPPLIERS ON PROPER WASTE MANAGEMENT PROCEDURES, AS APPROPRIATE FOR THE WORK AT THE PROJECT SITE.
- 8. DISTRIBUTE A WASTE MANAGEMENT PLAN BEFORE WORK BEGINS. REVIEW PLAN PROCEDURES AND LOCATION ESTABLISHED FOR SALVAGE, RECYCLING AND DISPOSAL.
- RECYCLING DEMOLITION WASTE: 9. SEPARATE RECYCLABLE WASTE FROM OTHER WASTE MATERIALS, TRASH AND DEBRIS. SEPARATE RECYCLABLE WASTE BY TYPE AT THE PROJECT SITE TO THE MAXIMUM EXTENT PRACTICAL
- 10. PROVIDE APPROPRIATELY MARKED CONTAINERS OR BINS FOR CONTROLLING RECYCLABLE WASTE UNTIL THEY ARE REMOVED FROM THE PROJECT SITE. INCLUDE A LIST OF ACCEPTABLE AND UNACCEPTABLE MATERIALS AT EACH CONTAINER AND
- 11. INSPECT CONTAINERS AND BINS FOR CONTAMINATION AND REMOVE CONTAMINATED MATERIALS IF FOUND.
- 12. STOCKPILE PROCESSED MATERIALS ON-SITE WITHOUT INTERMIXING WITH OTHER MATERIALS. PLACE, GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.
- 13. STOCKPILE MATERIALS AWAY FROM DEMOLITION AREA. DO NOT STORE WITHIN DRIP LINE OF REMAINING TREES.
- 14. STORE COMPONENTS OFF THE GROUND AND PROTECT FROM THE WEATHER. 15. REMOVE RECYCLABLE WASTE OFF THE OWNER'S PROPERTY AND TRANSPORT TO RECYCLING RECEIVER OR PROCESSOR.
- 16. ASPHALTIC CONCRETE PAVING: BREAK UP AND TRANSPORT PAVING TO ASPHALT RECYCLING FACILITY
- 17. CONCRETE: REMOVE REINFORCEMENT AND OTHER METALS FROM CONCRETE AND SORT WITH OTHER METALS.
- 18. MASONRY: MASONRY WASTE SHALL INCLUDE WHOLE OR BROKEN BRICK AND CONCRETE MASONRY UNITS. WHOLE MASONRY UNITS SHALL BE CLEANED AND REUSED OR DONATED. BROKEN MASONRY SHALL BE CRUSHED AND USED AS FILL FOR OFFSITE AREAS. REMOVE METAL REINFORCEMENT, ANCHORS AND TIES FROM MASONRY AND SORT WITH OTHER METALS.
- 19. METALS: METALS FROM REINFORCED CONCRETE, REINFORCED MASONRY, STRUCTURAL STEEL MEMBERS, FLASHING AND SHEET METAL, CONDUIT PIPE, SIDING, PIPING AND WIRING SHALL BE SEPARATED BY TYPE.
- 20. STRUCTURAL STEEL: STACK MEMBERS ACCORDING TO THEIR SIZE, TYPE AND LENGTH. 21. NUTS AND BOLTS: REMOVE BOLTS, NUTS, WASHERS AND OTHER ROUGH
- HARDWARE. 22. SITE-CLEARING WASTE SHALL BE RECYCLED BY CHIPPING BRUSH, BRANCHES AND TREES, THEN HAUL TO WOOD RECYCLING CENTER.
- DISPOSAL OF WASTE: 23. GENERAL: EXCEPT FOR ITEMS OR MATERIALS TO BE SALVAGED, RECYCLED OR OTHERWISE REUSED. REMOVE WASTE MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN A LANDFILL OR OTHER PERMITTED DISPOSAL FACILITY.
- 24. EXCEPT AS OTHERWISE SPECIFIED, DO NOT ALLOW WASTE MATERIALS THAT ARE TO BE DISPOSED OF TO ACCUMULATE ON-SITE.
- 25. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT SHALL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- 26. BURNING: DO NOT BURN WASTE MATERIALS.
- 27. DISPOSAL: TRANSPORT WASTE MATERIALS OFF THE OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.





BECK ARCHITECTURE 501 EAST LAS OLAS BLVD. SUITE 200 AND 300 FORT LAUDERDALE, FL 33301 PH: 754-799-2235

WWW.BECKARCHITECTURE.COM

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JVL DESIGN MATTER

	CARLOS FLORIAN, P.E. FL REGISTRATION # 80500		
	FOF ( REGU	IPLETE DOCUMENTS NITERIM REVIEW ONLY. NOT FOR LATORY APPROVAL, PERMIT, OR CONSTRUCTION.	
		5/2/2025	
CL	JRRENT SL	IBMISSION: DRC RESUBMISSION #	
#	DATE	SUBMISSION	
А	12/12/25	DRC SUBMISSION	
В	02/17/25	SCHEMATIC DESIGN	
С	03/21/25	DRC RESUBMISSION #1	
D	04/24/25	DESIGN DEVELOPMENT - CS	
Е	04/25/25	DRC RESUBMISSION #2	
F	05/02/25	DRC RESUBMISSION #3	
	1		

**BROWARD HEALTH** MEDICAL CENTER **MOB & PARKING** GARGAGE



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

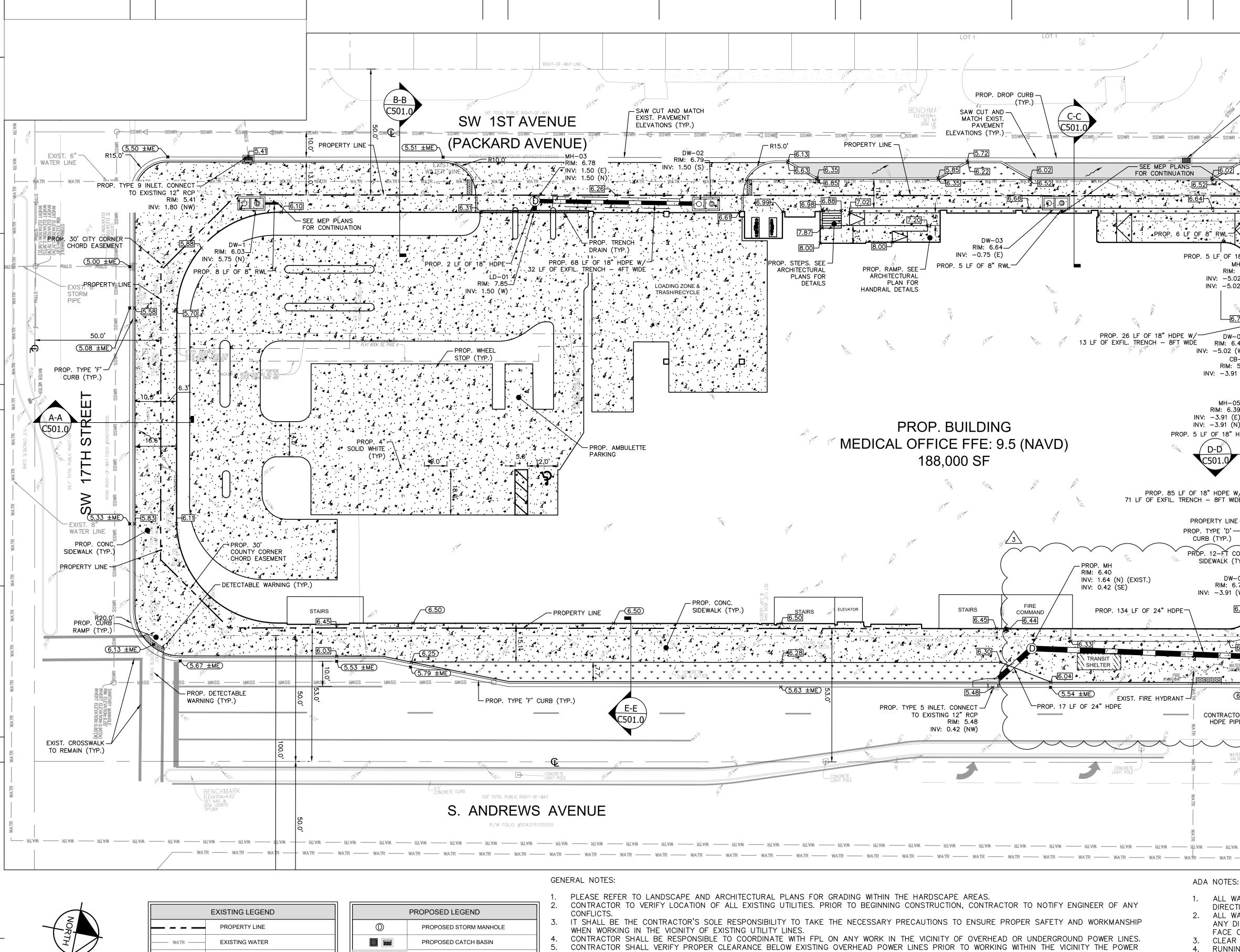
# DEMOLITION NOTES

C401.0 SHEET

> CAM # 25-0687 Exhibit 3 Page 39 of 58

ALL ELEVATIONS SHOWN ON THESE PLANS ARE

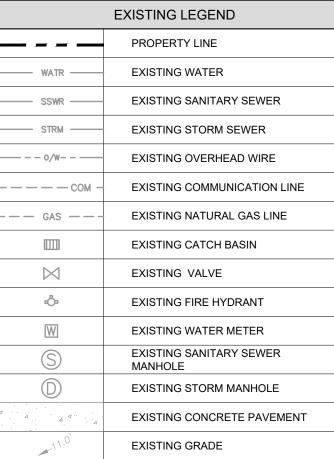
75309	
OB NO.	





40

20



	PROPOSED LEGEND
D	PROPOSED STORM MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED ASPHALT PAVEMENT
77777	PROPOSED TRENCH AND
	PAVEMENT RESTORATION
4	PROPOSED CONCRETE PAVEMENT
-(11.00)	PROPOSED GRADE
(M.E.±11.00)	MATCH EXISTING GRADE
-11.00	PROPOSED SIDEWALK GRADE
~~~	FLOW ARROW
	PROPOSED DRAINAGE EASEMENT

CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY THE POWER LINES. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS. THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER REGARDING ANY GRADING REVISIONS PRIOR TO CONSTRUCTION OF THE PAVEMENT AREAS. CONTRACTOR TO ADJUST ANY MANHOLE RIMS AND VALVE LIDS TO MATCH PROPOSED GRADES. IF ANY EXISTING STORM DRAINAGE STRUCTURES AND PIPES TO REMAIN IN SERVICE ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR THOSE STRUCTURES TO PRIOR CONDITION, OR BETTER, OR TO REPLACE THEM, AS NECESSARY. 10. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING FRAME AND COVER. ALL MAXIMUM SLOPES ARE ABSOLUTE AND SUPERSEDE CONSTRUCTION TOLERANCES STATED IN THE PROJECT SPECIFICATIONS. THE CONTRACTOR HAS THE OPTION OF ADJUSTING GRADES TO ALLOW FOR CONSTRUCTION TOLERANCES BUT SHALL NOT EXCEED MAXIMUMS SPECIFIED ABOVE BY ANY AMOUNT. PAVEMENT SLOPES WILL BE REVIEWED AFTER CONSTRUCTION AND ANY SLOPES FOUND TO EXCEED THE MAXIMUM SPECIFIED ABOVE WILL BE REPLACED AT THE CONTRACTORS EXPENSE 12. LEVEL CHANGES BETWEEN GROUND SURFACE MATERIALS MUST NOT EXCEED 1/4 INCH HIGH. IF A LEVEL CHANGE DOES EXCEED 1/4 INCH HIGH IT MUST BE BEVELED WITH A SLOPE THAT DOES NOT EXCEED 1/2 (V:H) FOR A LEVEL CHANGE UP TO 1/2 INCH HIGH. IF THE CHANGE IS MORE THAN 1/2 INCH THE CHANGE MUST BE RAMPED AND NOT TO EXCEED A SLOPE OF 1/12 (V:H). 13. ALL PROPOSED AND EXISTING DRAINAGE INFRASTRUCTURE SHALL BE CLEANED/INSPECTED FROM WORK AREA TO OUTFALL AS PART OF THIS PROJECT.

14. ALL PROPOSED DRAINAGE WELLS, MANHOLES, PULL BOXES, ETC. INSTALLED IN THE SIDEWALK MUST BE FLAT, ADA COMPLIANT AND NOT IMPACT THE EFFECTIVE WIDTH OF THE SIDEWALK CLEAR PATH.

> THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

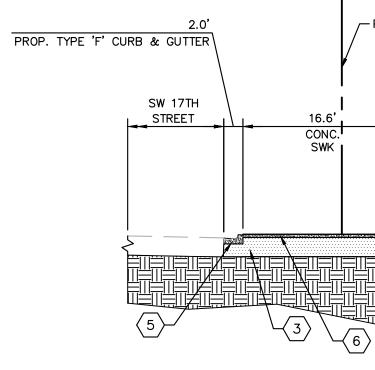
ALL ELEVATIONS SHOWN C BASED ON THE NAVD 88. ELEVATIONS TO NGVD 29, CONVERSION FACTOR OBTA WWW.ARCGIS.COM

Service Servic	
PROP. INLET. CONNECT TO EXISTING 12" RCP RIM: 5.50 DW-04 INV: 1.80 (NW) SSWR SSWR SSWR R SSWR SSWR SSWR SSWR SS	
R20.0' R20.0' WATR WATR WATR WATR WATR WATR WATR WATR	Broward Health MEDICAL CENTER
OF 8" RWL	BECK ARCHITECTURE 501 EAST LAS OLAS BLVD. SUITE 200 AND 300
INV: -5.02 (E) INV: -5.02 (N) <u>6.68</u> <u>6.18</u> <u>6.18</u> <u>6.18</u> <u>6.18</u> <u>6.11</u> <u>5.02</u> <u>6.11</u> <u>5.02</u> <u>CATCH BASIN</u> <u>CATCH </u>	FORT LAUDERDALE, FL 33301 PH: 754-799-2235 WWW.BECKARCHITECTURE.COM
N/ DW-05 DE RIM: 6.49 INV: -5.02 (W) CB-03 RIM: 5.79 INV: -3.91 (S)	Kinley »Horn
MH-05 RIM: 6.39 INV: -3.91 (E) S LF OF 18" HDPE	<u> </u>
D-D C501.0	
OF 18" HDPE W/- NCH - 8FT WIDE PROPERTY LINE	CARLOS FLORIAN, P.E. FL REGISTRATION # 80500
CURB (TYP.)       ************************************	INCOMPLETE DOCUMENTS FOR INTERIM REVIEW ONLY. NOT FOR
6.87 6.40 6.40 6.40 6.40 6.25 WATER PIPE WATER PIPE BIKE RACK WARNING (TYP.) SIGN BIKE RACK	REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION.
EXERCISES EXERCI	5/2/2025
HDPE PIPE TO EXISTING STRUCTURE INV:: 1.64 (S)	CURRENT SUBMISSION: DRC RESUBMISSION #3
	#     DATE     SUBMISSION       A     12/12/25     DRC SUBMISSION
Image: series of the series	B02/17/25SCHEMATIC DESIGNC03/21/25DRC RESUBMISSION #1D04/24/25DESIGN DEVELOPMENT - CSE04/25/25DRC RESUBMISSION #2F05/02/25DRC RESUBMISSION #3III
ADA NOTES:	
<ol> <li>ALL WALKWAYS SHALL HAVE A SLOPE LESS THAN 2% PERPENDICULAR TO THE DIRECTION OF TRAVEL AND LESS THAN 5% IN THE DIRECTION OF TRAVEL.</li> <li>ALL WALKWAYS NEAR BUILDING ENTRANCES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION FOR A MINIMUM OF 60 INCHES, MEASURED PERPENDICULAR TO THE FACE OF THE DOOR.</li> <li>CLEAR WIDTH OF ACCESSIBLE ROUTE MUST BE A MINIMUM OF 36 INCHES.</li> <li>RUNNING SLOPE OF RAMPS AND CURB RAMPS CANNOT EXCEED 8.33%. IF VERTICAL</li> </ol>	BROWARD HEALTH MEDICAL CENTER -
<ul> <li>RISE IS LESS THAN 6 INCHES, HANDRAILS ARE NOT REQUIRED.</li> <li>5. SLOPES AT INTERSECTIONS OF ACCESSIBLE ROUTES MUST NOT EXCEED 2%, MEASURED IN ANY DIRECTION.</li> <li>6. SLOPES OF CLEAR FLOOR SPACES AT FIXTURES AND CONTROLS MUST NOT EXCEED 2%, MEASURED IN ANY DIRECTION. THE 30X48 INCH CLEAR FLOOR SPACE PROVIDED AT THE CONTROL MUST BE FLUSH WITH THE CONTROL.</li> <li>7. GAPS OR OPENINGS ALONG THE ACCESSIBLE ROUTE MUST NOT EXCEED 1/2 INCH MUST NOT EXCEED 1/2 INCH</li> </ul>	MOB & PARKING GARGAGE
WIDTH, PERPENDICULAR TO THE PREDOMINATE FLOW OF PEDESTRIAN TRAFFIC. Sunshine	PAVING, GRADING, AND DRAINAGE PLAN
NS SHOWN ON THESE PLANS ARE E NAVD 88. TO CONVERT O NGVD 29, ADD 1.59'. FACTOR OBTAIN FROM OM	175309 JOB NO. SHEET

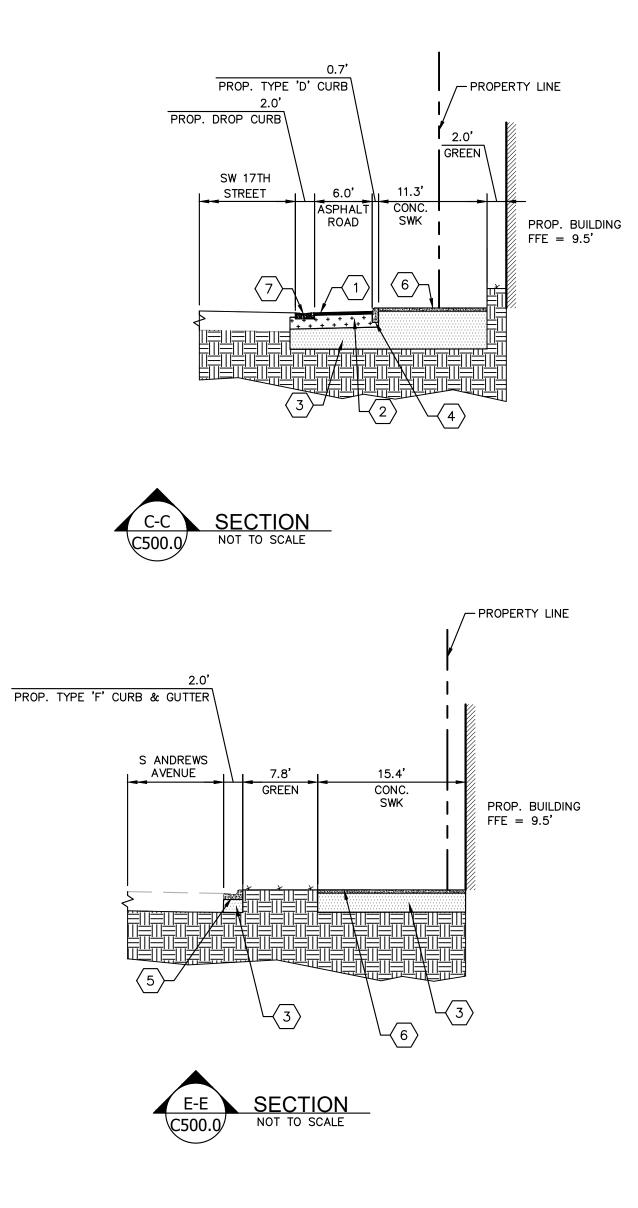
CAM # 25-0687 Exhibit 3 Page 40 of 58

## PAVING LEGEND

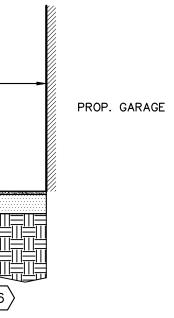
- (1) 1 1/2" ASPHALT SURFACE TYPE SP-9.5 (IN TWO 3/4" LIFTS)
- 8" LIMEROCK BASE COMPACTED WITH MINIMUM LBR OF 100 WITH 60% OR MORE CARBONATE CONTENT, COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180.
- $\langle 3 \rangle$  12" THICK STABILIZED SUBGRADE COMPACTED AND STABILIZED WITH MINIMUM DESIGN LBR OF 40 COMPACTED TO AT LEAST 98% OF MAXIMUM DRY DENSITY (AASHTO T-180) (DRIVE AISLE)
- $\langle 4 \rangle$  TYPE 'D' CURB PER FDOT INDEX NO. 520-001
- $\langle 5 \rangle$  TYPE 'F' CURB & GUTTER PER FDOT INDEX NO. 520-001
- $\langle 6 \rangle$  CONCRETE SIDEWALK
- ⟨¬⟩ DROP CURB PER FDOT INDEX NO. 520-001



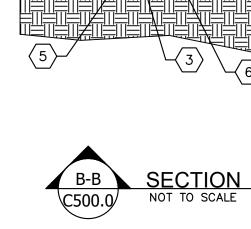




#### - PROPERTY LINE



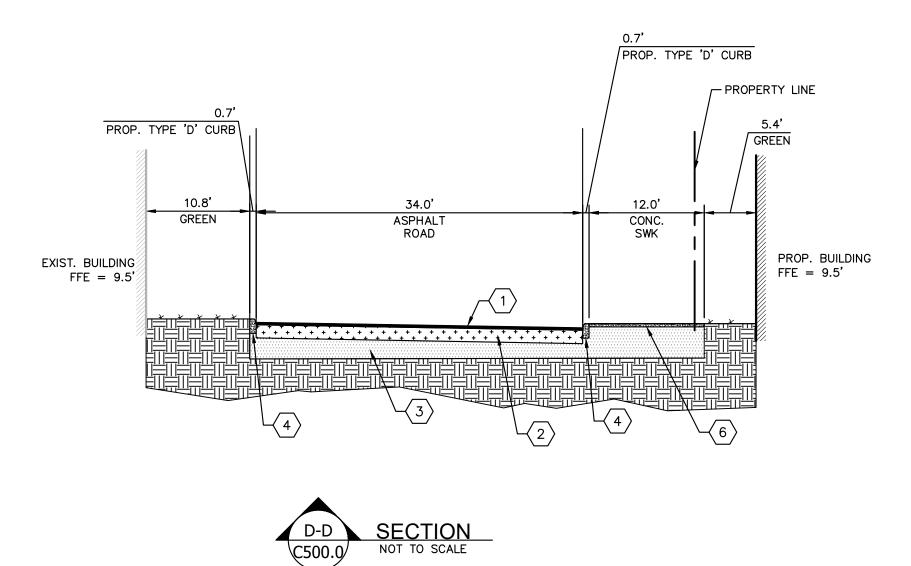
PROP. TYPE 'F' CURB & GUTTER



2.0

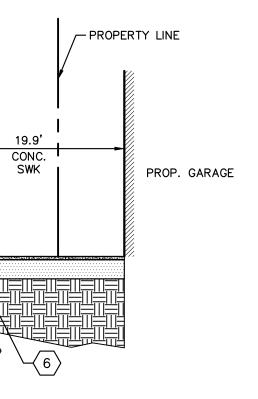
SW 1ST

AVENUE



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	5/2/2025		
CL	JRRENT SL	JBMISSION: DRC RESUBMISSION #3	
CL #	JRRENT SU	JBMISSION: DRC RESUBMISSION #3	
#	DATE	SUBMISSION	
# A	DATE 12/12/25	SUBMISSION DRC SUBMISSION	
# A B	DATE 12/12/25 02/17/25	SUBMISSION DRC SUBMISSION SCHEMATIC DESIGN	
# A B C D E	DATE 12/12/25 02/17/25 03/21/25	SUBMISSION DRC SUBMISSION SCHEMATIC DESIGN DRC RESUBMISSION #1	
# A B C D	DATE 12/12/25 02/17/25 03/21/25 04/24/25	DRC SUBMISSION SCHEMATIC DESIGN DRC RESUBMISSION #1 DESIGN DEVELOPMENT - CS	
# A B C D E	DATE 12/12/25 02/17/25 03/21/25 04/24/25 04/25/25	SUBMISSION DRC SUBMISSION SCHEMATIC DESIGN DRC RESUBMISSION #1 DESIGN DEVELOPMENT - CS DRC RESUBMISSION #2	
# A B C D E	DATE 12/12/25 02/17/25 03/21/25 04/24/25 04/25/25	SUBMISSION DRC SUBMISSION SCHEMATIC DESIGN DRC RESUBMISSION #1 DESIGN DEVELOPMENT - CS DRC RESUBMISSION #2	
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# A B C D E	DATE 12/12/25 02/17/25 03/21/25 04/24/25 04/25/25	SUBMISSION DRC SUBMISSION SCHEMATIC DESIGN DRC RESUBMISSION #1 DESIGN DEVELOPMENT - CS DRC RESUBMISSION #2	

BROWARD HEALTH MEDICAL CENTER -MOB & PARKING GARGAGE

TYPICAL CROSS

SECTIONS



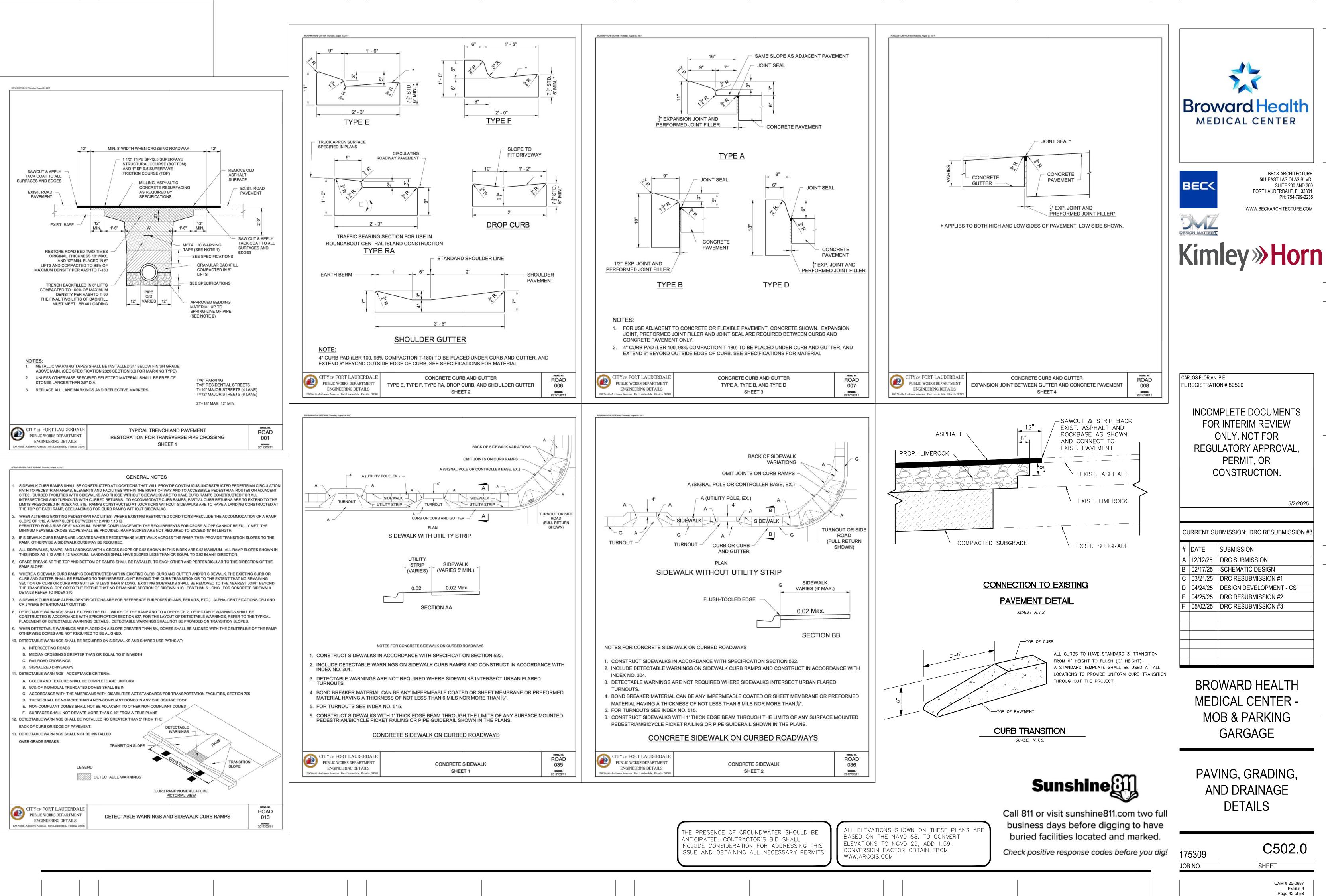
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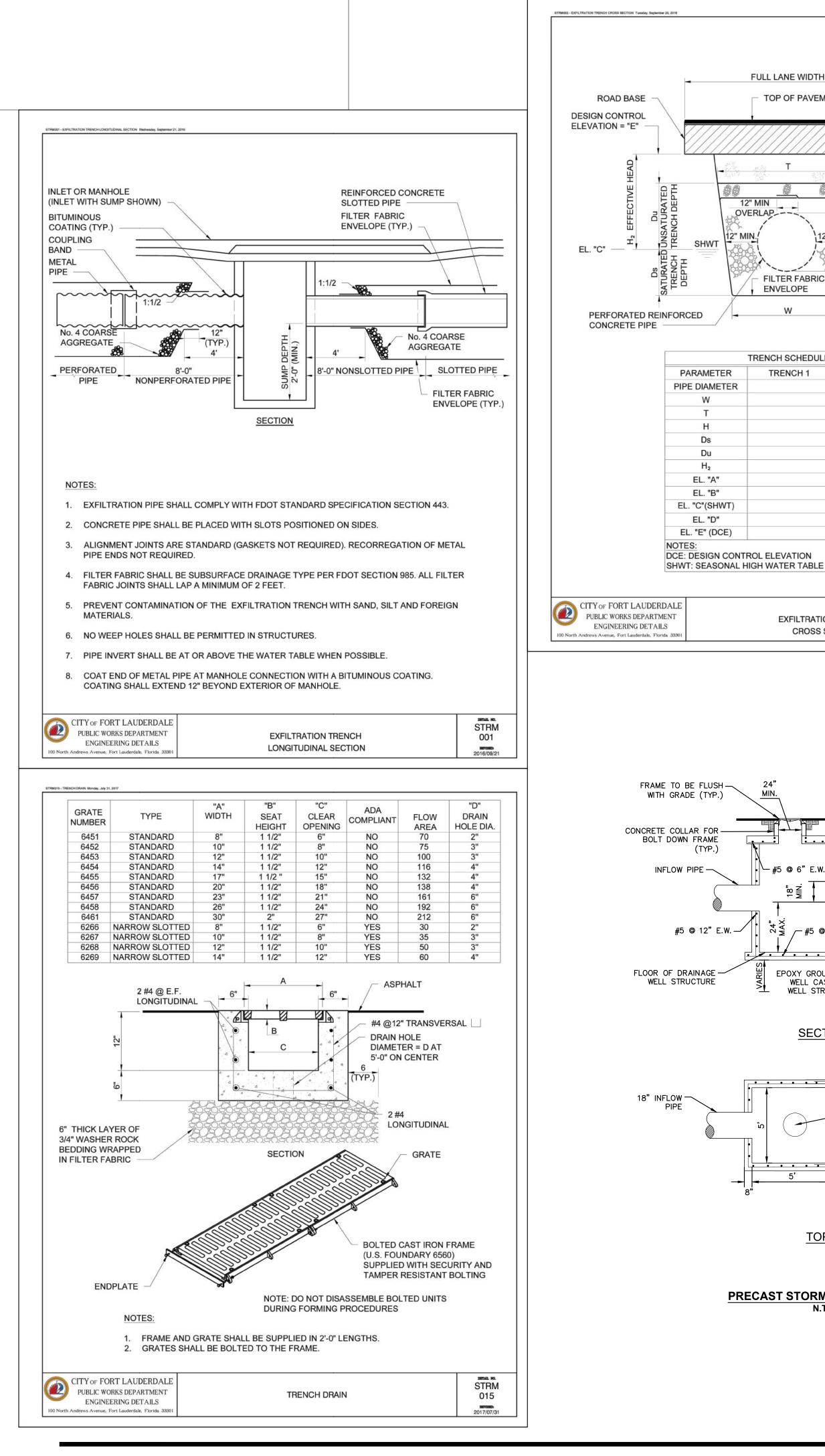
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C501.0 SHEET

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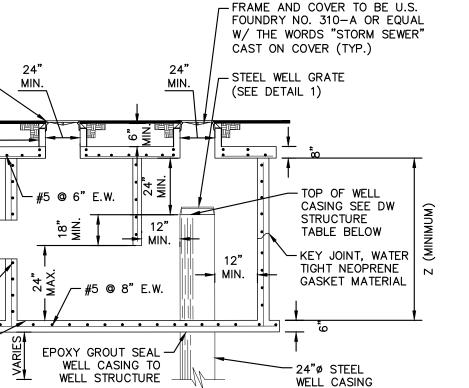
175309 JOB NO.





- EL. "A" COARSE AGGREGATE 3/4" WASHED FILTER ROCK FABRIC "D" **b** - --SECTION TRENCH 2 NOTES: FDOT INDEX 200. OF FLORIDA. 4. DESIGN STRUCTURE FOR H-20 TRUCK LOAD. CATCH BASINS SHALL HAVE USF 4155 FRAME AND 6209 GRATE. 7. MANHOLES SHALL HAVE USF 230 RING AND TYPE AA COVER WITH THE LETTERING "STORM SEWER" CAST IN THE COVER. DETAIL N CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT STRM PUBLIC WORKS DEPARTMENT PRECAST CIRCULAR & SQUARE DRAINAGE STRUCTURES 002 ENGINEERING DETAILS

North Andrews Avenue, Fort Lauderdale, Florida 33



**SECTION** 

FULL LANE WIDTH

-

FILTER FABRIC

ENVELOPE

TRENCH SCHEDULE

TRENCH 1

EXFILTRATION TRENCH

CROSS SECTION

TOP OF PAVEMENT

BACKFILL

12" MIN.

6" MIN. PEA GRAVEL

6" MIN. PIPE COVER

1:4 SLOPE

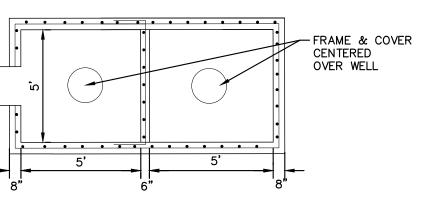
INVERT

12" MIN. PIPE BED

EL. "B"

EL

REVEND: 2016/09/21



TOP VIEW

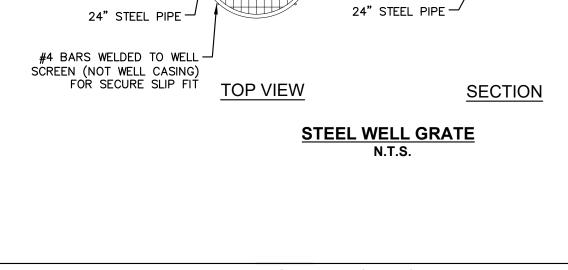
PRECAST STORM DRAINAGE WELL N.T.S.

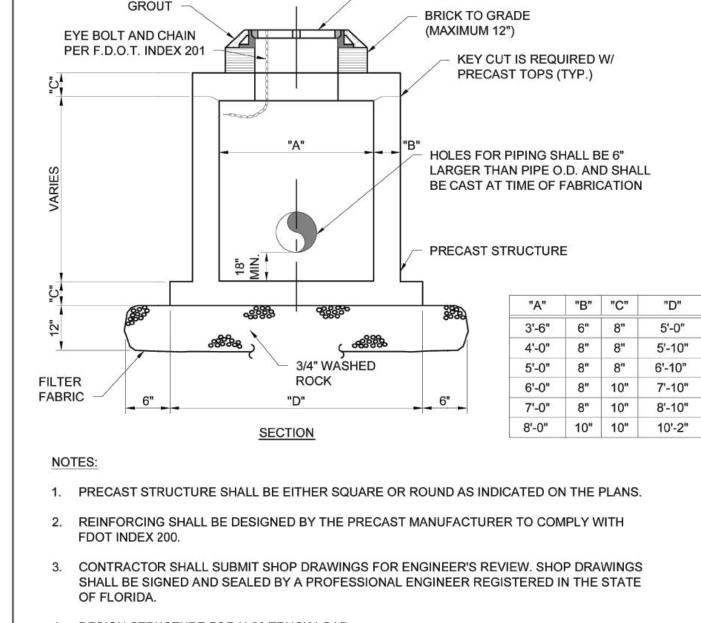
## #4 BARS @ 1" O.C. EA. WAY WELDED TO PIPE 24" STEEL PIPE 24" STEEL PIPE -#4 BARS WELDED TO WELL SCREEN (NOT WELL CASING) FOR SECURE SLIP FIT TOP VIEW SECTION STEEL WELL GRATE N.T.S.

#### DRAINAGE WELL STRUCTURE TABLE WELL STRUCT CASING FLOO ELEVATION ELEVAT STRUCT. FRAME & NO. COVER INVERT (NAVD) RIM ELEVATION S Е W 2.50' (8" RWL) DW-1 SEE DETAIL 6.32' 0.15 3.15' 1.50' (18" HDPE) DW-2 6.29' 0.12 SEE DETAI 3.12' 5.70' (8" RWL) DW-3 SEE DETAI 9.45**'** 3.28 6.28' \_ 2.40' (8" RWL) DW-4 6.24' 0.0 SEE DETAIL 3.07' DW-5 SEE DETAIL 1.75' (18" HDPE) 0.24 6.41' 3.24' \_ 2.20' (18" HDPE) DW-6 | SEE DETAIL 6.95' 0.78 3.78'

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS

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CATCH BASIN INLET OR MANHOLE FRAME AND

COVER AS INDICATED ON

SHOP DRAWINGS SHALL INCLUDE CALCULATIONS DEMONSTRATING THAT STRUCTURE WILL RESIST FLOATION WHEN EMPTY AND SUBJECT TO GROUNDWATER TO TOP OF STRUCTURE. DRAINAGE WELL STRUCTURES STRUCTURAL NOTES:

- . DESIGN CRITERIA: DESIGN, FABRICATION AND ERECTION OF PRECAST CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-99 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND PCI DESIGN HANDBOOK. DESIGN OF CAST-IN-PLACE CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-99.
- 2. DESIGN LIVE LOADS: THE TOP SLAB OF DRAINAGE STRUCTURE SHALL BE DESIGNED TO CARRY TRAFFIC LOADS (HS 20 LOADING).
- 3. <u>GEOTECHNICAL CRITERIA:</u> SOIL BEARING PRESSURE UNDER STRUCTURE ASSUMED TO BE AT MINIMUM 2000 PSF. PRIOR TO INSTALLATION OF DRAINAGE STRUCTURE THE SOIL BEARING CAPACITY OF THE FOUNDATION MUST BE CONFIRMED BY THE CONTRACTOR, THROUGH A CERTIFIED GEOTECHNICAL LABORATORY.
- 4. <u>CONCRETE:</u> CONCRETE SHALL BE NORMAL WEIGHT, AND SHALL ATTAIN A 28, DAY COMPRESSIVE STRENGTH OF 4000 PSI AND SHALL MEET THE REQUIREMENT OF ASTM C478. CONCRETE COVER FOR REINFORCEMENT SHALL BE 2 INCHES EXCEPT FOOTING BOTTOM BARS SHALL HAVE 3" COVER
- 5. REINFORCING: REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, AND SHALL BE OF U.S. MANUFACTURE.
- 6. MORTAR: MORTAR GROUT TO SEAL THE PIPE, TOP SLABS, AND LEVELING COURSE SHALL BE OF SUCH A MIX THAT SHRINKAGE WILL NOT CAUSE LEAKAGE INTO OR OUT OF THE UNIT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR MORTAR FOR ENGINEER REVIEW AND APPROVAL.
- 7. <u>SHOP DRAWINGS:</u> CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, SIGNED AND SEACOVER BY A FLORIDA LICENSED ENGINEER, FOR PRECAST STRUCTURES TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE CONSTRUCTION OF STRUCTURE.
- 8. MANHOLE RING & COVER: ALL MANHOLE RINGS AND COVERS, WITHIN PRIVATE PROPERTY, SHALL HAVE THE WORD "STORM SEWER" CAST ON COVER.

#### NOTES:

- 1. DEEP WELL TO BE CONSTRUCTED PER DRAINAGE WELL SCHEDULE. CONTRACTOR IS TO VERIFY A MINIMUM FLOW RATE OF 250 GPM PER FOOT OF HEAD FOR EACH WELL, AND CONTACT ENGINEER OF RECORD IF SPECIFIC CAPACITIES ARE LOWER. CONTRACTOR MUST PROVIDE 60% CASED AND 40% OPEN WELL AT ANY DEPTH.
- 2. STEEL WELL GRATE TO BE INSTALLED OVER 24" WELL CASING. STEEL GRATE TO BE HOT DIPPED GALVANIZED AFTER FABRICATION. COST TO BE INCLUDED IN THE PRICE OF CASING.
- 3. DEVELOPER OF WELL TO ASSURE 1500 P.P.M. SALINITY. THE WELL CASING SHALL PENETRATE A ZONE CONTAINING A MINIMUM OF 10,000 mg/L OF TOTAL DISSOLVED SOLIDS (TDS) IN ACCORDANCE WITH RULE 62-528.200(6), FAC.
- 4. WELL TESTING TO COMPLY WITH ASTM D 5472-93 AND D-4050-96 AND BE PERFORMED BY A THIRD PARTY FLORIDA REGISTERED GEOLOGIST.
- 5. ALL DRAINAGE WELL BOXES SHALL BE WATER TIGHT. ALL WELL BOX CONSTRUCTION JOINTS SHALL BE WATER TIGHT. WELL BOX MUST BE DESIGNED FOR UPLIFT FORCES (MIN 3 PSI) AND SIGNED AND SEALED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- 6. CONTRACTOR TO SUBMIT SHOP DRAWING TO ENGINEER OF RECORD.





BECK ARCHITECTURE 501 EAST LAS OLAS BLVD SUITE 200 AND 300 FORT LAUDERDALE, FL 33301 PH: 754-799-2235

WWW.BECKARCHITECTURE.COM

JVL DESIGN MATTER

# **Kimley**»Horn

CARLOS FLORIAN, P.E.
FL REGISTRATION # 80500

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5/2/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
А	12/12/25	DRC SUBMISSION
В	02/17/25	SCHEMATIC DESIGN
С	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
Е	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

**BROWARD HEALTH** MEDICAL CENTER -MOB & PARKING GARGAGE



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Check positive response codes before you dig!

PAVING, GRADING, AND DRAINAGE DETAILS

175309 JOB NO.

C503.0 SHEET

> CAM # 25-0687 Exhibit 3 Page 43 of 58

SCREEN (NOT WELL CASING) FOR SECURE SLIP FIT

- #4 BARS WELDED TO WELL

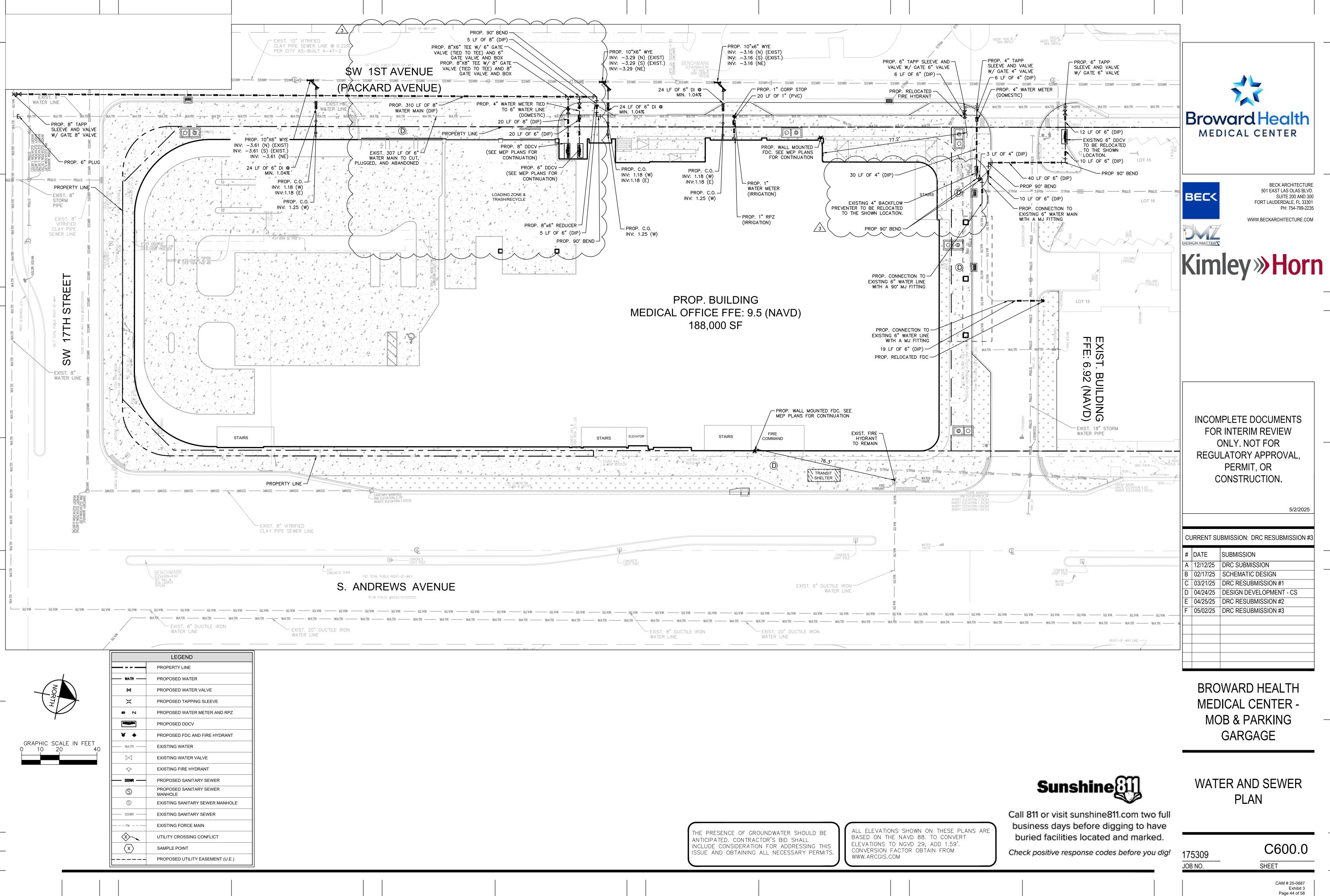
DETAIL NO.

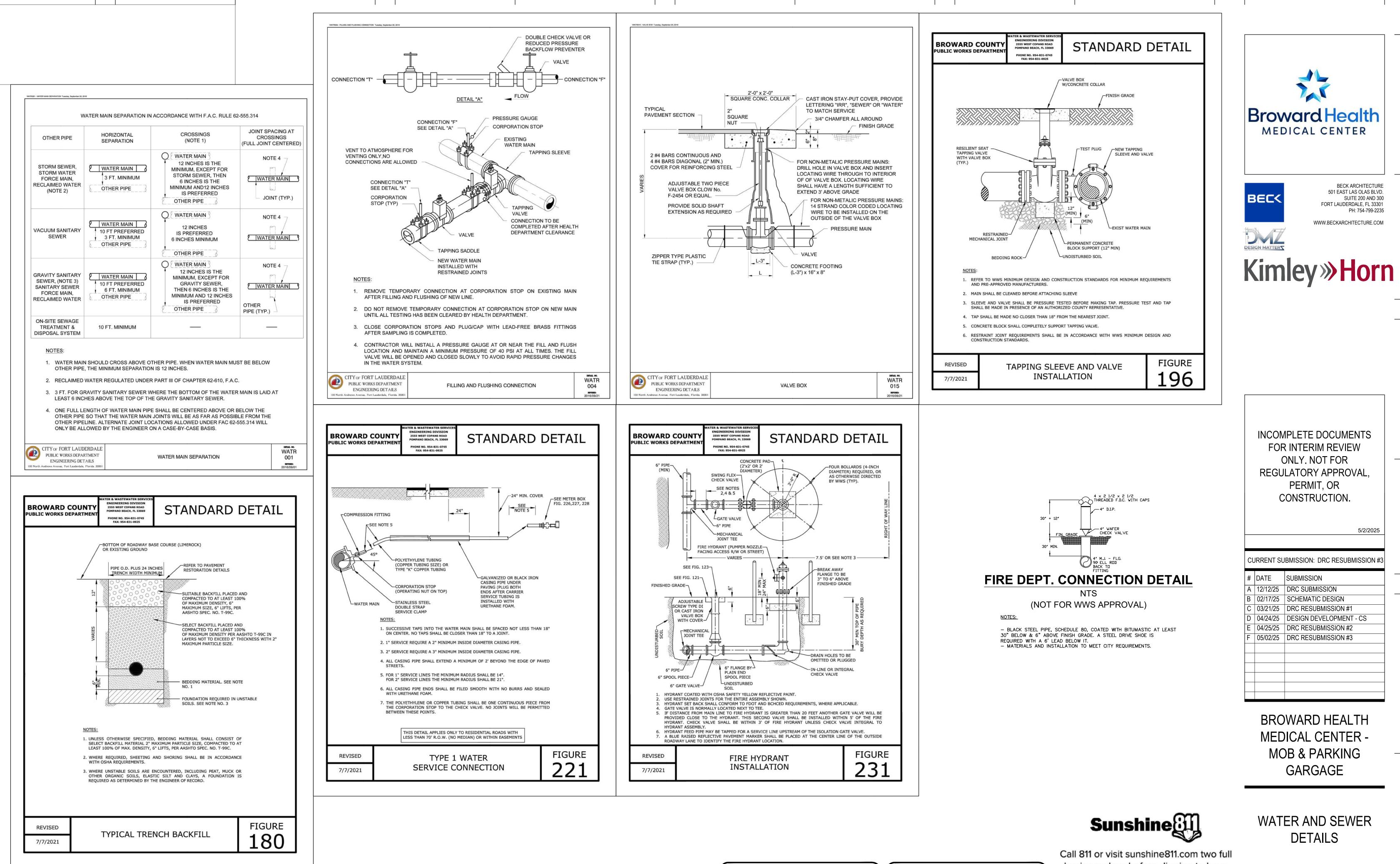
STRM

009

REVISED: 2017/07/14

HEIGHT OF WELL STRUCTURE BOX (Z)
6.33'
6.34'
6.34'
6.33'
8.33'
8.33'





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business days before digging to have buried facilities located and marked.

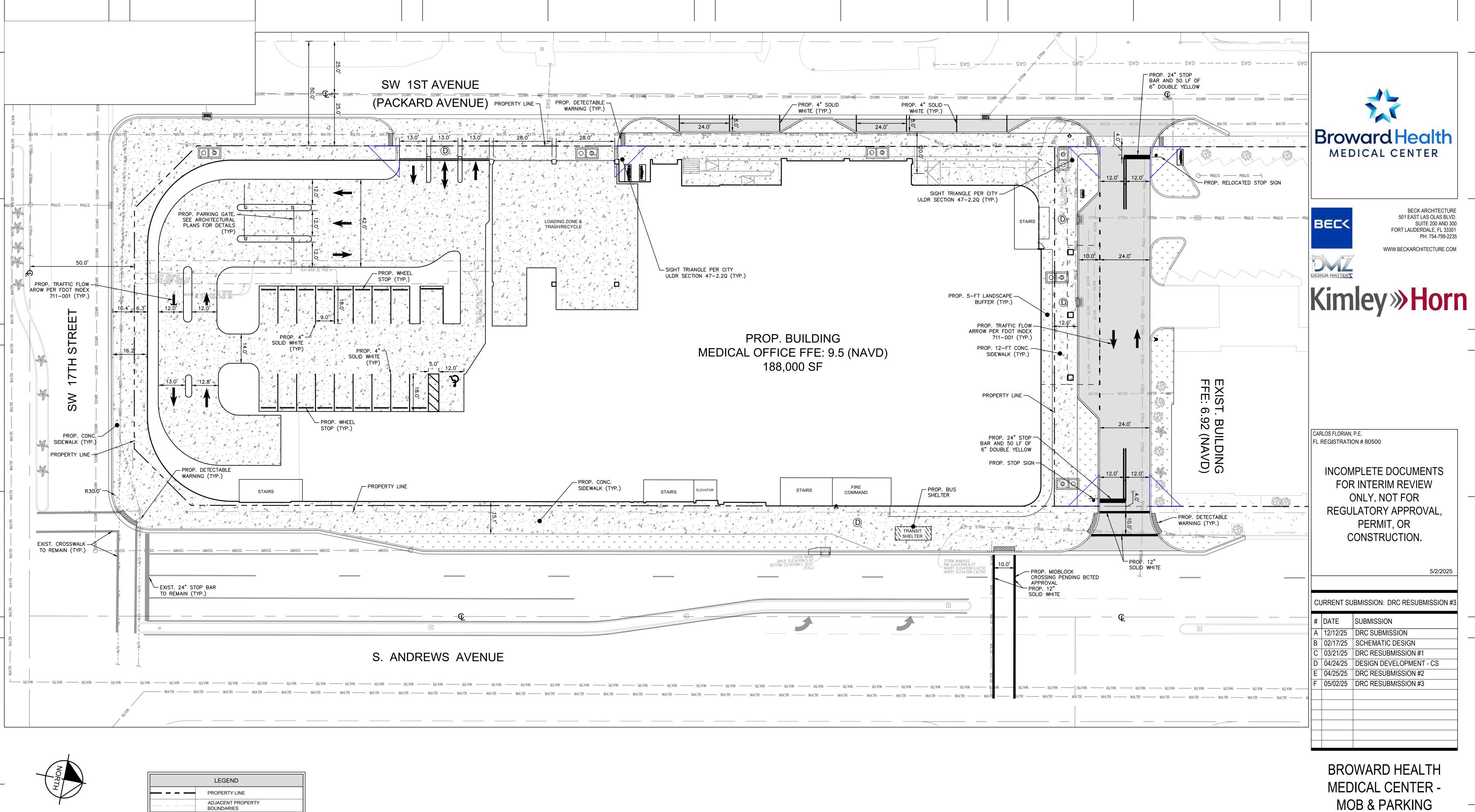
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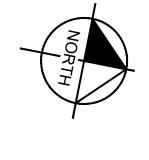
175309 JOB NO.

C601.0 SHEET

> CAM # 25-0687 Exhibit 3 Page 45 of 58

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	LEGEND
	PROPERTY LINE
	ADJACENT PROPERTY BOUNDARIES
	PROPOSED ASPHALT PAVEMENT
· · · · · · · · · · · · · · · · · · ·	PROPOSED CONCRETE PAVEMENT
00000000	PROPOSED DETECTABLE WARNING

NOTES: 1. ALL PROPOSED DRAINAGE WELLS, MANHOLES, PULL BOXES, ETC. INSTALLED IN THE SIDEWALK MUST BE FLAT, ADA COMPLIANT AND NOT IMPACT THE EFFECTIVE WIDTH OF THE SIDEWALK CLEAR PATH.

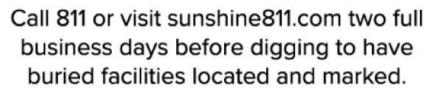
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BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM

Sunshine

PAVEMENT MARKING AND SIGNAGE PLAN

GARGAGE



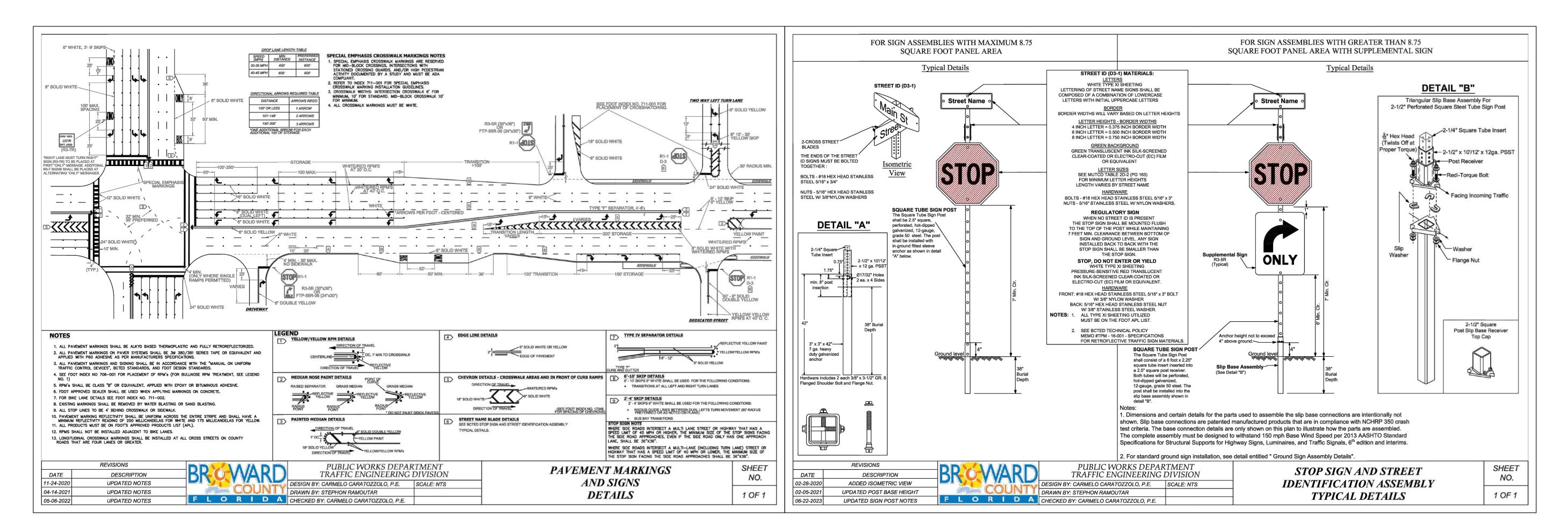
Check positive response codes before you dig!

175309 JOB NO.

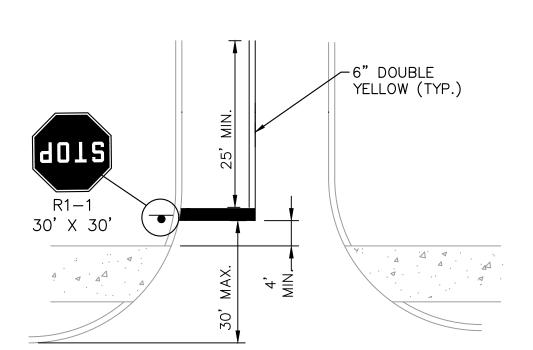
C700.0 SHEET

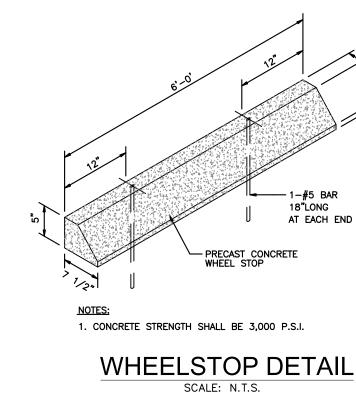
> CAM # 25-0687 Exhibit 3 Page 46 of 58

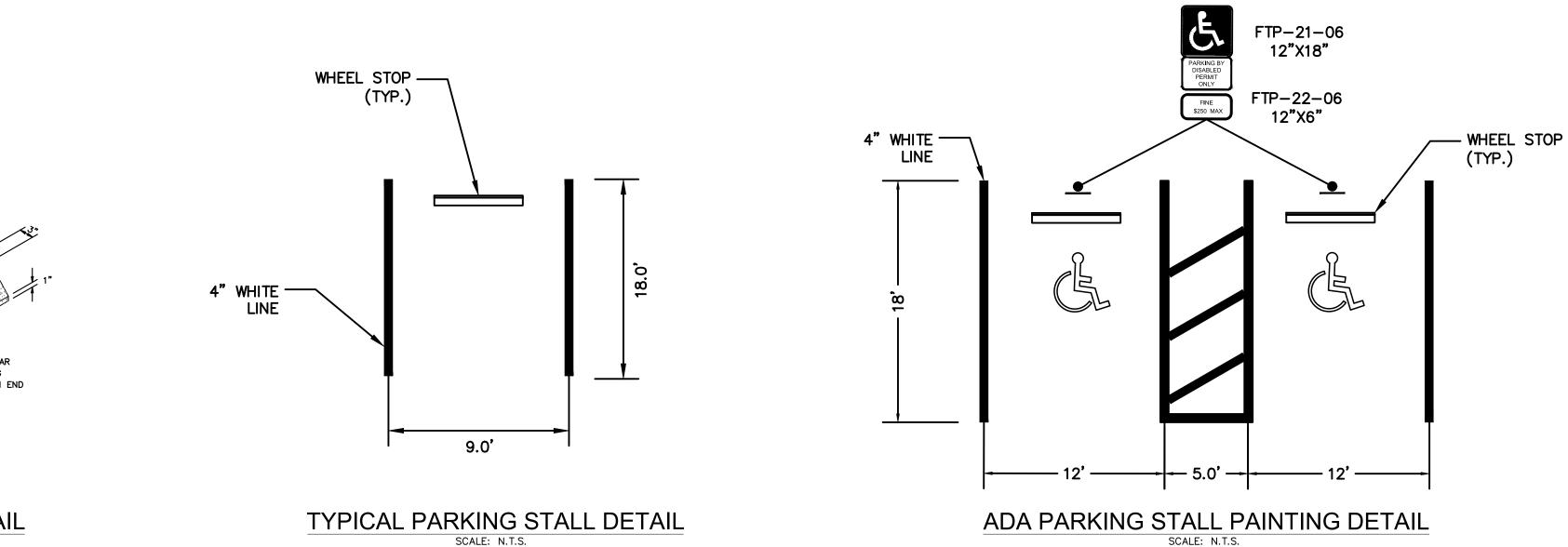
ALL ELEVATIONS SHOWN ON THESE PLANS ARE



#### STOP BAR MARKING DETAIL SCALE: N.T.S.







THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS

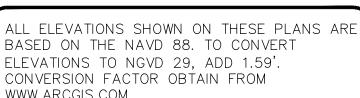
BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM



	FOF ( REGU		
		5/2/2025	
CL	JRRENT SU	JBMISSION: DRC RESUBMISSION #3	
# A B C D E F	DATE 12/12/25 02/17/25 03/21/25 04/24/25 04/25/25 05/02/25	SUBMISSION DRC SUBMISSION SCHEMATIC DESIGN DRC RESUBMISSION #1 DESIGN DEVELOPMENT - CS DRC RESUBMISSION #2 DRC RESUBMISSION #3	
	BROWARD HEALTH MEDICAL CENTER - MOB & PARKING GARGAGE		
	PAVEMENT MARKING		



AND SIGNAGE DETAILS



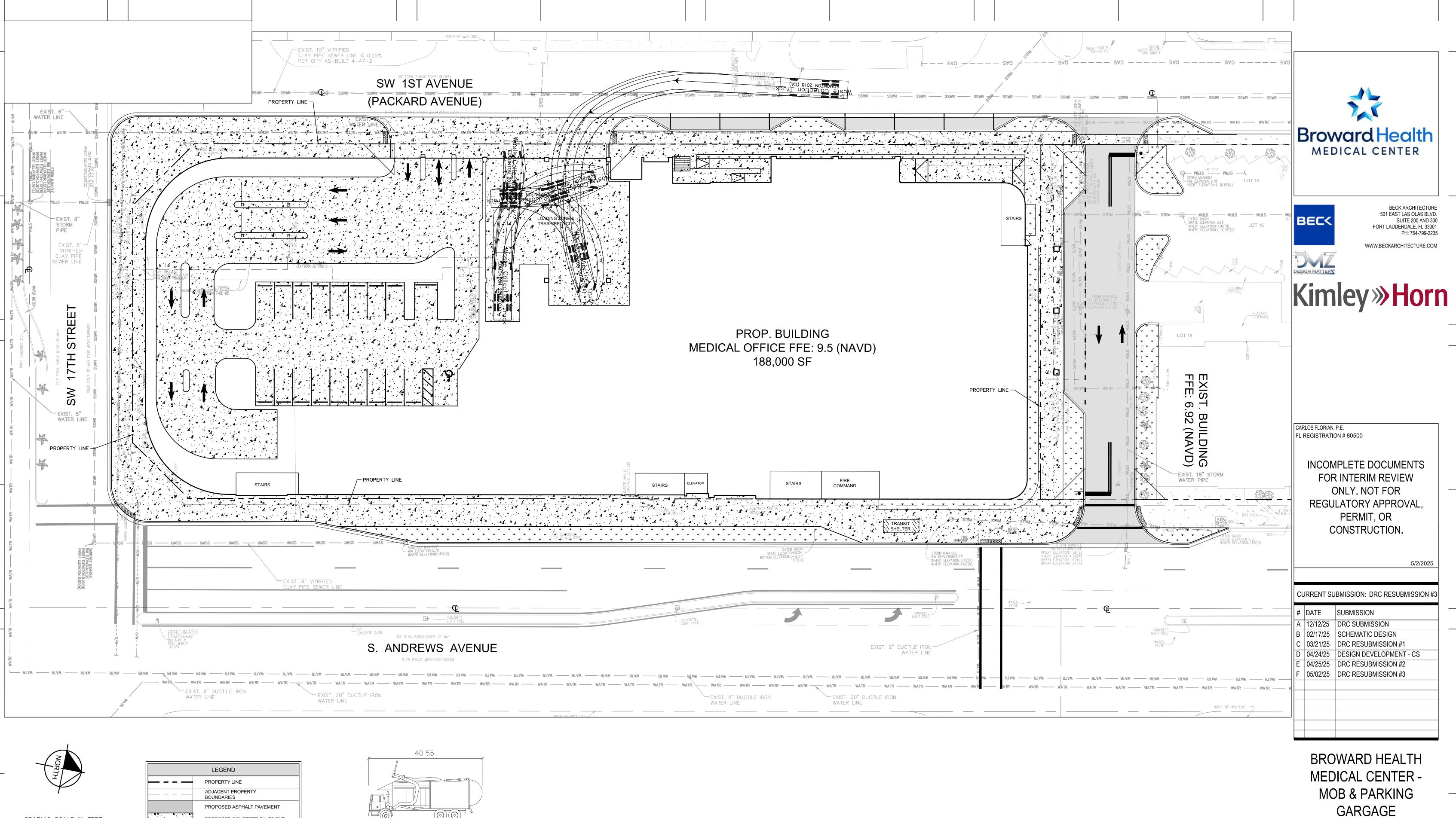
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

175309 JOB NO.

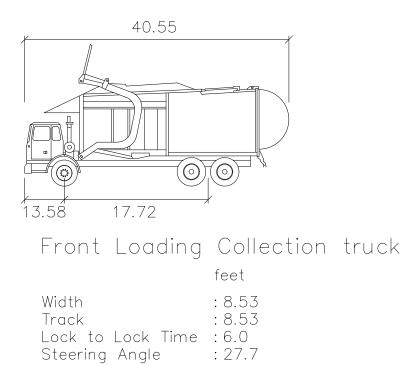
C701.0 SHEET

> CAM # 25-0687 Exhibit 3 Page 47 of 58





	LEGEND
	PROPERTY LINE
	ADJACENT PROPERTY BOUNDARIES
	PROPOSED ASPHALT PAVEMENT
.4.	PROPOSED CONCRETE PAVEMENT
00000000	PROPOSED DETECTABLE WARNING



THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM

Sunshine

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

175309 JOB NO.

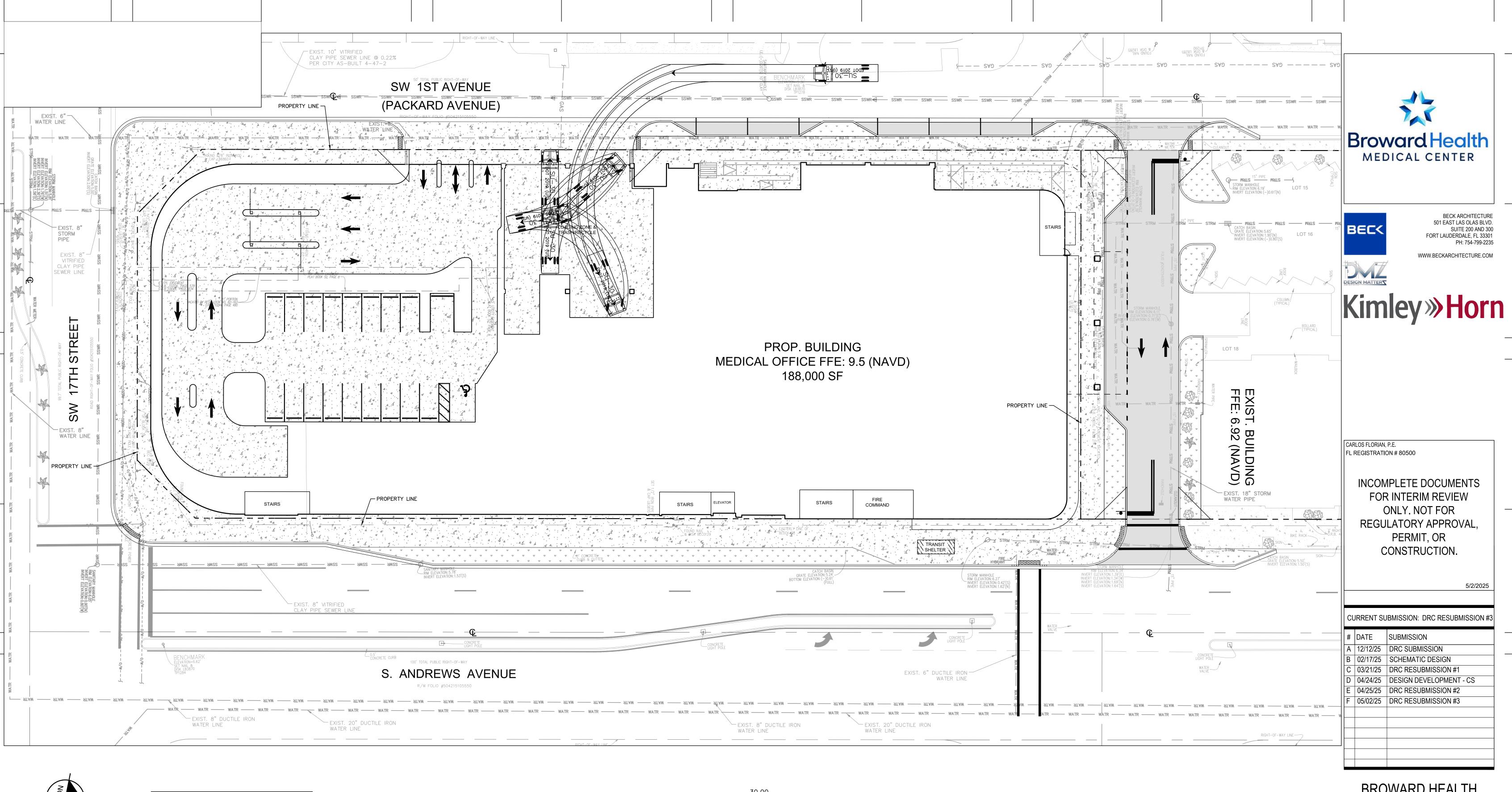
C800.0 SHEET

GARBAGE TRUCK

MANEUVERABILITY

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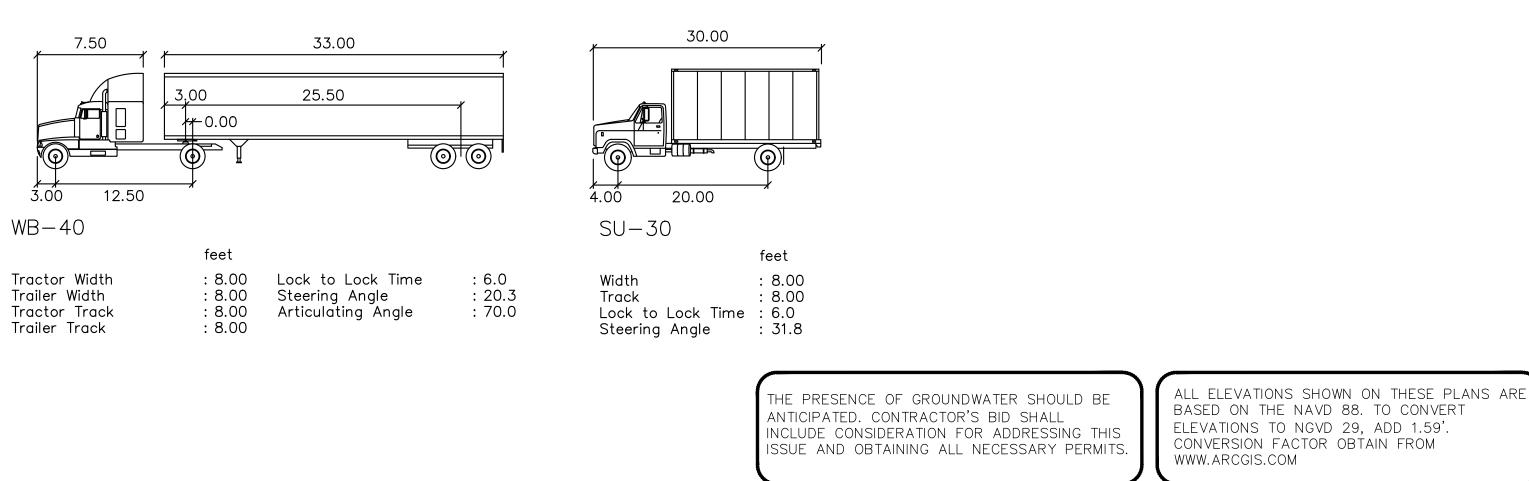
ALL ELEVATIONS SHOWN ON THESE PLANS ARE





4C

	LEGEND
	PROPERTY LINE
	ADJACENT PROPERTY BOUNDARIES
	PROPOSED ASPHALT PAVEMENT
. 4	PROPOSED CONCRETE PAVEMENT
00000000	PROPOSED DETECTABLE WARNING



## BROWARD HEALTH MEDICAL CENTER -MOB & PARKING GARGAGE

LOADING TRUCK

MANEUVERABILITY

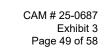


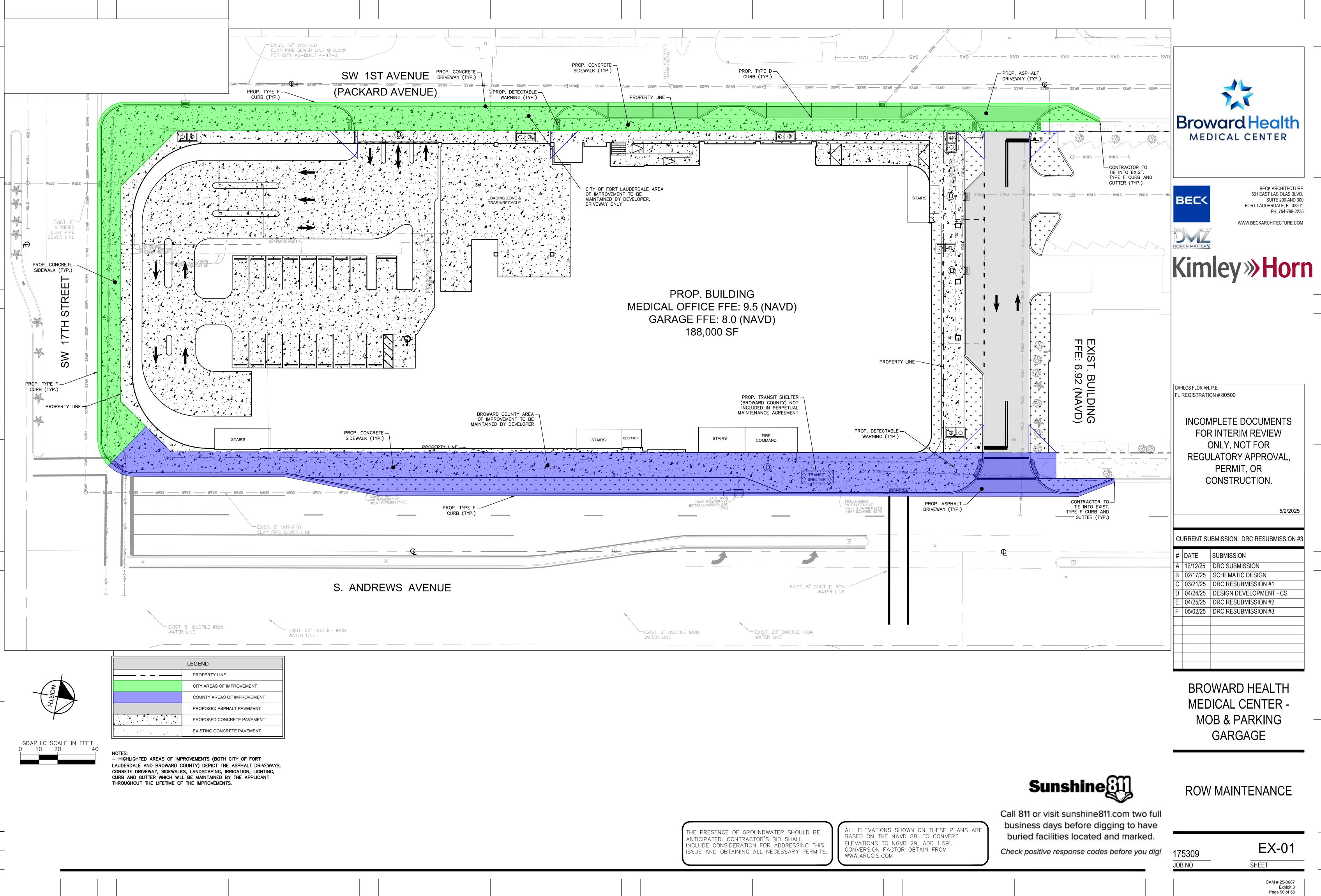
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

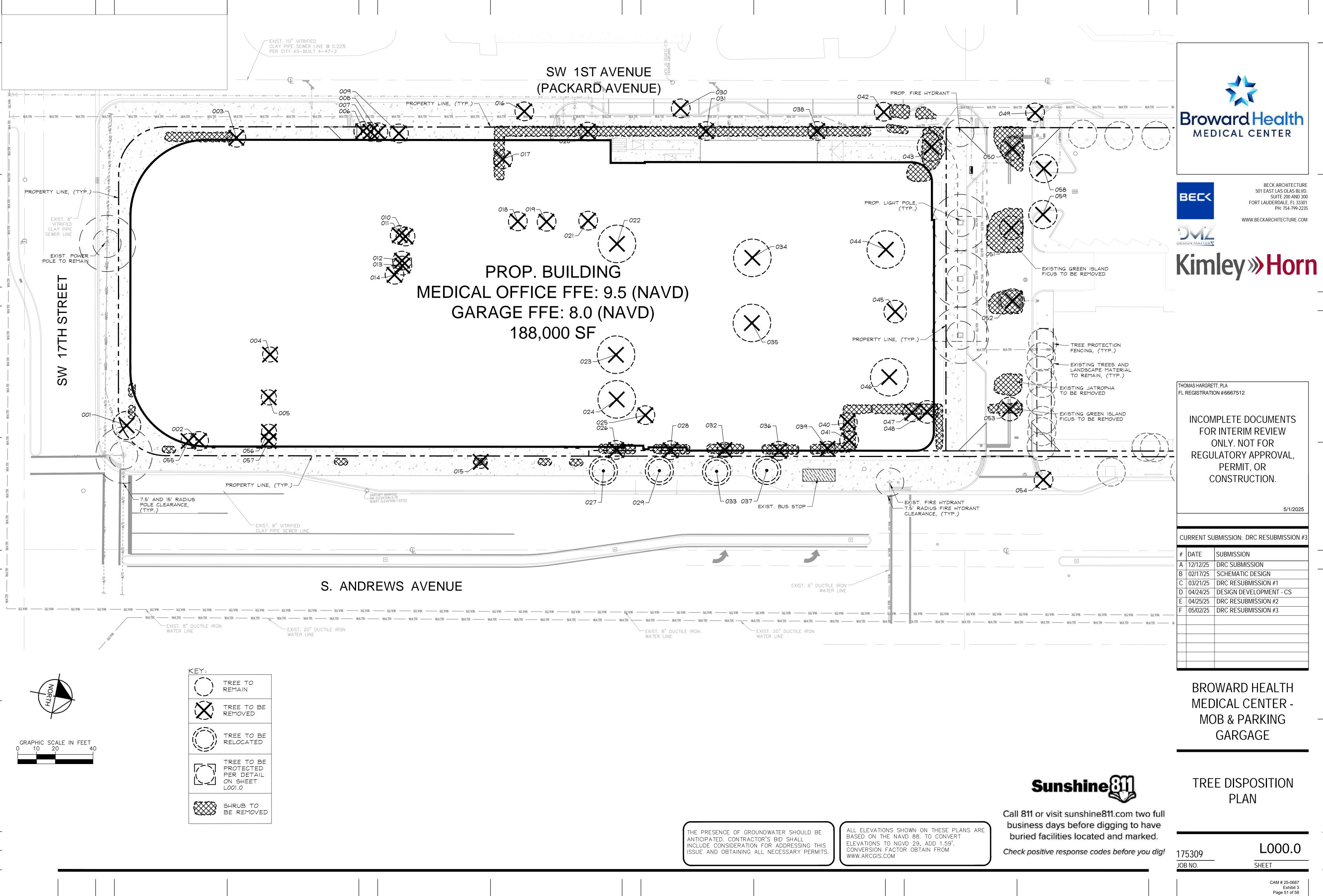
Check positive response codes before you dig!

175309 JOB NO.

C801.0 SHEET







<u>Tree No.</u>	<u>Common Name</u>	Botanical Name	<u>DBH (")</u>	<u>Class Rating</u>	<u>Class Rating %</u>	<u>Condition</u>	<u>Action</u>	<u>Miti</u>	gation Required*
1	Cupaniopsis anacardioides	Beach Tamarind	18 in.	F	0%	75%	Remove		0.0
2	Sabal palmetto	Sabal Palm	12' CT				Remove		1 PALM
3	Bursera simaruba	Gumbo Limbo (S)	11 in.	A	100%	65%	Remove	\$	1,520.0
4	Dypsis lutenscens	Areca Palm (Double Trunk)	8' CT				Remove		1 PALM
5	Dypsis lutenscens	Areca Palm (Triple Trunk)	6' CT				Remove		
6	Sabal palmetto	Sabal Palm	6' CT				Remove		
7	Sabal palmetto	Sabal Palm	8' CT				Remove		1 PALM
8	Sabal palmetto	Sabal Palm	10' CT				Remove		1 PALM
9	Sabal palmetto	Sabal Palm	6' CT 7' CT				Remove		
10	Sabal palmetto	Sabal Palm	4' CT				Remove		
<u>11</u> 12	Sabal palmetto	Sabal Palm Sabal Palm	9' CT				Remove		1 PALM
12	Sabal palmetto Bursera simaruba	Gumbo Limbo	STUMP	Α	100%	0%	Remove Remove		0.0
13	Sabal palmetto	Sabal Palm	6' CT	A	100%	0/0	Remove		0.0
14	Sabal palmetto	Sabal Palm Sabal Palm	4' CT				Remove		
16	Lagerstroemia indica	Crape Myrtle (Multi Trunk)(S)	20 in.	с	60%	70%	Remove	\$	3,480.
10	Quercus virginiana	Southern Live Oak	7 in.	A	100%	70%	Remove	<b>,</b>	4.9
17	Cordia sebestena	Orange Geiger (S)	10 in.	B	80%	70%	Remove	\$	4. <i>9</i> 1,544.
19	Cordia sebestena	Orange Geiger	5 in.	B	80%	50%	Remove	<b>,</b>	2.0
20	Lagerstroemia indica	Crape Myrtle (Multi Trunk)(S)	20 in.	C	60%	75%	Remove	\$	3,480.
20	Cordia sebestena	Orange Geiger	4in.	В	80%	70%	Remove	<b>,</b>	2.2
22	Bursera simaruba	Gumbo Limbo(S)	14 in.	A	100%	75%	Remove	\$	3,180.
22	Bursera simaruba	Gumbo Limbo(S)	14 m. 17 in.	A	100%	70%	Remove	ې د	3,500.
24	Bursera simaruba	Gumbo Limbo(S)	15 in.	A	100%	75%	Remove	ې د	3,380.
25	Quercus virginiana	Southern Live Oak(S)	8 in.	A	100%	75%	Remove	<u>ب</u> د	1,610.
26	Dypsis lutenscens	Areca Palm (Double Trunk)	15' CT		10070	, 5,0	Remove	<b>–</b>	1 PALM
27	Quercus virginiana	Southern Live Oak(S)	10 in.	Α	100%	90%	Relocate		2 1 ) (2101
28	Dypsis lutenscens	Areca Palm (Double Trunk)	13' CT		100/0	5070	Remove		1 PALM
29	Quercus virginiana	Southern Live Oak(S)	8in.	Α	100%	70%	Relocate		, .=
30	Lagerstroemia indica	Crape Myrtle (Multi Trunk)(S)	15 in.	C	60%	65%	Remove	\$	1,692.
31	Lagerstroemia indica	Crape Myrtle (Multi Trunk)(S)	20 in.	c	60%	75%	Remove	\$	3,720.
32	Dypsis lutenscens	Areca Palm (Double Trunk)	10' CT	_			Remove		1 PALM
33	Quercus virginiana	Southern Live Oak(S)	9 in.	А	100%	90%	Relocate		
34	Bursera simaruba	Gumbo Limbo(S)	14 in.	A	100%	80%	Remove	\$	3,770.
35	Bursera simaruba	Gumbo Limbo(S)	12 in.	А	100%	80%	Remove	\$	2,880.
36	Dypsis lutenscens	Areca Palm (Double Trunk)	15' CT				Remove		1 PALM
37	Quercus virginiana	Southern Live Oak	7 in.	A	100%	80%	Relocate		
38	Lagerstroemia indica	Crape Myrtle (Multi Trunk)(S)	22 in.	С	60%	70%	Remove	\$	4,140
39	Dypsis lutenscens	Areca Palm (Double Trunk)	12' CT				Remove		1 PALM
40	Dypsis lutenscens	Areca Palm	15' CT				Remove		1 PALM
41	Dypsis lutenscens	Areca Palm	16' CT				Remove		1 PALM
42	Lagerstroemia indica	Crape Myrtle (Multi Trunk)(S)	20 in.	С	60%	70%	Remove	\$	3,480.
43	Quercus virginiana	Southern Live Oak	7 in.	A	100%	75%	Remove		5.3
44	Bursera simaruba	Gumbo Limbo (S)	18 in.	A	100%	75%	Remove	\$	5,000.
45	Bursera simaruba	Gumbo Limbo (S)	11 in.	Α	100%	75%	Remove	\$	2,120.
46	Bursera simaruba	Gumbo Limbo (S)	20 in.	Α	100%	70%	Remove	\$	4,990.
47	Dypsis lutenscens	Areca Palm	15' CT				Remove		1 PALM
48	Dypsis lutenscens	Areca Palm	18' CT				Remove		1 PALM
49	Lagerstroemia indica	Crape Myrtle (Multi Trunk)(S)	20 in.	С	<b>60%</b>	70%	Remove	\$	3,480
50	Quercus virginiana	Southern Live Oak	6 in.	A	100%	75%	Remove		4.5
51	Quercus virginiana	Southern Live Oak	6 in.	A	100%	70%	Remove		4.2
52	Quercus virginiana	Southern Live Oak	6 in.	A	100%	60%	60%		3.6
53	Quercus virginiana	Southern Live Oak(S)	9 in.	A	100%	65%	Remove	\$	1,400
54	Adonidia merrillii	Christmas Palm (Multi Trunk)	6' CT				Remove		
55	Phoenix roebelenii	Pygmy Date Palm	5' CT				Remove		
56	Sabal palmetto	Sabal Palm	1' CT				Remove		
57	Sabal palmetto	Sabal Palm	2' CT				Remove		
58	Lagerstroemia indica	Crape Myrtle (Multi Trunk)(S)	20 in.	С	<b>60%</b>	70%	Remove	\$	3,480
59	Lagerstroemia indica	Crape Myrtle (Multi Trunk)(S)	20 in.	С	60%	70%	Remove	\$	3,480
					TOTAL REPLACE	MENT DBH REQ. (NON-SI	PECIMEN)		26.7
					TOTAL EQ	JIVALENT VALUE (SPECIN	/EN)	\$	65,326
					TOTAL PALM	REPLACEMENT REQ. (1:1	PALM )		12

\*Equivalent Value for Specimen Trees per City of Fort Lauderdale Code: <u>Appraisal Method by Registered Landscape Architect using the Guide for Plant Appraisal, 10th Edition</u> \*Equivalent Replacement for Specimen Trees per City of Fort Lauderdale Code: RETAIL COST (WHOLE SALE X 2.5) - EQUIVALENT VALUE OF SPECIMEN TREE = MITIGATION INCHES REQ.

TREE DISPOSITION SUMMARY - NON SPECIMEN Total Non-Specimen Trees to be Relocated: 4 Total Non-Specimen Trees to be Removed 27 Total Replacement DBH Required for Mitigation (inches) 26.7 Total Proposed Non-Specimen Tree Mitigation (Inches): (6) Orange Geiger @ 3.5" Cal 21.0 38.5 (11) Muskogee Crape Myrtle Crape @ 3.5" Cal (Multi) (11) Southern Live Oak @ 4" Cal. 44.0 Total Inches provided: 103.5 TREE DISPOSITION SUMMARY - PALMS Total Palms to be Protected: 0 Total Palms to be Removed: 25 Replacement Palms Required (1:1 Rate @ 8' CT.) 14.0 Total Proposed Palm Mitigation: (17) Solitaire Palms 17.0 Total Surplus: 3.0 TREE DISPOSITION SUMMARY - SPECIMEN Total Specimen Trees to be Protected: 0 21 Total Specimen Trees to be Removed: Total Proposed Specimen Equivalent Value\*\*: 65,326.00 (via Canopy Trust Fund Payment) Total Proposed Specimen Replacement (Inches): 0 \*\*Per City of FTL Code, Equivalent replacement for specimen trees = Equivalent Value of Specimen Trees - \$ of wholesale replacement trees x 2.5  $\sqrt{3}$ 

DRIP LINE FENCE TO EXTEND TO THE EDGE OF THE E DEVELOPMENT DRIPLINE OR MORE WHERE POSSIBLE. THREE ROUS OF SPLIT RAIL FENCING (2" × 4") TO BE PLACED AROUND ALL EXISTING TREES TO REMAIN. WOODEN STAKES (2'  $\times$  4"  $\times$  5' MIN.) ON 5' NT OF SUSTAINABLE C ROTECTION C n Date: 4/10/2018 | 1.D. Num CENTERS - TO SUPPORT SPLIT RAIL FENCING. CONTRACTOR TO INSTALL PROTECTIVE FENCE BARRIER AROUND ALL EXISTING TREES TO REMAIN- AT THE START OF THE PROJECT-FENCE TO REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT. CONTRACTOR SHALL TAKE EXTRA CARE E PRC DURING EARTHWORK AND UTILITY OPERATIONS TO PROTECT ALL EXISTING TREES - AND SHALL BARRIER TO FORM A BE RESPONSIBLE TO REPLACE ANY TREES CONTINUOUS CIRCLE AROUND DAMAGED DURING CONSTRUCTION. THE TREE OR GROUP OF TREES. A L **TR** Revi **TREE PROTECTION DETAIL** N.T.S. 

THE PRESENCE OF GROUNDWATER SHOULD BE

INCLUDE CONSIDERATION FOR ADDRESSING THIS

ISSUE AND OBTAINING ALL NECESSARY PERMITS

ANTICIPATED. CONTRACTOR'S BID SHALL

• SCHEDULE FOR WATERING/FERTILIZATION AFTER PRUNING 5. IMPLEMENT THE ROOT PRUNING PLAN PER THE ARBORIST'S RECOMMENDATION

(NOTE: IN FLORIDA, IT IS BEST TO AVOID ROOT PRUNING DURING TIMES OF THE MAY

THROUGH SEPTEMBER, WHEN THE POTENTIAL FOR DAMAGING WIND LOADS ON TREES

- TYPE AND EXTENT OF NECESSARY STRUCTURAL SUPPORT
- MITIGATING CANOPY PRUNING

ARBORIST. THIS PLAN SHOULD IDENTIFY:

ARE GREATEST.)

THE EARTH DURING CONSTRUCTION.

ROOT PRUNING

- METHOD FOR MAKING CUTS

CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.

• MAXIMUM ALLOWABLE SIZE OF ROOTS TO BE CUT • ALLOWABLE PROXIMITY TO THE TRUNK FOR CUTS • TIME OF YEAR WHEN ROOT CUTTING IS ALLOWABLE

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM

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Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

DETAILS

175309 JOB NO.

L001.0

CAM # 25-0687 Exhibit 3 Page 52 of 58

SHEET



TREE DISPOSITION



GARGAGE

# BROWARD HEALTH MEDICAL CENTER -MOB & PARKING

CURRENT SUBMISSION: DRC RESUBMISSION #3 # DATE SUBMISSION A 12/12/25 DRC SUBMISSION B 02/17/25 SCHEMATIC DESIGN 03/21/25 DRC RESUBMISSION #1 04/24/25 DESIGN DEVELOPMENT - CS 04/25/25 | DRC RESUBMISSION #2 05/02/25 | DRC RESUBMISSION #3

5/1/2025

**INCOMPLETE DOCUMENTS** FOR INTERIM REVIEW ONLY. NOT FOR REGULATORY APPROVAL PERMIT, OR CONSTRUCTION

THOMAS HARGRETT, PLA FL REGISTRATION #6667512

**Kimley»Horn** 



BECK ARCHITECTURE 501 EAST LAS OLAS BLVD. SUITE 200 AND 300 FORT LAUDERDALE, FL 33301 PH: 754-799-2235 WWW.BECKARCHITECTURE.COM

4. FOR TREES REQUIRING ROOT PRUNING, A TREE ASSESSMENT SHALL BE CONDUCTED AND A ROOT-PRUNING PLAN SHALL BE DEVELOPED BY A CERTIFIED ARBORIST OR CONSULTING

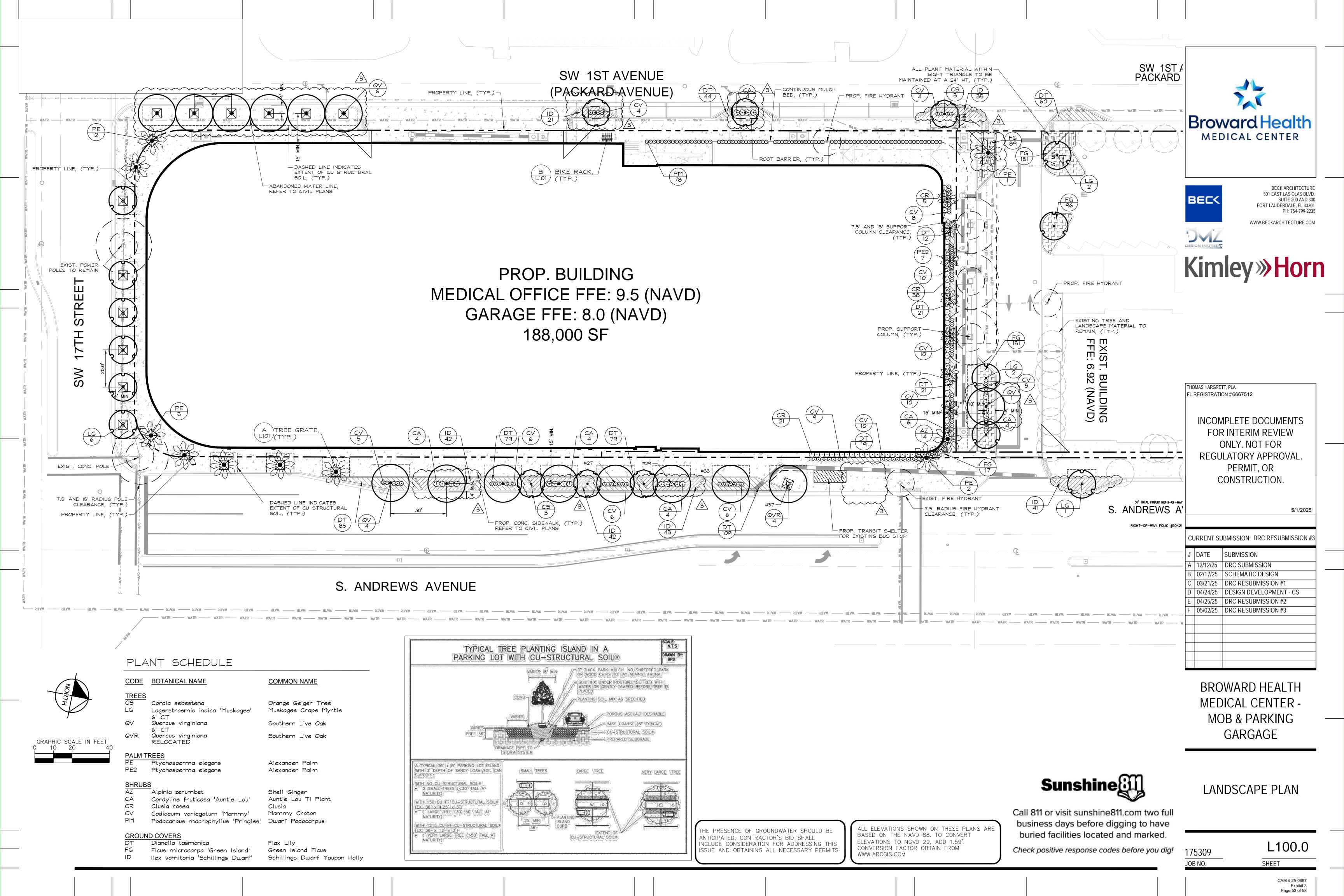
ROOTS ARE CUT CLEAN AND AT PROPER ANGLES AND NOT MECHANICALLY RIPPED FROM

2. IF CONSTRUCTION ACTIVITIES OCCUR WITHIN THE DRIPLINE (OR THE HORIZONTAL EXTENT OF THE CANOPY) OF A TREE, THEN THAT TREE IS A CANDIDATE FOR ROOT PRUNING. 3. ROOT PRUNING MUST OCCUR PRIOR TO TRENCHING OPERATIONS TO INSURE THAT THE

1. THE LANDSCAPE ARCHITECT HAS OBSERVED TREES THAT COULD BE IMPACTED BY







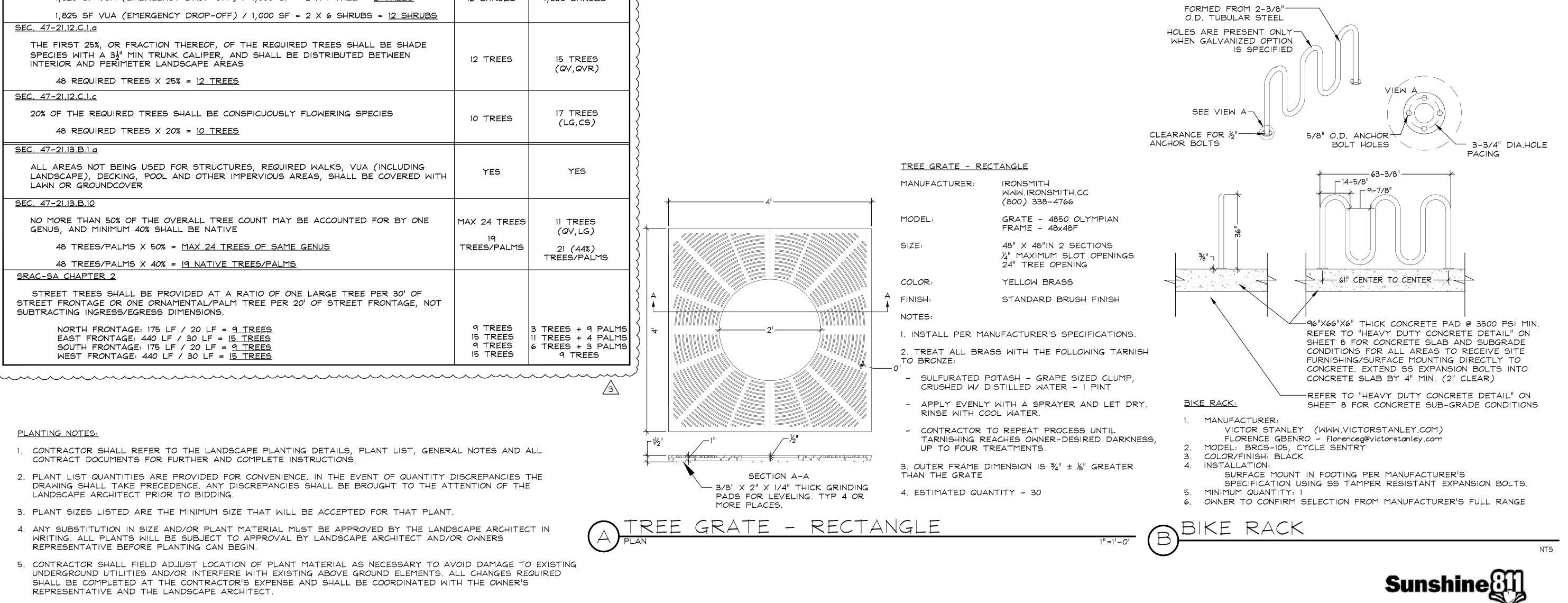
ODE REQUIREMENTS (per ft lauderdale land development code)				ANT SCHEDULE							
E AREA: 75,646 SF (1.74 ACRES) IMPERVIOUS AREA: 6,134 SF (0.14 ACRES	)		$\neg$ $\langle$								
NING: SRAC-SAE PERVIOUS AREA: 964 SF (0.02 ACRES) ND USE: SRAC BUILDING AREA: 67,762 SF (1.56 ACRES)	REQUIRED	PROVIDED	$ \left\{ \right\} \left\{ \frac{\text{CODE}}{2} \right\}$	BOTANICAL NAME	COMMON NAME	<u>CONT</u>	CAL	SIZE	NATIVE	DROUGHT TOL.	<u>·</u> (
EC. 47-21.8.E			$=$ $\left\langle \right\rangle \left\langle \frac{\text{TREE}}{60} \right\rangle$						~	~	
50% OF ALL VEGETATION, EXCLUDING ALL TURFGRASS, SHALL BE NATIVE	24	21 (44%)	$\left. \right\} \left\{ \begin{array}{c} \overline{CS} \\ \mathcal{F} \\ F$	Cordia sebestena Lagerstroemia indica 'Muskogee'	Orange Geiger Tree Muskogee Crape Myrtle	F.G. F.G.	3.5" Cal. 3.5" Cal.	14' HT X 6' SPR 14' HT X 6' SPR	Yes No	Yes Yes	
	TREES/PALMS	TREES/PALMS	$\left \right\rangle \left\langle \right\rangle_{QV}$	6' CT Quercus virginiana	Southern Live Oak	F.G.	4" Cal.	20' HT X 8' SPR	Yes	Yes	
48 TREES/PALMS X 50% = <u>24 TREES/PALMS</u>	783 SHRUBS/GC			6' CT Quercus virginiana	Southern Live Oak	Relocated					
1,565 SHRUBS/GC X 50% = <u>783 SHRUBS/GC</u> EC. 47-21.8.R		SHRUBS/GC		RELOCATED	Southern Live Oak	Relocated					
	482 SF (MAX)	0 SF (0%)		TREES							
NO MORE THAN 50% OF THE LANDSCAPED AREA MAY BE IN TURFGRASS	402 SF (MAX)	0 SF (0%)	PE	Ptychosperma elegans Ptychosperma elegans	Alexander Palm Alexander Palm	F.G. F.G.		14' CT 8' CT	No No	Yes Yes	
964 SF PERVIOUS AREA X 50% = <u>482 SF MAX</u> <u>EC. 47-21.8.5</u>			-						NO		
			$\left\{ \right\} \left\{ CODE \right\}$	BOTANICAL NAME	COMMON NAME	CONT	<u>0.C.</u>	SIZE	NATIVE	DROUGHT TOL.	<u>.</u>
A MINIMUM OF 50% OF THE LANDSCAPED AREA MUST BE DROUGHT TOLERANT	24 TREES/PALMS	48 (100%) TREES/PALMS	) { <u>Shru</u>								
48 TREES/PALMS X 50% = <u>24 TREES/PALMS</u>	783 SHRUBS/GC			Alpinia zerumbet Cordyline fruticosa 'Auntie Lou'	Shell Ginger Auntie Lou Ti Plant	Cont. Cont.	24" O.C. 36" O.C.	30" HT x 24" SPR 3-4' HT	No No	Low Yes	
1,565 SHRUBS/GC X 50% = <u>783 SHRUBS/GC</u>		SHRUBS/GC	$\left\{ \right\} \left\{ CR \right\}$	Clusia rosea	Clusia	Cont.	36" O.C.	30" HT x 24" SPR	Yes	Yes	
EC. 47-21.12.A.1				Codiaeum variegatum 'Mammy' Podocarpus macrophyllus 'Pringles'	Mammy Croton Dwarf Podocarpus	5 gal Cont.	24" O.C. 24" O.C.	18"x18" 24" HT x 20" SPR	No No	Low Yes	
LANDSCAPING SHALL BE PROVIDED IN A SQUARE FOOTAGE AREA EQUAL TO A MINIMUM			$\left\{ \right\}$				24 0.0.				
OF 20% IF THE GROSS VEHICULAR USE AREA. THIS AREA SHALL CONSIST OF PERIMETER, PENINSULAR AND INTERIOR LANDSCAPES AND SHALL NOT EXTEND MORE THAN 10'	365 SF	964 SF		<u>JND COVERS</u> Dianella tasmanica	Flax Lily	Cont.	18" O.C.	12"x12"	No	Yes	
BEYOND THE VUA				Ficus microcarpa 'Green Island'	Green Island Ficus	Cont.	18" O.C.	15"x15"	No	Yes	
1,825 SF VUA (EMERGENCY DROP-OFF) X 20% = <u>365 SF LANDSCAPE AREA</u>				Ilex vomitoria 'Schillings Dwarf'			24" O.C.		Yes	Yes	
EC. 47-21.12.C.1			$\neg$								
ONE TREE AND 6 SHRUBS SHALL BE REQUIRED FOR EVERY 1,000 SF OR FRACTION											
THEREOF, OF VUA	2 TREE	48 TREES									
	2 TREE 12 SHRUBS	48 TREES 1,565 SHRUBS							EOPMED	FROM 2-3/8"	
THEREOF, OF VUA 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 1 TREE = <u>2 TREES</u> 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 6 SHRUBS = <u>12 SHRUBS</u>										FROM 2-3/8" ULAR STEEL	
THEREOF, OF VUA 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 1 TREE = <u>2 TREES</u>								HOL	0.D. TUB .es are f	ULAR STEEL PRESENT ONLY-	
THEREOF, OF VUA 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 1 TREE = <u>2 TREES</u> 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 6 SHRUBS = <u>12 SHRUBS</u> EC. 47-21.12.C.1.a THE FIRST 25%, OR FRACTION THEREOF, OF THE REQUIRED TREES SHALL BE SHADE	12 SHRUBS	1,565 SHRUBS						HOL	0.D. TUB .es are f	ULAR STEEL	
THEREOF, OF VUA 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 1 TREE = <u>2 TREES</u> 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 6 SHRUBS = <u>12 SHRUBS</u> EC. 47-21.12.C.1.a		1,565 SHRUBS						HOL	0.D. TUB .es are f	ULAR STEEL PRESENT ONLY- ANIZED OPTION	
THEREOF, OF VUA 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 1 TREE = <u>2 TREES</u> 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 6 SHRUBS = <u>12 SHRUBS</u> <u>EC. 47-21.12.C.1.a</u> THE FIRST 25%, OR FRACTION THEREOF, OF THE REQUIRED TREES SHALL BE SHADE SPECIES WITH A 3 <sup>1</sup> / <sub>2</sub> " MIN TRUNK CALIPER, AND SHALL BE DISTRIBUTED BETWEEN	12 SHRUBS	1,565 SHRUBS						HOL	0.D. TUB .es are f	ULAR STEEL PRESENT ONLY- ANIZED OPTION	
THEREOF, OF VUA 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 1 TREE = <u>2 TREES</u> 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 6 SHRUBS = <u>12 SHRUBS</u> EC. 47-21.12.C.1.a THE FIRST 25%, OR FRACTION THEREOF, OF THE REQUIRED TREES SHALL BE SHADE SPECIES WITH A 3 <sup>1</sup> / <sub>2</sub> " MIN TRUNK CALIPER, AND SHALL BE DISTRIBUTED BETWEEN INTERIOR AND PERIMETER LANDSCAPE AREAS	12 SHRUBS	1,565 SHRUBS						HOL	0.D. TUB .es are f	ULAR STEEL PRESENT ONLY- ANIZED OPTION	
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THEREOF, OF VUA 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 1 TREE = <u>2 TREES</u> 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 6 SHRUBS = <u>12 SHRUBS</u> EC. 47-21.12.C.1.a THE FIRST 25%, OR FRACTION THEREOF, OF THE REQUIRED TREES SHALL BE SHADE SPECIES WITH A 3 <sup>1</sup> / <sub>2</sub> " MIN TRUNK CALIPER, AND SHALL BE DISTRIBUTED BETWEEN INTERIOR AND PERIMETER LANDSCAPE AREAS 48 REQUIRED TREES X 25% = <u>12 TREES</u> EC. 47-21.12.C.1.c 20% OF THE REQUIRED TREES SHALL BE CONSPICUOUSLY FLOWERING SPECIES	12 SHRUBS	1,565 SHRUBS						HOL WH	O.D. TUB ES ARE F IEN GALVA	ULAR STEEL RESENT ONLY- NIZED OPTION IS SPECIFIED	
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THEREOF, OF VUA 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 1 TREE = <u>2 TREES</u> 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 6 SHRUBS = <u>12 SHRUBS</u> EC. 47-21.12.C.1.a THE FIRST 25%, OR FRACTION THEREOF, OF THE REQUIRED TREES SHALL BE SHADE SPECIES WITH A 3 <sup>J</sup> MIN TRUNK CALIPER, AND SHALL BE DISTRIBUTED BETWEEN INTERIOR AND PERIMETER LANDSCAPE AREAS 48 REQUIRED TREES X 25% = <u>12 TREES</u> EC. 47-21.12.C.1.c 20% OF THE REQUIRED TREES SHALL BE CONSPICUOUSLY FLOWERING SPECIES 48 REQUIRED TREES X 20% = <u>10 TREES</u> EC. 47-21.13.B.1.a ALL AREAS NOT BEING USED FOR STRUCTURES, REQUIRED WALKS, VUA (INCLUDING LANDSCAPE), DECKING, POOL AND OTHER IMPERVIOUS AREAS, SHALL BE COVERED WITH LAWN OR GROUNDCOVER EC. 47-21.13.B.10	12 SHRUBS 12 TREES 10 TREES YES	1,565 SHRUBS 15 TREES (QV,QVR) 17 TREES (LG,CS) YES		4'		IRONSM WWW.IR (800) 3	ONSMITH.CC	HOL WH CLEARA ANCHOR	O.D. TUB ES ARE F EN GALVA SEE VIE	ULAR STEEL RESENT ONLY- NIZED OPTION IS SPECIFIED	
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<pre>THEREOF, OF VUA     1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 1 TREE = 2_TREES     1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 6 SHRUBS = 12 SHRUBS EC. 47-21.12.C.1.a THE FIRST 25%, OR FRACTION THEREOF, OF THE REQUIRED TREES SHALL BE SHADE SPECIES WITH A 3½" MIN TRUNK CALIPER, AND SHALL BE DISTRIBUTED BETWEEN INTERIOR AND PERIMETER LANDSCAPE AREAS     48 REQUIRED TREES X 25% = 12_TREES EC. 47-21.12.C.1.c 20% OF THE REQUIRED TREES SHALL BE CONSPICUOUSLY FLOWERING SPECIES     48 REQUIRED TREES X 20% = 10_TREES EC. 47-21.13.B.1.a ALL AREAS NOT BEING USED FOR STRUCTURES, REQUIRED WALKS, VUA (INCLUDING LANDSCAPE), DECKING, POOL AND OTHER IMPERVIOUS AREAS, SHALL BE COVERED WITH LAWN OR GROUNDCOVER EC. 47-21.13.B.10 NO MORE THAN 50% OF THE OVERALL TREE COUNT MAY BE ACCOUNTED FOR BY ONE     GENUS, AND MINIMUM 40% SHALL BE NATIVE</pre>	12 SHRUBS 12 TREES 10 TREES 10 TREES YES MAX 24 TREES 19	1,565 SHRUBS 15 TREES (QV,QVR) 17 TREES (LG,CS) YES 11 TREES (QV,LG)		4 <sup>1</sup>	MANUFACTURER:	IRONSM WWW.IR (800) 3 GRATE FRAME 48" X 4 1/4" MAX	ONSMITH.CC 338-4766 - 4850 OLY - 48x48F	HOL WH CLEARA ANCHOR MPIAN TIONS OPENINGS	O.D. TUB ES ARE F EN GALVA SEE VIE	ULAR STEEL RESENT ONLY- NIZED OPTION IS SPECIFIED	
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THEREOF, OF VUA 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X I TREE = 2_TREES 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 6 SHRUBS = 12 SHRUBS EC. 47-21.12.C.1.a THE FIRST 25%, OR FRACTION THEREOF, OF THE REQUIRED TREES SHALL BE SHADE SPECIES WITH A 3 <sup>1</sup> / <sub>2</sub> <sup>MIN</sup> TRUNK CALIPER, AND SHALL BE DISTRIBUTED BETWEEN INTERIOR AND PERIMETER LANDSCAPE AREAS 48 REQUIRED TREES X 25% = 12 TREES EC. 47-21.12.C.1.c 20% OF THE REQUIRED TREES SHALL BE CONSPICUOUSLY FLOWERING SPECIES 48 REQUIRED TREES X 20% = 10 TREES EC. 47-21.13.B.1.a ALL AREAS NOT BEING USED FOR STRUCTURES, REQUIRED WALKS, VUA (INCLUDING LANDSCAPE), DECKING, POOL AND OTHER IMPERVIOUS AREAS, SHALL BE COVERED WITH LAWN OR GROUNDCOVER EC. 47-21.13.B.10 NO MORE THAN 50% OF THE OVERALL TREE COUNT MAY BE ACCOUNTED FOR BY ONE GENUS, AND MINIMUM 40% SHALL BE NATIVE 48 TREES/PALMS X 40% = 19 NATIVE TREES/PALMS RAC-SA CHAPTER 2 STREET TREES SHALL BE PROVIDED AT A RATIO OF ONE LARGE TREE PER 30' OF TREET FRONTAGE OR ONE ORNAMENTAL/PALM TREE PER 20' OF STREET FRONTAGE, NOT UBTRACTING INGRESS/EGRESS DIMENSIONS.	12 SHRUBS 12 TREES 10 TREES 10 TREES YES MAX 24 TREES 19 TREES/PALMS	1,565 SHRUBS 15 TREES (QV,QVR) 17 TREES (LG,CS) YES 11 TREES (QV,LG) 21 (44%) TREES/PALMS			MANUFACTURER: MODEL: SIZE: COLOR:	IRONSM WWW.IR (800) S GRATE FRAME 48" X 4 1/4" MAX 24" TR YELLON	ONSMITH.CC 338-4766 - 4850 OLY - 48x48F 48"IN 2 SECT 1MUM SLOT EE OPENING N BRASS		O.D. TUB ES ARE F EN GALVA SEE VIE	ULAR STEEL PRESENT ONLY- ANIZED OPTION IS SPECIFIED W A- ½"	
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PLANTING NOTES:

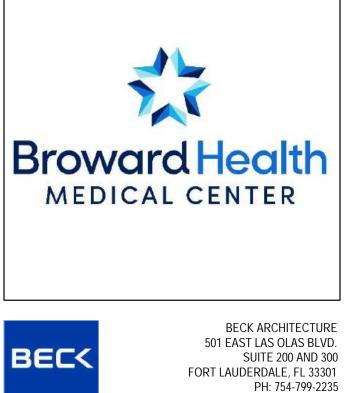
1. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND ALL CONTRACT DOCUMENTS FOR FURTHER AND COMPLETE INSTRUCTIONS.

- 2. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING.
- 3. PLANT SIZES LISTED ARE THE MINIMUM SIZE THAT WILL BE ACCEPTED FOR THAT PLANT.
- 4. ANY SUBSTITUTION IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNERS REPRESENTATIVE BEFORE PLANTING CAN BEGIN.
- 5. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR INTERFERE WITH EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- 6. THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS.
- 7. CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.
- 8. ALL NEW AND TRANSPLANTED PLANT MATERIAL SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.



THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM







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**BROWARD HEALTH** MEDICAL CENTER -MOB & PARKING GARGAGE

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

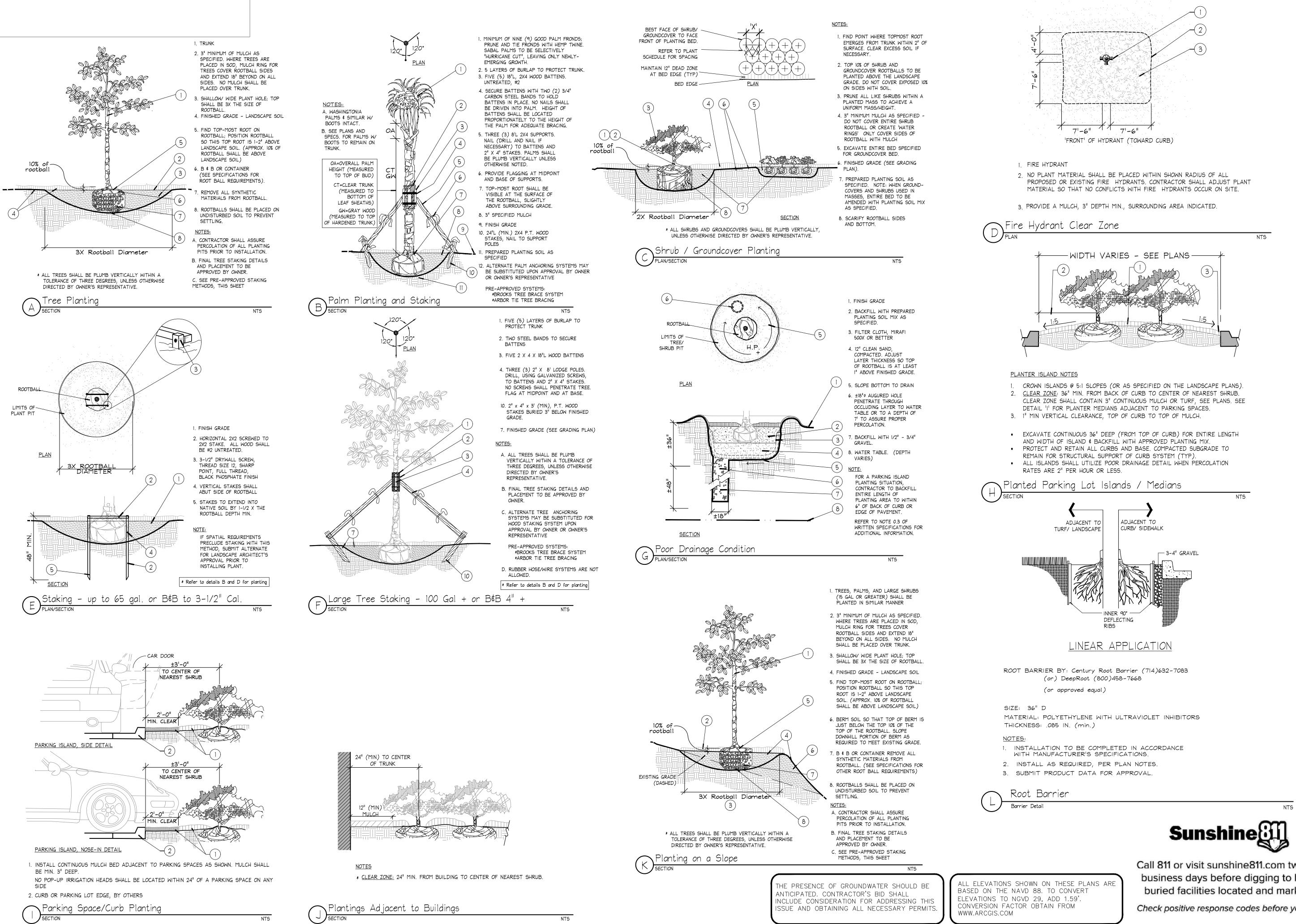
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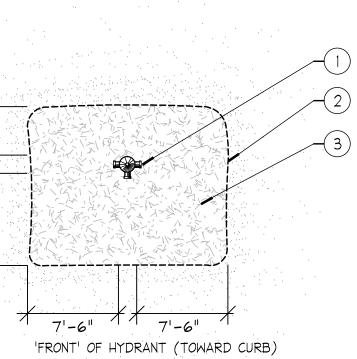
LANDSCAPE DETAILS

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# **Kimley**»**Horn**

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## LANDSCAPE DETAILS

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GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

- A. SCOPE OF WORK
- 1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
- 2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.
- B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE, CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/ OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

- D. MATERIALS
- 1. GENERAL

MATERIALS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL. UPON SUBMITTALS' APPROVAL DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SUBMITTAL
MULCH	PRODUCT DATA
TOPSOIL MIX	AMENDMENT MIX/ PRODUCT DATA/ TEST RESULTS
PLANTS	PHOTOGRAPHS OF ONE (1) OF EACH SPECIES (OR TAGGED IN NURSERY)
	CLIENT-REQUESTED TAGGING MAY SUBSTITUTE PHOTOS.
	INDICATE SIZES (HEIGHT/WIDTH) AND QUALITY PER SPEC.
FERTILIZER	PRODUCT DATA
INNOCULANT	PRODUCT DATA
HERBICIDE	PRODUCT DATA
STAKING/GUYING	FOR ALTERNATE TO DETAILS: SEND PRODUCT DATA, DETAIL

2. PLANT MATERIALS

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY; SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

- E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)
- 1. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF 20% CLEAN FLORIDA MUCK AND 80% PARTS CLEAN SAND. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
- 2. MUCK (OR MUCKY PEAT) FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, AND OF A VERY HIGH ORGANIC CONTENT DERIVED FROM FLORIDA SOURCES; REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER; FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
- 3. <u>SAND</u> FOR USE IN PREPARING SOIL MIXTURE SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY THE OWNER.
- 4. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
- 5. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
- F. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC ... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER. \*WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

#### G. FERTILIZER

- TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
- H. MULCH
- MULCH
- I. DIGGING AND HANDLING
- TRANSPIRATIONAL WATER LOSS.
- PLANTING.
- ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL.
- FOOTERS AND PREPARED SUB- BASES.
- J. CONTAINER GROWN STOCK
- BETTER.
- THEIR STEMS.
- 3. PLANT ROOTS BOUND IN CONTAINERS ARE NOT ACCEPTABLE.
- OBTAINED FROM THE OWNER OR OWNER'S REPRESENTATIVE.
- K. COLLECTED STOCK
- L. NATIVE STOCK
- RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.
- M. MATERIALS LIST
- N. FINE GRADING
- NOTED.
- SOIL WITHIN THE SITE.
- O. PLANTING PROCEDURES
- MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER

\*FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A MINIMUM DEPTH OF 3 INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE). TYPE OF MATERIAL: "FLORIMULCH" OR SHREDDED, STERILE EUCALYPTUS

1. PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE

2. BALLED AND BURLAPPED PLANTS (B\$B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS, COMPLYING WITH FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS, CURRENT EDITION. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT DURING TRANSPORTATION AND PRIOR TO

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED.

5. EXCAVATION OF TREE PITS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS,

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, FLORIDA #1 OR

2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL IS

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED BY THE OWNER OR OWNER'S REPRESENTATIVE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY RE-ESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO BIDDING OR INSTALLATION. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS OTHERWISE

2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES.

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE

- 2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL - 811 - TO LOCATE UTILITIES.
- 3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND ADEQUATE PERCOLATION CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.
- 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- 5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. UPON ARRIVAL AT THE SITE , PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES, METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.
- 6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- 7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 260.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER PERCOLATION. IF POOR PERCOLATION EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL IS RECOMMENDED.
- 8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
- 9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION E OF THESE SPECIFICATIONS.
- 10. TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- 11. AMEND PINE AND OAK PLANT PITS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. ALL OTHER PLANT PITS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURER'S RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.
- 12. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, BASKETS, ETC ..., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.
- 13. PRUNING: TREES SHALL BE PRUNED, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY LICENSED ARBORIST, IN ACCORDANCE WITH ANSI A-300.
- 14. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE ALL DEBRIS MIX TOP 4" TO ACHEIVE SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.
- 15. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.
- 16. MULCHING: PROVIDE A THREE INCH (MINIMUM) LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE PIT PLANTED P. LANDERSJUSINGONTRACT.
- 17. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)
- 1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER
- 2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- 3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON BASED ON THE NAVD 88. ELEVATIONS TO NGVD 29. CONVERSION FACTOR OBTA WWW.ARCGIS.COM

#### 4. SODDING

- A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- B. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETAL TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.
- C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED - REFER TO DETAILS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

6. LAWN MAINTENANCE:

- A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"X12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING IF NECESSARY).
- B. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

#### Q. CLEANUP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM-CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

#### R. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

S. MAINTENANCE (ALTERNATE BID ITEM)

CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST-PER-MONTH BASIS.

#### T. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

#### U. WARRANTY

1. THE LIFE AND SATISFACTORY CONDITION OF ALL 7 GALLON AND LARGER PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.

2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE.

3. REPLACEMENT: ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING", AT NO ADDITIONAL COST TO THE OWNER.

4. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.



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FL REGISTRATION #6667512

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5/1/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
А	12/12/25	DRC SUBMISSION
В	02/17/25	SCHEMATIC DESIGN
С	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
Е	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

**BROWARD HEALTH** MEDICAL CENTER **MOB & PARKING** GARGAGE

## LANDSCAPE NOTES

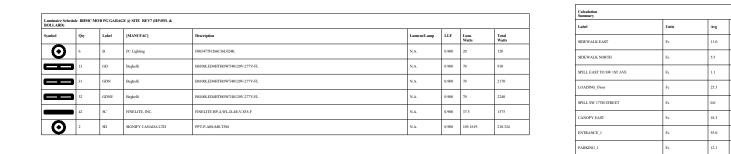
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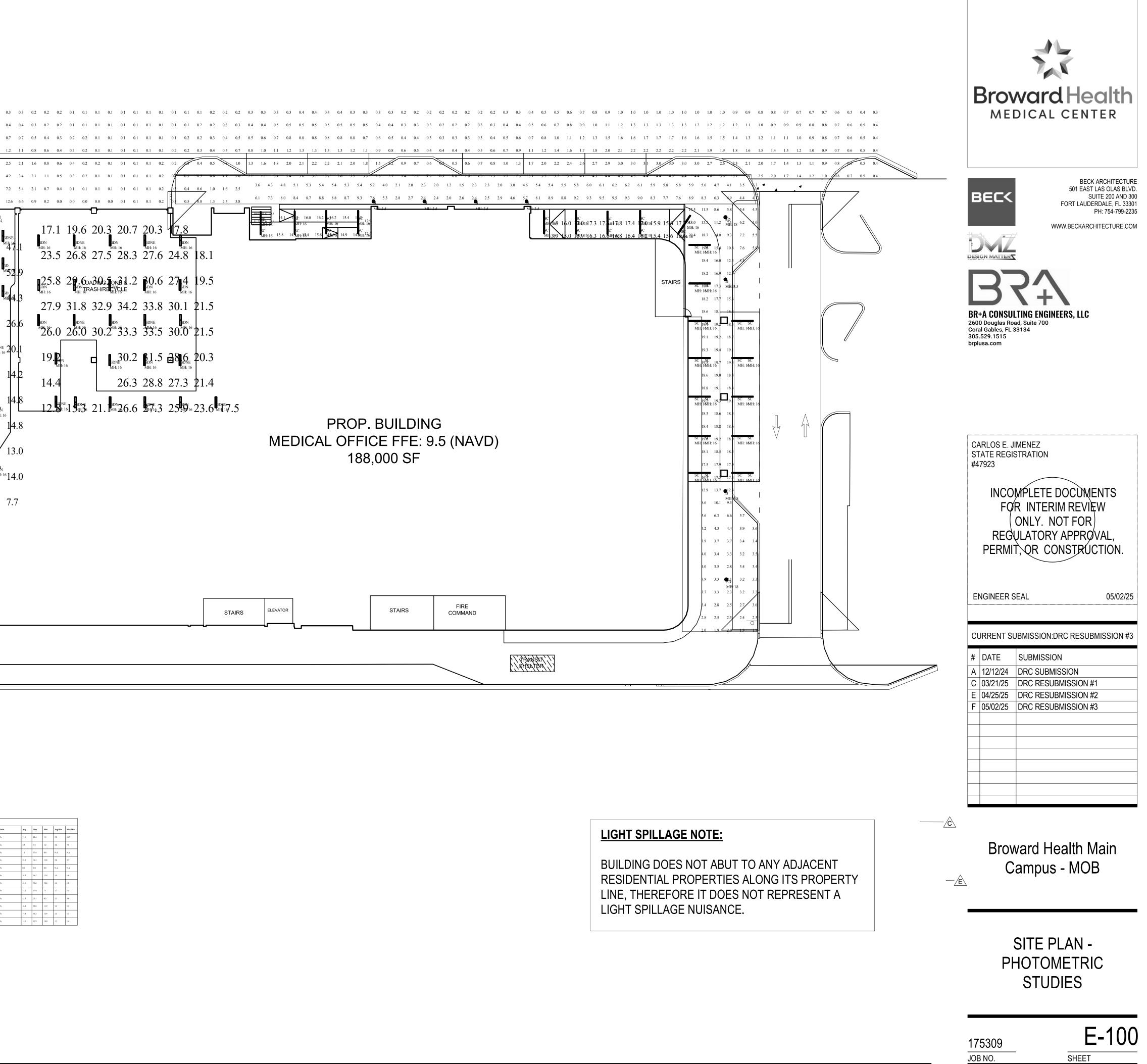
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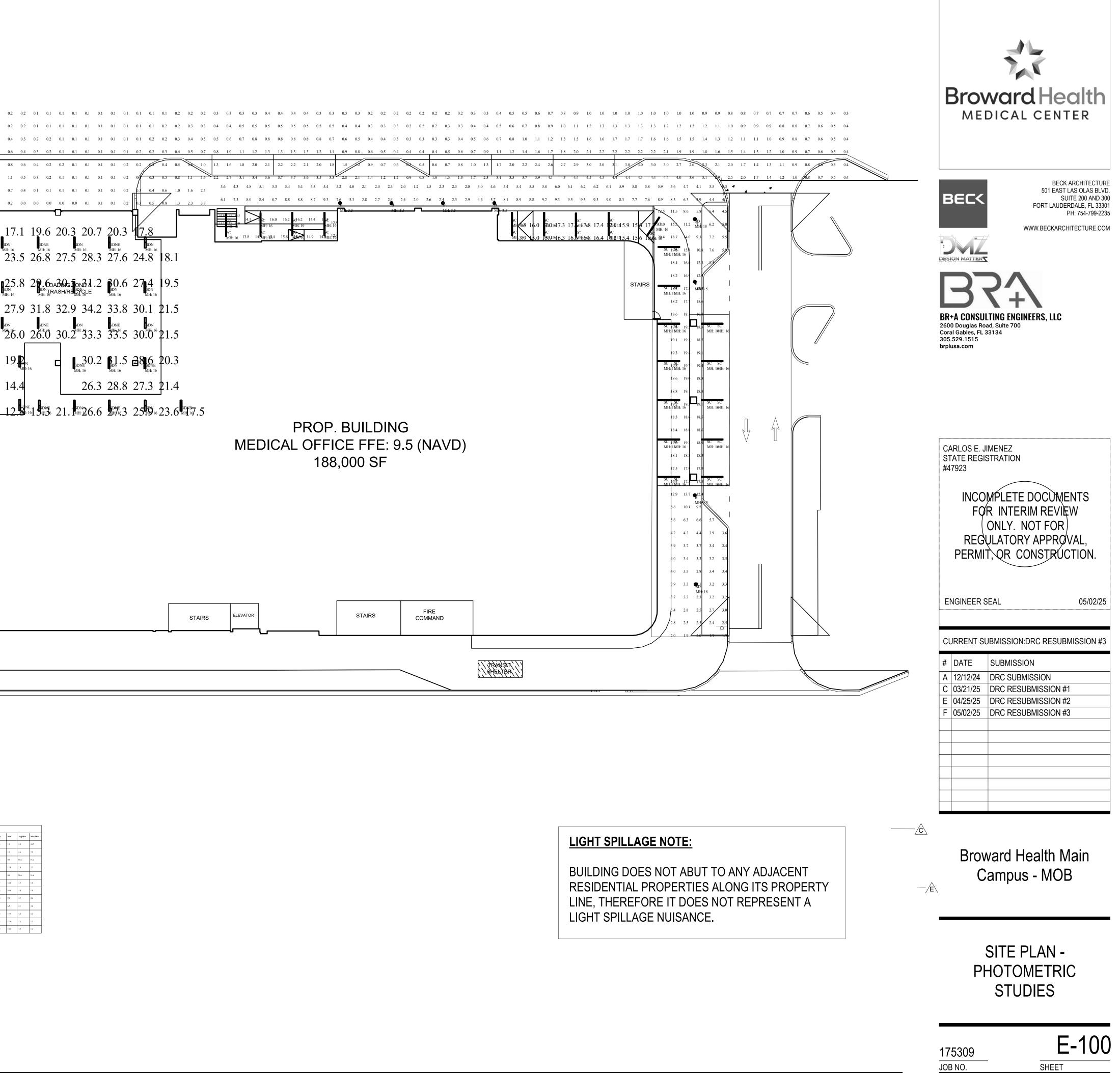
> CAM # 25-0687 Exhibit 3 Page 56 of 58

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x	Min	Avg/Min	Max/Min
4	1.9	5.8	10.7
	1.2	4.6	7.9
6	0.0	N.A.	N.A.
2	12.8	2.0	2.7
	0.0	N.A.	N.A.
7	12.4	1.5	1.6
6	38.6	1.4	1.8
0	7.1	1.7	2.4
1	6.5	2.1	3.6
6	13.9	1.2	1.3
2	12.4	1.2	1.3



Due to continuous development and improvements, specifications are subject to change without notice. Product use certifies agreement to FC Lighting terms and conditions.

0-10V (10%)

power consumption

dimming

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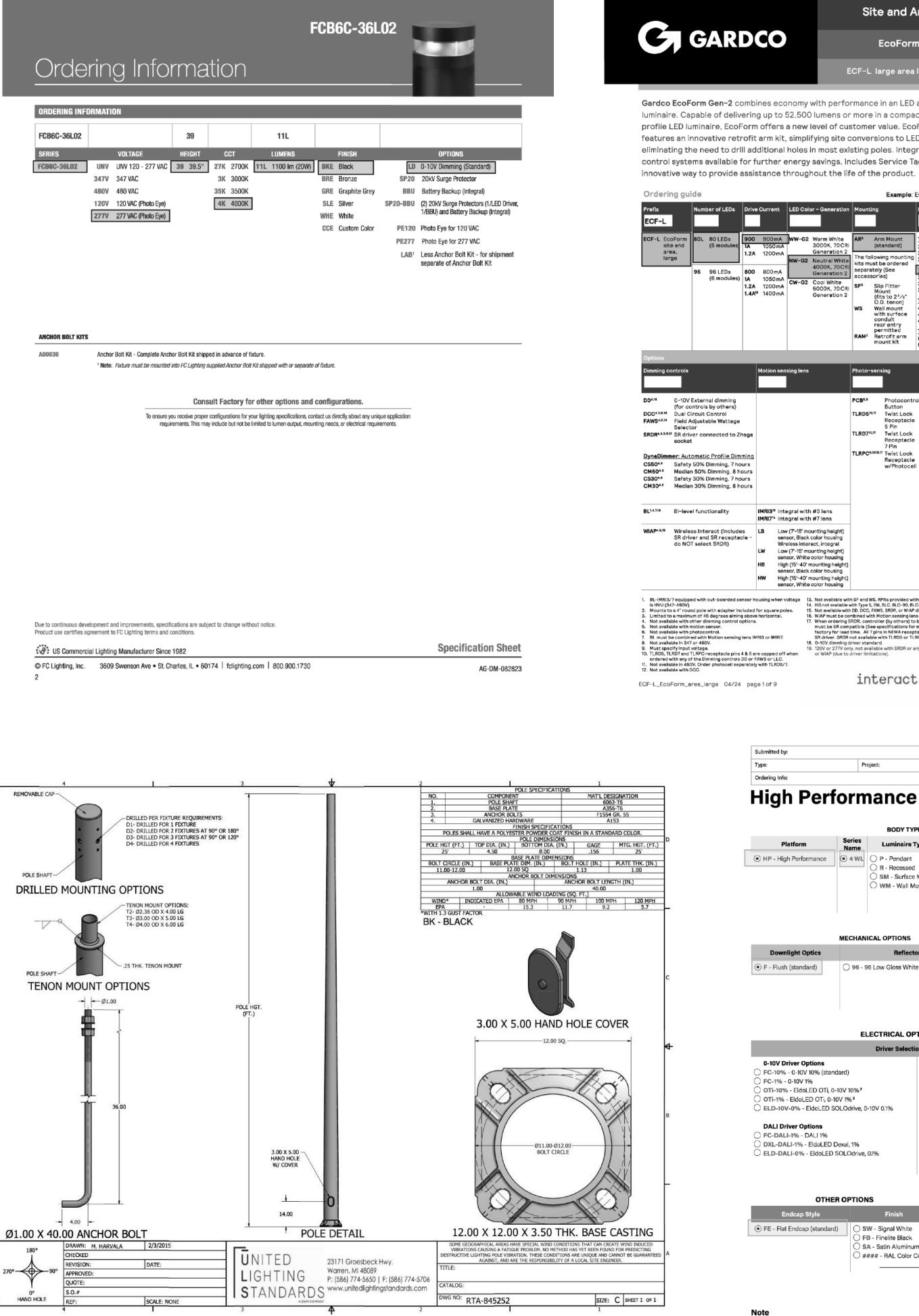
20W @ 120 - 277 VAC (maximum)

Specification Sheet US Commercial Lighting Manufacturer Since 1982 © FC Lighting, Inc. 3609 Swenson Ave • St. Charles, IL • 60174 | fclighting.com | 800.900.1730 AG-DM-082823



FCB6C-36L02

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the product. Technical specifications that appear on www.beghelliusa.com supersede all other versions existing in print or electronic form.

Not suitable for vertical mounting Not suitable for natatoriums

<sup>1</sup> Contact factory for switching options <sup>2</sup> Add DTO to gain "Dim to Off" functionality (FC-10% - DTO, FC-1%) <sup>a</sup> Wall Mount only <sup>4</sup> Direct Rigid Stem Finelite, Inc. + 30500 Whipple Road + Union City + CA 94587-1530 + P: 510-441-1 Due to continuing product improvements. Finelite reserves the right to change

Area orm ea luminaire ED area pact, low EcoForm LED by rype: Location: Cat.No: LED by Type: Lamps: Tag, our Cat.Notes: Ct. Ide: ECF-L-96L-1A-CW-AR-AFR-90-120-DD-PCB-F1- Distribution	Oty:		Broward MEDICAL C	
Eusing     Square Pole Adapter       included in standard     product       F1°     Single       (120, 277, 347VAC)     F2°       F2°     Double       (208, 240, 480VAC)     RPA''       ROME     Control       Pole Mount Fusing     O.D. pole       HIS''     Internal House       Single     Internal House       Side Shield     Side Shield	a       277       277         277       277       277         yoo       347       347         480       480       480         UNV       120-277V       (50/60Hz)         trol       HVU       347-480V         (50/60Hz)       (50/60Hz)         trol       HVU       347-480V         (50/60Hz)       (50/60Hz)         Finish       1         Extured       BK         BK       Black         WH       White         BZ       Bronze         DGY       Dark Gray         MGY       Medium Gray         Customer specified		BECK	BECK ARCHITECTURE 501 EAST LAS OLAS BLVD. SUITE 200 AND 300 RT LAUDERDALE, FL 33301 PH: 754-799-2235 BECKARCHITECTURE.COM
Induces sight politition Certified by DarkSkyorg     Definition       Image: Standard Street     D       Image: Standard Street     Image: Standard Street       Image: Standard Street     Voltage	with could result in you inplant product with no recourses its harding to a waiver under, they do a waiver under they down and th	ng	CARLOS E. JIMENEZ STATE REGISTRATION #47923 INCOMPLETE DO FOR INTERIM ONLY. NOT REGULATORY AN PERMIT, OR CONS ENGINEER SEAL CURRENT SUBMISSION:DRC # DATE SUBMISSION A 12/12/24 DRC SUBMISSION C 03/21/25 DRC RESUBMIS E 04/25/25 DRC RESUBMIS	REVIEW FOR PPROVAL, STRUCTION. 05/02/25 RESUBMISSION #3 ON SSION #1 SSION #2
LUT-ES1 - Lutron, Ecosystem 1%     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F     F	SC - Single Circuit* One single circuit in a run MC - Multi-Circuit* More than one switch leg or zone. Factory shop drawings rec *Battery, Night Light, and Emergency to Generator circuits are in addition to the luminaire circuit(s) <b>BUDY INCO OPTIONS</b> MOUNTING OPTIONS   Mounting Method   Calling Hardware 1   CA50 - Fully Adjustable 50' (standard)   CA50 - Fully Adjustable 50' (standard)   CA100 - Fully Adjustable 100'   CA100 - Fully Adjustable 200'   CA200 - Fully Adjustable 300'   MB - Mounting Bracket <sup>3</sup> RS12 - Rigid Stem 12"4   RS36 - Rigid Stem 24"4   RS36 - Rigid Stem 36"4   SF - Spackle Flange 5   /F - Visual Flange 5	ype *	F       05/02/25       DRC RESUBMIS         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D         D       D       D </td <td>Ith Main MOB</td>	Ith Main MOB
<ul> <li><sup>5</sup> Available for Recessed only</li> <li><sup>6</sup> 20 business days lead time for color</li> <li><sup>7</sup> Contact factory for restrictions</li> <li><sup>100</sup> • www.finelite.com. © 2025 FINELITE, INC. ALL RIGHTS RESERVED. VI5 C</li> <li>specifications without notice. Visit www.finelite.com for the most current data.</li> </ul>	TK0239. D4/25. A brand of 🛱 🎼	Page 2	<b>SPECIFICA</b> 175309	TIONS E-101

CAM # 25-0687 Exhibit 3 Page 58 of 58