

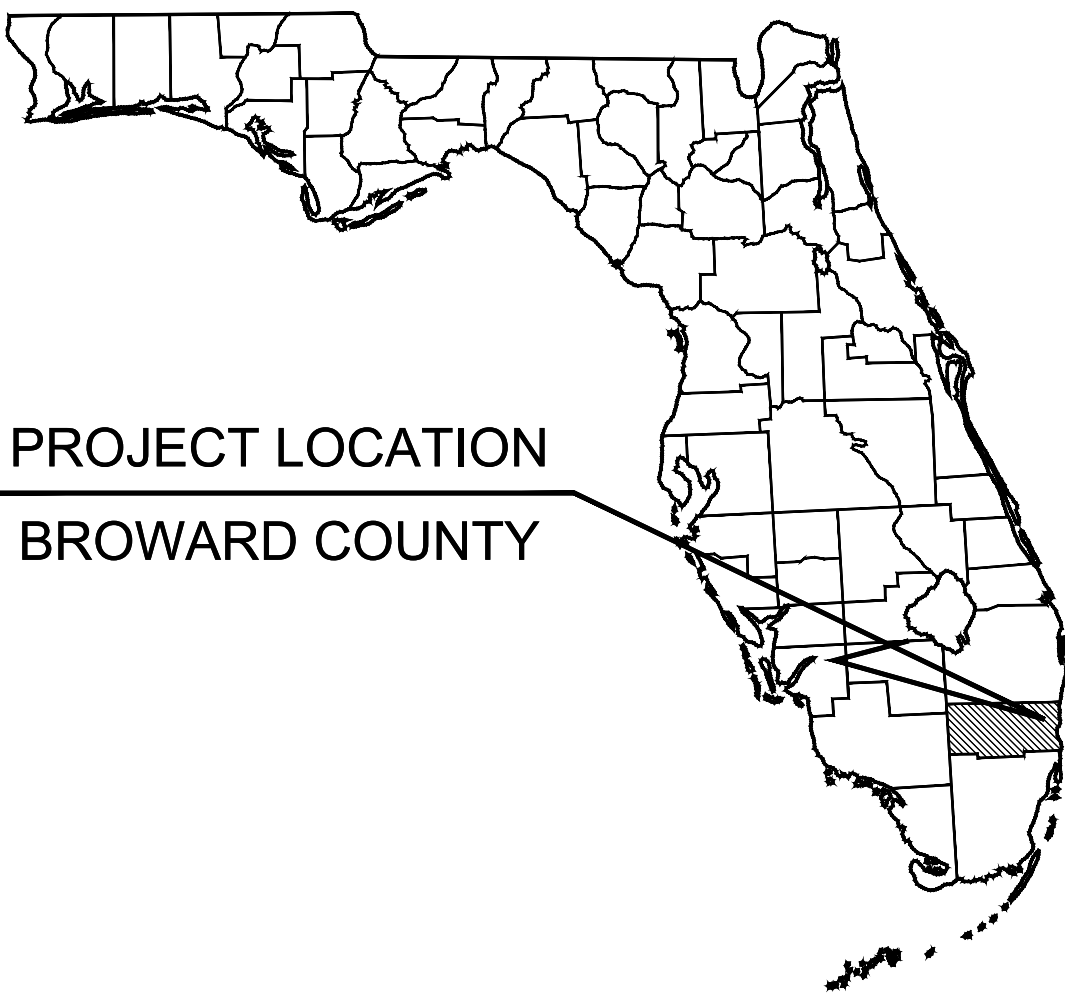
BROWARD HEALTH MEDICAL CENTER - MOB AND PARKING GARAGE

SITE PLAN LEVEL II REVIEW: CASE NO. UDP-S24072

LOCATION

1627 S ANDREWS AVE
FORT LAUDERDALE, FL 33316

SECTION: 15 TOWNSHIP: 50S RANGE: 42E



PROJECT LOCATION
BROWARD COUNTY

PROJECT TEAM

CLIENT

NORTH BROWARD HOSPITAL DISTRICT
1800 NW 49TH STREET
FT LAUDERDALE, FL 33309
(954) 473-7450
CONTACT: DAVID J. CLARK, MBA, FACHE

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
8201 PETERS ROAD, SUITE 2200
PLANTATION, FLORIDA 33324
(954) 535-5100
CONTACT: CARLOS FLORIAN, P.E.

SURVEYOR

PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
(954) 572-1777
CONTACT: JOHN F. PULICE

ARCHITECT

BECK ARCHITECTURAL LLC
501 E LAS OLAS BLVD STE 200 & 300
FORT LAUDERDALE, FL 33301
(954) 412-9887
CONTACT: AMIR SAFVAT, AIA

MEP

BR+A CONSULTING ENGINEERS
2600 DOUGLAS RD STE 700
CORAL GABLES, FL 33134
(305) 503-6281
CONTACT: CHRISTOPHER PIETROCARLO, P.E.

LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES, INC.
8201 PETERS ROAD, SUITE 2200
PLANTATION, FLORIDA 33324
(561) 840-0812
CONTACT: TOM HARGRETT, PLA, ASLA



Sheet Index	
Sheet No.	Sheet Title
GENERAL	
C000.0	MASTER COVER SHEET
-	SURVEY
-	SURVEY
C200.0	MASTER SITE PLAN
MOB - ARCHITECTURAL PLANS	
G1.01.1	GENERAL AND CODE INFORMATION 1 - CS+PG
G2.01.1	LEVEL 1 CODE COMPLIANCE PLANS - CS
G2.04.1	LEVEL 4 CODE COMPLIANCE PLANS - CS
GP2.01	LEVEL 1 - CODE COMPLIANCE PLAN - PG
GP2.02	LEVEL 2 - CODE COMPLIANCE PLAN - PG
A1.01.1	OVERALL SITE PLAN
A2.01.2	LEVEL 1 - FLOOR PLAN - TI
A2.04.2	LEVEL 4 - FLOOR PLAN - TI
A2.09.1	LEVEL 9 MECH - FLOOR PLAN - CS
A2.10.1	ROOF LEVEL - CS
A7.10.1	OVERALL EXTERIOR ELEVATIONS - CS
A7.11.1	OVERALL EXTERIOR ELEVATIONS - CS
A7.12.1	OVERALL EXTERIOR ELEVATIONS - CS
A9.21	DESIGN IMAGES
A9.22	DESIGN IMAGES
A9.23	CONCEPTUAL EXTERIOR MATERIAL
A9.24	PARKING GARAGE SCREENING
A9.25	PARKING GARAGE FREE AIR AREA CALCULATIONS
PARKING GARAGE - ARCHITECTURAL PLANS	
AP2.01	LEVEL P1 - OVERALL FLOOR PLAN
AP2.01A	LEVEL P1 - PARTIAL FLOOR PLAN - AREA NORTH
AP2.01B	LEVEL P1 - PARTIAL FLOOR PLAN - AREA SOUTH
AP2.02	LEVEL P2 - OVERALL FLOOR PLAN
AP2.02A	LEVEL P2 - PARTIAL FLOOR PLAN - AREA NORTH
AP2.02B	LEVEL P2 - PARTIAL FLOOR PLAN - AREA SOUTH
AP2.05	LEVEL P5 - OVERALL FLOOR PLAN
AP2.05A	LEVEL P5 - PARTIAL FLOOR PLAN - AREA NORTH
AP2.05B	LEVEL P5 - PARTIAL FLOOR PLAN - AREA SOUTH
AP2.07	LEVEL P7 - OVERALL FLOOR PLAN
AP2.07A	LEVEL P7 - PARTIAL FLOOR PLAN - AREA NORTH
AP2.07B	LEVEL P7 - PARTIAL FLOOR PLAN - AREA SOUTH
CIVIL PLANS	
C100.0	GENERAL NOTES AND SPECIFICATIONS
C300.0	EROSION CONTROL PLAN
C301.0	EROSION CONTROL NOTES AND DETAILS
C400.0	DEMOLITION PLAN
C401.0	DEMOLITION NOTES
C500.0	PAVING, GRADING, AND DRAINAGE PLAN
C501.0	TYPICAL CROSS SECTIONS
C502.0	PAVING, GRADING, AND DRAINAGE DETAILS
C503.0	PAVING, GRADING, AND DRAINAGE DETAILS
C600.0	WATER AND SEWER PLAN
C601.0	WATER AND SEWER DETAILS
C700.0	PAVEMENT MARKING AND SIGNAGE PLAN
C701.0	PAVEMENT MARKING AND SIGNAGE DETAILS
C800.0	GARBAGE TRUCK MANUEVERABILITY
C801.0	LOADING TRUCK MANUEVERABILITY
EX-01	ROW MAINTENANCE
LANDSCAPE PLANS	
L000.0	TREE DISPOSITION PLAN
L001.0	TREE DISPOSITION DETAILS
L100.0	LANDSCAPE PLAN
L101.0	LANDSCAPE DETAILS
L102.0	LANDSCAPE DETAILS
L103.0	LANDSCAPE NOTES
ELECTRICAL PLANS	
E-100	SITE PLAN - PHOTOMETRIC
E-101	SITE LIGHTING SPECIFICATIONS



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235

WWW.BECKARCHITECTURE.COM



CARLOS FLORIAN, P.E.
FL REGISTRATION # 80500

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/2/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

MASTER COVER
SHEET

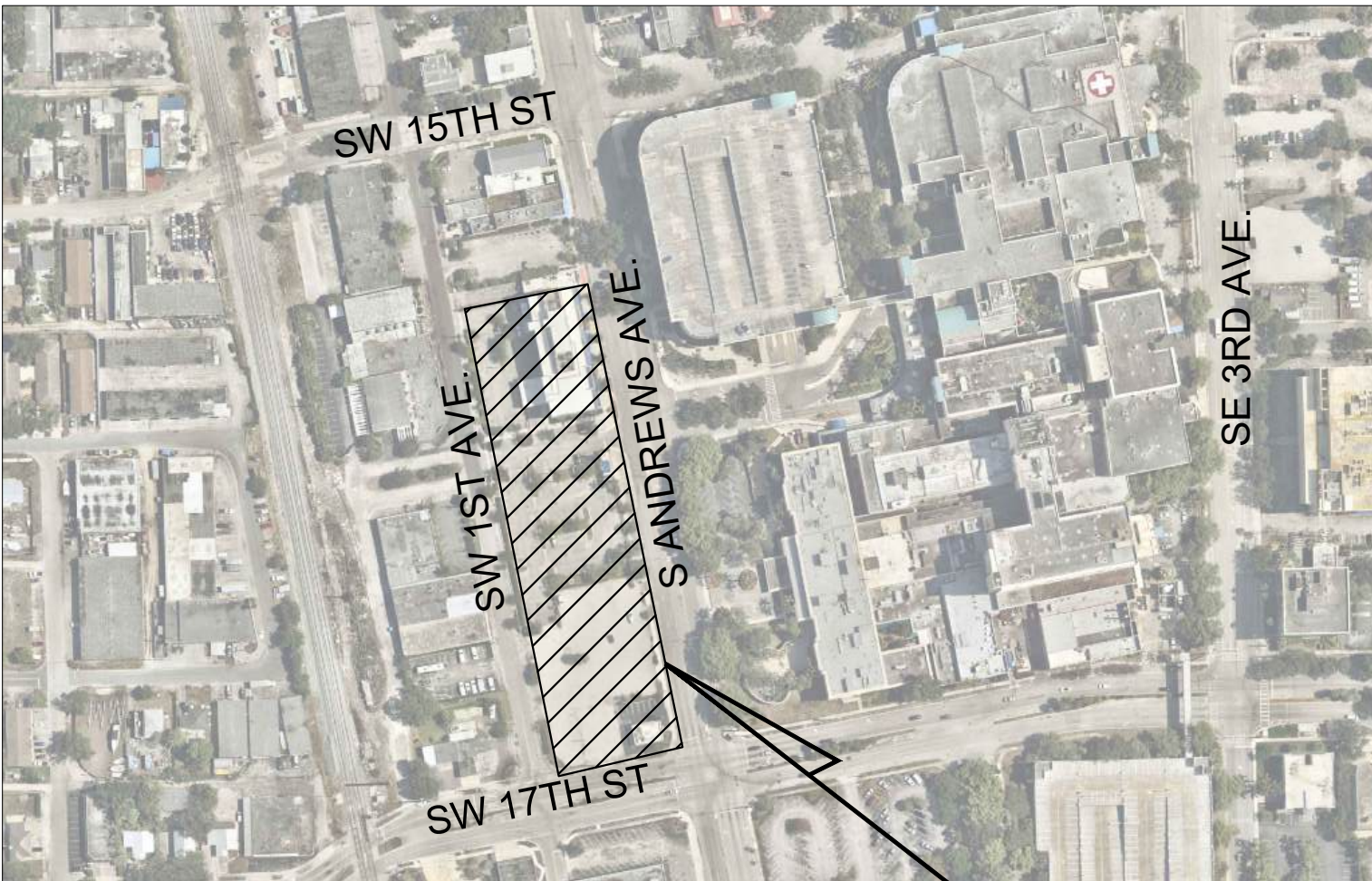


Call 811 or visit sunshine811.com two full
business days before digging to have
buried facilities located and marked.

Check positive response codes before you dig!

THE PRESENCE OF GROUNDWATER SHOULD BE
ANTICIPATED. CONTRACTOR'S BID SHALL
INCLUDE CONSIDERATION FOR ADDRESSING THIS
ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE
BASED ON THE NAVD 88. TO CONVERT
ELEVATIONS TO NGVD 29, ADD 1.59'.
CONVERSION FACTOR OBTAIN FROM
WWW.ARCGIS.COM



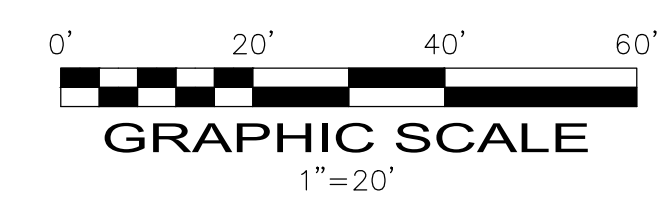
VICINITY MAP

1"=250'

PROJECT LOCATION



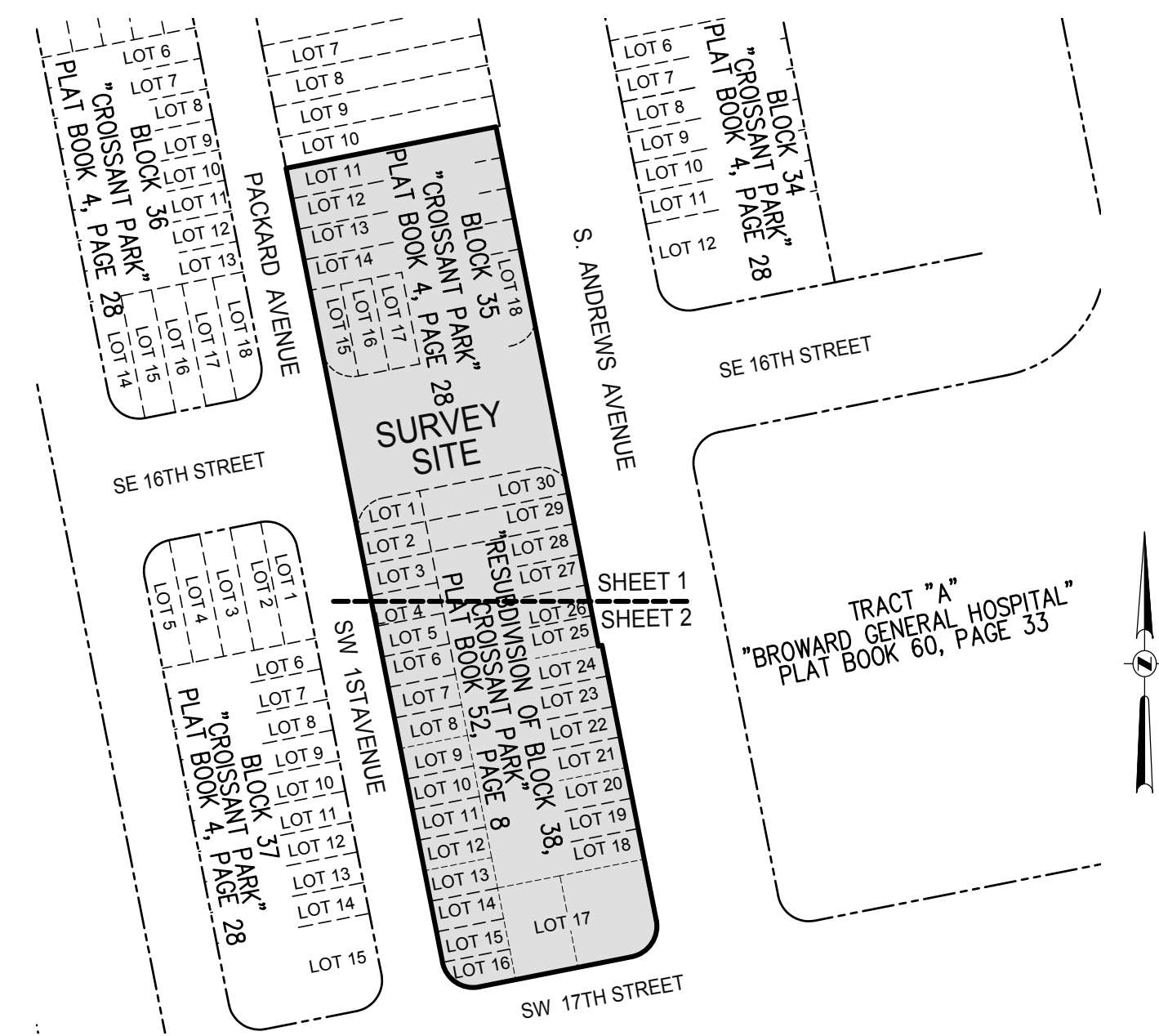
- LEGEND & ABBREVIATIONS**
- CONCRETE
 - ASPHALT PAVEMENT
 - BRICK PAVERS
 - ELEVATION
 - OVERHEAD WIRES
 - UNDERGROUND STORM SEWER LINE
 - UNDERGROUND SANITARY SEWER LINE
 - UNDERGROUND WATER LINE
 - UNDERGROUND UNKNOWN LINE
 - UNDERGROUND GAS LINE
 - CENTERLINE
 - RADIUS
 - CENTRAL ANGLE
 - ARC LENGTH
 - FLORIDA POWER & LIGHT COMPANY
 - LICENSED BUSINESS
 - OFFICIAL RECORDS BOOK
 - TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
 - TITLE COMMITMENT IDENTIFIER
 - PALM TREE
 - UNIDENTIFIED TREE



TRACT "A"
"BROWARD GENERAL HOSPITAL"
PLAT BOOK 60, PAGE 33

CERTIFICATION:
I HEREBY CERTIFY: THAT THIS MAP OF SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
MICHAEL M. MOSSEY, PROFESSIONAL SURVEYOR AND MAPPER PSM5660
STATE OF FLORIDA



SURVEYOR'S LEGAL:
ALL OF LOTS 11-18 OF BLOCK 35, "CROISSANT PARK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 52, PAGE 8 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
AND TOGETHER WITH THE NORTH ONE-HALF OF VACATED SOUTHWEST 16TH STREET (PLATTED AS OBISPO STREET), ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 52, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
TOGETHER WITH
ALL OF LOTS 1-30 OF "RESUBDIVISION OF BLOCK 38, CROISSANT PARK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 52, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
AND TOGETHER WITH THE SOUTH ONE-HALF OF VACATED SOUTHWEST 16TH STREET (PLATTED AS OBISPO STREET) OF "RESUBDIVISION OF BLOCK 38, CROISSANT PARK", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 52, PAGE 8, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
SAID LANDS LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA AND CONTAINING A TOTAL OF 116,632 SQUARE FEET (2.678 ACRES), MORE OR LESS.

SHEET 1 OF 2

NO.	REVISIONS	BY
1		
2		
3		
4		
5		

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

BROWARD HEALTH
1601, 1603, 1611-1619, 1623, 1627 ANDREWS AVENUE
9 & 17 SW 17TH STREET
FORT LAUDERDALE, FLORIDA 33316
(CITY OF FORT LAUDERDALE, BROWARD COUNTY)

BOUNDARY AND TOPOGRAPHIC SURVEY

PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@puliceandsurveyors.com
WEBSITE: www.puliceandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

PLS

DRAWN BY: K.F.
CHECKED BY: J.F.P.

SCALE: 1" = 20'
SURVEY DATE: 9/5/24

CLIENT: KIMLEY-HORN ASSOCIATES
ORDER NO.: 73143

SEE SHEET 2 MATCH LINE

NOTES:

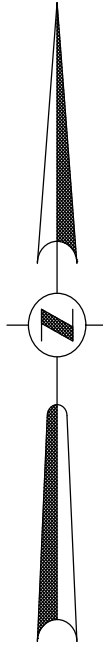
1. THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988. CITY OF FORT LAUDERDALE BENCHMARK SE264, ELEVATION: 5.768 FEET & BENCHMARK SE23, ELEVATION: 5.827 FEET.
3. FLOOD ZONE: AH; BASE FLOOD ELEVATION: 7 FEET; PANEL #12011C0557J; COMMUNITY #125105; MAP DATE: 7/31/24.
4. THIS SITE LIES IN SECTION 15, TOWNSHIP 50 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.
5. GRID BEARINGS SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 2011 ADJUSTMENT, FL-E ZONE, WITH THE EAST LINE OF BLOCK 35 BEING S11°09'15"E.
6. REASONABLE EFFORTS WERE MADE REGARDING THE EXISTENCE AND THE LOCATION OF UNDERGROUND UTILITIES. THIS FIRM, HOWEVER, DOES NOT ACCEPT RESPONSIBILITY FOR THIS INFORMATION. BEFORE EXCAVATION OR CONSTRUCTION CONTACT THE APPROPRIATE UTILITY COMPANIES FOR FIELD VERIFICATION.
7. THIS SURVEY WAS PREPARED WITH BENEFIT OF A PROPERTY INFORMATION REPORT, FILE NUMBER 11924626, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED AUGUST 23, 2024 AT 11:00 PM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SAID REPORT: (AS TO LOTS 1 THROUGH 8, BLOCK 38)(A)
- ITEM 1: NOTICE OF COMMENCEMENT IN INSTRUMENT #119261730 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 1: PLAT IN PLAT BOOK 52, PAGE 8 APPLIES TO THIS SITE AS DEPICTED HEREON.
- ITEM 2: ELECTRICAL AGREEMENT IN O.R.B. 1706, PAGE 174 MAY APPLY TO THIS SITE. SURVEYOR WAS NOT GIVEN A COPY OF THIS DOCUMENT.
- ITEM 3: ORDINANCE NO. 1999-31 IN O.R.B. 29643, PAGE 1495 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 4: ORDINANCE NO. 1999-30 IN O.R.B. 29643, PAGE 1541 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 5: EASEMENT IN O.R.B. 31118, PAGE 82 DOES NOT APPLY TO THIS SITE.
- ITEM 6: PARKING REDUCTION ORDER IN O.R.B. 38530, PAGE 1176 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 7: RESOLUTION NO. 12-241 IN O.R.B. 49431, PAGE 825 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 8: UTILITY EASEMENT IN O.R.B. 49863, PAGE 212 APPLIES TO THIS SITE AS DEPICTED HEREON.
8. THIS SURVEY WAS PREPARED WITH BENEFIT OF A PROPERTY INFORMATION REPORT, FILE NUMBER 11924501, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED AUGUST 23, 2024 AT 11:00 PM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SAID REPORT: (AS TO LOTS 9, 10, 11, AND 12, BLOCK 38)(B)
- ITEM 1: PLAT IN PLAT BOOK 4, PAGE 28 APPLIED TO THIS SITE, BUT HAVE BEEN SUPERCEDED BY REPLAT.
- ITEM 2: PLAT IN PLAT BOOK 52, PAGE 8 APPLIES TO THIS SITE AS DEPICTED HEREON.
- ITEM 3: ELECTRICAL AGREEMENT IN O.R.B. 1706, PAGE 174 MAY APPLY TO THIS SITE. SURVEYOR WAS NOT GIVEN A COPY OF THIS DOCUMENT.
- ITEM 4: ORDINANCE NO. 1999-31 IN O.R.B. 29643, PAGE 1495 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 5: ORDINANCE NO. 1999-30 IN O.R.B. 29643, PAGE 1541 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 6: RESOLUTION NO. 12-241 IN O.R.B. 49431, PAGE 825 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
10. THIS SURVEY WAS PREPARED WITH BENEFIT OF A PROPERTY INFORMATION REPORT, FILE NUMBER 11924495, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED AUGUST 23, 2024 AT 11:00 PM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SAID REPORT: (AS TO LOTS 13, 14, 15, AND 16, BLOCK 38)(C)
- ITEM 1: PLAT IN PLAT BOOK 4, PAGE 28 APPLIED TO THIS SITE BUT HAVE BEEN SUPERCEDED BY REPLAT.
- ITEM 2: PLAT IN PLAT BOOK 52, PAGE 8 APPLIES TO THIS SITE AS DEPICTED HEREON.
- ITEM 3: ELECTRICAL AGREEMENT IN O.R.B. 1706, PAGE 174 MAY APPLY TO THIS SITE. SURVEYOR WAS NOT GIVEN A COPY OF THIS DOCUMENT.
- ITEM 4: EASEMENT (AS TO ALLEY) IN O.R.B. 1720, PAGE 69 MAY APPLY TO THIS SITE. SURVEYOR WAS NOT GIVEN A COPY OF THIS DOCUMENT.
- ITEM 5: ORDINANCE NO. 1999-31 IN O.R.B. 29643, PAGE 1495 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 6: ORDINANCE NO. 1999-30 IN O.R.B. 29643, PAGE 1541 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 7: RESOLUTION NO. 12-241 IN O.R.B. 49431, PAGE 825 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
11. THIS SURVEY WAS PREPARED WITH BENEFIT OF A PROPERTY INFORMATION REPORT, FILE NUMBER 11924572, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED AUGUST 23, 2024 AT 11:00 PM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SAID REPORT: (AS TO LOT 17, BLOCK 38)(D)
- ITEM 1: NOTICE OF COMMENCEMENT IN INSTRUMENT #119209842 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 2: PLAT IN PLAT BOOK 4, PAGE 28 APPLIED TO THIS SITE BUT HAVE BEEN SUPERCEDED BY REPLAT.
- ITEM 3: PLAT IN PLAT BOOK 52, PAGE 8 APPLIES TO THIS SITE AS DEPICTED HEREON.
- ITEM 4: FLORIDA POWER & LIGHT EASEMENT IN O.R.B. 1166, PAGE 70 MAY APPLY TO THIS SITE. SURVEYOR WAS NOT GIVEN A COPY OF THIS DOCUMENT.
- ITEM 5: EASEMENT IN O.R.B. 10204, PAGE 578 APPLIES TO THIS SITE AS DEPICTED HEREON.
- ITEM 6: RESOLUTION NO. 82-162 IN O.R.B. 10244, PAGE 480 APPLIES TO THIS SITE AS DEPICTED HEREON.
- ITEM 7: FLORIDA POWER & LIGHT EASEMENT IN 10246, PAGE 934 APPLIES TO THIS SITE AS DEPICTED HEREON.
- ITEM 8: ORDINANCE NO. 1999-31 IN O.R.B. 29643, PAGE 1495 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 9: ORDINANCE NO. 1999-30 IN O.R.B. 29643, PAGE 1541 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 10: RESOLUTION NO. 12-241 IN O.R.B. 49431, PAGE 825 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
12. THIS SURVEY WAS PREPARED WITH BENEFIT OF AN OWNERSHIP AND ENCUMBRANCE REPORT, SEARCH NUMBER 24-921-5, UPDATE 1, PREPARED BY PARAMOUNT TITLE SERVICES, INC., DATED JANUARY 6, 2024 AT 11:00 PM. THE FOLLOWING ITEMS ARE ENCUMBRANCES IN SAID REPORT: (AS TO LOT 17, LESS THE WEST 51 FEET, BLOCK 38)(E)
- ITEM 1: EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS AND CONDITIONS IN PLAT BOOK 2, PAGE 9 DO NOT APPLY TO THIS SITE.
- ITEM 2: EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS AND CONDITIONS IN PLAT BOOK 4, PAGE 28 APPLIED TO THIS SITE BUT HAVE BEEN SUPERCEDED BY REPLAT.
- ITEM 3: EASEMENTS, RESTRICTIONS, COVENANTS AND CONDITIONS IN PLAT BOOK 52, PAGE 8 APPLY TO THIS SITE AS DEPICTED HEREON.
- ITEM 4: REMOVAL AGREEMENT FOR FUTURE RIGHT-OF-WAY IN O.R.B. 14553, PAGE 227 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 5: ORDINANCE NO. 1999-31 IN O.R.B. 29643, PAGE 1495 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 6: INTERLOCAL AGREEMENT IN INSTRUMENT #114050934 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
13. THIS SURVEY WAS PREPARED WITH BENEFIT OF A PROPERTY INFORMATION REPORT, FILE NUMBER 11924519, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED AUGUST 23, 2024 AT 11:00 PM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SAID REPORT: (AS TO LOTS 18, 19, AND 20, BLOCK 38)(F)
- ITEM 1: PLAT IN PLAT BOOK 4, PAGE 28 APPLIES TO THIS SITE BUT HAVE BEEN SUPERCEDED BY REPLAT.
- ITEM 2: PLAT IN PLAT BOOK 52, PAGE 8 APPLIES TO THIS SITE AS DEPICTED HEREON.
- ITEM 3: ELECTRICAL AGREEMENT IN O.R.B. 1706, PAGE 174 MAY APPLY TO THIS SITE. SURVEYOR WAS NOT GIVEN A COPY OF THIS DOCUMENT.
- ITEM 4: EASEMENT (AS TO ALLEY) IN O.R.B. 1720, PAGE 69 MAY APPLY TO THIS SITE. SURVEYOR WAS NOT GIVEN A COPY OF THIS DOCUMENT.
- ITEM 5: ORDINANCE NO. 1999-31 IN O.R.B. 29643, PAGE 1495 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 6: ORDINANCE NO. 1999-30 IN O.R.B. 29643, PAGE 1541 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 7: RESOLUTION NO. 12-241 IN O.R.B. 49431, PAGE 825 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
14. THIS SURVEY WAS PREPARED WITH BENEFIT OF A PROPERTY INFORMATION REPORT, FILE NUMBER 11924542, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, DATED AUGUST 23, 2024 AT 11:00 PM. THE FOLLOWING ITEMS ARE EXCEPTIONS IN SAID REPORT: (AS TO LOTS 21, 22, 23, AND 24, BLOCK 38)(G)
- ITEM 1: NOTICE OF COMMENCEMENT IN INSTRUMENT #119528866 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 2: PLAT IN PLAT BOOK 52, PAGE 8 APPLIES TO THIS SITE AS DEPICTED HEREON.
- ITEM 3: ELECTRICAL AGREEMENT IN O.R.B. 1706, PAGE 174 MAY APPLY TO THIS SITE. SURVEYOR WAS NOT GIVEN A COPY OF THIS DOCUMENT.
- ITEM 4: ORDINANCE NO. 1999-31 IN O.R.B. 29643, PAGE 1495 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 5: ORDINANCE NO. 1999-30 IN O.R.B. 29643, PAGE 1541 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
- ITEM 6: RESOLUTION NO. 12-241 IN O.R.B. 49431, PAGE 825 APPLIES TO THIS SITE BUT CANNOT BE PLOTTED.
15. THIS SURVEY IS CERTIFIED EXCLUSIVELY TO: KIMLEY-HORN AND ASSOCIATES; FIDELITY NATIONAL TITLE INSURANCE COMPANY; NORTH BROWARD HOSPITAL DISTRICT, A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA; NORTH BROWARD HOSPITAL DISTRICT, A SPECIAL TAXING DISTRICT OF THE STATE OF FLORIDA; NORTH BROWARD HOSPITAL DISTRICT, A SPECIAL TAXING DISTRICT OF THE STATE OF FLORIDA, D/B/A BROWARD HEALTH.
16. THE HORIZONTAL POSITIONAL ACCURACY OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.2'. THE VERTICAL ACCURACY OF ELEVATIONS OF WELL DEFINED IMPROVEMENTS ON THIS SURVEY IS ±0.1'.
17. THIS SITE CONTAINS 110 TOTAL CLEARLY IDENTIFIABLE PARKING SPACES (104 REGULAR & 6 DISABLED).
18. THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A COMMITMENT FOR TITLE INSURANCE. ONLY PLATTED OR KNOWN EASEMENTS ARE DEPICTED HEREON.
19. ALL RECORDED DOCUMENTS ARE PER BROWARD COUNTY PUBLIC RECORDS.

SEE SHEET 1

MATCH LINE



LEGEND & ABBREVIATIONS	
	CONCRETE
	ASPHALT PAVEMENT
	BRICK PAVERS
	ROCK
	ELEVATION
	OVERHEAD WIRES
	UNDERGROUND STORM SEWER LINE
	UNDERGROUND SANITARY SEWER LINE
	UNDERGROUND WATER LINE
	UNDERGROUND UNKNOWN LINE
	UNDERGROUND GAS LINE
	CENTERLINE
	RADIUS
	CENTRAL ANGLE
	ARC LENGTH
	FLORIDA POWER & LIGHT COMPANY
	LICENSED BUSINESS
	OFFICIAL RECORDS BOOK
	TRAVERSE POINT (FOR FIELD INFORMATION ONLY)
	TITLE COMMITMENT IDENTIFIER
	PALM TREE
	UNIDENTIFIED TREE



SHEET 2 OF 2

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

BROWARD HEALTH
1601, 1603, 1611-1619, 1623, 1627 ANDREWS AVENUE
9 & 17 SW 17TH STREET
FORT LAUDERDALE, FLORIDA 33316
(CITY OF FORT LAUDERDALE, BROWARD COUNTY)

BOUNDARY AND TOPOGRAPHIC SURVEY

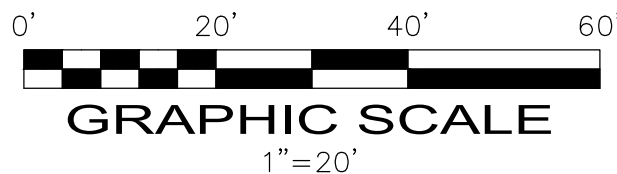


PULICE LAND SURVEYORS, INC.
5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351
TELEPHONE: (954) 572-1777
FAX: (954) 572-1778
E-MAIL: surveys@pulicelandsurveyors.com
WEBSITE: www.pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

DRAWN BY: K.F.
CHECKED BY: J.F.P.

SCALE: 1" = 20'
SURVEY DATE: 9/5/24

CLIENT: KIMLEY-HORN ASSOCIATES
ORDER NO.: 73143



DIMENSIONING NOTES	
MARK	NOTE
1	MASONRY PLAN DIMENSIONS ARE NOMINAL AT SCALES NOT SHOWING INDIVIDUAL MODULES
2	OPENINGS ARE NOMINAL MASONRY OPENINGS AT SCALES NOT SHOWING INDIVIDUAL MODULES
3	EXTERIOR WALL DIMENSIONS ARE TO FINISH FACE (SEE WALL SECTION) UNLESS NOTED OTHERWISE
4	DRAWINGS WITH INDIVIDUAL MODULAR UNITS SHOWN ARE DIMENSIONED TO ACTUAL SIZE.
5	AT LOCATIONS OF STRUCTURAL MASONRY, UNIT TYPE IS SHOWN AS REPRESENTATION ONLY. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL MASONRY CONSTRUCTION.
6	INTERIOR WALL DIMENSIONS ARE TO FINISH FACE OF PARTITION AS TAGGED, PER PARTITION SCHEDULE UNLESS NOTED OTHERWISE. ADDITIONAL FINISHES MAY EXIST. SEE FINISH PLAN.
7	WHERE DOORS ARE ADJACENT TO PERPENDICULAR WALLS, DIMENSION FROM FACE OF WALL TO EDGE OF FRAME IS 4 INCHES UNLESS NOTED OTHERWISE
8	WHERE WALLS OF VARYING FIRE AND/OR SMOKE RATING MEET OR INTERSECT, WALLS OF GREATER RATING SHALL RUN CONTINUOUS
9	ELEMENT POSITIONS BASED ON NON PARALLEL OR NON PERPENDICULAR RELATIONSHIPS TO OTHER ELEMENTS SHALL BE PLACED BY THE WORK POINTS DEFINED INCIDENTALLY FROM THE OTHER ELEMENTS.
10	RADIUS'D ELEMENTS DEFINED BY MORE THAN 2 WORKPOINTS SHALL BE PLACED BY STRIKING AN ARC TANGENT TO ALL WORK POINTS. WHERE MORE THAN 3 WORKPOINTS ARE PRESENT, THE ARC AT EACH WORKPOINT SHALL BE TANGENT TO THE ADJACENT WORKPOINT ON EACH SIDE.
11	RADIUS'D ELEMENTS DEFINED BY CENTERPOINTS, RADII, AND ANGLES SHALL BE PLACED BY MARKING THE CENTERPOINT AND ANGLE OFF THE OBJECTS THE DIMENSIONS ARE INCIDENT FROM.
12	OBJECTS AND INFORMATION SHOWN FROM OTHER TRADES IS FOR REFERENCE ONLY. OBJECTS AND INFORMATION SHOWN MAY NOT BE ALL INCLUSIVE. REFER TO THE APPROPRIATE CONSULTANTS DOCUMENTS FOR INFORMATION ON THESE SYSTEMS.

12 DIMENSION GUIDE NOTES

	EARTH		P LAM
	GRAVEL/STONE		FINISHED WOOD
	CONCRETE- CAST IN PLACE		PARTICLE BOARD
	CONCRETE- PRECAST		ACOUSTIC CEILING TILE
	CONCRETE MASONRY UNIT		CARPET
	BRICK		BATT INSULATION
	STONE		RIGID INSULATION
	SAND/MORTAR		GYPSUM WALLBOARD
	ALUMINUM		PLYWOOD
			STEEL

THE MATERIAL HATCH PATTERN KEY IS PROVIDED AS A GENERAL GRAPHIC REFERENCE ONLY. REFER TO MATERIAL NOTES AND LEGENDS FOR ACTUAL MATERIAL DESIGNATIONS. HATCHES PROVIDED ON FINISH PLANS, RCP'S, OR ANY OTHER DRAWING HAVING ITS OWN KEYED NOTATION AND GRAPHICAL LEGEND WILL SUPERCEDE THIS KEY.

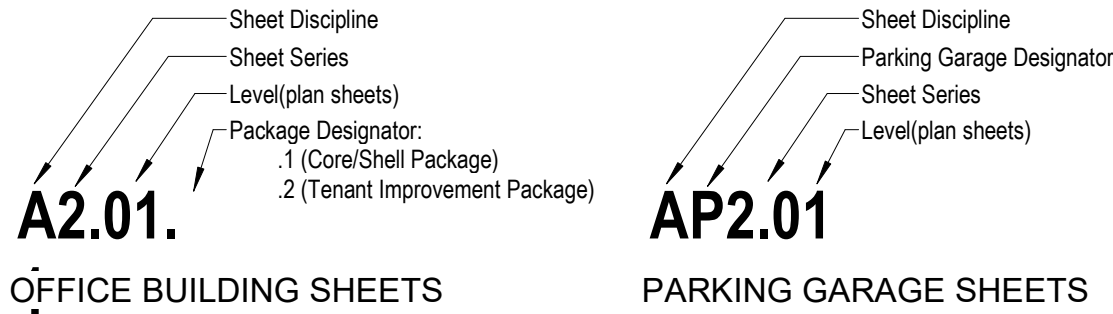
11 DETAIL CUT PATTERNS

SCALE: NO SCALE

REFERENCE TAGS AND GRAPHICS

	INTERIOR ELEVATION		EXTERIOR ELEVATION
	WALL SECTION		BUILDING SECTION
	PLAN CALLOUT		DETAIL SECTION
	MATCHLINE		DOOR TAG
	PARTITION GRAPHICS		WINDOW TAG
	PARTITION TAG		ACCESSORY / FURNITURE / EQUIPMENT TAG
	PANORAMA LINK		AXON ROOM LINK

10 REFERENCE TAGS AND GRAPHICS

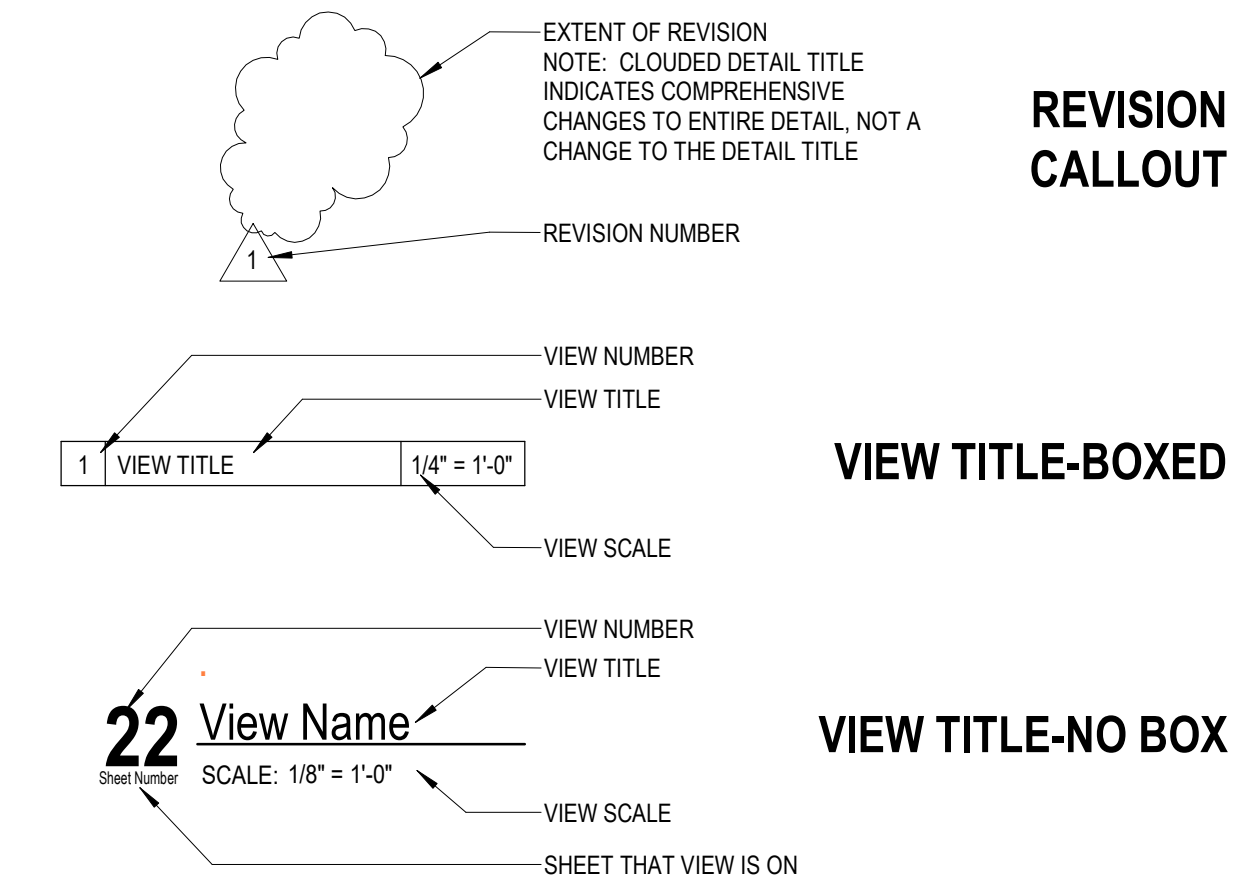
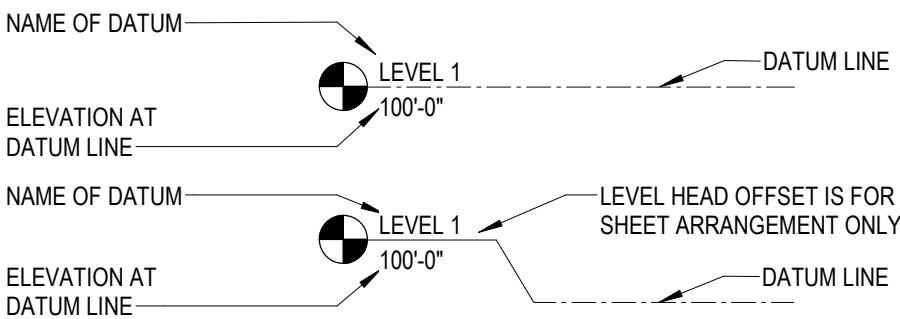
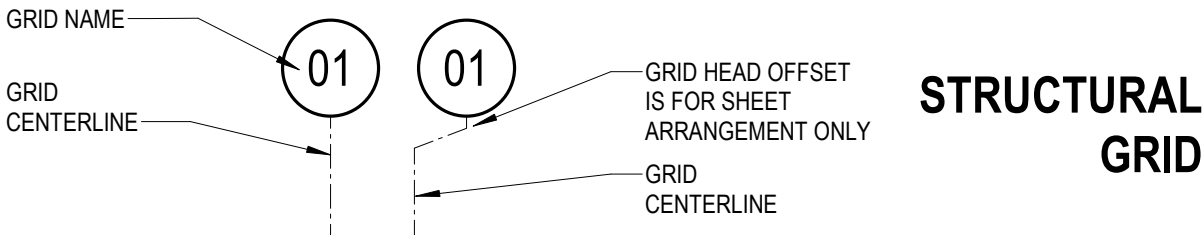


6 SHEET NUMBERING

- ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL CODES LISTED IN "CODE INFORMATION."
- ALL WORK RELATING TO THIS CONSTRUCTION SHALL COMPLY WITH U.S. DEPARTMENT OF LABOR, THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND ALL RELATED LOCAL BUILDING CODES AND ORDINANCES.
- DO NOT SCALE THE DOCUMENTS.
- ALL DIMENSIONS ARE TO BE FIELD VERIFIED AND BACK CHECKED FOR CORRECTNESS. IF ANY DEVIATIONS OR DISCREPANCIES OCCUR, CONTACT THE ARCHITECT FOR VERIFICATION PRIOR TO PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL CAREFULLY REVIEW THE DRAWINGS, SPECIFICATIONS, DETAILS AND NOTES FOR INFORMATION REGARDING THE SCOPE OF THE WORK INTENDED PRIOR TO PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL BUILDING MANAGEMENT SYSTEMS, SECURITY SYSTEMS, AND LOCKING HARDWARE WITH THE OWNER PRIOR TO INSTALLATION. SECURITY SYSTEM EQUIPMENT FURNISHED BY OWNER, ALL CONDUIT AND BOXES BY ELECTRICAL SUBCONTRACTOR.
- CONTRACTOR SHALL VERIFY LOCATIONS AND QUANTITY OF FIRE EXTINGUISHERS WITH THOSE SHOWN ON PLANS BEFORE INSTALLATION.
- ALL WOOD INDICATED IN THESE DOCUMENTS IS TO BE TREATED FOR FIRE RETARDANCY UNLESS NOTED OTHERWISE.
- INTERIOR DIMENSIONS ARE FROM FACE OF GYP. BOARD TO FACE OF GYP. BOARD UNLESS NOTED OTHERWISE.
- ACCESS PANELS (SIZED AS NEEDED) SHALL BE PROVIDED IN ALL GYP. BOARD PARTITIONS OR CEILING WHERE ELECTRICAL TRANSFORMERS, J-BOXES, PLUMBING VALVES, HVAC VAV BOXES, PTB BOXES, MOTORIZED DAMPERS, VOLUME DAMPERS, FIRE DAMPERS, SANITARY SEWER OR GREASE LINE TRAPS REQUIRING ACCESS LOCATED. NOTE THAT MANY OF THESE ITEMS ARE NOT INDICATED ON THESE DOCUMENTS, BUT ACCESS PANELS SHALL BE PROVIDED AS THOUGH THEY HAVE BEEN SHOWN THROUGHOUT (BURDEN OF DETERMINING QUANTITY IS ON THE CONTRACTOR). THE ARCHITECT SHALL COORDINATE THESE ACCESS PANELS WITH THE CONTRACTOR AT A LATER DATE SO AS TO MINIMIZE THE IMPACT ON AESTHETIC DESIGN OF THE PROJECT. ACCESS PANELS LOCATED IN FIRE RATED PARTITIONS OR CEILINGS SHALL HAVE THE SAME FIRE RATING (U.L. LABEL) AS THE PARTITION OR CEILING IN WHICH THEY ARE HOUSED. THE CONTRACTOR SHALL LOCATE ALL ELEMENTS WHICH REQUIRE ACCESS ABOVE NON-PUBLIC AREA CEILINGS OR ABOVE LAY-IN ACOUSTICAL TILE CEILINGS, IF POSSIBLE. THE CONTRACTOR SHALL PROVIDE A MARKED-UP PLAN TO THE ARCHITECT AND OWNER SHOWING ALL AREAS REQUIRING ACCESS.
- ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS, FIRE RATED CEILING ASSEMBLIES SHALL BE INSTALLED ACCORDING TO U.L. STANDARDS AND PER APPLICABLE CODES FOR REQUIRED HOUR FIRE RATED CONSTRUCTION.
- ALL MATERIALS SHALL BE INSTALLED ACCORDING TO INDUSTRY STANDARDS, ALL AGENCIES OR "STANDARD" RECOMMENDATIONS REFERENCED IN THE SPECIFICATIONS, OR MANUFACTURERS RECOMMENDED INSTALLATION PROCEDURES, WHICHEVER IS THE MOST STRINGENT, IN ORDER TO PROVIDE A COMPLETE AND HIGH QUALITY PROJECT.
- THE CONTRACTOR REPRESENTS AND WARRANTS THAT IT HAS EXAMINED THE PLANS, DRAWINGS, SPECIFICATIONS AND ALL CONSTRUCTION CRITERIA OF OWNER AND HAS SATISFIED ITSELF THAT THE INFORMATION CONTAINED THEREIN IS SUFFICIENT TO FULLY AND COMPLETELY CONSTRUCT THE PROJECT.

9 GENERAL NOTES

SCALE: 1/4" = 1'-0"



8 GENERAL ANNOTATIONS

NEW BUILDING CONSTRUCTION TYPE: TYPE I-B (w/ APPROVED SPRINKLER SYSTEM PER FBC2023 903.3.1.1)

EXISTING BUILDING CONSTRUCTION TYPE: N/A

Fire Resistance Rating Requirements (Table 601)	BUILDING NAME	TYPE I-B
	PRIMARY STRUCTURAL FRAME	1 HR
	BEARING WALLS	1 HR
	EXTERIOR	2 HR
	INTERIOR	0 HR
	NONBEARING WALLS AND PARTITIONS - EXTERIOR	See Table 602
	NONBEARING WALLS AND PARTITIONS - INTERIOR	0 HR
	FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HR
	ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HR

ROOF SUPPORT RATING REDUCTION (Note a.): _____ YES
ROOF CONSTRUCTION ABOVE 20 FT RATING REDUCTION (Note b.): _____ NO
HEAVY TIMBER ALLOWED (Note c.): _____ YES
AUTOMATIC SPRINKLER SYSTEM RATING REDUCTION (Note d.): _____ YES

Fire Resistance Rating Requirements (Table 602)		FIRE SEPARATION DISTANCE	RATING
	A. NORTH WALL	20'-0"	2 HR
	B. EAST WALL	0"	0 HR
	C. SOUTH WALL	0"	0 HR
	D. WEST WALL	0"	0 HR
	E.	0"	
	F.	0"	
	G.	0"	
	H.	0"	

7 TYPE OF CONSTRUCTION

SCALE: NO SCALE

PRIMARY BUILDING OCCUPANCY: B

SECONDARY BUILDING OCCUPANCIES: S-2, A, S-1

MIXED-USE SEPARATION:

ACCESSORY OCCUPANCIES _____ YES
NON-SEPARATED OCCUPANCIES _____ YES
SEPARATED OCCUPANCIES (SEE TABLE) _____ YES
**SPECIAL PROVISIONS (PER IBC 510) _____ NO

SEPARATION REQUIREMENTS PER FBC TABLE 508.4					
OCCUPANCY	B	S-2	A	S-1	
B	NOT REQUIRED	3 HR	0 HR	SMOKE	
S-2	-	NOT REQUIRED	3 HR	SMOKE	
A	-	-	NOT REQUIRED	SMOKE	
S-1	-	-	-	NOT REQUIRED	

** SPECIAL PROVISIONS COMMENTARY
NONE

6 OCCUPANCY CLASSIFICATION

PARKING GARAGE (PG)

LEVEL	OCCUPANTS
LEVEL 1	148
LEVEL 2	148
LEVEL 3	148
LEVEL 4	148
LEVEL 5	148
LEVEL 6	148
LEVEL 7	157
LEVEL 8	157
LEVEL 9	69

TOTAL 1,036

MEDICAL OFFICE BUILDING (MOB)

LEVEL	OCCUPANTS
LEVEL 1	157
LEVEL 2	157
LEVEL 3	157
LEVEL 4	157
LEVEL 5	157
LEVEL 6	157
LEVEL 7	157
LEVEL 8	157
LEVEL 9 (MECHANICAL LEVEL)	69

TOTAL 1,325

5 BUILDING OCCUPANT LOAD

Building Code: 2023 FLORIDA BUILDING CODE (8TH EDITION); BUILDING

Mechanical Code: 2023 FLORIDA BUILDING CODE (8TH EDITION); MECHANICAL

Plumbing Code: 2023 FLORIDA BUILDING CODE (8TH EDITION); PLUMBING

Electric Code: 2023 NFPA 70, NATIONAL ELECTRICAL CODE (NEC)

Fire Code: 2023 FLORIDA FIRE PREVENTION CODE (8TH EDITION)

Energy Code: 2023 FLORIDA BUILDING CODE (8TH EDITION); ENERGY

Fuel Gas Code: 2023 FLORIDA BUILDING CODE (8TH EDITION); FUEL GAS

Accessibility: 2023 FLORIDA BUILDING CODE (8TH EDITION); ACCESSIBILITY

Life Safety: FLORIDA FIRE PREVENTION CODE 8TH EDITION NFPA 101 (FLORIDA SPECIFIC)

FLORIDA FIRE PREVENTION CODE 8TH EDITION NFPA 1 (FLORIDA SPECIFIC)

Local Code: CITY OF FT LAUDERDALE - CODE OF ORDINANCES

CITY OF FT LAUDERDALE - DESIGN AND CONSTRUCTION MANUAL (DCM)

Other Code(s): FGI GUIDELINES FOR DESIGN AND CONSTRUCTION OF HOSPITAL AND OUTPATIENT FACILITIES – 2022 EDITION

4 APPLICABLE CODES AND STANDARDS

PARKING GARAGE (PG)

ACTUAL BUILDING HEIGHT:

HEIGHT ABOVE GRADE: 88'-0" (T.O. ROOF)
NUMBER OF STORIES ABOVE GRADE: 7

ACTUAL AREA:

GSF PER FLOOR 44,411 GSF
TOTAL GSF 310,877 GSF

ALLOWABLE BUILDING HEIGHT:

180' / 12 STORIES

FLORIDA BUILDING CODE - ALLOWABLE BUILDING HEIGHT:

HEIGHT ABOVE GRADE (TABLE 504.3): 180'
NUMBER OF STORIES ABOVE GRADE (TABLE 504.4): 12
EXCEPTIONS TAKEN: NONE

ALLOWABLE AREA (506.2.1 - 506.3):

UNLIMITED
TYPE IA = UNLIMITED

MEDICAL OFFICE BUILDING (MOB)

ACTUAL BUILDING HEIGHT:

HEIGHT ABOVE GRADE: 140'-0" (T.O. ROOF)
NUMBER OF STORIES ABOVE GRADE: 8 (NOT INCLUDING THE ENCLOSED, NONOCCUPIABLE MECHANICAL LEVEL)

ACTUAL AREA:

GSF PER FLOOR 23,409 GSF
TOTAL GSF (W/O MECHANICAL LEVEL - 20,709 GSF) 187,272 GSF
TOTAL GSF (W/ MECHANICAL LEVEL - 20,709 GSF) 207,981 GSF

ALLOWABLE BUILDING HEIGHT:

180' / 12 STORIES

FLORIDA BUILDING CODE - ALLOWABLE BUILDING HEIGHT:

HEIGHT ABOVE GRADE (TABLE 504.3): 180'
NUMBER OF STORIES ABOVE GRADE (TABLE 504.4): 12
EXCEPTIONS TAKEN: NONE

ALLOWABLE AREA (506.2.1 - 506.3):

UNLIMITED
TYPE IB = UNLIMITED

3 GROSS BUILDING AREA

PARKING GARAGE (PG)

BUILDING PLANNING

MIXED OCCUPANCY: YES, B- BUSINESS, A-ASSEMBLY (WAITING.) S-2 (PARKING GARAGE)
REQUIRED FIRE SEPARATION: YES, 3HR BETWEEN MOB AND PARKING GARAGE
HIGH RISE: NO

FIRE PROTECTION SYSTEMS

FIRE EXTINGUISHING SYSTEM: NON-SPRINKLERED

MEDICAL OFFICE BUILDING (MOB)

BUILDING PLANNING

MIXED OCCUPANCY: YES, B- BUSINESS, A-ASSEMBLY (WAITING.) S-2 (PARKING GARAGE)
REQUIRED FIRE SEPARATION: YES, 3HR BETWEEN MOB AND PARKING GARAGE
HIGH RISE: YES; HIGHEST OCCUPIABLE LEVEL - 106'-0" IN ACCORDANCE WITH FBC SECTION 403

FIRE PROTECTION SYSTEMS

FIRE EXTINGUISHING SYSTEM: YES, TYPE - FULL COVERAGE AUTOMATIC SPRINKLER SYSTEM, IN ACCORDANCE WITH FBC SECTION 903.3.1.1

2 BUILDING INFORMATION & SYSTEMS

PROJECT NAME:

BROWARD HEALTH MAIN CAMPUS
MEDICAL OFFICE BUILDING (MOB) AND PARKING GARAGE (PG)

PROJECT ADDRESS:

17TH STREET AND S. ANDREWS
FT LAUDERDALE, FL

PROPOSED PROJECT USE:

MEDICAL OFFICE BUILDING
AMBULATORY CARE FACILITY

OWNER / CONTACT INFORMATION:

HUBERT POULARD
HPLOULARD@BROWARDHEALTH.ORG
239-425-5322

1 PROJECT INFORMATION



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235

WWW.BECKARCHITECTURE.COM



ARCHITECT NAME
STATE REGISTRATION #

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
(ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.

ARCHITECT SEAL

05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

#	DATE	SUBMISSION
B	02/17/25	Schematic Design
E	04/24/25	Design Development - CS
D	04/25/25	DRC Resubmission #2
F	05/02/25	DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

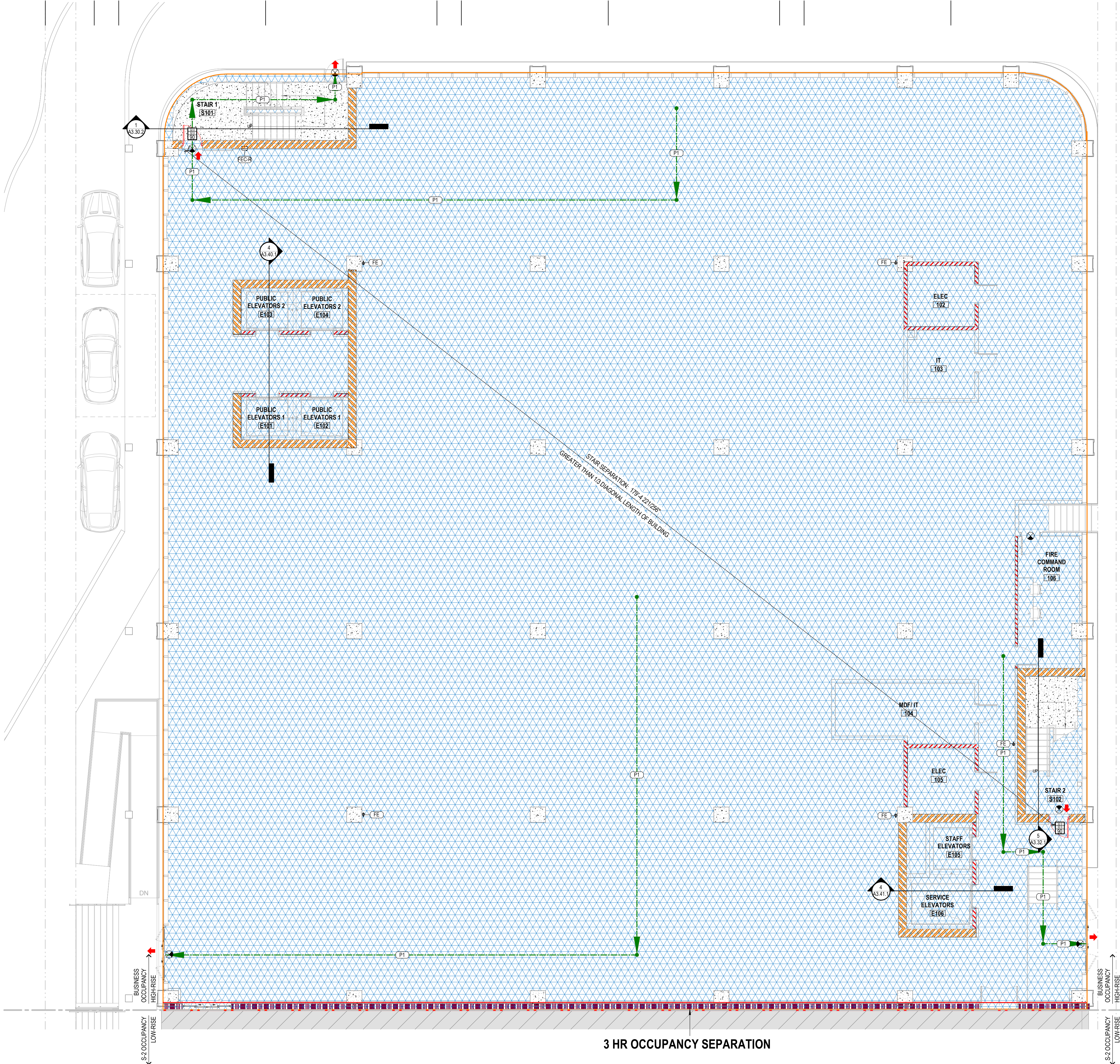
GENERAL AND CODE
INFORMATION 1 -
CS+PG

175309

JOB NO.

G1.01.1

SHEET



1 CODE COMPLIANCE AREA PLAN- LEVEL 1
SCALE: 1/8" = 1'-0"

CODE COMPLIANCE PLAN GENERAL NOTES:

1. WALL RATINGS BELOW REFLECT REQUIRED MINIMUM RATINGS FOR WALLS. REFER TO UL ASSEMBLY FOR ACTUAL WALL CONSTRUCTION.
2. REFER TO AREA FLOOR PLANS, AND SHEETS A0.01 AND A0.02 FOR PARTITION INFORMATION.
3. REFER TO AREA FLOOR PLANS FOR DOOR TAGS, REFER TO A6 SERIES FOR DOOR SCHEDULE AND DOOR INFORMATION.
4. REFER TO A3.xx SERIES SHEETS FOR ENLARGED PLANS, FOR DIMENSIONS BETWEEN PARTITIONS AT CHASE CONDITIONS.
5. REFER TO A11.xx SERIES SHEETS FOR FINISH PLANS (INCLUDING WALL PROTECTION) AND SHEET A11.00 FOR FINISH LEGEND.

CODE COMPLIANCE GRAPHICS

- EXISTING PARTITION TO REMAIN
- PARTITION
- SMOKE PARTITION
- 1 HR BARRIER
- 1 HR / SMOKE BARRIER
- 2 HR BARRIER
- 2 HR / SMOKE BARRIER
- 3 HR BARRIER
- 3 HR / SMOKE BARRIER
- 3 HR / SMOKE BARRIER OCCUPANCY SEPARATION LINE
- EXIT SIGN TWO SIDED DIRECTIONAL TWO WAY
- EXIT SIGN ONE SIDED DIRECTIONAL
- EXIT SIGN ONE SIDED
- PROVIDED EGRESS WIDTH
- REQUIRED EGRESS WIDTH
- DOOR RATING (TAG USED ON NON-EGRESS DOORS)
- FE-K AT KITCHENS/SERVING AREAS
- FE-FE-C FIRE EXTINGUISHER CABINET - SEMI RECESSED
- FE-FE-C-R FIRE EXTINGUISHER CABINET (RATED)
- FE-FACP FIRE ALARM CONTROL PANEL
- FE-EAAP FIRE ALARM ANNUNCIATOR PANEL
- COMMON PATH TRAVEL DISTANCE PATH NUMBER
- EXIT TRAVEL DISTANCE PATH NUMBER
- DEAD END DISTANCE PATH NUMBER
- EXIT DISCHARGE
- TRAVEL DISTANCES TOTALS SHOWN ON SCHEDULE
- HAZARDOUS STORAGE

TRAVEL DISTANCE PATHS

PATH	LENGTH
P1	2514'-6"

BUILDING EGRESS DOORS

Number	Egress_Building	Width Egress Provided
8048	Yes	32.0
8057	Yes	32.0
8066	Yes	32.0
8075	Yes	32.0
8084	Yes	32.0
S102	Yes	32.0
S201A	Yes	32.0
S202	Yes	32.0
S401A	Yes	32.0
S601A	Yes	32.0
S601A	Yes	32.0
S701A	Yes	32.0
S801A	Yes	32.0
S801B	Yes	32.0

AREA OCCUPANCY LEGEND

- Business (FBC 2023)



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM



ARCHITECT NAME
STATE REGISTRATION #

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
(ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.)

ARCHITECT SEAL 05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

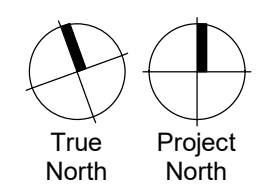
#	DATE	SUBMISSION
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

LEVEL 1 - CODE
COMPLIANCE PLAN -
CS

175309
JOB NO. SHEET

G2.01.1





3 HR OCCUPANCY SEPARATION

1. WALL RATINGS BELOW REFLECT REQUIRED MINIMUM RATINGS FOR WALLS. REFER TO UL ASSEMBLY FOR ACTUAL WALL CONSTRUCTION.
2. REFER TO AREA FLOOR PLANS, AND SHEETS A0.01 AND A0.02 FOR PARTITION INFORMATION.
3. REFER TO AREA FLOOR PLANS FOR DOOR TAGS, REFER TO A6 SERIES FOR DOOR SCHEDULE AND DOOR INFORMATION.
4. REFER TO A3.xx SERIES SHEETS FOR ENLARGED PLANS, FOR DIMENSIONS BETWEEN PARTITIONS AT CHASE CONDITIONS.
5. REFER TO A11.xx SERIES SHEETS FOR FINISH PLANS (INCLUDING WALL PROTECTION) AND SHEET A11.00 FOR FINISH LEGEND.

— EXISTING PARTITION TO REMAIN
 — PARTITION
 ■■■■■■ — SMOKE PARTITION
 // — 1 HR BARRIER
 // — 1 HR / SMOKE BARRIER
 // — 2 HR BARRIER
 // — 2 HR / SMOKE BARRIER
 // — 3 HR BARRIER
 // — 3 HR / SMOKE BARRIER
 // — 3 HR / SMOKE BARRIER OCCUPANCY SEPARATION LINE
 — EXIT SIGN TWO SIDED DIRECTIONAL TWO WAY
 — EXIT SIGN ONE SIDED DIRECTIONAL
 — EXIT SIGN ONE SIDED
 — PROVIDED EGRESS WIDTH
 — REQUIRED EGRESS WIDTH
 — DOOR RATING (TAG USED ON NON-EGRESS DOORS)
 — FE-K AT KITCHENS/SERVING AREAS
 //FEC — FIRE EXTINGUISHER CABINET - SEMI RECESSED
 //FEC-R — FIRE EXTINGUISHER CABINET (RATED)
 //FACP — FIRE ALARM CONTROL PANEL
 //FAAP — FIRE ALARM ANNUNCIATOR PANEL
 — COMMON PATH TRAVEL
 — DISTANCE PATH NUMBER
 — EXIT TRAVEL DISTANCE
 — PATH NUMBER
 — DEAD END DISTANCE PATH
 — NUMBER
 — EXIT DISCHARGE
 — TRAVEL DISTANCES TOTALS SHOWN ON SCHEDULE
 — HAZARDOUS STORAGE

PATH	LENGTH
P1	2514'-6"

Number	Egress_Building	Width Egress Provided
8048	Yes	32.0
8057	Yes	32.0
8066	Yes	32.0
8075	Yes	32.0
8084	Yes	32.0
S102	Yes	32.0
S201A	Yes	32.0
S202	Yes	32.0
S401A	Yes	32.0
S501A	Yes	32.0
S601A	Yes	32.0
S701A	Yes	32.0
S801A	Yes	32.0
S801B	Yes	32.0



INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
(ONLY. NOT FOR)
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.

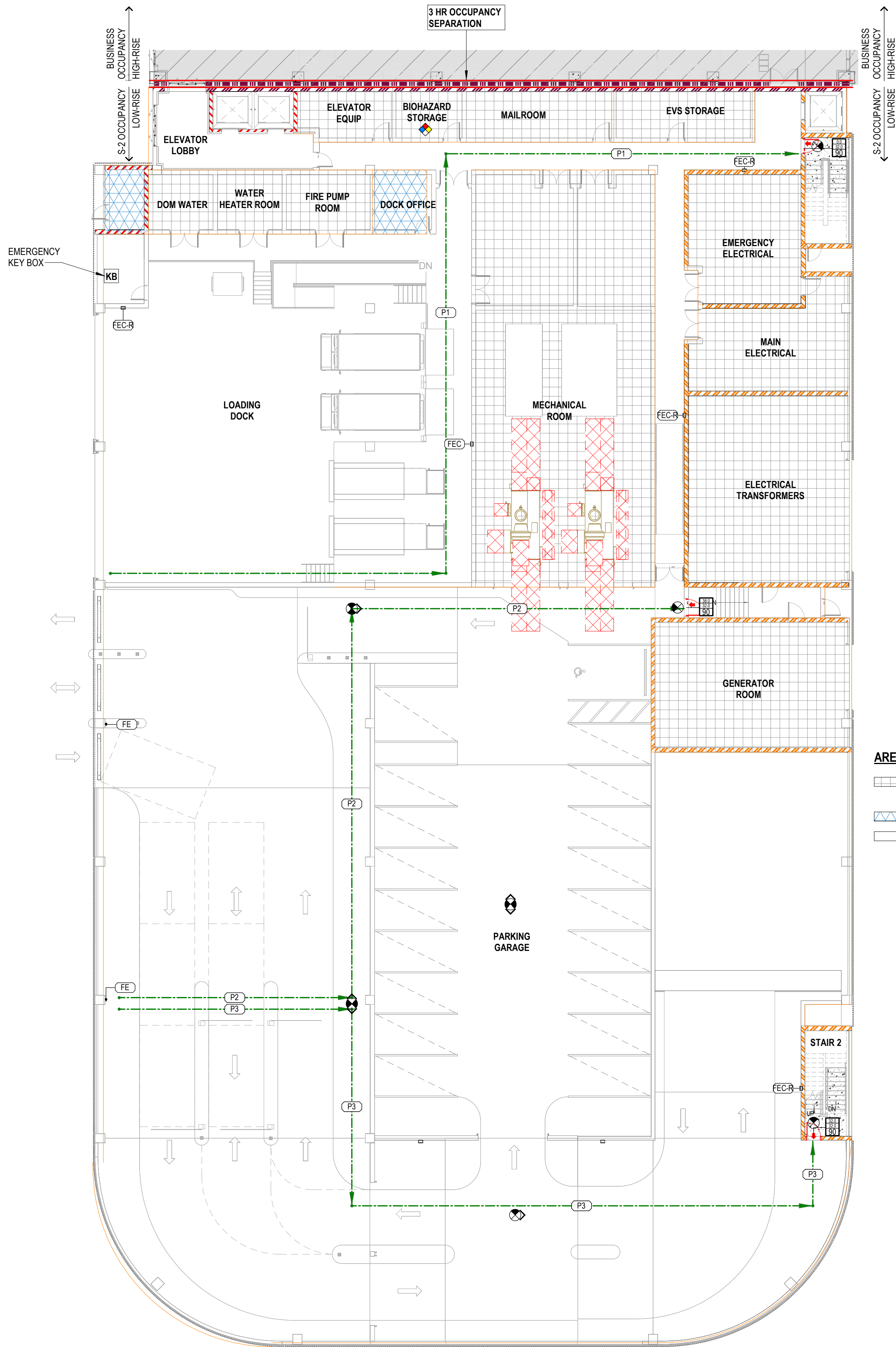
CURRENT SUBMISSION: DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

LEVEL 4 - CODE
COMPLIANCE PLAN -
CS

G2.04.1

SHEET



AREA OCCUPANCY LEGEND

- Accessory Storage Areas, Mechanical equipment rooms
- Business (FBC 2023)
- Parking Garages

CODE COMPLIANCE PLAN GENERAL NOTES:

1. WALL RATINGS BELOW REFLECT REQUIRED MINIMUM RATINGS FOR WALLS. REFER TO UL ASSEMBLY FOR ACTUAL WALL CONSTRUCTION.
2. REFER TO AREA FLOOR PLANS, AND SHEETS A0.01 AND A0.02 FOR PARTITION INFORMATION.
3. REFER TO AREA FLOOR PLANS FOR DOOR TAGS, REFER TO A6 SERIES FOR DOOR SCHEDULE AND DOOR INFORMATION.
4. REFER TO A3.xx SERIES SHEETS FOR ENLARGED PLANS, FOR DIMENSIONS BETWEEN PARTITIONS AT CHASE CONDITIONS.
5. REFER TO A11.xx SERIES SHEETS FOR FINISH PLANS (INCLUDING WALL PROTECTION) AND SHEET A11.00 FOR FINISH LEGEND.

TRAVEL DISTANCE PATHS		
PATH	LENGTH	
P1		240'-3"
P2		206'-11"
P3		207'-11"
P4		1330'-4"
P5		1319'-3"

BUILDING EGRESS DOORS		
Number	Egress Building	Width Egress Provided
121A	Yes	38.0
385	Yes	32.0
581	Yes	32.0
1753	Yes	32.0
1802	Yes	32.0
ST02A	Yes	32.0

CODE COMPLIANCE GRAPHICS

- EXISTING PARTITION TO REMAIN
- PARTITION
- SMOKE PARTITION
- 1 HR BARRIER
- 1 HR / SMOKE BARRIER
- 2 HR BARRIER
- 2 HR / SMOKE BARRIER
- 3 HR BARRIER
- 3 HR / SMOKE BARRIER
- 3 HR OCCUPANCY SEPARATION LINE
- EXIT SIGN TWO SIDED DIRECTIONAL TWO WAY
- EXIT SIGN ONE SIDED DIRECTIONAL
- EXIT SIGN ONE SIDED
- PROVIDED EGRESS WIDTH
- REQUIRED EGRESS WIDTH
- DOOR RATING (TAG USED ON NON-EGRESS DOORS)
- FIRE EXTINGUISHER CABINET - SEMI RECESSED
- FIRE EXTINGUISHER CABINET (RATED)
- FIRE ALARM CONTROL PANEL
- FIRE ALARM ANNUNCIATOR PANEL
- COMMON PATH TRAVEL DISTANCE PATH NUMBER
- EXIT TRAVEL DISTANCE PATH NUMBER
- DEAD END DISTANCE PATH NUMBER
- EXIT DISCHARGE
- HAZARDOUS STORAGE

1 CODE COMPLIANCE AREA PLAN- LEVEL P1
SCALE: 1/16" = 1'-0"

BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM

ARCHITECT NAME
STATE REGISTRATION #

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.

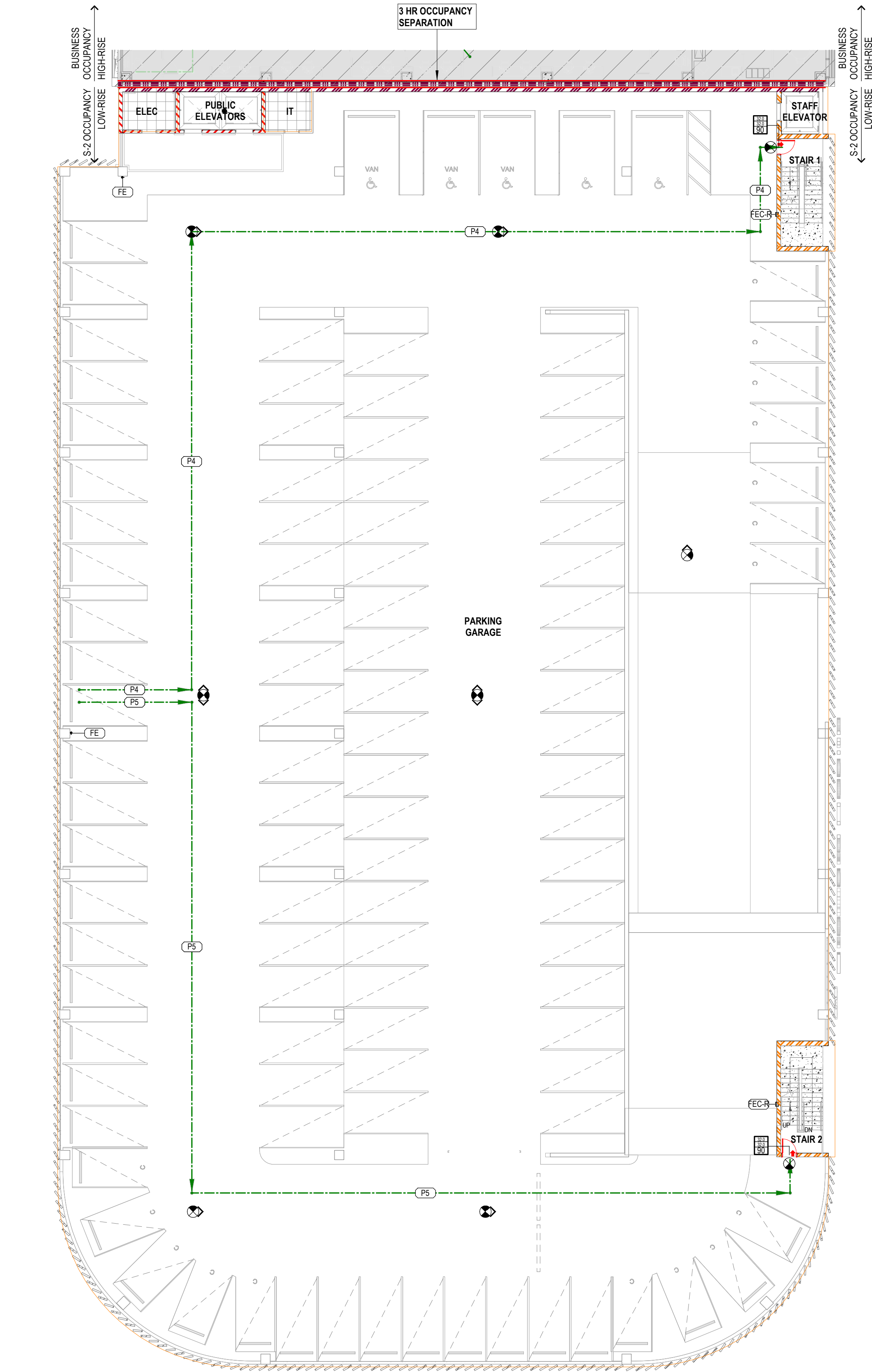
ARCHITECT SEAL
05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

#	DATE	SUBMISSION
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

LEVEL 1 - CODE
COMPLIANCE PLAN -
PG



AREA OCCUPANCY LEGEND

Accessory Storage Areas, Mechanical equipment rooms

Parking Garages

- CODE COMPLIANCE PLAN GENERAL NOTES:**
1. WALL RATINGS BELOW REFLECT REQUIRED MINIMUM RATINGS FOR WALLS. REFER TO UL ASSEMBLY FOR ACTUAL WALL CONSTRUCTION.
 2. REFER TO AREA FLOOR PLANS, AND SHEETS A0.01 AND A0.02 FOR PARTITION INFORMATION.
 3. REFER TO AREA FLOOR PLANS FOR DOOR TAGS, REFER TO A6 SERIES FOR DOOR SCHEDULE AND DOOR INFORMATION.
 4. REFER TO A3.xx SERIES SHEETS FOR ENLARGED PLANS, FOR DIMENSIONS BETWEEN PARTITIONS AT CHASE CONDITIONS.
 5. REFER TO A11.xx SERIES SHEETS FOR FINISH PLANS (INCLUDING WALL PROTECTION) AND SHEET A11.00 FOR FINISH LEGEND.

TRAVEL DISTANCE PATHS		
PATH	LENGTH	
P1		240'-3"
P2		206'-11"
P3		207'-1"
P4		1330'-4"
P5		1319'-3"

BUILDING EGRESS DOORS		
Number	Egress - Building	Width Egress Provided
121A	Yes	38.0
385	Yes	32.0
581	Yes	32.0
1753	Yes	32.0
1802	Yes	32.0
ST02A	Yes	32.0

CODE COMPLIANCE GRAPHICS

- EXISTING PARTITION TO REMAIN
- PARTITION
- SMOKE PARTITION
- 1 HR BARRIER
- 1 HR / SMOKE BARRIER
- 2 HR BARRIER
- 2 HR / SMOKE BARRIER
- 3 HR BARRIER
- 3 HR / SMOKE BARRIER
- 3 HR OCCUPANCY SEPARATION LINE
- EXIT SIGN TWO SIDED DIRECTIONAL TWO WAY
- EXIT SIGN ONE SIDED DIRECTIONAL
- EXIT SIGN ONE SIDED
- PROVIDED EGRESS WIDTH
- REQUIRED EGRESS WIDTH
- DOOR RATING (TAG USED ON NON-EGRESS DOORS)
- FIRE EXTINGUISHER CABINET - SEMI RECESSED
- FIRE EXTINGUISHER CABINET (RATED)
- FIRE ALARM CONTROL PANEL
- FIRE ALARM ANNUNCIATOR PANEL
- COMMON PATH TRAVEL DISTANCE PATH NUMBER
- EXIT TRAVEL DISTANCE PATH NUMBER
- DEAD END DISTANCE PATH NUMBER
- EXIT DISCHARGE
- HAZARDOUS STORAGE

1 CODE COMPLIANCE AREA PLAN- LEVEL P2

SCALE: 1/16" = 1'-0"

BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM

ARCHITECT NAME
STATE REGISTRATION #

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.

ARCHITECT SEAL
05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

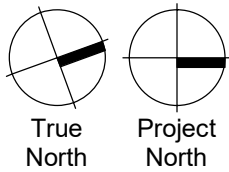
#	DATE	SUBMISSION
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

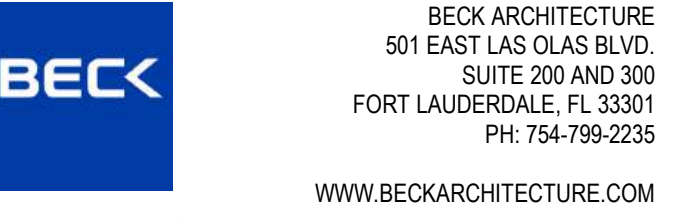
Broward Health Medical Center - MOB and PG

LEVEL 2 - CODE COMPLIANCE PLAN - PG

175309
JOB NO.

GP2.02





ARCHITECT SEAL 05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

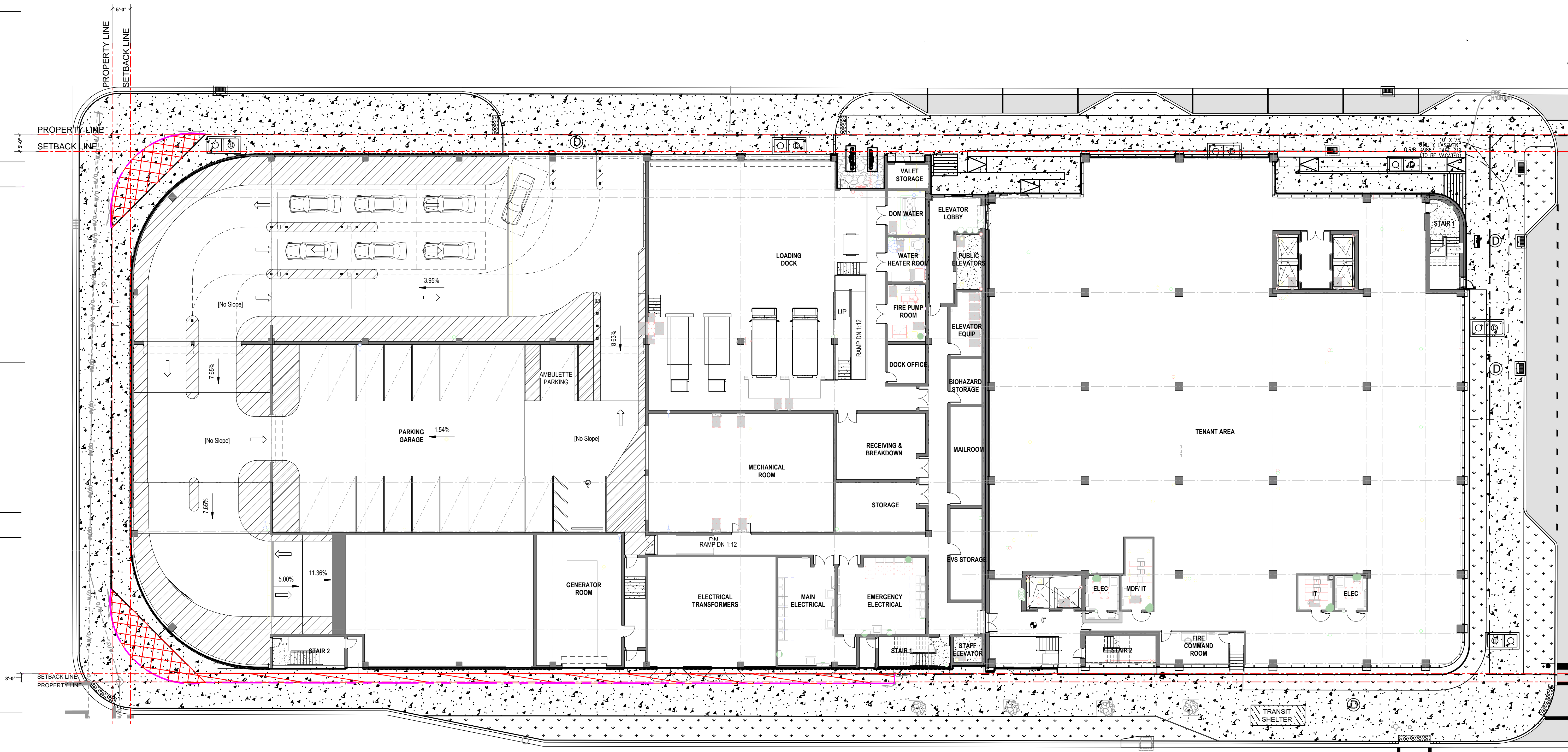
#	DATE	SUBMISSION
A	12/12/24	DRC Submission
B	02/17/25	Schematic Design
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

OVERALL SITE PLAN

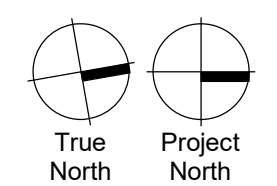
75309
OB NO.

AM # 25-0687
Exhibit 3
Page 10 of 58



1 SITE PLAN

SCALE: 1/16" = 1'-0"





1 LEVEL 1 - FLOOR PLAN
SCALE: 1/8" = 1'-0"



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM

ARCHITECT NAME
STATE REGISTRATION #

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
(ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.)

ARCHITECT SEAL 05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

#	DATE	SUBMISSION
A	12/12/24	DRC Submission
B	02/17/25	Schematic Design
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

LEVEL 1 - FLOOR PLAN
- TI

175309
JOB NO.

A2.01.2
SHEET

MATERIAL LIST			
TAG #	KEYNOTE DESCRIPTION		
PMP1	PERFORATED METAL PANEL SYSTEM - WHITE	MC3	FLASHING AND SHEET METAL - METAL COPING
PMP2	PERFORATED METAL PANEL SYSTEM LIGTH BLUE	ED1	AUTOMATIC DUAL SLIDING ENTRANCE
PMP3	PERFORATED METAL PANEL SYSTEM MEDIUM BLUE	ED2	ALUM SWINGING EXTERIOR DOOR ASSEMBLIES
PMP4	PERFORATED METAL PANEL SYSTEM DARK BLUE	ED3	EXTERIOR HM DOOR ASSEMBLIES
APC1	PRECAST CONCRETE WALL PANEL SYSTEM WITH FORMLINERS	ED4	EXTERIOR RATED LOUVERS
PT1	PAINT - WHITE - SW 7004 "Snowbound"	ED5	ROLLUP OVERHEAD DOOR
PT2	PAINT - GRAY - SW 7066 "Gray Matters"	GAF1	PUNCHED OPENING SYSTEM
PT3	PAINT - DARK BLUE - SW 6966 "Blueblood"	GAF2	CURTAINWALL SYSTEM
PT4	PAINT - MEDIUM BLUE - SW 6796 "Blue Plate"	GAF3	CURVED GLASS CORNER CURTAINWALL SYSTEM
PT5	PAINT - LIGHT BLUE - SW 9049 "Sky Fall"	SIG1	SPANDREL 1 5/16" INSULATING LAMINATED COATED GLASS (LARGE MISSILE)
PT6	PAINT - DARK GRAY - SW 7069 "Iron Ore"	SIG2	SPANDREL 9/16" INSULATING LAMINATED COATED GLASS (SMALL MISSILE)
AMF1	ARCHITECTURAL METAL FINISH - DARK BRONZE	SIG3	VISION 1 5/16" INSULATING LAMINATED COATED GLASS (LARGE MISSILE)
AMF2	ARCHITECTURAL METAL FINISH - MEDIUM GRAY	SIG4	VISION 9/16" INSULATING LAMINATED COATED GLASS (SMALL MISSILE)
AMF3	ARCHITECTURAL METAL FINISH - LIGHT GRAY	SIG5	EXTERIOR DOOR GLASS LAMINATED
AMF4	ARCHITECTURAL METAL FINISH - WHITE	RF1	ROOFING
AMF5	ARCHITECTURAL METAL FINISH - CLR ANODIZED	RF2	BUILDING SUPPORTED ARCHITECTURAL CANOPY (DELEGATED DESIGN)
MWP1	METAL WALL PANEL - COMPOSITE WALL PANELS	RF3	MAIN ROOF
MWP2	METAL WALL PANEL - CORRUGATED METAL CLADDING	EIF1	CEMENT PLASTER SYSTEM - TerraNeo
MC1	FLASHING AND SHEET METAL - METAL COPING	EIF2	CEMENT PLASTER SYSTEM - Limestone
MC2	FLASHING AND SHEET METAL - METAL COPING	MS1	FACE LIT MONUMENTAL SIGNAGE (DELEGATED DESIGN)
REFER TO ARCHITECTURAL SHEET A7.03.1 AND A7.04.1 FOR EXTERIOR MATERIALS			



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235

WWW.BECKARCHITECTURE.COM

ARCHITECT NAME
STATE REGISTRATION #

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
(ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.

ARCHITECT SEAL 05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

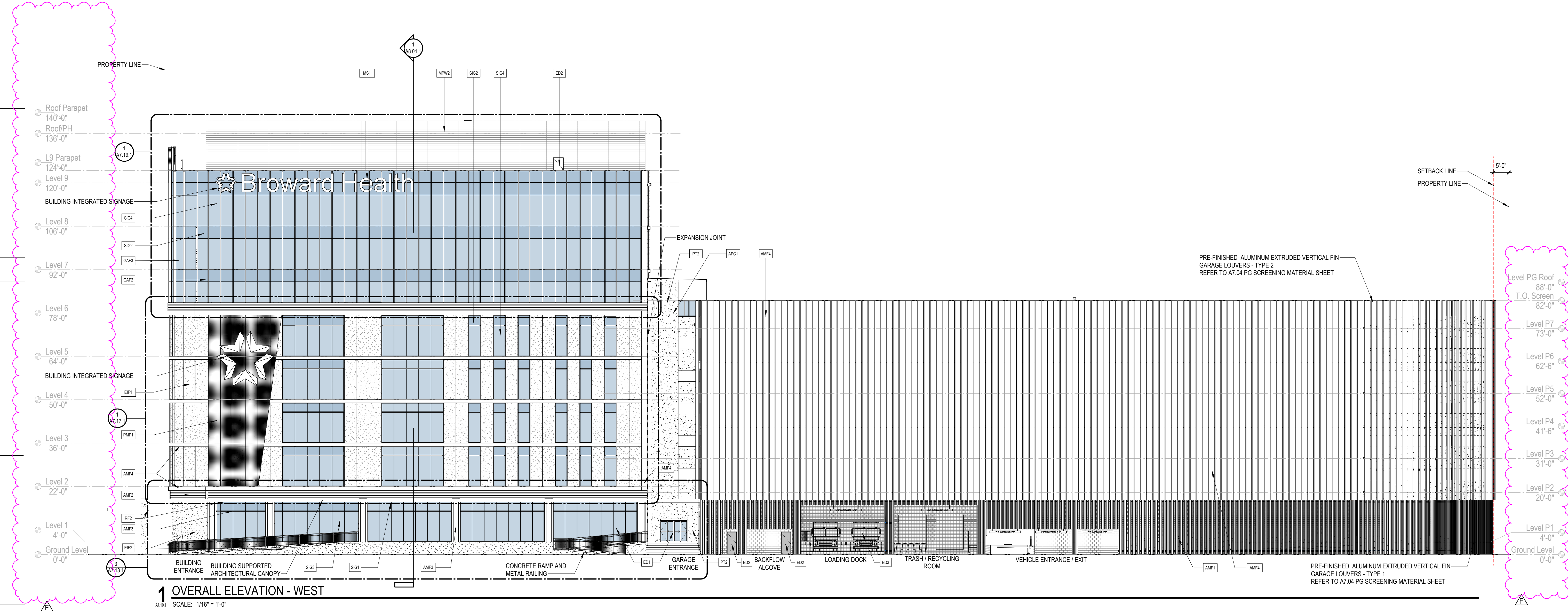
#	DATE	SUBMISSION
A	12/12/24	DRC Submission
B	02/17/25	Schematic Design
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

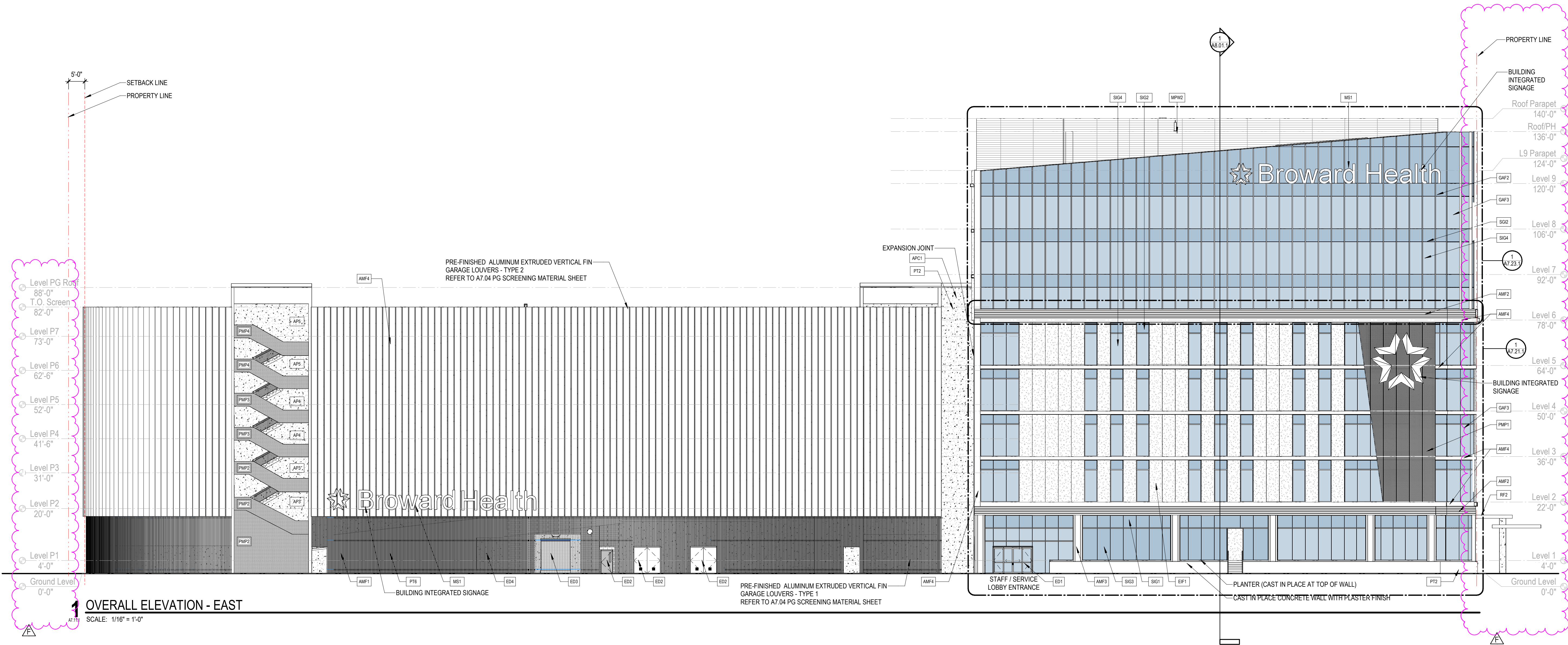
Broward Health Medical
Center - MOB and PG

OVERALL EXTERIOR
ELEVATIONS - CS

175309
JOB NO.

A7.10.1
SHEET





MATERIAL LIST			
TAG #	KEYNOTE DESCRIPTION		
PMP1	PERFORATED METAL PANEL SYSTEM - WHITE	MC3	FLASHING AND SHEET METAL - METAL COPING
PMP2	PERFORATED METAL PANEL SYSTEM LIGHT BLUE	ED1	AUTOMATIC DUAL SLIDING ENTRANCE
PMP3	PERFORATED METAL PANEL SYSTEM MEDIUM BLUE	ED2	ALUM SWINGING EXTERIOR DOOR ASSEMBLIES
PMP4	PERFORATED METAL PANEL SYSTEM DARK BLUE	ED3	EXTERIOR HM DOOR ASSEMBLIES
APC1	PRECAST CONCRETE WALL PANEL SYSTEM WITH FORMLINERS	ED4	EXTERIOR RATED LOUVERS
PT1	PAINT - WHITE - SW 7004 "Snowbound"	ED5	ROLLUP OVERHEAD DOOR
PT2	PAINT - GRAY - SW 7066 "Gray Matters"	GAF1	PUNCHED OPENING SYSTEM
PT3	PAINT - DARK BLUE - SW 6966 "Blueblood"	GAF2	CURTAINWALL SYSTEM
PT4	PAINT - MEDIUM BLUE - SW 6796 "Blue Plate"	GAF3	CURVED GLASS CORNER CURTAINWALL SYSTEM
PT5	PAINT - LIGHT BLUE - SW 9049 "Sky Fall"	SIG1	SPANDREL 1 5/16" INSULATING LAMINATED COATED GLASS (LARGE MISSILE)
PT6	PAINT - DARK GRAY - SW 7069 "Iron Ore"	SIG2	SPANDREL 9/16" INSULATING LAMINATED COATED GLASS (SMALL MISSILE)
AMF1	ARCHITECTURAL METAL FINISH - DARK BRONZE	SIG3	VISION 1 5/16" INSULATING LAMINATED COATED GLASS (LARGE MISSILE)
AMF2	ARCHITECTURAL METAL FINISH - MEDIUM GRAY	SIG4	VISION 9/16" INSULATING LAMINATED COATED GLASS (SMALL MISSILE)
AMF3	ARCHITECTURAL METAL FINISH - LIGHT GRAY	SIG5	EXTERIOR DOOR GLASS LAMINATED
AMF4	ARCHITECTURAL METAL FINISH - WHITE	RF1	ROOFING
AMF5	ARCHITECTURAL METAL FINISH - CLR ANODIZED	RF2	BUILDING SUPPORTED ARCHITECTURAL CANOPY (DELEGATED DESIGN)
MWP1	METAL WALL PANEL - COMPOSITE WALL PANELS	RF3	MAIN ROOF
MWP2	METAL WALL PANEL - CORRUGATED METAL CLADDING	EIF1	CEMENT PLASTER SYSTEM - TerraNeo
MC1	FLASHING AND SHEET METAL - METAL COPING	EIF2	CEMENT PLASTER SYSTEM - Lymestone
MC2	FLASHING AND SHEET METAL - METAL COPING	MS1	FACE LIT MONUMENTAL SIGNAGE (DELEGATED DESIGN)
REFER TO ARCHITECTURAL SHEET A7.03.1 AND A7.04.1 FOR EXTERIOR MATERIALS			



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235

WWW.BECKARCHITECTURE.COM

ARCHITECT NAME
STATE REGISTRATION #

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
(ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.

ARCHITECT SEAL 05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

#	DATE	SUBMISSION
A	12/12/24	DRC Submission
B	02/17/25	Schematic Design
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

OVERALL EXTERIOR
ELEVATIONS - CS

175309
JOB NO.

A7.11.1
SHEET

MATERIAL LIST			
TAG #	KEYNOTE DESCRIPTION		
PMP1	PERFORATED METAL PANEL SYSTEM - WHITE	MC3	FLASHING AND SHEET METAL - METAL COPING
PMP2	PERFORATED METAL PANEL SYSTEM LGTH BLUE	ED1	AUTOMATIC DUAL SLIDING ENTRANCE
PMP3	PERFORATED METAL PANEL SYSTEM MEDIUM BLUE	ED2	ALUM SWINGING EXTERIOR DOOR ASSEMBLIES
PMP4	PERFORATED METAL PANEL SYSTEM DARK BLUE	ED3	EXTERIOR HM DOOR ASSEMBLIES
APC1	PRECAST CONCRETE WALL PANEL SYSTEM WITH FORMLINERS	ED4	EXTERIOR RATED LOUVERS
PT1	PAINT - WHITE - SW 7004 "Snowbound"	ED5	ROLLUP OVERHEAD DOOR
PT2	PAINT - GRAY - SW 7066 "Gray Matters"	GAF1	PUNCHED OPENING SYSTEM
PT3	PAINT - DARK BLUE - SW 6966 "Blueblood"	GAF2	CURTAINWALL SYSTEM
PT4	PAINT - MEDIUM BLUE - SW 6796 "Blue Plate"	GAF3	CURVED GLASS CORNER CURTAINWALL SYSTEM
PT5	PAINT - LIGHT BLUE - SW 9049 "Sky Fall"	SIG1	SPANDREL 1 5/16" INSULATING LAMINATED COATED GLASS (LARGE MISSILE)
PT6	PAINT - DARK GRAY - SW 7069 "Iron Ore"	SIG2	SPANDREL 9/16" INSULATING LAMINATED COATED GLASS (SMALL MISSILE)
AMF1	ARCHITECTURAL METAL FINISH - DARK BRONZE	SIG3	VISION 1 5/16" INSULATING LAMINATED COATED GLASS (LARGE MISSILE)
AMF2	ARCHITECTURAL METAL FINISH - MEDIUM GRAY	SIG4	VISION 9/16" INSULATING LAMINATED COATED GLASS (SMALL MISSILE)
AMF3	ARCHITECTURAL METAL FINISH - LIGHT GRAY	SIG5	EXTERIOR DOOR GLASS LAMINATED
AMF4	ARCHITECTURAL METAL FINISH - WHITE	RF1	ROOFING
AMF5	ARCHITECTURAL METAL FINISH - CLR ANODIZED	RF2	BUILDING SUPPORTED ARCHITECTURAL CANOPY (DELEGATED DESIGN)
MWP1	METAL WALL PANEL - COMPOSITE WALL PANELS	RF3	MAIN ROOF
MWP2	METAL WALL PANEL - CORRUGATED METAL CLADDING	EIF1	CEMENT PLASTER SYSTEM - TerraNeo
MC1	FLASHING AND SHEET METAL - METAL COPING	EIF2	CEMENT PLASTER SYSTEM - Limestone
MC2	FLASHING AND SHEET METAL - METAL COPING	MS1	FACE LIT MONUMENTAL SIGNAGE (DELEGATED DESIGN)
REFER TO ARCHITECTURAL SHEET A7.03.1 AND A7.04.1 FOR EXTERIOR MATERIALS			



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235

WWW.BECKARCHITECTURE.COM

ARCHITECT NAME
STATE REGISTRATION #

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
(ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.

ARCHITECT SEAL 05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

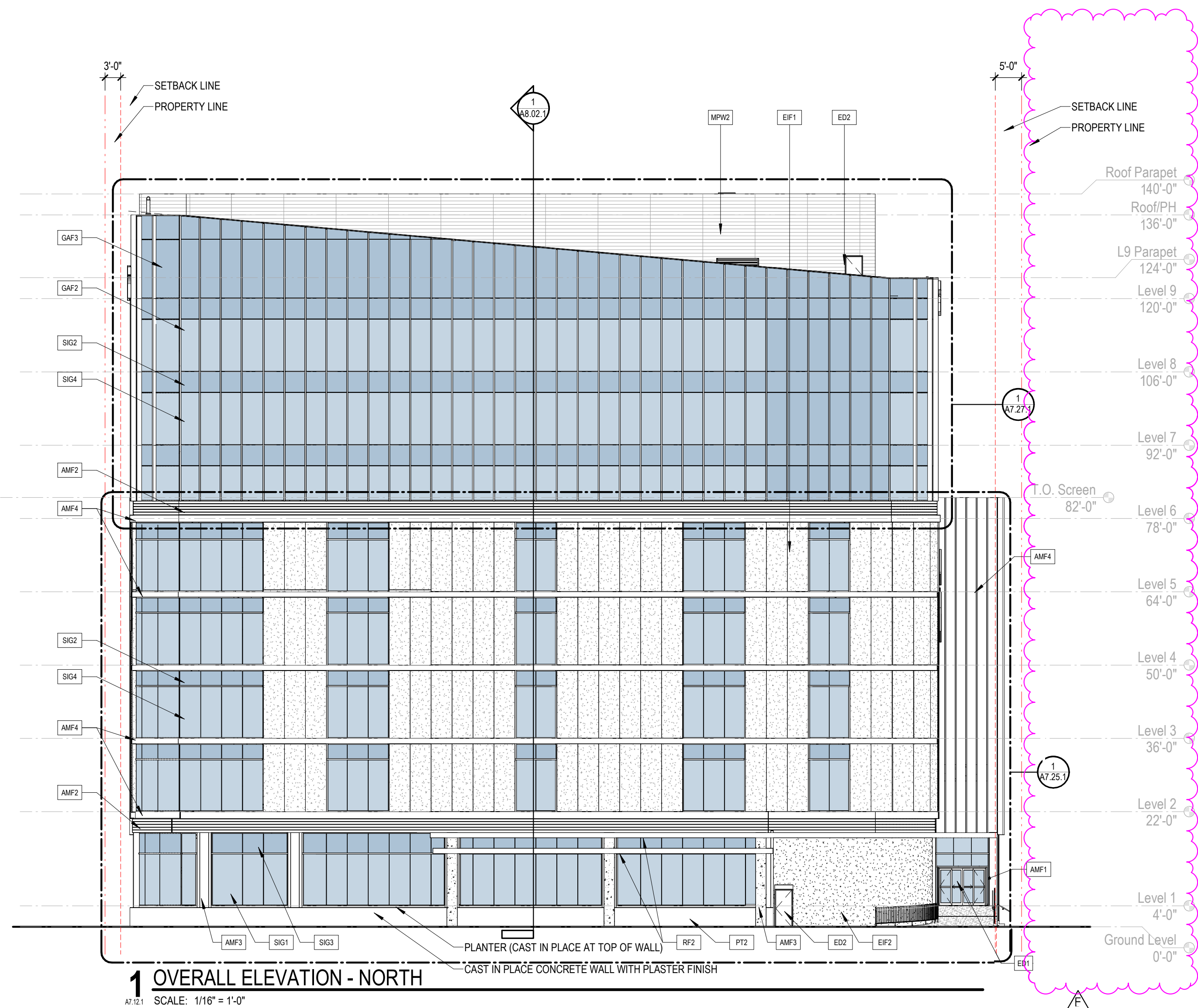
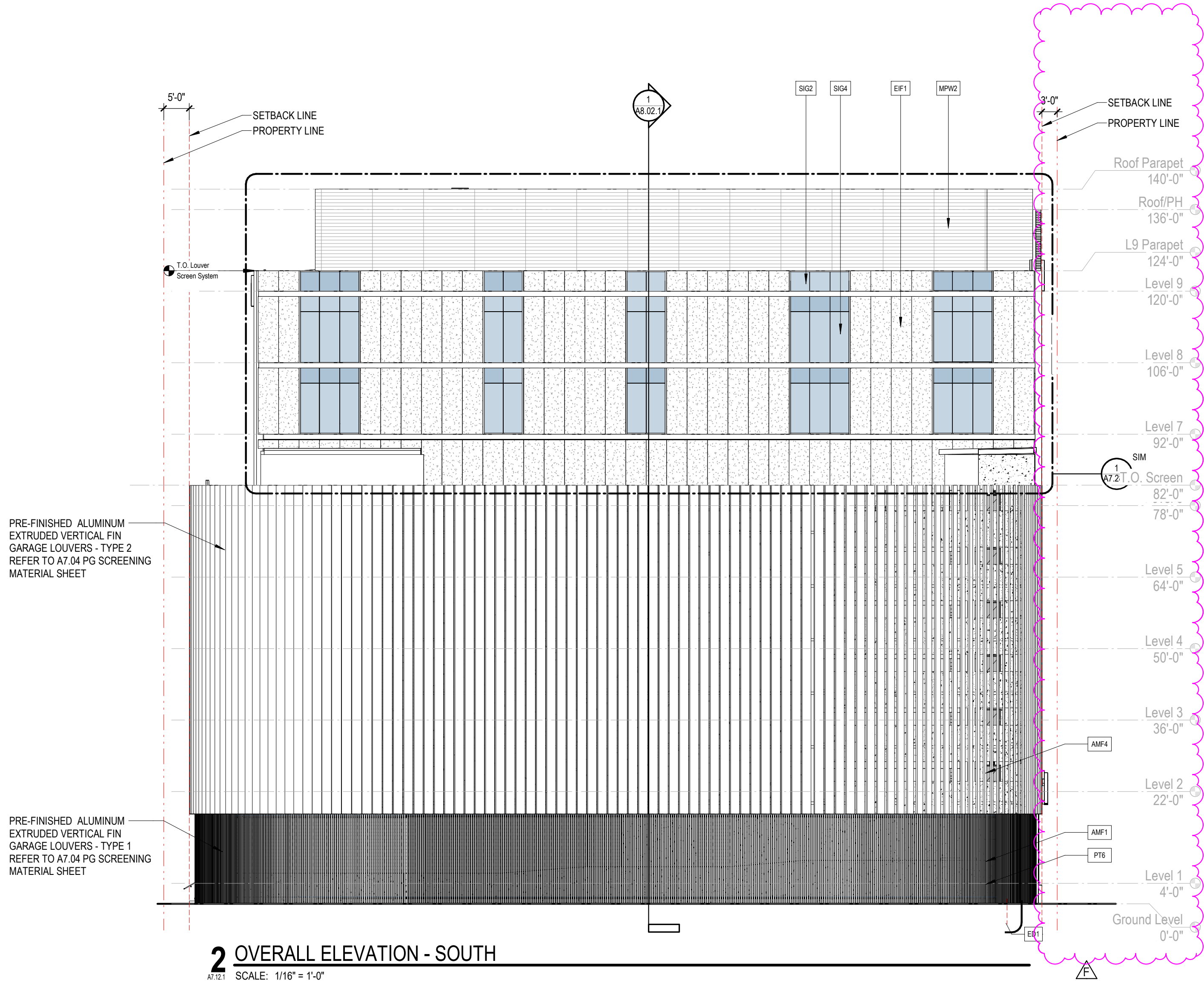
#	DATE	SUBMISSION
A	12/12/24	DRC Submission
B	02/17/25	Schematic Design
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

OVERALL EXTERIOR
ELEVATIONS - CS

175309
JOB NO.

A7.12.1
SHEET






02 AXON-NORTHEAST-EXTERIOR
1"=10'-0"



01 AXON-NORTHWEST-EXTERIOR
1"=10'-0"



Broward Health
MEDICAL CENTER



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM



ARCHITECT NAME
STATE REGISTRATION #

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
(ONLY. NOT FOR)
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.

ARCHITECT SEAL05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

#	DATE	SUBMISSION
A	12/12/24	DRC Submission
B	02/17/25	Schematic Design
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

DESIGN IMAGES



D



02 AXON-NORTHWEST-EXTERIOR
1"=10'-0"



01 AXON-SOUTHEAST-EXTERIOR
1"=10'-0"



Broward Health
MEDICAL CENTER



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM

ARCHITECT NAME
STATE REGISTRATION #

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
(ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.)

ARCHITECT SEAL 05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

#	DATE	SUBMISSION
A	12/12/24	DRC Submission
B	02/17/25	Schematic Design
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

DESIGN IMAGES

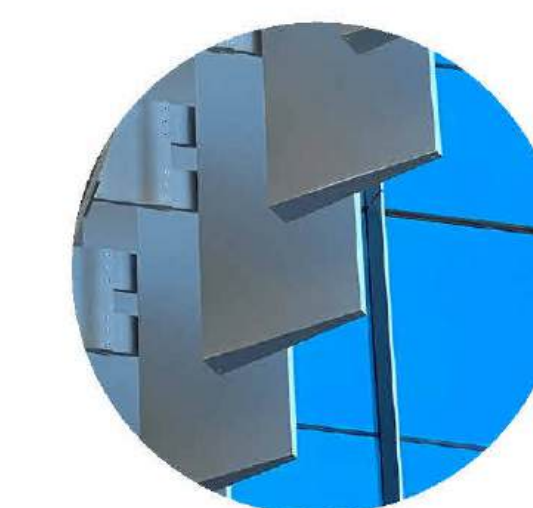
<https://agsshade.com>
<https://agsshade.com/wp-content/uploads/2021/04/Florida-FIN.pdf>



<https://agsshade.com>
<https://agsshade.com/wp-content/uploads/2021/04/Florida-FIN.pdf>



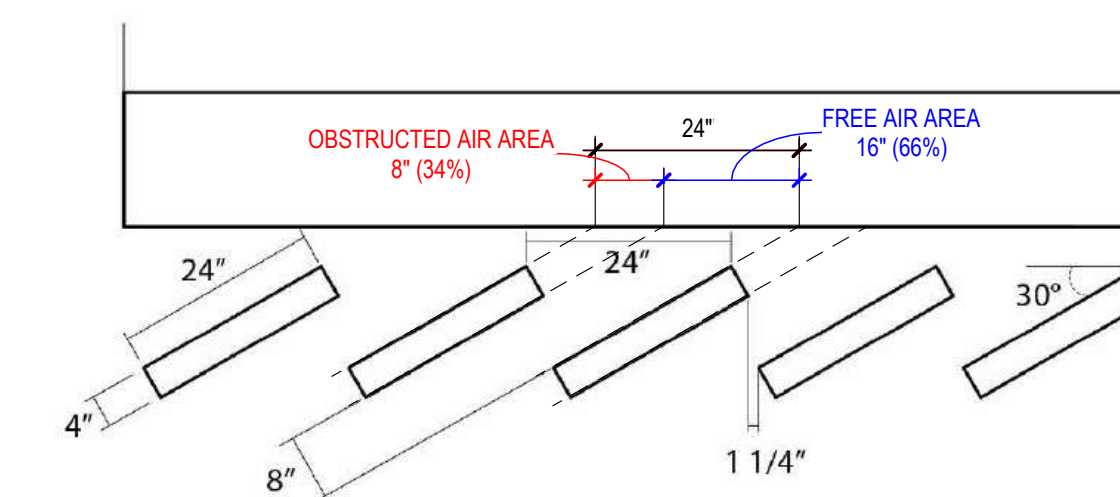
PARKING GARAGE LOUVER



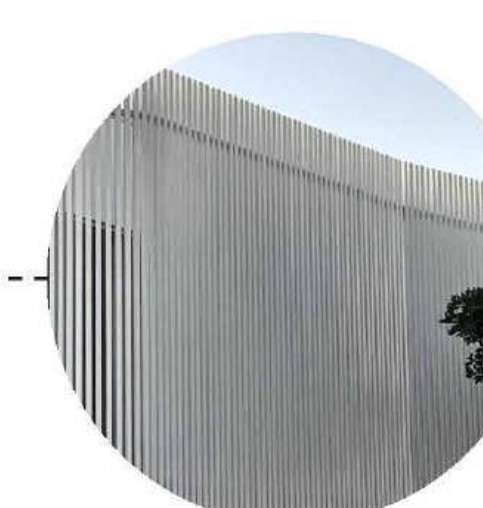
PARKING GARAGE LOUVER

QUANTITIES:
350 Louvers Total
Height of each louvers: 54"
Spacing: 2' on CL

- Custom Louvers: ~18



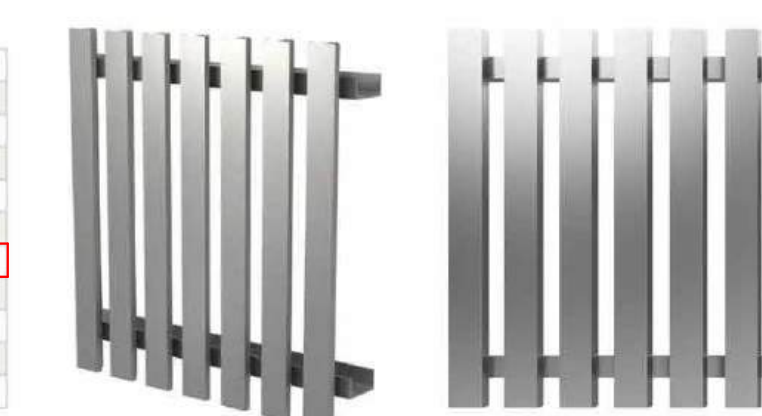
1st FLOOR PARKING GARAGE LOUNGE



1st FLOOR PARKING GARAGE LOU

Product Data - Standard Construction*

BAR MATERIAL	Extruded Aluminum (Alloy 6063-T5)
BLADE THICKNESS	0.062"
BLADE SPACING	5" on Center
BLADE DEPTH	2"
BLADE WIDTH	3"
BLADE LENGTH	Up to 20'
BLADE FREE AREA	40% Based on Standard Blade Spacing
FASTENERS	Stainless Steel
CONSTRUCTION	Mechanically Fastened
SECURED TO SUPPORTS	Extruded Aluminum Clip Angles
CLIPBOARD MATERIAL	Steel (See options)



QUANTITIES:
~ 2,160 Louvers Total
Height of each louvers: 20"
→ Spacing: 5" on CL



BrowardHealth
MEDICAL CENTER



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM

WWW.BECKARCHITECTURE.COM

ARCHITECT NAME
STATE REGISTRATION #

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.

ARCHITECT SEAL

05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

#	DATE	SUBMISSION
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

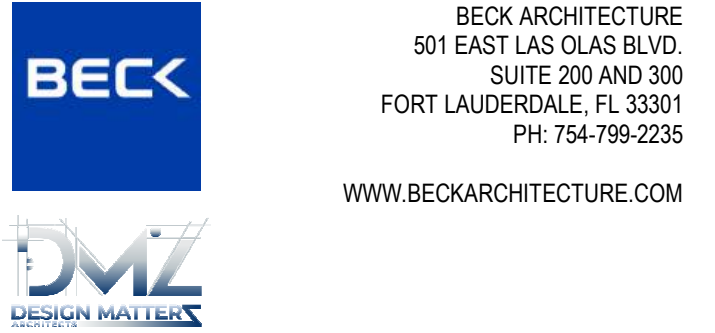
Broward Health Medical
Center - MOB and PG

PARKING GARAGE SCREENING

175309
JOB NO.

A9.24

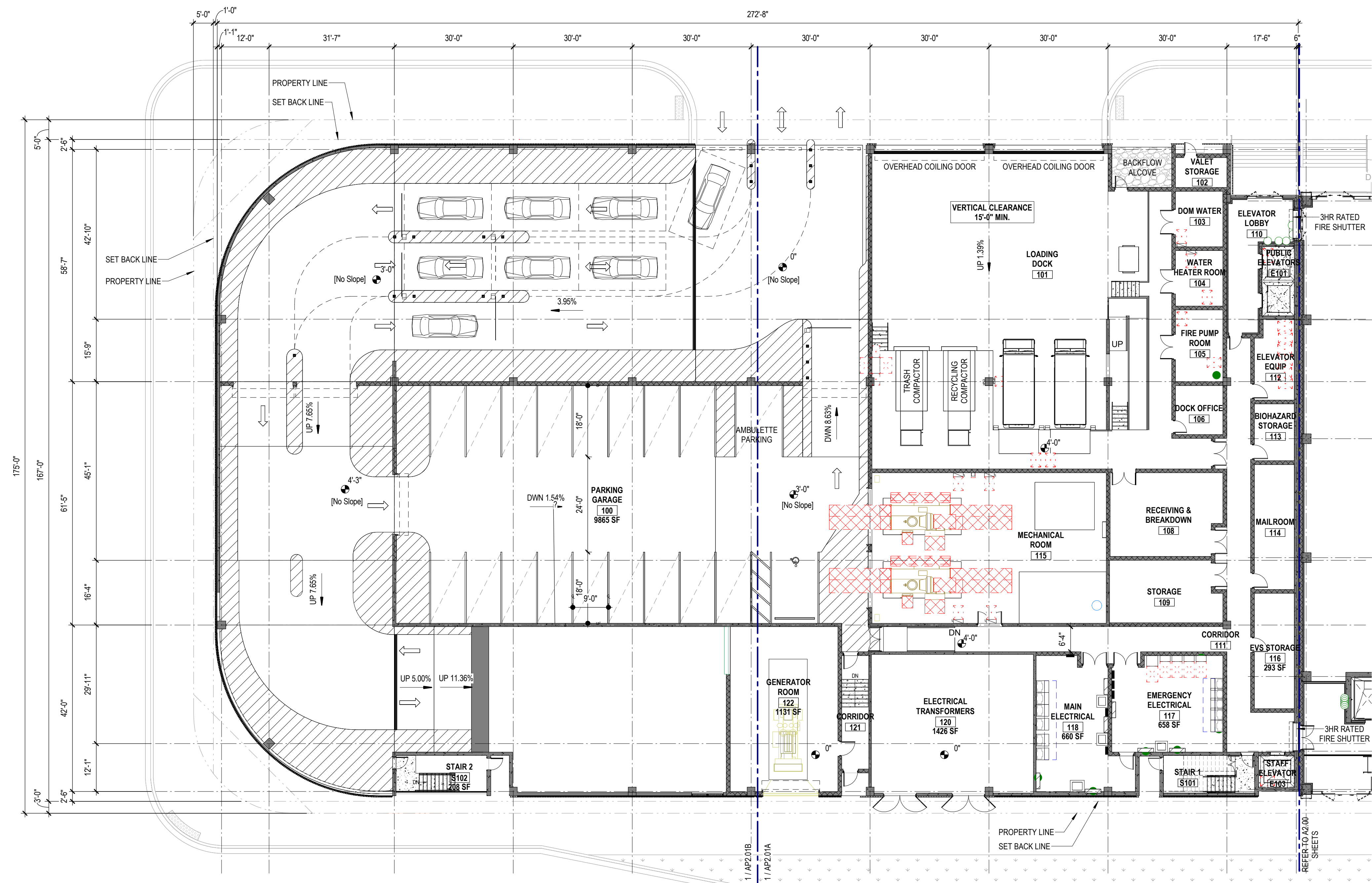
SHEET



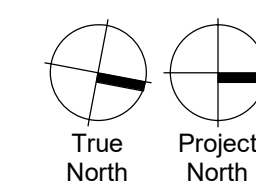
CAM # 25-0687
Exhibit 3
Page 23 of 58

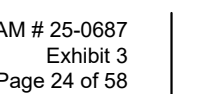
PARKING COUNT		
LEVEL	COUNT	PARKING SPACE TYPE
Level P1	1	ACCESSIBLE 12X18
Level P1	17	STANDARD 9x18
Level P1	1	STANDARD 11x18
Level P1: 19		
Level P2	2	ACCESSIBLE 12X18
Level P2	3	ACCESSIBLE 12X18 - VAN
Level P2	16	COMPACT 8X16
Level P2	84	STANDARD 9x18
Level P2: 105		
Level P3	5	ACCESSIBLE 12X18
Level P3	22	COMPACT 8X16
Level P3	84	STANDARD 9x18
Level P3: 111		
Level P4	4	ACCESSIBLE 12X18
Level P4	22	COMPACT 8X16
Level P4	86	STANDARD 9x18
Level P4: 112		
Level P5	22	COMPACT 8X16
Level P5	93	STANDARD 9x18
Level P5: 115		
Level P6	22	COMPACT 8X16
Level P6	93	STANDARD 9x18
Level P6: 115		
Level P7	19	COMPACT 8X16
Level P7	98	STANDARD 9x18
Level P7: 117		
Grand total: 694		

PARKING COUNT		
LEVEL	COUNT	PARKING SPACE TYPE
Level P1		
Level P1	1	ACCESSIBLE 12X18
Level P1	17	STANDARD 9x18
Level P1	1	STANDARD 11x18
Level P1: 19		
Total Spaces on Level: 19		



1 LEVEL P1 - OVERALL FLOOR PLAN







ARCHITECT SEAL 05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

175309
JOB NO.

AP2.01B
SHEET

AP2.01B

ARCHITECT NAME
STATE REGISTRATION #

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
(ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.

ARCHITECT SEAL 05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

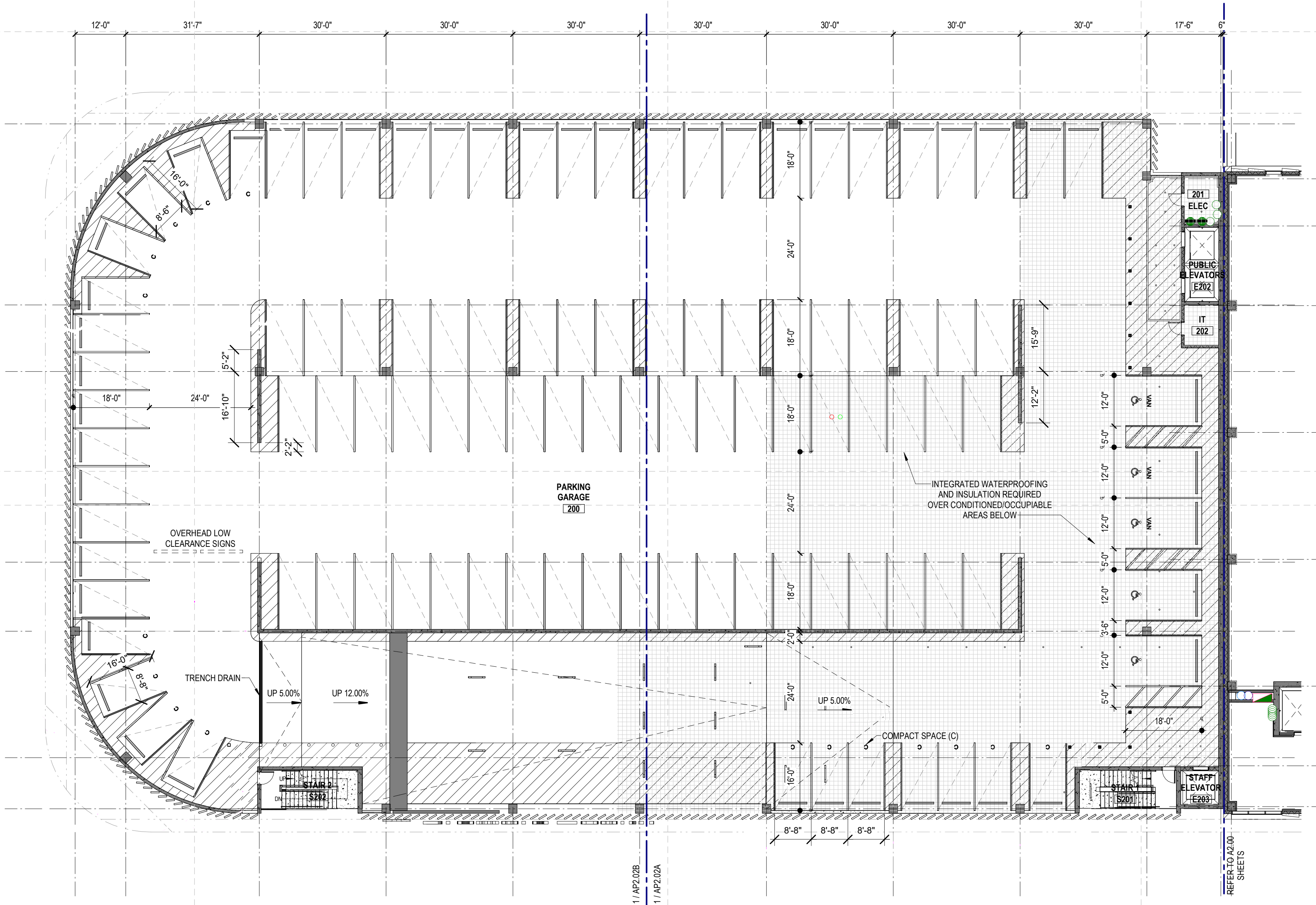
#	DATE	SUBMISSION
A	12/12/24	DRC Submission
B	02/17/25	Schematic Design
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

LEVEL P2 - OVERALL
FLOOR PLAN - PG

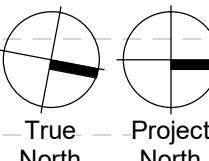
175309
JOB NO.

AP2.02
SHEET



PARKING COUNT		
LEVEL	COUNT	PARKING SPACE TYPE
Level P2		
Level P2	2	ACCESSIBLE 12X18
Level P2	3	ACCESSIBLE 12X18 - VAN
Level P2	16	COMPACT 8X16
Level P2	84	STANDARD 9X18
Level P2: 105		
Total Spaces on Level: 105		

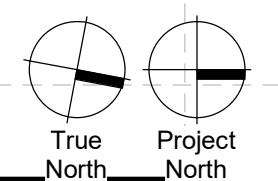
1 LEVEL P2 - OVERALL FLOOR PLAN
SCALE: 1/16" = 1'-0"





#	DATE	SUBMISSION
A	12/12/24	DRC Submission
B	02/17/25	Schematic Design
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

75309 AP2.02A
OB NO. SHEET



ARCHITECT NAME
STATE REGISTRATION #

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
(ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.)

ARCHITECT SEAL 05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

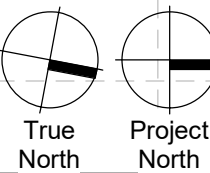
#	DATE	SUBMISSION
A	12/12/24	DRC Submission
B	02/17/25	Schematic Design
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

LEVEL P2 - PARTIAL
FLOOR PLAN - AREA
SOUTH - PG

175309
JOB NO.

AP2.02B
SHEET



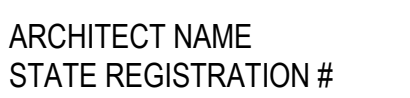
1 LEVEL P2 - PARTIAL FLOOR PLAN - AREA SOUTH
SCALE: 1/8" = 1'-0"



175309 AP2.05
JOB NO. SHEET

True North

Project North



INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.

ARCHITECT SEAL 05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

LEVEL P5 - PARTIAL
FLOOR PLAN - AREA
NORTH - PG

175309
JOB NO.

AP2.05A

SHEET



INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.

CURRENT SUBMISSION: DRC Resubmission #3

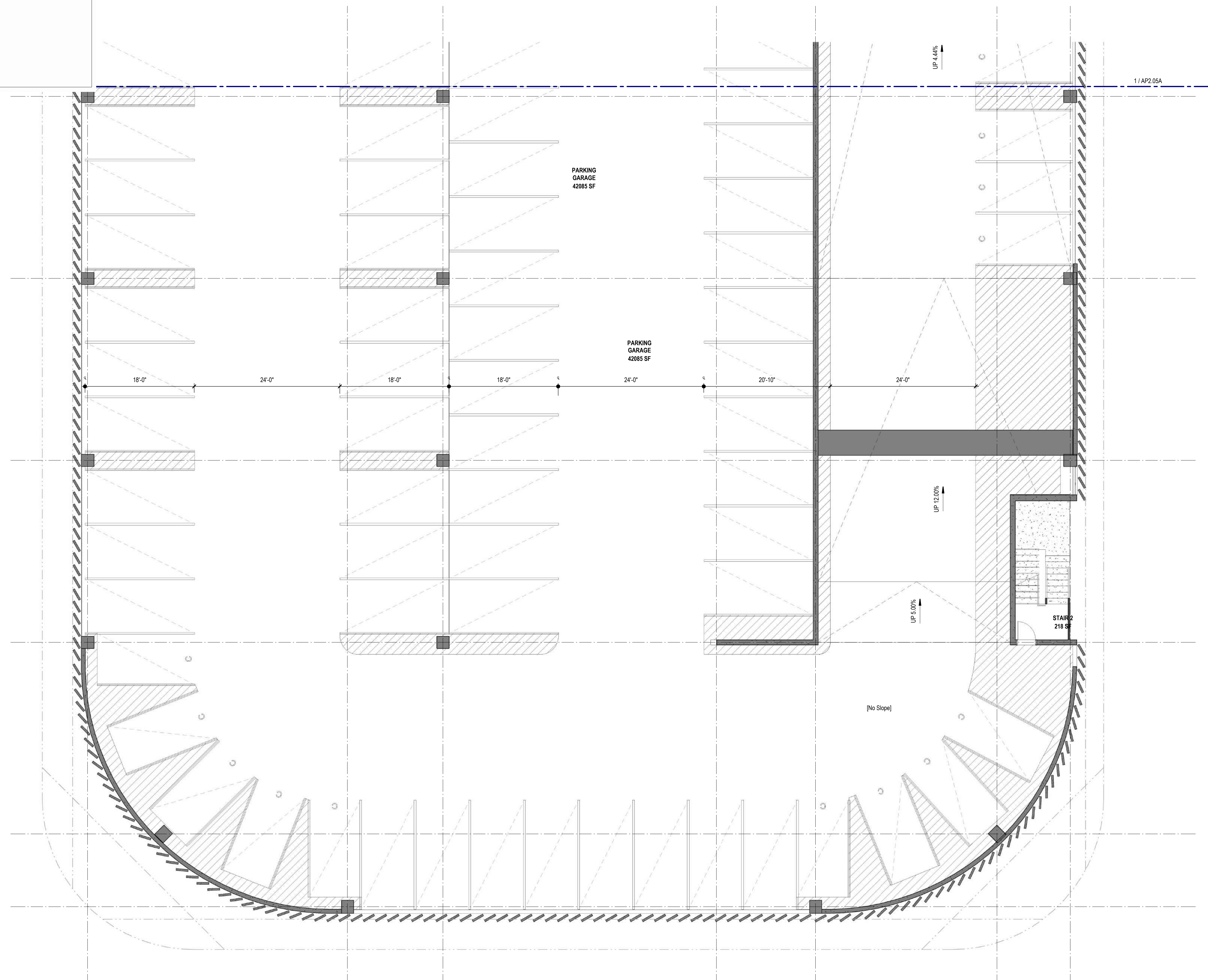
#	DATE	SUBMISSION
A	12/12/24	DRC Submission
B	02/17/25	Schematic Design
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

LEVEL P5 - PARTIAL
FLOOR PLAN - AREA
SOUTH - PG

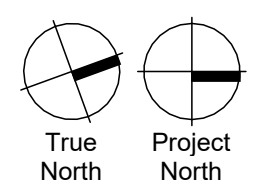
175309
JOB NO.

AP2.05B
SHEET

25-0687
Exhibit 3
Page 31 of 58



1 FLOOR PLAN- LEVEL 5



ARCHITECT NAME
STATE REGISTRATION #

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
(ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.

ARCHITECT SEAL 05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

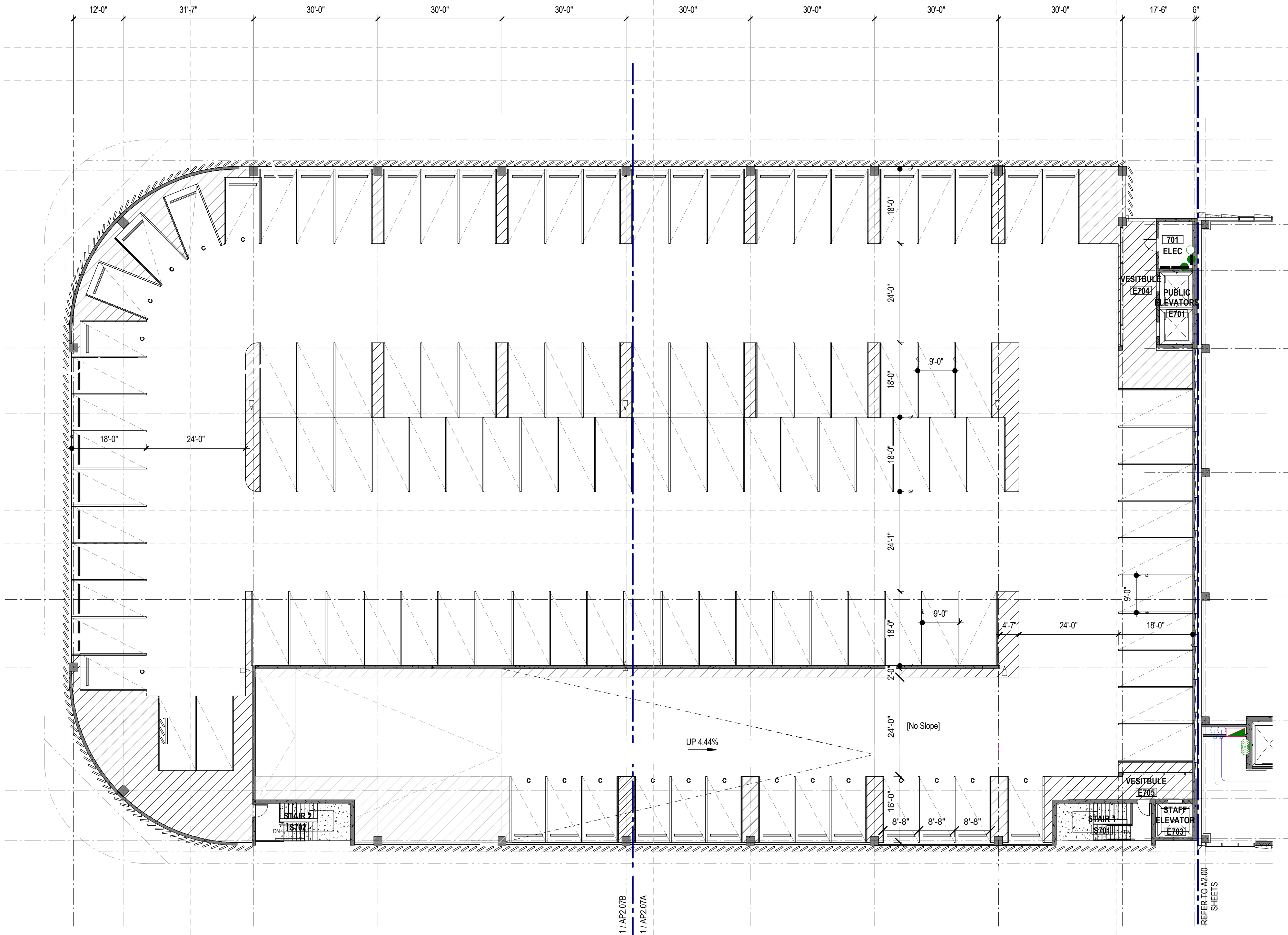
#	DATE	SUBMISSION
A	12/12/24	DRC Submission
B	02/17/25	Schematic Design
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

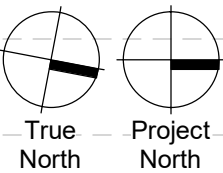
LEVEL P7 - OVERALL
FLOOR PLAN - PG

175309
JOB NO.

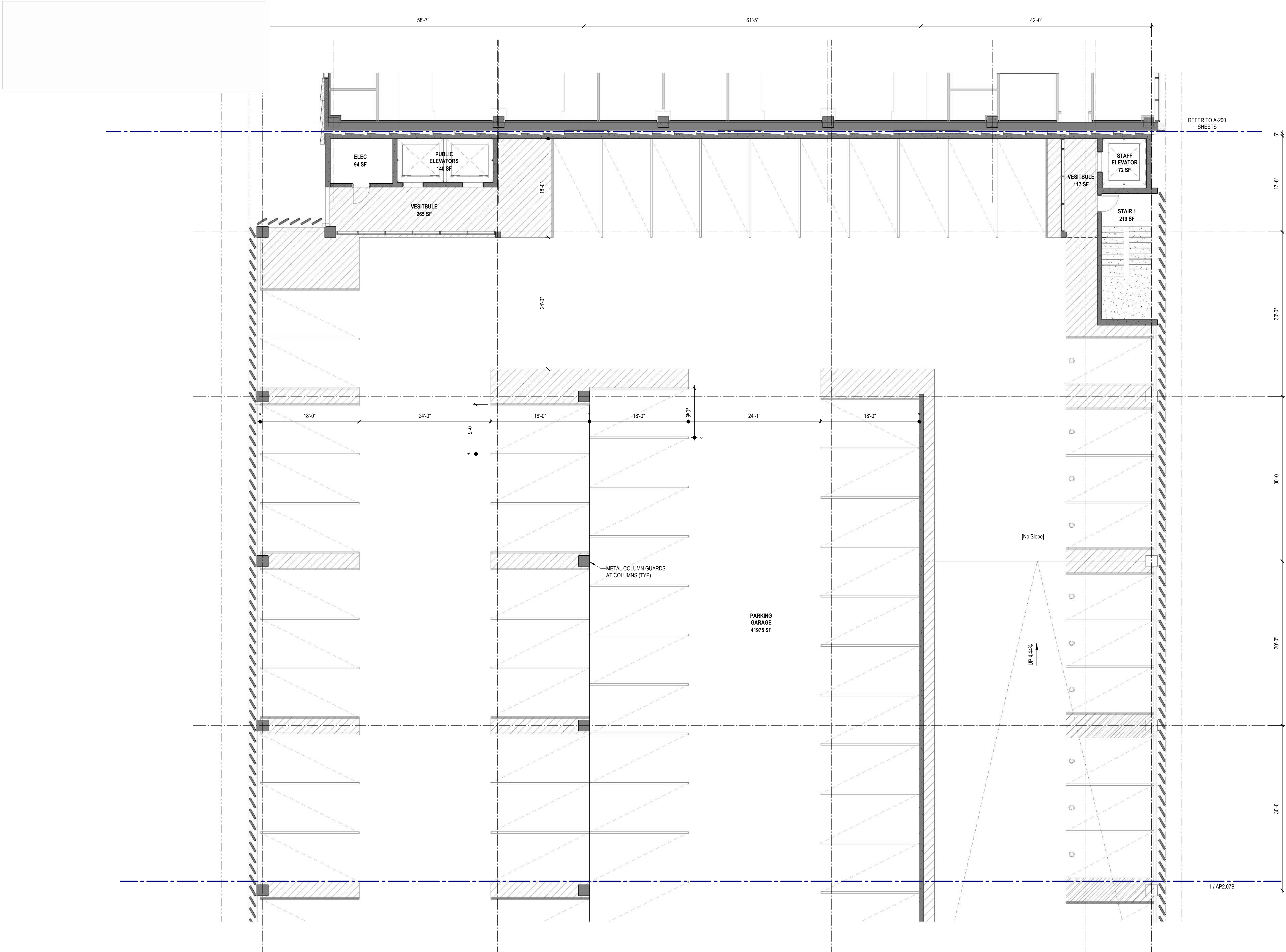
AP2.07
SHEET



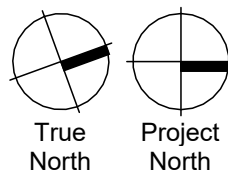
PARKING COUNT		
LEVEL	COUNT	PARKING SPACE TYPE
Level P7		
Level P7	19	COMPACT 8x16
Level P7	98	STANDARD 9x18
Level P7: 117		
Total Spaces on Level: 117		



1 LEVEL P7 - OVERALL FLOOR PLAN
SCALE: 1/16" = 1'-0"



1 LEVEL P7 - PARTIAL FLOOR PLAN - AREA NORTH
SCALE: 1/8" = 1'-0"



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM

ARCHITECT NAME
STATE REGISTRATION #

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
(ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.)

ARCHITECT SEAL 05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

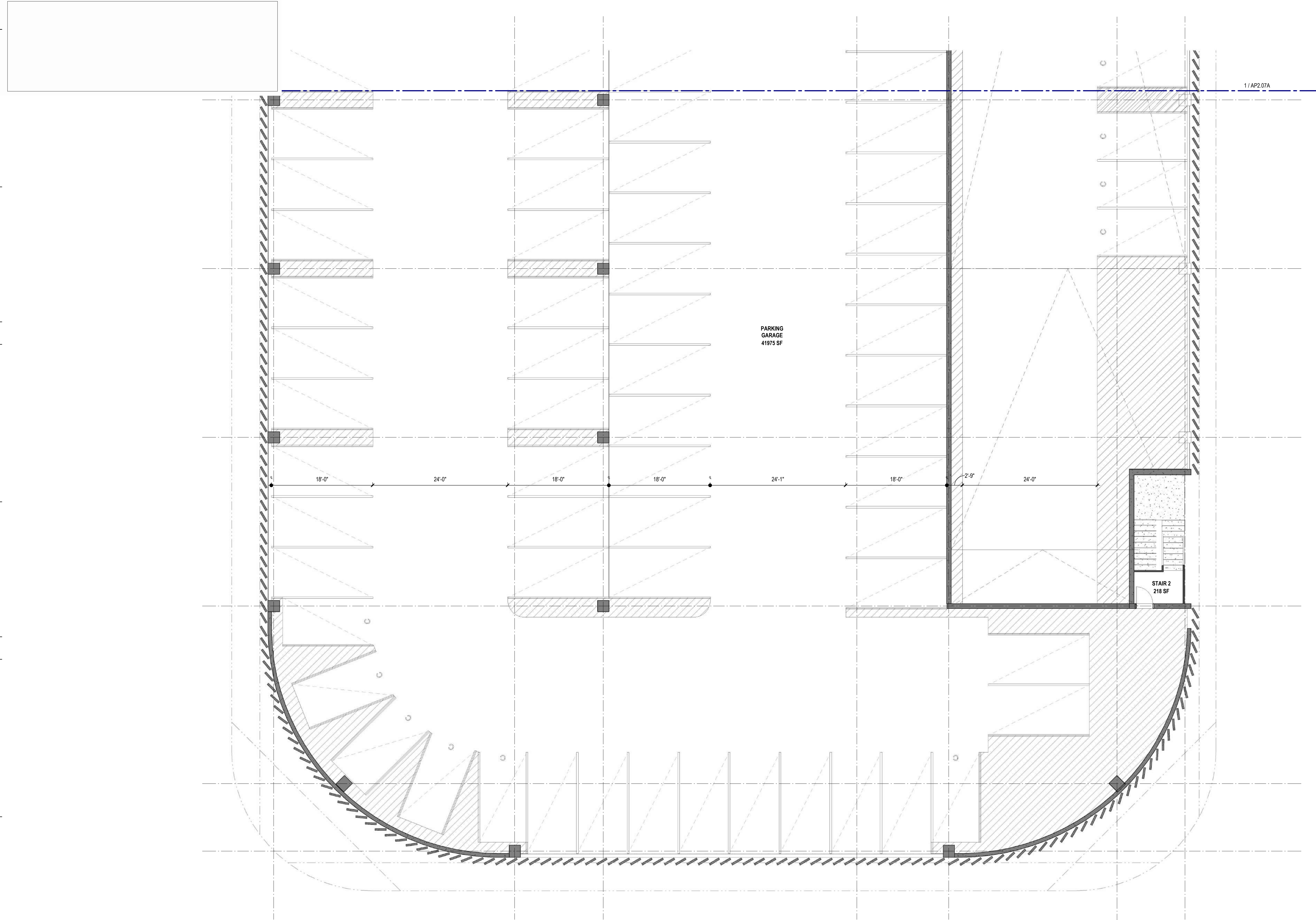
#	DATE	SUBMISSION
A	12/12/24	DRC Submission
B	02/17/25	Schematic Design
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

Broward Health Medical
Center - MOB and PG

LEVEL P7 - PARTIAL
FLOOR PLAN - AREA
NORTH - PG

175309
JOB NO.

AP2.07A
SHEET



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM

ARCHITECT NAME
STATE REGISTRATION #

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
(ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.)

ARCHITECT SEAL 05/02/25

CURRENT SUBMISSION: DRC Resubmission #3

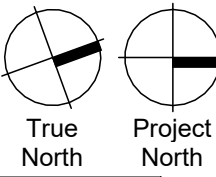
#	DATE	SUBMISSION
A	12/12/24	DRC Submission
B	02/17/25	Schematic Design
C	03/21/25	DRC Resubmission #1
D	04/25/25	DRC Resubmission #2
E	04/24/25	Design Development - CS
F	05/02/25	DRC Resubmission #3

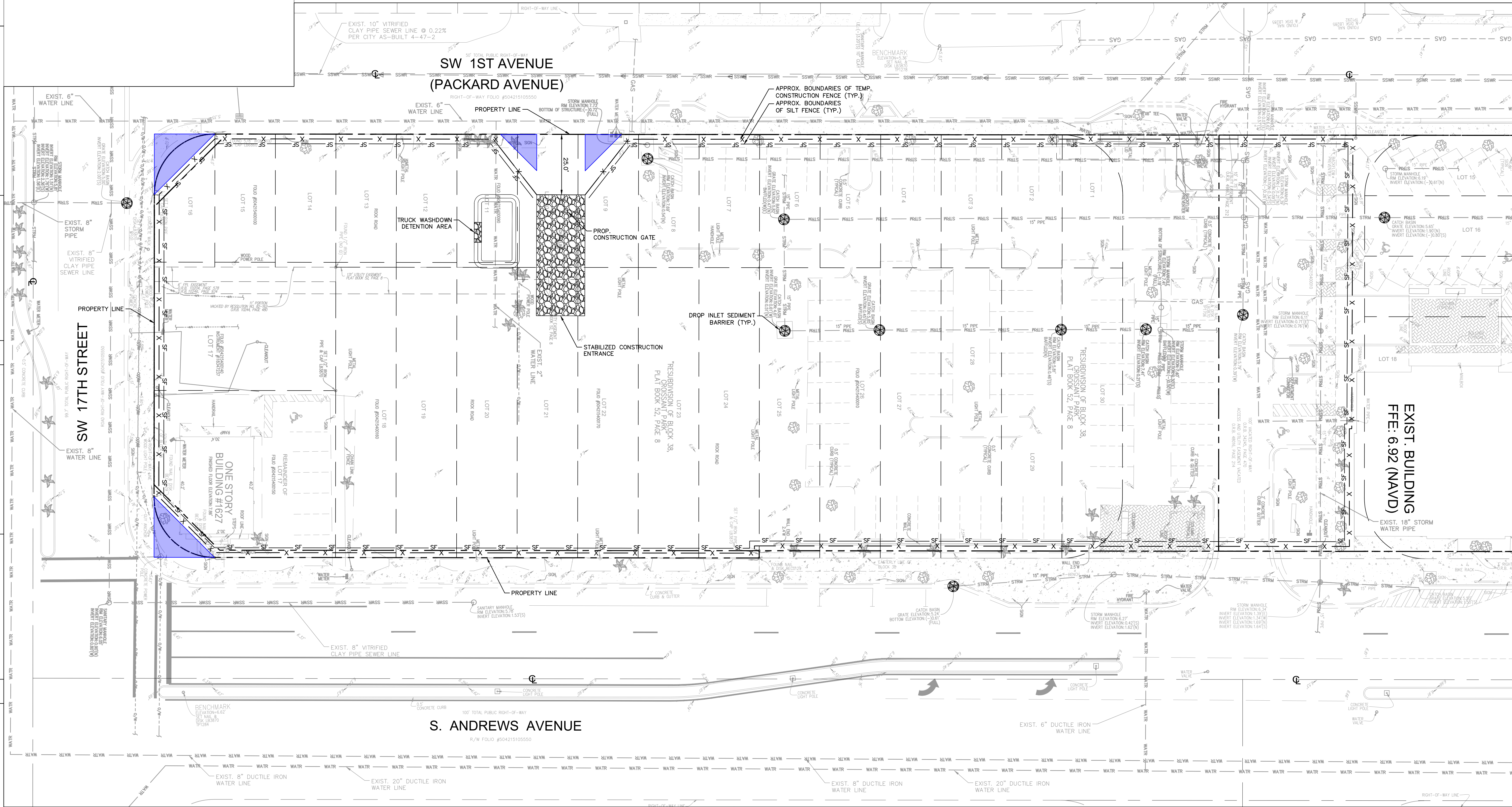
Broward Health Medical
Center - MOB and PG

LEVEL P7 - PARTIAL
FLOOR PLAN - AREA
SOUTH - PG

175309
JOB NO.

AP2.07B
SHEET





BECK

DMZ DESIGN MATTERS

Kimley»Horn

BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM

CARLOS FLORIAN, P.E.
FL REGISTRATION # 80500

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/2/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

EROSION CONTROL
PLAN

175309
JOB NO.

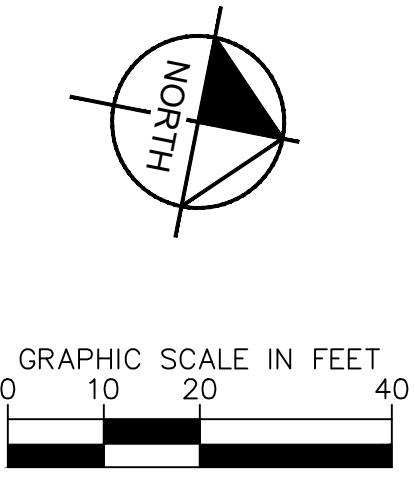
C300.0
SHEET



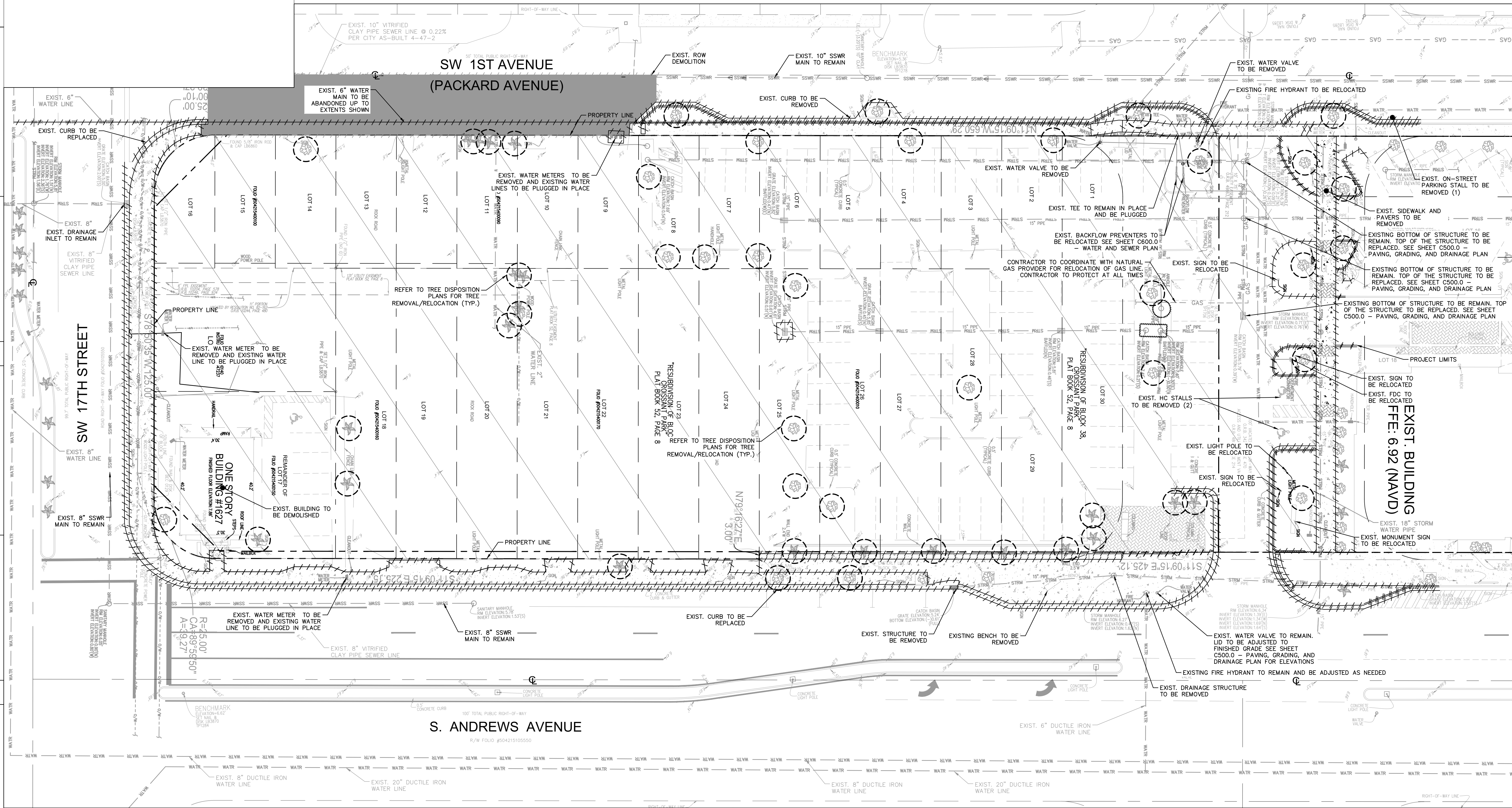
Call 811 or visit sunshine811.com two full
business days before digging to have
buried facilities located and marked.
Check positive response codes before you dig!

THE PRESENCE OF GROUNDWATER SHOULD BE
ANTICIPATED. CONTRACTOR'S BID SHALL
INCLUDE CONSIDERATION FOR ADDRESSING THIS
ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE
BASED ON THE NAVD 88. TO CONVERT
ELEVATIONS TO NGVD 29, ADD 1.59'.
CONVERSION FACTOR OBTAIN FROM
WWW.ARCGIS.COM



LEGEND	
	PROPERTY LINE
	EXISTING WATER
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING OVERHEAD WIRE
	EXISTING COMMUNICATION LINE
	EXISTING NATURAL GAS LINE
	EXISTING CATCH BASIN
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM SEWER MANHOLE
	PROPOSED CHAIN LINK CONSTRUCTION FENCE
	PROPOSED SILT FENCE
	PROPOSED TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED DROP INLET SEDIMENT BARRIER



GRAPHIC SCALE IN FEET

0 10 20 40

LEGEND	
---	PROPERTY LINE
WATR	EXISTING WATER
SSWR	EXISTING SANITARY SEWER
STRM	EXISTING STORM SEWER
0"/N"	EXISTING OVERHEAD WIRE
---	EXISTING COMMUNICATION LINE
---	EXISTING NATURAL GAS LINE
---	EXISTING GRADE
---	EXISTING CATCH BASIN
○	EXISTING WATER VALVE
○	EXISTING FIRE HYDRANT
○	EXISTING WATER METER
○	EXISTING SANITARY SEWER MANHOLE
○	EXISTING STORM SEWER MANHOLE
0"/N"	EXISTING OVERHEAD WIRE TO BE REMOVED
---	EXISTING ITEMS TO BE REMOVED
---	EXISTING TO BE REMOVED WITHIN BOUNDARY
---	EXIST. CONCRETE TO BE REMOVED

Broward Health
MEDICAL CENTER

BECK

BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM

DMZ
DESIGN MATTERS

Kimley-Horn

CARLOS FLORIAN, P.E.
FL REGISTRATION # 80500

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/2/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

DEMOLITION PLAN

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM

Sunshine811

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

DEMOLITION NOTES AND SPECIFICATIONS:

SHOULD ANY SECTION OF THESE DEMOLITION NOTES BE IN DIRECT CONFLICT WITH THE PROVISIONS OR TECHNICAL SPECIFICATIONS CONTAINED IN THE CONTRACT DOCUMENT FOR THIS PROJECT, THE INTENT OF THE CONTRACT DOCUMENT SHALL GOVERN.

I. GENERAL

FOR THIS PROJECT, "OWNER" SHALL MEAN NORTH BROWARD HOSPITAL DISTRICT, "SURVEY" SHALL MEAN THE BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY POLICE LAND SURVEYORS, INC. ON 09/16/2024 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER:LS.2691, AND "ENGINEER" SHALL MEAN THE ENGINEER OF RECORD.

1. EXISTING CONDITIONS, UTILITIES, STRUCTURES AND OTHER IMPROVEMENTS, AS SHOWN ON THE DEMOLITION DRAWINGS, WERE TAKEN FROM THE SURVEY, AND FROM INFORMATION PROVIDED BY UTILITY COMPANIES. AN ATTEMPT HAS BEEN MADE TO SHOW ALL EXISTING STRUCTURES, UTILITIES, DRIVES, WALKS, ETC. IN THEIR APPROXIMATE LOCATION, OTHERS MAY EXIST AND MAY BE FOUND UPON VISITING THE SITE. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACCURATELY LOCATE ALL FACILITIES AND TO DETERMINE THEIR EXTENT. IF SUCH FACILITIES OBSTRUCT THE PROGRESS OF THE WORK AND ARE NOT INDICATED TO BE REMOVED OR RELOCATED, THEY SHALL BE REMOVED OR RELOCATED ONLY AS DIRECTED BY THE OWNER, ARCHITECT, OR ENGINEER OF RECORD, AT NO ADDITIONAL COST TO THE OWNER.

2. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.

3. ORGANIZE AND PERFORM DEMOLITION WORK TO AVOID DAMAGE TO CONSTRUCTION INTENDED TO REMAIN, INCLUDING TREES (SEE LANDSCAPE PLANS FOR DETAILS).

4. DEMOLITION AND REMOVAL OPERATIONS SHALL BE CONDUCTED IN AN EXPEDIENT MANNER, WITH PRECAUTIONS TAKEN TO PREVENT THE DEMOLITION SITE FROM BEING A NUISANCE.

5. PERFORM REMOVAL AND DEMOLITION IN ACCORDANCE WITH DEMOLITION SCHEDULE (REFER TO SECTION IV.) AND TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING ADJACENT BUILDINGS, FURNISHINGS, AND EQUIPMENT. NOTIFY THE ENGINEER OF ANY CONDITIONS THAT MAY AFFECT THE SAFETY OF OCCUPANTS OF ADJACENT BUILDINGS, THE NORMAL USE OF THESE FACILITIES, OR THE PHYSICAL CONDITION OF THE STRUCTURES.

6. ALL EXISTING UTILITIES OUTSIDE THE PROPERTY BOUNDARIES ARE TO REMAIN, UNLESS OTHERWISE NOTED.

7. PRIOR TO DEMOLITION ACTIVITIES, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL AFFECTED UTILITY COMPANIES IN ORDER TO COORDINATE THE DEACTIVATION OF ALL EXISTING UTILITY LINES WITHIN THE PROPERTY. ONCE ALL ONSITE UTILITIES HAVE BEEN DEACTIVATED, ALL LINES SHALL BE CUT AND CAPPED INSIDE THE PROPERTY LINE, AND REMOVED (UNLESS OTHERWISE INDICATED).

8. THE CONTRACTOR SHALL USE EXTREME CAUTION IN REMOVING ANY STRUCTURES AND UTILITIES ABOVE AND BELOW GRADE TO PREVENT DAMAGE TO EXISTING UTILITIES WHICH ARE TO REMAIN IN SERVICE. ANY DAMAGE TO EXISTING PIPELINES, UTILITIES, ETC., CAUSED BY THE CONTRACTOR SHALL BE REPAIRED, AT THE CONTRACTOR'S EXPENSE, IN A MANNER ACCEPTABLE TO THE PARTY IN OWNERSHIP OF THE DAMAGED PROPERTY. THE CONTRACTOR SHALL REPORT ANY EXISTING DAMAGE PRIOR TO BEGINNING WORK. IN THE EVENT OF ACCIDENTAL DISRUPTION OF UTILITIES OR THE DISCOVERY OF PREVIOUSLY UNKNOWN UTILITIES, STOP WORK IMMEDIATELY AND NOTIFY THE AFFECTED UTILITY COMPANY AND THE ENGINEER. DO NOT CONTINUE WORK UNTIL THE UTILITY COMPANY, ENGINEER, AND THE CONTRACTOR AGREE ON A PLAN TO CORRECT THE SITUATION OR IDENTIFY THE UTILITY SERVICE LINE.

9. EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED, OR IN ANY WAY DISTURBED OR ALTERED BY THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED, PATCHED OR REPLACED, SOLELY AT THE CONTRACTOR'S EXPENSE, TO THE ENGINEER'S AND OWNER'S SATISFACTION.

10. TITLE AND RESPONSIBILITY TO MATERIALS AND EQUIPMENT TO BE REMOVED, EXCEPT SALVAGEABLE EQUIPMENT TO BE RETAINED BY THE OWNER, IS VESTED TO THE CONTRACTOR UPON RECEIPT OF NOTICE TO PROCEED. THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITION, LOSS OR DAMAGE TO SUCH MATERIALS AND EQUIPMENT AFTER THE ISSUANCE OF THE NOTICE TO PROCEED.

11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
- A. PROTECT ALL EXISTING STRUCTURAL AND VEGETATIVE ELEMENTS TO REMAIN DURING DEMOLITION UNLESS OTHERWISE SPECIFIED.
 - B. IF APPLICABLE, PATCH AND REPAIR ALL SURFACES WITHIN THE PUBLIC R/W AFFECTED BY DEMOLITION
 - C. SAW-CUT IN NEAT, STRAIGHT LINES, EXISTING CONC. OR ASPHALT PAVEMENT.
 - D. REMOVE ALL EXISTING IRRIGATION LINES WITHIN THE LIMITS OF DEMOLITION UNLESS OTHERWISE NOTED.
 - E. ALL EXISTING CHAIN LINK FENCES AND CBS WALLS ALONG THE PERIMETER OF THE PROPERTY SHALL REMAIN, UNLESS OTHERWISE SPECIFIED.
 - F. NO ELECTRIC POLES, STREET LIGHTS, WATER METERS/VALVES, FIRE HYDRANTS ETC. WILL BE REMOVED WITHIN THE ROADWAY RIGHT-OF-WAY, UNLESS OTHERWISE NOTED ON THE DEMOLITION PLANS.
 - G. REFER TO LANDSCAPE PLANS FOR VERIFICATION OF ALL EXISTING TREES TO BE REMOVED, RELOCATED OR TO REMAIN.
 - H. MAINTAIN ALL EXISTING SURVEY REFERENCES AND MARKERS IN PLACE, OTHERWISE THEY SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

II. DESCRIPTION

1. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, ETC., NECESSARY AND INCIDENTAL TO THE COMPLETION OF ALL SITE DEMOLITION AND CLEARING WORK AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING THE LEGAL TRANSPORT AND OFF-SITE DISPOSAL OF DEMOLITION DEBRIS.
2. ALL SITE WORK INCLUDES , BUT IS NOT LIMITED TO THE FOLLOWING:
 - A. FULL-DEPTH REMOVAL OF EXISTING SIDEWALKS, DRIVES, CURBS, AND PAVEMENT.
 - B. FULL-DEPTH REMOVAL OF EXISTING BUILDING FOUNDATIONS, UNDERGROUND UTILITIES AND RELATED STRUCTURES.
 - C. CLEARING SITE OF VEGETATION AND TREES AS NOTED ON THE LANDSCAPE PLANS.
 - D. CLEARING SITE OF DEMOLITION DEBRIS.
 - E. REMOVAL FROM SITE AND DISPOSAL OF ALL EXCESS AND UNUSABLE MATERIAL.
 - F. COORDINATION WITH ALL UTILITY COMPANIES/OWNERS PRIOR TO DEACTIVATION OF EXISTING UTILITIES.

III. APPLICABLE CODES

1. DEMOLITION AND TRANSPORTATION OF DEBRIS SHALL COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS GOVERNING THESE OPERATIONS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS, BONDS, LICENSES, ETC., REQUIRED FOR DEMOLITION AND CLEARING WORK.
2. ANY WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT, AND OTHER GOVERNMENTAL AGENCIES WHO MAY HAVE JURISDICTION OF THE PUBLIC CONSTRUCTION WORK. NOTWITHSTANDING THE FOREGOING, THE CONTRACTOR HAS OBTAINED ALL PERMITS AND NOTIFIED ALL THE GOVERNING AUTHORITIES.

IV. SEQUENCING AND SCHEDULING

1. AREAS ADJACENT TO DEMOLITION AND REMOVAL WORK MAY BE OCCUPIED AND THEIR ACTIVITIES CANNOT BE INTERRUPTED OR DISTURBED DURING NORMAL WORKING HOURS. DEMOLITION SCHEDULE SHALL BE COORDINATED WITH ALL ADJACENT PROPERTY OWNERS AND ANY OTHER PARTIES WHOSE DAILY ACTIVITIES WOULD BE AFFECTED BY THE DEMOLITION WORK.
2. COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR UTILITY LINE REMOVAL, CAPPING AND UTILITY SHUTDOWNS NECESSITATED BY REMOVAL WORK.

V. ENVIRONMENTAL PROTECTION

1. CONTROL AMOUNT OF DUST RESULTING FROM CONSTRUCTION OR DEMOLITION TO PREVENT SPREAD OF DUST TO OTHER BUILDINGS AND TO AVOID CREATION OF A NUISANCE IN SURROUNDING AREAS. USE OF WATER TO CONTROL DUST WILL NOT BE PERMITTED WHEN IT WILL RESULT IN, OR CREATE, HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
2. NOISE PRODUCING ACTIVITIES SHALL BE HELD TO A MINIMUM. INTERNAL COMBUSTION ENGINES AND COMPRESSORS, ETC., SHALL BE EQUIPPED WITH MUFFLERS TO REDUCE NOISE TO A MINIMUM. CONTRACTOR SHALL COMPLY WITH ALL NOISE ABATEMENT ORDINANCES.
3. THE USE OF EXPLOSIVES WILL NOT BE PERMITTED.
4. DISPOSITION OF DEMOLISHED MATERIALS BY BURNING IS NOT PERMITTED.
5. ALL CLEARING SHALL BE PERFORMED IN A MANNER SUCH AS TO PREVENT ANY WASH-OFF OF SOILS AND DEBRIS FROM THE SITE INTO PUBLIC RIGHT-OF-WAY WATER BODIES, AND/OR STORM DRAINAGE SYSTEMS. APPROPRIATE SEDIMENTATION PONDS, DIKES, COLLARS, AND FILTER MEDIA SHALL BE EMPLOYED TO INSURE COMPLIANCE WITH THESE REQUIREMENTS. WHERE A SPECIFIC STATUTE GOVERNS THESE PROCEDURES, SUCH STATUTE SHALL BE COMPLIED WITH IN ITS ENTIRETY.
6. AT ALL TIMES DURING THE CLEARING OPERATION, THE EXPOSED AREAS OF SUBGRADE SHALL BE MAINTAINED IN A CONDITION COMPATIBLE WITH POSITIVE DRAINAGE OF THE WORK AREA. NO WATER WILL BE PERMITTED TO STAND IN OPEN EXCAVATIONS. ALL STORMWATER RUNOFF SHALL BE CONTAINED WITHIN THE SITE. FAILURE TO MAINTAIN SUCH DRAINAGE SHALL BE CONSIDERED ADEQUATE CAUSE TO ORDER TEMPORARY SUSPENSION OF THE WORK.
7. IF IT SHOULD BECOME NECESSARY TO STOP WORK FOR INDEFINITE PERIODS, THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE OR DETERIORATION OF THE WORK ALREADY PERFORMED, PROVIDE SUITABLE AND FUNCTIONAL DRAINAGE BY OPENING DITCHES, FILTER DRAINS, TEMPORARY CUT-OFF LINES, ETC., AND ERECT TEMPORARY PROTECTIVE STRUCTURES WHERE NECESSARY. ALL EMBANKMENTS SHALL BE BACK-BLADED AND SUITABLY SEALED TO PROTECT AGAINST ADVERSE WEATHER CONDITIONS.
8. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS WHEN REMOVING ABANDONED AND DE-ENERGIZED MATERIALS. IF ASBESTOS PIPES ARE ENCOUNTERED, THE CONTRACTOR WILL TAKE ALL NECESSARY ABATEMENT STEPS AS REQUIRED BY GOVERNING REGULATIONS TO SAFELY REMOVE AND DISPOSE OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF SAID MATERIALS.
9. THE CONTRACTOR SHALL SECURE THE WORK AREA WITH FENCING OR OTHER MEANS AS APPROVED BY THE OWNER.

VI. TRAFFIC MAINTENANCE

1. THE CONTRACTOR SHALL FOLLOW FDOT MAINTENANCE OF TRAFFIC PROCEDURES DURING DEMOLITION IN PUBLIC RIGHT-OF-WAYS AND PRIVATE DRIVEWAYS, PEDESTRIAN PATHS, AND ROADWAYS (INDEX 102-600 SERIES), AND PREPARE AND OBTAIN APPROVAL OF SUCH MAINTENANCE OF TRAFFIC PLAN FROM THE APPROPRIATE REGULATORY AGENCY.
2. THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING, SHORING, TEMPORARY CROSSOVER FOR PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING GUARDRAILS, LAMPS, WARNING SIGNS AND FLAGS AS REQUIRED BY AGENCIES HAVING JURISDICTION, AND SHALL NOT REMOVE THESE UNTIL THE NEED FOR PROTECTION CEASES.
3. THE CONTRACTOR MAY NOT CLOSE ANY SIDEWALKS WITHOUT PROVIDING ALTERNATE ROUTES IN ACCORDANCE WITH FDOT INDEX 102-660 AND OBTAINING APPROVAL FROM THE GOVERNING JURISDICTIONAL AGENCY.
4. THE CONTRACTOR SHALL CONDUCT REMOVAL OPERATIONS SO THAT TRAFFIC IS MAINTAINED ALONG EXISTING STREETS AND WALKS. ALL PUBLIC PAVED STREETS AND WALKWAYS MUST BE KEPT FREE OF DEBRIS. THE CONTRACTOR MUST REMOVE MATERIAL AND OTHER MATTER TRACKED OR FALLEN ONTO TRAFFIC SURFACES.

VII. MATERIAL AND

1. REMOVE DEMOLISHED CONSTRUCTION MATERIALS AND RELATED DEBRIS FROM THE SITE ON A REGULAR BASIS. AN ACCUMULATION OF DEBRIS ON THE SITE WILL NOT BE PERMITTED. SELLING OF SALVAGEABLE MATERIALS IS NOT PERMITTED AT THE SITE.
2. REMOVE MATERIALS, INCLUDING DEBRIS AND DUST, AND DISPOSE OF LEGALLY OFF SITE. NO DEBRIS OR DUST IS TO BE BURIED ON THE SITE AS A MEANS OF DISPOSAL. USE METHODS APPROVED BY THE REGULATORY AGENCIES PRIOR TO BEGINNING CLEANUP OPERATIONS. USE OF BLOWERS TO DISTRIBUTE DUST WILL NOT BE PERMITTED.
3. MATERIAL DESIGNATED FOR REMOVAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND ANY SALVAGE VALUE THERE FROM WILL ACCRUE TO THE CONTRACTOR.

GENERAL DEMOLITION SPECIFICATIONS:

1. THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES SHOWN ON THE DRAWINGS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY.
2. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATIONS, AND DIMENSIONS OF ALL EXISTING UTILITIES AND OTHER FEATURES AFFECTING THE WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT MIGHT IMPACT THE WORK.
3. CHAPTER 553.851 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL UTILITIES A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATING.
4. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE EXCAVATION.
5. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE ORDERLY DEMOLITION AND REMOVAL OF EXISTING STRUCTURES, PAVEMENT AND UTILITIES AS SHOWN ON THE DRAWINGS AND DESCRIBED HEREIN.
6. THE CONTRACTOR IS REQUIRED TO FAMILIARIZE HIMSELF WITH THE STRUCTURES TO BE DEMOLISHED.
7. THE FOLLOWING LIST OF STRUCTURES REQUIRING DEMOLITION IS INCLUDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE DRAWINGS INDICATE THE SCOPE OF DEMOLITION WHERE DEMOLITION IS REQUIRED.
- 7.1. DEMOLITION AND REMOVAL OF A 5' MIN.+ STRIP OF EXISTING ON-SITE ASPHALT, CONCRETE AND CURBING AROUND THE PERIMETER OF THE EXISTING STRUCTURES AND UTILITIES BEING DEMOLISHED.
- 7.2. REMOVAL OF EXISTING ON-SITE ABOVEGROUND AND UNDERGROUND UTILITIES, INCLUDING REMOVAL OR PLUGGING OF EXISTING UTILITIES AS SHOWN ON PLANS.
8. PRIOR TO REMOVAL OF ANY UNDERGROUND TANK AND OTHER COMPONENT, CONTRACTOR MUST COMPLETELY DRAIN THE SYSTEMS TO AN APPROVED SANITATION TANK FOR DISPOSAL TO AN APPROVED LOCATION, AS REQUIRED BY DISPOSAL PERMIT.
9. PROTECT ALL UTILITIES, UNLESS OTHERWISE NOTED.
10. ALL THE CONCRETE AND PAVEMENT TO BE REMOVED MUST BE SAW CUT CLEAN PRIOR TO REMOVAL.
11. WET DOWN MASONRY WALLS AND DEBRIS DURING DEMOLITION AND LOADING OPERATIONS TO PREVENT THE SPREAD OF DUST (AS APPLICABLE TO PROJECT).
12. ALL EXISTING STRUCTURES, PAVEMENTS, SLABS, FOUNDATIONS, STEPS AND OTHER ON-SITE EXISTING FEATURES INDICATED ON THE DRAWINGS TO BE REMOVED SHALL BE DEMOLISHED AND REMOVED BY THE CONTRACTOR (AS APPLICABLE TO PROJECT).
13. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ON THE DRAWINGS ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING ANY DISCOVERY OF ALL UTILITIES AND ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.

14. THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO REMOVAL OR RELOCATION OF ANY ELECTRICAL, TELEPHONE, CABLE AND/OR GAS LINES. SUFFICIENT TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
15. CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER/ENGINEER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINANT IS ENCOUNTERED DURING THE DEMOLITION/EXCAVATION PROCESS.
16. FILL FOR LOWER LEVELS OF DEMOLISHED STRUCTURES MAY INCLUDE CONCRETE OR MASONRY RUBBLE RESULTING FROM DEMOLITION, SUBJECT TO THE ENGINEER'S/ARCHITECT'S APPROVAL. RUBBLE SHALL PASS THROUGH A THREE-INCH RING.
17. REMOVE AND LEGALLY DISPOSE OF ALL OTHER RUBBISH, RUBBLE, AND DEBRIS. COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING DISPOSAL OF WASTES AND DEBRIS.
18. MAINTAIN ACCESS TO SURROUNDING PROPERTIES AND BUILDINGS.
19. PRIOR TO DEMOLITION OCCURRING ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
20. ALL TRAFFIC SIGNS OUTSIDE THE DEMOLITION AREA ARE TO REMAIN UNLESS OTHERWISE SPECIFIED.
21. ANY MUCK ENCOUNTERED UNDER PROPOSED STRUCTURES SHALL BE REMOVED TO FIVE-FEET BEYOND THE FOOTPRINT OF THAT STRUCTURE. BACKFILL WITH APPROVED FILL MATERIAL SATISFYING ALL COMPACTION REQUIREMENTS.
22. ALL EXISTING UTILITIES WITHIN THE DEMOLITION SITE AREA SHALL BE ADJUSTED, REMOVED OR RELOCATED AT THE CONTRACTOR'S EXPENSE. WORK SHALL BE COORDINATED BY THE CONTRACTOR DIRECTLY WITH THE APPROPRIATE UTILITY COMPANY. ALL EXPENSES SHALL BE INCLUDED IN THE CONTRACTOR'S BID.
23. ALL TRASH, DEBRIS AND OTHER MATERIAL REMOVED FROM THE SITE SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

PRE-DEMOLITION RESPONSIBILITIES:

1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRE-DEMOLITION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE ENGINEER AND THE CONTRACTOR.
2. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT A DEMOLITION SCHEDULE DEPICTING EACH PHASE OF THE WORK.
3. PRIOR TO DEMOLITION, CONTRACTOR TO PROVIDE FOR THE OWNER A LISTING OF THE FACILITIES THE CONTRACTOR SHALL UTILIZE FOR RECYCLING AND DISPOSAL OF SOLID WASTE MATERIALS. CONTRACTOR TO INDICATE THE MATERIALS INTENDED FOR RECYCLING AND THE MATERIALS INTENDED FOR DISPOSAL FOR OWNER'S APPROVAL.
4. PRIOR TO DEMOLITION, CONTRACTOR TO PROVIDE THE OWNER SKETCHES SHOWING PROPOSED HAULING ROUTES TO RECYCLING AND DISPOSAL FACILITIES FOR APPROVAL.
5. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF DEMOLITION.
6. EXISTING UTILITY LOCATIONS SHOWN ON THESE PLANS ARE APPROXIMATE, THE CITY AND THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF EXISTING UTILITIES SHOWN OR FOR ANY EXISTING UTILITIES NOT SHOWN.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH IT FAILS TO REQUEST LOCATIONS FROM THE UTILITY OWNER. THE CONTRACTOR IS RESPONSIBLE AS WELL FOR DAMAGE TO ANY EXISTING UTILITIES WHICH ARE PROPERLY LOCATED.
8. THE LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS ARE TO BE USED AS THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY.
9. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL FIELD LOCATE EXISTING UNDERGROUND UTILITIES WITH THE UTILITY OWNERS.
10. THE CONTRACTOR IS RESPONSIBLE FOR RELOCATION'S OF THE VARIOUS EXISTING UTILITIES WITH THE UTILITY OWNERS, WHICH SHALL BE DONE IN A TIMELY MANNER TO MINIMIZE IMPACT ON DEMOLITION SCHEDULE. ANY DELAY CAUSED BY THE CONTRACTOR BY THE RELOCATION OF UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
11. SUNSHINE STATE ONE CALL OF FLORIDA, INC. REQUIRES THE CONTRACTOR TO CALL TWO (2) FULL BUSINESS DAYS (BUT NOT MORE THAN FIVE) PRIOR TO BREAKING GROUND TO FIND OUT WHERE BURIED FACILITIES (ELECTRICAL, GAS, TELEPHONE, CABLE, WATER) ARE LOCATED.

DEMOLITION SAFETY:

1. ALL DEMOLITION SHALL BE DONE IN A SAFE MANNER, SPECIFICALLY, THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL BE STRICTLY OBSERVED.
2. PROVIDE ADEQUATE PROTECTION FOR PERSONS AND PROPERTY AT ALL TIMES. EXCLUDE THE WORK IN A MANNER TO AVOID HAZARDS TO PERSONS AND PROPERTY AND PREVENT INTERFERENCE WITH THE USE OF AND ACCESS TO ADJACENT BUILDINGS, STREETS AND SIDEWALKS SHALL NOT BE UNNECESSARILY BLOCKED BY DEBRIS AND EQUIPMENT.
3. BUILDING MATERIALS TO BE REMOVED SHALL BE TESTED FOR ASBESTOS AND LEAD PAINT.
4. IF PETROLEUM PRODUCTS ARE FOUND WHILE DEMOLISHING, DISPOSAL OF PETROLEUM WASTE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

PAVEMENT DEMOLITION:

5. WHERE EXISTING PAVEMENT IS TO BE REMOVED, SAW-CUT THE SURFACING LEAVING A UNIFORM AND STRAIGHT EDGE WITH MINIMUM DISTURBANCE TO THE REMAINING ADJACENT SURFACING. IF DEMOLITION RESULTS IN RAVELING OF SAW CUT SURFACE, RE-CUT BACK FROM THE RAVELED EDGE PRIOR TO RESTORATION.
6. WHERE EXISTING PAVEMENT, CURB, CURB AND GUTTER, SIDEWALK, DRIVEWAY, OR VALLEY GUTTER IS REMOVED FOR INLETS, MANHOLES, APPURTENANCES, FACILITIES OR STRUCTURES, SAID PAVEMENT, SHALL BE REPLACED WITH NEW PAVEMENT. ETC. CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT, TOOLS, SUPPLIES, AND OTHER EQUIPMENT AS REQUIRED.
7. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THE DRAWINGS. HOWEVER, IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, SIDEWALK, BUILDINGS, UTILITIES, ETC., THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPLACEMENT. REPLACEMENT PAVEMENT, SIDEWALK, ETC., SHALL BE NEW.
8. DEMOLITION PERMITTING:
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY REQUIRED PERMITS FOR DEMOLITION FROM RESPONSIBLE REGULATORY AGENCIES WHOSE COMPLIANCE WITH PERMIT, WHERE AN INSPECTION DOES NOT IDENTIFY ANY INCIDENT OF NONCOMPLIANCE, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE SWPPP AND THE PERMIT.
10. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE EXTENT OF DEMOLITION, RECYCLING OR REUSE REQUIRED TO PERFORM THE CONTRACT WORK FOR THIS PROJECT. THE CONTRACTOR SHALL CONDUCT SITE VISITS AND SHALL EXAMINE ALL THE INFORMATION WITHIN THESE DOCUMENTS. ALL DISCREPANCIES AND/OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BID SUBMITTAL.
11. THE CONTRACTOR SHALL COORDINATE WITH OWNER PRIOR TO COMMENCEMENT OF ANY WORK. ACTUAL REMOVAL AND/OR RELOCATION OF ALL EXISTING LANDSCAPING WITHIN DEMOLITION AREAS TO BE CONDUCTED BY A LANDSCAPE CONTRACTOR. IT IS THE RESPONSIBILITY OF THE SITEWORK DEMOLITION CONTRACTOR TO COORDINATE DEMOLITION ACTIVITIES WITH THE LANDSCAPE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND PRESERVING TREES AS INDICATED ON THE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TREE REMOVAL PERMIT OR ANY OTHER APPROPRIATE PERMIT TO REMOVE, RELOCATE, OR PRESERVE EXISTING LANDSCAPE AND TREES.
12. ANY TREES FOR REMOVAL FOUND TO BE GREATER THAN OR EQUAL TO THREE (3) INCHES IN DIAMETER AT BREAST HEIGHT (DBH) SHALL REQUIRE A PERMIT WITH THE BROWARD COUNTY ENVIRONMENTAL PROTECTION AND GROWTH MANAGEMENT DEPARTMENT (BCEP/GMD).

13. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE THE LIGHTING, STORM INLET STRUCTURES, OR OTHER STRUCTURES DESIGNATED TO BE SAVED, THEN THE CONTRACTOR SHALL PROVIDE SUFFICIENT TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.

14. DEMOLITION EROSION AND SEDIMENT CONTROL NOTES:

15. THE SCHEDULING, SEQUENCING AND CONTROL MEASURES, WHICH ARE OUTLINED HEREIN, ARE SUBJECT TO THE FINAL DEFINITION BY THE CONTRACTOR WHO SHALL BE SELECTED TO PERFORM THE WORK AND SHALL BE RESPONSIBLE FOR IMPLEMENTATION AND COMPLIANCE.

16. PRIOR TO DEMOLITION, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT A DEMOLITION SCHEDULE DEPICTING EACH PHASE OF THE WORK. THE CONTRACTOR SHALL ALSO BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN ENCOMPASSING THE PRINCIPALS AND THE REQUIREMENTS DESCRIBED HEREIN AND A SCHEDULE FOR THEIR IMPLEMENTATION AND MAINTENANCE FOR THE PROJECT DURATION.

17. DURING DEMOLITION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO ENSURE AGAINST POLLUTING, SILTATION OR DISTURBANCE TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING DRAINAGE SYSTEMS AND ADJACENT WATER BODIES AND WETLANDS, IN COMPLIANCE WITH ALL PERMIT REQUIREMENTS RELATED TO SUCH MEASURES.

18. METHODS MAY INCLUDE TEMPORARY EROSION AND SEDIMENT CONTROLS SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, SILT BARRIERS, SILT SORENS, TURBIDITY BARRIERS OR THE BEST MANAGEMENT PRACTICES AVAILABLE TO THE INDUSTRY.

19. EROSION AND SEDIMENT CONTROL INSTALLATIONS SHALL BE MAINTAINED THROUGHOUT THE DEMOLITION PERIOD AND UNTIL NEW VEGETATIVE GROWTH HAS BEEN ESTABLISHED.

20. THROUGHOUT THE DEMOLITION PERIOD, THE CONTRACTOR SHALL INSPECT DAILY THE EROSION AND SEDIMENT CONTROL INSTALLATIONS FOR FAILURE OR SIGNS OF FAILURE OR MALFUNCTION. REPAIR OR REPLACE THE EROSION AND SEDIMENT CONTROL INSTALLATIONS IMMEDIATELY UPON DISCOVERY OF FAILURE OR MALFUNCTION.

21. INLETS AND CATCH BASINS, EXISTING ON-SITE AND OFF-SITE, SHALL BE PROTECTED FROM SEDIMENT STORM RUNOFF.

22. THE CONTRACTOR SHALL PROMPTLY REMOVE ALL MUD, DIRT OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING PUBLIC ROADS AND FACILITIES DUE TO DEMOLITION.

23. DEWATERING ACTIVITIES SHALL NOT RESULT IN ANY DISCHARGE OF TURBID WATER FROM THE PROJECT SITE WITHOUT PROPER EROSION AND SEDIMENT CONTROL AND APPROVAL FROM ENGINEER.

24. PHASING OF EROSION CONTROL DEMOLITION SHALL BE RECOMMENDED AS FOLLOWS: PLACEMENT OF PERIMETER PROTECTIVE MEASURES (SILT FENCE, HAY BALES, TURBIDITY BARRIERS, ETC.) AROUND ON-SITE FEATURES TO BE RETAINED, AT POINTS OF OFF-SITE DISCHARGE AND AROUND WORK AREAS TO BE EXCAVATED OR FILLED.

25. REROUTE RUNOFF FROM AREAS OUTSIDE OF THE DEMOLITION AREA TO MINIMIZE FLOW THROUGH AREAS TO BE DISTURBED BY DEMOLITION. BERMS, SWALES AND OTHER MEANS THAT CAN BE USED FOR OR CH. CONVEYAGED AND MAINTAINED ARE TAKEN TO PROVIDE PROTECTION UNTIL STABILIZATION OCCURS (AS APPLICABLE TO THE PROJECT).

26. SELECT LOCATIONS FOR PLACEMENT OF EXCAVATED MATERIAL, WHERE SUITABLE FOR FILL OR UNSUITABLE MATERIAL, AND CONSTRUCT CONTAINMENT BERMS AROUND THE AREA. THE USE OF STRIPING FOR THIS PURPOSE MAY ACCELERATE BERM REGENERATION. CONSTRUCT TEMPORARY OUTLETS FOR CONTAINMENT AREAS WITH SORENS, HAY BALES, SETTLING BASINS OR OTHER MEASURES TO PREVENT SILT TRANSPORT.

27. SELECT / DESIGNATE ACCESS ROUTING FOR DEMOLITION EQUIPMENT AND VEHICLES AND PROVIDE PERIMETER PROTECTIVE MEASURES WHERE EXISTING TERRAIN SHALL BE SUBJECT TO DISRUPTION BY SUCH TRAFFIC.

28. CONSTRUCT ABOVE GROUND OR OTHER CONTAINMENT AREAS FOR DEMOLITION AREA RUNOFF. PROVIDE SCREENS, HAY BALES, ETC. TO FILTER DISCHARGE FROM THE ROUES AREAS.

29. SPOIL MOUNDS SHALL NOT BE LEFT FOR MORE THAN ONE WEEK PRIOR TO REPLACEMENT UNLESS PROTECTIVE CONTAINMENT MEASURES IN THE WORK AREA ARE APPLIED.

30. GRASSING, SODDING, ETC. SHALL BE IN PLACE IMMEDIATELY UPON COMPLETION OF REGRAIDING, SWALE SLOPES AND THE CONSTRUCTED OR DISTURBED AREAS.

31. THE CONTRACTOR IS REQUIRED TO ADHERE TO THE REQUIREMENT OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES), THE CONTRACTOR SHALL INSTITUTE BEST MANAGEMENT PRACTICES (BMPs) TO ENSURE COMPLIANCE WITH THE REGULATORY PROGRAM AND TO MINIMIZE THE IMPACT TO PUBLIC STORMWATER FACILITIES. A NOTICE OF INTENT (NOI) SHALL BE FILED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.

32. THE CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND MAINTAIN ALL RECORDS REQUIRED BY ITS NPDES STORMWATER PERMIT FOR ITS CONSTRUCTION ACTIVITIES. PRIOR TO CONSTRUCTION, A SILT FENCE IN ACCORDANCE WITH CITY'S DETAIL SHALL BE ERRECTED AS NOTED ON PLANS. ALL PROPOSED CATCH BASINS SHALL HAVE THEIR INLETS PROTECTED BY THE INSTALLATION OF FILTER INLET INSERTS INTO THE FRAME AND GRATE. SILT FENCES AND FILTER INLET INSERTS SHALL REMAIN IN PLACE DURING THE ENTIRE DURATION OF CONSTRUCTION. THE CONTRACTOR SHALL BRACE ALL EXISTING LANDSCAPING TO REMAIN PRIOR TO BEGINNING ANY WORK AND SHALL ENSURE ITS STABILIZATION THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. EXISTING SOIL DISTURBED BY CONSTRUCTION THAT IS NOT AFFECTED BY PROPOSED GRADING SHALL BE RESTORED TO NEW CONDITION UPON COMPLETION OF CONSTRUCTION. SOODED SLOPES STEEPER THAN FOUR HORIZONTAL TO ONE VERTICAL SHALL BE PEGGED.

33. ALL WASTE GENERATED FROM THE CONSTRUCTION SHALL BE DISCARDED IN ACCORDANCE WITH ALL APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS. CONTRACTOR SHALL OBTAIN ALL APPLICABLE CODES AND BECOME FAMILIAR WITH STATE, LOCAL AND FEDERAL REGULATIONS PRIOR TO BEGINNING CONSTRUCTION. TO ENSURE THAT OFF-SITE VEHICLE TRACKING OF SEDIMENTS AND THE GENERATION OF DUST IS MINIMIZED, CONTRACTOR SHALL PUT INTO PRACTICE THE METHODS DETAILED IN FLORIDA DEPARTMENT OF TRANSPORTATION INDEX 106 (2010 DESIGN STANDARDS) AND BMPs.

34. DUST GENERATED FROM CONSTRUCTION SHALL BE MINIMIZED BY DAILY WATERING OF THE SITE.

35. AT ANY TIME DURING CONSTRUCTION THAT THE SILT FENCING IS DISTURBED, THE SILT FENCING SHALL BE RESTORED TO ITS ORIGINAL STATE WITHIN 24 HOURS. AT NO TIME DURING CONSTRUCTION SHALL WORK BE PERFORMED WITHOUT THE INTEGRITY OF THE SILT FENCING SECURED.

36. A QUALIFIED INSPECTOR, PROVIDED BY THE CONTRACTOR, SHALL INSPECT ALL POINTS OF DISCHARGE INTO NEARBY SURFACE WATER. THE INSPECTION SHALL OCCUR AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER. INSPECTION INCLUDES THE WRITTEN RECORDING OF THE CONDITION OF ALL DISCHARGE POINTS, INTEGRITY OF SILT FENCING, DAILY DUST CONTROL MEASURES, VEHICULAR TRAFFIC AND CONSTRUCTION MATERIAL STORAGE AND DISPOSAL. WRITTEN RECORD OF ALL INSPECTIONS SHALL BE STORED BY THE CONTRACTOR.

37. THE INSPECTION REPORT SHALL INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING INFORMATION: NAME AND QUALIFICATION OF PERSONNEL MAKING THE INSPECTION, DATE OF INSPECTION, RAINFALL DATE, MAJOR OBSERVATIONS RELATING TO THE SWPPP, ACTIONS TAKEN BY THE CONTRACTOR IN RESPONSE TO ANY INCIDENT OF NONCOMPLIANCE, THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE SWPPP AND THE PERMIT.

38. THE CONTRACTOR SHALL RETAIN A COPY OF THE SWPPP AND ALL REPORTS, RECORDS AND DOCUMENTATION REQUIRED FOR THE PERMIT AT THE CONSTRUCTION SITE, OR AN APPROPRIATE ALTERNATIVE LOCATION AS SPECIFIED IN THE NOTICE OF INTENT, FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.

39. THE CONTRACTOR SHALL RETAIN THE SWPPP, NOI AND ALL RECORDS ASSOCIATED THEREWITH FOR A PERIOD OF AT LEAST THREE (3) YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED.

40. SEE LANDSCAPE PLANS FOR TREE REMOVAL AND LANDSCAPE DEMOLITION.

41. CONTRACTOR SHALL COORDINATE THROUGH CITY'S CONSTRUCTION DIVISION AND CITY'S PARKS DEPARTMENT ON HOW TO STOCK AND RE-USE EXCAVATED SOIL FROM SITE (AS APPLICABLE TO THE PROJECT).

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM

INTERRUPTION OF EXISTING UTILITIES:

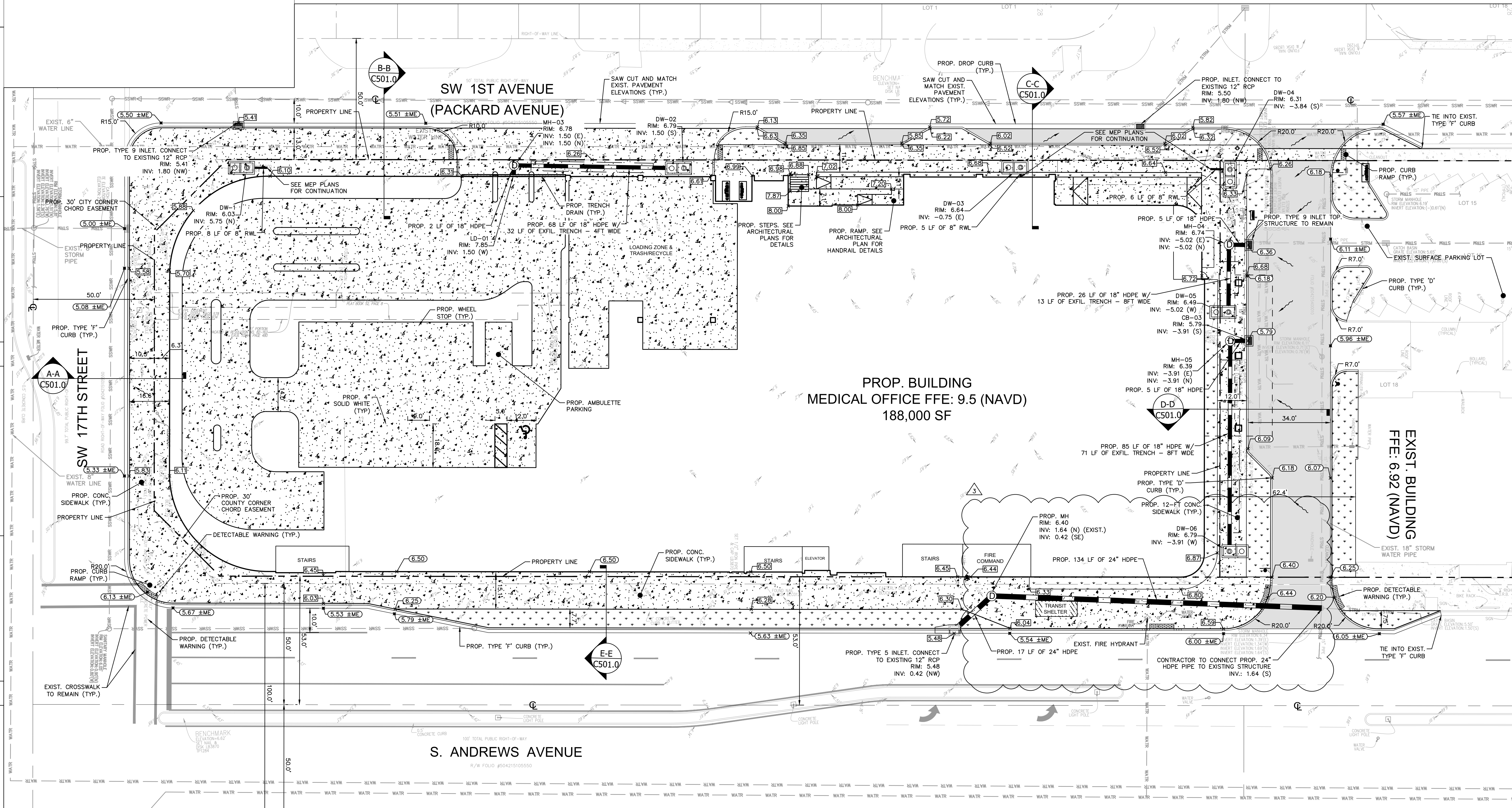
1. ANY DEMOLITION WORK THAT REQUIRES INTERRUPTION OF SERVICE TO ANY CUSTOMER SHALL BE DONE SO WITH A MINIMUM OF SEVENTY-TWO (72) HOUR WRITTEN NOTICE TO, AND WRITTEN APPROVAL BY, THE APPROPRIATE UTILITY COMPANY.
2. THE CONTRACTOR SHALL ARRANGE A MEETING WITH THE LOCAL JURISDICTIONAL AGENCIES AND OTHER GOVERNING AGENCIES, AND OTHER AFFECTED UTILITIES PRIOR TO SCHEDULING THE SHUT DOWN TO ASSESS THE SCOPE OF WORK.
3. ALL SYSTEM SHUT DOWNS SHALL BE SCHEDULED BY THE CONTRACTOR AT SUCH TIME THAT SYSTEM TURBIDITY IS LOW. THIS GENERALLY REQUIRES NIGHT-TIME WORK BY THE CONTRACTOR AND REQUIRES FULL-TIME INSPECTION BY A REPRESENTATIVE OF THE UTILITY. ALL COST FOR OVERTIME WORK BY THE REPRESENTATIVE OF THE UTILITY SHALL BE BORNE BY THE CONTRACTOR.
4. EACH CUSTOMER AFFECTED BY THE SHUT-DOWN SHALL BE PROVIDED, MINIMUM, FORTY-EIGHT (48) HOURS WRITTEN NOTIFICATION BY THE CONTRACTOR. TEMPORARY

DEMOLITION FACILITIES:

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY TO ITS EMPLOYEES AND SUBCONTRACTORS FOR THEIR USE DURING DEMOLITION.
2. MAINTENANCE OF TRAFFIC (MOT) IN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
3. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
4. NO TRENCHES OR HOLES NEAR WALKWAYS OR IN ROADWAYS OR THEIR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHT-HOURS WITHOUT EXPRESS WRITTEN PERMISSION OF THE CITY OR RESPECTIVE GOVERNING AGENCY.

5. IMPLEMENT A WASTE MANAGEMENT PLAN FOR APPROVAL BY THE OWNER. PROVIDE HANDLING, CONTAINERS, STORAGE, SIGNAGE, TRANSPORTATION AND OTHER ITEMS AS NEEDED TO IMPLEMENT THE WASTE MANAGEMENT PLAN DURING THE ENTIRE DURATION OF THE CONTRACT.
6. DESIGNATE A WASTE MANAGEMENT COORDINATOR TO BE RESPONSIBLE FOR IMPLEMENTING, MONITORING AND REPORTING STATUS OF WASTE MANAGEMENT WORK PLAN. COORDINATOR SHALL BE PRESENT AT PROJECT SITE FULL-TIME FOR DURATION OF PROJECT.
7. TRAIN WORKERS, SUBCONTRACTORS AND SUPPLIERS ON PROPER WASTE MANAGEMENT PROCEDURES, AS APPROPRIATE FOR THE WORK AT THE PROJECT SITE.
8. DISTRIBUTE A WASTE MANAGEMENT PLAN BEFORE WORK BEGINS. REVIEW PLAN PROCEDURES AND LOCATION ESTABLISHED FOR SALVAGE, RECYCLING AND DISPOSAL.

9. RECYCLING DEMOLITION WASTE:
 - 1. SEPARATE RECYCLABLE WASTE FROM OTHER WASTE MATERIALS, TRASH AND DEBRIS. SEPARATE RECYCLABLE WASTE BY TYPE AT THE PROJECT SITE TO THE MAXIMUM EXTENT PRACTICAL.
 - 2. PROVIDE APPROPRIATELY MARKED CONTAINERS OR BINS FOR CONTROLLING RECYCLABLE WASTE UNTIL THEY ARE REMOVED FROM THE PROJECT SITE. INCLUDE A LIST OF ACCEPTABLE AND UNACCEPTABLE MATERIALS AT EACH CONTAINER AND BIN.
 - 3. INSPECT CONTAINERS AND BINS FOR CONTAMINATION AND REMOVE CONTAMINATED MATERIALS IF FOUND.
 - 4. STOCKPILE PROCESSED MATERIALS ON-SITE WITHOUT INTERMIXING WITH OTHER MATERIALS. PLACE, GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.
 - 5. STOCKPILE MATERIALS AWAY FROM DEMOLITION AREA. DO NOT STORE WITHIN DRIP LINE OF REMAINING TREES.
 - 6. STORE COMPONENTS OFF THE GROUND AND PROTECT FROM THE WEATHER.
 - 7. REMOVE RECYCLABLE WASTE OFF THE OWNER'S PROPERTY AND TRANSPORT TO RECYCLING RECEIVER OR PROCESSOR.
 - 8. ASPHALTIC CONCRETE PAVING: BREAK UP AND TRANSPORT PAVING TO ASPHALT RECYCLING FACILITY.
 - 9. CONCRETE: REMOVE REINFORCEMENT AND OTHER METALS FROM CONCRETE AND SORT WITH OTHER METALS.
 - 10. MASONRY: MASONRY WASTE SHALL INCLUDE WHOLE OR BROKEN BRICK AND CONCRETE MASONRY UNITS. WHOLE MASONRY UNITS SHALL BE CLEANED AND REUSED OR DONATED. BROKEN MASONRY SHALL BE CRUSHED AND USED AS FILL FOR OFFSITE AREAS. REMOVE METAL REINFORCEMENT, ANCHORS AND TIES FROM MASONRY AND SORT WITH OTHER METALS.
 - 11. METALS: METALS FROM REINFORCED CONCRETE, REINFORCED MASONRY, STRUCTURAL STEEL MEMBERS, FLASHING AND SHEET METAL, CONDUIT PIPE, SIDING, PIPING AND WIRING SHALL BE SEPARATED BY TYPE.
 - 12. STRUCTURAL STEEL: STACK MEMBERS ACCORDING TO THEIR SIZE, TYPE AND LENGTH.
 - 13. NUTS AND BOLTS: REMOVE BOLTS, NUTS, WASHERS AND OTHER ROUGH HARDWARE.
 - 14. SITE-CLEARING W



GENERAL NOTES:

- PLEASE REFER TO LANDSCAPE AND ARCHITECTURAL PLANS FOR GRADING WITHIN THE HARDSCAPE AREAS.
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES. PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES. CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY THE POWER LINES.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER REGARDING ANY GRADING REVISIONS PRIOR TO CONSTRUCTION OF THE PAVEMENT AREAS.
- CONTRACTOR TO ADJUST ANY MANHOLE RIMS AND VALVE LIDS TO MATCH PROPOSED GRADES.
- IF ANY EXISTING STORM DRAINAGE STRUCTURES AND PIPES TO REMAIN IN SERVICE ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR THOSE STRUCTURES TO PRIOR CONDITION, OR BETTER, OR TO REPLACE THEM, AS NECESSARY.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING FRAME AND COVER.
- ALL MAXIMUM SLOPES ARE ABSOLUTE AND SUPERSEDE CONSTRUCTION TOLERANCES STATED IN THE PROJECT SPECIFICATIONS. THE CONTRACTOR HAS THE OPTION OF ADJUSTING GRADES TO ALLOW FOR CONSTRUCTION TOLERANCES BUT SHALL NOT EXCEED MAXIMUMS SPECIFIED ABOVE BY ANY AMOUNT. PAVEMENT SLOPES WILL BE REVIEWED AFTER CONSTRUCTION AND ANY SLOPES FOUND TO EXCEED THE MAXIMUM SPECIFIED ABOVE WILL BE REPLACED AT THE CONTRACTORS EXPENSE
- LEVEL CHANGES BETWEEN GROUND SURFACE MATERIALS MUST NOT EXCEED 1/4 INCH HIGH. IF A LEVEL CHANGE DOES EXCEED 1/4 INCH HIGH IT MUST BE BEVELED WITH A SLOPE THAT DOES NOT EXCEED 1/2 (V:H) FOR A LEVEL CHANGE UP TO 1/2 INCH HIGH. IF THE CHANGE IS MORE THAN 1/2 INCH THE CHANGE MUST BE RAMPED AND NOT TO EXCEED A SLOPE OF 1/12 (V:H).
- ALL PROPOSED AND EXISTING DRAINAGE INFRASTRUCTURE SHALL BE CLEANED/INSPECTED FROM WORK AREA TO OUTFALL AS PART OF THIS PROJECT.
- ALL PROPOSED DRAINAGE WELLS, MANHOLES, PULL BOXES, ETC. INSTALLED IN THE SIDEWALK MUST BE FLAT, ADA COMPLIANT AND NOT IMPACT THE EFFECTIVE WIDTH OF THE SIDEWALK CLEAR PATH.

ADA NOTES:

- ALL WALKWAYS SHALL HAVE A SLOPE LESS THAN 2% PERPENDICULAR TO THE DIRECTION OF TRAVEL AND LESS THAN 5% IN THE DIRECTION OF TRAVEL.
- ALL WALKWAYS NEAR BUILDING ENTRANCES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION FOR A MINIMUM OF 60 INCHES, MEASURED PERPENDICULAR TO THE FACE OF THE DOOR.
- CLEAR WIDTH OF ACCESSIBLE ROUTE MUST BE A MINIMUM OF 36 INCHES.
- RUNNING SLOPE OF RAMPS AND CURB RAMPS CANNOT EXCEED 8.33% IF VERTICAL RISE IS LESS THAN 6 INCHES, HANDRAILS ARE NOT REQUIRED.
- SLOPES AT INTERSECTIONS OF ACCESSIBLE ROUTES MUST NOT EXCEED 2%, MEASURED IN ANY DIRECTION.
- SLOPES OF CLEAR FLOOR SPACES AT FIXTURES AND CONTROLS MUST NOT EXCEED 2%, MEASURED IN ANY DIRECTION. THE 30X48 INCH CLEAR FLOOR SPACE PROVIDED AT THE CONTROL MUST BE FLUSH WITH THE CONTROL.
- GAPS OR OPENINGS ALONG THE ACCESSIBLE ROUTE MUST NOT EXCEED 1/2 INCH WIDTH, PERPENDICULAR TO THE PREDOMINATE FLOW OF PEDESTRIAN TRAFFIC.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM



Broward Health
MEDICAL CENTER



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM



Kimley»Horn

CARLOS FLORIAN, P.E.
FL REGISTRATION # 80500

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/2/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

**BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE**

**PAVING, GRADING,
AND DRAINAGE PLAN**

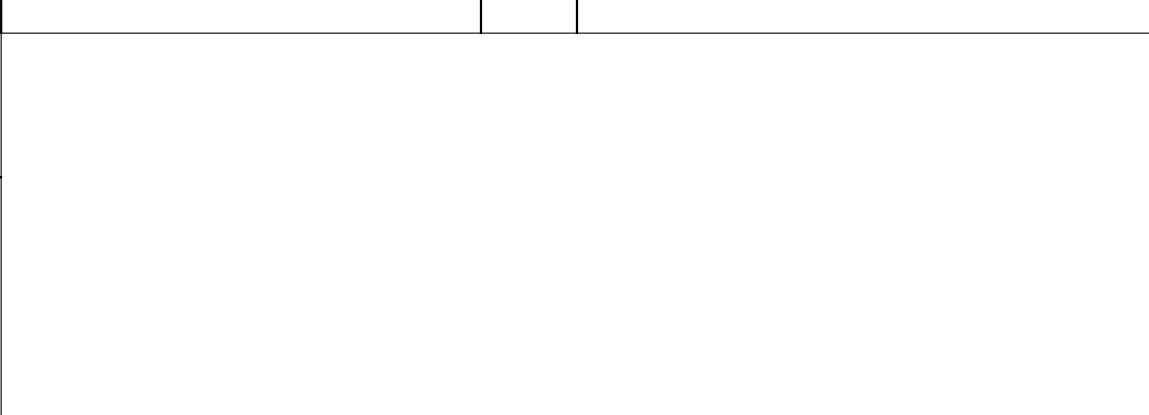


Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

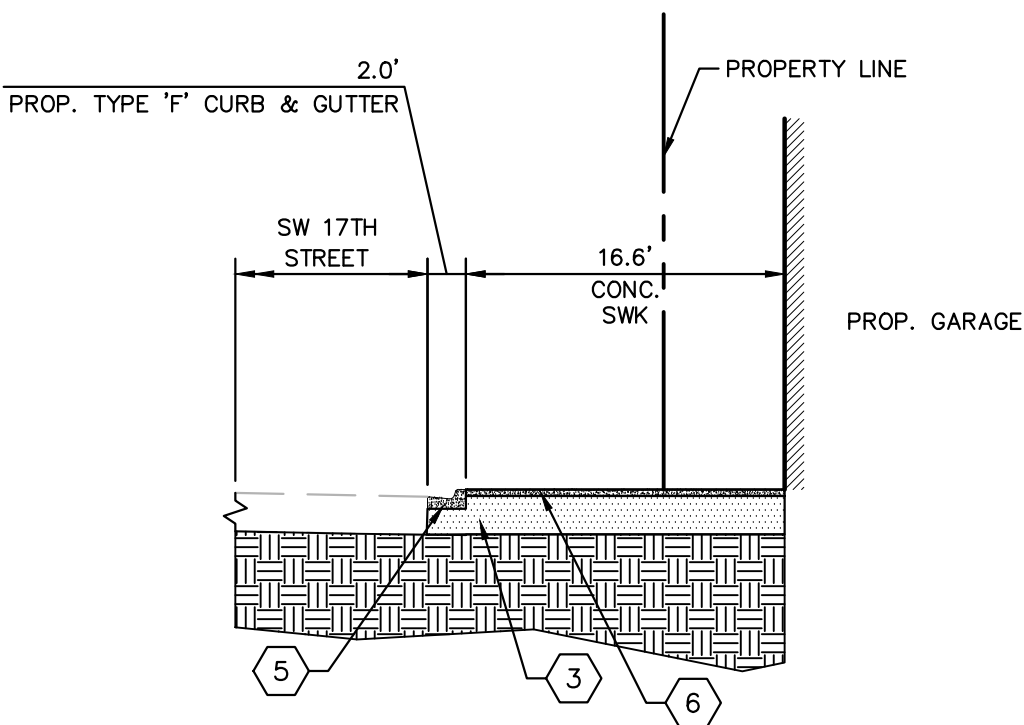
175309
JOB NO.

C500.0
SHEET

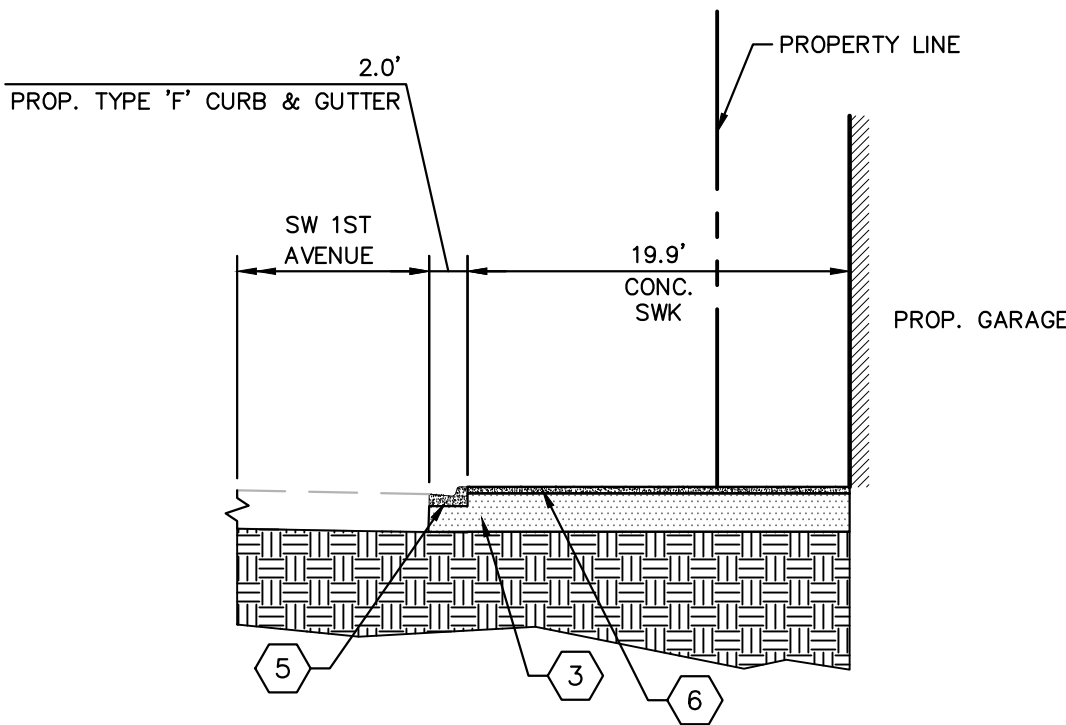


PAVING LEGEND

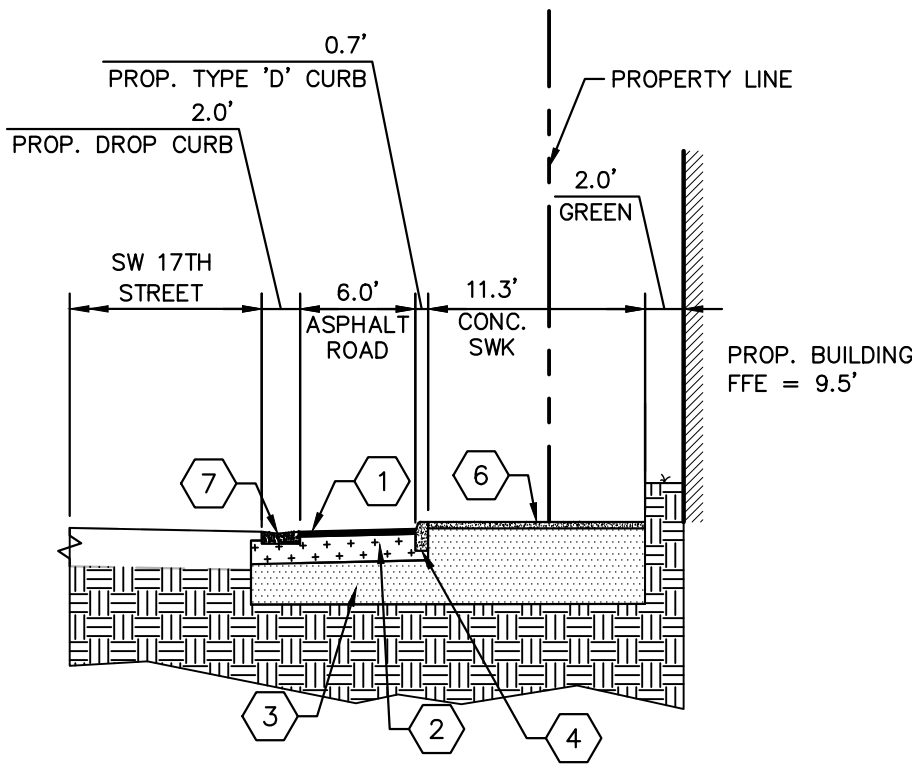
- ① 1 1/2" ASPHALT SURFACE TYPE SP-9.5 (IN TWO 3/4" LIFTS)
- ② 8" LIMEROCK BASE COMPACTED WITH MINIMUM LBR OF 100 WITH 60% OR MORE CARBONATE CONTENT, COMPACTED TO 98% MAX. DENSITY PER AASHTO T-180.
- ③ 12" THICK STABILIZED SUBGRADE COMPACTED AND STABILIZED WITH MINIMUM DESIGN LBR OF 40 COMPACTED TO AT LEAST 98% OF MAXIMUM DRY DENSITY (AASHTO T-180) (DRIVE AISLE)
- ④ TYPE 'D' CURB PER FDOT INDEX NO. 520-001
- ⑤ TYPE 'F' CURB & GUTTER PER FDOT INDEX NO. 520-001
- ⑥ CONCRETE SIDEWALK
- ⑦ DROP CURB PER FDOT INDEX NO. 520-001



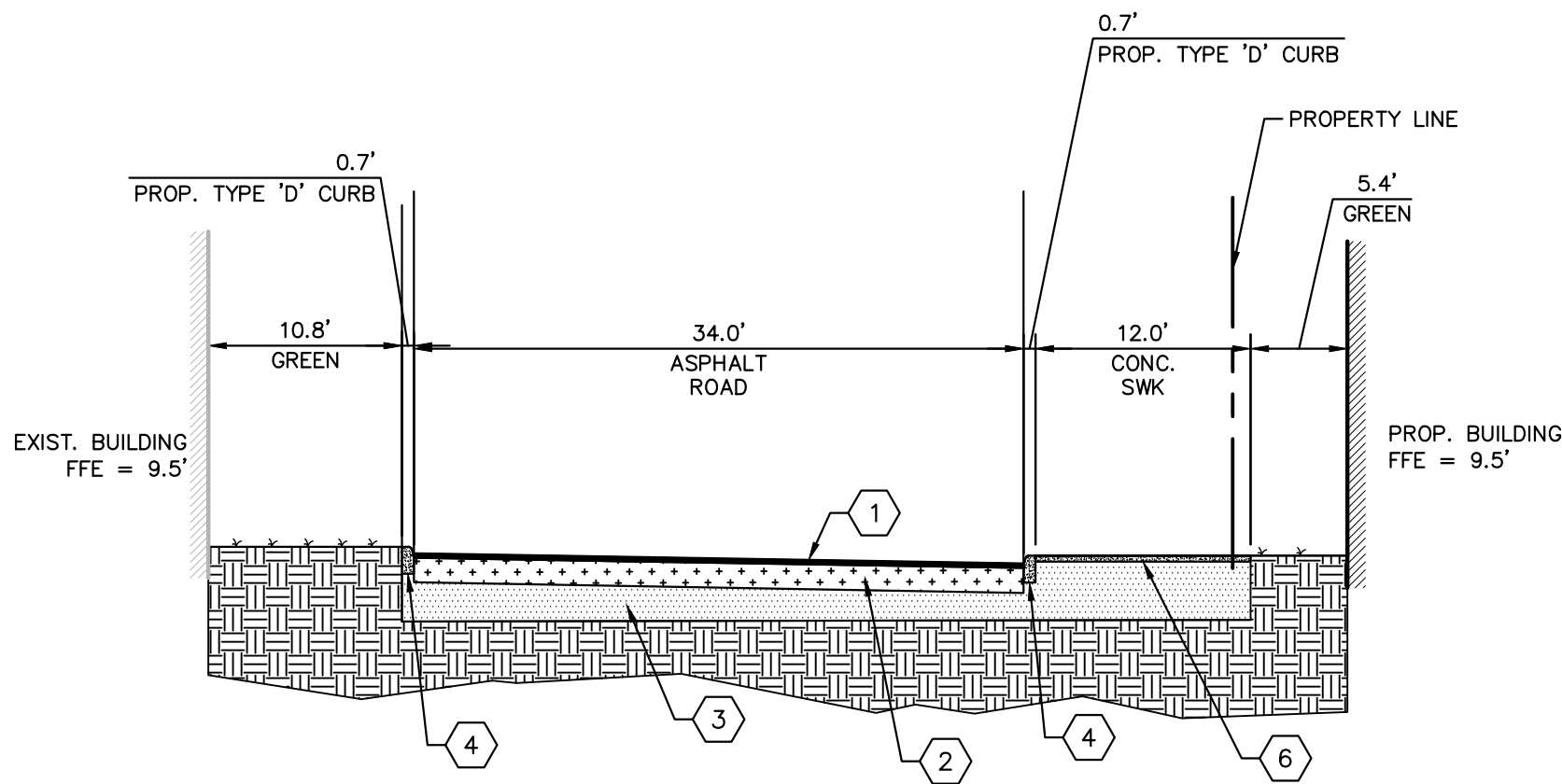
SECTION A-A
C500.0
NOT TO SCALE



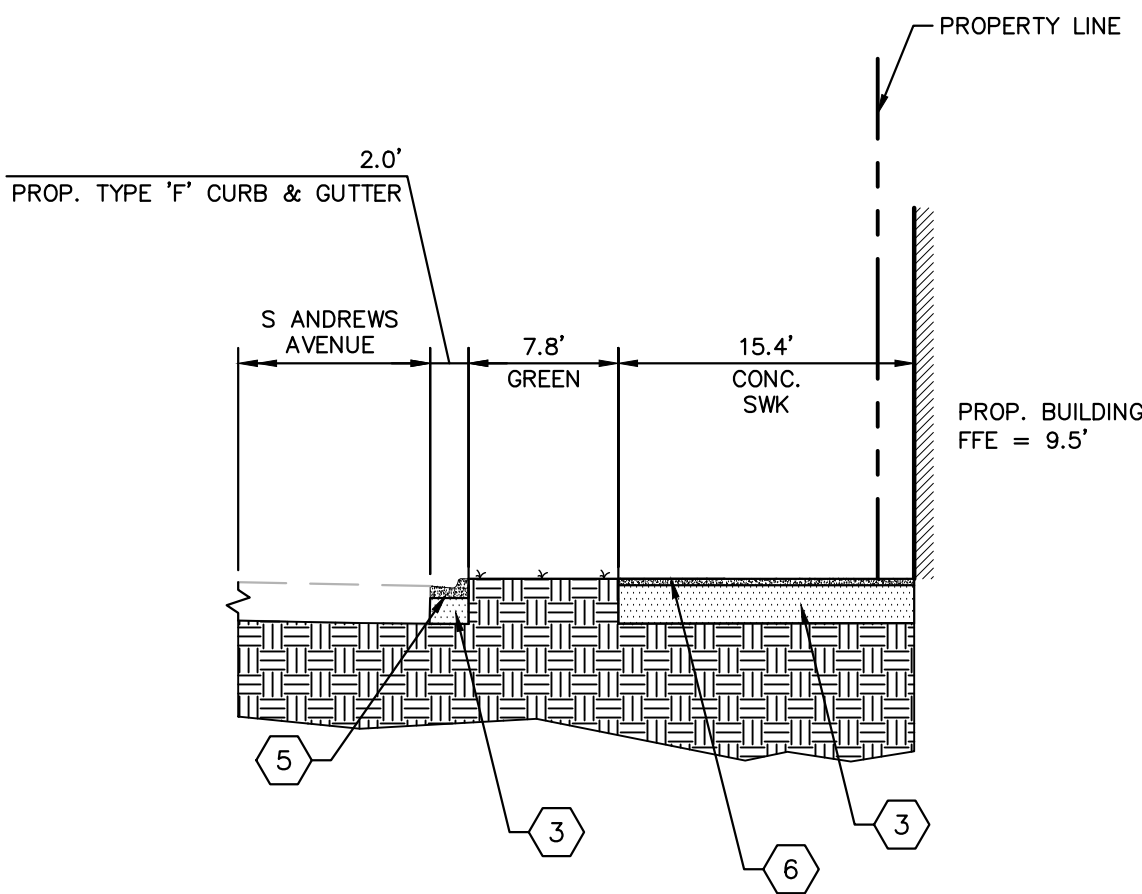
SECTION B-B
C500.0
NOT TO SCALE



SECTION C-C
C500.0
NOT TO SCALE



SECTION D-D
C500.0
NOT TO SCALE



SECTION E-E
C500.0
NOT TO SCALE



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM



CARLOS FLORIAN, P.E.
FL REGISTRATION # 80500

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/2/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

TYPICAL CROSS
SECTIONS



Call 811 or visit sunshine811.com two full
business days before digging to have
buried facilities located and marked.

Check positive response codes before you dig!

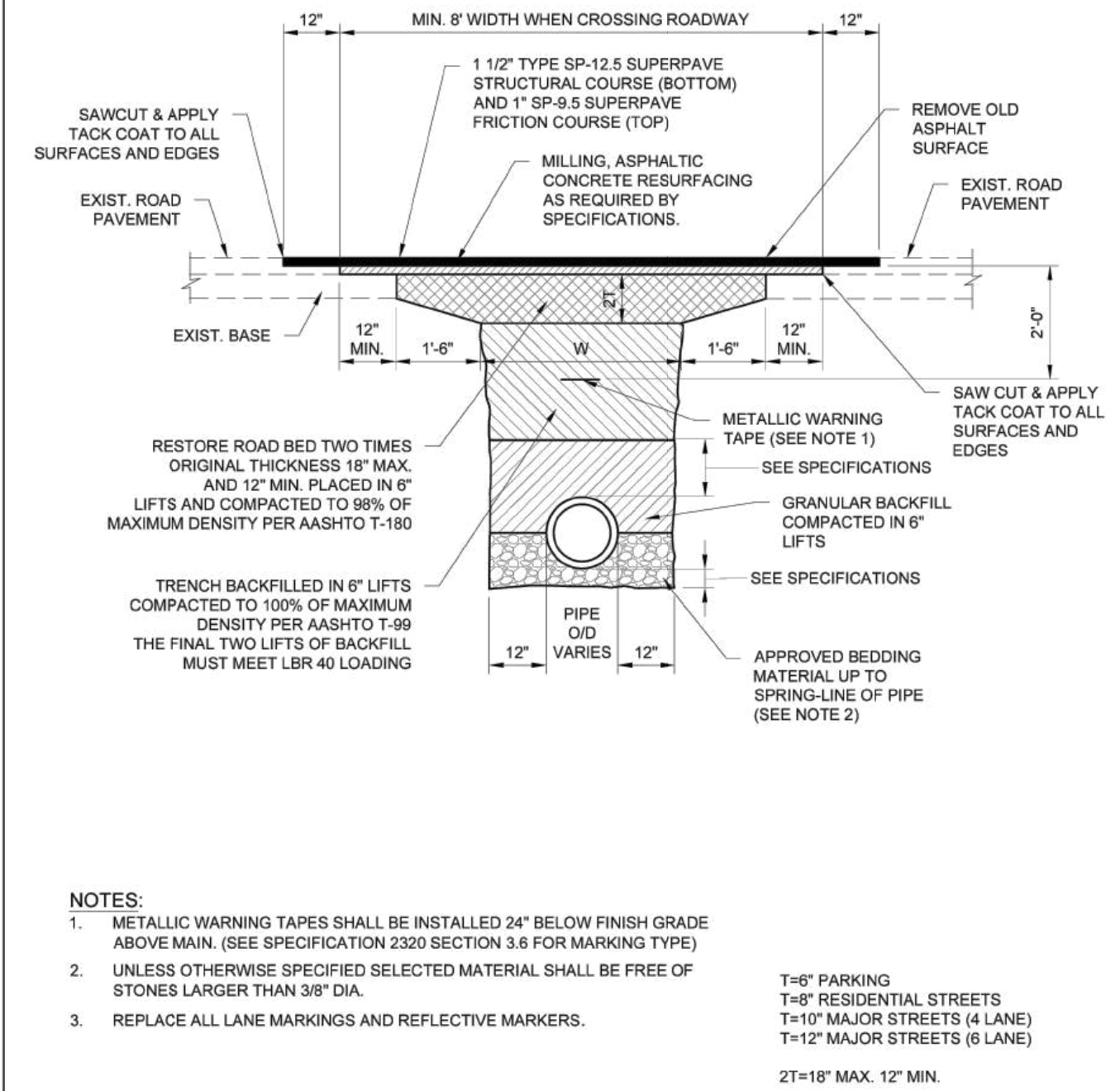
THE PRESENCE OF GROUNDWATER SHOULD BE
ANTICIPATED. CONTRACTOR'S BID SHALL
INCLUDE CONSIDERATION FOR ADDRESSING THIS
ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE
BASED ON THE NAVD 88. TO CONVERT
ELEVATIONS TO NGVD 29, ADD 1.59'.
CONVERSION FACTOR OBTAIN FROM
WWW.ARCGIS.COM

175309
JOB NO.

C501.0
SHEET

ROADWAY RESTORATION Thursday, August 24, 2017



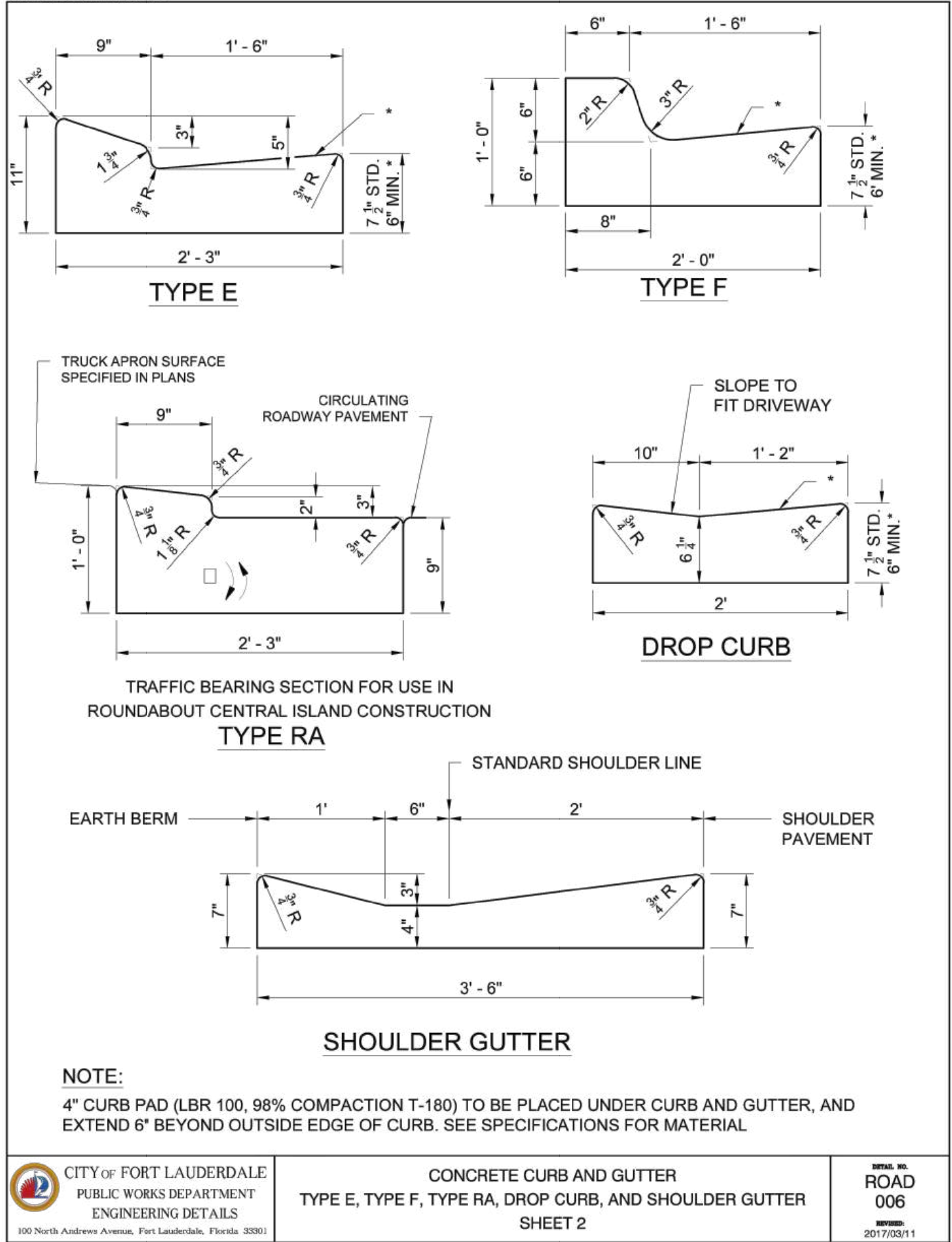
CITY of FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING DETAILS
100 North Andrews Avenue, Fort Lauderdale, Florida 33301
SHEET NO. ROAD 001
DATE: 2017/03/11

ROADSIDE DETECTABLE WARNING Thursday August 24, 2017



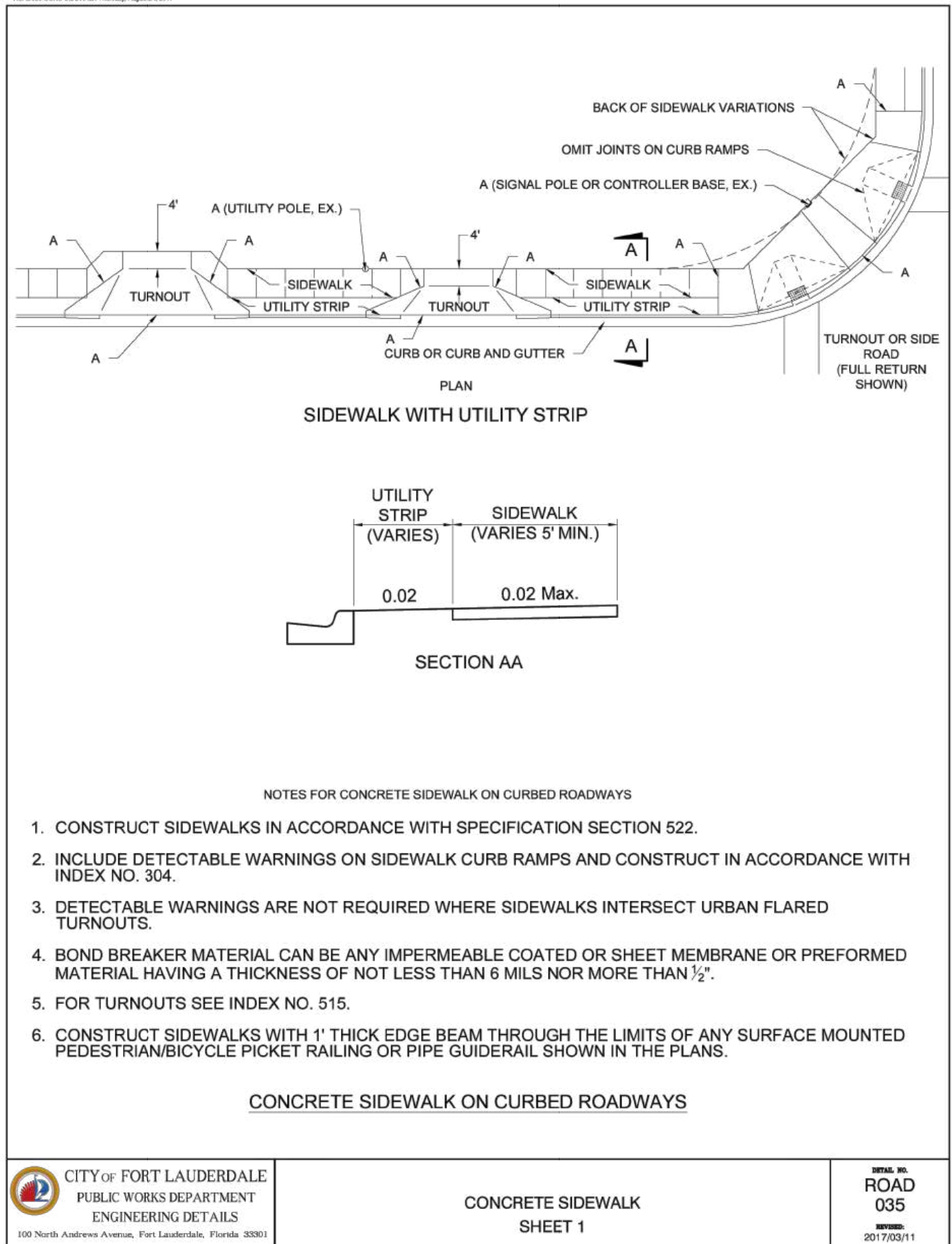
CITY of FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING DETAILS
100 North Andrews Avenue, Fort Lauderdale, Florida 33301
SHEET NO. ROAD 013
DATE: 2017/03/11

ROADSIDE CURB-GUTTER Thursday, August 24, 2017



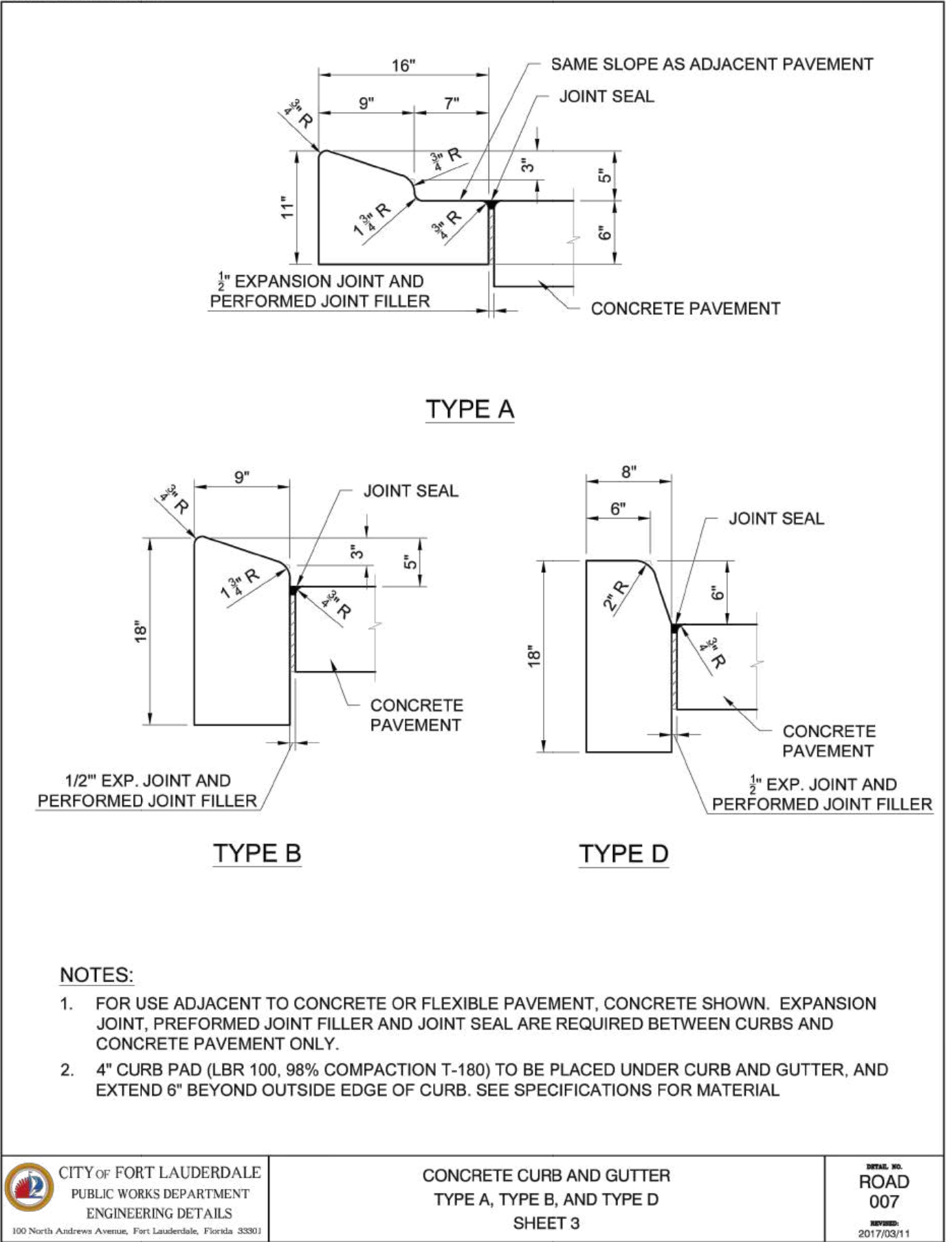
CITY of FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING DETAILS
100 North Andrews Avenue, Fort Lauderdale, Florida 33301
SHEET NO. ROAD 006
DATE: 2017/03/11

ROADSIDE CONC SIDEWALK Thursday August 24, 2017



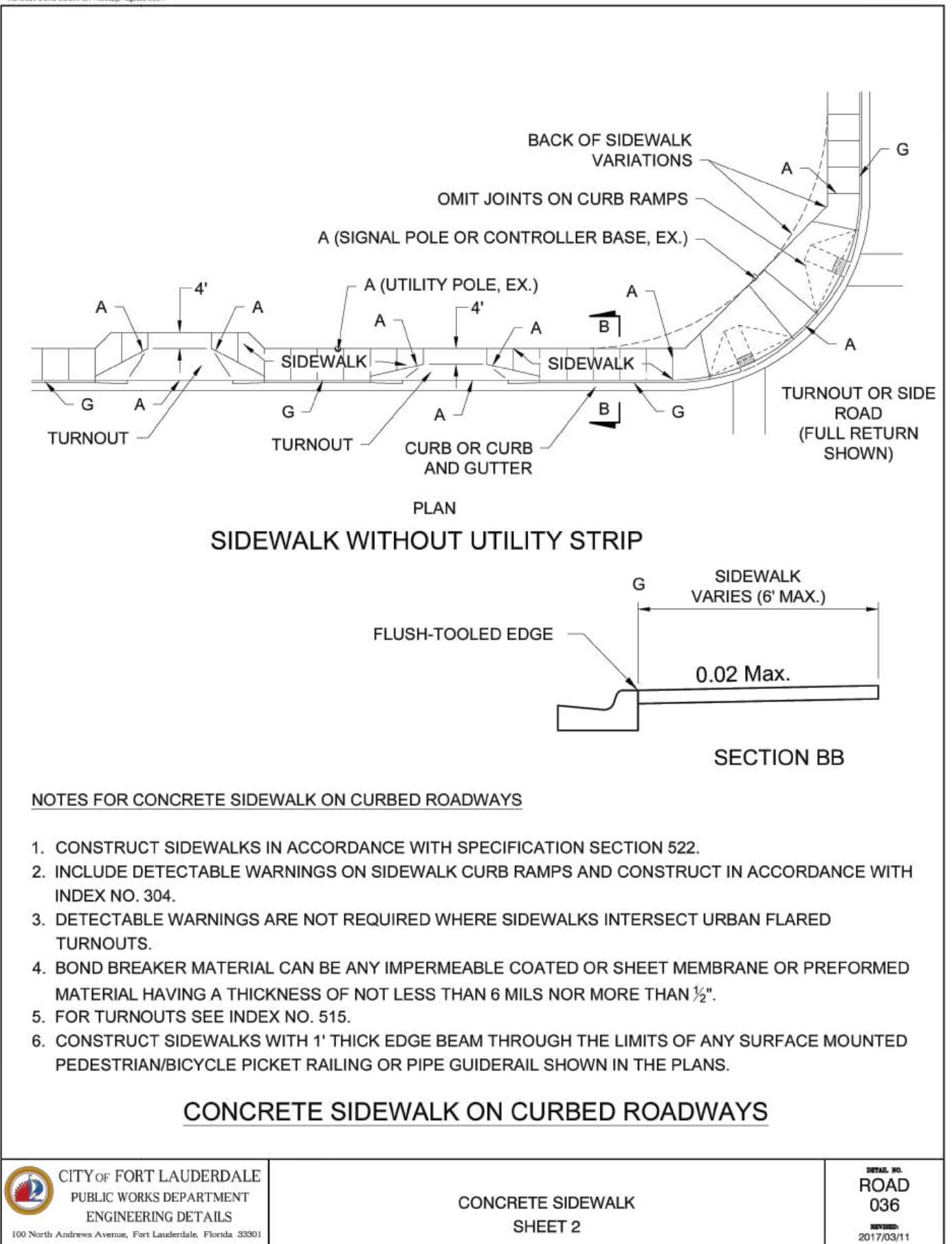
CITY of FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING DETAILS
100 North Andrews Avenue, Fort Lauderdale, Florida 33301
SHEET NO. ROAD 035
DATE: 2017/03/11

ROADSIDE CURB-GUTTER Thursday, August 24, 2017



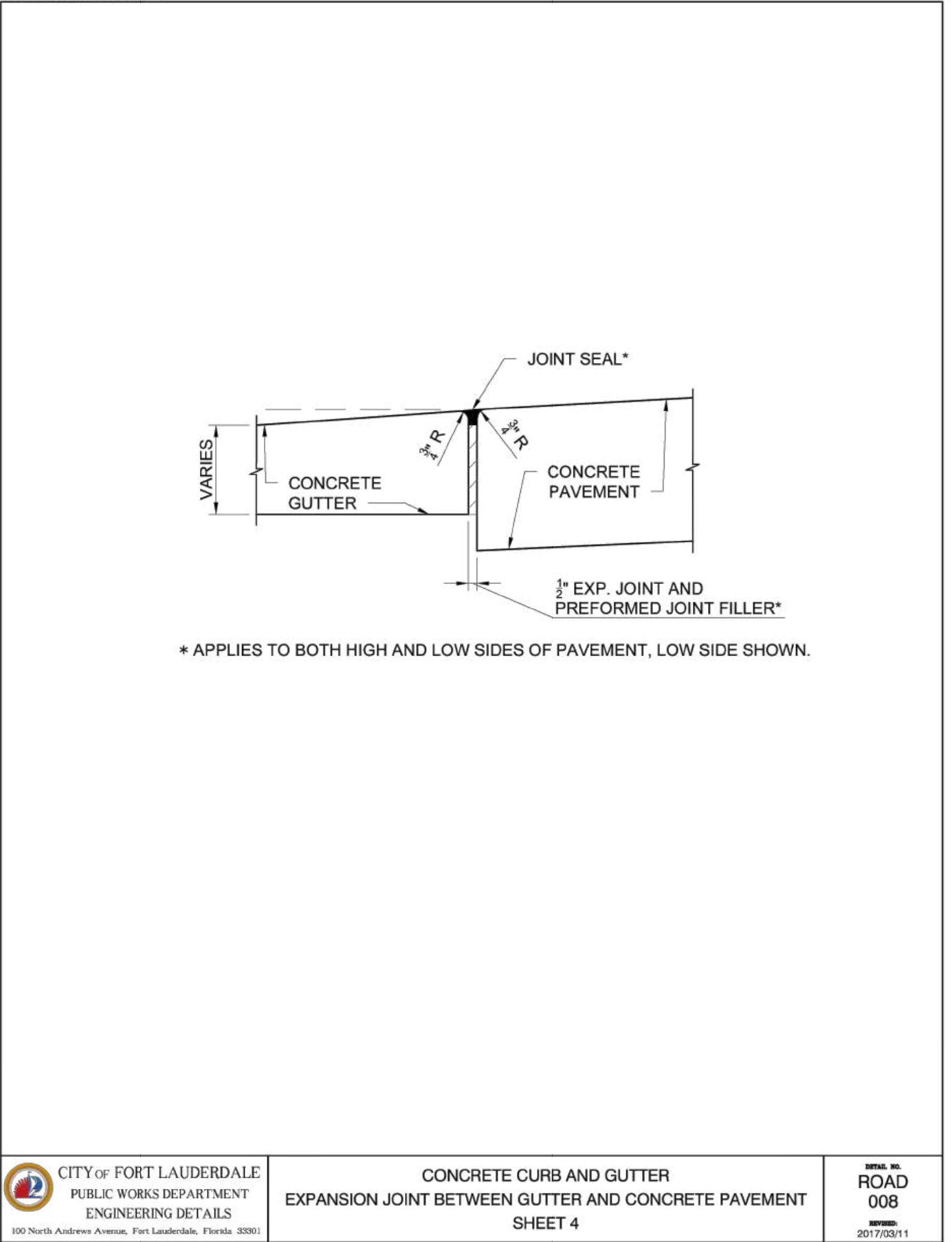
CITY of FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING DETAILS
100 North Andrews Avenue, Fort Lauderdale, Florida 33301
SHEET NO. ROAD 007
DATE: 2017/03/11

ROADSIDE CONC SIDEWALK Thursday August 24, 2017

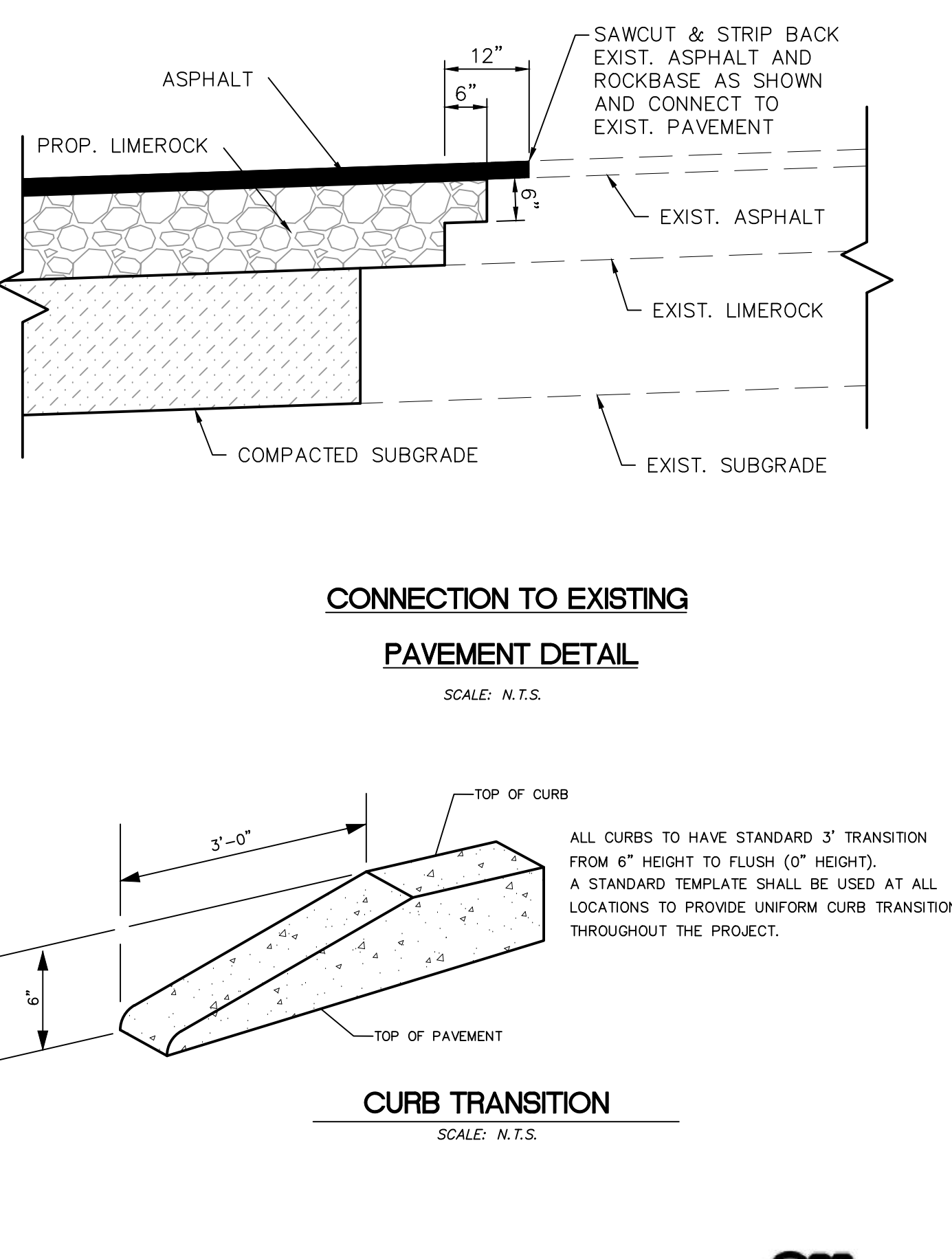


CITY of FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING DETAILS
100 North Andrews Avenue, Fort Lauderdale, Florida 33301
SHEET NO. ROAD 036
DATE: 2017/03/11

ROADSIDE CURB-GUTTER Thursday, August 24, 2017



CITY of FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING DETAILS
100 North Andrews Avenue, Fort Lauderdale, Florida 33301
SHEET NO. ROAD 008
DATE: 2017/03/11



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM



CARLOS FLORIAN, P.E.
FL REGISTRATION # 80500

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/2/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

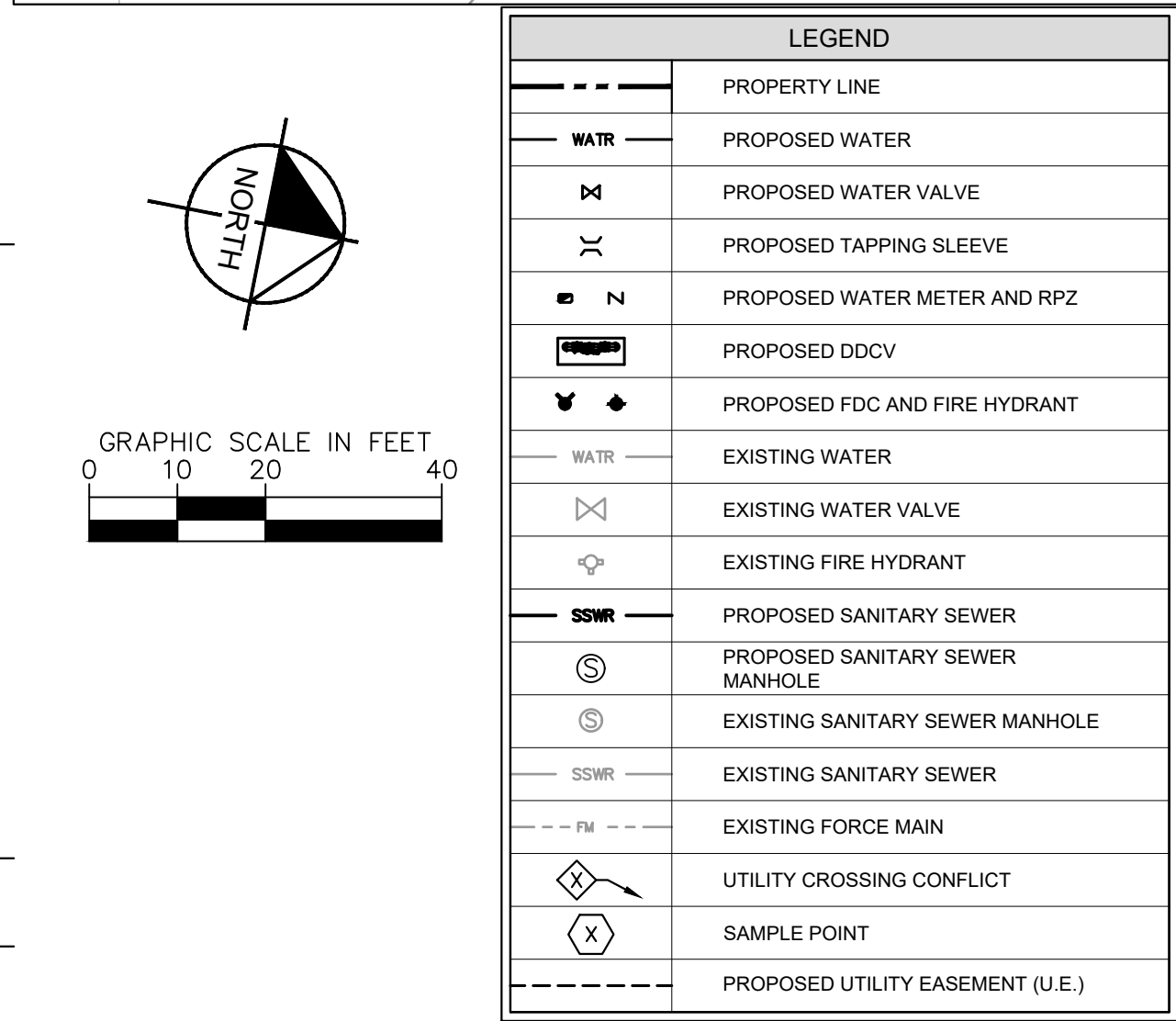
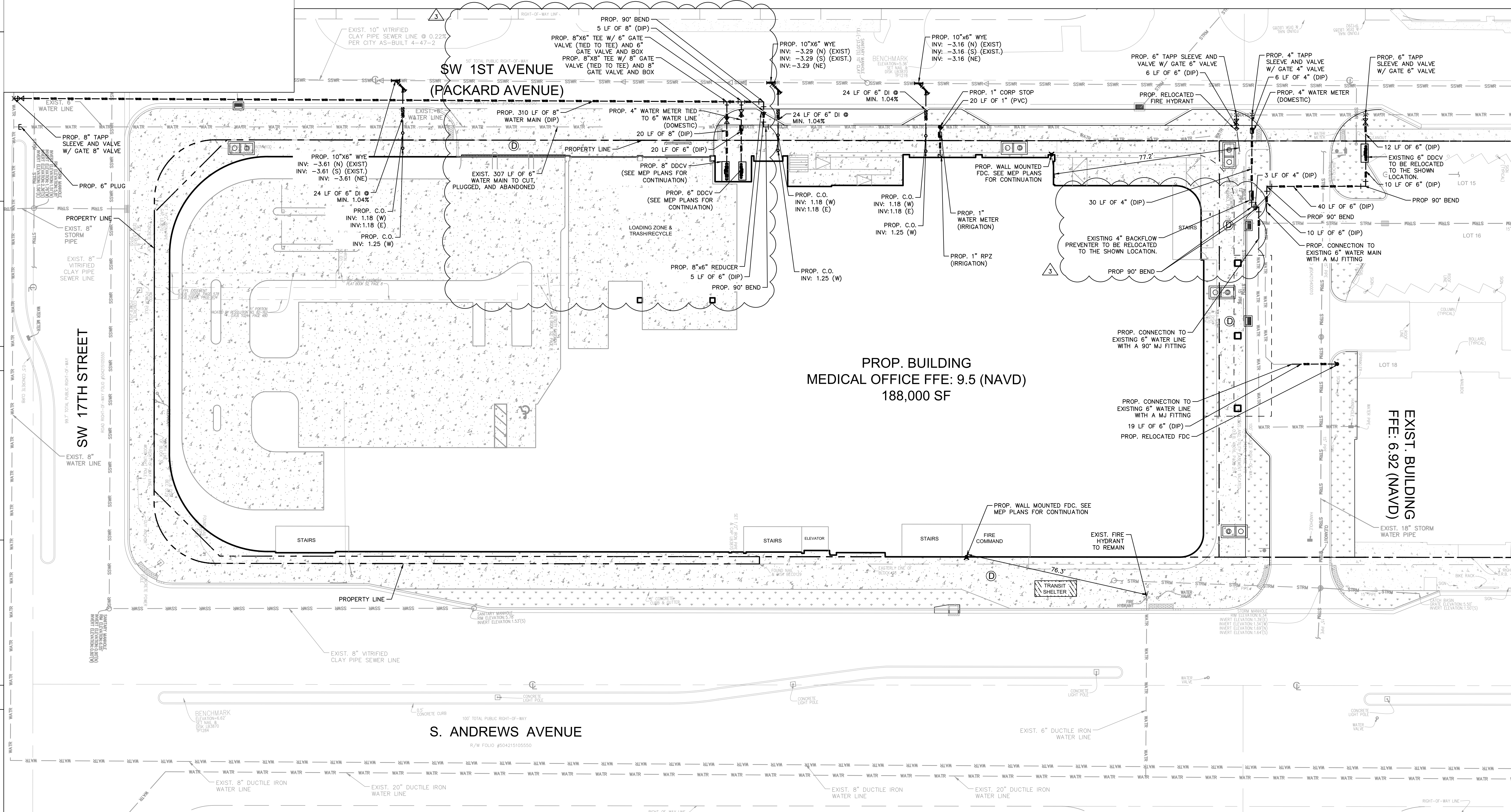
PAVING, GRADING,
AND DRAINAGE
DETAILS

175309
JOB NO.

C502.0
SHEET

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM



Broward Health
MEDICAL CENTER

BECK

BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM

Kimley»Horn

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/2/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

WATER AND SEWER
PLAN

175309
JOB NO.

C600.0
SHEET

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM

Sunshine811

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

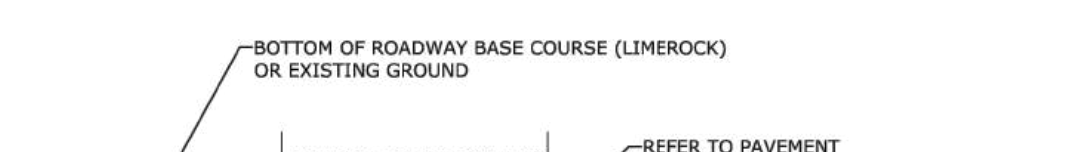
NOTES:

1. WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
2. RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
3. 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
4. ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPE SO THAT THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATE JOINT LOCATIONS ALLOWED UNDER FAC 62-655.314 WILL ONLY BE ALLOWED BY THE ENGINEER ON A CASE-BY-CASE BASIS.

BROWARD COUNTY
PUBLIC WORKS DEPARTMENT

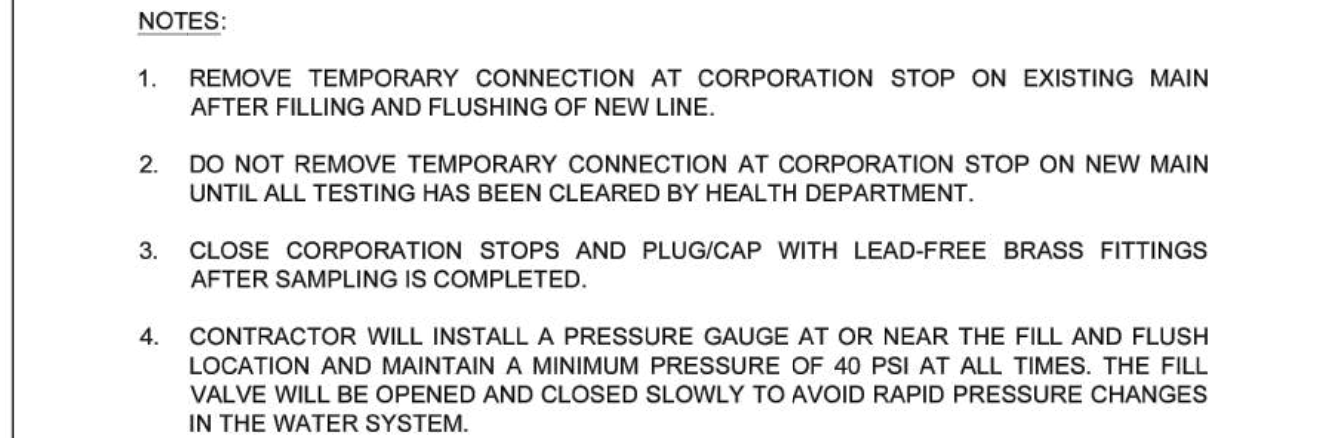
WATER AND SEWATER SERVICES
ENGINEERING DIVISION
2555 WEST COVING ROAD
POMPANOA BEACH, FL 33069
PHONE NO. 954-831-0745
FAX: 954-831-0925

STANDARD DETAIL



The diagram is a cross-section of a pipe installation. At the top, a line indicates the 'BOTTOM OF ROADWAY BASE COURSE (LINEROCK) OR EXISTING GROUND'. Below this is a layer of 'PIPE O.D. PLUS 24 INCHES TRENCH WIDTH MINIMUM'. The pipe itself is shown with a circular cross-section. The area around the pipe is filled with 'SUITABLE BACKFILL PLACED AND COMPACTED TO AT LEAST 100% OF MAXIMUM DENSITY, 6" MAXIMUM SIZE, 6" LIFTS, PER ASHTO SPEC. NO. T-99C'. Below the backfill is a layer of 'BEDDING MATERIAL. SEE NOTE NO. 1'. At the bottom is the 'FOUNDATION REQUIRED IN UNSTABLE SOILS. SEE NOTE NO. 3'. On the left, a vertical dimension line indicates 'VARIES' for the backfill height and '6" MIN.' for the bedding thickness.

REVISED	TYPICAL TRENCH BACKFILL	FIGURE
7/7/2021		180

[illegible]

REVISED	TYPE 1 WATER SERVICE CONNECTION	FIGURE 221
7/7/2021		

BROWARD COUNTY PUBLIC WORKS DEPARTMENT	WATER & WASTEWATER SERVICES ENGINEERING DIVISION 2345 WEST COPPIN ROAD FORTLAUDERDALE, FL 33608 PHONE NO. 954-831-7975 FAX: 954-831-9923	<h1 style="margin: 0;">STANDARD DETAIL</h1>
---	--	---

This technical drawing illustrates a standard fire hydrant assembly. The main components and their specifications are as follows:

- CONCRETE PAD:** 2'x2' OR 2' DIAMETER, with a center point 'C'.
- PIPE AND VALVES:** 6" PIPE (MIN) on the left, 6" PIPE on the right, and a GATE VALVE in the center.
- SWING FLEX CHECK VALVE:** Located between the gate valve and the left pipe.
- Mechanical Joint Tee:** Connects the 6" pipe to the fire hydrant.
- Fire Hydrant:** Features a FIRE HYDRANT (PUMPER NOZZLE-FACING ACCESS R/W OR STREET) and a 7.5" OR SEE NOTE 3 outlet.
- Break Away Flange:** Located 24" MAX above the finished grade.
- Adjustable Screw Type DI:** Located at the base of the hydrant.
- Dimensions:** 24" MIN and 24" MAX vertical dimensions are shown for the hydrant body.
- Orientation:** RIGHT OF WAY LINE is indicated on the right side.
- References:** SEE FIG. 123, SEE FIG. 121, and SEE NOTES 2, 4 & 5.

REVISED	FIRE HYDRANT INSTALLATION	FIGURE 231
7/7/2021		

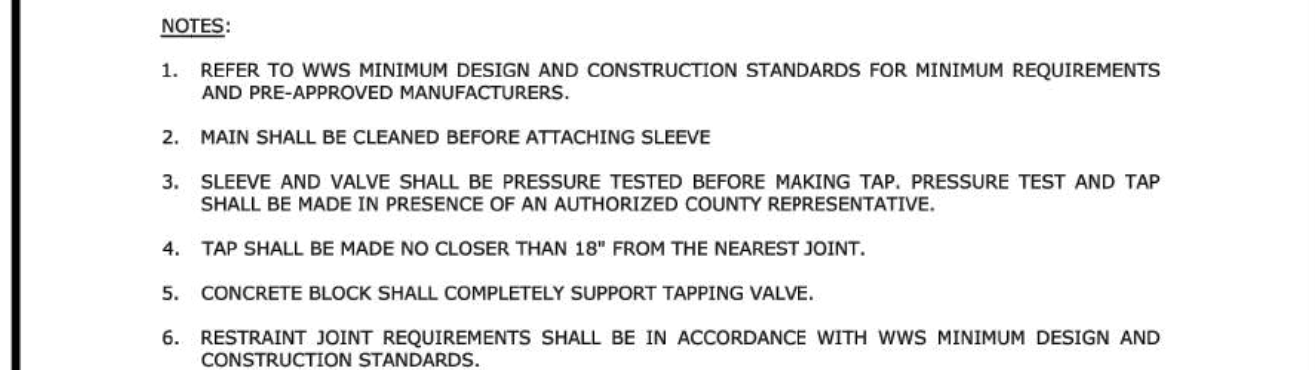
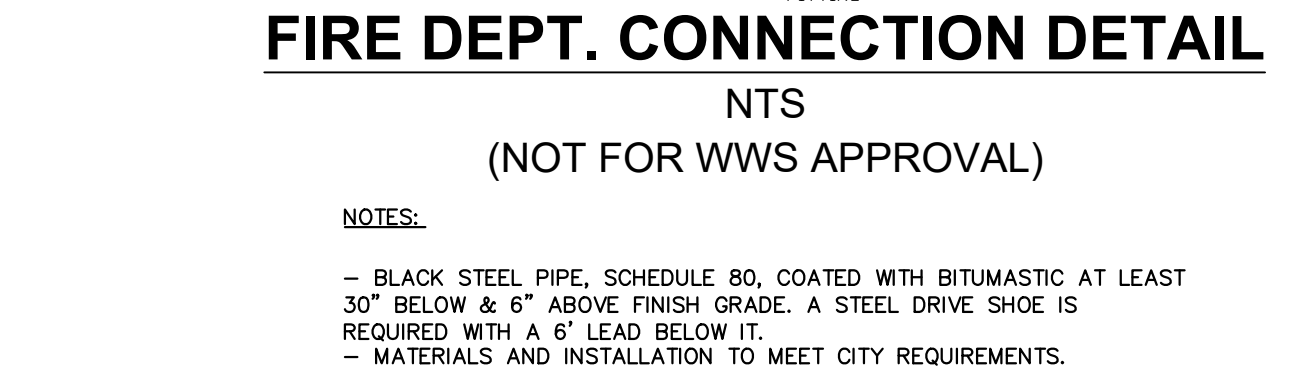


Diagram illustrating the installation of a 4" water meter. The components and dimensions are as follows:

- 4" x 2 1/8" x 2 1/8" THREADED F.D.C. WITH CAPS**: The top connection point.
- 4" D.I.P.**: The main body of the meter.
- 4" WAFER CHECK VALVE**: Located below the meter body.
- FIN. GRADE**: The finished ground level, indicated by a hatched area.
- 4" M.L. - FLG. 90 ELL ROD BACK TO**: The connection to the main line.
- Dimensions**:
 - 30" ± 12"**: Total height from the finished grade to the top of the meter.
 - 30" MIN.**: Minimum height from the finished grade to the bottom of the meter body.



INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

12/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

WATER AND SEWER DETAILS

Sunshine811

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

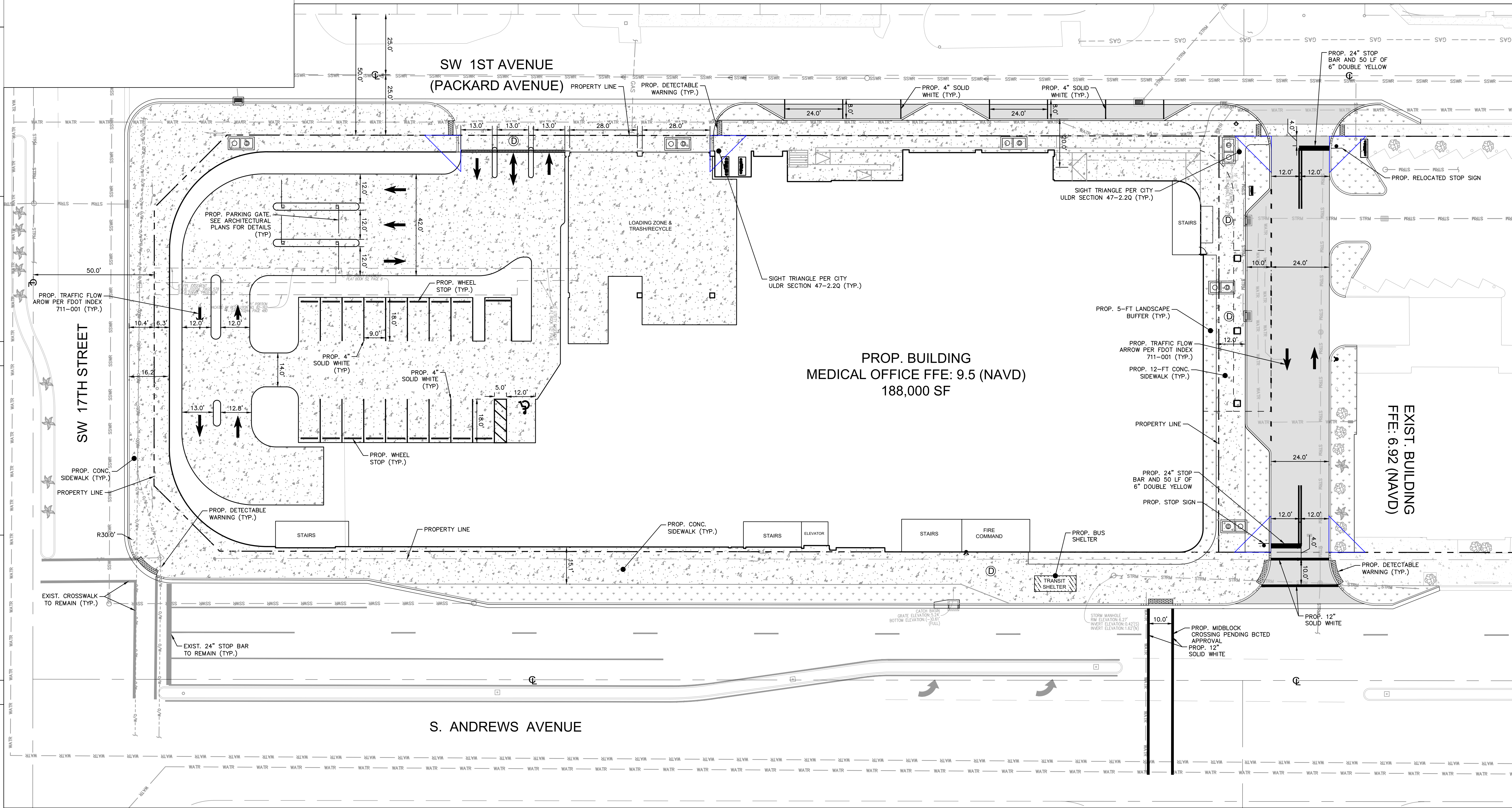
THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE
BASED ON THE NAVD 88. TO CONVERT
ELEVATIONS TO NGVD 29, ADD 1.59'.
CONVERSION FACTOR OBTAIN FROM
WWW.ARCGIS.COM

175309
JOB NO.

C601.0

SHEET



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM



CARLOS FLORIAN, P.E.
FL REGISTRATION # 80500

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/2/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

PAVEMENT MARKING
AND SIGNAGE PLAN



Call 811 or visit sunshine811.com two full
business days before digging to have
buried facilities located and marked.

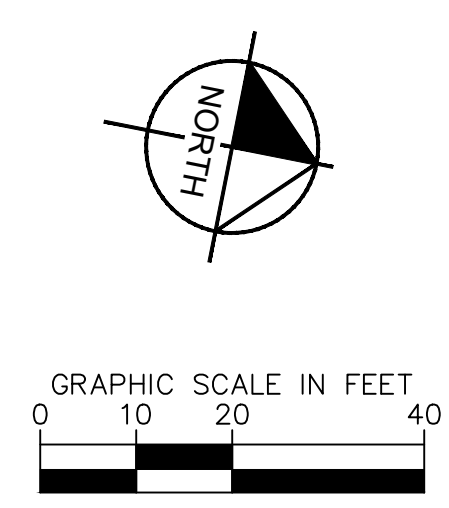
Check positive response codes before you dig!

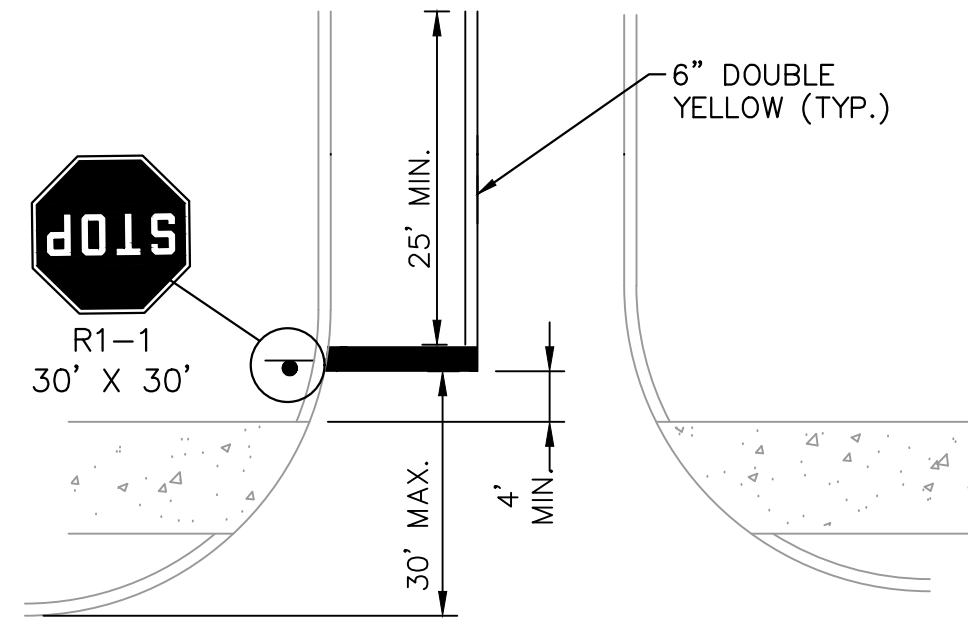
THE PRESENCE OF GROUNDWATER SHOULD BE
ANTICIPATED. CONTRACTOR'S BID SHALL
INCLUDE CONSIDERATION FOR ADDRESSING THIS
ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE
BASED ON THE NAVD 88. TO CONVERT
ELEVATIONS TO NGVD 29, ADD 1.59'.
CONVERSION FACTOR OBTAIN FROM
WWW.ARCGIS.COM

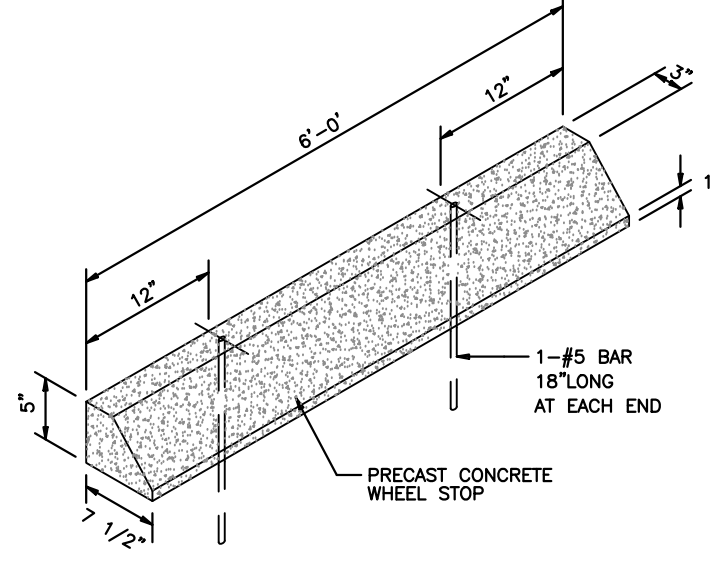
LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY BOUNDARIES
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED DETECTABLE WARNING

NOTES:
1. ALL PROPOSED DRAINAGE WELLS, MANHOLES, PULL BOXES, ETC.
INSTALLED IN THE SIDEWALK MUST BE FLAT, ADA COMPLIANT
AND NOT IMPACT THE EFFECTIVE WIDTH OF THE SIDEWALK
CLEAR PATH.

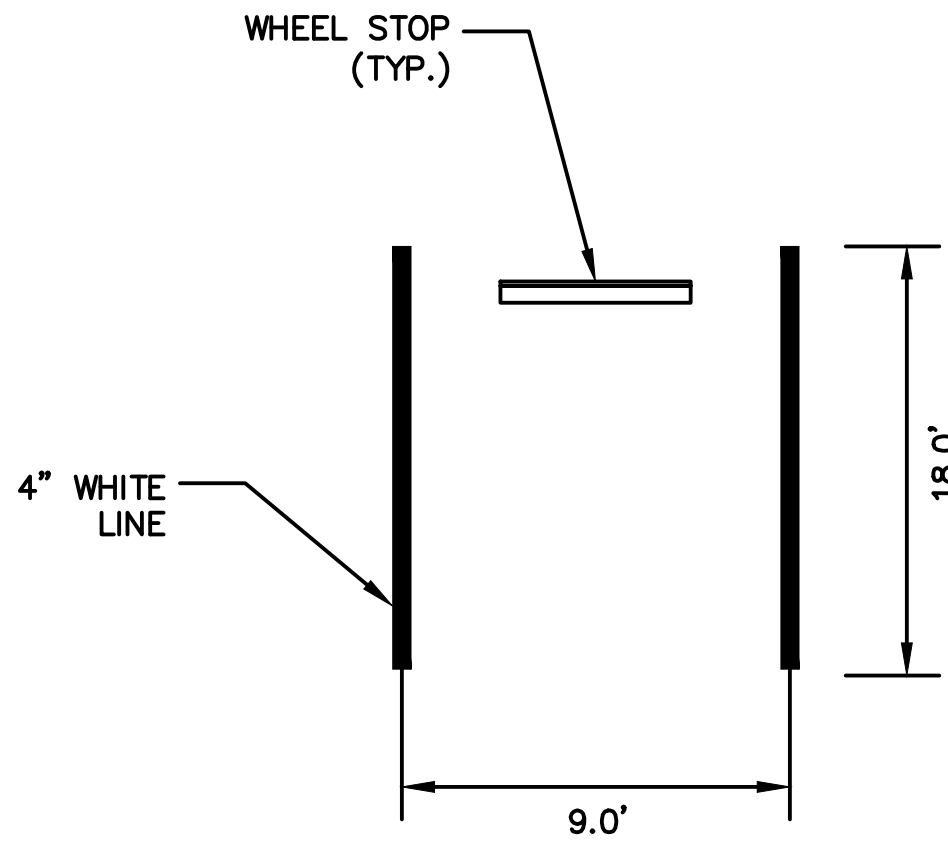




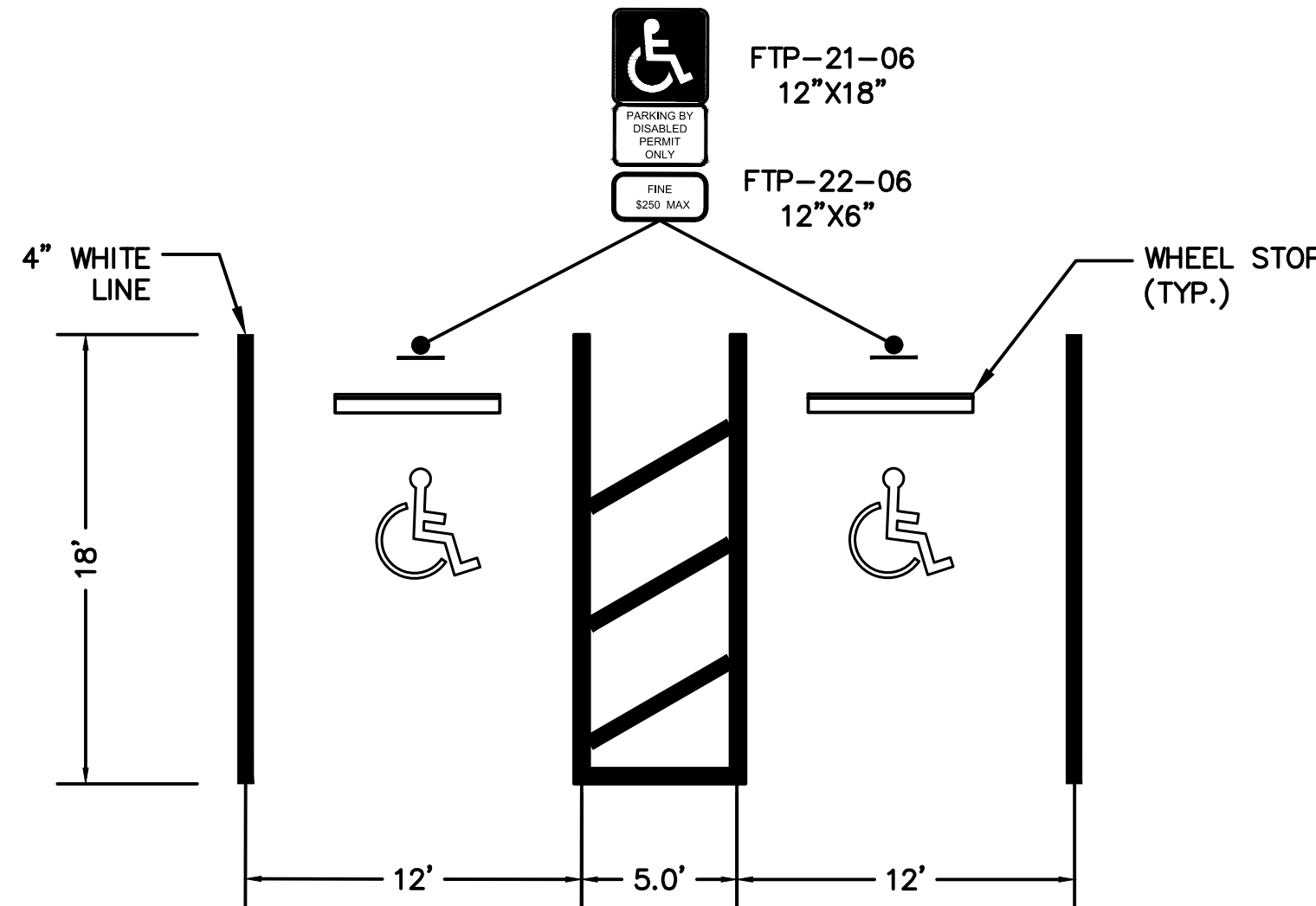
STOP BAR MARKING DETAIL
SCALE: N.T.S.



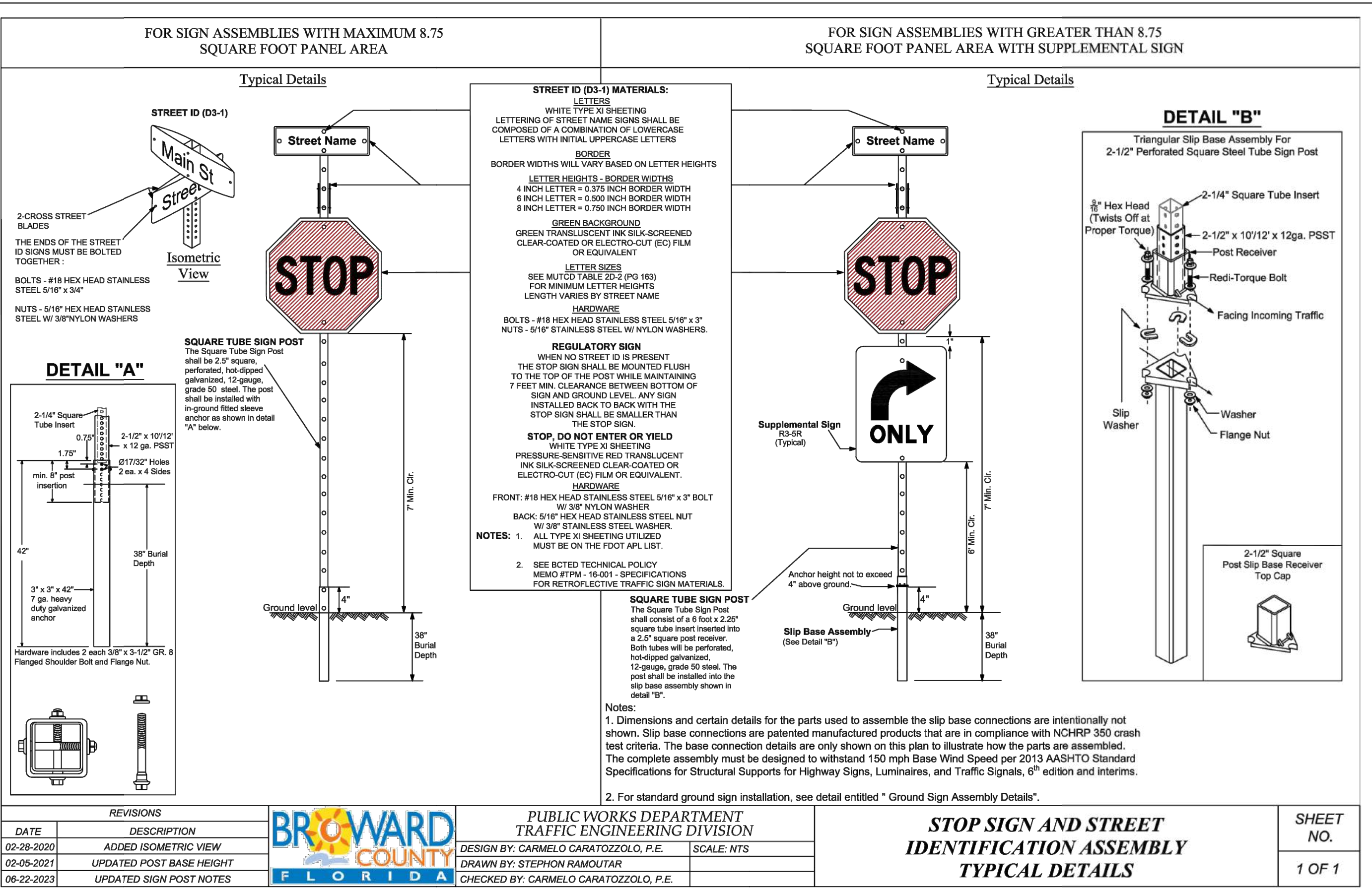
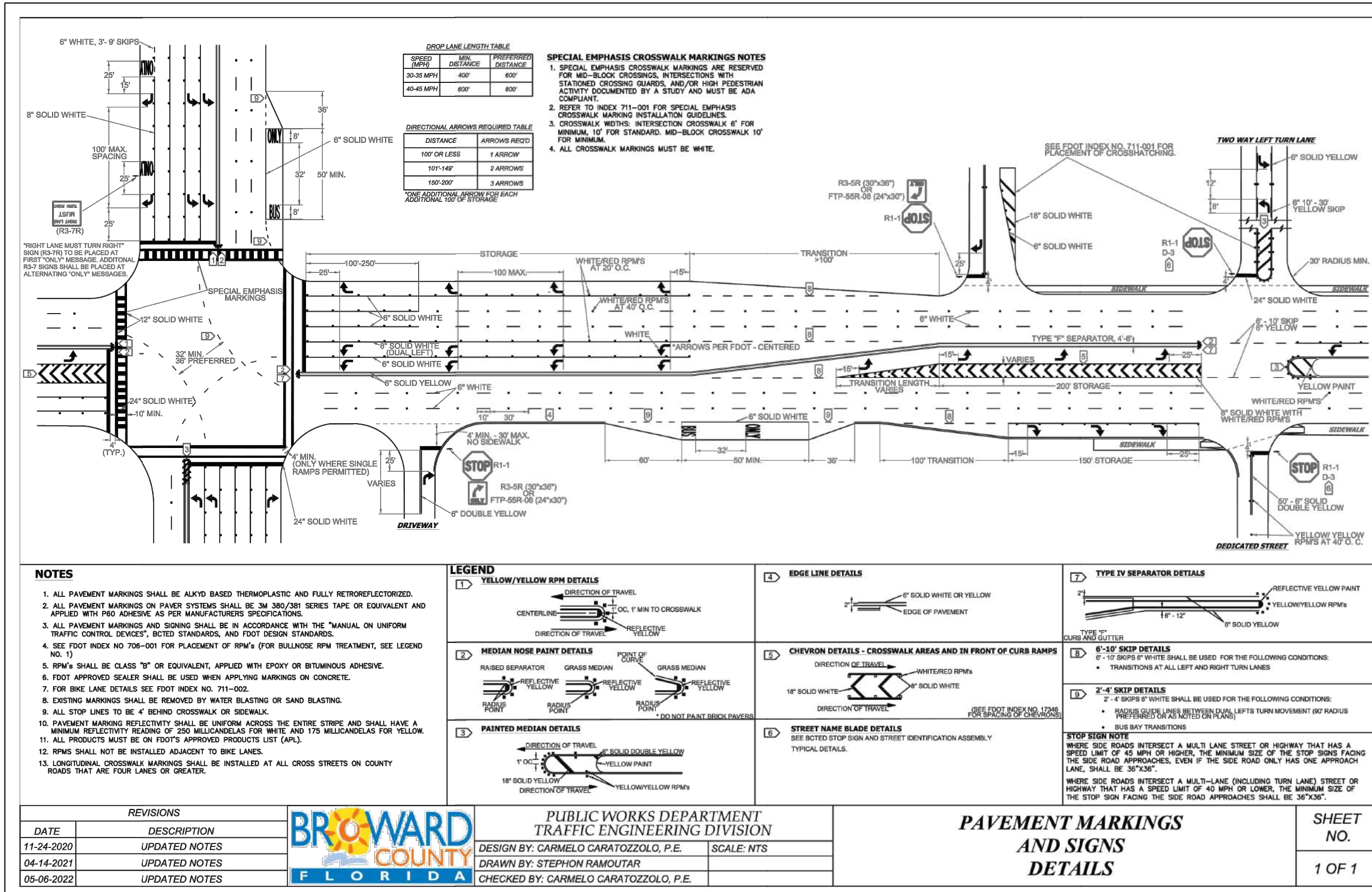
WHEELSTOP DETAIL
SCALE: N.T.S.



TYPICAL PARKING STALL DETAIL
SCALE: N.T.S.



ADA PARKING STALL PAINTING DETAIL
SCALE: N.T.S.



CARLOS FLORIAN, P.E.
FL REGISTRATION # 80500

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/2/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

**BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE**



Call 811 or visit sunshine811.com two full
business days before digging to have
buried facilities located and marked.

Check positive response codes before you dig!

THE PRESENCE OF GROUNDWATER SHOULD BE
ANTICIPATED. CONTRACTOR'S BID SHALL
INCLUDE CONSIDERATION FOR ADDRESSING THIS
ISSUE AND OBTAINING ALL NECESSARY PERMITS.

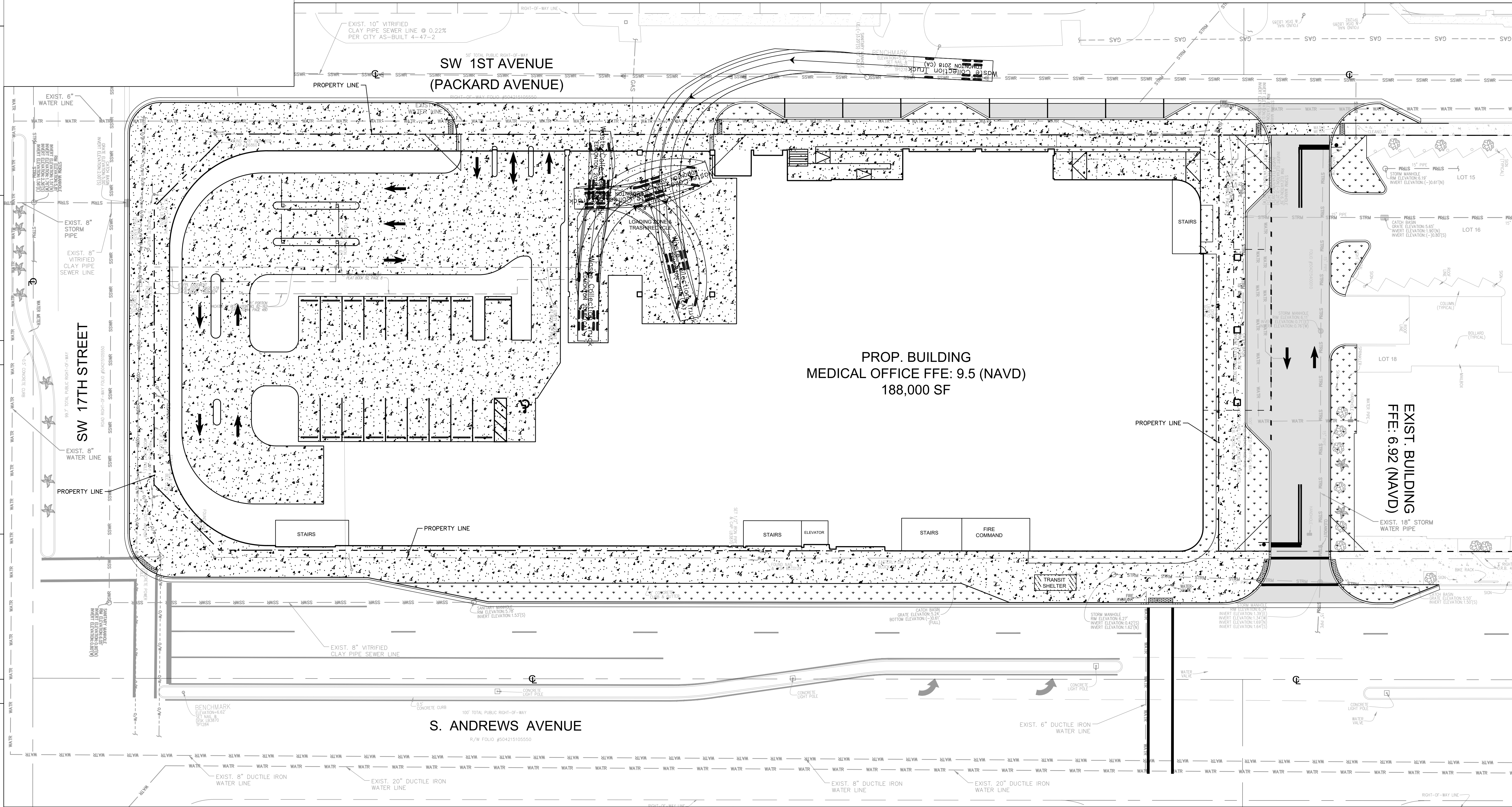
ALL ELEVATIONS SHOWN ON THESE PLANS ARE
BASED ON THE NAVD 88. TO CONVERT
ELEVATIONS TO NGVD 29, ADD 1.59'.
CONVERSION FACTOR OBTAIN FROM
WWW.ARCGIS.COM

**PAVEMENT MARKING
AND SIGNAGE
DETAILS**

175309
JOB NO.

C701.0

SHEET



GRAPHIC SCALE IN FEET
0 10 20 40

LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY BOUNDARIES
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED DETECTABLE WARNING

Front Loading Collection truck
feet

Width : 8.53
Track : 8.53
Lock to Lock Time : 6.0
Steering Angle : 27.7

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM

Broward Health
MEDICAL CENTER

BECK

DMZ
DESIGN MATTERS

Kimley»Horn

BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM

CARLOS FLORIAN, P.E.
FL REGISTRATION # 80500

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/2/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3		
#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

**BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE**

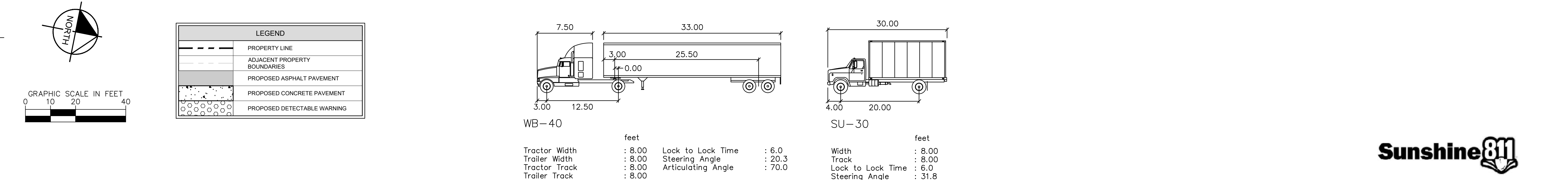
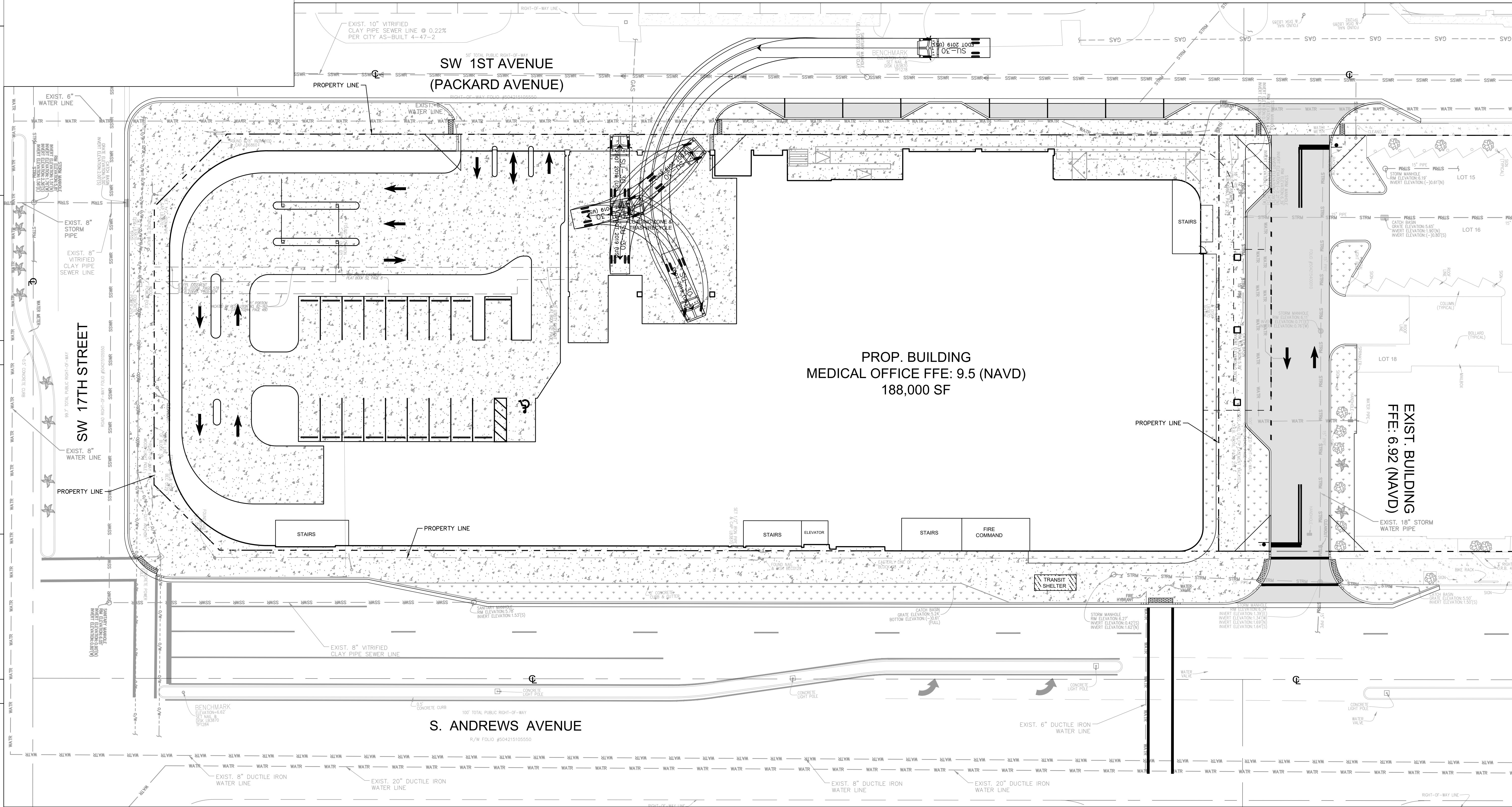
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

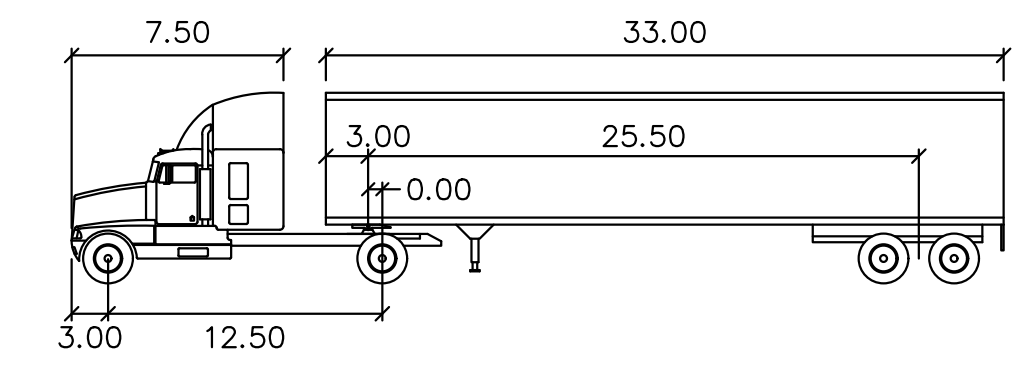
**GARBAGE TRUCK
MANEUVERABILITY**

175309
JOB NO.

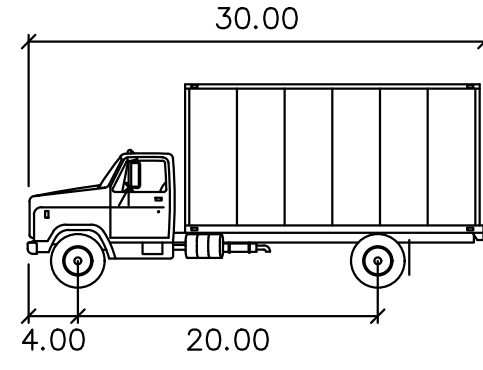
C800.0
SHEET



LEGEND	
	PROPERTY LINE
	ADJACENT PROPERTY BOUNDARIES
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED DETECTABLE WARNING



WB-40			
	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.00	Steering Angle	: 20.3
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.00		



SU-30	
	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM

Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

BECK

DMZ DESIGN MATTERS

BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM

Kimley»Horn

CARLOS FLORIAN, P.E.
FL REGISTRATION # 80500

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/2/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

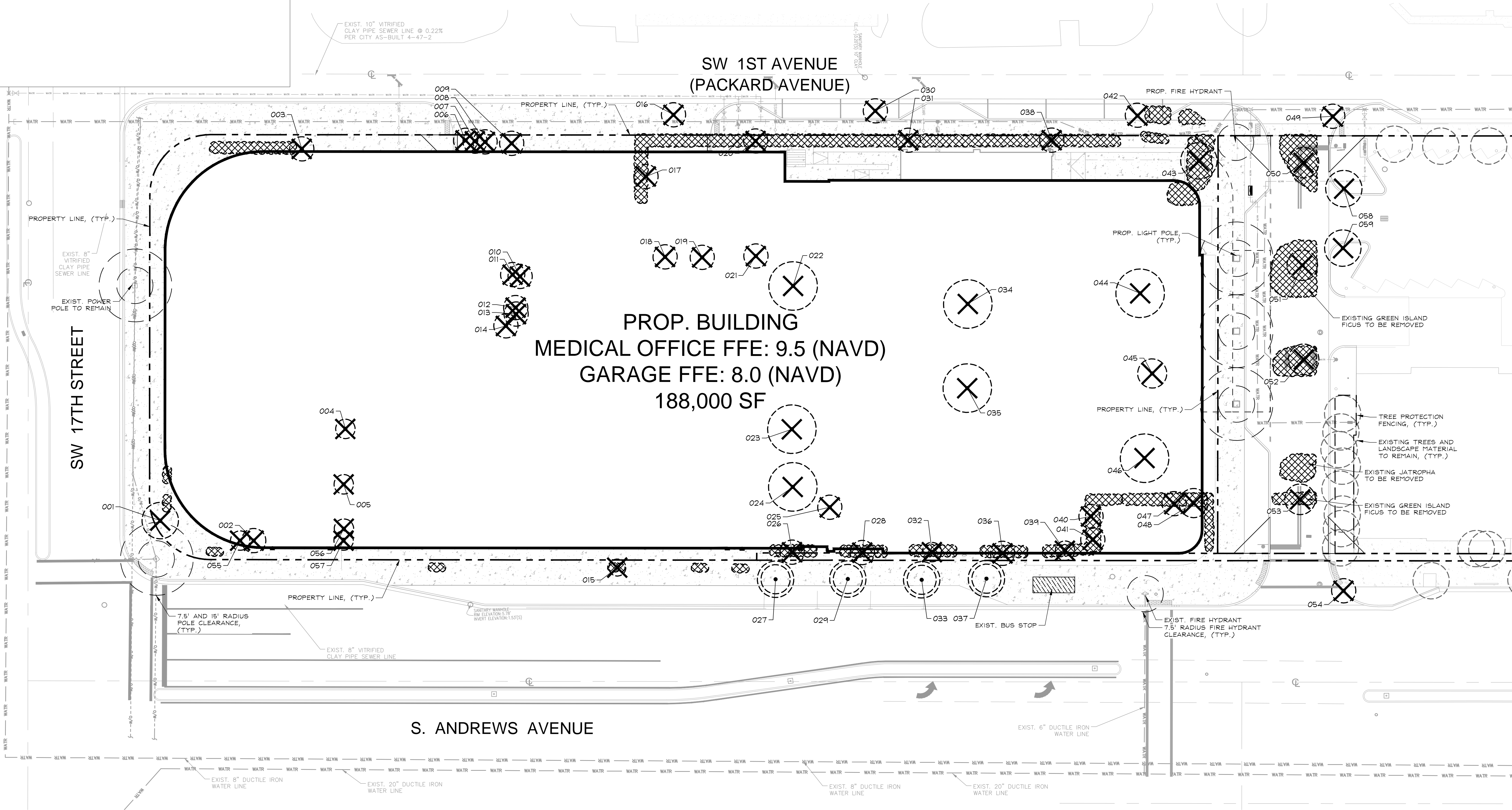
#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

LOADING TRUCK
MANEUVERABILITY

175309
JOB NO.

C801.0
SHEET



KEY:

	TREE TO BE REMOVED
	TREE TO BE RELOCATED
	TREE TO BE PROTECTED PER DETAIL ON SHEET L001.0
	SHRUB TO BE REMOVED



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM



THOMAS HARGRETT, PLA
FL REGISTRATION #6667512

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/1/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

TREE DISPOSITION
PLAN

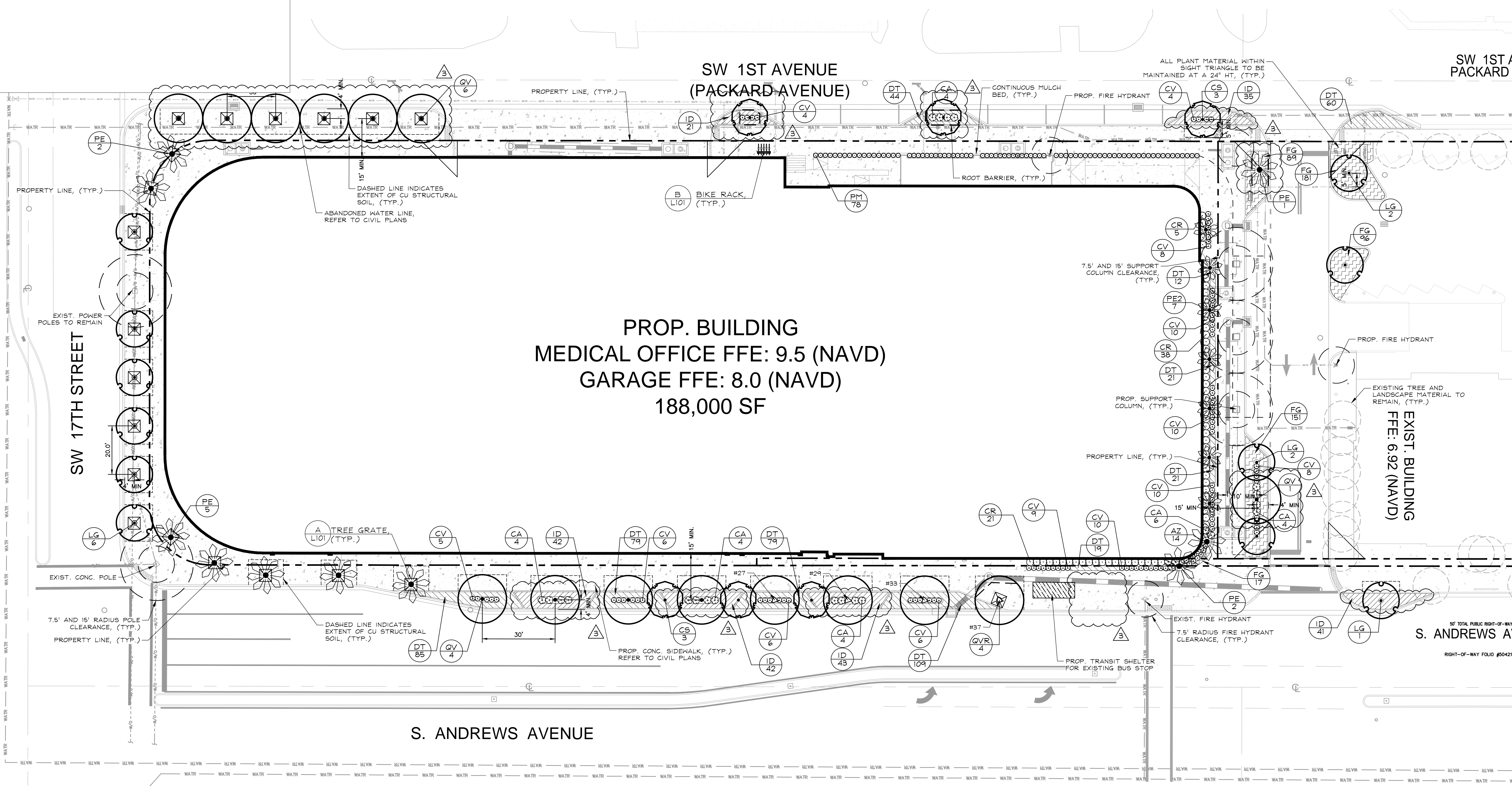


Call 811 or visit sunshine811.com two full
business days before digging to have
buried facilities located and marked.

Check positive response codes before you dig!

THE PRESENCE OF GROUNDWATER SHOULD BE
ANTICIPATED. CONTRACTOR'S BID SHALL
INCLUDE CONSIDERATION FOR ADDRESSING THIS
ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE
BASED ON THE NAVD 88. TO CONVERT
ELEVATIONS TO NGVD 29, ADD 1.59'.
CONVERSION FACTOR OBTAIN FROM
WWW.ARCGIS.COM



SW 1ST AVENUE
(PACKARD AVENUE)

SW 1ST
PACKARD

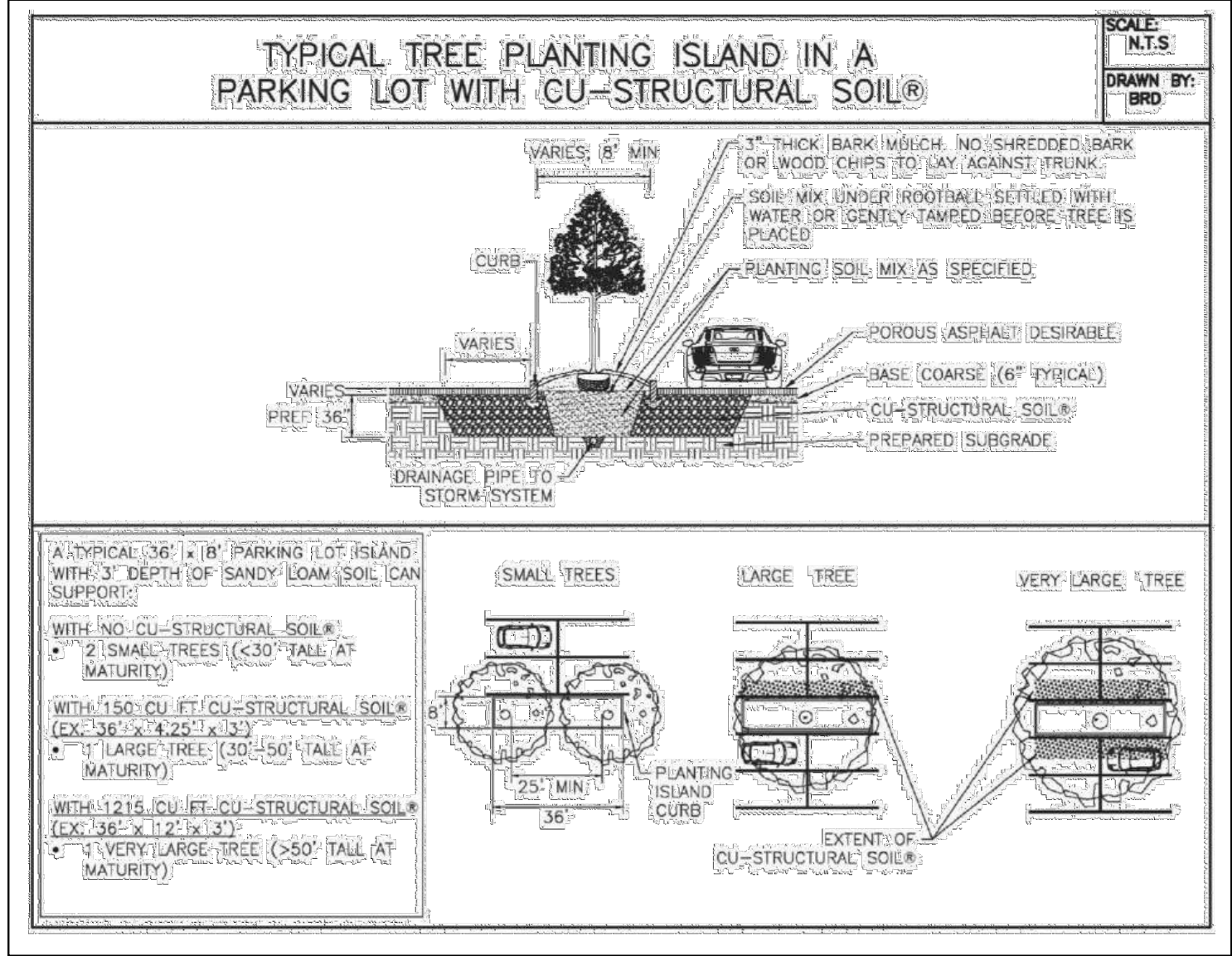
PROP. BUILDING
MEDICAL OFFICE FFE: 9.5 (NAVD)
GARAGE FFE: 8.0 (NAVD)
188,000 SF

EXIST. BUILDING
FFE: 6.92 (NAVD)

S. ANDREWS AVENUE

PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME
TREES		
CS	Cordia sebestena	Orange Geiger Tree
LG	Lagerstroemia indica 'Muskogee'	Muskogee Grape Myrtle
QV	6' CT Quercus virginiana	Southern Live Oak
QVR	6' CT Quercus virginiana RELOCATED	Southern Live Oak
PALM TREES		
PE	Ptychosperma elegans	Alexander Palm
PE2	Ptychosperma elegans	Alexander Palm
SHRUBS		
AZ	Alpinia zerumbet	Shell Ginger
CA	Cordyline fruticosa 'Auntie Lou'	Auntie Lou Ti Plant
CR	Clusia rosea	Clusia
CV	Codiaeum variegatum 'Mammy'	Mammy Croton
PM	Podocarpus macrophyllus 'Pringles'	Dwarf Podocarpus
GROUND COVERS		
DT	Dianella tasmanica	Flax Lily
FG	Ficus microcarpa 'Green Island'	Green Island Ficus
ID	Ilex vomitoria 'Schillings Dwarf'	Schillings Dwarf Yaupon Holly



THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM



THOMAS HARGRETT, PLA
FL REGISTRATION #6667512

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/1/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

LANDSCAPE PLAN



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

175309
JOB NO.

L100.0
SHEET

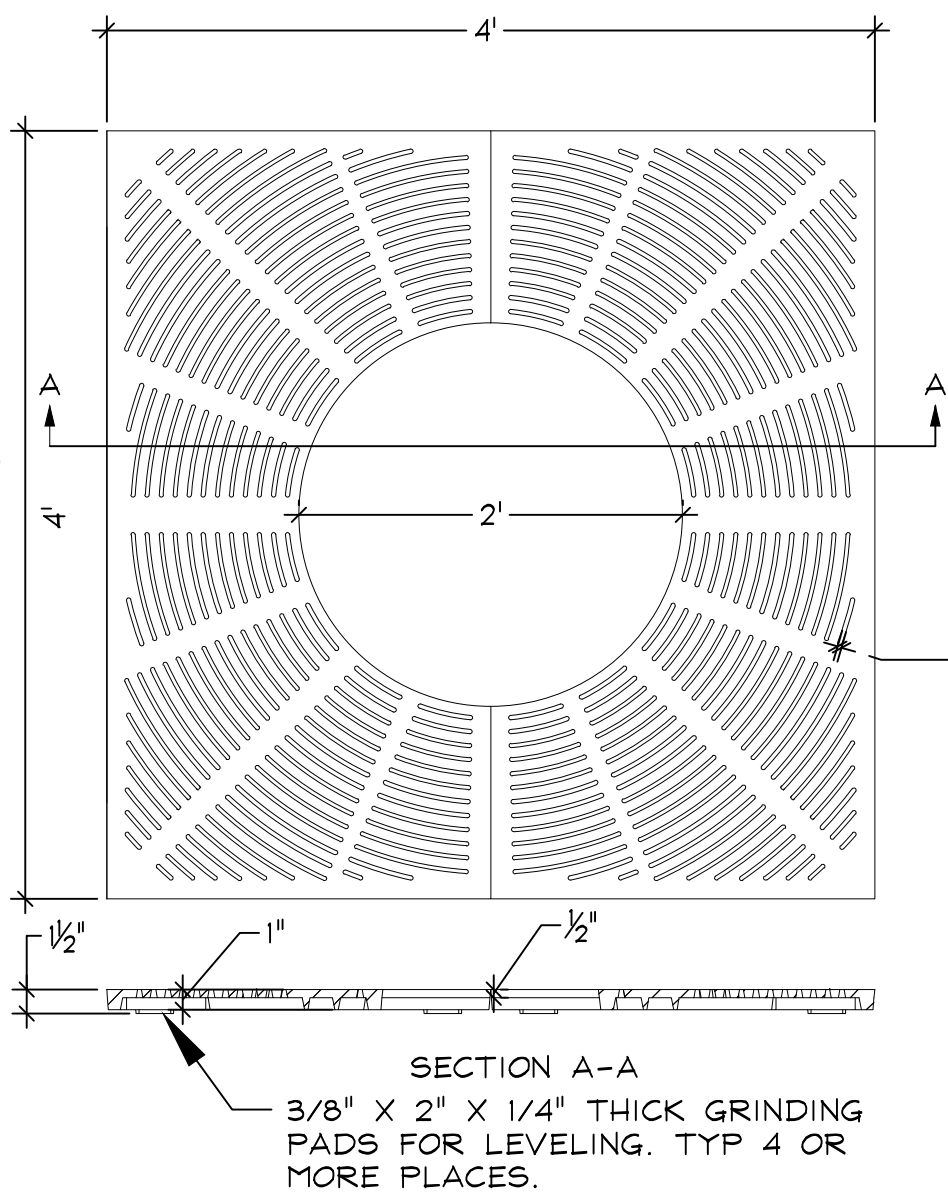
CODE REQUIREMENTS (PER FT LAUDERDALE LAND DEVELOPMENT CODE)			
SITE AREA: 75,646 SF (1.74 ACRES) ZONING: SRAC-SAe LAND USE: SRAC		IMPERVIOUS AREA: 6,134 SF (0.14 ACRES) PERVIOUS AREA: 964 SF (0.02 ACRES) BUILDING AREA: 67,762 SF (1.56 ACRES)	
		REQUIRED	PROVIDED
SEC. 47-21.8.E 50% OF ALL VEGETATION, EXCLUDING ALL TURFGRASS, SHALL BE NATIVE 48 TREES/PALMS X 50% = 24 TREES/PALMS 1,565 SHRUBS/GC X 50% = 783 SHRUBS/GC		24 TREES/PALMS 783 SHRUBS/GC	21 (44%) TREES/PALMS 288(19%) SHRUBS/GC
SEC. 47-21.8.R NO MORE THAN 50% OF THE LANDSCAPED AREA MAY BE IN TURFGRASS 964 SF PERVIOUS AREA X 50% = 482 SF MAX		482 SF (MAX)	0 SF (0%)
SEC. 47-21.8.S A MINIMUM OF 50% OF THE LANDSCAPED AREA MUST BE DROUGHT TOLERANT 48 TREES/PALMS X 50% = 24 TREES/PALMS 1,565 SHRUBS/GC X 50% = 783 SHRUBS/GC		24 TREES/PALMS 783 SHRUBS/GC	48 (100%) TREES/PALMS 1,455 (92%) SHRUBS/GC
SEC. 47-21.12.A.1 LANDSCAPING SHALL BE PROVIDED IN A SQUARE FOOTAGE AREA EQUAL TO A MINIMUM OF 20% IF THE GROSS VEHICULAR USE AREA. THIS AREA SHALL CONSIST OF PERIMETER, PENINSULAR AND INTERIOR LANDSCAPES AND SHALL NOT EXTEND MORE THAN 10' BEYOND THE VUA 1,825 SF VUA (EMERGENCY DROP-OFF) X 20% = 365 SF LANDSCAPE AREA		365 SF	964 SF
SEC. 47-21.12.C.1 ONE TREE AND 6 SHRUBS SHALL BE REQUIRED FOR EVERY 1,000 SF OR FRACTION THEREOF, OF VUA 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 1 TREE = 2 TREES 1,825 SF VUA (EMERGENCY DROP-OFF) / 1,000 SF = 2 X 6 SHRUBS = 12 SHRUBS		2 TREE 12 SHRUBS	48 TREES 1,565 SHRUBS
SEC. 47-21.12.C.1.a THE FIRST 25%, OR FRACTION THEREOF, OF THE REQUIRED TREES SHALL BE SHADE SPECIES WITH A 3 1/8" MIN TRUNK CALIPER, AND SHALL BE DISTRIBUTED BETWEEN INTERIOR AND PERIMETER LANDSCAPE AREAS 48 REQUIRED TREES X 25% = 12 TREES		12 TREES	15 TREES (QV,QVR)
SEC. 47-21.12.C.1.c 20% OF THE REQUIRED TREES SHALL BE CONSPICUOUSLY FLOWERING SPECIES 48 REQUIRED TREES X 20% = 10 TREES		10 TREES	17 TREES (LG,CS)
SEC. 47-21.13.B.1.a ALL AREAS NOT BEING USED FOR STRUCTURES, REQUIRED WALKS, VUA (INCLUDING LANDSCAPE), DECKING, POOL AND OTHER IMPERVIOUS AREAS, SHALL BE COVERED WITH LAWN OR GROUNDCOVER		YES	YES
SEC. 47-21.13.B.10 NO MORE THAN 50% OF THE OVERALL TREE COUNT MAY BE ACCOUNTED FOR BY ONE GENUS, AND MINIMUM 40% SHALL BE NATIVE 48 TREES/PALMS X 50% = MAX 24 TREES OF SAME GENUS 48 TREES/PALMS X 40% = 19 NATIVE TREES/PALMS		MAX 24 TREES 19 TREES/PALMS	11 TREES (QV,LG) 21 (44%) TREES/PALMS
SRAC-SA CHAPTER 2 STREET TREES SHALL BE PROVIDED AT A RATIO OF ONE LARGE TREE PER 30' OF STREET FRONTAGE OR ONE ORNAMENTAL/PALM TREE PER 20' OF STREET FRONTAGE, NOT SUBTRACTING INGRESS/EGRESS DIMENSIONS. NORTH FRONTAGE: 175 LF / 20 LF = 9 TREES EAST FRONTAGE: 440 LF / 30 LF = 15 TREES SOUTH FRONTAGE: 175 LF / 20 LF = 9 TREES WEST FRONTAGE: 440 LF / 30 LF = 15 TREES		9 TREES 15 TREES 9 TREES 15 TREES	3 TREES + 9 PALMS 11 TREES + 4 PALMS 6 TREES + 3 PALMS 9 TREES

PLANTING NOTES:

- CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND ALL CONTRACT DOCUMENTS FOR FURTHER AND COMPLETE INSTRUCTIONS.
- PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING.
- PLANT SIZES LISTED ARE THE MINIMUM SIZE THAT WILL BE ACCEPTED FOR THAT PLANT.
- ANY SUBSTITUTION IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNERS REPRESENTATIVE BEFORE PLANTING CAN BEGIN.
- CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR INTERFERE WITH EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS.
- CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.
- ALL NEW AND TRANSPLANTED PLANT MATERIAL SHALL BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

PLANT SCHEDULE

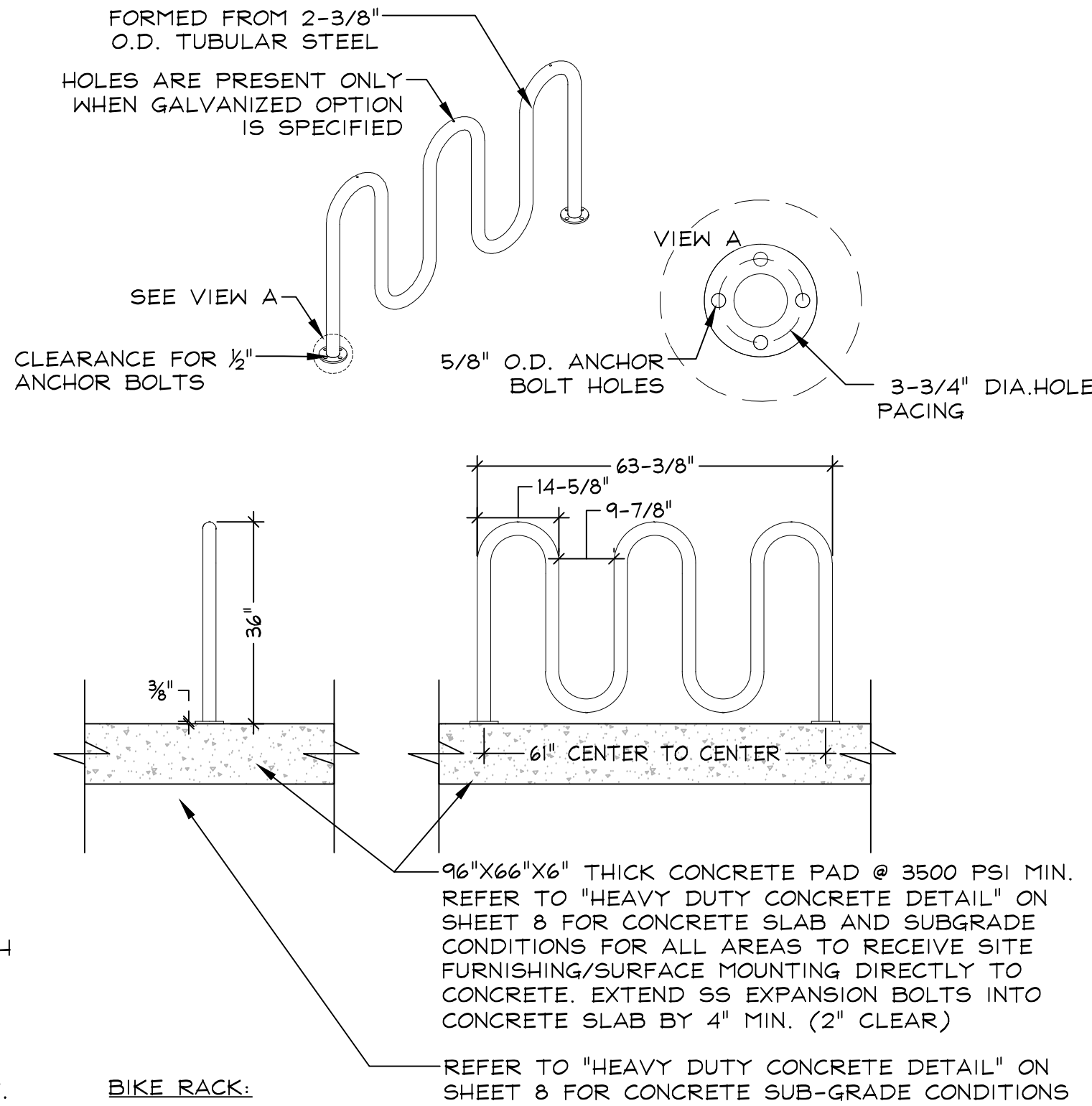
CODE	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT TOL.	QTY
TREES								
CS	Cordia sebestena	Orange Geiger Tree	F.G.	3.5" Cal.	14' HT X 6' SPR	Yes	Yes	6
LG	Lagerstroemia indica 'Muskogee'	Muskogee Grape Myrtle	F.G.	3.5" Cal.	14' HT X 6' SPR	No	Yes	11
QV	Quercus virginiana	Southern Live Oak	F.G.	4" Cal.	20' HT X 8' SPR	Yes	Yes	11
QVR	Quercus virginiana	Southern Live Oak	Relocated					4
PALM TREES								
PE	Ptychosperma elegans	Alexander Palm	F.G.		14' CT	No	Yes	10
PE2	Ptychosperma elegans	Alexander Palm	F.G.		8' CT	No	Yes	7
CODE	BOTANICAL NAME	COMMON NAME	CONT	O.C.	SIZE	NATIVE	DROUGHT TOL.	QTY
SHRUBS								
AZ	Alpinia zerumbet	Shell Ginger	Cont.	24" O.C.	30" HT x 24" SPR	No	Low	14
CA	Cordyline fruticosa 'Auntie Lou'	Auntie Lou Ti Plant	Cont.	36" O.C.	3-4' HT	No	Yes	26
CR	Clusia rosea	Clusia	Cont.	36" O.C.	30" HT x 24" SPR	Yes	Yes	64
CV	Codiaeum variegatum 'Mammy'	Mammy Croton	5 gal	24" O.C.	18"x18"	No	Low	96
PM	Podocarpus macrophyllus 'Pringles'	Dwarf Podocarpus	Cont.	24" O.C.	24" HT x 20" SPR	No	Yes	78
GROUND COVERS								
DT	Dianella tasmanica	Flax Lily	Cont.	18" O.C.	12"x12"	No	Yes	529
FG	Ficus microcarpa 'Green Island'	Green Island Ficus	Cont.	18" O.C.	15"x15"	No	Yes	534
ID	Ilex vomitoria 'Schillings Dwarf'	Schillings Dwarf Yaupon Holly	Cont.	24" O.C.	18"x18"	Yes	Yes	224



A TREE GRATE - RECTANGLE
PLAN

TREE GRATE - RECTANGLE

- MANUFACTURER: IRONSMITH
WWW.IRONSMITH.CO
(800) 338-4766
- MODEL: GRATE - 4850 OLYMPIAN
FRAME - 48x48F
- SIZE: 48" X 48"IN 2 SECTIONS
1/4" MAXIMUM SLOT OPENINGS
24" TREE OPENING
- COLOR: YELLOW BRASS
- FINISH: STANDARD BRUSH FINISH
- NOTES:
- INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 - TREAT ALL BRASS WITH THE FOLLOWING TARNISH TO BRONZE:
 - SULFURATED POTASH - GRAPE SIZED CLUMP, CRUSHED W/ DISTILLED WATER - 1 PINT
 - APPLY EVENLY WITH A SPRAYER AND LET DRY. RINSE WITH COOL WATER.
 - CONTRACTOR TO REPEAT PROCESS UNTIL TARNISHING REACHES OWNER-DESIRED DARKNESS, UP TO FOUR TREATMENTS.
 - OUTER FRAME DIMENSION IS 3/4" ± 1/8" GREATER THAN THE GRATE
 - ESTIMATED QUANTITY - 30



BIKE RACK:

- MANUFACTURER: VICTOR STANLEY (WWW.VICTORSTANLEY.COM)
FLORENCE GBNRO - florenceg@victorstanley.com
- MODEL: BRCS-105, CYCLE SENTRY
- COLOR/FINISH: BLACK
- INSTALLATION: SURFACE MOUNT IN FOOTING PER MANUFACTURER'S SPECIFICATION USING SS TAMPER RESISTANT EXPANSION BOLTS.
- MINIMUM QUANTITY: 1
- OWNER TO CONFIRM SELECTION FROM MANUFACTURER'S FULL RANGE

B BIKE RACK
NTS



Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.

Check positive response codes before you dig!

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON THE NAVD 88. TO CONVERT ELEVATIONS TO NGVD 29, ADD 1.59'. CONVERSION FACTOR OBTAIN FROM WWW.ARCGIS.COM



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235

WWW.BECKARCHITECTURE.COM



THOMAS HARGRETT, PLA
FL REGISTRATION #6667512

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR
CONSTRUCTION.

5/1/2025

CURRENT SUBMISSION: DRC RESUBMISSION #3

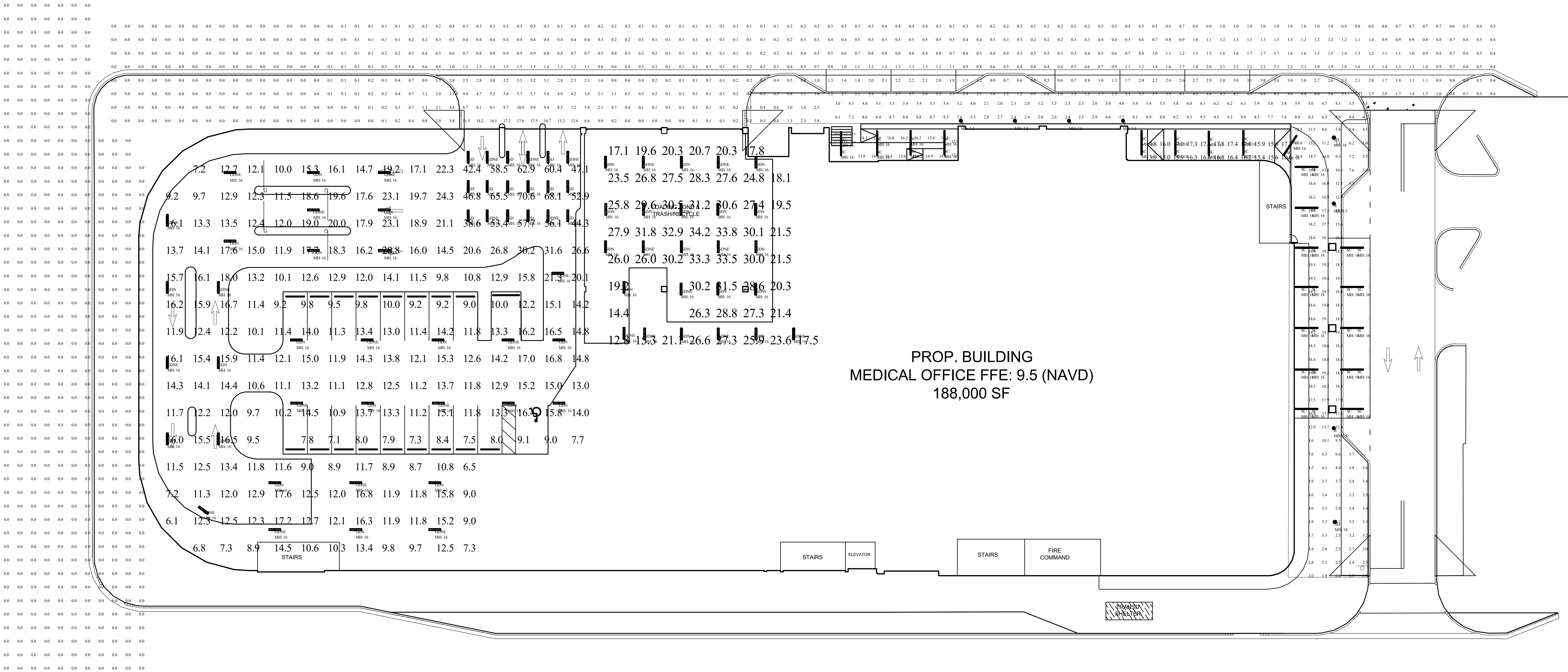
#	DATE	SUBMISSION
A	12/12/25	DRC SUBMISSION
B	02/17/25	SCHEMATIC DESIGN
C	03/21/25	DRC RESUBMISSION #1
D	04/24/25	DESIGN DEVELOPMENT - CS
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

BROWARD HEALTH
MEDICAL CENTER -
MOB & PARKING
GARGAGE

LANDSCAPE DETAILS

175309
JOB NO.

L101.0
SHEET



Legend						
Symbol	Qty	Label	Description	Foot-candle	Foot-candle	Foot-candle
○	1	1" Light	1" Light	1.0	1.0	1.0
○	1	2" Light	2" Light	2.0	2.0	2.0
○	1	4" Light	4" Light	4.0	4.0	4.0
○	1	6" Light	6" Light	6.0	6.0	6.0
○	1	8" Light	8" Light	8.0	8.0	8.0
○	1	10" Light	10" Light	10.0	10.0	10.0
○	1	12" Light	12" Light	12.0	12.0	12.0
○	1	14" Light	14" Light	14.0	14.0	14.0
○	1	16" Light	16" Light	16.0	16.0	16.0
○	1	18" Light	18" Light	18.0	18.0	18.0
○	1	20" Light	20" Light	20.0	20.0	20.0
○	1	22" Light	22" Light	22.0	22.0	22.0
○	1	24" Light	24" Light	24.0	24.0	24.0
○	1	26" Light	26" Light	26.0	26.0	26.0
○	1	28" Light	28" Light	28.0	28.0	28.0
○	1	30" Light	30" Light	30.0	30.0	30.0
○	1	32" Light	32" Light	32.0	32.0	32.0
○	1	34" Light	34" Light	34.0	34.0	34.0
○	1	36" Light	36" Light	36.0	36.0	36.0
○	1	38" Light	38" Light	38.0	38.0	38.0
○	1	40" Light	40" Light	40.0	40.0	40.0
○	1	42" Light	42" Light	42.0	42.0	42.0
○	1	44" Light	44" Light	44.0	44.0	44.0
○	1	46" Light	46" Light	46.0	46.0	46.0
○	1	48" Light	48" Light	48.0	48.0	48.0
○	1	50" Light	50" Light	50.0	50.0	50.0
○	1	52" Light	52" Light	52.0	52.0	52.0
○	1	54" Light	54" Light	54.0	54.0	54.0
○	1	56" Light	56" Light	56.0	56.0	56.0
○	1	58" Light	58" Light	58.0	58.0	58.0
○	1	60" Light	60" Light	60.0	60.0	60.0
○	1	62" Light	62" Light	62.0	62.0	62.0
○	1	64" Light	64" Light	64.0	64.0	64.0
○	1	66" Light	66" Light	66.0	66.0	66.0
○	1	68" Light	68" Light	68.0	68.0	68.0
○	1	70" Light	70" Light	70.0	70.0	70.0
○	1	72" Light	72" Light	72.0	72.0	72.0
○	1	74" Light	74" Light	74.0	74.0	74.0
○	1	76" Light	76" Light	76.0	76.0	76.0
○	1	78" Light	78" Light	78.0	78.0	78.0
○	1	80" Light	80" Light	80.0	80.0	80.0
○	1	82" Light	82" Light	82.0	82.0	82.0
○	1	84" Light	84" Light	84.0	84.0	84.0
○	1	86" Light	86" Light	86.0	86.0	86.0
○	1	88" Light	88" Light	88.0	88.0	88.0
○	1	90" Light	90" Light	90.0	90.0	90.0
○	1	92" Light	92" Light	92.0	92.0	92.0
○	1	94" Light	94" Light	94.0	94.0	94.0
○	1	96" Light	96" Light	96.0	96.0	96.0
○	1	98" Light	98" Light	98.0	98.0	98.0
○	1	100" Light	100" Light	100.0	100.0	100.0

Legend						
Label	Qty	Label	Description	Foot-candle	Foot-candle	Foot-candle
1" Light	1	1" Light	1" Light	1.0	1.0	1.0
2" Light	1	2" Light	2" Light	2.0	2.0	2.0
4" Light	1	4" Light	4" Light	4.0	4.0	4.0
6" Light	1	6" Light	6" Light	6.0	6.0	6.0
8" Light	1	8" Light	8" Light	8.0	8.0	8.0
10" Light	1	10" Light	10" Light	10.0	10.0	10.0
12" Light	1	12" Light	12" Light	12.0	12.0	12.0
14" Light	1	14" Light	14" Light	14.0	14.0	14.0
16" Light	1	16" Light	16" Light	16.0	16.0	16.0
18" Light	1	18" Light	18" Light	18.0	18.0	18.0
20" Light	1	20" Light	20" Light	20.0	20.0	20.0
22" Light	1	22" Light	22" Light	22.0	22.0	22.0
24" Light	1	24" Light	24" Light	24.0	24.0	24.0
26" Light	1	26" Light	26" Light	26.0	26.0	26.0
28" Light	1	28" Light	28" Light	28.0	28.0	28.0
30" Light	1	30" Light	30" Light	30.0	30.0	30.0
32" Light	1	32" Light	32" Light	32.0	32.0	32.0
34" Light	1	34" Light	34" Light	34.0	34.0	34.0
36" Light	1	36" Light	36" Light	36.0	36.0	36.0
38" Light	1	38" Light	38" Light	38.0	38.0	38.0
40" Light	1	40" Light	40" Light	40.0	40.0	40.0
42" Light	1	42" Light	42" Light	42.0	42.0	42.0
44" Light	1	44" Light	44" Light	44.0	44.0	44.0
46" Light	1	46" Light	46" Light	46.0	46.0	46.0
48" Light	1	48" Light	48" Light	48.0	48.0	48.0
50" Light	1	50" Light	50" Light	50.0	50.0	50.0
52" Light	1	52" Light	52" Light	52.0	52.0	52.0
54" Light	1	54" Light	54" Light	54.0	54.0	54.0
56" Light	1	56" Light	56" Light	56.0	56.0	56.0
58" Light	1	58" Light	58" Light	58.0	58.0	58.0
60" Light	1	60" Light	60" Light	60.0	60.0	60.0
62" Light	1	62" Light	62" Light	62.0	62.0	62.0
64" Light	1	64" Light	64" Light	64.0	64.0	64.0
66" Light	1	66" Light	66" Light	66.0	66.0	66.0
68" Light	1	68" Light	68" Light	68.0	68.0	68.0
70" Light	1	70" Light	70" Light	70.0	70.0	70.0
72" Light	1	72" Light	72" Light	72.0	72.0	72.0
74" Light	1	74" Light	74" Light	74.0	74.0	74.0
76" Light	1	76" Light	76" Light	76.0	76.0	76.0
78" Light	1	78" Light	78" Light	78.0	78.0	78.0
80" Light	1	80" Light	80" Light	80.0	80.0	80.0
82" Light	1	82" Light	82" Light	82.0	82.0	82.0
84" Light	1	84" Light	84" Light	84.0	84.0	84.0
86" Light	1	86" Light	86" Light	86.0	86.0	86.0
88" Light	1	88" Light	88" Light	88.0	88.0	88.0
90" Light	1	90" Light	90" Light	90.0	90.0	90.0
92" Light	1	92" Light	92" Light	92.0	92.0	92.0
94" Light	1	94" Light	94" Light	94.0	94.0	94.0
96" Light	1	96" Light	96" Light	96.0	96.0	96.0
98" Light	1	98" Light	98" Light	98.0	98.0	98.0
100" Light	1	100" Light	100" Light	100.0	100.0	100.0

LIGHT SPILLAGE NOTE:

BUILDING DOES NOT ABUT TO ANY ADJACENT RESIDENTIAL PROPERTIES ALONG ITS PROPERTY LINE, THEREFORE IT DOES NOT REPRESENT A LIGHT SPILLAGE NUISANCE.



BECK ARCHITECTURE
501 EAST LAS OLAS BLVD.
SUITE 200 AND 300
FORT LAUDERDALE, FL 33301
PH: 754-799-2235
WWW.BECKARCHITECTURE.COM



BR+A CONSULTING ENGINEERS, LLC
2600 Douglas Road, Suite 700
Coral Gables, FL 33134
305.529.1515
brplusa.com

CARLOS E. JIMENEZ
STATE REGISTRATION
#47923

INCOMPLETE DOCUMENTS
FOR INTERIM REVIEW
(ONLY. NOT FOR
REGULATORY APPROVAL,
PERMIT, OR CONSTRUCTION.

ENGINEER SEAL 05/02/25

CURRENT SUBMISSION/DRC RESUBMISSION #3

#	DATE	SUBMISSION
A	12/12/24	DRC SUBMISSION
C	03/21/25	DRC RESUBMISSION #1
E	04/25/25	DRC RESUBMISSION #2
F	05/02/25	DRC RESUBMISSION #3

Broward Health Main
Campus - MOB

SITE PLAN -
PHOTOMETRIC
STUDIES

175309
JOB NO.

E-100
SHEET

