

**Legend:**

- AREA OF WORK (NOT HATCHED)
- NOT PART OF THIS PERMIT (HATCHED AREA)
- EXISTING WALLS/PARTITIONS
- EXISTING TO BE DEMOLISHED
- NEW PARTITION WALLS
- NEW INSULATION PARTITION WALLS
- NEW EXTERIOR MASONRY WALLS
- NEW REINF. CONC COLUMN
- WALL TYPE TAG
- DOOR TAG
- WINDOW TAG
- EQUIPMENT TAG
- FIRE EXTINGUISHER
- EMERGENCY EXIT SIGN
- EXISTING
- NEW
- REPLACE/RELOCATE
- ELECTRICAL PANEL

**Notes:**

- THIS SET OF DRAWINGS IS FOR INTERIOR PERMIT WORK.
- CONTRACTOR TO VERIFY EXISTING AND NEW CONDITIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO ANY WORK.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SECURE ANY ADDITIONAL DATA REQUIRED TO OBTAIN SAID PERMITS PER BUILDING DEPARTMENT REGULATIONS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FIELD SUPERVISION CONSTRUCTION ADMINISTRATION AND REVIEW AND APPROVAL OF ALL SUBMITTALS AND SHOP DRAWINGS FROM SUPPLIERS AND SUBCONTRACTORS.
- IT IS THE CONTRACTOR AND OWNER/TENANT RESPONSIBILITY TO ENSURE THAT ALL CONSTRUCTION IS PERFORMED IN THE STRICTEST COMPLIANCE WITH THESE CONSTRUCTION DOCUMENTS, SPECIFICATIONS AND CODES.
- AT COMPLETION OF PROJECT OR WORK, THE CONTRACTOR SHALL CLEAN OR RE-CLEAN THE ENTIRE WORK OF ALL CONSTRUCTION DEBRIS AND REMOVE SAME FROM SITE TO LEAVE WORK IN A MANNER FIT FOR THIS TYPE OF BUILDING OCCUPANCY, REMOVE ALL TEMPORARY PROTECTION AND LABELS IF ANY. CLEAN EXPOSED SURFACES, TOUCH UP MINOR DAMAGE AND SWEEP AND WASH PAVED AREAS IF SAID AREA DAMAGE OR DEBRIS ACCUMULATION HAS BEEN CAUSED BY THE CONTRACTOR DURING THE COURSE OF THE WORK. DURING CONSTRUCTION CONTRACTOR SHALL AT ALL TIMES ENSURE THE EXTERIOR SITE REMAINS FREE OF DEBRIS, SAFE FROM OBSTACLE, ETC TO MAINTAIN SAFE USE FOR OTHER TENANTS IN THE BUILDING. ANY EXTERIOR SITE USAGES FOR STORING, CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM LANDLORD AND OTHER TENANTS.
- CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED IN PARTITIONS BEHIND ALL INTERIOR PARTITIONS WHERE SHELVING & CABINET ACCESSORIES ARE TO BE INSTALLED. CONTRACTOR TO COORDINATE EXACT LOCATION WITH TENANT.
- ALL FLOOR AREAS EXISTING AND NEW SHALL BE CLEANED OF OIL OR OTHER LIQUIDS WHICH MAY HAVE PENETRATED FLOOR SLAB. FLOOR SHALL BE SANDED AND MADE LEVEL WHERE NECESSARY TO RECEIVE NEW FLOORING MATERIALS BE IT VINYL TILE, CARPET, CERAMIC TILE OR WOOD.
- CONCRETE SLAB REPAIR TO EXISTING ALL CUT SLABS - 4" CONC. WITH (1) #3 @ 18" O.C. DOWEL & EPOXY MIN. 4" INTO EXISTING SLAB. REINFORCEMENT LOCATED IN MIDDLE.
- CONTRACTOR TO ENSURE AND COORDINATE ALL EQUIPMENTS, FITTINGS, CABINETS AND SERVING STRUCTURAL, STRUCTURAL & MEP DRAWINGS. ALL DISCREPANCIES IN DRAWINGS SHALL BE REPORTED TO ARCHITECT AND VERIFIED PRIOR TO INSTALLATION/WORK CARRIED OUT.
- CONTRACTOR TO COORDINATE ALL INTERIOR BUILT-INS AND INTERIOR FINISHES, (FLOORING, CEILINGS, BLINDS, PAINT, PLASTIC LAMINATING, ETC.) TYP. COLOR AND STYLE WITH OWNER/TENANT PRIOR TO FABRICATION AND OR INSTALLATION.
- FLAMMABLE AND COMBUSTIBLE MATERIALS IF USED DURING CONSTRUCTION, SHALL BE HANDLED AND STORED IN ACCORDANCE WITH NFPA 30.
- AISLES OF NOT LESS THAN 44" IN WIDTH SHALL BE ESTABLISHED TO PROVIDE ACCESS TO EXITS.
- CONTRACTOR TO ENSURE/VERIFY EXISTING POWER SUPPLY AVAILABLE IS ADEQUATE FOR PROPOSED NEW LIGHTING, ETC.
- CONTRACTOR TO PROVIDE ALL REQUIRED SAFEGUARDS AS PER THE FLORIDA FIRE PREVENTION CODE (SIXTH EDITION), SECTION 16.4.
- EGRESS DOORS TO BE EASILY OPERABLE AND WILL NOT REQUIRE A KEY OR ANY SPECIAL KNOWLEDGE TO OPERATE THE DOORS FROM THE EGRESS SIDE.
- ALL INTERIOR FINISHES TO COMPLY WITH THE FLORIDA FIRE PREVENTION CODE (SIXTH EDITION), SECTION 10.2.2.
- ANY AND ALL WOOD FINISHES UTILIZED ON THE PROJECT TO BE FIRE RETARDANT.
- NEW FLOORING TO BE SLIP RESISTANT AND LEVEL AS PER CHAPTER 7 OF THE FLORIDA FIRE PREVENTION CODE (SEVENTH EDITION), NFPA 101.
- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AS DOCUMENTED DUE TO UNCOMPLETED AND TEMPORARY WORK PREVIOUSLY COMPLETED.
- ALL DIMENSIONS AS SHOWN ON THE PLANS ARE TO STRUCTURE UNLESS OTHERWISE NOTED. ALL FINISH ROOM DIMENSIONS SHALL BE SHOWN AT LEAST 2" LESS THAN SHOWN ON THESE DRAWINGS, AND WILL BE SHOWN ON THE PLANS AS SUCH.
- ALL EXISTING CONDITIONS SHOWN ON DRAWINGS ARE ACCURATE TO THE BEST OF OUR KNOWLEDGE. IN THE EVENT OF ANY INCONSISTENCY NOTIFY THE ARCHITECT.
- ANY EXPOSED STEEL LEFT EXPOSED DURING DEMOLITION OR CONSTRUCTION SHALL BE PATCHED AND FIRE PROOFED.

**Door Schedule:**

DOOR NO.	TYPE	ROOM NAME	SIZE		DOOR		FRAME		HARDWARE	REMARKS
			W x H	THK.	MAT.	FINISH	MAT.	FINISH		
1	B	FOOD PREP AREA	3'-0" x 8'-0"	1 1/2"	MTL	PTD	HM	PTD	12,15,16,18	DOUBLE ACTING DOOR W/ SPRING HINGE CLOSER
2	A	MOP SINK CLOSET	3'-0" x 8'-0"	1 1/2"	WDSC	PTD	HM	PTD	1,3,7	
3	C	STORAGE	(PAIR) 2'-0" x 8'-0"	1 1/2"	WDSC	PTD	HM	PTD	1,3,7	
4	A	ADA BATHROOM	3'-0" x 8'-0"	1 1/2"	WDSC	PTD	HM	PTD	1,3,5	
5	A	ADA BATHROOM	3'-0" x 8'-0"	1 1/2"	WDSC	PTD	HM	PTD	1,3,5	
6	A	OFFICE	3'-0" x 8'-0"	1 1/2"	WDSC	PTD	HM	PTD	1,3,5	
E	EXISTING DOORS/FRAMES TO REMAIN									

**ABBREVIATIONS**  
 AL- ALUMINUM  
 BR- BRONZE  
 CLR- CLEAR  
 ESP- ELECTROSTATIC PAINT  
 FBGL- FIBERGLASS  
 GALVM- GALVANIZED METAL  
 GL- GLASS  
 HM- HOLLOW METAL  
 IM- IMPACT RESISTANT

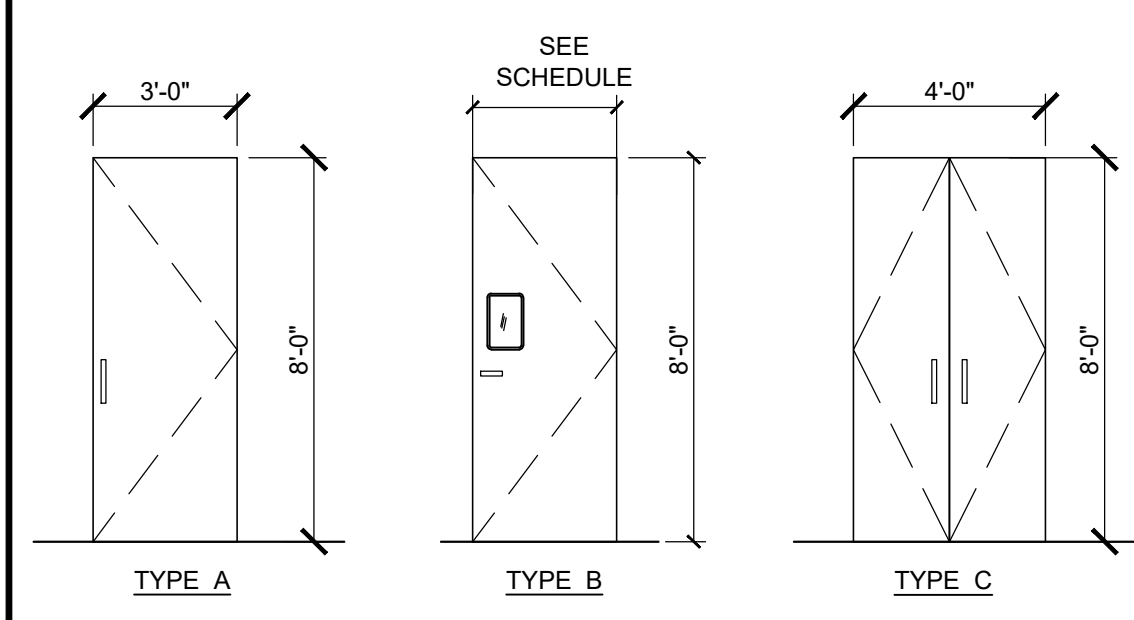
**MTL- METAL**  
 PTD- PAINTED  
 SS- STAINLESS STEEL  
 STL- STEEL  
 STND- STAINED  
 TME- TO MATCH EXISTING  
 TEM- TEMPERED SAFETY GLASS  
 WD- WOOD  
 WDHC- WOOD HOLLOW CORE  
 WDSC- WOOD SOLID CORE

**HARDWARE**  
 1. 1 1/2 PAIR STANDARD HINGES  
 2. 2 PAIR BALL BEARING HINGES  
 3. SELF CLOSER  
 4. ENTRY LOCKSET  
 5. PRIVACY LOCKSET  
 6. PASSAGE LOCKSET  
 7. STOREROOM LOCKSET  
 8. DEADBOLT  
 9. PANIC HARDWARE - PUSH BAR  
 10. VISION PANEL

11. EDGE PULL W/ HANDLE  
 12. 18" SS KICK PLATE BOTH SIDES  
 13. SECURITY DOOR LOCK W/ MAGNETIC LOCKSET  
 14. PULL/PUSH HANDLE  
 15. PAIR DOUBLE ACTION SWING HINGES WITH SELF CLOSING SPRING  
 16. 3/8" FROSTED TEMPERED SAFETY GLASS VISION PANEL  
 17. 3/8" CLEAR TEMPERED SAFETY GLASS  
 18. DOOR SWING STOP

**NOTES:**

- ALL WOOD TO BE SOLID CORE, BIRCH FINISH STAIN GRADE
- ALL LOCKSET TO BE SCHLAGE 'F' SERIES. BRUSH STAINLESS STEEL DOOR HINGES 1 1/2" PAIR BUTT HINGES UNLESS OTHERWISE STATED IN SCHEDULE
- ALL DOOR MOULDING TO BE 3/2" PAINTED TIMBER.
- PAINTED DOORS TO BE FINISHED IN PAINT. FINISH COLOR TO BE AGREED UPON BY OWNER AND ARCHITECT.



**Kitchen Equipment Schedule:**

KITCHEN EQUIPMENT SCHEDULE					
NO.	QTY.	DESCRIPTION	MANUFACTURER	MODEL No.	REMARKS
1	1	FLAVOR 2-GO LOCKER SYSTEM, FLOOR MOUNT	HATCO	F2Q-24-C	
2	2	SANDWICH/SALAD PREPARATION REFRIGERATOR	BISON REFRIGERATION	BST-48	
3	2	HOT SERVING COUNTER/TABLE	ATOSA USA	CSTEA-3C	
4	1	POS SYSTEM	TBD	TBD	
5.1	1	RANGE, STOCK POT - (1) BURNER	ATOSA USA	ATSP-18-1	
5.2	1	RANGE, STOCK POT - (2) BURNERS	ATOSA USA	ATSP-18-2	
6	2	GAS FRYER	ATOSA USA	ATFS-40	
7	2	36" 4-BURNER RANGE W/ 12" GRIDDLE	SERV-WARE	SGR-4B-12G	
8	-	NOT USED	-	-	
9	1	IN-COUNTER HAND SINK	KROWNE	HS-1225	WITH KROWNE 15-306L DECK MOUNT FAUCET
10	1	SALAD/PREP SINK	KROWNE	HS-2017	WITH KROWNE 15-308L DECK MOUNT FAUCET
11	1	3-COMPARTMENT SINK	ATOSA USA, INC.	MRSA-3-D	WITH KROWNE 17-108VL FAUCET
12	1	WALL MOUNTED HAND SINK	KROWNE	HS-26L	WITH KROWNE 15-306L DECK MOUNT FAUCET
13	1	3-DOOR REACH-IN REFRIGERATOR	ATOSA USA	MBF8508GR	
14	1	2-DOOR REACH-IN FREEZER	ATOSA USA	MBF8503GR	
15	3	WIRE SHELVING - 18" W. x 48" L. x 75" H.	TBD	TBD	BY SPECIALTY MANUFACTURER
16	1	PREP TABLE - 12" W. x 30" L. x 34" H.	TBD	TBD	BY SPECIALTY MANUFACTURER

**Finishes Schedule:**

ROOM NAME	FLOOR		WALLS		CEILING		REMARKS
	6" BASE	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
SALES/CUSTOMER AREA	VT	VT	GWB	PTD/SS	ACT	PTD	2'X2' ACT TILE
ADA RESTROOMS	CT	CT	DENS	CT/PTD	GWB	PTD	GWB
COOKING & PREP AREAS	VT	QT	DENS/FRP	SS/FRP	ACT	SF	VINYL 2'X4' ACT TILE
OFFICE	VT	VT	GWB	PTD	ACT	PTD	2'X2' ACT TILE
STORAGE	VT	VT	GWB	PTD	ACT	PTD	2'X2' ACT TILE
MOP SINK CLOSET	VT	VT	DENS/FRP	PTD/FRP	ACT	PTD	2'X2' ACT TILE
CORRIDOR	VT	VT	GWB	PTD/SS	ACT	PTD	2'X2' ACT TILE

**NOTES:**

- ALL WALLS SHALL BE PAINTED CUSTOM COLORS AS SELECTED BY THE ARCHITECT/OWNER.
- ALL CERAMIC & PORCELAIN TILE COLORS AND TEXTURE SHALL BE AS SELECTED BY ARCHITECT/OWNER.
- ALL INTERIOR FINISHES AT WALLS AND CEILINGS SHALL BE CLASS A, CLASS B OR CLASS C. EXCEPT IN CORRIDORS SHALL BE CLASS C AS PER FBC TABLE 903.
- STAINLESS STEEL FINISHES SHALL REACH FUME HOODS.
- FRP FINISHES TO REACH TOP OF CEILING.
- ALL INTERIOR FLOOR FINISH SHALL BE NOT LESS THAN CLASS II.
- CEILING IN COOKING & FOOD PREP AREAS SHALL BE ARMSTRONG - CLEAN ROOM MYLAR SMOOTH TEXTURE, UNPERFORATED 2'X4' LAY-IN TILES.
- CEILING: REFER TO REFLECTED CEILING PLAN ON SHEET A3.1 FOR CEILING HEIGHTS.

**ABBREVIATIONS**  
 ACT- ACCUSTICAL CEILING TILE  
 AFF- ABOVE FINISH FLOOR  
 CPT- CARPET  
 CT- CERAMIC TILE  
 DENS - DENS BOARD  
 FRP - FIBER REINFORCED POLYESTER, WHITE  
 GWB- GYPSUM WALLBOARD

HSC- HOMOGENEOUS SEALED CONCRETE  
 MRGWB- MOISTURE RESISTANT GYPSUM WALLBOARD  
 PTD- PAINTED  
 QT- QUARRY TILES  
 VT- VINYL TILE  
 WD- WOOD  
 SS- STAINLESS STEEL  
 SF- SELF FINISH

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THE BLUE TREE CAFE  
 612 "A" NW 9TH AVENUE  
 FORT LAUDERDALE, FLORIDA 33311

**REVISIONS:**

No.	Date	Description
1	01.04.2022	OWNER CHANGES

Date: 11.30.20  
 Principal: SLC  
 Project Manager: SLC  
 Drawn by: LIM  
 Drawing Name:

**PROPOSED FLOOR PLAN**

Drawing No: **A2.2**

Total Sheets: # Issue Date: 04.16.2021  
 Project No: 11920

6/28/2018 10:35 AM Z:\02COMMERCIAL\11920-THE BLUE TREE CAFE, 612 NW 9TH AVENUE, FORT LAUDERDALE\11920-CD\WORKING\CAD\11920 - A2.2.DWG

FBC-2020 - ENERGY CONSERVATION INTERIOR LIGHTING POWER ALLOWANCE CALCULATIONS -						
SPACE TYPE	ALLOWED (W/SQ.FT)	AREA (SQ FT)	ALLOWED (W)	USED (W)	USED WATT	
DINING: CAFETERIA/FAST	0.79	W/SQ.FT x 1112	SQ.FT = 878	WATT	867	WATT
<b>TOTAL = 1112</b>			<b>878</b>		<b>867</b>	

FLORIDA BUILDING CODE 2020 ENERGY CONSERVATION SECTION 405.2 LIGHTING CONTROLS

PROVIDE A CONTACTOR WITH AN ASTRONOMICAL TIME CLOCK TO TURN OFF ALL OTHER LIGHTS AND CONTROLLED RECEPTACLES DURING OFF BUSINESS HOURS.

PROVIDE TIME CLOCK BYPASS SWITCHES AT LOCATIONS SHOWN ON THE PLAN. THE BYPASS SWITCHES MUST BE CAPABLE OF OVERRIDING TIME OF DAY SCHEDULED SHUT-OFF CONTROL FOR NO MORE THAN TWO HOURS AND BE EQUIPPED WITH LED.

THE AUTOMATIC TIME SWITCH CONTROL DEVICE INSTALLED SHALL INCORPORATE AN AUTOMATIC HOLIDAY SCHEDULING FEATURE THAT TURNS OFF ALL LOADS FOR AT LEAST 24 HOURS, THEN RESUMES THE NORMALLY SCHEDULED OPERATION.

ALL EMERGENCY AND EXIT LIGHTS TO BE CONNECTED AHEAD OF ANY SWITCH OR TIME CLOCK.

(LIGHTING INTENDED FOR 24HR OPERATION IS EXEMPT FROM THE REQUIREMENTS OF THIS CODE.)

CIRCUITS ON AUTOMATIC TIME SWITCH:

B-14.

SIGN: B-10.

RECEPTACLES ON TIME CLOCK: B-15.

THIS DESIGN COMPLIES WITH THE REQUIREMENTS OF ASHRAE 90.1 (2013) SECTION 8 AS ADOPTED BY THE FIFTH EDITION (2014) FLORIDA BUILDING CODE IN THE ENERGY CODE (FBC CE 405).

AUTOMATIC RECEPTACLE CONTROL AT LEAST 50% OF ALL 120V 15 AND 20 AMPERE RECEPTACLES, INCLUDING THOSE INSTALLED IN MODULAR PARTITIONS AND IN THE FOLLOWING SPACES:

PRIVATE OFFICES, CONFERENCE ROOMS, PRINTING AND COPYING, BREAK ROOMS, CLASS ROOMS AND INDIVIDUAL WORKSTATIONS SHALL BE CONTROLLED BY AN AUTOMATIC CONTROL DEVICE THAT SHALL FUNCTION ON:

A. A SCHEDULED BASIS USING A TIME OF DAY OPERATED CONTROL DEVICE THAT TURNS RECEPTACLES OFF AT SPECIFIC PROGRAMMED TIMES AND INDEPENDENT PROGRAM SCHEDULE SHALL BE PROVIDED FOR AREAS OF NO MORE THAN 25000 SQ FT BUT NO MORE THAN ONE FLOOR, OR

B. AN OCCUPANT SENSOR THAT SHALL TURN RECEPTACLES OFF WITHIN 30 MINUTES OF ALL OCCUPANTS LEAVING A SPACE, OR

C. A SIGNAL FROM ANOTHER CONTROL OR ALARM SYSTEM THAT INDICATES THE AREA IS UNOCCUPIED.

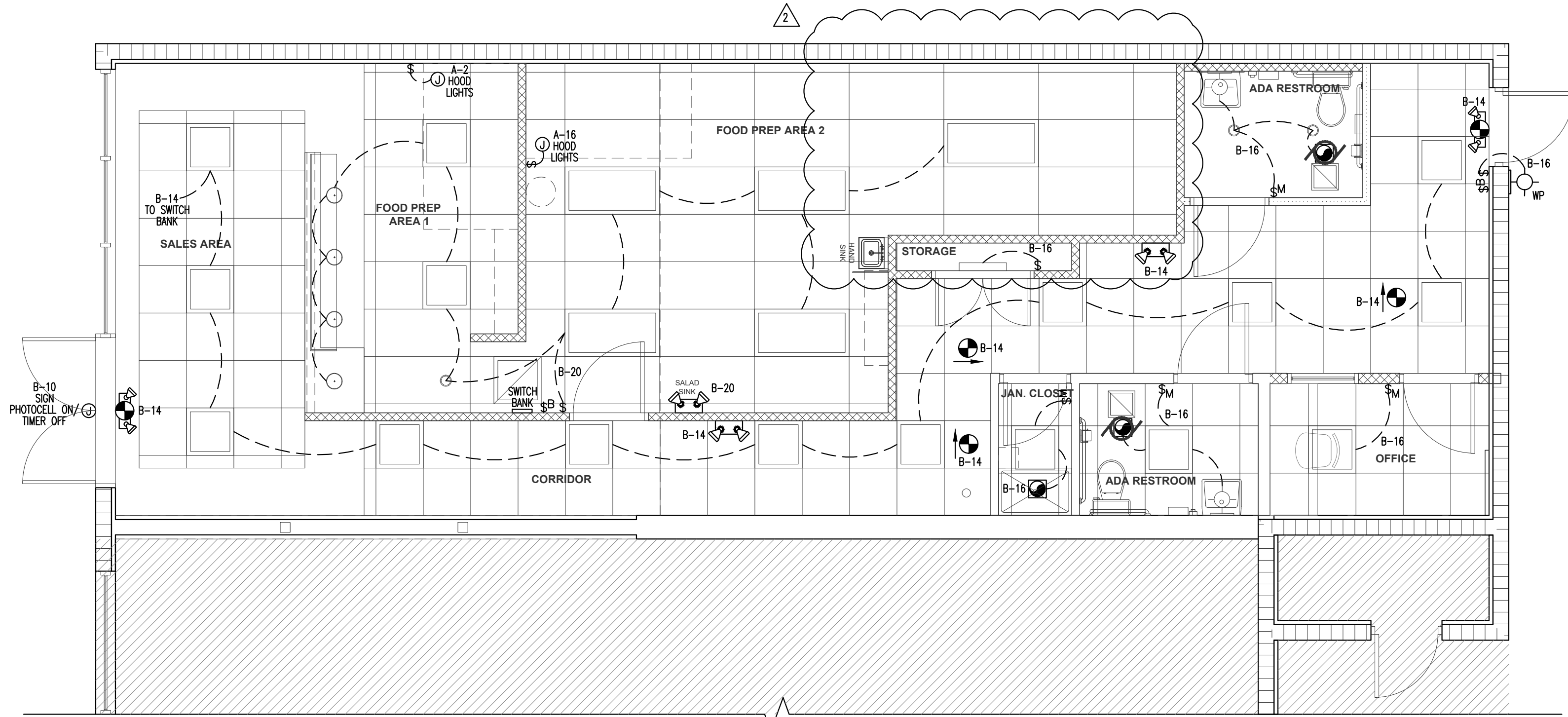
EXCEPTIONS:

RECEPTACLES FOR THE FOLLOWING SHALL NOT REQUIRE AN AUTOMATIC CONTROL DEVICE:

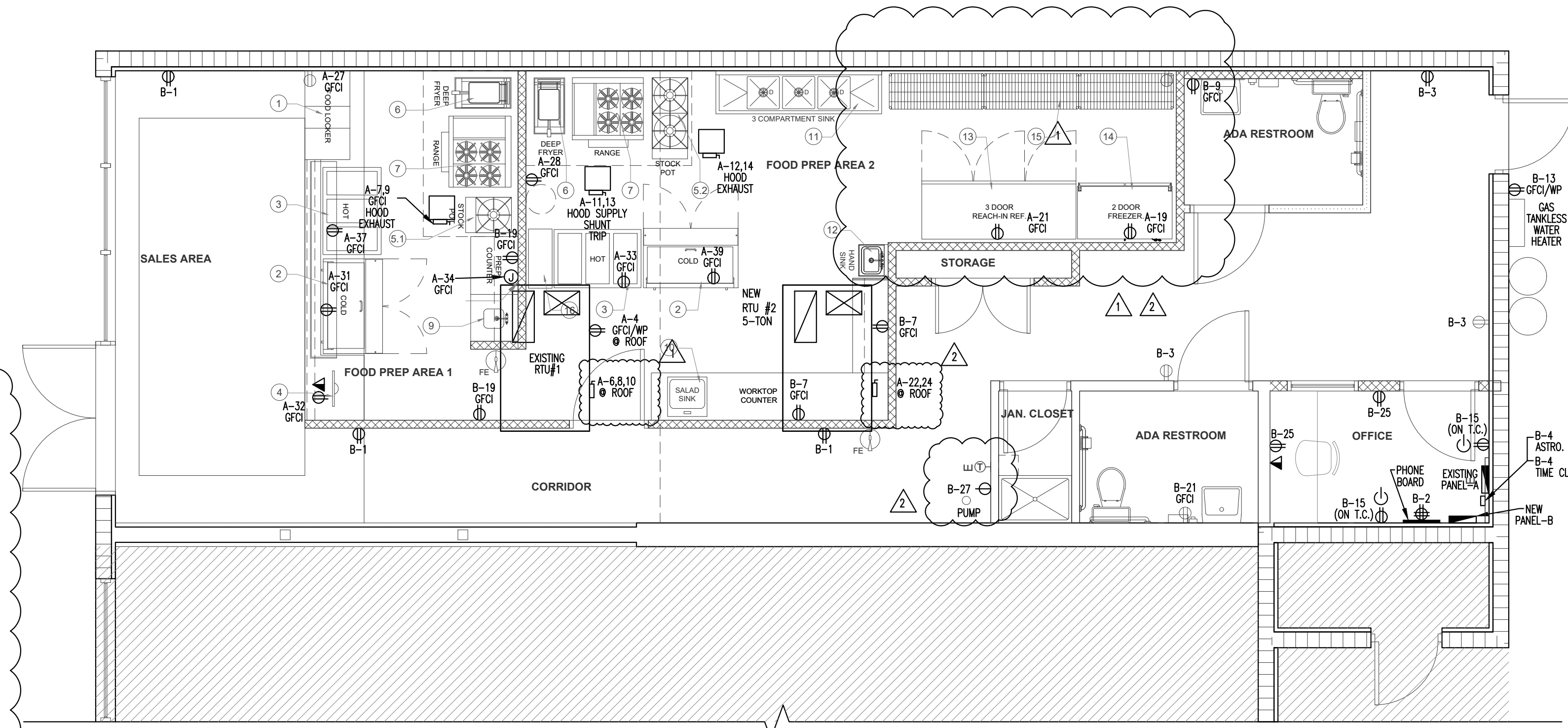
A. RECEPTACLES SPECIFICALLY DESIGNATED FOR EQUIPMENT REQUIRING 24 HOUR OPERATION.

B. SPACES WHERE AN AUTOMATIC SHUTOFF WOULD ENDANGER THE SAFETY OR SECURITY OF THE ROOM OR BUILDING OCCUPANT(S).

ELECTRICAL SYMBOL LEGEND	
	RECEPTACLE DUPLEX 120V
	DEDICATED SPECIAL RECEPTACLE 120V
	RECEPTACLE CEILING
	FLOOR RECEPTACLE
	QUAD RECEPTACLE
	220V RECEPTACLE
	ON T.C. RECEPT. ON TIME CLOCK PER ASHRAE 90.1, 8.4.
	DISCONNECT SWITCH
	ELECTRICAL PANEL
	COMPUTER/PHONE JACK
	WEATHER PROOF
	WEATHER RESISTANT
	GROUND FAULT CURRENT INTERRUPTER
	JUNCTION BOX
	2'x2' LIGHT FIXTURE, 34 WATTS MAX.
	2'x4' LIGHT FIXTURE, 34 WATTS MAX.
	12" DIA. LOW-BAY LIGHT FIXTURE, 25 WATTS MAX.
	LED DOWNLIGHT FIXTURE, 11 WATTS MAX.
	WALL MOUNTED LIGHT FIXTURE, 11 WATTS MAX.
	4'x2' WALL MOUNTED LIGHT FIXTURE, 32 WATTS MAX.
	EMERGENCY LIGHT WITH BATTERY BACK UP.
	EXIT LIGHT WITH BATTERY BACK UP, NOT MORE THAN 5W PER FACE.
	COMBO EMERGENCY/EXIT LIGHT WITH BATTERY BACK UP, NOT MORE THAN 5W PER FACE.
	EXHAUST FAN
	SWITCH
	3 WAY SWITCH
	4 WAY SWITCH
	TIME CLOCK BYPASS SWITCH (MAX 2 HOURS OVERRIDE)
	OCCUPANT SENSOR, TURNS LIGHTS OFF WITHIN 30 MINUTES AFTER OCCUPANT LEAVES SPACE. WHEN MULTIPLE OCCUPANT SENSORS ARE USED ON ONE LIGHTING CIRCUIT, ANY OCCUPANT SENSOR ACTIVATION WILL TURN ON LIGHTS FOR THAT LIGHTING CIRCUIT FOR 30 MINUTES MAXIMUM.
	ULTRASONIC CEILING MOUNTED OCCUPANCY SENSOR, TURNS LIGHTS OFF WITHIN 30 MINUTES AFTER OCCUPANT LEAVES SPACE. WHEN MULTIPLE MOTION SENSORS ARE USED ON ONE LIGHTING CIRCUIT, ANY OCCUPANCY SENSOR ACTIVATION WILL TURN ON LIGHTS FOR THAT LIGHTING CIRCUIT FOR 30 MINUTES MAXIMUM.
NOTE: OCCUPANCY SENSOR SHALL BE SELECTED TO PROVIDE FULL COVERAGE FOR THE AREA IT SERVES.	
NOTE: ALL RECEPTACLES TO BE 15" AFF TO BOTTOM OF RECEPTACLE UNLESS NOTED OTHERWISE OR ABOVE COUNTER.	
ALL SWITCHES TO BE 48" AFF TO TOP OF SWITCH UNLESS NOTED OTHERWISE.	



**LIGHTING PLAN**  
SCALE: 1/4" = 1'-0"



**POWER PLAN**  
SCALE: 1/4" = 1'-0"

KITCHEN EQUIPMENT SCHEDULE				
NO.	QTY.	DESCRIPTION	MANUFACTURER	MODEL No. REMARKS
1	1	FLAV-R 2-GO LOCKER SYSTEM - FLOOR MOUNT	HATCO	F2G-24-C
2	2	SANDWICH/SALAD PREPARATION REFRIGERATOR	BISON REFRIGERATION	BST-48
3	2	HOT SERVING COUNTER/TABLE	ATOSA USA	CSTEA-3C
4	1	POS SYSTEM	TBD	TBD
5.1	1	RANGE, STOCK POT - (1) BURNER	ATOSA USA	ATSP-18-1
5.2	1	RANGE, STOCK POT - (2) BURNERS	ATOSA USA	ATSP-18-2
6	2	GAS FRYER	ATOSA USA	ATFS-40
7	2	36" 4-BURNER RANGE W/ 12" GRIDDLE	SERV-WARE	SGR-4B-12G
8	-	NOT USED	-	-
9	1	IN-COUNTER HAND SINK	KROWNE	HS-1225 WITH KROWNE 15-306L DECK MOUNT FAUCET
10	1	SALAD/PREP SINK	KROWNE	HS-2017 WITH KROWNE 15-306L DECK MOUNT FAUCET
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13	1	3-DOOR REACH-IN REFRIGERATOR	ATOSA USA	MBF8508GR
14	1	2-DOOR REACH-IN FREEZER	ATOSA USA	MBF8503GR
15	3	WIRE SHELVING - 18" W. x 48" L. x 75" H.	TBD	TBD BY SPECIALTY MANUFACTURER
16	1	PREP TABLE - 12" W. x 30" L. x 34" H.	TBD	TBD BY SPECIALTY MANUFACTURER

**BUCHANAN P E CONSULTING INC.**  
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**THE BLUE TREE CAFE**  
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REVISIONS:

No.	Date:	Description:
1	7/22/21	CORRECTIONS
2	2/6/22	COORDINATION

Date: 11.30.20  
Principal: SLC  
Project Manager:  
Drawn by:  
Drawing Name:  
**ELECTRICAL PLAN**  
Drawing No:  
**E-1**  
Total Sheets: Issue Date:  
Project No: **11920**

WHEN DIGITALLY SIGNED, Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



**MECHANICAL LEGEND**

(S)	SMOKE DETECTOR
(T)	PROGRAMMABLE THERMOSTAT
(TST)	TESTER
(MVD)	MANUAL VOLUME DAMPER W/SLOOP
MD	MOTORIZED DAMPER
(SAD)	SUPPLY AIR DIFFUSER
(RAD)	RETURN AIR DIFFUSER
LW	SUPPLY FIBERGLASS DUCTBOARD R-6
(F)	FLEX DUCT W/ R-6 INSULATION
(S)	SPIRAL METAL DUCT INTERNALLY INSULATED
RTU	ROOFTOP UNIT
CFM	CUBIC FEET PER MINUTE
(D)	DUCT SIZE REDUCED
OA	OUTSIDE AIR
(EF)	EXHAUST FAN

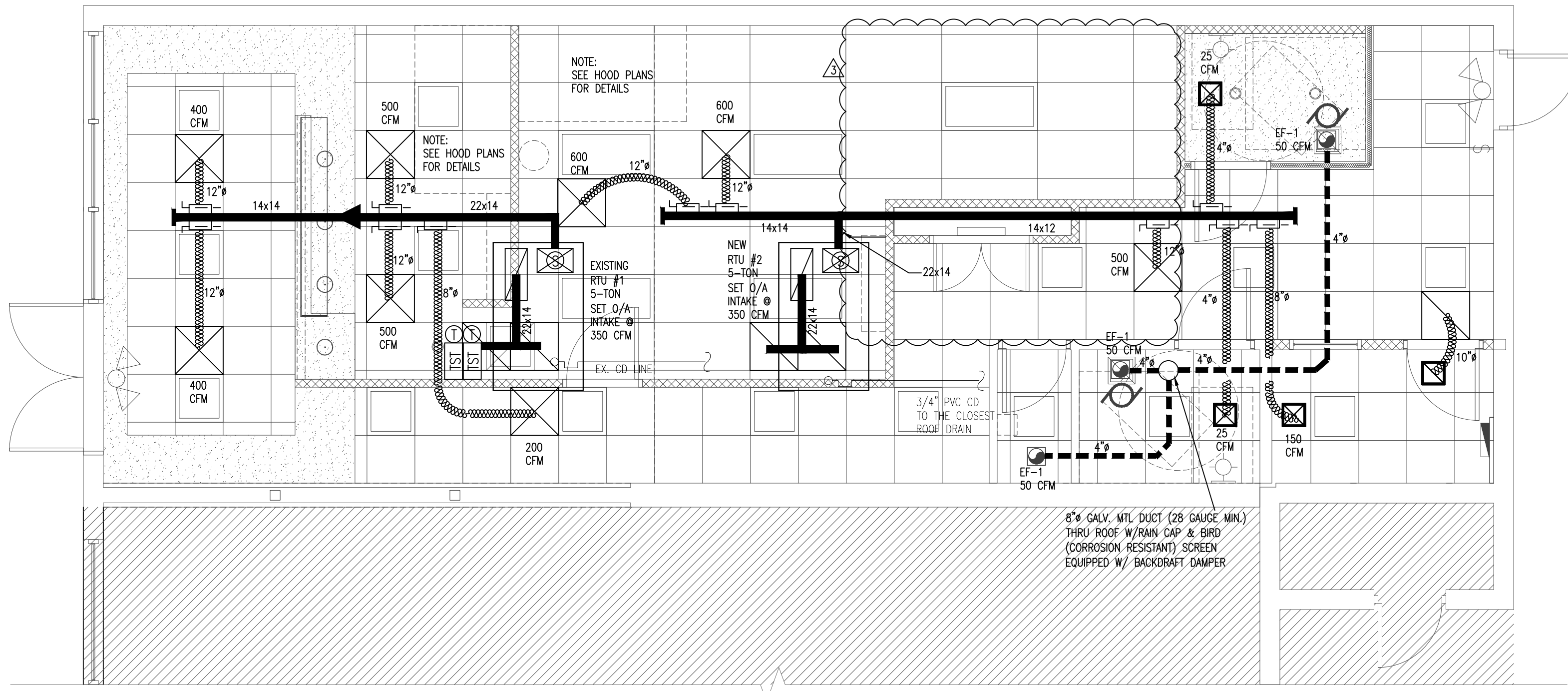
Ventilation per FBC-M 2020 Table 403.3.1.1		CAFÉ
1) Minimum O/A required at Supply Outlet Voz:		
Exhaust Required (CFM/ft²)		-
a) Occupant Category (table 6-1): Occupant Rate Requirements Rp =		7.5
Building Rate Requirements Ra =		0.18
b) Estimated No. of Occupants in the Zone Pz =		15
c) Zone Net Occupied Area Az =		1100
d) O/A required in Breathing Zone (eq. 6-1 $Vbz = RpPz + RaAz$ ) Vbz =		311
e) Zone Air Distribution Effectiveness (table 6-2) Ez =		1
f) Min. O/A required at Supply Outlets (Eq. 6-2 $Voz = Vbz/Ez$ ) Voz =		311
SET O/A INTAKE FOR EXISTING RTU-1 AT:		350 CFM
SET O/A INTAKE FOR NEW RTU-2 AT:		350 CFM

NOTE: PROVIDE MOTORIZED DAMPER FOR ALL AIR CONDITIONER'S O/A INTAKE.

RTU SPECS: CARRIER OR EQUAL (208/1/60)	
TAG	RTU #2
NOM TONS	5.0
SEER	16.0
MODEL NO:	50GC*M06-3
CFM	1900
REFRIGERANT	R-410A
AMBIENT	95
CAP (MBH) @ 80/67 (TC/SC)	63.0 / 46.3
COMPRESSOR QTY / STAGES	1 / 2
COMPRESSOR RLA - LRA	22.9 - 147.0
COND. FAN QTY / FLA - HP	1 / 1.5 - 1/4
EVAP. FAN FLA - BHP	8.6 - 1.4
HEATER KW	6.5
MCA	50
MOCP	60
DIMENSIONS (LxWxH) (IN)	75 x 47 x 42
STD WEIGHT (LBS)	614

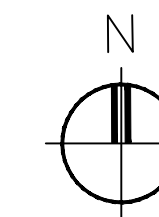
**HVAC DESIGN REQUIREMENTS**

DESIGN REQUIREMENT	YES	NO
DUCT SMOKE DETECTOR		X
FIRE DAMPERS(S)		X
SMOKE DAMPER(S)		X
FIRE RATED ENCLOSURE	X	
FIRE RATED ROOF/FLOOR	X	
CEILING ASSEMBLY	X	
FIRE STOPPING	X	
SMOKE CONTROL		X



**MECHANICAL PLAN**

SCALE: 1/4" = 1'-0"



SEAL: Steven L. Cohen and Associates, P.A.  
License: 6819 - Corp. A-3001442  
Signature:

ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL EXAMINERS AND INSPECTORS BOARD (IIMEB) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARDS. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

**STEVEN L. COHEN AND ASSOCIATES, P.A.**  
ARCHITECTS - INTERIOR DESIGNERS  
5295 TOWN CENTER ROAD, SUITE 202  
BOCA RATON, FLORIDA 33486  
PHONE (954) 971-1010  
ARCH. REG. NO. 6819 CORP. A-3001442

**THE BLUE TREE CAFE**  
612 NW 9TH AVENUE,  
FORT LAUDERDALE, FLORIDA 33311

REVISIONS:

No.	Date	Description
3.	02-09-22	OWNER CHANGES

Date: 1.08.21  
Principal:  
Project Manager:  
Drawn by: RAB  
Drawing Name:

Drawing No:

**M-1**

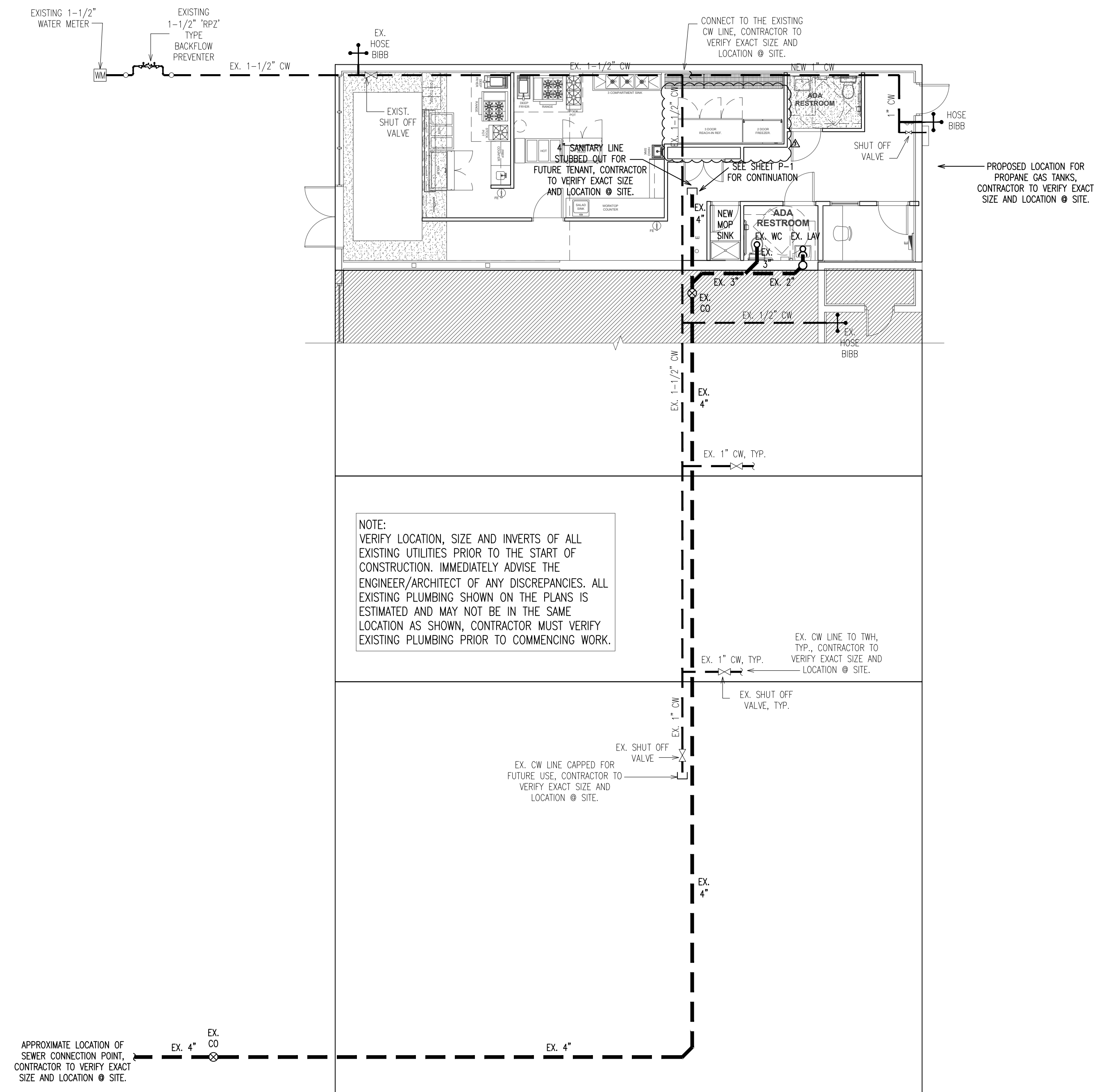
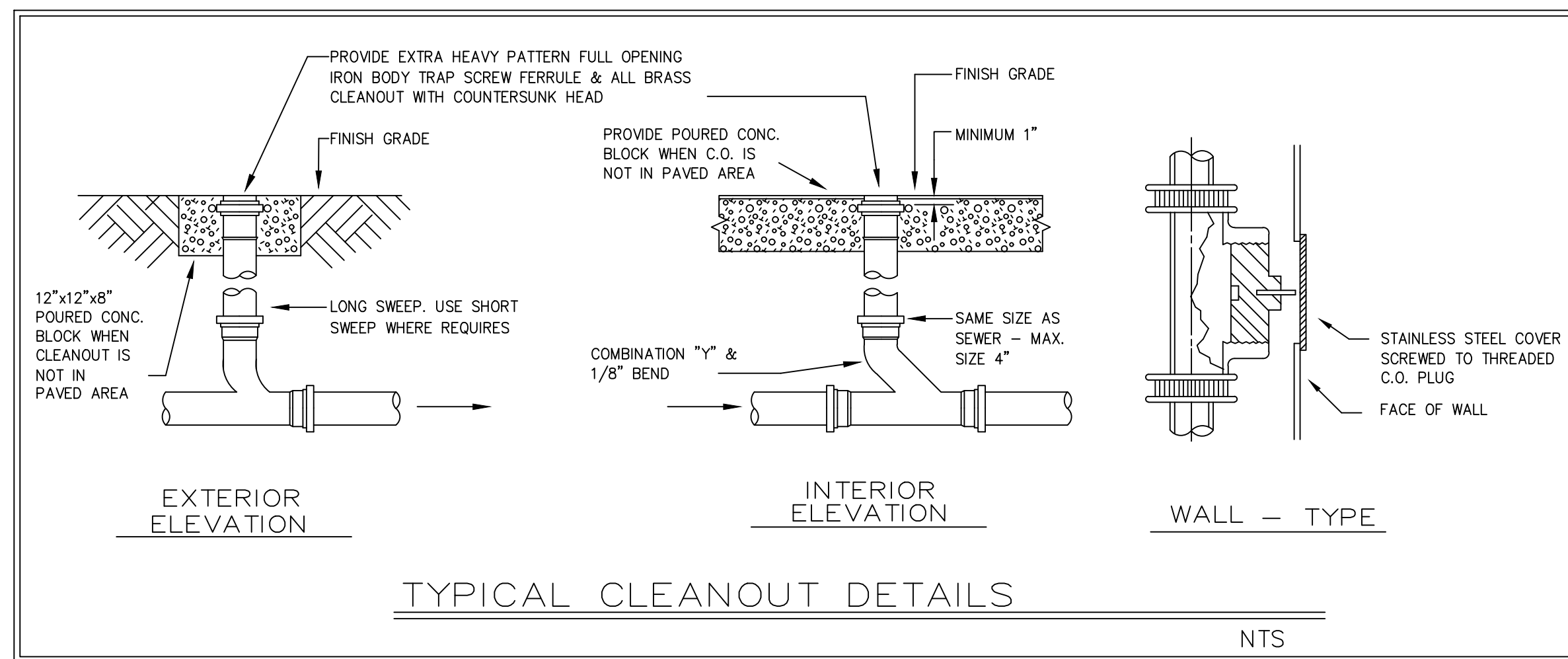
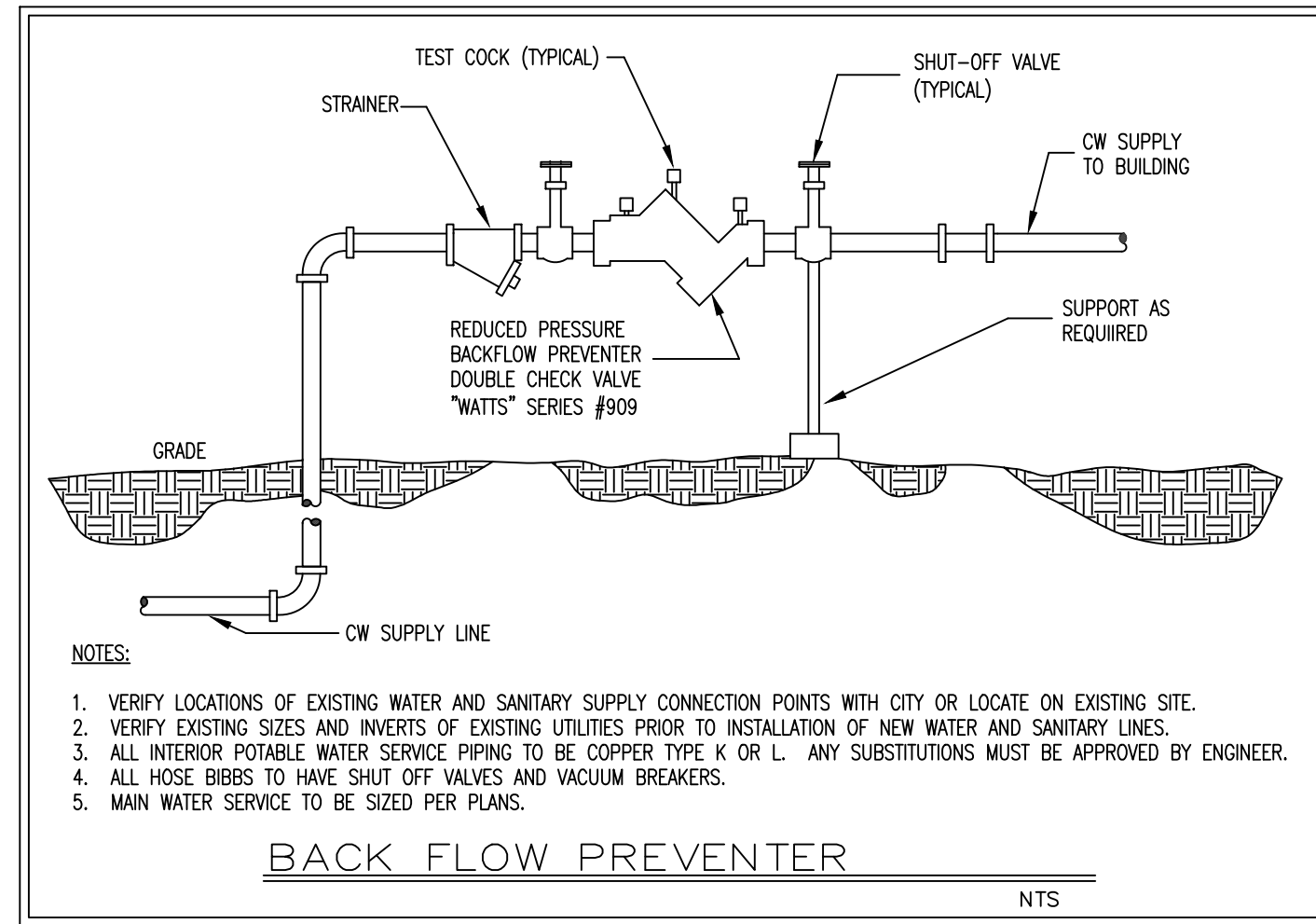
Total Sheets: Issue Date:

Project No: 11920

**BUCHANAN P.E CONSULTING INC.**  
ELECTRICAL \* MECHANICAL \* PLUMBING  
ENGINEERING  
6191 W. ATLANTIC BLVD, SUITE# 2 MARGATE, FL 33063  
Ph: 954-990-3300 Fax: 954-990-2332  
Email: BUCHANAN@MEPEENGINEERS.COM  
CERTIFICATE OF AUTHORIZATION # 8842  
RAJA BUCHANAN P.E # 48916

SEAL

DATE: \_\_\_\_\_



**PLUMBING SITE PLAN**

SCALE: 1/8" = 1'-0"

**BUCHANAN P E CONSULTING INC.**  
ELECTRICAL • MECHANICAL • PLUMBING  
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CERTIFICATE OF AUTHORIZATION # 8842  
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SEAL  
DATE: \_\_\_\_\_

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PHONE (954) 971-1010  
ARCH. REG. NO. 68119 CORP. NO. A24600116-42

**THE BLUE TREE CAFE**  
612 NW 9TH AVENUE,  
FORT LAUDERDALE, FLORIDA 33311

REVISIONS:

No.	Date	Description
3.	02-09-22	OWNER CHANGES

Date: 1.08.21  
Principal:  
Project Manager:  
Drawn by: RAB

Drawing Name:  
**PLUMBING SITE PLAN**

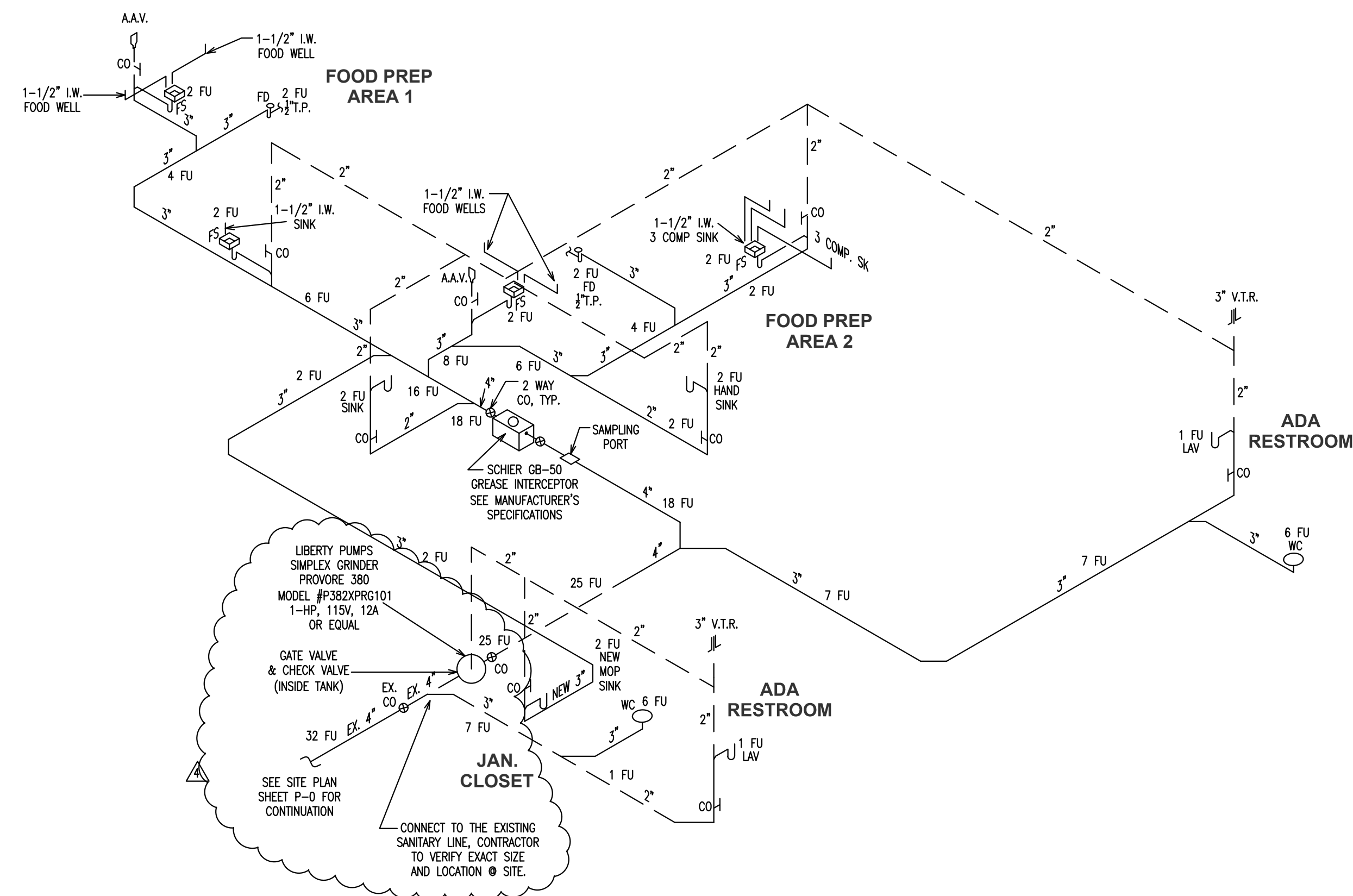
Drawing No:  
**P-0**

Total Sheets: Issue Date:

Project No: **11920**

SEAL  
Steven L. Cohen and Associates, P.A.  
License: 6819 - Corp. A24600116-42  
Signature:

ALL DATA AND DIMENSIONS SHOWN ARE UNLESS OTHERWISE SPECIFIED TO BE IN ACCORDANCE WITH THE PRELIMINARY DESIGN AND DEVELOPMENT OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. IMMEDIATELY ADVISE THE ENGINEER/ARCHITECT OF ANY DISCREPANCIES. ALL EXISTING PLUMBING SHOWN ON THE PLANS IS ESTIMATED AND MAY NOT BE IN THE SAME LOCATION AS SHOWN. CONTRACTOR MUST VERIFY EXISTING PLUMBING PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. IMMEDIATELY ADVISE THE ENGINEER/ARCHITECT OF ANY DISCREPANCIES. ALL EXISTING PLUMBING SHOWN ON THE PLANS IS ESTIMATED AND MAY NOT BE IN THE SAME LOCATION AS SHOWN. CONTRACTOR MUST VERIFY EXISTING PLUMBING PRIOR TO COMMENCING WORK.



**SANITARY AND GREASE ISOMETRICS**

NOT TO SCALE

GREASE CALCULATIONS BASED ON THE FOLLOWING:  
 0 INTERIOR SEATS - STRICTLY TAKE-OUT SERVICE  
 200 TAKE-OUT MEALS = TOTAL MEALS ONLY

Meals Per Day	Grease Production Per Meal	POF In Days	Grease Capacity Needed In Lbs.	Description
0	x 0.035	x 60	0	Eat-In
200	x 0.035	x 60	420	Take-Out
			420	Total Lbs.

Use Schier ASME A112.14.3 Certified Grease Interceptor Selected	Model	Qty	GPM	Liquid Capacity in Lbs.	Grease Capacity in Lbs.	Max DFU Allowed
	GB-50	1	50	65 GALLONS	439.5	32

NOTE: PROVIDE A SAMPLING PORT ON THE EFFLUENT SIDE OF THE GREASE TRAP. (SAMPLING PORT SHALL BE INSTALLED IN AN APPROVED LOCATION TO ALLOW SAMPLING BY THE UTILITY & THE USER.)  
 SAMPLING POINT SHALL HAVE MIN. 4" DIAMETER (WITH CAP ON BOTTOM & CLEANOUT CAP ON TOP) OR GREATER AND/OR EQUAL TO 6" UNOBSTRUCTED DEPTH.  
 SAMPLING POINT SHALL BE ACCESSIBLE ALL TIMES, WITHOUT HAVING TO REMOVE ANY MERCHANDISE AND WITHOUT STANDING WATER ON GROUND SURFACE; WITH A MINIMUM 36 INCHES HORIZONTAL CLEARANCE FROM ANY WALL, FIXED EQUIPMENT OR MATERIALS AND A MINIMUM 48 INCHES VERTICAL CLEARANCE FROM ANY FIXED EQUIPMENT OR STORED MATERIALS.

NOTE: GREASE TRAP SHALL BE ACCESSIBLE AT ALL TIMES SO AS TO ALLOW FOR MAINTENANCE AND CLEANING WITHOUT IMPEDIMENTS.  
 GREASE TRAP PUMP OUT FREQUENCY = 60 DAYS

NOTE: GREASE INTERCEPTOR INSTALLATION SHALL BE BELOW GROUND AND THAT THE INSTALLATION OF THE GREASE INTERCEPTOR SHALL BE IN A MANNER THAT ALL LABELS AND MARKINGS ON THE GREASE INTERCEPTOR REMAIN VISIBLE DURING AND AFTER INSTALLATION.

**SIZING FORMULA FOR GREASE TRAP PER FDI-C 101 8.3.2**

**3 COMPARTMENT SINK**  
 (16"W X 20"L X 12"D) / (231 CUBIC INCHES) = 16.6 GALLONS  
 (16.66 X 3 COMPS) X 75% = 37.4 G.P.M.

**HAND SINK**  
 (10"W X 14"L X 6"D) / (231 CUBIC INCHES) = 3.6 GALLONS  
 (3.66 X 2 SINKS) X 75% = 5.4 G.P.M.

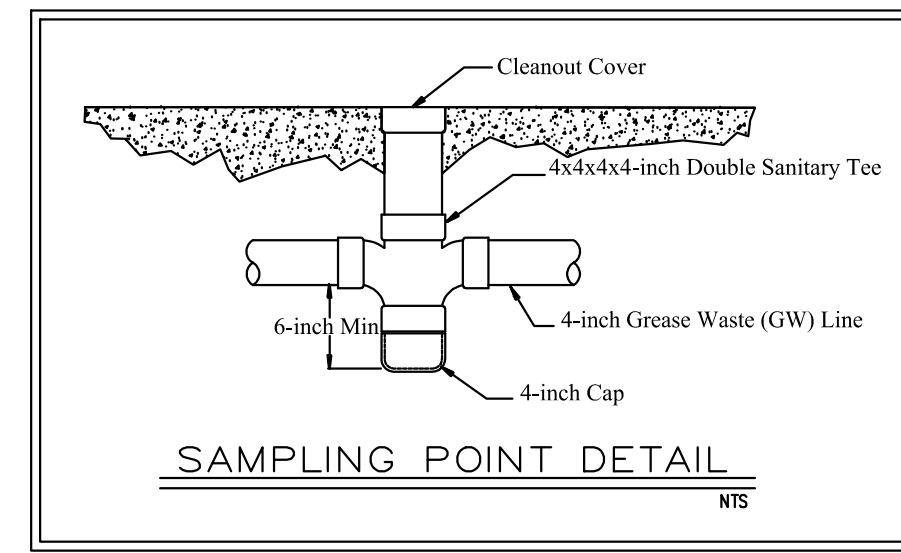
**MOP SINK**  
 (20"W X 20"L X 6"D) / (231 CUBIC INCHES) = 10.4 GALLONS  
 10.46 X 75% = 7.8 G.P.M.

**FLOOR SINKS**  
 (12"W X 12"L X 6"D) / (231 CUBIC INCHES) = 3.7 GALLONS  
 (3.76 X 2 DRAINS) X 75% = 8.3 G.P.M.

**FLOOR DRAINS**  
 (6"W X 6"L X 6"D) / (231 CUBIC INCHES) = 1 GALLONS  
 (16 X 2 DRAINS) X 75% = 1.5 G.P.M.

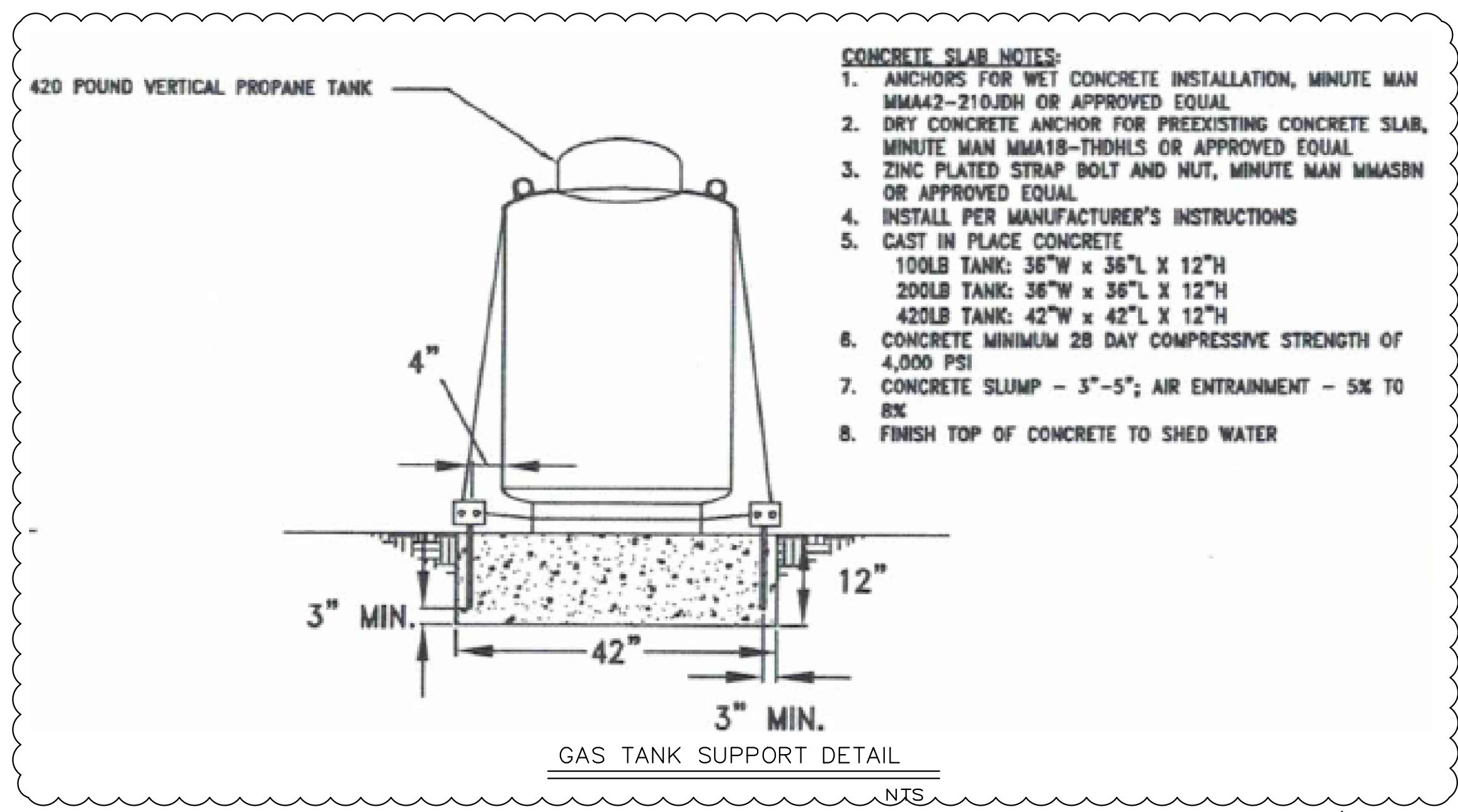
**TOTAL FLOW THRU RATE FOR TWO MINUTE PERIOD**  
 (37.4 + 5.4 + 7.8 + 8.3 + 1.5) / 2 = 32.1 G.P.M.

PROVIDE SCHIER 50 G.P.M. / 439.5 LBS. CAPACITY GREASE TRAP.  
 USE GB-50. SEE MANUFACTURER'S SPECIFICATIONS.

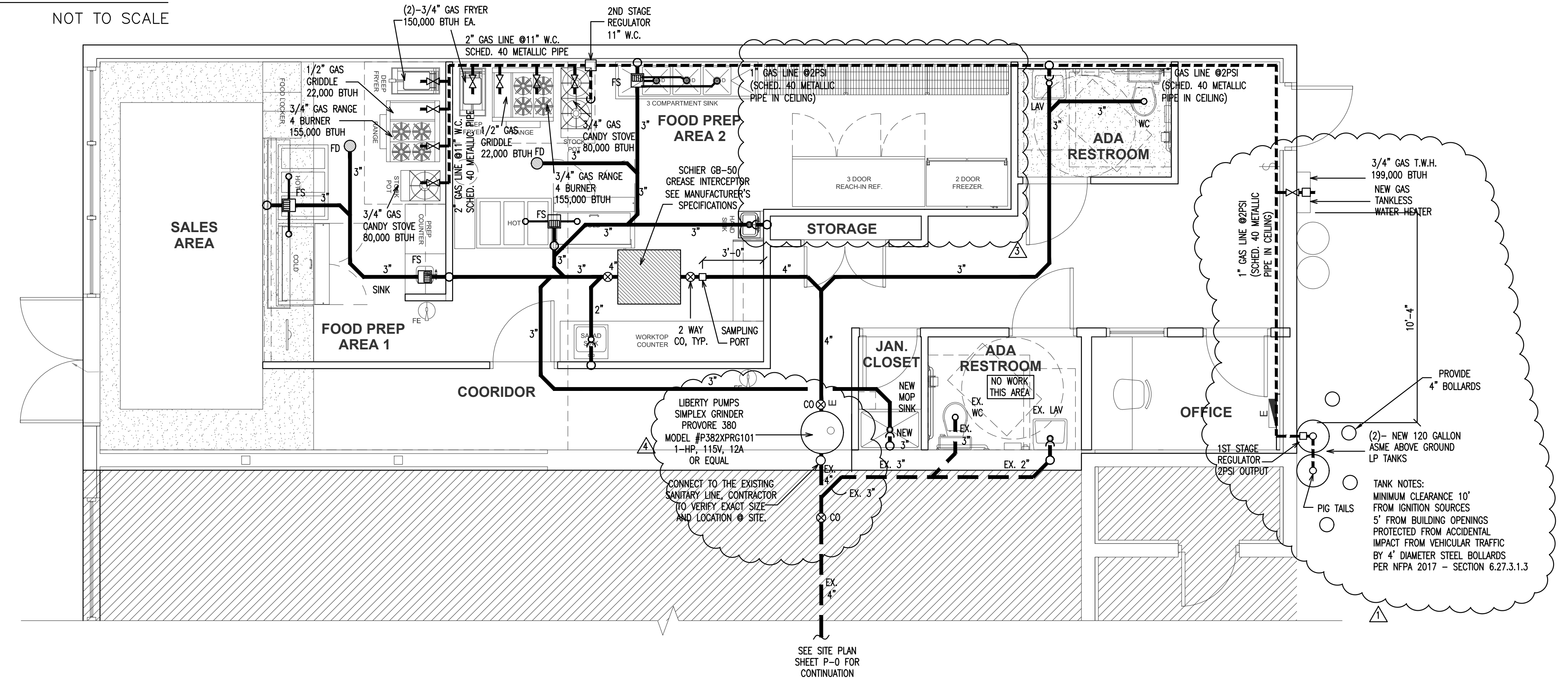


**GREASE CALCULATIONS, NOTES & DETAILS**

NOT TO SCALE



- CONCRETE SLAB NOTES:**
1. ANCHORS FOR WET CONCRETE INSTALLATION, MINUTE MAN MMA42-210JDH OR APPROVED EQUAL
  2. DRY CONCRETE ANCHOR FOR PREEXISTING CONCRETE SLAB, MINUTE MAN MMA18-TDHLS OR APPROVED EQUAL
  3. ZINC PLATED STRAP BOLT AND NUT, MINUTE MAN MMASBN OR APPROVED EQUAL
  4. INSTALL PER MANUFACTURER'S INSTRUCTIONS
  5. CAST IN PLACE CONCRETE  
 100LB TANK: 36"W x 36"L X 12"H  
 200LB TANK: 36"W x 36"L X 12"H  
 420LB TANK: 42"W x 42"L X 12"H
  6. CONCRETE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI
  7. CONCRETE SLUMP - 3"-5"; AIR ENTRAINMENT - 5% TO 8%
  8. FINISH TOP OF CONCRETE TO SHED WATER



**SANITARY, GREASE & GAS PLAN**

SCALE: 1/4" = 1'-0"

SEAL  
 Steven L. Cohen and Associates, P.A.  
 License: 6819-COPY A2200142  
 Signature:

ALL ELECTRICAL AND PLUMBING WORK SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE AND PLUMBING CODE. NO WORK SHALL BE CONSIDERED UNTIL THE PERMITS HAVE BEEN OBTAINED FROM THE CITY OF BOCA RATON. ANY WORK NOT SPECIFIED IN THESE DRAWINGS SHALL BE PERMITTED ONLY AFTER OBTAINING THE NECESSARY PERMITS FROM THE CITY OF BOCA RATON. ANY WORK NOT SPECIFIED IN THESE DRAWINGS SHALL BE PERMITTED ONLY AFTER OBTAINING THE NECESSARY PERMITS FROM THE CITY OF BOCA RATON. ANY WORK NOT SPECIFIED IN THESE DRAWINGS SHALL BE PERMITTED ONLY AFTER OBTAINING THE NECESSARY PERMITS FROM THE CITY OF BOCA RATON.

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 PHONE (954) 971-1010  
 ARCH. REG. NO. 68119 COMP. NO. A2200142

**THE BLUE TREE CAFE**  
 612 "A" NW 9TH AVENUE  
 FORT LAUDERDALE, FLORIDA 33311

REVISIONS:

No.	Date	Description
1	08-02-21	CITY COMMENTS
2	09-13-21	CITY COMMENTS
3	09-09-22	OWNER CHANGES
4	02-17-22	REVISION

Date: 11.30.20  
 Principal: SLG  
 Project Manager:  
 Drawn by:  
 Drawing Name:

**SANITARY, GAS & GREASE PLAN**

Drawing No: **P-1**

Total Sheets: Issue Date:  
 Project No: **11920**

