



# DEVELOPMENT APPLICATION FORM

Application Form: All Applications | Rev. 06/14/2024

**INSTRUCTIONS:** The following information is required pursuant to the City's Unified Land Development Regulations (ULDR), Section 47-24, Development Permits and Procedures, and must be filled out accurately with all applicable sections completed. Only complete the sections indicated for application type with N/A for those items not applicable. Refer to "Specifications for Plan Submittal" by application type for submittal requirements, which can be found on the City's website.

Select the application type and approval level in **SECTION A** and complete the sections specified under each type.

**A APPLICATION TYPE AND APPROVAL LEVEL** *Select the application type from the list below and check the applicable type.*

<input type="checkbox"/> <b>LEVEL I</b> ADMINISTRATIVE REVIEW COMMITTEE (ADMIN)	<input type="checkbox"/> <b>LEVEL II</b> DEVELOPMENT REVIEW COMMITTEE (DRC)	<input type="checkbox"/> <b>LEVEL III</b> PLANNING AND ZONING BOARD (PZB)	<input type="checkbox"/> <b>LEVEL IV</b> CITY COMMISSION (CC)
<ul style="list-style-type: none"> <li><input type="checkbox"/> New nonresidential less than 5,000 square feet</li> <li><input type="checkbox"/> Change of use <i>(if same impact or less than existing use)</i></li> <li><input type="checkbox"/> Plat note or Nonvehicular access line (NVAL) amendment</li> <li><input type="checkbox"/> Administrative site plan</li> <li><input type="checkbox"/> Amendment to site plan*</li> <li><input type="checkbox"/> Affordable Housing per §166.04151(7) Fla. Stat. <i>(Live Local Act)</i></li> <li><input type="checkbox"/> Property and right-of-way applications <i>(MOTs, construction staging)</i></li> <li><input type="checkbox"/> Parking Agreements <i>(separate from site plans)</i></li> </ul>	<ul style="list-style-type: none"> <li><input type="checkbox"/> New Nonresidential 5,000 square feet or greater</li> <li><input type="checkbox"/> Residential 5 units or more</li> <li><input type="checkbox"/> Nonresidential use within 100 feet of residential property</li> <li><input type="checkbox"/> Redevelopment proposals</li> <li><input type="checkbox"/> Change in use <i>(if greater impact than existing use)</i></li> <li><input type="checkbox"/> Development in Regional Activity Centers (RAC)*</li> <li><input type="checkbox"/> Development in Uptown Project Area*</li> <li><input type="checkbox"/> Regional Activity Center Signage</li> <li><input type="checkbox"/> Affordable Housing (≥10%)</li> </ul>	<ul style="list-style-type: none"> <li><input type="checkbox"/> Conditional Use</li> <li><input type="checkbox"/> Parking Reduction</li> <li><input type="checkbox"/> Flex Allocation</li> <li><input type="checkbox"/> Cluster / Zero Lot Line</li> <li><input type="checkbox"/> Modification of Yards*</li> <li><input type="checkbox"/> Waterway Use</li> <li><input type="checkbox"/> Mixed Use Development</li> <li><input type="checkbox"/> Community Residences*</li> <li><input type="checkbox"/> Social Service Residential Facility (SSRF)</li> <li><input type="checkbox"/> Medical Cannabis Dispensing Facility*</li> <li><input type="checkbox"/> Community Business District for uses greater than 10,000 square feet</li> </ul>	<ul style="list-style-type: none"> <li><input type="checkbox"/> Land Use Amendment</li> <li><input type="checkbox"/> Rezoning</li> <li><input type="checkbox"/> Plat</li> <li><input type="checkbox"/> Public Purpose Use</li> <li><input type="checkbox"/> Central Beach Development of Significant Impact*</li> <li><input type="checkbox"/> Vacation of Right-of-Way</li> </ul> <p style="text-align: center;">City Commission Review No PZB Review</p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Vacation of Easement*</li> </ul>
<b>COMPLETE SECTIONS</b> B, C, D, G	<b>COMPLETE SECTIONS</b> B, C, D, E, F	<b>COMPLETE SECTIONS</b> B, C, D, E, F	<b>COMPLETE SECTIONS</b> B, C, D, E, F
<input type="checkbox"/> <b>MISCELLANEOUS</b>	<input type="checkbox"/> <b>EXTENSION OR DEFERRAL</b>	<input type="checkbox"/> <b>APEAL</b>	<input type="checkbox"/> <b>PROPERTY AND RIGHT-OF-WAY</b>
<ul style="list-style-type: none"> <li><input type="checkbox"/> Affordable Workforce Housing Tax Reimbursement</li> <li><input type="checkbox"/> Community Residence</li> <li><input type="checkbox"/> Construction Noise Waiver</li> <li><input type="checkbox"/> Design Review Team (DRT)</li> </ul>	<ul style="list-style-type: none"> <li><input type="checkbox"/> Request to defer after an application is scheduled for public hearing</li> <li><input type="checkbox"/> Request extension to previously approved application <i>(request must be within original approval date timeframe)</i></li> </ul>	<ul style="list-style-type: none"> <li><input type="checkbox"/> Appeal decision by approving body and De Novo hearing items</li> </ul>	<ul style="list-style-type: none"> <li><input type="checkbox"/> Road Closures</li> <li><input type="checkbox"/> Construction Staging Plan</li> <li><input type="checkbox"/> Revocable licenses</li> </ul>
<b>COMPLETE SECTIONS</b> B, C, D, I	<b>COMPLETE SECTIONS</b> B, C, H	<b>COMPLETE SECTIONS</b> B, C, H	<b>COMPLETE SECTIONS</b> B, C, H

\*Application is subject to specific review and approval process. Levels III and IV are reviewed by Development Review Committee unless otherwise noted.

**B APPLICANT INFORMATION** *If applicant is the business operator, complete the agent column and provide property owner authorization.*

Applicant/ Property Owner		Authorized Agent	
Address		Address	
City, State, Zip		City, State, Zip	
Phone		Phone	
Email		Email	
Proof of Ownership		Authorization Letter	
<b>Applicant Signature:</b>	Signature	<b>Agent Signature:</b>	Signature <i>Nectaria Chahos</i>

**C PARCEL INFORMATION**

Address/General Location	
Folio Number(s)	
Legal Description <i>(Brief)</i>	
City Commission District	
Civic Association	

**D LAND USE INFORMATION**

Existing Use	
Land Use	
Zoning District	
Proposed <i>Applications requesting land use amendments and rezonings.</i>	
Proposed Land Use	
Proposed Zoning District	





**H EXTENSION, DEFERRAL, APPEAL INFORMATION** Provide information for specific request. Circle approving body and yes or no.

Project Name		
Request Description		
EXTENSION REQUEST	DEFERRAL REQUEST	APPEAL REQUEST / DE NOVO HEARING
Approving Body	Approving Body	Approving Body
Original Approval Date	Scheduled Meeting Date	30 Days from Meeting <small>(Provide Date)</small>
Expiration Date <small>(Permit Submittal Deadline)</small>	Requested Deferral Date	60 Days from Meeting <small>(Provide Date)</small>
Expiration Date <small>(Permit Issuance Deadline)</small>	Previous Deferrals Granted	Appeal Request
Requested Extension <small>(No more than 24 months)</small>	Justification Letter Provided	Indicate Approving Body Appealing
Code Enforcement <small>(Applicant Obtain by Code Compliance Division)</small>	*Note: Deferral requests are subject to a fee per deferral. See Fee Schedule for amount.	
		De Novo Hearing Due to City Commission Call-Up

**I MISCELLANEOUS** Provide information on the specific request.

Project Name		
Request Description		
AFFORDABLE HOUSING TAX REIMBURSEMENT*	COMMUNITY RESIDENCE	NOISE WAIVER*
As Is Value \$	Residence Type	DRC Case Number
Date	Certification	Request Start Date
Completion Value \$	Length of Stay	Request End Date
Date	Number of Residents	Construction Start Time
Stabilized Value \$	Number of Live-in Staff	Construction End Time
Date	Habitable Rooms	Sunday Construction Times
Acquisition Value \$	Gross Floor Area	Noise Mitigation Plan Date of Plan
Date	DEVELOPMENT REVIEW TEAM (DRT)* <small>Complete Section F</small>	
		Previous Extension Resolution No. <small>(if applicable)</small>

\*Application is subject to specific fees based on hourly rate with minimum amount of: DRT \$477, Affordable Housing Tax Reimbursement \$2,500, Noise Waiver \$954

**CHECKLIST FOR SUBMITTAL AND COMPLETENESS:** The following outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide this information will result in your application being deemed **incomplete**.

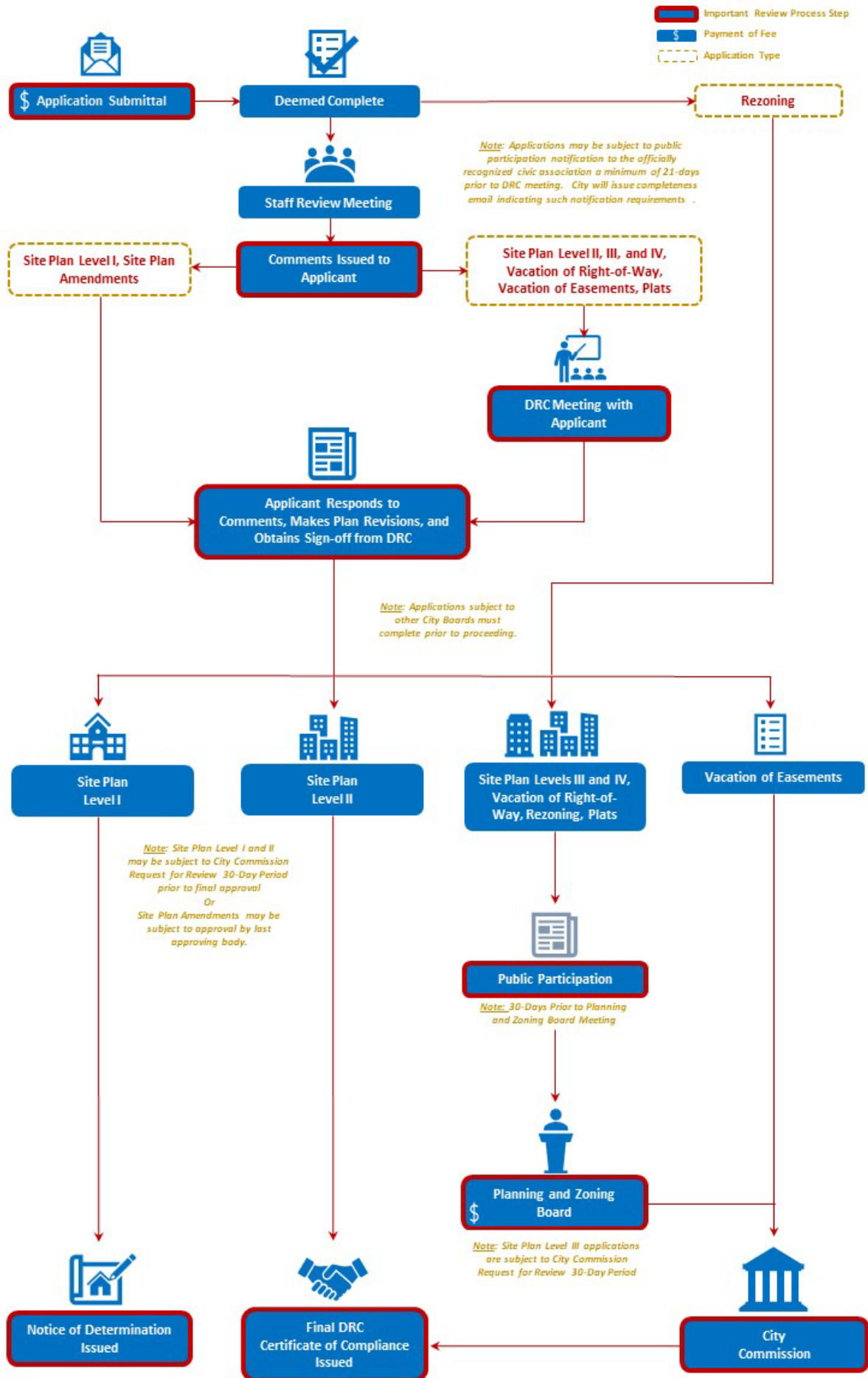
- Preliminary Development Meeting** completed on the following date:
- Development Application Form** completed with the applicable information including signatures.
- Proof of Ownership** warranty deed or tax record including corporation documents and SunBiz verification name.
- Address Verification Form** that includes all parcels within the proposed development.
- Project and Unified Land Development Code Narratives** project narrative and the applicable ULDR sections and criteria as described in the specifications for submittal by application type.
- Electronic Files, File Naming, and Documents** consistent with the applicable specifications for application type, consistent with the online submittal requirements including file naming convention, plan sets uploaded as single pdf.
- Traffic Study or Statement** submittal of a traffic study or traffic statement.
- Stormwater Calculations** signed and sealed by a Florida registered professional engineer consistent with calculations as described in the specifications for plan submittal for site plan applications.
- Water and Wastewater Capacity Request** copy of email to Public Works requesting the capacity letter.

**OVERVIEW FOR ONLINE SUBMITTAL REQUIREMENTS:** Submittals must be conducted through [LauderBuild](#). No hardcopy application submittals are accepted. Below only highlights the important submittal requirements that applicants must follow to submit online and be deemed complete. View all the requirements at [LauderBuild Plan Room](#).

- **Uploading Entire Submittal** upload all documents at time the application is submitted to prevent delay in processing.
- **File Naming Convention** file names must adhere to the City's [File Naming Convention](#).
- **Reduce File Size** plan sets and other large files must be merged or flattened to reduce file size.
- **Plan Sets** plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- **Document Categories** choose the correct document category when uploading.



**DRC PROCESS OVERVIEW:** Below is the development review process flowchart with key steps to guide applicants.



**CONTACT INFORMATION:** Questions regarding the development process or LauderBuild, see contact information below.

**GENERAL URBAN DESIGN AND PLANNING QUESTIONS**

Planning Counter  
 954-828-6520, Option 5  
[planning@fortlauderdale.gov](mailto:planning@fortlauderdale.gov)

**LAUDERBUILD ASSISTANCE AND QUESTIONS**

DSD Customer Service  
 954-828-6520, Option 1  
[lauderbuild@fortlauderdale.gov](mailto:lauderbuild@fortlauderdale.gov)

September 26, 2024

Yvonne Redding, Planner III  
City of Fort Lauderdale Urban Design and Planning Division  
700 NW 19<sup>th</sup> Avenue  
Fort Lauderdale, Florida 33311

**RE: 530 Birch Road - Second Amendment to Previously Approved Site Plan for Multi-Family Development – Case No. UDP-A24035 (“Project”)**

Dear Ms. Redding:

This firm represents the Applicant/Owner in connection with the development of a multi-family residential development to be located at 530 N. Birch Road (the “Project”). The Project was originally issued a Site Plan Level IV development permit through Resolution No. 19-31 for an 11-story multi-family residential project. Amendments to the site plan were later approved through Resolution No. 22-226 to increase building height, dwelling units, and a minimum tower step back. The Applicant/Owner now wishes to make a second amendment to the previously approved Site Plan Level IV development permit.

The proposed changes are designed to reflect market conditions and update the architectural aesthetic of the design. Importantly, the proposed changes do not change the number of stories, the height or the setbacks of the project. The proposal does increase the amount of open space and provides for a more desirable and efficient design. Other examples of modifications include: 1) the addition of an access point to the building so that garbage pick-up can be accommodated on-site rather than with roll out dumpsters to the street as currently existing with the approved plans; 2) an increase in the first level finished floor to meet enhanced resiliency which resulted in the need to redesign some ground floor elements; 3) the addition of a small mixed-use commercial component to increase activation with the pedestrian realm and 4) modifications to the tower stepback and tower separation, which were not requirements at the time this project initially was approved in 2018. The revised plans have been carefully designed to improve the project from that which was originally approved.

We understand that pursuant to ULDR Sec. 47-24.2.A.5.c., the amendments are required to be reviewed administratively and then forwarded to the body which gave final approval, which in this case is the City Commission. The modifications are detailed in the following sheet-by-sheet narrative (attached), outlining the adjustments and revisions reflected in the Project’s resubmitted plans.

We appreciate your attention to these updates. Should you have any questions or concerns regarding the above changes, please do not hesitate to contact me.

Sincerely,

Nectaria M. Chakas, Esq.

NMC/rjh

## I. ARCHITECTURAL

### SHEET A0.00/ COVER:

1. Proposed project S.F. increased from 197,266 sf to 200,353 sf.
2. Building gross floor area (GFA) increased from 136, 433 sf to 154,069 sf.
3. FAR increased from 4.6 to 5.2
4. Ground floor elevation increased from 6' NAVD to 7' NAVD
5. Updated building code information to current edition.
6. Updated project description.
7. Density increase from 32 units to 36 units. Deleted penthouse units. Levels 12 & 13 converted to typical floor plan. Updated unit count data and descriptions.
8. Landscape/pervious area decreased slightly from 8,469 sf to 7,990 sf (includes pool deck).  
Updated landscape area  
Summary table.
9. Increased open space provided from 11,689 sf to 14,885 sf (includes amenity level open space)
10. Updated parking data. Total parking required increased to 82 spaces. Total parking provided is 82 spaces (includes 4 spaces for multi-purpose room at ground level).
11. Updated landscape area summary table.
12. One parallel parking space added on Windamar St.

### SHEET A1.01 / LEVEL 1 FLOOR PLAN (podium):

1. Shifted parking garage entrance/exit east and relocated (2) parallel parking spaces from Viramar to Windamar St.
2. Slightly modified landscaped areas, terraces and sidewalks. Landscape/pervious area decreased slightly from 7,471 sf to 7,103 sf on ground floor.
3. Relocated FPL Vault and Generator Room to south side of building
4. Added interior loading zone and 4 parking spaces (includes HC space) to south side of building.
5. Added curb cut to sidewalk on Viramar St. for proposed FPL vault access and trash pick-up.

### SHEET A1.02 / LEVEL 2 FLOOR PLAN (podium):

1. Reconfigured parking spaces and driveway layout.
2. Parking count increased from 25 spaces to 28 spaces.
3. Enclosed area increased slightly from 13,992 sf to 16,740 sf.

### SHEET A1.03 / LEVEL 3 FLOOR PLAN (podium):

1. Reconfigured parking space and driveway layout.
2. Parking count increased from 30 spaces to 50 spaces.
3. Enclosed area increased slightly from 13,992 sf to 17,223 sf.

### SHEET-A1.04 / LEVEL 4 FLOOR PLAN (podium):

1. Reconfigured amenity/pool deck/swimming pool and enclosed area.
2. Updated floor plate data. Total areas increased slightly from 15,961 sf to 17,217 sf.
3. Landscaped area decreased slightly from 998 sf to 887 sf

### SHEET A1.05 / TYPICAL FLOOR PLAN (Levels 5-13):

1. Reconfigured balconies.
2. Reconfigured exterior walls and moved east and west walls to setback lines. Enclosed area increased from 9,634sf to 10,682sf.
3. Updated floor plate data.
4. Deleted penthouse units and converted levels 12 & 13 to typical floor plan.

**List of changes**  
**530 Birch Road**  
**Case No. UDP-A24035**

5. Tower separation decreased from 30' to 20' to building face.
6. Tower Stepback above 65' in height was modified as follows:
  - North: North: 16'-4" to building face
  - South: 40'-11" to building face
  - East: 0' to building face
  - West: 0' to building face

SHEET A1.12 / ROOF PLAN (Level 14):

1. Total roof plate area increased from a total area of 8,013 sf to 13,349 sf.
2. Rotated decorative screen element 90 degrees and centered on roof.
3. Updated floor plate data.

SHEET A1.14 / NORTH ELEVATION:

1. Updated elevations to match floor plan changes.
2. Rotated decorative screen element and centered on roof.
3. Redesigned Porte-Cochere canopy.
4. Level 1 floor elevation increased from 6' to 7' NAVD.
5. Mezzanine level deleted and slab to slab heights adjusted.

SHEET A1.15 / SOUTH ELEVATION:

1. Updated elevations to match floor plan changes.
2. Rotated decorative screen element and centered on roof.
3. Redesigned Porte-Cochere canopy.
4. Level 1 floor elevation increased from 6' to 7' NAVD.
5. Mezzanine level deleted and slab to slab heights adjusted.

SHEET A1.16 / EAST ELEVATION:

1. Updated elevations to match floor plan changes.
2. Rotated decorative screen element and centered on roof.
3. Redesigned Porte-Cochere canopy.
4. Level 1 floor elevation increased from 6' to 7' NAVD.
5. Mezzanine level deleted and slab to slab heights adjusted.

SHEET A1.17 / WEST ELEVATION:

1. Updated elevations to match floor plan changes.
2. Rotated decorative screen element and centered on roof.
3. Redesigned Porte-Cochere canopy.
4. Level 1 floor elevation increased from 6' to 7' NAVD.
5. Mezzanine level deleted and slab to slab heights adjusted.

**II. LANDSCAPE ARCHITECTURE**

SHEET L-200: GROUND FLOOR LANDSCAPE PLAN

1. Update sheet per architectural backgrounds
2. Building shifted and slightly changed shape

**List of changes**

**530 Birch Road**

**Case No. UDP-A24035**

3. Streetscape design also has been modified.
4. Planting plan updated per the revisions including the landscape calculation table.
5. Civil utilities background updated per the revised site plan.
6. One parallel parking space added on north side of building.

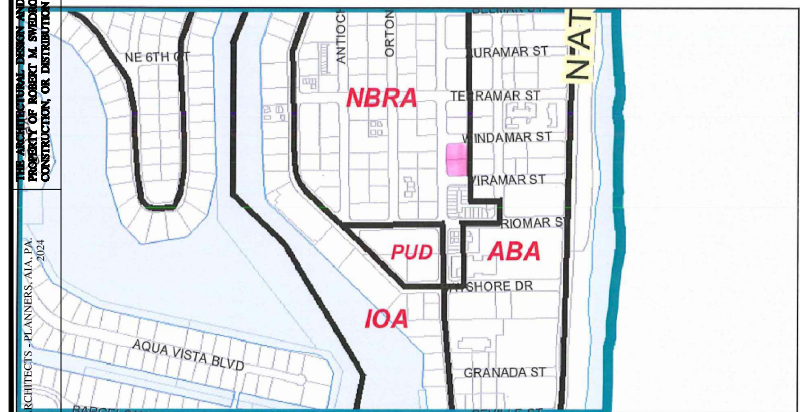
**SHEET L-201: AMENITY LEVEL LANDSCAPE PLAN**

1. Update per architectural background.
2. Pool layout and deck planters have been adjusted per revised layout.

**SHEET L-210: LANDSCAPE DETAILS AND NOTES**

1. Updated and revised structural soil detail.





FLOOR PLATE AREA TABLE			
LEVEL	INTERIOR	EXTERIOR	TOTAL
1	15,827		15,827
2	16,740		16,740
3	17,223		17,223
(MEZZ.)			0
4 (AMEN.)	7,212	10,005	17,217
5	10,682	2,651	13,333
6	10,682	2,651	13,333
7	10,682	2,651	13,333
8	10,682	2,651	13,333
9	10,682	2,651	13,333
10	10,682	2,651	13,333
11	10,682	2,651	13,333
12 (PH)	10,682	2,651	13,333
13 (PH)	10,682	2,651	13,333
14 (ROOF)	929	12,420	13,349
			200,353

GROSS FLOOR AREA (GFA) SUMMARY		
LEVEL	DESCRIPTION	ENCLOSED AREA (SF)
1	GROUND	15,827
2	PARKING	16,740
3	PARKING	17,223
	MEZZ.	*
4	AMENITY	7,212
5	TYPICAL FL	10,682
6	TYPICAL FL	10,682
7	TYPICAL FL	10,682
8	TYPICAL FL	10,682
9	TYPICAL FL	10,682
10	TYPICAL FL	10,682
11	TYPICAL FL	10,682
12	Lower PH	10,682
13	Upper PH	10,682
14	ROOF	929
TOTAL G.F.A. =		154,069
*MEZZANINE DELETED		

PROJECT AREA LANDSCAPE SUMMARY		
OCCUPANCY	AREA	
LANDSCAPE-GROUND FLOOR (PERVIOUS)	7,103 SF	
LANDSCAPE-POOL DECK	887 SF	
	7,990 SF	

BIKE RACKS	
TYPE	NUMBER
ENCLOSED	14
AT ENTRANCE	0
	14

FINAL DRC SUBMITTAL  
PREVIOUSLY APPROVED ON  
02/21/2019.  
PERMIT NUMBER: R18065

REVISION LOG		
Rev 1	Site Plan Amendment	7/7/2022
Rev 2	Site Plan Amendment	7/26/2024
Rev 3	Site Plan Amendment	9/3/2024

PROJECT DATA	
SITE ADDRESS:	530 N. BIRCH RD. FORT LAUDERDALE FL, 33304
FOLIO NUMBER:	50420104150
LEGAL DESCRIPTION:	LOTS 2 AND 3, BLOCK 2, BIRCH OCEANFRONT SUBDIVISION P.B.19 PG-26, B.C.R.
LAND USE DESIGNATION:	NORTH BIRCH RESIDENTIAL AREA
ZONING:	NBRA
GROSS LOT AREA (G.L.A.):	29,732 S.F. / 0.68 ACRE
CURRENT USE OF THE PROPERTY:	LOT 1 : HOTEL/MOTEL LOT 2: VACANT
PROPOSED PROJECT S.F.:	200,353 SF
LENGTH/ WIDTH:	REQUIRED: 200'-0" MAX. PROVIDED: LENGTH: 160'-0" WIDTH: 110'-3"
PROPOSED BUILDING FOOTPRINT COVERAGE:	17,600 S.F.
FAR: ( G.F.A./ G.L.A. )	REQUIRED: NONE PROVIDED: (154,069 SF) / 29,732 S.F. = 5.2 FAR
GROUND FLOOR ELEVATION:	0'-0" FINISH FLOOR = 7' NAVD
BLDG HEIGHT:	REQUIRED: 144'-0" MAX. PROVIDED: 144'-0" (FROM GROUND FLOOR FINISH ELEVATION TO TOP OF ROOF SLAB) 150'-0" NAVD
BLDG TYPE:	TYPE-1B PROTECTED, FULLY SPREINKLERED WHERE THE STRUCTURAL FLOORS AND ROOF, AND THEIR SUPPORTS ARE OF NON-COMBUSTABLE CONSTRUCTION WITH A FIRE RATING OF NOT LESS THAN ON ONE HOUR AND THE FRAMING COMPONENTS ARE PROTECTED WITH SPRAYED-FIBERPROOFING.
BLDG CODE:	PROJECT WILL COMPLY WITH FBC, ACCESSIBILITY 8TH EDITION (2023) CODE, FAIR HOUSING ACT, AND FBC 8TH EDITION (2023)
PROJECT DESCRIPTION :	13 STORY CONDOMINIUM BUILDING LOCATED BETWEEN WINDAMAR AND VIRAMAR STREETS. PROPERTY IS AT THE EAST OF NORTH BIRCH ROAD IN FORT LAUDERDALE, FLORIDA. IT WILL CONTAIN 36 CONDOMINIUM UNITS WITH ACCESS TO ROOF TOP TERRACES AND POOL DECK /AMENITIES LOCATED ON TOP OF A THREE- STORY OPEN AIR PARKING STRUCTURE TOTALING 82 PARKING SPACES. AREAS ARE DIVIDED AS FOLLOW: 1ST FLOOR: LOBBY, MAIL, OFFICE, MIXED-USE RETAIL, MEP ROOMS, PARKING 2ND TO 3RD FLOORS: PARKING, MEP ROOMS, STORAGE MEZZANINE: DELETED 4TH FLOOR: AMENITIES, POOL DECK & OUTDOOR AREAS 5TH TO 13TH FLOORS: TYPICAL RESIDENTIAL UNITS 14TH FLOOR: ROOF, MECHANICAL EQUIP. AND TERRACES
DENSITY:	MAX: 70 DU/ACRE = 48 PROVIDED: 36 CONDO UNITS
PROJECT UNIT COUNT:	(18) 3 BR - 2 1/2 BATH (18) 4 BR - 4 BATH
LANDSCAPE AREA (PERVIOUS):	7,990 SF
OPEN SPACE	PROVIDED: 10,717 S.F. (GROUND FLOOR) + 4,168 (AMENITY DECK) = 14,885 SF
SIDEWALK L.F. PROVIDED	+/- 521'-6" L.F.
SETBACKS	"NO CHANGES FROM EXISTING APPROVAL"
FRONT (N.S & W):	REQUIRED: 20'-0" PROVIDED: 20'-0"
REAR (E)	REQUIRED: 20'-0" PROVIDED: 20'-0"
PARKING	REQUIRED: 3 BEDROOM = 18 x 2.1 = 37.8 4 BEDROOM = 18 x 2.2 = 19.8 MIXED-USE RETAIL AT LEVEL 1 = 1,328 SF / 333 = 4  TOTAL REQUIRED = 82 PARKING SPACES ( INCLUDES 3 ADA PARKING SPACES OF WHICH 1 SHALL BE VAN PARKING COMPLIANT ) PROVIDED: REGULAR SPACES: 61 ADA PARKING SPACES: 3 LIFT SPACES: 18 TOTAL PARKING PROVIDED: 82 NOT INCLUDED IN PARKING TOTALS: ( 2 ) ON-STREET PARKING SPACES

- SHEET A0.00 LIST SUMMARY OF CHANGES:
1. Renamed "Project Area Summary" to "Floor Plate Area Table" and updated areas.
  2. Updated building gross floor area (GFA) increase from 153,902 sf to 154,069 sf.
  3. Updated pervious area at ground level from 6,753 sf to 7,103 sf.
  4. Updated proposed project SF from 212,468 to 200,353.
  5. Updated project description. Deleted mezzanine.
  6. Updated total landscape pervious area from 7,640 sf to 7,990 sf.

**LUXURY CONDOMINIUM**  
**530 NORTH BIRCH ROAD**  
**FORT LAUDERDALE, FLORIDA 33304**

**ROBERT M. SWEDROE**  
**ARCHITECTS PLANNERS**

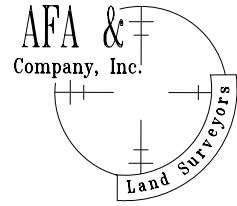
**SCHEMATIC DESIGN**

**A0.00**

DRAWN: \_\_\_\_\_  
CHECKED: \_\_\_\_\_  
DATE: 9-5-24  
SCALE: \_\_\_\_\_  
JOB NO: 3402  
SHEET: \_\_\_\_\_

12000 BISCAYNE BOULEVARD, SUITE 200 MIAMI, FL 33181  
PHONE: (305) 891-2555 FAX: (305) 891-2975

THE ARCHITECTURAL DESIGN AND DETAIL DRAWINGS ARE THE PROPERTY OF ROBERT M. SWEDROE ARCHITECTS PLANNERS, A.C. ALL RIGHTS RESERVED. NO PART OF THESE DRAWINGS OR CONSTRUCTION OR DISTRIBUTION IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



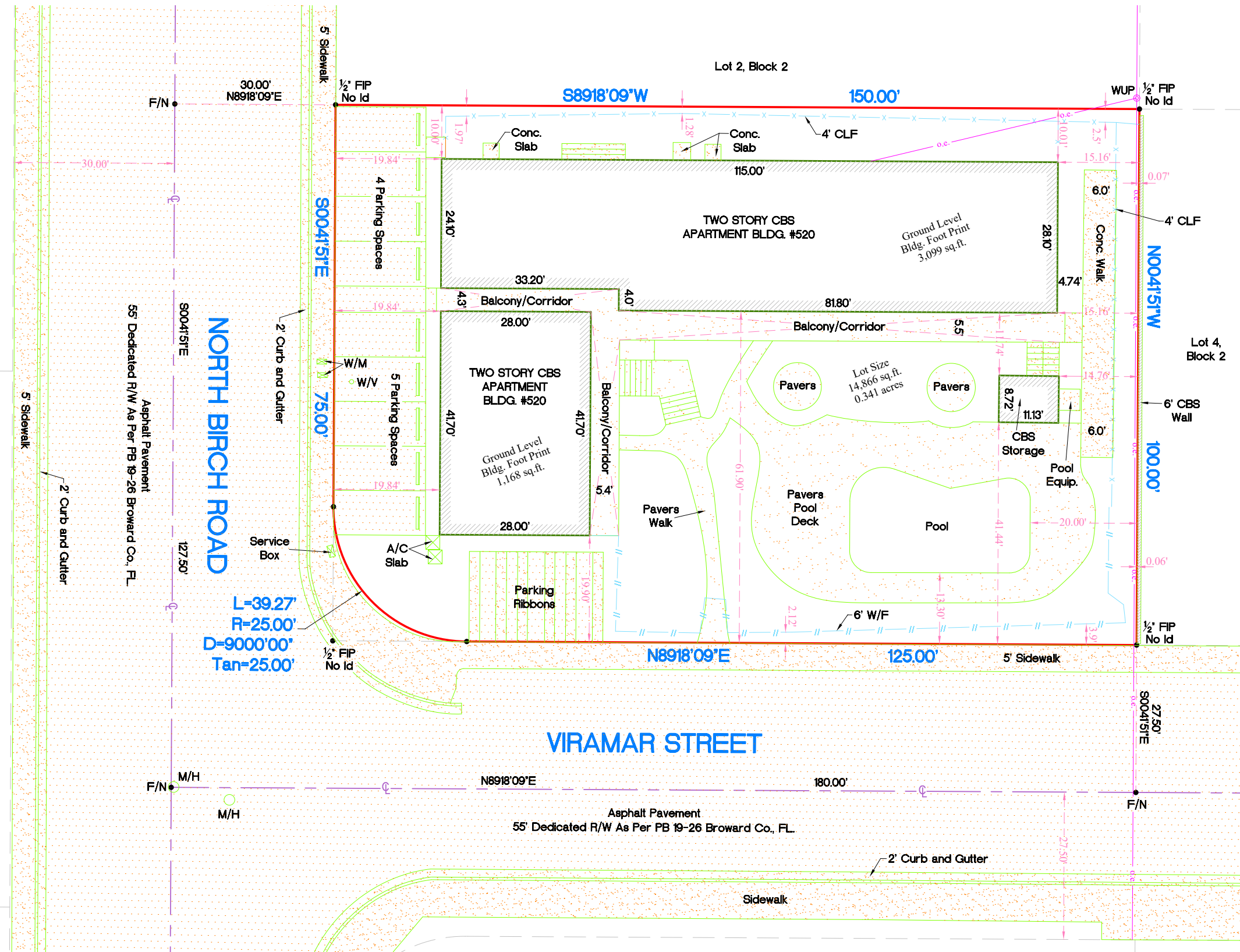
Prepared By:  
**AFA & COMPANY, INC.**  
 PROFESSIONAL LAND SURVEYORS AND MAPPERS  
 FLORIDA CERTIFICATE OF AUTHORIZATION No. LB 7498  
 13050 SW 133RD COURT,  
 MIAMI, FLORIDA 33186  
 E-MAIL: AFACO@BELLSOUTH.NET  
 PH: 305-234-0588

**Abbreviations of Legend**

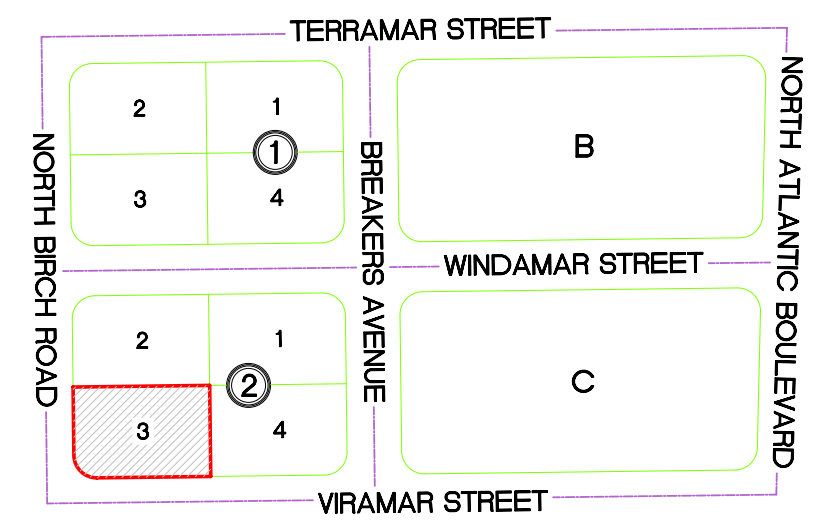
- A.V.E. = AVENUE
- ASPH = ASPHALT
- A.W. = ANCHORED WIRE
- A.C. = AIR CONDITIONER
- BLDG = BUILDING
- B. COR. = BLOCK CORNER
- (C), CAL. = CALCULATED
- CB = CATCH BASIN
- CLF = CHAIN LINK FENCE
- CONC. = CONCRETE
- COL. = COLUMN
- C.U.P. = CONCRETE UTILITY POLE
- C.L.P. = CONCRETE LIGHT POLE
- CBS = CONCRETE BLOCK STRUCTURE
- C.M.E. = CANAL MAINTENANCE EASEMENT
- D = DELTA
- D.W. = DRIVEWAY
- D.M.E. = DRAINAGE & MAINTENANCE EASEMENT
- ENC. = ENCROACHMENT
- E.T.P. = ELECTRIC TRANSFORMER PAD
- F.P.L. = FLORIDA POWER AND LIGHT
- F.H. = FIRE HYDRANT
- F.I.P. = FOUND IRON PIPE
- F.F. = FINISH FLOOR
- D.H.F. = FOUND DRILL HOLE
- F.R. = FOUND REBAR
- F/D = FOUND DISC
- F/N = FOUND NAIL
- I.F. = IRON FENCE
- L = LENGTH
- L.M.E. = LAKE MAINTENANCE EASEMENT
- L.F.E. = LOWEST FLOOR ELEVATION
- L.P. = LIGHT POLE
- (M), MEAS. = MEASURED
- M.H. = MAN HOLE
- M.L. = MONUMENT LINE
- M.L.P. = METAL LIGHT POLE
- M.W. = MONITORY WELL
- N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- N.T.S. = NOT TO SCALE
- O.E. = OVERHEAD ELECTRIC LINE
- O.L. = ON LINE
- P.C.P. = PERMANENT CONTROL POINT
- P.M. = PARKING METER
- P.C. = POINT OF CURVATURE
- P/W. = PARKWAY
- PL. = PLANTER
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- R = RADIUS
- RES = RESIDENCE
- R/W. = RIGHT OF WAY
- S.D.H. = SET DRILL HOLE
- S/N. = SET NAIL
- S.I.P. = SET IRON PIPE
- SDWLK. = SIDEWALK
- ST. = STREET
- SV. = SEWER VALVE
- T = TANGENT
- U.E. = UTILITY EASEMENT
- W. = WOOD FENCE
- W/V. = WATER VALVE
- W.U.P. = WOOD UTILITY POLE
- W.F. = WOOD FENCE
- W.F. = IRON FENCE
- W.F. = CBS WALL
- W.F. = CHAIN LINK FENCE
- W.F. = OVERHEAD ELEC.
- W.F. = CENTER LINE
- W.F. = EASEMENT
- W.F. = DENOTES ELEVATIONS
- W.F. = BUILDING
- W.F. = DISTANCE
- W.F. = CATCH BASIN
- W.F. = WATER METER
- W.F. = W.U.P.
- W.F. = STATE ROAD
- W.F. = US HIGHWAY
- W.F. = INTERSTATE
- W.F. = MONITORY WELL

# Boundary Survey

Graphic Scale 1" = 20'



**Location Sketch N.T.S.**



**PROPERTY ADDRESS:**  
 520 North Birch Road  
 Ft. Lauderdale, Florida 33304

**CERTIFIED ONLY TO:**  
 Cheston MM LLC

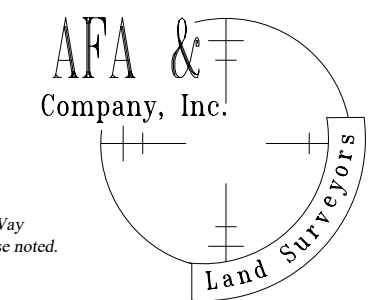
**LEGAL DESCRIPTION:**  
 Lot 3, Block 2, of: "BIRCH OCEAN FRONT SUBDIVISION", according to the Plat Thereof as Recorded in Plat Book 19, Page 26, of the Public Records of Broward County, Florida.

**ELEVATION INFORMATION**  
**National Flood Insurance Program**  
**FEMA Elev. Reference to NAVD 1988**

Comm Panel	125105
Panel #	0388
Firm Zone:	"AE"
Date of Firm:	08-18-2014
Base Flood Elev.	5.00'
F.Floor Elev.	6.42'
Garage Elev.	N/A
Suffix:	"L"
Elev. Reference to NAVD 1988	

JOB #	24-558
DATE	06-04-2024
PB	19-26 Bro.

- Surveyors Notes:**
- #1 Land Shown Hereon were not abstracted for Easement and/or Right of Way Records. The Easement / Right of Way Show on Survey are as per plat of record unless otherwise noted.
  - #2 Benchmark: Broward County Public Works Dep. PID: AD5699; Elev. + 8.16'
  - #3 Bearings as Shown hereon are Based upon N. Birch Road, S00°41'51"E
  - #4 Please See Abbreviations
  - #5 Drawn By: A. Torres
  - #6 Date: 6-4-2024
  - #7 Completed Survey Field Date: 6-30-2024
  - #8 Disc No 2024, Station Surveying Scion
  - #9 Last Revised:
  - #10 Zoned Building setback line not determined



Professional  
 Surveyors & Mappers LB 7498  
 13050 S.W. 133rd Court  
 Miami Florida, 33186  
 E-mail: afaco@bellsouth.net  
 Ph: (305) 234-0588

- Surveyor's Notes:**
- #11 The herein captioned Property was surveyed and described based on the Legal Description Provided by Client.
  - #12 This Certification is Only for the lands as Described, it is not a certification of Title, Zoning, Easements, or Freedom of encumbrances. ABSTRACT NOT REVIEWED.
  - #13 There may be additional Restrictions not Shown on this survey that may be found in the Public Records of Said County Examination of ABSTRACT OF TITLE will have to be made to determine recorded instruments, if any affecting this property.
  - #14 Accuracy: The expected use of land, as classified in the Standards of Practice (53-17.052), is residential. The minimum relative distance accuracy for this type of boundary survey is 1.0 foot in 10,000.00' feet. the accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
  - #15 Foundation and / or footing that may cross beyond the boundary lines of the parcel herein described are not shown hereon.
  - #16 Not valid without the signature and original seal of a Florida Licensed Surveyor and Mapper. additions or deletions to survey maps or reports by other than the signing party or parties.
  - #17 Contact the appropriate authority prior to any design work on the herein described parcel for building and zoning information.
  - #18 Underground Utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
  - #19 Ownership subject to Opinion of Title.
  - #20 The location of the Flood Zone lines shown hereon are an approximate, based on the FEMA flood maps website. Confirmation of said Flood Zone lines location must be made with FEMA prior to any design.

This certifies that the survey of the property described hereon was made under my supervision & that the survey meets the Standards of Practice set forth by the Florida Board of Professional Land Surveyors & Mappers in Chapter 53-17.052 of Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. & That the Sketch hereon is a true and accurate representation thereof to the best of my knowledge and Belief, subject to notes and notations shown hereon.

*Armando F. Alvarez*  
 Professional Surveyor & Mapper #5526  
 State of Florida  
 Not Valid unless Signed & Stamped with Embossed Seal



**PARKING NOTE:**  
NONE OF THE ON-STREET SPACES ARE RESERVED FOR THE DEVELOPMENT AND MAY BE USED BY ANY MEMBER OF THE PUBLIC. ON-STREET SPACES WILL NOT COUNT TOWARDS THE PARKING REQUIREMENTS FOR THE PROJECT. THE SPACES MAY BE REMOVED AT ANY TIME FOR ANY REASON AND THE CITY OF FORT LAUDERDALE WILL NOT RELOCATE DISPLACED ON-STREET PARKING.

TWO STORY ADJACENT HOTEL/MOTEL BLDG +/- 20'-0"

ONE STORY ADJACENT HOTEL/MOTEL BLDG +/- 12'-0"

ONE STORY ADJACENT HOTEL/MOTEL BLDG +/- 12'-0"

TWO STORY ADJACENT HOTEL/MOTEL BLDG +/- 20'-0"

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REVISION LOG		
Rev 1	Site Plan Amendment	7/7/2022
Rev 2	Site Plan Amendment	7/26/2024
Rev 3	Site Plan Amendment	9/3/2024



THIS COLOR DENOTES PERVIOUS AREA WITHIN SUBJECT PROPERTY

THREE STORY ADJACENT HOTEL/MOTEL BLDG +/- 35'-0"

- SHEET A1.01 LIST SUMMARY OF CHANGES:**
1. Added required inbound/outbound stacking and adjusted exterior walls accordingly.
  2. Modified drop-off/pick-up driveway to match currently approved driveway.
  3. Modified covered entry to accommodate 7' clear sidewalk.
  4. Added trees/plants, light poles and green color to denote pervious area.
  5. Added dimensions, notes, site triangles and adjacent properties.
  6. Added columns.
  7. Updated enclosed area and pervious area.

**PARKING COUNT:**

REGULAR	3
HC/ADA =	1
<b>TOTAL =</b>	<b>4</b>

**LEVEL 1 FLOOR PLAN**   
ENCLOSED AREA: 15,827 SF  
LANDSCAPE/PERVIOUS AREA: 7,103 SF

LUXURY CONDOMINIUM  
530 NORTH BIRCH ROAD  
FORT LAUDERDALE, FLORIDA 33304



ROBERT M. SWEDROE  
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PHONE: (305) 991-5555 FAX: (305) 991-5975

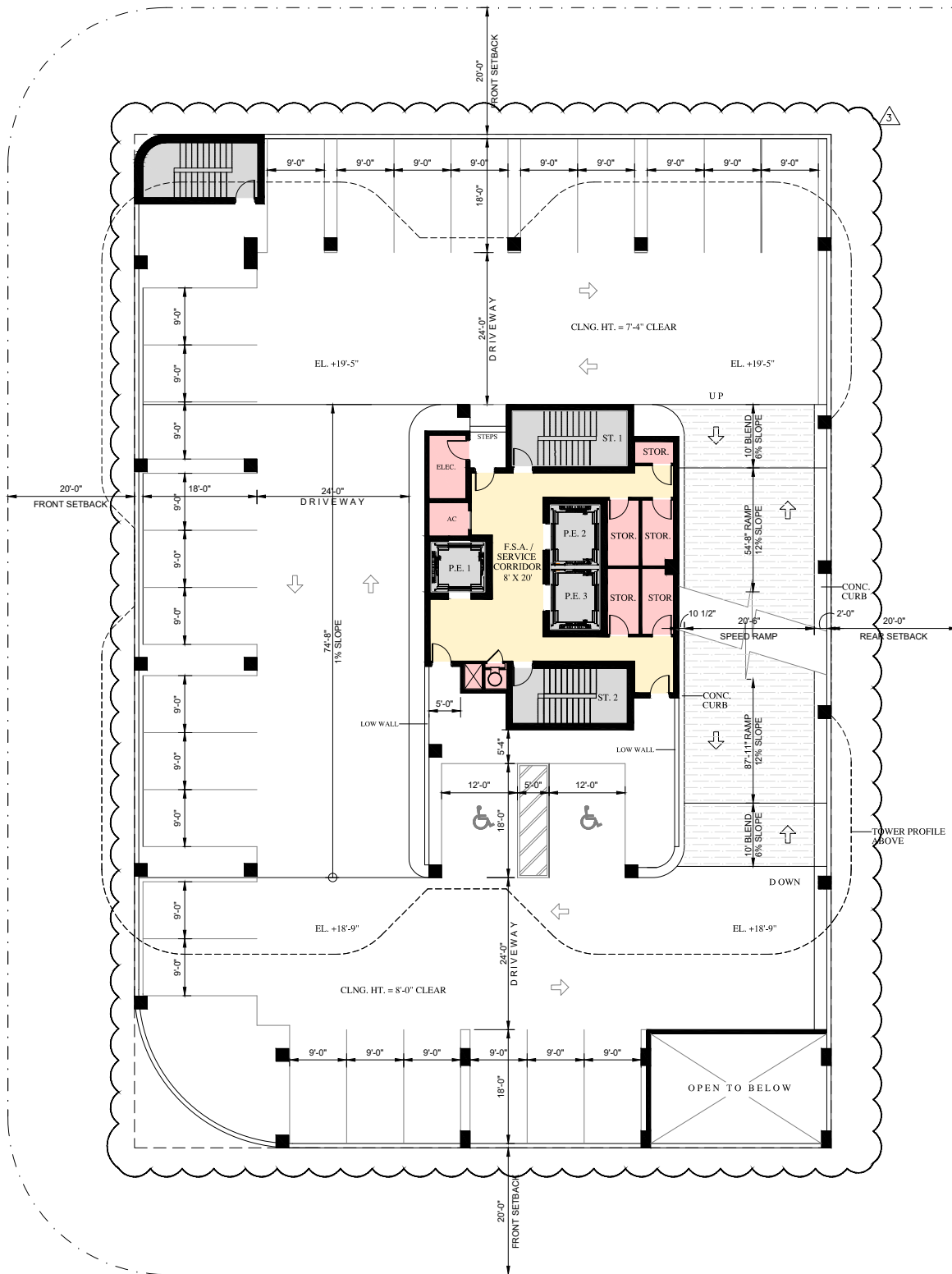
**SCHEMATIC DESIGN**

DRAWN	
CHECKED	
DATE	9-5-24
SCALE	3/32" = 1'-0"
JOB NO.	3402
SHEET	<b>A1.01</b>

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REVISION LOG		
Rev 1	Site Plan Amendment	7/7/2022
Rev 2	Site Plan Amendment	7/26/2024
Rev 3	Site Plan Amendment	9/3/2024



SHEET A1.02 LIST SUMMARY OF CHANGES:  
 1. Added columns.  
 2. Added ramp dimension and slopes.  
 3. Added parking stall dimensions.  
 4. Added clear ceiling height notes.  
 5. Added slab elevations  
 6. Updated enclosed area.

**PARKING COUNT:**

REGULAR =	26
HC/ADA =	2
<b>TOTAL =</b>	<b>28</b>

**LEVEL 2 FLOOR PLAN**  
 ENCLOSED AREA: 16,740 SF

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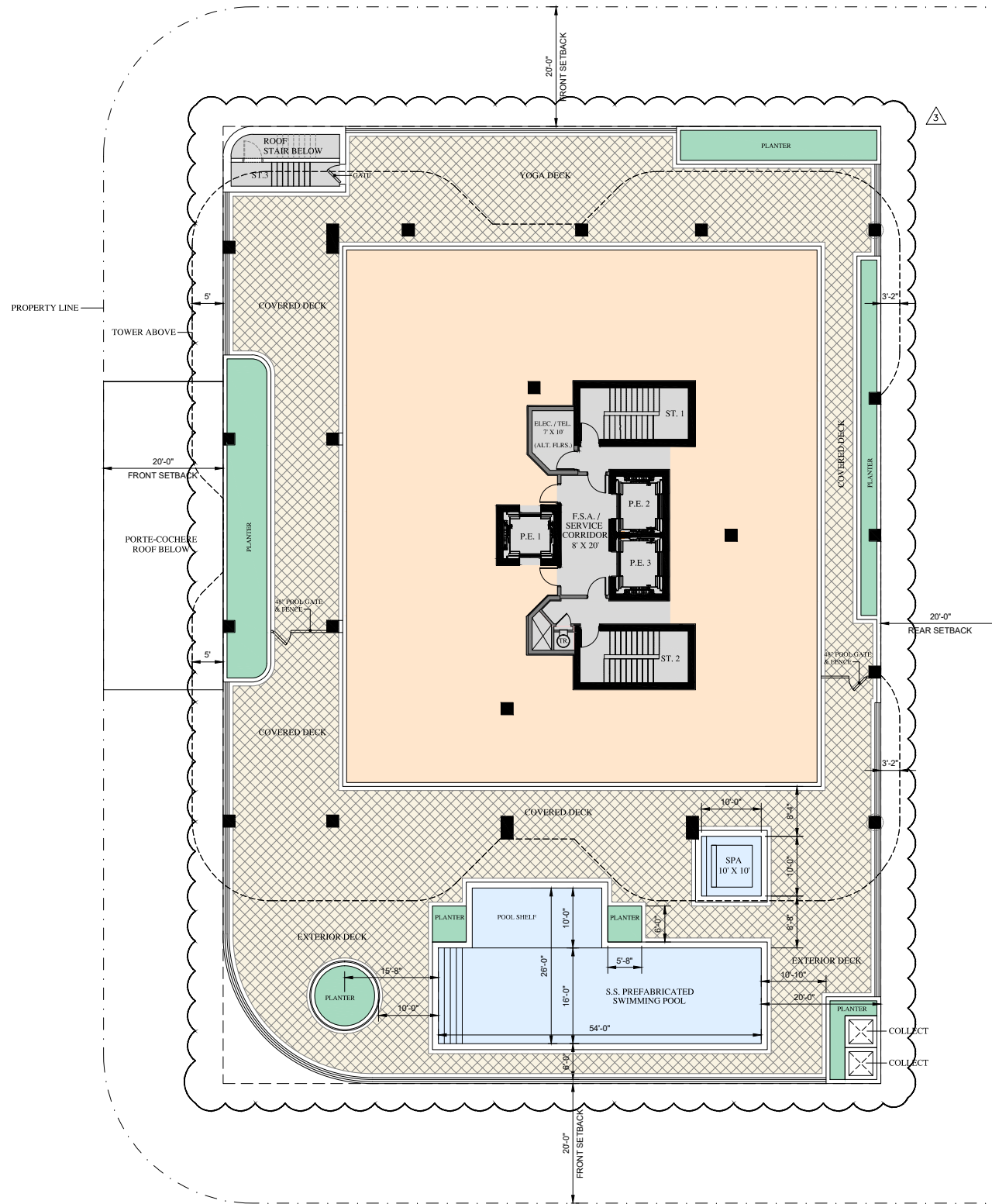
**SCHEMATIC DESIGN**

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DATE	9-5-24
SCALE	3/32" = 1'-0"
JOB NO.	3402
SHEET	

**A1.02**

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REVISION LOG		
Rev 1	Site Plan Amendment	7/7/2022
Rev 2	Site Plan Amendment	7/26/2024
Rev 3	Site Plan Amendment	9/3/2024



SHEET A1.04 LIST SUMMARY OF CHANGES:  
 1. Added columns.  
 2. Updated floor plate data.  
 3. Enclosed area left blank for interior designer.

FLOOR PLATE DATA:	
INTERIOR (ENCLOSED) =	7,212 SF.
EXTERIOR =	10,005 SF.
TOTAL =	17,217 SF.

**LEVEL 4 FLOOR PLAN**  
 LANDSCAPE /PERVIOUS AREA: 887 SF

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**SCHEMATIC DESIGN**

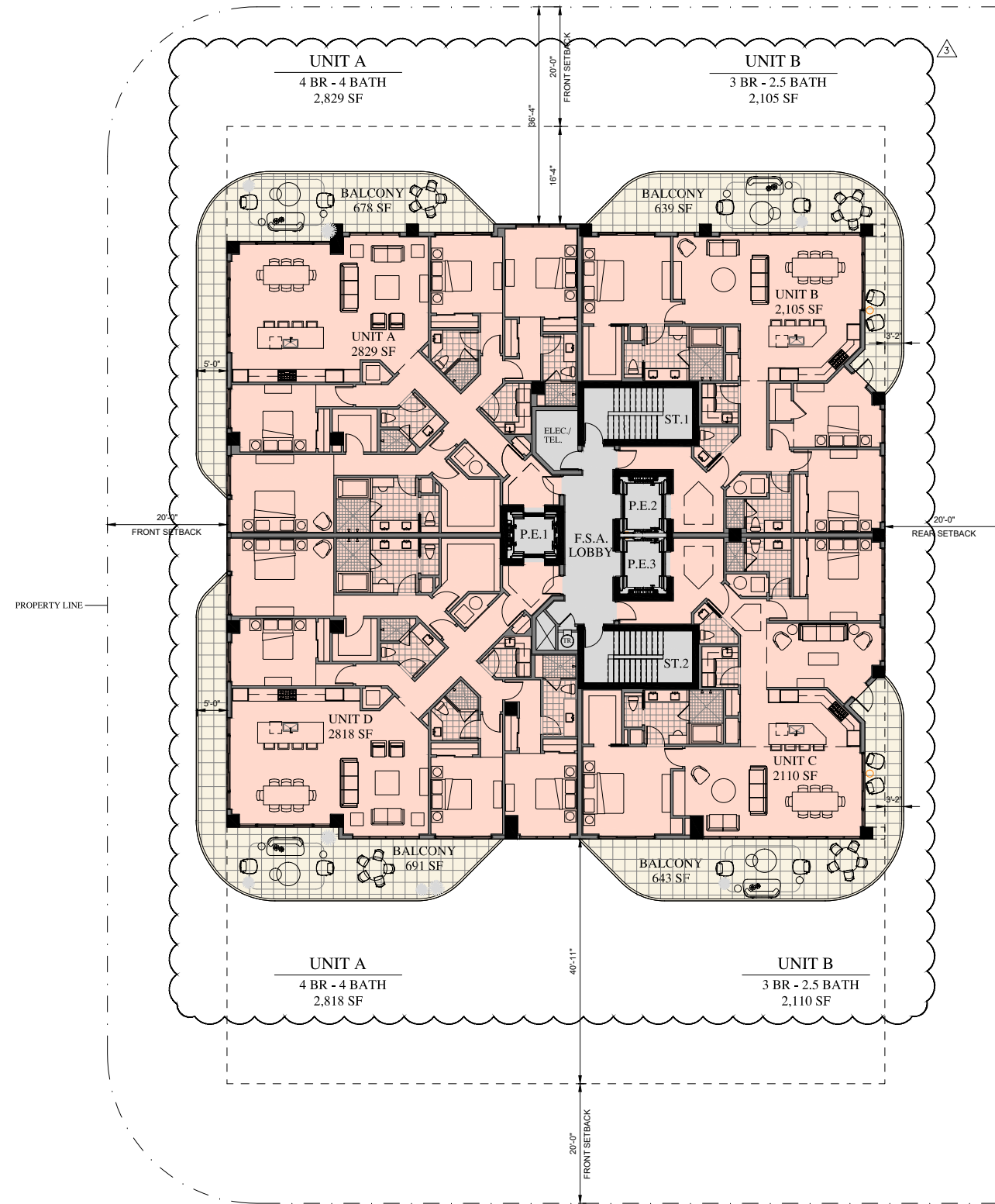
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DATE	9-5-24
SCALE	3/32" = 1'-0"
JOB NO.	3402
SHEET	

**A1.04**

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REVISION LOG		
Rev 1	Site Plan Amendment	7/7/2022
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Rev 3	Site Plan Amendment	9/3/2024



SHEET A1.05 LIST SUMMARY OF CHANGES:  
 1. Added columns and modified exterior walls.  
 2. Reduce north and south balcony depths.  
 3. Updated unit and balcony area.  
 4. Updated floor plate data.  
 5. Added dimensions to balconies to indicate extent past east and west setbacks.

**TYP. FLOOR PLATE DATA:**

INTERIOR (ENCLOSED) =	10,682 SF.
EXTERIOR (BALCONIES) =	2,651 SF.
<b>TOTAL =</b>	<b>13,333 SF.</b>

**TYPICAL FLOOR PLAN**  
LEVELS: 5 -13

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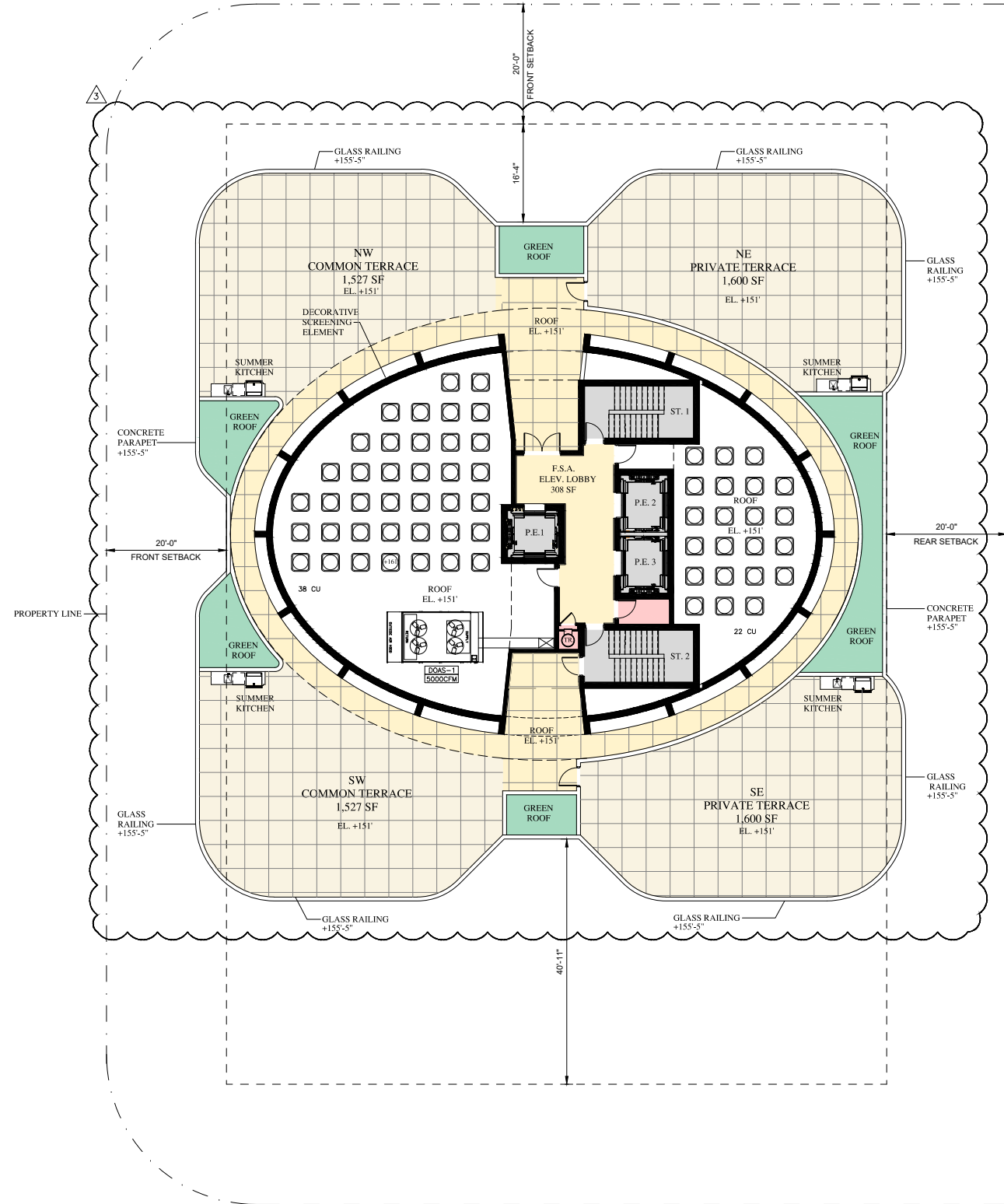
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SHEET	

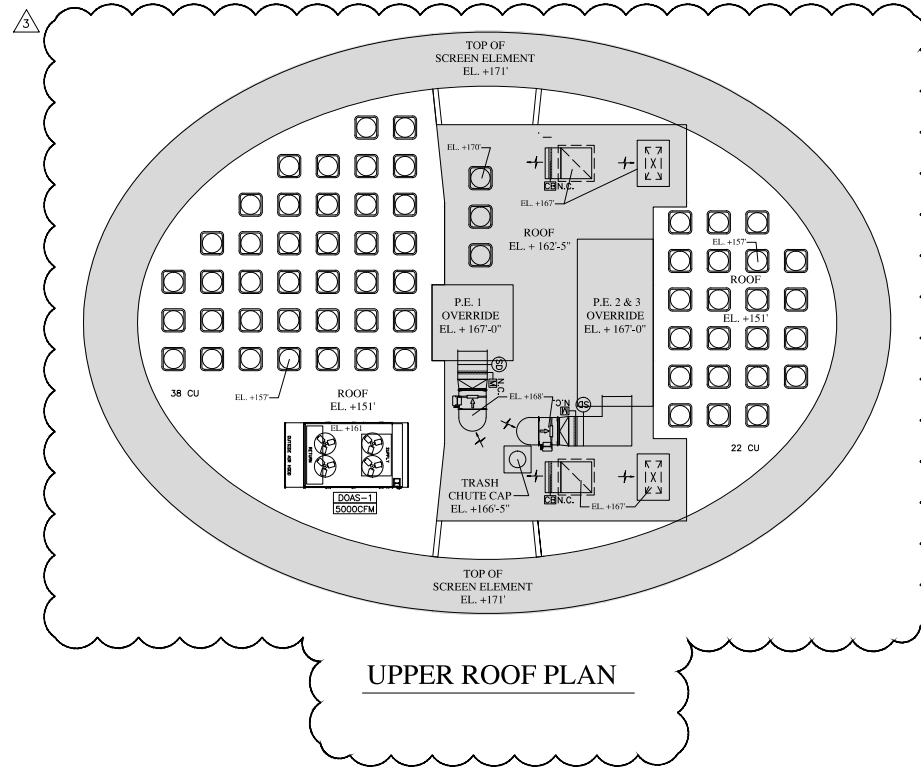
**A1.05**

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Rev 1	Site Plan Amendment	7/7/2022
Rev 2	Site Plan Amendment	7/26/2024
Rev 3	Site Plan Amendment	9/3/2024



UPPER ROOF PLAN

- SHEET A1.12 LIST SUMMARY OF CHANGES:
1. Added upper roof plan.
  2. Added mechanical equipment to roof and upper roof.
  2. Reduced elevator lobby.
  3. Updated floor plate data.
  4. Added spot elevation to parapets/guardrails and mechanical equipment.
  5. Updated floor plate data.

FLOOR PLATE DATA:

INTERIOR (ENCLOSED) =	929 SF.
EXTERIOR =	12,420 SF.
TOTAL =	13,349 SF.

**ROOF PLAN - LEVEL 14**  
( TERRACE AREA = APPROX. 6,254 SF)

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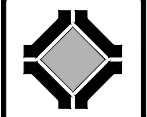
**SCHEMATIC DESIGN**

DRAWN	
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DATE	9-5-24
SCALE	3/32" = 1'-0"
JOB NO.	3402
SHEET	<b>A1.12</b>



REVISION LOG		
Rev 1	Site Plan Amendment	7/7/2022
Rev 2	Site Plan Amendment	7/26/2024
Rev 3	Site Plan Amendment	9/3/2024

LUXURY CONDOMINIUM  
530 NORTH BIRCH ROAD  
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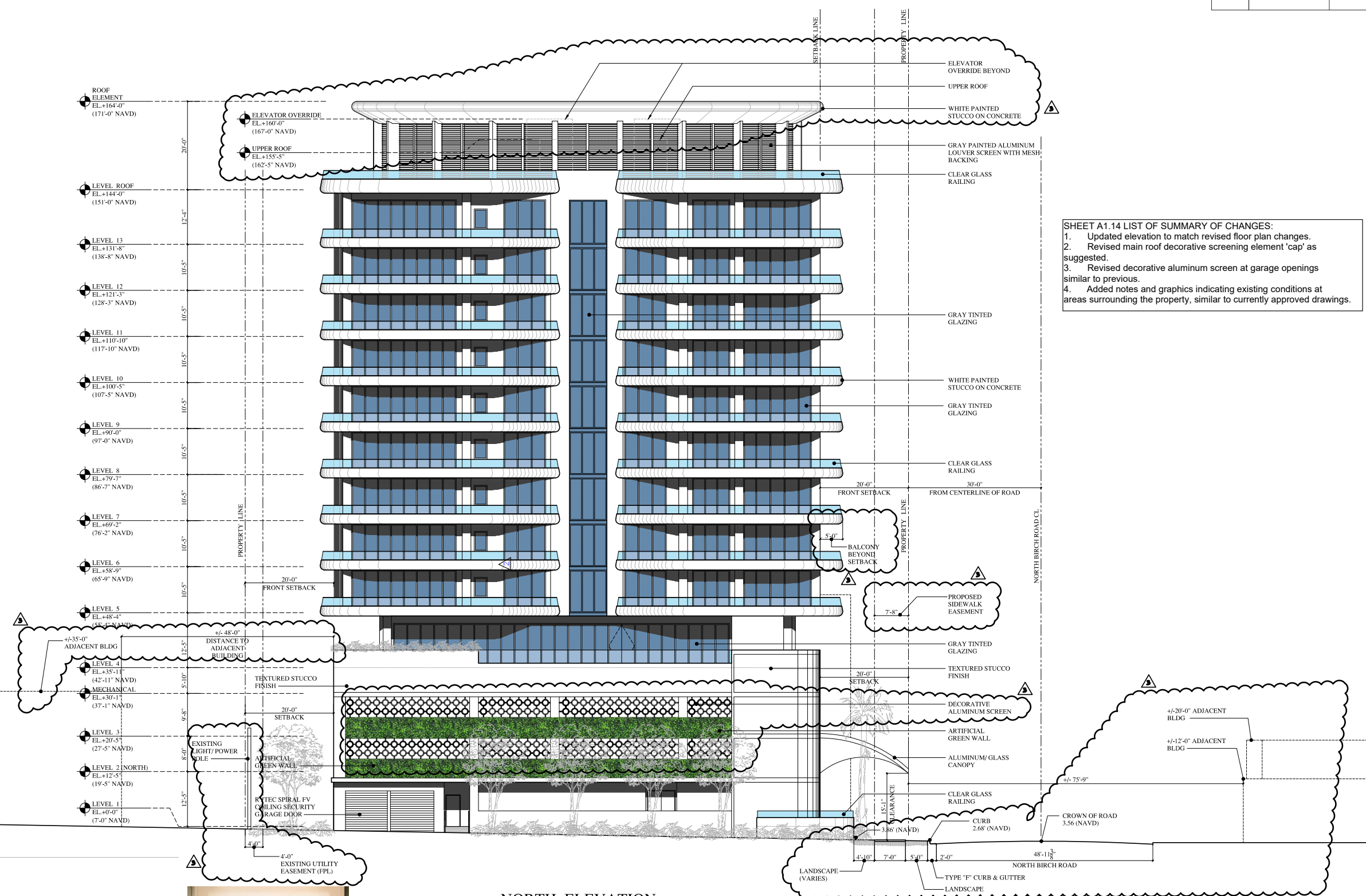
ROBERT M. SWEDROE  
ARCHITECTS PLANNERS  
12000 BISCAYNE BOULEVARD, SUITE 200 MIAMI, FL 33191  
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SCHEMATIC DESIGN

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SHEET	

A1.14




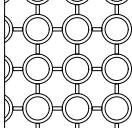
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- SHEET A1.14 LIST OF SUMMARY OF CHANGES:
1. Updated elevation to match revised floor plan changes.
  2. Revised main roof decorative screening element 'cap' as suggested.
  3. Revised decorative aluminum screen at garage openings similar to previous.
  4. Added notes and graphics indicating existing conditions at areas surrounding the property, similar to currently approved drawings.



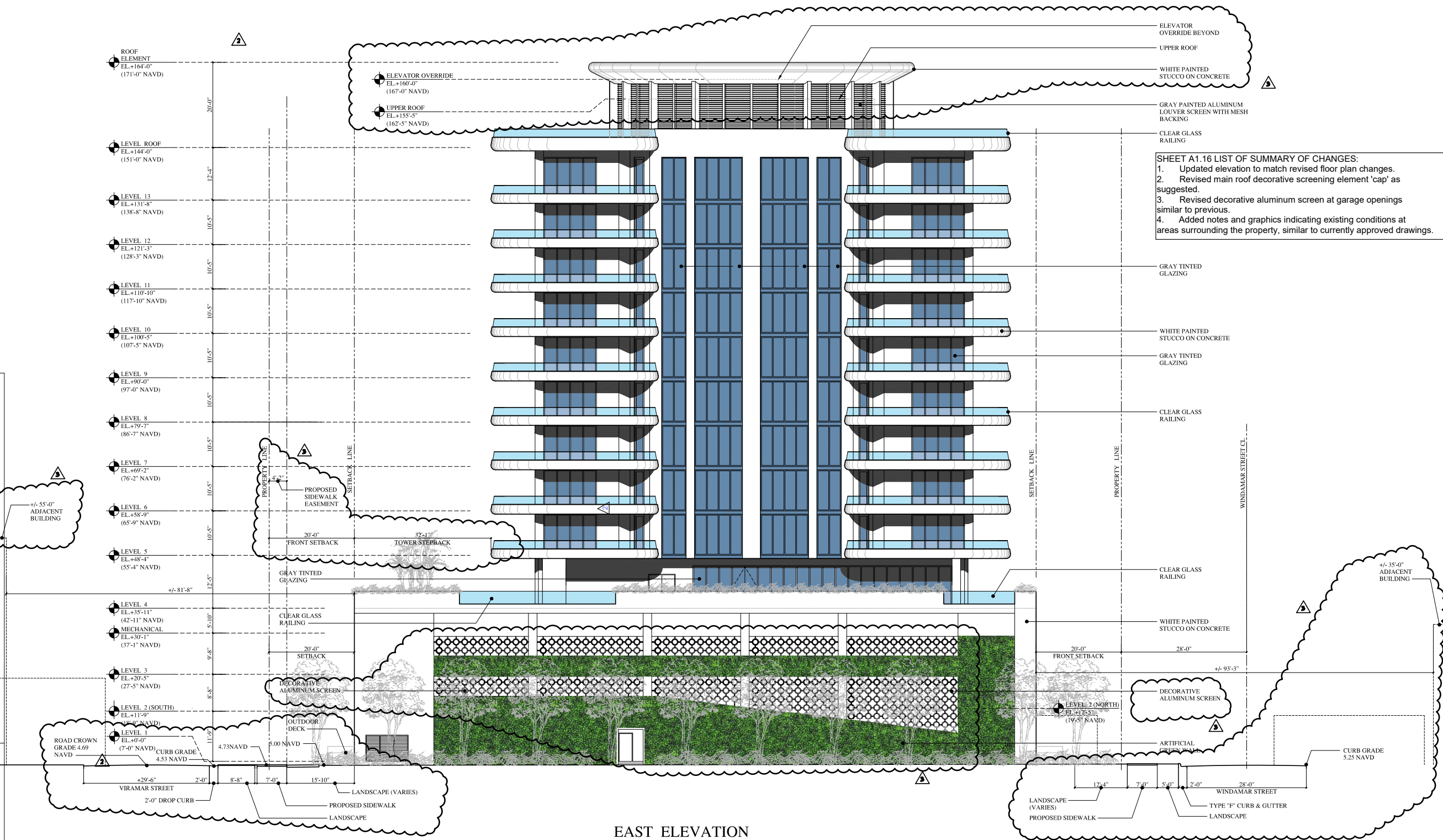
NORTH ELEVATION

			
EASYIVY BOXWOOD ARTIFICIAL GREEN WALL	WHITE COATED ALUMINUM LOUVERS	BENJAMIN MOORE SNOW WHITE PAINTED FINISH ON STUCCO	GRAY ALUMINUM DECORATIVE SCREEN

NORTH ELEVATION

REVISION LOG		
Rev 1	Site Plan Amendment	7/7/2022
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**SHEET A1.16 LIST OF SUMMARY OF CHANGES:**

- Updated elevation to match revised floor plan changes.
- Revised main roof decorative screening element 'cap' as suggested.
- Revised decorative aluminum screen at garage openings similar to previous.
- Added notes and graphics indicating existing conditions at areas surrounding the property, similar to currently approved drawings.

**LUXURY CONDOMINIUM**  
**530 NORTH BIRCH ROAD**  
**FORT LAUDERDALE, FLORIDA 33304**

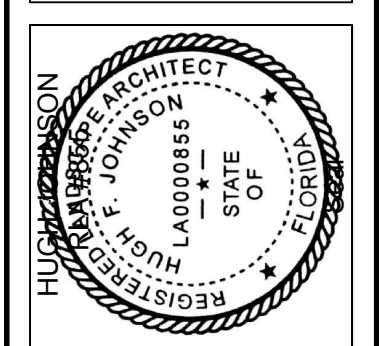


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**SCHEMATIC DESIGN**

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DATE	9-5-24
SCALE	3/32" = 1'-0"
JOB NO.	3402
SHEET	

**A1.16**



1 DRC Comments - 2018  
 2 DRC Final Comm. 10-31-18  
 3 DRC Final Comm. 3-12-19  
 1 DRC Amendment - 2022  
 2 DRC Amendment 07-26-2024  
 Revision Dates

DRC SUBMITTAL SET  
**530 N. BIRCH ROAD**  
 530 N. BIRCH ROAD  
 FORT LAUDERDALE, FLORIDA

Sheet Description  
 GROUND FLOOR  
 LANDSCAPE  
 PLAN  
 Release Date  
 07-26-2024  
 Project Number  
 2439  
 Drawing Number  
**L-200**  
 Sheet 1 OF 4

**PLANT SCHEDULE GROUND FLOOR**

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	SIZE	NATIVE	DROUGHT	SPACING
<b>TREES</b>									
BS	6	BURSERA SIMARUBA	GUMBO LIMBO	FG/B&B	5" CAL	18" HT. X 9" SPR. 7' CT.	YES	HIGH	
CP2	8	COCCOLOBA DIVERSIFOLIA	PIGEON PALM	FG/B&B	2.5" CAL	12" HT. X 5" SPR. S	YES	HIGH	
CES2	10	CONOCARPUS ERECTUS 'SERICEUS'	SILVER BUTTONWOOD	FG/B&B	2" CAL	10" HT. X 5" SPR. STD.	YES	HIGH	
ED	3	ELAEOCARPUS DECIPENS	JAPANESE BLUEBERRY TREE	FG/B&B		10" HT. X 5" SPR. FULL TO BASE	NO	HIGH	
LI	2	LIGUSTRUM JAPONICUM	TREE LIGUSTRUM	FG/B&B	MULTI STEM	10" HT. X 5" SPR.	NO	MEDIUM	
<b>FLOWERING TREES</b>									
LI	2	LAGERSTROEMIA INDICA 'TUSCARORA'	TUSCARORA CRAPE MYRTLE 'STANDARD'	FG/B&B	3" CAL	14 HT X 6 SPR. STD	NO	MED.	
<b>PALM TREES</b>									
CN	6	COCOS NUCIFERA	COCONUT PALM	FG/B&B		6" GW., 10' CT., MATCHED HEIGHTS	NO	HIGH	
PE	6	PTYCHOSPERMA ELEGANS	SOLITAIRE PALM	FG/B&B		8' CT. - SINGLE	NO	HIGH	
SP2	6	SABAL PALMETTO	CABBAGE PALMETTO	FG/B&B		14-18' CT., STAGGERED OA HTS.	YES	HIGH	
TR2	2	THRINAX RADIATA	FLORIDA THATCH PALM	FG/B&B		6-8' OA, TRIPLE TRUNKS, MATCHED	YES	HIGH	
VMT	6	VEITCHIA MONTGOMERYANA	MONTGOMERY PALM	FG/B&B		12-16' OA, TRIPLE TRUNK	NO	MEDIUM	
<b>SHRUBS</b>									
ABO	12	AECHMEA BLANCHETIANA	'BURNT ORANGE' BROMELIAD	-		36" X 36"	NO	MEDIUM	
AIR	12	ALCANTAREA IMPERIALIS 'RUBRA'	RUBRA IMPERIAL BROMELIAD	-		30-36" OA	NO	MEDIUM	
CBT	6	CORDYLINE FRUTICOSA 'BOLERO'	BOLERO TI PLANT	-		36" OA	NO	MEDIUM	
JIP	2	JATROPHA INTEGERRIMA	SPICY JATROPHA	-		5-6' OA, STANDARD	NO	HIGH	
NGE	50	NEOREGELIA X 'GREEN EYES'	NEOREGELIA BROMELIAD	-		12" OA	NO	HIGH	
NSM	34	NEOREGELIA X 'MONET'	'MONET' BROMELIAD	-		12" OA	NO	HIGH	
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	SIZE	NATIVE	DROUGHT	SPACING
<b>SHRUB AREAS</b>									
CIH	129	CHRYSOBALANUS ICACO 'HORIZONTALIS'	HORIZONTAL COCOPLUM	-		16" HT X 16" SPR	YES	HIGH	24" o.c.
CIR	133	CHRYSOBALANUS ICACO 'REDTIP'	RED TIP COCOPLUM	-		24" HT X 24" SPR	YES	HIGH	24" o.c.
FMG	276	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	-		12" HT X 12" SPR	NO	HIGH	18" o.c.
IVD	186	ILEX VOMITORIA 'STOKES DWARF'	DWARF YAUPOH HOLLY	-		12" HT X 12" SPR	YES	HIGH	18" o.c.
JJW	138	JASMINUM VOLUBILE	WAX JASMINE	-		18" HT X 18" SPR	NO	MEDIUM	24" o.c.
PBM	6	PHILODENDRON X 'BURLIE MARX'	PHILODENDRON	-		16" HT X 16" SPR	NO	MEDIUM	20" o.c.
SAT	50	SCHIFFFLERA ARBORICOLA 'TRINETTE'	SCHIFFFLERA	-		24" HT X 24" SPR	NO	HIGH	24" o.c.
<b>GROUND COVERS</b>									
AGR	1221	ARACHIS GLABRATA	PERENNIAL PEANUT	-		4" HT. X 12" SPR	NO	HIGH	16" o.c.
DTB	48	DIANELLA TASMANICA	BLUEBERRY FLAX LILY	-		16" HT. X 16" SPR.	NO	MEDIUM	24" o.c.
ELG	462	ERNODEA LITTORALIS	GOLDEN CREEPER	-		12" HT. X 12" SPR	YES	HIGH	16" o.c.
NBN	35	NEOREGELIA X 'BOSSA NOVA'	GREEN & WHITE BROMELIAD	-		8" HT. X 8" SPR.	NO	HIGH	12" o.c.
NES	95	NEPHROLEPIS EXALTIATA	BOSTON FERN	-		12" HT. X 12" SPR.	YES	HIGH	16" o.c.
<b>SOD/SEED</b>									
SOD	2,328 SF	STENOTAPHRUM SECUNDATUM 'FLORITAM'	'FLORITAM' ST. AUGUSTINE SOD	SOD					
<b>TALL GROUND COVERS</b>									
TF	37	TRIPSACUM FLORIDANA	FLORIDA GAMMA GRASS	-		24" HT. X 24" SPR.	YES	HIGH	30" o.c.

**NOTES:**

- A SEPARATE PERMIT IS REQUIRED FOR THE TREE REMOVAL. SUB-CONTRACTOR SHALL APPLY AND SUBMIT FOR THIS PERMIT PRIOR TO ANY WORK BEING PERFORMED ON SITE.
- A SEPARATE PERMIT IS REQUIRED FOR THE LANDSCAPING. SUB-CONTRACTOR SHALL APPLY AND SUBMIT FOR THIS PERMIT PRIOR TO ANY WORK BEING PERFORMED ON SITE.
- STRUCTURAL SOIL SHALL BE USED FOR THE PLANTING MEDIUM ON ALL STREET TREES AND LARGE PALMS. THE STRUCTURAL SOIL SHALL EXTEND 8' OUT FROM THE TREE/PALM IN ALL DIRECTIONS UNLESS ABUTTING THE STREET CURB.
- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
- SEE SHEET L-202 FOR LANDSCAPE DETAILS AND NOTES.

**LANDSCAPE CALCULATIONS**  
 530 N. BIRCH ROAD  
 LAND USE: NBRA  
 ZONING: NBRA

SITE AREA	29,732 SF	.68 AC.
TOTAL PERVIOUS AREA PROPOSED	6,753 SF	
TOTAL LANDSCAPE AREA PROVIDED	6,753 SF	
TOTAL VUA - Covered Drop-off area not NIC	901 SF	
LANDSCAPE VUA AREA (20% OF VUA)	180 SF	555 SF
	REQUIRED	PROVIDED
<b>NET LOT AREA (1 TREE PER 1,000 SF)</b>		
6,198 SF / 1,000 SF = 6.2 TREES	7 Trees	17 Trees & 18 Palms
SHRUBS ( 12 SHRUBS PER 1,000 SF) 12 x 6.2 = 90	75 Shrubs	200+ Shrubs
<b>VUA TREES (1 TREE PER 1,000 SF OF VUA)</b>		
901 SF / 1,000 SF = 1 TREE	1 Tree	1 Tree
<b>VUA SHRUBS ( 6 SHRUBS PER 1,000 SF OF VUA)</b>		
901 SF / 1,000 SF x 6 = 6 SHRUBS	6 Shrubs	20+ Shrubs
<b>STREET TREES</b>		
1 TREE PER 40 LF		
Windamar Street (North): 150 LF / 40 LF = 3.75 Trees	4 Trees	4 Trees
Viramar Street (South): 150 LF / 40 LF = 3.75 Trees	4 Trees	4 Trees & 1 Palm
Birch Road (West): 200 LF / 40 LF = 5 Trees	5 Trees	5 Trees & 5 Palms
	SUB-TOTAL	13 Trees 13 Trees & 6 Palms
		55% Trees
<b>TOTAL TREES</b>		
	21 Trees	30 Trees & 24 Palms
<b>NATIVE TREES</b>		
40% TREES MUST BE NATIVE (21 TREES X 40% = 9)	9 Trees	24 Trees
		6 Palms
<b>50% NATIVE PLANT MATERIAL</b>		
Total Provided - 1,989 (50% = 995 Req. Native)	995	1,074 (54%)
<b>SOD</b>		
50% MAX. SOD FOR PERVIOUS AREA (ON-SITE)		
6,753 SF Total Pervious 50% = 3,377 SF Max. Provided	50% - 3,377 SF	34% - 2,328 SF
ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.		
IRRIGATION SYSTEM SHALL ALSO BE EQUIP WITH A RAIN SENSOR.		

**DRC ADMINISTRATIVE AMENDMENT LEGEND - SUBMITTAL #1 - 07-07-2022**

- GROUND LEVEL LANDSCAPE PLAN:**
- SHEET REVISED PER UPDATED ARCHITECTURE BACKGROUND.
  - INDICATE STRUCTURAL SOIL FOR STREET TREES ALONG BIRCH.
  - PROVIDE CLEAR PATH SIDEWALK ALONG WINDAMAR STREET AND BIRCH ROAD. PLACED STREET TREES 4' BACK FACE OF CURB, THUS ELIMINATE THE NEED FOR ADPAVE WITHIN SIDEWALK.
  - ADD ROOT BARRIER TO STREET TREE NORTH EAST CORNER OF PROPERTY. UTILITY CONFLICT.

**DRC ADMINISTRATIVE AMENDMENT LEGEND - SUBMITTAL #2 - 07-26-2024**

- GROUND LEVEL LANDSCAPE PLAN:**
- SHEET REVISED PER UPDATED ARCHITECTURE BACKGROUND.
  - NORTH AND SOUTH PROPERTY LINES ARE WHERE MOST OF THE REVISIONS WERE.
  - UPDATED LANDSCAPE CALCULATIONS PER THIS NEW BACKGROUND. UPDATED PERVIOUS AREA NUMBERS FOR THE SITE.

