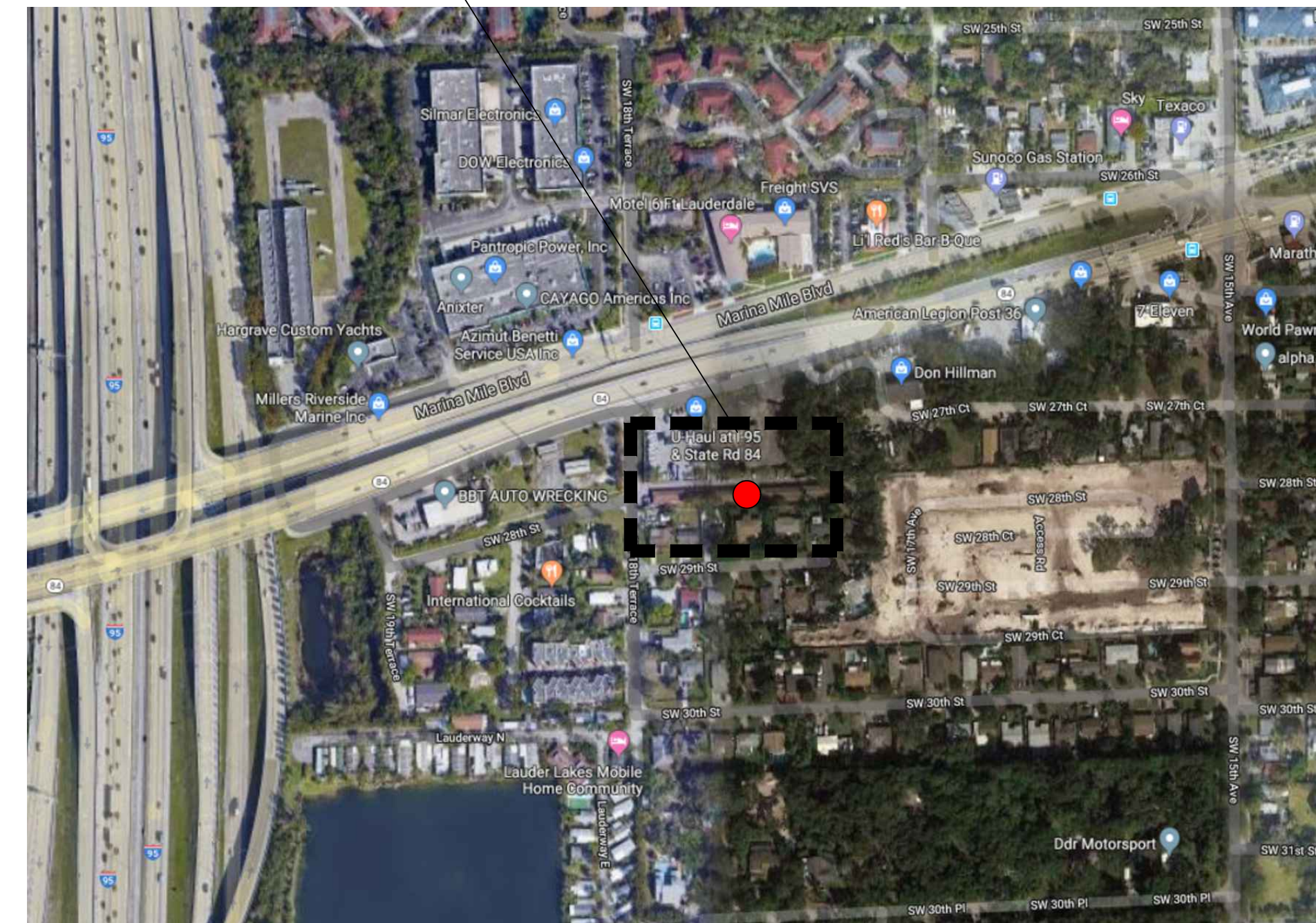


AMERCO SITE 788054

1800 W State Road 84

Fort Lauderdale, FL 33315

UHAUL FACILITY PROJECT LOCATION



AERIAL MAP

THE OVERALL SCOPE OF WORK IS THE FOLLOW:

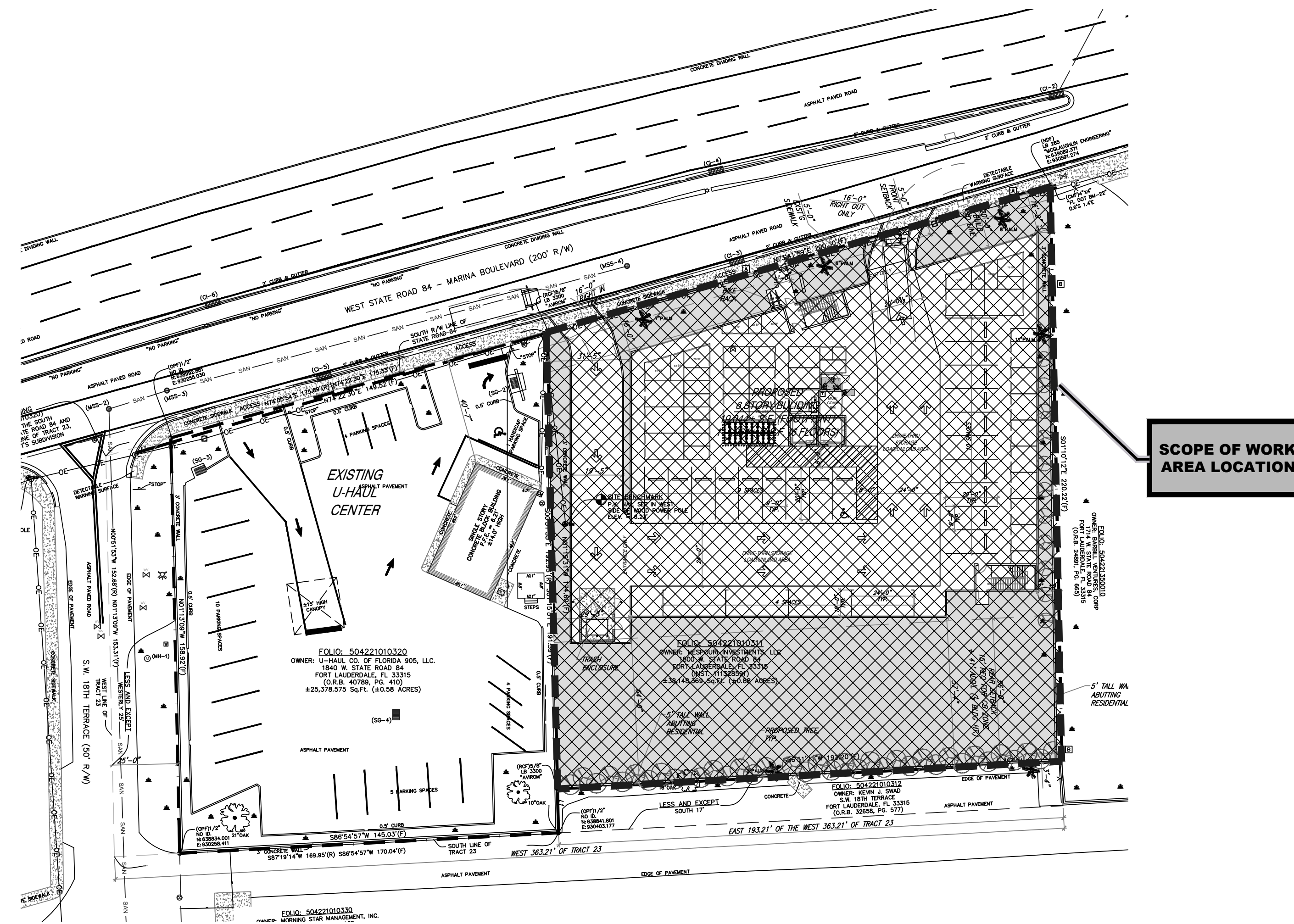
- NEW 6-STORY BUILDING, SELF-STORE USE.

GOVERNING CODES

FLORIDA BUILDING CODE - 2020, 7th EDITION FLORIDA FIRE PREVENTION CODE 7th EDITION NFPA 1 and NFPA 101, 2018 EDITION 2020 ADA STANDARDS FLORIDA MECHANICAL CODE 2020 FLORIDA PLUMBING CODE 2020 NATIONAL ELECTRIC CODE 2017	OCCUPANCY GROUP: S AS PER FBC-2020 (SEC-304.1)
	BUILDING HEIGHT = 65 FT AS PER FBC 2020 (TABLE-503) FOR "S" GROUP
	CONSTRUCTION TYPE: III-A AS PER FBC 2020 (TABLE-601) (602.2)

DRAWING LIST:

DRAWING NUMBER	TITLE
C-0.0	COVER SHEET, SITE PLAN LOCATION OF WORK
A-1.0	PROPOSED SITE PLAN
A-1.1	1st LEVEL FLOOR PLAN
A-1.2	2nd, 4th & 6th LEVELS FLOOR PLAN
A-1.3	3rd & 5th LEVELS FLOOR PLAN
A-2.0	ROOF LEVEL PLAN
A-3.1	EXTERIOR ELEVATIONS PLAN
A-3.2	NORTH ELEVATION-TRANSPARENCY REQUIREMENT.
A-3.3	CROSS SECTION PLAN
A-4.0	TYPICAL LIFE SAFETY PLAN
C-1.0	PAVING, GRADING & DRAINAGE PLAN
C-2.0	ROADWAY MARKING & SIGNAGE PLAN
C-3.0	PAVING & DRAINAGE DETAILS PLAN (1 OF 3)
C-4.0	PAVING & DRAINAGE DETAILS PLAN (2 OF 3)
C-5.0	PAVING & DRAINAGE DETAILS PLAN (3 OF 3)
C-6.0	STORMWATER POLLUTION PREVENTION PLAN
C-7.0	STORMWATER POLLUTION PREVENTION DETAILS PLAN
C-8.0	WATER & SEWER PLAN
C-9.0	WATER DETAILS PLAN
C-10.0	SEWER DETAILS PLAN (1 OF 2)
C-11.0	SEWER DETAILS PLAN (2 OF 2)
L-1.0	LANDSCAPE SITE PLAN
L-2.0	LANDSCAPE CALCULATIONS
E-1.0	PHOTOMETRIC SITE PLAN



SITE PLAN SCOPE OF WORK LOCATION

SCALE: 1/32" = 1'-0"



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305.877.1845
Jfiallo@fiallompdesign.com

CA# 28637

NEW 6-STORY STORAGE BUILDING
AMERCO- Self-Storage Facility 788054
1800 West State Road 84
Ft. Lauderdale, FL 33315

JORGE FIALLO
FLORIDA P.E. #65527
Drawings not valid unless Signed, Sealed
and Dated by a Registered Professional

NO.	REVISIONS	DATE
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△		

JOB NUMBER:
20-200-00514

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DRAWN BY:	J. FIALLO
CHECKED BY:	J. FIALLO
ISSUE:	-

COVER SHEET

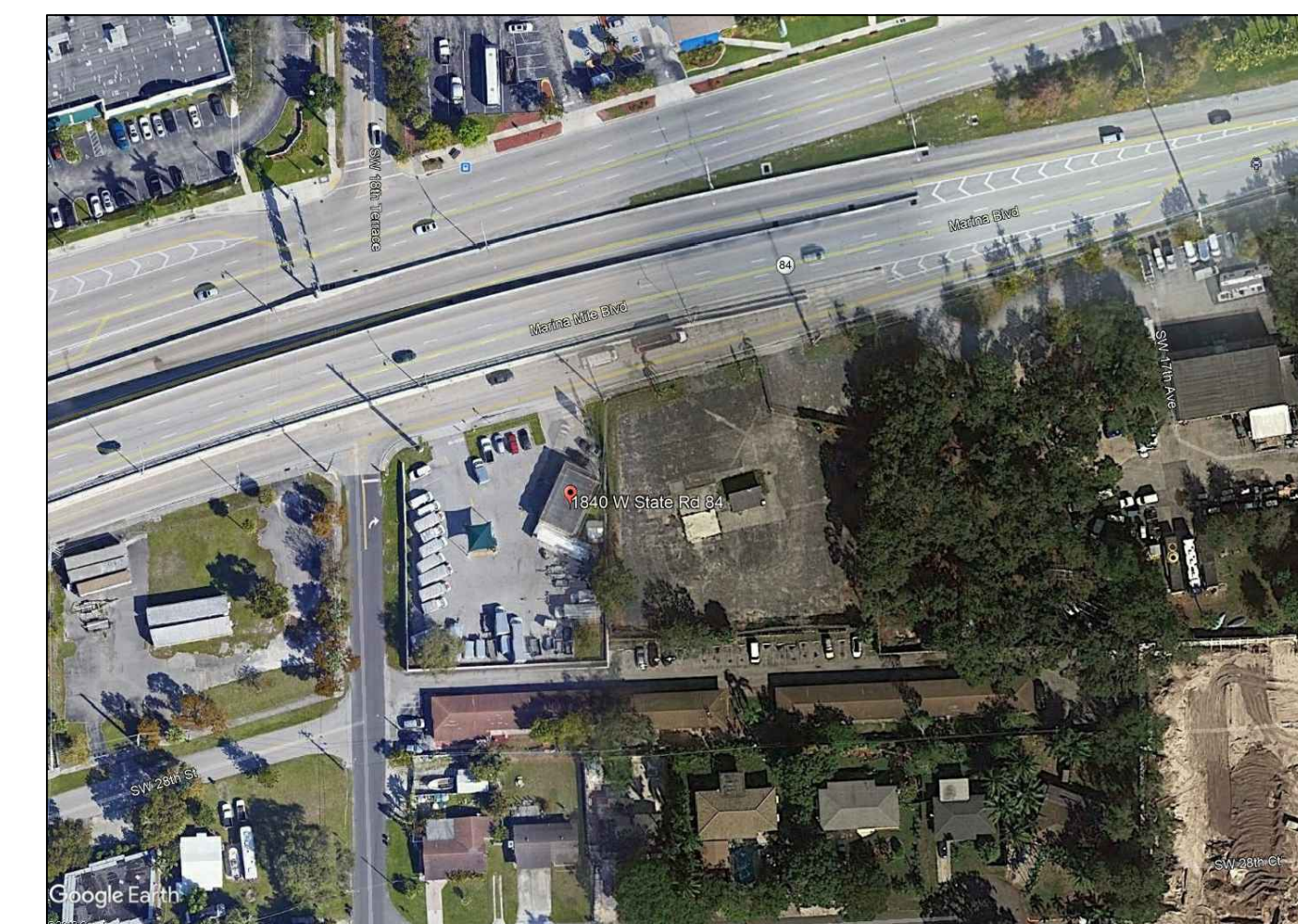
C-0.0

SHEET NUMBER

FIALLO'S MEP DESIGN, INC

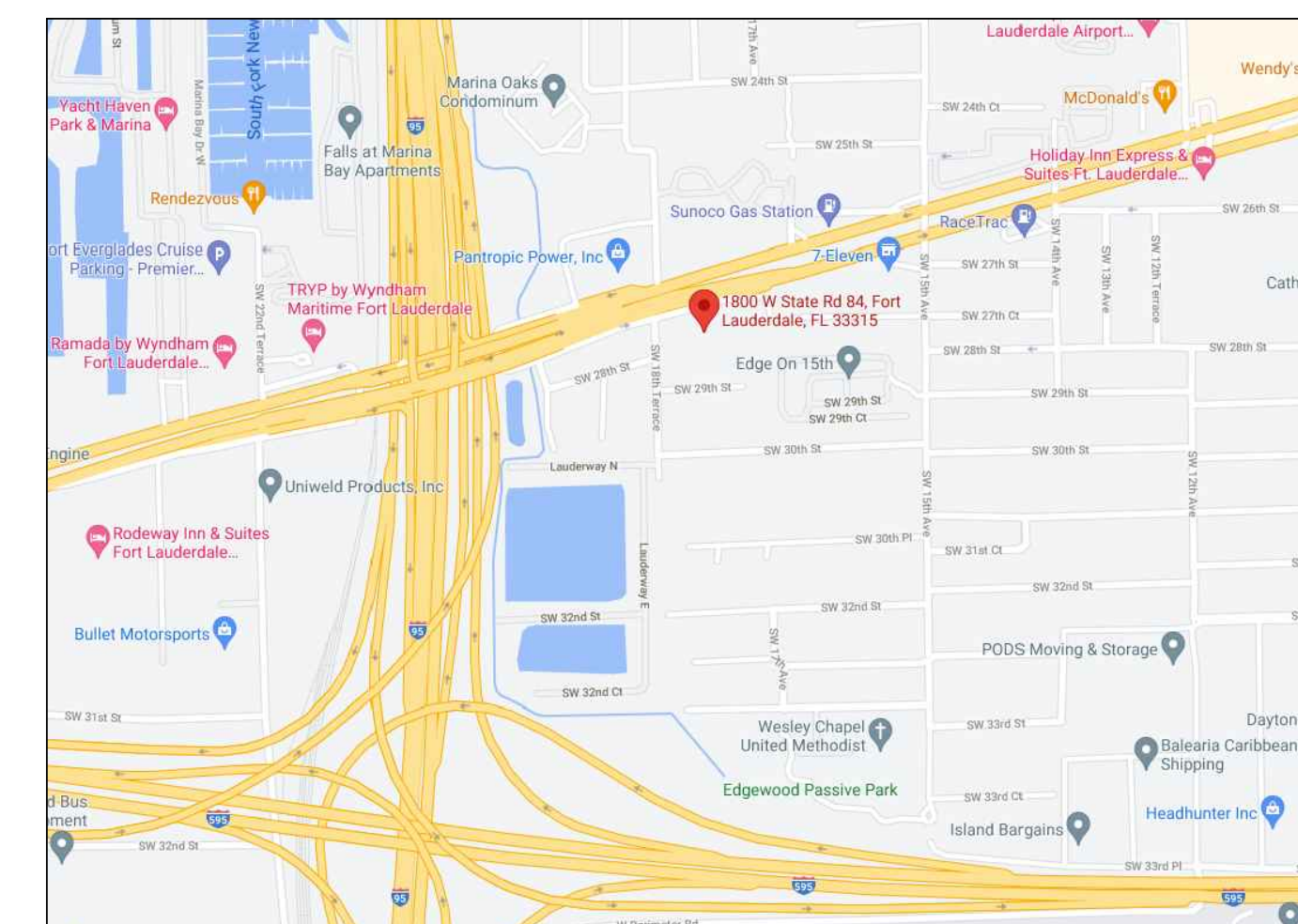
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AERIAL VIEW

N.T.S.



LOCATION MAP

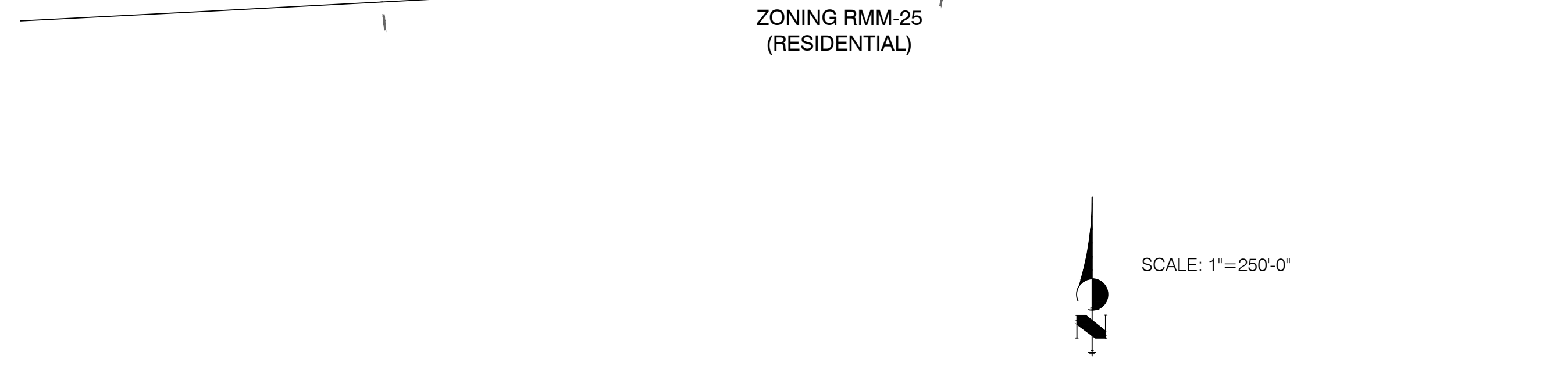
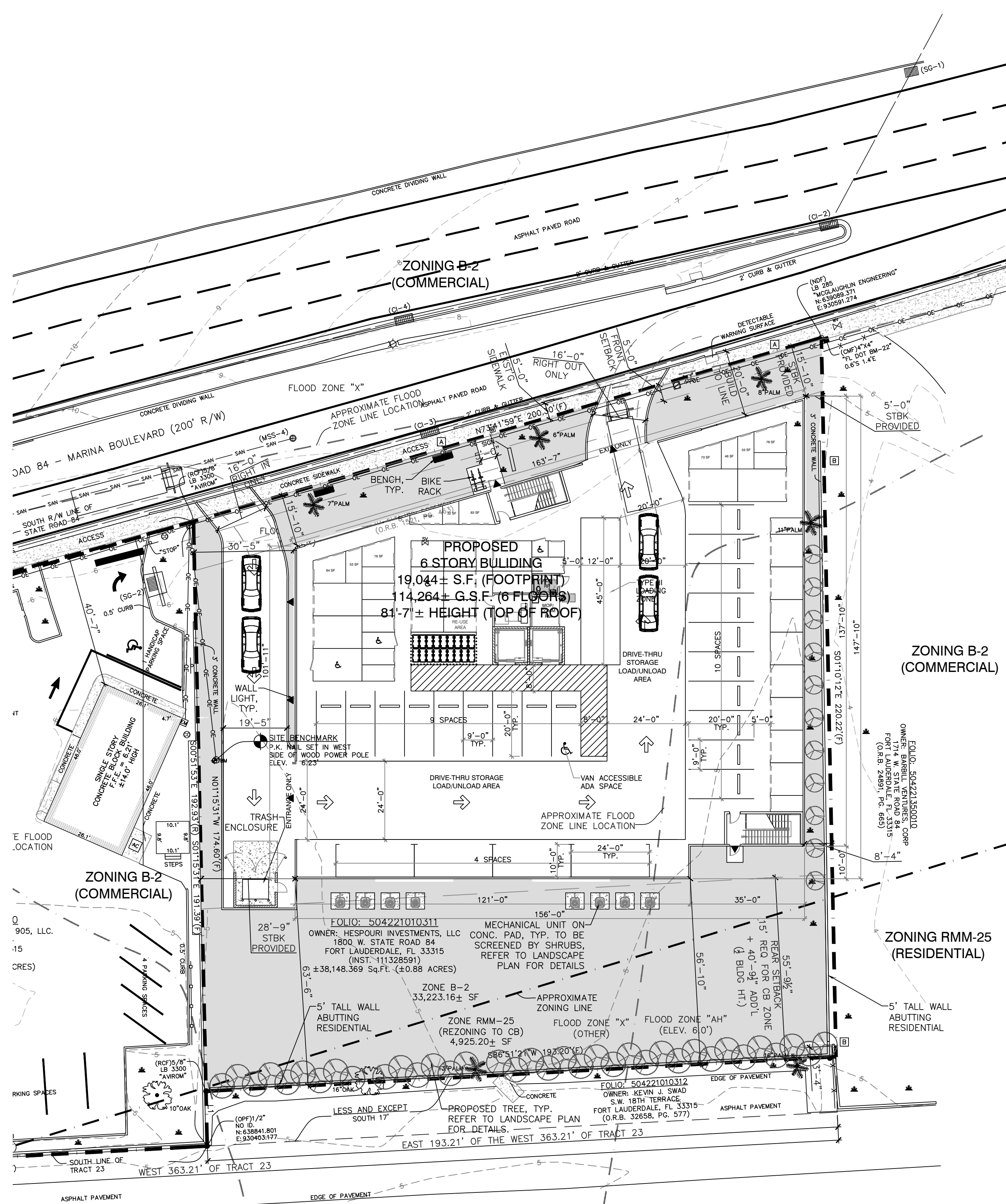
N.T.S.

NEW 6-STORY STORAGE BUILDING
AMERCO- Self-Storage Facility 788054
1800 West State Road 84
Ft. Lauderdale, FL 33315

LEGAL DESCRIPTION: A PARCEL OF LAND LOCATED IN SECTION 21, TOWNSHIP 50 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 84 (200 FOOT WIDE RIGHT-OF-WAY) AND THE WEST LINE OF TRACT 23, OF F.A. BARRETT'S SUBDIVISION AS RECORDED IN PLAT BOOK 1, PAGE 46 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE NORTH 74°22'30" EAST, ALONG SAID SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 175.33 FEET TO A 5/8" REBAR & CAP (LB 3300) MARKING THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID SOUTH RIGHT-OF-WAY LINE, NORTH 73°41'59" EAST, A DISTANCE OF 200.30 FEET TO A NAIL & DISK (LB 285); THENCE LEAVING SAID SOUTH RIGHT-OF-WAY LINE, SOUTH 01°10'12" EAST, A DISTANCE OF 220.22 FEET; THENCE SOUTH 86°51'21" WEST, A DISTANCE OF 193.20 FEET; THENCE NORTH 01°15'31" WEST, A DISTANCE OF 174.60 FEET TO THE POINT OF BEGINNING. CONTAINING 38,148.369 SQUARE FEET (0.88 ACRES), MORE OR LESS.

DEVELOPMENT INFORMATION	
Project Name	Self-Storage Facility at I-95 & State Rd 84
Project Address	1800 W State Rd 84, Fort Lauderdale, FL 33315
Legal Description	Parcel of land located in Section 21, Township 50 South, Range 42 East Broward County, Florida
Tax ID Folio Numbers	504221010311
Description of Project	Proposed Six Story, 114,264 GSF Self-Storage building, 866 units total, 19,044 SF footprint
Total Estimated Cost of Project	\$8,179,663
Site Adjacent to Waterway	No
PROPERTY USE INFORMATION	
Land Use Designation	Existing: Commercial Proposed: Commercial
Zoning Designation	Existing: B-2 (General Business)/RMM-25 Interdistrict Corridor Proposed: B-2 (General Business) Interdistrict Corridor/CB
Use of Property	Existing: vacant land Proposed: Self-Storage
Number of Residential Units	N/A
Non-Residential Square Feet	114,264 SF
Building Square Feet (Includes Structure Parking)	114,264 SF
DIMENSIONAL REQUIREMENTS	
Lot Size (Square Feet/Acreage)	Required Per ULDR: none / none Proposed: 37,897 SF / 0.87 AC
Lot Density (Units/Acres)	N/A
Lot Width	193'
Building Height (Feet/Floors)	150' allowed Proposed: 81'-7" (top of roof) / 6 Floors
Structure Length	none Proposed: 147'
Floor Area Ratio (FAR)	none Proposed: N/A
Lot Coverage	none Proposed: 33%
Vehicular Use Area	none
Parking Spaces	1 sp/5,000 SF GFA = 23 required Proposed: 1 sp/5,000 SF GFA = 23 proposed
SETBACKS	
Front (North)	Required: (B-2) 5/20' from the curb at SR 84 / (CB) 5/20' Proposed: 20' from the curb at SR 84 / N/A
Side (East)	Required: (B-2) 15' / (CB) 10' w/ residential or none Proposed: 5' / N/A
Side (West)	Required: (B-2) 15' / (CB) 10' w/ residential or none Proposed: 28'-9" / N/A
Rear (South)	Required: (B-2) 20' w/ Residential / (CB) 15' + 40'-9 1/2" (Bldg Ht) = 55'-9 1/2" Proposed: N/A / 56'-10"
Open Space	none Proposed: 15,648 ± SF / 41%
Landscape	none Proposed: 15,648 ± SF / 41%



SCALE: 1"=250'-0"

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NO. REVISIONS DATE

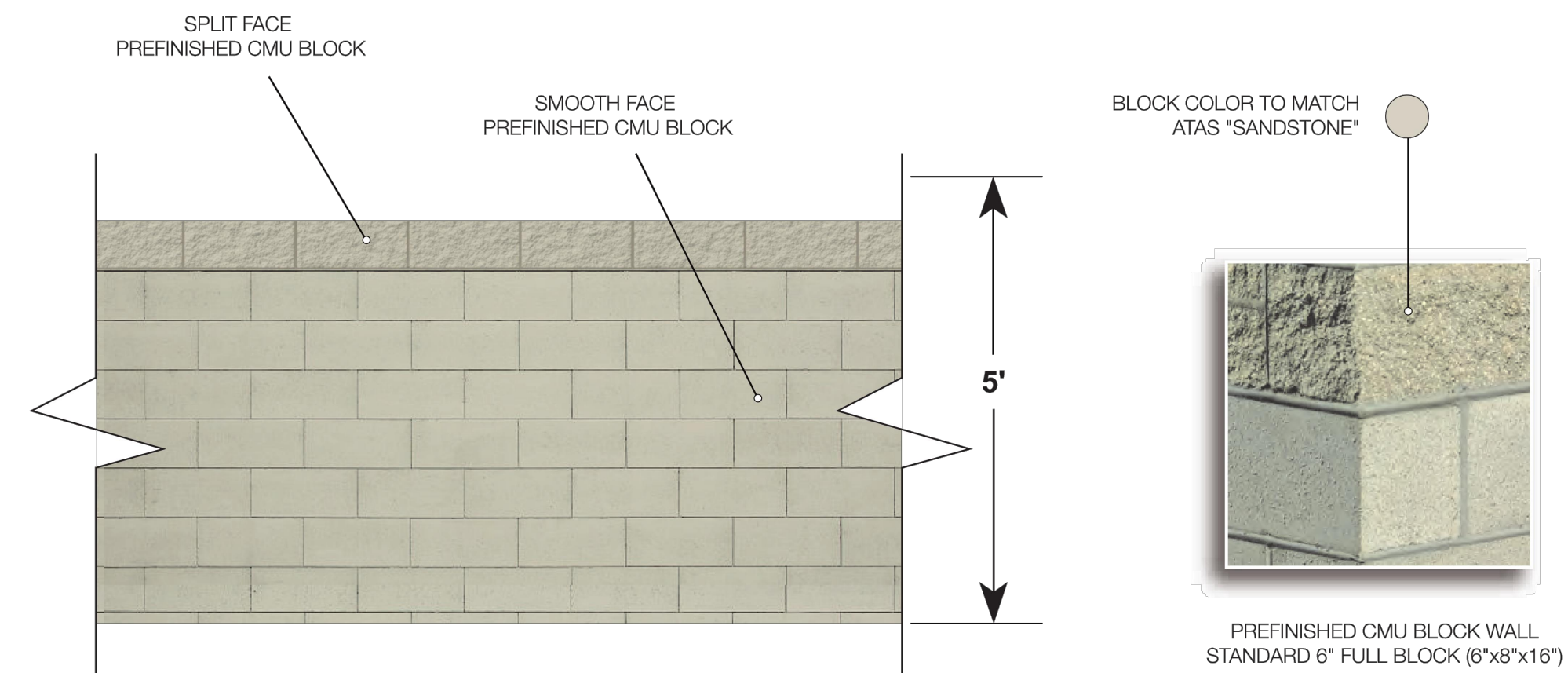
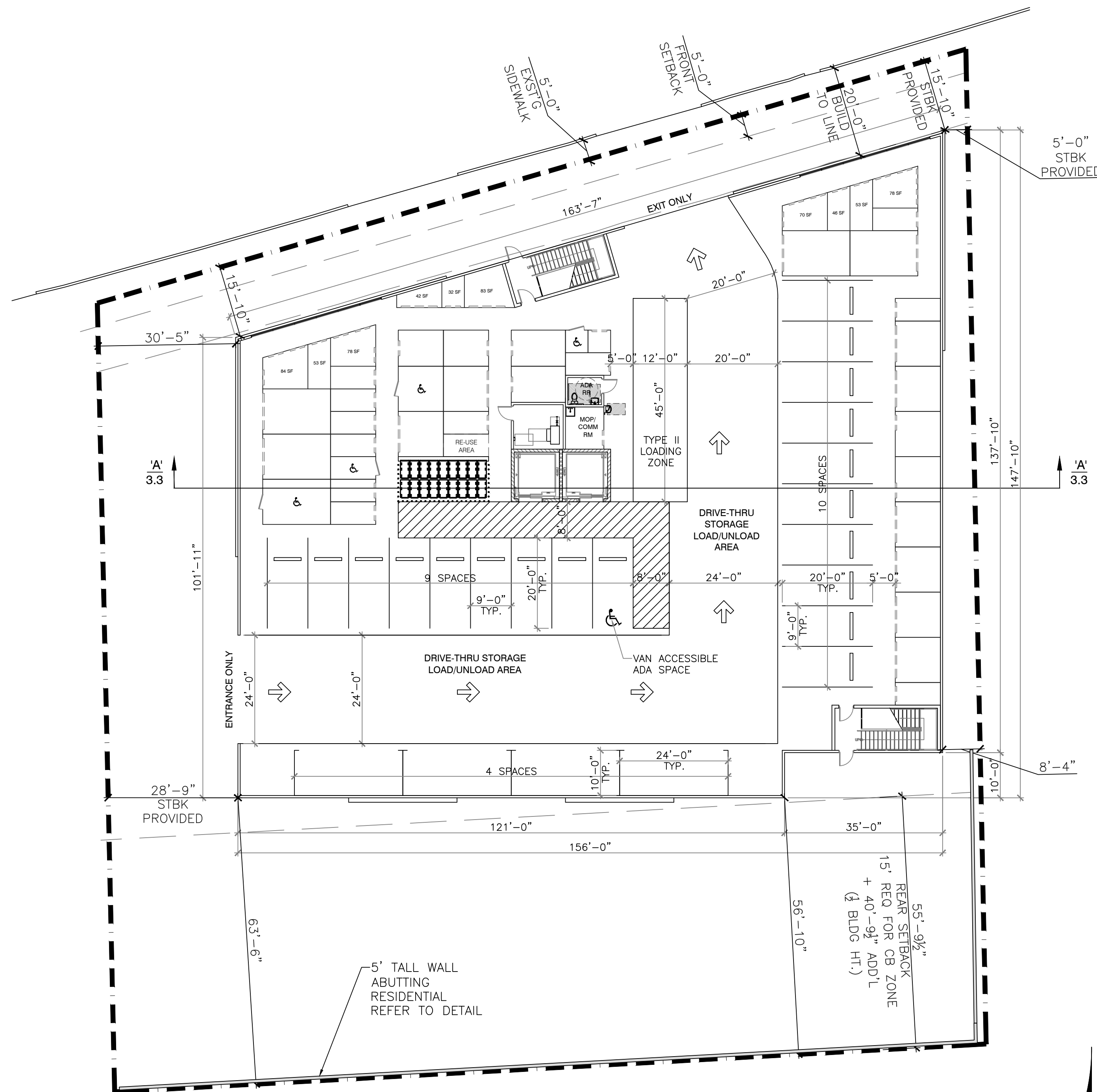
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ISSUE:

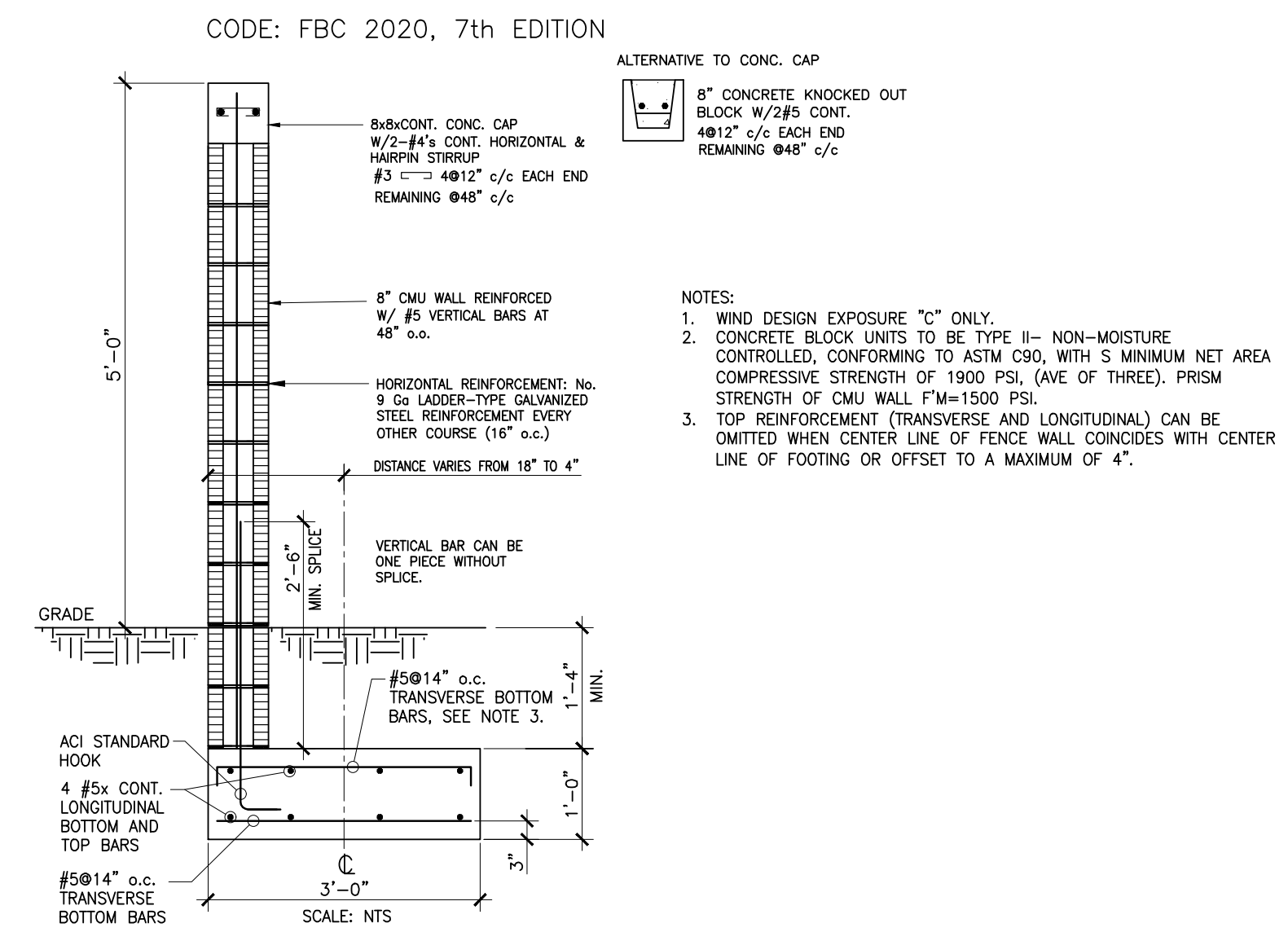
SITE PLAN

A-1.0
SHEET NUMBER

LOCKER SIZE	INTERIOR CLIMATE														TOTAL			
	1st Flr		2nd Flr		3rd Flr		4th Flr		5th Flr		6th Flr		7th Flr		QTY	SQ. FT.	%	
	SQ. FT.	%	SQ. FT.	%	SQ. FT.	%	SQ. FT.	%	SQ. FT.	%	SQ. FT.	%						
5 x 5	2	50	1%	22	550	5%	22	550	5%	22	550	5%	22	550	5%	112	2,800	5%
5 x 8	0	0	0%	8	320	3%	8	320	3%	8	320	3%	8	320	3%	40	1,600	3%
5 x 10	12	600	17%	56	2,800	24%	57	2,850	25%	56	2,800	24%	56	2,800	24%	294	14,700	24%
10 x 8	2	160	5%	16	1,280	11%	17	1,360	12%	16	1,280	11%	16	1,280	11%	84	6,720	11%
8 x 12	2	192	5%	2	192	1%	2	192	1%	2	192	1%	2	192	1%	12	1,152	2%
10 x 10	11	1,100	32%	38	3,800	33%	36	3,600	31%	38	3,800	33%	38	3,800	33%	197	19,700	32%
10 x 12	0	0	0%	1	120	1%	1	120	1%	1	120	1%	1	120	1%	5	600	1%
10 x 15	5	750	22%	13	1,950	17%	13	1,950	17%	13	1,950	17%	13	1,950	17%	70	10,500	17%
BONUS	10	619	18%	8	562	5%	8	562	5%	8	562	5%	9	562	5%	52	3,429	6%
TOTAL	44	3,471	100%	164	11,574	100%	164	11,574	100%	165	11,574	100%	165	11,574	100%	866	61,201	100%



2 SOUTH & EAST WALL RENDER DETAIL (TYP)
SCALE: N.T.S.



1 WALL SECTION DETAIL (TYP)
SCALE: N.T.S.

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CA# 28637

NEW 6-STORY STORAGE BUILDING
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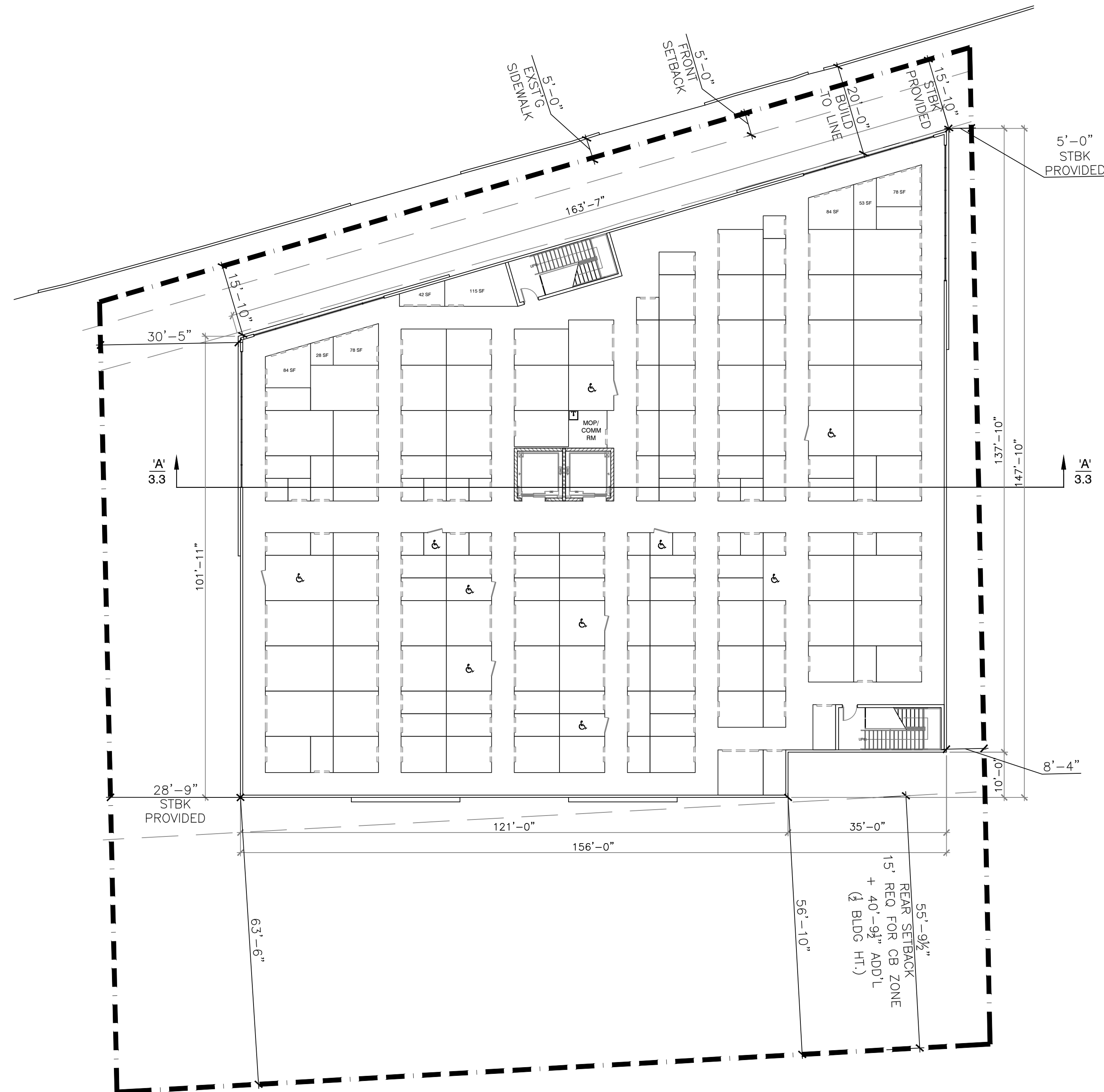
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DRAWN BY:	J. FIALLO
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FLOOR PLAN

A-1.1

SHEET NUMBER

PROPOSED MIX																					
LOCKER SIZE	INTERIOR CLIMATE															TOTAL					
	1st Flr	SQ. FT.	%	2nd Flr	SQ. FT.	%	3rd Flr	SQ. FT.	%	4th Flr	SQ. FT.	%	5th Flr	SQ. FT.	%	6th Flr	SQ. FT.	%	QTY	SQ. FT.	%
5 x 5	2	50	1%	22	550	5%	22	550	5%	22	550	5%	22	550	5%	22	550	5%	112	2,800	5%
5 x 8	0	0	0%	8	320	3%	8	320	3%	8	320	3%	8	320	3%	8	320	3%	40	1,600	3%
5 x 10	12	600	17%	56	2,800	24%	57	2,850	25%	56	2,800	24%	57	2,850	25%	56	2,800	24%	294	14,700	24%
10 x 8	2	160	5%	16	1,280	11%	17	1,360	12%	16	1,280	11%	17	1,360	12%	16	1,280	11%	84	6,720	11%
8 x 12	2	192	5%	2	192	1%	2	192	1%	2	192	1%	2	192	1%	2	192	1%	12	1,152	2%
10 x 10	11	1,100	32%	38	3,800	33%	36	3,600	31%	38	3,800	33%	36	3,600	31%	38	3,800	33%	197	19,700	32%
10 x 12	0	0	0%	1	120	1%	1	120	1%	1	120	1%	1	120	1%	1	120	1%	5	600	1%
10 x 15	5	750	22%	13	1,950	17%	13	1,950	17%	13	1,950	17%	13	1,950	17%	13	1,950	17%	70	10,500	17%
BONUS	10	619	18%	8	562	5%	8	562	5%	8	562	5%	9	562	5%	9	562	5%	52	3,429	6%
TOTAL	44	3,471	100%	164	11,574	100%	164	11,504	100%	164	11,574	100%	165	11,504	100%	165	11,574	100%	866	61,201	100%



2nd, 4th, 6th FLOORS

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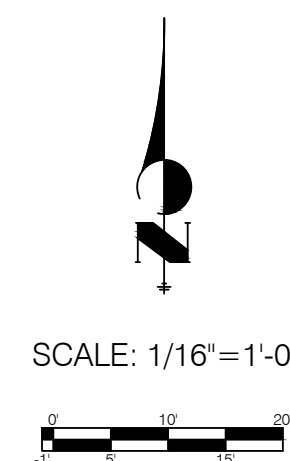
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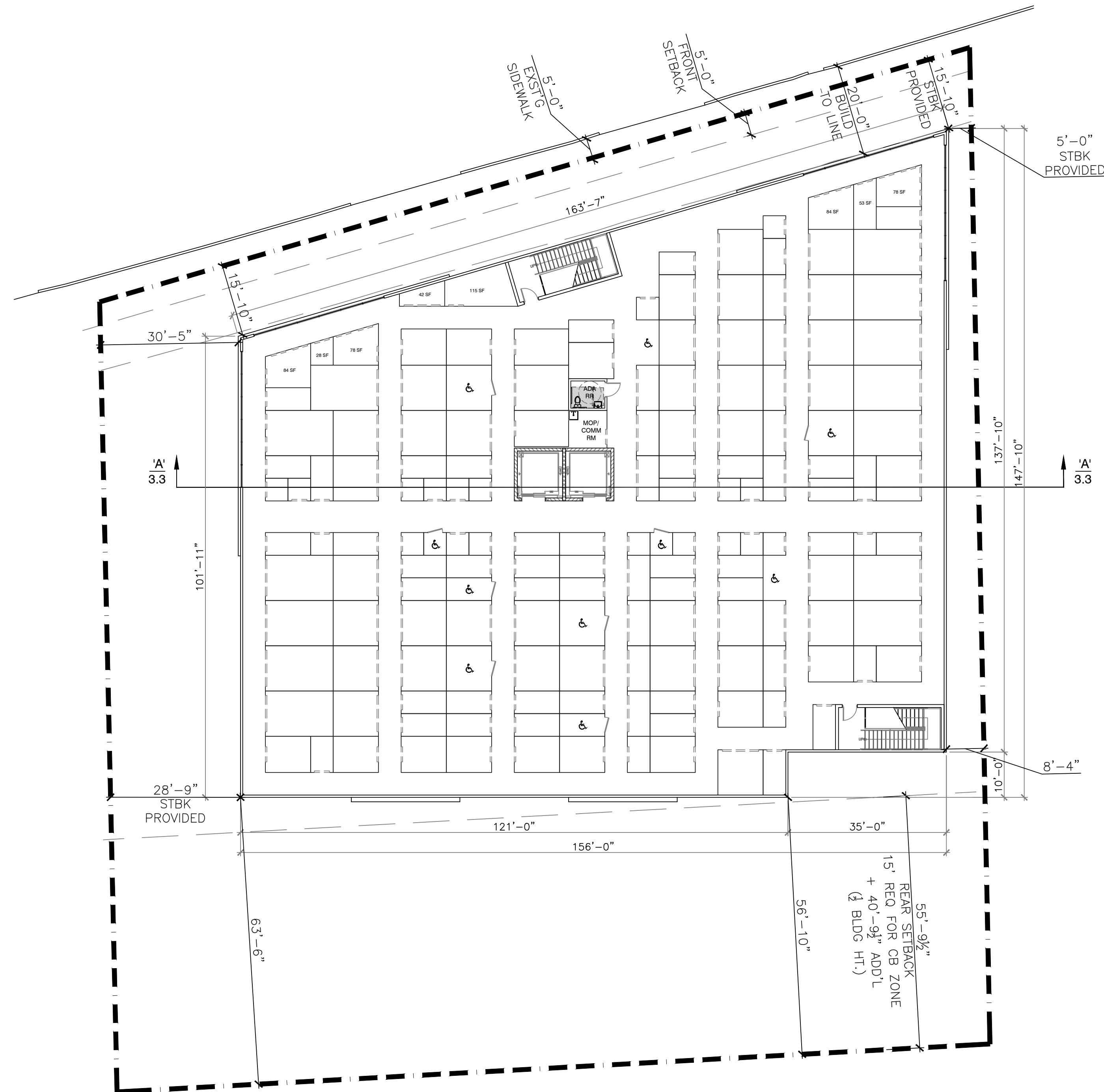


FLOOR PLAN
2nd, 4th AND 6th FLOORS

A-1.2

SHEET NUMBER

PROPOSED MIX																					
LOCKER SIZE	INTERIOR CLIMATE															TOTAL					
	1st Flr	SQ. FT.	%	2nd Flr	SQ. FT.	%	3rd Flr	SQ. FT.	%	4th Flr	SQ. FT.	%	5th Flr	SQ. FT.	%	6th Flr	SQ. FT.	%	QTY	SQ. FT.	%
5 x 5	2	50	1%	22	550	5%	22	550	5%	22	550	5%	22	550	5%	22	550	5%	112	2,800	5%
5 x 8	0	0	0%	8	320	3%	8	320	3%	8	320	3%	8	320	3%	8	320	3%	40	1,600	3%
5 x 10	12	600	17%	56	2,800	24%	57	2,850	25%	56	2,800	24%	57	2,850	25%	56	2,800	24%	294	14,700	24%
10 x 8	2	160	5%	16	1,280	11%	17	1,360	12%	16	1,280	11%	17	1,360	12%	16	1,280	11%	84	6,720	11%
8 x 12	2	192	5%	2	192	1%	2	192	1%	2	192	1%	2	192	1%	2	192	1%	12	1,152	2%
10 x 10	11	1,100	32%	38	3,800	33%	36	3,600	31%	38	3,800	33%	36	3,600	31%	38	3,800	33%	197	19,700	32%
10 x 12	0	0	0%	1	120	1%	1	120	1%	1	120	1%	1	120	1%	1	120	1%	5	600	1%
10 x 15	5	750	22%	13	1,950	17%	13	1,950	17%	13	1,950	17%	13	1,950	17%	13	1,950	17%	70	10,500	17%
BONUS	10	619	18%	8	562	5%	8	562	5%	8	562	5%	9	562	5%	9	562	5%	52	3,429	6%
TOTAL	44	3,471	100%	164	11,574	100%	164	11,504	100%	164	11,574	100%	165	11,504	100%	165	11,574	100%	866	61,201	100%



3rd, 5th FLOORS

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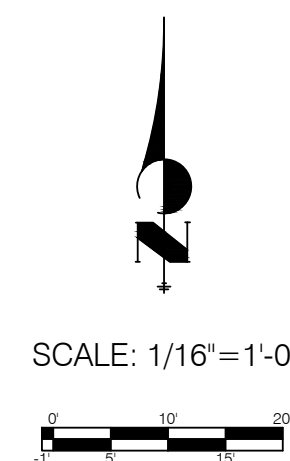
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FLOOR PLAN
3rd AND 5th FLOORS

A-1.3

SHEET NUMBER

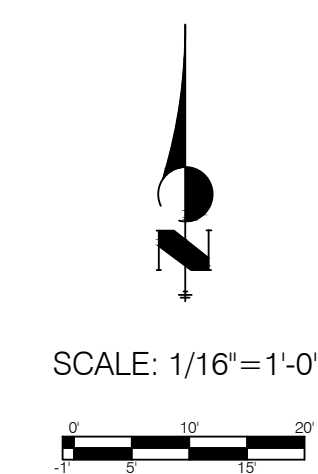
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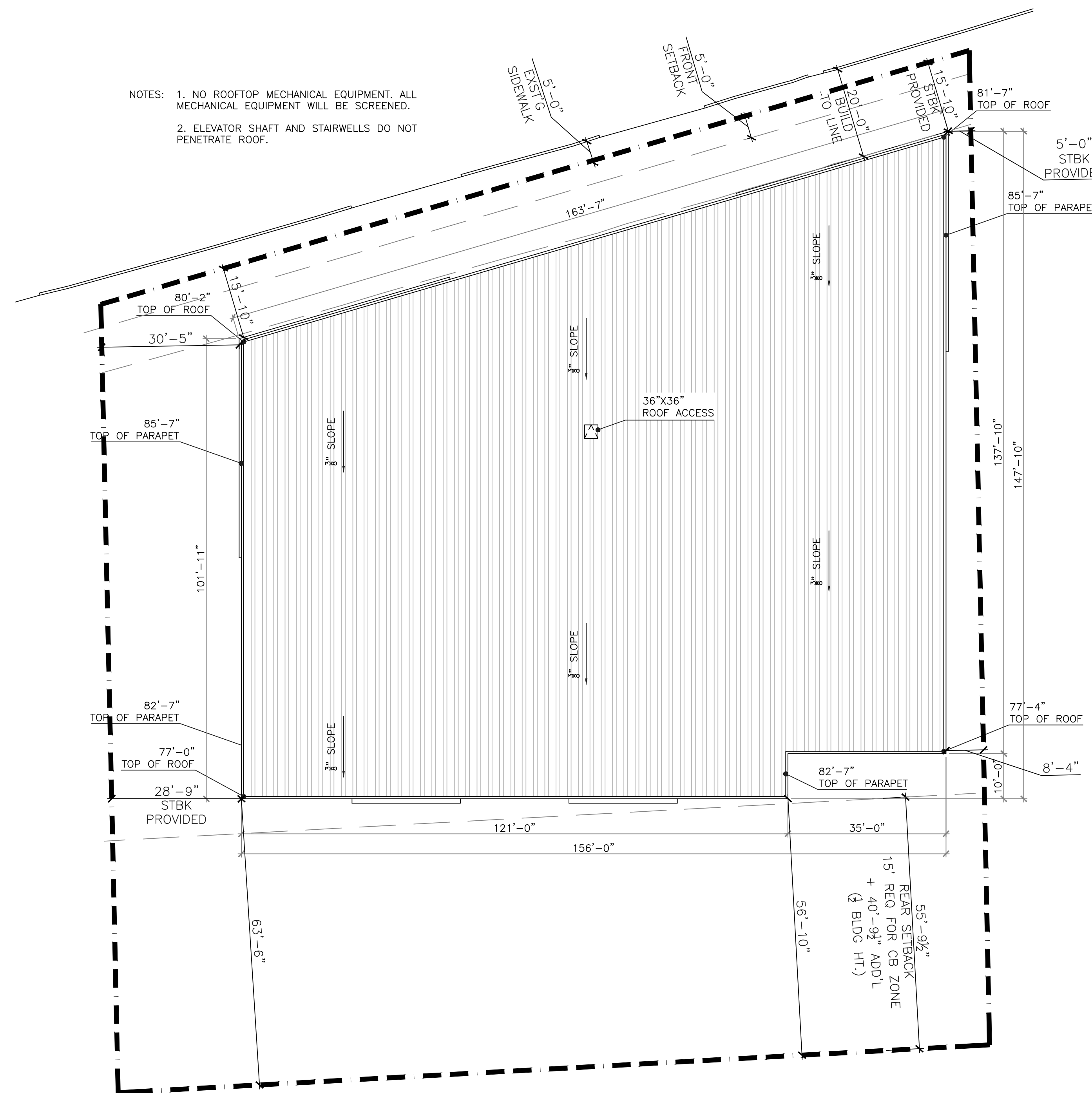
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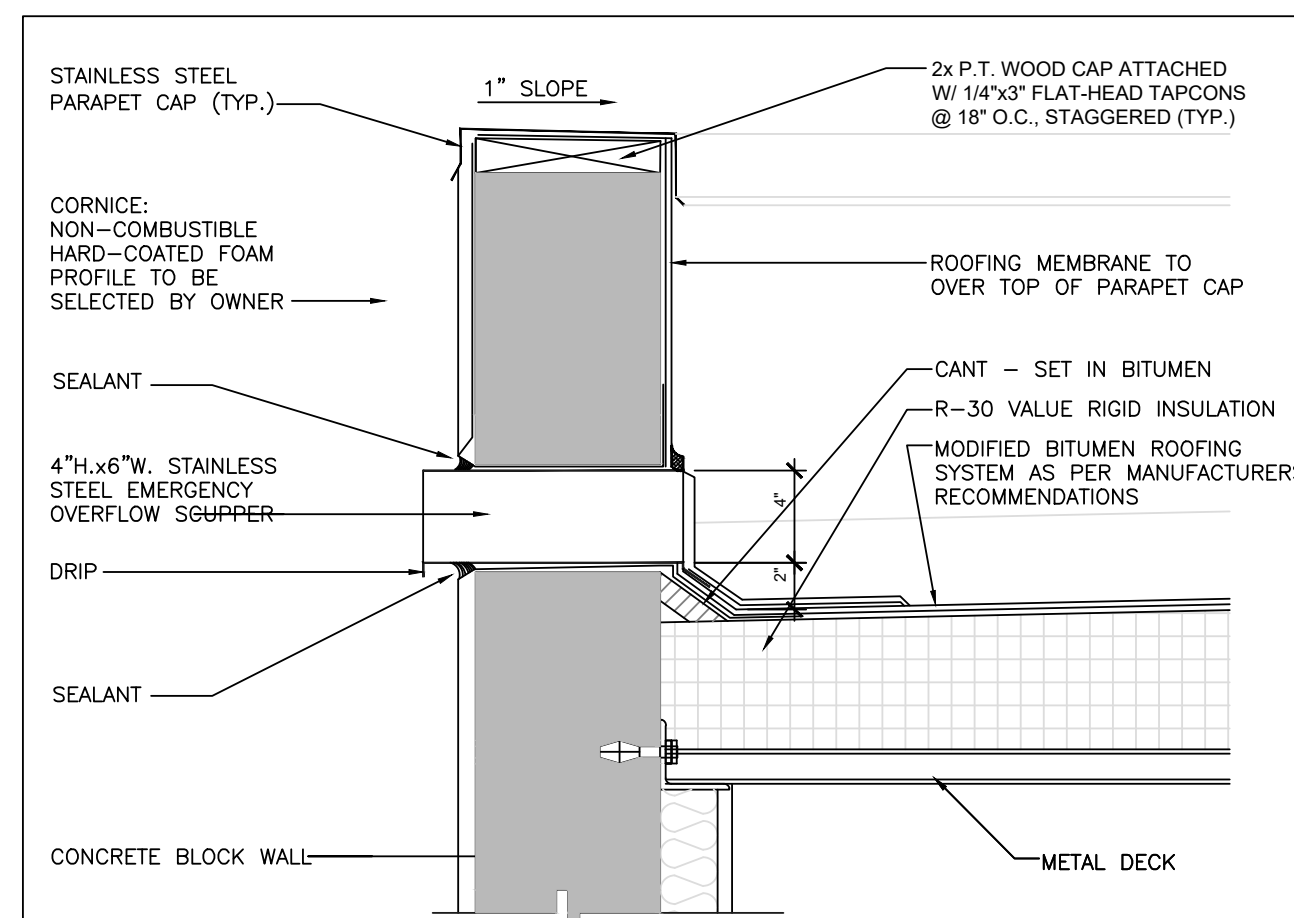
ROOF PLAN

A-2.0

SHEET NUMBER

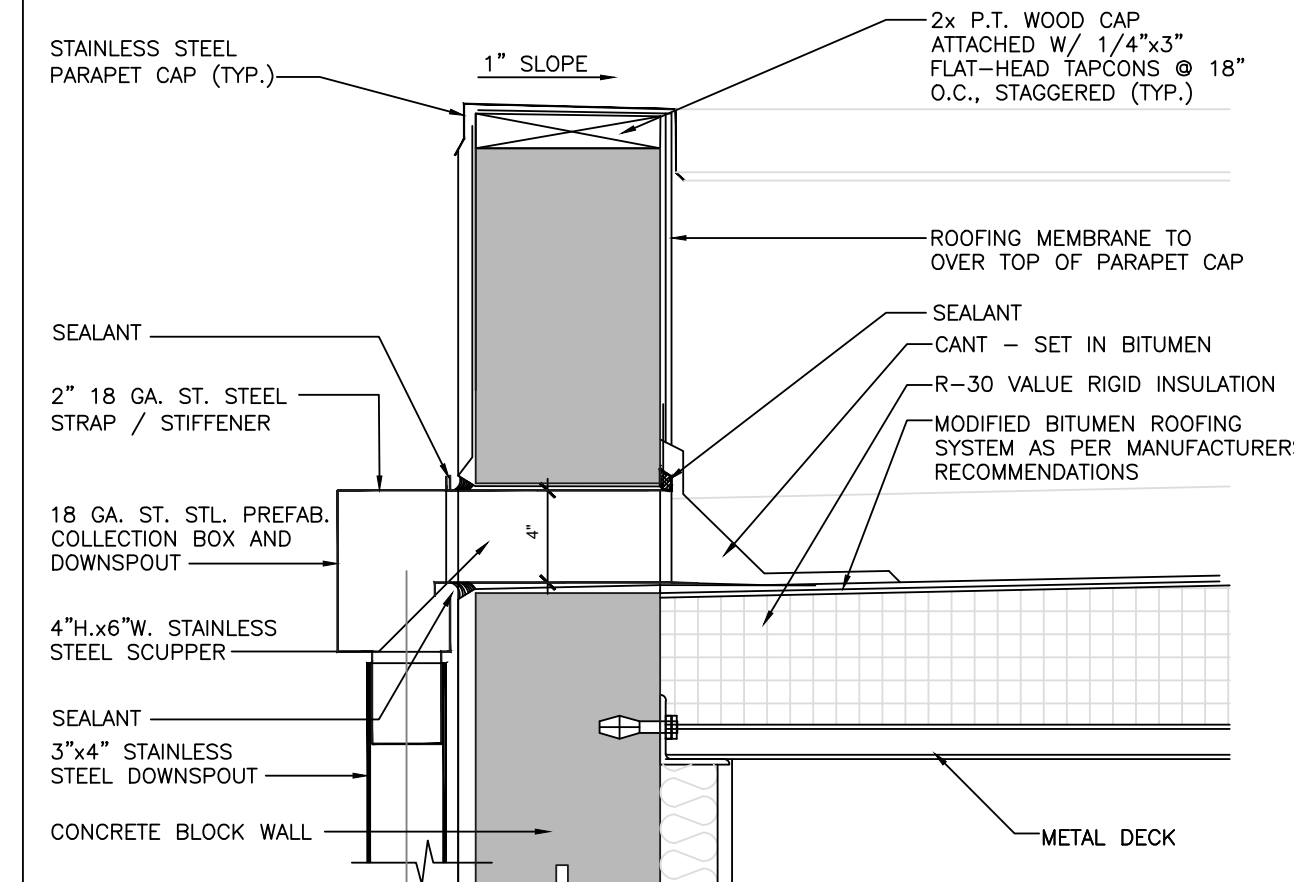


- NOTES:
1. NO ROOFTOP MECHANICAL EQUIPMENT. ALL MECHANICAL EQUIPMENT WILL BE SCREENED.
 2. ELEVATOR SHAFT AND STAIRWELLS DO NOT PENETRATE ROOF.



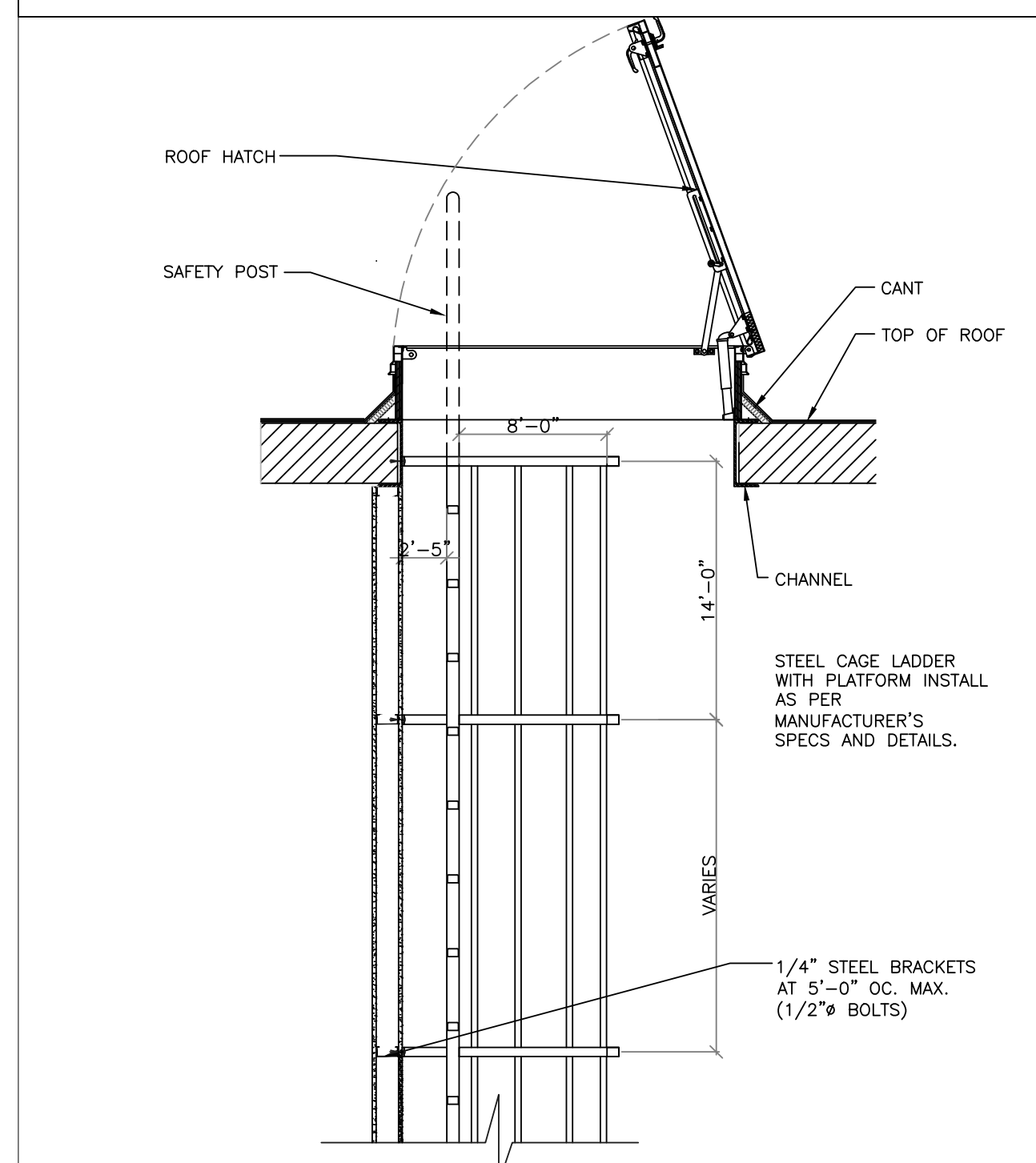
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TYPICAL OVERFLOW SCUPPER DETAIL

A-2.0 SCALE: N.T.S.



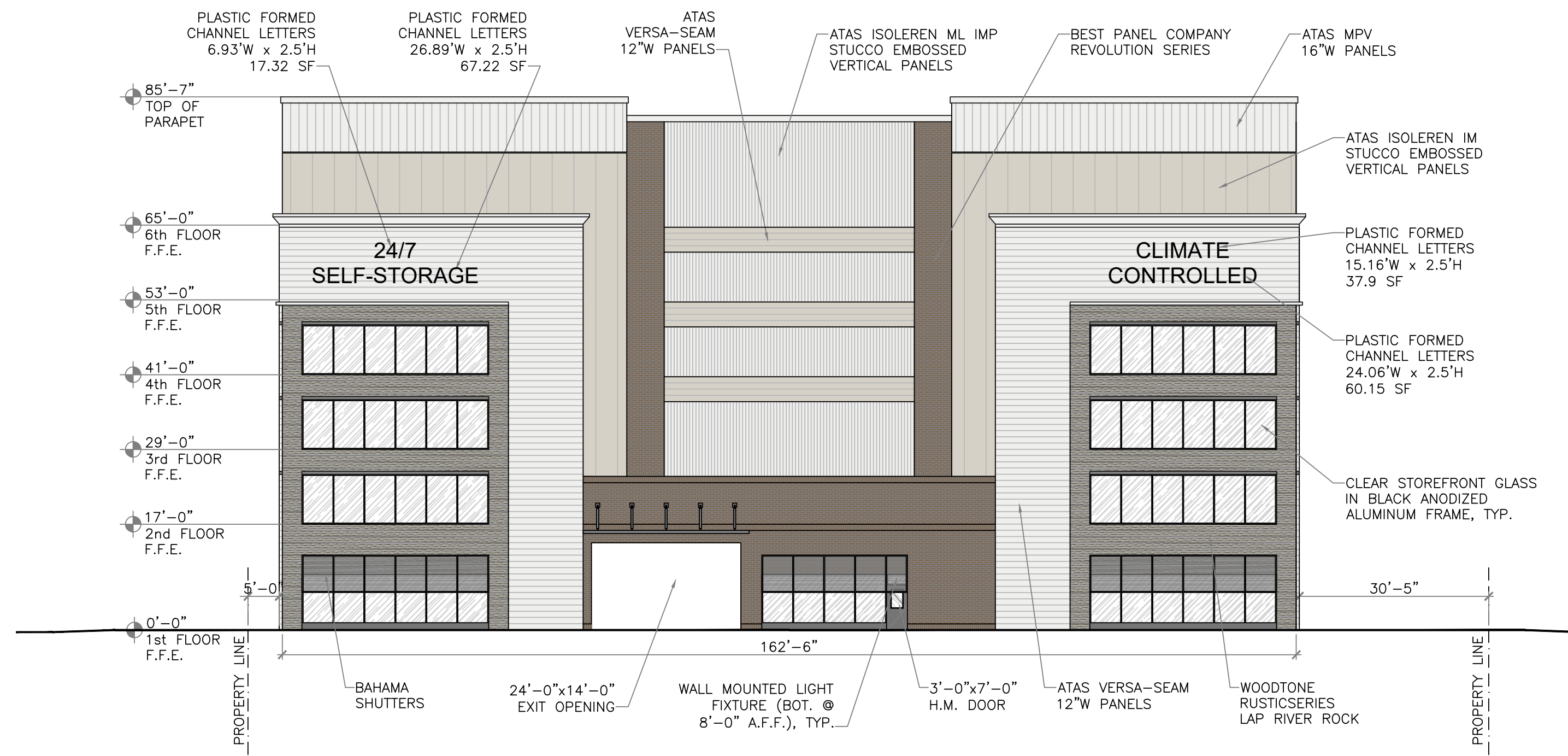
2
TYPICAL SCUPPER & DOWNSPOUT DETAIL

A-2.0 SCALE: N.T.S.



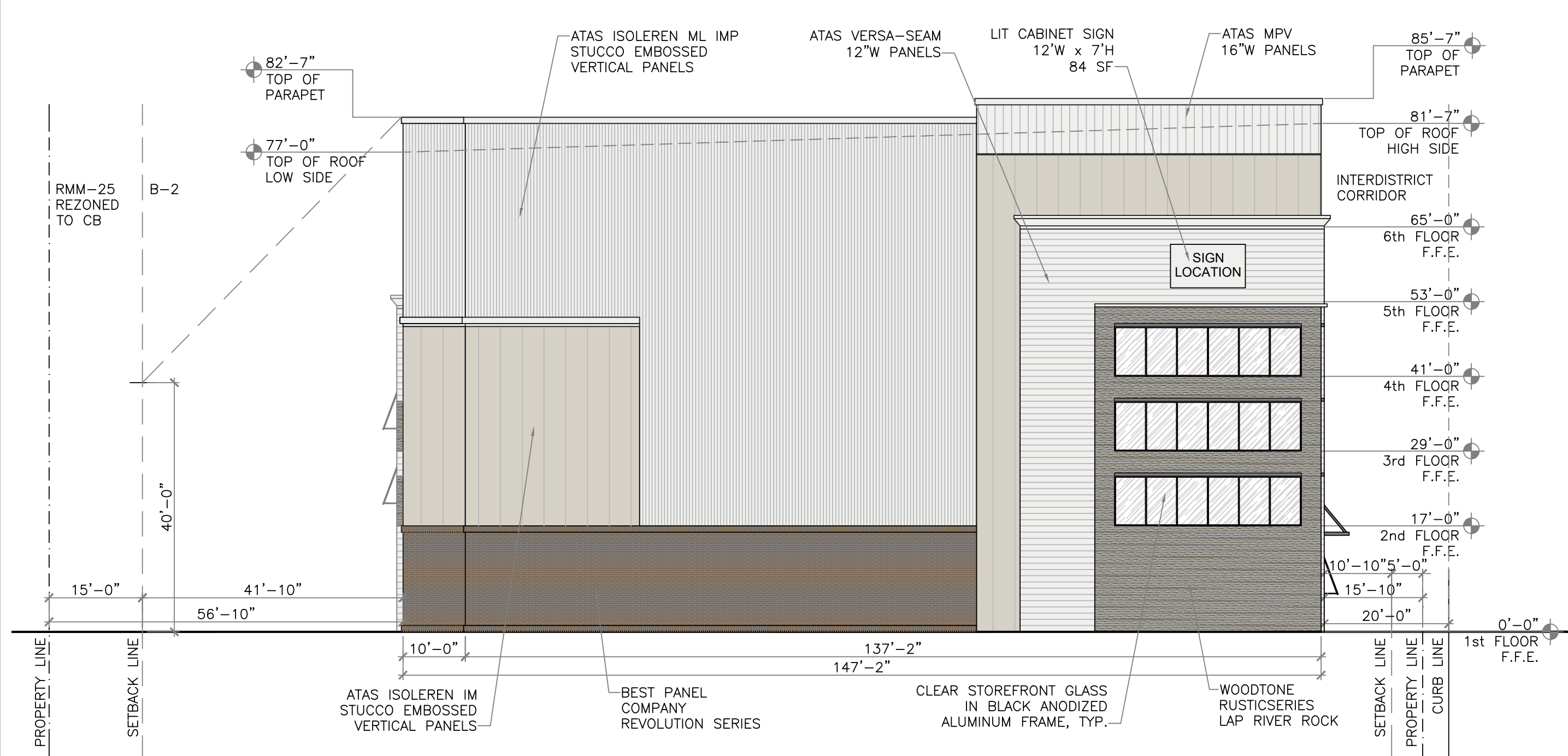
3
TYPICAL ROOF HATCH & LADDER DETAIL

A-2.0 SCALE: N.T.S.



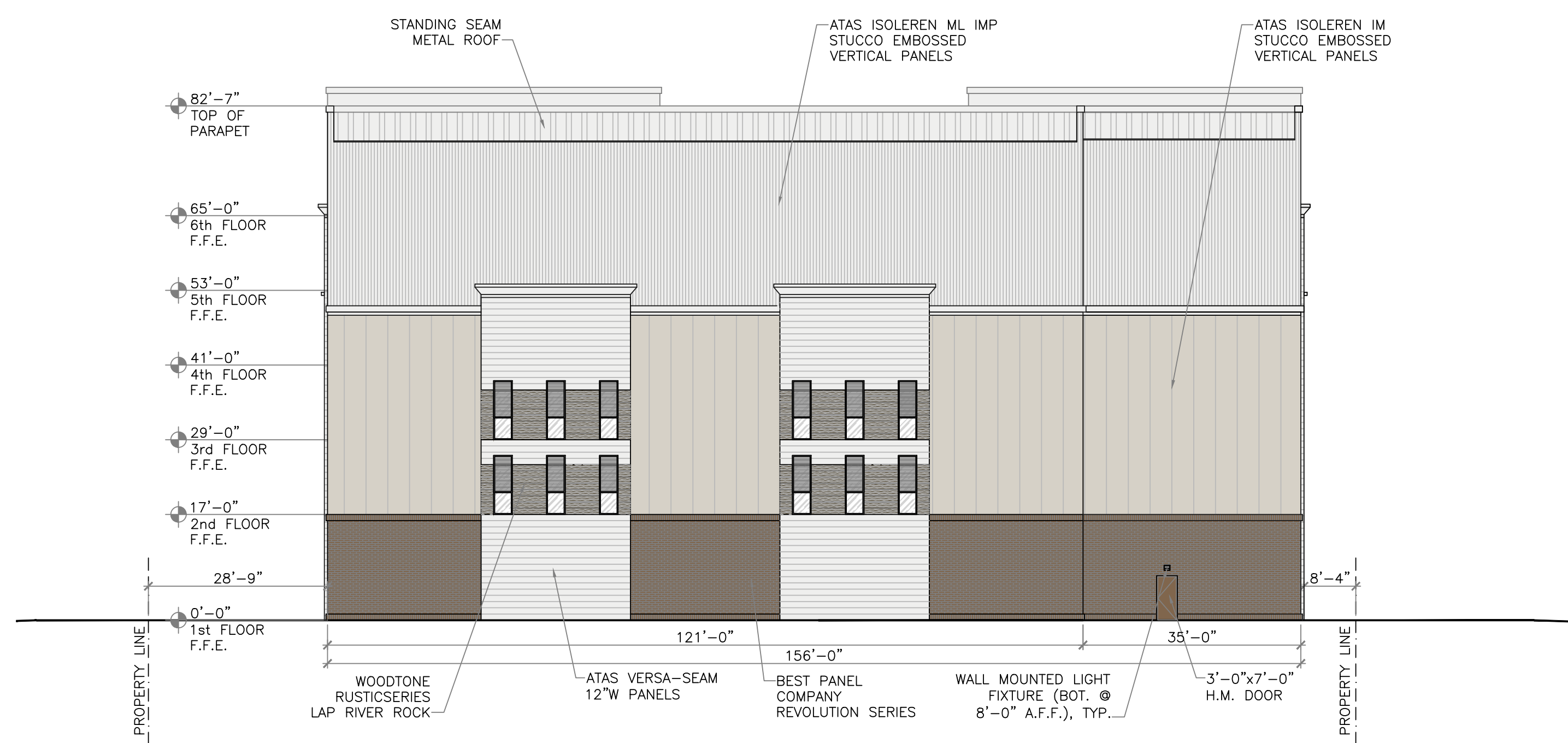
NORTH ELEVATION

SCALE: 1/16" = 1'-0"

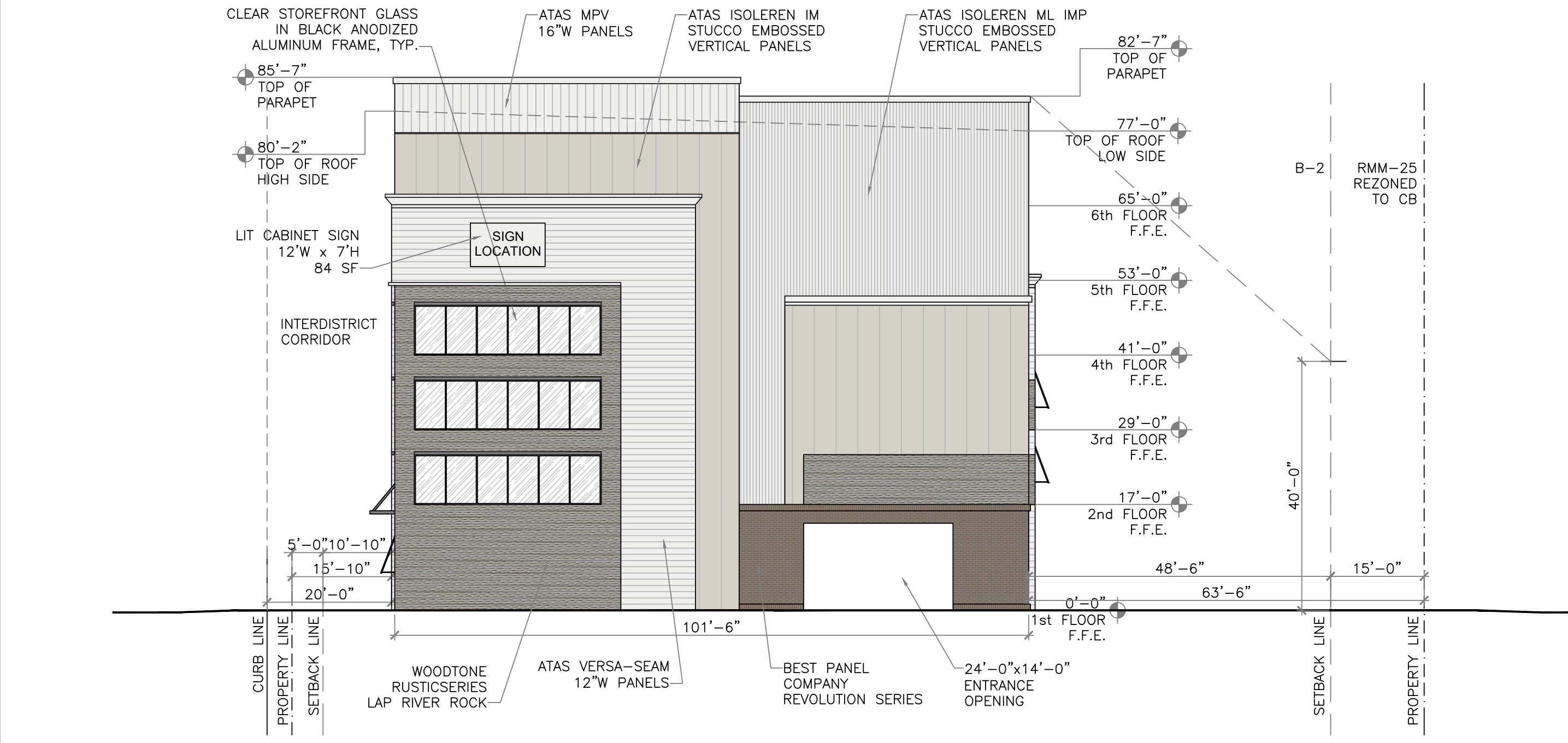


EAST ELEVATION

SCALE: 1/16" = 1'-0"



SOUTH ELEVATION



WEST ELEVATION

SCALE: 1/16" = 1'-0"

When any side of a structure greater in height than 40' is contiguous to residential property, that portion of the structure shall be set back 1' for each 1' of building height over 40' up to a maximum width equal to one-half the height of the building, in addition to the required setback, as provided in the district in which the proposed nonresidential use is located.

When any side of a structure greater in height than 40' is contiguous to residential property, that portion of the structure shall be set back 1' for each 1' of building height over 40' up to a maximum width equal to one-half the height of the building, in addition to the required setback, as provided in the district in which the proposed nonresidential use is located.

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ISSUE:

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AMERCO- Self-Storage Facility 788054
1800 West State Road 84
Ft. Lauderdale, FL 33315

35% MINIMUM TRANSPARENCY - FIRST FLOOR
1st FLOOR - 162'-6"x17'-0" = 2762.5 S.F.
2763 SF x 35% = 967 SF REQUIRED
■ 1020 SF PROVIDED



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ISSUE:	-

NORTH ELEVATION
TRANSPARENCY REQUIREMENT

A-3.2

SHEET NUMBER

NORTH ELEVATION - TRANSPARENCY REQUIREMENT

SCALE: 3/32" = 1'-0"

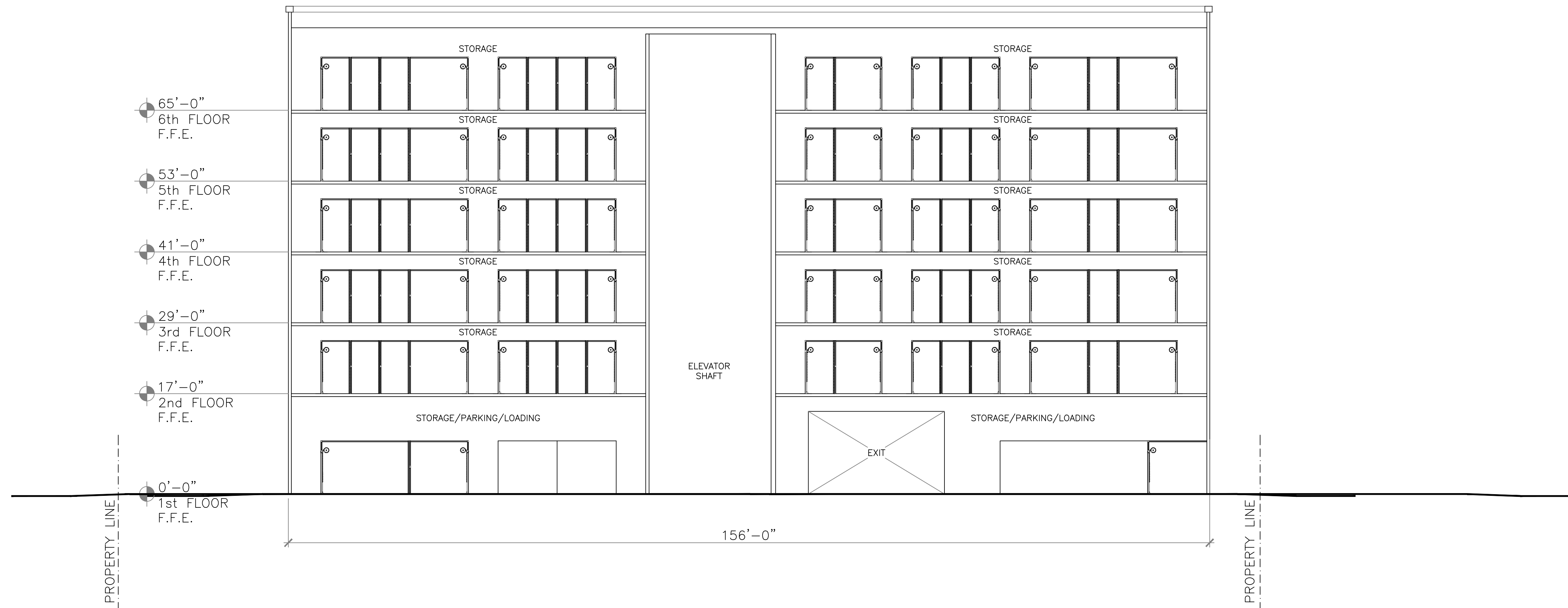
FIALLO'S MEP

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CA# 28637

NEW 6-STORY STORAGE BUILDING
AMERCO- Self-Storage Facility 788054
1800 West State Road 84
Ft. Lauderdale, FL 33315



CROSS SECTION 'A'

SCALE: 3/32" = 1'-0"

JORGE FIALLO
FLORIDA P.E. #65527
Drawings not valid unless Signed, Sealed
and Dated by a Registered Professional

NO.	REVISIONS	DATE

JOB NUMBER:
20-200-00514

ISSUE DATE:	MARCH 2020
DRAWN BY:	J. FIALLO
CHECKED BY:	J. FIALLO
ISSUE:	-

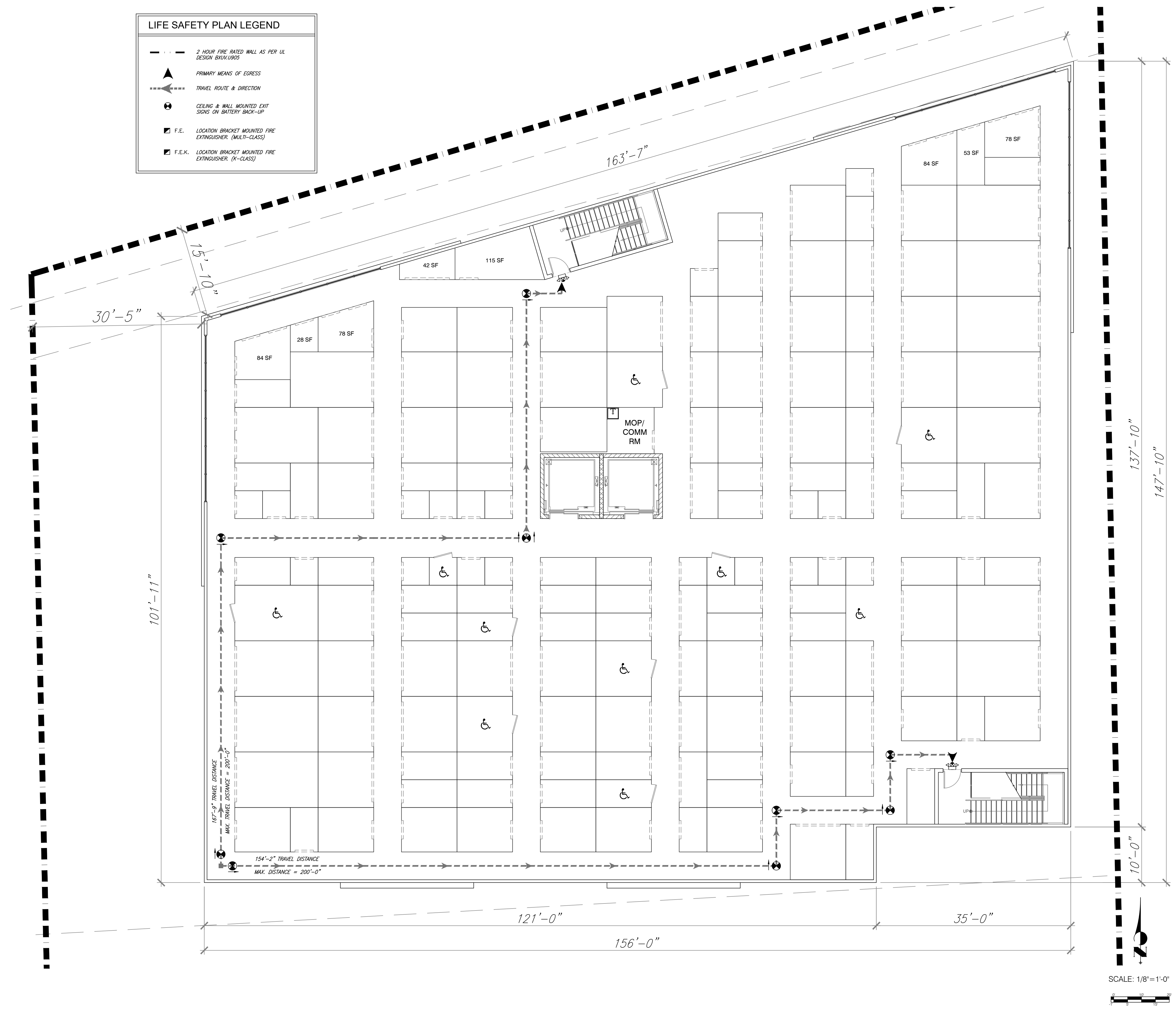
CROSS SECTION
A

A-3.3

SHEET NUMBER

LIFE SAFETY PLAN LEGEND

- 2 HOUR FIRE RATED WALL AS PER UL DESIGN BXU/US05
- PRIMARY MEANS OF EGRESS
- TRAVEL ROUTE & DIRECTION
- CEILING & WALL MOUNTED EXIT SIGNS ON BATTERY BACK-UP
- F.E. LOCATION BRACKET MOUNTED FIRE EXTINGUISHER, (MULTI-CLASS)
- F.E.K. LOCATION BRACKET MOUNTED FIRE EXTINGUISHER, (K-CLASS)



FIALLO'S MEP

DESIGN, INC

10010 SW 83rd St.
Miami, FL 33173
305.877.1845
jfiallo@fiallomepdesign.com

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LIFE SAFETY TYPICAL
FLOOR PLAN

A-4.0

SHEET NUMBER

SCALE: 1/8" = 1'-0"

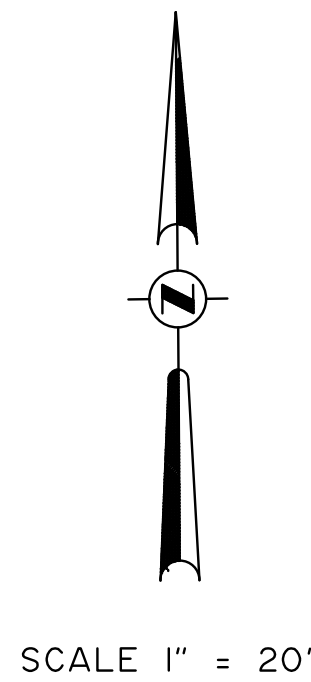
Typical Life Safety

PAVING, GRADING & DRAINAGE PLAN

Sunshine811
 Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
 Check positive response codes before you dig!

CONSTRUCTION NOTES:

ANY DAMAGE TO SIDEWALK, RAMPS, AND/OR CURB AND GUTTER SHALL BE RESTORED PER FDOT 2017-18 DESIGN STANDARDS INDEX NO. 300, 304 AND 310.

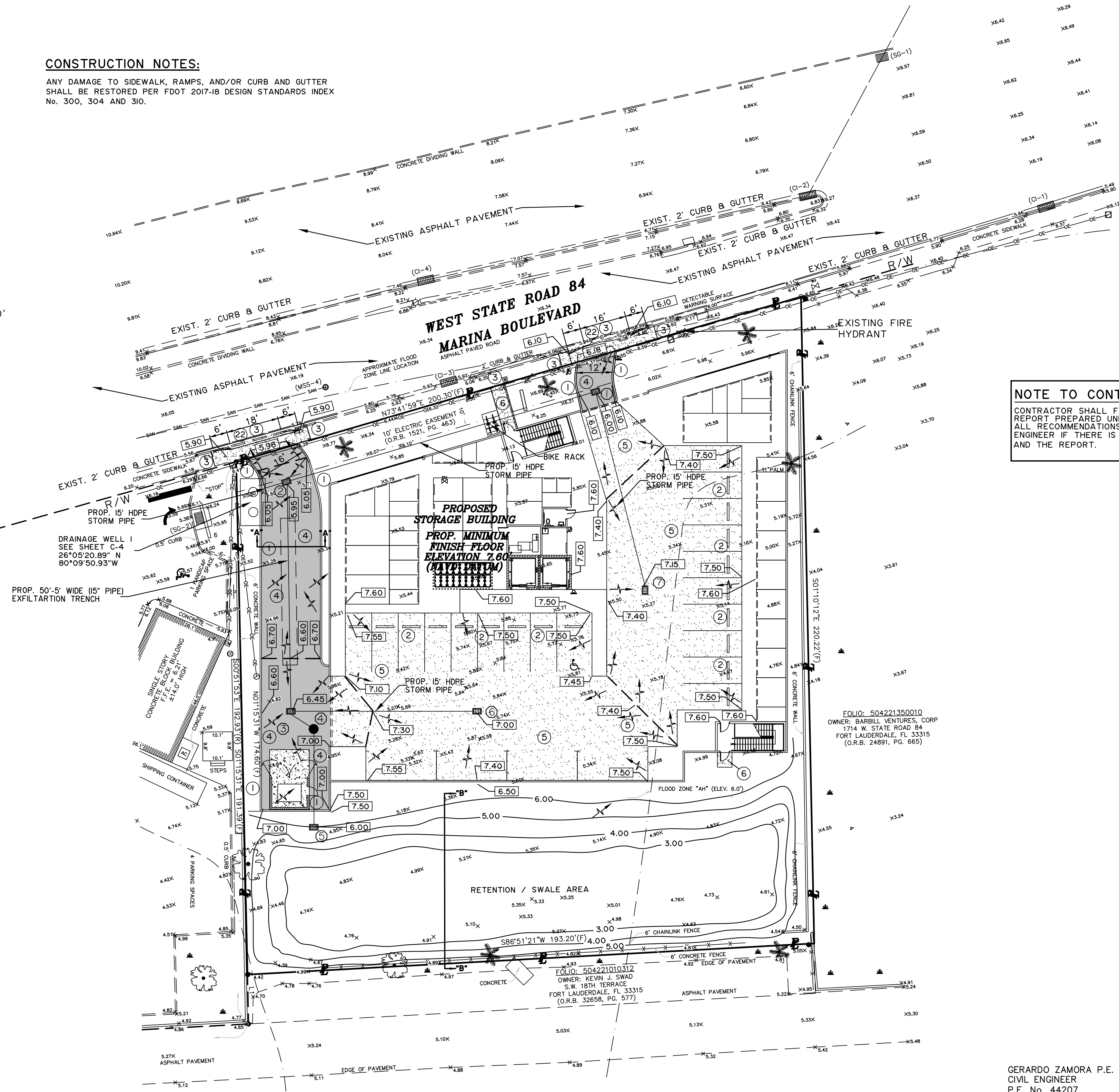


LEGEND

- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- EXISTING ELEVATION
- PROPOSED ELEVATION
- PROPOSED CONCRETE
- EXISTING ASPHALT
- PROPOSED NEW ASPHALT
- RUN OFF DIRECTION
- ≡≡≡ EXIST. TYPE "F" CURB & GUTTER
- ≡≡≡ PROP. TYPE "F" CURB & GUTTER
- DRAINAGE STRUCTURE NUMBER

SCHEDULE NOTES

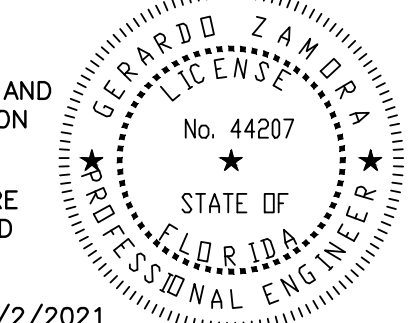
- ① NEW 6" TYPE "D" CONCRETE CURB
- ② NEW WHEEL STOP/BUMPER
- ③ EXISTING PAVEMENT LINE
- ④ NEW ASPHALT PAVEMENT
- ⑤ NEW CONCRETE PAVEMENT
- ⑥ NEW CONCRETE SIDEWALK (6" THICK)
- ⑦ NEW 4" PAINTED STRIPING (SINGLE)
- ⑧ NEW 4" PAINTED WHITE STRIPING
- ⑨ NEW TYPICAL PAINTED "WHITE" HANDICAP SYMBOL
- ⑩ NEW PAINTED DIRECTIONAL ARROW
- ⑪ NEW 24" WIDE PAINTED WHITE STOP BAR THERMOPLASTIC
- ⑫ NEW STOP SIGN (R-I)
- ⑬ NEW TYPICAL "HANDICAP" SIGN
- ⑭ NEW HANDICAP RAMP (1:12 MAX SLOPE)
- ⑮ NEW 3' MINIMUM DETECTABLE WARNING
- ⑯ NEW 25' OF 2-6" YELLOW THERMOPLASTIC
- ⑰ NEW 4" CONCRETE INSIDE STEEL BOLLARD
- ⑱ NEW LIGHT POLES
- ⑲ NEW PEDESTRIAN PAVERS
- ⑳ NEW 2' CURB & GUTTER (TYPE "F")
- ㉑ NEW SOD AREA
- ㉒ NEW 2' VALLEY GUTTER



NOTE TO CONTRACTOR
 CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOILS REPORT PREPARED UNIVERSAL SOILS AND SHALL IMPLEMENT ALL RECOMMENDATIONS IDENTIFIED. CONTRACTOR TO NOTIFY ENGINEER IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE REPORT.

FOLIO: 504221350010
 OWNER: BARBILL VENTURES, CORP
 1714 W. STATE ROAD 84
 FORT LAUDERDALE, FL 33315
 (O.R.B. 24891, PG. 665)

FOLIO: 504221010312
 OWNER: KEVIN J. SWAD
 S.W. 18TH TERRACE
 FORT LAUDERDALE, FL 33315
 (O.R.B. 32858, PG. 577)



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8/2/2021

GERARDO ZAMORA P.E.
 CIVIL ENGINEER
 P.E. No. 44207
 E.B. 0006791
 STATE OF FLORIDA

DATE: 11/3/2020
 PROJECT No. 2020-13

ZAMORA & ASSOCIATES, INC.
 ENGINEERING LAND PLANNING
 11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
 (305) 273-7801 FAX (305) 273-9514

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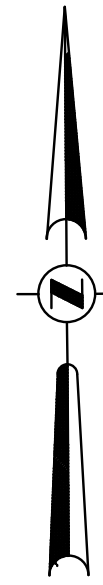
JOB NUMBER:
20-200-00514
 ISSUE DATE: MARCH 2020
 DRAWN BY:
 CHECKED BY: J. FIALLO
 ISSUE:

C-1

SHEET NUMBER

ROADWAY MARKING & SIGNAGE PLAN

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 Check positive response codes before you dig!



SCALE 1" = 20'

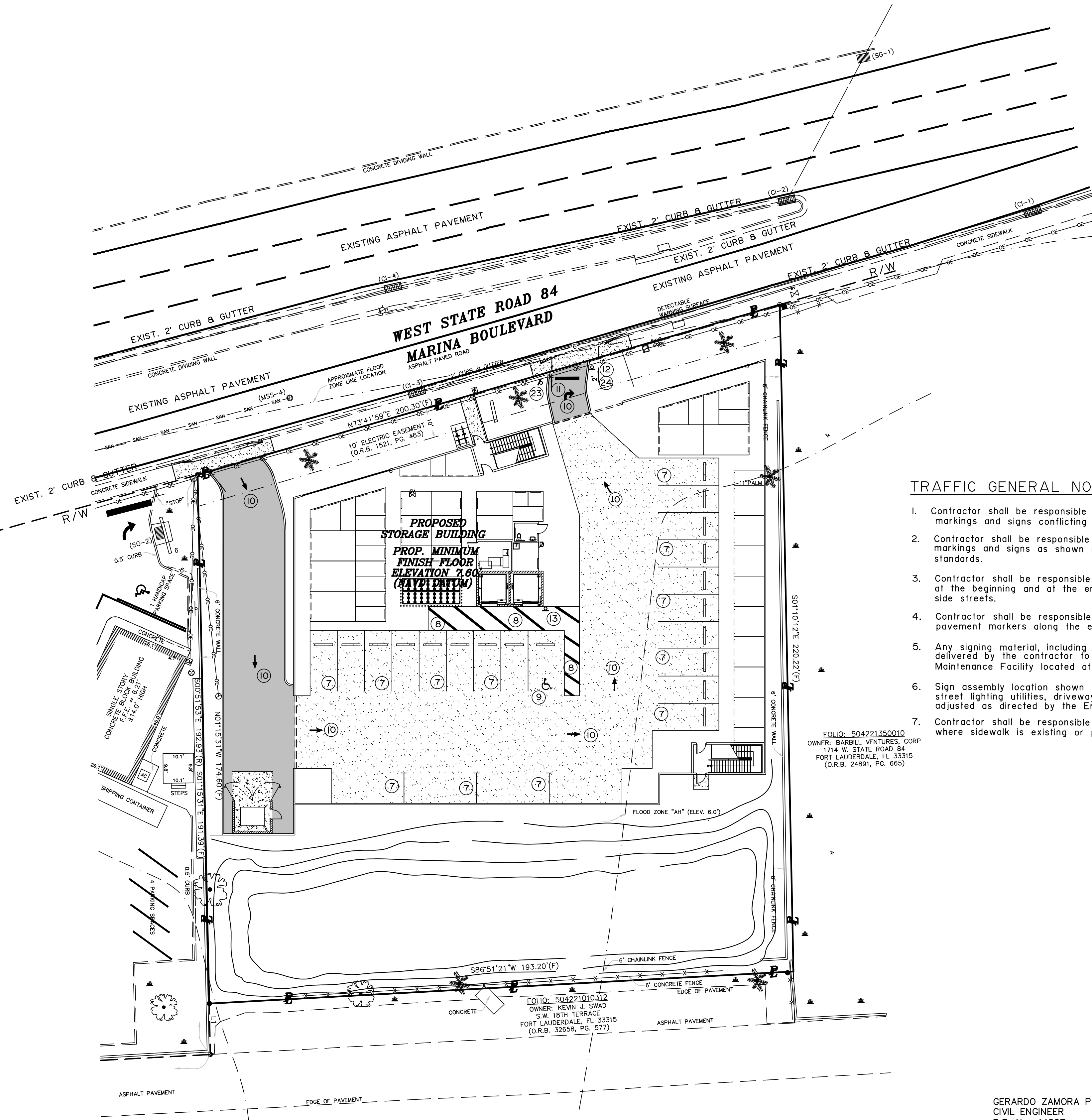
LEGEND

- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- 10.9 EXISTING ELEVATION
- 10.9 PROPOSED ELEVATION
- PROPOSED CONCRETE
- EXISTING ASPHALT
- PROPOSED NEW ASPHALT
- RUN OFF DIRECTION
- EXIST. TYPE "F" CURB & GUTTER
- PROP. TYPE "F" CURB & GUTTER
- ① DRAINAGE STRUCTURE NUMBER

SCHEDULE NOTES

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- ⑳ NEW 2' CURB & GUTTER (TYPE "F")
- ㉑ NEW SOD AREA
- ㉒ NEW 2' VALLEY GUTTER
- ㉓ NEW "DO NOT ENTER" SIGN
- ㉔ NEW "RIGHT TURN ONLY" SIGN

S.W. 18th TERRACE



TRAFFIC GENERAL NOTES AND CONDITIONS

1. Contractor shall be responsible for the removal of all pavement markings and signs conflicting with the proposed roadway construction.
2. Contractor shall be responsible for the installation of all pavement markings and signs as shown in the plans and applicable traffic design standards.
3. Contractor shall be responsible for matching existing pavement markings at the beginning and at the end of the project, and at all intersecting side streets.
4. Contractor shall be responsible for the installation of reflective pavement markers along the entire length of the project.
5. Any signing material, including supports to be removed, shall be delivered by the contractor to Dade County's Traffic Signals and Signs Maintenance Facility located at 7100 N.W. 36 Street, Miami, Florida.
6. Sign assembly location shown in the plans which are in conflict with street lighting utilities, driveways, pedestrian ramps etc. may be adjusted as directed by the Engineer/Inspector.
7. Contractor shall be responsible for providing pedestrian ramps(x-walk where sidewalk is existing or proposed (ADA-PWM)

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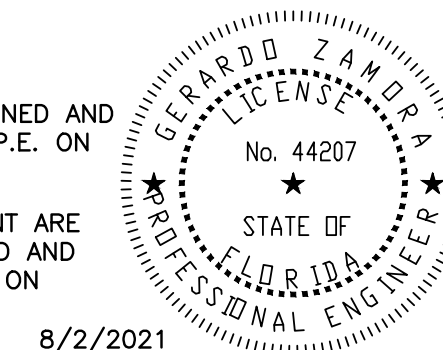
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 CIVIL ENGINEER
 P.E. No. 44207
 E.B. 0006791
 STATE OF FLORIDA

DATE: 11/3/2020
 PROJECT No. 2020-13

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 ISSUE:

C-2

SHEET NUMBER

PAVING & DRAINAGE DETAILS PLAN

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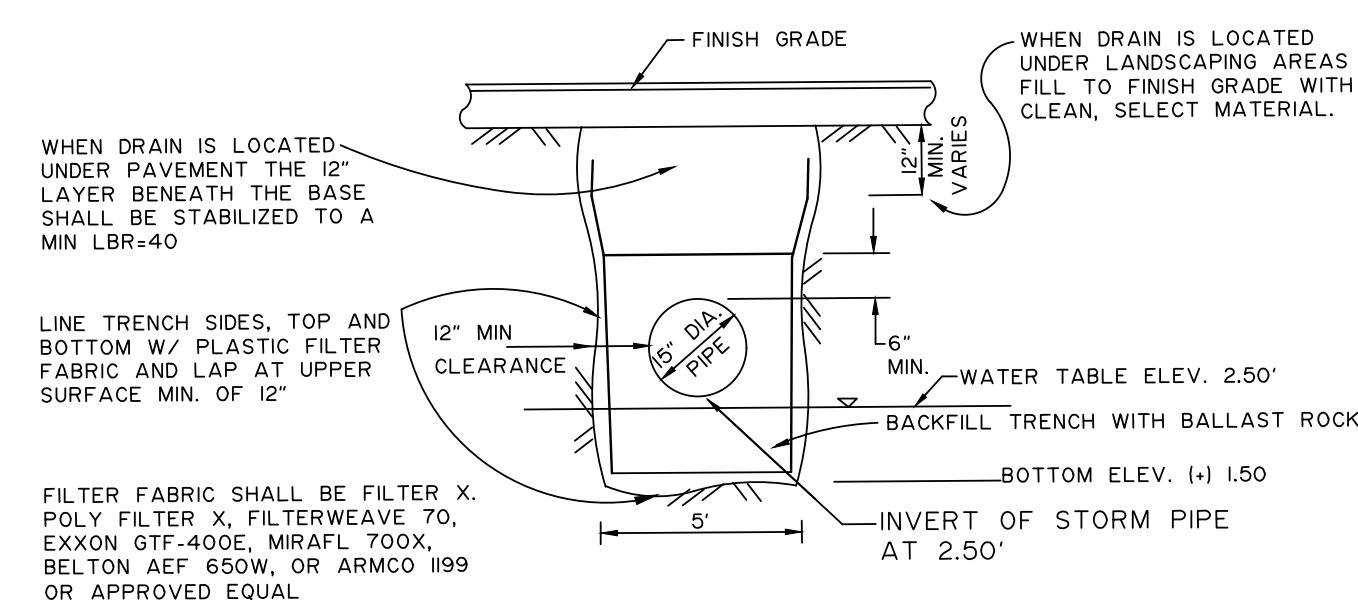
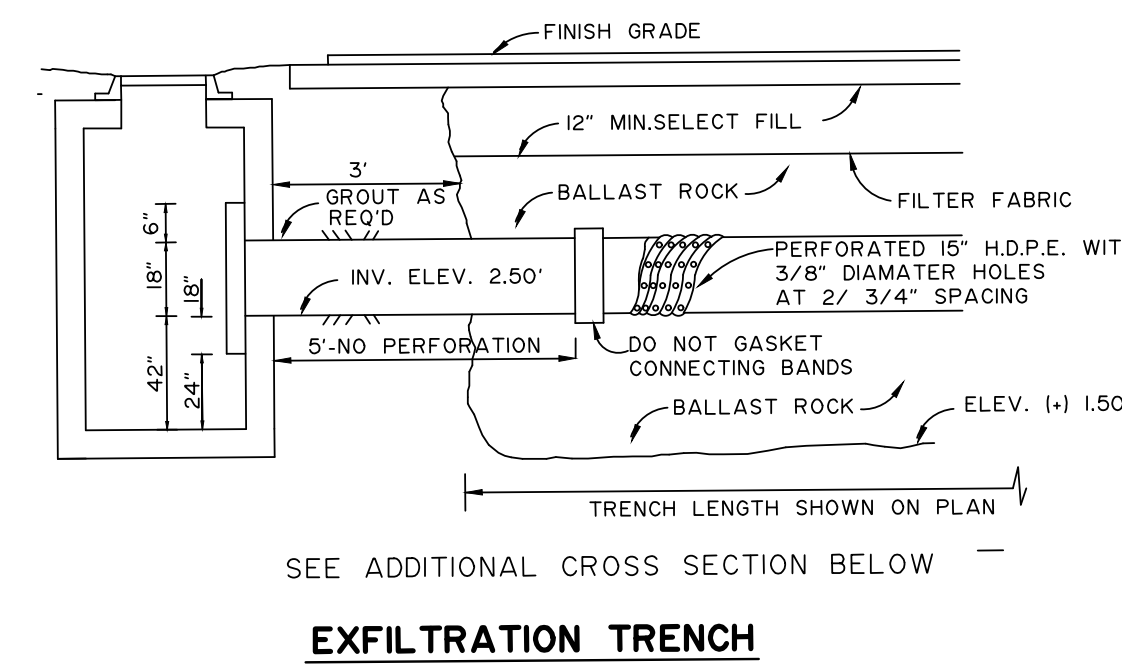
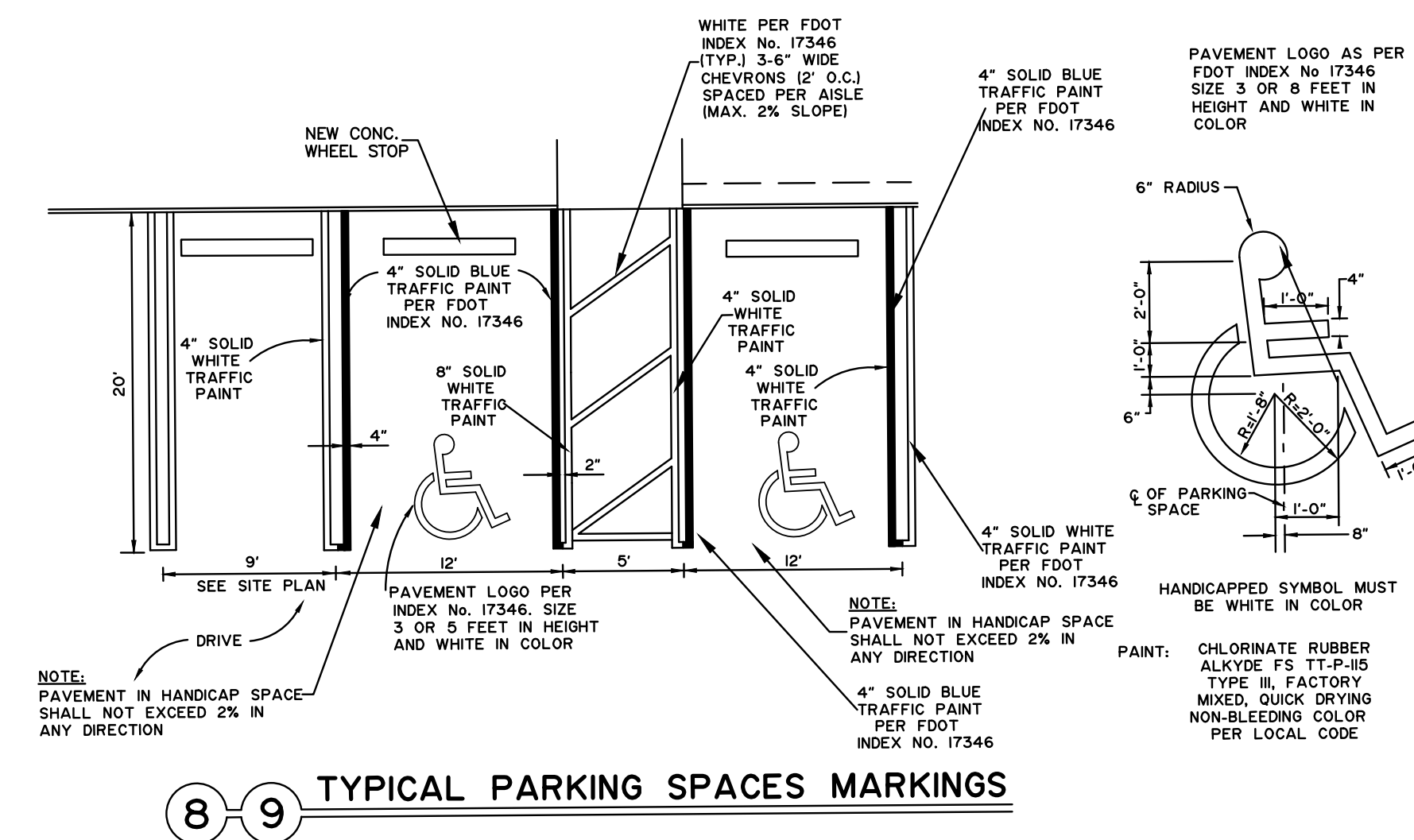
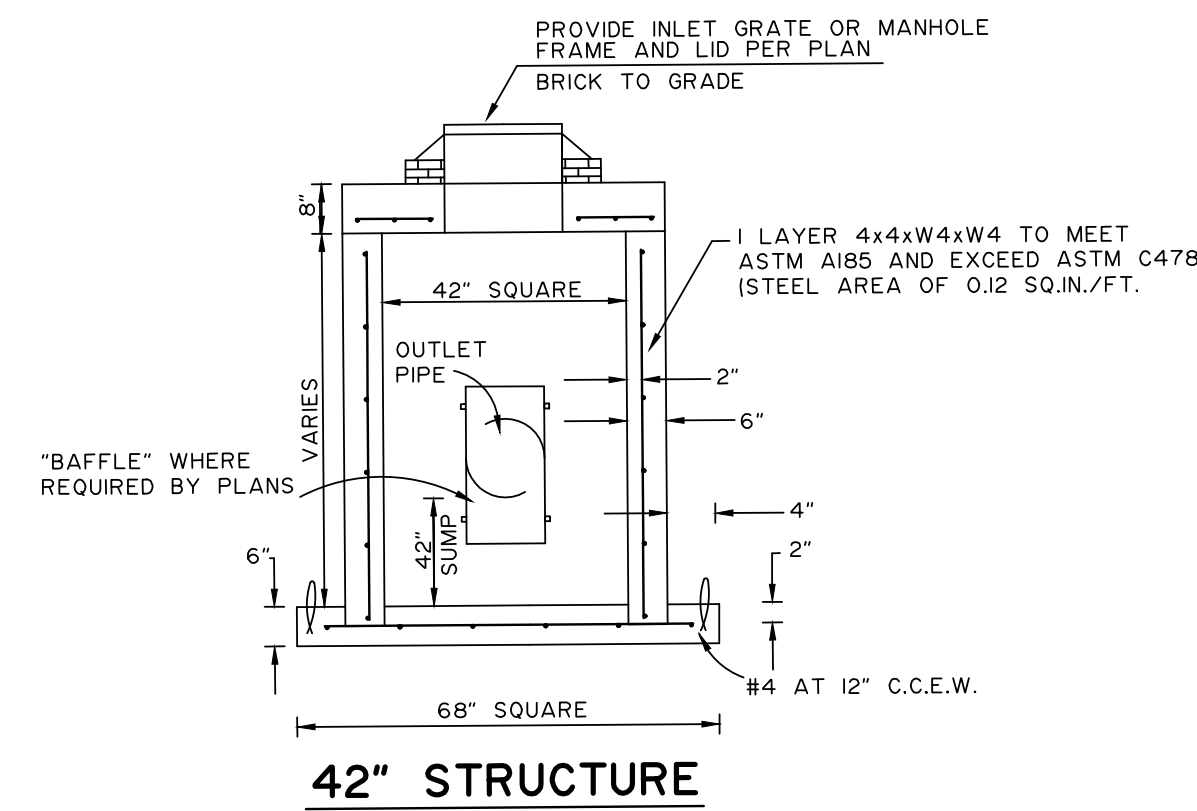
JOB NUMBER:
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ISSUE DATE: MARCH 2020
DRAWN BY:
CHECKED BY: J. FIALLO
ISSUE:

C-3
SHEET NUMBER

GENERAL NOTES:

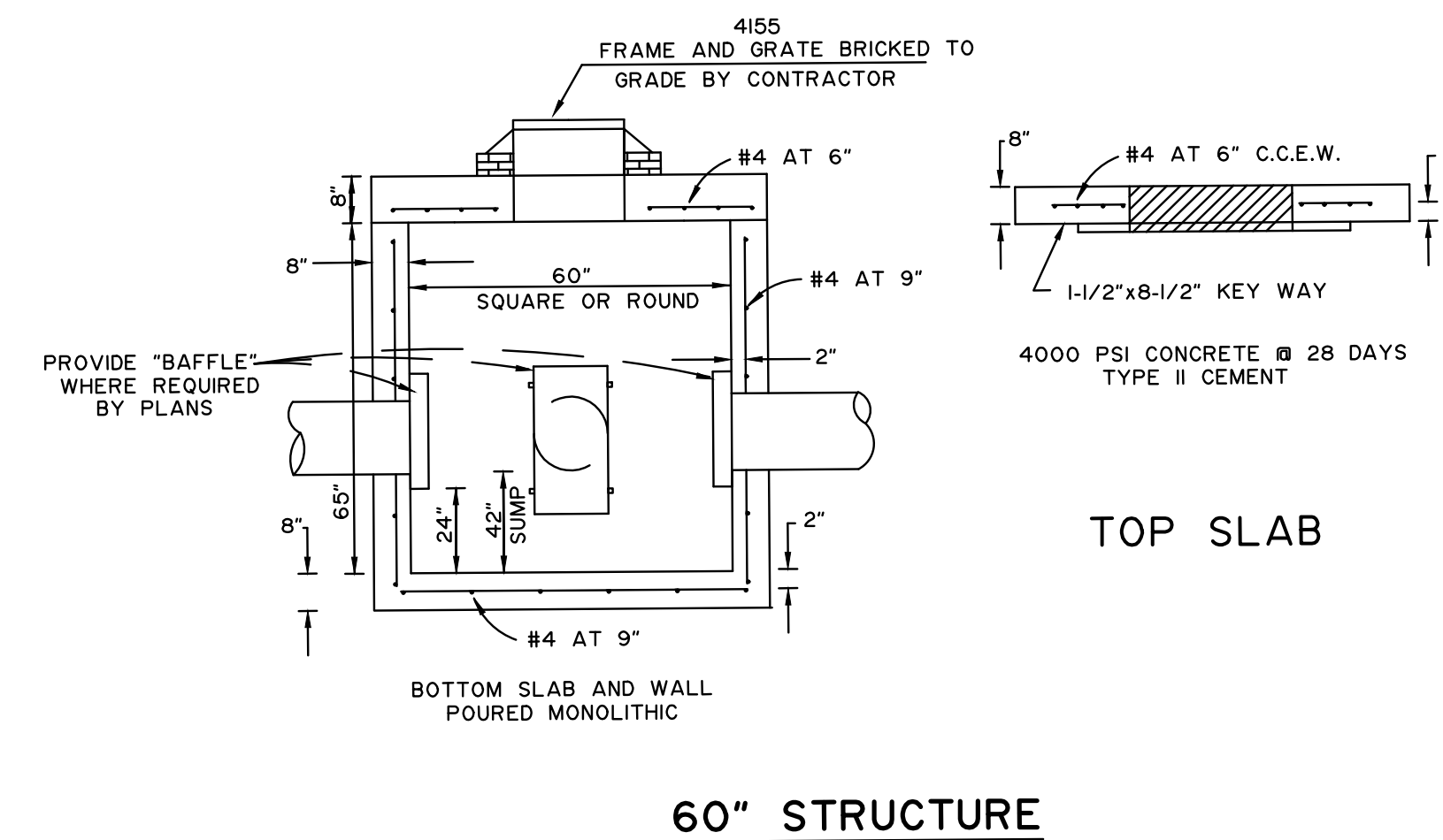
- All materials and labor under the project shall conform to City of Ft. Lauderdale Public Works Department, Florida Department of Transportation (FDOT) and Broward County DPEP Standards and Specifications.
- For site dimensions and geometry see Boundary & Site Plan.
- Elevations shown are based on N.A.V. (1988) Datum and as shown on Survey.
- Underground utility information is taken from the best available sources, but should be verified by contractor in the field with the appropriate utility agency prior to commencement of any work. Existing utility lines other than those indicated in this drawing may be on site. The contractor is warned to proceed with caution with all work. He is to make all possible investigation as to possible unmarked utility lines.
- Contractor shall adjust any utility lids and/or covers in project area to the finished grade.
- Any apparent discrepancies in the plans and field condition shall be brought to the attention of the Engineer before proceeding with the
- Contractor shall notify the Owner's representative and Engineer if soil condition encountered is unsuitable for construction. Furthermore all existing organic materials shall be removed from beneath areas of new asphalt or concrete pavement and from proposed building locations. The full depth of all existing organic and deleterious material within the right of way and utility/drainage easements shall be removed. No material of FDOT Class A-5, A-7 or A-8 shall be allowed.
- The Contractor shall restore all areas disturbed by this construction to a condition equal to, or better than, that now existing.
- Typical Pavement Section:
1.5" Type S-III Asphaltic Concrete surface course
6" Limerock base (Minimum LBR 100), compact to 98% of maximum density as determined by AASHTO T-180 and 6" concrete slab on 6" Limerock base compacted to 98% of maximum density as determined by AASHTO T-180 and 12" well compacted subgrade compact to 98% of maximum density as determined by AASHTO T-180.
- Fill shall be placed in 12" layers loose thickness, measured and compacted to 95% of maximum density as determined by AASHTO T-180. Fill shall be locally acceptable and suitable for fill purposes. The top 12" of fill or cut (Minimum LBR 40) under pavement base shall be compacted to 98% of maximum density as determined by AASHTO T-180.
- All seepage structures shall be French Drain with 15" perforated HDPE shall be used. Bottom of trench to be elevation at elevation (+) 1.50 trench width to be 5'. Provide masonry plug at end of French Drain invert of pipe to be at elevation 2.50.
- The property is located in flood zone AH, Elevation 6.00 feet, as per current Map No. 125105 0558 H dated August 18, 2014..
- Water level elevation as determined by Broward County Department of Environmental Protection is at Elevation 2.50 Feet, (Future wet season elevation).
- Background information obtained from Boundary Survey prepared by Deren Land Professional Surveyors Inc. Dated November 25, 2019.
- All signage and markings shall conform to the requirements of Broward County, FDOT and the Florida Department of Transportation.
- This site lies in Section 21, Township 50 S, Range 42 East in Miami-Dade County.
- All repairs to the existing pavement shall receive saw-cut edges prior to relaying asphalt. Utility piping or wiring less than four (4) inches in diameter requires a Schedule 40 PVC casing pipe with sand backfills under paved areas only.
- Prime coat shall be applied at a rate of 0.25 gallons per square yard. Prime and tack coat for base shall conform to the requirements and specifications of sections 300-1 through 300-7 of FDOT standards specifications.
- Base and subgrade density tests shall be conducted for a maximum 7000 square feet of finished pavement.
- Proctors shall be performed on all material, subgrade and base and any subsequent changes in materials. Limerock bearing ratios, sieve analysis and densities required by contract documents shall be submitted to the City.
- Minimum longitudinal slope of pavement shall be 0.3%.
- Minimum transverse slope of the pavement shall be one percent for parking areas.



NOTES:

- THE BOTTOM OF THE EXFILTRATION TRENCH SHALL BE AT ELEVATION (+) 1.00 UNLESS FIELD CONDITIONS WARRANT OTHERWISE.
- AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH WILL BE COMPLETED IN ACCORDANCE WITH THE DETAILS.

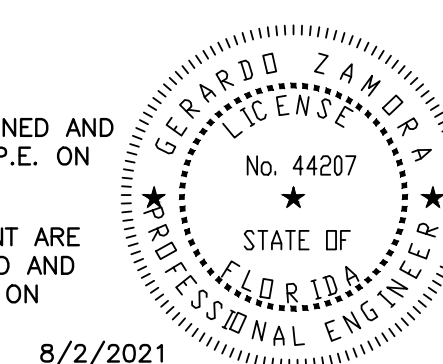
EXFILTRATION TRENCH



STRUCTURE TABLE						
NO.	TYPE	RIM ELEV.	FLOOR ELEV.	INVERT ELEV.	INVERT TO RIM	PAVEMENT
1	42" INLET	6.00	(-) 1.00	(+) 2.50	1	WEST
2	42" INLET	5.95	(-) 1.00	(+) 2.50	1	SOUTH
3	42" INLET	6.45	(-) 1.00	(+) 2.50	1	NORTH
4	42" MH	6.90	(-) 1.00	(+) 2.50	0	-
5	42" INLET	7.00	(-) 1.00	(+) 2.50	1	WEST
6	42" INLET	7.15	(-) 1.00	(+) 2.50	1	NORTH

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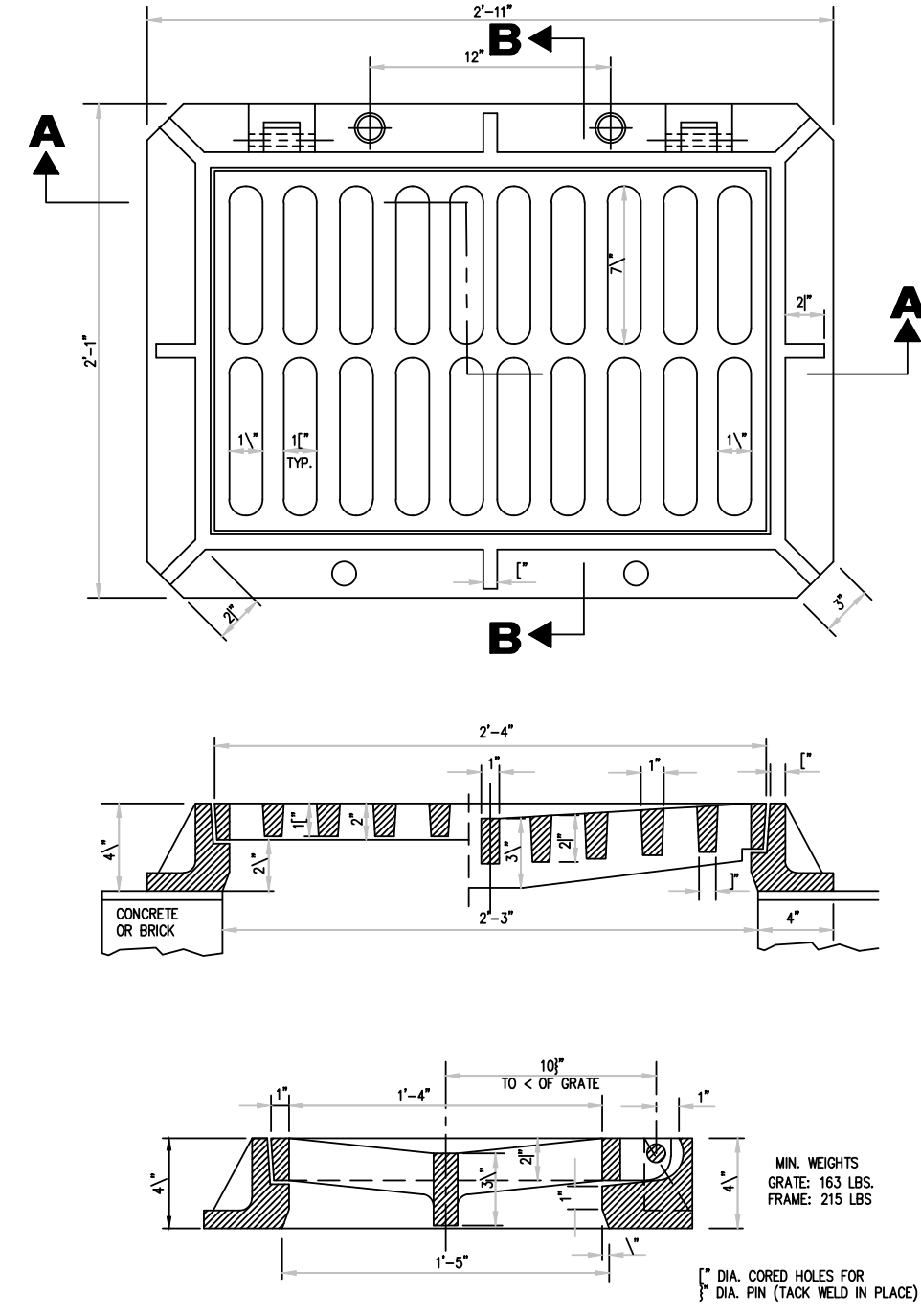
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STATE OF FLORIDA

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(305) 273-7801 FAX (305) 273-9514

PAVING & DRAINAGE DETAILS PLAN



DRAINAGE WELL DESIGN

AVAILABLE DRAINAGE WELL HEAD:
 LOWEST RIM ELEVATION 6.00 NAVD
 FUTURE WET SEASON W.T. 2.50
 WELL HEAD LOSS 2.00
 AVAILABLE HEAD AT WELL 1.50 FEET

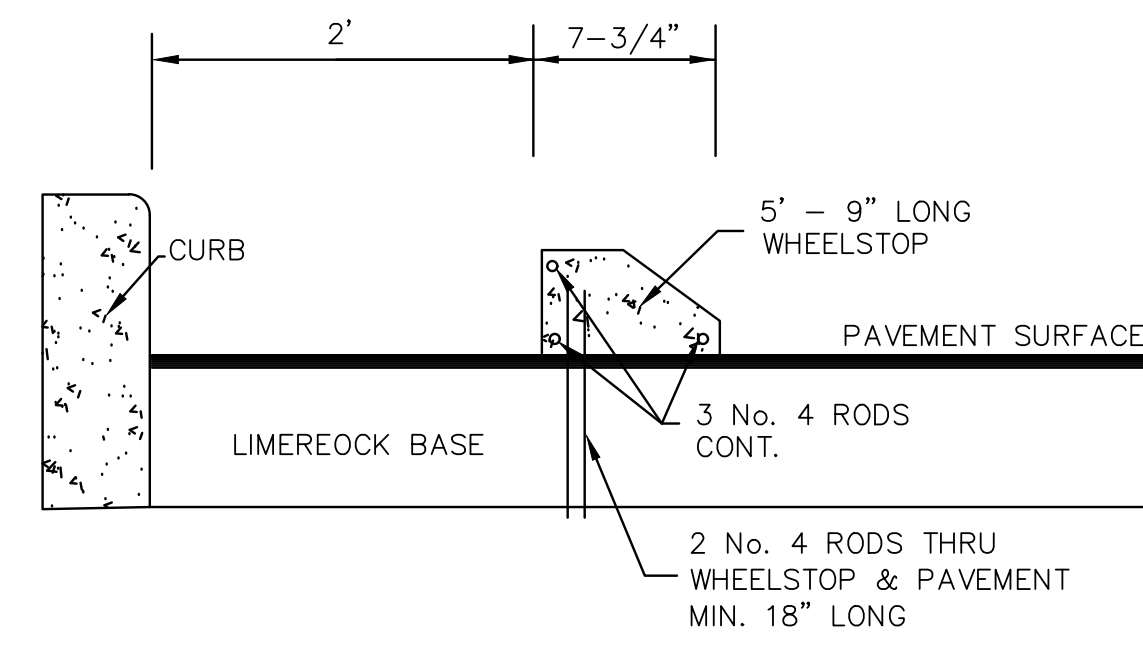
ASSUMING 400 GAL./ MI. PER FT. HEAD DISCHARGE
 DISCHARGE AVAILABLE = 400 GPM/FT x 1.50 FT = 600 GPM
 WELL CAPACITY = 600 GPM or 1.34 CFS AVAILABLE

DRAINAGE WELL SHALL DISCHARGE TO THAT PORTION OF THE AQUIFER CONTAINING A MINIMUM OF 10,000 PPM TDS. ADDITIONAL WELLS TO OBTAIN REQUIRED RUNOFF FLOW AT EACH WELL LOCATION MAY BE REQUIRED.

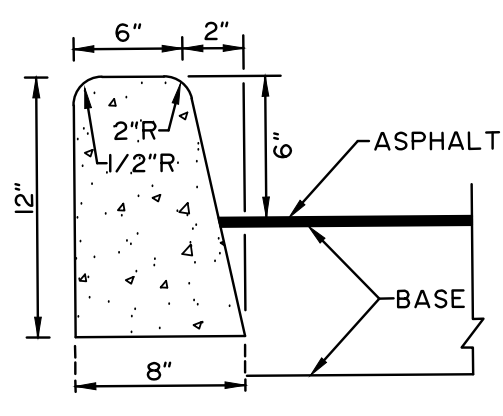
TOTAL RUNOFF FLOW;
 Q = 600 GPM OR 1.34 CFS

DRAINAGE WELL REQUIREMENTS
 Q = 600 GPM OR 1.34 CFS
 90 SECOND RETENTION = 1.34 CFS (90 SEC) = 121 CU. FT.
 RETENTION PROVIDED = 276 CU. FT.

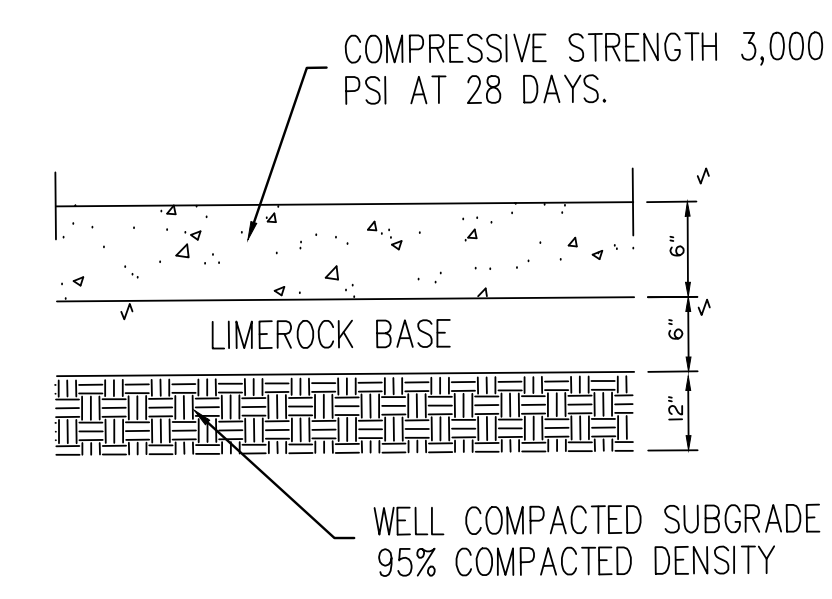
FRAME AND HINGED GRATE DETAIL
 USF No. 4700-6223



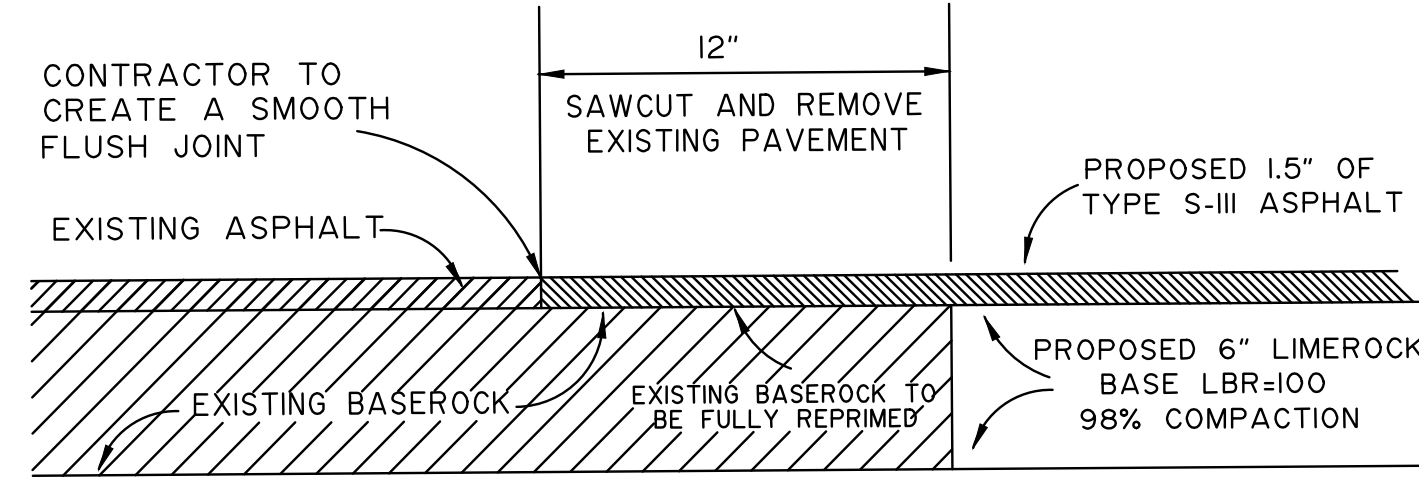
WHEEL STOP DETAIL



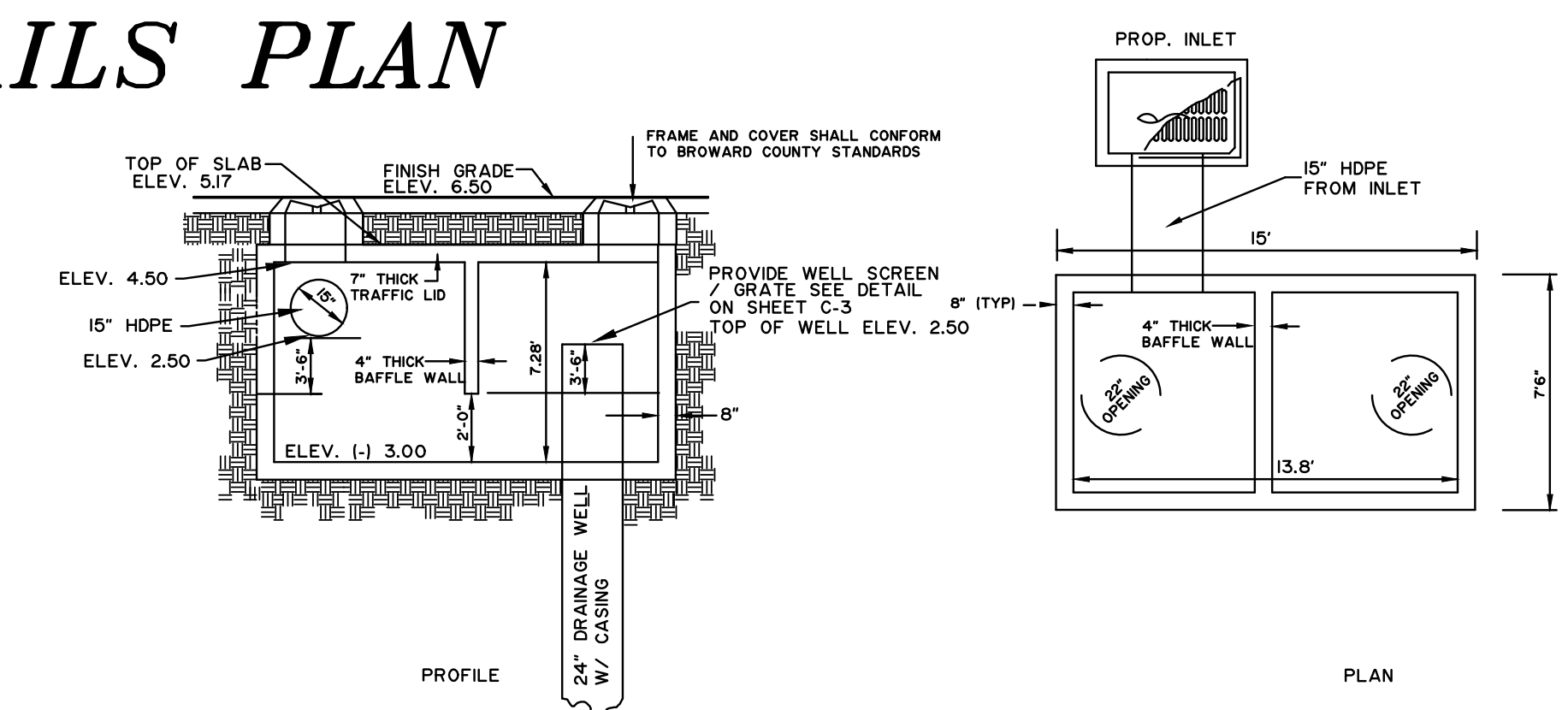
CURB DETAIL



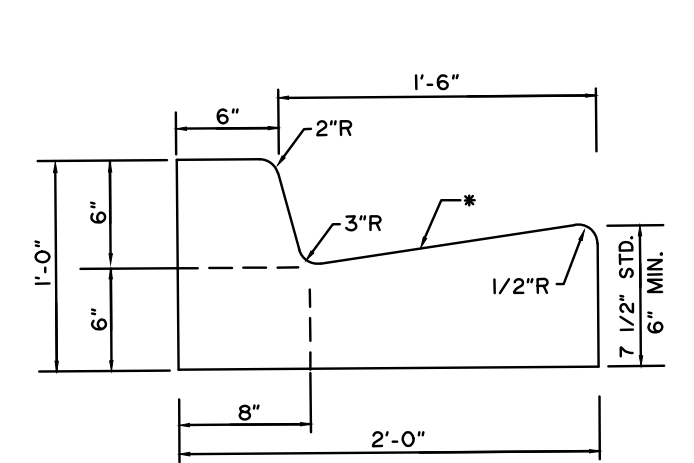
CONCRETE PAVEMENT DETAIL



DETAIL FOR MATCHING EXISTING PAVEMENT
 (BUTT JOINT)
 N.T.S.

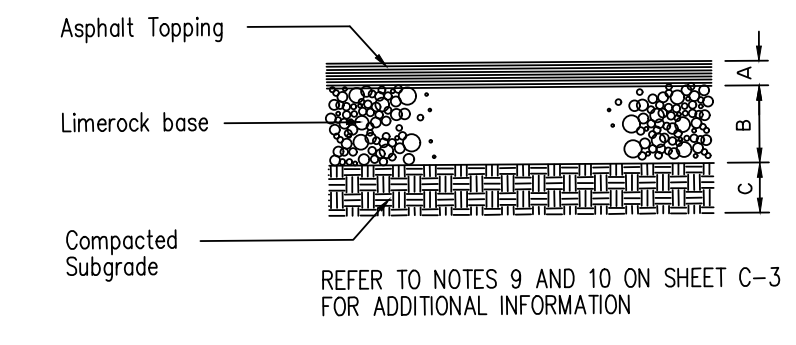


GREASE INTERCEPTOR AND DRAINAGE WELL DETAIL STRUCTURE No. 3
 SCALE: N.T.S.
 NOTES:
 1. EACH WELL STRUCTURE RIM ELEV. 6.50 DISCHARGE CAPACITY 600 GPM - 1.34 CFS
 2. DRAINAGE WELL SHALL DISCHARGE TO THAT PORTION OF THE AQUIFER CONTAINING A MINIMUM OF 10,000 PPM TDS.
 3. CONTRACTOR TO OBTAIN ALL PERMITS FROM DADE-COUNTY DEPARTMENT OF ENVIRONMENTAL RESOURCES MANAGEMENT (DERM) AND STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) FOR INSTALLATION OF THE DRAINAGE WELLS.



NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS

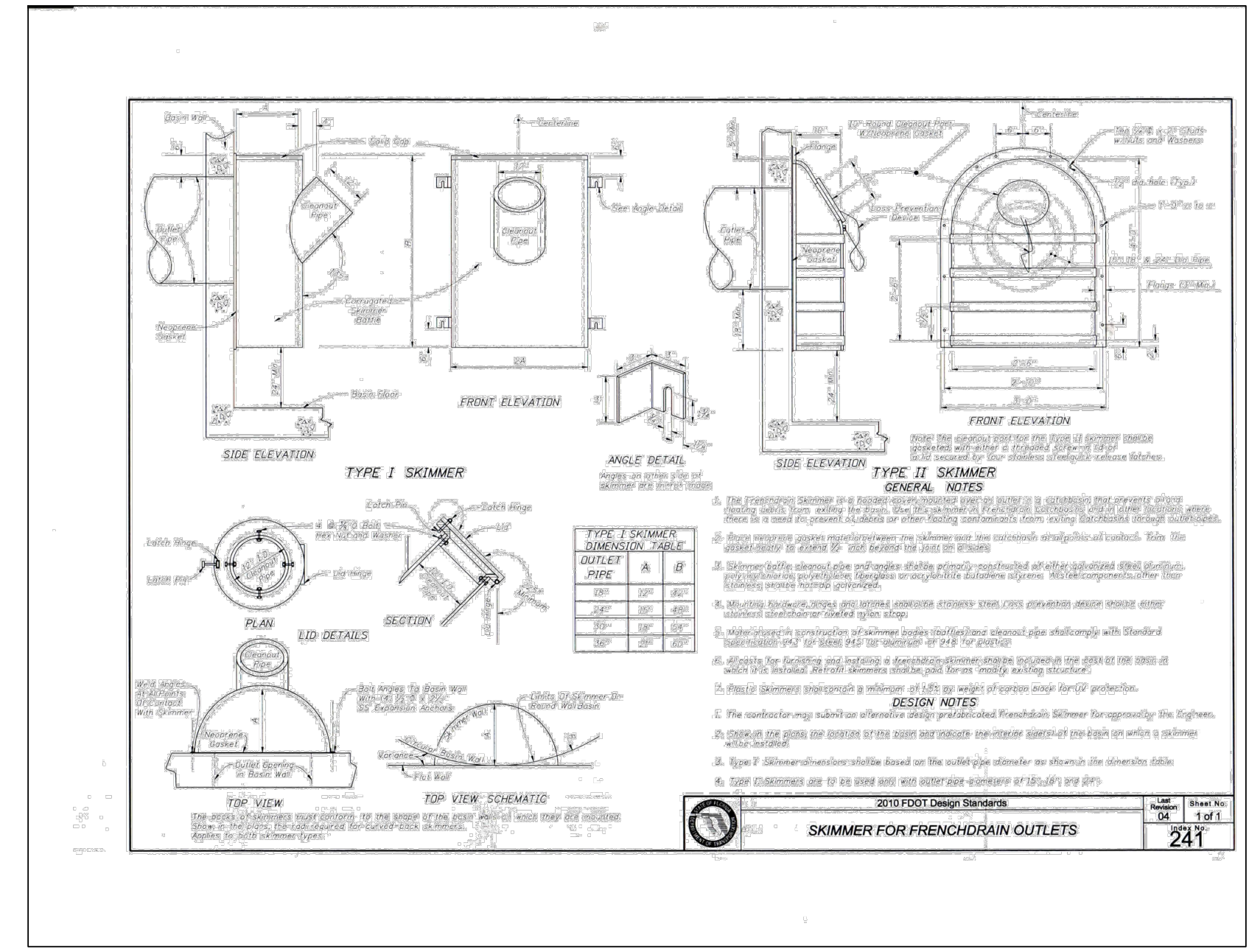
TYPE F CURB



DIMENSION & TYPE

Concrete Section STANDARD	A	B	C
	1.5"	6"	12"

ASPHALT PAVEMENT DETAIL



ISOMETRIC VIEW TYPE II BAFFLE DETAILS

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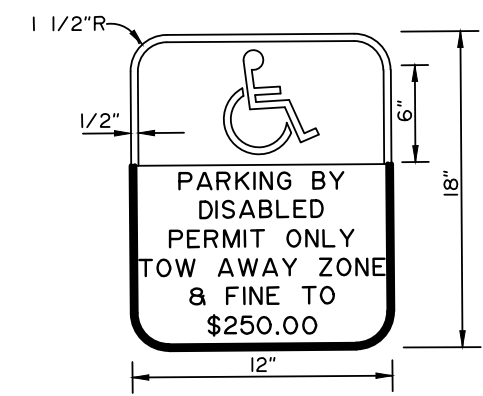
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NO.	REVISIONS	DATE

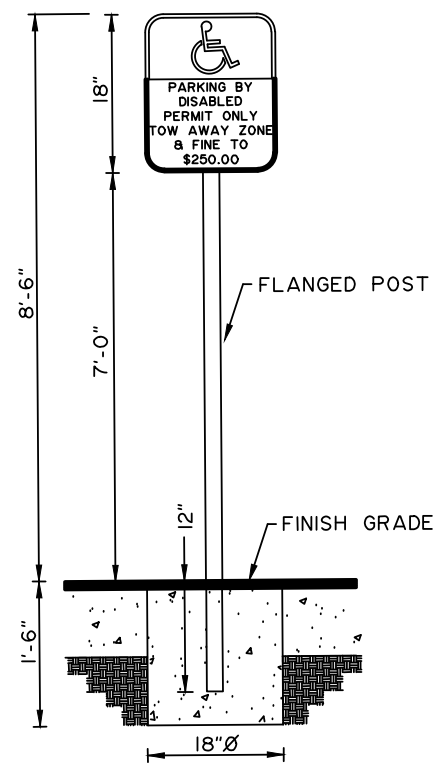
JOB NUMBER:
20-200-00514
 ISSUE DATE: MARCH 2020
 DRAWN BY:
 CHECKED BY: J. FIALLO
 ISSUE:

C-4
 SHEET NUMBER

PAVING & DRAINAGE DETAILS PLAN



SEE FT. LAUDERDALE PUBLIC WORKS CRITERIA FOR ADDITIONAL SIGN SPECIFICATIONS



13 HANDICAPPED SIGN DETAIL

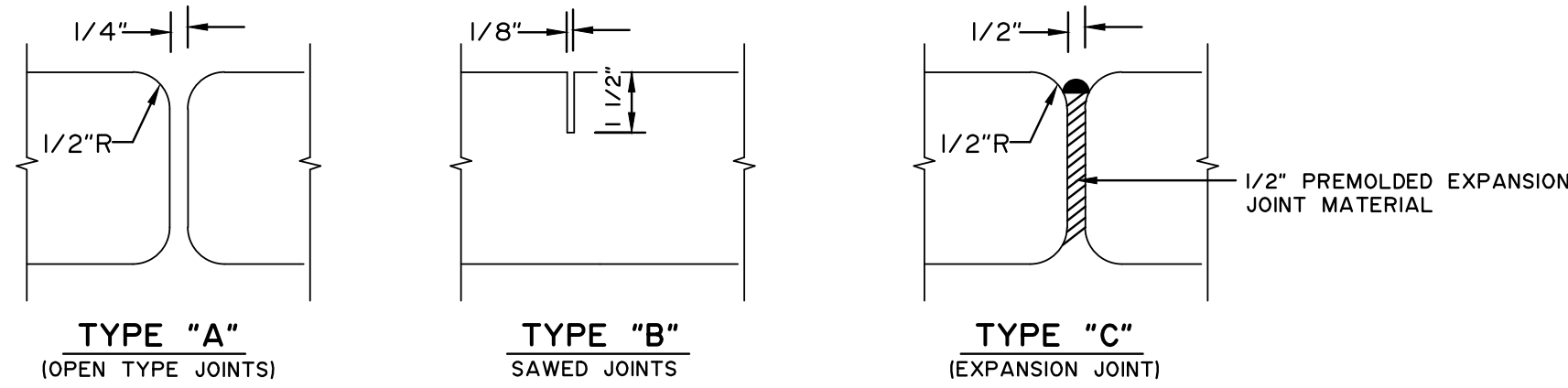
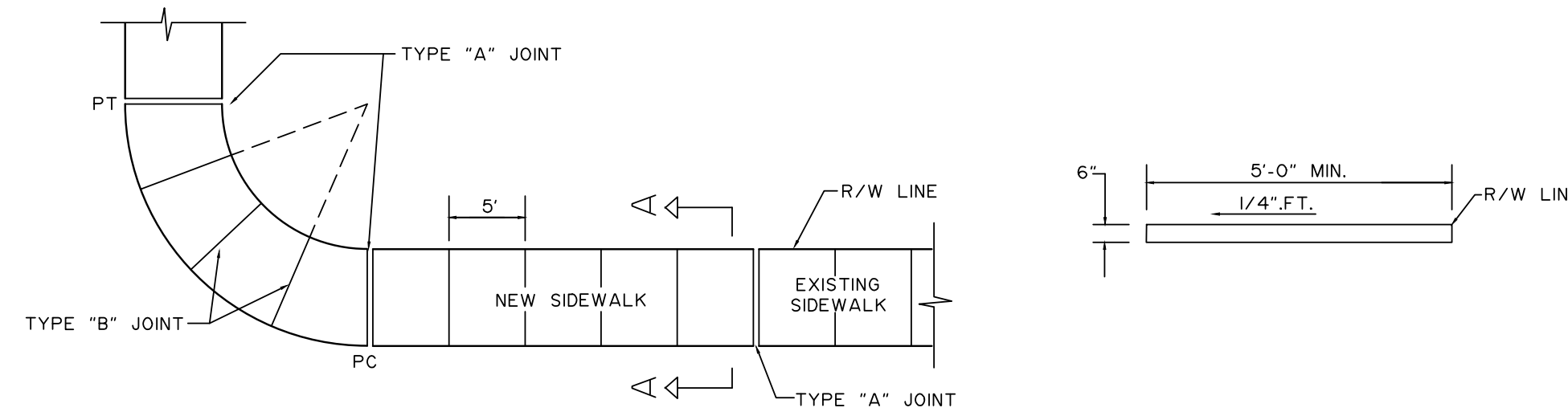
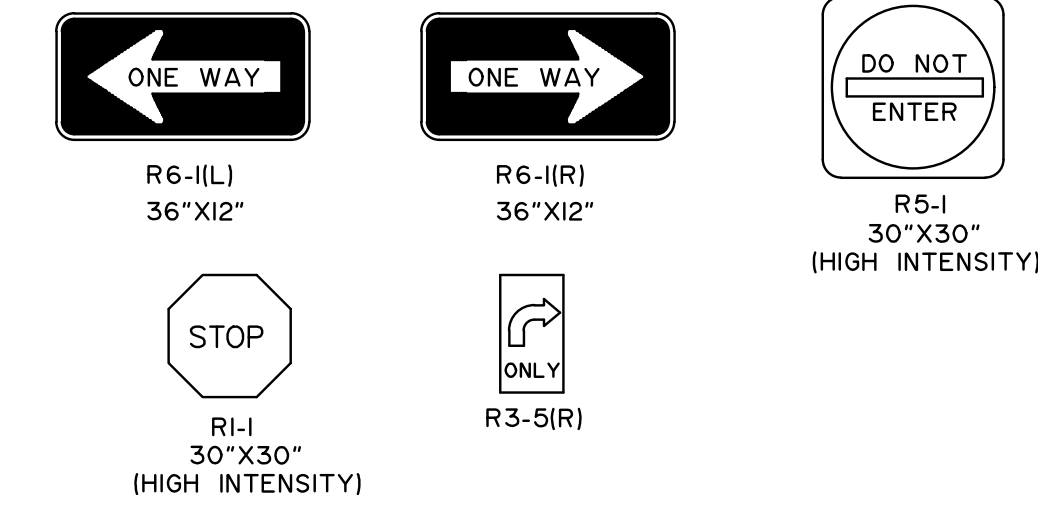


TABLE OF SIDEWALK THICKNESS - "T"	
LOCATION	"T"
RESEDENTIAL AREAS	4"
AT DRIVEWAYS AND OTHER AREAS	6"

TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
"A"	P.C. AND P.T. CURVES JUNCTION OF EXISTING AND NEW SIDEWALKS
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS
"C"	* WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES

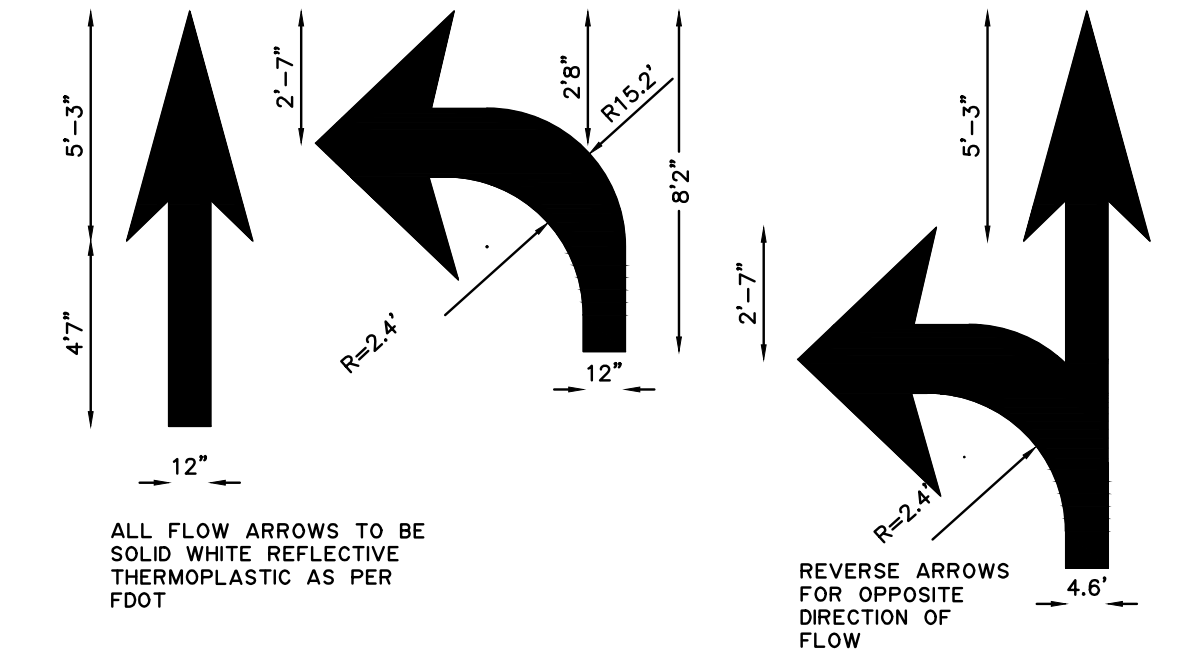
* = AT THE DISCRETION OF THE ENGINEER

SIDEWALK CONSTRUCTION

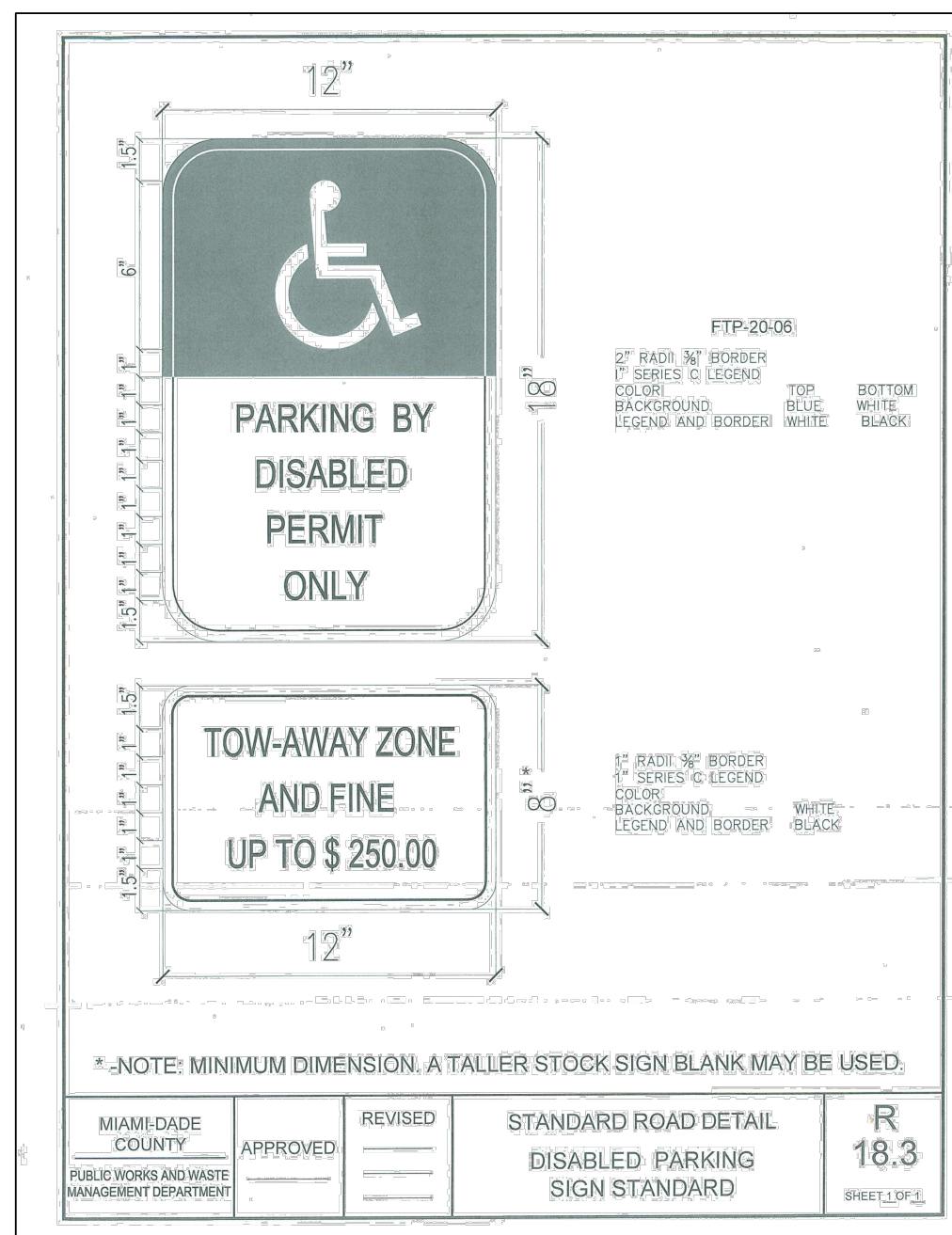


12 TRAFFIC SIGNS

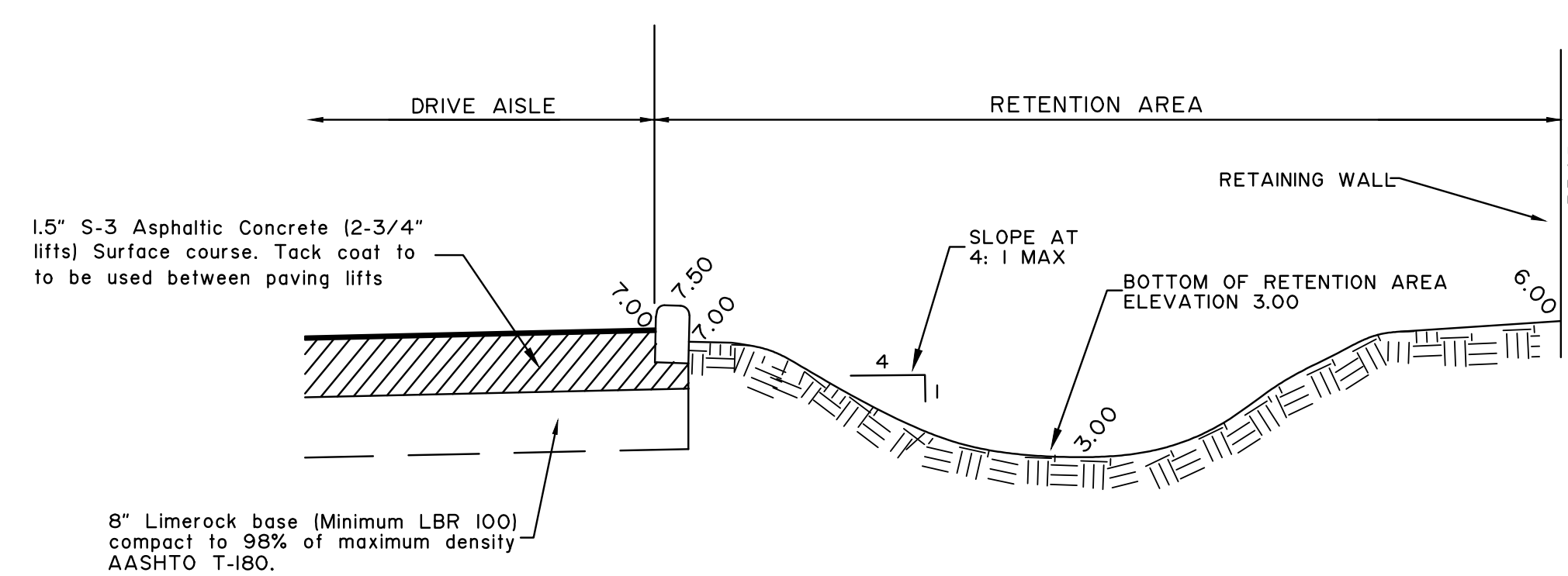
SIGNS ARE TO BE MOUNTED ON FLANGED POST



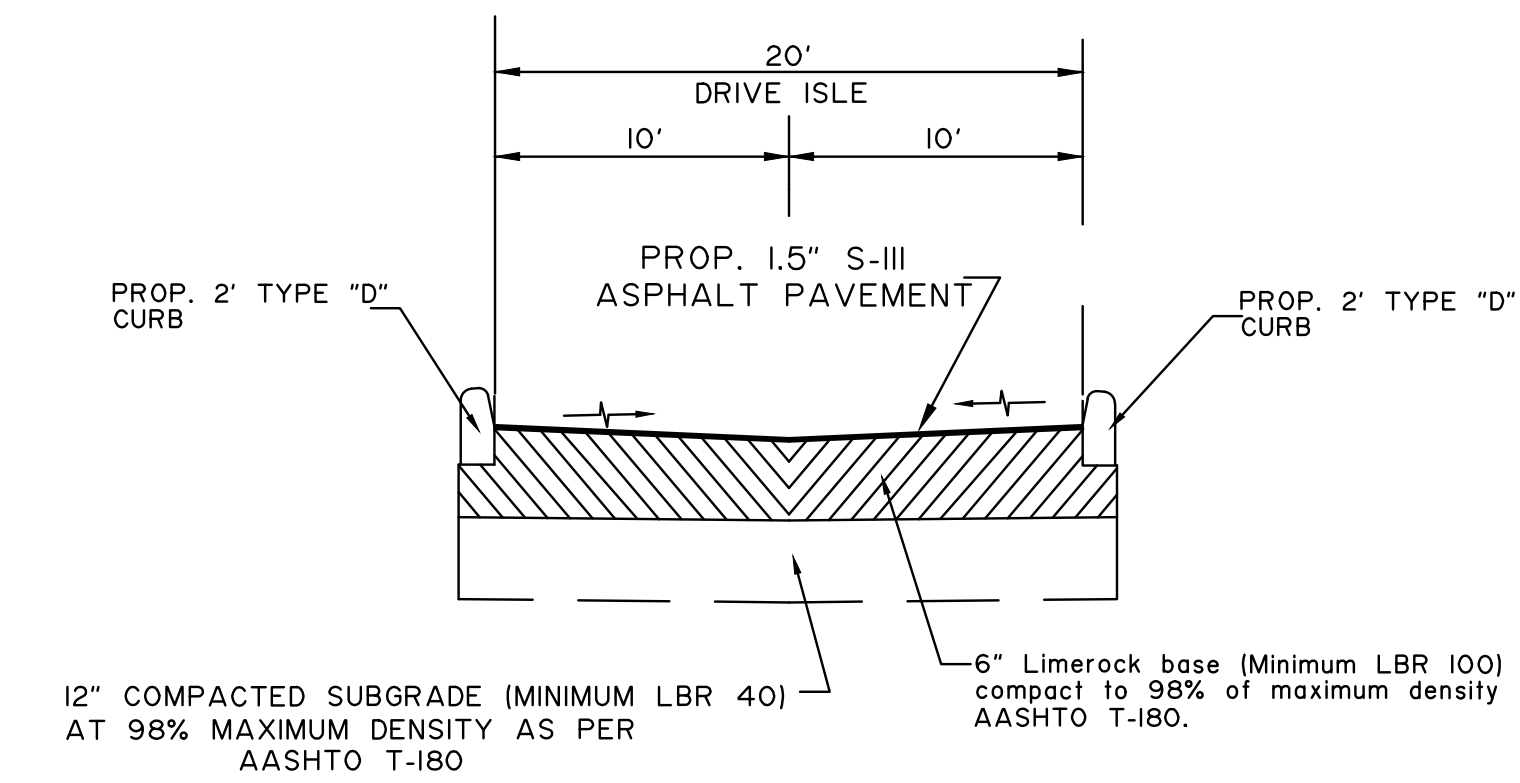
10 DIRECTIONAL ARROWS



13 HANDICAPPED SIGN DETAIL



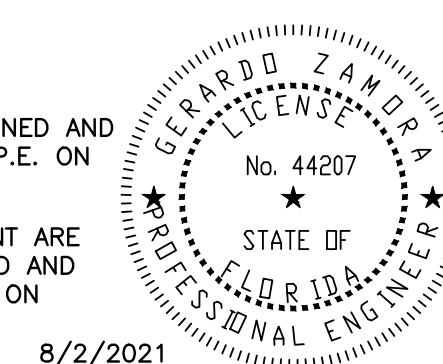
SECTION "B-B" SCALE: N.T.S.



DRIVE AISLE SECTION "A-A" SCALE: N.T.S.

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8/2/2021

GERARDO ZAMORA P.E.
CIVIL ENGINEER
P.E. No. 44207
E.B. 0006791
STATE OF FLORIDA

DATE: 11/3/2020
PROJECT No. 2020-13

ZAMORA & ASSOCIATES, INC.
ENGINEERING LAND PLANNING
11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
(305) 273-7801 FAX (305) 273-9514

**FIALLO'S
MEP
DESIGN, INC**

10010 SW 83rd St.
Miami, FL 33173
305.877.1845
Jfiallo@fiallomepdesign.com

CA# 28637

**NEW 5-STORY STORAGE BUILDING
AMERCO FACILITY 788054
1800 West State Road 84
Ft. Lauderdale, FL 33315**

JORGE FIALLO
FLORIDA P.E. #65527
Drawings not valid unless signed, sealed and dated by a Registered Professional.

NO.	REVISIONS	DATE

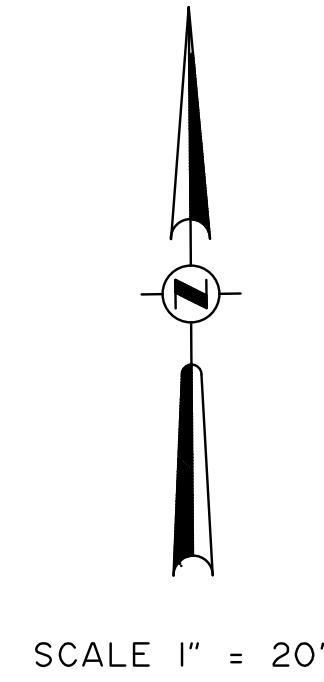
JOB NUMBER:
20-200-00514

ISSUE DATE: MARCH 2020
DRAWN BY:
CHECKED BY: J. FIALLO
ISSUE:

C-5
SHEET NUMBER

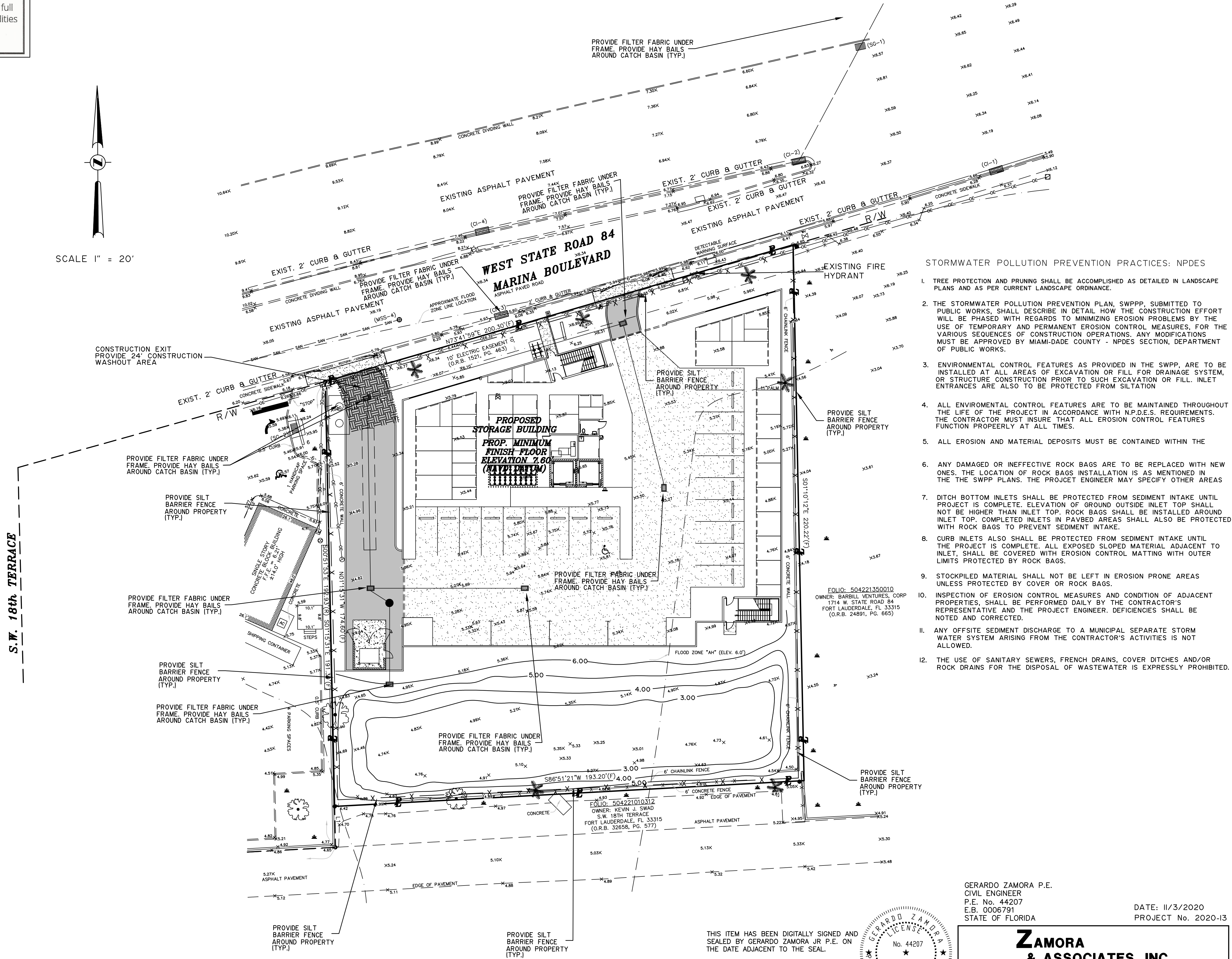
STORMWATER POLLUTION PREVENTION PLAN

Sunshine811
 Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
 Check positive response codes before you dig!



LEGEND

- - - - - EXISTING PAVEMENT
- - - - - PROPOSED PAVEMENT
- 9.0 EXISTING ELEVATION
- 10.9 PROPOSED ELEVATION
- ▨ PROPOSED CONCRETE
- ▨ EXISTING ASPHALT
- ▨ PROPOSED NEW ASPHALT
- RUN OFF DIRECTION
- === EXIST. TYPE "F" CURB & GUTTER
- === PROP. TYPE "F" CURB & GUTTER
- DRAINAGE STRUCTURE NUMBER



- STORMWATER POLLUTION PREVENTION PRACTICES: NPDES
- TREE PROTECTION AND PRUNING SHALL BE ACCOMPLISHED AS DETAILED IN LANDSCAPE PLANS AND AS PER CURRENT LANDSCAPE ORDINANCE.
 - THE STORMWATER POLLUTION PREVENTION PLAN, SWPPP, SUBMITTED TO PUBLIC WORKS, SHALL DESCRIBE IN DETAIL HOW THE CONSTRUCTION EFFORT WILL BE PHASED WITH REGARDS TO MINIMIZING EROSION PROBLEMS BY THE USE OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES. FOR THE VARIOUS SEQUENCES OF CONSTRUCTION OPERATIONS, ANY MODIFICATIONS MUST BE APPROVED BY MIAMI-DADE COUNTY - NPDES SECTION, DEPARTMENT OF PUBLIC WORKS.
 - ENVIRONMENTAL CONTROL FEATURES AS PROVIDED IN THE SWPP, ARE TO BE INSTALLED AT ALL AREAS OF EXCAVATION OR FILL FOR DRAINAGE SYSTEM, OR STRUCTURE CONSTRUCTION PRIOR TO SUCH EXCAVATION OR FILL. INLET ENTRANCES ARE ALSO TO BE PROTECTED FROM SILTATION
 - ALL ENVIRONMENTAL CONTROL FEATURES ARE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN ACCORDANCE WITH N.P.D.E.S. REQUIREMENTS. THE CONTRACTOR MUST INSURE THAT ALL EROSION CONTROL FEATURES FUNCTION PROPERLY AT ALL TIMES.
 - ALL EROSION AND MATERIAL DEPOSITS MUST BE CONTAINED WITHIN THE
 - ANY DAMAGED OR INEFFECTIVE ROCK BAGS ARE TO BE REPLACED WITH NEW ONES. THE LOCATION OF ROCK BAGS INSTALLATION IS AS MENTIONED IN THE THE SWPP PLANS. THE PROJECT ENGINEER MAY SPECIFY OTHER AREAS
 - DITCH BOTTOM INLETS SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL PROJECT IS COMPLETE. ELEVATION OF GROUND OUTSIDE INLET TOP SHALL NOT BE HIGHER THAN INLET TOP. ROCK BAGS SHALL BE INSTALLED AROUND INLET TOP. COMPLETED INLETS IN PAVED AREAS SHALL ALSO BE PROTECTED WITH ROCK BAGS TO PREVENT SEDIMENT INTAKE.
 - CURB INLETS ALSO SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL THE PROJECT IS COMPLETE. ALL EXPOSED SLOPED MATERIAL ADJACENT TO INLET, SHALL BE COVERED WITH EROSION CONTROL MATTING WITH OUTER LIMITS PROTECTED BY ROCK BAGS.
 - STOCKPILED MATERIAL SHALL NOT BE LEFT IN EROSION PRONE AREAS UNLESS PROTECTED BY COVER OR ROCK BAGS.
 - INSPECTION OF EROSION CONTROL MEASURES AND CONDITION OF ADJACENT PROPERTIES, SHALL BE PERFORMED DAILY BY THE CONTRACTOR'S REPRESENTATIVE AND THE PROJECT ENGINEER. DEFICIENCIES SHALL BE NOTED AND CORRECTED.
 - ANY OFFSITE SEDIMENT DISCHARGE TO A MUNICIPAL SEPARATE STORM WATER SYSTEM ARISING FROM THE CONTRACTOR'S ACTIVITIES IS NOT ALLOWED.
 - THE USE OF SANITARY SEWERS, FRENCH DRAINS, COVER DITCHES AND/OR ROCK DRAINS FOR THE DISPOSAL OF WASTEWATER IS EXPRESSLY PROHIBITED.

NEW 5-STORY STORAGE BUILDING
AMERCO FACILITY 788054
 1800 West State Road 84
 Ft. Lauderdale, FL 33315

FIALLO'S
MEP
DESIGN, INC

10010 SW 83rd St.
 Miami, FL 33173
 305.877.1845
 Jfiallo@fiallompedesign.com

CA# 28637

JORGE FIALLO
 FLORIDA P.E. #65527
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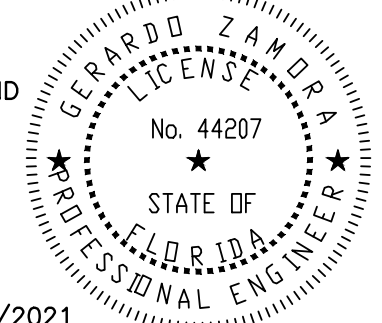
NO.	REVISIONS	DATE

JOB NUMBER:
20-200-00514

ISSUE DATE: MARCH 2020
 DRAWN BY:
 CHECKED BY: J. FIALLO
 ISSUE:

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8/2/2021

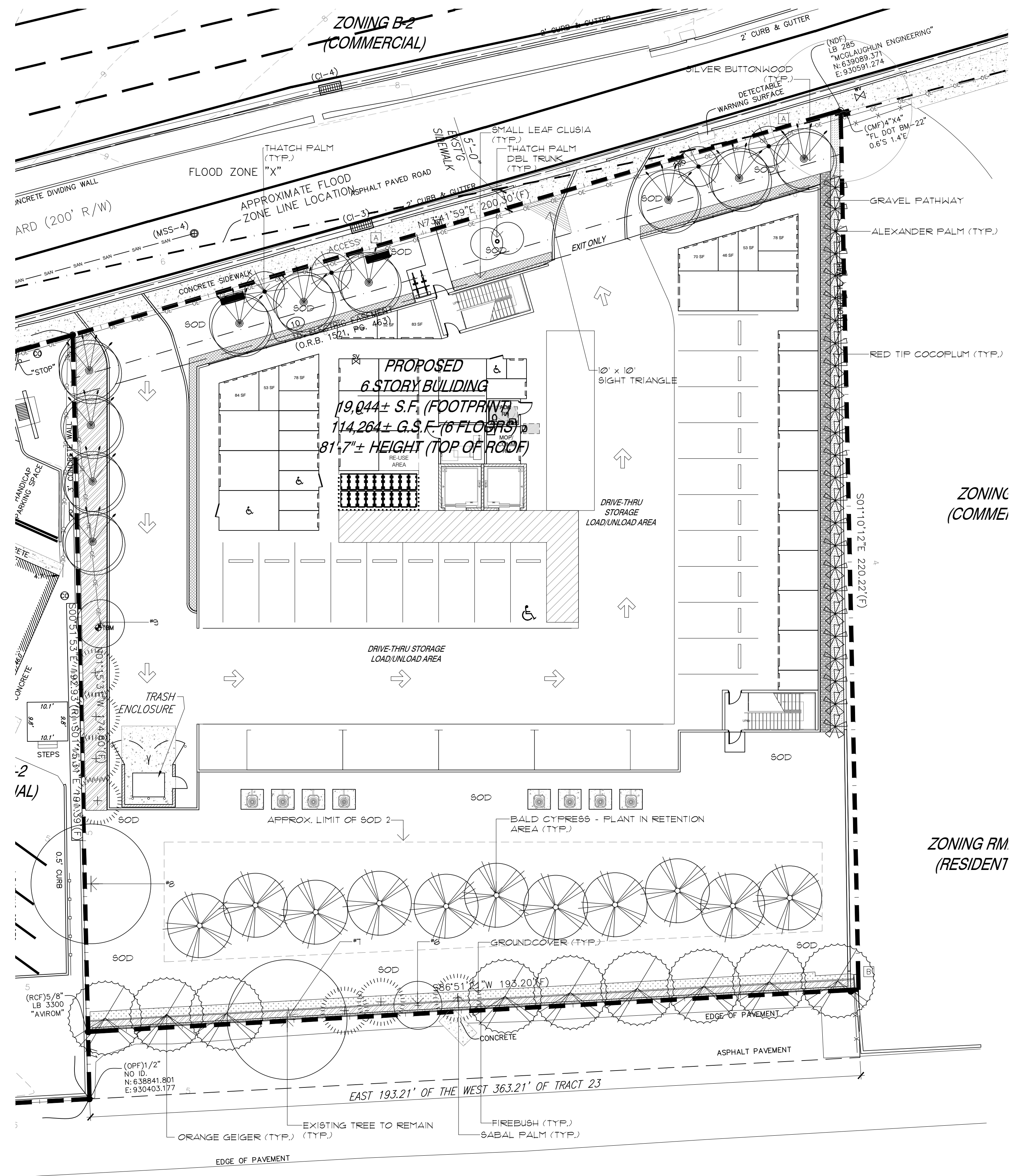


GERARDO ZAMORA P.E.
 CIVIL ENGINEER
 P.E. No. 44207
 E.B. 0006791
 STATE OF FLORIDA

DATE: 11/3/2020
 PROJECT No. 2020-13

ZAMORA & ASSOCIATES, INC.
 ENGINEERING LAND PLANNING
 11410 N. KENDALL DRIVE SUITE 302 MIAMI, FLORIDA 33176
 (305) 273-7801 FAX (305) 273-9514

C-6
 SHEET NUMBER



CITY OF FT. LAUDERDALE LANDSCAPE REQUIREMENTS

ZONING	B-2 4 RMM-25	0.81 ACRES
ITEMS 1, 2, 7, 8, 10, AND 16 OF THE FT. LAUDERDALE CODE	REQUIRED	PROVIDED
LANDSCAPE REQUIREMENTS		
ITEM 1 1 TREE PER 1000 SQ. FT.	37	1 EX. TREE + 2 EX. PALM + 23 PROP TREES + 31 PROP PALMS = 56
ITEM 2 V.V.A. LANDSCAPE WITH OFF-STREET PARKING	N/A	N/A
ITEM 3 MIN. OF 35% OF GROSS LOT SF. SHALL BE LAND. MAINTAINED BY IRRIG SYS. 13,263#	12,399#	
ITEM 6 FOR PARCELS ON INTERDISTRICT CORRIDOR	N/A	N/A
ITEM 7 FOR PARCELS ON WATERWAYS	N/A	N/A
ITEM 8 FOR RESIDENTIAL USE PARCELS	N/A	N/A
ITEM 10 TREE DIVERSITY	MIN. 4 TYPES	6 TYPES
ITEM 10 NATIVE TREES - 50% MIN.	24	1 EX. TREE + 2 EX. PALM + 23 PROP TREES + 12 PROP PALMS = 44
ITEM 15 FOR MULTI-FAMILY OR CLUSTER DEVELOP.	N/A	N/A
ITEM 16 STREET TREES UNDER LINES (1 PER 20 L.F.)	10	6 PROP TREE + 4 PROP PALMS = 10

PLANT LIST

QTY.	KEY	BOTANICAL NAME	COMMON NAME	TOLERANCE, SIZE & REMARKS
TREES:				
10	CE5	CONOCARPUS ERECTUS 'SER.'	SILVER BUTTONWOOD	Δ** MIN. 2" DIA. TRUNK, MIN. 12' HT., F.G.
9	C5	CORDIA SEBESTENA	ORANGE GEIGER	Δ** MIN. 2" DIA. TRUNK, MIN. 12' HT., F.G.
10	C5	TAXODIUM DISTICHUM	BALD CYPRESS	Δ** MIN. 2" DIA. TRUNK, MIN. 12' HT., F.G.
PALMS:				
25	FE	PTYCHOSPERMA ELEGANS	ALEXANDER PALM	** MIN. 2" DIA. TRUNK, MIN. 14' HT., F.G.
7	SP	SABAL PALMETTO	SABAL PALM	Δ** MIN. 2" DIA. TRUNK, MIN. 14' HT., BOOTED, F.G.
4	TR	THRINAX RADIATA	THATCH PALM	Δ** MIN. 2" DIA. TRUNK, MIN. 14' HT., F.G.
1	TR2	THRINAX RADIATA	THATCH PALM	Δ** MIN. 2" DIA. DBL. TRUNK, MIN. 14' HT., F.G.
SHRUBS:				
TBD	CI	CHYRSABALANUS ICACO	RED TIP COCOPLUM	Δ** 3 GAL., 24" OC, T.S. (24" TALL WHEN PLANTED)
TBD	CG	CLUSIA GUTTIFERA	SMALL LEAF CLUSIA	Δ** 1 GAL., 30" OC, 6R. (30" TALL WHEN PLANTED)
TBD	HP	HAMELIA PATENS	FIREBUSH	Δ** 3 GAL., 24" OC, 6R. (24" TALL WHEN PLANTED)
GROUNDCOVERS:				
TBD				
SOD:				
8,400#	SOD	STENOTAPHRUM SECUNDATUM	ST. AUGUSTINE 'FLORATAM'	Δ * SOLID SOD
4,310#	SOD 2	PASPALUM NOTATUM	ARGENTINE BAHIA	** SOLID SOD

ABBREVIATIONS:		DROUGHT TOLERANCE & ORIGIN:	
OA. HT.	OVERALL HEIGHT	MIN.	MINIMUM
STG.	STAGGERED	STD.	STANDARD
S.R.	SINGLE ROW	O.C.	ON CENTER
T.S.	TRIANGULAR SPACING	GAL.	GALLON
S.T.	SINGLE TRUNK	G.W.	GREY WOOD
D.T.	DOUBLE TRUNK		
		*	MODERATE DROUGHT TOLERANCE
		**	VERY DROUGHT TOLERANT
		Δ	NATIVE

EXISTING TREE LIST:

#	BOTANICAL NAME	COMMON NAME	DBH (")	HT. (')	SP. (')	TPZ (')	Condition	Disposition	Notes	DBH Loss (")
1	Syagrus Romanzoffiana	Queen Palm	n/a	n/a	n/a	n/a	n/a	n/a	Not on-site as of recent inspection 3/2021	n/a
2	Syagrus Romanzoffiana	Queen Palm	n/a	n/a	n/a	n/a	n/a	n/a	Not on-site as of recent inspection 3/2021	n/a
3	Syagrus Romanzoffiana	Queen Palm	n/a	n/a	n/a	n/a	n/a	n/a	Not on-site as of recent inspection 3/2021	n/a
4	Sabal Palmetto	Sabal Palm	n/a	n/a	n/a	n/a	n/a	n/a	Not on-site as of recent inspection 3/2021	n/a
5	Sabal Palmetto	Sabal Palm	n/a	n/a	n/a	n/a	n/a	n/a	Stump to be removed	n/a
6	Sabal Palmetto	Sabal Palm	13	15	10		Fair	Remain		0
7	Quercus Virginiana	Live Oak	16	25	25		Fair	Remain		0
8	Quercus Virginiana	Live Oak	n/a	n/a	n/a	n/a	n/a	n/a	Not on-site as of recent inspection 3/2021	n/a
9	Sabal Palmetto	Sabal Palm	16	12	10		Fair	Remain	Booted trunk	n/a
Total DBH Loss:										0

PRELIMINARY LANDSCAPE PLAN
SCALE: 1/16" = 1'-0"
NORTH

DESIGNING BEAUTIFUL SPACES
LLA LAURA LLERENA & ASSOCIATES
LANDSCAPE ARCHITECTURE
13170 S.W. 128th Street, Suite 207, Miami, FL 33186
Tel: 305-256-1199 / Fax: 305-256-1155
www.llerena-associates.com



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DESIGN, INC**
10010 SW 83rd St.
Miami, FL 33173
305.877.1845
jfiallo@fiallompdesign.com

CA# 28637

**NEW 6-STORY STORAGE BUILDING
AMERCO- FACILITY 788054
1800 West State Road 84
Ft. Lauderdale, FL 33315**

LAURA M. LLERENA-HERNANDEZ
FLORIDA RLA #6667125
Drawings not valid unless Signed, Sealed and Dated by a Registered Professional

NO.	REVISIONS	DATE
1	REVIEW COMM	07/14/21
2	SITE PLAN REV.	09/13/21
3	REVIEW COMM	11/08/21

JOB NUMBER:
20-200-00514

ISSUE DATE:	DEC. 2020
DRAWN BY:	LR
CHECKED BY:	LMLH
ISSUE:	-

PRELIMINARY LANDSCAPE PLAN

L-1

SHEET NUMBER

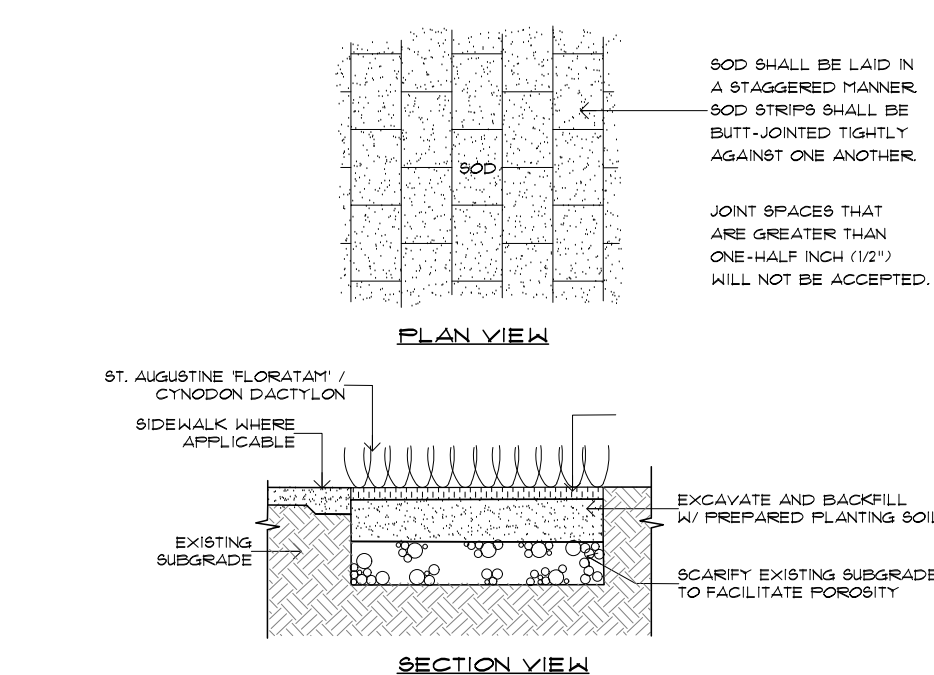
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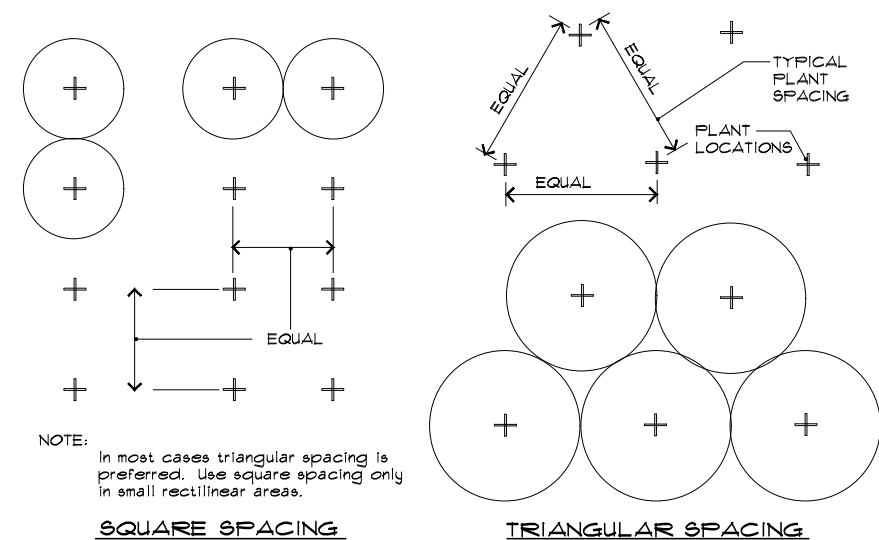
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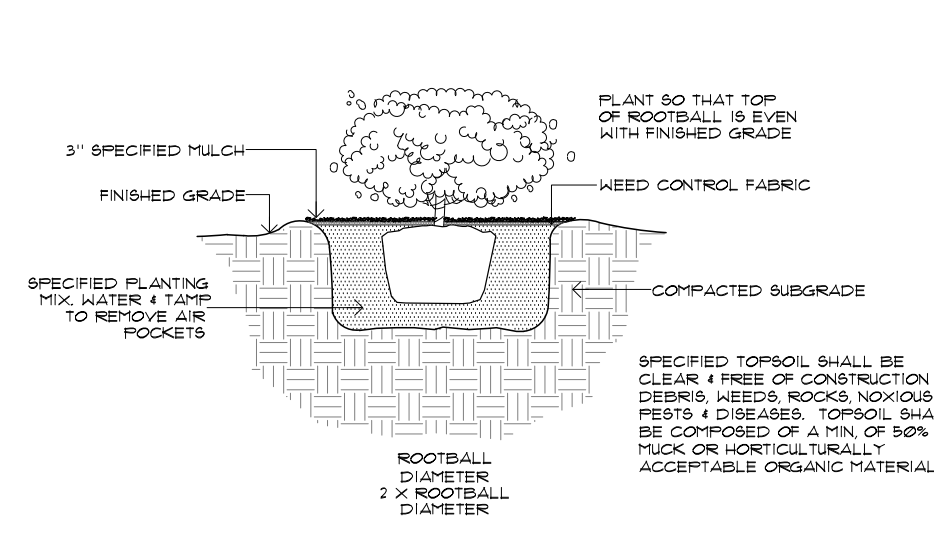
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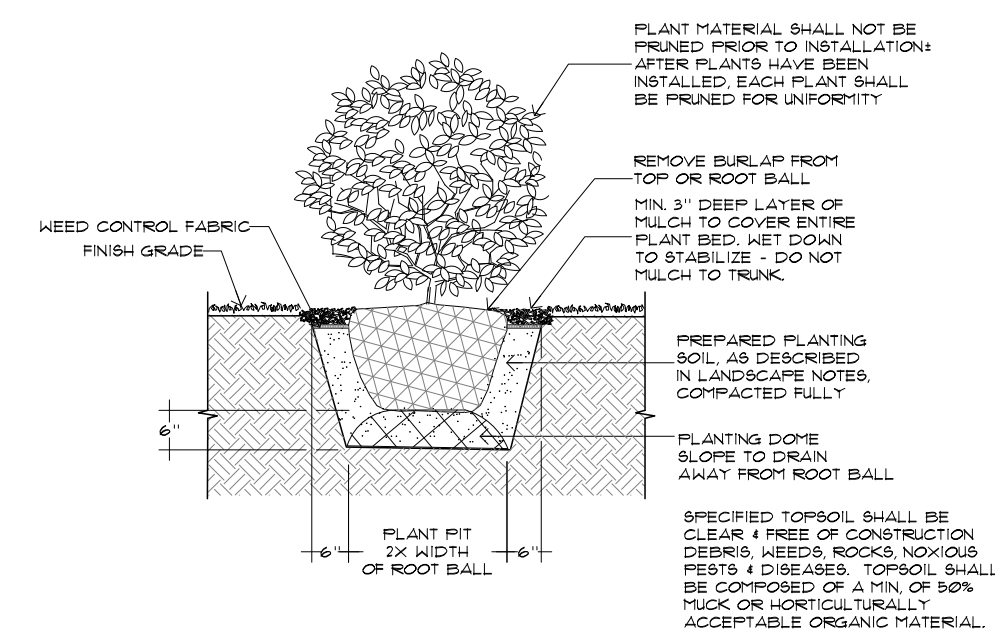
1. SOD INSTALLATION DETAIL
NOT TO SCALE



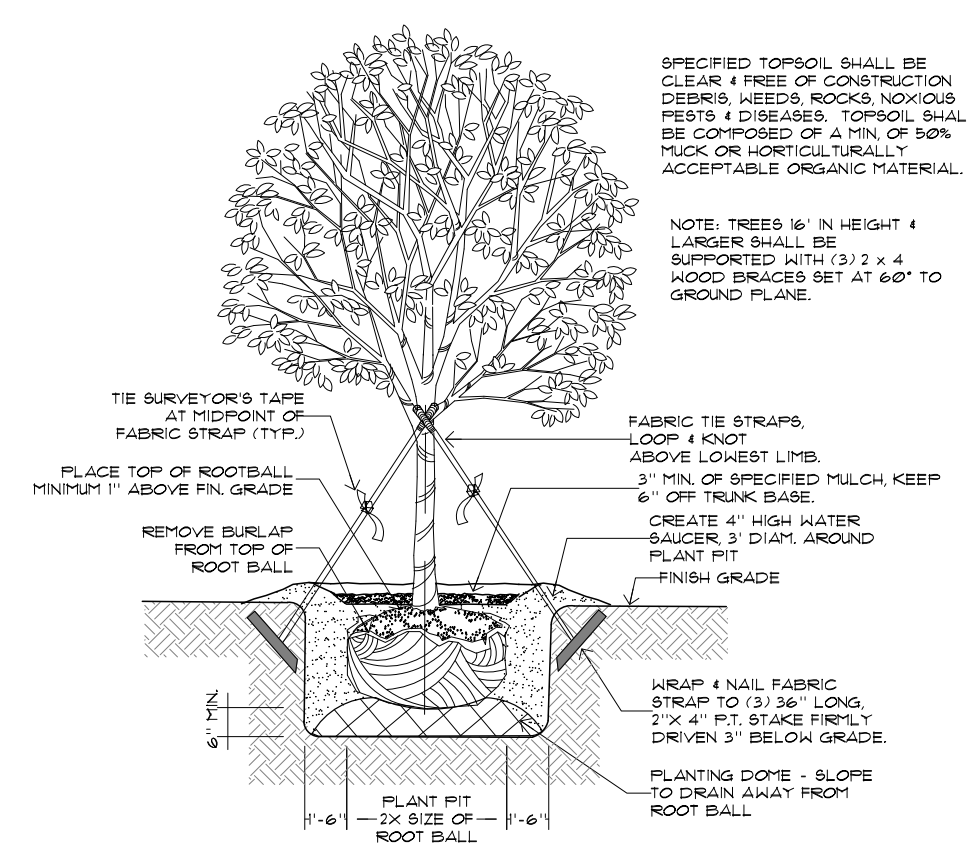
2. PLANT SPACING (FOR SHRUBS & GROUNDCOVER)
NOT TO SCALE



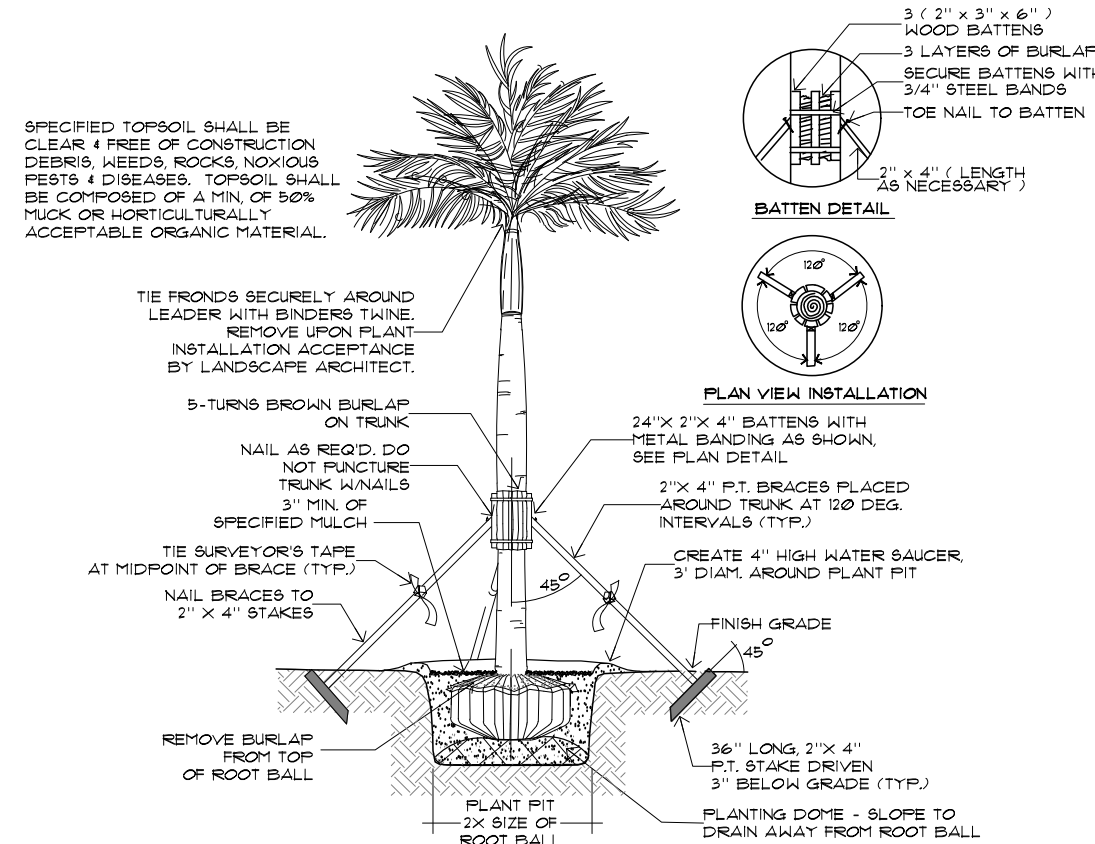
3. GROUNDCOVER INSTALLATION DETAIL
NOT TO SCALE



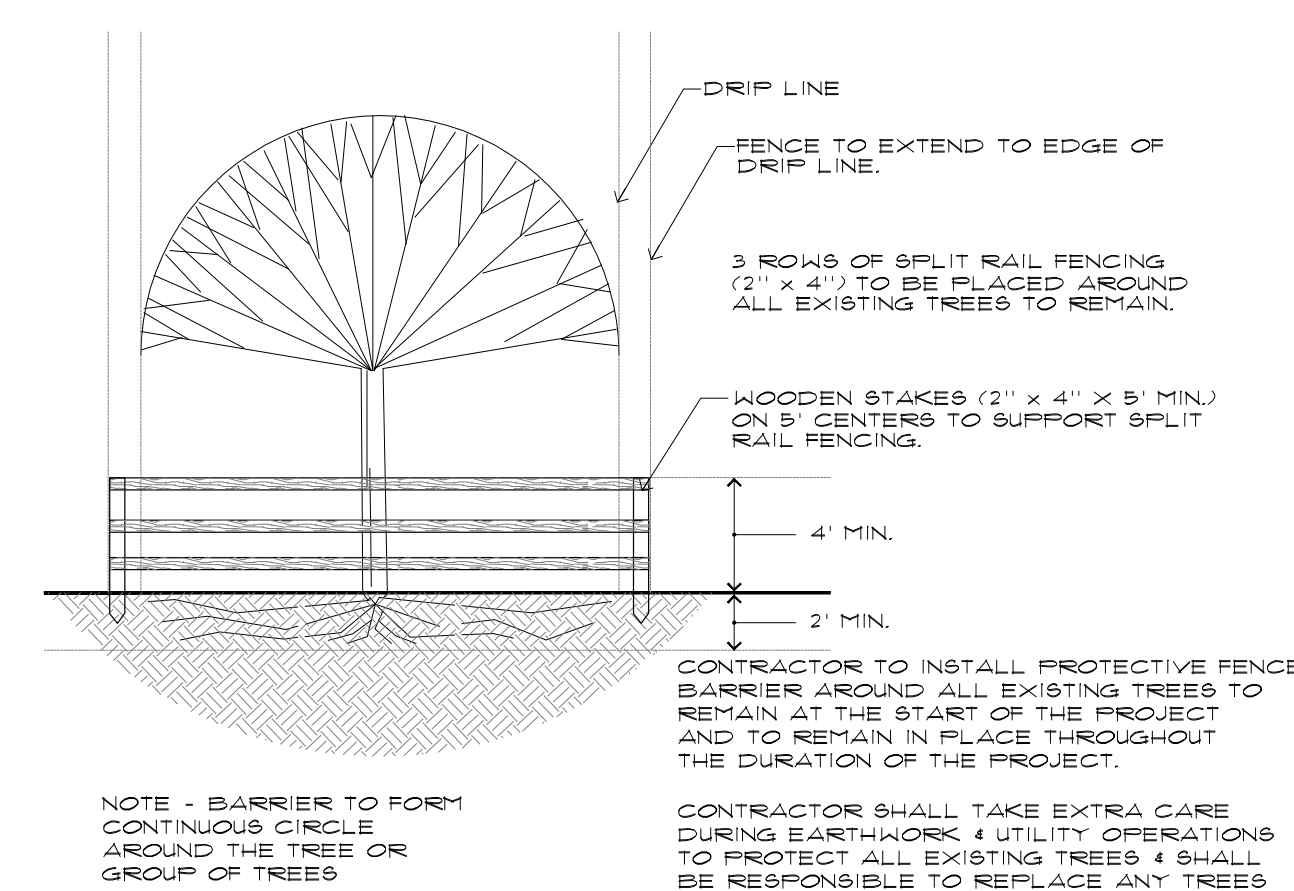
4. SHRUB INSTALLATION
NOT TO SCALE



5. TYPICAL TREE INSTALLATION
NOT TO SCALE



6. TYPICAL PALM INSTALLATION
NOT TO SCALE



7. TREE PROTECTION DETAIL
NOT TO SCALE

NEW 6-STORY STORAGE BUILDING
AMERCO- FACILITY 788054
1800 West State Road 84
Ft. Lauderdale, FL 33315

PRELIMINARY LANDSCAPE DETAILS
SCALE : NTS

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Laura M. Llerena-Hernandez
FLORIDA RLA #6667125
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NO.	REVISIONS	DATE

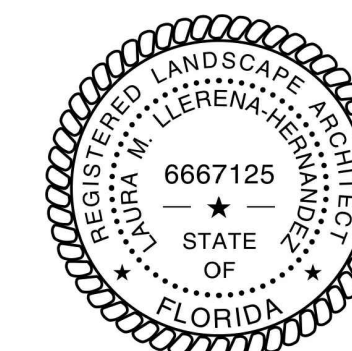
JOB NUMBER:
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ISSUE DATE: NOV. 2021
DRAWN BY: LR
CHECKED BY: LMLH
ISSUE: -

PRELIMINARY LANDSCAPE DETAILS

L-2

SHEET NUMBER



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SELF-STORAGE FACILITY AT I-95 & STATE RD 84
1840 W. State Rd. 84, Fort Lauderdale, FL 33315



ADVERTISING & MARKETING ASSOCIATES, INC.



ARCHITECTURAL DESIGN & FACILITY IMAGING

August 24, 2021

Conceptual renderings are subject to change and should not be implemented.

SELF-STORAGE FACILITY AT I-95 & STATE RD 84

1840 W. State Rd. 84, Fort Lauderdale, FL 33315



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SELF-STORAGE FACILITY AT I-95 & STATE RD 84

1840 W. State Rd. 84, Fort Lauderdale, FL 33315



NORTH ELEVATION

Scale: 1" = 25'



WEST ELEVATION

Scale: 1" = 25'



SOUTH ELEVATION

Scale: 1" = 25'



EAST ELEVATION

Scale: 1" = 25'

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ARCHITECTURAL DESIGN & FACILITY IMAGING

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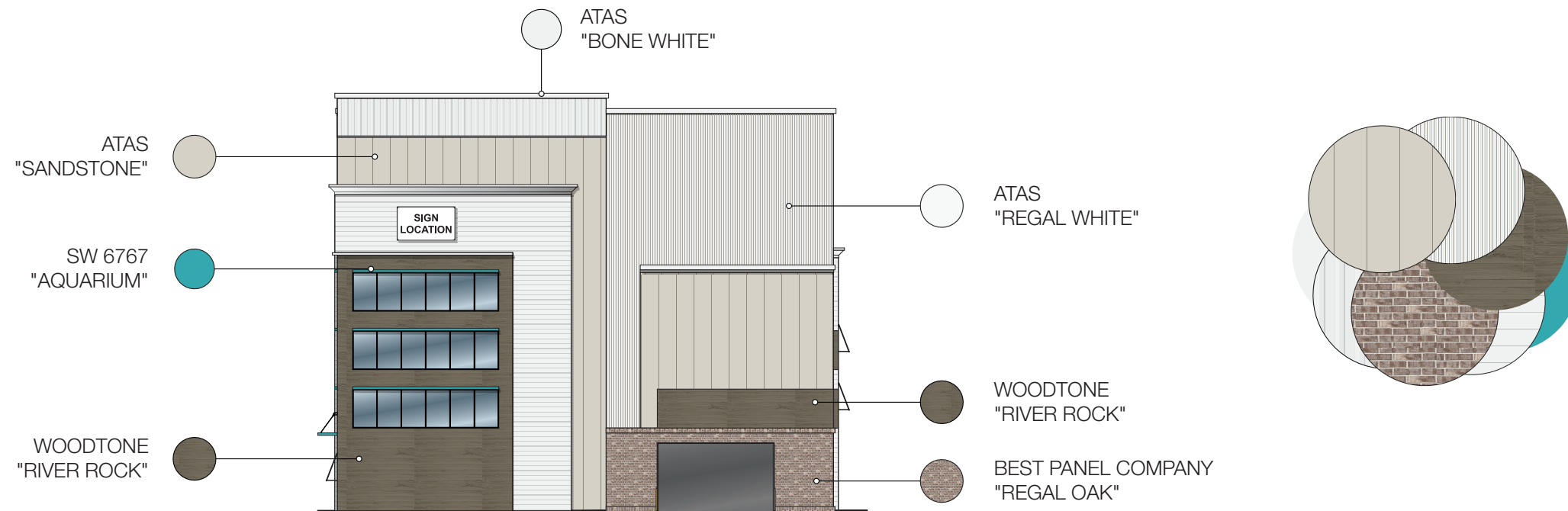
SELF-STORAGE FACILITY AT I-95 & STATE RD 84

1840 W. State Rd. 84, Fort Lauderdale, FL 33315



NORTH ELEVATION

Scale: 1" = 25'



WEST ELEVATION

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ARCHITECTURAL DESIGN & FACILITY IMAGING

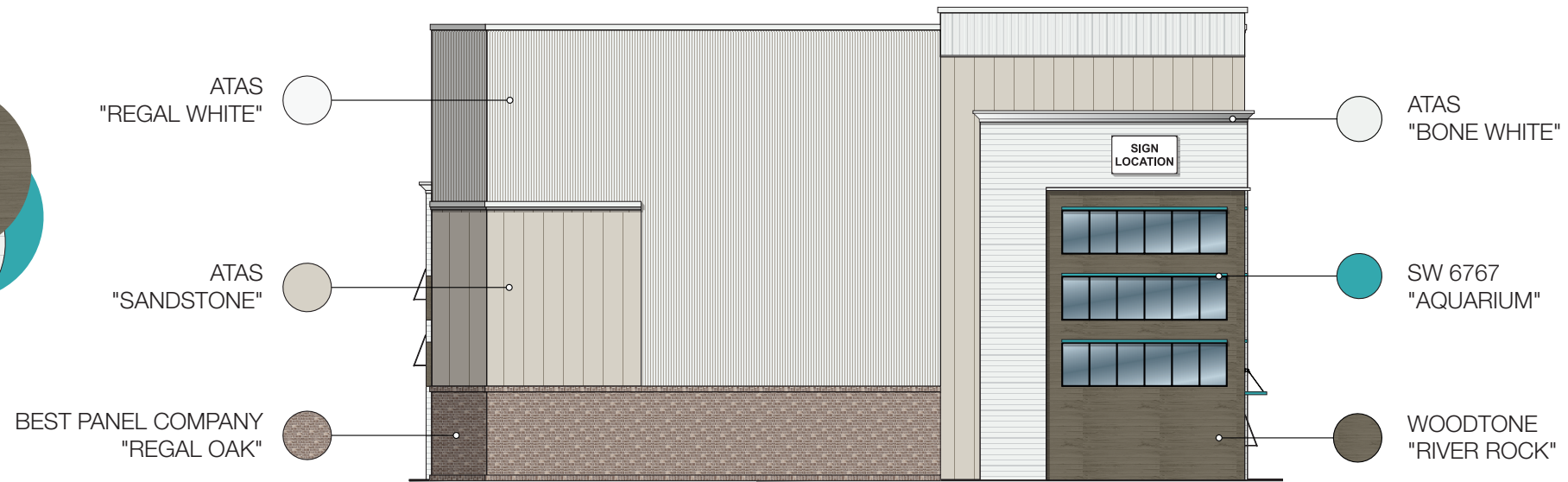
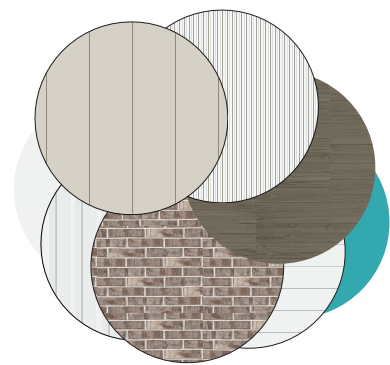
August 24, 2021

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SELF-STORAGE FACILITY AT I-95 & STATE RD 84
 1840 W. State Rd. 84, Fort Lauderdale, FL 33315



SOUTH ELEVATION
 Scale: 1" = 25'



EAST ELEVATION
 Scale: 1" = 25'

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ARCHITECTURAL MODULATION CONVEYING
A MORE RETAIL APPEARANCE

ARCHITECTURAL FENESTRATION
TO ENHANCE RETAIL UNIFORMITY
IN THE AREA



MATERIAL APPLICATION PROVIDES ARTICULATION
AND INTEREST TO THE STRUCTURE

ARTISTIC USE OF MATERIALS

GENEROUS USE OF GLASS

NORTH ELEVATION

Scale: 1" = 25'

CHANGE IN MATERIALS TO PROVIDE
ARTICULATION TO THE ELEVATION



VERTICAL MODULATION EXTENDING
THE PARAPET ABOVE THE ROOFLINE

ARTISTIC USE OF MATERIALS

WEST ELEVATION

Scale: 1" = 25'

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ARCHITECTURAL DESIGN & FACILITY IMAGING

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SELF-STORAGE FACILITY AT I-95 & STATE RD 84
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VERTICAL AND HORIZONTAL
MODULATION IN THE BUILDING



CHANGE IN MATERIALS TO PROVIDE
VISUAL SEPARATION TO THE FACADE

ARTICULATION AND VISUAL
INTEREST TO THE BUILDING

SOUTH ELEVATION

Scale: 1" = 25'

ARCHITECTURAL INTEREST AT
THE SKYLINE

ARTICULATION AND VISUAL
INTEREST TO THE BUILDING



EAST ELEVATION

Scale: 1" = 25'

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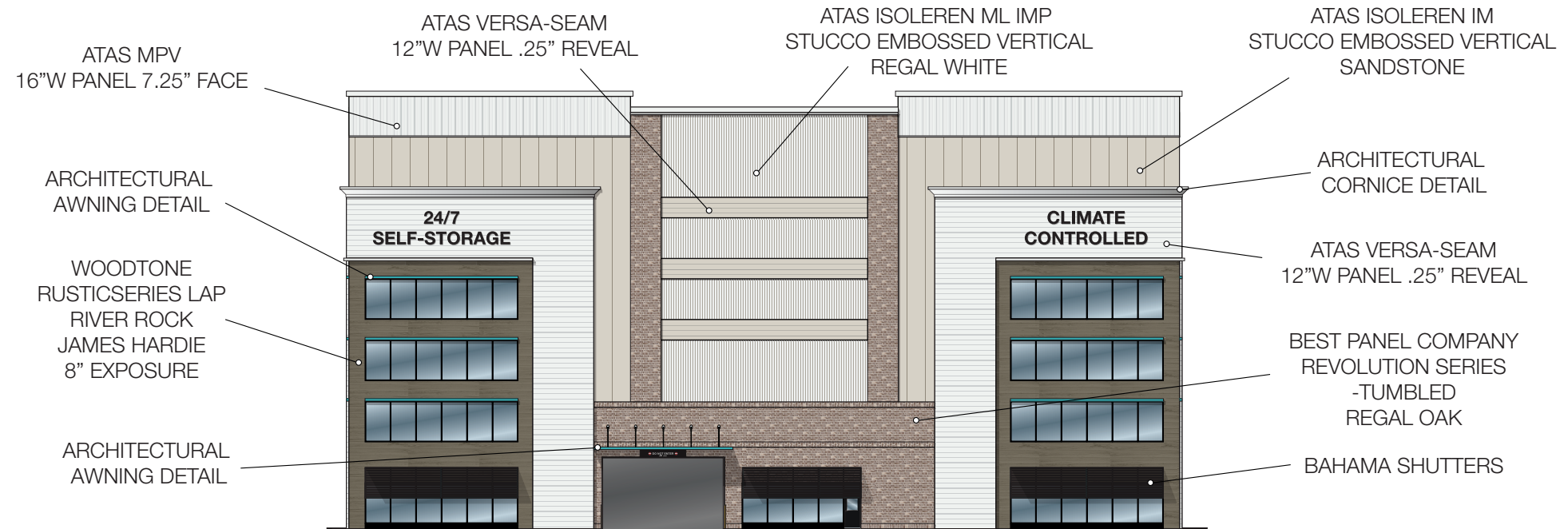
ARCHITECTURAL DESIGN & FACILITY IMAGING

August 24, 2021

Conceptual renderings are subject to change and should not be implemented.

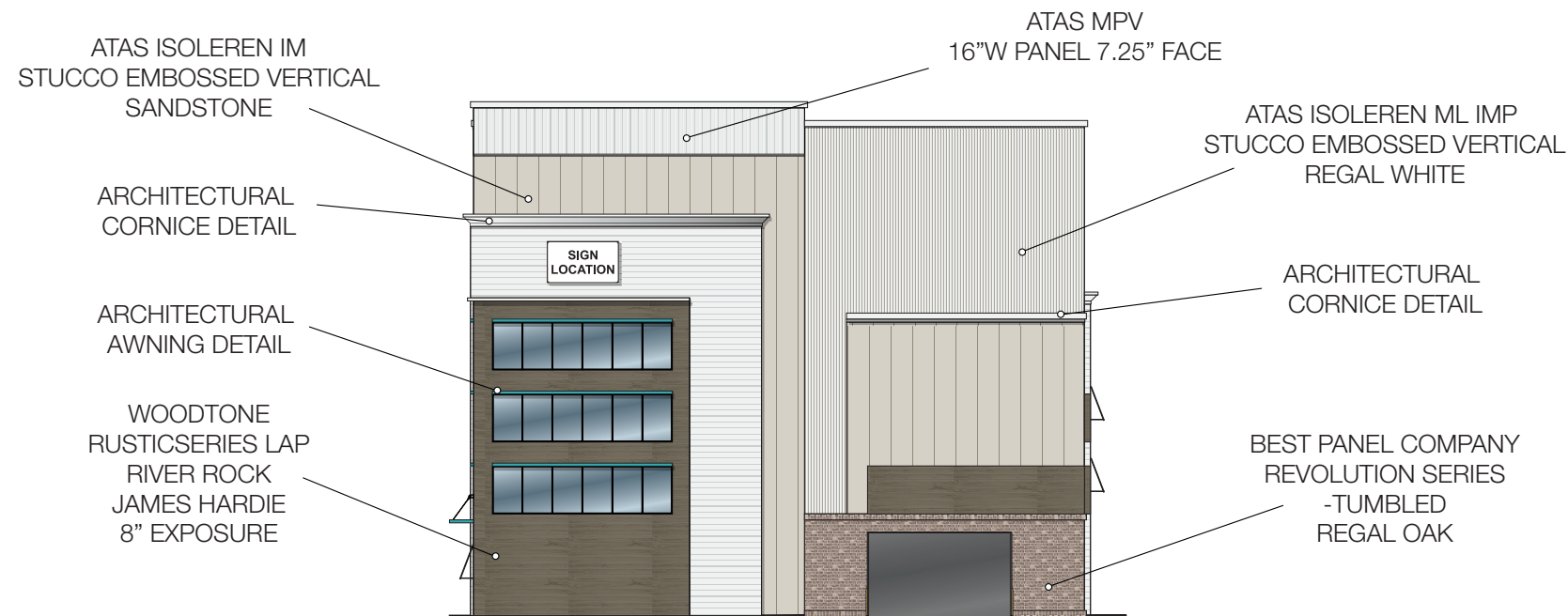
SELF-STORAGE FACILITY AT I-95 & STATE RD 84

1840 W. State Rd. 84, Fort Lauderdale, FL 33315



NORTH ELEVATION

Scale: 1" = 25'



WEST ELEVATION

Scale: 1" = 25'

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SELF-STORAGE FACILITY AT I-95 & STATE RD 84

1840 W. State Rd. 84, Fort Lauderdale, FL 33315



SOUTH ELEVATION

Scale: 1" = 25'



EAST ELEVATION

Scale: 1" = 25'

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35% MINIMUM TRANSPARENCY - FIRST FLOOR
1st FLOOR - 162'-6" x 17'-0" = 2762.5 SQFT
2763 SF x 35% = 967 SF REQUIRED
1020 SF PROVIDED



NORTH ELEVATION

Scale: 1/16" = 1'

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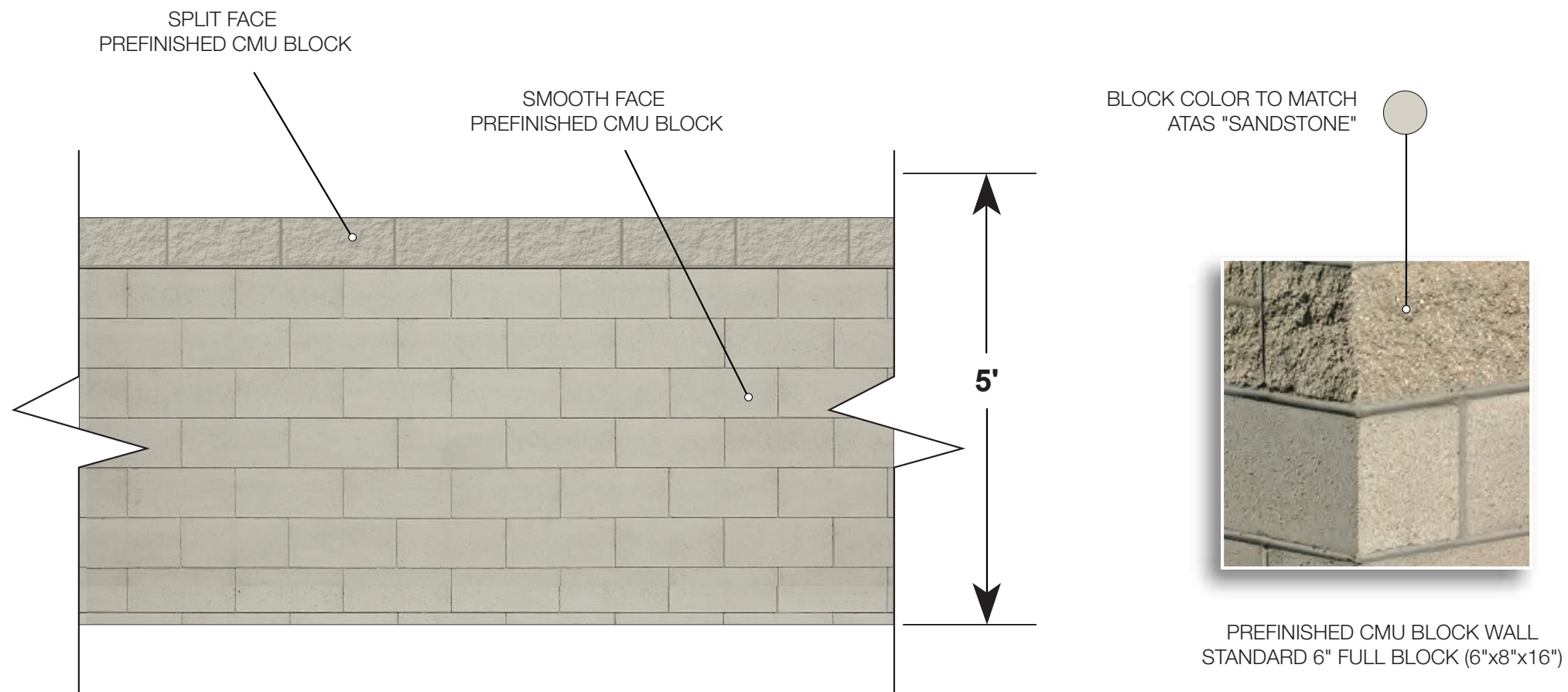
ARCHITECTURAL DESIGN & FACILITY IMAGING

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SOUTH & EAST WALL ELEVATIONS

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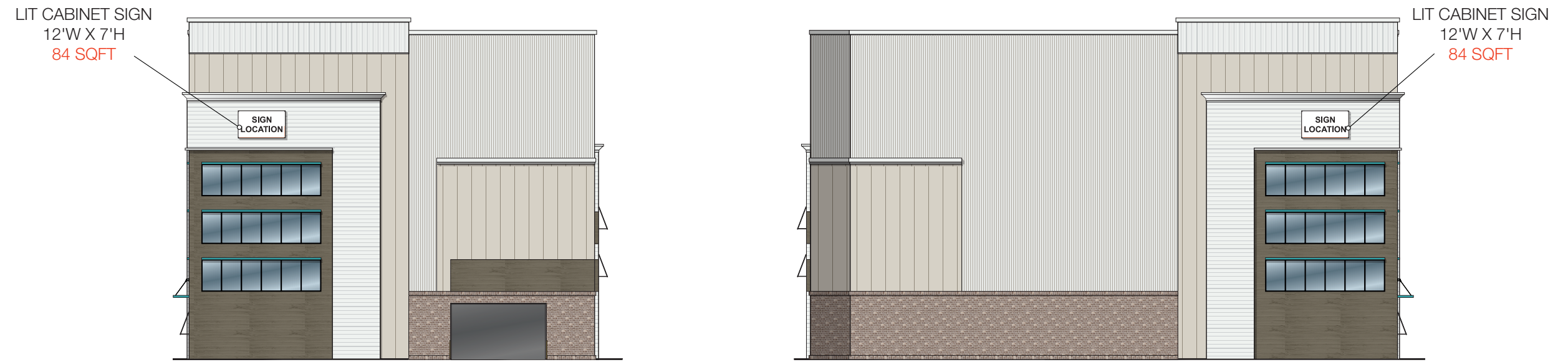
SELF-STORAGE FACILITY AT I-95 & STATE RD 84

1840 W. State Rd. 84, Fort Lauderdale, FL 33315



NORTH ELEVATION

Scale: 1" = 25'



WEST ELEVATION

Scale: 1" = 25'

EAST ELEVATION

Scale: 1" = 25'

ADVERTISING & MARKETING ASSOCIATES, INC.



ARCHITECTURAL DESIGN & FACILITY IMAGING

August 24, 2021

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