

Exhibit 8

THE ALDRIDGE Site Plan Level II IN RAC

1204 NW 6TH STREET, FORT LAUDERDALE, FL 33311
UDP-S24031

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PROJECT TEAM:

OWNER
**FORT LAUDERDALE COMMUNITY
REDEVELOPMENT AGENCY**
100 N Andrews Ave
Fort Lauderdale, Florida 33301

MAGELLAN HOUSING
2100 Coral Way, Suite 405
Miami, Florida 33145
786.246.8481

LAND USE ATTORNEY
LOCHRIE & CHAKAS
1401 E Broward Blvd, Suite 303
Fort Lauderdale, FL 33301
954.779.1119

ARCHITECT
STUDIO MC+G ARCHITECTURE
7500 NE 4th Court, Studio 102
Miami, Florida 33138
305.573.2728

CIVIL ENGINEER/LAND PLANNER
FLYNN ENGINEERING SERVICES
241 Commercial Blvd., L.B.T.S, FL
954.522.1004

LANDSCAPE ARCHITECT
ECOPLAN
310 SE 16th Street
Fort Lauderdale, Florida 33316
954.524.3722

TRAFFIC ENGINEER
DC ENGINEERS
12743 NW 13th Court
Coral Springs, Florida 33071
954.798.0926

UTILITY CONSULTANT
M. JOHNSTON CONSULTING
305.298.5500

FRANCHISE UTILITY PROVIDERS:

FP&L	AT&T
COMCAST	TECO
CITY OF FORT LAUDERDALE	





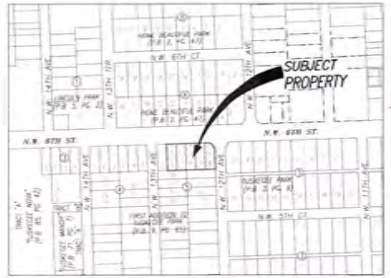






GENERAL NOTES

1. THIS SURVEY IS BASED ON THE FOLLOWING DATA:
 - a. METRIC DATA PROVIDED BY THE CLIENT
 - b. METRIC DATA PROVIDED BY THE CLIENT
 - c. METRIC DATA PROVIDED BY THE CLIENT
 - d. METRIC DATA PROVIDED BY THE CLIENT
 - e. METRIC DATA PROVIDED BY THE CLIENT
 - f. METRIC DATA PROVIDED BY THE CLIENT
 - g. METRIC DATA PROVIDED BY THE CLIENT
 - h. METRIC DATA PROVIDED BY THE CLIENT
 - i. METRIC DATA PROVIDED BY THE CLIENT
 - j. METRIC DATA PROVIDED BY THE CLIENT
 - k. METRIC DATA PROVIDED BY THE CLIENT
 - l. METRIC DATA PROVIDED BY THE CLIENT
 - m. METRIC DATA PROVIDED BY THE CLIENT
 - n. METRIC DATA PROVIDED BY THE CLIENT
 - o. METRIC DATA PROVIDED BY THE CLIENT
 - p. METRIC DATA PROVIDED BY THE CLIENT
 - q. METRIC DATA PROVIDED BY THE CLIENT
 - r. METRIC DATA PROVIDED BY THE CLIENT
 - s. METRIC DATA PROVIDED BY THE CLIENT
 - t. METRIC DATA PROVIDED BY THE CLIENT
 - u. METRIC DATA PROVIDED BY THE CLIENT
 - v. METRIC DATA PROVIDED BY THE CLIENT
 - w. METRIC DATA PROVIDED BY THE CLIENT
 - x. METRIC DATA PROVIDED BY THE CLIENT
 - y. METRIC DATA PROVIDED BY THE CLIENT
 - z. METRIC DATA PROVIDED BY THE CLIENT
2. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND HAS FOUND NO RECORDS THAT WOULD AFFECT THIS SURVEY.
3. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND HAS FOUND NO RECORDS THAT WOULD AFFECT THIS SURVEY.
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9. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND HAS FOUND NO RECORDS THAT WOULD AFFECT THIS SURVEY.
10. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND HAS FOUND NO RECORDS THAT WOULD AFFECT THIS SURVEY.



LEGAL DESCRIPTION

A PORTION OF SECTION 04-506-42E, BROWARD COUNTY, FLORIDA.

LEGAL DESCRIPTION

PARCEL 1

LOT 1, BLOCK 3, LOTS BOUND FIRST ADDITION TO BUSSELE PARK, A SUBDIVISION OF SECTION 04-506-42E (TAKING PART) SOUTH, RANGE FORTY-TWO (42) EAST, A SUBDIVISION ACCORDING TO THE PLAT THERE RECORDED IN PLAT BOOK # PAGE 42 IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 2

LOTS 2 AND 4, BLOCK 3, LOTS BOUND FIRST ADDITION TO BUSSELE PARK, ACCORDING TO THE PLAT THERE RECORDED IN PLAT BOOK # PAGE 42 IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PARCEL 3

LOTS 3 AND 5, BLOCK 3, FIRST ADDITION TO BUSSELE PARK, ACCORDING TO THE MAP OF PLAT THERE AS RECORDED IN PLAT BOOK # PAGE 42, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LOTS AND EXCEPT THEREOF

THAT PORTION OF LOTS 3 AND 4, BLOCK 3, OF FIRST ADDITION TO BUSSELE PARK, ACCORDING TO THE PLAT THERE AS RECORDED IN PLAT BOOK # PAGE 42, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

NOTES

1. THE NORTH CORNER OF SAID LOT 5 THENCE CO SOUTH BY AN MPOB ALONG THE NORTH LINE OF LOTS 3 AND 4, 174.02 FEET TO THE NORTHWEST CORNER OF LOT 4 THENCE SOUTH BY N 10° 00' 00" WEST ALONG THE EAST LINE OF LOT 4, 111.10 FEET THENCE NORTH BY S 89° 00' 00" WEST TO AN INTERSECTION WITH A CURVE AND CONTINUE TO THE SOUTHWEST. THE POINT OF SAG AND BEARING NORTH BY S 10° 00' 00" EAST THENCE NORTHEAST ALONG SAID CURVE HAVING A RADIUS OF 201 FEET AND A CENTRAL ANGLE OF 90° 00' 00" BY AN ARC DISTANCE OF 31.33 FEET TO A POINT OF TANGENCY ON A LINE 20 FEET SOUTH OF AND PARALLEL TO THE NORTH BOUNDARY OF THE SE 1/4 OF SECTION 4, TAKING TO SOUTH BRIDGE AS EAST, THENCE NORTH BY WEST WEST ALONG SAID PARALLEL LINE, 12.82 FEET TO THE WEST LINE OF LOT 5, THENCE NORTH BY S 89° 00' 00" WEST ALONG SAID WEST LINE, 13.79 FEET TO THE POINT OF BEGINNING.

- SURVEYOR'S NOTES**
1. THE BEARINGS SHOWN HEREIN RELATE TO AN ASSUMED BEARING OF N89°00'00" ALONG THE SOUTH RIGHT-OF-WAY LINE OF N.W. 6th STREET BETWEEN N.W. 13th AVENUE AND N.W. 12th AVENUE.
 2. LEGAL DESCRIPTION SHOWN HEREIN WAS PROVIDED BY CLIENT.
 3. AREAS OF THE PROPERTY DESCRIBED HEREIN ARE 2.79 ACRES (2.71 ± ACRES).
 4. THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE CLIENTS NAMED HEREON. THE ATTACHED CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTIES.
 5. UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE EASEMENTS AND/OR ENCUMBRANCES.
 6. THE PROPERTY SHOWN HEREIN FALLS WITHIN FLORIDA ZONING DISTRICT R-100 (RESIDENTIAL SINGLE-FAMILY) AND LOTS 3, 4 AND 5 ARE ZONED R-100 (RESIDENTIAL SINGLE-FAMILY) AND LOTS 2 AND 4 ARE ZONED R-100 (RESIDENTIAL SINGLE-FAMILY).
 7. WHERE APPLICABLE, ALL UNLIEASING OF UNLIEASING ARE SHOWN HEREON. HOWEVER, NO ATTEMPT HAS BEEN MADE TO LOCATE UNDERLYING PLATS.
 8. THE DISTANCES SHOWN ALONG THE BOUNDARY OF THE SUBJECT PROPERTY ARE RECORD AND/OR MEASURED UNLESS OTHERWISE STATED.
 9. THIS SURVEY REFLECTS ALL AVAILABLE EVIDENCE RECHAS-AND-AND OTHER MATTERS LISTED AS EXCEPTIONS IN THAT CERTAIN TITLE COMMITMENT NUMBER 11502771 (REV. BY) ISSUED BY FIDELITY NATIONAL TITLE ASSURANCE COMPANY DATED OCTOBER 24, 2023 AT 11:00 AM.
 10. THE ELEVATIONS SHOWN HEREON REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) AND ARE EXPRESSED IN FEET AND HUNDRETHS THEREOF.
 11. METRIC DATA CONVERSION FACTOR 1000 = 3.28 ± MADE AS.
 12. BENCHMARKS:
 - a. CITY OF FORT LAUDERDALE ON # 529, IN & BRASS WORKER IN TOP OF CURB @ NORTH SIDE OF N.W. 6th STREET - ELEVATION 29.43 (N.A.V.D. 88)
 - b. CITY OF FORT LAUDERDALE ON # 529, IN & BRASS WORKER IN TOP OF CURB @ N.W. COR. OF THE INTERSECTION OF N.W. 6th STREET AND N.W. 13th AVENUE - ELEVATION 42.05 (N.A.V.D. 29) (N.A.V.D. 88)

SURVEYOR'S CERTIFICATION

I, **Mark Steven Johnson**, a Florida Licensed Land Surveyor, do hereby certify that this survey was made in accordance with the 2021 minimum standard state requirements for all surveys and that the same have been prepared and adopted by me and that I am a duly licensed land surveyor in the State of Florida and that I am duly qualified to perform the same.

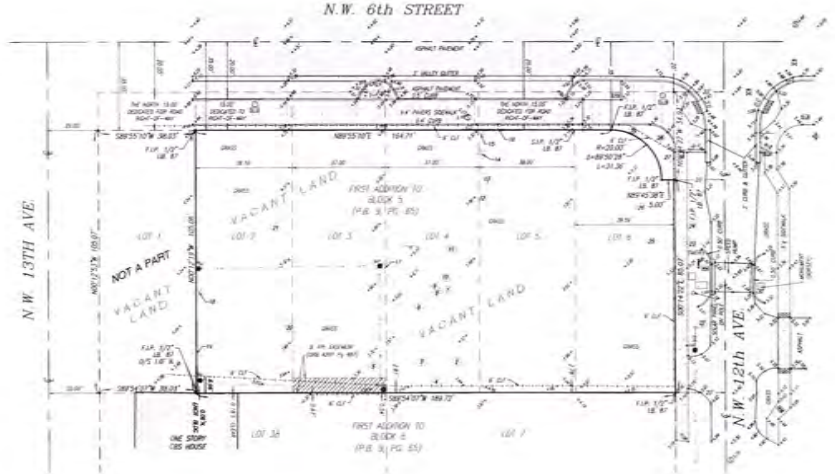
SURVEYOR'S CERTIFICATION

I, **Mark Steven Johnson**, a Florida Licensed Land Surveyor, do hereby certify that this survey was made in accordance with the 2021 minimum standard state requirements for all surveys and that the same have been prepared and adopted by me and that I am a duly licensed land surveyor in the State of Florida and that I am duly qualified to perform the same.

Schwebke - Shiskin & Associates, Inc.

THE SIGN APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY **MARK STEVEN JOHNSON, P.S.M. #170**

By **Mark Steven Johnson**
MARK STEVEN JOHNSON, PRINCIPAL
PROFESSIONAL LAND SURVEYOR # 170
STATE OF FLORIDA



EXCEPTIONS TO TITLE AS NOTED IN SCHEDULE B-B OF FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NUMBER 11502771, EFFECTIVE 09/28/2023 AT 11:00 AM

1. City of Fort Lauderdale Resolution No. 20-20 enacted November 16, 2024, in Official Records Book 2826, Page 1742 - AFFECTS PROPERTY AS A WHOLE, NOT PARTIAL.
2. Easement in favor of Power Plant & Light Company, recorded in Official Records Book 4201, Page 487, AFFECTS HEREON.

TREE TABLE

TREE NO.	COMMON NAME	SPECIES	DBH	HGT	CMPY #
1	Live Oak	Quercus virginiana	18	25	10
2	Live Oak	Quercus virginiana	12	15	10
3	Live Oak	Quercus virginiana	12	15	10
4	Live Oak	Quercus virginiana	12	15	10
5	Live Oak	Quercus virginiana	12	15	10
6	Live Oak	Quercus virginiana	12	15	10
7	Live Oak	Quercus virginiana	12	15	10
8	Live Oak	Quercus virginiana	12	15	10
9	Live Oak	Quercus virginiana	12	15	10
10	Live Oak	Quercus virginiana	12	15	10
11	Live Oak	Quercus virginiana	12	15	10
12	Live Oak	Quercus virginiana	12	15	10
13	Live Oak	Quercus virginiana	12	15	10
14	Live Oak	Quercus virginiana	12	15	10
15	Live Oak	Quercus virginiana	12	15	10
16	Live Oak	Quercus virginiana	12	15	10
17	Live Oak	Quercus virginiana	12	15	10
18	Live Oak	Quercus virginiana	12	15	10
19	Live Oak	Quercus virginiana	12	15	10
20	Live Oak	Quercus virginiana	12	15	10

NOTE:

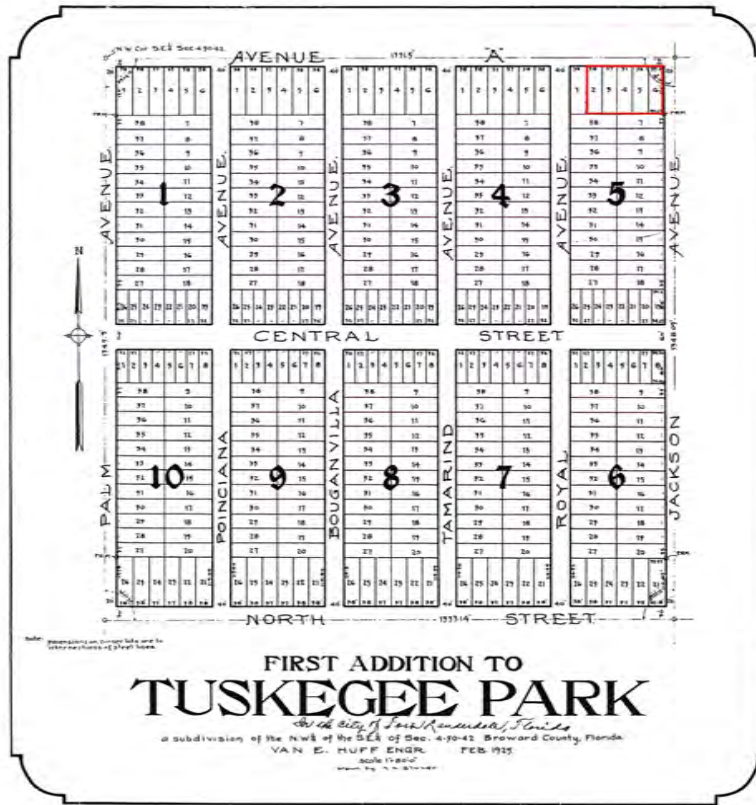
THE TREE INFORMATION AS INDICATED ON THE "TREE LIST" IS SUBJECT TO REVISION BY OBTAINING THE INFORMATION BY A CERTIFIED ARBORIST OR OTHER PERSONNEL WITH SIMILAR EXPERTISE.

ELEVATIONS SHOWN HEREON RELATE TO NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) AND ARE EXPRESSED IN FEET AND HUNDRETHS THEREOF.

Schwebke - Shiskin & Associates, Inc.
LAND PLANNING, SURVEYING & ENGINEERING
1204 NW 6th Street, Fort Lauderdale, FL 33311
Phone: 754-538-1111
Fax: 754-538-1112
www.ssa-inc.com
This is a Boundary Survey.

ALTA/NISPS LAND TITLE SURVEY
1204 NW 6th Street, Fort Lauderdale, FL 33311
Section 04, Township 50 South, Range 42 East, Broward County, Florida

DATE: 11-20-2023



9-65-65

KNOW ALL MEN BY THESE PRESENTS-
 That A. L. Thompson and Julia Thompson his wife, H. E. Foster and Mary Helen Foster his wife, and K. H. Foster, jointly hereunto have caused to be made the attached plat of FIRST ADDITION TO TUSKEGEE PARK, a subdivision of the NW 1/4 of the SE 1/4 of Section 4, Township 18 N., Range 41 W., and being in Broward County, Florida.
 All streets and avenues as shown, are hereby dedicated to the Public in the usual manner.

IN WITNESS WHEREOF the above named parties have hereunto set their hands and seals this 15th day of March, A.D. 1925.

Signed in presence of

STATE OF FLORIDA,)
 COUNTY OF BROWARD,) ss
 I hereby certify that on this day personally appeared before me, A. L. Thompson and Julia Thompson his wife, H. E. Foster and Mary Helen Foster his wife, and K. H. Foster, single, known to me to be the persons who executed the foregoing dedication and they acknowledged the execution thereof to be their free act and deed for the purposes therein expressed. And I further certify that the said Julia Thompson and Mary Helen Foster, on a separate and private examination taken and made before me apart from their husbands, did acknowledge that they executed the foregoing dedication freely and voluntarily.
 WITNESS my hand and official seal this 15th day of March, A.D. 1925.

My commission expires 12/31/27

 Notary Public, State of Florida

STATE OF FLORIDA,
 COUNTY OF BROWARD,
 I hereby certify that the attached plat has been approved and accepted for record by ordinance No. 213 passed by the City Council of the City of Ft. Lauderdale.

 Mayor

Approved by the County Engineer

 County Engineer

I hereby certify that the attached plat of FIRST ADDITION TO TUSKEGEE PARK is a true and correct plat of said property as necessarily surveyed and plotted under my direction, and that personal reference thereto will show the same.

 Registered Geometer No. 529

SE 1/4 Sec 4-70-42

- SOLID WASTE / RECYCLING MANAGEMENT:**
1. THE COLLECTION WILL OCCUR FROM AN 12TH & 6TH AVENUE WHEELIE BIN BY 06-05 PERSONNEL.
 2. THE 12TH AND 6TH AVENUE CONTAINERS WILL BE LOCATED AT ALL TIMES WITHIN THE REAR ROOF WALK OF THE BUILDING.
 3. SOLID WASTE TRANSPORT TO TRASH ROOMS SHALL BE PERFORMED INSIDE THE BUILDING.
 4. THE WASTE SYSTEM WILL MEET THE CAPACITY REQUIREMENT OF THE BUILDING (DRAINAGE REQUIREMENTS) AND COMPLY WITH ASHRAE 90.1 AS APPLICABLE.
 5. THE BUILDING WILL CONTAIN THE FOLLOWING EQUIPMENT:
 - WASTE REMOVAL WILL BE 2 540L/PM OR 45 LITER(12) 2ND CONTAINERS
 - RECYCLE REMOVAL WILL BE 2 540L/PM OR 45 LITER(12) 2ND CONTAINERS

STRUCTURAL SOIL:

STRUCTURAL SOIL WILL BE USED UNDER THE PUBLIC SIDEWALK AS REQUIRED PER THE CITY OF FORT LAUDERDALE MOST STRUCTURAL SOIL AND PAVEMENT DETAILS PROVIDED ON LANDSCAPE PLANS.

FLOOD DATA:

SEE CIVIL PLAN SHEET C2

SITE PLAN INFORMATION

PROPERTY LINE OF PROPERTY	140'x120'
PROPERTY LINE OF 12TH STREET	140'-0" PL
PROPERTY LINE OF 6TH AVENUE	120'-0" PL
PROPERTY LINE OF 12TH STREET	140'-0" PL
PROPERTY LINE OF 6TH AVENUE	120'-0" PL
PROPERTY LINE OF 12TH STREET	140'-0" PL
PROPERTY LINE OF 6TH AVENUE	120'-0" PL

SETBACK TABLE

FRONT YARD SETBACK - SIDEWALK	0' TO PL	0.0' TO PL
FRONT YARD SETBACK - SIDEWALK	0' TO PL	0.0' TO PL
FRONT YARD SETBACK - SIDEWALK	0' TO PL	0.0' TO PL
FRONT YARD SETBACK - SIDEWALK	0' TO PL	0.0' TO PL
FRONT YARD SETBACK - SIDEWALK	0' TO PL	0.0' TO PL

LEGAL DESCRIPTION

LOT 2, BLOCK 8, LESS ROAD, FIRST ADDITION TO TURKEYE PARK, A SUBDIVISION OF SECTION FOUR (4), TOWNSHIP SEVENTY (70) SOUTH, RANGE FORTY (40) AND EAST, AS RECORDED IN PLAT BOOK 8, PAGE 48, BROWARD COUNTY RECORDS, DESCRIBED AS FOLLOWS: BEGAN AT THE NORTHWEST CORNER OF SAID LOT 2, THENCE SOUTH BY NEW EAST ALONG THE NORTH LINE OF LOTS 5 AND 6, 17.42 FEET TO THE NORTHEAST CORNER OF LOT 4, THENCE SOUTH BY 34.84' WEST ALONG THE EAST LINE OF LOT 4, 32.16 FEET, THENCE NORTH BY NEW WEST, 1.1 FEET TO AN INTERSECTION WITH A CIRCULAR ARC CONCAVE TO THE SOUTHWEST, THE TANGENT OF SAID ARC BEARING NORTH 0° 41' 42" EAST, THENCE NORTHWESTERLY ALONG SAID ARC BEARING A RADIUS OF 29 FEET AND A CENTRAL ANGLE OF 89° 46' 41" SOUTH, RANGE 42 EAST, THENCE NORTH BY NEW WEST ALONG SAID PARALLEL LINE, 12.18 FEET TO THE WEST LINE OF LOT 6, THENCE NORTH BY NEW EAST ALONG SAID WEST LINE, 12.18 FEET TO THE POINT OF BEGINNING.

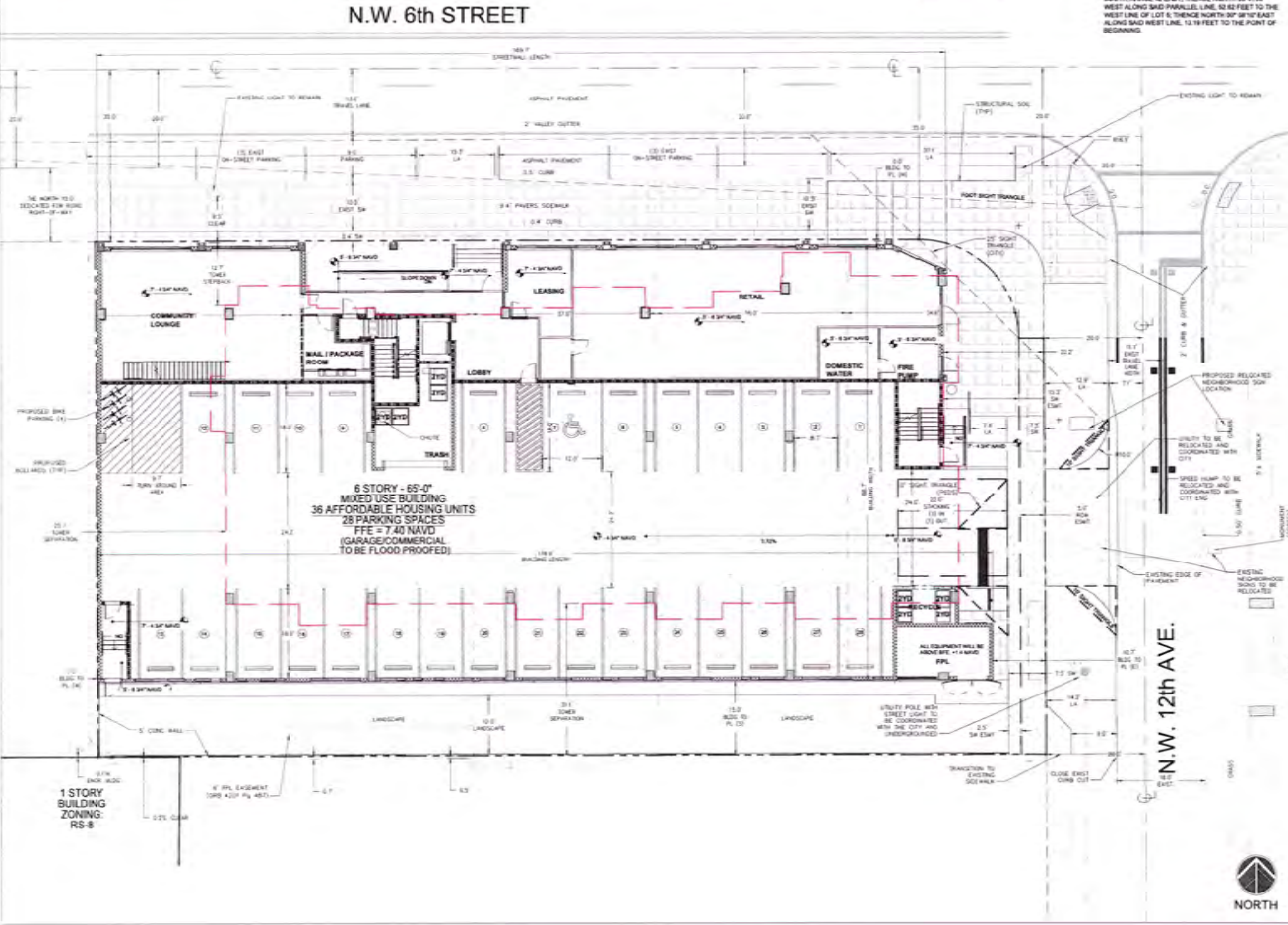
LESS AND EXCEPT THEREFROM: THAT PORTION OF LOTS 5 AND 6, BLOCK 8, OF FIRST ADDITION TO TURKEYE PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 48, BROWARD COUNTY RECORDS, DESCRIBED AS FOLLOWS: BEGAN AT THE NORTHWEST CORNER OF SAID LOT 2, THENCE SOUTH BY NEW EAST ALONG THE NORTH LINE OF LOTS 5 AND 6, 17.42 FEET TO THE NORTHEAST CORNER OF LOT 4, THENCE SOUTH BY 34.84' WEST ALONG THE EAST LINE OF LOT 4, 32.16 FEET, THENCE NORTH BY NEW WEST, 1.1 FEET TO AN INTERSECTION WITH A CIRCULAR ARC CONCAVE TO THE SOUTHWEST, THE TANGENT OF SAID ARC BEARING NORTH 0° 41' 42" EAST, THENCE NORTHWESTERLY ALONG SAID ARC BEARING A RADIUS OF 29 FEET AND A CENTRAL ANGLE OF 89° 46' 41" SOUTH, RANGE 42 EAST, THENCE NORTH BY NEW WEST ALONG SAID PARALLEL LINE, 12.18 FEET TO THE WEST LINE OF LOT 6, THENCE NORTH BY NEW EAST ALONG SAID WEST LINE, 12.18 FEET TO THE POINT OF BEGINNING.



LOCATION MAP

COUL. 30.0' WIDE (120')	12.42' WIDE (120')	12.18' WIDE (120')
COUL. 30.0' WIDE (120')	12.42' WIDE (120')	12.18' WIDE (120')

TOTAL PERMITTED PROPOSED LANDSCAPE	12,300 SF	100%
TOTAL PERMITTED PROPOSED LANDSCAPE	12,300 SF	100%
TOTAL PERMITTED PROPOSED LANDSCAPE	12,300 SF	100%
TOTAL PERMITTED PROPOSED LANDSCAPE	12,300 SF	100%
TOTAL PERMITTED PROPOSED LANDSCAPE	12,300 SF	100%



OPEN SPACE - REQUIRED & PROVIDED

OPEN SPACE (SQ. FT. OF GRASS)	28,500 SF	REQUIRED	PROVIDED
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PARKING DATA:

RESIDENTIAL - SINGLE	28	1,000 SF	REQUIRED	PROVIDED
RESIDENTIAL - DOUBLE	0	2,000 SF	REQUIRED	PROVIDED
COMMERCIAL - RETAIL	0	1,000 SF	REQUIRED	PROVIDED
TOTAL	28	3,000 SF	32.0	32.0

PARKING - BY AREA:

RESIDENTIAL - SINGLE	28	1,000 SF	REQUIRED	PROVIDED
RESIDENTIAL - DOUBLE	0	2,000 SF	REQUIRED	PROVIDED
COMMERCIAL - RETAIL	0	1,000 SF	REQUIRED	PROVIDED
TOTAL	28	3,000 SF	32.0	32.0

BIKE REQUIREMENTS:

BIKE PARKING (17-22) (COMMERCIAL)	0	0 SF	REQUIRED	PROVIDED
BIKE PARKING (17-22) (RESIDENTIAL)	0	0 SF	REQUIRED	PROVIDED
TOTAL	0	0 SF	0.0	0.0

LOADING REQUIREMENTS:

COMMERCIAL	0	0 SF	REQUIRED	PROVIDED
RESIDENTIAL	0	0 SF	REQUIRED	PROVIDED
TOTAL	0	0 SF	0.0	0.0

STACKING REQUIREMENTS:

BI-BUILDING	0	0 SF	REQUIRED	PROVIDED
BI-BUILDING	0	0 SF	REQUIRED	PROVIDED
TOTAL	0	0 SF	0.0	0.0



SITE PLAN

THE ALDRIDGE
 1202 SW 6TH STREET
 FORT LAUDERDALE, FLORIDA 33311



Revisions

1	DATE	BY
2	DATE	BY
3	DATE	BY
4	DATE	BY
5	DATE	BY

SEAL

PROJECT INFORMATION

DATE	04/12/24
JOB NO.	24-0776-00
PROJECT NAME	THE ALDRIDGE
DESIGNED BY	SAUL A.
DRAWN BY	SAUL A.
CHECKED BY	SAUL A.
SCALE	1" = 1'



4



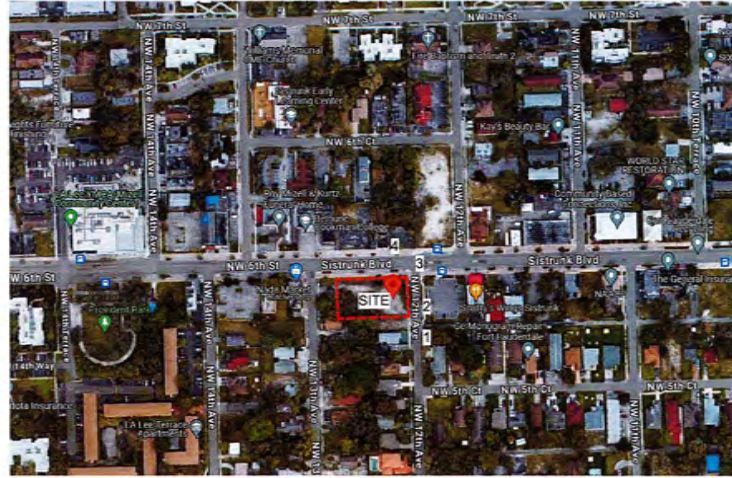
3



2



1



MCG
ARCHITECTURE
7500 NE 4th Court
Suite 102
Miami, FL 33138
(305) 573-2728

PROJECT NUMBER

MAGELLAN HOUSING

PROJECT NAME
THE ALDRIDGE

PROJECT ADDRESS

DRAWING
CONTEXT
PHOTOS

PROJECT
DAC SET
06/17/2024

SCALE

DATE

SCALE

DATE

SCALE

DATE

SCALE

DATE

SCALE

DATE

SCALE

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SCALE

DATE

SCALE

DATE

A001



NORTH EAST VIEW



MAIN ENTRY VIEW



SOUTH EAST VIEW



NORTH WEST VIEW

FORBES
MCG
 ARCHITECTURE
 7300 NE 4th Court
 Suite 102
 Miami, FL 33138
 (305) 573-2738

PROJECT NUMBER

MAGELLAN
 HOUSING

PROJECT NAME
 THE ALDRIDGE

PROJECT ADDRESS

DRAWING
 PROPOSED
 RENDERINGS

PHASE
 DAC SET
 06/17/2024

SCALE

DATE

SCALE

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SCALE

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SCALE

DATE

SCALE

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SCALE

DATE

BHEET NUMBER

A003



NORTH ELEVATION VIEW



SOUTH ELEVATION VIEW

STUDIO
MCG
 ARCHITECTURE
 7500 NE 4th Court
 Suite 102
 Miami, FL 33138
 (305) 579-2728

PROJECT NUMBER

MAGELLAN
 HOUSING

PROJECT NAME
 THE ALDRIDGE

PROJECT ADDRESS

DRAWING
 PROPOSED
 RENDERINGS

PIANE
 DRC SET
 06/17/2024

SCALE

REVISIONS	
NO.	DATE
1	06/17/24
2	06/17/24
3	06/17/24
4	06/17/24
5	06/17/24
6	06/17/24
7	06/17/24
8	06/17/24
9	06/17/24
10	06/17/24

SCALE:
 DRAWN:
 CHECK:
 DATE: 06/17/2024

PROJECT NUMBER
A004

GENERAL CONSTRUCTION NOTES

- 1. ALL GENERAL CONSTRUCTION NOTES SHALL BE OBSERVED AND COMPLIED WITH BY THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

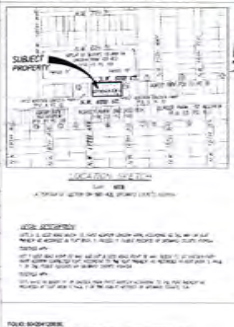
- 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NATIONAL MECHANICAL CONTRACTING BOARD (NMCB) STANDARDS.
6. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) STANDARDS.
7. ALL PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL PLUMBING CONTRACTORS ASSOCIATION (NPLCA) STANDARDS.

- 8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NATIONAL MECHANICAL CONTRACTING BOARD (NMCB) STANDARDS.
9. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA) STANDARDS.
10. ALL PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL PLUMBING CONTRACTORS ASSOCIATION (NPLCA) STANDARDS.

PROJECT BUILDING DATA

Table with columns: USE AND OCCUPANCY CLASSIFICATION, LEVEL, TYPE, HEIGHT, AREA, etc. Includes project name 'MAGELLAN HOUSING' and address '7300 NE 4th Court'.

LEGAL DESCRIPTION



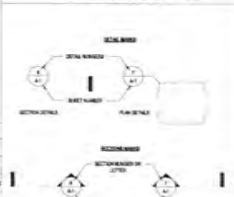
FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS

Table with columns: FIRE SEPARATION DISTANCE (FEET), TYPE OF CONSTRUCTION, GROUP, etc. Lists requirements for various wall heights and construction types.

SCOPE OF WORK

- 1. CONSTRUCTION OF EXTERIOR WALLS WITH FIRE RESISTANCE RATING.
2. INSTALLATION OF FIRE RESISTANT MATERIALS.
3. TESTING AND VERIFICATION OF FIRE RESISTANCE RATING.

SYMBOLS LEGEND



ALLOWED % OF OPENING IN EXTERIOR WALL PER TABLE 705.8 (UNPROTECTED, SPRINKLERS)

Table with columns: FIRE SEPARATION DISTANCE (FEET), ALLOWABLE AREA %, PROVIDED AREA %, LOCATION OF AREA CALCULATION.

TYPICAL GENERAL NOTES

- 1. ALL GENERAL CONSTRUCTION NOTES SHALL BE OBSERVED AND COMPLIED WITH BY THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

PROJECT LOCATION



CODE REQUIREMENTS

- 1. THE WORK OF THE ARCHITECTS REPRESENTS THE MINIMUM SPECIFICATIONS COMPLY WITH THE APPLICABLE NATIONAL BUILDING CODES AND THE APPLICABLE FIRE SAFETY REGULATIONS AS SPECIFIED BY THE LOCAL JURISDICTION.
2. MECHANICAL: FLORIDA MECHANICAL CODE.
3. ELECTRICAL: NATIONAL ELECTRICAL CODE.

OCCUPANCY

- 1. BUILDING OCCUPANCY CLASSIFICATION: MULTIFAMILY RESIDENTIAL.
2. ALL RESIDENTIAL BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPLICABLE NATIONAL BUILDING CODES AND THE APPLICABLE FIRE SAFETY REGULATIONS.
3. THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE NATIONAL BUILDING CODES AND THE APPLICABLE FIRE SAFETY REGULATIONS.

PROJECT ELEVATIONS

Table with columns: ELEVATION, FINISH, HEIGHT. Lists ground floor, first floor, and second floor elevations.

Vertical sidebar containing: MCG ARCHITECTURE logo, project name 'MAGELLAN HOUSING', drawing title 'GENERAL NOTES & PROJECT DATA', date '06/17/2024', and sheet number 'A005'.

PARKING SCHEDULE	
ADA	11
ADA-1	
SINGLE	27
SHOULDER	27
STREET	8
STREET	6
Grand Total	24

GROSS FLOOR AREA (GFA)	
Level	Area
GROUND	54932 SF
LEVEL 2	6374 SF
LEVEL 3	8798 SF
LEVEL 4	8798 SF
LEVEL 5	8798 SF
LEVEL 6	8798 SF
Grand Total	56258 SF

UNIT TYPE MATRIX	
Name	Comments
TYPE A1	1BR/1BA
16	
TYPE A2	1BR/1BA
8	
TYPE C1	2BR/1BA
4	
TYPE C3	2BR/2BA
4	
TYPE C2	2BR/2BA
4	
Grand Total	26

ALL AREAS	
Name	Area
1 BR / 1 BA	15822 SF
2 BR / 2 BA	15202 SF
AMENITIES	4126 SF
BOHSTOR	3782 SF
CIRCULATION	1581 SF
CORRIDOR	3794 SF
LOBBY	428 SF
PARKING	8729 SF
RETAIL	1783 SF
STAIR	2786 SF
Grand Total	56258 SF



Building Area Legend

- AMENITIES
- BOHSTOR
- CIRCULATION
- STAIR

LEVEL 2
 302' x 1'-0"



Building Area Legend

- 1 BR / 1 BA
- 2 BR / 2 BA
- BOHSTOR
- CORRIDOR
- STAIR

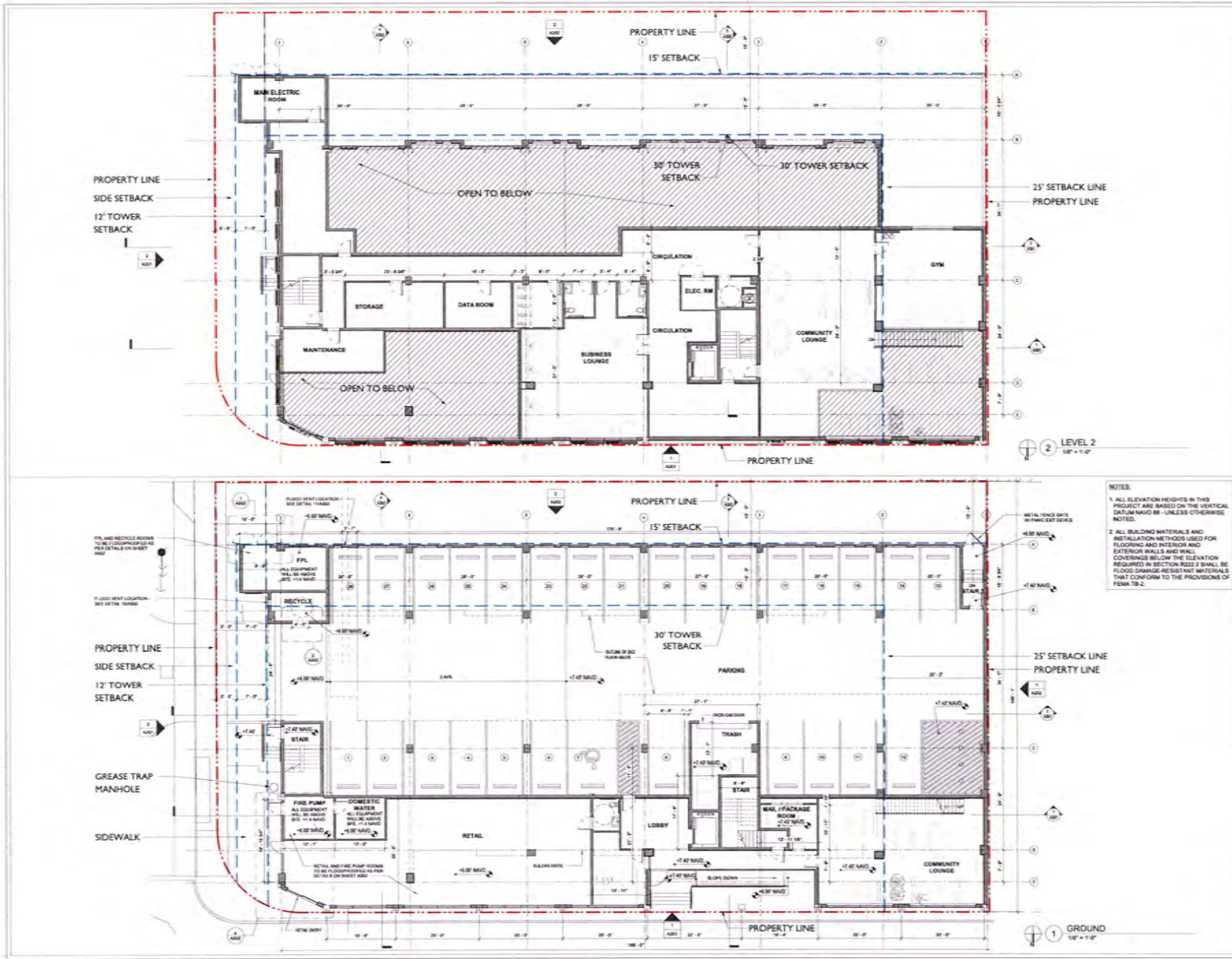
LEVELS 3-6
 302' x 1'-0"
 NOTE: AREAS ARE TO EXTEND FACE OF BUILDING ENVELOPE



Building Area Legend

- AMENITIES
- BOHSTOR
- LOBBY
- PARKING
- RETAIL
- STAIR

GROUND
 302' x 1'-0"



MCG ARCHITECTURE
7300 NE 4th Court
Suite 122
Miami, FL 33138
(305) 573-2728

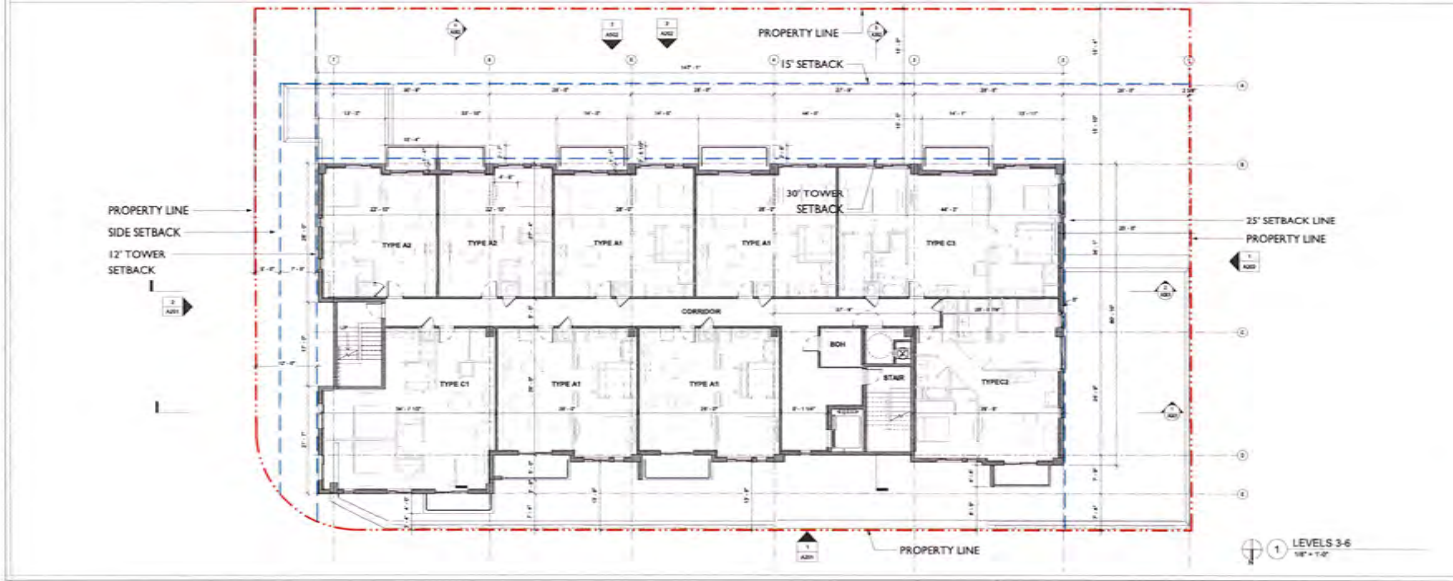
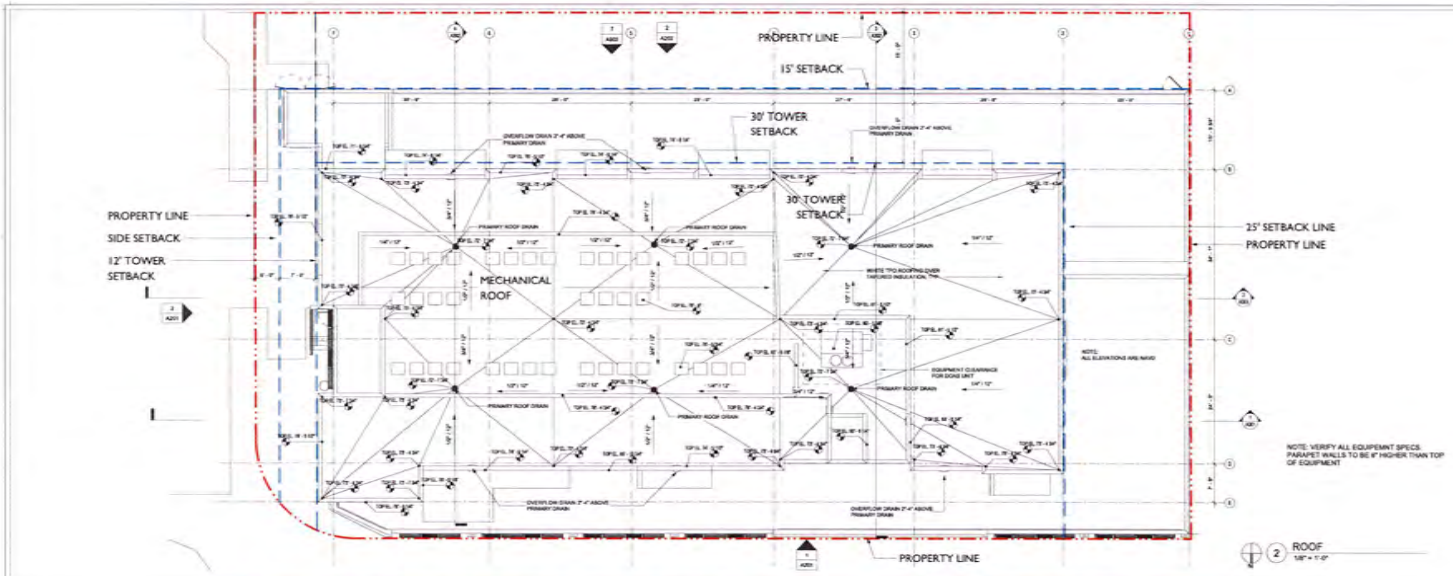
MAGELLAN HOUSING

THE ALDRIDGE

OVERALL LEVELS
1 & 2 FLOOR
PLANS

DATE
06/17/2024

A101



MCG
ARCHITECTURAL
7500 NE 4th Court
Suite 102
Miami, FL 33138
(305) 573-2728

MAGELLAN HOUSING

THE ALDRIDGE

DATE: DAC SET
06/17/2024

NO.	DATE	DESCRIPTION
1	06/17/2024	ISSUED FOR PERMIT
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50		

PROJECT NUMBER: A102



- ELEVATION LEGEND:**
1. SMOOTH STUCCO FINISH, PAINTED COLOR 1 (WHITE)
 2. SMOOTH STUCCO FINISH, PAINTED COLOR 2 (LIGHT GREY)
 3. SMOOTH STUCCO FINISH, PAINTED COLOR 3 (DARK BLUE)
 4. WALL WITH SUPPORT FOR VINES
 5. STUCCO REVEAL - ARCH DETAIL
 6. PORCELAIN TILE FINISH
 7. STRUCTURE FLEX FABRIC SCREEN ON FRAMES

PAINTED STUCCO COLORS

COLOR #3

COLOR #2

COLOR #1

ACCENT WALL PORCELAIN TILE #6

PROJECT NUMBER

MAGELLAN HOUSING

PROJECT NAME
THE ALDRIDGE

PROJECT ADDRESS

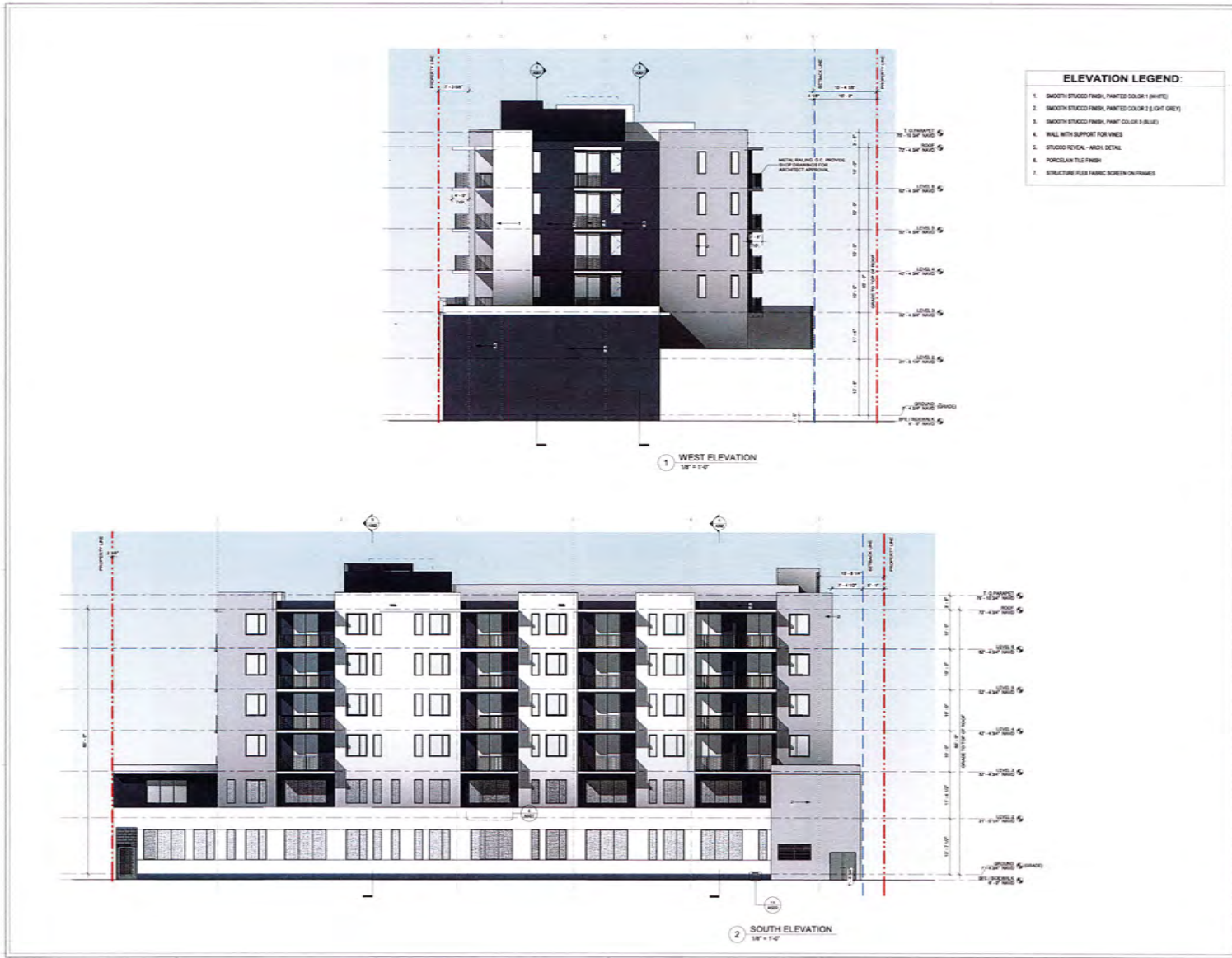
DRAWING
NORTH & EAST ELEVATIONS

DATE
DWG SET 06/17/2024

SCALE
AS SHOWN

DATE

SHEET NUMBER
A201



- ELEVATION LEGEND:**
1. SMOOTH STUCCO FINISH, PAINTED COLOR 1 (WHITE)
 2. SMOOTH STUCCO FINISH, PAINTED COLOR 2 (LIGHT GREY)
 3. SMOOTH STUCCO FINISH, PAINTED COLOR 3 (DARK)
 4. WALL WITH SUPPORT FOR VINES
 5. STUCCO REVEAL - ARCH DETAIL
 6. PORCELAIN TILE FINISH
 7. STRUCTURE FLEX FABRIC SCREEN ON FRAMES

MCG ARCHITECTURE
 7500 NE 4th Court
 Suite 101
 Miami, FL 33138
 (305) 573-2728

MAGELLAN HOUSING

THE ALDRIDGE

SOUTH & WEST ELEVATIONS

DATE: 06/17/2024

SCALE: AS INDICATED

DRAWN: [Name]

SHEET NUMBER: A202

PROJECT NUMBER

MAGELLAN HOUSING

PROJECT NAME

THE ALDRIDGE

PROJECT ADDRESS

DRAWING

FIRST FLOOR
CLEAR GLAZING

PROJECT

DRG SET

06/17/2024

SCALE

REVISIONS

NO. DATE DESCRIPTION

1 06/17/24 DRG Complete

2

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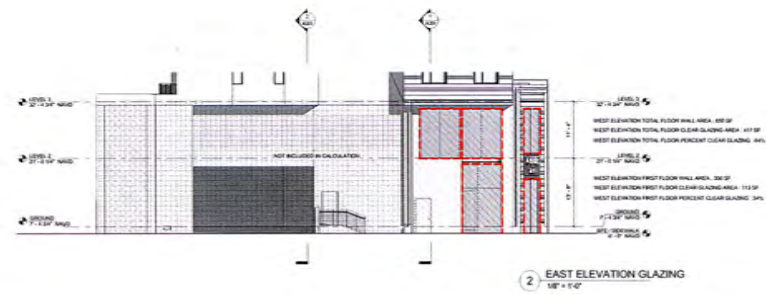
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25

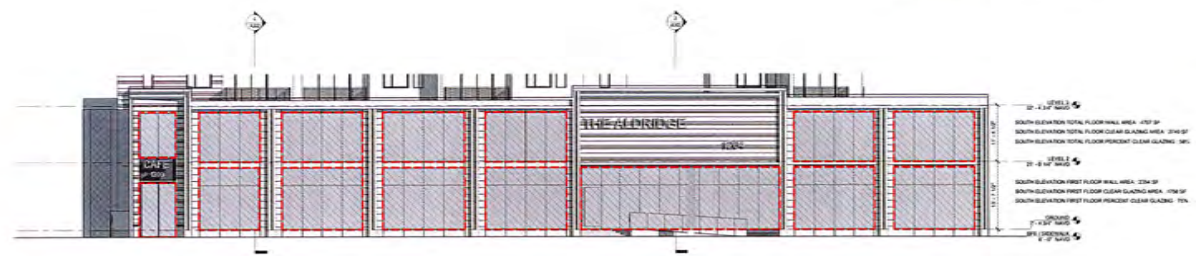
26

SHEET NUMBER

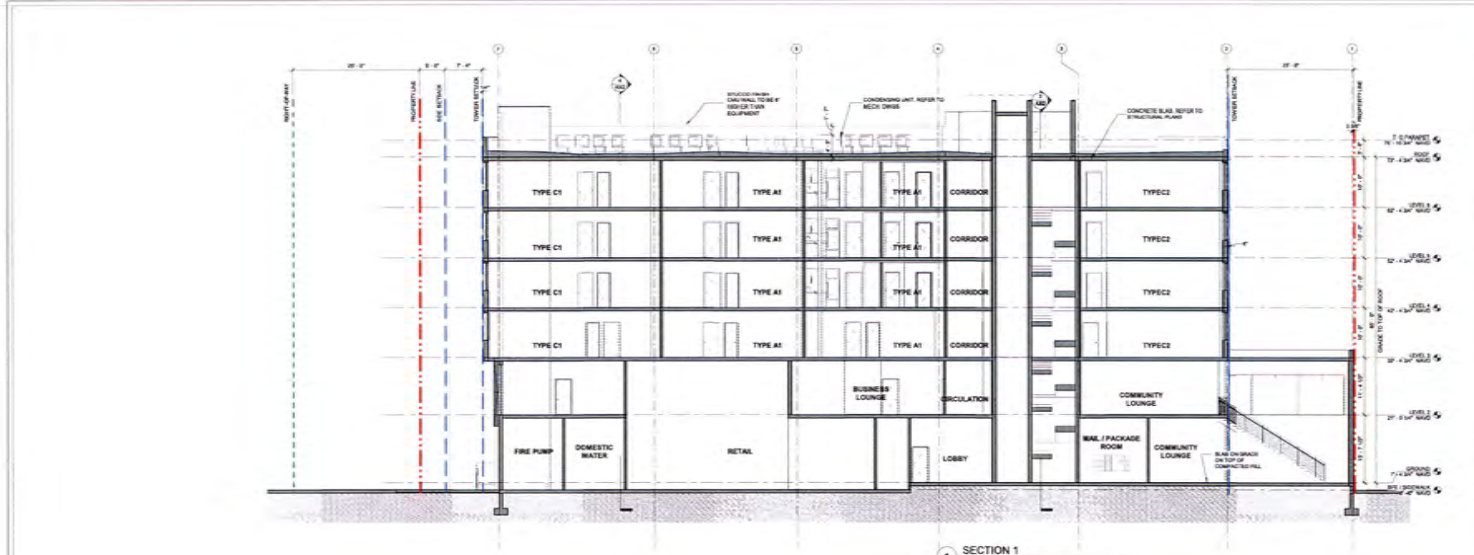
A203



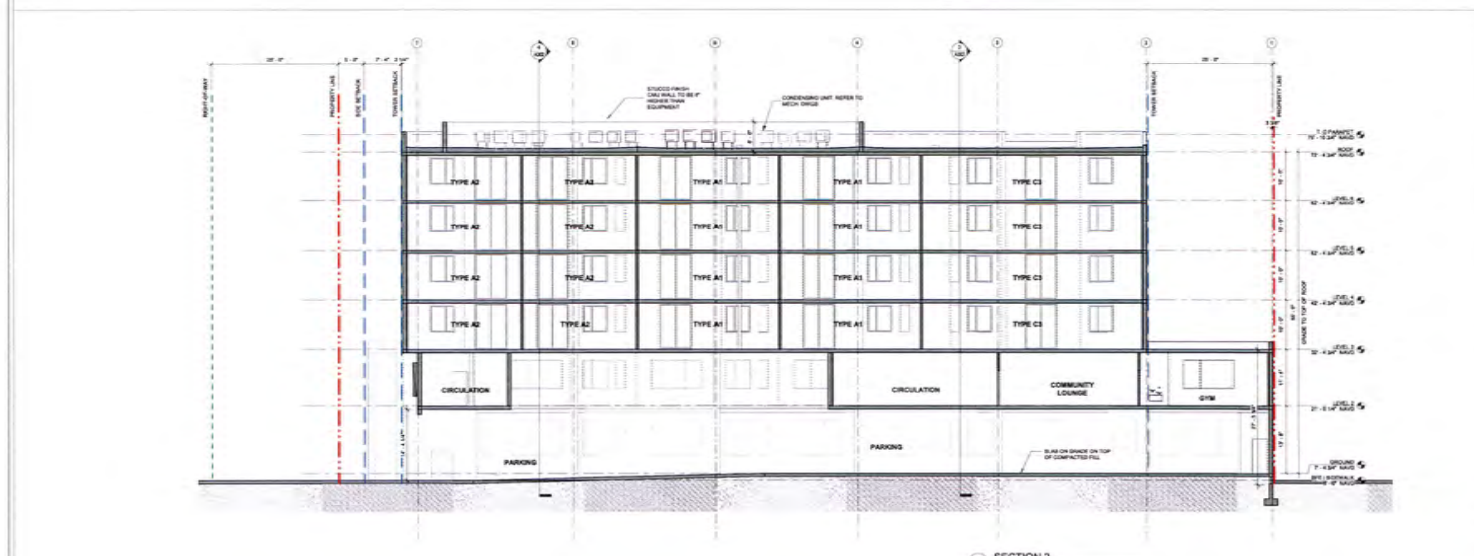
2 EAST ELEVATION GLAZING
1/8\"/>



1 NORTH ELEVATION GLAZING
1/8\"/>



1 SECTION 1
1/8" = 1'-0"



2 SECTION 2
1/8" = 1'-0"

MCG
ARCHITECTURAL
7500 NE 4th Court
Suite 102
Miami, FL 33138
(305) 573-2728

PROJECT NUMBER
MAGELLAN HOUSING

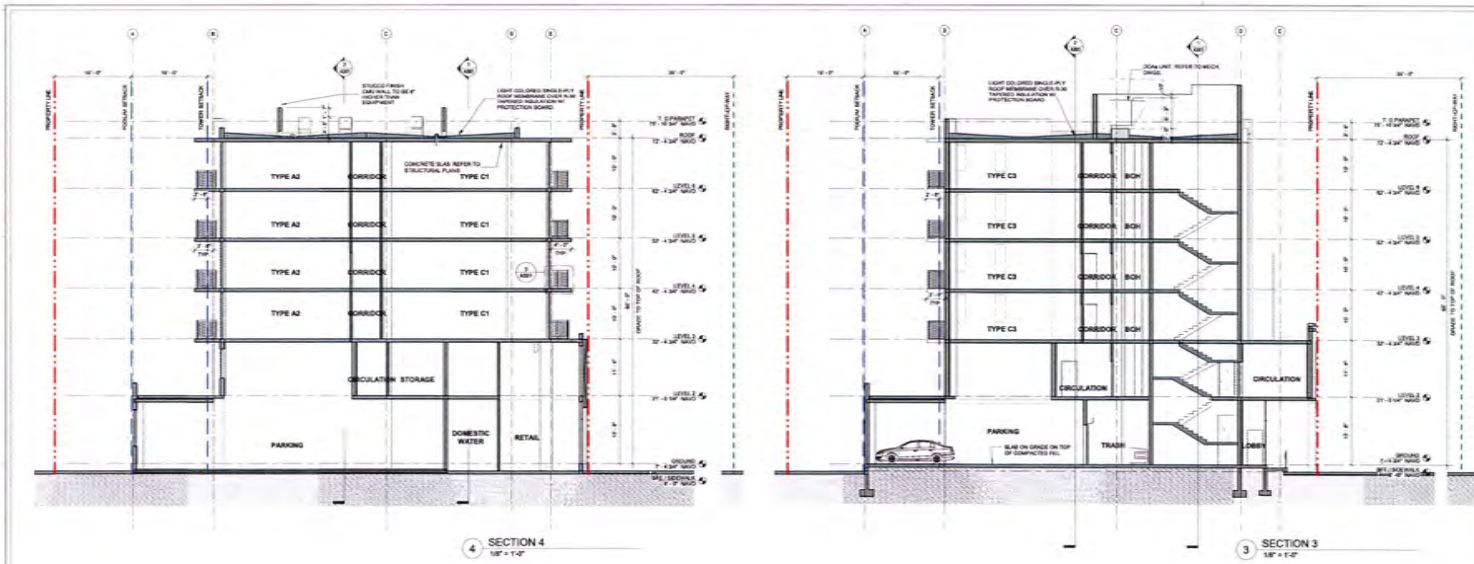
PROJECT NAME
THE ALDRIDGE

PROJECT ADDRESS

DRAWING
BUILDING
SECTIONS

FILED
DRC SET
06/17/2024

SCALE
1/8" = 1'-0"
CHECKED
DATE
SHEET NUMBER
A301



MCG
ARCHITECTURE
7500 NE 4th Court
Suite 102
Miami, FL 33138
(305) 573-2758

MAGELLAN HOUSING

THE ALDRIDGE

BUILDING SECTIONS & DETAILS

DWG SET
06/17/2024

SCALE

NO.	DATE	DESCRIPTION
1	06/17/24	DWG SET
2	06/17/24	REVISED

SCALE: 1/8" = 1'-0"
DRAWN: [Name]
CHECK: [Name]
DATE: 06/17/2024

A302



PAINTED STUCCO COLORS



ACCENT WALL PORCELAIN TILE



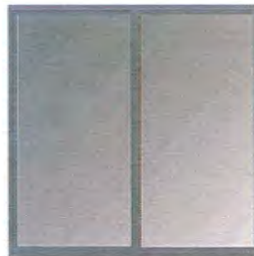
VINE SUPPORT ATTACHEMENT



VINE SUPPORT ATTACHEMENT



STRUCTURFLEX SCREEN



88 WINDOWS WITH SUNSTORM SILVER STORM (DARK GREY) MULLIONS AND GREY TINTED GLAZING

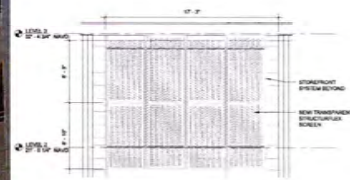
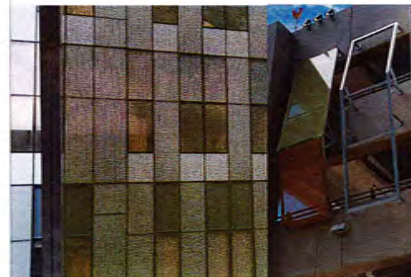


5 TYPICAL SIGNAGE NUMBER 12' x 1' REF: 1/A201

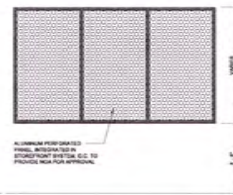


SIGNAGE UNDER SEPARATE PERMIT. 24" HIGH LETTERS, BACKLIT LED

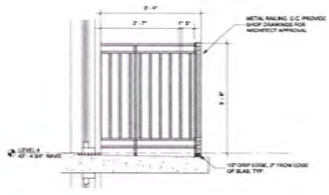
1 TYPICAL SIGNAGE 12' x 1' REF: 1/A201



2 NORTH ELEVATION - ENLARGED STRUCTURFLEX SCREEN 16' x 1' REF: 1/A201



4 GARAGE SCREEN ELEVATION 12' x 1' REF: 2/A202



3 BALCONY SECTION 3' x 1' REF: 4/A203

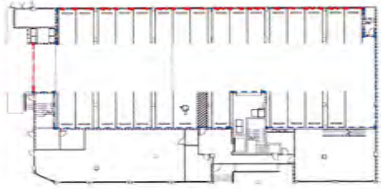
Table with columns for REVISION, REV#, DATE, and DESCRIPTION.



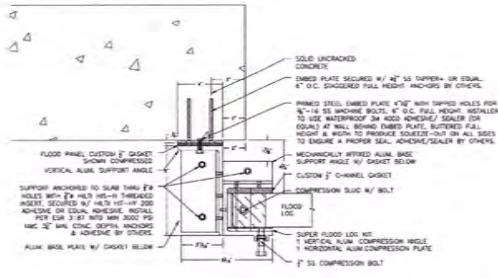
7 PARTIAL SOUTH ELEVATION AT GARAGE OPENINGS
1" = 20'-0"



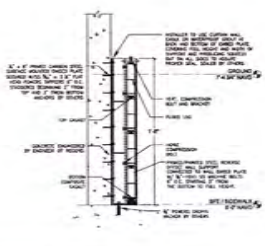
8 LEVEL 2 - GARAGE OPEN AIR PLAN
1" = 20'-0"



9 GROUND LEVEL - GARAGE OPEN AIR PLAN
1" = 20'-0"



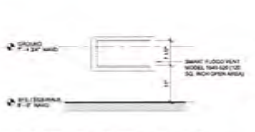
5 FLOODPANEL JAMB DETAIL
1" = 1'-0"



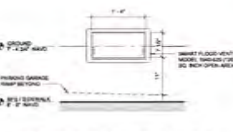
6 FLOODPANEL SECTION DETAIL
1" = 1'-0"

FLOOD OPENING CALCULATION

ROOMNAME	AREA BELOW SF	REQUIRED OPENING AREA	PROVIDED OPENING AREA
PARKING GARAGE	3,871 SF	1" PER 1 SF = 3,871 SQ INCH	4,818 (OPEN ENTRANCE) + 128 (FLOOD VENT) = 4,946 SQ INCH
RECYCLE ROOM	80 SF	1" PER 1 SF = 80 SQ INCH	872 (OPEN ENTRANCE) + 128 (FLOOD VENT) = 1,000 SQ INCH



10 FLOOD VENT AT RECYCLE ROOM
1" = 1'-0"



11 FLOOD VENT AT PARKING GARAGE
1" = 1'-0"

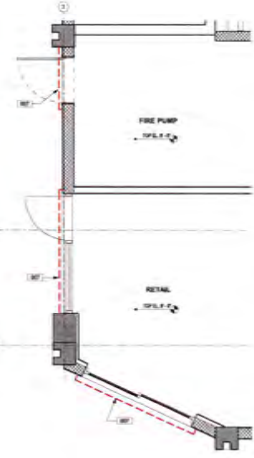
KEYNOTE LEGEND
Key Note: Keynote Text
001 FLOOD LOG PANELS BY FLOODPROOFING.COM PROTECTING ALL EXTENSION OPENINGS SECURED TO BERTH/SLAB WALLS. REFER TO DETAILS THIS SHEET OR TO PROVIDER SHOP DRAWINGS FOR DESIGN AND APPROVAL - USE TO COORDINATE WITH MANUFACTURER RECOMMENDATIONS. PANEL HEIGHT TO EXCEED 7' 4\"/>



1 ENLARGED FLOOR PLAN AT FPL DOORS
3/8" = 1'-0"

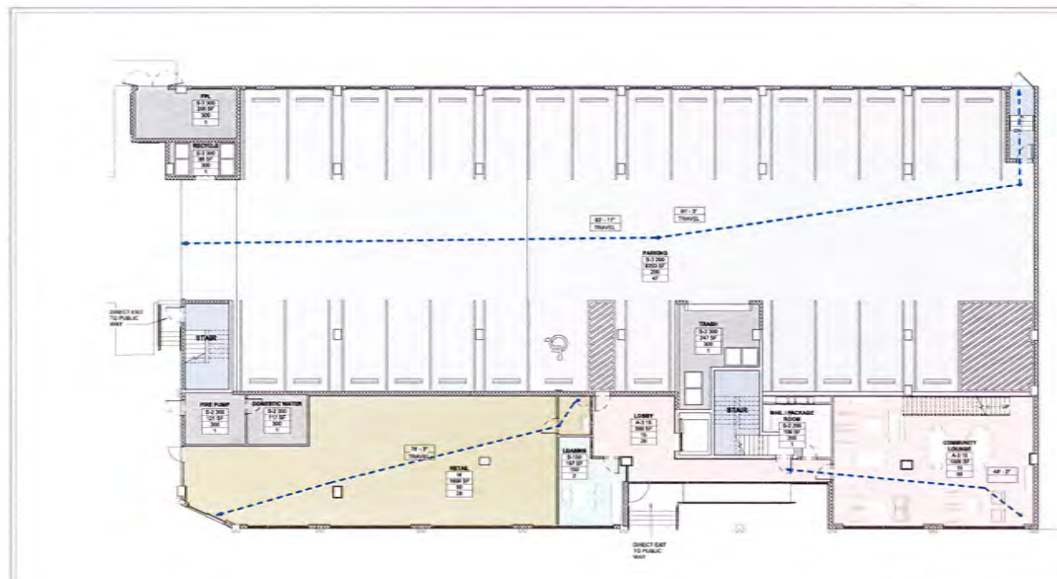


2 ENLARGED FLOOR PLAN AT RECYCLE ROOM
3/8" = 1'-0"



4 ENLARGED RETAIL & FIRE PUMP ENTRANCE
3/8" = 1'-0"

NO.	DATE	DESCRIPTION
1	06/18/24	DRG. COMPLETE



OCCUPANCY LOAD 15 - GROUND

Level	Room Name	Number	Area	15' Type	15' Code
GROUND	COMMON	150	3540 SF	A	15-01
GROUND	LOBBY	100	2360 SF	A	15-01
GROUND	TRAVEL	300	7200 SF	A	15-01

OCCUPANCY LOAD 60 - GROUND

Level	Room Name	Number	Area	60' Type	60' Code
GROUND	COMMON	150	3540 SF	B	60-01

OCCUPANCY LOAD 150 - GROUND

Level	Room Name	Number	Area	150' Type	150' Code
GROUND	LOBBY	100	2360 SF	B	150-01

OCCUPANCY LOAD 200 - GROUND

Level	Room Name	Number	Area	200' Type	200' Code
GROUND	MECHANICAL	100	2360 SF	B	200-01

OCCUPANCY LOAD 300 - GROUND

Level	Room Name	Number	Area	300' Type	300' Code
GROUND	TRAVEL	300	7200 SF	B	300-01
GROUND	TRAVEL	100	2360 SF	B	300-01
GROUND	TRAVEL	100	2360 SF	B	300-01
GROUND	TRAVEL	100	2360 SF	B	300-01

Occupancy Schedule

- A-3 15
- B-150
- M
- R-2
- S-2 200
- S-2 300

PATH OF TRAVEL

Room	Area (SF)	Code
MECHANICAL	2360	A-3 15
MECHANICAL	2360	B-150
MECHANICAL	2360	M
MECHANICAL	2360	R-2
MECHANICAL	2360	S-2 200
MECHANICAL	2360	S-2 300

GROUND - LIFE SAFETY

LIFE SAFETY LEGEND + NOTES

<ul style="list-style-type: none"> EXIT SIGN (EMERGENCY LIGHT CONTROL) EMERGENCY LIGHT IN WALK BATTERY BACKUP FIRE EXTINGUISHER 1 WALKING FIRE EXTINGUISHER 2 WALKING FIRE EXTINGUISHER 3 WALKING FIRE EXTINGUISHER TRAVEL DISTANCE ELEVATOR SHaft LOCATION AND IN CASE OF FIRE DO NOT USE ELEVATOR USE STAIRS 	<ul style="list-style-type: none"> WALKING DETECTOR HEAT DETECTOR SMoke DETECTOR DOWN EGRESS LIGHT WALKING LIGHT STAIR LIGHT SMoke LIGHT MINIMAL PULL STATION @ R/F UNIT DOOR MATHS SPRINKLER HEADS STAIR DOWNWARD
--	---

FIRE DOOR LEGEND

1 HOUR WALL, 3/4 hr FIRE & FLOOD PROTECTION
 2 HOUR FIRE WALL - 1 1/2 hr FIRE & FLOOD PROTECTION
 2 HOUR FIRE WALL - 3/4 hr FIRE & FLOOD PROTECTION

SYMBOLS LEGEND

TRAVEL DISTANCE COMMON PATH LENGTH, ROAD END LENGTH, ROAD END LENGTH, EXIT AND MEANS OF EGRESS WITH

OCCUPANCY CLASSIFICATION	TRAVEL DISTANCE TO EXIT (ft)	COMMON PATH LENGTH (ft)	ROAD END LENGTH (ft)	EXIT AND MEANS OF EGRESS WITH
Class A-1	150	150	150	0.5
Class A-2	150	150	150	0.5
Class B-1	150	150	150	0.5
Class B-2	150	150	150	0.5
Class C-1	150	150	150	0.5
Class C-2	150	150	150	0.5
Class D-1	150	150	150	0.5
Class D-2	150	150	150	0.5

REMARKS

THE PROPOSED BUILDING IS TO BE AN OFFICE BUILDING WITH OFFICE SPACE AND MECHANICAL ROOM.

GENERAL NOTES:

- ALL DIMENSIONS ARE IN FEET AND INCHES (F'-INCHES)
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED

REVISIONS

NO.	DATE	DESCRIPTION
1	06/17/2024	ISSUE FOR PERMITS

MINIMUM INTERIOR FINISH CLASSIFICATION

OCCUPANCY CLASSIFICATION	INTERIOR WALLS AND CEILING FINISH REQUIREMENTS						INTERIOR FLOOR FINISH REQUIREMENTS					
	EXIST	NEW	NEW	NEW	NEW	NEW	EXIST	NEW	NEW	NEW	NEW	
Class A-1	0	1	2	3	4	5	1	1	1	1	1	
Class A-2	0	1	2	3	4	5	1	1	1	1	1	
Class B-1	0	1	2	3	4	5	1	1	1	1	1	
Class B-2	0	1	2	3	4	5	1	1	1	1	1	
Class C-1	0	1	2	3	4	5	1	1	1	1	1	
Class C-2	0	1	2	3	4	5	1	1	1	1	1	
Class D-1	0	1	2	3	4	5	1	1	1	1	1	
Class D-2	0	1	2	3	4	5	1	1	1	1	1	



PROJECT NAME

MAGELLAN HOUSING

PROJECT ADDRESS

THE ALDRIDGE

DRAWING

LIFE SAFETY

DATE

06/17/2024

SHEET NUMBER

LS101



1 LEVELS 3-6 - LIFE SAFETY PLAN
1/8" = 1'-0"

OCCUPANCY LOAD 200 - LEVELS 3-6

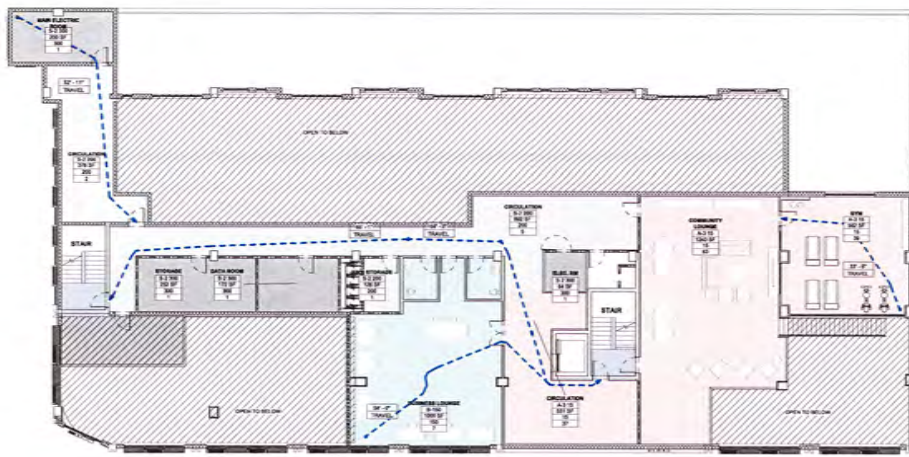
Level	Room Name	Count	Area	Design Occupancy
LEVEL 3 UNIT A1	UNIT A1	1	680 SF	1
LEVEL 3 UNIT A2	UNIT A2	1	680 SF	1
LEVEL 3 UNIT A3	UNIT A3	1	680 SF	1
LEVEL 3 UNIT A4	UNIT A4	1	680 SF	1
LEVEL 3 UNIT A5	UNIT A5	1	680 SF	1
LEVEL 3 UNIT A6	UNIT A6	1	680 SF	1
LEVEL 3 UNIT A7	UNIT A7	1	680 SF	1
LEVEL 3 UNIT A8	UNIT A8	1	680 SF	1
LEVEL 3 UNIT A9	UNIT A9	1	680 SF	1
LEVEL 3 UNIT A10	UNIT A10	1	680 SF	1
LEVEL 3 STAIR	STAIR	1	144 SF	2
LEVEL 3 TOTAL	TOTAL	11	7512 SF	11

OCCUPANCY LOAD 300 - LEVELS 3-6

Level	Room Name	Count	Area	Design Occupancy
LEVEL 3 UNIT B1	UNIT B1	1	680 SF	1
LEVEL 3 UNIT B2	UNIT B2	1	680 SF	1
LEVEL 3 UNIT B3	UNIT B3	1	680 SF	1
LEVEL 3 UNIT B4	UNIT B4	1	680 SF	1
LEVEL 3 UNIT B5	UNIT B5	1	680 SF	1
LEVEL 3 UNIT B6	UNIT B6	1	680 SF	1
LEVEL 3 UNIT B7	UNIT B7	1	680 SF	1
LEVEL 3 UNIT B8	UNIT B8	1	680 SF	1
LEVEL 3 UNIT B9	UNIT B9	1	680 SF	1
LEVEL 3 UNIT B10	UNIT B10	1	680 SF	1
LEVEL 3 STAIR	STAIR	1	144 SF	2
LEVEL 3 TOTAL	TOTAL	11	7512 SF	11

Occupancy Schedule

- R-2
- S-2 300



2 LEVEL 2 - LIFE SAFETY PLAN
1/8" = 1'-0"

OCCUPANCY LOAD 15 - LEVEL 2

Level	Room Name	Count	Area	Design Occupancy
LEVEL 2 MECHANICAL ROOM	MECHANICAL ROOM	1	100 SF	1
LEVEL 2 ELEVATOR	ELEVATOR	1	80 SF	1
LEVEL 2 TOTAL	TOTAL	2	180 SF	2

OCCUPANCY LOAD 50 - LEVEL 2

Level	Room Name	Count	Area	Design Occupancy
LEVEL 2 MECHANICAL ROOM	MECHANICAL ROOM	1	100 SF	1
LEVEL 2 ELEVATOR	ELEVATOR	1	80 SF	1
LEVEL 2 STAIR	STAIR	1	144 SF	2
LEVEL 2 TOTAL	TOTAL	3	324 SF	4

OCCUPANCY LOAD 200 - LEVEL 2

Level	Room Name	Count	Area	Design Occupancy
LEVEL 2 MECHANICAL ROOM	MECHANICAL ROOM	1	100 SF	1
LEVEL 2 ELEVATOR	ELEVATOR	1	80 SF	1
LEVEL 2 STAIR	STAIR	1	144 SF	2
LEVEL 2 HALL	HALL	1	120 SF	1
LEVEL 2 TOTAL	TOTAL	4	444 SF	5

OCCUPANCY LOAD 300 - LEVEL 2

Level	Room Name	Count	Area	Design Occupancy
LEVEL 2 MECHANICAL ROOM	MECHANICAL ROOM	1	100 SF	1
LEVEL 2 ELEVATOR	ELEVATOR	1	80 SF	1
LEVEL 2 STAIR	STAIR	1	144 SF	2
LEVEL 2 HALL	HALL	1	120 SF	1
LEVEL 2 TOTAL	TOTAL	4	444 SF	5

Occupancy Schedule

- A-3 15
- B-150
- R-2
- S-2 200
- S-2 300

MCG
ARCHITECTURE
7500 NE 4th Court
Suite 102
Miami, FL 33138
(305) 573-2758

PROJECT NUMBER:
MAGELLAN HOUSING

PROJECT NAME:
THE ALDRIDGE

PROJECT ADDRESS:

DRAWING:
LIFE SAFETY

DATE:
DWG SET 06/17/2024

SCALE:

REVISIONS
DATE | DESCRIPTION
NO. | DATE | DESCRIPTION

SCALE: 1/8" = 1'-0"
DATE: 6/17/24
DRAWN BY: MCG/AM

DWG NUMBER:
LS102

Scale: 1" = 10'-00"

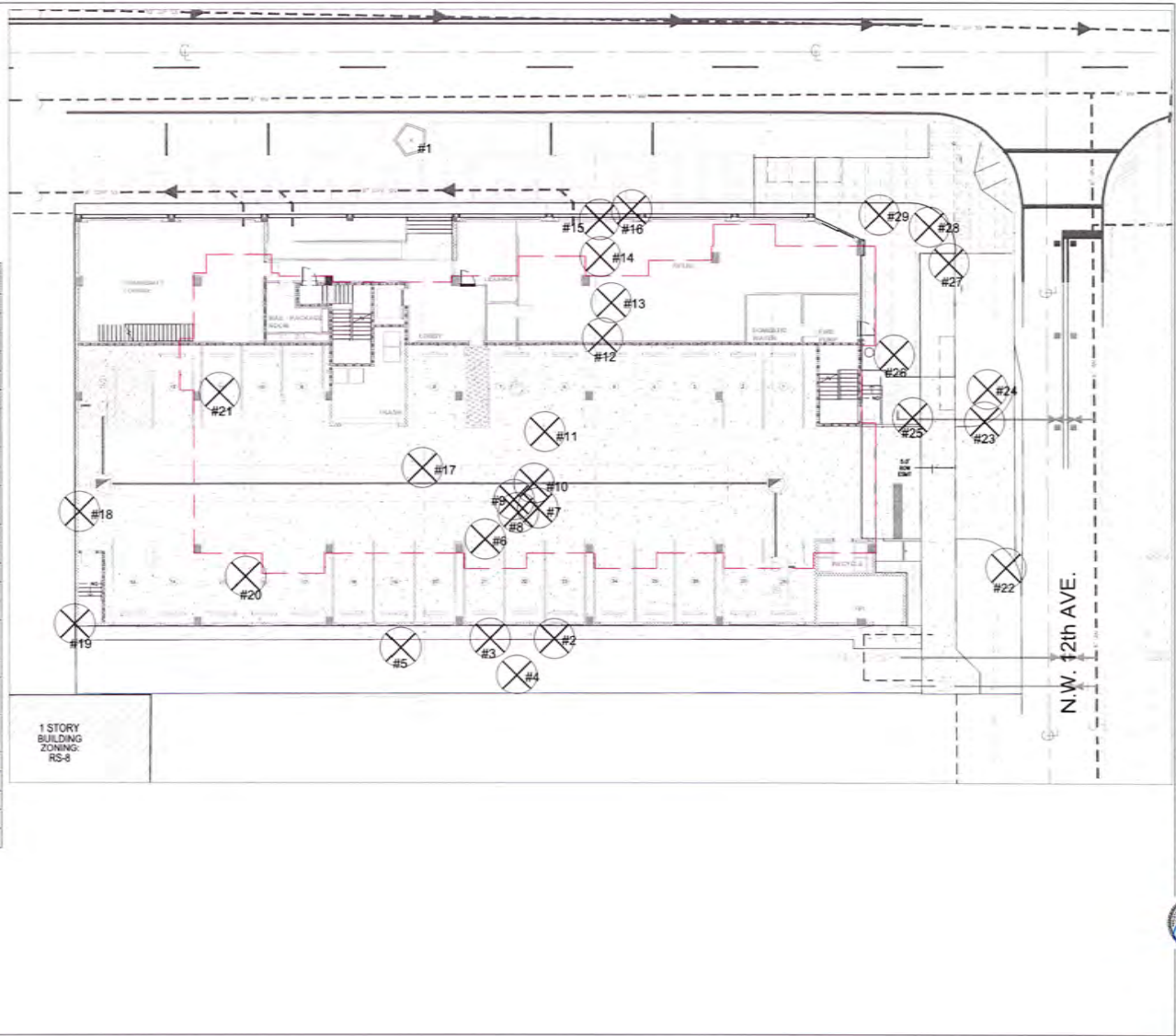
North

LEGEND

⊗ TREES TO BE REMOVED

⬡ TREES TO REMAIN

TREE #	COMMON NAME	BOTANICAL NAME	LANDSCAPE ARCHITECT'S DISPOSITION
1	Live Oak	<i>Quercus virginiana</i>	REMAIN
2	Mango	<i>Mangifera indica</i>	REMOVE
3	Carrotwood	<i>Couratouma acardoides</i>	REMOVE
4	Carrotwood	<i>Couratouma acardoides</i>	REMOVE
5	Royal Poinciana	<i>Dalmanella regia</i>	REMOVE
6	Dead Tree		REMOVE
7	Lead Tree	<i>Leucaena leucocephala</i>	REMOVE
8	Sabal Palm	<i>Sabal palmetto</i>	REMOVE
9	Sabal Palm	<i>Sabal palmetto</i>	REMOVE
10	Sabal Palm	<i>Sabal palmetto</i>	REMOVE
11	China Berry	<i>Melia azadirach</i>	REMOVE
12	Sabal Palm	<i>Sabal palmetto</i>	REMOVE
13	Brazilian Beautyleaf	<i>Calophyllum brasiliense</i>	REMOVE
14	Sabal Palm	<i>Sabal palmetto</i>	REMOVE
15	Sabal Palm	<i>Sabal palmetto</i>	REMOVE
16	Sabal Palm	<i>Sabal palmetto</i>	REMOVE
17	Sabal Palm	<i>Sabal palmetto</i>	REMOVE
18	Live Oak	<i>Quercus virginiana</i>	REMOVE
19	Mango	<i>Mangifera indica</i>	REMOVE
20	Royal Poinciana	<i>Dalmanella regia</i>	REMOVE
21	Mango	<i>Mangifera indica</i>	REMOVE
22	Live Oak	<i>Quercus virginiana</i>	REMOVE
23	Montgomery Palm	<i>Veitchia exoniensis</i>	REMOVE
24	Montgomery Palm	<i>Veitchia exoniensis</i>	REMOVE
25	Green Buttonwood	<i>Conocarpus erectus</i>	REMOVE
26	Solitaria Palm	<i>Ptychosperma elegans</i>	REMOVE
27	Sabal Palm	<i>Sabal palmetto</i>	REMOVE
28	Sabal Palm	<i>Sabal palmetto</i>	REMOVE
29	Sabal Palm	<i>Sabal palmetto</i>	REMOVE



PREPARED BY: **ECOPLAN**
LANDSCAPE ARCHITECTS
1202 NW 8TH STREET - FORT LAUDERDALE, FLORIDA 33311

DATE SUBMITTED: _____

THE ALDRIDGE
 1202 NW 8TH STREET - FORT LAUDERDALE, FLORIDA 33311

TREE DISPOSITION PLAN

DATE: 8/28/2024
 PROJECT #: 2118
 DRAWN BY: JF
 CHECKED BY: JF
 SCALE: _____

REVISIONS:

DATE: _____
 BY: _____
 DESCRIPTION: _____

DATE: 8/28/2024
 PROJECT #: 2118
 DRAWN BY: JF
 CHECKED BY: JF
 SCALE: _____

SHEET NUMBER: **LAPL-0**

Scale: 1" = 10'-00"



LEGEND

-  TREES TO BE REMOVED
-  TREES TO REMAIN

TREE #	COMMON NAME	BOTANICAL NAME	HEIGHT (ft)	WIDTH (ft)	DBH (in)	CLEAR TRUNK (ft)	HEALTH CONDITION	HEALTH CONDITION %	RELOCATION CANDIDATE (Y/N)	OBSERVATIONS
1	Live Oak	Quercus virginiana	18	14	8		Fair	80%	N	Confined root space, insufficient root ball for relocation
2	Mango	Mangifera indica	28	14	15		Poor	38%	N	Poor structure, deadwood, storm damage, visual evidence of decay
3	Carrotwood	Cupanopsis anacardioides	23	10	20		Dead	0%	N	Florida Invasive Species Council Category I Invasive
4	Carrotwood	Cupanopsis anacardioides	28	15	6		Good	62%	N	Florida Invasive Species Council Category I Invasive
5	Royal Poinciana	Delonix regia	28	22	13		Poor	37%	N	Poor structure, trunk lean, uplited root zone
6	Dead Tree				12		Dead	0%	N	Dead tree
7	Lead Tree	Lucaena leucocephala	23	25	13		Fair	47%	N	Florida Invasive Species Council Category I Invasive
8	Sabal Palm	Sabal palmetto	22	8	12	18	Good	85%	Y	
9	Sabal Palm	Sabal palmetto	22	8	13	18	Good	85%	Y	
10	Sabal Palm	Sabal palmetto	12	12	12	3	Good	85%	Y	Immature Palm
11	China Berry	Melia azadirachta	21	14	11		Fair	48%	N	Florida Invasive Species Council Category I Invasive, canopy defects
12	Sabal Palm	Sabal palmetto	27	8	11	24	Good	85%	Y	
13	Braconia Beautiful	Calyptranthes brasiliensis	20	17	10		Fair	55%	N	Poor structure trunk lean, canopy defects
14	Sabal Palm	Sabal palmetto	28	8	12	24	Good	85%	Y	
15	Sabal Palm	Sabal palmetto	23	8	12	15	Fair	54%	N	Fencing
16	Sabal Palm	Sabal palmetto	15	8	13	11	Fair	54%	N	Fencing
17	Sabal Palm	Sabal palmetto	16	8	15	12	Good	85%	Y	Strangler Fig parasite
18	Live Oak	Quercus virginiana	40	48	28		Fair	55%	N	Poor structure, large diameter deadwood, canopy defects, canopy crowding
19	Mango	Mangifera indica	37	38	24		Fair	54%	N	Poor structure, deadwood, canopy crowding
20	Royal Poinciana	Delonix regia	24	40	28		Fair	52%	N	Poor structure canopy crowding, deadwood, carterwood parasite, vines
21	Mango	Mangifera indica	22	20	14		Fair	46%	N	Poor structure deadwood visual evidence of decay
22	Live Oak	Quercus virginiana	22	17	11		Fair	47%	N	Poor structure canopy defects deadwood, over tilted canopy
23	Montgomery Palm	Wetelia arachna	25	11	8	22	Good	85%	Y	
24	Montgomery Palm	Wetelia arachna	21	11	6	17	Good	85%	Y	
25	Green Buttonwood	Conocarpus erectus	23	27	13		Fair	52%	N	Trunk lean, canopy defects storm damage
26	Solitaire Palm	Phycosperma elegans	20	6	4	17	Fair	52%	N	Fencing
27	Sabal Palm	Sabal palmetto	28	8	13	22	Fair	54%	N	Fencing
28	Sabal Palm	Sabal palmetto	18	8	11	14	Fair	52%	N	Fencing
29	Sabal Palm	Sabal palmetto	21	8	13	17	Fair	54%	N	Fencing

I certify that all statements of fact are true, complete and correct to the best of my knowledge and belief and that they are made in good faith.
 Mark C. Williams FL-5221 AM, ISA Certified Arborist (International Society of Tree Experts) (Treeman Consulting Group LLC)

LANDSCAPE ARCHITECT'S INFORMATION					
LANDSCAPE ARCHITECT'S DISPOSITION	COMMENT	TREE CLASS	EQUIVALENT TREE REPLACEMENT INCHES	EQUIVALENT REPLACEMENT (Y/N)	DOLLAR REPLACEMENT
REMAIN	EXISTING STREET TREE	A	N/A		N/A
REMOVE	NOT SUITABLE FOR RELOCATION	C	3.4		\$222.30
REMOVE	INVASIVE/DEAD	F	0.0		\$0.00
REMOVE	INVASIVE	F	0.0		\$0.00
REMOVE	NOT SUITABLE FOR RELOCATION	B	3.8		\$290.12
REMOVE	DEAD	N/A	0.0		\$0.00
REMOVE	INVASIVE	F	0.0		\$0.00
REMOVE	NO ROOM FOR HOLDING	PALM		1.9	\$148
REMOVE	NO ROOM FOR HOLDING	PALM		1.3	\$108
REMOVE	NO ROOM FOR HOLDING	PALM		1.9	\$148
REMOVE	INVASIVE	E	1.1		\$84.44
REMOVE	NO ROOM FOR HOLDING	PALM		1.9	\$148
REMOVE	NOT SUITABLE FOR RELOCATION	D	2.2		\$143.00
REMOVE	NO ROOM FOR HOLDING	PALM		1.9	\$148
REMOVE	NO ROOM FOR HOLDING	PALM		1.9	\$148
REMOVE	NO ROOM FOR HOLDING	PALM		1.3	\$108
REMOVE	NO ROOM FOR HOLDING	PALM		1.9	\$148
REMOVE	NOT SUITABLE FOR RELOCATION	A	16.1		\$836.55
REMOVE	NOT SUITABLE FOR RELOCATION	C	7.8		\$673.82
REMOVE	NOT SUITABLE FOR RELOCATION	B	11.8		\$771.68
REMOVE	NOT SUITABLE FOR RELOCATION	C	3.9		\$251.18
REMOVE	NOT SUITABLE FOR RELOCATION	A	5.3		\$343.89
REMOVE	NO ROOM FOR HOLDING	PALM		1.9	\$148
REMOVE	NO ROOM FOR HOLDING	PALM		1.9	\$148
REMOVE	NOT SUITABLE FOR RELOCATION	A	8.8		\$429.40
REMOVE	NOT SUITABLE FOR RELOCATION	PALM		1.9	\$148
REMOVE	NOT SUITABLE FOR RELOCATION	PALM		1.9	\$148
REMOVE	NOT SUITABLE FOR RELOCATION	PALM		1.9	\$148
			62 17	34	\$8,826.48
			NICHES	PILLARS	

PREPARED BY: **ECOPLAN**
 LANDSCAPE ARCHITECTS
 1202 NW 6TH STREET - FORT LAUDERDALE, FLORIDA 33311
 PHONE: 954-575-1111
 FAX: 954-575-1112
 WWW.ECOPLANFL.COM

THE ALDRIDGE
 1202 NW 6TH STREET - FORT LAUDERDALE, FLORIDA 33311

TREE DISPOSITION LIST
 DATE: 8/16/2024
 PROJECT #: 258
 DRAWN BY: JL
 CHECKED BY: JL
 SCALE:
 REVISIONS:
 1.
 2.
 3.
 4.
 5.
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 10.

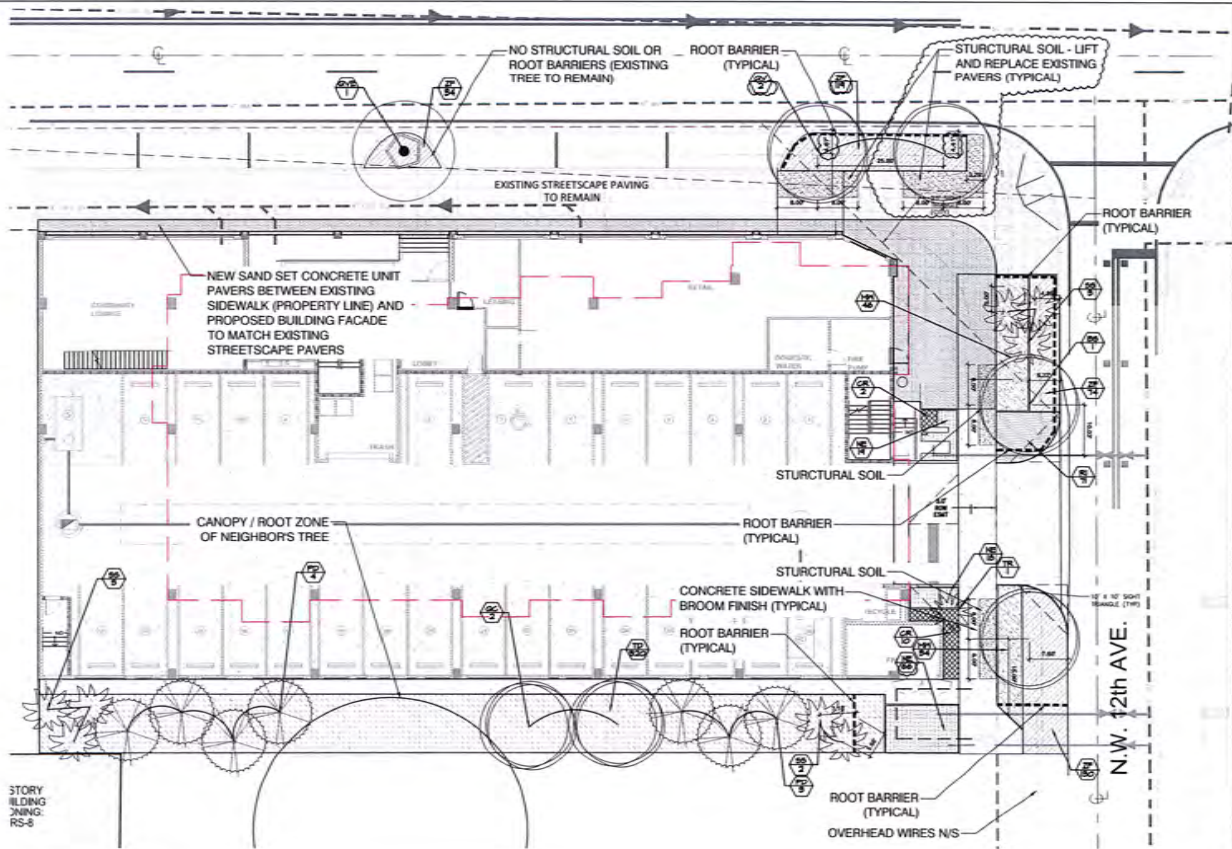
SEAL: 
 Jose Mangione
 No. 12508
 State of Florida
 Exp. 12/31/2025

SHEET NUMBER:
LAPL-1



Symbol	Code	Quantity	Plant Name	Common Name
	BS	2	Bursera simaruba	Gumbo Limbo
	PD	3	Pinus elliptica densa	Slash Pine
	QV	1	Quercus virginiana	Southern Live Oak
	QV	2	Quercus virginiana "SDMK"	Cathedral Live Oak
	QV	1	Quercus virginiana	Southern Live Oak
	IS	8	Sabal palmetto	Cabbage Palmetto
	TR	3	Thespesia variata	Florida Thatch Palm
	CR	12	Chrysanthemum leucanthemum	White Chrysanthemum
	CR	12	Chrysanthemum leucanthemum	White Chrysanthemum
	MSW	80	Muhlenbergia capillaris "White Cloud"	White Cloud Muhly Grass
	ME	100	Nephrolepis exaltata	Boston Fern
	RI	71	Rhipidolepis indica	Indian Hawthorn
	TD	530	Tripsacum floridanum	Florida Gamagrass
	CF	100	Cordia alliodora	Florida Coccoloba

NOTE:
 1. PLANT PALLETTE IS 100% NATIVE AND CONTAINS (1) LOW WATER USE "HYDROZONE"
 2. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH 100% HEAD TO HEAD COVERAGE. IRRIGATION PLANS TO BE PROVIDED AT THE TIME OF PERMIT SUBMITTAL.



STORY BUILDING JNNG-RS-8

Landscaping Calculations - The Aldridge

Code	Description	Required	Provided
Sec. 47-23.13-2	Mixed Use Development Open Space 50% of open space shall be in living materials (landscaping)	2178 sf	2404
Sec. 47-23.8-B	Integrated hardscape no more than 50% of the landscaped area	1862 of turf	0 sf
Sec. 47-23.8-C	Native and drought tolerant landscaping must be a minimum of 50% of the non-hardscape landscaped area	50% or 1184 sf	100%
Sec. 47-23.13-4-1	Landscaping shall be provided in a square foot area equal to a minimum of 20% of the gross VUA	86 sf	>155 sf
Sec. 47-23.13-4-1	One (1) tree and 80 (in shrubs) shall be required for every one thousand (1,000) sf of VUA	2 TREE, 6 SHRUBS	3 PALM, 46 SHRUBS
Sec. 47-23.13-4-1	25% of the required trees shall be shade species with 3.5" minimum caliper. 25% with 3.5" shade species, 25% should be flowering, 25% should be palm, 20% optional species.	1 TREE	3 PALM (optional)

Code	Description	Required	Provided
Sec. 47-23.13-5	Trees shall be at least (2) tree for each one thousand (1,000) sf of net lot area in addition to VUA requirements - 20% shall be shade trees	2404 sf	3 trees (1 shaded)
Sec. 47-23.13-5B	Diversity of tree mix - Of the overall number of trees required, not more than one-half of the required tree counts can be of (2) genus. At least 40% of all required trees shall consist of native species.	13 required trees total + 7 of one species and >40% native	7 of one species and 100% native trees
Sec. 47-23.13-15	Min 12 shrubs per 1,000sf of net lot area. Min 40% native	32 PER 1000sf of min 40% native	36 required shrubs total & min 15 native
Sec. 47-23.13-16	Street trees shall be planted in an area located between the roadway and the property line. A minimum of 50% of the required street trees shall be shade trees. Street trees shall be provided at a ratio of one street tree per 40 feet of street frontage. If overhead utilities exist, required street trees may be small trees provided at a ratio of one street tree per 70 feet of street frontage. Minimum heights in Section 47-23.	Min 10in Street = 184' Min 12in Ave = 130'	184' / 40 = 4 trees 130' / 40 = 3 trees Min 10in Street = 184' Min 12in Ave = 130' Min 10in Street = 184' Min 12in Ave = 130' Min 10in Street = 184' Min 12in Ave = 130'



THE ALDRIDGE
 1202 NW 8TH STREET - FORT LAUDERDALE, FLORIDA 33311

PLANTING DETAILS

DATE: 5/16/2018
 PROJECT #: 2018
 DRAWN BY: JH
 CHECKED BY: JH
 SCALE:
 REVISIONS:



SHEET NUMBER
LAPL-2

PLANT SCHEDULE ALDRIDGE						
Symbol	Code	Common Name	Scientific Name	Quantity	Size	Comments
	MS	2	Bursera simarubra	Guamoa Limbo	PL/BB	20' HT x 8"SW x 8"CT
	PD	7	Pinus elliotii densa	Slash Pine	PL/BB	20'-18" HT 6" CAL - SPECIMEN TREE
	QV	1	Quercus virginiana	Southern Live Oak	PL/BB	20' HT x 8"SW x 8"CT 6.5" MIN
	QC	2	Quercus virginiana 'SOUL'	Cathedral™ Live Oak	100 gal min.	28' HT x 7"SW x 8"CT 3"
	QVE	1	Quercus virginiana	Southern Live Oak	EXISTING	Existing OFF SITE TREE
	SS	8	Sabal palmetto	Caribbean Palmetto	PL/BB	28'-22"HT x 6"JOT CW 60% HEAVY SPECIMEN
	TR	1	Thrinax cadala	Florida Thatch Palm	65-Gal. Min.	8'-12" CT SPECIMEN VARY HEIGHTS
	CK	12	Chrysobalanus icaco Red Tip	Red Tip Coccoloba	7 gal	30" HT x 24" W
	MW	85	Muhlenbergia capillaris 'White Cloud'	White Cloud Muhly Grass	3 gal	18" x 18"
	NE	108	Nepenthes exaltata	Boston Fern	1 Gal.	12" x 12"
	RI	71	Rhipidolepis indica	Indian Hawthorn	3 gal, 12" x 12"	12" x 12"
	TD	530	Tripsacum daniellianum	Florida Gommage	3 gal	18" x 18"
	ZF	10	Zamia floridana	Florida Coonoe	3 gal.	12" x 12"

NOTE:
 1. PLANT PALLETTE IS 100% NATIVE AND CONTAINS (1) LOW WATER USE
 *HYDROZONE:
 2. ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH 100% HEAD TO HEAD
 COVERAGE. IRRIGATION PLANS TO BE PROVIDED AT THE TIME OF PERMIT
 SUBMITTAL.

Landscape Calculations - The Aldridge			
Code	Description	Quantity	Requirements / Notes
Sec. 47-18-21-m-2	Mixed Use Development Open Space 50% of open space shall be in living materials (Landscaping)	Open space = 4,556sf	2278 sf 404
Sec. 47-21-6-A	Irrigated turf/grass no more than 50% of the landscaped area	1364 sf	482 sf turf 0 sf
Sec. 47-21-6-B	Native and drought-tolerant landscaping must be a minimum of 50% of the non-turf/grass landscaped area	2727 sf	50% or >1364 sf 100%
Sec. 47-21-12-A-1	Landscaping shall be provided in a square foot area equal to a minimum of 20% of the gross VUA	VUA = 430 SF	86 sf >15% of
Sec. 47-21-12-C-1	One (1) tree and (8) six-inches shall be required for every one thousand (1,000) sq ft of VUA	VUA = 430 SF	1 TREE, 6 SHRUBS 1 PALM, 16 SHRUBS
	25% of the required trees shall be shade species with 3.5" minimum caliper, 20% with 2.5" shade species, 20% should be flowering, 20% should be palms, 15% optional species.		1 TREE 1 PALM (optional)
Sec. 47-21-13-1	There shall be at least (1) tree for each one thousand (1,000) sq ft of net lot area in addition to VUA requirements - 20% shall be shade trees	2404 sf	3 trees (1 shade) 20 trees
Sec. 47-21-13-1B	Diversity of tree mix - If the overall number of trees required, not more than one-half of the required tree count can be of (1) genus. At least 40% of all required trees shall consist of native species.		13 required trees total = 7 of one species and 100% native trees
Sec. 47-21-13-1C	Min 12 shrubs per 1,000sf of net lot area. Min 40% native	12 PER 1000 of net 40% native	36 required shrubs total & min 15 native
Sec. 47-21-13-1D	Street trees shall be planted in an area located between the roadway and the property line. A minimum of 50% of the required street trees shall be shade trees. Street trees shall be provided at a rate of one street tree per 40 feet of street frontage. If overhead utilities exist, required street trees may be small trees provided at a ratio of one street tree per 20 feet of street frontage. Minimum heights in Section 47-21.	Min 600 Street = 240 100' 12th Ave. = 100'	240 / 40 = 6 trees 100' / 20 = 5 trees Min 600 Street = 6 trees Min 12th Ave. = 5 trees Min 600 Street = 6 trees Min 12th Ave. = 5 trees 6 trees cluster



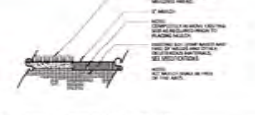
DATE: SUBMITTAL

THE ALDRIDGE
 1200 NW 8TH STREET - FORT LAUDERDALE, FLORIDA 33311

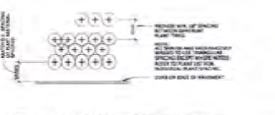
PLANT LIST AND CALCULATIONS
 DATE: 9/16/2024
 PROJECT #: 2336
 DRAWN BY: JH
 CHECKED BY: JH
 SCALE:
 REVISIONS:



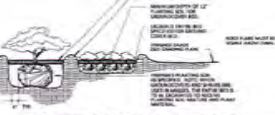
SHEET NUMBER
 LAPL-3



1 GRASS / MULCH EDGE DETAIL
SCALE: NTS



2 SHRUB AND GROUNDCOVER LAYOUT
SCALE: NTS



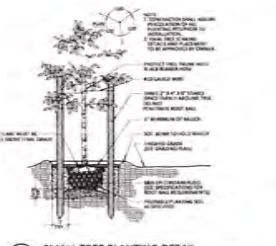
3 SHRUB / GROUNDCOVER PLANTING
SCALE: NTS



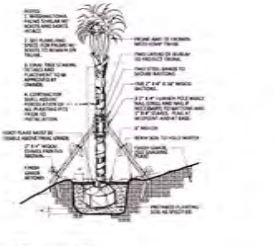
4 LARGE TREE PLANTING DETAIL
SCALE: NTS



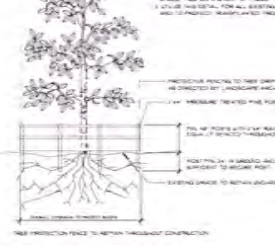
5 SMALL ORNAMENTAL TREE DETAIL
SCALE: NTS



6 SMALL TREE PLANTING DETAIL
SCALE: NTS



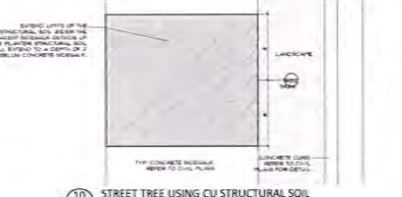
7 PALM DETAIL
SCALE: NTS



8 TREE PROTECTION FENCE
SCALE: NTS



9 WALKWAY / PLAZA PAVING ENLARGEMENT
SCALE: NTS



10 STREET TREE USING CU STRUCTURAL SOIL
SCALE: NTS

STRUCTURAL SOIL SPECIFICATION
(FROM CORNELL UNIVERSITY)

The structural soil material is designed as follows. The three components of the structural soil are mixed in the following proportions by weight, crushed stone: 100; clay loam: 20; hydrogen: 0.01. Total moisture at mixing should be 10% (ASHTO T-99 optimum moisture).

Crushed stone (granite or limestone) should be narrowly graded from 3/4 - 1 1/2 inch, highly angular with no fines. The clay loam should conform to the USDA soil classification system (sandy clay, and 20-30% silt 20-40%, clay 20-40%). Organic matter should range between 2% and 8%. The hydrogen, a polycarbonate propylene glycol copolymer is added in a small amount to act as a barrier, preventing separation of the stone and soil during mixing and installation. Mixing can be done on a paved surface using front end loaders. Typically the stone is spread in a layer, the dry hydrogen is spread evenly on top and the screened moist loam is the top layer. The entire pile is turned and mixed until a uniform blend is produced. The structure soil is then compacted and smoothed in 6 inch lifts.

The Urban Horticulture Institute continues to work on refining the specification for producing a structural soil material to make the system cost effective. It is patent pending and will be sold with the trademark "CU Soil" to insure quality control.

LANDSCAPE NOTES

- 1. THE WORK CONSISTS OF THE COMPLETE PLANT MATERIAL INSTALLATION ON THE DRAWINGS AND AS HEREIN SPECIFIED. THIS WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, THE SUPPLYING OF ALL PLANT MATERIAL SPECIFIED, THE FURNISHING OF LABOR, EQUIPMENT, APPLIANCES AND ALL MATERIALS CALLED FOR, AND IN PERFORMING ALL OPERATIONS IN CONNECTION WITH THE LANDSCAPE INSTALLATION ON THESE PLANS. FURTHER, THE WORK SHALL INCLUDE THE MAINTAINING OF ALL PLANTS AND PLANTING AREAS UNTIL ACCEPTANCE BY THE OWNER, AND THE FULFILLING OF ALL GUARANTEE PROVISIONS AS HEREIN SPECIFIED.
- 3. IN THE EVENT OF VARIATION BETWEEN THE PLANT LIST AND THE ACTUAL NUMBER OF PLANTS SHOWN ON THE PLANS, THE PLANS SHALL CONTROL.
- 4. PLANT MATERIALS WILL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AT THE JOB SITE PRIOR TO INSTALLATION. WHEN INSPECTION WORK DOES NOT COMPLY WITH THE REQUIREMENTS, REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL RESPECTED AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS FROM THE PLANTING SITE WITHIN 48 HOURS. AND REPLACE WITH ACCEPTABLE MATERIALS.
- 5. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. THE OWNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO DIRECT THE REMOVAL AND REPLACEMENT OF ANY ITEMS WHICH, IN HIS OPINION, DO NOT PRESENT AN ORDERLY AND REASONABLE NEAT OR WORKMANLIKE APPEARANCE, PROVIDED SUCH ITEMS CAN BE PROPERLY INSTALLED IN AN ORDERLY WAY BY TYPICAL INSTALLATION METHODS.
- 6. ALL PLANTING BEDS WITHIN FOOT RIGHT OF WAY SHALL BE MULCHED WITH 3" OF RECYCLED MULCH CERTIFIED BY THE MULCH AND SOIL COUNCIL (MSC). SUBMIT PROOF OF CERTIFICATION TO THE FOOT DISTRICT OPERATIONS PERMIT LANDSCAPE INSPECTOR UPON INSPECTION. ALL ON-SITE PLANTING BEDS SHALL BE MULCHED WITH 3" OF RECYCLED MULCH. NO RED COLORED MULCH WILL BE ACCEPTED.

- 7. ALL TREES 6" TALL OR LARGER SHALL BE STAKED AND GUYED WITH VERTICAL 2" X 2" PINE STAKES OR 4" DIAMETER POST IN DETAILS. NO DEVIATIONS UNLESS APPROVED IN WRITING.
- 8. PLANTING SOIL FOR ALL PLANT MATERIALS SHALL CONSIST OF TWO (2) PARTS OF TOPSOIL WITH ONE (1) PART PEAT MOSS AND .9 KG FERTILIZER PER CUBIC METER, WELL MIXED.
- 9. ALL PLANT MATERIALS SHALL BE WATERED BY THE CONTRACTOR THOROUGHLY WHEN PLANTED AND DURING THE PLANTING TIME PERIOD UP TO FINAL ACCEPTANCE BY OWNER.
- 10. PROVIDE NEW TOPSOIL FOR TURF IN ALL SOODED AND SEEDS AREAS. TOPSOIL SHALL BE FERTILE, BLACK IN COLOR, FRAGILE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 3 cm IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO SOIL GROWTH. OBTAIN TOPSOIL ONLY FROM NATURALLY WELL DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 10 cm. DO NOT OBTAIN FROM BOGS OR MARSHES. THE CONTRACTOR SHALL PROVIDE A SOILS TEST REPORT SHOWING pH AND NUTRIENTS - pH SHALL BE 5.5 TO 6.0. IF NOT THEN USE THE APPROPRIATE SOIL AMENDMENTS TO REACH 5.5 TO 6.0.
- 11. CONTRACTOR TO VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY DIGGING.
- 12. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICT OR DISCREPANCY IN PLANS PRIOR TO PERFORMING ANY WORK IN THE AFFECTED AREA.
- 13. CONTRACTOR SHALL CLEAN UP AND REMOVE FROM THE PREMISES ALL SURPLUS AND DISCARDED MATERIALS AND RUBBISH FROM HIS CONSTRUCTION.
- 14. ALL SHRUBS, GROUNDCOVERS, AND SOO SHALL BE GUARANTEED FOR NINETY (90) DAYS AFTER FINAL ACCEPTANCE BY OWNER. ALL TREES SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE BY OWNER.

- 15. FINAL INSPECTION WILL NOT TAKE PLACE UNTIL ALL MATERIALS ARE PLANTED/INSTALLED CORRECTLY. CONTRACTOR WILL REQUEST A FINAL INSPECTION BY WRITTEN LETTER TO OWNER.
- 16. UPON NOTICE OF FINAL ACCEPTANCE, THE OWNER WILL ASSUME MAINTENANCE AND THE GUARANTEE/WARRANTY PERIOD BEGINS.
- 17. ALL SOODED AREAS SHALL BE HAND WATERED UNTIL TURF IS ESTABLISHED.
- 18. CONTRACTOR INSTALLING THE PLANT MATERIAL AT THE SITE WILL BE RESPONSIBLE FOR MAINTAINING THE CONDITION AND HEALTH OF THE MATERIAL (AS DOCUMENTED IN THE PHOTOGRAPHS AT THE TIME OF INSPECTION) FROM THE TIME OF INSTALLATION TO THE TIME OF TURNING OVER THE PROJECT TO THE OWNER OR OPERATOR. IF THE CONTRACTOR FAILS TO MAINTAIN THE MATERIAL AS SPECIFIED, THAT PLANT MATERIAL WILL BE REPLACED.
- 20. REPLACE EXISTING SOO WHERE DAMAGED BY CONSTRUCTION ACTIVITIES.

ECOPLAN
LANDSCAPE ARCHITECTS

2002 NW 6TH STREET - FORT LAUDERDALE, FLORIDA 33311

THE ALDRIDGE

PLANTING DETAILS

DATE: 8/26/2014
PROJECT: # 2008
DESIGNED BY: JF
CHECKED BY: JF
SCALE:
REVISIONS:

SEAL:

Digitally signed
Date: 2014.08.26 14:58:01 -0400
CN: Jason F. Hampton
OU: ECOPLAN
C: ECOPLAN
E: Jason@ecoplan.com
O: ECOPLAN
OU: ECOPLAN
E: Jason@ecoplan.com

SHEET NUMBER: **LAPL-4**

N.W. 6th STREET



Photometric Calculation Software Generated Luminaire Schedule
Source: NORMAL MODE

Symbol	Qty	Label	Arrangement	Lum. Lumens	Air Lum. Lumens	LLP	Lum. Width	Air. Width
	7	S1	Single	2667	2667	0.900	18.0	18.0
	4	S2	Single	3779	3779	0.900	28	28
	4	S2E	Single	3779	3779	0.900	28	28

Calculation Summary
Source: NORMAL MODE

Label	CalcType	Units	Avg	Max	Min	Angle/ft	Max/Min
PARKING	Footcandle	Fc	4.28	14.8	2.8	4.75	13.00
PROPERTY LINE	Illuminance	Fc	0.05	0.5	0.0	N.A.	N.A.

LIGHT OUTPUT SUMMARY
Source: NORMAL MODE

Channel	Switched	Output	# Luma
S1	On	1.88	7
S2	On	1.50	4
S2E	On	1.50	4

ALDRIDGE LIGHTING FEATURE SCHEDULE

ITEM	DESCRIPTION	WPK	QTY	WATT	WATT	WATT	WATT	WATT	WATT	WATT	WATT	WATT	WATT	WATT	WATT
01	ADJUSTABLE SW WALL PACK	LM60	ADJUSTABLE	100-277	4800	2667	LED	18.0	18.0	WALL					
02	CANOPY LED LUMINAIRE	LP	CFL/LED/FLUO/IND	100-277	4800	3779	LED	28	28	SURFACE	NOTE 1				
03	CHOPPY LED LUMINAIRE IN BATTERY	LP	CFL/LED/FLUO/IND	100-277	4800	3779	LED	28	28	SURFACE	NOTE 1				

FEATURE SCHEDULE NOTES
1. IN-DOOR FIXTURES
FOR QUESTION PERTAINING TO THIS FEATURE SCHEDULE, PLEASE CONTACT QUOTE@LIGHTINGDYNAMICS.COM OR 854-944-0286



Notes section with small text.

NOTES

1	PHOTOMETRIC STUDY	04/30/24
No.	Revision/Issue	Date

LIGHTING DYNAMICS, INC.
7835 West Commercial Blvd.
Tamarac, FL 33351
(954) 944-0286
www.lightingdynamics.com

ALDRIDGE LIGHTING STUDY - NORMAL MODE
Fort Lauderdale, FL
PROJECT: 202404PR
STUDIO: MCG

Project	ALDRIDGE	Sheet	L1
Date	04/30/24	Author	ME
Scale	3/32" = 1'	Checked	

N.W. 6th STREET



Photometric Calculation Software Generated Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lum. Lumens	Adj. Lum. Lumens	LF/F	Lum. Width	Adj. Width
7	51	S1	Single	2667	2667	0.960	18.6	18.6
4	S2	Single	3776	3776	0.900	28	28	
4	S2E	Single	3776	3776	0.900	28	28	

Calculator Summary

Label	CalcType	Units	Avg	Max	Min	AngMin	MaxMin
PARKING - ORIGINLINE	Fc	Fc	1.48	2.8	0.1	16.00	26.00
PROPERTY LINE	Substance	Fc	0.00	0.1	0.0	N/A	N/A

LIGHT OUTPUT SUMMARY

Channel	Substnd	Output	# Lamps
S1	GF	1.08	7
S2	GF	1.00	4
S2E	GF	0.36	4

ALDRIDGE LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	WPS	CATALOG NUMBER	VOLTS	COLOR TEMP	LUMENS	LAMPS	WIRTS	SPACING	MOUNTING	REMARKS
S1	ADJUSTABLE BAY BALL PACK	LUMINA	HSPFLC25	100-277	4000K	2667	LED	18.6	0-10V	PAUL	
S2	CANOPY LED LUMINAIRE	AP	CPFLAMP18-28	100-277	4000K	3776	LED	28	0-10V	SURFACE	NOTE 1
S2E	CANOPY LED LUMINAIRE W/ BATTERY	AP	CPFLAMP18-28-EM	100-277	4000K	3776	LED	28	0-10V	SURFACE	NOTE 1

PHOTOMETRIC SCHEDULE NOTES

1. CLOSE FLOOR

FOR QUESTIONS REFERRED TO THE FILE NAME, PLEASE E-MAIL: CONTACT@LIGHTINGDYNAMICS.COM OR 954.644.0000



Notes

1	PHOTOMETRIC STUDY	1/4/2024
Rev	Revision/Date	Date

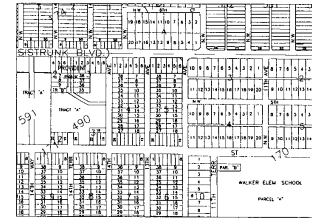
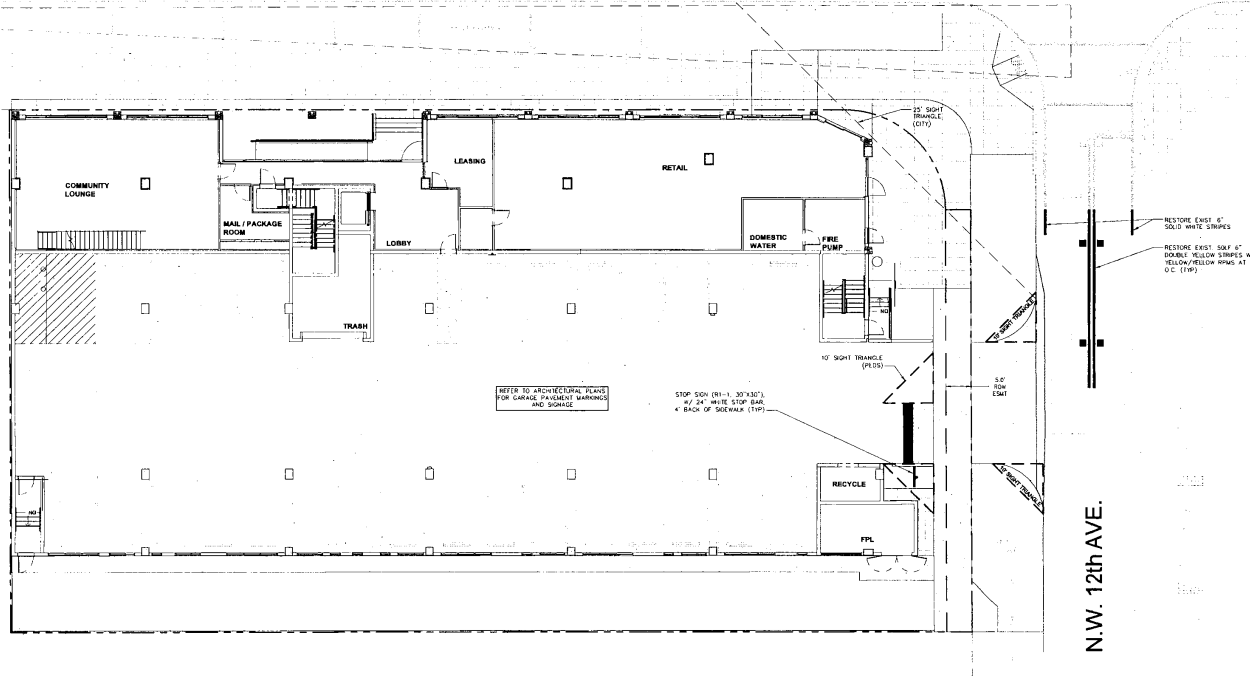
LIGHTING DYNAMICS, INC.
7315 West Commercial Blvd.
Tamarac, FL 33351
(954) 644-8286
www.lightingdynamics.com

ALDRIDGE
LIGHTING STUDY - EM MODE
Fort Lauderdale, FL

PROJECT/SUBAREA: STU010024
STUDIO MCG

Author	ALDRIDGE	L1E
Date	1/4/2024	
Scale	3/32" = 1"	

N.W. 6th STREET



LOCATION MAP

- LEGEND:**
- PROPOSED ELEVATION (NAVD)
 - EXISTING ELEVATION (NAVD)
 - PROPOSED CATCH BASIN
 - PROPOSED PLUG
 - TEE
 - WATER MAIN
 - 30" WATER MAIN
 - 18" REDUCED PRESSURE BACKFLOW PREVENTOR
 - DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
 - PROPOSED MANHOLE
 - WATER MAIN
 - SAFETY FORCE MAIN
 - VALVE
 - FIRE HYDRANT
 - SHARED CONNECTION
 - CLEANOUT
 - EDGE OF PROPOSED PAVEMENT (ASPHALT)
 - DIRECTION OF SURFACE DRAINAGE
 - SHARPE POINT
 - EXIST WATER MAIN
 - EXIST UTILITY LINE TO BE ABANDONED IN PLACE

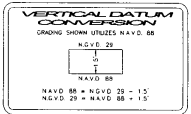
SIGNAGE AND MARKING NOTES:

1. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MARKINGS OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND B.C.T.E.D. STANDARDS (CURRENT EDITION).
2. ALL PAVEMENT MARKING AND SIGNAGE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO BROWARD COUNTY TRAFFIC ENGINEERING STANDARD (CURRENT EDITION).
3. REMOVAL OF PAVEMENT MARKINGS SHALL BE BY SAND OR HYDROBLASTING, AS REQUIRED BY B.C.T.E.D.
4. ALL PAVEMENT MARKINGS ON ASPHALT SHALL BE THERMOPLASTIC WITH THE EXCEPTION OF PARKING STALL STRIPING WHICH SHALL BE REGULAR PAINT.

N.W. 12th AVE.

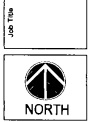
THE FOLLOWING ITEMS ARE NOT REVIEWED OR ACCEPTED BY BROWARD COUNTY

1. BROWARD COUNTY TRAFFIC ENGINEERING DIVISION'S REVIEW DOES NOT INCLUDE A REVIEW AND ACCEPTANCE OF THE PROJECT'S DESIGN OR OPERATION THESE ITEMS ARE TO BE REVIEWED AND APPROVED BY THE CITY ENGINEER
2. BROWARD COUNTY TRAFFIC ENGINEERING DIVISION DOES NOT REVIEW AND APPROVE, OR INSPECT AND ACCEPT THE FOLLOWING ITEMS FOR MAINTENANCE PAVEMENT MARKINGS ON OR ADJACENT TO PAVED BRICKS, PAINTED ASPHALT, STAMPED ASPHALT OR PAVEMENT MARKINGS MADE OF PAVED BRICKS, RAISED INTERSECTIONS AND RELATED MARKINGS AND SIGNING, UN-MARKETED MET-BLOCK CROSSWALKS AND RELATED MARKINGS AND SIGNING, UN-MARKETED CROSSWALKS AND RELATED MARKINGS AND SIGNING, PAINTED/DECORATIVE CROSSWALKS, RAISED CROSSWALKS AND RELATED MARKINGS AND SIGNING, BLANKET SIGNS, RECTANGULAR PAINTED SIGNAGE BEACONS AND RELATED MARKINGS AND SIGNING, ON-STREET PARKING AND RELATED MARKINGS AND SIGNING, IN-ROAD LIGHTING AND RELATED MARKINGS AND SIGNING, GREEN SHIRT LANE, FLEXIBLE, ISLANDS, ISLANDS, SIGNAGE, GREEN SHIRT LANES, TRAFFIC SIGNALS, TRAFFIC SIGNALS, DECORATIVE SIGNS AND DECORATIVE SIGN POSTS, PLANTERS, ON-SITE PAVEMENT MARKINGS AND SIGNING, OFF-SITE PAVEMENT MARKINGS AND SIGNING, IN-RIGHT-OF-WAY THAT IS NOT DEDICATED FOR PUBLIC USE, SIDEWALK MARKS OR ASPHALT WORK.
3. THE CITY ENGINEER IS RESPONSIBLE FOR THE REVIEW AND APPROVAL OF THE DESIGN AND OPERATION OF THE PROJECT AND FOR THE INSPECTION AND ACCEPTANCE OF THE FOLLOWING ITEMS THAT WILL BE MAINTAINED BY THE CITY: PAVEMENT MARKINGS ON OR ADJACENT TO PAVED BRICKS, PAINTED ASPHALT, STAMPED ASPHALT OR PAVEMENT MARKINGS MADE OF PAVED BRICKS, PAINTED ASPHALT, STAMPED ASPHALT OR PAVEMENT MARKINGS MADE OF PAVED BRICKS, RAISED INTERSECTIONS AND RELATED MARKINGS AND SIGNING, UN-MARKETED MET-BLOCK CROSSWALKS AND RELATED MARKINGS AND SIGNING, UN-MARKETED CROSSWALKS AND RELATED MARKINGS AND SIGNING, PAINTED/DECORATIVE CROSSWALKS, RAISED CROSSWALKS AND RELATED MARKINGS AND SIGNING, BLANKET SIGNS, RECTANGULAR PAINTED SIGNAGE BEACONS AND RELATED MARKINGS AND SIGNING, ON-STREET PARKING AND RELATED MARKINGS AND SIGNING, IN-ROAD LIGHTING AND RELATED MARKINGS AND SIGNING, GREEN SHIRT LANE, FLEXIBLE, ISLANDS, ISLANDS, SIGNAGE, GREEN SHIRT LANES, TRAFFIC SIGNALS, TRAFFIC SIGNALS, DECORATIVE SIGNS AND DECORATIVE SIGN POSTS, PLANTERS, ON-SITE PAVEMENT MARKINGS AND SIGNING, OFF-SITE PAVEMENT MARKINGS AND SIGNING, IN-RIGHT-OF-WAY THAT IS NOT DEDICATED FOR PUBLIC USE, SIDEWALK MARKS OR ASPHALT WORK.
4. ALL TRAFFIC CONTROL DEVICES THAT ARE MAINTAINED BY BROWARD COUNTY THAT ARE REMOVED OR DAMAGED BY CONSTRUCTION, SHALL BE REPLACED BY CONTRACTOR UNDER CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DESIGN STANDARDS.



Sheet Title
PAVEMENT MARKING & SIGNAGE PLAN

Job Title
THE ALDRIDGE
1000 S.W. 10TH AVENUE, SUITE 100
FORT LAUDERDALE, FL 33304-1011



Revisions

1	SMITH	REV 1
2	SMITH	REV 2
3	SMITH	REV 3
4		
5		
6		

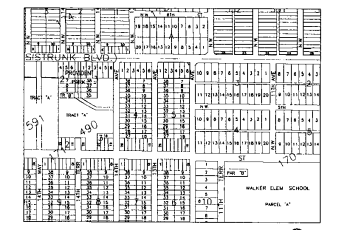
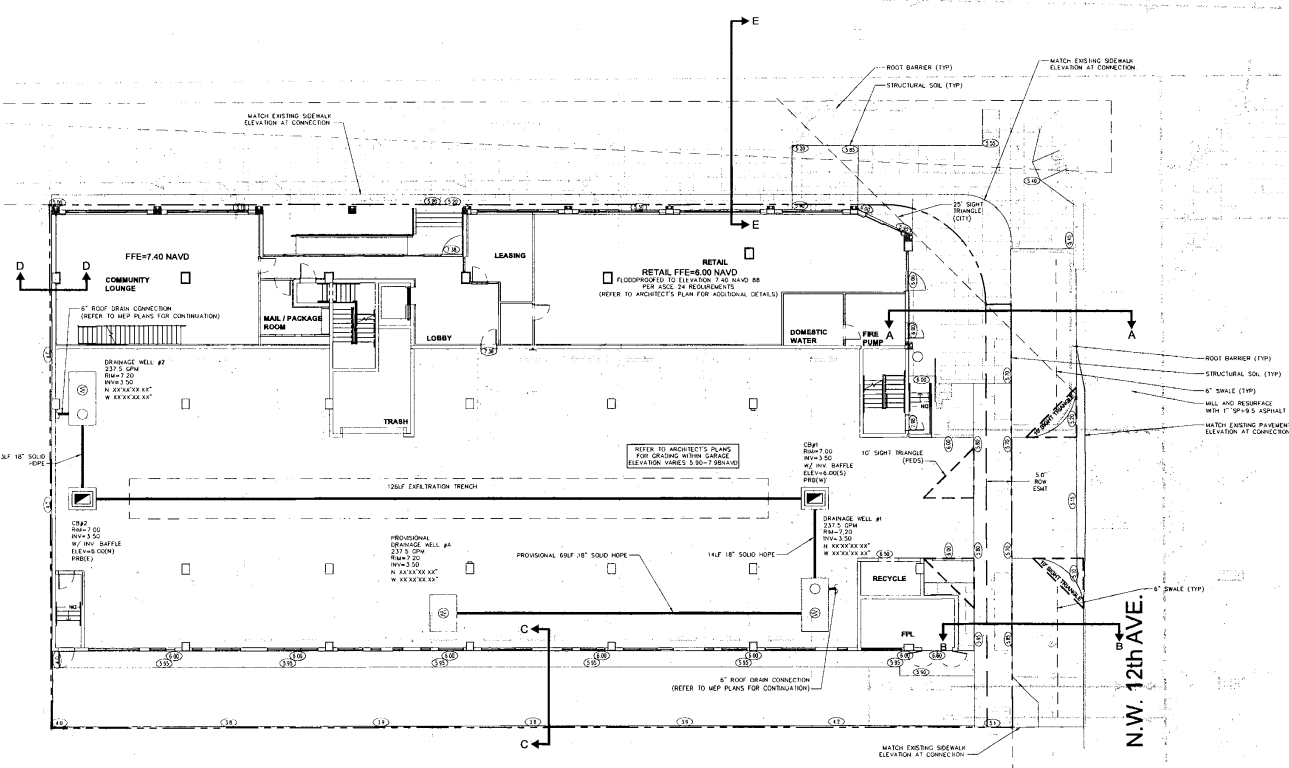
Printed
PERMIT
DOCUMENTS

SCALE

NSD	04/17/24
Scale	1"=10'
Job No.	23-171-00
Drawn By	SM
Checked By	SM
Scale	1"=10'
Sheet No.	C1
Total Sheets	1 of 11

N.W. 6th STREET

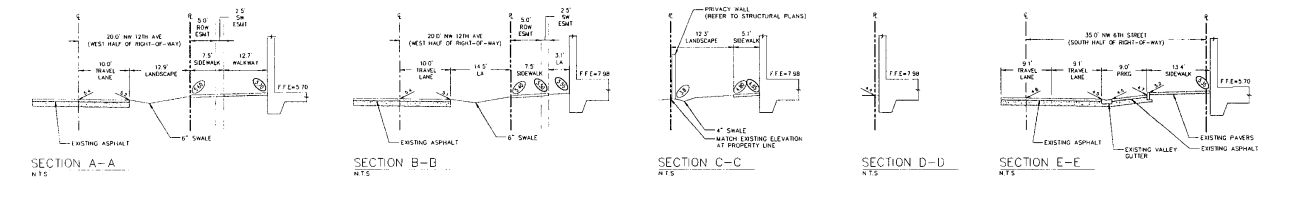
DRAINAGE LAMPING TO BE PERFORMED AND WITNESSED BY CITY INSPECTOR AND ENGINEER OF RECORD



- LEGEND:**
- (S) PROPOSED ELEVATION (NAVD)
 - (E) EXISTING ELEVATION (NAVD)
 - (C) PROPOSED CATCH BASIN
 - (V) VALVE
 - (F) FIBRE INTERENT
 - (S) SHARED CONNECTION
 - (T) TEE
 - (W) WATER SEWER
 - (D) DOUBLE DETECTOR CHECK W/ WATER CHECK VALVE ON DOWNSTREAM SIDE
 - (H) REDUCED PRESSURE BACKFLOW PREVENTION
 - (A) EXIST WATER MAIN
 - (- - -) EXIST UTILITY LINE AND GRAVITY SEWER
 - (X X X) TO BE ABANDONED IN PLACE
 - (M) PROPOSED MANHOLE
 - (FW) SANITARY FORCE MAIN
 - (V) VALVE
 - (F) FIBRE INTERENT
 - (S) SHARED CONNECTION
 - (T) TEE
 - (W) WATER SEWER
 - (D) DOUBLE DETECTOR CHECK W/ WATER CHECK VALVE ON DOWNSTREAM SIDE
 - (H) REDUCED PRESSURE BACKFLOW PREVENTION
 - (A) EXIST WATER MAIN
 - (- - -) EXIST UTILITY LINE AND GRAVITY SEWER
 - (X X X) TO BE ABANDONED IN PLACE

FLOOD ZONE - AT ELEV (5.0) BAND
 ON THE MAP FLOODING IS DATED DECEMBER 31, 2019
 BROWARD COUNTY FUTURE 100 YEAR
 3 DAY CONTINGENT ELEV (7.0) NAVD
 DESIGN FLOOD ELEVATION 100 YEAR 3 DAY STORM ELEV (7.40) NAVD
 AVERAGE WET SEASON WATER LEVEL = ELEV (3.5) NAVD

- GRADING AND DRAINAGE NOTES:**
- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF FORT LAUDERDALE.
 - BEFORE CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
 - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES AND SURVEY MARKERS.
 - ALL STORM DRAINAGE LINE FROM THE BLDG SHALL BE LAD 1/4" MINIMUM SLOPE UNLESS NOTED OTHERWISE ON PLANS.
 - CLEANOUTS ON STORM DRAINAGE LINES ARE TO BE ADJUSTED TO BE FLUSH W/PAVED GRADE.
 - CONTRACTOR SHALL PROVIDE FITTINGS, TEE'S, REDUCERS, ETC AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
 - LANDSCAPED AREAS SHALL BE GRADED TO DRAIN TO THE CATCH BASIN TRENCH FIELD ADJUST GRADING AS REQUIRED.
 - THE SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLANNING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALY).
 - RECYCLE OR CATCH BASIN AND YARD DRAIN GRABES SHALL BE INSTALLED SUCH THAT THE LONG END OF GRABER CAPABLES THE CLOSEST ADJACENT MAIN, BLDG, DRIVE, PAV, PROPERTY LINE, OR ROADWAY.
 - COORDINATE LOCATION IN FIELD OF ALL CATCH BASINS & YARD DRAINS WITH LANDSCAPE CONTRACTOR TO AVOID CONFLICTS.
 - CENTERLINE OF YARD DRAINS @ BASE OF DOWN SPOTS MUST ALIGN WITH CENTERLINE OF DOWN SPOTS PRIOR TO FINAL ACCEPTANCE BY OWNER. REFERENCE ARCH PLANS FOR EXACT LOCATION OF DOWN SPOTS.
 - SLOPE ON SIDEWALKS SHALL NOT EXCEED AN 8% SLOPE IN DIRECTION OF TRAVEL OR 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
 - SLOPE IN HANDICAP PARKING AND ACCESS AISLES SHALL NOT EXCEED 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
 - SLOPE IN CROSSWALKS SHALL NOT EXCEED 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
 - SURVEY INFORMATION BASED ON SURVEY PROVIDED BY SOMMERDE-SHERIN & ASSOCIATES, INC DATED JANUARY 13, 2017.
 - ELEVATIONS SHOWN ARE NAVD80.
 - FINAL FIN ELEVATIONS SHALL BE FIELD ADJUSTED TO MATCH SLOPE OF PROPOSED PAVEMENT.
 - FINAL FIN ELEVATIONS FOR THE DRAINAGE STRUCTURES WITHIN THE GARAGE TO BE BASED ON ARCHITECT'S GRADING PLAN.
 - ALL DRAINAGE WELLS TO BE DRILLED IN THE ORDER THAT THEY ARE NUMBERED ON PLANS UNLESS NOTED OTHERWISE. ALL DRAINAGE WELLS SHALL BE CONFINED WITH ENGINEER APPROVED COLLAR DRAINAGE WELLS CONTRACTOR RESPONSIBLE FOR ALLOWING ACCESS AND CLEARANCE FOR DRILLING OF ALL DRAINAGE WELLS UNLESS OTHERWISE NOTED.
 - ASPHALT PAVEMENT RESTORATION ON CITY RIGHT-OF-WAY MUST BE PERFORMED BY A LICENSED ENGINEERING CONTRACTOR OR PAVING CONTRACTOR IN BROWARD COUNTY.



CALL 48 HOURS BEFORE YOU DIG IN FLORIDA

IT'S THE LAW
 811
 SUNSHINE STATE ONE CALL OF FLORIDA, INC

VERTICAL DATUM
 GRADING SHOWN UTILIZES NAVD 86
 M.G.V.D. 29
 NAVD 88
 NAVD 88 + NAVD 29 = 1.5
 NAVD 88 + NAVD 88 = 1.5

Scale	1"=10'	Date	04/22/24
Sheet No.	22-171.00	Rev	02
Drawn by	AS	Sheet No.	C2
Proj. No.	22-171.00	Scale	1"=10'
Drawn by	AS	Scale	1"=10'
Proj. No.	22-171.00	Scale	1"=10'
Drawn by	AS	Scale	1"=10'
Proj. No.	22-171.00	Scale	1"=10'
Drawn by	AS	Scale	1"=10'

FLYNN
 ENGINEERING & ARCHITECTURE
 141 COMMERCIAL BLDG. - FORT LAUDERDALE, FL 33304
 PHONE: (954) 341-1111 FAX: (954) 341-1112
 WWW.FLYNN-ENG.COM

PAVING, GRADING & DRAINAGE PLAN

THE ALDRIDGE
 200A SISTRUNK BOULEVARD
 FORT LAUDERDALE, FLORIDA 33011



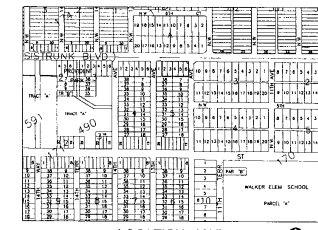
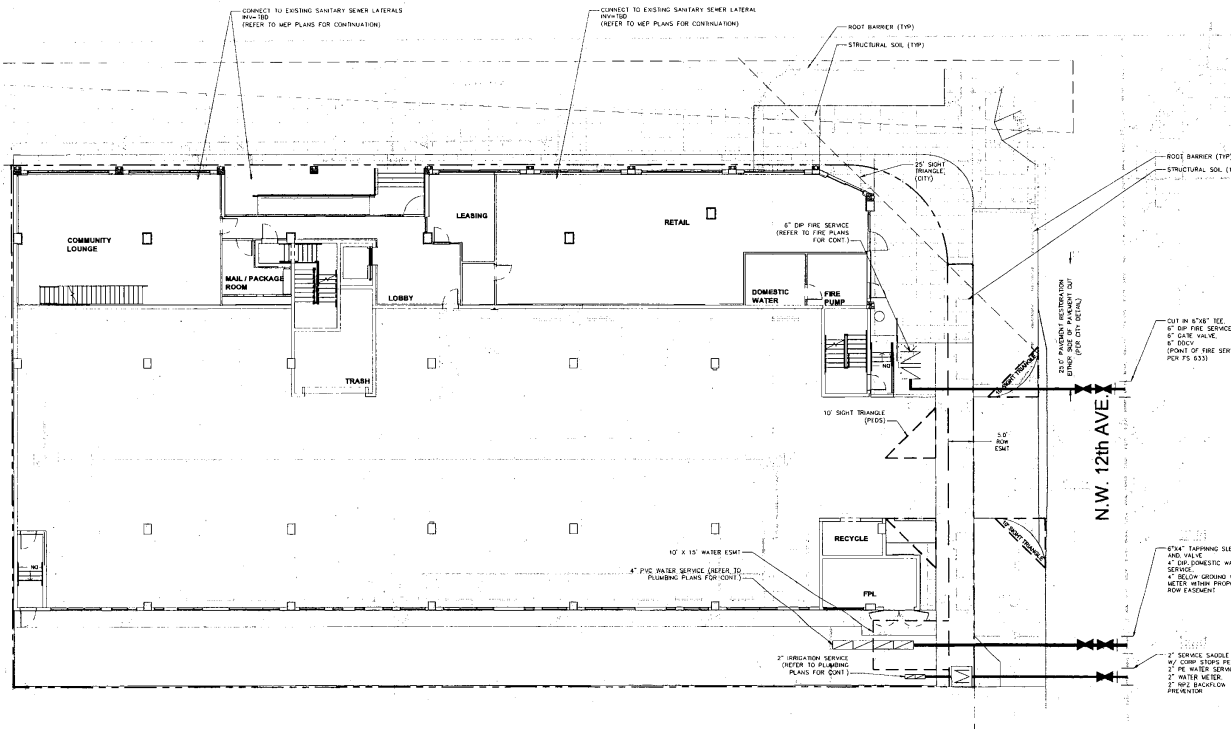
Revisions

NO.	DATE	BY	REVISION
1	04/22/24	AS	REV 1
2	04/22/24	AS	REV 2
3	04/22/24	AS	REV 3
4	04/22/24	AS	REV 4
5	04/22/24	AS	REV 5

PROJ. NO. 22-171.00
 SHEET NO. C2

SCALE: 1"=10'
 DATE: 04/22/24
 SHEET NO.: C2
 PROJECT NO.: 22-171.00
 DRAWN BY: AS
 CHECKED BY: [blank]
 PROJECT NO.: 22-171.00
 SHEET NO.: C2

N.W. 6th STREET



- LEGEND:**
- PROPOSED ELEVATION (NAVD)
 - EXISTING ELEVATION (NAVD)
 - PROPOSED CATCH BASIN
 - PROPOSED PLUG
 - TEE
 - WATER METER
 - DOUBLE DETECTOR CHECK W/ WATER CHECKER ON DOWNSTREAM SIDE
 - REDUCED PRESSURE BACKFLOW PREVENTER
 - UNIDIRECTIONAL FLOW ARROW AND GRAVITY SEWER
 - PROPOSED MANHOLE
 - WATER MAIN
 - FM - SANITARY FORCE MAIN
 - VALVE
 - FIRE INTERLOCK
 - SHARED CONNECTION
 - CLEANOUT
 - EDGE OF PROPOSED PAVEMENT (ASPHALT)
 - EDGE OF SURFACE DRAINAGE
 - SAMPLE POINT
 - EXIST WATER MAIN
 - EXIST UTILITY LINE TO BE ABANDONED IN PLACE

WATER AND SEWER NOTES:

1. CONTRACTOR SHALL PROVIDE FITTINGS, LINES, TEE, REDUCERS, ETC. AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
2. CONTRACTOR SHALL PROVIDE ANY EASEMENT DOCUMENTATION, AROUND WHIC BACKFLOW PREVENTORS, MANHOLE METERS, ETC. AS REQUIRED BY THE CITY SO THAT THE OWNER MAY RECORD ANY EASEMENTS WITH THE CITY. CONTRACTOR'S SUPERVISOR MUST COORDINATE WITH THE CITY AND PROVIDE ALL NECESSARY EASEMENT DOCUMENTATION TO THE OWNER. THE OWNER MUST THEN PROVIDE ALL RECORDED UTILITY EASEMENT DOCUMENTS TO THE CITY PRIOR TO FINAL ACCEPTANCE.
3. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT. ANY WATER MAIN CONNECTIONS, UTILITY CONNECTIONS AND SCHEDULE MUST BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION. THE CONTRACTOR IS REQUIRED TO PAY FOR ALL COSTS ASSOCIATED WITH THIS WORK REGARDLESS OF WHETHER OR NOT THE UTILITY OR THE CONTRACTOR PERFORMS THE WORK.
4. SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND GROUND LINES (VERTICALLY AND HORIZONTALLY).
5. ALL S/S MAINS TO BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BOXES, COLLECTRS, ETC. ALL S/S MAINS MUST BE LOCATED 5' FROM TREES. F.P.'S MUST HAVE A 7.5' CLEAR ANCHOR FROM ALL OBSTRUCTIONS.
6. PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE FORD, CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT, AND FLYNN ENGINEERING SERVICES STANDARDS.
7. 18" VERTICAL CLEARANCE PREFERRED FOR ALL UTILITY CROSSINGS. MINIMUM OF 12" REQUIRED FOR MAINS, SIDEWALKS AND DRIVEWAY CROSSINGS. CONTRACTOR SHALL CALL 811 AND LOCATE UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY PROVIDER OF ANY DISCREPANCIES. ALL SANITARY SEWER LATERALS SHALL CROSS UNDER WATER MAINS WHERE APPLICABLE. IF WATER MAIN MUST CROSS BELOW THE SEWER A MINIMUM OF 18" SEPARATION SHALL BE PROVIDED. A 30 FOOT SECTION OF DOUBLE IRON PIPE WATER MAIN CENTER CROSSING IS REQUIRED IF LESS THAN 18" VERTICAL SEPARATION OCCURS BETWEEN SEWER AND WATER MAIN.
8. ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE CARRIED OFF AT THE POINT NEAREST TO THE UTILITIES OR OTHERWISE ELSE THAT THE MAIN IS SERVICE. NOTIFY THE ENGINEER OF RECORD BEFORE REMOVING ANY UTILITIES THAT ARE CURRENTLY IN SERVICE. THE CONTRACTOR SHALL NOT REMOVE ANY UTILITY SERVICE TO AN EXISTING BUILDING THAT HAS MAINS AND SHALL STOP AND COMPLETELY REMOVE AND/OR ABANDON ANY UTILITY SERVICE THAT IS NO LONGER REQUIRED. THE CONTRACTOR SHALL NOTIFY AND CONSULT THE ENGINEER OF RECORD PRIOR TO REMOVING ANY LINES.
9. CONTRACTOR SHALL VERIFY EXISTING WATER MAIN LOCATION AND ELEVATION AND NOTIFY THE ENGINEER OF ANY DIFFERENCE FROM THE DESIGN PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
10. CLEANOUTS AND MANHOLES ON SANITARY LINES ARE TO BE ADJUSTED TO BE FLOTH WITH FINISHED GRADE.
11. PROPOSED FIRE LINES (IE MAINS, SERVICES, SHARED CONNECTION LINES, ETC.) TO BE INSTALLED BY A STATE LICENSED FIRE LINE CONTRACTOR PER F.S. 633.
12. FIRE LINES TO BE INSPECTED BY A CERTIFIED FIRE LINE INSPECTOR.
13. STATE LICENSED FIRE LINE CONTRACTOR UPON COMPLETION OF REQUIRED TESTING SHALL ISSUE A LICENSED UNDERGROUND TEST CERTIFICATE PRIOR TO ACCEPTANCE FOR PLACING FIRE LINE INTO SERVICE.
14. CORING INTO EXISTING MANHOLE MAY RESULT IN COMPLETE RECONSTRUCTION OF EXISTING MANHOLE AT CONTRACTOR'S EXPENSE IF MANHOLE IS IN A DETERIORATED CONDITION.
15. ON-SITE MANHOLES TO HAVE STANDARD SANITARY SEWER LIST 400 COVER.
16. THE MANHOLE COVER DEPTHS FOR PVC AND DIP SEWER MAINS ARE RESPECTIVELY 36 INCHES AND 30 INCHES.
17. EXFILTRATION TESTING AND LAMPING OF THE GRAVITY SEWER SHALL BE COORDINATED BY THE CONTRACTOR PRIOR TO THE COMPLETION OF THE PROJECT.
18. ALL WATER AND SEWER WORK IN THE PUBLIC RIGHT-OF-WAY, PRIVATE THOROUGHFARES OR UTILITY EASEMENT MUST BE PERFORMED BY A LICENSED ENGINEERING CONTRACTOR OR CERTIFIED UNDERGROUND UTILITY AND EXCAVATION CONTRACTOR IN BROWARD COUNTY.
19. FINAL SEWER MANHOLE RISE ELEVATIONS SHALL BE ADJUSTED TO MATCH FINAL PAVEMENT ELEVATIONS AND MATCH PAVEMENT SLOPE AS APPLICABLE.

PUMP STATION START UP, EXFILTRATION TESTING, LAMPING, AND VIDEO SURVEY OF SANITARY SEWER TO BE PERFORMED AND WITNESSED BY CITY INSPECTOR. PRESSURE TESTING AND CANNON FLUSH OF WATER MAIN TO BE PERFORMED AND WITNESSED BY CITY INSPECTOR.

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA

IT'S THE LAW 811
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

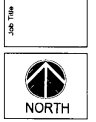
VERTICAL DATUM CONVERSION
GRADING SHOWN UTILIZED NAVD 88

NAVD 29	+	0.00	=	NAVD 88
NAVD 88	-	NAVD 29 = 1.5'		
NAVD 29	-	NAVD 88 = 1.5'		



Sheet Title
WATER & SEWER PLAN

THE ALDRIDGE
2004 US HIGHWAY 90, SUITE 100
FORT LAUDERDALE, FL 33304



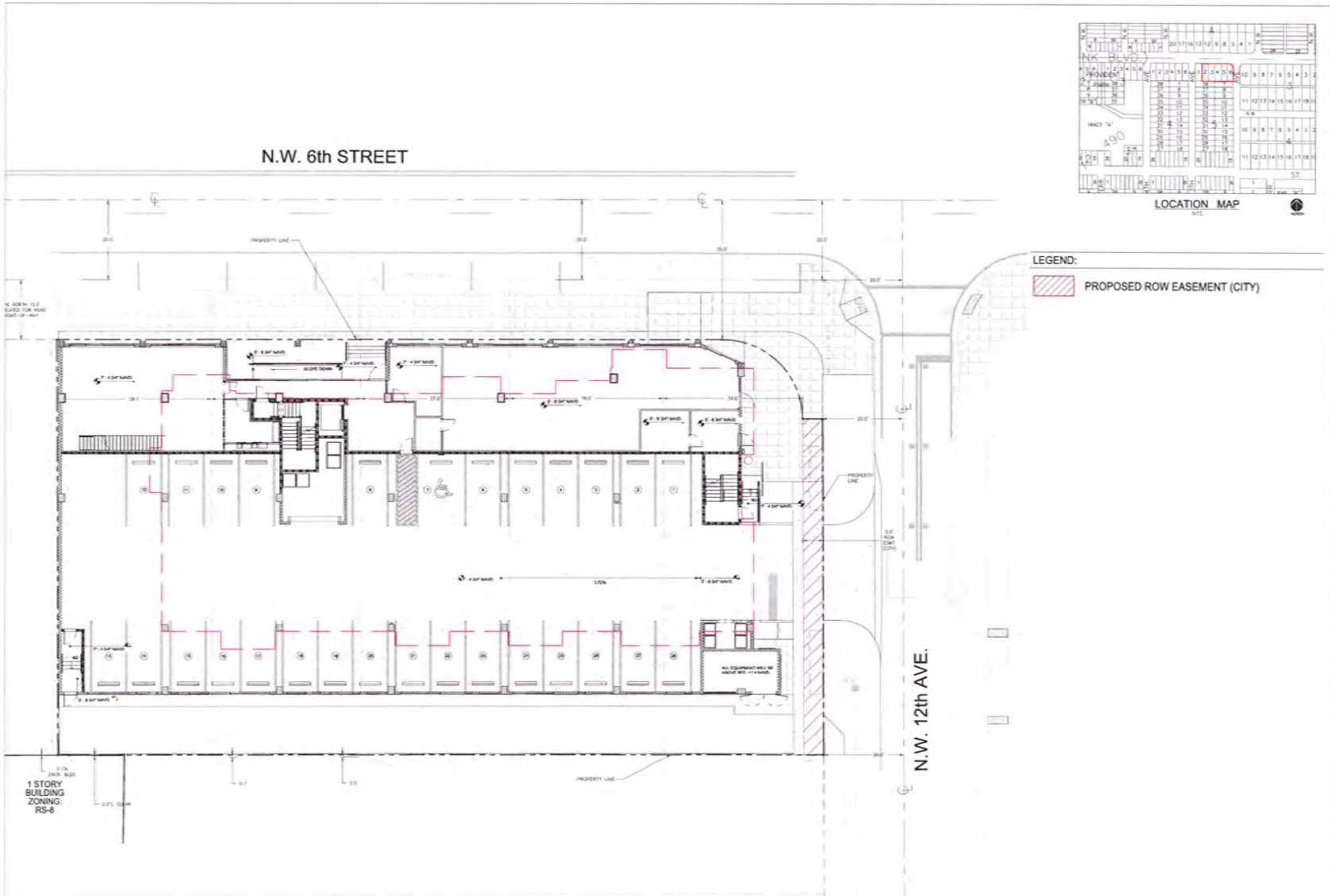
Revisions

1	1/27/21	REV 1
2	1/28/21	REV 2
3	1/28/21	REV 3
4		
5		
6		
7		
8		
9		
10		

Project
PERMIT DOCUMENTS

Scale

Scale	Date
1"=10'	04/12/24
3/8"=1'	04/12/24
2 1/2"=171.00'	11/25/24
Drawn by	Sheet No.
445	C3
Plot by	SWS
Rev. by	
SAC	3 of 11



Sheet Title
**RIGHT OF WAY
 EASEMENT EXHIBIT**

Job Title
THE ALDRIDGE
 1204 SUSTEMAN BOULEVARD
 FORT LAUDERDALE, FLORIDA 33311

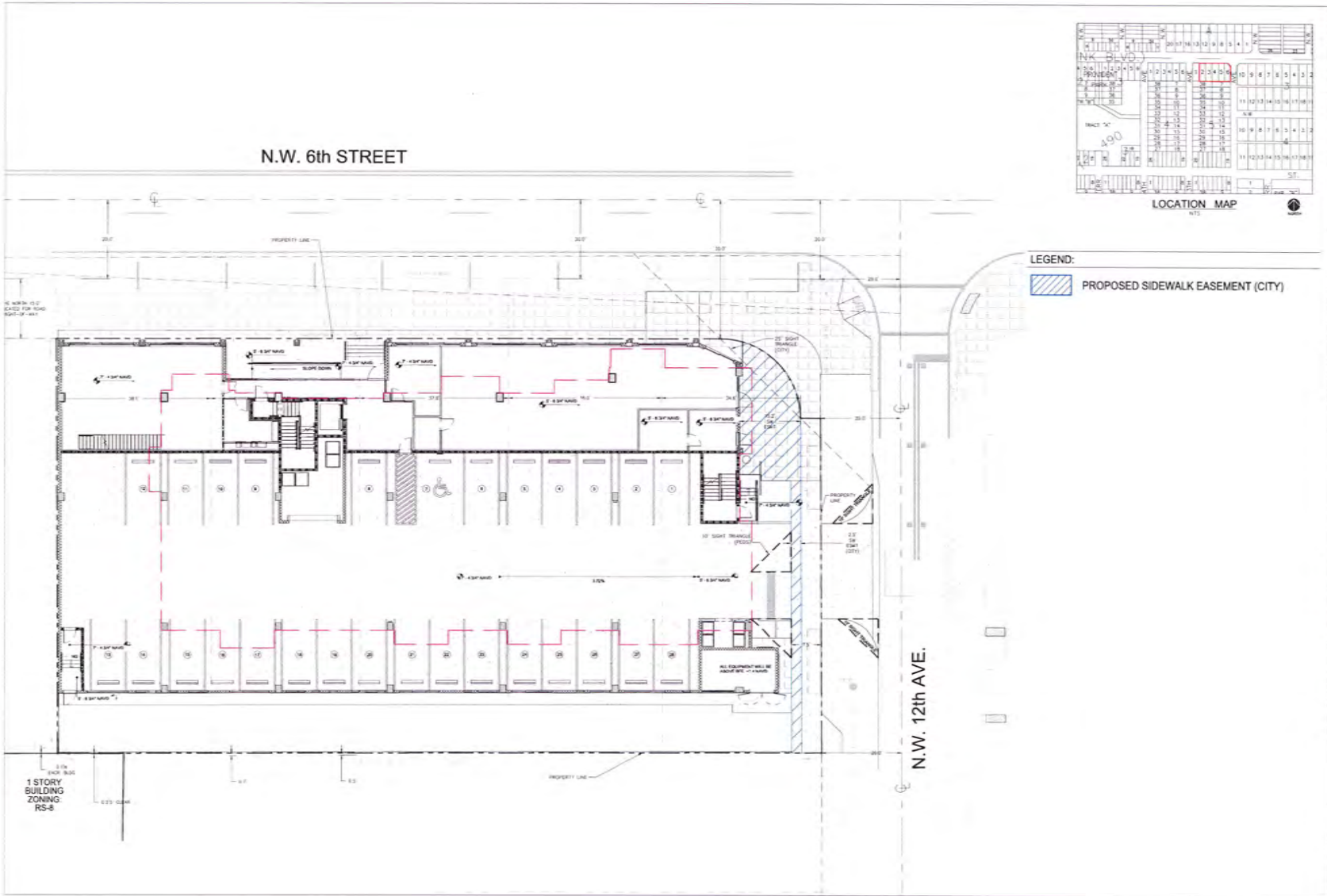


Revision	By	Date
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2
3
4
5
6
7
8
9
10

Project
 ENGINEERING DOCUMENTS

SEAL

Scale	1"=20'	Date	06/12/24
Job No.	23-1173-01	Rev. No.	01
Drawn By	...	Check By	...
Proj. No.	...	Sheet No.	X1
Plot No.	...	Total	1 of 1



Sheet Title
SIDEWALK EASEMENT EXHIBIT

Job Title
THE ALDRIDGE
 1704 WESTBANK BOULEVARD
 FORT LAUDERDALE, FLORIDA 33311



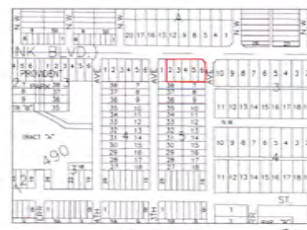
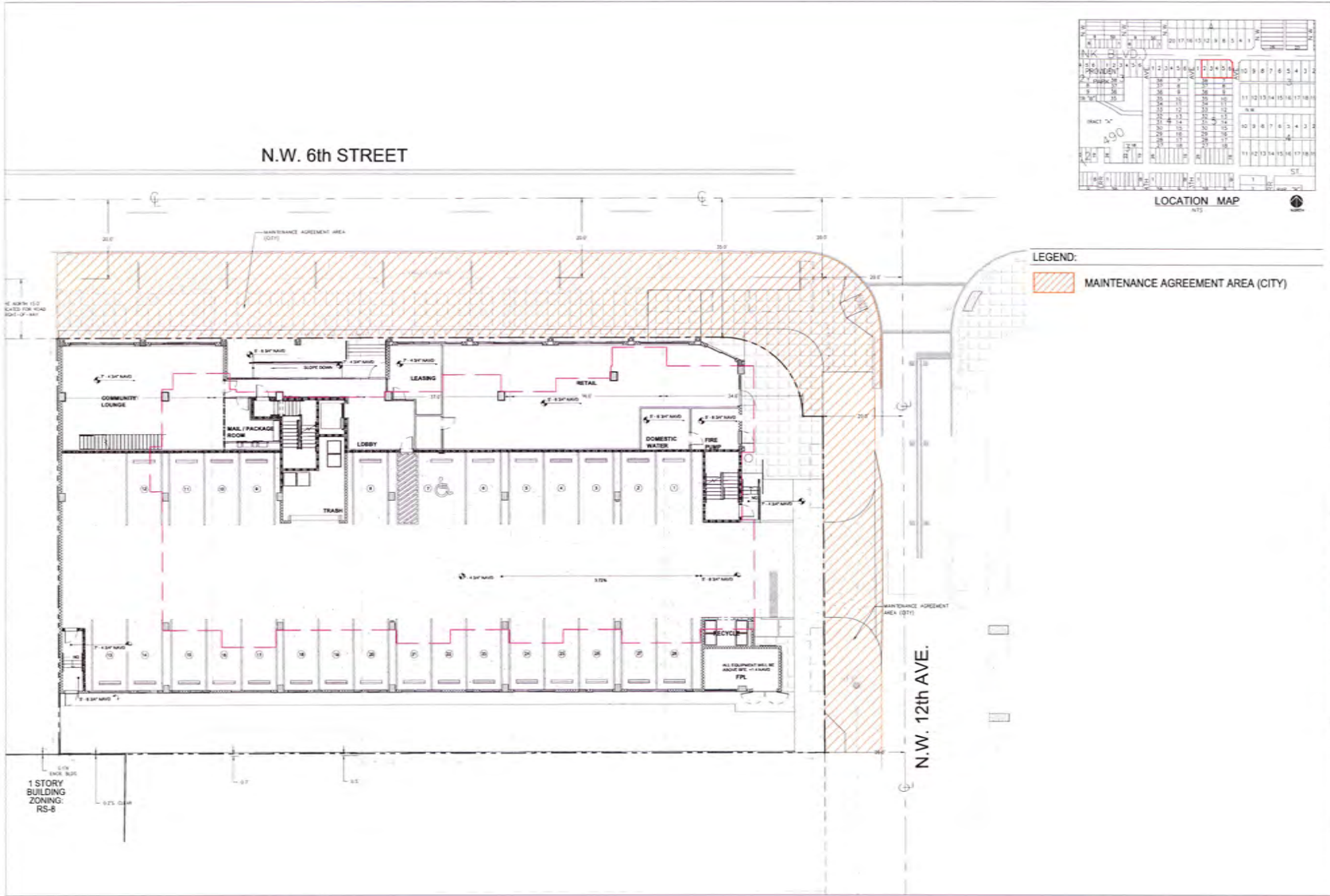
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4	11/12/24
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7	11/12/24
8	11/12/24
9	11/12/24
10	11/12/24

Phone:
 800:
DOCUMENTS

SCALE

Copy	Date
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2	11/12/24
3	11/12/24
4	11/12/24
5	11/12/24
6	11/12/24
7	11/12/24
8	11/12/24
9	11/12/24
10	11/12/24

X2



LEGEND:
 MAINTENANCE AGREEMENT AREA (CITY)



Sheet Title
MAINTENANCE AGREEMENT EXHIBIT

Job Title
THE ALDRIDGE
 12TH DISTRICT HIGHLAND AVENUE
 FORT LAUDERDALE, FLORIDA 33311



Revisions

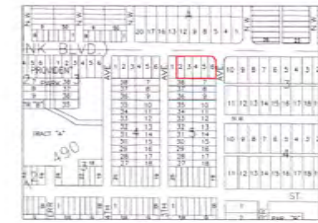
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3	01/12/24	01
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5		
6		

Phone
 e-MAIL
 DOCUMENTS

SEAL

Scale	Date
1"=20'	01/12/24
Job No.	Job Date
23-0775-01	01/02/24
Drawn by	Sheet No.
025	
Proj. No.	X3
SHC	
App. No.	
SHC	1 of 1

N.W. 6th STREET



LEGEND:

- OPEN SPACE AREA
- OPEN SPACE (PERVIOUS)
- OPEN SPACE (PERVIOUS IN RIGHT-OF-WAY)

OPEN SPACE - PROVIDED & REQUIRED

	REQUIRED	PROVIDED
USE DRESS LUG AREA (20,258 SF)	2,338 SF	3,843 SF
		+1,485 SF SURPLUS
OPEN SPACE (AT DRESS) 428 SQ.	943 SF	3,880 SF

PERVIOUS LANDSCAPE AREA - PROVIDED & REQUIRED

	REQUIRED	PROVIDED
TOTAL PERVIOUS LANDSCAPE AREA IN OPEN SPACE (228 OF 943 SF)	236 SF	3,363 SF
		+3,067 SF SURPLUS
PERVIOUS LANDSCAPE AREA AT-GRADE	2,369 SF	
PERVIOUS LANDSCAPE AREA BELOW GROUND	814 SF	



Sheet Title
OPEN SPACE EXHIBIT

Job Title
THE ALDRIDGE
104 WESTBANK BOULEVARD
FORT LAUDERDALE, FLORIDA 33311

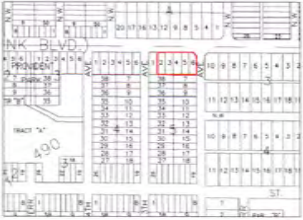
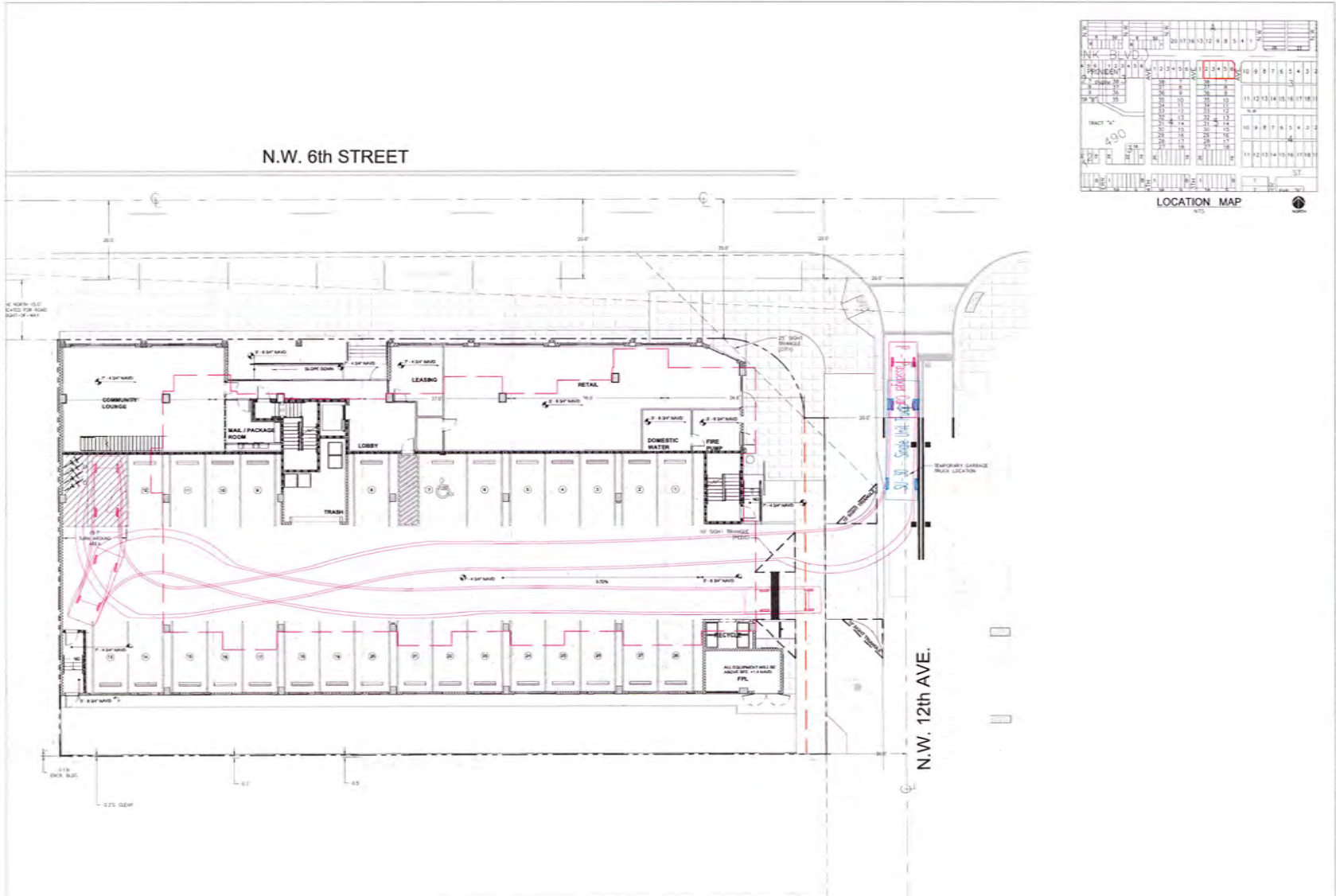


Revisions	By	Date
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8	SHC	04/11/2024
9	SHC	04/11/2024
10	SHC	04/11/2024

Provide
SHC
DOCUMENTS

SEAL

Scale	Date
1" = 20'	04/11/2024
1/8" = 1'	04/11/2024
1/4" = 2'	04/11/2024
3/8" = 3'	04/11/2024
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15" = 150'	04/11/2024
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50" = 500'	04/11/2024
60" = 600'	04/11/2024
80" = 800'	04/11/2024
100" = 1000'	04/11/2024



Sheet Title
CIRCULATION EXHIBIT

Project Title
THE ALDRIDGE
1204 BIRTEMAN BOULEVARD
FORT LAUDERDALE, FLORIDA 33311



NO.	DATE	BY

Phase
CIRC
DOCUMENTS

Scale	1" = 20'
Date	04/12/24
Drawn by	SHS
Checked by	SHS
Project No.	23-1719-00
Sheet No.	X5
Scale	1 x 1