

RELOCATION AGREEMENT

This Relocation Agreement (this "Agreement") is made and entered into on this 4 day of Jan, 2021 by and between the CITY OF FORT LAUDERDALE, a Florida municipal corporation ("City"), and COMCAST CABLE COMMUNICATIONS MANAGEMENT, LLC, a Delaware limited liability company ("Comcast"), each a "Party" and collectively the "Parties."

RECITALS

WHEREAS, the City has requested the relocation of certain facilities in connection with the Las Olas Relocation Project (hereinafter the "Relocation"). As part of the Relocation, the City and Comcast have agreed that the City will perform the Work required for the Relocation as based upon the terms and conditions outlined in this Agreement.

AGREEMENT

NOW, THEREFORE, in consideration of the foregoing recital(s) and the mutual acknowledgements, covenants, and promises contained herein, the Parties agree as follows:

1. Performance of Work.

1.01 The City, through its subcontractor, agrees to perform the necessary underground work with respect to the Relocation as set forth in **Exhibit A** (the "Work"). The City, through its subcontractor, shall perform the Work in accordance with the terms and conditions of this Relocation Agreement and any specifications provided to it by Comcast, such Specification being set forth in **Exhibit "A-1"**. To the extent Comcast, within ten (10) business days from the date City provides Comcast with a Notice of Completion of Work, as provided below identifies any deficiencies in the Work and provides written notice of such deficiencies ("Notice of Deficiencies") as provided in Paragraph 1.03 below the City, through its subcontractor, shall, at Comcast's request re-perform the Work or cure the deficiencies at its sole cost and expense.

1.02 Phasing. Solely for the purposes of establishing an orderly process of Work notice of completion, notice of deficiencies and notice of acceptance the Project Work area is divided into seven (7) Phases in accordance with the Avenues, Isles and Drives ("Isles") (See **Exhibit "A"**) constituting the following:

Mola Avenue/Isle of Capri	Phase 1
Bontana Avenue	Phase 2
Coconut Isle	Phase 3
Lido Drive	Phase 4
San Marco Drive	Phase 5

Royal Palm Drive
Isle of Palms

Phase 6
Phase 7

1.03 City Notice of Completion of Work. Upon completion of the Work, City shall provide Comcast with a written Notice of Completion of Work as to each Phase. Notwithstanding the foregoing, Comcast shall not be required to perform its obligations hereunder until all the seven (7) Phases are complete and approved by Comcast.

1.04 Comcast Notice of Deficiencies. Thereafter, Comcast shall have ten (10) business days from receipt of the Notice of Completion of Work to review the Work as to the subject Phase for the purposes of identifying any deficiencies from (i) The Scope of Work identified in **Exhibit "A"** attached hereto and (ii) Specifications as set forth in **Exhibit "A-1"** to provide a Notice of Deficiencies to the City as to any deficiencies within the Work for the subject Phase. In the event Comcast fails to provide the written Notice of Deficiencies as to a subject Phase within ten (10) business days from receipt of City's Notice of Completion of Work, the Work as to the subject Phase shall be deemed "accepted" as to that subject Phase.

1.05 Comcast Notice of Acceptance. In the event Comcast does not discover any deficiencies in the Work within the subject Phase within the time allotted in Paragraph 1.04, it shall provide City with a Notice of Acceptance as to the subject Phase, and, from that point forward any future Discrepancies discovered shall be cured at Comcast's sole cost and expense.

1.06 Failure to timely provide a Notice of Acceptance. In the event Comcast fails to timely provide City with a Notice of Acceptance in accordance with the above, the subject Phase is deemed to have been accepted by Comcast, and, from that point forward any future deficiencies discovered shall be cured at Comcast's sole cost and expense.

1.07 Request for Extension of Time. For good cause shown, either party may, in good faith, request an extension of time as to any of the timelines set forth in this Relocation Agreement, to be agreed upon by the other party. The parties agree to mutually, in good faith, give their respective best efforts to resolve extensions of time requests under this Relocation Agreement.

1.08 Notice of Extension of Time While Diligently Pursuing Cure. City, upon receipt of a Notice of Deficiency, shall have ten (10) business days to cure any noted deficiencies as to a subject Phase. In the event City is diligently pursuing a cure for the noted deficiencies, but the matter is not reasonably susceptible of cure within such ten (10) business day period, the City shall serve notice to Comcast that it is diligently pursuing such cure, but such cure is not reasonably susceptible of cure within the period

proscribed, then City shall have an additional fifteen (15) business day period within which to cure such noted deficiencies.

1.09 City Notice of Completion of Cure. Upon completion of the cure under the Notice of Deficiencies as set forth above, City shall provide Comcast with a Notice of Completion of Cure. Thereafter, the process set forth above shall be repeated until Comcast provides a Notice of Acceptance under Paragraph 1.05 or fails to timely provide a Notice of Acceptance under Paragraph 1.06.

1.10 The City represents and warrants that, in performing the Work, it shall obtain all necessary permits and comply with all codes, laws, rules and regulations related to the performance of the Work and that it and its employees and subcontractors are now, and will be at all times during the performance of this Agreement, licensed or authorized by all appropriate governmental and regulatory bodies to perform lawfully that portion of the Work required to be performed by licensed or governmental authorized personnel. Without limiting the foregoing, the City and any of its subcontractors shall comply with all applicable laws and take all safety measures that would be taken by a prudent contractor performing the type of work contemplated hereby, including without limitation, compliance in all respects with (i) all applicable utility requirements; (ii) rules, regulations and requirements of the Federal Communications Commission, Environmental Protection Agency, Department of Transportation and Federal Aviation Administration; (iii) the National Electric Code of the National Fire Protection Association; (iv) the National Electric Safety Code; (v) rules of the Occupational Safety and Health Administration; (vi) the Cable Communications Policy Act of 1984, as amended; (vii) the Telecommunications Act of 1996; (viii) requirements of any applicable utility company pole attachment or joint user agreements; (iv) requirements of all applicable franchises granted to Comcast; and (v) all Federal, state or local wage and hour laws.

1.11 The City warrants that its employees and subcontractors shall perform the Work using the degree of skill, care, and judgement consistent with customarily accepted good business practice and will have the training, experience and skill as reasonably necessary to perform the Work.

1.12 The City shall be solely responsible for its subcontractor's full and timely performance and the acts and omissions of its subcontractors shall be deemed and treated as the acts and omissions of the City itself. The City shall also be solely responsible for compensating its subcontractors. No subcontracting of the Work shall release the City from any of its obligations contained in this Agreement, and, subject to the terms and conditions set forth in Paragraph 4 Indemnification, the City shall remain fully liable for breaches of this Agreement by its subcontractor, as if the City performed such breach.

2. Relocation Costs.

Based upon the estimate provided by Comcast, attached hereto as Exhibit A, the total cost of the Work set forth in Section 2 is \$ 484,889.20 (Relocation Costs), which shall be paid for at 100% City expense. City agrees to pay Comcast as follows:

2.1 Payment.

The City shall pay the Relocation Costs prior to the start of work performed in the amount specified in Exhibit A within thirty (30) days upon receipt of invoice.

3. Term.

This Agreement shall commence on the date that FPL provides City with a Notice to Proceed under Section 3 of the Applicant-Installed Facilities Agreement (WR#6474572) ("Effective Date") (a copy of such Notice to Proceed shall be immediately furnished to Comcast upon City's receipt of same from FPL) and shall continue for one (1) year or until completion of the Work, whichever occurs last. In the event either Party breaches any provision of this Agreement and fails to cure such breach within thirty (30) calendar days of the non-breaching Party's written notice thereof, the non-breaching Party may terminate this Agreement upon written notice to the other Party and Comcast shall return the pro rata share of the unearned pre-paid \$484,859.20 to the City.

4. Indemnification.

For acts or omissions occurring during the course of the Work, each Party (the "Indemnifying Party") will indemnify and hold harmless the other Party, its parents, affiliates, subsidiaries and each of their officers, directors, and employees (each in such capacity, the "Indemnified Party"), from and against any third party claim or action (including all costs, expenses, losses and reasonable attorneys' fees) against the Indemnified Party based on or arising from (i) damages to any property or injury to or death of any person to the extent caused by the Indemnifying Party's negligence or willful misconduct, (ii) the breach or inaccuracy by the Indemnifying Party of any of its obligations, covenants, representations or warranties as set forth in this Agreement; and/or (iii) the Indemnifying Party's violations of applicable law; provided, however, as to the City, and indemnification of tortious acts or omission, this indemnification is given with reservation of all rights under Article VII, Section 10, Pledging Credit, Florida Constitution (1968) and further subject to the conditions and limitations set forth in § 768.28 (2020). This indemnification shall expire upon the running of the applicable statute of limitations for such breach, act of omission.

5. Limitation of Liability

EXCEPT FOR EACH PARTY'S INDEMNIFICATION OBLIGATIONS IN THIS AGREEMENT, IN NO EVENT WILL EITHER PARTY BE LIABLE TO THE OTHER PARTY FOR ANY INDIRECT, CONSEQUENTIAL, SPECIAL, INCIDENTAL, RELIANCE, OR PUNITIVE DAMAGES OF ANY KIND OR NATURE WHATSOEVER, INCLUDING BUT NOT LIMITED TO ANY LOST PROFITS, LOST REVENUES, LOST SAVINGS, OR HARM TO BUSINESS.

6. Notices.

All notices or reports required or permitted hereunder shall be delivered personally or by U.S. Mail, registered or certified mail, postage prepaid, or by a reputable overnight delivery service to the following addresses of the respective parties:

If to the City of Fort Lauderdale:

City of Fort Lauderdale
100 North Andrews Avenue
Fort Lauderdale, FL 33301

[Attn: Chris Lagerbloom, City Manager]

[Attn: Alan Dodd , Public Works Director]

If to the Company:

Comcast Cable Communications Management, LLC
1100 Northpoint Pkwy
West Palm Beach, Florida 33407
Attn:

With a copy to:

Comcast Cable Communications Management, LLC
One Comcast Center
1701 John F. Kennedy Boulevard
Philadelphia, PA 19103
Attn.: General Counsel
Email: Legal_Notices@comcast.com

7. Miscellaneous Provisions

7.1 Entire Agreement: This Agreement (including all exhibits hereto) constitutes the entire agreement between Comcast and City and shall supersede all prior agreements, written or verbal, regarding the subject matter hereof.

7.2 Amendments: Amendments or modifications to this Agreement shall be mutually agreed to in writing by the Parties.

7.3 Severability: If any section, subsection, sentence, paragraph, term, or provision hereof is determined to be illegal, invalid, or unconstitutional, by any court of competent jurisdiction or by any state or federal regulatory authority having jurisdiction thereof, such determination shall have no effect on the validity of any other section, subsection, sentence, paragraph, term or provision hereof, all of which will remain in full force and effect for the term hereof.

7.4 Assignment: Neither party will assign this Agreement without the prior written consent of the other party. Such consent will not be unreasonably withheld, conditioned or delayed. Notwithstanding the foregoing, COMCAST may assign this Agreement (i) to any affiliate or (ii) in connection with the sale of any cable system or sale of substantially all of the business or assets of COMCAST, in each case, to which the Project relates

7.5 Governing Law: This Agreement shall be governed by and interpreted and construed in accordance with the laws of the State of Florida.

7.6 Force Majeure: No Party (a "Frustrated Party") shall be liable to another Party (a "Non-Frustrated Party") for any failure to perform or delay in performance of its obligations under this Agreement to the extent caused by acts outside the reasonable control of the Frustrated Party, including but not limited to: acts of God, flood, earthquake, other natural disasters, strikes, fire, explosion or accident, riots, insurrection, war, terrorist attack, epidemic, pandemic, a government-declared state of emergency and any resulting government orders restricting business activity generally (a "Force Majeure Event"). The preceding sentence only shall relieve the Frustrated Party from its obligations herein if the Frustrated Party shall have taken reasonable actions to anticipate and avoid the occurrence of the Force Majeure Event. The Frustrated Party shall promptly notify the Non-Frustrated Party of the nature and extent of the Force Majeure Event, once known, and shall promptly implement a plan to mitigate the impact of the Force Majeure Event. The Frustrated Party's relief under this section shall remain in place only so long as the Force Majeure Event continues unmitigated; provided, that, if a delay or suspension of performance by the Frustrated Party exceeds thirty (30) days, then the Non-Frustrated Party shall have the right to terminate this Agreement by delivering written notice of termination specifying the date of termination.

/Volumes/FtL/CITY/FPL/Mola Undergrounding/Agreements/Comcast/06.03.21.A Comcast response to rbd clean.docx

[Remainder of page left intentionally blank]

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed by their duly authorized representatives on the day and year first above written.

COMCAST

**Comcast Cable Communications
Management, LLC, a foreign limited liability
company**

By:

Patrick O'Hare

Patrick O'Hare

V.P. Engineering, Florida Region

Date:

7/9/21

Luis C. Baters
(Type or print name)

Kathy Parker
(Type or print name)

STATE OF Florida :
COUNTY OF Palm Beach :

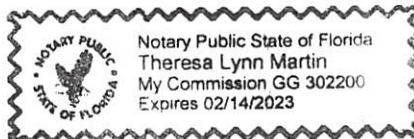
The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 9th day of July, 2021, by Patrick O'Hare, as V.P. Engineering, Florida Region of the Comcast Cable Communications Management, LLC, a foreign limited liability company on behalf of Comcast Cable Communications Management, LLC.

Theresa Lynn Martin
Notary Public signature

Theresa Lynn Martin
Name Typed, Printed or Stamped

Personally Known ☒ OR Produced Identification ☐

Type of Identification Produced _____



CITY

CITY OF FORT LAUDERDALE, A
MUNICIPAL CORPORATION OF THE STATE OF
FLORIDA

WITNESSES:

Scott Wyman
[Witness type or print name]

Donna Varisco
[Witness type or print name]

By: Dean J. Trantalis
Dean J. Trantalis, Mayor

By: Christopher J. Lagerbloom
Christopher J. Lagerbloom, ICMA-CM
City Manager

ATTEST:

Jeffery A. Modarelli
City Clerk



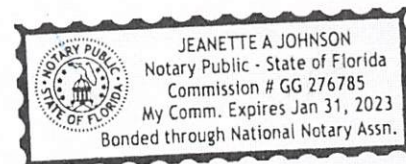
Approved as to form:
Alain E. Boileau, City Attorney

By: Alain E. Boileau

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online, this 4th
day of January, 2021, by DEAN J. TRANTALIS, Mayor of the City of Fort Lauderdale, a
municipal corporation of Florida on behalf of the City of Fort Lauderdale.

Jeanette A. Johnson
Notary Public, State of Florida
Jeanette A. Johnson
Name of Notary Typed, Printed or Stamped



Personally Known ☒ OR Produced Identification _____

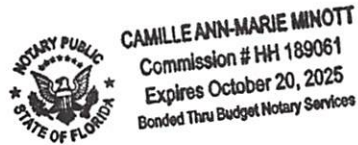
Type of Identification Produced _____

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this by means of ☒ physical presence or ☐ online, this 29th day of December, 2021, by CHRISTOPHER J. LAGERBLOOM, ICMA-CM, City Manager of the City of Fort Lauderdale, a municipal corporation of Florida on behalf of the City of Fort Lauderdale.

Camille Ann-Marie Minott
Notary Public, State of Florida

Camille Ann-Marie Minott
Name of Notary Typed, Printed or Stamped



Personally Known ☒ OR Produced Identification _____

Type of Identification Produced _____

CHANCELLER'S OFFICE
UNIVERSITY OF CALIFORNIA
EXP. DATE 10/1/80
RECEIVED THE FOLLOWING OFFICE



Exhibit A Scope of Work

Project Description: Las Olas Relocate Comcast Facilities

The City of Fort Lauderdale Responsibilities:

- The City will perform the underground trenching and installation of the conduit provided by Comcast, which is approximately 22,186 feet (4.2 miles) for the Comcast network based on the provided map in Exhibit B.
- The City will be solely responsible for the installation of the conduit provided by Comcast.
- The City will notify Comcast within ten (10) business days upon completion of the installation of the conduit and Comcast will have an additional ten (10) business days to inspect the conduit installation work.
- The City shall install conduit for laterals to each home (313 total homes) as part of a joint trench with other utilities.

Comcast Responsibilities:

- Comcast will provide the underground conduit to the City to be installed in the joint trench.
- Comcast shall own and maintain all the conduit, cable and equipment
- Comcast will perform and install, cable, equipment, splicing and activation after all conduit has been placed and fully inspected.

Reimbursement Costs

The City will reimburse Comcast for the relocation of its plant at a cost of \$484,889.20, prior to the start of work, within thirty (30) days upon receipt of invoice. Once payment is received and the underground conduit is in place, Comcast will begin the project. The total costs include all labor and materials to install Comcast's underground network and laterals.

EXHIBIT "A-1"

Comcast Standards and Specifications

Construction Specifications// Requirements Agreement for Las Olas - City Vendor

Underground

All Comcast facilities shall be placed in easements and right-of-way or as indicated on the construction plans. Construction plans specifying trench locations and depth shall be followed at all times or as indicated on the permit drawings. Comcast approval shall be required for any changes to construction plans.

- 1. Trench location shall be in as direct a line as possible from the distribution facility to distribution box or utility pole.**
- 2. The bed (bottom of the trench) shall have a uniform pitch and shall be solid and relatively smooth, or undisturbed earth, well tamped and free of any debris that may be detrimental to the conduit. Excavation shall be of a size that permits proper installation of conduit and hand holes, as required.**
- 3. Minimum burial depths specified for all Comcast conduits shall be maintained during all phases of construction.**
- 4. The minimum burial depth shall be thirty (36) inches or as indicated on the permit drawings. This is measured vertically from the final grade to the top of the conduit for all conduits. When conduit is to be located under roadway, cover shall be a minimum thirty-six (36) inches or as required by the permitting agency. Depth shall be measured from the top of the conduit to the top of the road surface.**
- 5. Adherence to OSHA, and/or and local, state and national codes or ordinances shall be maintained at all times.**
- 6. All areas disturbed by construction shall be restored to a condition equal to or better than that which existed before construction. Special care shall be taken to prevent damage to existing buried structures and facilities.**

Joint Trenches

The joint trench shall be excavated and backfilled to Comcast and other joint trench occupant's specifications. Customer owned fuel lines, including natural gas, oils and propane are not permitted in the joint trench. Water, sewer, sanitary or storm drain and other wet utility piping are not permitted in the joint trench. Non-Comcast facilities shall not be installed underneath of any Comcast equipment boxes or hand holes.

BEDDING

Three (3) inches of bedding is required in the bottom of all trenches. Bedding is defined as dirt, sand, or stone dust. Soil containing occasional rock 1" in diameter or less is acceptable.

CONDUIT

Depths to the top of conduit to final grade shall be a minimum thirty (30) inches of cover. In the event proper depth of conduit cannot be achieved or where foreign objects threaten to interfere with the installation of the conduit, a concrete protective cover of the conduit may be used. Written approval is required for the use of concrete protective cover. When conduit is located under roadways, cover shall be a minimum thirty six (36) inches. Depth shall be measured from top of conduit to the top of the road surface.

1. The number and size of the conduit for each application shall be installed as shown on the construction plan.
2. All conduits shall be gray or orange, electrical grade, rigid, Polyvinyl Chloride (PVC) Schedule 40 and shall be permanently marked at regular intervals with the manufacturer's name or symbol, size "SCH 40" and "PVC". Unless otherwise indicated on the construction plan.
3. All conduits shall be carefully aligned and laid to a uniform grade.
4. No conduit shall be installed which is cracked, damaged or contains any roughness which would injure or damage the cable jacket.
5. All joints shall be made with solvent cement in accordance with Comcast specifications.
6. Minimum radial separation between Comcast conduit and gas facilities shall be (40) inches. Comcast and FP&L shall be (40) inches.
7. Conduit shall enter hand holes, pedestal and next to utility poles as indicated in Comcast Typical Drawings.
8. Conduits shall be terminated with plugs in hand holes.
9. A polyolefin pull string, including five (5) feet of slack shall be installed in each conduit and secured to conduit plugs at each end. Pull (mule) tape shall be required in lieu of pull string in all pulls in excess of 300 feet.

CUTTING CONDUIT

A fine-tooth saw should be used to cut conduit. The conduit must be cut straight and cleaned of burrs.

SOLVENT CEMENT WELDING

- 1. Clear or gray regular bodied PVC cement may be used on the conduit four (4) inches and smaller in diameter.**
- 2. The chemicals used in solvent welding of conduit are intended to penetrate the surface of both the conduit and the fitting, which after curing result in a complete fusion at the joint. The over usage or under usage of such chemicals shall be avoided as such usage will result in leaky joints or a weakened conduit system.**
- 3. Inspect solvent cement container for date. Cement over 12 months old shall not be used.**
- 4. Surfaces to be cemented shall be cleaned by wiping off all dust, dirt, and moisture from these surfaces.**
- 5. With a non-synthetic bristle brush or dauber, apply an even coating of cement to the outside of the conduit and the inside of the socket. Make sure that the cement is applied to the entire depth of the socket. If some evaporation of solvent from the surface of the conduit is noted, reapply cement before assembling.**
- 6. It must be emphasized that dry joints where an insufficient coating of solvent cement is applied cause most joint failures or when solvent has evaporated due to high temperature conditions.**
- 7. Slip conduit straight into the fitting with a slight twist until it bottoms. Hold the joint for 15 seconds so that the conduit does not push out of the fitting. Do not twist or drive pipe after insertion is complete.**
- 8. Clean off any bead or excess cement that appears at the outer shoulder of the fitting. Excess cement allowed to remain in contact with the material can cause weakening of the material and subsequent failure.**

COVER

A minimum of three (3) inches of cover, measured to the top of the conduit is required to cover all conduits. Cover is defined as dirt, sand, or stone dust. Soil containing occasional rock 1" in diameter or less is acceptable. The material should fill the voids around the conduit.

Comcast orange "warning" tape shall be installed in the entire length of the trench directly over the conduit approximately 12 inches above the conduit.

BACKFILL

- 1. Spoils from the trench may be used if it is free of debris or other materials that may damage the conduit system or cause settling.**
- 2. Backfilling shall be accomplished in a continuous manner from one structure to the next and shall not be placed over any open ended (unplugged) conduits.**
- 3. All backfill shall be mechanically compacted to the density of the surrounding undisturbed soil by means available to prevent settling, Mechanical compaction shall not be used within twelve (12) inches of conduit.**

SWEEPS, COUPLING, END BELLS AND ADAPTERS

All sweeps, couplings, end bells and adapters shall be PVC, Schedule 40, gray and conform to the same specifications as the conduit. The sweeps may be factory made. The minimum radius for all sweeps three (3) inches and less in diameter is twenty (24) inches. The minimum radius for all four (4) inch diameter sweeps is thirty-six (36) inches. 45 degree sweeps with no elbows or bends.

PULL STRING/ TAPE

A polyline (polyolefin pull line that will not rust, rot or mildew) pull string, including five (5) feet of slack shall be installed in each conduit and secured to the conduit plugs at each end. The pull string will be used to pull in a bull (pulling) rope that will be required for the actual cable pull, Pull tape shall be required in lieu of pull string in all pulls in excess of 250 feet.

POLE RISER

Conduit riser locations on the pole shall be designated and shown on the construction plans. All riser shall be plugged above ground (12) inches at the base of the pole.

Directional Bore Spec's

Comcast will request the selected City vendor comply with and adhere to the following specifications for directional boring.

If applicable, the city's specifications to their vendor may supersede the Comcast specs as outlined below.

- 1. Prior to construction, submit the type and capacity of the drilling rig to be used on the project, include manufacturer, pullback and push torque. Contractor to verify that allowable pipe stresses of the pipe will not be exceeded by the drilling rig. Submit information on the type of locating and tracking system. In addition, submit type and capacity of mud mixing system. Include proposed composition of drilling fluid, viscosity, and density.**
- 2. Prior to construction, submit a drawing showing proposed crossing configuration, including entry and exit angles, radius of curvature, and entry and exit points. Drawings to include location and dimensions of the starting area at both entrance and exit pits. Also, include information on the diameter of the pilot hole and size and number of pre-reamers used for development of the borehole.**
- 3. Prior to construction, submit information on the method to address and mitigate obstruction problems during drilling, reaming, and potential problems of product pipe becoming stuck during pipe pull back, emergency procedures when drilling through existing underground utilities, or other events that lead to work stoppage. Procedures must comply with all regulations.**
- 4. Prior to construction, submit information on the method of slurry containment, method of recycling drilling fluids and spoils (if applicable), or method of containing drilling fluids or spoils and transporting drilling fluids and spoils off-site (including anticipated volume), and identify method and disposal site for drilling fluids and spoils. All material must be disposed in accordance with local, state, and federal regulations.**
- 5. Prior to construction, submit plan for cleanup and disposal of spills and fanouts (drilling fluids, hydraulic fluids) including measures to contain and clean the affected area. Include details for cleanup of surface seepage of drilling fluids and spoils. All material must be disposed in accordance with local, state, and federal regulations.**
- 6. Prior to construction, submit information on the method to address and mitigate collapse or subsidence of surface**

- roadways, adjacent utilities during drilling, reaming and installation of the pipe.
7. The Contractor shall maintain a logbook that includes driller notes and records for bores using steering and tracking system. Data will include pipe/conduit number, depth, pitch, steering commands, and notes. Log must also include rig performance parameters (thrust, pullback, torque, drilling fluid circulation, and drilling fluid composition), ground conditions, obstructions encountered, time shift started and ended, and footage during the shift). Logbook will include information on drilling fluid (composition, viscosity, density). This logbook must be available for review throughout the project and must be submitted to the Engineer and the Owner at completion of project.
 8. At the completion of the horizontal directional drilling, the bore log indicating the horizontal and vertical position at 10- or 20-foot intervals along the pipe /conduit to confirm conformance with the depth and line shown on the Drawings. This submittal shall include the type and manufacturer of tracking equipment used, date of most recent shop calibration record, and the method to ensure the data was captured.

1.3 QUALITY ASSURANCE:

- A. The horizontal directional drilling shall be performed by the drilling company who is experienced in the installation of communication pipelines utilizing the horizontal directional drilling method.

2.02 DIRECTIONAL BORING SYSTEM:

- A. City Vendor to provide a pneumatically or hydraulically operated, fluid assisted remote guided boring system capable of installing the pipe by trenchless methods per the Drawings without damage. The equipment shall be designed to provide accurate control of both the line and the grade of the boring head.
 1. Contractor to provide pumps, compressors, tools, and all equipment certified as suitable by the system manufacturer to install the new pipe without stressing or damaging the pipe.
 2. Contractor to provide a circulatory -recovery system that will recover the bentonite or other drilling fluids.
 3. Contractor to provide supply of water for mixing drilling fluid.

PART 1 - EXECUTION

1.01 PROTECTION

- A. The Contractor shall field verify the location and depth of all existing utilities, including service connections, to be paralleled or crossed prior to the start of directional drilling operations. The Contractor shall modify alignment, depth or grade as necessary to avoid utilities and minimize the number of peaks and valleys along the alignment.**
- B. The Contractor shall expose all utilities that they will be crossing with horizontal directional drilling. All major utilities (high pressure gas, fiber optic, high voltage electric, major pipelines, water and sewer lines, etc.) should be exposed every 100 feet at minimum, if parallel within 5 feet of excavation area to verify depth and location of the utility. If the location is not accurate, the utility owner should be contacted immediately.**

AS BUILT

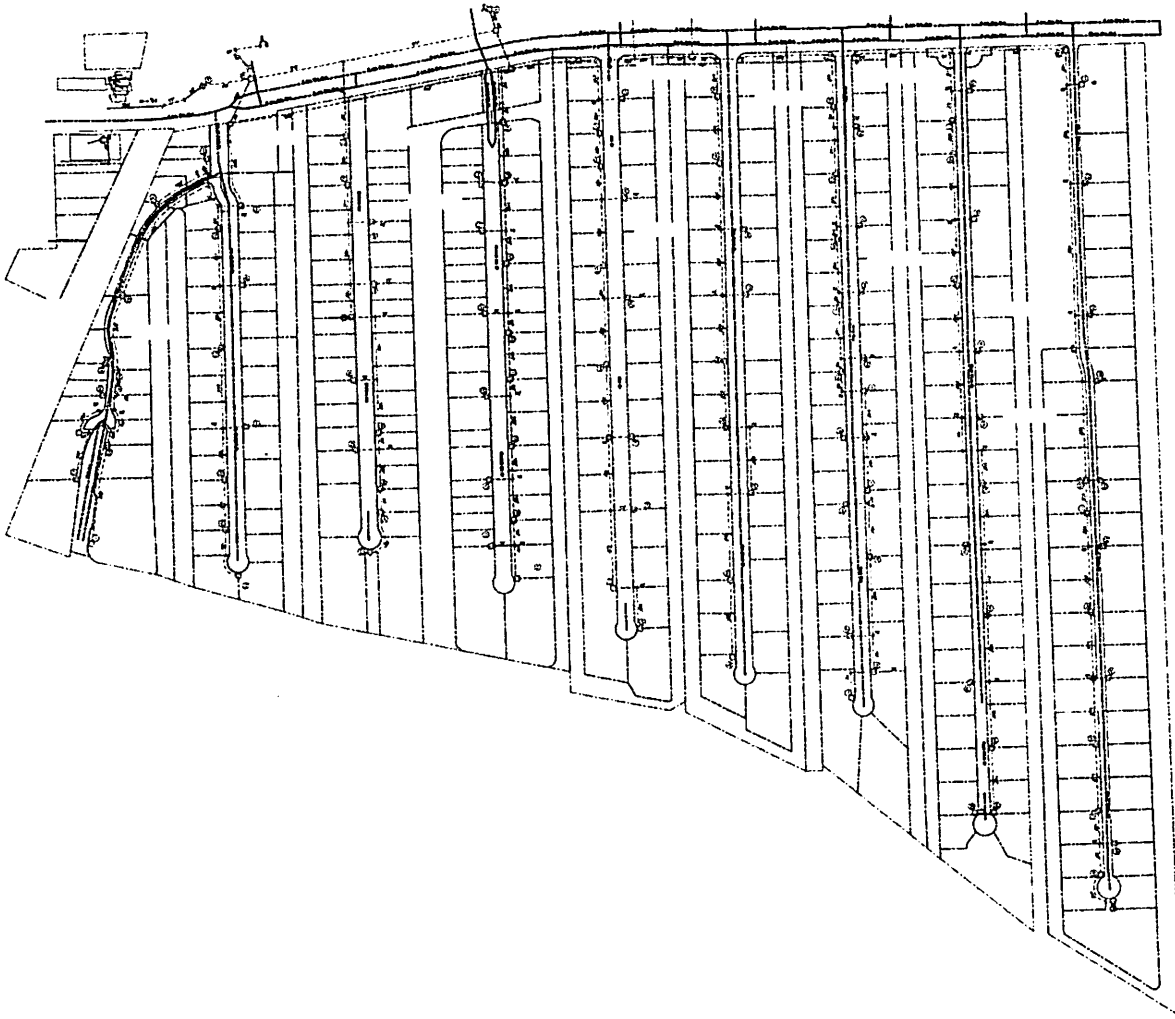
The contractor will provide Comcast all AS _ BUI LT field information necessary for updating and correcting Comcast construction drawings. The contractor will mark legibly, with a red pencil, on both the profile and plan view of Comcast's construction drawings, all corrections, additions, and deletions as they occur on the job site. These drawings are to be produced at any time while the job is ongoing for inspection by the Comcast Representative. As built should indicate the different type of underground method constructed in the project boundary.

The ASBUILT information required is as follows:

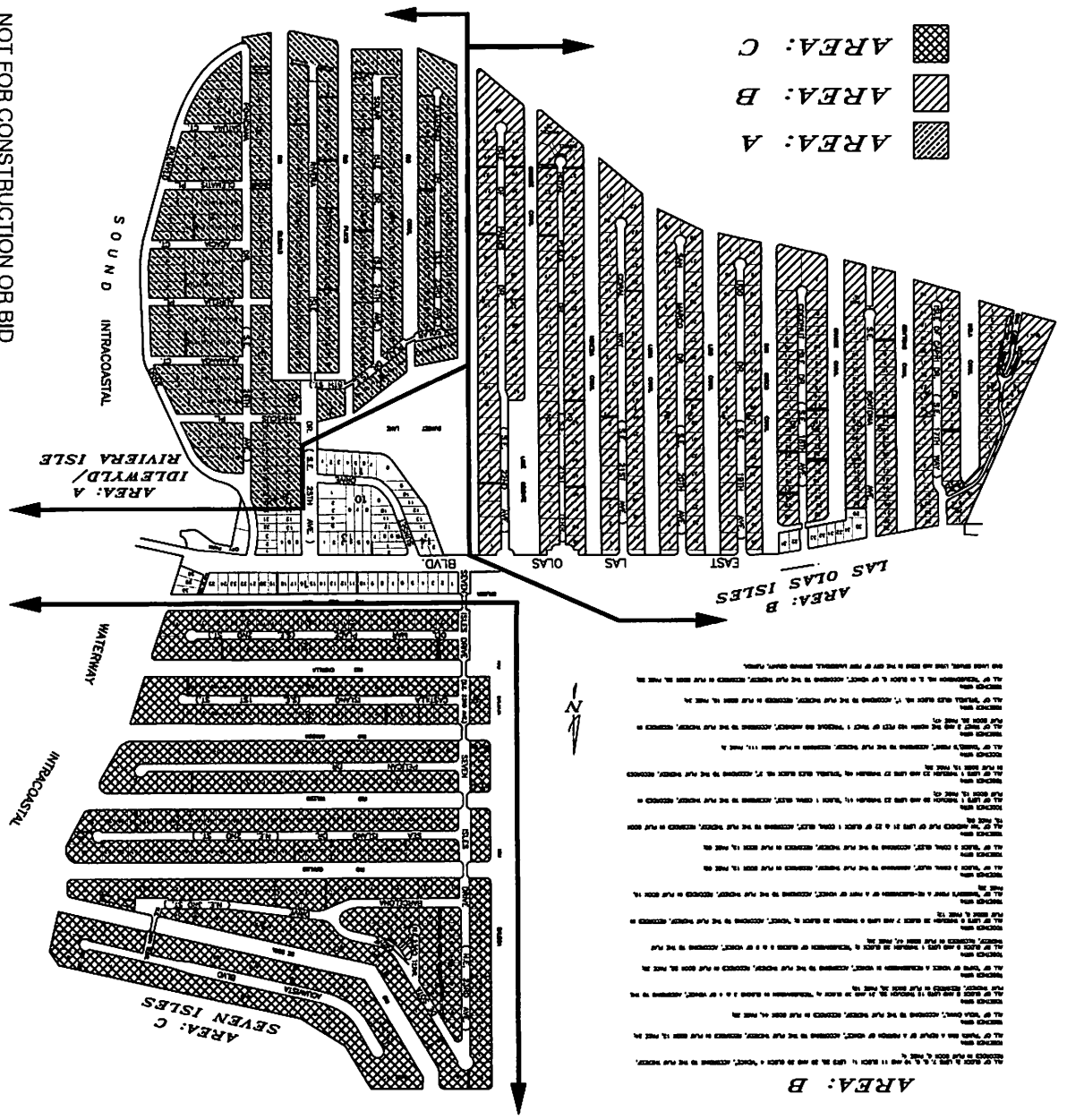
- 1. All facilities are to be stationed to a baseline or reference line that is identifiable as a landline or right-of-way line. This base line or reference line must be related to the area of the job site and be capable of being transposed on to Comcast construction drawings.**
- 2. Overall total lengths of the duct are to be recorded; Measurements are to be taken from the hand holes outside wall and directly along the length of the duct (conduit) system.**
- 3. When utilities are uncovered, (water, gas, sewers, communications (Comcast), power, etc.) their sizes and type are to be determined, their location referenced to the baseline, and their elevation noted on Comcast construction drawings. An elevation will be taken on the duct (conduit system) directly above or below the other utility and at existing grade.**
- 4. Two sets of construction prints, marked in red pencil must be supplied to Comcast.**

(NOTE) As-Built documentation must be secured and submitted to Comcast prior to Comcast installing any new fiber optic cables in the conduit system provided.

EXHIBIT B
Maps & Location Details
(Las Olas Isles RFOG Design)



AREA: A
AREA: B
AREA: C



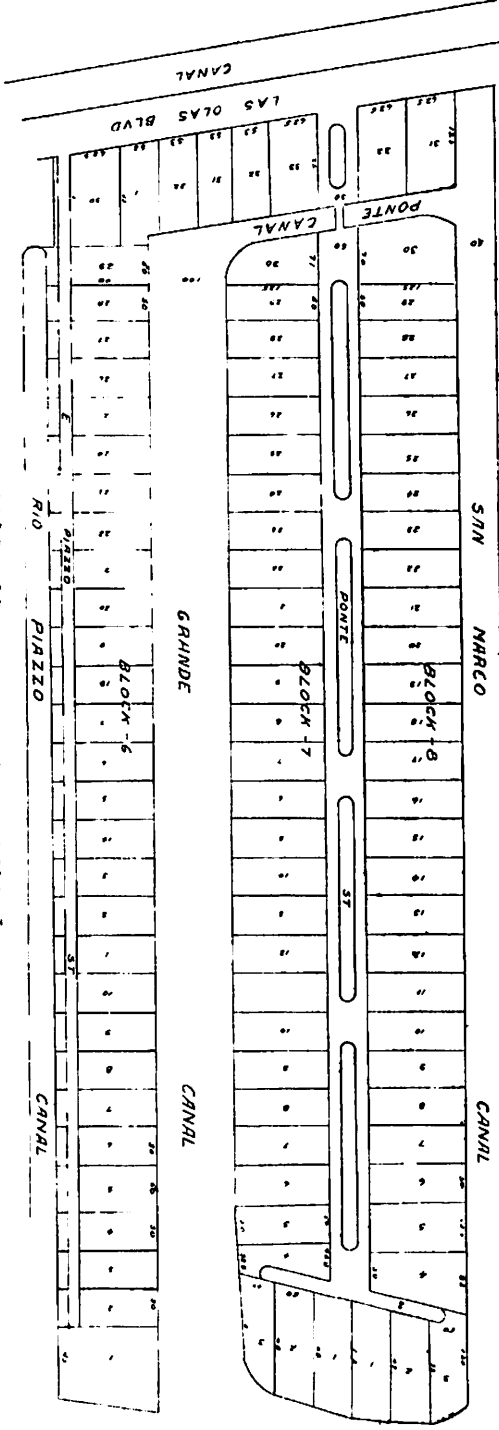
NOT FOR CONSTRUCTION OR BID

PROJECT # P11715
LAS OLAS COMMUNITIES
UNDERGROUND UTILITY PLANNING
SERVICE AREA
LAS OLAS

NO.	DATE	BY	REVISIONS
1			

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT
ENGINEERING & ARCHITECTURE
100 South American Avenue, Fort Lauderdale, Florida 33301

DATE	BY	DATE	BY
11/11/11	WJA	11/11/11	WJA



VENICE

SUBDIVISION
IN
PORT LAUDERDALE
BROWARD COUNTY
FLORIDA

Mr. J. L. Brown
J. L. Brown
J. L. Brown

A plat showing lots, blocks, streets and canals in that portion of VENICE lying East of Rio PIAZZO Canal as shown on a plat recorded in Book 6 of plats page 4 Broward County

STATE OF FLORIDA
COUNTY OF BROWARD
I, J. L. Brown, Clerk of the Court, do hereby certify that the above described lands have been duly subdivided into lots, blocks, streets and canals in accordance with the provisions of Chapter 33, Laws of Florida, and that the same have been duly recorded in the public records of this County.

KNOW ALL MEN BY THESE PRESENTS
That the FLORIDA and CAPE COD REALTY CO. a corporation
owner of the above described lands, has caused these presents to be signed by its President and Secretary and its corporate seal to be hereunto affixed this 11th day of April, AD 1925.

IN TESTIMONY WHEREOF The Florida and Cape Cod Realty Co. has caused these presents to be signed by its President and Secretary and its corporate seal to be hereunto affixed this 11th day of April, AD 1925.

KNOW ALL MEN BY THESE PRESENTS
That the City Council of the City of Fort Lauderdale has approved the attached plat of VENICE, Florida, and has caused the same to be recorded in the public records of this County.

M.C. Con. Sec. 12, 50-42-27
 U.S. Coast & Geodetic Survey
 Triangulation Station "Fort-1"

STILWELL ISLES

BLOCK - No. 2
 A SUBDIVISION IN SECTION 12, TOWNSHIP-30-SOUTH, RANGE-42-EAST.
 PORT LAUDERDALE
 BROWARD COUNTY, FLORIDA.

Walter A. McElfresh, Civil Engineer
 Scale - 1 inch = 100 ft. November, 1934.

ORIENTE CANAL

ROYAL PLAZA DRIVE

VENEZIA CANAL

NEW RIVER

Note - D.R.M.s 1 and 2 are identical with those shown on Amended
 Plat of Venice Addition - Plat Book 10, Page 82, Broward Co., Florida.

Note - All distances are measured to tangent intersections.
 All bearings are true, based on U.S.C. & G.S.
 observations of Triangulation Station "Fort-1".

ENGINEERS CERTIFICATE

State of Florida } S.S.
 County of Broward }
 I, Walter A. McElfresh, Civil Engineer and Land Surveyor
 do hereby Certify that I have subdivided the above described
 lands into Lots and Streets or Avenues in the manner shown
 on this plat, that all P.R.M.s. have been set as shown and that
 the measurements and distances shown on said plat in feet and
 decimals thereof, were measured on the ground, and are true
 and correct to the best of my knowledge and belief.
 IN WITNESS WHEREOF, I have hereunto set my hand
 and seal this 20 day November, 1934.

Walter A. McElfresh (Seal)
 Walter A. McElfresh
 Registered Engineer No. 1030
 Reg. Land Surveyor No. 09,
 State of Florida.

DEDICATION

State of Florida } S.S.
 County of Broward }
 Know all men by these presents:
 That the NEW RIVER ISLES COMPANY, a Corporation existing
 under the laws of the State of Florida, owner of the lands shown on the
 attached plat, has caused said lands to be subdivided in the manner shown
 thereon, to be known as "BLOCK-2 of STILWELL ISLES".
 The Streets, Avenues, Parks and Waterways shown thereon are here-
 by dedicated to the perpetual use of the public for proper purposes,
 reserving to this Corporation, its successors and assigns, the reversion
 or reversions thereof.
 IN WITNESS WHEREOF, the said NEW RIVER ISLES COMPANY
 has caused these presents to be signed in its corporate name by its
 President and attested by its Secretary, and the Corporate seal of said
 Company to be hereto affixed, this 21st day of November, A. D. 1934.

P. N. Bryan
 Secretary.

NEW RIVER ISLES COMPANY
 By Robert Stilwell
 President.

NOTARY PUBLIC CERTIFICATE

State of Florida } S.S.
 County of Broward }
 This day personally appeared before me, a Notary Public, Grace T. Stilwell
 and P. N. Bryan, to me well known, and acknowledged that they are the
 President and Secretary, respectively, of the NEW RIVER ISLES COMPANY,
 and that they executed the above dedication as such officers by authority of
 the Board of Directors of said Company, and that the seal thereto affixed
 is the Corporate Seal of said Company.
 IN WITNESS WHEREOF, I have hereunto set my hand and affixed my
 official seal at Fort Lauderdale in said County and State, on this 21st day
 of November, A. D. 1934.

M. B. Cheaney
 Notary Public.

My Commission Expires July 21, 1937.

DESCRIPTION

Block No. 2 of Stilwell Isles.
 A subdivision of Blocks fifteen and sixteen of an
 Amended Plat of Venice Addition, as recorded in Plat Book
 10, of page 82 of the public records of Broward County,
 State of Florida.

This is to Certify that the City Planning Board of the
 City of Fort Lauderdale, Broward County, Florida, has
 approved this plat of Block No. 2 of Stilwell Isles by resolution
 adopted Nov. 19, 1934.

Lois J. Anderson
 Secretary.

Lois J. Anderson, Acting City Engineer, of the City of
 Fort Lauderdale, Broward County, Florida, do hereby approve
 this plat for record this 21st day of November, 1934.

Lois J. Anderson
 Acting City Engineer.

Know all men by these presents:
 That the City Commission of the City of Fort Lauderdale,
 Broward County, Florida, by Ordinance No. 722, adopted on
 the 22nd day of Nov., 1934, has approved this attached
 plat of Block No. 2 of STILWELL ISLES, for the uses therein set
 forth.
 IN WITNESS WHEREOF the said City Commission of the
 City of Fort Lauderdale, Broward County, Florida, has caused
 these presents to be signed and attested by the City Auditor
 and Clerk.

Oliver N. Smith
 City Auditor and Clerk.

NOTARY PUBLIC CERTIFICATE

State of Florida } S.S.
 County of Broward }
 This instrument filed for record 27th day
 of November, 1934, and recorded in Book 15
 of Plate 17, on Page 26, RECORD VERIFIED.

E. E. Bennett
 Clerk of the Circuit Court.
 By Oliver N. Smith D.C.

AS CON. SEC. 12-30-22 2-10-27 U.S. Coast & Geodetic Survey

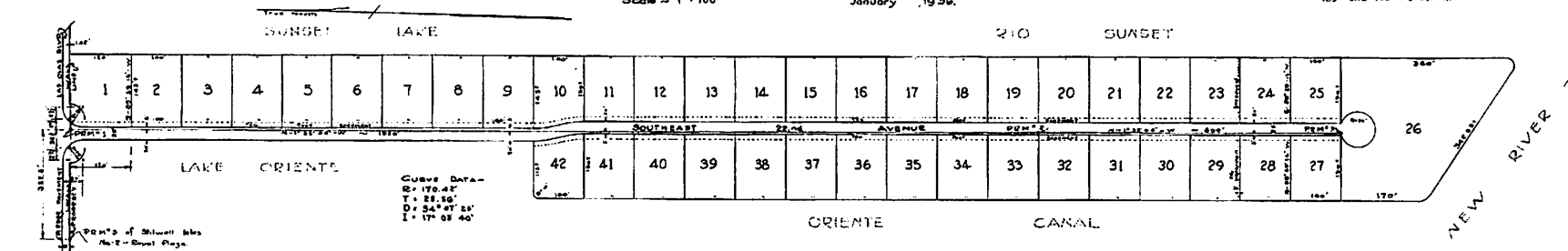
STILWELL ISLES

BLOCK-No. 1 ~ "ISLE OF PALMS"
A SUBDIVISION IN SECTION 12, TOWNSHIP-50-SOUTH, RANGE-42-EAST.
FORT LAUDERDALE, FLORIDA.

Walter A. McElfresh, Civil Engineer
Scale ~ 1" = 100' January, 1936.

Note: All distances are measured to tangent
intersections.
All bearings are true based on U.S.G.C.S.
observations of triangulation Sta. "Fort-1".
Lot stakes are set on 10' easement line and
105' and 100' therefrom.

Point of Comm. Line
No. 1 - Sunset Place



ENGINEERS CERTIFICATE

State of Florida } ss.
County of Broward } ss.
I, Walter A. McElfresh, Civil Engineer and Land Surveyor do hereby Certify that I have subdivided the above described lands into Lots and Streets or Avenues in the manner shown on this plat, that all P.R.Ms. have been set as shown and that the measurements and distances shown on said plat in feet and decimals thereof, were measured on the ground, and are true and correct to the best of my knowledge and belief.

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 9th day of January, 1936.

Walter A. McElfresh [Seal]
Walter A. McElfresh
Registered Engineer No. 1684
Reg. Land Surveyor No. 62
State of Florida.

State of Florida } ss.
County of Broward } ss.

I, H. C. Davis, County Engineer of the County of Broward, State of Florida, do hereby Certify that I have examined the attached plat and found it in conformity with the requirements of the County of Broward, State of Florida.

H. C. Davis
H. C. Davis
Registered Engineer No. 43
State of Florida.

State of Florida } ss.
County of Broward } ss.

I HEREBY CERTIFY, that the attached plat conforms with "AN ACT to Regulate the Making and Filing for Record of Maps and Plats in the State of Florida," approved by the Governor the 11th day of June 1925.

E. R. Bennett
E. R. BENNETT
Clerk of the Circuit Court
By J. H. Stator
Deputy Clerk.

State of Florida } ss.
County of Broward } ss.

This instrument filed for record 18th day of January 1936, and recorded in Book 15 of Plats on Page 34, RECORD VERIFIED

E. R. Bennett
E. R. BENNETT
Clerk of the Circuit Court.
By J. H. Stator DC

DEDICATION

State of Florida } ss.
County of Broward } ss.

Know all men by these presents:
That the NEW RIVER ISLES COMPANY, a Corporation existing under the laws of the State of Florida, owner of the lands shown on the attached plat, has caused said lands to be subdivided in the manner shown thereon, to be known as "BLOCK-1 of STILWELL ISLES".

The Streets, Avenues, Parks and Waterways shown thereon are here by dedicated to the perpetual use of the public for proper purposes, reserving to this Corporation, its successors and assigns, the reversion or reversions thereof.

IN WITNESS WHEREOF, the said NEW RIVER ISLES COMPANY has caused these presents to be signed in its corporate name by its President and attested by its Secretary, and the Corporate seal of said Company to be hereto affixed, this 9th day of January, A.D. 1936.



Attested W. A. McElfresh
Secretary

NEW RIVER ISLES COMPANY
By W. A. McElfresh
President.

NOTARY PUBLIC CERTIFICATE

State of Florida } ss.
County of Broward } ss.

This day personally appeared before me, a Notary Public, Grace T. Stilwell and P. N. Bryan, to me well known, and acknowledged that they are the President and Secretary, respectively, of the NEW RIVER ISLES COMPANY, and that they executed the above dedication as such officers by authority of the Board of Directors of said Company, and that the seal thereto affixed is the Corporate Seal of said Company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal at Fort Lauderdale in said County and State, on this 10th day of January, A.D. 1936.

W. A. McElfresh
Notary Public

My Commission Expires July 31, 1937

DESCRIPTION

Block No. 1 of Stilwell Isles

A subdivision of Blocks seventeen and eighteen of an Amended Plat of Venice Addition, as recorded in Plat Book 10, at page 82 of the public records of Broward County, State of Florida.

This is to Certify that the City Planning Board of the City of Fort Lauderdale, Broward County, Florida, has approved this plat of Block No. 1 of Stilwell Isles by resolution adopted January 13, 1936.

W. A. McElfresh
Secretary.

I, J. H. Philpot, City Engineer of the City of Fort Lauderdale, Broward County, Florida, do hereby approve this plat for record this 14th day of January, 1936.

J. H. Philpot
City Engineer.

Know all men by these presents:

That the City Commission of the City of Fort Lauderdale, Broward County, Florida, by Ordinance No. 181 adopted on the 14th day of January, 1936, has approved this attached plat of Block No. 1 of STILWELL ISLES for the uses therein set forth.

IN WITNESS WHEREOF, the said City Commission of the City of Fort Lauderdale, Broward County, Florida, has caused these presents to be signed and attested by the City Auditor and Clerk.

W. A. McElfresh
City Auditor and Clerk.

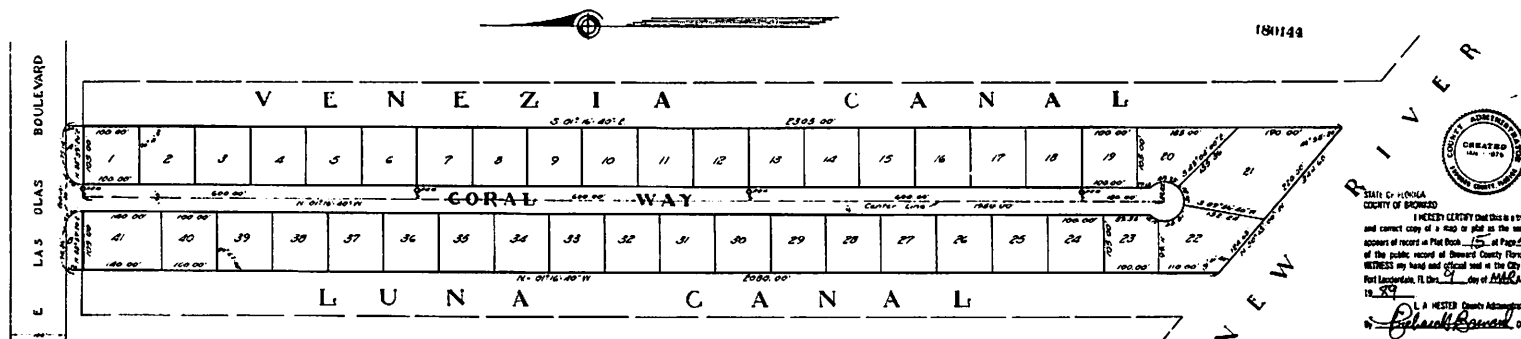
FLORIDA

NOTARY PUBLIC
I HEREBY CERTIFY that this is a true and correct copy of a map or plat as the same appears of record in Plat Book 15, at Page 34 of the public records of Broward County Florida, attested by hand and official seal of the City of Fort Lauderdale, Florida, on this 13th day of January, A.D. 1936.

W. A. McElfresh DC



NOTE

Bearings refer to
true meridiansSections 16 and 17 retained
in subdivision of former
plotLot shown on east town
map of subdivision are offset
to western property line
and shown on west boundary
of subdivision are offset to
western property line

CORAL ISLES

A SUBDIVISION IN
SEC. 12, TWP. 50 S., RGE. 42 E., BROWARD COUNTY, FLORIDA

SITUATE IN THE CITY OF
FORT LAUDERDALE

PREPARED FOR
NEW RIVER ESTATES, INC.

CHARLTON & ASSOCIATES ENGINEERS
SCALE - 1"=100' NOV. 1937

DESCRIPTION

A subdivision of Blocks 13 and 14,
VENICE ADDITION, according to plat thereof re-
corded in Plat Book 40, at Page 62, of the Public
Records of Broward County, Florida

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

This is to certify that this plat of BLOCK ONE, CORAL ISLES has been
approved and accepted for record by the City Commission of the City of Fort Lau-
derdale, Florida in and by Ordinance No. 582, adopted by the said City Commission on
the 14th day of November, A.D. 1937.

IN WITNESS WHEREOF, the said City Commission has caused these presents to be
affixed by its auditor and clerk and the corporate seal of said city to be hereunto
affixed this 14th day of November, A.D. 1937.

Charles C. Hardin
City Auditor and Clerk

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

We hereby certify that the foregoing plat of BLOCK ONE, CORAL
ISLES is a true and correct representation of a survey of the above described lands
recently made by us, that all dimensions, angles, bearings and distances are correctly
shown, and that permanent reference monuments have been set at the locations indicated
dated at Fort Lauderdale, Florida, this 14th day of November, A.D. 1937.

Charles C. Hardin
Registered Engineer No. 1713
Certificate dated Oct. 2, 1935
Registered Land Surveyor No. 427
State of Florida

Approved for record this 18th day
of November, A.D. 1937.

John H. Bennett
City Engineer
Registered Engineer No. 43
State of Florida

Approved for record this 18th day
of November, A.D. 1937.

John H. Bennett
County Engineer
Registered Engineer No. 43
State of Florida

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

This instrument filed for record this 24th day of November, 1937 and
recorded in Book 15 of Plats on Page 47 RECORDED VERIFIED

E. E. Bennett
City of the Official Count
by La May Grant ac

Drawn by A.M.J.
Checked by H.C.
Rechecked by J.M.H.

KNOW ALL MEN BY THESE PRESENTS:

That the undersigned NEW RIVER ISLES, INC., a corporation, the owner and
holder of a mortgage dated May 3, 1937, and now of record in Mortgage Book 97,
at Page 381, Broward County Records, upon the lands shown on this plat does
for itself its successors and assigns, hereby approve the aforesaid plat of land
shown recorded by NEW RIVER ESTATES, INC., and does hereby further agree to be bound
by the provisions of said plat, including the dedications thereon contained.

IN WITNESS WHEREOF, said NEW RIVER ISLES, INC., has caused this instrument
to be executed in its name by its President and its corporate seal to be affixed,
affixed by its Secretary, this 13th day of November, A.D. 1937.

Signed, sealed and delivered
in the presence of

John H. Bennett
City Engineer

John H. Bennett
President
Attest John H. Bennett
Secretary

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

I HEREBY CERTIFY that on this 13th day of November, A.D. 1937,
before me personally appeared GEORGE T. STILLWELL and F.N. BRYAN, respectively,
President and Secretary of New River Estates, Inc., a corporation under the laws of the
State of Florida, to me known to be the persons described in and who executed the fore-
going instrument and were duly acknowledged the execution thereof to be their
free act and deed, as such officers, for the uses and purposes therein mentioned,
and that they affixed thereto the official seal of said corporation, and the
said instrument is the act and deed of said corporation.

WITNESS my signature and official seal at Fort Lauderdale, in the
County of Broward and State of Florida, the day and year last aforesaid.

John H. Bennett
Notary Public

My Commission Expires - Dec. 1, 1938

This is to certify that the City Planning Board of Fort Lauderdale,
Florida, approved and accepted this plat by resolution adopted this 11th day
of November, A.D. 1937.

John H. Bennett
Secretary

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

KNOW ALL MEN BY THESE PRESENTS: That NEW RIVER
ESTATES, INC., the owner of all the lands shown and described on this plat,
has caused said lands to be subdivided and plotted in the manner hereon
shown, said subdivision to be known as BLOCK ONE, CORAL ISLES.
All previous plats of said lands are hereby voided, cancelled, annulled
and superseded by this plat. All boundaries and areas shown on this plat
are hereby dedicated to the perpetual use of the public, reserving, however, unto
NEW RIVER ESTATES, INC., its successors and assigns, the reservation or reservations
herein, only, of the same may be discontinued by the
holders thereof. IN WITNESS WHEREOF, NEW RIVER ESTATES, INC., has caused this instrument
to be signed in its name by its President, and its corporate seal to be affixed,
affixed by its Secretary, this 13th day of November, A.D. 1937.

Signed, sealed and delivered
in the presence of
John H. Bennett
City Engineer

John H. Bennett
President
Attest John H. Bennett
Secretary

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

I HEREBY CERTIFY that on this 13th day of November, A.D. 1937,
before me personally appeared J.S. POWELL and C.N. McCLURE, respectively, President and
Secretary of New River Estates, Inc., a corporation under the laws of the State of
Florida, to me known to be the persons described in and who executed the fore-
going plat and instrument of dedication, and were duly acknowledged the execu-
tion thereof to be their free act and deed, as such officers, for the uses and
purposes therein mentioned, and that they affixed thereto the official seal of
said corporation and the said instrument is the act and deed of said corporation.

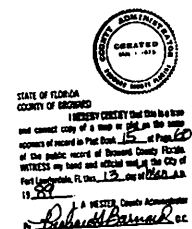
WITNESS my signature and official seal at Fort Lauderdale, in the
County of Broward and State of Florida, the day and year last aforesaid.

My Commission Expires - Dec. 1, 1938

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

I hereby certify that this plat complies with the provisions
of an Act to Regulate the Mailing of Surveys and Filing for Record of Maps and
Plats in the State of Florida, approved by the Governor June 11, 1925.

John H. Bennett
City Engineer
Registered Engineer No. 43
State of Florida



② Permanent Reference Monuments to be set upon completion of project.

SITUATE IN THE CITY OF
FORT LAUDERDALE
 PREPARED FOR
NEW RIVER ESTATES, INC.
CHARLTON & ASSOCIATES - ENGINEERS
 SCALE - 1" = 100' JANUARY, 1940

Injunct sealed and delivered
in the presence of:
A. J. Chas. [illegible]
Geo. D. Bennett

I HEREBY CERTIFY that on the 15th day of January, A.D. 1943, before me personally appeared GEORGE T. STILLWELL and DAVIDED REVER, respectively President and Secretary of New Star 1943 Company, a corporation under the laws of the State of Florida, to me known to be the persons who executed the foregoing instrument and severally acknowledged the execution thereof to be their free act and deed as such officers, for the uses and purposes therein mentioned. I am a Notary Public in and for the State of Florida, and the said instrument is the act and deed of said corporation.

WITNESS my signature and official seal of said Landgrave, in the County of Duval and State of Florida, this day of _____, 1943.

My Commission Expires August 31, 1943

This is to certify that this plat of BLOCK TWO CORAL ISLES has been approved and accepted for record by the City Commission of the City of Fort Lauderdale, Florida, in and by Ordinance No 1037 enacted by the said City Commission on the 16th day of January, A.D 1940.

IN WITNESS WHEREOF, the said City Commission has caused these presents to be attested by its auditor and clerk and the corporate seal of said city to be hereto affixed on 17th day of January, A.D 1940.

100-443881-100

J. F. H. H. H. H.
 Acting City Engineer
 Registered Engineer No. 1700
 State of Illinois

I hereby certify that the foregoing plot of BLOCK Two, COAL ISLES is a true and correct representation of a survey of the above described lands recently made by U.S. Coast and Geodetic Survey, and that all bearings and distances are correctly shown, and that permanent reference monuments have been set at the locations indicated.

Dated at Fort Lauderdale, Florida this 15th day of January, 1940



KNOW ALL MEN BY THESE PRESENTS, That NEW ESTATE
ESTATES, INC. the owner of all the lands shown and described on the plat,
has caused to be executed by me, its duly authorized officer, hereto
shown, such subdivision to be known as BLOCK TWO, CORRAL VALLES.
All previous plat of said lands are hereby voided, cancelled, annulled
and separated from all record. The lands shown and described on the plat
are hereby dedicated to the perpetual use of the public, for resting, recreation
and pleasure, and the State of California, the successors of said public,
hereby, of its own free will and voluntary consent, the reservation or reservations
in WITNESS WHEREOF, NEW ESTATE ESTATES, INC. has caused this instrument
to be signed in its Secretary, this 13th day of JANUARY, A.D. 1940

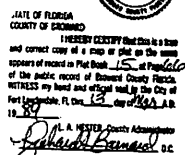
STATE OF FLORIDA
COUNTY OF BROWARD. 33

I HEREBY CERTIFY that on the 13th day of January, 1922, before me personally appeared J. P. POWELL and C. W. CRAWFORD, respectively President and Secretary of New River Estates, Inc., a corporation under the laws of the State of Florida, known to me to be the same persons whose names are subscribed to the foregoing plat and instrument of description, and personally acknowledged the execution thereof to be their free act and deed as such officers, for the uses and purposes therein mentioned, and that they affixed thereto the official seal of said corporation and their signatures and the corporate seal of said corporation.

WITNESS my Signature and official seal this 13th day of January, in the County of Broward and State of Florida, the day and year last aforesaid.

I hereby certify that this map complies with the provisions of "An Act to Regulate the taking of Surveys and Filing for Record of Maps and Plots in the State of Florida," approved by the Governor June 14, 1925

Clara Ortol Court
Broward County, Florida
By Deputy Clara



CORAL ISLES

CHARLTON & ASSOCIATES ENGINEERS
SCALE - 1" = 40' OCT. 1940

Drawn By JMC & GDB
 Traced By JMC
 Checked By GDB, JC, & HM

Lots 21 and 22, Block 6, COCAL ISLES,
according to plat thereof recorded in Plat Book 15,
Page 47, of the public records of Broward County,
Florida, and also land's ceded by reclamation to
said lots.

Approved for record this 25th day
of October, AD, 1968

[Signature]
Asst. City Engineer
Registered Engineer No. 1900
State of Florida

Approved for Record this 4th day
of November, A.D., 1900

W. B. Dwyer
County Engineer
Registered Engineer No. 48
State of Florida

ENGINEER'S NOTE:
Bearings Refer to This Station at
NE Corner of Section 12
Sectional has not required on re-
subdivision of earlier plat.

THAT Mr. CHARLES H. MCNEIL, joined by ELEANOR H. MCNEIL, his wife and LAWRENCE L. STEAD and ROSE H. STEAD, as husband and wife, of Fort Lauderdale, County of Broward, State of Florida, owners of the lands set forth in the foregoing description and affected by the plat, have caused the said lands to be reestablished and resubdivided in the manner herein shown, said reestablishment to be known as the AMERICAN PLAN OF LOTS 21 AND 22, BLOCK 1, PHASE 16.5, ANY OTHER LANDS

ALL previous plots of said lands are hereby noted and superseded by
H.. plot previous dedication of Coral Key is hereby confirmed
IN WITNESS WHEREOF, we have hereunto set our hands and affixed
our seals, this 2nd day of October, A.D. 1963

W. Massey
J. F. Clouston
Helen Lindeberg

Charles H. McCann (over)
Eleanor R. McCann (over)
Lawrence L. Bluff (over)
Pamela B. Still (over)

SITE OF FLOWING 755

This day before me, a Notary Public, personally appeared CHARLES N. McCONN and ELEANOR McCONN, his wife, and LAMARDO C. STEAD and EDNA M. STEAD, his wife, to me well known, and acknowledged that they each executed the foregoing and for the purposes herein set forth.

And I hereby state that the said ELIZABETH ALDRIDGE, wife of the said CHARLES H ALDRIDGE and the said EDGAR A STEIN, both of the said CHARLOTTE H STEIN, in a separate and private examination taken and made by me, the said JOHN W. HANCOCK, and sworn to and apart from their said defendants, did acknowledge the truth and validity of the foregoing recited facts and circumstances and that said defendant, said ELIZABETH ALDRIDGE and CHARLOTTE H STEIN are now and have been lawfully, by the said and aforesaid JOHN W. HANCOCK represented.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal
this 5th day of October, A.D. 1900

John W. Lingo
 Harry Rader, Secy of Florida, at Largo
 My Commission Expires December 31, 1942

This is to certify that the City Planning Board of Fort Lauderdale, Florida, approved and accepted this plan by resolution adopted the 28th day of October, A.D. 1940

A. P. Brink
Source: 100

STATE OF FLORIDA } ss.
COUNTY OF BROWARD }

This is to certify that the Amended Order of July 21 and 22, 1968, is a CORRE. ISSUE, and other items, have been approved and accepted for record by the City Commission of the City of New Lauderdale, Florida, and by Ordinance No. C-6 adopted by the said City Commission on the 21st day of October, 1968.

IN WITNESS WHEREOF, the said City Commission has caused there present
to be attested by its auditor and clerk and the Corporate Seal of said city to be hereunto
affixed this 23rd day of October, A.D. 1960

Edm. Walsh
City Auditor and Clerk

STATE OF FLORIDA } ss.
COUNTY OF BAYWOOD }

I hereby certify that this plot complies with the provisions of "An Act to Regulate the Making of Surreys and Filing for Record of Maps and Plats in the State of Florida," approved by the Governor June 11, 1925.

Given 11, 1925.
E. R. Smith
 Clerk of Circuit Court
 Broward County, Florida
 By _____
 Deputy Clerk

STATE OF ALABAMA } ss.
COUNTY OF BLOOMING

We hereby certify that the foregoing Amended Plot of Lots 21 and 22, Block 1, (DIME ALLEY), and other lands, is a true and correct representation of a survey of the above described land recently made by us, that all dimensions, angles, numbers and distances are correctly shown, and that permanent reference monuments have been set at the locations indicated.

Wrote at Fort Lauderdale, Florida, the 15th day of October, A.D., 1940.

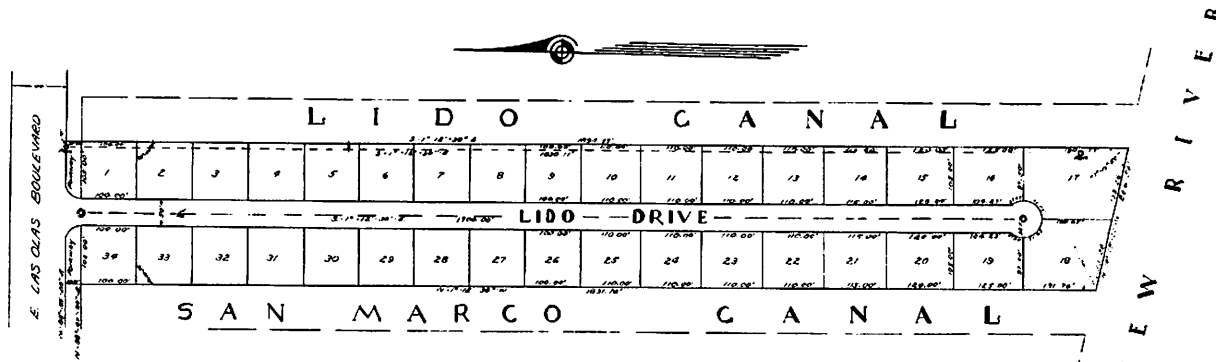
On the 15th day of October 1962, I
CHARLTON & ASSOCIATES
by J. J. Charlton
Registered Engineer No 665
Registered Land Surveyor No 47
State of Florida

STATE OF ALABAMA }
COUNTY OF BIRMINGHAM } ss.

This instrument filed for record this 26 day of November, 1945
and recorded in Book 15 of Maps on Page 66 RECORD VERIFIED

E. E. Bennett
 Chief of the Census Bureau
 Washington, D. C.

NOTE:

Bearings refer to
true meridian.Sections 12 and 13 required
no subdivision of lands.
platLot 1300 to be set after
completion of project

- ① Refer to existing Permanent Reference
Monument.
② Permanent Reference Monument
to be set after construction.

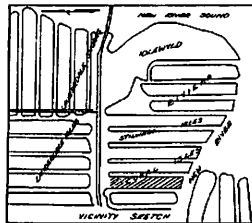
CORAL ISLES

A SUBDIVISION IN
SEC. 12, TWP. 50 S., RGE. 42 E., BROWARD COUNTY, FLORIDA
SITUATE IN THE CITY OF

FORT LAUDERDALE

PREPARED FOR
NEW RIVER ESTATES, INC.

CHARLTON & ASSOCIATES - ENGINEERS
SCALE - 1" = 100' JANUARY, 1941



This is to certify that the City Planning Board of Fort Lauderdale, Florida, approved and accepted this plat by resolution adopted this 27th day of February, A.D. 1941.

Approved for record this 3rd day
of February, A.D. 1941.
[Signature]
City Engineer
Fort Lauderdale No. 1708
State of Florida

Approved for record this 3rd day
of February, A.D. 1941.
[Signature]
County Engineer
President, Fort Lauderdale
State of Florida

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

This instrument filed for record this 6th day of February, 1941, and
recorded in Book 15 of Plats on Page 68, RECORD RECORDED.

P. B. BOWEN
Clerk of the Circuit Court
of the State of Florida

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

He hereby certifies that the foregoing plat of BLOCK THREE, CORAL ISLES is a true and correct representation of a survey of the above described land, recently made by him, that all dimensions, angles, bearings and distances are correctly shown, and that permanent reference monuments have been set at the locations indicated.

Dated at Fort Lauderdale, Florida, this 17th day of February, A.D. 1941.

CHARLTON & ASSOCIATES
By *[Signature]*
Registered Engineer No. 605
State of Florida

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

This is to certify that this plat of BLOCK THREE, CORAL ISLES has been approved and accepted for record by the City Commission of the City of Fort Lauderdale, Florida, and by Resolution No. C-26 adopted by the said City Commission on the 17th day of February, A.D. 1941.

IN WITNESS WHEREOF, the said City Commission has caused these provisions to be attested by its auditor and clerk and the corporate seal of said city to be hereunto affixed this 27th day of February, A.D. 1941.

[Signature]
City Auditor and Clerk

STATE OF FLORIDA
COUNTY OF BROWARD
I HEREBY CERTIFY that CHARLTON & ASSOCIATES is a duly organized corporation and correct copy of a map or plat in the public record of Broward County Florida. WITNESS my hand and official seal, this 13th day of February, A.D. 1941.

[Signature]
A Notary Public in and for the State of Florida

DESCRIPTION
A subdivision of Block 3 and 10, VENICE ADDITION, according to plat thereof recorded in Plat Book 10 of Page 86 of the Public Records of Broward County, Florida, and also all lands added by reclamation to said Block.

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

KNOW ALL MEN BY THESE PRESENTS: That NEW RIVER ESTATES, INC., the owner of all the lands shown and described on this plat, has caused said lands to be subdivided and platted in the manner herein shown, said subdivision to be known as BLOCK 3, COOK, FLORIDA.

All previous plats of said lands are hereby voided, cancelled, annulled and superseded by this plat. All boundaries and areas shown on this plat are hereby dedicated to the general use of the public, including highways, with NEW RIVER ESTATES, INC., its successors and assigns, the reversion or reversion interest any of the same with its descendants by law.

IN WITNESS WHEREOF, NEW RIVER ESTATES, INC., has caused this instrument to be signed in its name by its President and its corporate seal to be affixed, attested by its Secretary, this 17th day of February, A.D. 1941.

Signed, sealed and delivered
in presence of
[Signature]
New River Estates, Inc.

NEW RIVER ESTATES, INC.
By *[Signature]*
President
Attest *[Signature]*
Secretary

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

I HEREBY CERTIFY that on the 17th day of February, A.D. 1941, before me personally appeared J. S. MICHELL and C. H. MC CONE, respectively President and Secretary of New River Estates, Inc., a corporation under the laws of the State of Florida, to me known to be the persons described in and who executed the foregoing plat and instrument of dedication, and personally acknowledged the execution thereof to be their free act and deed as such officers, for the uses and purposes herein mentioned, and that they affixed thereto the official seal of said corporation, and the said instrument is the act and deed of said corporation.

WITNESS my signature and official seal of Fort Lauderdale, in the County of Broward and State of Florida, the day and year last aforesaid.

[Signature]
Notary Public
My Commission Expires December 2, 1944

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

I hereby certify that this plat complies with the provisions of an Act to regulate the Making of Surveys and Plats for District of Miami and Plats in the State of Florida, approved by the Legislature, March 17, 1925.

[Signature]
One of the Clerks of the
County of Broward

DAWSON'S POINT
A RE-SUBDIVISION OF A PART OF VENICE
IN PORT LAUDERDALE, BROWARD COUNTY, FLORIDA.
SCALE - 1 INCH = 40 FT. DATED: MARCH, 1946.
WALTER A. MEYERSON, CIVIL ENGINEER.

STATE OF FLORIDA
COUNTY OF BROWARD
KNOW ALL MEN BY THESE PRESENTS, that we the undersigned, DUDLEY B. DAWSON and ANNA C. DAWSON his wife, owners of all the lands shown and included on this plat have caused said lands to be subdivided and plotted in the manner herein shown, said subdivision to be known as DAWSON'S POINT.
WE the undersigned, hereby dedicate to the perpetual use of the public the turn-around and street and/or driveway shown above, reserving to ourselves, our heirs, successors and assigns the reversion or reversions whenever any of the same may be discontinued by law.
IN WITNESS WHEREOF we have hereunto set our hands and seals at Fort Lauderdale, Broward County, Florida this 28th day of March, A.D. 1946.
Signed and delivered in the presence of
Dudley B. Dawson (1946)
Anna C. Dawson (1946)

STATE OF FLORIDA
COUNTY OF BROWARD
I HEREBY CERTIFY that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, DUDLEY B. DAWSON, and ANNA C. DAWSON his wife, to me well known to be the persons described in and who executed the foregoing plat and instrument of dedication, and they acknowledged before me that they executed the same freely and voluntarily for the purposes and uses herein expressed.
WITNESS MY HAND AND OFFICIAL SEAL at Fort Lauderdale, Broward County, Florida this 28th day of MARCH, A.D. 1946.
My Commission expires, April 1, 1947
CITY CLERK'S CERTIFICATE
I HEREBY CERTIFY that this plat was accepted for record by ORDINANCE NO. 5-111, duly adopted at a regular meeting of the City Commission of the City of Fort Lauderdale, Florida, held on the 22nd day of April, A.D. 1946, and that by said ordinance all public dedications, within the limits of said lands, existing by virtue of previous plats of said lands and dedications, were vacated.
WALTER A. MEYERSON, CIVIL ENGINEER
WALTER A. MEYERSON, CIVIL ENGINEER
WALTER A. MEYERSON, CIVIL ENGINEER

STATE OF FLORIDA
COUNTY OF BROWARD
I HEREBY CERTIFY that the attached plat and instrument of dedication, with the portions of the plat to execute the necessary filing for RECORD OF MAPS and PLATS in the STATE OF FLORIDA, approved by the Governor the eleventh day of June, 1946.
J. L. Ladd
CLERK OF THE SENATE

STATE OF FLORIDA
COUNTY OF BROWARD
This instrument filed for record this 28th day of March, A.D. 1946, and recorded in Book 11, of Plat of page 10, RECORDED VERIFIED.
T. B. CABOT
CLERK OF THE COUNTY COURT
BROWARD COUNTY, FLORIDA.
WALTER A. MEYERSON, CIVIL ENGINEER

STATE OF FLORIDA
COUNTY OF BROWARD
Approved for record this 30th day of April, A.D. 1946.
WALTER A. MEYERSON, CIVIL ENGINEER

STATE OF FLORIDA
COUNTY OF BROWARD
Approved for record this 30th day of April, A.D. 1946.
WALTER A. MEYERSON, CIVIL ENGINEER

DESCRIPTION:
Lots 1, 2, 3, 4 & 5 of Block 7, and lots 1, 2, 3, 4 & 5 of Block 8, also all lands lying between the West boundaries of lots 1, 2, 3, 4 & 5 of Block 7 and the West boundaries of lots 1, 2, 3, 4 & 5 of Block 8 of VENICE, according to the plat thereof recorded in plat book 8, page 12 of the public records of Broward County, Florida.

PLANNING BOARD CERTIFICATE
THIS IS TO CERTIFY that the Planning Board of the City of Fort Lauderdale, Florida, approved and accepted this plat of DAWSON'S POINT by resolution adopted this 28th day of MARCH A.D. 1946.
WALTER A. MEYERSON, CIVIL ENGINEER

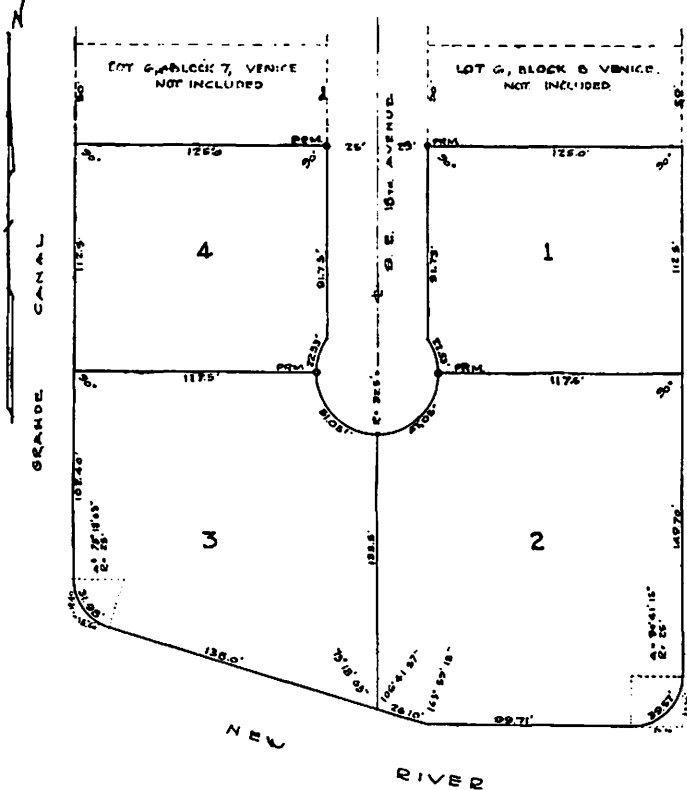
STATE OF FLORIDA
COUNTY OF BROWARD
I HEREBY CERTIFY that the plat herein shown is a true and correct representation of the lands plotted, and that PERMANENT REFERENCE MONUMENTS have been set as indicated by EDM.
Signed at Fort Lauderdale, Florida this 28th day of MARCH, A.D. 1946.
WALTER A. MEYERSON, CIVIL ENGINEER
WALTER A. MEYERSON, CIVIL ENGINEER
WALTER A. MEYERSON, CIVIL ENGINEER

STATE OF FLORIDA
COUNTY OF BROWARD
Approved for record this 30th day of April, A.D. 1946.
WALTER A. MEYERSON, CIVIL ENGINEER

19-30

DAWSON'S POINT A RE-SUBDIVISION OF A PART OF VENICE IN FORT LAUDERDALE, BROWARD COUNTY, FLORIDA. SCALE - 1 INCH = 40 FEET DATED: MARCH, 1945. WALTER A. McELFRESH, CIVIL ENGINEER

JD 10-11-15



STATE OF FLORIDA
COUNTY OF BROWARD

KNOW ALL MEN BY THESE PRESENTS, that we the undersigned, DUDLEY B. DAWSON and ANNA C. DAWSON, his wife, owners of all the lands shown and included on this plat have caused said lands to be subdivided and plotted in the manner herein shown, said subdivision to be known as DAWSON'S POINT.
WE the undersigned, hereby dedicate to the perpetual use of the public the turn-around and street and/or avenue herein shown, reserving to ourselves, our heirs, successors and assigns the reversion or reversions whenever any of the same may be discontinued by law.
IN WITNESS WHEREOF WE have hereunto set our hands and seals at Fort Lauderdale, Broward County, Florida, this ____ day of March, A.D. 1945.
Signed sealed and delivered in the presence of:

Dudley B. Dawson
Anna C. Dawson

Dudley B. Dawson (SIGNED)
Anna C. Dawson (SIGNED)

STATE OF FLORIDA
COUNTY OF BROWARD

I HEREBY CERTIFY that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgements, DUDLEY B. DAWSON, and ANNA C. DAWSON, his wife, to me well known to be the persons described in and who executed the foregoing plat and instrument of dedication, and they acknowledged before me that they executed the same freely and voluntarily for the purposes and uses herein expressed.
WITNESS MY HAND OFFICIAL SEAL at Fort Lauderdale, Broward County, Florida this 29th day of MARCH, A.D. 1945.

My Commission expires: *APRIL 1947*

CITY CLERK'S CERTIFICATE

I HEREBY CERTIFY that this plat was accepted for record by ORDINANCE No. 1914, adopted at a regular meeting of the CITY COMMISSION of the CITY OF FORT LAUDERDALE, FLORIDA, held on the 27th day of April, A.D. 1945, and that by said ordinance all public dedications, within the limits of said lands, existing by virtue of previous plats of said lands and dedications, were accepted.

Flora C. ...
CLERK OF THE CITY

STATE OF FLORIDA
COUNTY OF BROWARD

I HEREBY CERTIFY that the attached plat complies with the provisions of AN ACT TO REGULATE the making and filing for RECORD of MAPS and PLATS in the STATE OF FLORIDA, approved by the Governor the eleventh day of June 1935.

...
CLERK OF THE COUNTY COURT

STATE OF FLORIDA
COUNTY OF BROWARD

I HEREBY CERTIFY that the plat herein shown is a true and correct representation of the lands plotted, and that PERMANENT REFERENCE MONUMENTS have been set as indicated by R.M.
Dated at Fort Lauderdale, Florida this 29th day of MARCH, A.D. 1945.

Walter A. McElfresh (SIGNED)
Registered Eng. No. 1676.
Reg. Land Surveyor No. 69.
State of Florida.

CITY ENGINEER

Approved for record this 3rd day of APRIL, A.D. 1945
...

STATE OF FLORIDA
COUNTY OF BROWARD

This instrument filed for record this 30th day of April, A.D. 1945, and recorded in Book 10, of Plats at page 20, RECORDED VERIFIED.

...
CLERK OF THE COUNTY COURT

COUNTY ENGINEER

Approved for record this 31st day of APRIL, A.D. 1945
...
State Engineer, No. 48.

DESCRIPTION.

Lots 1, 2, 3, 4 & 5 of Block 7, and lots 1, 2, 3, 4 & 5 of Block 8, also all lands lying between the East boundaries of lots 1, 2, 3, 4 & 5 of Block 7 and the West boundaries of lots 1, 2, 3, 4 & 5 of Block 8 of VENICE, according to the plat thereof recorded in plat book 8, page 12 of the public records of Broward County, Florida.

PLANNING BOARD CERTIFICATE

THIS is to CERTIFY that the Planning Board of the City of Fort Lauderdale, Florida, approved and accepted this plat of DAWSON'S POINT by resolution adopted this 29th day of MARCH, A.D. 1945.

...
CHIEF ENGINEER

19-30

PRESQUE RIO AMENDED

A SUBDIVISION IN SECTION 12 • TOWNSHIP - 50 - SOUTH • RANGE - 42 - EAST
FORT LAUDERDALE, BROWARD COUNTY, FLORIDA.

SCALE ~ 1" = 60 FEET

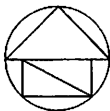
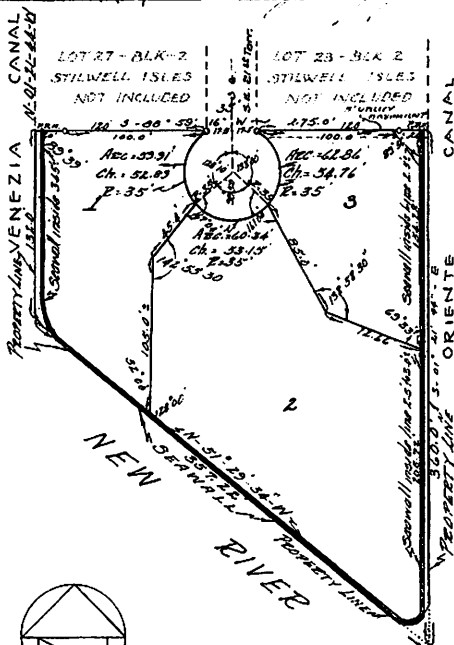
DATED ~ APRIL, 1952,

WALTER A. McELFRESH, CIVIL ENGINEER.

MORTGAGE STATEMENT

This PLAT is hereby approved by VIOLANTE KEELER KLIPSTEIN and AUGUST KLIPSTEIN, EXECUTORS of the ESTATE of HARBERT C. KLIPSTEIN, holder of the mortgage dated April 27, 1951, and recorded in Mortgage Book 346 Page 446 of the Public Records of Broward County, Florida.

Violante Keeler Klipstein



Distances shown are to tangent intersections. Bearings are true.
o = Indicates P.E.M.

DESCRIPTION

PRESQUE RIO, a subdivision in the City of Fort Lauderdale, Florida, according to the plat thereof recorded in plat book 16, page 34 of the Public Records of Broward County, Florida.

CITY ENGINEERS CERTIFICATE

This plat is hereby approved and accepted for record.

W. A. McElfresh
CITY ENGINEER.

COUNTY ENGINEERS CERTIFICATE

This plat is hereby approved and accepted for record.

W. A. McElfresh
COUNTY ENGINEER

ENGINEERS CERTIFICATE

STATE OF FLORIDA
COUNTY OF BROWARD S.S.

I hereby CERTIFY that the plat hereon shown is a true and correct representation of the lands platted and shown hereon, and that permanent reference monuments have been set as indicated by P.R.M.

Walter A. McElfresh
Registered Engr. No. 1630
Reg. Land Surveyor No. 60.
State of Florida.

STATE OF FLORIDA
COUNTY OF BROWARD S.S.

Know all men by these presents: AMERICAN ORION PAPER INC., a ILLINOIS corporation, owners of all the lands shown and included on this plat, have caused said lands to be subdivided and platted in the manner hereon shown, said subdivision to be known as "PRESQUE RIO AMENDED."

All previous plats of said lands are hereby voided, cancelled and superseded by this plat.

WE, the undersigned, hereby dedicate to the perpetual use of the public all turn-arounds, streets and/or terraces hereon shown, reserving, however, unto ourselves, our heirs, successors and assigns, the reversion or reversions thereof whenever any of the same may be discontinued by Law.

In witness whereof, the undersigned Corporation has caused these presents to be executed in its corporate name by its authorized officers and its seal to be affixed hereto on this day of April, A.D. 1952.

Signed, sealed and delivered in the presence of:

A. M. Beidell
President

W. B. Beidell
Secretary

STATE OF FLORIDA
COUNTY OF BROWARD

I hereby CERTIFY that on this day personally appeared before me, an officer duly authorized to take acknowledgements and administer oaths, A. M. Beidell, and EMIL B. Beidell, as president and secretary respectively of AMERICAN ORION PAPER INC., a ILLINOIS corporation, and they acknowledged before me that they executed the foregoing dedication of the plat hereon as such officers of said corporation, in the name of said corporation, being duly authorized by said corporation so to execute said dedication, and that said dedication is the act and deed of said corporation for the purposes therein expressed.

Witness my hand and official seal at this day of April A.D. 1952.

My Commission expires NOTARY PUBLIC

This is to CERTIFY that the City planning board of Fort Lauderdale, Florida approved and accepted this plat by resolution adopted this day of April, A.D. 1952.

W. A. McElfresh
Secretary.

STATE OF FLORIDA
COUNTY OF BROWARD S.S.

This is to CERTIFY that this plat of "PRESQUE RIO AMENDED" was approved by ordinance No. C-831, passed and adopted by the City Commission of Fort Lauderdale, Florida, at a regular meeting of said Commission this day of JUNE, A.D. 1952.

W. A. McElfresh
CITY AUDITOR & CLERK.

STATE OF FLORIDA
COUNTY OF BROWARD S.S.

This is to CERTIFY that this plat of "PRESQUE RIO AMENDED" was approved and accepted for record by the Board of County Commissioners of Broward County, Florida this day of AUGUST, A.D. 1952.

TED CABOT
Clerk of the Circuit Court
By W. A. McElfresh

STATE OF FLORIDA
COUNTY OF BROWARD S.S.

This instrument filed for record this day of August, A.D. 1952, and recorded in plat book 29, at page 47 of the public records of Broward County, Florida; this plat complies with the provisions of Chapter 10275 (No. 253) Laws of the STATE OF FLORIDA.

TED CABOT
CLERK OF THE CIRCUIT COURT
BROWARD COUNTY, FLORIDA
By W. A. McElfresh

Book 29 page 47

The map shows two blocks of land, Block A and Block B, separated by a canal. Block A is at the top, containing lots 16 through 30. Block B is at the bottom, containing lots 1 through 15. A central horizontal strip is labeled '17TH WAY (ISLE OF CAPRI)'. Below Block B is the 'TULA CANAL'. To the left of Block A is 'VENICE' and to the left of Block B is 'VENICE'. A 'GRASS LOT' is located between the two Venices. Dimensions are provided for all lot boundaries. A north arrow is at the bottom left. A scale bar at the bottom right indicates distances in feet (0, 20, 40, 60, 80, 100, 120, 140, 160, 180, 200, 220, 240, 260, 280, 300, 320, 340, 360, 380, 400, 420, 440, 460, 480, 500, 520, 540, 560, 580, 600, 620, 640, 660, 680, 700, 720, 740, 760, 780, 800, 820, 840, 860, 880, 900, 920, 940, 960, 980, 1000). A note at the bottom right states: 'I, the undersigned, of a Notary Public, do hereby certify that this is a true and correct copy of the original plat on file in my office.' The word 'MORTGAGE' is written vertically on the right edge.

Block A

30 29 28 27 26 25 24 23 22 21 20 19 18 17 16

Block B

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

17TH WAY (ISLE OF CAPRI)

TULA CANAL

VENICE

GRASS LOT

18

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23

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"RESUB DIVISION, IN
BLOCKS 3&4 of VENICE"

FORT LAUDERDALE-BROWARD COUNTY-FLORIDA
SECTION 11-TOWNSHIP 50S.-RANGE 42 E.

DEDICATION

STATE OF FLORIDA } ss
COUNTY OF DEWATO }

KNOW ALL MEN OF THESE PRESENTS: That FRANCIS L'ONNETMEIER, DEORETEUIL, and JULIA S. DEORETEUIL, his wife, Owners of the herein described lands have caused to be made this PLAT of a RESUBDIVISION IN BLOCKS 3 & 4 OF VENTN: for the purpose of subdividing the land in the manner Shown herein - All hereof except are dedicated to the perpetual use of the PUBLIC in fee simple forever.

IN WITNESS WHEREOF: We have hereunto set our hands and affixed our SEALS.

WITNESSES: Frank A. Mendenhall Francis de Tomelinda de Brito
George A. Foster Julio L. de Brito (Sra.)
ACKNOWLEDGEMENT

STATE OF FLORIDA } ss
COUNTY OF ORANGE }

I HEREBY CERTIFY That on this day personally appeared before me as Officer duly authorized to administer oaths and take acknowledgments, FRANCIS LETOURNEUX, MORETEUIL and JULIA S. ODETTE, his wife, to me well known to be the individuals described in, and who executed the foregoing declaration and they acknowledged before me that they executed the same freely and voluntarily for the acts and purposes therein expressed.

WITNESS: My hand and Official Seal of FORT LAUDERDALE, FLORIDA in the County of COVARD, STATE of FLORIDA, this 2nd day of January 1954.

By James G. [illegible] 4-1-51

NOTES

o Indicates Permanent Reference Materials.

CITY PLANNING BOARD

This is to CERTIFY: That the CITY PLANNING BOARD
of FORT LAUDERDALE, FLORIDA, approved and adopted
this PLAN by RESOLUTION, adopted this 22nd day of
Feb. 1934

William J. Long
CITY COMMISSION

STATE OF FLORIDA
COUNTY OF DUNBAR

THIS IS TO CERTIFY that the PLAT of a "REDEMPTION
IN BLOCKS" of VENICE has been, and approved and
adopted for RECORD by the CITY COMMISSION of the CITY OF
FORT LAUDERDALE, FLORIDA, and by ORDINANCE of the CITY
COMMISSION, adopted on the 27th day of AUGUST, 1954, in
PUBLIC SESSION.

IN WITNESS WHEREOF, The said CITY COMMISSION has caused
this document to be signed by its officers, and the
County Seal of said City to be here affixed this 27th day of
AUGUST, 1954.

W. Marshall
1000 10th St. S.W. Wash. D.C.

6640- id PERT 1" x 30"
J.W. McLAUGHLIN
CIVIL ENGINEER
PORT LADYFRANK-FLORIDA
FEBRUARY 1954

[illegible]

CIRCUIT COURT CLERK

STATE OF FLORIDA } ss
COUNTY OF BROWARD }
I HEREBY CERTIFY: That this PLAT
complies with the provisions of "AN ACT TO
REGULATE THE MAKING OF SURVEYS AND
FILING FOR RECORD OF MAPS AND PLATS IN THE STATE
OF FLORIDA" approved by the Governor, June 11th, 1922.

FRANK H MARKS
CLERK OF THE DISTRICT COURT

STATE OF FLORIDA
COUNTY OF HERNANDO

This instrument filed for RECORD on 41
day of October, 1972, and RECORDED in
BOOK 26 of PLATS at PAGE 18, FLEETO
VERIFIED. FRANK H. MARKS

Madalena Pichler

DEDICATION

STATE OF FLORIDA } ss
COUNTY OF DEFWATER }

[illegible]

Witnesses: Wm. Ambrose George McFadden (Wm.)
Frank A. Munkit Thaddeus D. Moore (Tha)

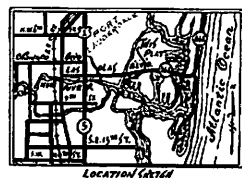
STATE OF FLORIDA } ACKNOWLEDGEMENT

I HEREBY CERTIFY: That on this day personally appeared before me, an Officer duly authorized to administer oaths and take acknowledgements, GEORGE S. McFADDEN and MARION BROWN, PRESIDENT and SECRETARY of CAPR Development Company, and that they executed the foregoing Declaration as such Officers of said Corporation.

My hand and Official Seal at Fort Lauderdale, in the
COUNTY OF BROWARD, STATE OF FLORIDA, this 22nd day of June, 1977.

W. J. [Signature]
W. J. [Signature]
W. J. [Signature]

APPROVED FOR RELEASE
C. J. [Signature]



Fort Ladderdale-Broward County,
FLORIDA
SECTION 11, TOWNSHIP 50 S., RANGE 42 E.

G.M. LAUGHLIN ENGINEERING CO.
 400 N.E. 3RD AVENUE
 FORT LAUDERDALE, FLA.

 SCALE IN FEET
 JANUARY ~ 1956

ENGINEER'S CERTIFICATION

STATE OF FLORIDA, ss
COUNTY OF BROWARD, ss
I HEREBY CERTIFY that this PLAT of "MOLA CANAL" is a true and correct representation of a SURVEY made by ME, and that PERMANENT REFERENCE MONUMENTS, have been set as indicated. Dated at FORT LAUDERDALE, FLORIDA, this 27th day of February, 1957.

McLAUGHLIN ENGINEERING Co.
Ot. W. 2115 Long St.
Registration of this and same subject at 107

DEDICATION

D E D I C A T I O N

STATE OF FLORIDA }
COUNTY OF BROWARD }

KNOW ALL MEN BY THESE PRESENTS: That A. D. DOIG LAND CO., a FLORIDA CORPORATION, owner of the lands shown and indicated on this PLAT, has caused said lands to be subdivided, and the same to be known and subject to be known as "MOLLA CADAL". All drainage easements THOROUGHFARES shown on this PLAT are hereby reserved for the perpetual use of the Public. All previous PLATS of said lands are hereby voided, cancelled, and super-seeded. THE PLAT.

IN WITNESS WHEREOF: A. D. DOIG LAND CO., has caused this DEDICATION to be signed in its name by its PRESIDENT and SECRETARY this 27th day of Feb, 1957

WTTW6741: Atty. G. Rubens 2016 Lano Co.
San Jose, CA Colonel D. Davis (SEAL)
Colonel D. Davis Colonel D. Davis Y (SEAL)

STATE OF FLORIDA
COUNTY OF BROWARD

ACKNOWLEDGEMENT

I HEREBY CERTIFY that on this day personally appeared before me, an Officer duly authorized, to administer Oaths and take Acknowledgements, WILLIAM B. DAVIS, and DAVID P. PERE, PRESIDENT and SECRETARY of A. D. DISE LAND CO., and they acknowledged before me, that they executed the foregoing DEDICATION as such Officers of said CORPORATION, in the name of said CORPORATION.

WITNESS: MY HAND AND OFFICIAL SEAL at FORT LAUDERDALE, in the County of BROWARD, STATE OF FLORIDA, this 6th day of Feb, 1937.

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

DEDICATION

KNOW ALL MEN BY THESE PRESENTS: That HOWARD C. JELKS and BEULAH JELKS, his wife, owners of the hereon described lands, have caused to be made this PLAT OF "STOLLA CANAL", for the purpose of subdividing the land in the manner shown hereon. All thoroughfares are dedicated to the perpetual use of the Public, in fee, simple, forever.

IN WITNESS WHEREOF: WE, have hereunto set our HANDS and affixed our SEALS.

WITNESSES: *J. W. Graham* (SEAL)
James R. Nichols (SEAL)

STATE OF FLORIDA
COUNTY OF BROWARD
I, REDACTED, do hereby certify that on this day personally appeared before me, an Officer duly authorized to administer OATHS and take ACKNOWLEDGEMENTS, HOWARD C. CELLS, and BEULAH CELLS his wife, to me well known to be the individuals described in, and who executed the same freely and voluntarily for the uses and purposes therein expressed.

WITNESSES: My HAND and OFFICIAL SEAL at FORT LAUDERDALE, in the County of BROWARD, STATE OF FLORIDA, this 12th day of Feb, 1957.

STATE OF FLORIDA } ss
COUNTY OF BROWARD }
KNOW ALL MEN BY THESE PRESENTS: That EVERETT S. PAINTER, and LUCINDA L. PAINTER, his wife,
Owners of the hereon described lands, have called to be made this PLAT of "MOLLA CANAL"
for the purpose of subdividing the land in the manner shown hereon. All "boroughs" and its DELEGATES
to the perpetual use of the PUBLIC in fee, simple forever.
IN WITNESS WHEREOF: WE have hereunto set our HANDS and affixed our SEALS.
My Commission Expires Feb. 25, 1939

WITNESSES: James B. Nichols (SEAL)
Richard E. Smith (SEAL)

STATE OF FLORIDA
COUNTY OF BROWARD

ACKNOWLEDGEMENT

I, HELENE E. PANTHER, do hereby acknowledge that on this 15th day of January, 1961, at Fort Lauderdale, Florida, the following named persons appeared before me, an Officer duly authorized to administer oaths, and they acknowledged to me that they executed the foregoing instrument as their free and voluntary act and deed, and that they executed the same truthfully and voluntarily for the uses and purposes therein expressed.

WITNESSES: My hand and official seal at Fort Lauderdale, in the County of Broward, State of Florida, this 15th day of January, 1961.

CITY COMMISSION

NOTED PUBLIC STATE OF FLORIDA
RECORDED DECEMBER 27 - 1960

STATE OF FLORIDA }
COUNTY OF BAYVIEW }

I, _____, COUNTY CLERK, do hereby certify that this PLAT of "INDIA CANAL" has been approved and accepted for filing by the CITY COMMISSION of the CITY of FORT LAUDERDALE, FLA., on this _____ day of _____, A.D. 19____.

IN WITNESS WHEREOF, I have hereunto set my hand and the official seal of said City, to be affixed, this _____ day of _____, 19____.

STATE OF FLORIDA }
COUNTY OF ESCAMBIA }
CLERK OF THE COUNTY COURT CERTIFICATE
I HEREBY CERTIFY: that this PLAT complies with the provisions of an "ACT TO REGULATE THE MAKING OF PLATS AND PLANS FOR RECORD OF MAPS AND PLATS IN THE STATE OF FLORIDA," approved by the GOVERNOR, CHAS. J. B. JAMES, 1978.

STATE OF FLORIDA, 14
COUNTY OF BROWARD)
This instrument filed for Record this 25th day of July 1957, and RECORDED in BOOK 44 of PLATS, at Page 30.
RECORD VERIFIED.

THIS IS TO CERTIFY: That the CITY PLANNING BOARD OF FORT LAUDERDALE, FLORIDA, approved and accepted this Plan by Resolution, adopted this 12th day of January, 1954.

CITY ENGINEER'S SIGNATURE _____
APPROVED FOR RECORD: E. J. [Signature]

COUNTY ENGINEER'S SIGNATURE _____
APPROVED FOR RECORD: [Signature]

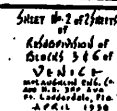
before me, that they executed the foregoing and voluntarily for the uses and purposes therein expressed. WITNESS: My hand and official seal at Fort Lauderdale, County of Broward, State of Florida, this 1st day of June, 1934.

My Commission Expires: JANUARY 14, 1935 Notary Public State of Florida

1. Lee J. M. Hester
 Justice, People's State of Hawaii
 My Commission Expires SEP. 18, 1969

2. Lee J. M. Hester
 Justice, People's State of Hawaii
 My Commission Expires SEP. 18, 1969

Attest: 1978-07-17 Attestation, this 17th day of MAY, 1978.
My Commission Expires: October 17, 1978 Thurman C. White
NOTARY PUBLIC STATE OF MICHIGAN 1773
47-26



NOTE: SECTION TIE:
CANNOT BE SHOWN
SINCE NEAREST SECTION
CORNER FALLS IN
CANAL.

North S. 24
Scale 1" = 60'

[illegible]

WITNESSES: _____ (Real)
WITNESSES: _____ (Real)

ACKNOWLEDGMENT

I, Robert C. Gentry, of the day personally appeared before me, an Officer duly authorized to administer oaths and take acknowledgments, Robert C. Gentry and Helen C. Gentry, his wife, to me well known to be the individual defendant in and who executed the foregoing Order of Arrest and that acknowledged before me that they executed the same freely and voluntarily for the uses and purposes therein expressed. Witness my hand and official Seal of Office at Northridge, California this 10th day of April 1961.

My Commission Expires _____

REPLICATION

[illegible]

I am to you
Ladies in South

A defect (error) that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, David H. King, to wit: that he intends to be the plaintiff herein defined, and also executed the foregoing Declaration and acknowledged before me that he executed the same freely and voluntarily for the uses and purposes therein expressed.

Witness my hand and official seal at the County Clerk's Office of said State, this 26th day of June, A.D. 1900.

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WITNESSES: ACKNOWLEDGMENT PAUL RABOOTH James (Seal)
John Adams
 STATE OF MISSISSIPPI } ss: I HEREBY CERTIFY that on this day personally appeared before me an Officer duly authorized to administer oaths and take affirmations, PAUL RABOOTH, of the County of Jefferson, State of Mississippi, who is well known to be the individual described in, and who executed the foregoing POWER OF ATTORNEY and these acknowledgments are made in full and true accordance with the contents thereof.
 (Signed to be filed) _____

Truly and faithfully for the Chief and Purposes therein expressed. Witness: My hand and official seal at San Francisco on 27th day of August 1963.

By Commission Expires: Feb - 1963

REGISTRATION

Wm. J. Cannon

RECEIVED

WITNESSETH, that ALL MEN OF THIS PRESENTY: That WALTER L. CHANDLER and WALTER L. CHANDLER, his wife, owners of the land described and herein as included in this PLAT, just
located said land to be subdivided in the manner herein. The Acreage, Containing, Waterways and Mineral Rights are hereby dedicated to the perpetual use of the PLAT in fee simple. All EASEMENTS are included in the perpetual use of the PLAT for purposes of inclusion. All RIGHTS RESERVED: Which hereunto set on hand and offered our SEAL in full and complete
County of Rowan, State of NORTH CAROLINA, this 19th day of April, 1994.

[illegible]

I, WALTER C. WERNER, hereby certify that the individuals described in, and who executed the foregoing Affidavits, and they acknowledged before me, that they executed the same, freely and voluntarily for the uses and purposes therein expressed. Witness: My hand on official seal at San Francisco, California, this 20th day of February, 1954.
Feb 20 1954
W. C. Werner
 Notary Public
 My Comm. Expires Feb 20 1954

As owner and holder of a Mortgage on the above described property, we hereby approve and grant this note.

VOLUNTARY STATE LAW ENFORCEMENT
 [Signature]
 [Signature]
 [Signature]

ATLANTA, GEORGIA
 [Signature]
 [Signature]

CITY OF ATLANTA, GEORGIA
 [Signature]
 [Signature]

4 2024/10/23 22:21:04

10/15/2010

[illegible]

MOBILE REPORT
SIGNATURE

is owner and holder of a Motor
Cycle on the above described property
illegally, except and against the law

David B. Johnson

1. The first part of the document is a list of names and addresses, which appears to be a directory or a list of contacts. The names are written in a cursive script, and the addresses are listed below them. The list includes names such as "John A. Smith", "Mary E. Jones", and "Robert L. Brown".

... 1990

1977. 4. 2. 5

STATE OF FLORIDA
COUNTY OF BROWARD

Know all men by these Presents: That FAN-DAVIS, INC. (Now DAVE-POLLOCK Company) a FLORIDA CORPORATION, owner of the lands described and shown as included in this PLAT, has caused said lands to be subdivided in the manner shown. The AVENUE, BOULEVARD, WATERWAYS and PUBLIC PLACES are hereby dedicated to the perpetual use of the PUBLIC, in fee simple. All EASEMENTS are dedicated to the perpetual use of the PUBLIC, for purposes as indicated. IN WITNESS WHEREOF: FAN-DAVIS, INC. has caused this Declaration to be signed in its name by its President and Secretary on the 16 day of February, 1950.

Witnesses: David W. Pollock (Sgt.)
David W. Pollock (Sgt.)
David W. Pollock (Sgt.)

ACKNOWLEDGEMENT

I, JOHN C. BROWDER, County of Broward, State of Florida, do hereby certify: That on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, David E. Pollack and Charles E. Bickel, President and Secretary of PAK-PAC, INC. (a Non-Profit Corporation), and they acknowledged before me, that they executed the foregoing Declaration of both Officers of said Corporation, in the name of said Corporation. Witness: My hand and Official Seal of PORT LAUDERDALE, County of Broward, State of Florida, this 14th day of 1966.

CITY COMMISSION

City Commission begins: JANUARY 15, 1961

STATE OF FLORIDA } THIS IS TO CERTIFY: That this PLAT has been approved and allowed for Record by the CITY Commission of the CITY of FORT
County as Situated } LANDMARK, FLORIDA, in and by ORDINANCE No. 1777, adopted by said CITY Commission, on the 12th day of AUGUST,
1958. IN WITNESS WHEREOF: The said CITY Commission has Caused these Presents to be signed by its CITY CLERK, and the CORPORATE SEAL of
said CITY, to be affixed this 12th day of _____, 1958.

CITY CLERK

CITY PLANNING BOARD
THIS IS TO CERTIFY: That the CITY PLANNING BOARD of FORT LAUDERDALE, FLORIDA, approved and accepted this PLAT by Resolution, adopted this 4TH day of February, 1988.

CLERN OF THE CIRCUIT COURT (CERTIFICATE)

STATE OF FLORIDA } I HEREBY CERTIFY: That this PLAT Complied with the provisions of an ACT TO REGULATE THE MAKING OF
COUNTY IN BROWARD } SURVEYS AND FILING FOR RECORD OF MAPS AND PLATS IN THE STATE OF FLORIDA, approved
by the Governor, June 11, 1925. This INSTRUMENT filed for RECORD this 9th day of July, 1958, and RECORDED
in Book 47 of PLATS at PAGE 26, "RECORD VERIFIED."

FRANK H. MARKS
CLERK OF THE DISTRICT COURT
By Madeline Fox & Son

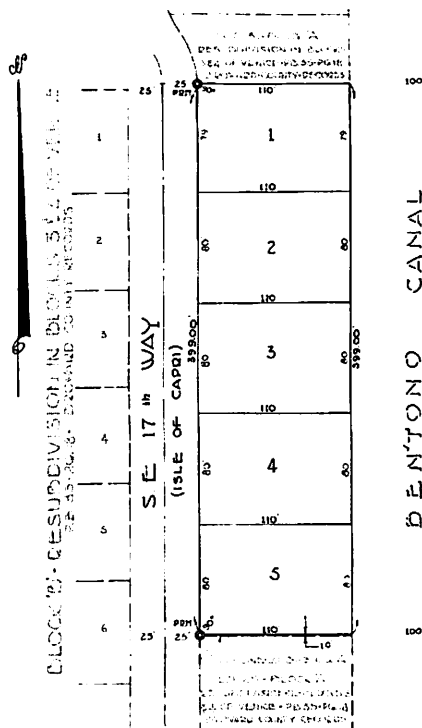
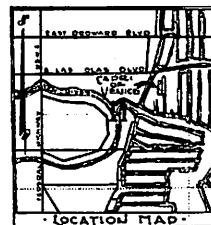
STATE OF FLORIDA

I HEREBY CERTIFY: That this PLAT is a true and correct representation of a Survey made by us and that

(1) Effelred
 this 21st day of May 1990.

APPROVED FOR RELEASE: William J. Lawrence COUNTY ENGINEER [Signature]

NOTE:
● Indicates Permanent Reference Monument - PPM



CITY ENGINEER'S CERTIFICATE

Approved for Record.

City Engineer, C. H. Williams

COUNTY ENGINEER'S CERTIFICATE

Approved for Record.

County Engineer, W. H. Williams

MORTGAGE HOLDER

We the undersigned, Owners and Holders of Mortgages on the above described Property, hereby approve and accept this Plat.

Emilia Williams
W. H. Williams

CAPRI OF VENICE

A RESUBDIVISION IN VENICE
SEC. 11-TWP 50S-RGE 42E-FT. LAUDERDALE, BROWARD COUNTY, FLORIDA

Prepared By
M^{rs} LAUGHLIN ENGINEERING CO
Engineers & Surveyors
400 N.E. 3rd AVE. FT. LAUDERDALE, FLORIDA

SCALE: 1"=40' 0 40 80 120 SCALE IN FEET

DESCRIPTION

Lot 19 Block 4, VENICE, according to the plat thereof recorded in Plat Book 6, Page 4, of the Public Records of Broward County, Florida, and lot 26, less the South 1 foot thereof and all of lots 27 to 30 inclusive, Block 25 of the Resubdivision in Blocks 3 and 4 of VENICE, according to the plat thereof recorded in Plat Book 55, Page 18, of the Public Records of Broward County, Florida

DEDICATION

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

KNOW ALL MEN BY THESE PRESENTS: That A. D. DOIG LAND COMPANY, a Florida Corporation, Owners of the lands described and shown as included in this PLAT, has caused said lands to be subdivided in the manner shown
IN WITNESS WHEREOF: The said A. D. DOIG LAND COMPANY, have caused these Presents to be signed by their Officers and the Corporate Seal affixed thereto this 18th day of March, 1960.

A. D. DOIG LAND COMPANY

ACKNOWLEDGEMENT

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

I HEREBY CERTIFY: That on this day personally appeared before me, an Officer, duly authorized by law to administer Oaths and take Acknowledgments, A. D. DOIG and CALVIN D. DOIG, President and Secretary, respectively of the A. D. DOIG LAND COMPANY, and they acknowledged to me the execution of the foregoing instrument and the Seal of said Corporation affixed thereto for the purposes therein expressed:

IN WITNESS WHEREOF: I have hereunto set my Hand and Seal this 18th day of March, 1960 at Ft. Lauderdale, County of Broward, State of Florida

My Commission Expires Sept. 14, 1963

CIRCUIT COURT CLERK'S CERTIFICATE

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

I HEREBY CERTIFY: That this Plat complies with the Provisions of, "AN ACT TO REGULATE THE MAKING OF SURVEYS AND FILING FOR RECORD OF MAPS AND PLATS IN THE STATE OF FLORIDA", approved by the Governor, June 11th 1925

FRANK H. MARKS, Clerk of the Circuit Court

I HEREBY CERTIFY: That this Instrument is filed for Record this 13th day of April, 1960 and Recorded in Book 52 of Plats, at Page 39 RECORD VERIFIED

CITY PLANNING BOARD

THIS IS TO CERTIFY: That the City Planning Board of Ft. Lauderdale, Florida approved and accepted this Plat by Resolution adopted this 14th day of April, 1960

CITY COMMISSION

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

THIS IS TO CERTIFY: That this Plat, CAPRI OF VENICE, has been approved and accepted for Record by the City Commission of the City of Ft. Lauderdale, Florida in and by Ordinance 1960-163 adopted by said City Commission on the 6th day of April, 1960

IN WITNESS WHEREOF: The said City Commission has caused these Presents to be attested by its CLERK and the Corporate Seal of said City to be here affixed this 6th day of April, 1960

ENGINEER'S CERTIFICATE

STATE OF FLORIDA } ss
COUNTY OF BROWARD }

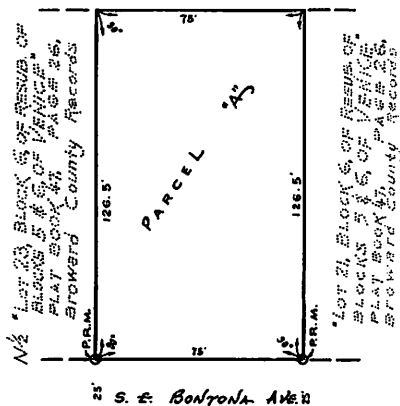
WE HEREBY CERTIFY: That this Plat of CAPRI OF VENICE is a true and correct representation of a Survey made by us and that Permanent Reference Monuments have been set as indicated. Dated at Ft. Lauderdale, Florida this 20th day of March, 1960

M^{rs} LAUGHLIN ENGINEERING CO.

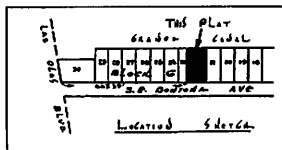
By J. W. McLaughlin

Registered Engineer No. 1123 State of Florida

GRANDE CANAL



Note
◊ P.R.M. Indicates Permanent
Reference Monument.



RESUBDIVISION No. 2, IN BLOCK 6, of
VENICE

SECTION 11, TOWNSHIP 50th, Rth. 42nd ±
CITY OF FORT LAUDERDALE,
BROWARD COUNTY, FLORIDA

JANUARY 1962
MOLLELIP + SIBSIBSIB
600 S. 4. 920 Honda
Foot Ladder - P. L. O. R. M.
Scale in Feet 0 10 20 30 40 50 60 5" = 20'

NOTE: Raptist abandoning
Public Right-of-way.

DESCRIPTION

Lor 22 and the South one-half (S 1/2) of Lor 23, BLOCK 6, VENICE, according to the PLAT thereof recorded in PLAT BOOK 8, PAGE 12, of the Public Records of BROWARD COUNTY, FLORIDA,

Together with these portions of the East one-half (2½) of Rio Pinyon Canal, East Pinyon Street, and the unnumbered lots lying North of the Westerly extension of the South line of said Lot 22 and South of the Westerly extension of the North line of the said South one-half (3½) of Lot 23.

DEDICATION

STATE OF FLORIDA

COUNTY OF BROWARD) ss KNOW ALL MEN BY THESE PRESENTS: That Henry E. WARWICK and Helen S. WARWICK, his wife; OWNERS of the lands described and shown as included in this PLAT, has caused said lands to be subdivided and platted as hereon shown: said subdivision to be known as "Resubdivision No. 2, in Block 6, of VENICE". All Streets are dedicated to the perpetual use of the public, in fee simple.

IN WITNESS WHEREOF: We, have hereunto set our hands and affixed our
seals, in the City of FORT LAUDERDALE, COUNTY of BROWARD, STATE of FLORIDA, this 11th day of
January, 1988.

January, 1962.

Wm. Richard
L. J. Pulley

Henry E. Wawro (Sec)

Henry E. Wawro (Sec)

Henry E. Wawro (Sec)

ACKNOWLEDGEMENT

STATE OF FLORIDA

155
COUNTY OF BROWARD. I HEREBY CERTIFY: That on this day personally appeared before me, an officer duly authorized by law, to administer oaths and take acknowledgements, HENRY E. WARWICK and HELEN S. WARWICK, his wife; to me well known to be the individuals described in, and who executed the foregoing DEDICATION, and they acknowledged before me, that they executed the same freely and voluntarily for the uses and purposes therein expressed.

WITNESS: My Hand and Official Seal at Fort Lauderdale, County of Broward, State of
FLORIDA, this 16th day of January, 1962.

FLORIDA, this 16th day of January, 1962.
My Commission Expires: September 12, 1964

Lisa C. McEachern
NOTARY PUBLIC STATE OF FLORIDA

CITY PLANNING BOARD

STATE OF FLORIDA

COUNTY OF BROWARD ⁵⁹ THIS IS TO CERTIFY: That the CITY PLANNING BOARD OF FORT LAUDERDALE, FLORIDA,
reviewed this PLAT, this 6th day of FEBRUARY, 1962. E. J. [Signature]

reviewed this PLAT, this 6th day of FEBRUARY, 1962.

CITY COMMISSION

STATE OF FLORIDA

COUNTY OF BROWARD) ss THIS IS TO CERTIFY: That this PLAT has been approved and accepted for Record, by the CITY COMMISSION of the CITY OF FORT LAUDERDALE, FLORIDA, in and by ORDINANCE N° C-1810, adopted by said CITY COMMISSION on this 20th day of March, 1962.

IN WITNESS WHEREOF: The said CITY Commission has caused these PRESENTS to be attested by its CITY CLERK, and the CORPORATE SEAL of said CITY, to be affixed this 21st day of MARCH, 1962.

James C. Ardy
CITY CHAIR

CIRCUIT COURT CLERK'S
CERTIFICATES

STATE OF FLORIDA

COUNTY OF BROWARD⁵⁸ I HEREBY CERTIFY: That this PLAT complies with the provisions of an "ACT TO REGULATE THE MAKING OF SURVEYS AND FILING FOR RECORD OF MAPS AND PLATS, IN THE STATE OF FLORIDA," approved by the GOVERNOR, JUNE 11th 1925.

FRANK H. MARKS
SIRGENT CONES CARM

THIS INSTRUMENT filed for RECORD, this 4th day of April, 1962, and RECORDED in Book 55 of PLATS at PAGE 50, "RECORD VERIFIED."

FRANK H. MARKS
CIRCUIT COURT CLERK

ENGINEER'S CERTIFICATE

STATE OF FLORIDA

COUNTY OF BROWARD) ^{us} WE, HEREBY CERTIFY: That this PLAT of "RESUBDIVISION No. 2, IN BLOCK G, OF VENICE",
is a true and correct representation of a Survey made by us, and that PERMANENT REFERENCE MONUMENTS have been
set as indicated. Dated at FORT LAUDERDALE, FLORIDA, this 15th day of JANUARY, 1962. _{us} *W. S. C. V. 6*

Set as indicated. Dated at FORT LAUDERDALE, FLORIDA, this 15th day of JANUARY, 1962.

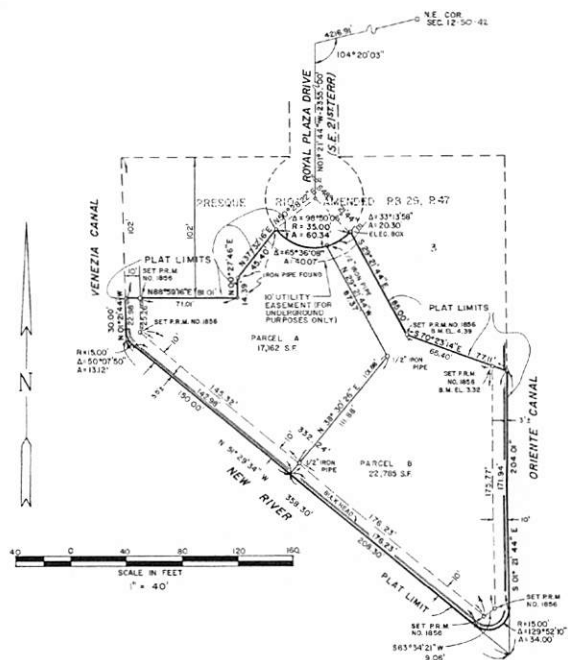
COUNTY ENGINEER'S SIGNATURE OF APPROVAL
THIS PLAT ACCEPTED AND
APPROVED FOR RECORD: 5/14/05

At: James M. Laughlin
J. M. Laughlin, 200 Ave. A, N. Y. 100, 100 Ave. C, New York, N. Y.
SVP of Finance

KEITH AND SCHWAB, P.A.
ENGINEERS-PLANNERS-SURVEYORS
1115 NORTHEAST FOURTH AVENUE
FORT LAUDERDALE, FLORIDA

CASSEL'S POINT

A RESUBDIVISION OF A PORTION OF PRESQUE RIO AMENDED (PB 29, P.47)
IN SECTION 12, TOWNSHIP 50 SOUTH, RANGE 42 EAST
CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA
AUGUST, 1980



LAND DESCRIPTION

TRACT 1, LESS THE NORTH 102 FEET THEREOF, TOGETHER WITH TRACT 2, PRESQUE RIO AMENDED, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 29, PAGE 47, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. SAID LOTS LYING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA, CONTAINING 0.970 AC. MORE OR LESS.

SURVEY NOTES

1. D INDICATES PERMANENT REFERENCE MONUMENT.
2. SECTION 12E FROM STILLWELL ISLES (PLATBOOK 18, PAGE 29).
3. SURVEY DATA IN FIELD BOOK 173, PAGE 49.
4. ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
5. BEARINGS SHOWN HEREON ARE RELATIVE TO PRESQUE RIO AMENDED (PLAT BOOK 29, PAGE 47).
6. B.M. EL. BENCHMARK ELEVATION

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE PLAT SHOWN HEREIN IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS SURVEYED; THAT PERMANENT REFERENCE MONUMENTS (P.R.M.'S) HAVE BEEN SET AS INDICATED HEREON; THAT THE SURVEY WAS MADE UNDER OUR RESPONSIBLE DIRECTION AND SUPERVISION; AND THAT THE SURVEY DATA COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, AND BROWARD COUNTY ORDINANCE 79-43.

THE BENCHMARKS CONFORM TO MASS STANDARDS FOR THIRD ORDER WORK.
KEITH AND SCHWAB, P.A.
ENGINEERS-PLANNERS-SURVEYORS
DATED OCT 15, 1980 BY WILLIAM V. KEITH, P.L.L.C.
FLORIDA REGISTRATION NO. 1956

DEDICATION

STATE OF FLORIDA)
COUNTY OF BROWARD)SS

KNOW ALL MEN BY THESE PRESENTS, THAT CHARLES T. CASSEL, JR. AND MARY ANN CASSEL, HIS WIFE, OWNERS OF THE LANDS DESCRIBED AND SHOWN HEREON AS BEING INCLUDED WITHIN THIS PLAT, HAVE CAUSED SAID LANDS TO BE SURVEYED, SUBDIVIDED AND PLATTED IN THE MANNER SHOWN HEREON, TO BE KNOWN AS CASSEL'S POINT. THE UTILITY EASEMENT IS DEDICATED TO THE PUBLIC FOR PROPER PURPOSES. IN WITNESS WHEREOF, THE OWNERS HAVE CAUSED THESE PRESENTS TO BE EXECUTED THIS 14th DAY OF NOVEMBER, 1980.

Charles T. Cassel, Jr.
WITNESS AS TO BOTH
Mary Ann Cassel
WITNESS AS TO BOTH
CHARLES T. CASSEL, JR.
MARY ANN CASSEL

ACKNOWLEDGEMENT

STATE OF FLORIDA)
COUNTY OF BROWARD)SS

BEFORE ME PERSONALLY APPEARED CHARLES T. CASSEL, JR. AND MARY ANN CASSEL TO ME WELL KNOWN AND KNOWN TO ME TO BE THE PERSON DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED BEFORE ME THAT HE EXECUTED SAID INSTRUMENT FOR THE PURPOSES EXPRESSED THEREIN.

WITNESS MY HAND AND OFFICIAL SEAL THIS 14th DAY OF NOVEMBER, A.D., 1980.

MY COMMISSION EXPIRES: 2/1/84
Betty L. Condit
NOTARY PUBLIC, STATE OF FLORIDA

MORTGAGEE'S CONSENT

STATE OF FLORIDA)
COUNTY OF BROWARD)SS

THE UNDERSIGNED HEREBY CERTIFIES THAT IT IS THE HOLDER OF A MORTGAGE UPON THE PROPERTY DESCRIBED HEREON AND DOES HEREBY JOIN IN AND CONSENT TO THE DEDICATION OF THE LAND DESCRIBED IN SAID DEDICATION BY THE OWNER THEREOF AND AGREES THAT ITS MORTGAGE WHICH IS RECORDED IN OFFICIAL RECORDS BOOK 8749 AT PAGE 443 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SHALL BE SUBORDINATED TO THE DEDICATION SHOWN HEREON.

IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED THESE PRESENTS TO BE SIGNED BY ITS PRESIDENT AND ATTESTED TO BY ITS VICE PRES. AND ITS CORPORATE SEAL TO BE AFFIXED HEREON BY AND WITHIN AUTHORITY ON ITS BOARD OF DIRECTORS THIS 14th DAY OF NOVEMBER, A.D., 1980.

Atlantic Federal Savings and Loan Association of Fort Lauderdale
VICE PRES. - JERRY
PRESIDENT - DONALD V. SHULTZ

ACKNOWLEDGEMENT

STATE OF FLORIDA)
COUNTY OF BROWARD)SS

BEFORE ME PERSONALLY APPEARED DONALD V. STEELER AND JERRY M. LITSON TO ME WELL KNOWN, AND KNOWN TO ME TO BE THE INDIVIDUALS DESCRIBED IN AND WHO EXECUTED THE FOREGOING INSTRUMENT AS PRESIDENT AND VICE PRESIDENT-SECRETARY OF ATLANTIC FEDERAL SAVINGS AND LOAN ASSOCIATION OF FORT LAUDERDALE AND SEVERALLY ACKNOWLEDGED TO AND BEFORE ME THAT THEY EXECUTED SUCH INSTRUMENT AS SUCH OFFICERS OF SAID CORPORATION, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION AND THAT IT WAS AFFIXED TO SAID INSTRUMENT BY ONE AND REGULAR CORPORATE AUTHORITY, AND THAT SAID INSTRUMENT IS THE FREE ACT AND DEED OF SAID CORPORATION.

WITNESS MY HAND AND SEAL THIS 14th DAY OF NOVEMBER, A.D., 1980.

MY COMMISSION EXPIRES
JAN. 20th, 1984

Mary C. Celabre
NOTARY PUBLIC, STATE OF FLORIDA

CITY PLANNING AND ZONING BOARD

THIS IS TO CERTIFY THAT THE CITY PLANNING AND ZONING BOARD OF FORT LAUDERDALE, FLORIDA, HAS HEREBY APPROVED AND ACCEPTED THIS PLAT, THIS 14th DAY OF NOVEMBER, 1980.

DATED January 21, 1981 BY *J. L. Thayer*
CHAIRMAN

CITY ENGINEER

THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD THIS 22nd DAY OF JANUARY, 1981.

W. E. McHenry
W. E. McHENRY, P.E.
REG. NO. 7499
STATE OF FLORIDA

CITY COMMISSION

STATE OF FLORIDA)
COUNTY OF BROWARD)SS

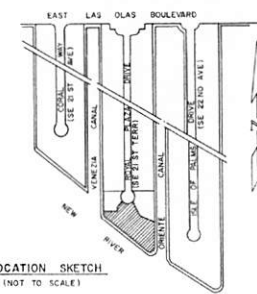
THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN ACCEPTED AND APPROVED FOR RECORD BY THE CITY COMMISSION OF THE CITY OF FORT LAUDERDALE, FLORIDA, IN AND BY ORDINANCE NO. 79-177, ADOPTED BY SAID CITY COMMISSION THIS 14th DAY OF NOVEMBER, 1980. IN WITNESS WHEREOF THE SAID CITY COMMISSION HAS CAUSED THESE PRESENTS TO BE ATTESTED BY ITS CITY CLERK AND THE CORPORATE SEAL OF SAID CITY TO BE AFFIXED THIS 22nd DAY OF JANUARY, 1981.

BY *Carolyn*
CITY CLERK

ATLANTIC FEDERAL SAVINGS AND LOAN ASSOCIATION OF FORT LAUDERDALE

NOTARY PUBLIC - STATE OF FLORIDA

CITY COMMISSION



LOCATION SKETCH
(NOT TO SCALE)

BROWARD COUNTY PLANNING COUNCIL

THIS IS TO CERTIFY THAT THE BROWARD COUNTY PLANNING COUNCIL APPROVED THIS PLAT WITH REGARD TO DEDICATION OF RIGHTS-OF-WAY FOR TRAFFIC WAYS BY RESOLUTION NO. 158, ADOPTED THIS 15th DAY OF MARCH, 1981.

DATED *March 15, 1981*

BROWARD COUNTY CENTRAL SERVICES DEPARTMENT ARCHIVES AND MINUTES DIVISION

THIS IS TO CERTIFY THAT THIS PLAT COMPLIES WITH THE PROVISIONS OF AN ACT TO REGULATE THE MAKING AND FILING FOR RECORD OF MAPS AND PLATS IN THE STATE OF FLORIDA, APPROVED BY THE GOVERNOR, JUNE 27th, 1971 - THIS PLAT ACCEPTED AND APPROVED FOR RECORD BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, THIS 22nd DAY OF JANUARY, 1981.

GRAHAM W. WATT, COUNTY ADMINISTRATOR
Chryllis Flanagan
BY *Marie A. Smith*
COUNTY CLERK

BROWARD COUNTY ENGINEERING DIVISION

THIS PLAT HAS BEEN APPROVED AND ACCEPTED FOR RECORD BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, THIS 22nd DAY OF JANUARY, 1981.

BY *Henry P. Cook*
DIRECTOR
PLA. P.E. REG. NO. 12506
DATED *2-17-81*

BROWARD COUNTY FINANCE DEPARTMENT RECORDING DIVISION

THIS INSTRUMENT FILED FOR RECORD THIS 15th DAY OF JANUARY, 1981, IN BOOK III, OF PLATS, AT PAGE 3.

GRAHAM W. WATT, COUNTY ADMINISTRATOR
Carolyn





COMMISSION AGENDA ITEM
DOCUMENT ROUTING FORM

Today's Date: 12/22/2021

2L
01/05/2022

DOCUMENT TITLE: Comcast Relocation Agreement

COMM. MTG. DATE: 12/21/2021 CAM #: 21-0193 ITEM #: CM-9 CAM attached: ☒ YES ☐ NO

Routing Origin: CAO Router Name/Ext: Sonia/5598 Action Summary attached: ☐ YES ☒ NO

CIP FUNDED: ☐ YES ☐ NO

Capital Investment / Community Improvement Projects defined as having a life of at least 10 years and a cost of at least \$50,000 and shall mean improvements to real property (land, buildings, or fixtures) that add value and/or extend useful life, including major repairs such as roof replacement, etc. Term "Real Property" include: land, real estate, realty, or real.

1) Dept: CAO Router Name/Ext: Sonia/ 5598 # of originals routed: 2 Date to CAO: 12/22/21

2) City Attorney's Office: Documents to be signed/routed? ☒ YES ☐ NO # of originals attached: 2

Is attached Granicus document Final? ☒ YES ☐ NO

Approved as to Form: ☒ YES ☐ NO

Date to CCO: 12/22/21 Alain E. Boileau
Attorney's Name

db
Initials

3) City Clerk's Office: # of originals: 2 Routed to: Donna V./Aimee L./CMO Date: 12/23/2021

4) City Manager's Office: CMO LOG #: Dec 62 Document received from: 12/23/21

Assigned to: CHRIS LAGERBLOOM ☐ TARLESHA SMITH ☐ GREG CHAVARRIA ☐
CHRIS LAGERBLOOM as CRA Executive Director ☐

☐ APPROVED FOR C. LAGERBLOOM'S SIGNATURE ☐ N/A FOR C. LAGERBLOOM TO SIGN

PER ACM: T. Smith _____ (Initial/Date) PER ACM: G. Chavarria _____ (Initial/Date)

☐ PENDING APPROVAL (See comments below)

Comments/Questions: _____

Forward ___ originals to ☐ Mayor ☐ CCO Date: _____

5) Mayor/CRA Chairman: Please sign as indicated. Forward ___ originals to CCO for attestation/City seal (as applicable) Date: _____

6) City Clerk: Forward 2 originals to CAO for FINAL APPROVAL Date: 01/05/2022

7) CAO forwards ___ originals to CCO Date: _____

8) City Clerk: Scan original and forwards 2 originals to: Sonia/ CAO/ 5598

Attach ___ certified Reso # _____ ☐ YES ☒ NO

Original Route form to Sonia 5598 CAO