

DEMOLITION PLAN

927 SW 2ND COURT FT. LAUDERDALE, FL 33312

LEGAL DESCRIPTION:
 1.00% OF THE EAST HALF OF LOT 15, BLOCK 114, WALTER PLACE, AS RECORDED IN PLAT BOOK 2, PAGE 19 OF THE PUBLIC RECORDS OF PALM COUNTY, FLORIDA, SAID LAND LING, SITUATE AND BEING IN BROWARD COUNTY, FLORIDA.
 FLOOD ZONE: X
 COMMUNITY NUMBER: 125105
 NET ACRES: 71.9087 (0.1414 ACRES)
 PANEL: 0557
 SURF: H

SCOPE OF WORK:

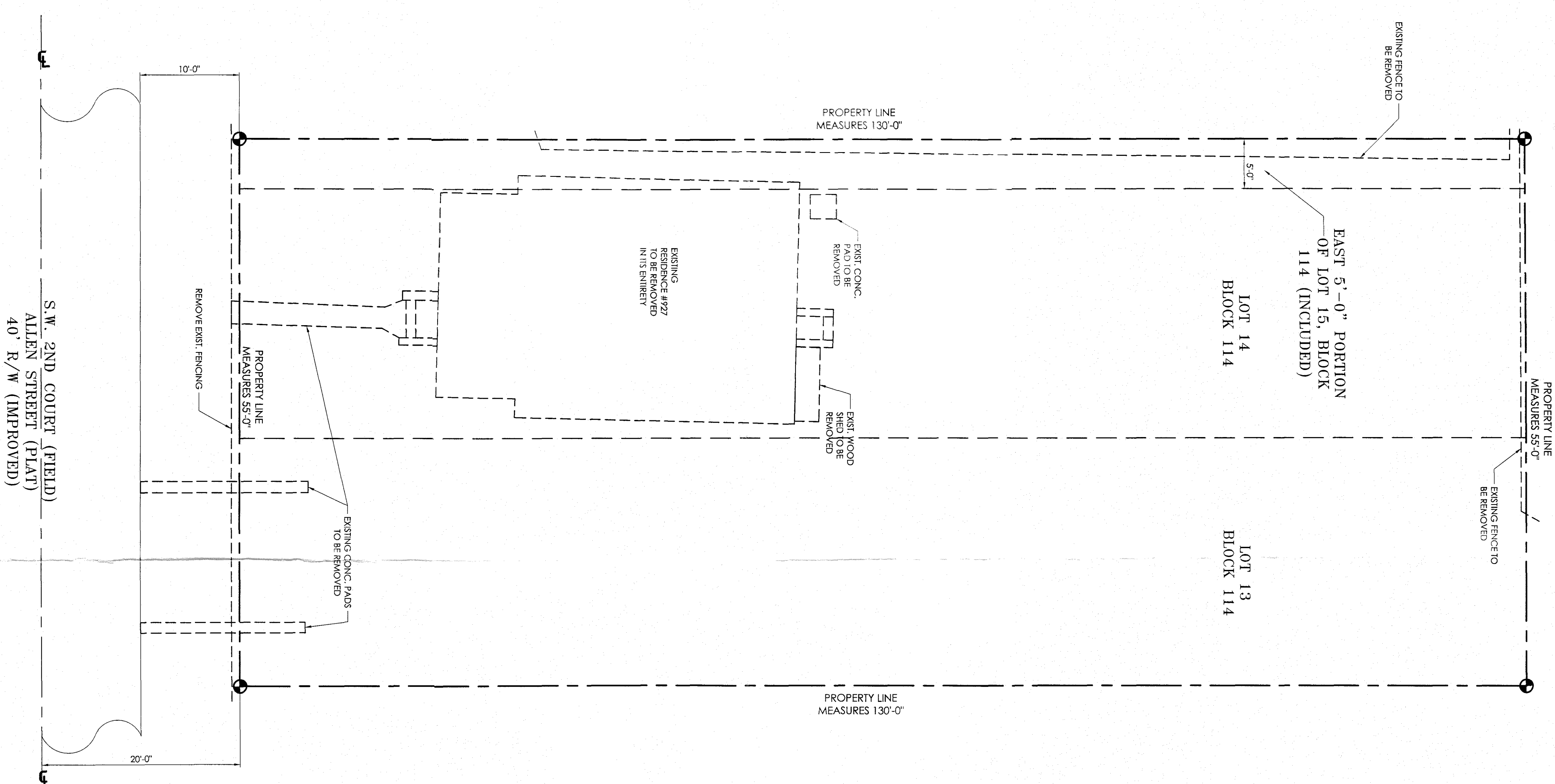
1. INFORMATION ON THE DRAWINGS HAS BEEN OBTAINED BY THE ENGINEER FROM THE OWNER. SUCH "EXISTING" INFORMATION SHALL BE CONSIDERED AS SHOWN SCHEMATICALLY ONLY, AND SHALL BE FIELD VERIFIED BY ALL CONTRACTORS TO SITE, LOCATION AND MATERIAL.
2. THE CONTRACTOR AND ALL HIS SUB-CONTRACTORS SHALL BE HELD TO HAVE VISITED THE SITE OF THE WORK AND TO HAVE EXAMINED THE EXISTING CONDITIONS OF THE SAME AND THE SITUATIONS UNDER WHICH THEY ARE TO WORK AND TO HAVE ACCOURED FOR SAME IN THEIR BIDS.
3. REMOVE EXISTING RESIDENCE IN ITS ENTIRETY, INCLUDING BUT NOT LIMITED TO: EXISTING CONCRETE FOUNDATION, EXISTING CONCRETE SLABS AND FOOTINGS, ALL APPLIANCES, PLUMBING FIXTURES, ELECTRICAL COMPONENTS INCLUDING METER AND PANEL BOX, ALL CONCRETE SLABS AND FOOTINGS.
4. ALL DEMOLITION AND REMOVAL OF EXISTING UTILITIES, STRUCTURES, FINISHING MATERIALS, ETC., SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL STATE AND NATIONAL GOVERNING AUTHORITIES.
5. CONTRACTOR SHALL VERIFY SOIL BEARING CAPACITY PRIOR TO REBATTING AND SHALL SUBMIT REPORT TO ENGINEER AND OWNER. CONTRACTOR SHALL PROVIDE COMPACTOR FOR WALKWAYS, FLATWORK AND DRIVEWAYS AS REQUIRED.

DEMOLITION NOTES:

1. PRIOR TO DEMOLITION THE GENERAL CONTRACTOR IS TO VERIFY EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE OWNER.
2. SALVAGE ITEMS AND MATERIALS SHALL REMAIN THE PROPERTY OF THE OWNER AS PART OF THE CONTRACT. CONTRACTOR SHALL DELIVER THESE ITEMS TO A LOCATION AS WHERE EXISTING PLUMBING AND FRING IS TO BE REMOVED OR REPLACED. CARE SHALL BE TAKEN WHEREVER CUTTING OR DRILLING IS INDICATED OR REQUESTED. WORK SHALL BE NEATLY SAW-CUT OR DONE IN A MANNER NOT TO DAMAGE ANY WORK THAT IS TO REMAIN. PATCH ADJACENT WALLS, FLOORS AND CEILINGS AS REQUIRED TO MATCH EXISTING CONDITIONS.
3. CONTRACTOR IS TO DISCONNECT, CAP, AND REMOVE ALL ELECTRICAL CONDUIT AND WIRING AFFECTED BY THOSE AREAS DESIGNATED TO BE DEMOLISHED.
4. CONTRACTOR TO PROVIDE TEMPORARY WEATHERPROOF CLOSURES AT ALL EXTERIOR BRACINGS, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF AREAS TO BE DEMOLISHED AND ADJACENT AREAS TO REMAIN. SETTLEMENT OR COLLAPSE OF AREAS TO BE DEMOLISHED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. DEMOLITION AND NEW BUILDING MATERIAL STOCK SHALL NOT INTERFERE OR HINDER EMERGENCY ACCESS OR RESPONSES TO STRUCTURE OR VICINITY, INCLUDING FIRE LINES.

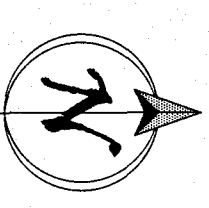
ASBESTOS REMOVAL NOTES:

1. REMOVAL AND DISPOSAL OF ACM (ASBESTOS)-CONTAINING MATERIALS FOR THE PURPOSES OF RENOVATION MUST BE PERFORMED BY A LICENSED ASBESTOS REMOVAL CONTRACTOR.
2. LICENSED ASBESTOS CONSULTING FIRM SHOULD PERFORM DAILY AIR MONITORING OF THE RENOVATION AREAS DURING ASBESTOS REMOVAL. TO DOCUMENT THE AIR QUALITY, PERFORM DAILY INSPECTIONS, AND PROVIDE FINAL VISUAL INSPECTIONS AND FINAL AIR CLEARANCE TESTING.
3. PRIOR TO RENOVATION ACTIVITIES, THE RENOVATION AREA SHOULD BE INSPECTED FOR CONTAMINATION AND FURNISHABLE MATERIALS. THE IDENTIFIED MATERIALS SHOULD BE REMOVED FROM THE AREA, AND PROPERLY DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.
4. HAZARDS COMMUNICATIONS PROGRAM IS RECOMMENDED TO PROJECT WORKERS IN THE RENOVATION AREA. THE PROGRAM SHOULD INCLUDE TRAINING, POSTING, AND SIGNAGE TO ADVISE THE PUBLIC AND ADJACENT COMMUNITY HEALTH DEPARTMENT REQUIRES NOTIFICATION OF INTENT TO RENOVATE OR DEMOLISH. NOTIFICATION MUST BE SENT AT LEAST 10 WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.



1 DEMOLITION PLAN

SCALE: 1/8" = 1'-0"



NOTE: SITE PLAN TAKEN FROM SURVEY PREPARED BY COMPASS SURVEYING ON 05-25-2016

BUNKER ENGINEERING & CONSTRUCTION SERVICES, INC.
 120 N FEDERAL HWY, SUITE 305, LAKE WORTH, FL 33460
 PH #561-585-5696 -- FAX #561-585-5697

DEMOLITION PLAN AND GENERAL NOTES

NEW 2-STORY DUPLEX (2 UNIT)
 927 SW 2ND COURT
 FORT LAUDERDALE, FL 33312

EDGAR BUENAS, PE
 LICENSE NO. 57831
 STATE OF FLORIDA
 REG. ENG. #57831
 CA# 26268

SCALE: AS NOTED
 DRAWN BY: [Signature]
 DATE: DEC. 22, 2016
 REVISION:

GENERAL NOTES: (CONT.)

- DIVISION 6: WOOD AND PLASTICS**
- TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS, WHICH SHALL INCLUDE TRUSS PROFILES, FRAMING PLAN AND START FABRICATION BY A FLORIDA REGISTERED ENGINEER TO THE ENGINEER AND OWNER. TRUSS MANUFACTURER SHALL IN STAFF FABRICATION UNTIL REVIEW OF SUCH SHOP DRAWINGS BY THE ENGINEER AND OWNER IS ISSUED. TRUSS UP-LIFE MANUFACTURER IS RESPONSIBLE FOR SUPPLYING THE TRUSS ENGINEERING INDICATING GRAVITY LOADS AND UP-LIFE AND ENGINEERED TRUSS HARDWARE AND ANCHORAGE REQUIREMENTS FOR TRUSS CONNECTIONS.
 - THE TRUSS LAYOUT SHOWN IS SCHEMATIC IN NATURE HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL COMPLY WITH THE FINAL TRUSS DESIGNER LAYOUT. THE FRAMING SCHEME (DIRECTION OF TRUSSES, MAJOR G.I. BEARING POINTS, ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND AUTHORIZE STRUCTURAL REVISIONS ACCORDINGLY.
 - ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESURE TREATED WITH A WOOD PRESERVATIVE TREATMENT NOT HAVING COPPER (CHOMATED COPPER ARSENATE), PROVIDE AN ALTERNATE TREATMENT AS APPROVED BY THE EPA ENVIRONMENTAL PROTECTION AGENCY FOR THIS PURPOSE.
- DIVISION 8: DOORS AND WINDOWS**
- ALL EXTERIOR WINDOWS AND SLIDING GLASS DOORS WILL BE APPROVED HURRICANE WINDOWS AND DOORS.
 - EVERY BATHROOM DOOR LOCK SHALL BE IN COMPLIANCE WITH NFPA 101-21.2.4.4 AND CLOSET DOOR LATCH PER NFPA 101-21.2.4.3.
 - NO DOUBLE TWO SIDED LOCKS ON ENTRANCE DOORS.
 - WINDOW AND DOOR BUCKS ARE CONSIDERED AS FILTERS AND THE WINDOW AND/OR DOOR SHALL BE SECURED TO THE STRUCTURE THROUGH THE BUCKS IN ACCORDANCE WITH THE MANUFACTURER'S PRODUCT APPROVAL AND SPECIFICATIONS. GLASS IN DOORS AND/OR ADJACENT TO DOORS SHALL BE TEMPERED.
 - CONTRACTOR SHALL PROVIDE FOR PERMITS ALL CODE REQUIRED PRODUCT APPROVALS FOR ALL EXTERIOR WINDOWS AND DOORS.
 - FRONT DOOR AND GARAGE DOOR SHALL MEET WIND PRESSURES, IMPACT TEST, WIND CYCLE TESTS, ETC. AS REQUIRED BY GOVERNING BUILDING CODE. THE FRONT DOOR SHALL BE DESIGNATED EMERGENCY EXIT.
 - ALL EXTERIOR DOORS AND DOOR INTO GARAGE SHALL HAVE WEATHER STRIPPING AND METAL THRESHOLD.
 - THE SECOND MEANS OF EGRESS SHALL COMPLY WITH NFPA 101-22.2.2.3 AND SHALL HAVE A CLEAR MINIMUM OPENING OF NOT LESS THAN 5.7 SQ FT (MIN. 20" W/24"H). THE BOTTOM OF THE WINDOW OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR AS PER FBC SECTION R310. IF WINDOW SILL AT UPPER FLOORS IS LESS THAN 24" ABOVE ADJACENT FLOOR, PROVIDE SAFE GUARD AT MIN. 36" ABOVE FLOOR AS SPECIFIED IN FBC SECTION R312.
- DIVISION 9: FINISHES**
- FINISHES SHALL BE CLASS A, B, OR C.
 - FLOOR AND BASE IN BATHROOMS SHALL BE OF IMPERVIOUS MATERIALS.
 - ALL STEEL COLUMNS, PLATES AND STEEL ANGLES SHALL BE FACTORY PRIMED. ALL EXPOSED STEEL SHALL BE PAINTED PRIOR TO COVERING UP.
- DIVISION 12: FURNISHINGS**
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND /OR SAMPLES FOR OWNER'S REVIEW FOR ALL OR ANY CABINETS, BUILT-IN, TRIM, DOORS, WINDOWS, MATERIALS, CUSTOM FEATURES, ETC. THAT ARE SHOWN ON DRAWINGS. ALL INTERIOR WINDOWS, DOORS AND OPENINGS SHALL BE CASED WITH TRIM.
 - GLASS OR MIRRORS IMMEDIATELY SURROUNDING A BATH TUB OR SHOWER SHALL BE SAFETY GLAZING THAT ARE LESS THAN 60" ABOVE THE FLOOR OF THE TUB OR SHOWER.
- DIVISION 15: MECHANICAL**
- PLUMBING AND HVAC CONTRACTOR SHALL VERIFY ALL LOCATIONS / SIZES OR THEIR OUTLETS, SUPPLIES AND CHASE AND SHALL BE RESPONSIBLE FOR COORDINATION OF THE SAME.
 - HVAC CONTRACTOR SHALL PROVIDE ALL NECESSARY DOCUMENTATION AND PRODUCT SPECIFICATIONS TO OBTAIN A PLUMBING PERMIT AND COMPLETE SUCH WORK AS REQUIRED BY MECHANICAL FBC 2014 AND THE SPECIFICATIONS.
 - PLUMBING CONTRACTOR SHALL VERIFY CENTER LINE DIMENSIONS OF ALL FIXTURES THAT HAVE BEEN SPECIFIED BY OWNER AND SHALL BE RESPONSIBLE FOR COORDINATION OF THE SAME. MAINTAIN MINIMUM CLEARANCES BETWEEN TOILET FIXTURES AND ADJACENT WALL, CABINETS AND /OR PLUMBING FIXTURE AS PER FBC 2014 RESIDENTIAL SECTION P2705.1.
 - PLUMBING CONTRACTOR SHALL COORDINATE ALL VERTICAL STACKS TO BE DIVERGED TO THE REAR OF ROOF RIDGE SUCH AS VERTICAL STACKS SHALL BE PAINTED TO MATCH ROOFING COLOR.
 - PROVIDE SHUT-OFF VALVES AT ALL BATHROOMS AS REQUIRED BY FBC 2014 RESIDENTIAL SECTION P2703.2.
 - PROVIDE AIR CHAMBERS AT ALL EXISTING BRANCHES.
 - WATER CONSUMPTION IN PLUMBING FIXTURES SHALL COMPLY WITH TABLES P2903.1 AND P2903.2 IN FBC 2014 RESIDENTIAL SECTION P2903.
 - ALL SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROTECTED WITH ANTISCALD CONTROL VALVE.
 - ALL WALL HUNG FIXTURES SHALL BE SUPPORTED AS PER FBC 2014 RESIDENTIAL SECTION P2705 AND PLUMBING SECTION 405.
- DIVISION 16: ELECTRICAL**
- ELECTRICAL CONTRACTOR SHALL VERIFY ALL LOCATIONS / SIZES OR THEIR OUTLETS, SUPPLIES AND CHASE AND SHALL BE RESPONSIBLE FOR COORDINATION OF THE SAME.
 - ALL WIRE SIZES BASED ON COPPER.
 - ALL BATHROOMS, GARAGE UTILITY ROOM, KITCHEN COUNTER AND EXTERIOR W.P. RECEPTACLES SHALL HAVE G.F.I. CIRCUITS.
 - ALL SERVICE WIRING SHALL BE COPPER.
 - ALL FEEDER WIRING SHALL BE COPPER.
 - PROVIDE W.P. DISCONNECTS AT ALL A/C COMPRESSORS, SPRINKLER PUMPS, POOL PUMPS AND ALL EXTERIOR EQUIPMENT.
 - WIRE AND BREAKER SIZING FOR ALL APPLIANCES AND EQUIPMENT SHALL BE AS PER MANUFACTURER'S NAME PLATE REQUIREMENTS AND THE RESPONSIBILITY OF THE SUB-CONTRACTOR TO VERIFY SUCH INFORMATION PRIOR TO INSTALLATION OF ELECTRICAL ROUGH. IF SUCH REQUIREMENTS DIFFER FROM THE PROPOSED ELECTRICAL SCHEDULE, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF THE DISCREPANCY PRIOR TO ELECTRICAL ROUGH.
 - ALL LIGHTING ABOVE TUB AND SHOWER SHALL BE WATERPROOF AND VAPOR PROOF. PROVIDE G.F.I.C. IF WITHIN 6" RADIUS OF TOP OF TUB.
 - CLOSET LIGHTS SHALL COMPLY WITH N.E.C. 2011.
 - MINIMUM 22,000 ACR RAINING FOR ALL SERVICE EQUIPMENT.
 11. CIRCUIT FOR SMOKE DETECTOR SHALL BE ON THE LIGHTING CIRCUIT OF KITCHEN OR BATH.

IMPERVIOUS AREA: PROPOSED UNITS W/ GARAGES: 160 SF DRIVEWAYS: 720 SF Paved/Impervious Areas: 57 SF POOLS & POOL DECKS: 501 SF COVERED BACK PORCHES: 4,17 SF TOTAL PROPOSED IMPERVIOUS: 4,659 SF	LOT COVERAGE: TOTAL LOT: 7,150 SF TOTAL IMPERVIOUS: 4,659 SF PERCENT IMPERVIOUS: 65.2%	PREVIOUS AREA: WALKWAYS WITH PAVERS: 274 SF LANDSCAPED AREAS: 2,217 SF TOTAL: 2,491 SF TOTAL PREVIOUS AREA PROVIDED: TOTAL LOT: 7,150 SF TOTAL PREVIOUS: 2,491 SF PERCENT PREVIOUS: 34.8%	AREA UNDER AIR: UNIT A - EAST FIRST FLOOR: 869 SF SECOND FLOOR: 1,481 SF TOTAL: 2,350 SF UNIT B - EAST FIRST FLOOR: 869 SF SECOND FLOOR: 1,481 SF TOTAL: 2,350 SF
--	---	--	--

NEW TOWNHOUSES
 2 STORY DUPLEX (2 UNIT) AT 927 SW 2ND COURT, FT. LAUDERDALE, FL 33312

ZONING DATA & DESIGN CRITERIA:
 NEW 2 STORY DUPLEX DEVELOPMENT (2 UNIT)

PROJECT DESCRIPTION:
 LEGAL DESCRIPTION: (PROVIDED BY CLIENT)
 LOTS 13, 14 AND THE EAST FIVE FEET OF LOT 15, BLOCK 114, MAVERLY PLACE, AS RECORDED IN PLAT BOOK, 2, PAGE 19, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, SAID LAND LYING, SITUATE AND BEING IN BROWARD COUNTY, FLORIDA

ZONE CLASSIFICATION: RML-25

FLOOD ZONE: X

NET ACRES: 7.150 SF (0.16414 ACRES)

SET BACKS:
 FRONT REQUIRED: 18'-0"
 SIDE REQUIRED: 5'-0"
 REAR REQUIRED: 10'-0"

OCCUPANCY: RESIDENTIAL GROUP R-3

DWELLING UNITS PROVIDED: 2 UNITS

PARKING SPACES: 2 PARKING SPACES PER UNIT

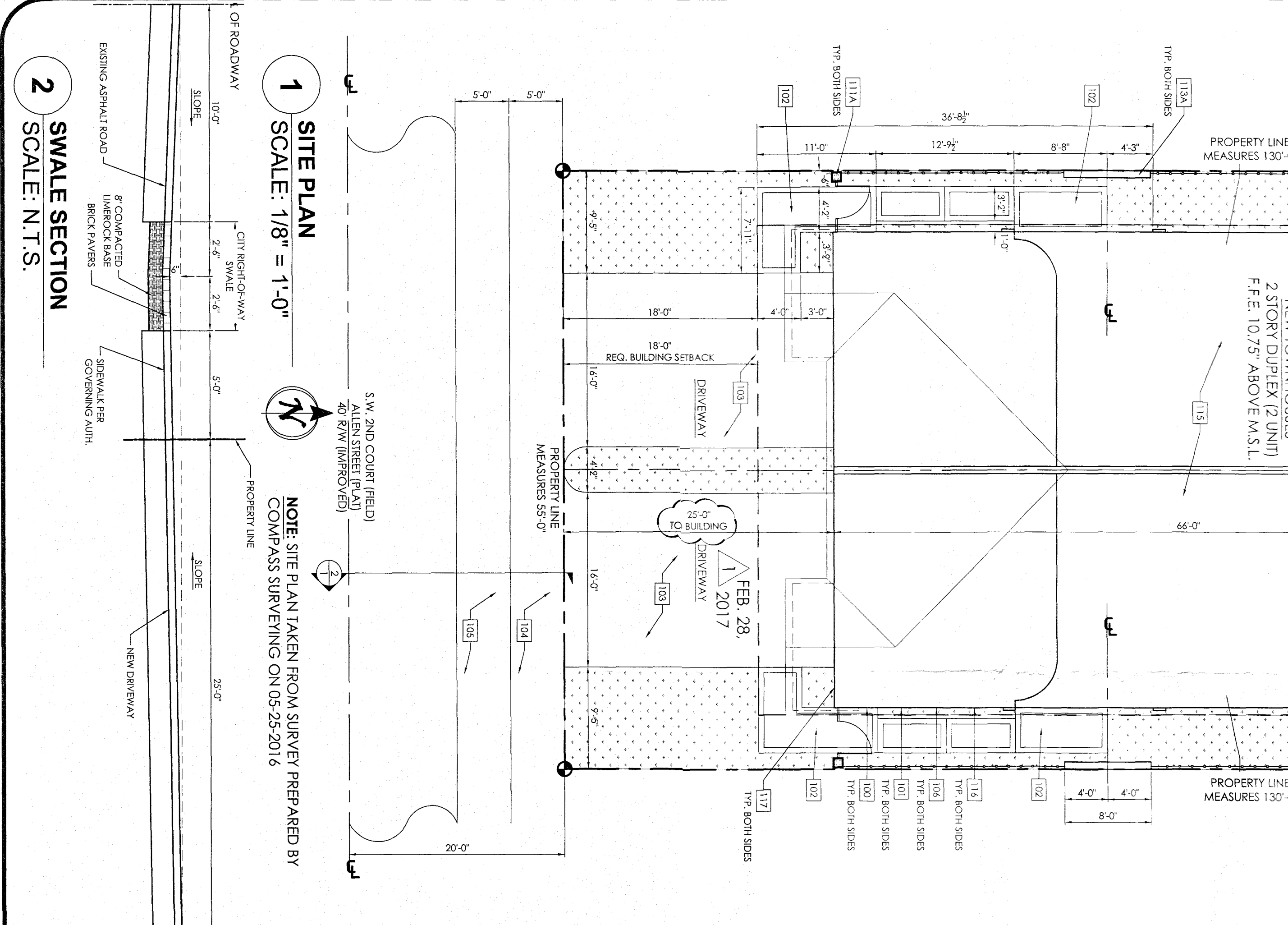
WIND LOAD DESIGN CRITERIA:
 WIND VELOCITY: 170 MPH
 EXPOSURE CATEGORY: II
 MEAN ROOF HEIGHT: 31 FT
 INT. PRESSURE COEF: +/- 0.18
 TYPE OF CONSTRUCTION: III

GENERAL NOTES:

- DIVISION 1: GENERAL REQUIREMENTS**
- THE GENERAL DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL BE IN COMPLIANCE WITH THE FLORIDA BUILDING CODE 2014 EDITION WITH ALL APPLICABLE REVISIONS AND ERRATA'S APPLICABLE TO THE JURISDICTION OF WHICH IT IS BEING CONSTRUCTED IN.
 - THE GENERAL CONTRACTOR AS MENTIONED HEREIN, DEFINED AS THE ENTITY TO WHICH HAS THE CONTRACTUAL AGREEMENT WITH THE OWNER FOR THE FULL CONSTRUCTION OF THE PROJECT AND WHICH INCLUDES ANY AND ALL OTHER PARTIES CONTRACTUALLY OBLIGATED TO THE GENERAL CONTRACTOR TO COMPLETE THIS PROJECT.
 - BEFORE COMMENCEMENT OF ANY WORK IN THE SITE, THE GENERAL CONTRACTOR SHALL BE FAMILIAR WITH ALL THE CONDITIONS OF THE PROJECT, THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE VARIOUS DRAWINGS AND OTHER CONTRACT DOCUMENTS RELATIVE TO THE PORTION OF THE WORK AS WELL AS ANY INFORMATION FURNISHED BY THE OWNER. THE GENERAL CONTRACTOR SHALL TAKE FIELD MEASUREMENTS OF ANY EXISTING CONDITIONS RELATED TO THAT PORTION OF THE WORK AND SHALL OBSERVE ANY CONDITION AT THE SITE AFFECTING IT. THESE OBLIGATIONS ARE FOR THE PURPOSE OF FACILITATING CONSTRUCTION BY THE CONTRACTOR AND ARE NOT FOR THE PURPOSE OF DISCOVERING ERRORS, OMISSIONS AND INCONSISTENCIES IN THE CONTRACT DOCUMENT. HOWEVER ANY ERRORS, INCONSISTENCIES OR STANDARDS CITED HERE IN THE CODES, SPECIFICATIONS AND OTHER STANDARDS NOTED AND CITED IN THESE CONTRACT DOCUMENTS BY BUNKER ENGINEERING AND CONSTRUCTION SERVICES, INC., ARE HEREBY INCORPORATED AS IF FULLY SET FORTH IN THE DOCUMENTS. THESE NOTES PROVIDE SUPPLEMENTAL INFORMATION NECESSARY FOR THE APPLICATION OF THESE CODES, SPECIFICATIONS AND OTHER STANDARDS BY THE GENERAL CONTRACTOR AND EMPHASIZE CERTAIN REQUIREMENTS OF THESE CODES, SPECIFICATIONS AND STANDARDS. THESE NOTES SHALL NOT BE CONSTRUED BY ANYONE TO BE ALL INCLUSIVE OF OR TO REPLACE OR ALLEVIATE IN WHOLE OR PART, ANY OF THE CODES, SPECIFICATIONS AND STANDARDS CITED HEREIN. THE GENERAL CONTRACTOR SHALL BE KNOWLEDGEABLE OF AND SHALL AVAIL HIMSELF TO THESE CODES SPECIFICATIONS AND OTHER STANDARDS AND APPLY THEM TO THE WORK.
 - THE GENERAL CONTRACTOR SHALL COORDINATE WORK REQUIRED BY THESE DOCUMENTS WITH ALL TRADES INCLUDING AND NOT LIMITED TO STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND CIVIL DISCIPLINES.
 - THE GENERAL CONTRACTOR SHALL CONSTRUCT AND BE RESPONSIBLE FOR THE BUILDING HEREIN, THE CONTRACT DOCUMENTS (DESIGNED BY BUNKER ENGINEERING & CONSTRUCTION SERVICES, INC.) ARE IN ACCORDANCE TO ALL GOVERNING CODES, REGULATIONS, CITIES, MUNICIPALITIES AND BUILDING OFFICIALS HAVING JURISDICTION ON THIS SITE. THE CONTRACTOR SHALL COORDINATE WORK WITH EACH APPROPRIATE TRADE DISCIPLINE TO ASSURE NO CONFLICT OR DIVISION OF ANY REQUIRED OR SPECIFIED COMPONENT FOR A COMPLETE AND FUNCTIONAL PROJECT.
 - PRIOR TO COMMENCEMENT OF ANY WORK, THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD WITH SUB-CONTRACTOR AND NOTIFY ENGINEER OF RECORD OF ANY DISCREPANCIES BETWEEN THE ACTUAL FIELD DIMENSIONS SHOP DRAWINGS AND THE CONTRACT DOCUMENTS. WHERE THE CONTRACTOR ELECTS NOT TO VERIFY DIMENSIONS PRIOR TO COMMENCEMENT OF ANY WORK OR NOTIFY THE ENGINEER OF RECORD OR THE OWNER OF ANY DISCREPANCIES, THE GENERAL CONTRACTOR WILL ASSUME ANY AND ALL LIABILITIES FOR ANY AND ALL CORRECTIONS, REPLACEMENTS AND LABOR TO MAKE WORK IN ACCORDANCE TO CONTRACT DOCUMENTS.
 - THE GENERAL CONTRACTOR SHALL ACQUIRE ALL NECESSARY PRODUCT APPROVALS USED AND INSTALLED ON THIS PROJECT, AS WELL AS ANY ADDITIONAL COUNTY AND LOCAL JURISDICTION REQUIRING ADDITIONAL DATA CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED STRUCTURAL ENGINEER TO CERTIFY APPLICATION OF SAID PRODUCT IN ACCORDANCE TO THE CODE HAVING JURISDICTION.
 - PREPARE AND MAINTAIN THROUGHOUT THE LENGTH OF TIME IN CONSTRUCTION A FULL AND CURRENT SET OF ACCURATE AS-BUILT DRAWINGS. UPON COMPLETION OF THIS PROJECT SUCH DRAWINGS WILL BE PRESENTED TO THE OWNER FOR HIS PERMANENT RECORDS AND INFORMATION.
- DIVISION 2: SITE WORK**
- CONTRACTOR SHALL VERIFY SOIL BEARING CAPACITY PRIOR TO PERMITTING AND SHALL SUBMIT REPORT TO ARCHITECT AND OWNER. CONTRACTOR SHALL PROVIDE COMPACTON FOR WALKWAYS, FLATWORK AND DRIVEWAYS AS REQUIRED.
 - THE CONTRACTOR AND ALL HIS SUB-CONTRACTORS SHALL BE HELD TO HAVE VISITED THE SITE OF THE WORK AND TO HAVE EXAMINED THE EXISTING CONDITIONS OF THE SAME AND THE SITUATIONS UNDER WHICH THEY ARE TO WORK AND TO HAVE ACCOUNTED FOR SAME IN THEIR BIDS.
 - ALL EXISTING INFORMATION ON THE DRAWINGS HAS BEEN OBTAINED BY THE ENGINEER FROM THE OWNER SUCH EXISTING INFORMATION SHALL BE CONSIDERED AS SHOWN SCHEMATICALLY ONLY, AND SHALL BE FIELD VERIFIED BY ALL CONTRACTORS TO SIZE, LOCATION AND MATERIAL.
 - ALL AREAS ADJACENT TO WORK WHICH HAVE BEEN ALTERED AND/OR DAMAGED SHALL BE REPAIRED TO MATCH EXISTING AND/OR FINISH OF NEW WORK.
 - ALL DEMOLITION AND REMOVAL OF EXISTING UTILITIES, STRUCTURES, PLANTING MATERIALS, ETC. SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL GOVERNING AUTHORITIES.
- DIVISION 3: CONCRETE WORK**
- CONCRETE FINISH SHALL BE LEVEL AND /OR PITCHED PROPERLY. FINISH OF ALL EXTERIOR SURFACE CONCRETE SHALL BE BROOM FINISH.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE FLOOR SYSTEM TO THE ENGINEER PRIOR TO START OF CONSTRUCTION FOR THEIR REVIEW AND COORDINATION. IF SUCH SHOP DRAWINGS ARE NOT SUBMITTED TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION, THE RESPONSIBILITY OF THE COORDINATION AND / OR ANY CORRECTIONS WHICH MAY OCCUR ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE ENGINEER ACCEPTS NO RESPONSIBILITY FOR STRUCTURAL TRUSS BEAMS, COLUMNS AND FOOTINGS UNTIL REVIEW OF THE APPROVED TRUSS DRAWINGS AND THE TRUSS ENGINEERING SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER, HAS BEEN COMPLETED PRIOR TO THE START OF CONSTRUCTION.

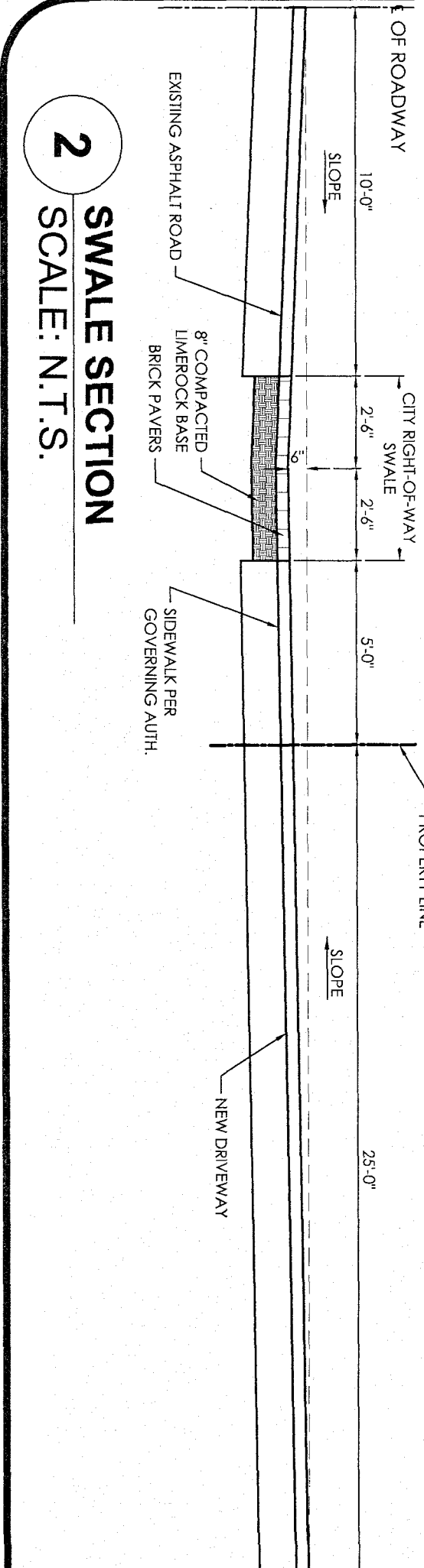
SITE KEY NOTES:

- TELEPHONE SERVICE ENTRANCE. VERIFY CONNECTION LOCATION WITH LOCAL AGENCY.
- ELECTRICAL SERVICE ENTRANCE. VERIFY CONNECTION LOCATION WITH LOCAL AGENCY.
- WALKWAY: PAVERS ON CLEAN COMPACTED SOIL.
- DRIVEWAY: PAVERS ON CLEAN COMPACTED SOIL.
- SIDEWALK: SHALL BE CONSTRUCTED IN ACCORDANCE WITH GOVERNING AUTHORITY SPECIFICATIONS. PROVIDE "1" PRE-CASTED FILLER BETWEEN DRIVEWAY AND SIDEWALK.
- EDGE OF ROAD PAVEMENT, VARIES. CONTRACTOR SHALL VERIFY LIMITS. REFER TO LOCAL CODES FOR DRIVEWAY TO ROAD DETAILS.
- SECURITY SERVICE ENTRANCE. VERIFY CONNECTION LOCATION WITH LOCAL AGENCY.
- FENCE: ALUMINUM PICKET FENCE. COORDINATE SELECTION WITH OWNER.
- ENTRY GATE: 3'-6" WIDTH, ALUMINUM PICKET. COORDINATE SELECTION WITH OWNER.
- POOL AND/OR PATIO ENCLOSURE LIMITS BY OTHERS. POOL CONTRACTOR TO VERIFY WITH LOCAL CODES FOR SETBACK REQUIREMENTS. SCOPE PATIO MIN. 1/8" PER FOOT AWAY FROM HOUSE.
- MASONRY WALL (SCREENING FENCE): HEIGHT 6' ABOVE FINISHED GRADE ELEVATION. REFER TO STRUCTURAL DRAWINGS FOR CONSTRUCTION REQUIREMENTS AND REFER TO ELEVATION MARKS FROM SURVEY.
- ENTRY MASONRY WALL: HEIGHT 6' ABOVE FINISHED GRADE ELEVATION. REFER TO DETAILS AND STRUCTURAL DRAWINGS FOR CONSTRUCTION REQUIREMENTS.
- A/C AND/OR POOL EQUIPMENT TO BE INSTALLED WITH MIN. CLEARANCE FROM EACH OTHER AND FROM BUILDING EDGE AS WELL AS MAINTAINING MIN. CLEARANCE FROM PROPERTY SETBACK.
- CONTRACTOR SHALL VERIFY PLACEMENT OF NEW RESIDENCE TO ASSURE THAT IT IS WITHIN THE REQUIRED SETBACK PRIOR TO CONSTRUCTION OF THE FOUNDATION.
- SANITARY SEWER LINE SERVICE ENTRANCE. VERIFY CONNECTION TO EXISTING MAIN SANITARY SEWER LINE WITH LOCAL AGENCY.
- WATER LINE SERVICE ENTRANCE. VERIFY CONNECTION TO WATER METER AND EXISTING MAIN WATER LINE WITH LOCAL AGENCY.



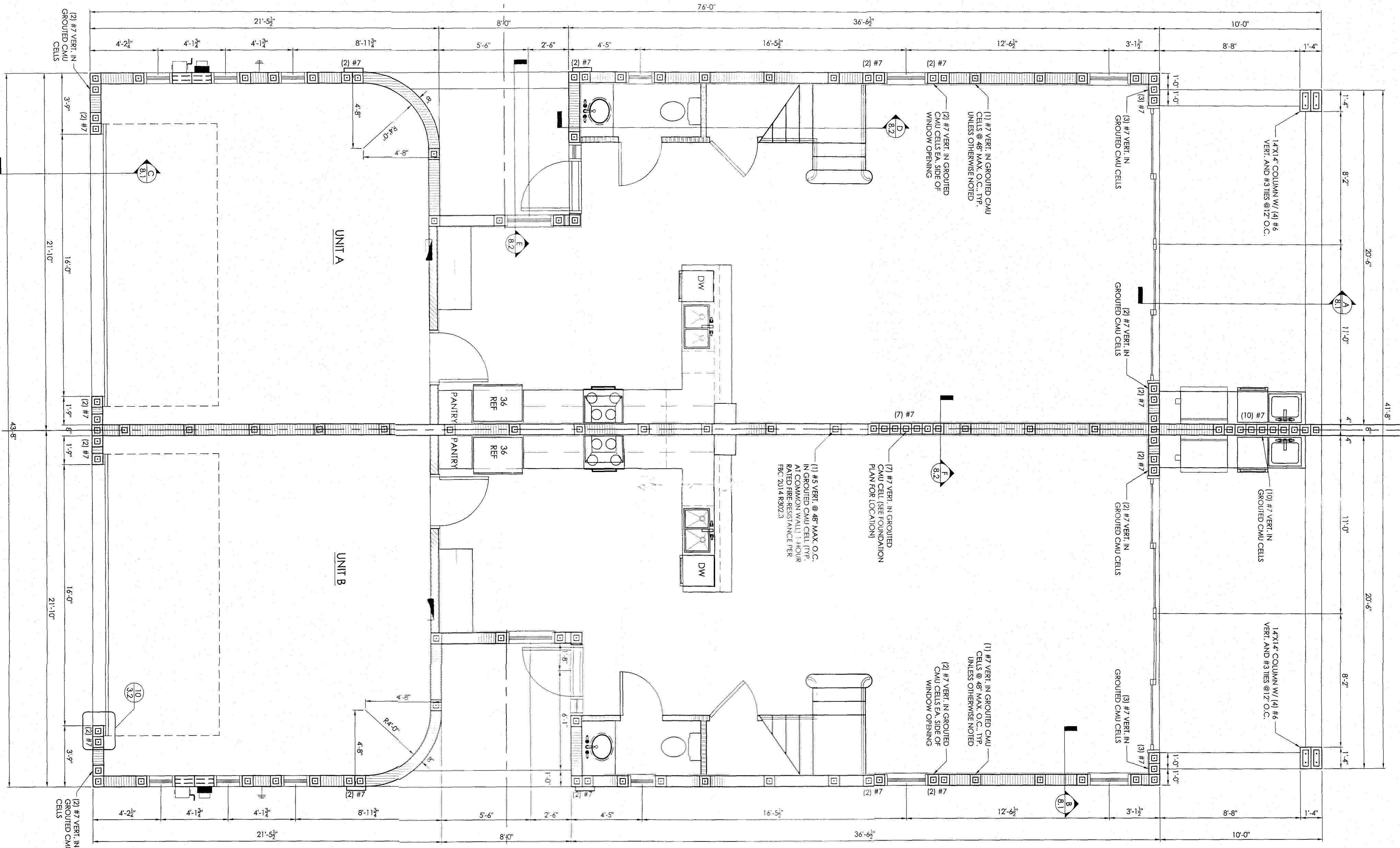
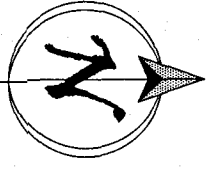
1 SITE PLAN
 SCALE: 1/8" = 1'-0"

2 SWALE SECTION
 SCALE: N.T.S.



1 FIRST FLOOR BUILDING PLAN

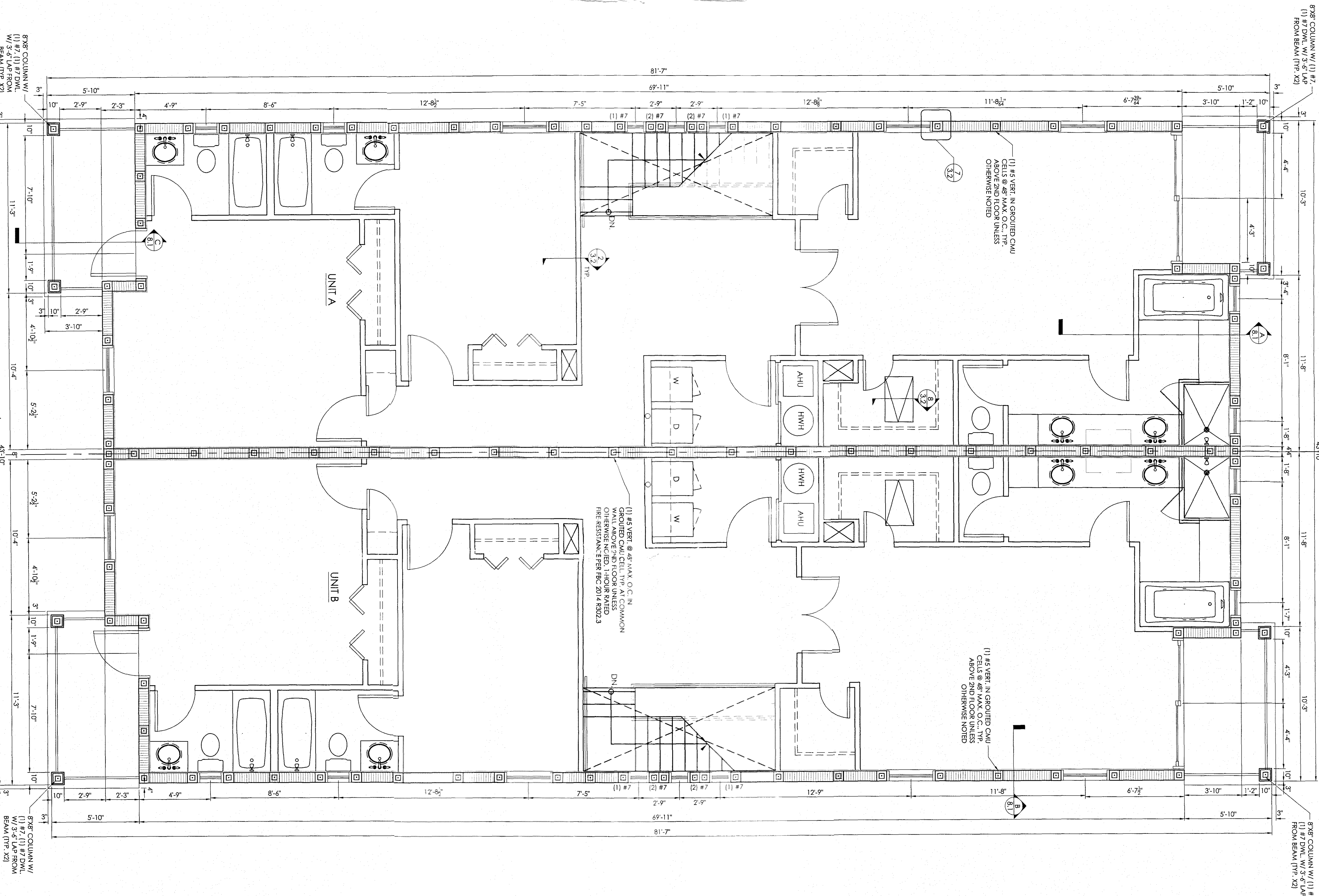
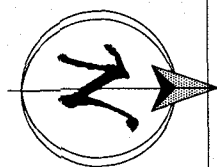
SCALE: 1/4" = 1'-0"



WALL LEGEND:	
	INTERIOR PARTITION
	CMU WALL
	FIRE RATED PARTITION PER FRC 2014 R302.2
	MASONRY BLOCK WALL

2 SECOND FLOOR BUILDING PLAN

SCALE: 1/4" = 1'-0"



SHEET
2 OF 10

EDGAR DUENAS, PE
No. 57831
STATE OF FLORIDA
FL REG. ENG. #57831
CA# 26268

NEW 2-STORY DUPLEX (2 UNIT)
927 SW 2ND COURT
FORT LAUDERDALE, FL 33312

FIRST FLOOR AND SECOND FLOORS
BUILDING PLANS FOR UNITS A AND B

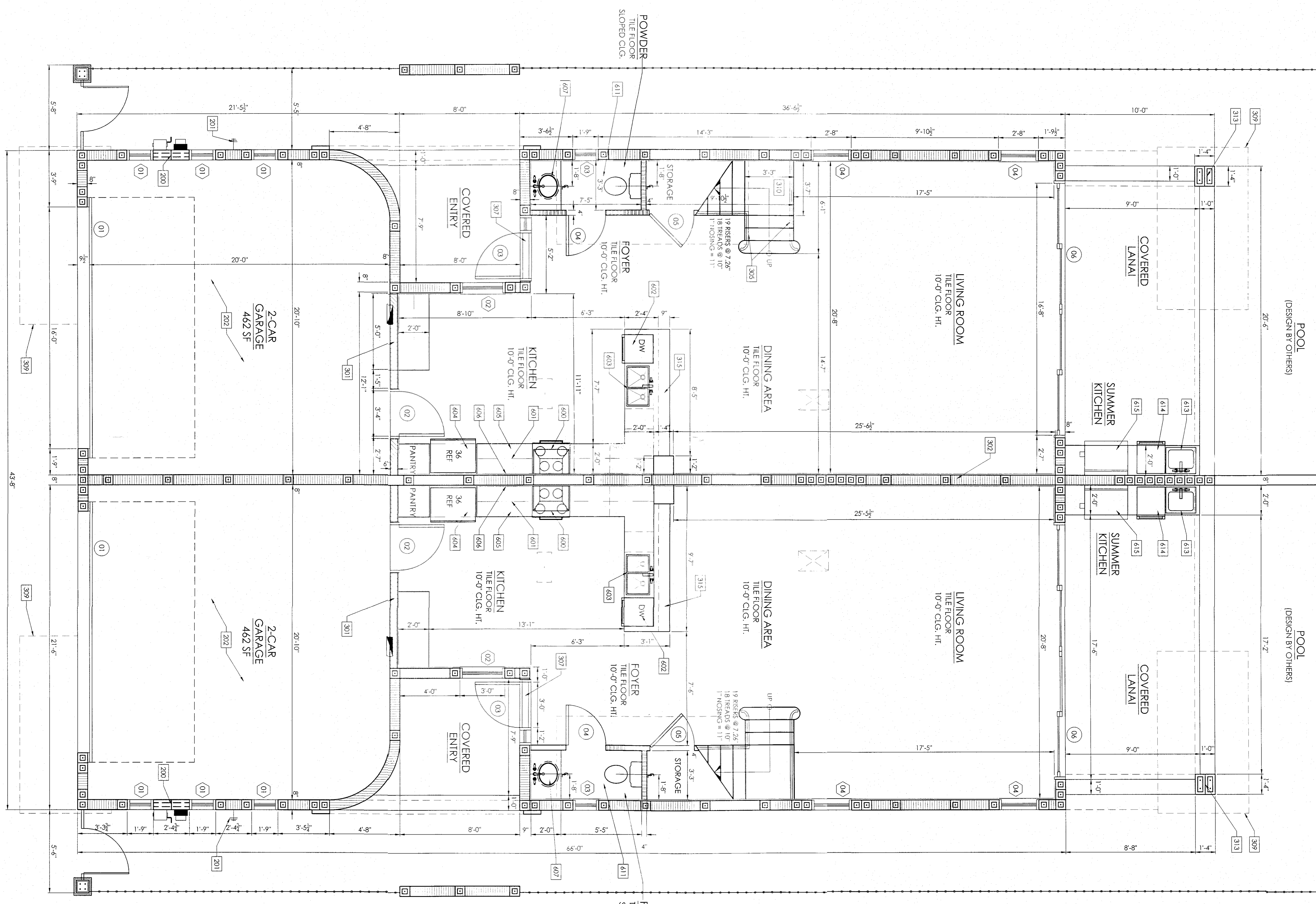
**BUNKER ENGINEERING &
CONSTRUCTION SERVICES, INC.**
120 N FEDERAL HWY, SUITE 305, LAKE WORTH, FL 33460
PH #561-585-5696 -- FAX #561-585-5697

CAM #17-1189
Exhibit 2
Page 3 of 15

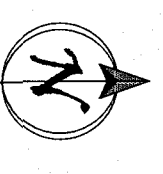


POOL
(DESIGN BY OTHERS)

POOL
(DESIGN BY OTHERS)

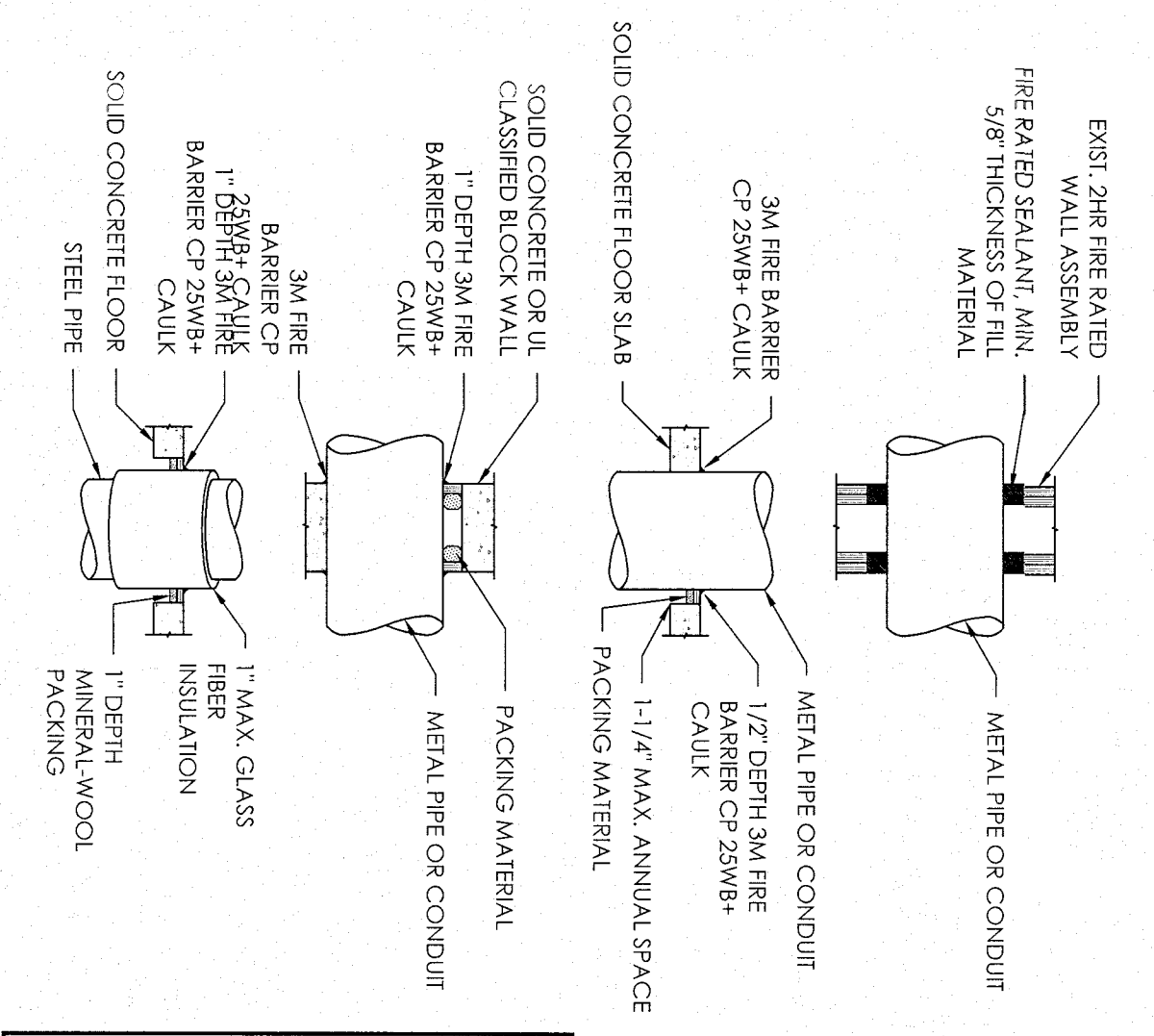


1 FIRST FLOOR PLAN
SCALE: 1/4" = 1' - 0"



WALL LEGEND:

[Symbol]	INTERIOR PARTITION
[Symbol]	8" CMU BELOW WINDOW OPENINGS
[Symbol]	CMU WALL
[Symbol]	FIRE RATED PARTITION PER IBC 2014 R302.6
[Symbol]	MASONRY BLOCK WALL



FIRE PROTECTION:
 1. FIRE RATED WALL, FLOOR & CEILING PARTITIONS SHALL BE INSTALLED EITHER ABOVE OR BELOW THE PARTITION. THE FIRE RATED WALL SHALL BE MIN. 4" O.C. WITH 5/8" TYPE 'X' GYPSUM WALL BOARD ON BOTH SIDES WITH R-11 BATT INSULATION. REFER TO GYPSUM WALL BOARD MANUFACTURER'S SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
 2. MIN. 1-HOUR FIRE-RATED CONCRETE MASONRY PARTY WALL AS PER IBC 2014 R302.3. 8" CMU, W/ 1/2" GYPSUM WALL BOARD BOTH SIDES ON 1-1/2" P.T. WOOD FLOORING AT 16" O.C. W/ MIN. R-42 FOIL BACKED INSULATION, AND 1/2" DEPTH IN PARTITION.
 3. VINYL-COATED RODS/SHELFS: 3 SPACED EQUALLY, 20" DEPTH IN LINEN CLOSETS AND 12" DEPTH IN PANTRY.
 304 VINYL-COATED RODS/SHELFS: CLOSET LAYOUTS TO BE PROVIDED BY CONTRACTOR AND APPROVED BY OWNER.
 305 SAFEGUARD: 42" HEIGHT AT LANDINGS AND STAIRS (HANDRAIL AT 34" - 38" HEIGHT), PICKETS, SPACED TO RESIST A 4" SPHERE REFER TO IBC 2014 RESIDENTIAL SECTION R311 AND BUILDING SECTION 101/2 HANDRAILS FOR CONSTRUCTION REQUIREMENTS.
 306 ATTIC ACCESS: 1" - 10" X 3" X 1/2" A/C PLYWOOD PANEL WITH RIM, PROVIDE MINIMUM R-19 BATT INSULATION SECURED TO ATTIC SIDE OF PANEL IF IN A/C SPACE.
 307 THRESHOLD: METAL WITH WEATHER-STRIP.
 308 ARCH HEADER: START ARCH AT 8'-0" A.F.F. UP TO 9'-0" A.F.F. IN MIDDLE
 309 - LINE OF SECOND FLOOR ABOVE.
 310 - STAIRS: REFER TYPICAL SECTION SHEET AND FLOOR PLANS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO START OF CONSTRUCTION OF THE BUILDING TO ENGINEER FOR REVIEW.
 311 CHASE: A/C DUCT, REFER TO A/C PLANS FOR SIZE AND COORDINATE LOCATION WITH REFRIG PLAN.
 312 - COLUMN: 8" X 8" CMU COLUMN FINISHED WITH SMOOTH STUCCO.
 313 - COLUMN: 14" X 14" CMU COLUMN FINISHED WITH SMOOTH STUCCO.
 314 - BEAM: REFER TO STRUCTURAL PLAN FOR SIZE, FINISH WITH STUCCO.
 315 - COUNTER: 13" WIDTH, PARTITION BELOW, FINISH TOP @ 36" A.F.F.
 316 - DRYER VENT
 317 - PROVIDE DRIP PAN UNDERNEATH WATER HEATER AND / OR MECHANICAL EQUIPMENT.
 600 - RANGE OVEN, AND HOOD.
 601 - MICROWAVE
 602 - DISHWASHER
 603 - DOUBLE SINK, WITH DISPOSAL
 604 - REFRIGERATOR SPACE: COORDINATE WIDTH WITH SELECTED REFRIGERATOR (MIN. 37 3/4"). PROVIDE WATER LINE WITH VALVE BOX.
 605 - PLASTIC LAMINATE COUNTER TOP.
 606 - PLASTIC LAMINATE BACK-SPLASH: 4" HEIGHT
 607 - SINK: PEDestal IN POWDER ROOM.
 608 - TUB: STEEL TUB WITH TILE SURROUND IN SECONDARY BATH.
 609 - SHOWER: ONE PIECE FIBERGLASS BASE, TILE WALLS. PROVIDE TEMPERED GLASS DOOR AND ENCLOSURE PER BUILDERS SPECIFICATIONS.
 610 - CLUTTERED MARBLE COUNTER TOP AND INTEGRAL SINK.
 611 - CERAMIC TILE BASE: 4" HEIGHT AROUND PERIMETER.
 612 - CERAMIC TILE WALLS: TILE 3 SIDES TO 7'-0" A.F.F.
 613 - OUTDOOR SINK
 614 - OUTDOOR UNDER-COUNTER REFRIGERATOR.
 615 - OUTDOOR BARBECUE GRILL AND CABINERY: REFER TO PLANS FOR LOCATION, INSTALL PER MANUFACTURER SPECIFICATIONS.
 616 - MIRROR: HIGH QUALITY GLASS AND SILVERING, INSTALL WITH MASTIC AND 'J' CHANNEL AT BASE WITH CAULK

FLOOR PLAN KEY NOTES:

- 200 - MASONRY VENT BLOCKS, VENT BLOCKS WITH SCREENING, INSTALL FLUSH WITH GARAGE FLOOR. VENT BLOCKS SHALL PROVIDE THE MINIMUM CLEAR AREAS AS REQUIRED BY IBC 2014
- 201 - HOSE BIB 1/2" WITH VACUUM BREAKER
- 202 - CONCRETE SLAB: SLAB ON 6 MIL VAPOR BARRIER OVER COMPACTED CLEAN TERMIITE READY FILL.
- 300 - ALIGN WALL FRAMING WITH 3/4" FLOORING ON MASONRY WALL FINISH OF GYPSUM WALL BOARD TO BE FLUSH.
- 301 - GARAGE FIRE SEPARATION WALL PER IBC 2014 R302.6: 3-5/8" METAL STUDS AT 16" O.C. WITH 5/8" TYPE 'X' GYPSUM WALL BOARD ON BOTH SIDES WITH R-11 BATT INSULATION. REFER TO GYPSUM WALL BOARD MANUFACTURER'S SPECIFICATIONS FOR CONSTRUCTION REQUIREMENTS.
- 302 - MIN. 1-HOUR FIRE-RATED CONCRETE MASONRY PARTY WALL AS PER IBC 2014 R302.3. 8" CMU, W/ 1/2" GYPSUM WALL BOARD BOTH SIDES ON 1-1/2" P.T. WOOD FLOORING AT 16" O.C. W/ MIN. R-42 FOIL BACKED INSULATION, AND 1/2" DEPTH IN PARTITION.
- 303 - VINYL-COATED RODS/SHELFS: 3 SPACED EQUALLY, 20" DEPTH IN LINEN CLOSETS AND 12" DEPTH IN PANTRY.
- 304 VINYL-COATED RODS/SHELFS: CLOSET LAYOUTS TO BE PROVIDED BY CONTRACTOR AND APPROVED BY OWNER.
- 305 SAFEGUARD: 42" HEIGHT AT LANDINGS AND STAIRS (HANDRAIL AT 34" - 38" HEIGHT), PICKETS, SPACED TO RESIST A 4" SPHERE REFER TO IBC 2014 RESIDENTIAL SECTION R311 AND BUILDING SECTION 101/2 HANDRAILS FOR CONSTRUCTION REQUIREMENTS.
- 306 ATTIC ACCESS: 1" - 10" X 3" X 1/2" A/C PLYWOOD PANEL WITH RIM, PROVIDE MINIMUM R-19 BATT INSULATION SECURED TO ATTIC SIDE OF PANEL IF IN A/C SPACE.
- 307 THRESHOLD: METAL WITH WEATHER-STRIP.
- 308 ARCH HEADER: START ARCH AT 8'-0" A.F.F. UP TO 9'-0" A.F.F. IN MIDDLE
 309 - LINE OF SECOND FLOOR ABOVE.
 310 - STAIRS: REFER TYPICAL SECTION SHEET AND FLOOR PLANS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO START OF CONSTRUCTION OF THE BUILDING TO ENGINEER FOR REVIEW.
 311 CHASE: A/C DUCT, REFER TO A/C PLANS FOR SIZE AND COORDINATE LOCATION WITH REFRIG PLAN.
 312 - COLUMN: 8" X 8" CMU COLUMN FINISHED WITH SMOOTH STUCCO.
 313 - COLUMN: 14" X 14" CMU COLUMN FINISHED WITH SMOOTH STUCCO.
 314 - BEAM: REFER TO STRUCTURAL PLAN FOR SIZE, FINISH WITH STUCCO.
 315 - COUNTER: 13" WIDTH, PARTITION BELOW, FINISH TOP @ 36" A.F.F.
 316 - DRYER VENT
 317 - PROVIDE DRIP PAN UNDERNEATH WATER HEATER AND / OR MECHANICAL EQUIPMENT.
 600 - RANGE OVEN, AND HOOD.
 601 - MICROWAVE
 602 - DISHWASHER
 603 - DOUBLE SINK, WITH DISPOSAL
 604 - REFRIGERATOR SPACE: COORDINATE WIDTH WITH SELECTED REFRIGERATOR (MIN. 37 3/4"). PROVIDE WATER LINE WITH VALVE BOX.
 605 - PLASTIC LAMINATE COUNTER TOP.
 606 - PLASTIC LAMINATE BACK-SPLASH: 4" HEIGHT
 607 - SINK: PEDestal IN POWDER ROOM.
 608 - TUB: STEEL TUB WITH TILE SURROUND IN SECONDARY BATH.
 609 - SHOWER: ONE PIECE FIBERGLASS BASE, TILE WALLS. PROVIDE TEMPERED GLASS DOOR AND ENCLOSURE PER BUILDERS SPECIFICATIONS.
 610 - CLUTTERED MARBLE COUNTER TOP AND INTEGRAL SINK.
 611 - CERAMIC TILE BASE: 4" HEIGHT AROUND PERIMETER.
 612 - CERAMIC TILE WALLS: TILE 3 SIDES TO 7'-0" A.F.F.
 613 - OUTDOOR SINK
 614 - OUTDOOR UNDER-COUNTER REFRIGERATOR.
 615 - OUTDOOR BARBECUE GRILL AND CABINERY: REFER TO PLANS FOR LOCATION, INSTALL PER MANUFACTURER SPECIFICATIONS.
 616 - MIRROR: HIGH QUALITY GLASS AND SILVERING, INSTALL WITH MASTIC AND 'J' CHANNEL AT BASE WITH CAULK

WINDOW SCHEDULE

NO.	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	LOCATION
01	1'-9"	4-3 1/2"	SINGLE HUNG	ALUMINUM / GLAZED	WHITE	GARAGE
02	3'-0"	6'-5"	SINGLE HUNG	ALUMINUM / GLAZED	WHITE	KITCHEN
03	1'-9"	3'-3"	SINGLE HUNG	ALUMINUM / GLAZED	WHITE	POWDER ROOM
04	2'-8"	6'-5"	SINGLE HUNG	ALUMINUM	WHITE	LIVING ROOM

DOOR SCHEDULE

NO.	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	LOCATION
01	16'-0"	7'-0"	OVERHEAD GARAGE DOOR	ALUMINUM	PAINTED	GARAGE
02	3'-0"	8'-0"	EXT. SWING	SOLID CORE	PAINTED	GARAGE / KITCHEN
03	4'-4"	8'-0"	EXT. SWING	SOLID CORE / ALUMINUM	PAINTED	ENTRY
04	2'-8"	8'-0"	INT. SWING	HOLLOWCORE	PAINTED	POWDER ROOM
05	3'-0"	2'-4"	INT. SWING	HOLLOWCORE	PAINTED	STAIRS
06	16'-0"	8'-0"	SLIDING	ALUMINUM / GLAZED	PAINTED / GLAZED	LIVING AREA

NOTE:
 ALL WINDOWS AND DOORS TO BE 'PGI' IMPACT RESISTANT OR EQUIVALENT. VERIFY ALL MASONRY OPENINGS WITH MANUFACTURER PRIOR TO ORDERING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

CAM #17-1189
 Exhibit 2
 Page 4 of 45

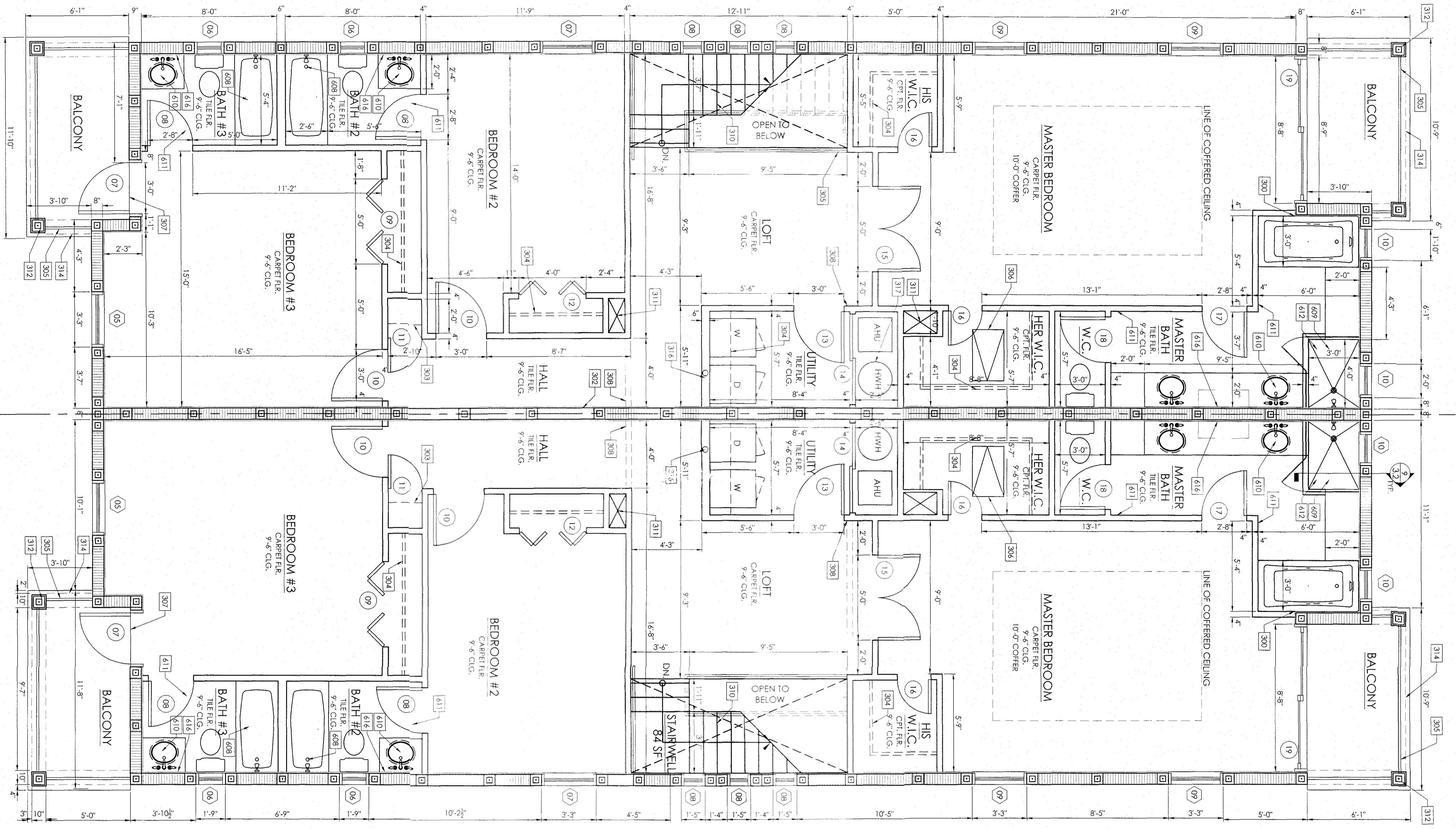
BUNKER ENGINEERING & CONSTRUCTION SERVICES, INC.
 120 N FEDERAL HWY, SUITE 305, LAKE WORTH, FL 33460
 PH #561-585-5696 - FAX #561-585-5697

PROPOSED FIRST FLOOR PLAN FOR UNITS A AND B, DOOR & WINDOW SCHEDULES, GENERAL NOTES

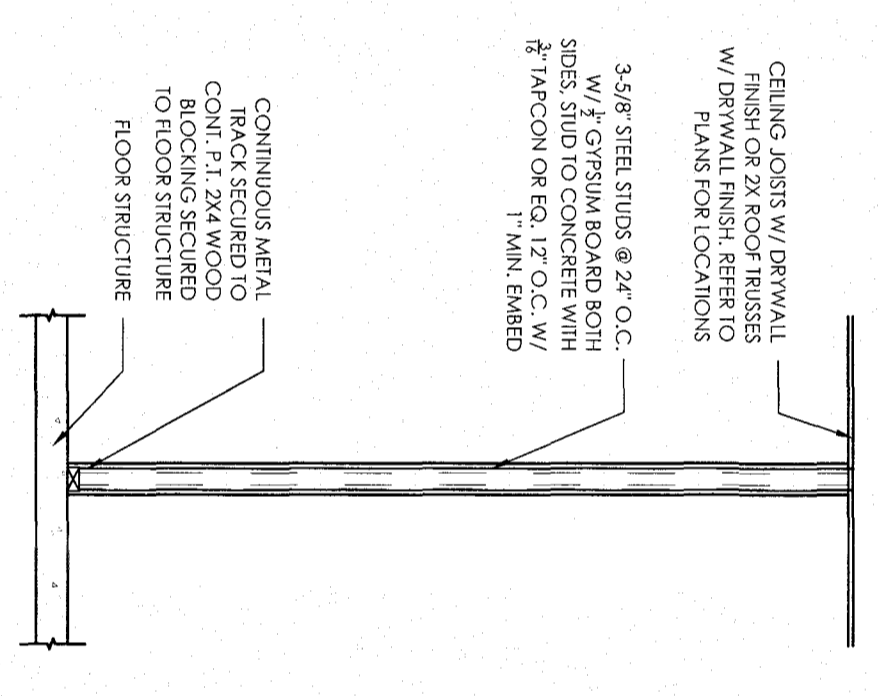
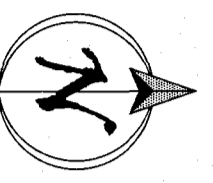
NEW 2-STORY DUPLEX (2 UNIT)
 927 SW 2ND COURT
 FORT LAUDERDALE, FL 33312

EDSAR DUENAS, PE
 No. 57831
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 DATE: AUG. 28 2016
 DRAWN BY: AS NOTED
 SCALE: AS NOTED

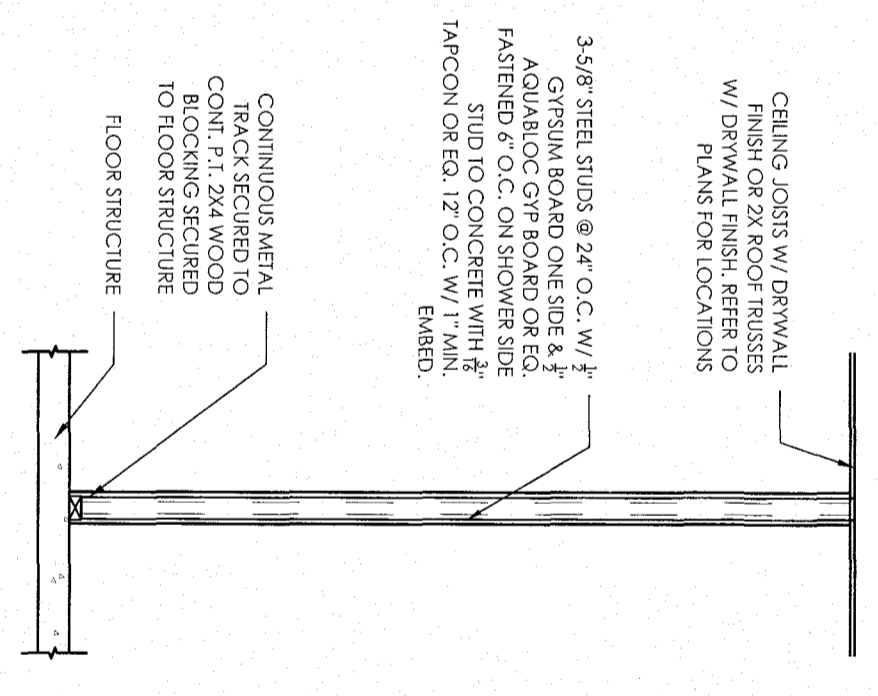
SHEET
 3.1 OF 10



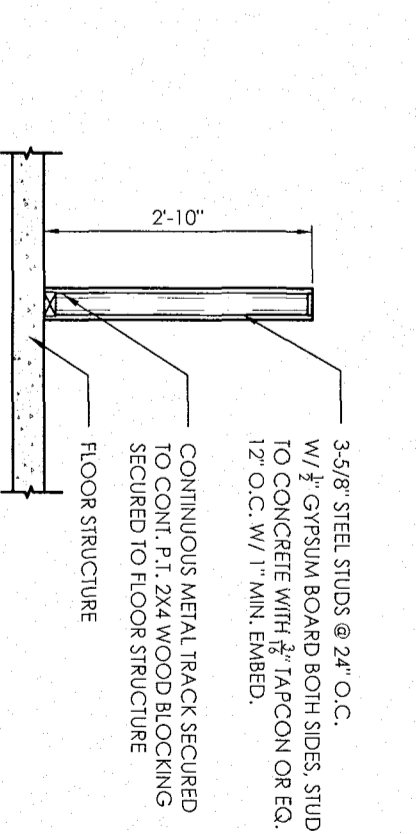
1 SECOND FLOOR PLAN
SCALE: 1/4" = 1' - 0"



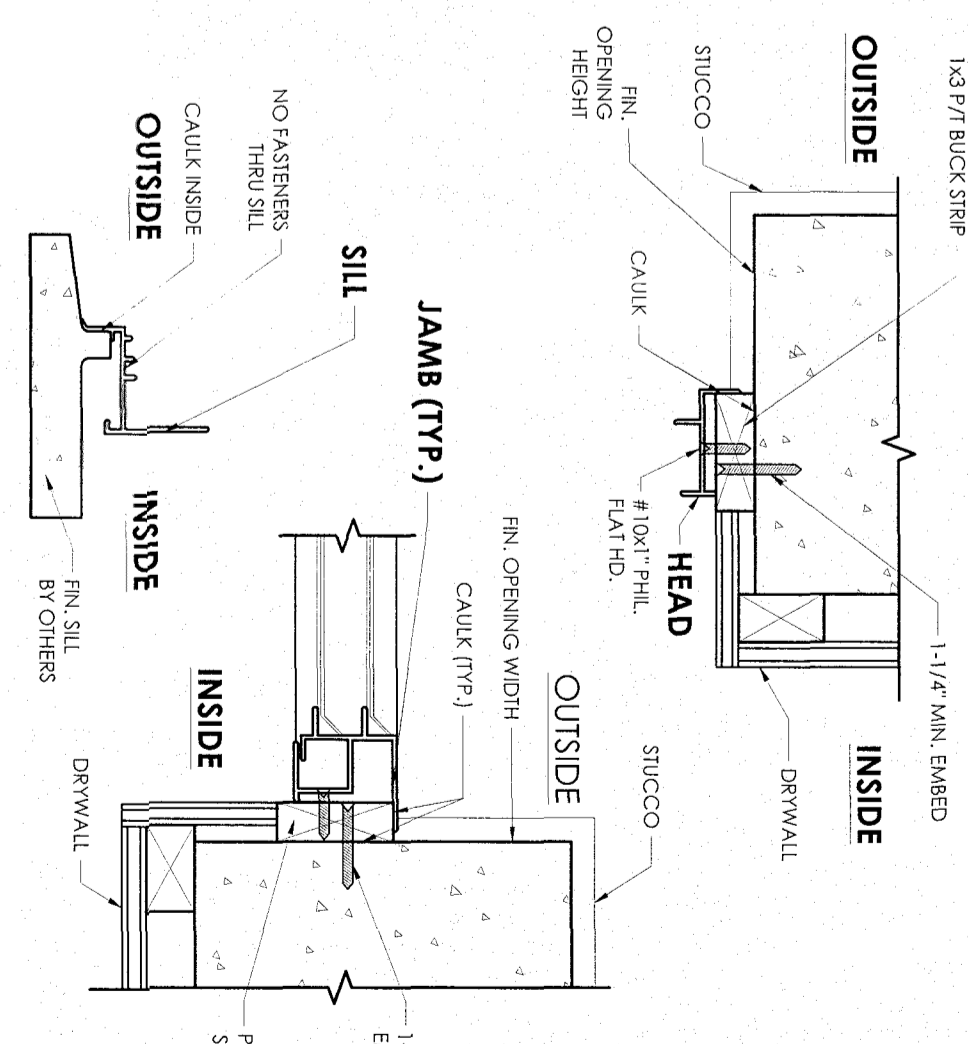
2 TYP. INTERIOR WALL
SCALE: 1/2" = 1' - 0"



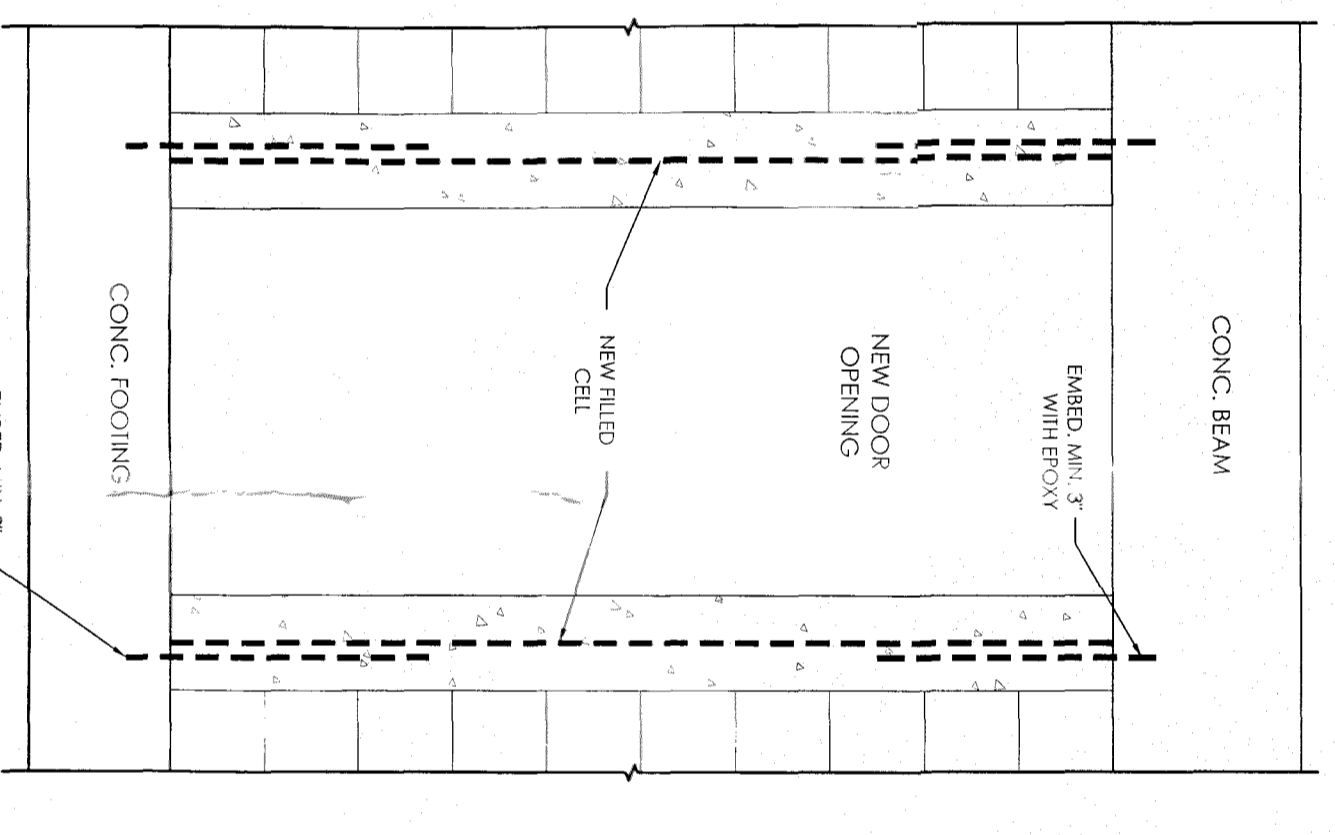
3 TYP. INTERIOR WALL AT SHOWER
SCALE: 1/2" = 1' - 0"



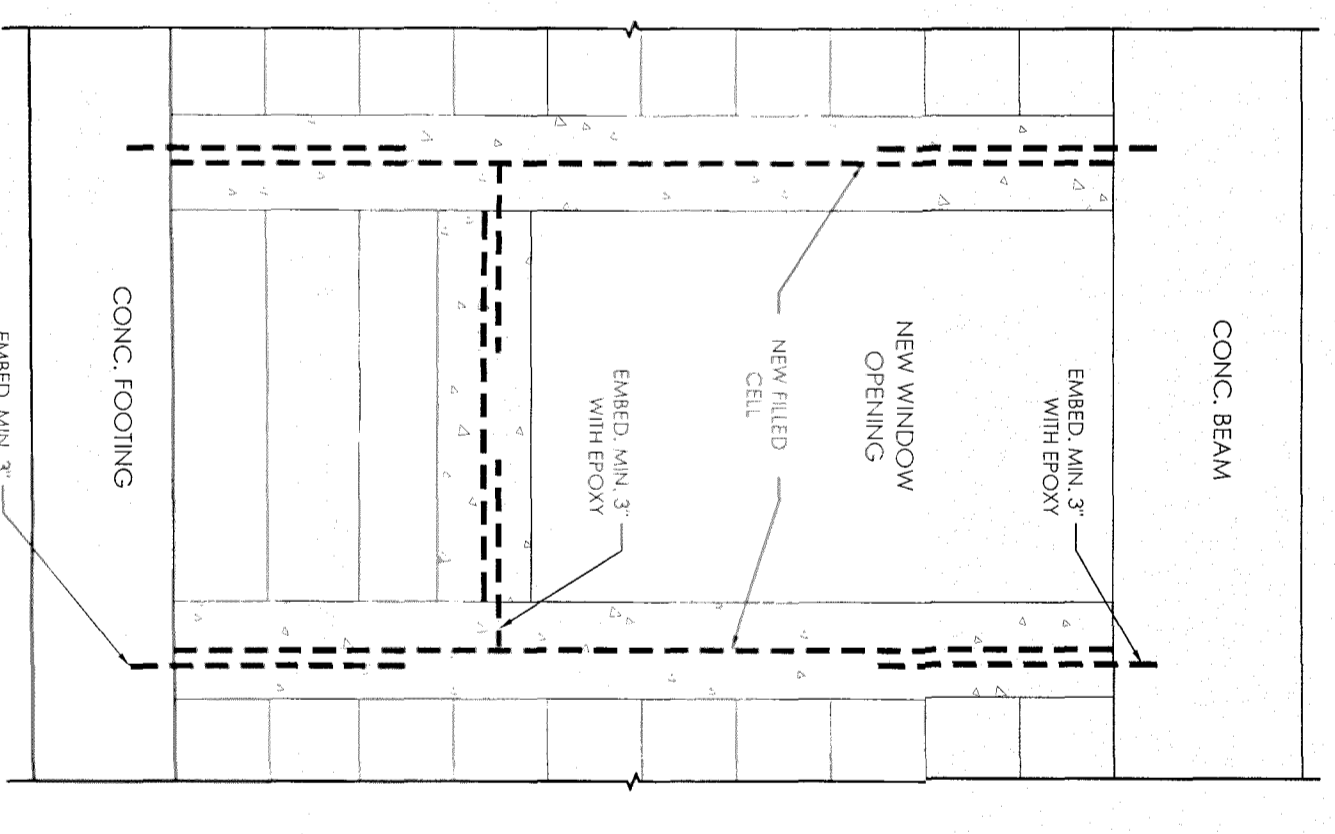
4 TYP. KITCHEN LOW WALL
SCALE: 1/2" = 1' - 0"



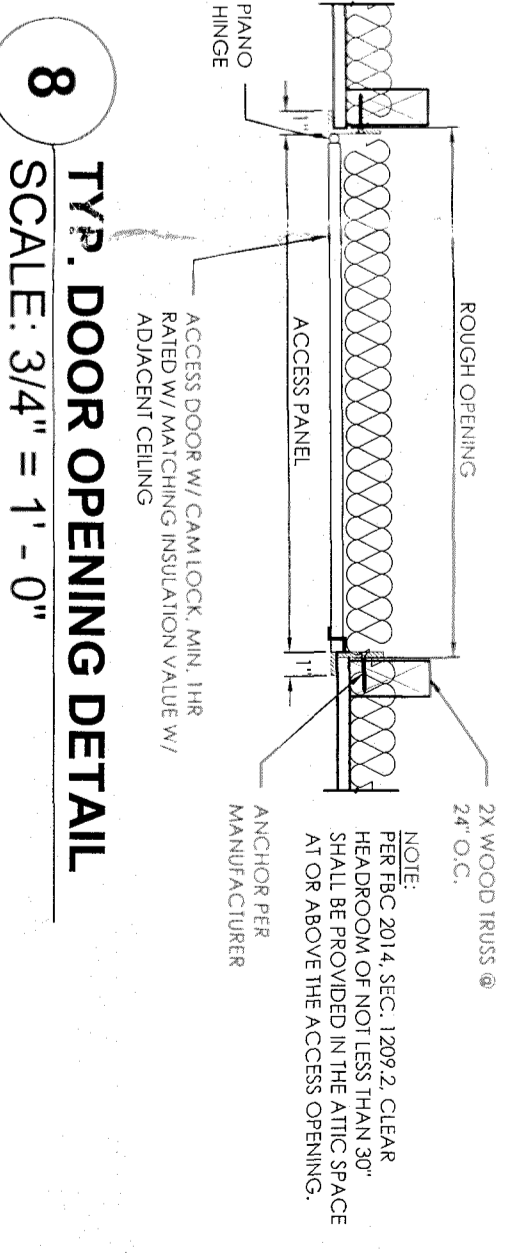
7 TYP. BUCK DETAIL
SCALE: N.T.S.



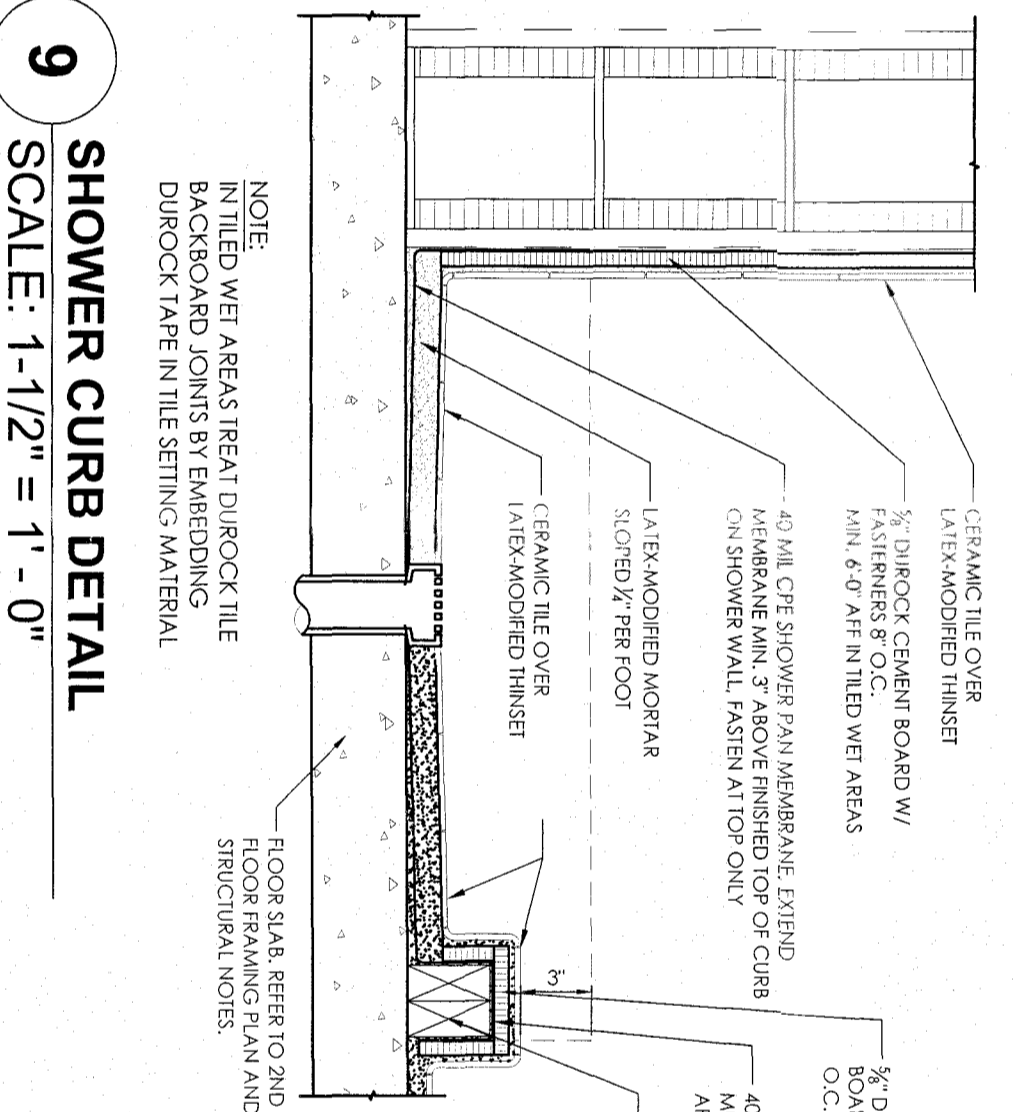
5 TYP. DOOR OPENING DETAIL
SCALE: 3/4" = 1' - 0"



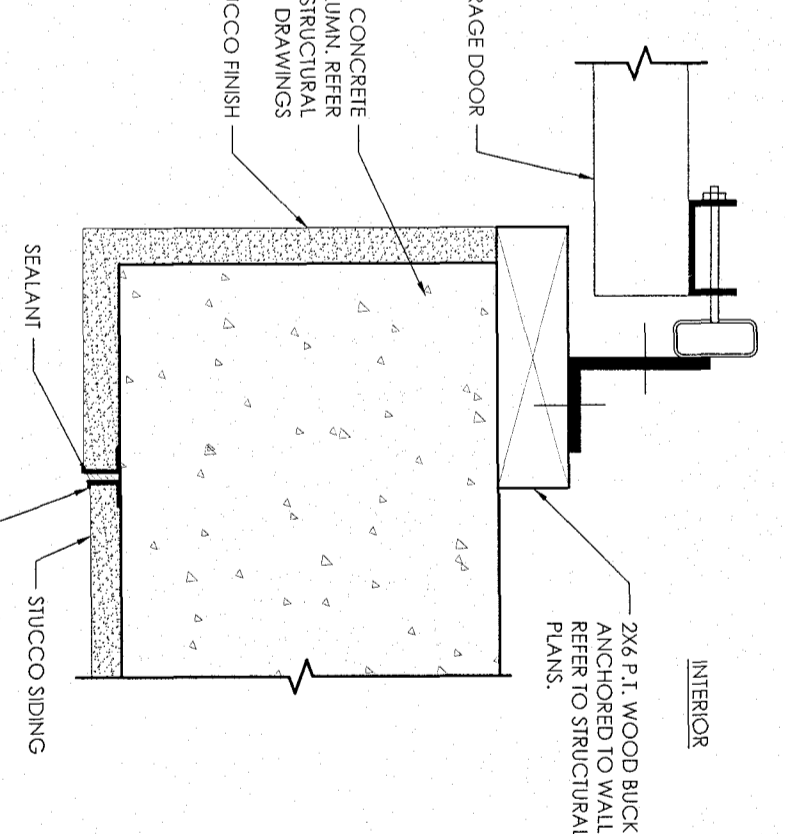
6 TYP. WINDOW OPENING DETAIL
SCALE: 3/4" = 1' - 0"



8 TYP. DOOR OPENING DETAIL
SCALE: 3/4" = 1' - 0"



9 SHOWER CURB DETAIL
SCALE: 1-1/2" = 1' - 0"



10 GARAGE DOOR BUCK DETAIL
SCALE: 3" = 1' - 0"

WALL LEGEND:

- INTERIOR PARTITION
- 8" CMU BELOW WINDOW OPENINGS
- CMU WALL
- FIRE RATED PARTITION PER FBC 2014 §302.6
- MASONRY BLOCK WALL

NO.	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	LOCATION
05	3'-3"	5'-4"	SINGLE HINGE	ALUMINUM / GLAZED	WHITE	BEDROOM #3
06	1'-9"	1'-9"	SINGLE HINGE	ALUMINUM / GLAZED	WHITE	BATH #1 & #3
07	3'-3"	3'-3"	SINGLE HINGE	ALUMINUM / GLAZED	WHITE	BEDROOM #2
08	1'-5"	1'-5"	WELD	ALUMINUM / GLAZED	WHITE	STAIRWELL
09	3'-3"	3'-3"	SINGLE HINGE	ALUMINUM / GLAZED	WHITE	MASTER BEDROOM
10	2'-0"	2'-0"	SINGLE HINGE	ALUMINUM / GLAZED	WHITE	MASTER BATH
11	2'-0"	8'-0"	SWING	HOLLOWCORE	PAINTED	LOBBY
12	4'-0"	8'-0"	BI-FOLD	HOLLOWCORE	PAINTED	CLOSET
13	3'-0"	8'-0"	SWING	HOLLOWCORE	PAINTED	2ND FLOOR
14	5'-0"	8'-0"	INTERIOR	HOLLOWCORE	PAINTED	EQUIPMENT
15	5'-0"	8'-0"	INTERIOR	HOLLOWCORE	PAINTED	MASTER BEDROOM
16	2'-0"	8'-0"	SWING	HOLLOWCORE	PAINTED	MASTER BATH
17	2'-8"	8'-0"	INTERIOR	HOLLOWCORE	PAINTED	MASTER BATH W.C.
18	2'-8"	8'-0"	INTERIOR	HOLLOWCORE	PAINTED	MASTER BATH W.C.
19	8'-8"	8'-0"	SLIDING	ALUMINUM / GLAZED	PAINTED / GLAZED	MASTER BALCONY

NOTE:
ALL WINDOWS AND DOORS TO BE "IMPACT RESISTANT OR EQUIVALENT". VERIFY ALL MASONRY OPENINGS WITH MANUFACTURER PRIOR TO ORDERING AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

NEW 2-STORY DUPLEX (2 UNIT)
927 SW 2ND COURT
FORT LAUDERDALE, FL 33312

PROPOSED SECOND FLOOR PLAN FOR UNITS A AND B, DOOR & WINDOW SCHEDULES, TYPICAL WALL SECTIONS, TYPICAL DOOR & WINDOW OPENINGS DETAILS

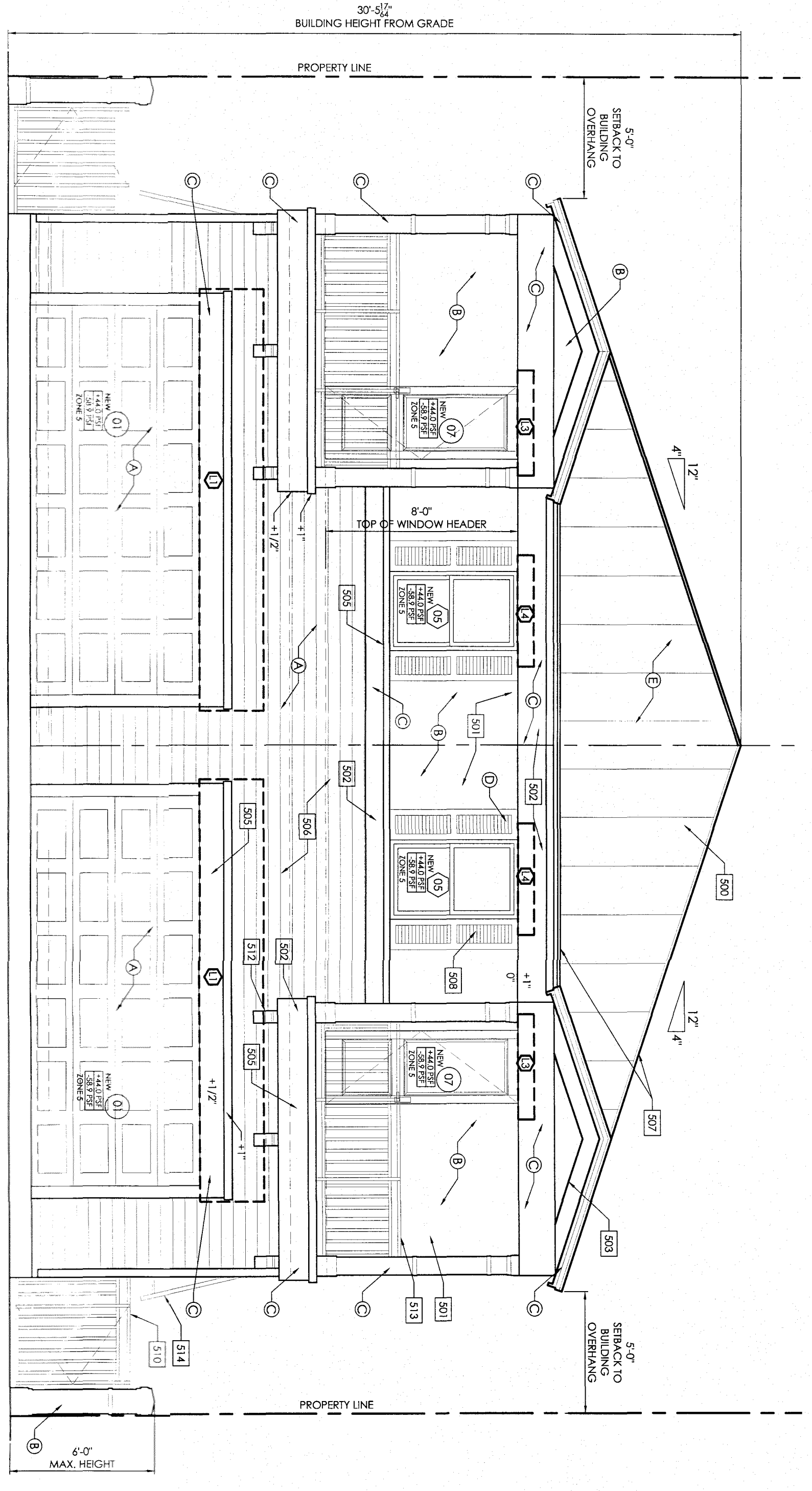
BUNKER ENGINEERING & CONSTRUCTION SERVICES, INC.
120 N FEDERAL HWY, SUITE 305, LAKE WORTH, FL 33460
PH #561-585-5696 - FAX #561-585-5697

SHEET 3.2 OF 10

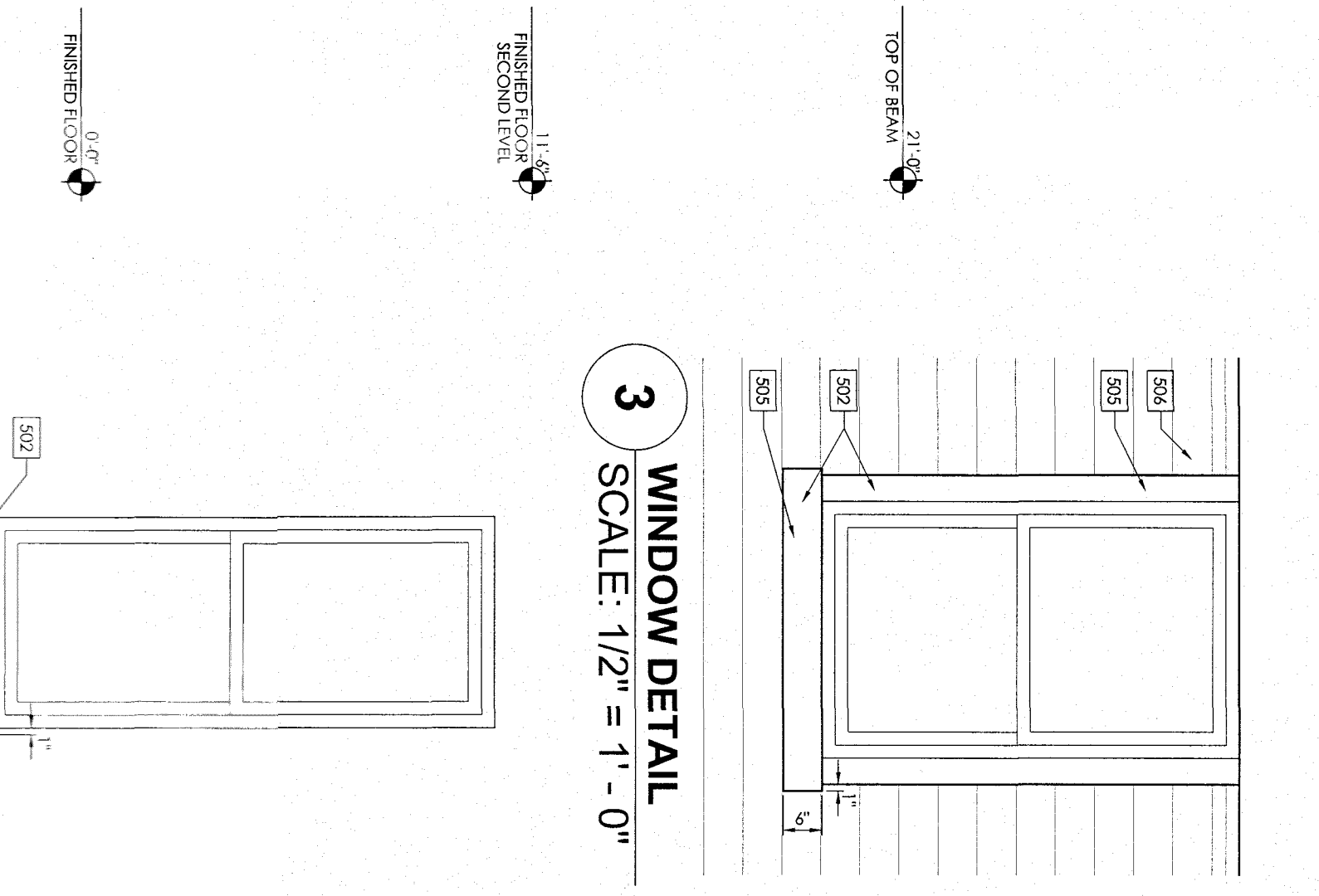
EDGAR DUENAS, P.E.
5783
FL REG. ENG. #57831
CA# 26288

DATE: AUG 28 2016
DRAWN BY: [Signature]
SCALE: AS NOTED

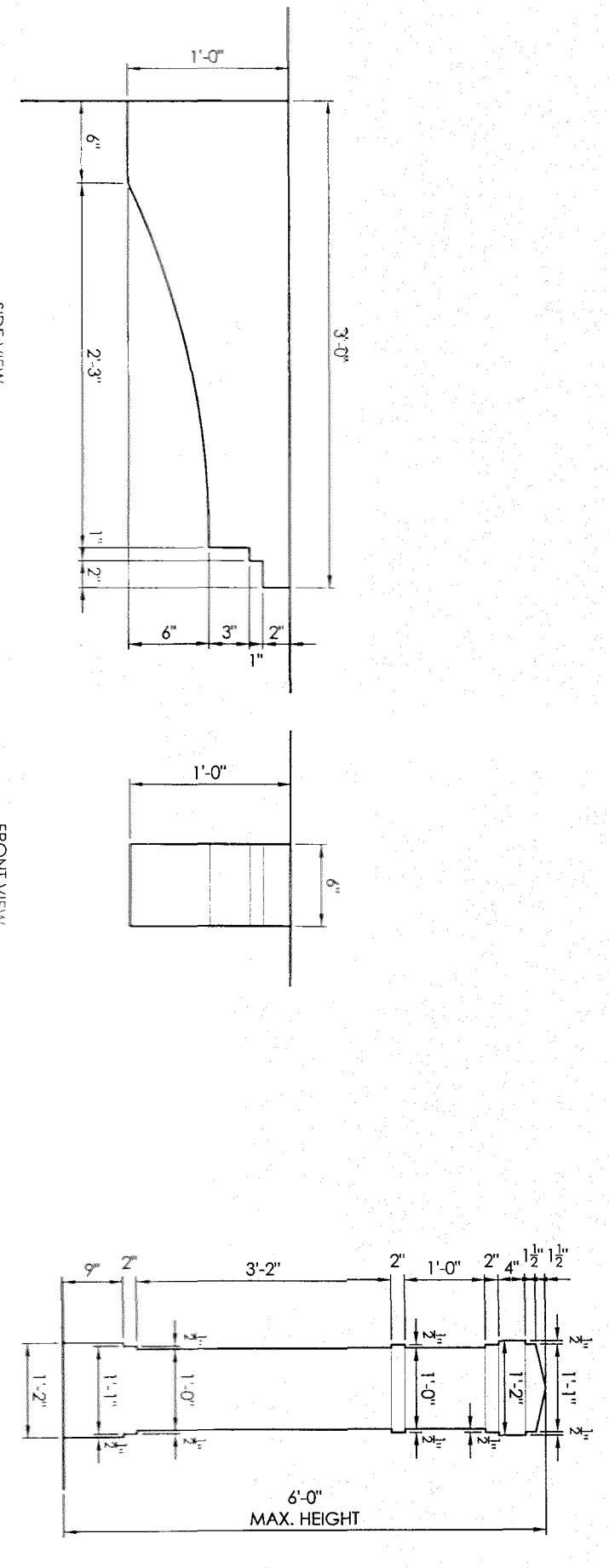




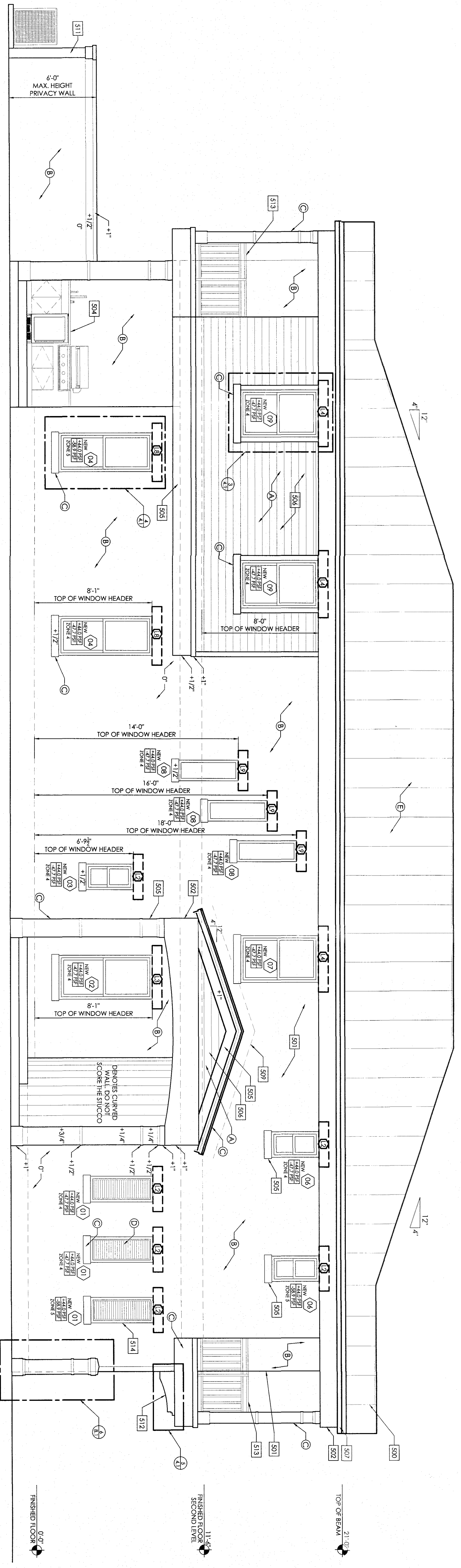
1 FRONT (SOUTH) ELEVATION
SCALE: 1/4" = 1' - 0"



3 WINDOW DETAIL
SCALE: 1/2" = 1' - 0"



6 ENTRY POST DETAIL
SCALE: 1/2" = 1' - 0"



2 LEFT (WEST) ELEVATION
SCALE: 1/4" = 1' - 0"

4 WINDOW DETAIL
SCALE: 1/2" = 1' - 0"

5 BRACKET DETAIL
SCALE: 1" = 1' - 0"

SITE KEY NOTES:

- 500 - STANDING SEAM METAL ROOF
- 501 - ROUGH TEXTURED STUCCO
- 502 - SMOOTH TEXTURED STUCCO
- 503 - TOOLED STUCCO SCORE LINE: 1/2" WIDTH
- 504 - COUNTER TOP: 15" AND/OR 6" AND/OR 36" WIDTH. REFER TO FLOOR PLANS.
- 505 - STUCCO DETAIL / BANDING: RETURN OF NOT SHOWN.
- 506 - STUCCO SIDING.
- 507 - WOOD FASCIA: REFER TO WALL SECTIONS.
- 508 - PVC SHUTTER: 16" WIDTH, HEIGHT TO MATCH WINDOW. SHUTTER AS SELECTED BY OWNER.
- 509 - FLASHING: PROVIDE BASE FLASHING AND COUNTERFLASHING WITH STUCCO STOP.
- 510 - FENCE: REFER TO SITE PLAN.
- 511 - WALL: REFER TO SITE PLAN AND FOUNDATION PLAN FOR CONSTRUCTION DETAILS.
- 512 - DECORATIVE BRACKET: AS SELECTED BY OWNER.
- 513 - DECORATIVE RAILING: AS SELECTED BY OWNER. TO MATCH WINDOW WIDTH AND HEIGHT.
- 514 - BAHAMA SHUTTERS: AS SELECTED BY OWNER. TO MATCH WINDOW WIDTH AND HEIGHT. SHUTTERS SHALL NOT PROJECT INTO SIDE SERBACK ONCE FULLY OPENED.

COLOR LEGEND:

- (A) BODY COLOR 1
- (B) BODY COLOR 2
- (C) TRIM COLOR
- (D) ACCENT COLOR
- (E) ROOF COLOR

NOTE:
ALL EXTERIOR PAINT DONE WITH 3-COAT SYSTEM. 1 COAT OF PRIMER, 2 COATS OF FINISH. PAINT SAMPLES TO BE APPROVED BY OWNER.

CAM #17-1189
Exhibit 2
Page 6 of 15

NEW 2-STORY DUPLEX (2 UNIT)
927 SW 2ND COURT
FORT LAUDERDALE, FL 33312

PROPOSED EXTERIOR ELEVATIONS AND
DETAILS, GENERAL NOTES

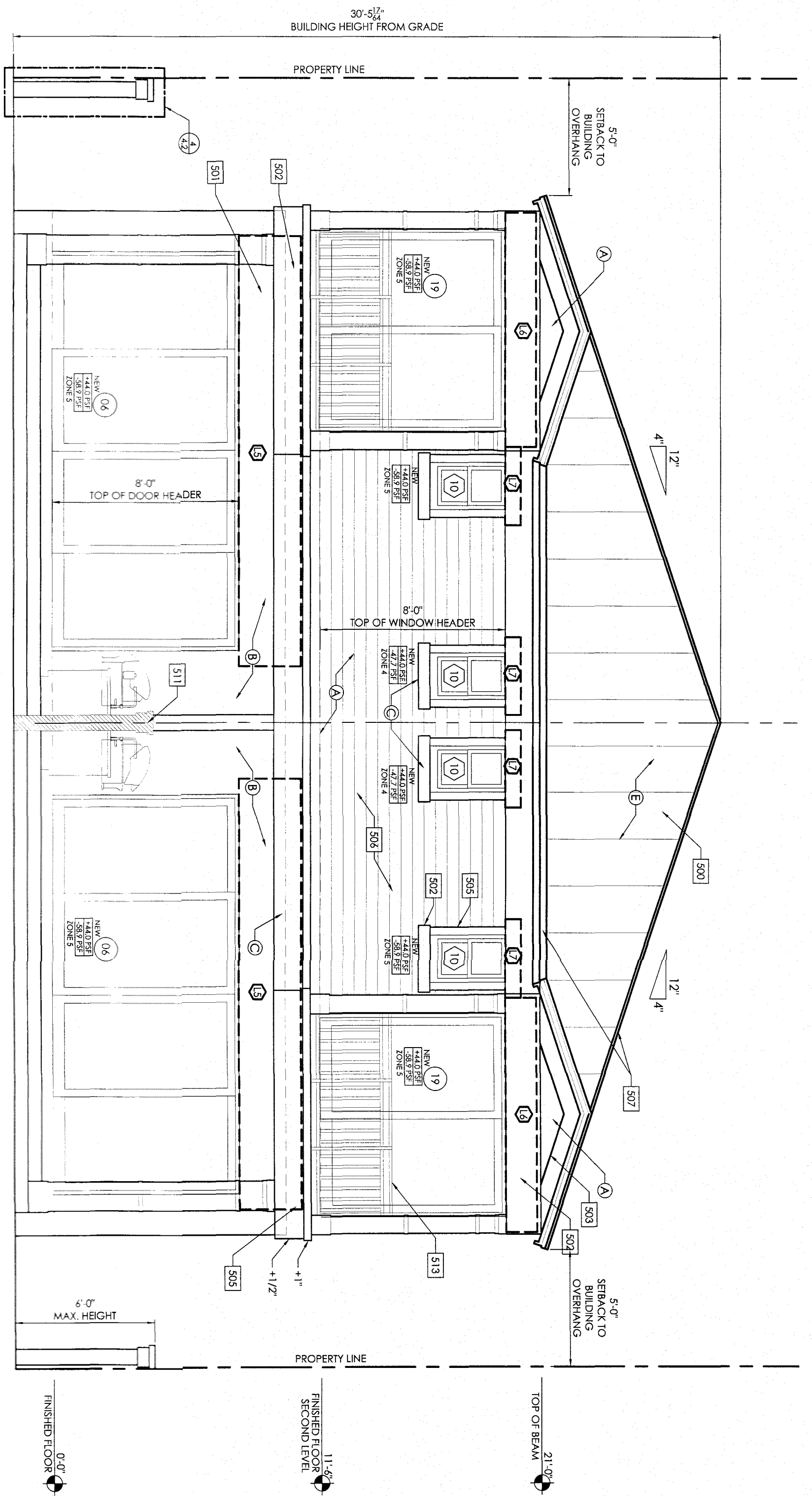
**BUNKER ENGINEERING &
CONSTRUCTION SERVICES, INC.**
120 N FEDERAL HWY, SUITE 305, LAKE WORTH, FL 33460
PH #561-585-5696 -- FAX #561-585-5697



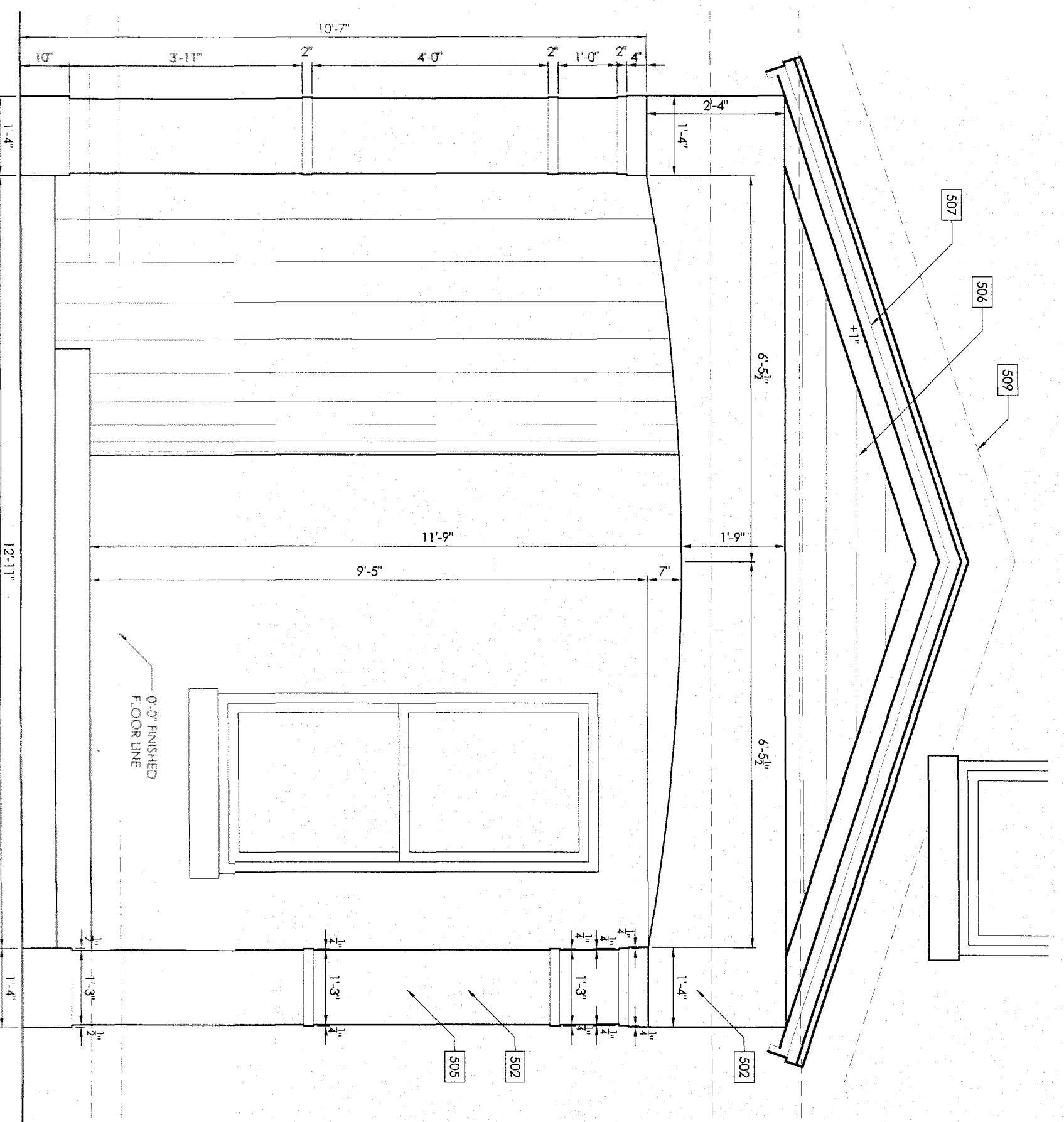
EDGAR DUENAS, PE
No. 57831
STATE OF FLORIDA
FL REG. ENG. #57831
CA# 26268

SCALE: AS NOTED
DRAWN BY: (Signature)
DATE: AUG 29, 2016
REVISION:

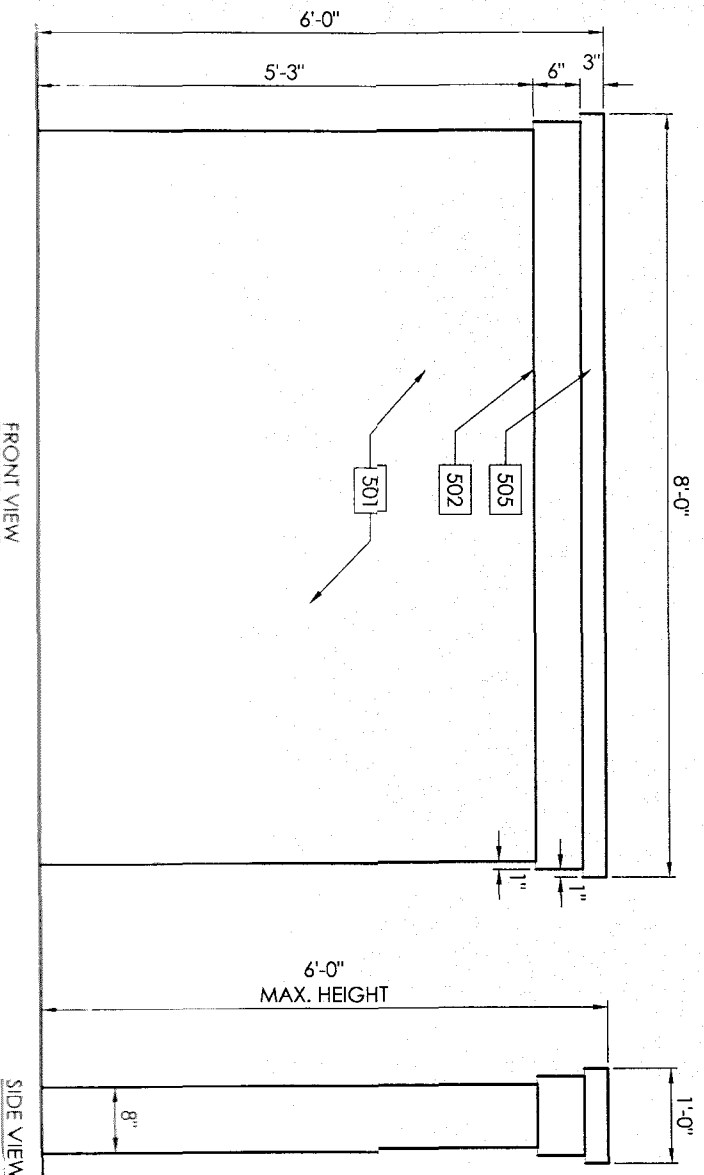
SHEET
4.1 OF 10



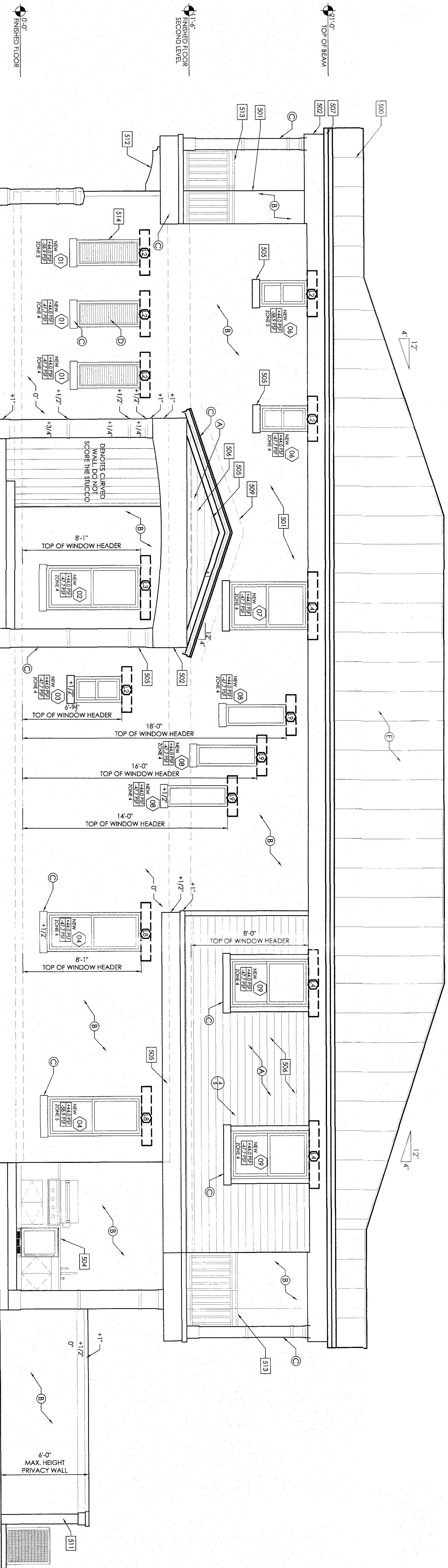
1 REAR (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"



3 COVERED ENTRY DETAIL
SCALE: 1/2" = 1'-0"



4 SITE ENTRY WALL
SCALE: 1/2" = 1'-0"



2 RIGHT (EAST) ELEVATION
SCALE: 1/4" = 1'-0"

- COLOR LEGEND:**
- (A) BODY COLOR 1
 - (B) BODY COLOR 2
 - (C) TRIM COLOR
 - (D) ACCENT COLOR
 - (E) ROOF COLOR

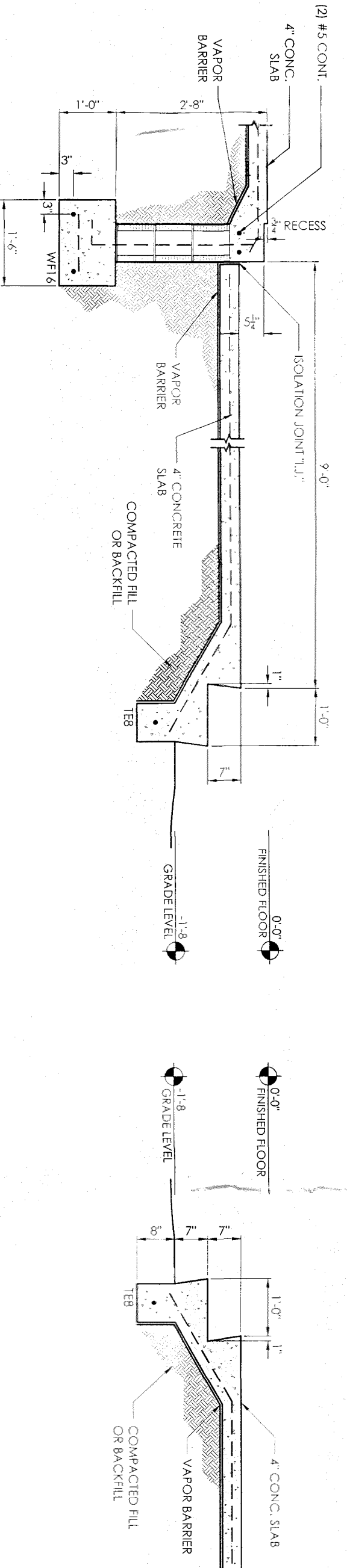
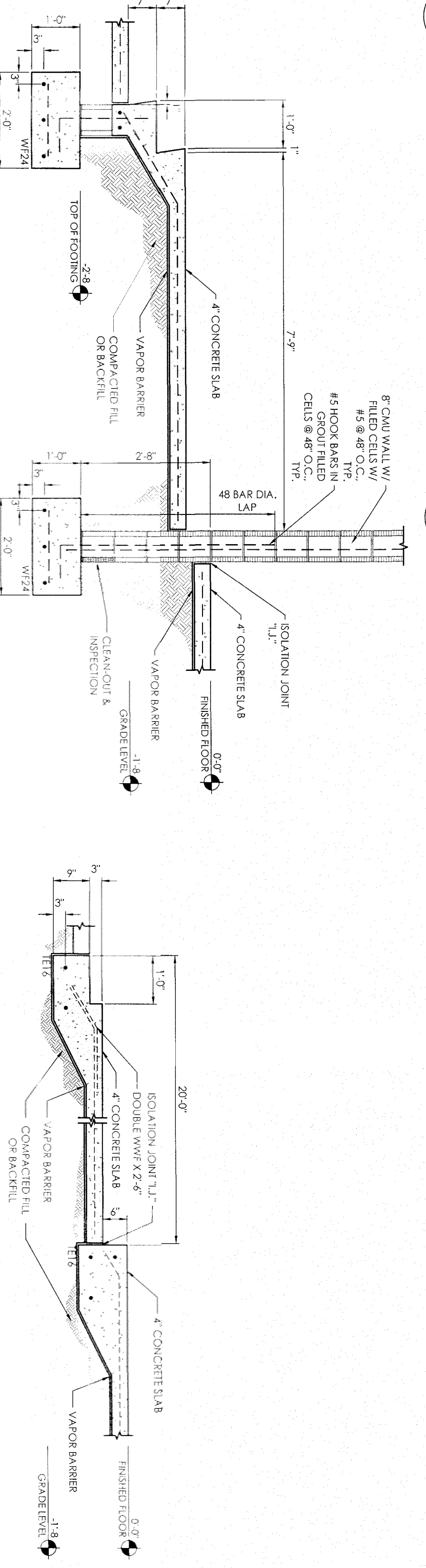
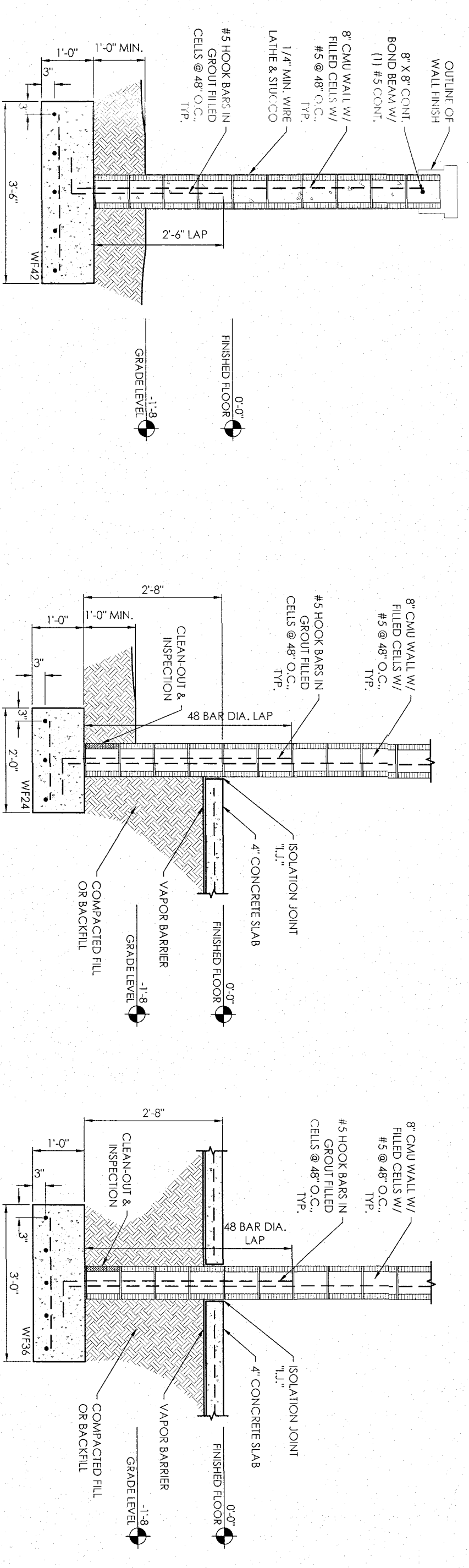
NOTE:
ALL EXTERIOR PAINT DONE WITH 3-COAT SYSTEM: 1 COAT OF PRIMER, 2 COATS OF FINISH. PAINT SAMPLES TO BE APPROVED BY OWNER.

PROPOSED FOUNDATION PLANS FOR UNITS A AND B, CONCRETE AND FOOTING DETAILS, GENERAL NOTES

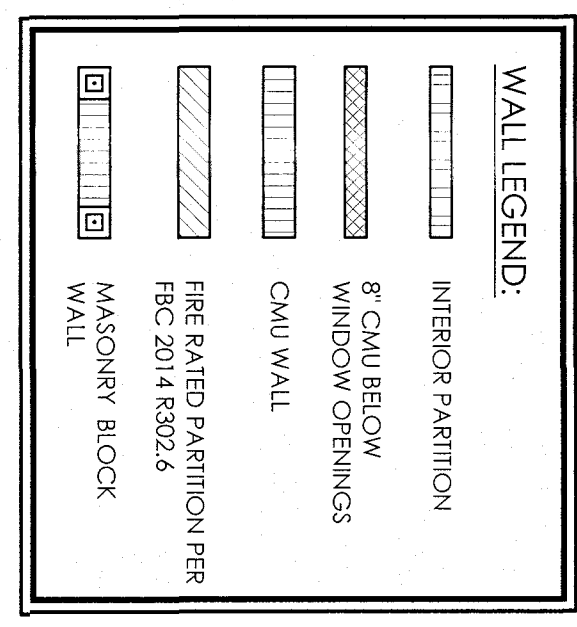
NEW 2-STORY DUPLEX (2 UNIT)
 927 SW 2ND COURT
 FORT LAUDERDALE, FL 33312

SCALE: AS NOTED
 DRAWN BY: [Signature]
 DATE: AUG 28, 2016
 REVISION: [None]

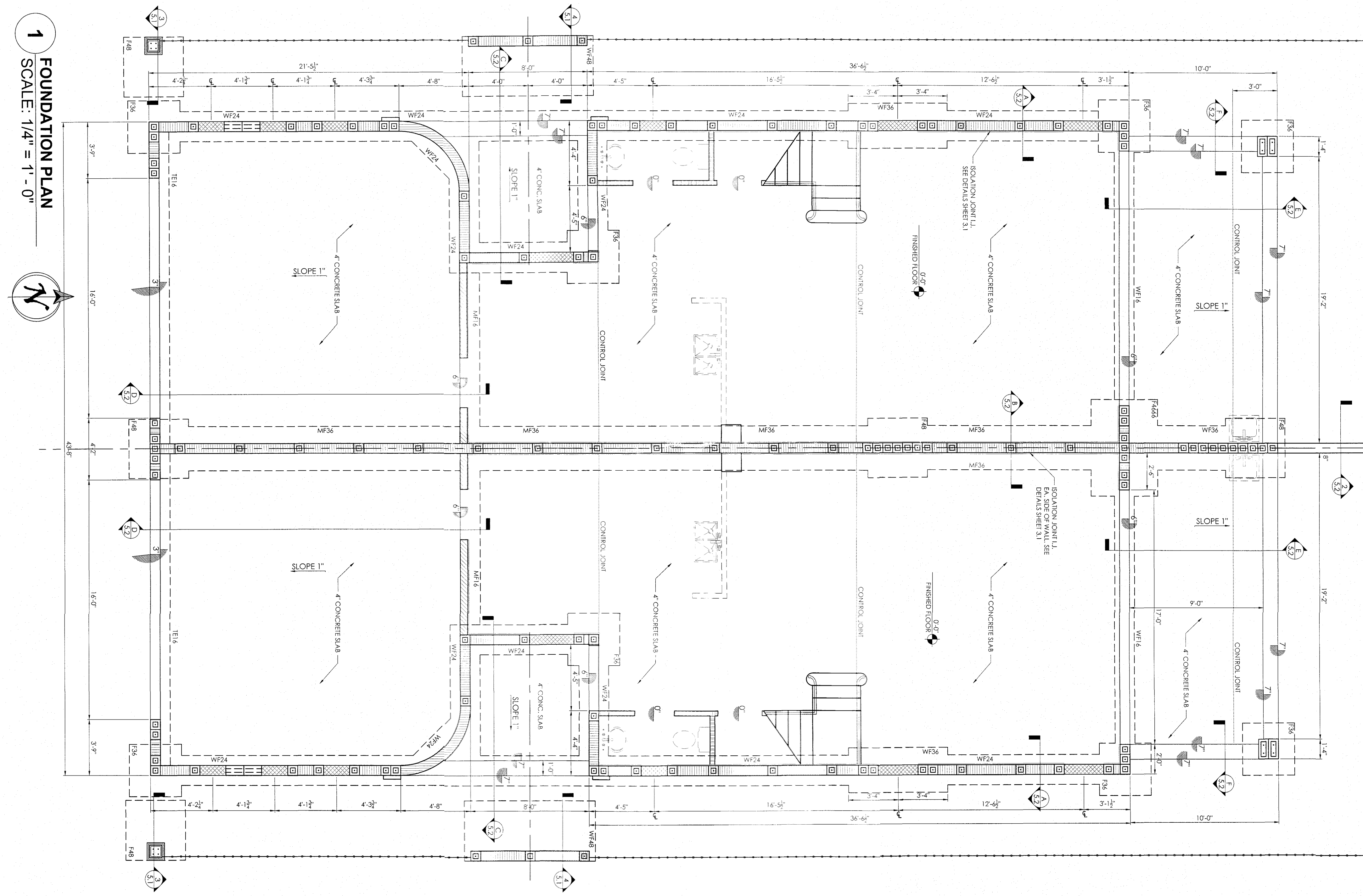
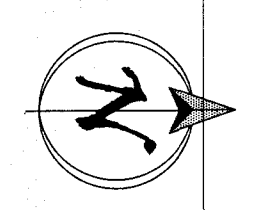
SHEET
 5.2 OF 10



MARK	SIZE	REINFORCING	LOCATION	NOTES
WF16	1 1/2" X 12 1/4" CON.	(2) #5 CON.	CONCRETE WALL FOOTING	
WF24	2 1/2" X 12 1/4" CON.	(3) #5 CON.	CONCRETE WALL FOOTING	
WF36	3 1/2" X 12 1/4" CON.	(5) #5 CON.	CONCRETE WALL FOOTING	
WF48	4 1/2" X 12 1/4" CON.	(7) #5 CON.	CONCRETE WALL FOOTING	
WF60	5 1/2" X 12 1/4" CON.	(9) #5 CON.	CONCRETE WALL FOOTING	
WF72	6 1/2" X 12 1/4" CON.	(11) #5 CON.	CONCRETE WALL FOOTING	
WF84	7 1/2" X 12 1/4" CON.	(13) #5 CON.	CONCRETE WALL FOOTING	
WF96	8 1/2" X 12 1/4" CON.	(15) #5 CON.	CONCRETE WALL FOOTING	
WF108	9 1/2" X 12 1/4" CON.	(17) #5 CON.	CONCRETE WALL FOOTING	
WF120	10 1/2" X 12 1/4" CON.	(19) #5 CON.	CONCRETE WALL FOOTING	
WF132	11 1/2" X 12 1/4" CON.	(21) #5 CON.	CONCRETE WALL FOOTING	
WF144	12 1/2" X 12 1/4" CON.	(23) #5 CON.	CONCRETE WALL FOOTING	
WF156	13 1/2" X 12 1/4" CON.	(25) #5 CON.	CONCRETE WALL FOOTING	
WF168	14 1/2" X 12 1/4" CON.	(27) #5 CON.	CONCRETE WALL FOOTING	
WF180	15 1/2" X 12 1/4" CON.	(29) #5 CON.	CONCRETE WALL FOOTING	
WF192	16 1/2" X 12 1/4" CON.	(31) #5 CON.	CONCRETE WALL FOOTING	
WF204	17 1/2" X 12 1/4" CON.	(33) #5 CON.	CONCRETE WALL FOOTING	
WF216	18 1/2" X 12 1/4" CON.	(35) #5 CON.	CONCRETE WALL FOOTING	
WF228	19 1/2" X 12 1/4" CON.	(37) #5 CON.	CONCRETE WALL FOOTING	
WF240	20 1/2" X 12 1/4" CON.	(39) #5 CON.	CONCRETE WALL FOOTING	
WF252	21 1/2" X 12 1/4" CON.	(41) #5 CON.	CONCRETE WALL FOOTING	
WF264	22 1/2" X 12 1/4" CON.	(43) #5 CON.	CONCRETE WALL FOOTING	
WF276	23 1/2" X 12 1/4" CON.	(45) #5 CON.	CONCRETE WALL FOOTING	
WF288	24 1/2" X 12 1/4" CON.	(47) #5 CON.	CONCRETE WALL FOOTING	
WF300	25 1/2" X 12 1/4" CON.	(49) #5 CON.	CONCRETE WALL FOOTING	
WF312	26 1/2" X 12 1/4" CON.	(51) #5 CON.	CONCRETE WALL FOOTING	
WF324	27 1/2" X 12 1/4" CON.	(53) #5 CON.	CONCRETE WALL FOOTING	
WF336	28 1/2" X 12 1/4" CON.	(55) #5 CON.	CONCRETE WALL FOOTING	
WF348	29 1/2" X 12 1/4" CON.	(57) #5 CON.	CONCRETE WALL FOOTING	
WF360	30 1/2" X 12 1/4" CON.	(59) #5 CON.	CONCRETE WALL FOOTING	
WF372	31 1/2" X 12 1/4" CON.	(61) #5 CON.	CONCRETE WALL FOOTING	
WF384	32 1/2" X 12 1/4" CON.	(63) #5 CON.	CONCRETE WALL FOOTING	
WF396	33 1/2" X 12 1/4" CON.	(65) #5 CON.	CONCRETE WALL FOOTING	
WF408	34 1/2" X 12 1/4" CON.	(67) #5 CON.	CONCRETE WALL FOOTING	
WF420	35 1/2" X 12 1/4" CON.	(69) #5 CON.	CONCRETE WALL FOOTING	
WF432	36 1/2" X 12 1/4" CON.	(71) #5 CON.	CONCRETE WALL FOOTING	
WF444	37 1/2" X 12 1/4" CON.	(73) #5 CON.	CONCRETE WALL FOOTING	
WF456	38 1/2" X 12 1/4" CON.	(75) #5 CON.	CONCRETE WALL FOOTING	
WF468	39 1/2" X 12 1/4" CON.	(77) #5 CON.	CONCRETE WALL FOOTING	
WF480	40 1/2" X 12 1/4" CON.	(79) #5 CON.	CONCRETE WALL FOOTING	
WF492	41 1/2" X 12 1/4" CON.	(81) #5 CON.	CONCRETE WALL FOOTING	
WF504	42 1/2" X 12 1/4" CON.	(83) #5 CON.	CONCRETE WALL FOOTING	
WF516	43 1/2" X 12 1/4" CON.	(85) #5 CON.	CONCRETE WALL FOOTING	
WF528	44 1/2" X 12 1/4" CON.	(87) #5 CON.	CONCRETE WALL FOOTING	
WF540	45 1/2" X 12 1/4" CON.	(89) #5 CON.	CONCRETE WALL FOOTING	
WF552	46 1/2" X 12 1/4" CON.	(91) #5 CON.	CONCRETE WALL FOOTING	
WF564	47 1/2" X 12 1/4" CON.	(93) #5 CON.	CONCRETE WALL FOOTING	
WF576	48 1/2" X 12 1/4" CON.	(95) #5 CON.	CONCRETE WALL FOOTING	
WF588	49 1/2" X 12 1/4" CON.	(97) #5 CON.	CONCRETE WALL FOOTING	
WF600	50 1/2" X 12 1/4" CON.	(99) #5 CON.	CONCRETE WALL FOOTING	



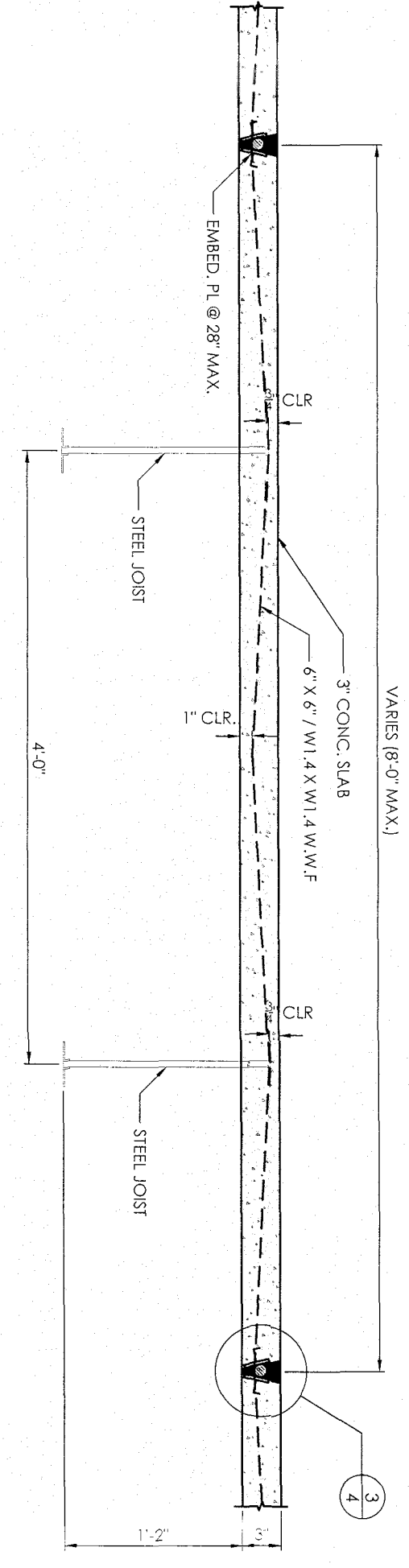
1 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



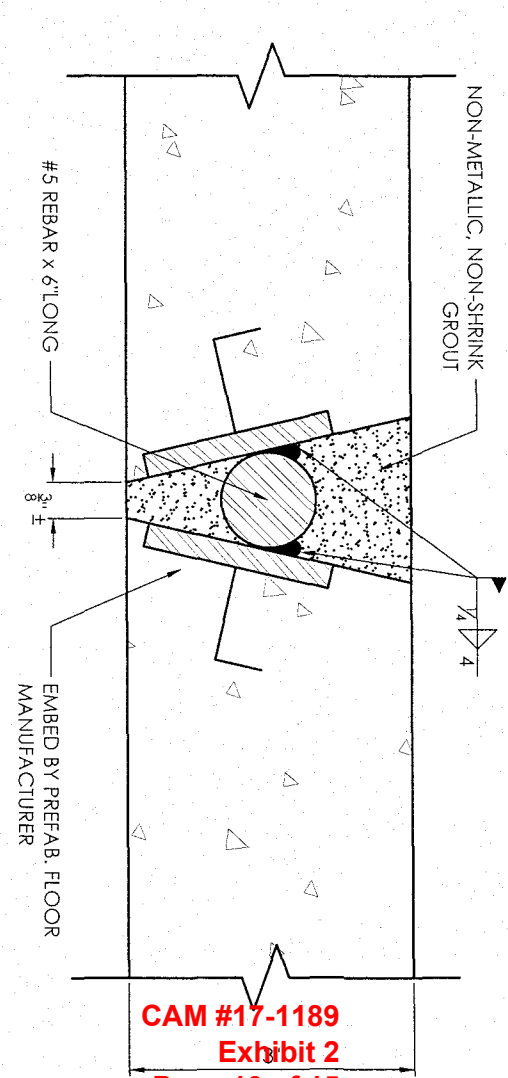
- FOUNDATION PLAN NOTES:**
- REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
 - SIDE FORMS SHALL BE USED FOR ALL FOOTINGS, UNLESS IT CAN BE DEMONSTRATED THAT THE SOIL CAN MAINTAIN A "VERTICAL" POSITION DURING CONSTRUCTION.
 - GROUND FLOOR SLABS SHALL BE 4 INCH CONCRETE WITH 6" X 6" #10 / #10 W/M, (MIN. 1" COVER), PLACED AT MID-DEPTH. THE SLAB SHALL BE PLACED OVER CLEAN, TREATED, COMPACTED FILL AND 6 MIL POLYETHYLENE VAPOR BARRIER. REMOVE ALL ORGANIC MATERIAL. REFER TO THE GENERAL STRUCTURAL NOTES FOR SOIL COMPACTION REQUIREMENTS.
 - SLABS-ON-GRADE SHALL BE CURED. CONTROL JOINTS SHALL BE CUT IN SLABS AS SOON AS PRACTICAL AFTER FINISHING, BUT NOT MORE THAN 6 HOURS AFTER FINISHING. SEE GENERAL STRUCTURAL NOTES FOR CURING REQUIREMENTS.
 - CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF NOT LESS THAN 2500 PSI. CEMENT SHALL CONFORM TO ASTM C150, ASTM C995 OR ASTM C945. CONCRETE AGGREGATES SHALL CONFORM TO ASTM C33 OR ASTM C390.
 - AT ALL FOOTING CORNERS AND INTERSECTIONS, PROVIDE TWO (2) #5 SHAPED CORNER BARS WITH 30" LEGS.
 - LAP SPICE BARS MINIMUM 36".
 - 8-INCH REINFORCED CONCRETE MASONRY WALL: WALLS SHALL BE REINFORCED AS INDICATED ON THE PLAN. WALLS SHALL HAVE GALVANIZED 9 GAUGE LADDER-TYPE HORIZONTAL REINFORCING SPACED AT 16 INCHES (EVERY OTHER COURSE).
 - 8-INCH REINFORCED CONCRETE MASONRY WALLS BELOW WINDOW OPENINGS: VERIFY LOCATIONS AND DIMENSIONS WITH THE FLOOR PLAN AND ELEVATIONS. WALLS SHALL BE REINFORCED AS INDICATED ON THE PLAN. THE TOPS OF WALLS BELOW WINDOWS (BOTTOM OF OPENINGS) SHALL HAVE AN 8" X 8" (MIN) CONCRETE CAP REINFORCED WITH (1) #5 HORIZONTAL BAR. EXTEND THE BARS A MIN. OF 6 INCHES INTO COLUMNS OR GROUDED MASONRY CELLS AT THE ENDS OF WALLS.
 - MONOLITHIC CONCRETE SLABS AND FOOTINGS ARE DESIGNED BY THE RATIONAL ANALYSIS METHOD.

WALL LEGEND:	
	INTERIOR PARTITION
	8" CMU BELOW WINDOW OPENINGS
	8" CMU WALL
	PRECAST CONC. SLAB W/ REINFORC. PER FLOOR PLAN
	MASONRY BLOCK WALL

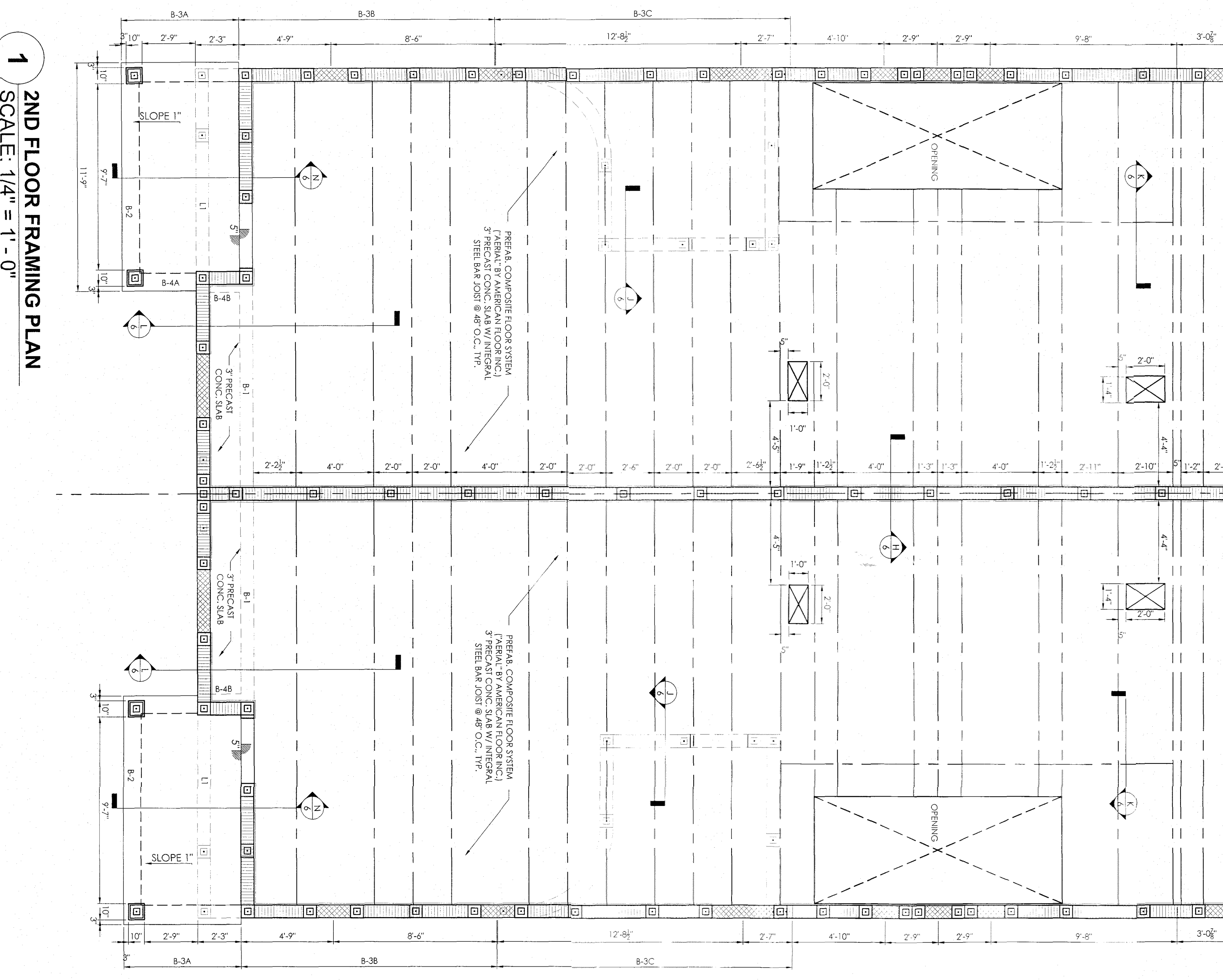
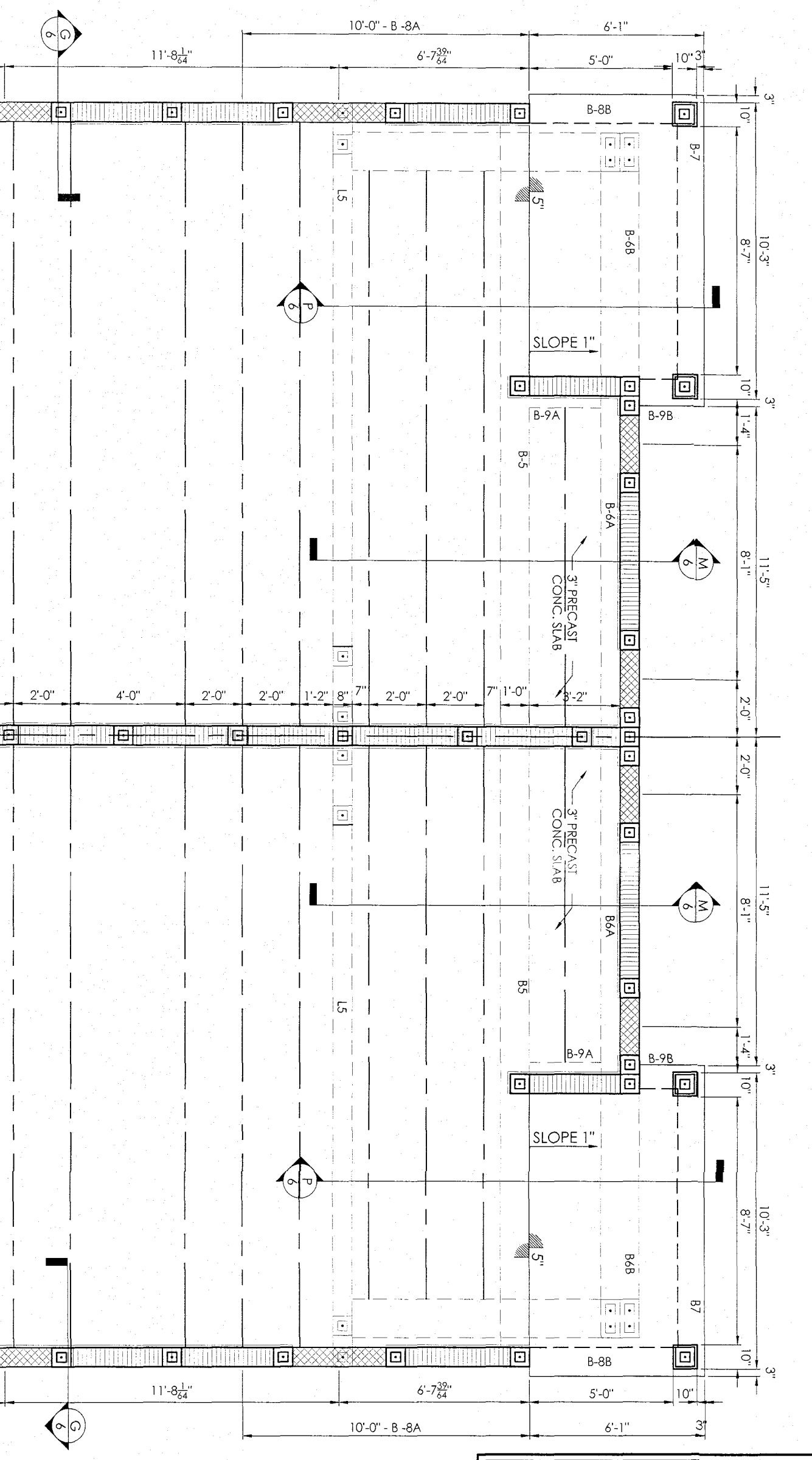
2 TYP. FLOOR SYSTEM SECTION
SCALE: 1" = 1' - 0"



3 TYP. SLAB JOINT DETAIL
SCALE: 6" = 1' - 0"

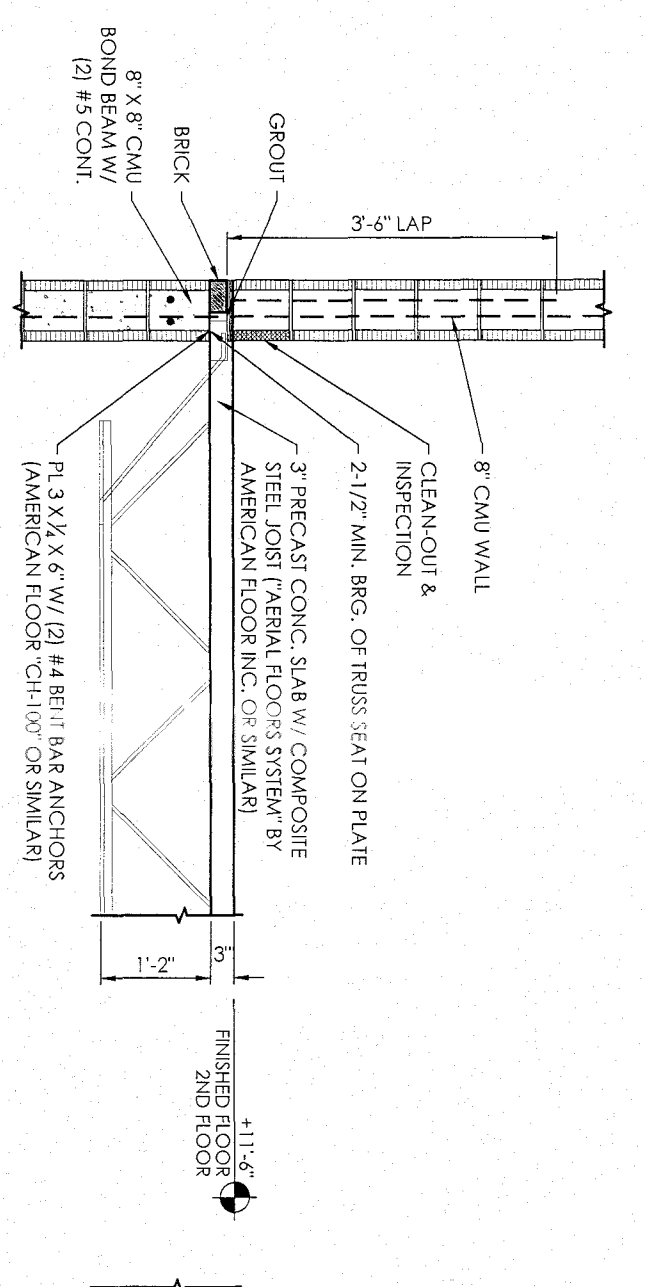


CAM #17-1189
Exhibit 2
Page 10 of 15

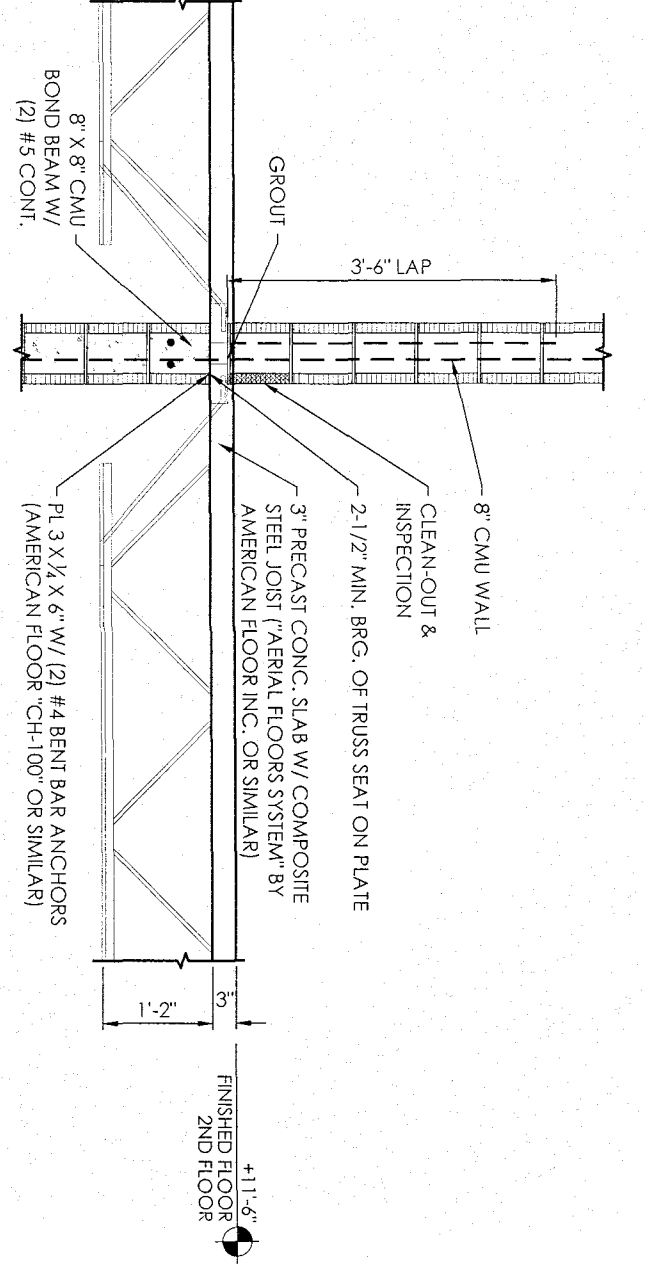


1 2ND FLOOR FRAMING PLAN
SCALE: 1/4" = 1' - 0"

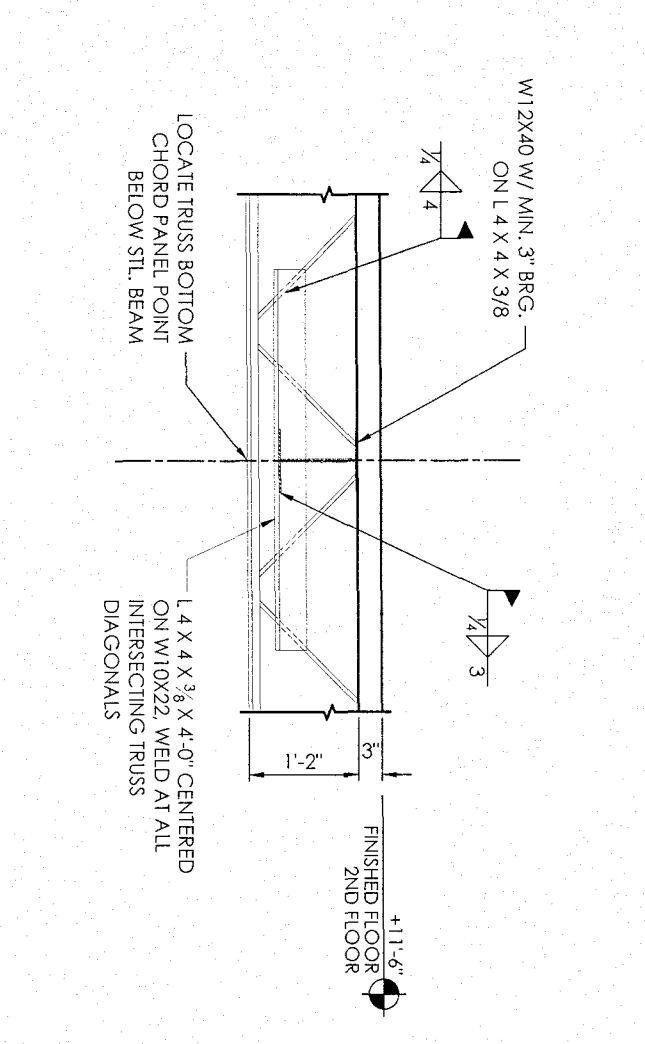
G SECTION
SCALE: 1/2" = 1' - 0"



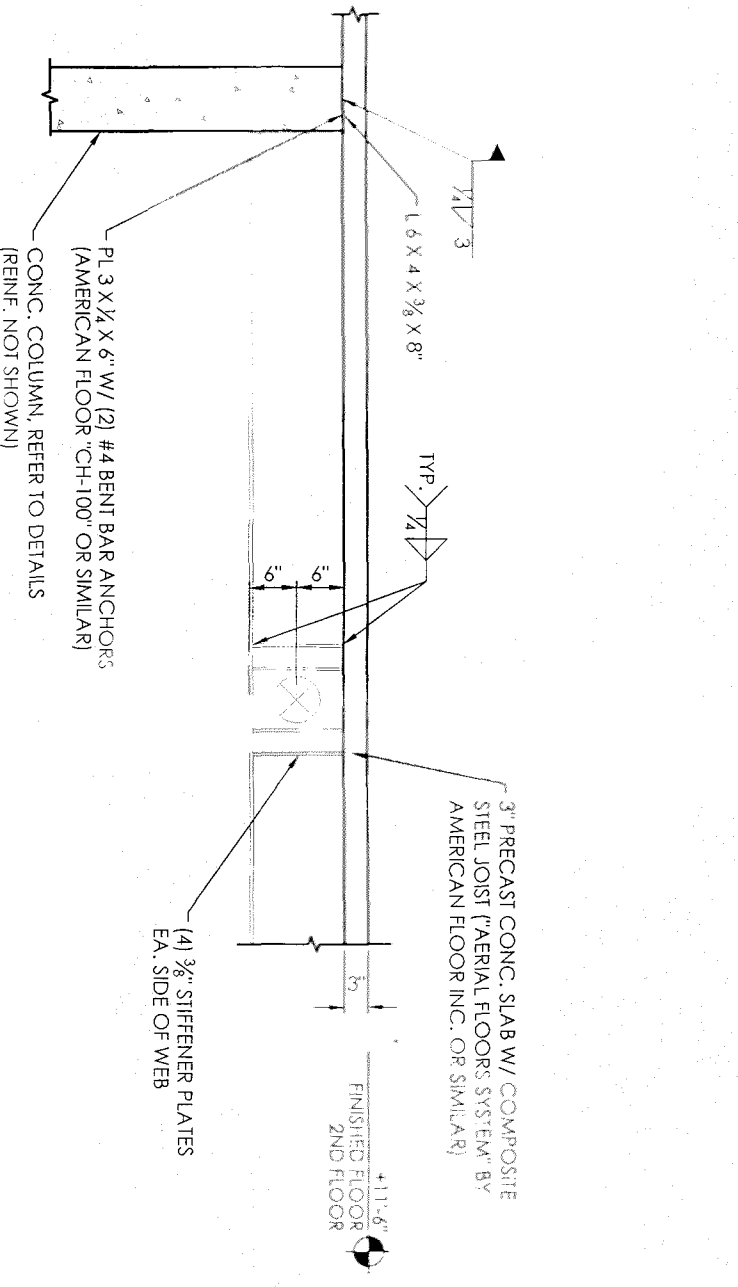
H SECTION
SCALE: 1/2" = 1' - 0"



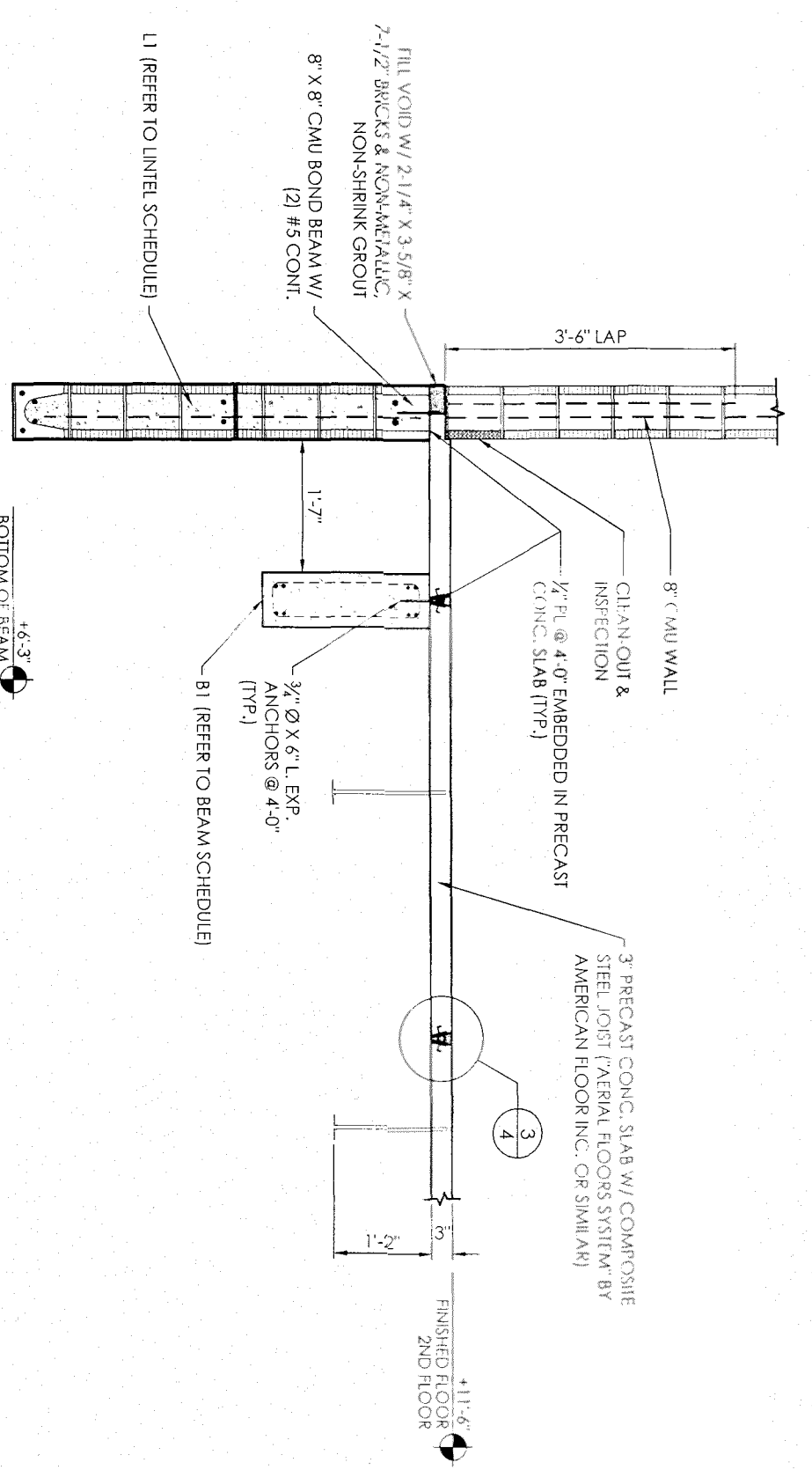
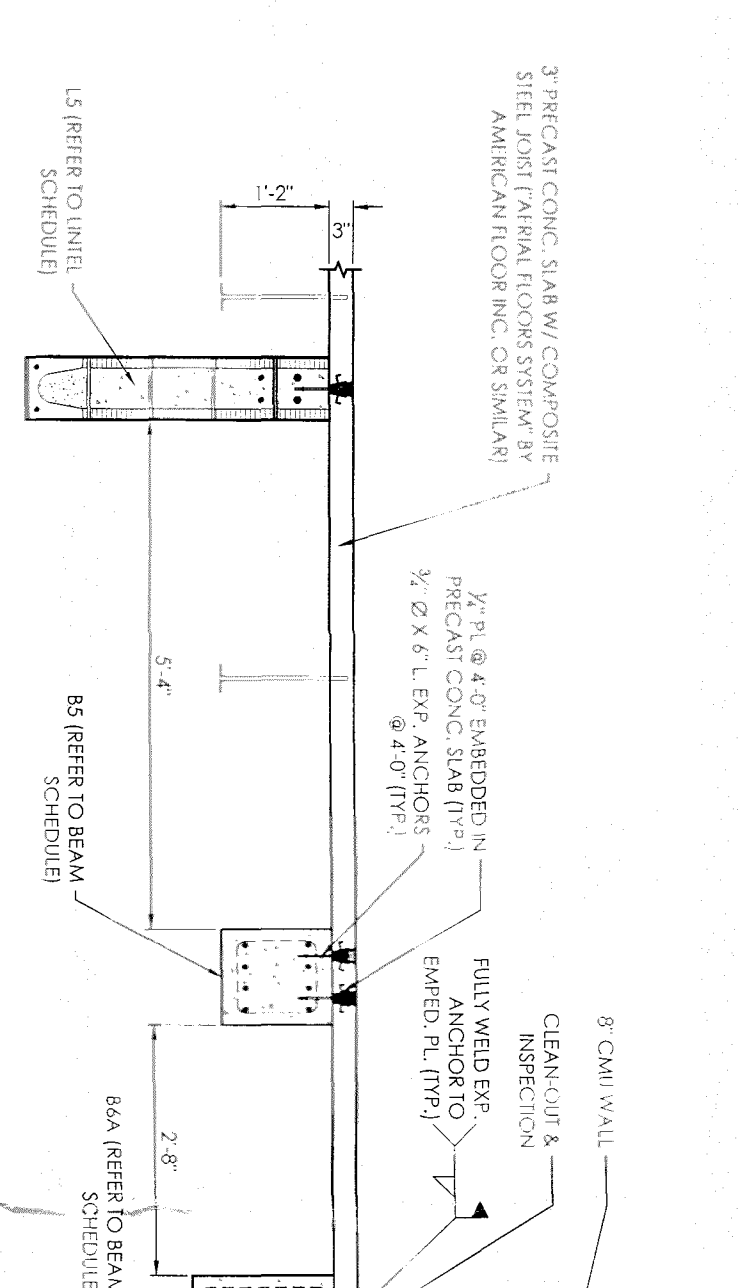
K SECTION
SCALE: 1/2" = 1' - 0"



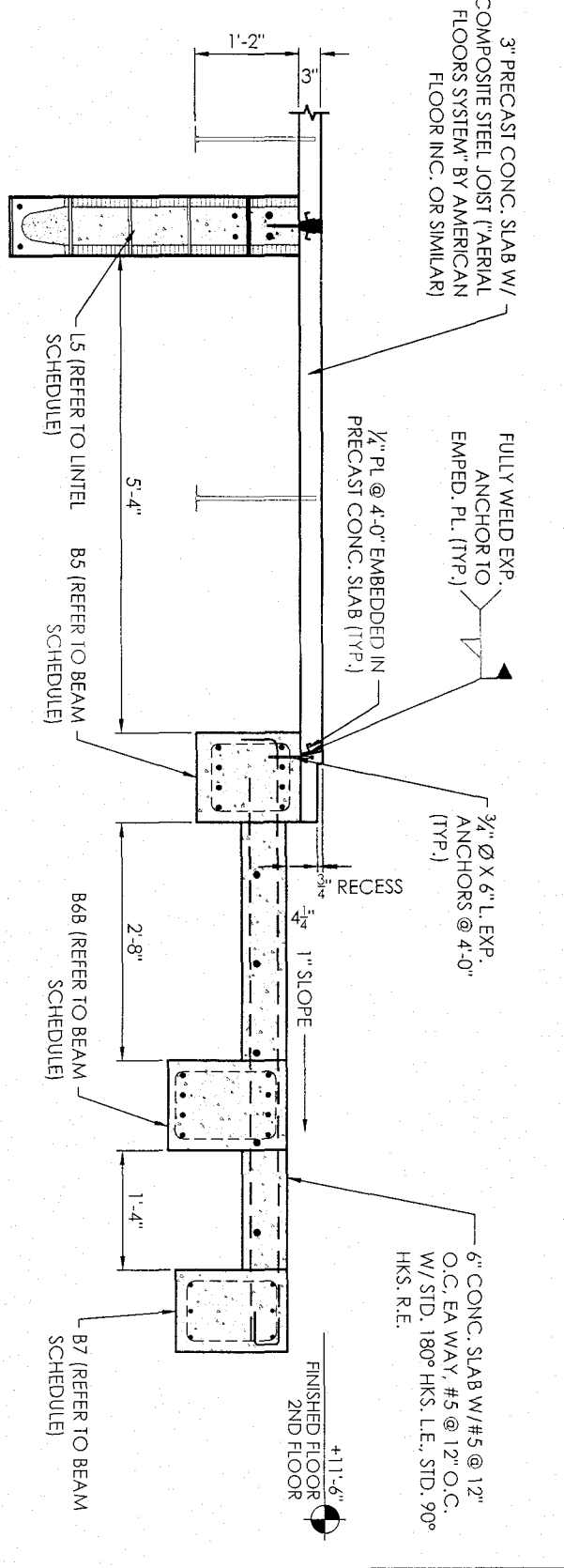
J SECTION
SCALE: 1/2" = 1' - 0"



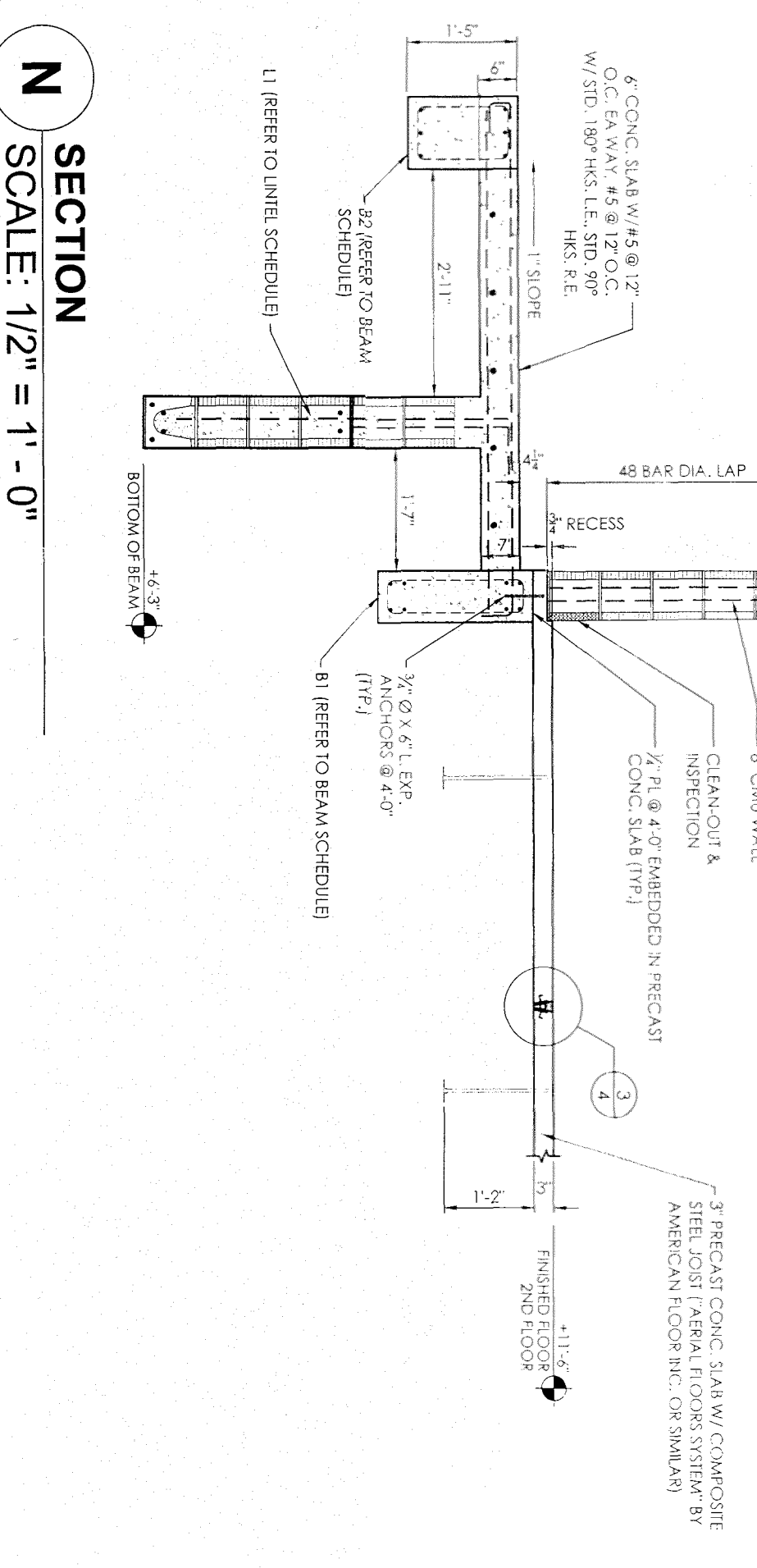
M SECTION
SCALE: 1/2" = 1' - 0"



L SECTION
SCALE: 1/2" = 1' - 0"



P SECTION
SCALE: 1/2" = 1' - 0"



N SECTION
SCALE: 1/2" = 1' - 0"

SECOND (2ND) FLOOR PLAN NOTES:

1. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
2. THE CENTER LINE OF CONCRETE BEAMS, PRECAST CONCRETE LINTELS, MASONRY BOND BEAMS, AND STEEL BEAMS SHALL COINCIDE WITH THE CENTER LINE OF THE SUPPORTING COLUMNS OR WALLS BELOW UNLESS OTHERWISE DEPICTED ON THE PLAN OR DIMENSIONS.
3. THE FLOOR SYSTEM DEPICTED ON THIS PLAN IS A PREFABRICATED COMPOSITE SYSTEM CONSISTING OF A 3-INCH THICK PRECAST CONCRETE SLAB WITH INTEGRAL STEEL BAR JOISTS. REFER TO THE GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
4. MASONRY WALLS SHALL BE REINFORCED AS INDICATED ON THE PLANS. WALLS SHALL HAVE GALVANIZED 9 GAUGE LADDER-TYPE HORIZONTAL REINFORCING SPACED AT 16 INCHES (EVERT OTHER COURSE).
5. 8-INCH REINFORCED CONCRETE MASONRY WALL LOCATED BELOW WINDOW OPENINGS SHALL BE REINFORCED AS INDICATED ON THE PLANS. THE TOPS OF WALLS BELOW WINDOW OPENINGS SHALL HAVE AN 8" X 8" (MIN.) CONCRETE CAP REINFORCED WITH 12# 5 HORIZONTAL BARS. EXTEND THE BARS A MINIMUM OF 6 INCHES INTO COLUMNS OR GROUTED MASONRY CELLS AT THE ENDS OF WALLS.
6. THE CONTRACTOR SHALL COORDINATE THE LOCATION, SIZE AND LAP SPICES OF VERTICAL REINFORCEMENT IN THE GROUND FLOOR AND SECOND FLOOR WALLS. VERTICAL REINFORCING BARS SHALL BE LAPPED 48 BAR DIAMETERS. HOOKS IN THE SECOND FLOOR BOND BEAM.
7. VERTICAL REINFORCEMENT IN THE SECOND FLOOR WALLS SHALL TERMINATE IN STANDARD 90° HOOKS IN THE BOND BEAMS AT THE ROOF LEVELS.

EDGAR DUENAS, PE
LICENSED PROFESSIONAL ENGINEER
No. 57831
FL REG. ENG. #57831
CA# 26288

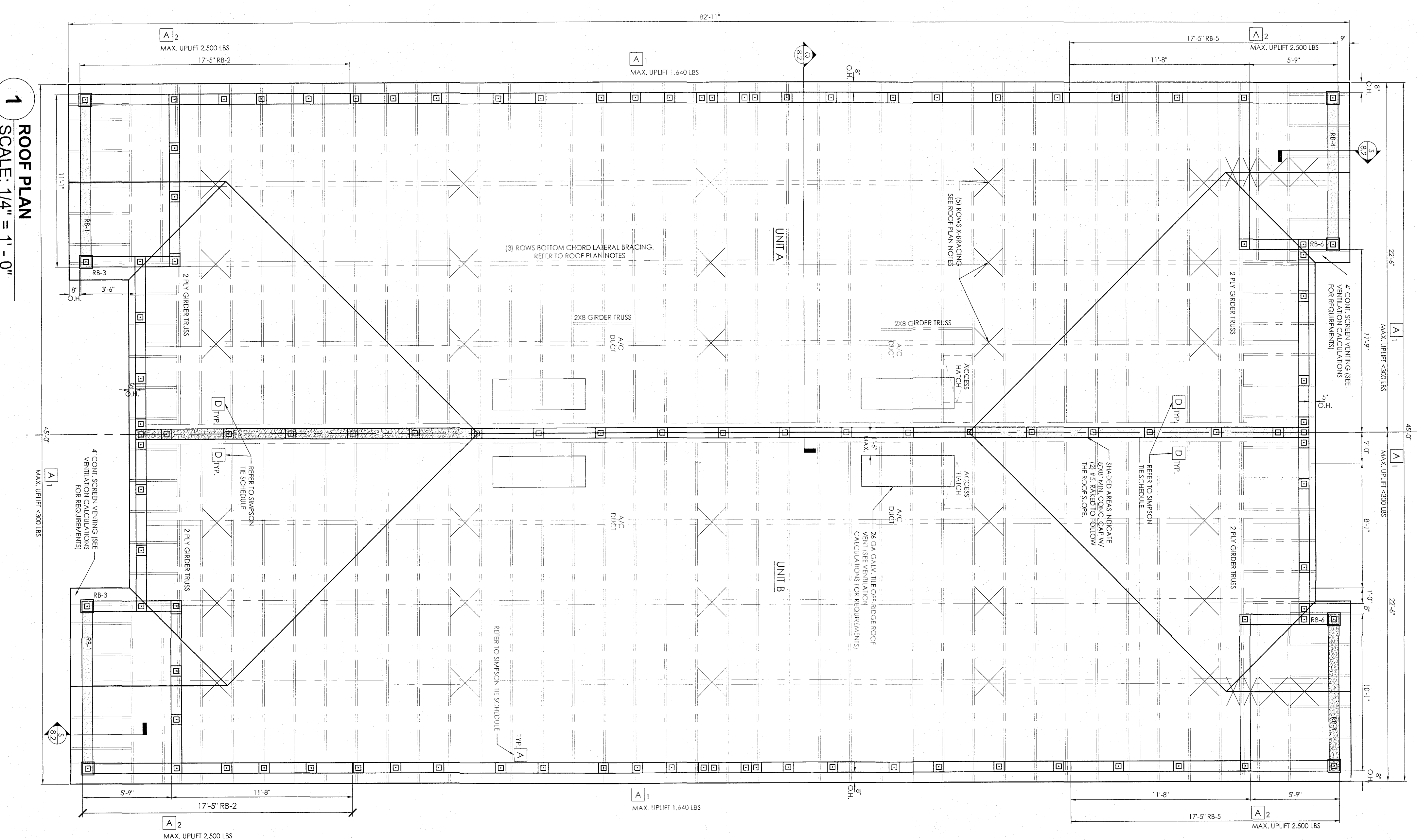
NEW 2-STORY DUPLEX (2 UNIT)
927 SW 2ND COURT
FORT LAUDERDALE, FL 33312

PROPOSED SECOND FLOOR FRAMING
PLAN FOR UNITS A AND B, TYPICAL
SECTIONS AND DETAIL, GENERAL NOTES.

BUNKER ENGINEERING & CONSTRUCTION SERVICES, INC.
120 N FEDERAL HWY, SUITE 305, LAKE WORTH, FL 33460
PH #561-585-5696 -- FAX #561-585-5697

SHEET
6 OF 10

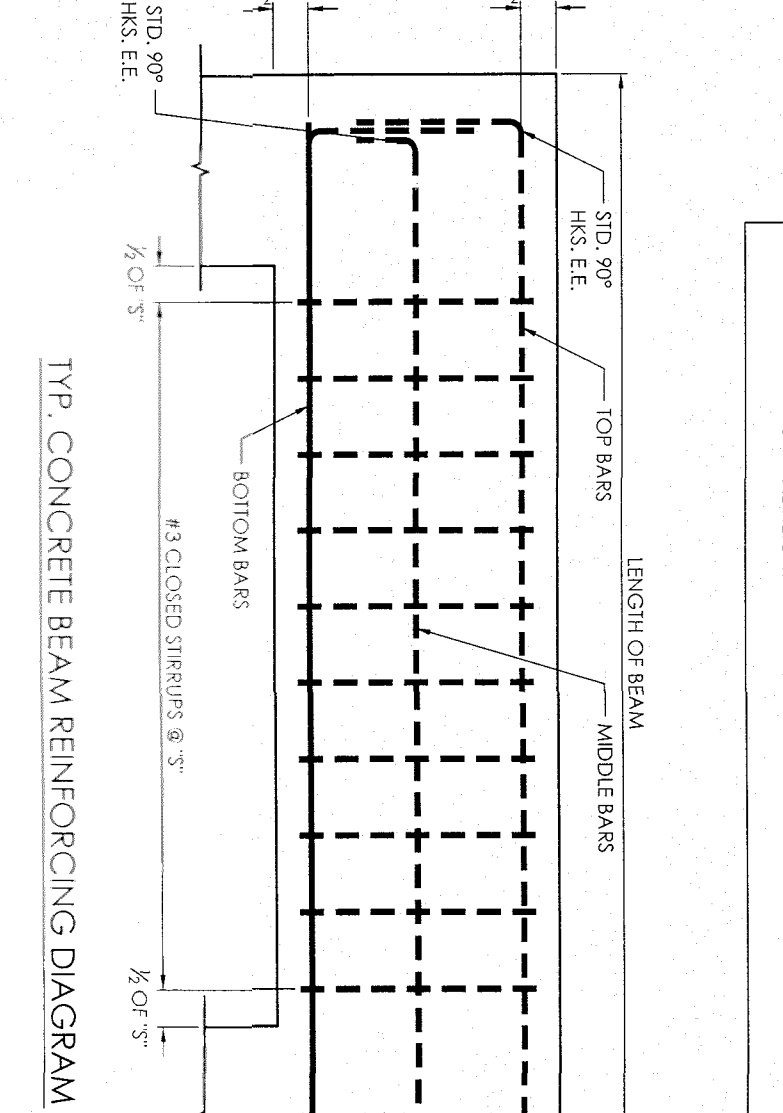
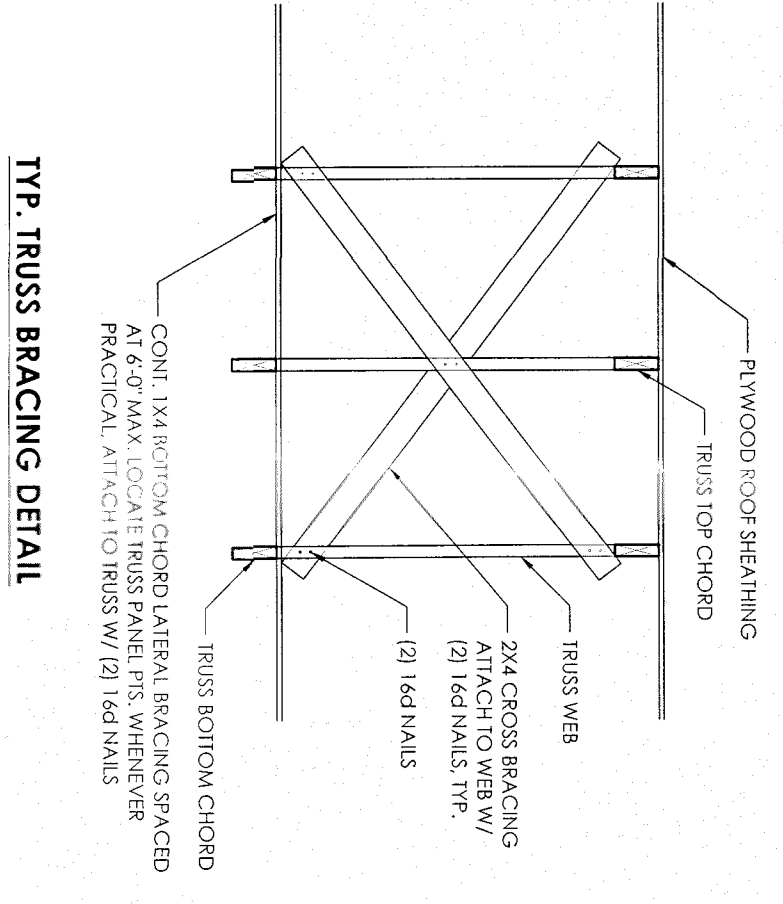
SCALE: AS NOTED
DRAWN BY: [Signature]
DATE: AUG. 28, 2016
REVISION:



1 ROOF PLAN
SCALE: 1/4" = 1' - 0"

PRECAST LINTEL SCHEDULE

MARK	LENGTH	SAFE GRAVITY	SAFE UPLIFT	COMPOSITE REBAR
11	17'-4"	2047	125	8B30-29/21
12	5'-11"	3669	1569	8B6-09/11
13	4'-4"	1999	1207	8B6-09/11
14	4'-7"	1349	1016	8B6-09/11
15	18'-4"	3669	1569	8B30-29/21
16	10'-0"	1247	914	8B16-08/11
17	3'-4"	3669	1569	8B6-09/11
18	4'-0"	2541	1363	8B6-09/11
19	2'-7"	3669	1569	8B6-09/11

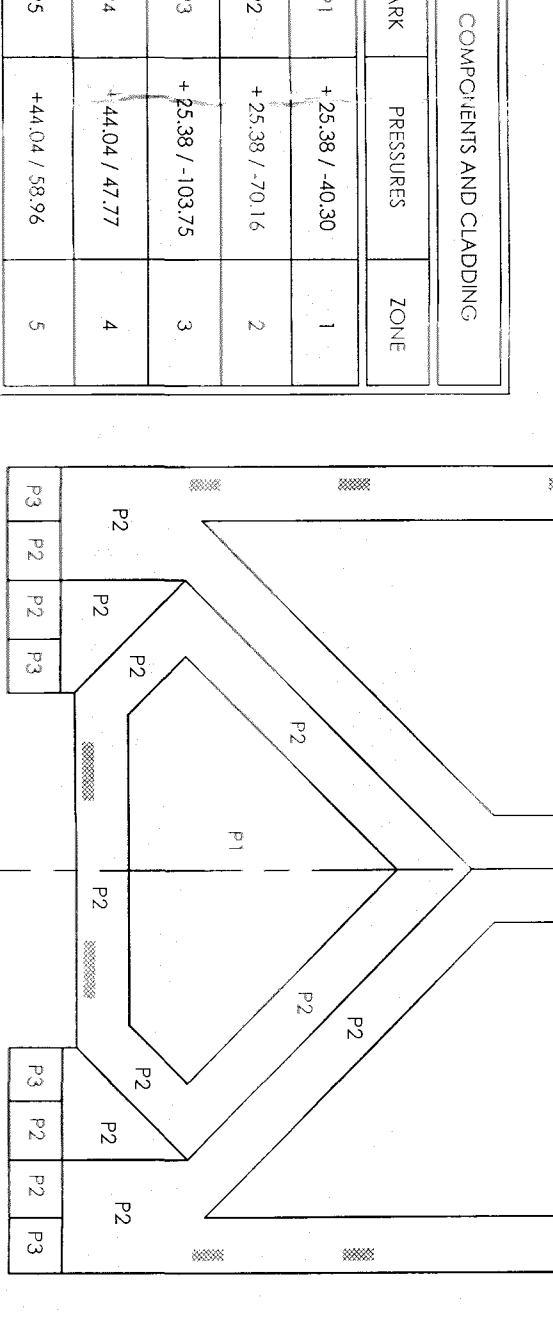


CONCRETE BEAM SCHEDULE

MARK	TOP OF BEAM	LENGTH	SIZE B X H	TOP BARS	BOTTOM BARS	T STIRRUPS	NOTES
B-1	+11'-3"	20'-10"	8" X 24"	4 #5	4 #5	10"	2 LAYERS OF 2 BARS EA. STD. 90° HKS. E.E.
B-2	+11'-9"	11'-9"	11" X 17"	3 #5	3 #5	6"	STD. 90° HKS. E.E.
B-3A	SLOPED	6'-1"	11" X 17"	3 #5	3 #5	6"	CONC. 2 BARS THRU B-3B & B-3C. STD. 90° HKS. E.E.
B-3B	+11'-3"	13'-1 1/2"	8" X 16"	2 #6	2 #6	6"	CONC. FROM B-3A
B-3C	+11'-3"	15'-4"	8" X 16"	2 #6	2 #6	6"	CONC. FROM B-3B. STD. 90° HKS. E.E.
B-4	SLOPED	3'-10"	11" X 15"	3 #5	3 #5	6"	CONC. IN/O-B. STD. 90° HKS. E.E.
B-4B	+11'-3"	2'-11"	11" X 16"	3 #5	3 #5	6"	CONC. FROM B-4A. STD. 90° HKS. E.E.
B-5	+11'-3"	20'-10"	12" X 14"	4 #6	4 #6	6"	STD. 90° HKS. E.E.
B-6A	+11'-3"	12'-1"	12" X 18"	4 #6	4 #6	6"	CONC. AND B-6B. STD. 90° HKS. E.E.
B-6B	+11'-1"	8'-5"	17" X 16"	4 #6	4 #6	6"	CONC. FROM B-6A. STD. 90° HKS. E.E.
B-7	+11'-1"	10'-3"	11" X 15"	3 #5	3 #5	6"	STD. 90° HKS. E.E.
B-8	+11'-3"	10'-0"	8" X 16"	2 #6	2 #6	6"	CONC. 2 BARS THRU B-8B. STD. 90° HKS. E.E.
B-8B	SLOPED	6'-1"	11" X 15"	3 #6	3 #6	6"	CONC. 2 BARS FROM B-8A. STD. 90° HKS. E.E.
B-9A	+11'-3"	3'-10"	11" X 15"	3 #5	3 #5	6"	CONC. FROM B-9B. STD. 90° HKS. E.E.
B-9B	SLOPED	2'-3"	11" X 15"	3 #5	3 #5	6"	CONC. FROM B-9A. STD. 90° HKS. E.E.

COMPOSITE AND CLADDING

MARK	PRESSURES	ZONE
P1	+25.38 / -40.30	1
P2	+25.38 / -20.16	2
P3	+25.38 / -103.25	3
P4	+14.04 / -47.77	4
P5	+44.04 / -58.96	5

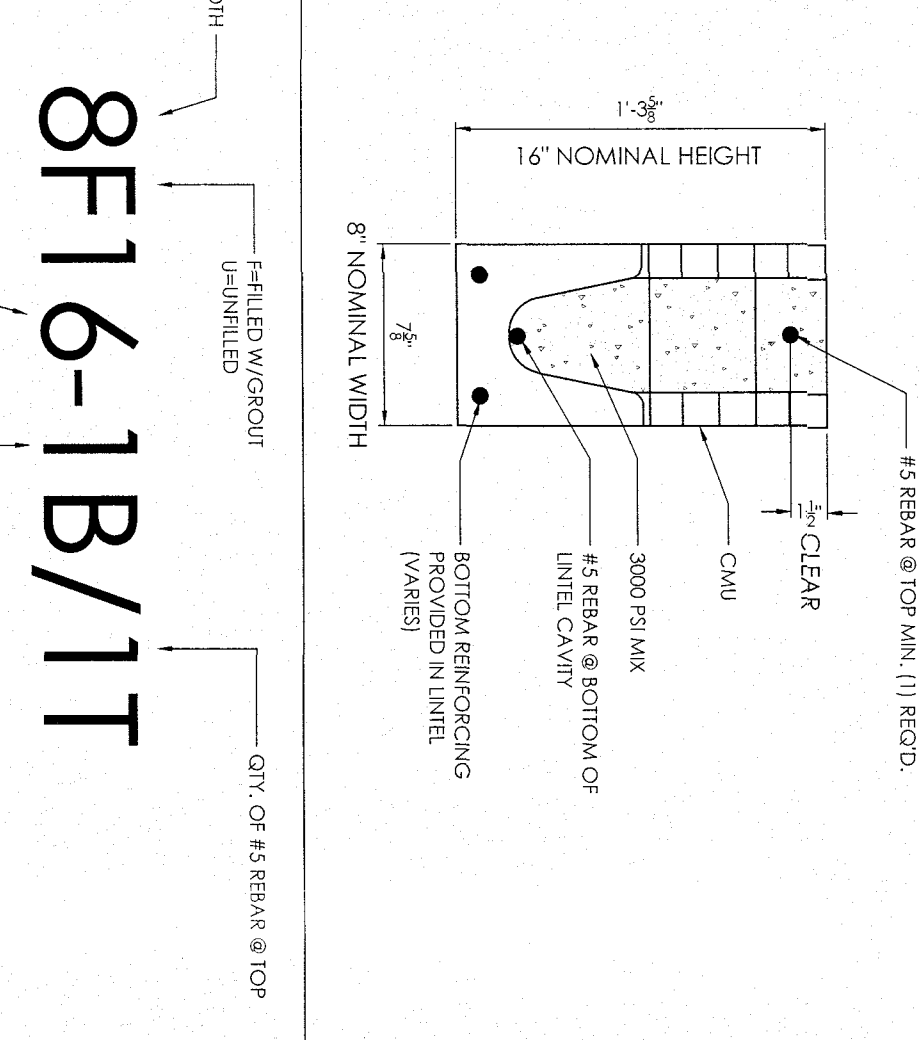


SIMPSON'S DOWN SCHEDULE

SM	ANCHOR TYPE	GA	TO RIBS / JOIST	TO HEADER	TO STUDS	UPLIFT	F1	F2
A	HEA16	16	9-1/4	.....	.....	1810	340	75
B	HEA12	16	7-1/4	.....	.....	1790	340	75
C	H105	18	8-5/8 X 1-1/2	.....	.....	1172	8-84	1010
D	H129-21E	14	6-1/4	8-1/4	.....	.....	.....	1550

- REINFORCING STEEL PLACEMENT NOTES:**
- BEAMS SHOWN IN PLAN ARE READ FROM LEFT TO RIGHT.
 - BOTTOM BARS SHALL EXTEND OVER SUPPORTS, BUT NOT LESS THAN 6 INCHES.
 - MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE PROVIDED IN ACCORDANCE WITH THE GENERAL STRUCTURAL NOTES AND AC308, UNLESS OTHERWISE NOTED OR DETAILED.
 - THE MINIMUM CLEAR DISTANCE BETWEEN PARALLEL TOP, BOTTOM OR MIDDLE BARS IN A LAYER SHALL BE EQUAL TO THE NOMINAL DIAMETER OF THE LARGEST DIAMETER BARS. IN NO CASE SHALL THE CLEAR DISTANCE BETWEEN BARS BE LESS THAN 1 INCH OR ONE AND ONE-HALF (1-1/2) TIMES THE MAXIMUM SIZE OF THE COURSE AGGREGATE IN THE CONCRETE USED IN THE BEAM.
 - WHEN TOP OR BOTTOM BARS ARE NOTED IN TWO OR MORE LAYERS, THE CLEAR DISTANCE BETWEEN LAYERS SHALL NOT BE LESS THAN 1 INCH NOR LESS THAN THE DIAMETER OF THE LARGEST DIAMETER BARS IN THE LAYERS, AND THE BARS IN THE INNER LAYER(S) SHALL BE PLACED DIRECTLY ABOVE OR BELOW THE BARS IN THE OUTERMOST LAYER.

- ROOF PLAN NOTES:**
- REFERS TO THE GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
 - THE CENTER LINE OF THE SUPPORTING COLUMNS OR ANCHORS OF PRE-FABRICATED WOOD TRUSSES AND TRUSS GIRDERS, REFER TO THE GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION AND REQUIREMENTS FOR THE DESIGN, FABRICATION, DELIVERY, ERECTION, AND TENSIONING OF THE TRUSSES.
 - WOOD TRUSS BRACING: PRE-FABRICATED WOOD TRUSSES AND TRUSS GIRDERS SHALL BE AS FOLLOWS UNLESS OTHERWISE SPECIFIED BY THE SPECIALTY ENGINEER AND SHOWN IN THE TRUSS SHOP DRAWINGS.
 - OF PROVIDE VERTICAL 2x4 CROSS BRACING AT THE ENDS OF THE ROOF FRAMING AND AT INTERVALS NOT EXCEEDING 20 FEET. THE MAXIMUM SPACING BETWEEN LINES OF BRACING SHALL NOT EXCEED 6 FEET. ATTACH BRACING TO TRUSS WEBS WITH TWO (2) 1x4 COMMON NAILS.
 - PROVIDE CONTINUOUS 1x4 BOTTOM CHORD LATERAL BRACING. BRACING SHALL BE LOCATED AT TRUSS PANEL POINTS OR AS CLOSE TO PANEL POINTS AS PRACTICAL. THE MAXIMUM SPACING BETWEEN LINES OF BRACING SHALL NOT EXCEED 6 FEET. BRACING SHALL BE CONTINUOUS FROM ONE END OF THE ROOF FRAMING TO THE OTHER, AND WHERE SPICES OF BRACING ARE REQUIRED, BRACING SHALL OVERLAP AT LEAST ONE TRUSS SPACING.
 - BRACING SHALL BE NO. 2 SOUTHERN PINE OR BETTER.
 - TRUSSES SHALL BE ATTACHED TO THE TOPS OF WALL WITH USP-12P EMBEDDED TRUSS ANCHORS, OR SIMILAR, UNLESS OTHERWISE NOTED. ANCHORS SHALL BE FASTENED TO THE TRUSS WITH 6-10d X 1-1/2" COMMON NAILS THROUGH THE SEAT AND 11-10d COMMON NAILS THROUGH THE TRUSS TOP CHORD.
 - THE ROOF FRAMING PLAN SHALL BE VERIFIED WITH AND CONFORMED BY THE ENGINEER TO THE FRAMING SHOWN IN THE PRE-FABRICATED WOOD TRUSS SHOP DRAWINGS OBTAINED BY THE CONTRACTOR FOR THE ROOF FRAMING, PURSUANT TO THE RBC 2014.
- COMPOSITE LINTEL NOTES:**
- REFERS TO THE GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
 - PRECAST CONCRETE LINTELS SHALL BE USED IN CONJUNCTION WITH CONCRETE MASONRY UNITS TO FORM COMPOSITE LINTELS.
 - THE DESIGNATIONS USED FOR COMPOSITE LINTELS ARE THOSE OF "CAST-CRETE". REFER TO THE "CAST-CRETE" CATALOG OR WEB SITE FOR EXPLANATION.
 - THE "TOP OF LINTEL ELEVATION" IN THE SCHEDULE REFERS TO THE TOP OF THE COMPOSITE LINTEL SECTION.
 - MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE PROVIDED IN ACCORDANCE WITH THE GENERAL STRUCTURAL NOTES AND AC308, UNLESS OTHERWISE NOTED OR DETAILED.
 - THE MINIMUM CLEAR DISTANCE BETWEEN PARALLEL BARS IN A LAYER SHALL BE EQUAL TO THE NOMINAL DIAMETER OF THE LARGEST DIAMETER BARS. IN NO CASE SHALL THE CLEAR DISTANCE BETWEEN BARS BE LESS THAN 1 INCH OR ONE AND ONE-HALF (1-1/2) TIMES THE MAXIMUM SIZE OF THE COURSE AGGREGATE IN THE CONCRETE USED IN THE LINTEL.



VENTILATION CALCULATIONS

PER RBC 2014 BUILDING SECTION 203
PROVIDE 18" SQUARE VENTS PER 500 SF

UNIT A
1. 2000 SF = 4.01 SF REQUIRED
6.01 SF = 666 SQ. IN.
1.07 SF = 116 SQ. IN.
433 SQ. IN. = 19.5 SQ. IN. = 2 OF R-10 VENTS REQ.
2. 4000 SF VENTILATION = 16.52 SF REQUIRED
6.01 SF = 666 SQ. IN. = 19.5 SQ. IN.
1.07 SF = 116 SQ. IN.
433 SQ. IN. = 19.5 SQ. IN. = 2 OF R-10 VENTS REQ.

UNIT B
1800 SF = 3.60 SF REQUIRED
6.01 SF = 666 SQ. IN. = 19.5 SQ. IN.
1.07 SF = 116 SQ. IN.
433 SQ. IN. = 19.5 SQ. IN. = 2 OF R-10 VENTS REQ.

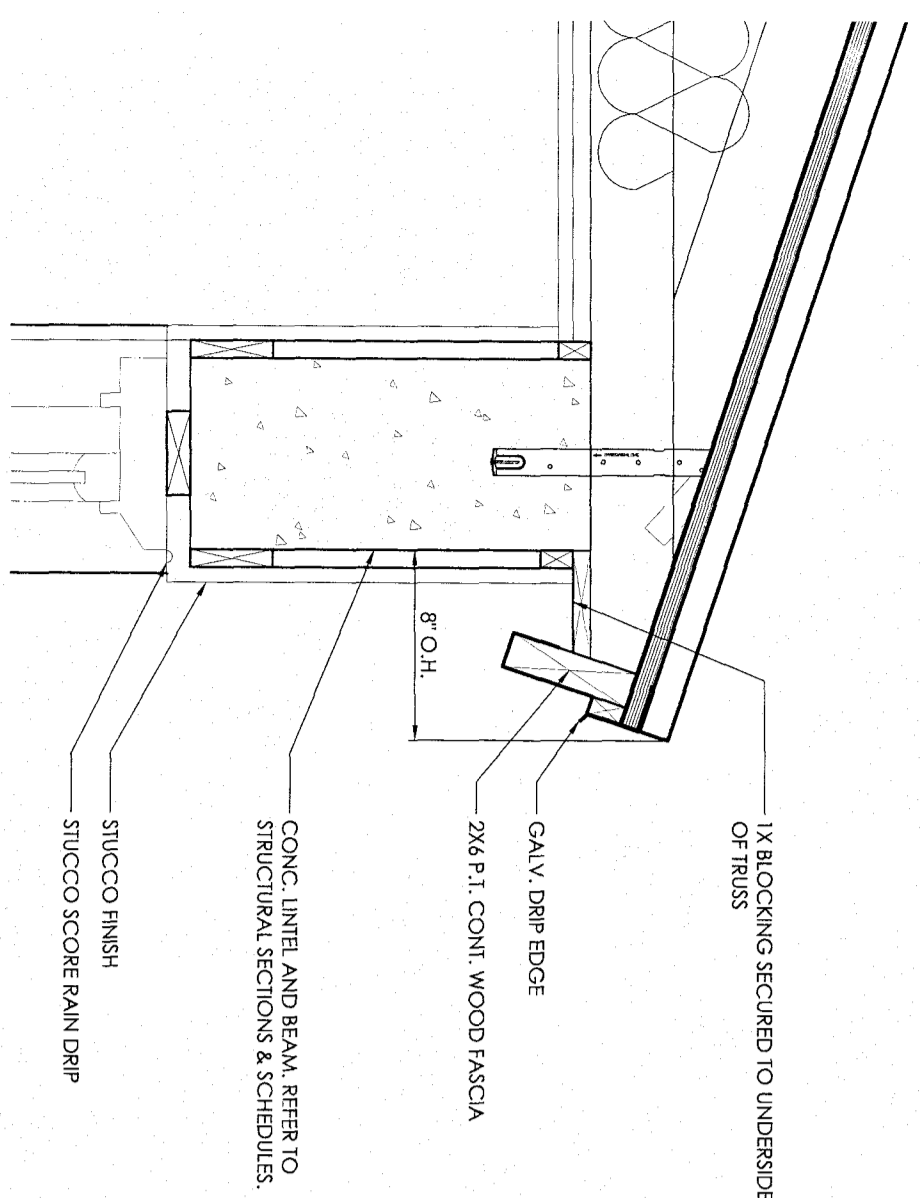
50% VENTILATION = 16.50 SF
433 SQ. IN. = 19.5 SQ. IN. = 2 OF R-10 VENTS REQ.

EDUAR DUENAS, PE
SCALE: AS NOTED
DATE: AUG 29, 2016
REVISION:

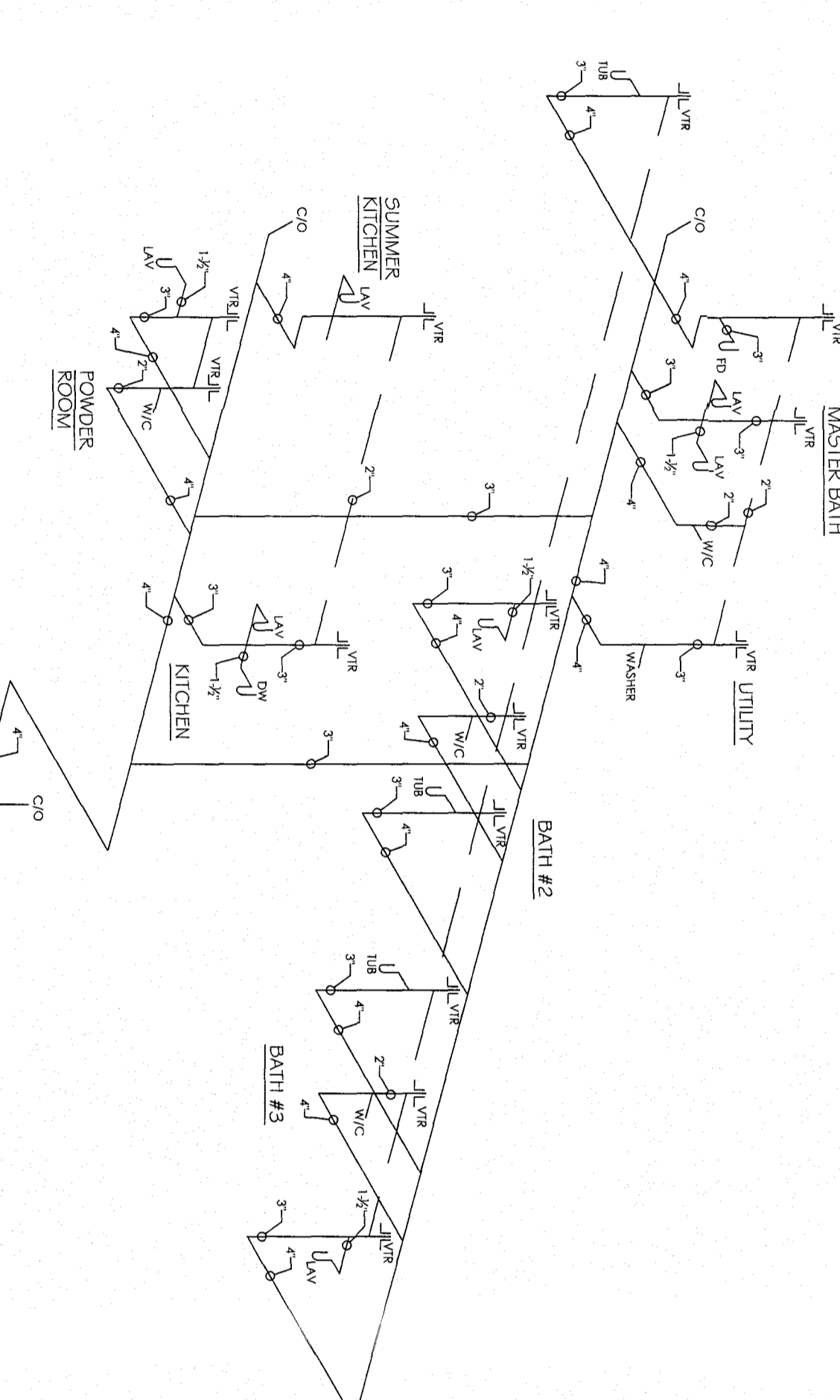
NEW 2-STORY DUPLEX (2 UNIT)
927 SW 2ND COURT
FORT LAUDERDALE, FL 33312

ROOF PLAN FOR UNITS A AND B,
CONCRETE BEAM AND LINTEL SCHEDULES,
TYPICAL DETAILS AND GENERAL NOTES

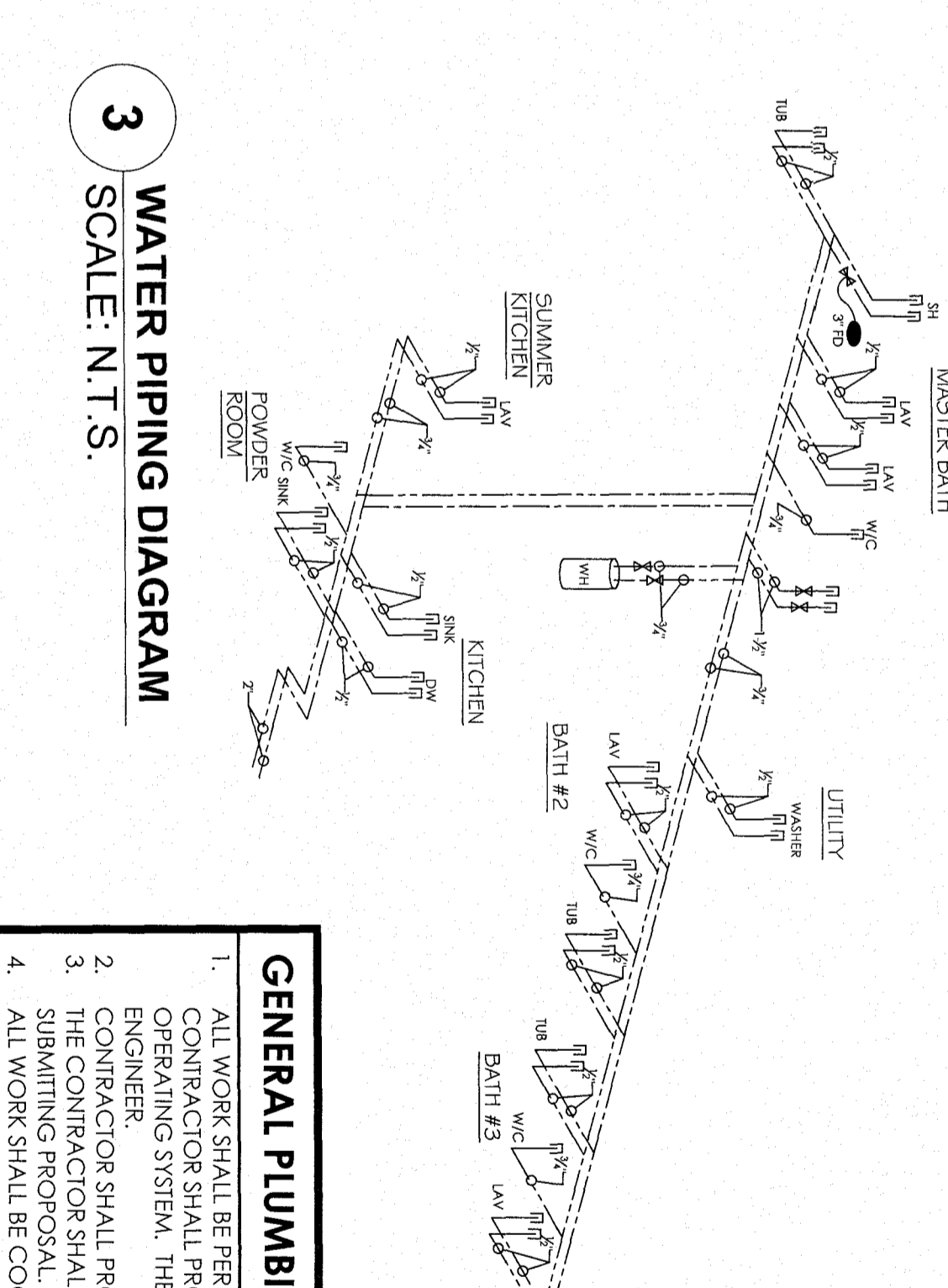
BUNKER ENGINEERING & CONSTRUCTION SERVICES, INC.
120 N FEDERAL HWY, SUITE 305, LAKE WORTH, FL 33460
PH #561-585-5696 -- FAX #561-585-5697



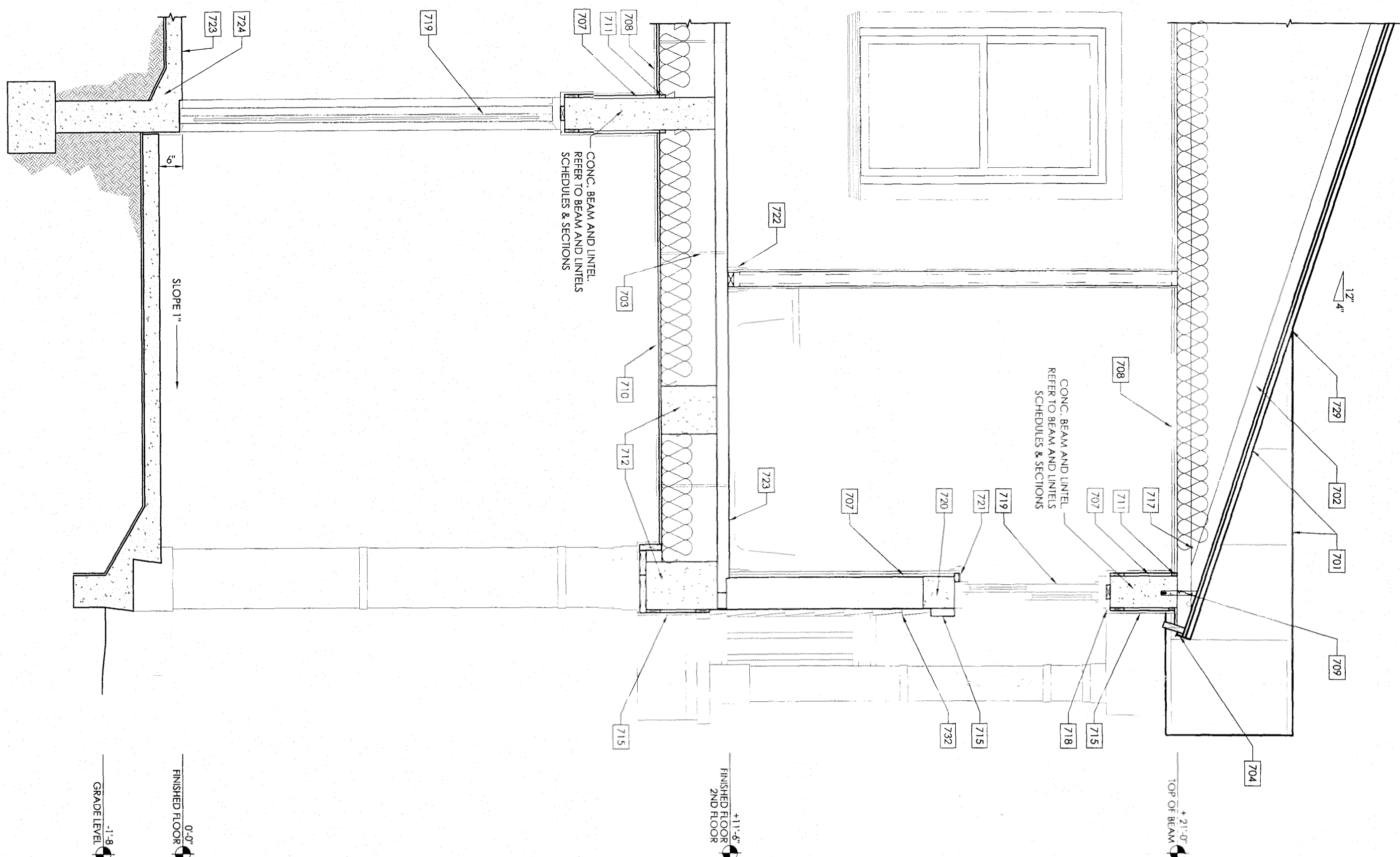
1 TYP. SOFFIT SECTION
SCALE: 1-1/2" = 1' - 0"



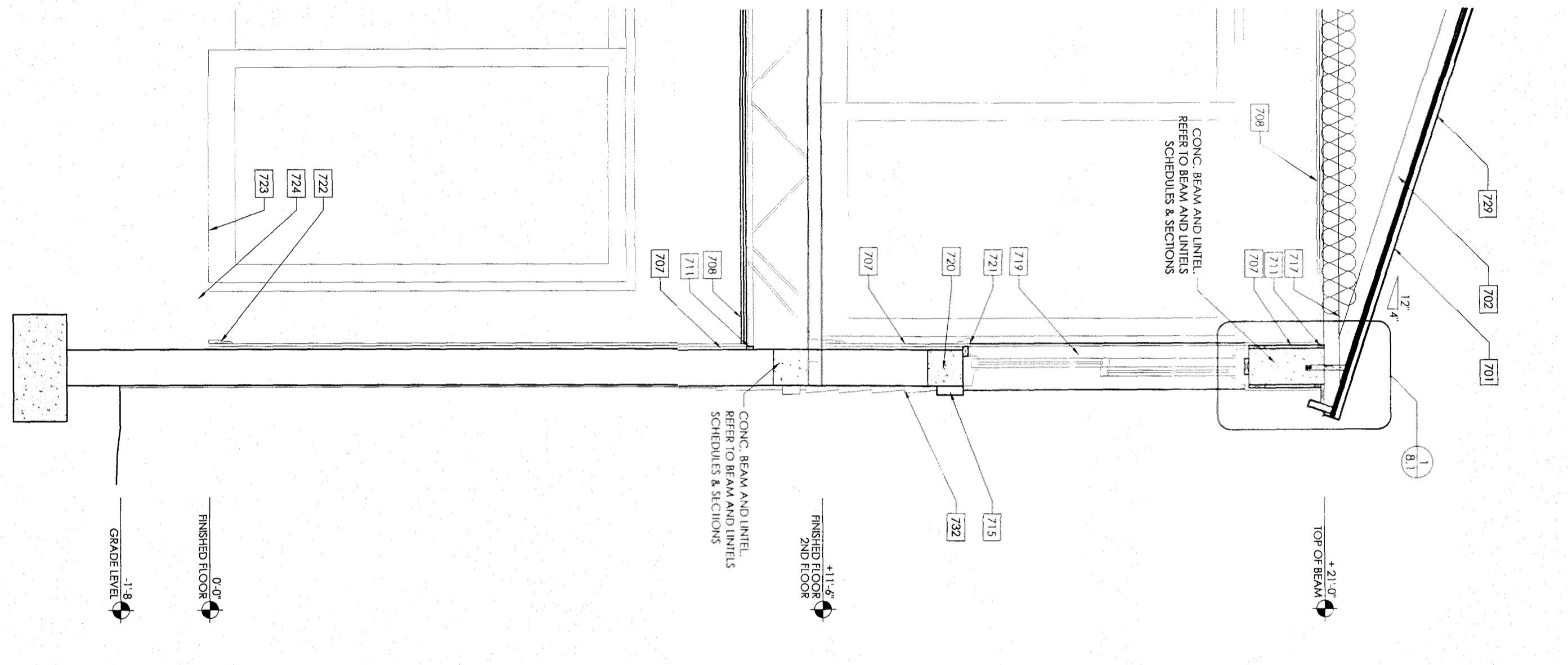
2 SANITARY PIPING DIAGRAM
SCALE: N.T.S.



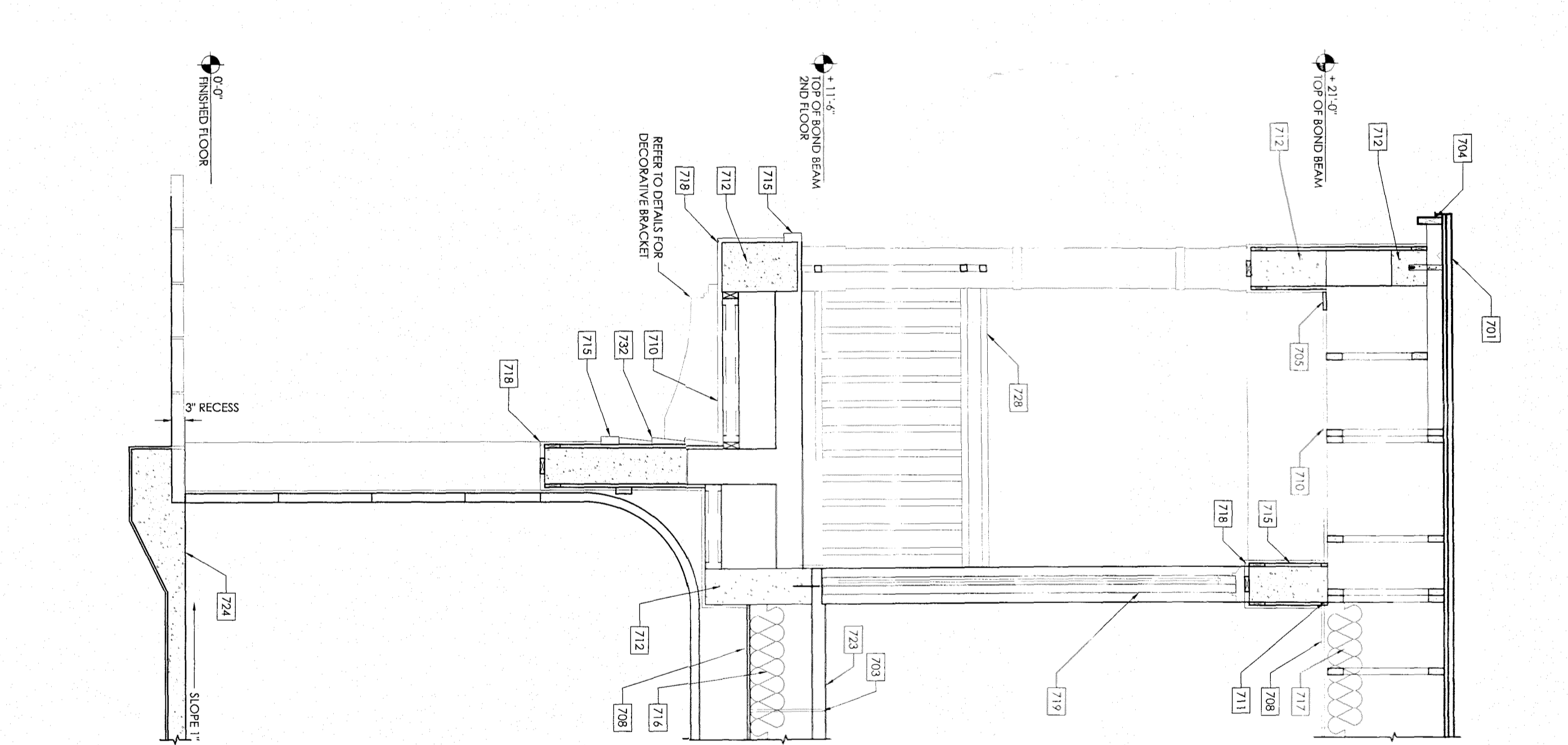
3 WATER PIPING DIAGRAM
SCALE: N.T.S.



A SECTION
SCALE: 1/2" = 1' - 0"



B SECTION
SCALE: 1/2" = 1' - 0"



C SECTION
SCALE: 1/2" = 1' - 0"

GENERAL PLUMBING NOTES:

1. ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND TOOLS TO INSTALL THE COMPLETE AND OPERATING SYSTEM. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTANCE SHALL BE BY OWNER/ENGINEER.
2. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED PERMITS AND TESTS.
3. THE CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL CONDITIONS, PRIOR TO SUBMITTING PROPOSAL.
4. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID CONFLICTS WITH THE PROGRESS OF CONSTRUCTION.
5. ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
6. FOR THE DURATION OF THE WORK, ALL MATERIAL SHALL BE NEW AND SHALL BEAR RESPECTIVE LABELS AS APPLICABLE.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES.
8. ALL SLAB CUTTING AND PATCHING, AS REQUIRED, SHALL BE PAID FOR BY THE CONTRACTOR.
9. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
10. CONTRACTOR SHALL ADJUST AND TEST ALL SYSTEMS PRIOR TO FINAL COMPLETION.
 - A. WATER PIPING SHALL BE SUBJECT TO HYDROSTATIC PRESSURE TEST OF 100 P.S.I. FOR A MIN. OF ONE HOUR.
 - B. SANITARY PIPING SHALL BE FILLED WITH A FIVE FOOT HEAD OF WATER AND SHALL STAND UNTIL THE INSPECTION IS MADE.
11. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE, UNLESS OTHERWISE NOTED.
12. ACCESSIBLE FOR TESTING AND/OR REPLACEMENT, WHERE ACCESS DOORS OR PANELS ARE REQUIRED, LOCATION SHALL BE APPROVED BY THE ENGINEER OR OWNER'S REPRESENTATIVE.
13. ALL NEW UNDERGROUND SUPPLY PIPING TO BE TYPE "K" COPPER WITH WROUGHT SOLDER FITTINGS. HOT WATER PRES. BELOW GROUND SHALL BE INSULATED W/ 1" ARMAFLEX.
14. ALL ABOVE GROUND SUPPLY PIPING TO BE TYPE "L" COPPER, W/ WROUGHT SOLDER FITTINGS.
15. STEEVES ARE REQUIRED WHEREVER PIPING PASSES THROUGH SLAB OR CONCRETE. SLAB HANGERS REQUIRED AT 4'-0" O.C. MAX.
16. SANITARY PIPING SHALL BE HULLLESS CAST IRON OR PVC (SCHEDULE 40) AS APPROVED BY BUILDING OFFICIAL.
17. SANITARY SOILS WASTE AND VENT PIPING SHALL SLOPE 1/8" PER FOOT FOR PIPES SMALLER THAN 3" IN DIA., AND 1/8" PER FOOT FOR OTHERS. PVC IS ALLOWED PER LOCAL CODES, ON REQUEST.
17. CONTRACTOR SHALL FINISH AND INSTALL APPROVED AIR CHAMBERS OR SHOCK ABSORBERS AT EACH PLUMBING FIXTURE GROUP.

SECTION KEYNOTES:

- 701 - 2x4 GA. GALV. STEEL STANDING SEAM METAL ROOF ON 30 LB. FEEL PAPER OVER RUBBERIZED ASPHALTIC SELF-ADHERING WATERPROOFING MEMBRANE ON EXT. GRADE IN WOOD SHEATHING APA RATED 40/20, 1/2" EXPOSURE (PLYWOOD) OVER WOOD ROOF TRUSSES.
- 702 - WOOD ROOF TRUSSES, PRE-ENGINEERED TRUSSES AT 24" O.C., TRUSSES SHALL BE LATRALLY BRACED. REFER TO STRUCTURAL DRAWINGS FOR CONSTRUCTION REQUIREMENTS.
- 703 - FLOOR ASSEMBLY PRE-ENGINEERED CONCRETE AND STEEL JOIST SYSTEM BY AMERICAN FLOORS OR EQUAL.
- 704 - FASCA, METAL DBP, GALVANIZED OR COPPER, OVER 1" X 2" P1 WOOD OVER 2" X 4" CEDAR WOOD FASCA.
- 705 - 4" CONT. SCORED SOFFIT VENT.
- 706 - SOFFIT: 1/2" STUCCO ON HIGH-RIBBED GALVANIZED METAL LATH.
- 707 - GYPSUM WALL BOARD, 1/2" WITH TAPERED JOINTS AND CORNER BEADS, ON 1" X 2" AND/OR 2" X 2" P1 WOOD FURRING AT 24" O.C. WITH R-42 FOIL BACK INSULATION, PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN WET AREAS.
- 708 - GYPSUM WALL BOARD, 5/8" WITH TAPERED JOINTS AND CORNER BEADS, OVER 7/8" METAL FURRING @ 16" O.C. ATTACHED TO THE METAL JOIST AND/OR WOOD TRUSSES. PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN WET AREAS.
- 709 - ANCHOR STRAP AND SEAL: REFER TO STRUCTURAL DRAWINGS FOR CONSTRUCTION REQUIREMENTS.
- 710 - CEILING: 5/8" STUCCO OVER GALV. METAL LATH OVER GALV. METAL FURRING @ 16" O.C. ATTACHED TO THE METAL JOIST AND/OR WOOD TRUSSES.
- 711 - DRAFT STOP: 1" X 2" TOP AND BOTTOM OF WALLS AND BETWEEN WALLS AND SOFFITS.
- 712 - CONCRETE BEAM, REFER TO STRUCTURAL DRAWINGS FOR SIZE AND STEEL.
- 713 - GABLE END TRUSS: VERTICALS @ 16" O.C., PROVIDE APA RATED 40/20, 1/2" EXPOSURE PLYWOOD WITH 5/8" STUCCO OVER PAPERBACK METAL LATH, REFER STRUCTURAL ENGINEERING DRAWINGS FOR ATTACHMENT AND BRACING.
- 715 - STUCCO BANDING DETAIL: REFER TO ELEVATIONS.
- 716 - INSULATION: R-11 REFER TO STATE OF FLORIDA ENERGY CALCULATIONS.
- 717 - INSULATION: R-19 BATT, PROVIDE BATTERIES AT VENTS, REFER TO STATE OF FLORIDA ENERGY CALCULATIONS.
- 718 - RAIN DRP: STUCCO SCORE, 1/2", AT EVERY OPENING AND BALCONY.
- 719 - WINDOW AND/OR SLIDING GLASS DOORS, EXTENDED ALUMINUM ALLOY FINISH SHALL BE WHITE. REFER TO PLAN AND ELEVATIONS FOR SIZE AND MOUNTING PATTERNS. WINDOWS AND SLIDING GLASS DOORS SHALL HAVE APPROVED IMPACT GLASS. PROVIDE EGGS SIZES PER FBC 2014 FOR ALL LIVING AND SLEEPING ROOMS. REFER TO FBC 2014 (2) FOR LATCHING DEVICE REQUIREMENTS.
- 720 - SILL: CONCRETE, REFER TO STRUCTURAL DRAWINGS.
- 721 - SILL: REFER TO BUILDERS SPECIFICATIONS.
- 722 - BASE: WOOD, PROVIDE IMPERVIOUS BASE IN BATHS AND KITCHEN.
- 723 - FLOORING: REFER TO PLAN AND/OR BUILDERS SPECIFICATIONS, PROVIDE IMPERVIOUS IN BATHS.
- 724 - CONCRETE SLAB AND FOUNDATION: REFER TO STRUCTURAL DRAWINGS FOR SLAB AND FOUNDATION TYPE. PROVIDE 4 MIL. VAPOUR BARRIER OVER REINFORCED CLEAN SOIL, NOTE: BOTTOM OF FOOTING TO BE MIN. 8" BELOW GRADE.
- 725 - STRINGER: REFER TO FBC 2014 FOR CONSTRUCTION REQUIREMENTS. CONTRACTOR SHALL SUBMIT SHOP DRAWING PRIOR TO START OF CONSTRUCTION OF BUILDING TO ARCHITECT FOR REVIEW.
- 726 - TRIM: MINIMUM OF 2" NOMINAL MATERIAL.
- 727 - RISER: MINIMUM OF 1" NOMINAL MATERIAL.
- 728 - SAFE GUARD: 42" AFF. AT BALCONIES, LANDINGS AND REAR PATIOS. PROVIDE PRE-FABRICATED ALUMINUM RAILING SYSTEM. PICKETS SHALL BE SPACED TO RESIST A 4" SPHERE. BOTTOM RAIL AT A MAX. OF 2" AFF. SAFE GUARD SHALL RESIST THE LOADING SET FORTH IN FBC SECTION 1608.22.
- 729 - FLASHING: COMBINATION FLASHING AND STUCCO STOP.
- 730 - PROVIDE (1) LAYER 5/8" TYPE "X" GYPSUM BOARD ON 1" X 2" FURRING ATTACHED TO TRUSSES TOP CHORD, FOR NOT LESS THAN 4" WIDH ON EACH SIDE OF PARTY WALL AS PER FBC 2014 (4.2). IN ADDITION, PROVIDE FIRE SAFENING ON TOP OF SEPARATION WALLS UNDER SHEATHING AND AT OVERHANG.
- 731 - METAL FRAMED SOFFIT FEATURE: MIN. 25 GA. METAL FRAMING W/ 1/2" DRYWALL.
- 732 - STUCCO SPOING: PROVIDE 1/2" VINYL STOP @ 8" O.C. TAHER STUCCO TO CREATE SIDING.

CAM #17-1189
Exhibit 2
Page 12 of 15

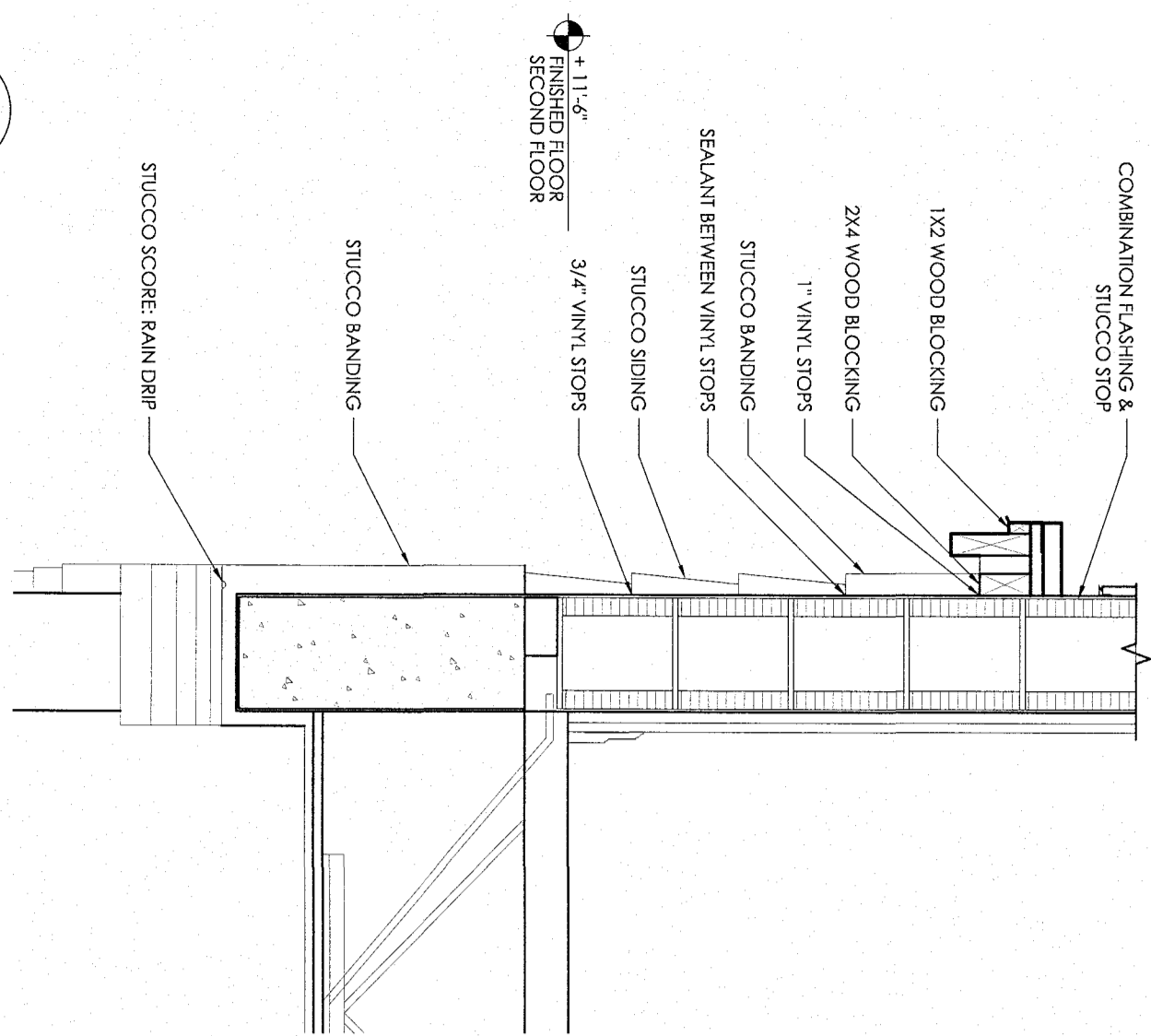
BUNKER ENGINEERING & CONSTRUCTION SERVICES, INC.
120 N FEDERAL HWY, SUITE 305, LAKE WORTH, FL 33460
PH #561-585-5696 -- FAX #561-585-5697

PLUMBING RISER DIAGRAMS AND GENERAL NOTES, TYPICAL SECTIONS AND DETAILS, SECTION KEY NOTES

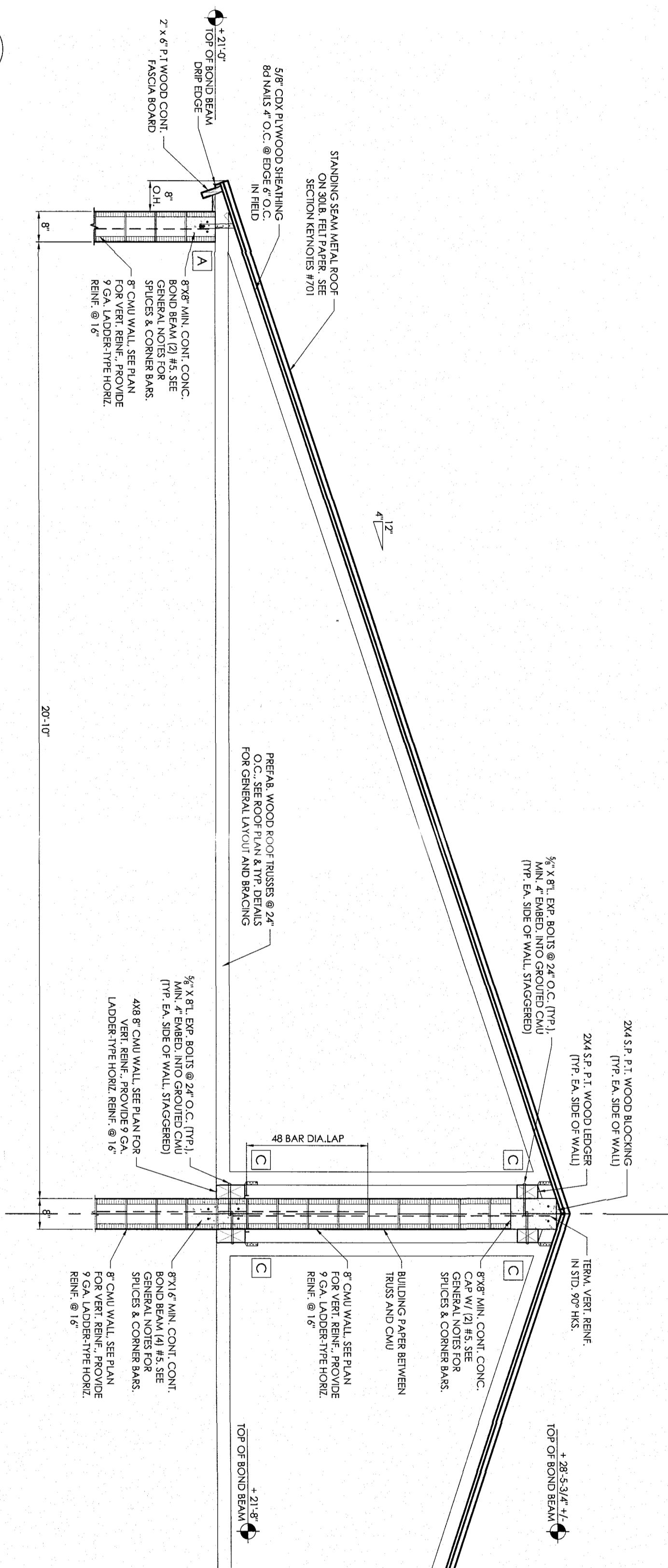
NEW 2-STORY DUPLEX (2 UNIT)
927 SW 2ND COURT
FORT LAUDERDALE, FL 33312

EDGAR DUENAS, PE
DRAWN BY: [Signature]
DATE: AUG. 28, 2016
REVISION:
SCALE: AS NOTED

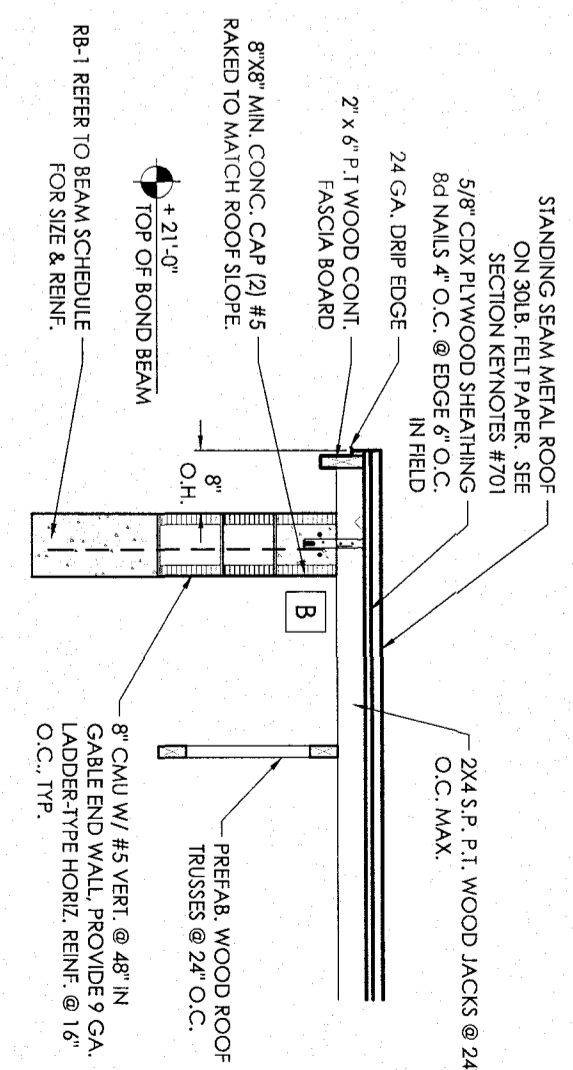
SHEET 8.1 OF 10



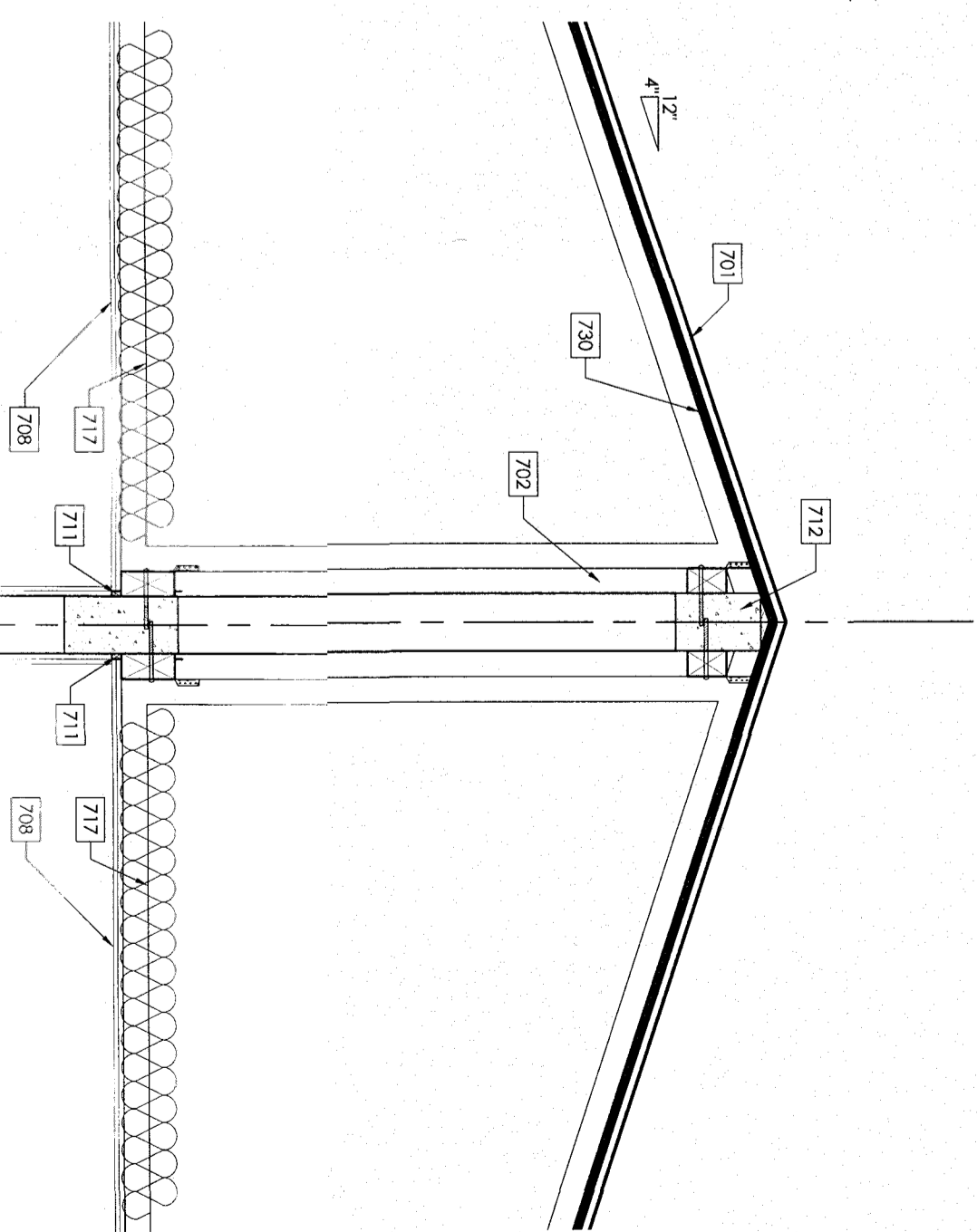
1 DETAIL
SCALE: 1" = 1'-0"



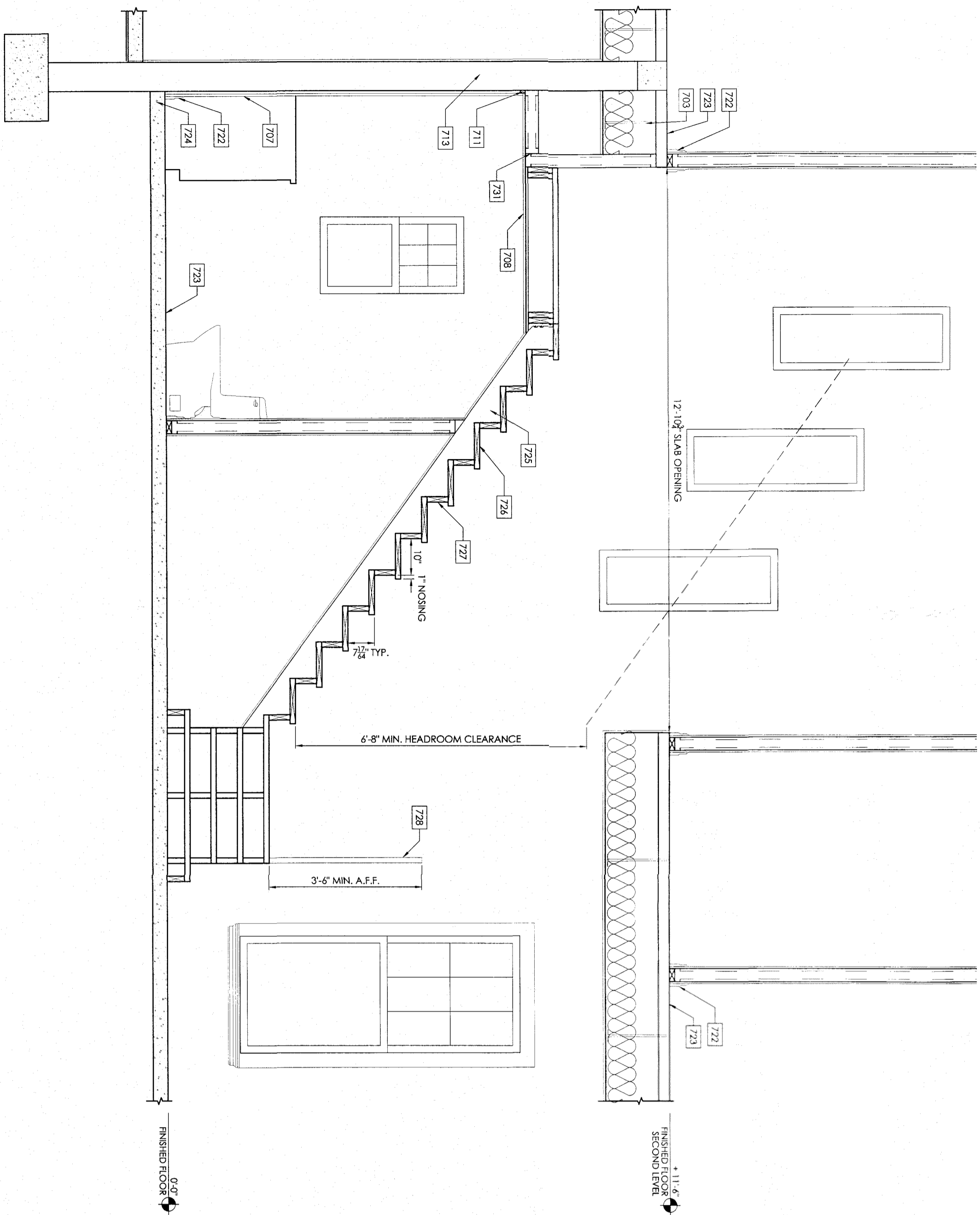
Q SECTION
SCALE: 1/2" = 1'-0"



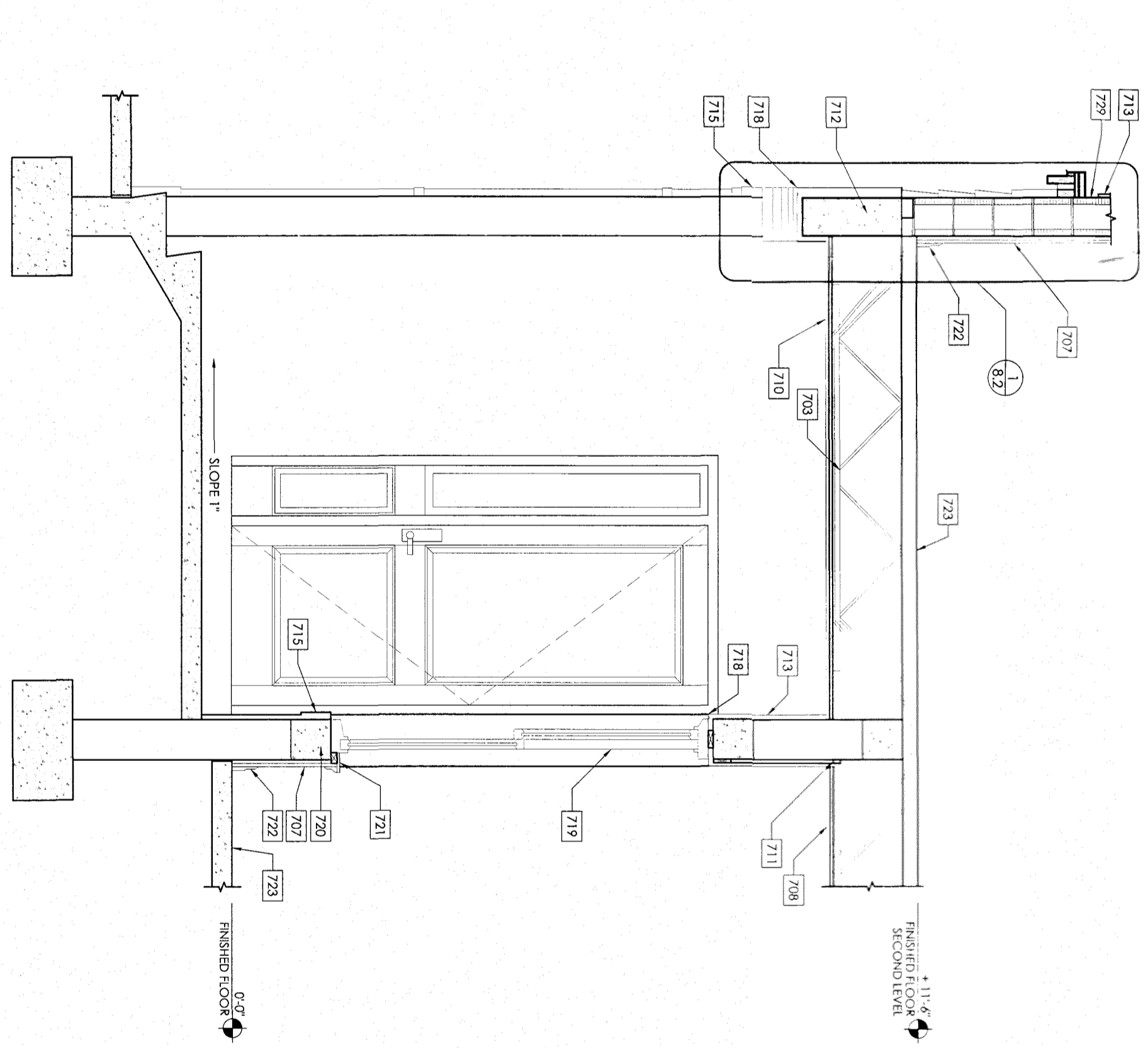
S SECTION
SCALE: 1/2" = 1'-0"



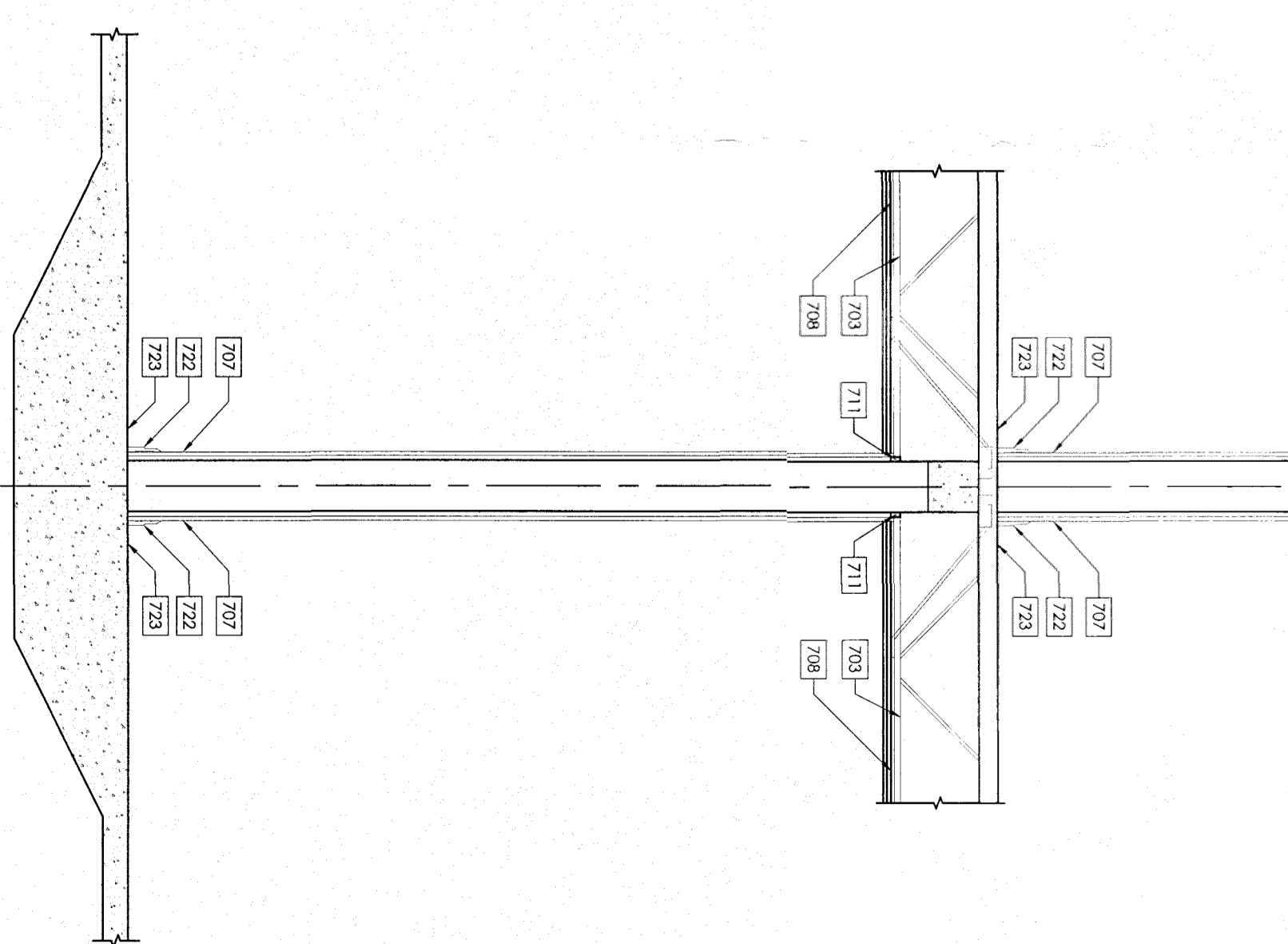
R SECTION
SCALE: 1/2" = 1'-0"



D SECTION
SCALE: 1/2" = 1'-0"



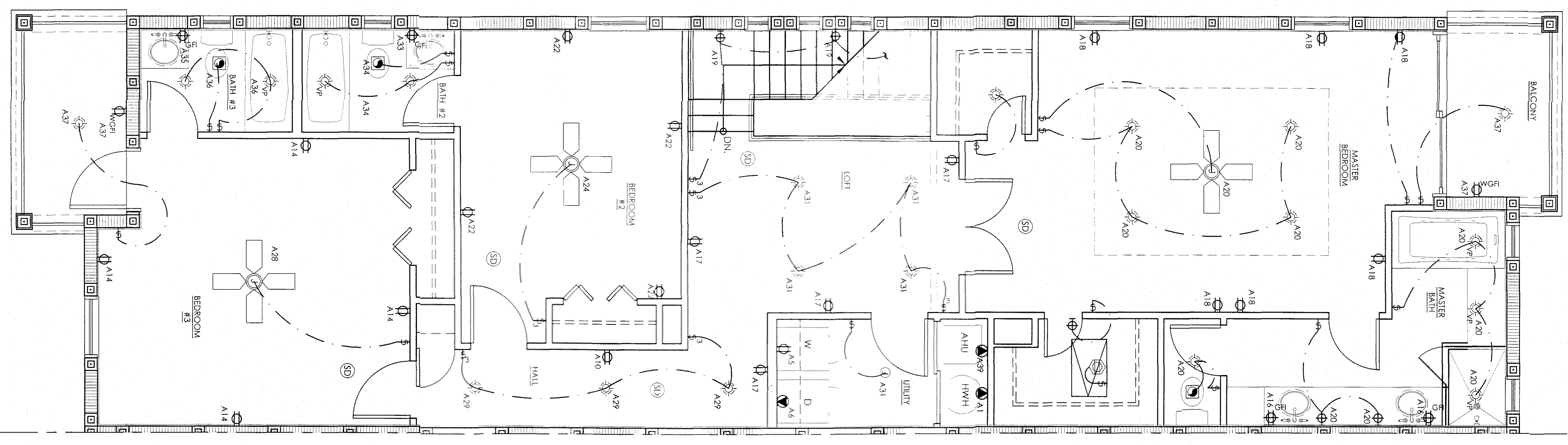
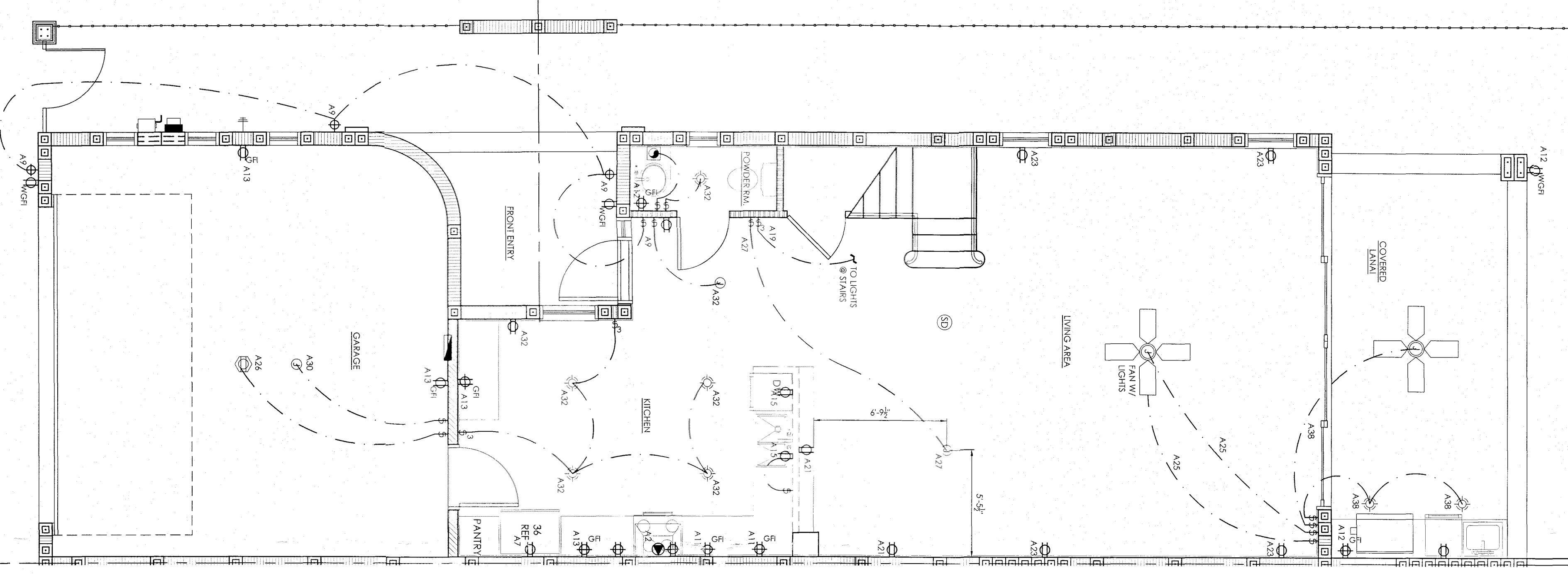
E SECTION
SCALE: 1/2" = 1'-0"



F SECTION
SCALE: 1/2" = 1'-0"

1 SCALE: 1/4" = 1' - 0"

2 SCALE: 1/4" = 1' - 0"



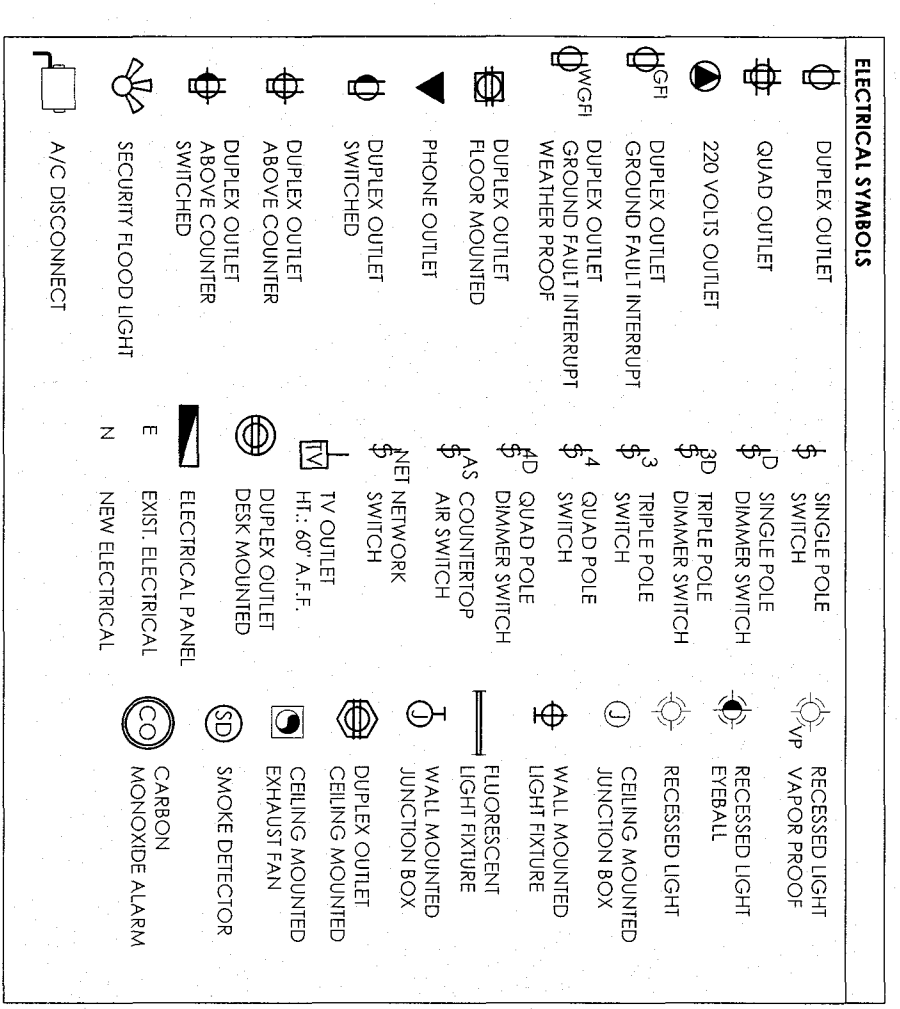
ELECTRICAL PANEL A WEST

MAN: 200 AMP
VOLTAGE: 120/240 PHA 3 WIRE

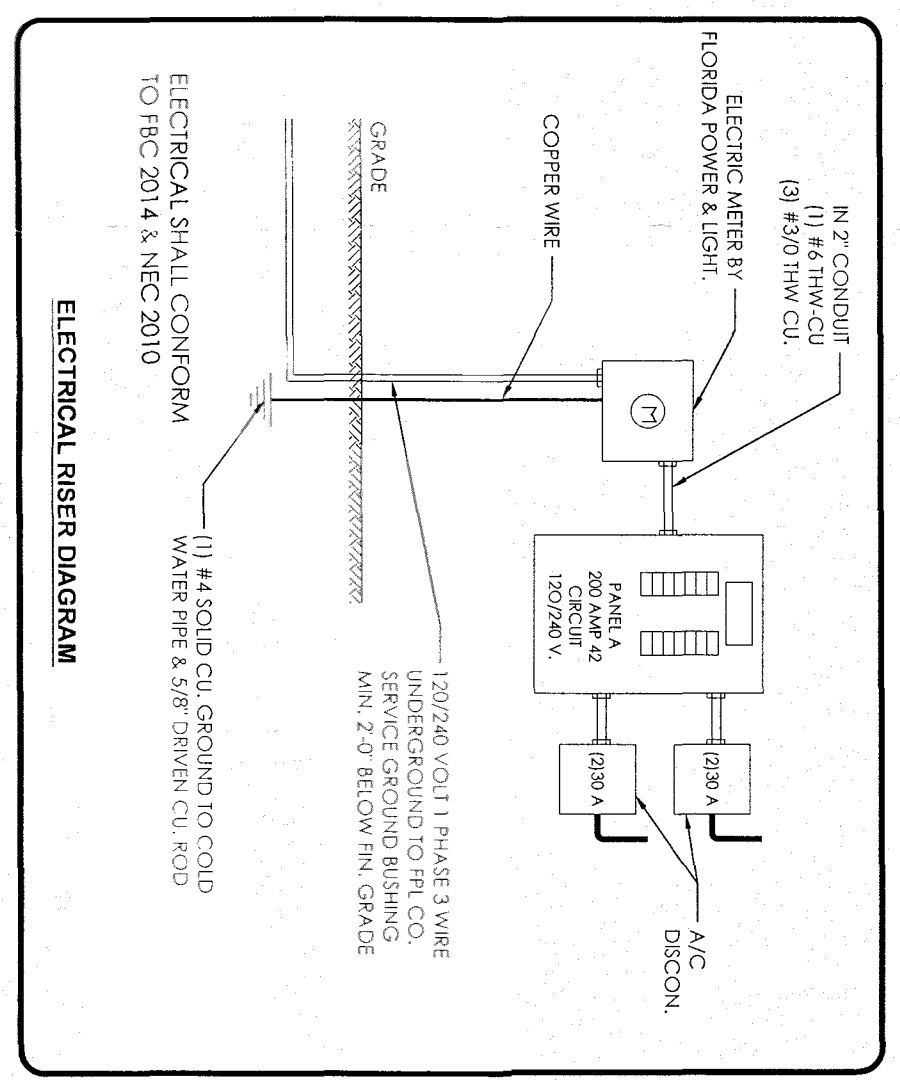
LOCATION: SEE ELECTRICAL PLAN	DESCRIPTION	WIRE & CONDUIT	CCT.	POLE	TRIP	DESCRIPTION	WIRE & CONDUIT
1	20	#12-1/2"	2	2	50	RANGE / OVEN	#6-1"
2	20	#12-1/2"	4	2	30	DRYER	#10-1"
3	20	#12-1/2"	6	1	20	HALL RECEPTACLES	#12-1/2"
4	20	#12-1/2"	10	1	20	LIVING ROOM RECEPT.	#12-1/2"
5	20	#12-1/2"	12	1	20	LANAI GFCI RECEPT.	#12-1/2"
6	20	#12-1/2"	14	1	20	BEDROOM #1 RECEPT.	#12-1/2"
7	20	#12-1/2"	16	1	20	MASTER BR. GFCI RECEPT.	#12-1/2"
8	20	#12-1/2"	18	1	20	MASTER BR. RECEPT.	#12-1/2"
9	20	#12-1/2"	20	1	15	STARWAY LIGHTS	#14-1/2"
10	20	#12-1/2"	22	1	20	BEDRM. #2 RECEPT.	#12-1/2"
11	20	#12-1/2"	24	1	15	BEDRM. #1 LIGHTING	#14-1/2"
12	20	#12-1/2"	26	1	20	GARAGE DOOR	#12-1/2"
13	20	#12-1/2"	28	1	15	BEDRM. #1 LIGHTING	#14-1/2"
14	20	#12-1/2"	30	1	15	GARAGE LIGHTING	#14-1/2"
15	20	#12-1/2"	32	1	15	KITCHEN LIGHTING	#14-1/2"
16	20	#12-1/2"	34	1	15	BATH #1 LIGHTING	#14-1/2"
17	20	#12-1/2"	36	1	15	BATH #2 LIGHTING	#14-1/2"
18	20	#12-1/2"	38	1	15	LANAI LIGHTING	#14-1/2"
19	20	#12-1/2"	40	2	30	A/C COMPRESSOR	#10-1"
20	20	#12-1/2"	42				

LOAD CALCULATION

NOTE: ALL NEW 15 & 20 AMP RECEPTACLES IN GENERAL RECEPTACLES - 3623 SF @ 3.5 WANTS / SF 1281
 TWO SMALL APPLIANCE CIRCUITS - 3623 SF @ 2 WANTS / SF 7246
 DOWLING UNITS TO BE TAVIER RESIDENT 2760
 OVEN 2880
 MICROWAVE 1920
 HOOD 1920
 DISHWASHER 1440
 REFRIGERATOR 1440
 WASHER 2880
 DRYER 2880
 HOT WATER HEATER 9600
 TOTAL 48127
 FIRST 10,000 WANTS AT 100% 10000
 38127 @ 40% 15251
 A/C (10 KW HEAT STRIP) 10000
 TOTAL DEMAND LOAD 33250
 33250 / 240 146.9 AMPS



- GENERAL ELECTRICAL NOTES:**
1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2014, NEC 2010, THE NATIONAL FIRE CODES AND ALL APPLICABLE CODES.
 2. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE PROJECT TO INSURE THAT ALL WORK SHALL MEET OR EXCEED THE ABOVE REQUIREMENTS.
 3. ANY DISCREPANCY SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO THE BID OR SUBMISSION OF A PROPOSAL.
 4. THE CONTRACTOR IS DIRECTED TO OBTAIN COPIES OF ALL RELATED PLANS, SPECIFICATIONS, SHOP DRAWINGS AND ADDENDUM TO COORDINATE THE RELATED WORK SCHEDULING.
 5. THE CONTRACTOR IS REMANDED THAT ELECTRICAL SERVICE TO AND FOR MECHANICAL AND OTHER EQUIPMENT ARE BASED ON DESIGN DATA PROVIDED BY THE ENGINEER. THE CONTRACTOR SHALL REVIEW THE PLANS TO ASSURE THAT ALL ELECTRICAL SERVICE FOR ALL ITEMS OR EQUIPMENT IS NOT SIGNIFICANTLY ALTERED BY THE ACTUAL EQUIPMENT SELECTION.
 6. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE PLANS TO ASSURE THAT ALL ELECTRICAL SERVICE FOR ALL ITEMS OR EQUIPMENT IS INCLUDED IN THE BID. ANY ITEM OR EQUIPMENT REQUIRING ELECTRICAL SERVICE THAT IS NOT PROVIDED WITH ELECTRICAL SERVICE SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO THE BID OR SUBMISSION OF A PROPOSAL.
 7. ALL WALLS OF ALL ROOMS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. ALL WALLS OF ALL ROOMS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD. ALL WALLS OF ALL ROOMS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD.
 8. ALL CODE REQUIREMENTS SHALL BE 1/2" UNLESS SPECIFICALLY NOTED OTHERWISE.
 9. ALL CODE REQUIREMENTS SHALL BE 1/2" UNLESS SPECIFICALLY NOTED OTHERWISE.
 10. ALL CODE REQUIREMENTS SHALL BE 1/2" UNLESS SPECIFICALLY NOTED OTHERWISE.
 11. ALL NEW LIGHT SWITCHES AND RECEPTACLES SHALL BE RATED FOR TWENTY AMPS AT 125 VOLTS A.C. NEW WIRING DEVICES SHALL BE MANUFACTURED BY HUBBELL OR APPROVED EQUAL. COMMON GANGED FLATERS SHALL BE USED WHEN TWO OR MORE NEW DEVICES ARE INSTALLED ON THE SAME CIRCUIT.
 12. THE CONTRACTOR SHALL COORDINATE WITH THE A/C CONTRACTOR TO INSURE THAT THE AIR CONDITIONING SYSTEM OPERATES PROPERLY. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL REQUIRED MATERIALS NOT PROVIDED BY THE A/C CONTRACTOR.



SHEET
9.1 OF 10

DATE: AUG 28, 2016
 DRAWN BY: AS NOTED
 SCALE: AS NOTED

NEW 2-STORY DUPLEX (2 UNIT)
 927 SW 2ND COURT
 FORT LAUDERDALE, FL 33312

PROPOSED ELECTRICAL PLANS FOR UNIT A,
 ELECTRICAL SCHEDULES AND DIAGRAMS,
 GENERAL NOTES

BUNKER ENGINEERING & CONSTRUCTION SERVICES, INC.
 120 N FEDERAL HWY, SUITE 305, LAKE WORTH, FL 33460
 PH #561-585-5696 -- FAX #561-585-5697

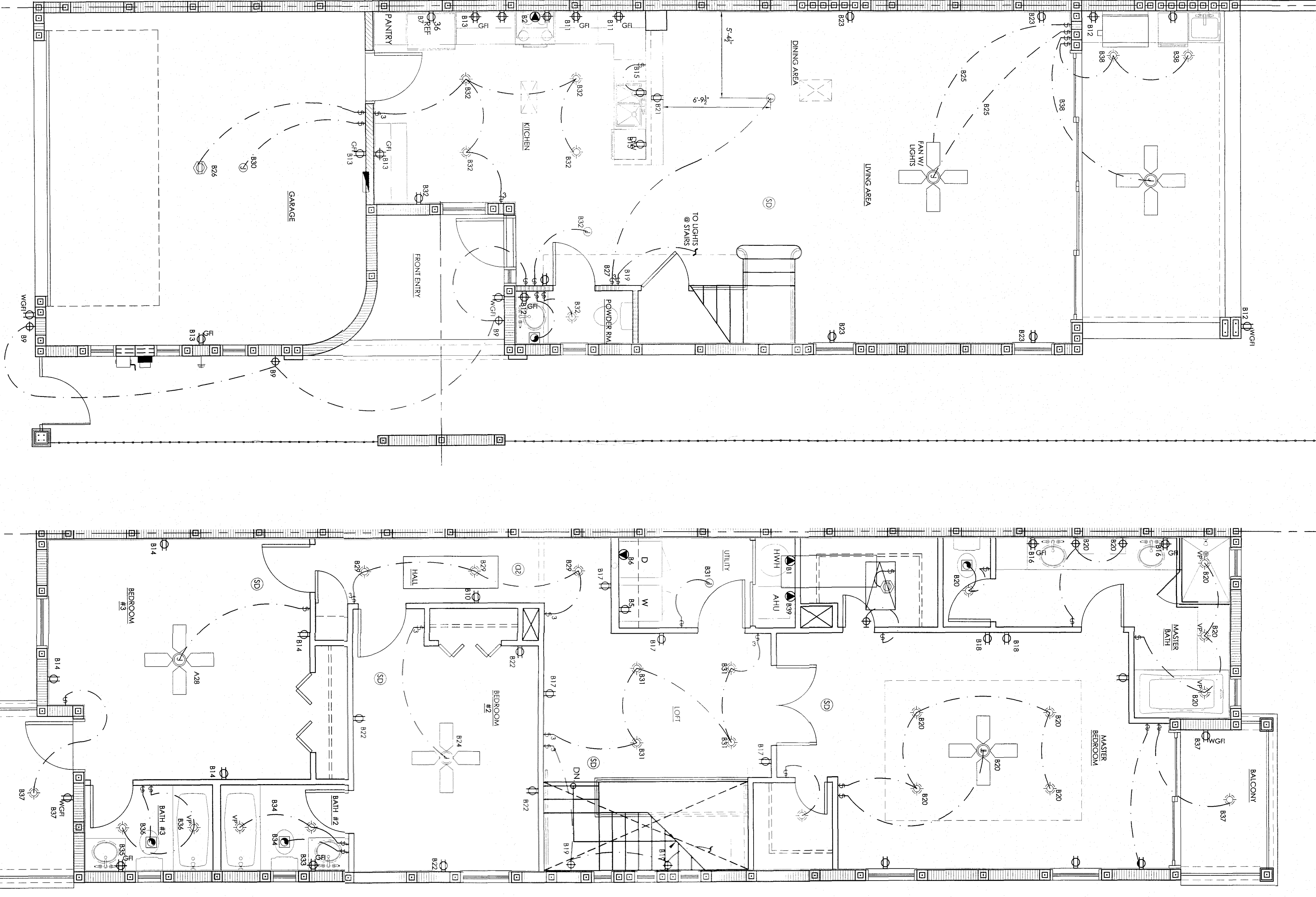
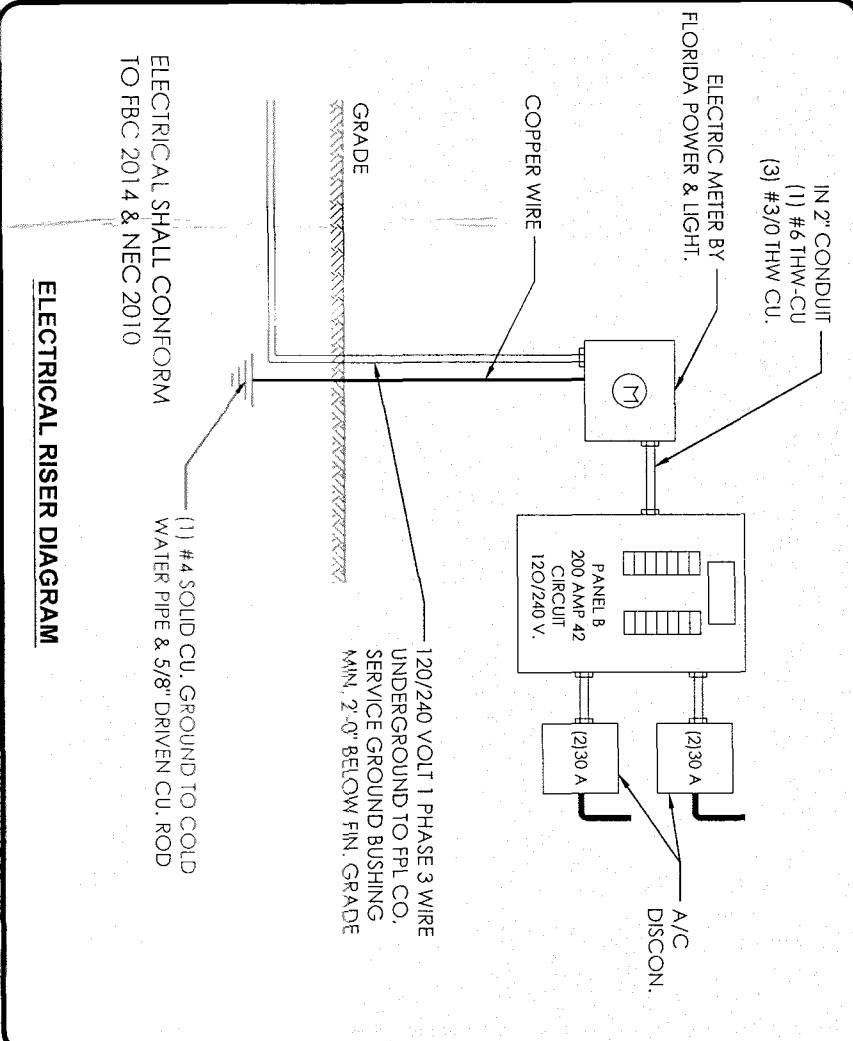
PROPOSED ELECTRICAL PLANS FOR UNIT B,
ELECTRICAL SCHEDULES AND DIAGRAMS,
GENERAL NOTES

NEW 2-STORY DUPLEX (2 UNIT)
927 SW 2ND COURT
FORT LAUDERDALE, FL 33312

SHEET 9.2 OF 10

DATE: AUG 29, 2016
DRAWN BY: [Signature]
SCALE: AS NOTED
REVISION: [None]

LOCATION: 1ST ELECTRICAL RAN	ELECTRICAL PANEL 'B' EAST				VOLUME: 120 / 240 PH, 3 WIRE				MAIN: 200 AMP				
NO.	TYPE	DESCRIPTION	WIRE & CONDUIT	CNT	POLE	TRIP	DESCRIPTION	WIRE & CONDUIT	CNT	POLE	TRIP	DESCRIPTION	WIRE & CONDUIT
1	30	HOT WATER HEATER	#10-1"	2	2	50	RANGE / OVEN	#6-1"	2	2	30	DWELL	#10-1"
2	30	WASHER	#12-3/8"	4	2	30	DWELL	#10-1"	2	2	30	DWELL	#10-1"
3	20	REFRIGERATOR	#12-3/8"	8	2	30	DWELL	#10-1"	2	2	30	DWELL	#10-1"
4	20	OUTDOOR LIGHTS	#12-3/8"	10	1	20	HALL RECEPTacles	#12-3/8"	10	1	20	HALL RECEPTacles	#12-3/8"
5	20	GRFC SMALL APPLNCE	#12-3/8"	12	1	20	LANAL GRFC RECF.	#12-3/8"	12	1	20	HALL RECEPTacles	#12-3/8"
6	20	GRFC SMALL APPLNCE	#12-3/8"	14	1	20	BEDRM A1 RECF.	#12-3/8"	14	1	20	MASTER BRH GRFC RECF.	#12-3/8"
7	20	DISHWASHER	#12-3/8"	16	1	20	MASTER BRH GRFC RECF.	#12-3/8"	16	1	20	MASTER BRH GRFC RECF.	#12-3/8"
8	20	LOFT RECF.	#12-3/8"	18	1	20	MASTER BR RECF.	#12-3/8"	18	1	20	LOFT RECF.	#12-3/8"
9	20	STAIRWAY LIGHTS	#12-3/8"	20	1	15	MASTER BR RECF.	#12-3/8"	20	1	15	MASTER BR RECF.	#12-3/8"
10	20	DINING ROOM RECF.	#12-3/8"	22	1	20	BEDRM A2 RECF.	#12-3/8"	22	1	20	BEDRM A2 RECF.	#12-3/8"
11	20	LIVING ROOM RECF.	#12-3/8"	24	1	15	BEDRM A1 LIGHTING	#14-3/8"	24	1	15	BEDRM A2 LIGHTING	#14-3/8"
12	20	LIVING ROOM LIGHTING	#14-3/8"	26	1	20	GARAGE DOOR	#12-3/8"	26	1	20	GARAGE DOOR	#12-3/8"
13	15	DINING ROOM LIGHTING	#14-3/8"	28	1	15	BEDRM A3 LIGHTING	#14-3/8"	28	1	15	BEDRM A3 LIGHTING	#14-3/8"
14	15	HALL LIGHTING	#14-3/8"	30	1	15	KITCHEN LIGHTING	#14-3/8"	30	1	15	KITCHEN LIGHTING	#14-3/8"
15	15	LOFT LIGHTING	#12-3/8"	32	1	15	BATH #2 LIGHTING	#14-3/8"	32	1	15	BATH #2 LIGHTING	#14-3/8"
16	20	BATH #2 GRFC RECF.	#12-3/8"	34	1	15	BATH #1 LIGHTING	#14-3/8"	34	1	15	BATH #1 LIGHTING	#14-3/8"
17	20	BATH #3 GRFC RECF.	#12-3/8"	36	1	15	BATH #3 LIGHTING	#14-3/8"	36	1	15	BATH #3 LIGHTING	#14-3/8"
18	20	BATH #4 GRFC RECF.	#12-3/8"	38	1	15	LANAL LIGHTING	#14-3/8"	38	1	15	LANAL LIGHTING	#14-3/8"
19	20	BALCONY RECF.	#10-1"	40	2	30	AC/COMPRESSOR	#10-1"	40	2	30	AC/COMPRESSOR	#10-1"
20	20	HOT WATER HEATER	#12-3/8"	42	2	30							
LOAD CALCULATION													
GENERAL LIGHTING - 3247.5F @ 3.5 WATTS / F ²													
GENERAL RECEPTacles - 3423 F ² @ 7 WATTS / F ²													
TWO SMALL APPLNCE CIRCUITS													
CORRECTION FACTORS													
MICROWAVE													
WOOD													
DISHWASHER													
DISHWASHER													
REFRIGERATOR													
WASHER													
HOT WATER HEATER													
FIRST 10,000 WATTS @ 100%													
REST 10,000 WATTS @ 40%													
A/C (10 KW HEAT STRIP)													
TOTAL DEMAND LOAD													
35250 / 740													
146.9 AMPS													



ELECTRICAL SYMBOLS	DESCRIPTION
[Symbol]	DUPEX OUTLET
[Symbol]	QUAD OUTLET
[Symbol]	220 VOLTS OUTLET
[Symbol]	DUPEX OUTLET
[Symbol]	GROUND FAULT INTERRUPT
[Symbol]	DUPEX OUTLET
[Symbol]	DUPEX OUTLET
[Symbol]	DUPEX OUTLET
[Symbol]	DUPEX OUTLET
[Symbol]	DUPEX OUTLET
[Symbol]	DUPEX OUTLET
[Symbol]	DUPEX OUTLET
[Symbol]	DUPEX OUTLET
[Symbol]	SECURITY FLOOD LIGHT
[Symbol]	A/C DISCONNECT

GENERAL ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK SHALL COMPLY WITH THE FLORIDA BUILDING CODE 2014, NEC 2010, THE NATIONAL FIRE CODES AND ALL APPLICABLE LOCAL CODES AND ORDINANCES. SUCH REVIEW OF THE PROJECT TO ENSURE THAT ALL WORK SHALL MEET OR EXCEED THE ABOVE REQUIREMENTS AND DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO THE SUBMISSION OF A PROPOSAL.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
6. THROUGHOUT THE COURSE OF THE PROJECT, ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
7. ALL CODE REQUIRED CONDUIT SHALL BE 1/2" UNLESS SPECIFICALLY NOTED OTHERWISE.
8. ALL CODE REQUIRED CONDUIT SHALL BE COPPER WITH 600 VOLT INSULATION TYPE THW, THHN/THWN, OR THW/THN/THWN. TYPE MIN. TRADE SIZE CONDUIT PERMITTED SHALL BE 1/2". UNLESS SPECIFICALLY NOTED OTHERWISE.
9. ANY NEW DISCONNECT SWITCHES SHALL BE THE GENERAL DUTY TYPE WITH BUSHING TIME DELAY, DUAL ELEMENT, AND CURRENT TIMING FIRES.
10. ANY NEW DISCONNECT SWITCHES SHALL BE THE GENERAL DUTY TYPE WITH BUSHING TIME DELAY, DUAL ELEMENT, AND CURRENT TIMING FIRES.
11. ALL NEW LIGHT SWITCHES AND RECEPTacles SHALL BE RATED FOR TWENTY AMPERS AT 120 VOLTS A/C. NEW WIRING DEVICES SHALL BE MANUFACTURED BY HUBBELL OR APPROVED EQUAL. COMMON GANGED PLATES SHALL BE USED WHETHER TWO OR MORE NEW DEVICES ARE SHOWN ON THE DRAWING IN THE SAME LOCATION.
12. THE A/C DISCONNECTS SHALL BE INSTALLED WITHIN 10 FT. OF EACH ROOM USED FOR SLEEPING. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL REQUIRED MATERIALS NOT PROVIDED BY THE A/C CONTRACTOR.

SMOKE ALARMS: PER 2014 SECTION 907.4.3, SMOKE ALARMS SHALL BE LOCATED AS INDICATED FOR NEW DWELLINGS. ALL NEW SMOKE ALARMS SHALL BE INTERCONNECTED AND HARDWIRED AS REQUIRED FOR NEW DWELLINGS.

CARBON MONOXIDE ALARMS: PER 2014 SECTION 907.5.11, OPERATIONAL CARBON MONOXIDE ALARMS SHALL BE INSTALLED WITHIN 10 FT. OF EACH ROOM USED FOR SLEEPING.

1 FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1' - 0"

2 SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1' - 0"