



DESIGN REVIEW TEAM (DRT) COMMENTS

Planning Area: Uptown Urban Village: Illustrations of Design Standards | Rev. 04/16/2025

BACKGROUND INFORMATION: The intent of the Design Review Team (DRT) is to assist applicants by identifying compliance with the applicable master plan design requirements in the form of a checklist. The checklist should be used as a guide in generating formal development applications for site plan submittal. Applicants should provide responses to each item in the DRT checklist upon submittal of formal development applications.

Applicants requesting alternate design solutions must indicate in the checklist such requests and provide the justification such alternate design solution at the end of the checklist. **NOTE:** Applicant's justification must demonstrate that the alternate solution maintains the overall intent of the design standard.

CASE NUMBER:	UDP-DRT24004	NOTES: <ul style="list-style-type: none">Principles in bold are dimensional standards required by Code (ULDR) Section 47-37B.Principles marked "yes" / "no" indicate if project meets intent of guidelineN/A = Not applicable; more information needed means there is insufficient information to review.
PROJECT NAME:	Cypress Multifamily	
PROJECT ADDRESS:	150 NW 68 th Street	
REVIEW DATE:		
CASE PLANNER:	Jim Hetzel	
CONTACT INFORMATION:		

INSTRUCTIONS: Mark applicable column with "X". Add comments / design intent under Principal title.

5.6 - BUILDING DESIGN STANDARDS (BUILDING ORIENTATION AND DESIGN)		YES	NO	N/A	Deviation Request
A1	Primary customer and/or resident entrances shall face the primary, secondary, and tertiary roads, and connect directly to the sidewalk (Figure 5.8). Response: Project complies. The common residential building entrances connect directly to the sidewalk on North Andrews Avenue and West McNab Road (Primary Streets.) Additionally, ground level individual residential unit entrances connect to an extensive internal sidewalk network which connects to the Primary and Secondary Streets.	X			
A2	Building entrances shall be provided for each separate ground floor commercial tenant space along the elevation facing the principal street. Response: Not applicable. Commercial use is not proposed.			X	
A3	Entryways are differentiated from the remainder of the façade - utilizing color, change in materials, application of architectural features, setbacks, offsets, and level changes (Figure 5.8). Response: Project complies. The buildings are designed to evoke a Rosemary Beach ambiance. The architectural style of Rosemary Beach combines traditional and contemporary design elements. The exteriors of the buildings feature stone, wood, or metal canopy details at their entrances. Refer to Sheets A-3.1.1C to A-3.9.2 for further material details.	X			
A4	Ground floor shall not be less than 15 feet in height for mixed-use development and commercial buildings fronting primary and secondary streets Response: Not applicable. The Project is a residential development. However, a minimum ground floor height of 12' is provided for the 8-story residential building fronting W. McNab Road and 9'-6" and 13'-0" for the 5-story buildings fronting North Andrews Avenue.			X	
A5	Walls of buildings along primary and secondary streets shall have fenestration containing transparent glass minimum of fifty (50) percent of the building wall area fronting the street. Response: DEVIATION REQUESTED to provide less than 50% glazing for the 5-story buildings fronting N. Andrews Avenue (Primary), the 8-story building fronting W. McNab Road (Primary), and the multifamily rowhouses fronting NW 66th Street (Secondary). See Sheet EX-13.				X (see justification on Page 11) CITY COMMENT PROVIDED ON JUSTIFICATION PAGE



<p>A6 *ULDR*</p>	<p>Building facades facing primary and secondary streets shall include building articulation that includes the following:</p> <p>a. Minimum two (2) feet of building articulation for every one hundred feet of building length.</p> <p>Response: All buildings COMPLY with articulation through material changes, vertical recesses, balconies, and roofline modulations.</p> <ul style="list-style-type: none"> The 8-story building fronting W. McNab Road (Primary) incorporates recessed balconies, façade step-backs, and parapet shifts that create shadow lines and reduce visual bulk. See Front Elevation on Sheet A-3.6.1C. The two 5-story buildings fronting N. Andrews Avenue (Primary) include alternating balcony types (solid vs. picket), projecting bays, and a varied roofline. Vertical score lines, contrasting materials (light stucco vs. dark siding), and decorative elements like Bahama shutters and brackets create additional breaks in massing and rhythm. See Front Elevation on Sheets A-3.3.2C and Sheets A-3.4.1C. The multifamily rowhouses on NW 66th Street (Secondary) use articulated unit spacing, framed porches, balconies, and accent panel elements to clearly express individual units and prevent a monolithic appearance <p>b. Minimum of two (2) building materials on ground floor where such material shall be of high quality; stucco shall not be counted</p> <p>Response:</p> <ul style="list-style-type: none"> The more prominent 8-story building fronting W. McNab Road (Primary) COMPLIES with use of stone/brick, wood siding, and stucco banding at the ground level at the first two levels. See Sheet A-3.6.1C. DEVIATIONS REQUESTED for: The two 5-story buildings fronting N. Andrews Avenue (Primary), which incorporate horizontal siding, scoring, and Bahama shutters at the lower levels. While only one non-stucco material is provided at the ground floor, the buildings feature high-end banded stucco, darker color blocking, and shingle roofing to enhance the architectural quality. See Sheets A-3.3.2C and A-3.4.1C The multifamily rowhouses fronting NW 66th Street (Secondary) similarly include horizontal siding, entry porches, and vertical architectural elements, but do not provide a second high-quality ground-floor material. See Sheet RH-3.2.1C. <p>c. Building corners shall contain special corner treatments both vertically and horizontally to emphasize the building corner.</p> <p>Response:</p> <ul style="list-style-type: none"> The 8-story building fronting W. McNab Road (Primary) COMPLIES with a double-height glass corner lobby, contrasting stone/brick materials, vertical window banding, and colored parapet detailing to emphasize both vertical and horizontal articulation. See Sheet A-3.6.1C. The two 5-story buildings fronting N. Andrews Avenue (Primary) COMPLY providing material shifts at the corners, including siding and dark accent stucco with score lines to reinforce vertical edges. See Sheets A-3.3.2C and A-3.4.1C. <p>DEVIATION REQUESTED for the multifamily rowhouses fronting NW 66th Street (Secondary), which do not include enhanced corner elements given the smaller scale of this typology. These buildings prioritize rhythmic repetition over corner emphasis. See Sheet RH-3.2.1C.</p>				<p>X (see justification on Page 12)</p> <p>CITY COMMENT PROVIDED ON JUSTIFICATION PAGE</p>
<p>B1(a) *ULDR*</p>	<p>Arrangement of Uses:</p> <p>Mixed-use developments shall include allowable residential dwelling unit types that are horizontally or vertically integrated with any mix of allowable retail, service, or office uses.</p> <p>Response: Not applicable for residential use not part of a mixed use development.</p>			<p>X</p>	
<p>B1(b)</p>	<p>Horizontally integrated mixed-use developments shall be designed so that residential units face other residential units, open spaces or the front and principal entries of non-residential or mixed-use buildings located across a public street (UUV-NE, UUV-NW and UUV-SE).</p> <p>Response: Not applicable for residential use not part of a mixed use development.</p>			<p>X</p>	



B1(c)	Vertically integrated mixed-use: include residential units on any floor above the ground floor of the development (UUV-NE, UUV-NW and UUV-SE) d. Ground floor facades shall be designed to accommodate retail and service uses. With the exception of live-work units, which permit some residential use behind ground floor commercial space, ground floors of mixed-use structures shall be limited to authorized non-residential uses. Response: Not applicable for residential use not part of a mixed use development.			X	
B1(d)	Ground floor facades shall be designed to accommodate retail and service uses. With the exception of live-work units, which permit some residential use behind ground floor commercial space, ground floors of mixed-use structures shall be limited to authorized non-residential uses. Response: Not applicable for residential use not part of a mixed use development.			X	
5.7 POCKET PARKS, COMMUNAL SPACE, PLAZA/GATHERING AREA REQUIREMENTS <i>*Requirements for pocket parks and plaza/gathering areas can be combined and reduced by 50% of listed requirements if such areas are located adjacent or connected to one another.</i>		YES	NO	N/A	Deviation Request
5.7(a) *ULDR*	Pocket parks will be required and based on the number of units. Pocket parks must be provided at grade not as part of private amenity area or required communal areas 50 units or less: 200 per unit 51 units to 150units: 150 per unit (10,000 sq. ft. min) 151 units or more: 100 per unit (22,500 sq. ft. min) Response: Project complies. The project exceeds the minimum required open space, providing 104,729 square feet where a minimum of 97,300 square feet is required and complying with the minimum requirement per phase. Refer to Sheet A-1.1. Open Space Requirements Table and Landscape Sheet EX-001 for area exhibit.	X			
5.7(b) *ULDR*	Communal space will be required in addition to required pocket parks if 50 percent or more of the total units are 450 square feet or smaller. Communal space may be at grade, within the building, or as part of an amenity area but it will need to be defined Development with 50% or less of units at 400/450 . Response: Not applicable as not more than 50% of the units are 450 square feet or smaller.			X	
5.7(c) *ULDR*	Plazas and gathering areas or public terrace requirements are for the nonresidential portion of a mixed-use project of commercial uses over a certain size. Outdoor dining areas may be included in the plaza/gathering area square footage Response: Not applicable. Plaza and gathering area or public terrace requirements are not applicable as this is a residential use not part of a mixed use development.			X	
5.8 PARKING STANDARDS PARKING AND LOADING		YES	NO	N/A	Deviation Request
5.8(a)	Parking and passenger loading areas along secondary and tertiary streets abutting a development may be counted towards minimum parking requirements at the rate of one space per 20 feet of curb-line abutting the development site. Response: Not applicable.			X	
5.8(B)(1)(a) *ULDR*	In the UUV-NE district, with the exception of not more than a single aisle of parking along Andrews Avenue with parking on both sides of the aisle, surface parking shall be located behind the front building lines of the building nearest to Andrews Avenue Response: Project complies. Surface parking is located behind the front building lines of the building nearest to North Andrews Avenue or screened from view with building design or landscaping.	X			



5.8(B)(1)(b) *ULDR*	In the UUV-NW and UUV-SE districts, surface parking shall be located behind the front building lines along primary or secondary streets. Parking in front of the building may be permitted along Cypress Creek Road if screened from the street. Response: Not applicable. The Property is zoned UUV-NE.			X	
5.8(B)(1)(c)	In the UUV-SW and UUV-SC districts, parking may be located anywhere outside of required planting and screening areas. Response: Not applicable. The Property is zoned UUV-NE.			X	
5.8(B)(2) *ULDR*	Surface parking shall be organized into parking areas having no more than 200 spaces that are separated by perimeter landscaping and island plantings. Response: Project complies. Refer to Architectural Sheet EX-4 which shows less than 200 spaces are proposed per parking area and development block and separated by perimeter landscaping and island planting as provided on Landscape Sheets 300-307.	X			
5.8(c)(1)(a) *ULDR*	Ground floor must contain active uses for a minimum of seventy (70) percent of the building frontage (Figure 5.14); <u>(Not applicable to properties in the UUV-SW and UUV-SC)</u> Response: Project complies. The 8-story parking garage is lined with residential units on the building ground level for 100% of the frontage and on all levels. All other proposed parking garage structures on the Property do not front Primary or Secondary Streets and remain screened from view from public rights-of-way and abutting properties through a combination of building design, location, and landscaping.	X			
5.8(c)(1)(b) *ULDR*	The upper levels of the parking structure shall be screened from public view with liner units or active use or exceptional architectural screening material. <u>(Not applicable to properties in the UUV-SW and UUV-SC)</u> Response: Project complies. The 8-story parking structure in Phase 3 is wrapped entirely with residential units. All other proposed 1-story individual parking garages and the 2-level parking deck structure on the Property do not front Primary or Secondary Streets and remain screened from view from public rights-of-way and abutting properties through a combination of building design, location, and landscaping.	X			
5.8(c)(1)(c) *ULDR*	Parking structure stairwells shall be designed with enhanced architectural elements and enhanced tower top design. <u>(Not applicable to properties in the UUV-SW and UUV-SC)</u> Response: Project complies. The 8-story parking structure in Phase 3 is internalized and screened by liner units, and the parking deck stairwells have been enhanced with architectural elements. See Architectural Elevations.	X			
5.8(c)(1)(d) *ULDR*	Access to parking structures shall be from secondary streets unless property fronts only primary street (Figure 5.17) <u>(Not applicable to properties in the UUV-SW and UUV-SC)</u> Response: Project complies. Vehicular access to parking structures is internalized to the Property and not fronting Primary or Secondary Streets. Refer to SP-101.	X			
5.8(d)(1)(a)	Location is limited to secondary and tertiary streets Response: Project complies. Access to parking structures is internalized to the Property and not fronting Primary or Secondary Streets. Refer to SP-101.	X			
5.8(d)(1)(b)	Limited to one-way traffic movement; and Response: Not applicable. Passenger loading areas are internalized to the Property and do not front Primary or Secondary Streets. Refer to SP-101.			X	



5.8(d)(1)(c)	Areas designated for passenger loading and/or valet service shall be limited to twenty (20) percent of building frontage Response: Not applicable. Passenger loading areas are internalized to the Property and do not front Primary or Secondary Streets. Valet service is not proposed. Refer to SP-101.			X	
5.8(d)(2)(a)	<u>Covered passenger loading areas shall meet the following:</u> Building frontage shall be a minimum width of one hundred fifty (150) in building length Response: Not applicable. No covered passenger loading areas proposed.			X	
5.8(d)(2)(b)	Porte cochere or covered area shall not exceed eight (80) feet or twenty-five (25) percent of the building width, whichever is less Response: Not applicable. No covered passenger loading areas proposed.			X	
5.8(e)	Loading and service areas shall be screened from view from public rights-of-way and abutting properties through a combination of building design, location, landscaping, walls and/or fencing. Response: Project complies. Loading and service areas are screened from public rights-of-way through a combination of building design, location, landscaping and fencing.	X			
5.8(f)	The following is a list of recommendations for development that are adjacent to or contain on-site amenities: <ul style="list-style-type: none"> • Safe, visible, and easily recognizable access points; • Access to multi-use trails or other walkways; • Proper lighting for safety and security; • Decorative site furnishings (i.e., seating, trash receptacles, lighting, special paving, bicycle racks, etc.); • Special site features (i.e., water features, monuments, amphitheater, etc.); • Building facades facing amenity areas should have building entries, windows, or outdoor seating; and • Encourage food and flower vendors, and artwork Response: Project complies. The Project incorporates a variety of on-site amenities, including, but not limited to, pedestrian scaled lighting, site furnishings, pedestrian pathways, and water features. Refer to Architectural Sheet EX-14-Sense of Place Exhibit, Landscape Plan Sheets L-300-307, Hardscape Plans L-200-L-207 and Manufacturer Details EX-01 and EX-02 for details.	X			
5.9 LANDSCAPE, SIDEWALK AND STREETScape		YES	NO	N/A	Deviation Request
5.9(A)(1) *ULDR*	The streetscape shall include three (3) zones: street tree/furniture zone, sidewalk clear zone, and frontage zone located adjacent to the curb (Figure 5.21). 1. Street Tree/Furniture Zone: a. Primary and Secondary - Minimum five (5) foot wide street tree/furniture zone. b. Tertiary Street - Minimum two (2) foot wide furniture zone (street trees not required). c. Street tree/furniture zone is intended for seating, streetlights, waste receptacles, fire hydrants, traffic signs, newspaper vending boxes, bus shelters, bicycle racks, public utility equipment such as electric transformers and water meters, and similar elements in a manner that does not obstruct pedestrian access or motorist visibility. d. Street tree/furniture zone shall be planted with street trees at an average spacing not greater than thirty (30) to fifty (50) feet on center. Response: <ul style="list-style-type: none"> • West McNab Road (Primary) – Section A: DEVIATION REQUESTED to not provide a Street Tree/Furniture Zone adjacent to the curb. See Section A on Landscape Sheet L-310. 				X (see justifications on Page 13) CITY COMMENT PROVIDED ON JUSTIFICATION PAGE



	<ul style="list-style-type: none"> North Andrews Avenue (Primary) – Sections D & E: DEVIATION REQUESTED to locate a 5' Furniture Zone with planting material interior to the sidewalk. See Sections D and F on Landscape Sheet L-310. NW 66th Street (Secondary) – Sections B & C: DEVIATION REQUESTED to provide a split configuration totaling 10', consisting of a 5' curbside planting strip and a 5' interior furniture/amenity zone between the sidewalk and frontage zone. <p>See Sections B and C on Landscape Sheet L-310.</p> <p>NW 2nd Avenue (Tertiary) Sections F-J: DEVIATION REQUESTED to not provide a continuous dedicated 2' Furniture Zone. Street trees, landscaping, and amenities are instead located within variable-width landscaped strips adjacent to the 20' travel lanes and 11' sidewalk/bike path. See Sections F-J on Landscape Sheet L-311.</p>				
5.9(A)(2)	<p>Sidewalk Clear Zone:</p> <ol style="list-style-type: none"> Primary, Secondary, and Tertiary Streets - Minimum seven (7) foot wide sidewalk clear zone. Sidewalk clear zone shall be hardscaped, located adjacent to the street tree/furniture zone, and comply with ADA Standards. Where required, the sidewalk shall extend onto private property with a sidewalk easement provided. <p>Response:</p> <ul style="list-style-type: none"> West McNab Road (Primary) – Section A: DEVIATION REQUESTED to maintain an existing 4'-6" – 5'-0" Sidewalk Clear Zone. See Section A on Landscape Sheet L-310. North Andrews Avenue (Primary) – Sections D & E: A 10' Sidewalk Clear Zone is provided and exceeds the minimum required width, but a DEVIATION IS REQUESTED to locate the sidewalk adjacent to the curb (with Street Tree/Furniture Zone interior). See Sections D and E on Landscape Sheet L-310. NW 66th Street (Secondary) – Sections B & C: 7' Sidewalk Clear Zone is provided and <u>COMPLIES with the minimum required width</u>, but a DEVIATION IS REQUESTED to allow it to be located between the split Street Tree/Furniture Zones. See Sections B and C on Landscape Sheet L-310. <p>NW 2nd Avenue (Tertiary) – Sections F-J: An 11' Sidewalk Clear Zone acting as a shared use sidewalk/bicycle path is provided, but a DEVIATION IS REQUESTED as it is not adjacent to a continuous Furniture Zone and will not be publicly dedicated. See Sections F-J on Landscape Sheet L-311.</p>				<p>X (see justifications on Page 14)</p> <p>CITY COMMENT PROVIDED ON JUSTIFICATION PAGE</p>
5.9(A)(3)	<p>Frontage Zone</p> <ol style="list-style-type: none"> Primary, Secondary, and Tertiary Streets - Minimum two (2) foot wide frontage zone. Frontage zone is intended to accommodate sidewalk cafes, store entrances, retail display or landscaping. Frontage zone is not required if the sidewalk corridor is adjacent to a landscaped space <p>Response:</p> <ul style="list-style-type: none"> West McNab Road (Primary) – Section A: DEVIATION REQUESTED to provide a 6' landscaped buffer in lieu of an active Frontage Zone. See Section A on Landscape Sheet L-310. North Andrews Avenue (Primary) – Sections D & E: COMPLIES. A minimum 6' wide Frontage Zone is provided in both sections. See Sections D and E on Landscape Sheet L-310. NW 66th Street (Secondary) – Sections B & C: Section B COMPLIES with a 10' Frontage Zone with street trees. Section C DEVIATION REQUESTED to allow multifamily rowhouses to provide balconies and stairs leading directly to the sidewalk within the 10' Frontage Zone. See Sections B and C on Landscape Sheet L-310. 				<p>X (see justifications on Page 15)</p> <p>CITY COMMENT PROVIDED ON JUSTIFICATION PAGE</p>



	<ul style="list-style-type: none"> NW 2nd Avenue (Tertiary) – Sections F-J: DEVIATION REQUESTED to not provide a continuous 2' Frontage Zone. A variable-width landscape/amenity strip is provided on one or both sides depending on the section. See Sections F-J on Landscape Sheet L-311. 				
5.9(B)(1)	<p>Streetscape improvements required for the portion of right-of-way abutting site.</p> <p>Street Trees, Sidewalk, Parking, Medians, Curb and Gutter Landscaping, Street Furniture, Street Lighting, Transit Stop, Traffic Control devices</p> <p>Response: Project complies. Streetscape improvements are proposed as illustrated on the street sections on Landscape Sheet L-310.</p>	X			
5.9(B)(2)	<p>Each applicant shall be responsible for making the streetscape improvements in accordance with the adopted design standards applicable to the abutting right-of-way. If a right-of-way is not under City of Fort Lauderdale jurisdiction and the authority with jurisdiction will not permit the improvement, or if, as determined by the Director or Designee, the streetscape improvement cannot reasonably be made at the time the development is constructed, the department shall estimate the cost of the streetscape improvement and the sum shall be paid by the applicant to the City to be held and earmarked for such streetscape improvement to be made in the future. If the streetscape improvement is unable to be made within five years of development approval, the sum shall be refunded to the applicant including interest accrued at a rate accrued on similar City funds.</p> <p>Response: Acknowledged and will comply as applicable.</p>	X			
5.9(B)(3)	<p>Modification to the required streetscape improvements may be permitted based on the preservation of natural barriers, avoidance of interference with overhead lines or other obstructions as approved by the City's Landscape Planner or may be modified based on an alternative design found to achieve the underlying intent of the streetscape design as indicated in the adopted design standards.</p> <p>Response: Acknowledged. Refer to modification requests above for 5.9.(A)(1).</p>	X			
5.9(B)(4)	<p>Applicant shall be required to execute maintenance agreement providing for the repair, replacement and maintenance of required off-site improvements in form approved by the City Engineer, to be recorded in the public records of Broward County at applicant's expense. The City Engineer is authorized to execute said agreement on behalf of City</p> <p>Response: Acknowledged and will comply as applicable.</p>	X			
5.10 SIGN STANDARDS		YES	NO	N/A	Deviation Request
5.10(A)	<p>Blade Signs shall:</p> <ol style="list-style-type: none"> 1. Be permitted on buildings six (6) stories or higher. 2. Be erected perpendicular to the street along each street frontage. 3. Extend a maximum of five (5) feet from the building wall. 4. Have a maximum height of not more than ten (10) times the width of the sign. 5. Be located a minimum twenty-eight (28) feet above the ground level. 6. Be positioned between the second story and the top of the parapet or roofline. 7. Be allowed to have internal illumination, provided that the background is opaque except immediately behind the letters and logo so that the letters and logo appear as silhouettes. <p>Response: Acknowledged. Project signage will be processed under a separate application separate from this site plan application.</p>			X	



5.10(B)	<p>Above-Canopy Signs shall:</p> <ol style="list-style-type: none"> 1. Be permitted parallel to the main building entrance canopy. 2. Have a maximum height of five (5) feet from the top of the building entrance canopy. 3. Have a maximum width of no more than sixty (60) percent of the length of the building entrance canopy <p>Response: Acknowledged. Project signage will be processed under a separate application separate from this site plan application.</p>			X	
5.10(C)	<p>Monument Signs shall comply with the following standards:</p> <ol style="list-style-type: none"> 1. Prohibited in the streetscape zone or within the building setback when building is at the minimum setbacks. 2. There shall be no conflict with pedestrian clear paths. 3. Have a maximum height of six (6) feet and an area no larger than sixty (60) square feet per face. 4. Be erected onto a base or frame, presenting a solid, attractive and well-proportioned appearance that complements the building design and materials <p>Response: Acknowledged. Project signage will be processed under a separate application separate from this site plan application.</p>			X	
5.11 SENSE OF PLACE ELEMENTS		YES	NO	N/A	Deviation Request
5.11 *ULDR*	<p>Development projects are encouraged to incorporate creative design elements into their design. Such elements should be an artistic, social, and functional component of the project and overall Uptown Urban Village Area. Sense of place elements are highly recommended for large, mixed use projects within the Uptown Urban Village Area and for key gateway properties. Building illumination should also be encouraged as a sense of place element for Uptown Urban Village. Future branding of the area should also focus on creating a unique visual representation of Uptown Urban Village</p> <p>Response: Project complies with the sense of place elements. As shown on Architectural Sheet EX-14-Sense of Place Exhibit, pocket parks at primary entrances along West McNab Road and NW 66th Street feature site furnishings, including shaded trellis structures and built-in benches for seating. Enhanced vehicular pavers distinguish key entrances along West McNab, NW 66th Street, and S. Andrews Avenue, while pedestrian-scale lighting and bollards support a comfortable public realm. Entrances also provide an opportunity for project signage. Pedestrian paver treatments throughout the site help define circulation routes and create visual continuity, reinforcing a walkable, engaging environment. Combined with an amenitized lake area and distributed pocket parks, these elements contribute to a cohesive and inviting sense of place.</p>	X			
<p>CITY REVIEW COMMENT: DRT reviewed this deviation and determined it DOES NOT meet design intent. Staff prepared a condition of approval that this matter be resolved prior to Final DRC and can assist the applicant with potential solutions.</p>					



INSTRUCTIONS: Choose applicable character area:

5.5 DENSITY AND DIMENSIONAL STANDARDS

CHARACTER AREA (APPLICABLE AREA: UUV-NE) Note A: Height may be increased to 150 feet, subject to Conditional Use Requirements outlined in ULDR Section 47-23.13. Note B: Stepback requirements are not applicable to the portion of structures at maximum setback of 50 feet		YES	NO	N/A	Deviation Request
5.5 *ULDR*	Maximum building height of 8-stories (90 feet). Industrial: N/A <u>Response:</u> Project complies as follows: <u>BLD Type I, II, III, V, VII, VIII (5-story):</u> 47'-6" T.O. Beam <u>BLD Type IV & IX (5-story):</u> 50'-0" T.O. Beam <u>BLD Type VI (8-story):</u> 88'-4" T.O. Roof <u>Rowhouse Type 1 (3-story):</u> 28'-6" T.O. Beam <u>Garage Type I, II, & V (1-story):</u> 14'-2" T.O. Roof <u>Garage Type II & IV:</u> 14'-6" T.O. Roof <u>Parking Deck Type I (2-story):</u> 13'-8" T.O. Roof <u>Maintenance Bldg Type I:</u> 13'-10" T.O. Roof <u>Maintenance Bldg Type II:</u> 15'-11" T.O. Roof	X			
5.5 *ULDR*	Maximum Density (du/ac) of 50 dwelling units per acre. <u>Response:</u> Project complies at 42.77 du/acre (973 units/22.75 acres).	X			
5.5 *ULDR*	Minimum Unit Size (Sq. Ft.) of 400 sq. ft. <u>Response:</u> Project complies with minimum 629 SF unit size.	X			
5.5 *ULDR*	Minimum lot size: none <u>Response:</u> Not applicable.			X	
5.5 *ULDR*	Minimum Lot Width: none <u>Response:</u> Not applicable.			X	
5.5 *ULDR*	Maximum Floor Area Ratio (FAR): 3.0 <u>Response:</u> Project complies with 1.32 FAR.	X			
5.5 *ULDR*	Front & Corner Yard Setbacks (Note A) Primary Street: 10 ft. min and 50 ft. max <u>Response:</u> DEVIATION REQUESTED for West McNab Road only where a minimum 7'-8" setback is provided. See Architectural Sheets SP-4 and EX-6. The North Andrews Avenue setback complies with a minimum 12'-7" setback. Secondary Street: 5 ft. min and 10 ft max <u>Response:</u> DEVIATION REQUESTED on NW 66 th Street where a 10'-4" setback is provided. See Architectural Sheets SP-3 and EX-5.				X (see justifications on Page 15) CITY COMMENT PROVIDED ON JUSTIFICATION PAGE
5.5 *ULDR*	Side & Rear Setbacks: None <u>Response:</u> Not applicable.			X	
5.5 *ULDR*	Maximum Building Length: 300 ft. <u>Response:</u> DEVIATION REQUESTED only for the Phase 3, 8-story building (Bldg Type VI) where a maximum building length of 361'-7" is proposed. See Architectural Sheet EX-7. All other building lengths in Phases 1 and 2 are less than 300' and comply.				X (see justification on Page 15) CITY COMMENT PROVIDED ON JUSTIFICATION PAGE
5.5 *ULDR*	Shoulder Height: 50 ft (5 stories) <u>Response:</u> DEVIATION REQUESTED only for the Phase 3, 8-story building (Bldg Type VI). See Architectural Sheets SP-3, EX-7 and EX-8. Not applicable for all other buildings where proposed maximum building height to roof is below 50'.				X (see justification on Page 15) CITY COMMENT PROVIDED ON JUSTIFICATION PAGE






5.5 *ULDR*	Front and Corner Stepback (ft.) (Note B): 15 ft Response: <u>DEVIATION REQUESTED</u> to provide a 0' stepback only for the Phase 3, 8-story building (Bldg Type VI). See Architectural Sheets EX-7. Not applicable for all other buildings where proposed maximum building height to roof is below 50'.				X (see justification on Page 16) CITY COMMENT PROVIDED ON JUSTIFICATION PAGE
5.5 *ULDR*	Tower Separation: 60 ft. Response: Not applicable.			X	
5.5 *ULDR*	Maximum Floorplate – Above shoulder height (sq. ft.): 8,000 to 12,000 sq. ft. Response: <u>DEVIATION REQUESTED</u> to provide a 50,251 GSF floorplate above 50' only for the Phase 3, 8-story building (Bldg Type VI). See Architectural Sheet EX-9. Not applicable for all other buildings where proposed maximum building height to roof is below 50'.				X (see justification on Page 16) CITY COMMENT PROVIDED ON JUSTIFICATION PAGE

INSTRUCTIONS: Indicate alternate design solution justification

Principle		Justification
A5	Walls of buildings along primary and secondary streets shall have fenestration containing transparent glass minimum of fifty (50) percent of the building wall area fronting the street. Response: <u>DEVIATION REQUESTED to provide less than 50% glazing for the 5-story buildings fronting N. Andrews Avenue (Primary), the 8-story building fronting W. McNab Road (Primary), and the multifamily rowhouses fronting NW 66th Street (Secondary). See Sheet EX-13.</u>	Justification: As shown on Sheet EX-13, the 5-story buildings along North Andrews Avenue provide 31–32% glazing, the 8-story building along West McNab Road provides 28%, and the rowhouses along NW 66 th Street provide 14%. The 50% glazing standard is primarily intended for commercial storefront conditions. For residential buildings, the proposed glazing ratios balance transparency with resident privacy, energy efficiency, and construction feasibility. The façades are enhanced through strong articulation, material variation, and ground-level design elements (balconies, recessed entries, landscaping) that maintain an engaging pedestrian environment and meet the standard's intent.
CITY REVIEW COMMENT: DRT reviewed this deviation and determined it meets design intent.		



<p>A6 *ULDR*</p>	<p>Building facades facing primary and secondary streets shall include building articulation that includes the following:</p> <p>d. Minimum two (2) feet of building articulation for every one hundred feet of building length.</p> <p>Response: All buildings COMPLY with articulation through material changes, vertical recesses, balconies, and roofline modulations.</p> <ul style="list-style-type: none">• The 8-story building fronting W. McNab Road (Primary) incorporates recessed balconies, façade step-backs, and parapet shifts that create shadow lines and reduce visual bulk. See Front Elevation on Sheet A-3.6.1C.• The two 5-story buildings fronting N. Andrews Avenue (Primary) include alternating balcony types (solid vs. picket), projecting bays, and a varied roofline. Vertical score lines, contrasting materials (light stucco vs. dark siding), and decorative elements like Bahama shutters and brackets create additional breaks in massing and rhythm. See Front Elevation on Sheets A-3.3.2C and Sheets A-3.4.1C.• The multifamily rowhouses on NW 66th Street (Secondary) use articulated unit spacing, framed porches, balconies, and accent panel elements to clearly express individual units and prevent a monolithic appearance. <p>e. Minimum of two (2) building materials on ground floor where such material shall be of high quality; stucco shall not be counted</p> <p>Response:</p> <ul style="list-style-type: none">- The more prominent 8-story building fronting W. McNab Road (Primary) COMPLIES with use of stone/brick, siding, and stucco banding at the ground level at the first two levels. See Sheet A-3.6.1C.- DEVIATIONS REQUESTED for:- The two 5-story buildings fronting N. Andrews Avenue (Primary), which incorporate horizontal siding, scoring, and Bahama shutters at the lower levels. While only one non-stucco material is provided at the ground floor, the buildings feature high-end banded stucco, darker color blocking, and shingle roofing to enhance the architectural quality. See Sheets A-3.3.2C and A-3.4.1C- The multifamily rowhouses fronting NW 66th Street (Secondary) similarly include horizontal siding, entry porches, and vertical architectural elements, but do not provide a second high-quality ground-floor material. See Sheet RH-3.2.1C. <p>f. Building corners shall contain special corner treatments both vertically and horizontally to emphasize the building corner.</p> <p>Response:</p> <ul style="list-style-type: none">- The 8-story building fronting W. McNab Road (Primary) COMPLIES with a double-height glass corner lobby, contrasting stone/brick materials, vertical window banding, and colored parapet detailing to emphasize both vertical and horizontal articulation. See Sheet A-3.6.1C.- The two 5-story buildings fronting N. Andrews Avenue (Primary) COMPLY providing material shifts at the corners, including siding and dark accent stucco with score lines to reinforce vertical edges. See Sheets A-3.3.2C and A-3.4.1C.- DEVIATION REQUESTED for the multifamily rowhouses fronting NW 66th Street (Secondary), which do not include enhanced corner elements given the smaller scale of this typology. These buildings prioritize rhythmic repetition over corner emphasis. See Sheet RH-3.2.1C.	<p>Justification: Deviations are requested only for the two 5-story buildings fronting N. Andrews Avenue (Primary) from the requirement to use two high-quality ground floor materials and the multifamily rowhouses fronting NW 66th Street (Secondary) from both the two-material requirement and the corner articulation standard. These deviations are justified based on the use of alternative high-quality design features, including contrasting color blocking, articulated balconies, Bahama shutters, and score lines, which achieve equivalent architectural articulation and visual interest. Additionally, the rowhouse typology emphasizes repetitive, human-scaled entries and individual unit expression over pronounced corner treatments, which is appropriate for its lower scale and secondary street frontage. Overall, the proposed designs maintain strong massing breaks, residential scale, and consistent material language across all frontages.</p> <p>5-Story Buildings – Sheets A-3.3.2C and A-3.4.1C</p>   <p>Multifamily Rowhouse – Sheet RH-3.2.1C</p> 
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CITY REVIEW COMMENT: DRT reviewed this deviation and determined it DOES NOT meet the design intent. In order to address the design intent, the DRT recommends the following:

Andrews Avenue Frontage

The buildings facing Andrews should contain more bay window style, additional Bahama shutters, and the ground level units have direct access to the sidewalk, which may be gated for security.



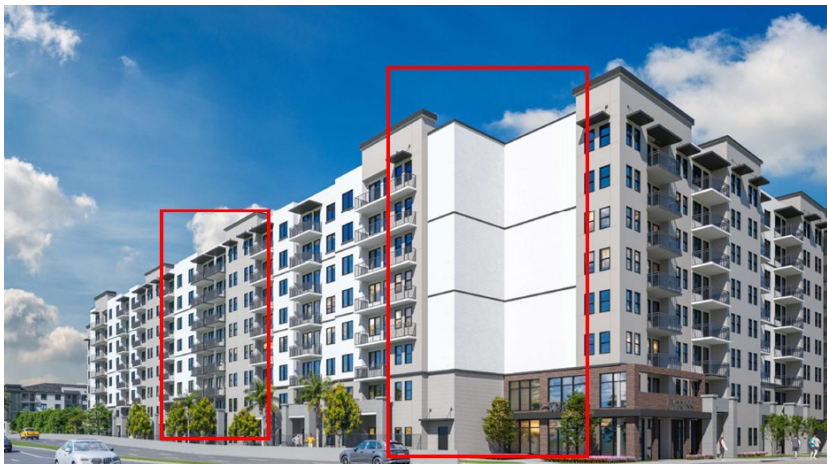
NW 66th Street Frontage

The front elevations facing the street shall contain the same bay window style that is on the rear elevation replacing a minimum of 50% of the windows to bay windows with projecting awning above to animate the elevation and reduce heat gain.

McNab Frontage

The building frontage does not provide enough articulation combined with the deviation to the height and deviation to the setback, the building looms over McNab. A significant articulated area needs to be provided along the frontage perhaps in the middle.

The building corners shall be architecturally enhanced replacing the blank wall areas. Enhancements shall include both horizontal and vertical design solutions that address the visual aesthetics of the corner. Below is snapshot of the building regarding these issues.





<p>5.9(A)(1) *ULDR*</p>	<p>The streetscape shall include three (3) zones: street tree/furniture zone, sidewalk clear zone, and frontage zone located adjacent to the curb (Figure 5.21).</p> <p>1. Street Tree/Furniture Zone:</p> <p>a. Primary and Secondary - Minimum five (5) foot wide street tree/furniture zone.</p> <p>b. Tertiary Street - Minimum two (2) foot wide furniture zone (street trees not required).</p> <p>c. Street tree/furniture zone is intended for seating, streetlights, waste receptacles, fire hydrants, traffic signs, newspaper vending boxes, bus shelters, bicycle racks, public utility equipment such as electric transformers and water meters, and similar elements in a manner that does not obstruct pedestrian access or motorist visibility.</p> <p>d. Street tree/furniture zone shall be planted with street trees at an average spacing not greater than thirty (30) to fifty (50) feet on center.</p> <p>Response:</p> <ul style="list-style-type: none">• <u>West McNab Road (Primary) – Section A: DEVIATION REQUESTED</u> to not provide a Street Tree/Furniture Zone adjacent to the curb. See Section A on Landscape Sheet L-310.• <u>North Andrews Avenue (Primary) – Sections D & E: DEVIATION REQUESTED</u> to locate a 5' Furniture Zone with planting material interior to the sidewalk. See Sections D and F on Landscape Sheet L-310.• <u>NW 66th Street (Secondary) – Sections B & C: DEVIATION REQUESTED</u> to provide a split configuration totaling 10', consisting of a 5' curbside planting strip and a 5' interior furniture/amenity zone between the sidewalk and frontage zone. <p>See Sections B and C on Landscape Sheet L-310.</p> <ul style="list-style-type: none">• <u>NW 2nd Avenue (Tertiary) Sections F-J: DEVIATION REQUESTED</u> to not provide a continuous dedicated 2' Furniture Zone. Street trees, landscaping, and amenities are instead located within variable-width landscaped strips adjacent to the 20' travel lanes and 11' sidewalk/bike path. See Sections F–J on Landscape Sheet L-311.	<p>Justification for Street Tree/Furniture Zone:</p> <ul style="list-style-type: none">• <u>West McNab Road – Section A</u> The existing Broward County bridge wall must remain in place as a vehicle barrier for the canal and physically obstructs installation of a curb-adjacent Street Tree/Furniture Zone. The design instead incorporates an interior 6' wide landscaped buffer that exceeds the spatial width of the required streetscape and contributes to shade, separation, and visual relief. Pursuant to Section 5.9 of the Uptown Urban Village Master Plan, modification to the required streetscape improvements may be permitted based on the avoidance of interference with obstructions.• <u>North Andrews Avenue – Sections D & E</u> FPL overhead transmission lines proposed to remain at the request of FPL preclude the placement of the Street Tree/Furniture Zone adjacent to the curb. As a result, a 5' wide Furniture Zone with planting material has been relocated to the interior side of the sidewalk next to a minimum 6' wide Frontage Zone with street trees (where a 2' Frontage Zone is required), maintaining shade, pedestrian amenities, and spatial definition and therefore achieving the intent as the standard placement. Pursuant to Section 5.9 of the Uptown Urban Village Master Plan, modification to the required streetscape improvements may be permitted based on the avoidance of interference with overhead lines or other obstructions.• <u>NW 66th Street – Sections B & C</u> A Broward County water main runs lengthwise under the required Street Tree/Furniture Zone. Therefore, a split configuration is proposed with trees and street furniture located interior to the sidewalk and low planting adjacent to the curb, ensuring visual interest, shade, and seating areas while accommodating utility conflicts, thus meeting the functional intent of the furniture zone. Pursuant to Section 5.9 of the Uptown Urban Village Master Plan, modification to the required streetscape improvements may be permitted based on the avoidance of obstructions.• <u>NW 2nd Avenue – Sections F–J</u> As the Tertiary Street is located interior to the development site and the right of way will not be publicly dedicated, alternative sections are proposed including street trees, landscaping, and amenities within variable landscaped strips adjacent to the 20' wide travel lanes and 11' wide sidewalk/bike lane, providing shade and buffer and opportunities for respite.
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<p>5.9(A)(2)</p>	<p>Sidewalk Clear Zone:</p> <ul style="list-style-type: none">d. Primary, Secondary, and Tertiary Streets - Minimum seven (7) foot wide sidewalk clear zone.e. Sidewalk clear zone shall be hardscaped, located adjacent to the street tree/furniture zone, and comply with ADA Standards.f. Where required, the sidewalk shall extend onto private property with a sidewalk easement provided. <p>Response:</p> <ul style="list-style-type: none">• <u>West McNab Road (Primary) – Section A: DEVIATION REQUESTED to maintain an existing 4'-6" – 5'-0" Sidewalk Clear Zone. See Section A on Landscape Sheet L-310.</u>• <u>North Andrews Avenue (Primary) – Sections D & E: A 10' Sidewalk Clear Zone is provided and exceeds the minimum required width, but a DEVIATION IS REQUESTED to locate the sidewalk adjacent to the curb (with Street Tree/Furniture Zone interior). See Sections D and E on Landscape Sheet L-310.</u>• <u>NW 66th Street (Secondary) – Sections B & C: 7' Sidewalk Clear Zone is provided and COMPLIES with the minimum required width, but a DEVIATION IS REQUESTED to allow it to be located between the split Street Tree/Furniture Zones. See Sections B and C on Landscape Sheet L-310.</u>• <u>NW 2nd Avenue (Tertiary) – Sections F-J: An 11' Sidewalk Clear Zone acting as a shared use sidewalk/bicycle path is provided, but a DEVIATION IS REQUESTED as it is not adjacent to a continuous Furniture Zone and will not be publicly dedicated. See Sections F-J on Landscape Sheet L-311.</u>	<p>Justification for Sidewalk Clear Zone:</p> <ul style="list-style-type: none">• <u>West McNab Road – Section A</u> The existing Broward County bridge wall must remain in place as a vehicle barrier for the adjacent canal and physically prevents the expansion of the existing 4'-6" – 5'-0" wide Sidewalk Clear Zone. Pursuant to Section 5.9 of the Uptown Urban Village Master Plan, modification to the required streetscape improvements may be permitted based on the avoidance of interference with obstructions.• <u>North Andrews Avenue – Sections D & E</u> The existing FPL overhead transmission lines proposed to remain at the request of FPL and prevent a curbside Street Tree/Furniture Zone adjacent to the Sidewalk Clear Zone and require the placement of the Sidewalk Clear Zone adjacent to the curb. The Sidewalk Clear Zone exceeds the minimum required width at 10' and still meets the functional intent of ensuring unobstructed pedestrian circulation. Pursuant to Section 5.9 of the Uptown Urban Village Master Plan, modification to the required streetscape improvements may be permitted based on the avoidance of interference with overhead lines or other obstructions.• <u>NW 66th Street – Sections B & C</u> A 7' Sidewalk Clear Zone is provided but is located between split planting and furnishing areas due to utility conflicts. Pursuant to Section 5.9 of the Uptown Urban Village Master Plan, modification to the required streetscape improvements may be permitted based on the avoidance of interference with obstructions.• <u>NW 2nd Avenue – Sections F-J</u> As the Tertiary Street is located interior to the development site and the right of way will not be publicly dedicated, alternative sections are proposed. A continuous 11' wide Clear Sidewalk Zone is proposed to function as a shared-use path, accommodating pedestrians and cyclists, with adjacent landscape/amenity areas of variable width.
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5.9(A)(3)	<p>Frontage Zone</p> <p>a. Primary, Secondary, and Tertiary Streets - Minimum two (2) foot wide frontage zone.</p> <p>b. Frontage zone is intended to accommodate sidewalk cafes, store entrances, retail display or landscaping.</p> <p>c. Frontage zone is not required if the sidewalk corridor is adjacent to a landscaped space</p> <p>Response:</p> <ul style="list-style-type: none"> West McNab Road (Primary) – Section A: DEVIATION REQUESTED to provide a 6' landscaped buffer in lieu of an active Frontage Zone. See Section A on Landscape Sheet L-310. North Andrews Avenue (Primary) – Sections D & E: COMPLIES. A minimum 6' wide Frontage Zone is provided in both sections. See Sections D and E on Landscape Sheet L-310. NW 66th Street (Secondary) – Sections B & C: Section B COMPLIES with a 10' Frontage Zone with street trees. Section C DEVIATION REQUESTED to allow multifamily rowhouses to provide balconies and stairs leading directly to the sidewalk within the 10' Frontage Zone. See Sections B and C on Landscape Sheet L-310. NW 2nd Avenue (Tertiary) – Sections F-J: DEVIATION REQUESTED to not provide a continuous 2' Frontage Zone. A variable-width landscape/amenity strip is provided on one or both sides depending on the section. See Sections F-J on Landscape Sheet L-311. 	<p>Justification for Frontage Zone:</p> <ul style="list-style-type: none"> West McNab Road – Section A Ground-level balconies and landscape separation provide both privacy and activation. Given the elevation changes and adjacency to the bridge wall, the landscaped buffer meets the intent of the frontage zone. NW 66th Street – Section C The frontage includes walk-up units with stoops, balconies, and landscaping consistent with urban rowhouse typology. These elements provide semi-private outdoor space that supports both residential use and active engagement with the street, thereby meeting the intent of the frontage zone. NW 2nd Avenue – Sections F-J As the Tertiary Street is located interior to the development site and the right of way will not be publicly dedicated, alternative sections are proposed which include a variable-width landscape/amenity strip on one or both sides.
<p>CITY REVIEW COMMENT: DRT reviewed these deviations and determined they DO NOT meet design intent. In order to address the design intent, the DRT recommends the following:</p> <p>McNab There are elements proposed that align with the street frontage intent. Recognizing the location of the McNab bridge wall, the space between should contain elements that make the space active such as walkway path or greenway path that leads to the ground level units with enhanced site lighting, and landscape. This can be achieved by shifting the building back and providing the space. Current design is not consistent with CPED principles.</p> <p>Andrews If dedication of right-of-way is needed, such as turn lane, this will impact the cross section. In addition, the overhead utilities should be placed underground or at a minimum underground conduits installed for future undergrounding efforts. Additional discussion and coordination is needed.</p> <p>NW 66th Street The overhead utilities should be placed underground or at a minimum underground conduits installed for future undergrounding efforts. Additional discussion and coordination is needed.</p>		
5.5 *ULDR*	<p>Front & Corner Yard Setbacks (Note A)</p> <p>Primary Street: 10 ft. min and 50 ft. max</p> <p>Response: DEVIATION REQUESTED for West McNab Road only where a minimum 7'-8" setback is provided. See Architectural Sheets SP-4 and EX-6. The North Andrews Avenue setback complies with a minimum 12'-7" setback.</p> <p>Secondary Street: 5 ft. min and 10 ft max</p> <p>Response: DEVIATION REQUESTED on NW 66th Street where a 10'-4" setback is provided. See Architectural Sheets SP-3 and EX-5.</p>	<p>Justification: The 7'-8" setback along West McNab Road is the minimum necessary and is enhanced by a 6' landscaped buffer with street trees, which softens the building edge and maintains pedestrian scale. The 10'-4" setback on NW 66th Street accommodates an outdoor area for the multifamily rowhouses, enhancing livability and street-level interaction while minimally exceeding the 10' maximum.</p>
<p>CITY REVIEW COMMENT: DRT reviewed this deviation and determined it DOES NOT meet design intent.</p> <p>McNab Given the deviations for height, no stepback, building length, and the lack of active ground use, the setback along this frontage should meet the minimum 10 foot setback. In addition, the area should be landscaped and lighted properly for security.</p> <p>Andrews There is back of house/trash collection proposed fronting Andrews that needs to be relocated out of the front setback.</p>		



DESIGN REVIEW TEAM (DRT) COMMENTS

5.5 *ULDR*	<p>Maximum Building Length: 300 ft.</p> <p>Response: DEVIATION REQUESTED only for the Phase 3, 8-story building (Bldg Type VI) where a maximum building length of 361'-7" is proposed. See Architectural Sheet EX-7. All other building lengths in Phases 1 and 2 are less than 300' and comply.</p>	<p>Justification: Although the total building length exceeds 300', the primary streetwall is visually reduced to 275'-10" through two full-height (levels 1-8) façade recesses: a 36'-9" segment at the east end recessed 8'-7" and a 40'-8" segment at the west end recessed 22'-2". These recesses provide substantial architectural breaks that articulate the massing and reduce perceived scale along the street and meet the intent of the standard. See Architectural Sheet EX-7.</p>
5.5 *ULDR*	<p>Shoulder Height: 50 ft (5 stories)</p> <p>Response: DEVIATION REQUESTED only for the Phase 3, 8-story building (Bldg Type VI). See Architectural Sheets SP-3, EX-7 and EX-8. Not applicable for all other buildings where proposed maximum building height to roof is below 50'.</p>	<p>Justification: The 8-story building proposes a total height of 88'-4" to the roof and is designed as a mid-rise structure rather than a tower over podium. The shoulder height standard is intended to regulate massing and transitions for taller tower-podium configurations rather than mid-rise typologies. To reduce the massing, the building incorporates two recessed segments that span Levels 1-8, including a 36'-9" portion at the east end recessed 8'-7" and a 40'-8" portion at the west end recessed 22'-2" from the main façade line. These full-height recesses effectively break down the overall massing, soften the building's presence along the street, and reinforce a more articulated and varied form. Combined with horizontal and vertical modulation, balconies, and material differentiation, these strategies meet the intent of the shoulder height standard by creating a visually engaging and appropriately scaled mid-rise building form.</p>
<p>CITY REVIEW COMMENT: DRT reviewed this deviation and determined DOES NOT meets design intent. Design intent can be achieved based on solutions identified by staff in relation to articulating the building along McNab, meeting setback, and building corner design.</p>		



5.5 *ULDR*	Front and Corner Stepback (ft.) (Note B): 15 ft Response: DEVIATION REQUESTED to provide a 0' stepback only for the Phase 3, 8-story building (Bldg Type VI). See Architectural Sheets EX-7. Not applicable for all other buildings where proposed maximum building height to roof is below 50'.	Justification: The 8-story building is a mid-rise with a fully wrapped internal garage and courtyard. A 15' stepback would disrupt both structural parking and internal unit layout. The façade includes full-height recesses, balcony projections, material variation, and plane shifts that reduce massing and maintain pedestrian scale, meeting the standard's intent.
CITY REVIEW COMMENT: DRT reviewed this deviation and determined DOES NOT meets design intent. Design intent can be achieved based on solutions identified by staff in relation to articulating the building along McNab, meeting setback, and building corner design.		
5.5 *ULDR*	Maximum Floorplate – Above shoulder height (sq. ft.): 8,000 to 12,000 sq. ft. Response: DEVIATION REQUESTED to provide a 50,251 GSF floorplate above the shoulder height for the Phase 3, 8-story building (Bldg Type VI). See Architectural Sheet EX-9. Not applicable for all other buildings where proposed maximum building height to roof is below 50'.	Justification: The proposed 8-story building is a mid-rise wrap typology, fully screening the structured garage with active residential units on all sides. A 12,000 SF floorplate for the portion of the building above the shoulder/50 feet in height is not feasible for this typology, as it cannot support efficient parking layout, ramping, or structural systems. The proposed 50,251 GSF floorplate is essential to maintain the integrity of the wrapped configuration. To mitigate massing, the building includes significant full-height recesses, varied materials, and projecting balconies that break up the elevation and reduce visual bulk, meeting the standard's intent. See Architectural Sheet EX-9.
CITY REVIEW COMMENT: DRT reviewed this deviation and determined DOES NOT meets design intent. Design intent can be achieved based on solutions identified by staff in relation to articulating the building along McNab, meeting setback, and building corner design. determined it meets design intent.		
47-20.11.B.1 *ULDR*	Sec. 47-20.11.b. Compact Parking Response: DEVIATION REQUESTED. ULDR Section 47-20.11.B. specifies that compact parking spaces within a commercial zoning district shall not exceed twenty percent (20%) of the total number of required parking, and compact parking spaces must be a minimum dimension of 8'-8" in width by 16'-0" in length. The Project requests a deviation from ULDR 47-20.11.B.1 to allow 146 compact parking spaces at 8'-0" x 16'-0" (respectively 81 spaces in Phase 1 and 65 spaces in Phase 2) of the total provided 1,572 parking spaces. See Architectural Sheets A-1.1, SP-1, SP-2, SP-3 EX-4.	Justification: The proposed compact space width of 8'-0" remains consistent with dimensions accepted in comparable urban and TOD environments. By allocating a limited number of slightly smaller compact stalls, the Project can optimize parking layout efficiency without impacting functionality or safety. Additionally, the proposed compact spaces constitute less than 10% of the total parking supply, remaining well below the 20% maximum threshold allowed under the ULDR, and will be clearly designated to ensure proper use and minimize potential conflicts. See Architectural Sheet EX-4.
CITY REVIEW COMMENT: DRT reviewed this deviation and determined it meets design intent.		



