

Rec'd 6/7/13
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**CITY OF FORT LAUDERDALE
ENGINEERING DIVISION
APPLICATION TO INSTALL AT GRADE
COMMUNICATIONS SERVICE FACILITIES**

**PERMIT NO. CC13-06
District 3**

Applicant Name and Job Number Crown Castle SFL 61_3

Job Address and Location 934 NW 16 Avenue *N. of 1450 W. Sunrise (Sanjamil Park entrance)*

Description of Work Installing cabinet and utility pole within right-of-way.

Anticipated start and end dates of work 6/1/13 - 45 days

- This permit application is for an exemption from the requirement to install communications service facilities below grade, in accordance with Section 25-100.1.B.3 of the City of Fort Lauderdale Code of Ordinances (Code). A letter by a qualified expert(s) is attached.
- Crown Castle is requesting the following waivers (check all applicable subsections and attach supporting documentation):

- C.1 (Size)
- C.2 (Height)
- C.3 (Front Yard)
- C.4 (Corner Yard)
- C.6 (Separation)
- C.7 (Exist. Facility)
- C.12 (Collector)

- With the exception of any waivers that may be checked above, the proposed at grade facilities conform to the requirements in Section 25-100.1 of the Code
- Notice of the pending application has been provided to all property owners abutting public rights-of-way within one hundred fifty (150) feet of the proposed site and to the relevant homeowner association, in accordance with Section 25-100.1.E.5 of the Code.
- The proposed site will be maintained by Crown Castle in accordance with the approved Graffiti Mitigation Plan dated 04/04/2013, which is on file with the City Engineer
- A landscaping maintenance commitment letter from the adjacent property owner and relevant home owner association is attached to this application.
- Crown Castle shall be responsible for maintaining landscaping
- The proposed at grade facilities depicted on the attached plans are completely located in the public rights-of-way.

As an authorized representative of Crown Castle, I certify under oath that the forgoing statements are true and correct.

Armando Hernandez
Printed Name of Authorized Crown Castle Agent

Armando Hernandez
Signature of Authorized Crown Castle Agent

Sworn to and subscribed before me this 3 day of Jun, 2013

Shane Hafner
Notary Public,
State of Florida

My Commission Expires 4-3-16



(Do not write below this line)

Conceptual approval date _____ by _____, Subject to the following conditions:

- 1) A detailed visual mitigation plan is required

Final Permit approval date _____ by _____

Final Inspection date _____ by _____

**Notify Engineering Permits Division 24 hours prior to starting work at (954) 828-5649

Perd 5/3/13



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ENGINEERING DIVISION
APPLICATION TO INSTALL AT GRADE
COMMUNICATIONS SERVICE FACILITIES**

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District 3**

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Job Address and Location NW 16 Avenue *Need Address #*

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As an authorized representative of Crown Castle, I certify under oath that the forgoing statements are true and correct.

Armando Hernandez *Armando Hernandez*
 Printed Name of Authorized Crown Castle Agent Signature of Authorized Crown Castle Agent

Sworn to and subscribed before me this 20th day of May, 2013
 _____ My Commission Expires 9-3-16
 Notary Public, State of Florida

(Seal) 

(Do not write below this line)

Conceptual approval date _____ by _____, Subject to the following conditions:

- 1) A detailed visual mitigation plan is required

Final Permit approval date _____ by _____ Final Inspection date _____ by _____

**Notify Engineering Permits Division 24 hours prior to starting work at (954) 828-5649

REVIEW CHECKLIST FOR CABINETS IN RIGHTS-OF-WAY

Permit No. **CC13 - 06**

- Application Package complete – 3 sets (JJ)**
 - Verified addresses of property owners and HOA to which notice was provided
 - Random audit of package to property owners
 - Feasibility letter, site plan, landscaping plan, aerial photo, 5 pictures
 - Easement and property information provided
- CC memo provided to Commission (JJ)**
- 15-Day Call up Memo to Commission (JJ)**

Criteria for cabinets in Rights-of-Way

	Plan Review Checklist	Comments
<input type="checkbox"/>	Evaluation and approval of any waivers identified on application (size, height, corner yard, > 3 cabinets per block, modification of existing cabinet, conflict with future sidewalk)	
<input checked="" type="checkbox"/>	Sum of H + W + L not greater than 124" and H not greater than 5'-8"	7' 2" OK
<input checked="" type="checkbox"/>	Cabinet not in front yard	
<input checked="" type="checkbox"/>	Proposed landscaping is in accordance with plan on file with City	N/A
<input checked="" type="checkbox"/>	If landscaping is to be maintained by Property Owner, Agreement has been provided	Crown Castle
<input checked="" type="checkbox"/>	Landscaping plan has been checked by Dave Genarro	
<input checked="" type="checkbox"/>	New cabinet is at least 2 feet from other cabinets, poles, etc.	OK
<input checked="" type="checkbox"/>	Cabinet not in sight triangle (sight triangle may be reduced to 10 feet)	OK
<input checked="" type="checkbox"/>	ADA requirements met	N/A
<input checked="" type="checkbox"/>	Roadside recovery setback met (per Florida Green Book)	OK
<input checked="" type="checkbox"/>	Cabinet/landscaping is at least one foot from sidewalk	OK
<input checked="" type="checkbox"/>	Cabinet would not conflict with future sidewalk	OK
<input checked="" type="checkbox"/>	Field face cabinet to R/W	
	Field Inspection Checklist	Comments
<input type="checkbox"/>	Type and location of topographic features shown on permit plan are consistent with field conditions	
<input type="checkbox"/>	H + W + L not greater than 124" and H not greater than 5'-8"	
<input type="checkbox"/>	There are no conflicts with existing utility lines and new cabinet location would not hinder access to utilities or be within excavation trench over the pipe	
<input type="checkbox"/>	New cabinet is at least 2 feet from other cabinets, poles, etc.	
<input type="checkbox"/>	New cabinet is not in sight triangle – visual check performed in field	
<input type="checkbox"/>	ADA requirements met – minimum clearances/slopes measured	
<input type="checkbox"/>	Roadside recovery setback measured	
<input type="checkbox"/>	Cabinet/landscaping (measured) is at least one foot from sidewalk	
<input type="checkbox"/>	Landscaping is per permit plans and effectively screens cabinet	
<input type="checkbox"/>	Cabinet would not conflict with future sidewalk	
<input type="checkbox"/>	Dimensions for cabinet location measured	
<input type="checkbox"/>	Not more than three communication cabinets per block (unless waiver approved)	
<input type="checkbox"/>	Electrical Permit – Final inspection passed	



Crown Castle
8555 NW 64th Street
Miami, Florida 33166-2628
MelissaP.Anderson@crowncastle.com

Office 786-899-5911
Mobile 561-310-9261
Fax 305-591-1469
www.crowncastle.com

April 4, 2013

City Engineer
City of Ft. Lauderdale
100 N. Andrews Avenue
Ft. Lauderdale, Florida 33301

Re: Crown Castle NG East Inc. Application for Exemption from Below Grade Requirement

Dear City Engineer:

In accordance with Section 25-100.1(b) of the city's Communications Rights-of-Way Ordinance (the "Ordinance"), Crown Castle NG East Inc. ("Crown Castle") submits this application for an exemption from the below grade requirement. As is set forth in the attached letter from Wayne Waldron, Director of Implementation for Crown Castle in the Southeastern Region, an exemption is appropriate, as a hardship would result from the imposition of the requirement. Placing the communications service facility described in the attached right-of-way permit application ("Facility") below grade is: 1. technologically infeasible; 2. a below grade facility is not available in the marketplace; and 3. all reasonable alternatives have been exhausted.

Given that Crown Castle has shown by a preponderance of the evidence that a hardship would result if an exemption were not granted, Crown Castle requests that City Engineer grant an exemption from Section 25-100.1(b) of the city's code.

Very Truly Yours,

A handwritten signature in black ink, appearing to be 'MA' with a long horizontal stroke extending to the right.

Melissa P. Anderson
Government Relations Counsel
Southeastern Region

cc: Wayne Waldron, Director of Implementation

ATTACHMENT 1
Certification in Support of Application to City of Ft. Lauderdale for
Exemption from Below Grade Requirement

My name is Wayne W. Waldron and my title with Crown Castle is Director of Implementation for the Southeastern Region.

My background and experience in the telecommunications field is as follows: Prior to joining Crown Castle served as Division Manager of 7 state Southwest Division for utility construction (telephone, electric, water, gas, sewer, CATV) firm Henkels and McCoy, Inc. of Blue Bell PA for 10 years, Operations Controller managing Long Island Sound Crossing project for Pirelli Cable Systems of Florham Park NJ for 3 years, Vice President of Liberty General Contracting providing utility construction services in Pottstown PA for 4 years, Vice President of Construction and Engineering for RCN Corporation of Princeton NJ overseeing installation of fiber cabling for telephone, CATV and internet services for 7 years.

My education and training includes but is not limited to: Received Bachelors of Science in Business Administration with a major in Accounting from Temple University in 1980. I have taken continuing education courses in Fiber Optic Technology from Oklahoma State University, Effective Management from Harvard University, Electrical Design from University of Texas Arlington.

Given my education, background and experience, I am an expert regarding communications equipment and, in particular, regarding the communications equipment necessary for Crown Castle to pursue the current planned installation of a DAS network in Ft. Lauderdale. The communications service facility (Facility) that is described in the attached right-of-way permit application is necessary for the current DAS network. The Facility will house active electronics. Based upon my expertise, I hereby certify that placing the Facility below grade is technologically infeasible, that a below grade facility is not available in the marketplace and that all reasonable alternatives have been exhausted. Accordingly, Crown Castle requests an exemption from the below grade requirement contained in Section 25-100.1(b) of the city's code.

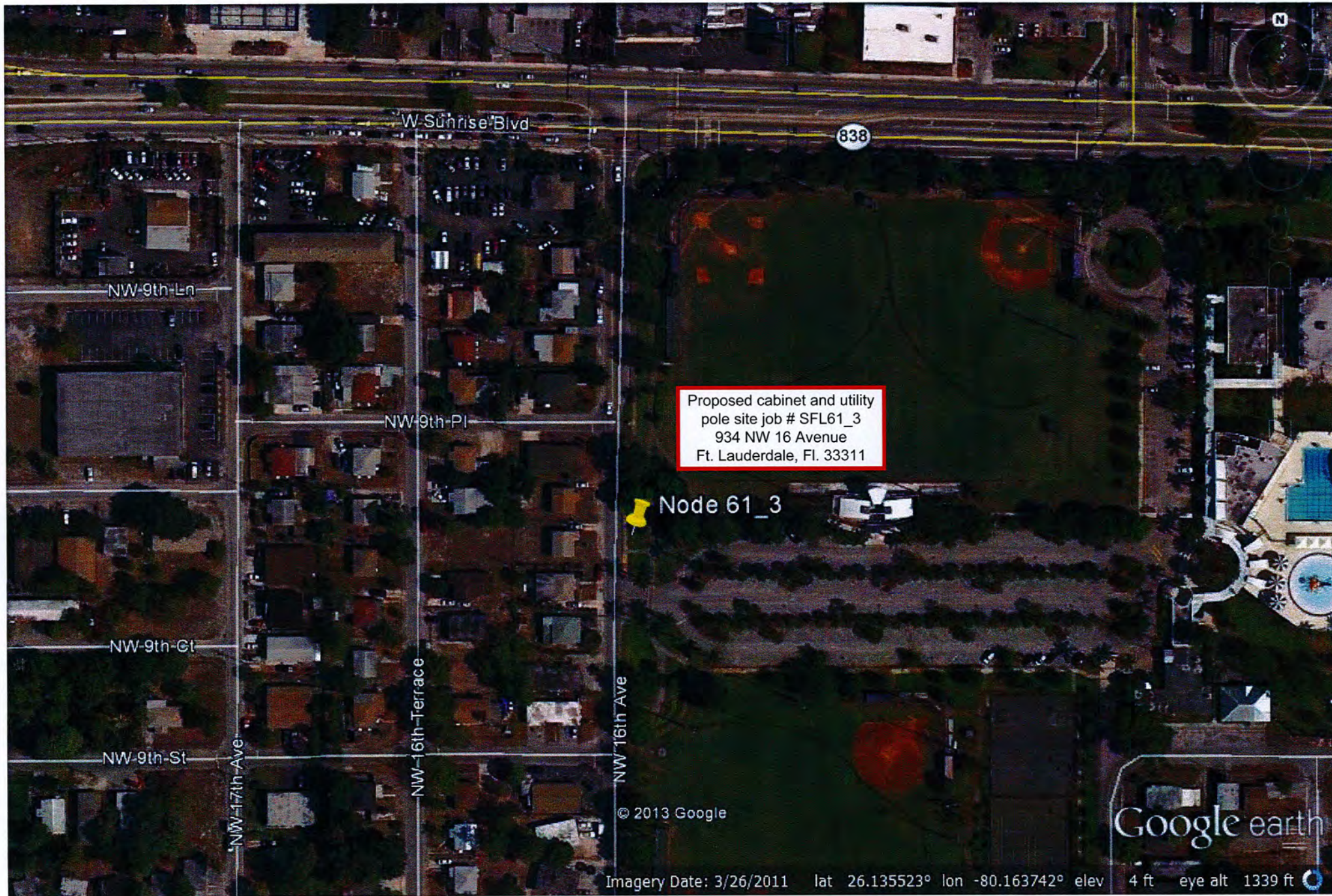


Wayne W. Waldron
Director of Implementation
Southeastern Region

Crown Castle NG East Inc. Graffiti Mitigation Plan

Pursuant to the City of Ft. Lauderdale's Communications Service Facility Right-of-Way Ordinance No. C-07-108, this Graffiti Mitigation Plan describes how Crown Castle NG East Inc. ("Crown Castle") will maintain communications service facilities governed by the Ordinance free from graffiti, including inspecting them no less frequently than every 90 days and removing graffiti within 7 working days from receipt of notice thereof from the City.

Crown Castle removes graffiti found on its equipment cabinets, including when graffiti is found by Crown Castle personnel or brought to Crown Castle's attention by other parties. Crown Castle removes graffiti with either mineral spirits or paint thinner. A rag is soaked with the solvent and rubbed lightly over graffiti. The solvents will remove spray paint and permanent marker, which are the most difficult forms of graffiti to remove. In cases where the graffiti cannot be cleaned or where Crown Castle determines that paint is the better option, matching paint is applied. The Crown Castle contact person for graffiti issues is Armando Hernandez. His contact information is: office: 786 899-5914 Cell: 813 447-0333.



Proposed cabinet and utility
pole site job # SFL61_3
934 NW 16 Avenue
Ft. Lauderdale, FL 33311

Node 61_3

© 2013 Google

Google earth

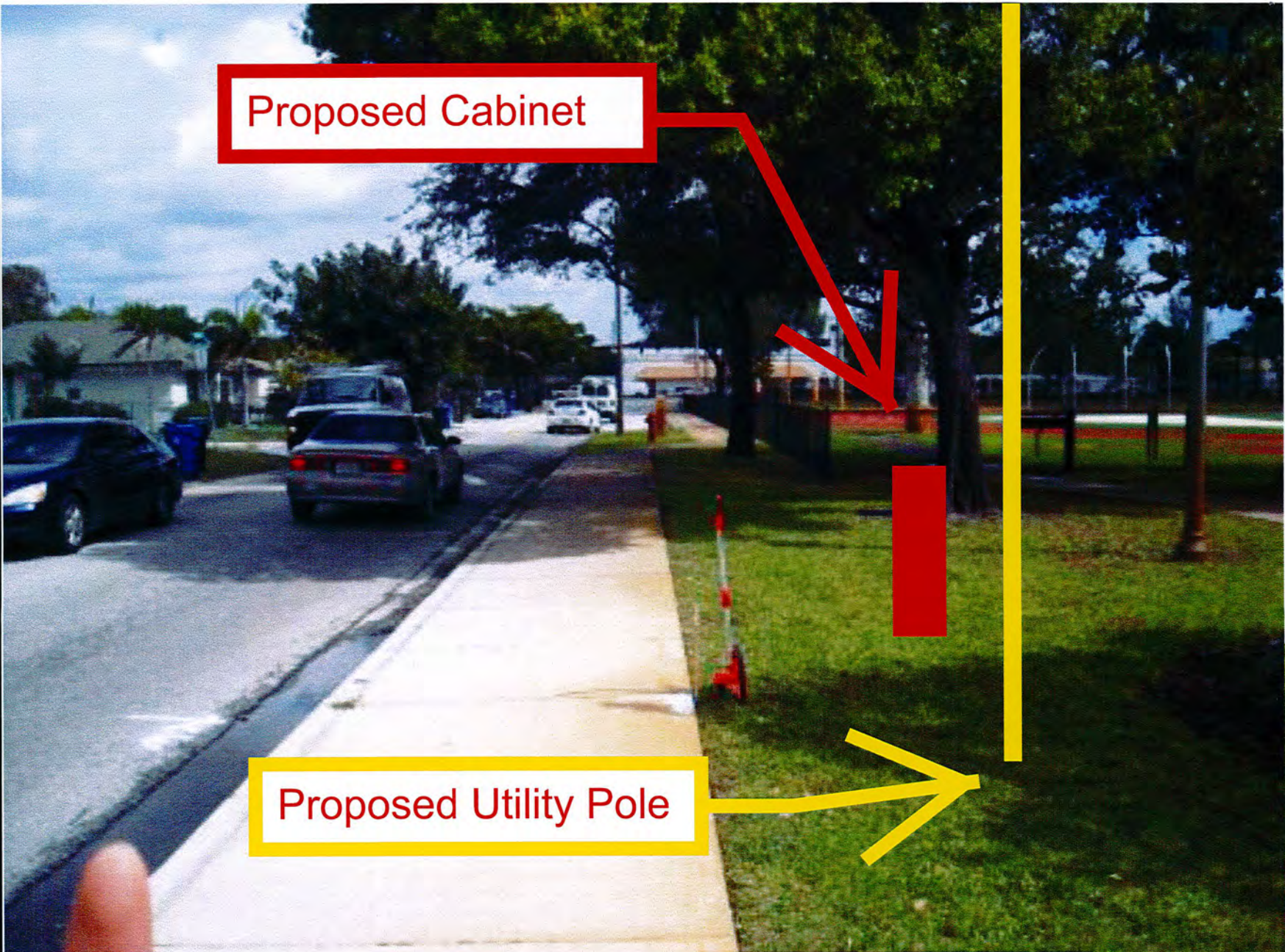
Imagery Date: 3/26/2011 lat 26.135523° lon -80.163742° elev 4 ft eye alt 1339 ft

Proposed Utility Pole



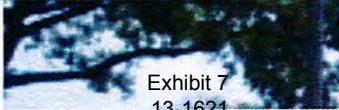
Proposed Cabinet

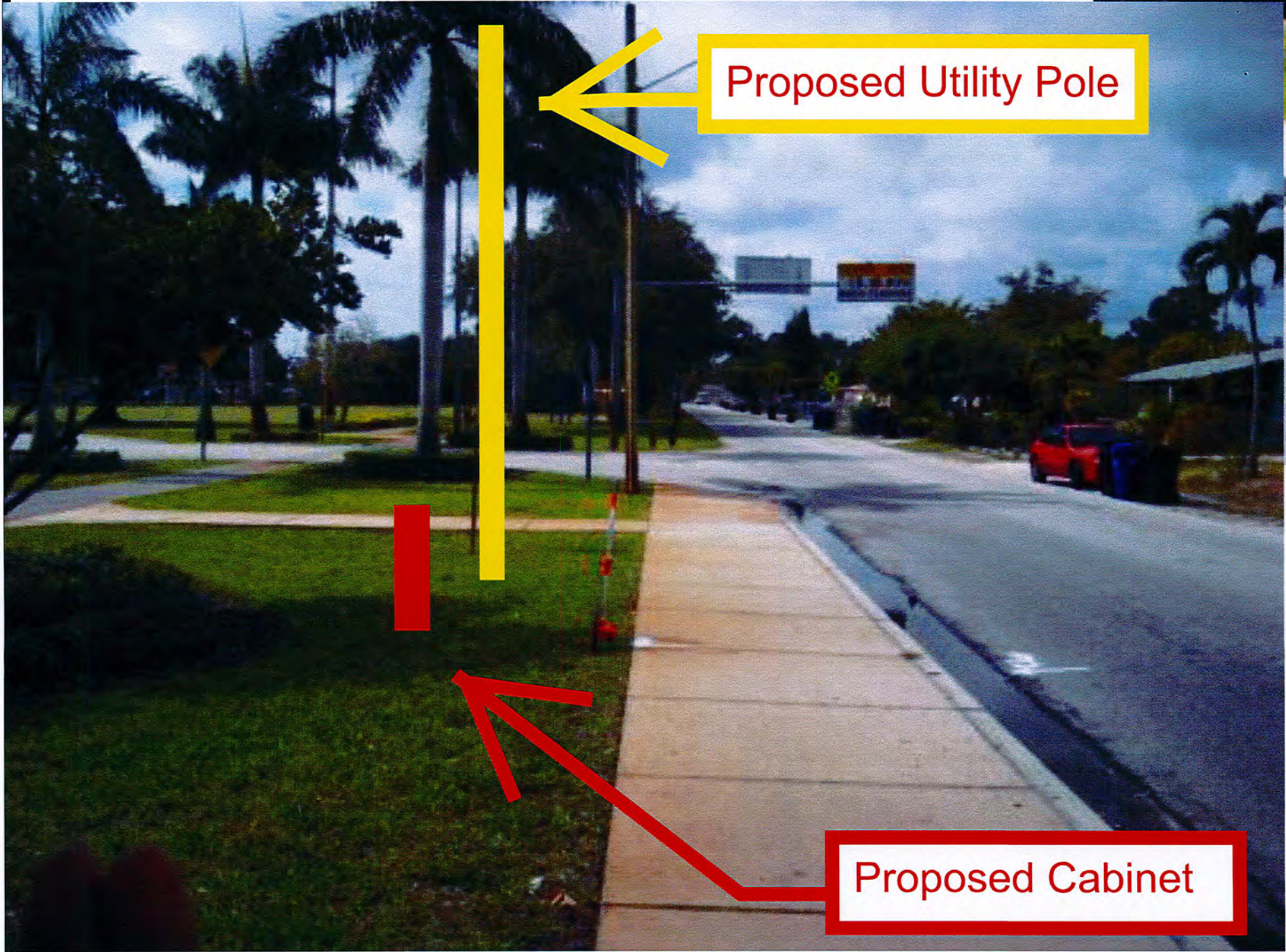




Proposed Cabinet

Proposed Utility Pole

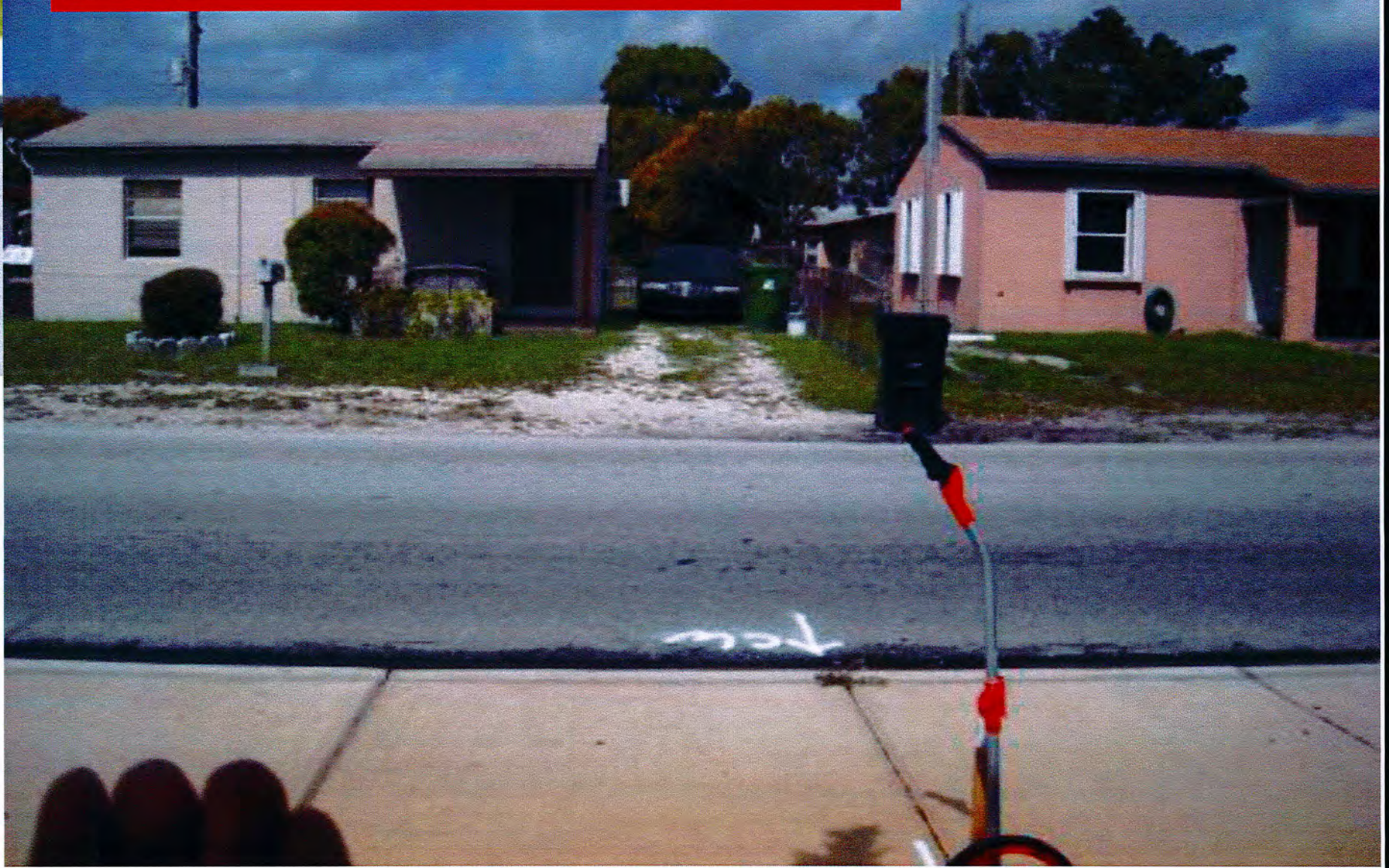


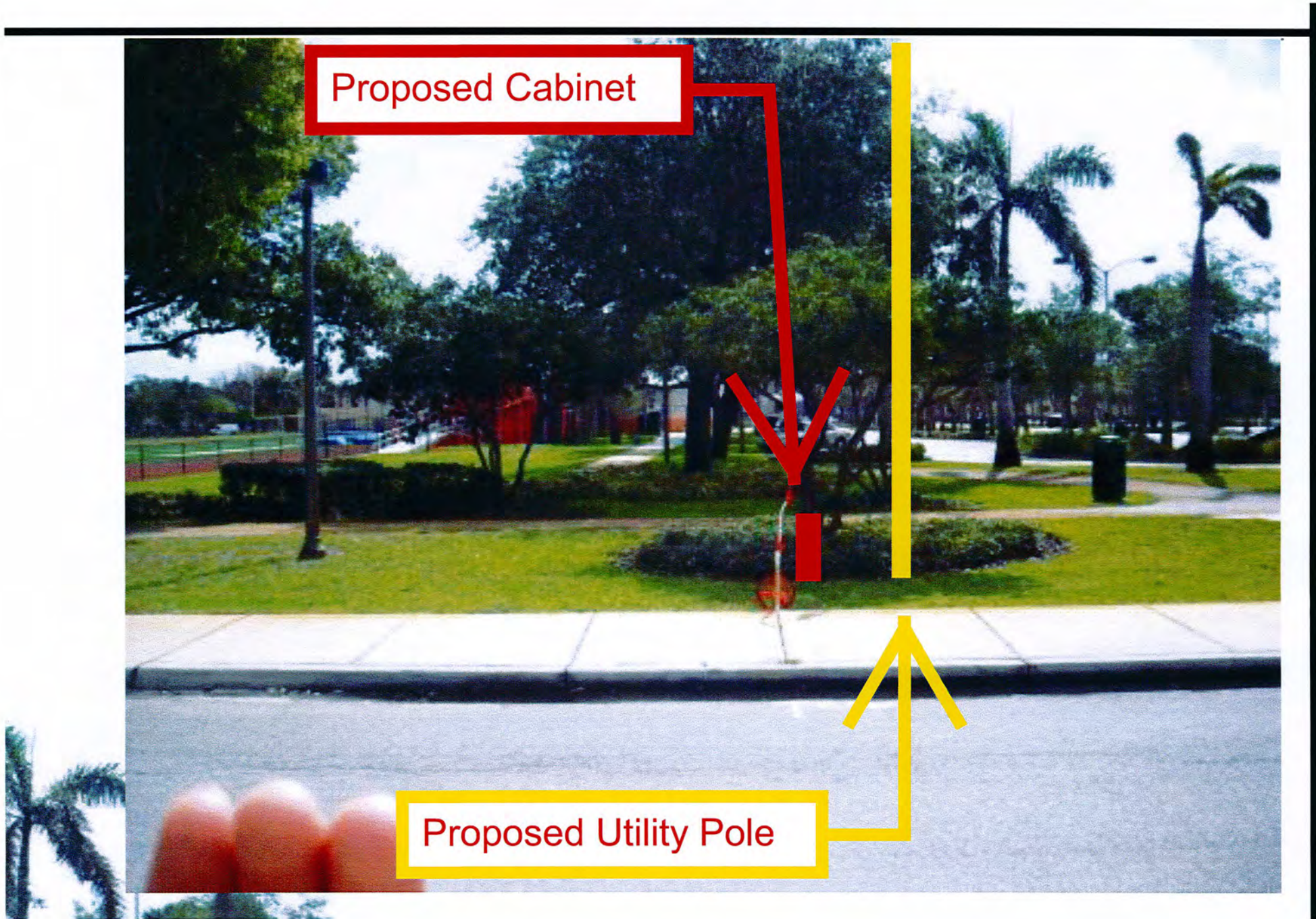


Proposed Utility Pole

Proposed Cabinet

Looking West from proposed location





Proposed Cabinet

Proposed Utility Pole

May 16, 2013

**Notice of Right-of-Way Permit Application
Submitted to City of Ft. Lauderdale**

Dear Abe Irving,

This letter is to inform you that Crown Castle NG East Inc. has submitted a right-of-way permit application to the City of Ft. Lauderdale for the placement of a communications facility in City rights-of-way adjacent to the following property address: 934 NW 16th Avenue Fort Lauderdale, Fl. 33311

Crown Castle NG East Inc. is sending this notice to you as provided in City Ordinance No. C-07-108, which requires that notice of right-of-way permit application for the communications facility be provided to certain parties in the vicinity of the right-of-way.

A drawing showing the proposed placement and location is attached. The permit application may be reviewed at the City engineer's Office located at City Hall 100 N. Andrews Avenue.

The communications facility will enable Crown Castle NG East Inc. to offer new and enhanced communications services to customers in your neighborhood.

If you have any questions, please feel free to contact me at (305) 728-0154

Sincerely,

Armando Hernandez

Site Development Manager

Crown Castle NG East Inc.

May 16, 2013

**Notice of Right-of-Way Permit Application
Submitted to City of Ft. Lauderdale**

Dear Carl & Kiyoko Hickey,

This letter is to inform you that Crown Castle NG East Inc. has submitted a right-of-way permit application to the City of Ft. Lauderdale for the placement of a communications facility in City rights-of-way adjacent to the following property address: 934 NW 16th Avenue Fort Lauderdale, Fl. 33311

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Armando Hernandez

Site Development Manager

Crown Castle NG East Inc.

May 16, 2013

**Notice of Right-of-Way Permit Application
Submitted to City of Ft. Lauderdale**

Dear Joyce Ann Fernandez,

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Sincerely,

Armando Hernandez

Site Development Manager

Crown Castle NG East Inc.

May 16, 2013

**Notice of Right-of-Way Permit Application
Submitted to City of Ft. Lauderdale**

Laurentm LLC,

This letter is to inform you that Crown Castle NG East Inc. has submitted a right-of-way permit application to the City of Ft. Lauderdale for the placement of a communications facility in City rights-of-way adjacent to the following property address: 934 NW 16th Avenue Fort Lauderdale, Fl. 33311

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Sincerely,

Armando Hernandez

Site Development Manager

Crown Castle NG East Inc.

May 16, 2013

**Notice of Right-of-Way Permit Application
Submitted to City of Ft. Lauderdale**

Dear Nyree Kelly & Nyecha Kelly,

This letter is to inform you that Crown Castle NG East Inc. has submitted a right-of-way permit application to the City of Ft. Lauderdale for the placement of a communications facility in City rights-of-way adjacent to the following property address: 934 NW 16th Avenue Fort Lauderdale, Fl. 33311

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Sincerely,

Armando Hernandez

Site Development Manager

Crown Castle NG East Inc.

May 16, 2013

**Notice of Right-of-Way Permit Application
Submitted to City of Ft. Lauderdale**

Durrs Community Association, Inc.,

This letter is to inform you that Crown Castle NG East Inc. has submitted a right-of-way permit application to the City of Ft. Lauderdale for the placement of a communications facility in City rights-of-way adjacent to the following property address: 934 NW 16th Avenue Fort Lauderdale, FL. 33311

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Sincerely,

Armando Hernandez

Site Development Manager

Crown Castle NG East Inc.

TEMPORARY MODIFICATION OF TRAFFIC (MOT) ROUTING FORM

DATE: 5/21/13

APPLICANT/ADDRESS/PHONE:
Crown Castle NG East, Inc.
8555 NW 64th Street
Miami, FL 33166
813-447-0333

PERMIT NO. _____
(PROVIDED BY CITY AT TIME OF PERMIT APPLICATION)

PROJECT NAME/ADDRESS: SFL 61.3

- This routing form should be completed and submitted as an attachment to the above-referenced permit (hereinafter "PERMIT").
- Obtaining signatures on this routing form does not constitute any approvals by the City. The MOT may be implemented only after issuance of the PERMIT, subject to satisfaction of all prerequisite conditions.
- This form is for MOT's within rights-of-way under City of Fort Lauderdale's jurisdiction. If the MOT or detour routes affect rights-of-way under Broward County jurisdiction, the County's form (available on the City website) should also be completed with the required signatures and attached. If the detours affect FDOT right-of-way, a permit from FDOT must be attached.
- If work is taking place in County or FDOT R/W, an MOT permit is not required from the City. However, PERMIT applicant (hereinafter APPLICANT) is asked to provide two weeks advance notice of any closures or detours to the City's Public Information Office.

Specific dates and times requested for MOT implementation:

Begin _____ End _____

Describe Work, including location of site and address, names of affected streets, why MOT is necessary, nature of the construction, deliveries, staging areas, if cranes will be used, etc. (staging and storage of materials/equipment are not permitted in the right-of-way). Please note if additional sheets have been attached for the description of work.

934 NW 16th Avenue approximately 135' South of NW 9th Place. Work on shoulder and sidewalk closure. Place new telecommunications cabinet and new 45' wood utility pole. Attach Crown Castle antenna to new 45' wood utility pole.

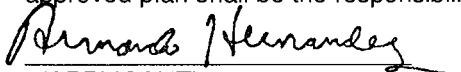
Describe MOT, the number of lanes affected on each street, if metered parking spaces will be displaced, if detours are necessary, if flagmen will be provided, if MOT will be full-time (or times of day the MOT is to be in effect) and any other special considerations related to this request. Please note if additional sheets have been attached for the description of MOT.

FDOT 602 & 660 attached. Daily work hours 8am - 4pm.

Attach: MOT plan prepared by a certified worksite traffic control technician or traffic control supervisor (as appropriate for the complexity of the job), with a copy of current certification.

If implementation of an approved PERMIT is found to adversely affect public safety and/or public convenience or there is a conflict with a higher public purpose, the APPLICANT may be required to modify the MOT plan or the PERMIT may be temporarily suspended or permanently revoked at any time with reasonable notice from the City.

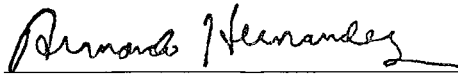
The MOT plan shall be in accordance with provisions of the latest edition of Part IV of the Manual of Uniform Traffic Control Devices for Streets and Highways and FDOT Design Standards. Compliance with the requirements of the approved plan shall be the responsibility of the APPLICANT.

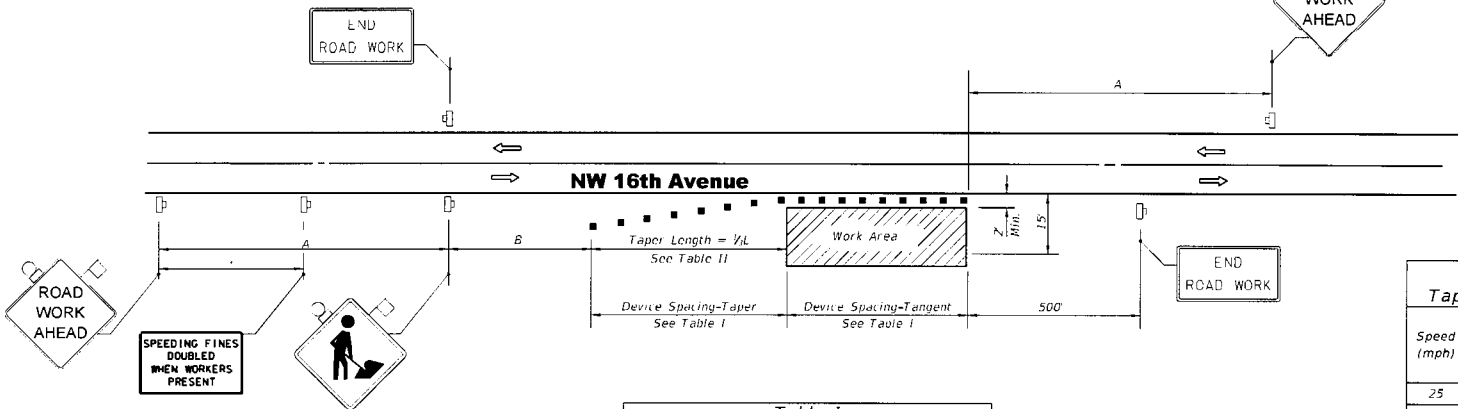
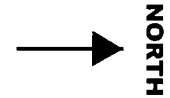

(APPLICANT)

Armando Hernandez / Site Development Manager
(Print Name/Title)

As a consideration for the permission granted herein, Armando Hernandez (APPLICANT) agrees to indemnify and hold harmless the City of Fort Lauderdale for any damages, claims or injuries that may result from the MOT plan approved under the PERMIT.

Crown Castle NG East, Inc.
(Name of Company)

By: 
(Company Officer, President, or Authorized Agent)



Speed	Spacing (ft.)	
	A	B
40 mph or less	200	200
45 mph	350	350
50 mph or greater	500	500

*Midway between signs.

Speed (mph)	Max. Distance Between Devices (ft.)			
	Cones or Tubular Markers		Type I or Type II Barricades or Vertical Panels or Drums	
	Taper	Tangent	Taper	Tangent
25	25	50	25	50
30 to 45	25	50	30	50
50 to 70	25	50	50	100

Speed (mph)	1/2 L (ft)			Notes
	8' Shldr.	10' Shldr.	12' Shldr.	
25	28	35	42	L = WS / 60
30	40	50	60	
35	55	68	82	
40	72	90	107	
45	120	150	180	L = WS
50	133	167	200	
55	147	183	220	
60	160	200	240	
65	173	217	260	
70	187	233	280	

8' minimum shoulder width

1/2 L = Length of shoulder taper in feet

W = Width of total shoulder in feet (combined paved and unpaved width)

S = Posted speed limit (mph)

SYMBOLS

- Work Area
- Sign With 18" x 18" (Min) Orange Flag And Type B Light
- Channelizing Device (See Index No. 600)
- Work Zone Sign
- Lane Identification + Direction of Traffic

GENERAL NOTES

- When four or more work vehicles enter the through traffic lanes in a one hour period or less (excluding establishing and terminating the work area), the advanced FLAGGER sign shall be substituted for the WORKERS sign. For location of flaggers and FLAGGER signs, see Index No. 603.
- SHOULDER WORK sign may be used as an alternate to the WORKER symbol sign only on the side where the shoulder work is being performed.
- When a side road intersects the highway within the TTC zone, additional TTC devices shall be placed in accordance with other applicable TCZ indexes.
- For general TCZ requirements and additional information, refer to Index No. 600.

DURATION NOTES

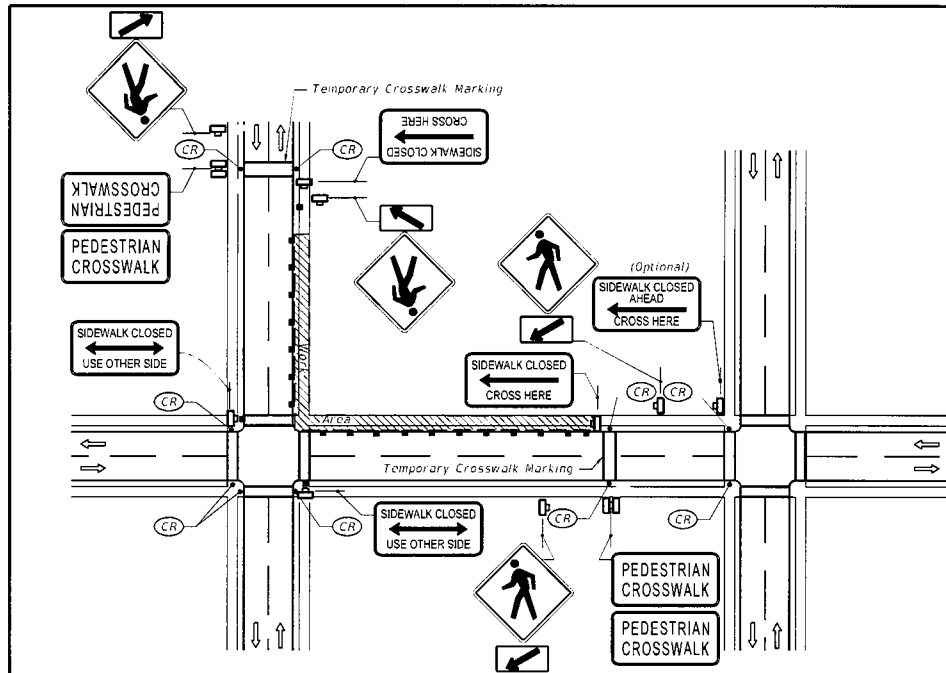
- Signs and channelizing devices may be omitted if all of the following conditions are met:
 - Work operations are 60 minutes or less.
 - Vehicles in the work area have high-intensity, rotating, flashing, oscillating, or strobe lights operating.

CONDITIONS

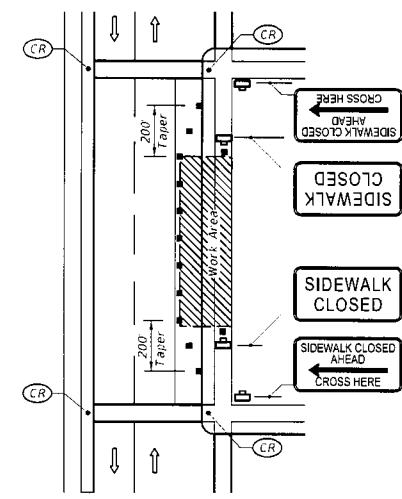
WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCROACH THE AREA CLOSER THAN 15' BUT NOT CLOSER THAN 2' TO THE EDGE OF TRAVEL WAY.

6/28/2012 2:54:42 PM C:\96606 C:\96606\11\ARTISTS\13\135066_00800\SYMBOLS\01.dwg

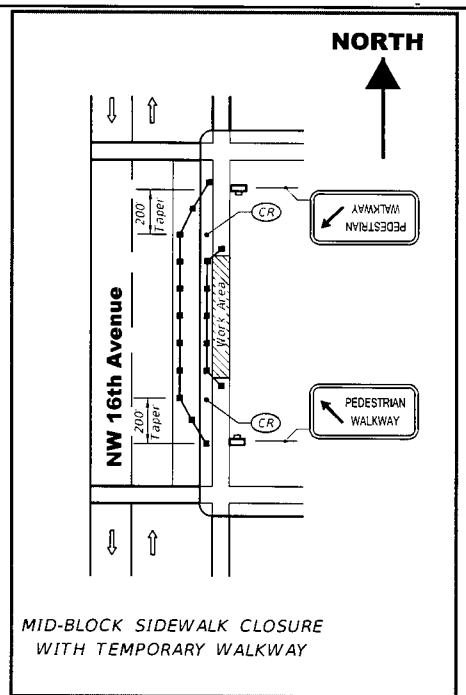
LAST REVISION 07/01/12	DESCRIPTION:		FDOT DESIGN STANDARDS 2013	TWO-LANE, TWO-WAY, WORK ON SHOULDER	INOE NO. 602	SHEET NO. 1
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CORNER SIDEWALK CLOSURE WITH TEMPORARY CROSSWALKS



MID-BLOCK SIDEWALK CLOSURE



MID-BLOCK SIDEWALK CLOSURE WITH TEMPORARY WALKWAY

GENERAL NOTES

1. Only the signs controlling pedestrian flows are shown. Other work zone signs will be needed to control traffic on the streets.
2. For spacing of traffic control devices and general TCZ requirements refer to Index No. 600. Maximum spacing between barricades, vertical panels, drums or tubular markers shall not be greater than 25'.
3. Street lighting should be considered.
4. For nighttime closures use Type A flashing warning lights on barricades supporting signs and closing sidewalks. Use Type C steady-burn lights on channelizing devices separating the work area from vehicular traffic.
5. Pedestrian traffic signal display controlling closed crosswalks shall be covered or deactivated.
6. Post Mounted Signs located near or adjacent to a sidewalk shall have a 7' minimum clearance from the bottom of sign to the sidewalk.
7. When construction activities involve sidewalks on both sides of the street, efforts should be made to stage the construction so that both sidewalks are not out of service at the same time.
8. In the event that sidewalks on both sides of the street are closed, pedestrians shall be guided around the construction zone.
9. Temporary walkways shall be a minimum of 4' wide with a maximum 0.02 cross slope and a maximum 0.05 running slope between ramps. Temporary walkways less than 5' in width shall provide for a 5' x 5' passing space at intervals not to exceed 200'. Temporary ramps shall meet the requirements for curb ramps specified in Index No. 304. Temporary walkway surfaces and ramps shall be stable, firm, slip resistant, and kept free of any obstructions and hazards such as holes, debris, mud, construction equipment, stored materials, etc.
10. Temporary ramps and temporary crosswalk markings shall be removed with reopening of the sidewalk, unless otherwise noted in the plans. All work and materials associated with constructing temporary curb ramps and temporary crosswalk markings, removal and disposal of temporary curb ramps and temporary crosswalk markings, and restoration to original condition shall be paid for as Maintenance of Traffic, Lump Sum.

CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT WORKERS OR THEIR ACTIVITIES ENCR OACH ON THE SIDEWALK FOR A PERIOD OF MORE THAN 60 MINUTES.

5/26/2012 7:46:34 PM 120606 2. C. P. Street Services Laboratory, 05600, s103560.01.dwg

SYMBOLS

- Work Area
- Channelizing Device (See Index No. 600)
- Work Zone Sign
- Required Locations For Either Temporary Or Permanent Curb Ramps.
- Lane Identification + Direction of Traffic
- Pedestrian Longitudinal Channelizing Device

LAST REVISION	DESCRIPTION:
07/01/12	

REVISION	DESCRIPTION:



FDOT DESIGN STANDARDS 2013

PEDESTRIAN CONTROL FOR CLOSURE OF SIDEWALKS

INDEX NO. 660

SHEET NO. 1



CROWN CASTLE SFL61_3

CLIENT :

CLIENT SITE ID#:

ADDRESS: 934 NW 16TH AVENUE
FORT LAUDERDALE, FL 33311

SITE TYPE: **NEW CONCRETE POLE**

PROPERTY INFORMATION

SITE COORDINATES: 26.135228°
-80.163885°
JURISDICTION: CITY OF FORT LAUDERDALE

PROPERTY OWNER: CROWN CASTLE
ADDRESS: 8555 NW 64TH STREET
MIAMI, FL 33166

PROJECT TEAM

PROJECT MANAGEMENT FIRM: CROWN CASTLE
ADDRESS: 8555 NW 64TH STREET
MIAMI, FL 33166

ENGINEERING FIRM: AW SOLUTIONS, INC.
ADDRESS: 300 CROWN OAK CENTRE DR.
LONGWOOD, FL 32750
CONTACT: SHANE HAFNER
PHONE: 407.260.0231 EXT. 120
FLORIDA COA#: 26983

DESIGN CRITERIA:

- FLORIDA BUILDING CODE 2010 AND ASCE 7-10. WIND LOAD PER ASCE 7-10.
 - ULTIMATE WIND SPEED: 170 MPH.
 - BUILDING RISK CATEGORY: II.
 - WIND EXPOSURE: C.
- DEAD LOAD:
 - EQUIPMENT WEIGHT PER MANUFACTURER DATA.
- SEISMIC LOAD DOES NOT GOVERN THIS DESIGN.

DRAWING INDEX

SHEET	SHEET DESCRIPTION	REV
T1	TITLE SHEET	1
C1	SITE PLAN	1
C1.1	SITE PLAN ENLARGEMENT	1
C1.2	LANDSCAPE MITIGATION PLAN	1
C2	ELEVATION	1
C3	DETAILS	1
C4	DETAILS	1
SP1	SPECIFICATIONS	1
SP2	SPECIFICATIONS	1

APPROVALS

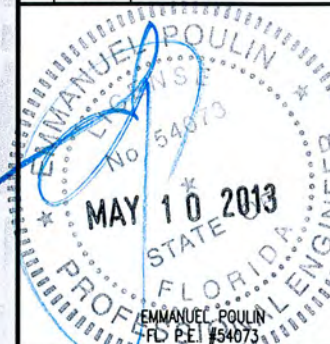
PROJECT MANAGER: _____ DATE: _____
CARRIER: _____
UTILITY: _____



DRAWN BY: CC CHECKED BY: JD

REV	DATE	DESCRIPTION
1	05/06/13	REVISED PER COMMENTS
0	10/30/12	ISSUED FOR PERMIT

REV DATE DESCRIPTION



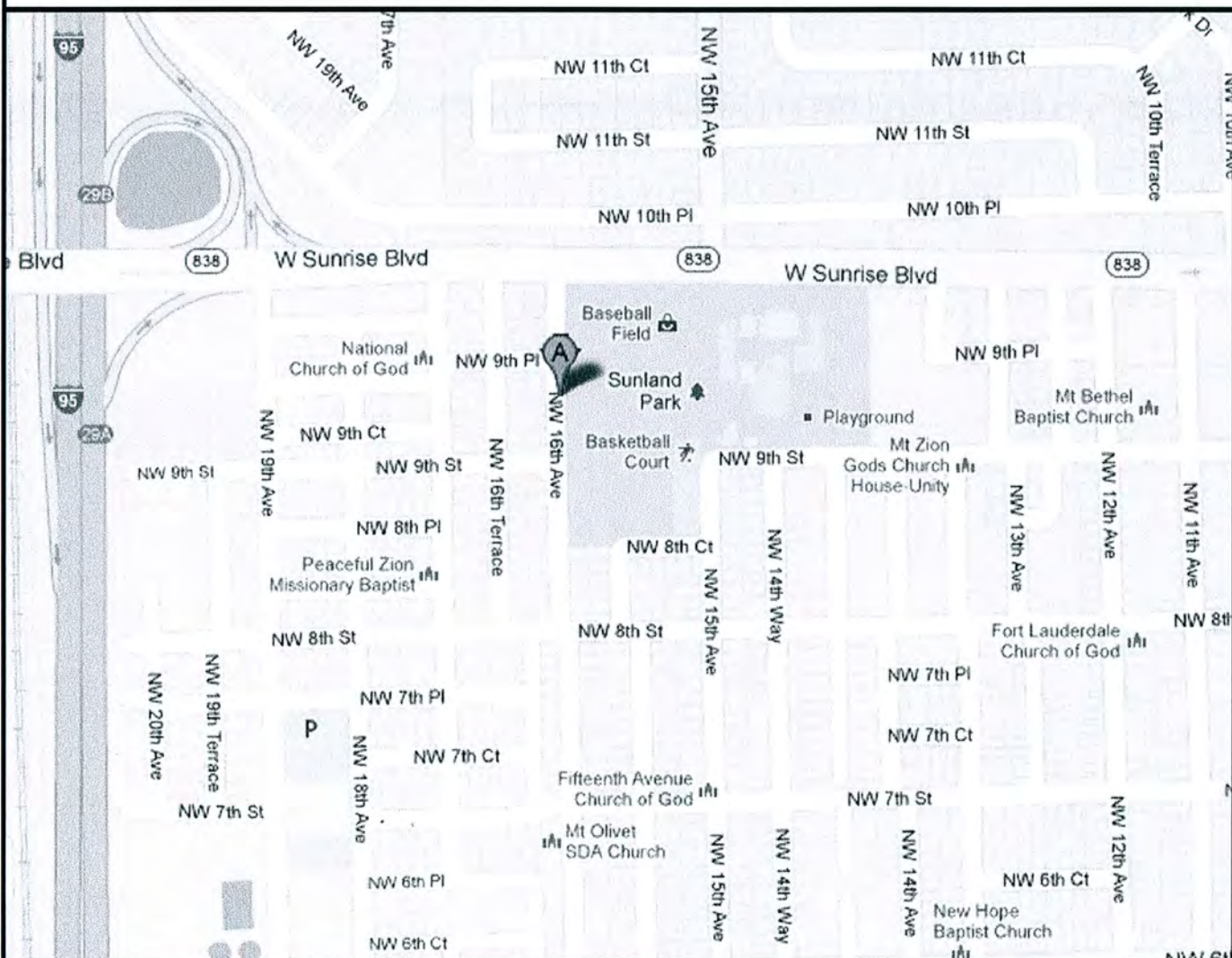
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FORT LAUDERDALE, FL 33311

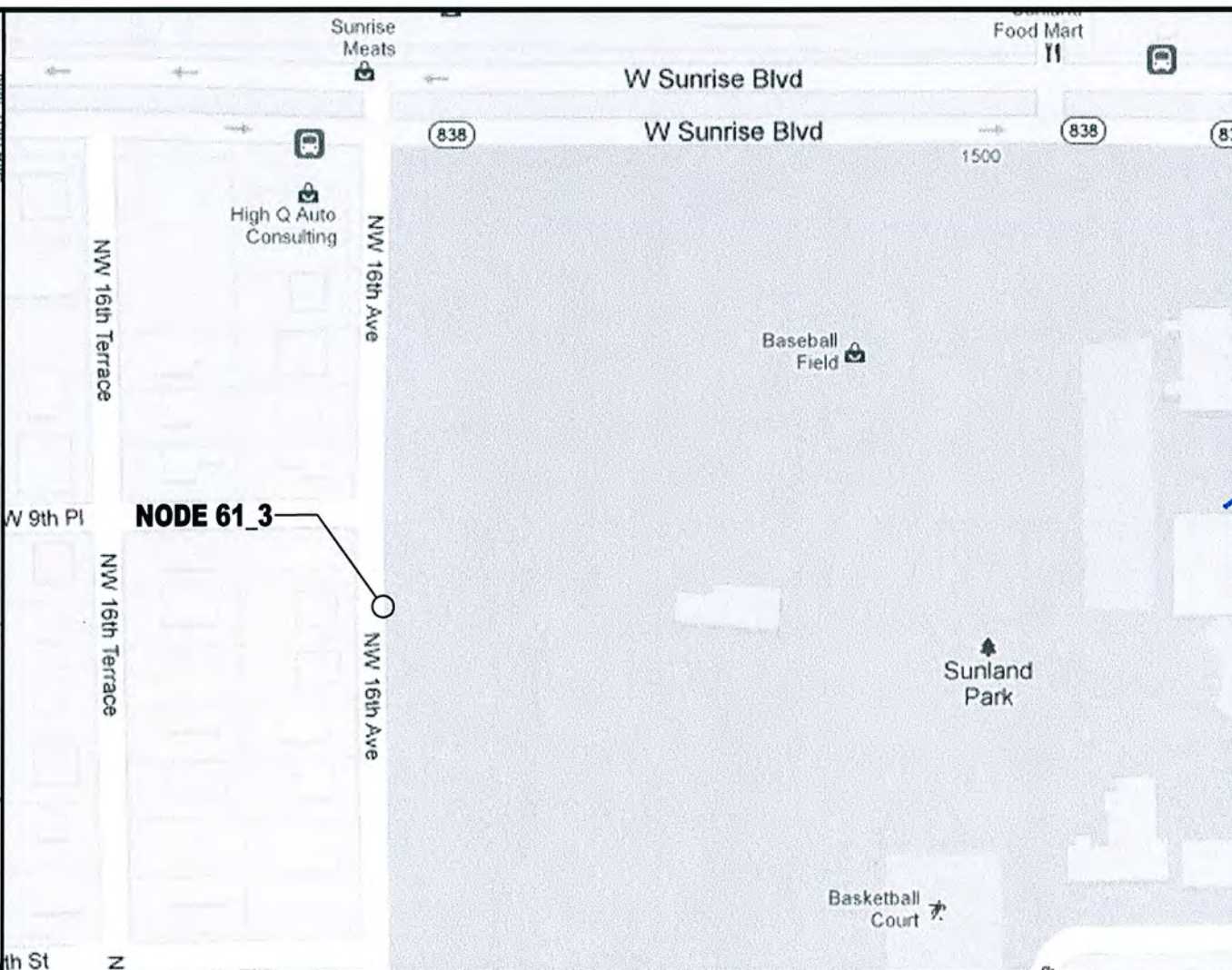
SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T1



DRIVING DIRECTIONS **GENERAL VICINITY MAP**

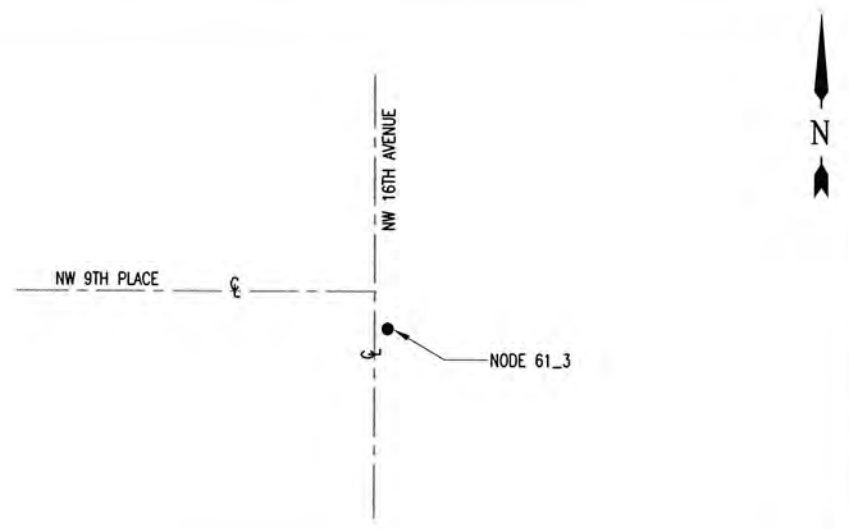
FROM THE CROWN CASTLE OFFICE IN MIAMI, HEAD WEST ON NW 64TH ST TOWARD NW 87TH AVENUE. TURN RIGHT ONTO NW 87TH AVENUE. TURN RIGHT ONTO NW 74TH STREET. TURN LEFT TO MERGE ONTO FL-826 NORTH. TAKE THE EXIT TOWARD FL-826 E/BEACHES. MERGE ONTO FL-826 EAST. TURN LEFT ONTO NW 2ND AVENUE (SIGNS FOR INTERSTATE 95 N). TAKE THE RAMP ON THE LEFT ONTO I-95 NORTH. TAKE EXIT 29A TO MERGE ONTO FL-838 E/W SUNRISE BOULEVARD. TURN RIGHT ONTO NW 16TH AVENUE. DESTINATION WILL BE ON THE LEFT.



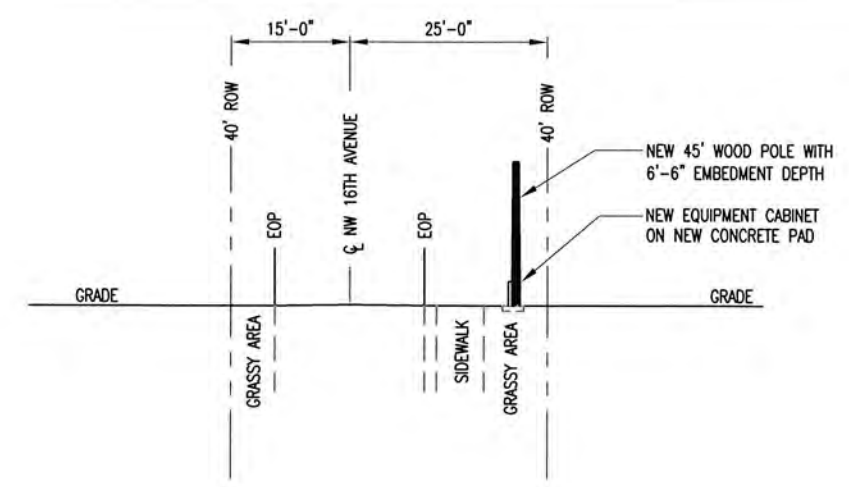
SPECIFIC LOCATION MAP



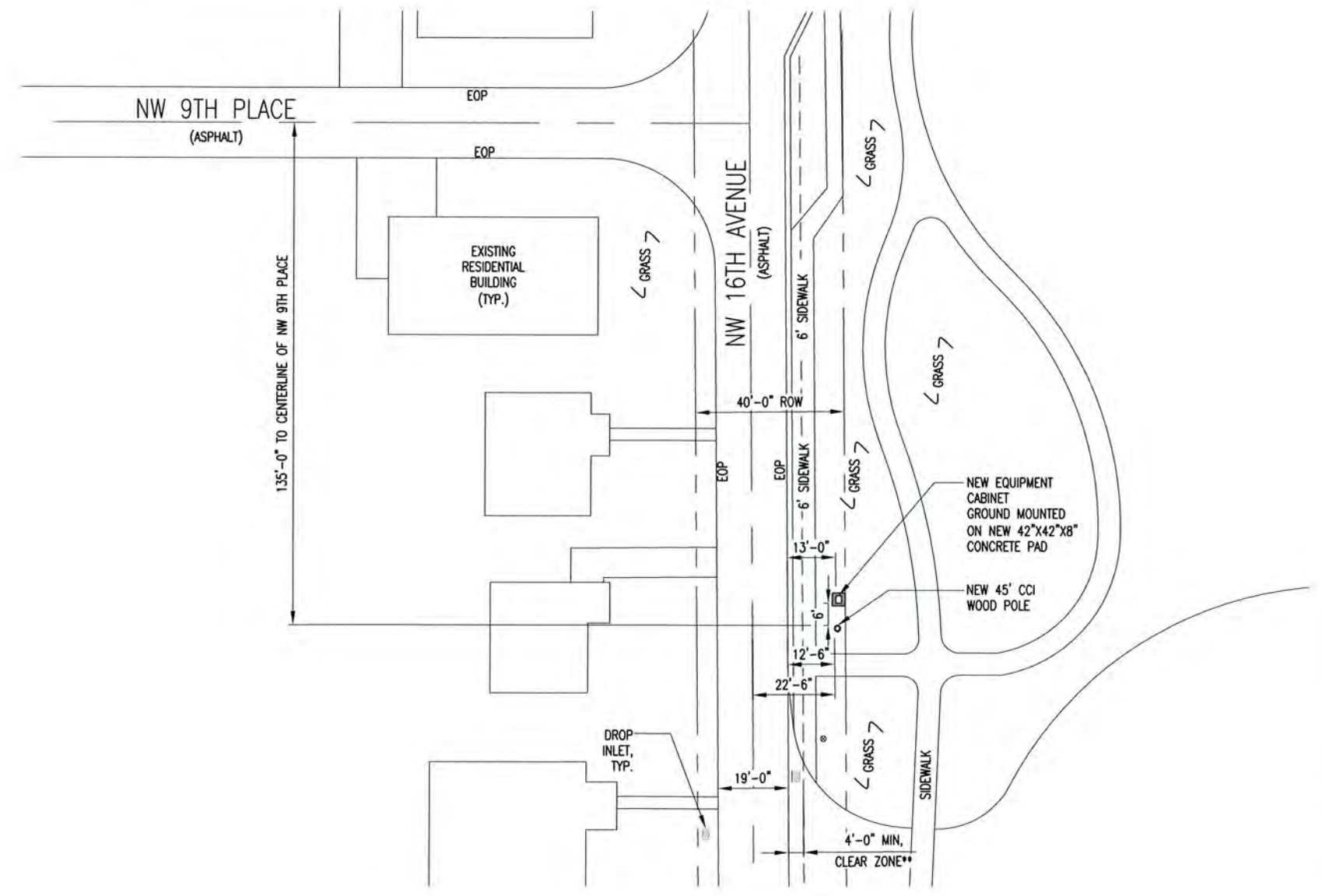
UNDERGROUND SERVICE ALERT
CALL TOLL FREE
1-800-432-4770
48 HOURS BEFORE YOU DIG



1 LOCATION SKETCH
SCALE: NTS



2 TYPICAL PROFILE VIEW
SCALE: NTS



3 PLAN VIEW
SCALE: NTS

** MINIMUM CLEAR ZONES ILLUSTRATED USING DESIGN GUIDELINES FROM FDOT FLORIDA GREENBOOK, MAY 2007 EDITION

POSTED SPEED LIMIT:
25MPH



UNDERGROUND SERVICE ALERT
CALL TOLL FREE 1-800-432-4770
48 HOURS BEFORE YOU DIG

- NOTES:**
- CONTRACTOR SHALL MAINTAIN UNINTERRUPTED ACCESS TO ALL DRIVEWAYS, SIDE STREETS AND WALKWAYS AT ALL TIMES UNLESS OTHERWISE PERMITTED.
 - CONTRACTOR SHALL PREPARE A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN FOR PEDESTRIAN TRAFFIC AND WORK WITHIN THE RIGHT-OF-WAY, INCLUDING VEHICLE PARKING AND EQUIPMENT STAGING.
 - CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO ORIGINAL CONDITION OR BETTER.

SYMBOL LEGEND

— E — POWER CONDUIT	— SS — STORM
— T — TELCO CONDUIT	⊗ UTILITY POLE
— PROPOSED FIBER CONDUIT	⊙ HYDRANT
— OHE — OVERHEAD CONDUCTORS	⊙ (M) MANHOLE
— G — GROUNDING	— CENTERLINE OF ROAD
— X — FENCE	○ PROPOSED WOOD POLE
— W — WATER	□ PROPOSED CONCRETE UTILITY POLE
— S — SEWER	
— GAS — GAS	

1 ← REPRESENTS DETAIL #
C7 ← REPRESENTS SHEET #

NOTE 1 ← REPRESENTS NOTE
SHT E7 ← REPRESENTS SHEET #



300 CROWN OAK CENTRE DRIVE
LONGWOOD, FL 32750
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FL COA#: 26983

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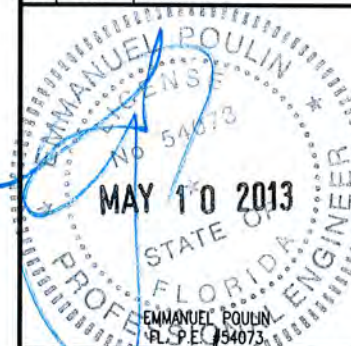
ADDRESS: 934 NW 16TH AVENUE
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SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C1

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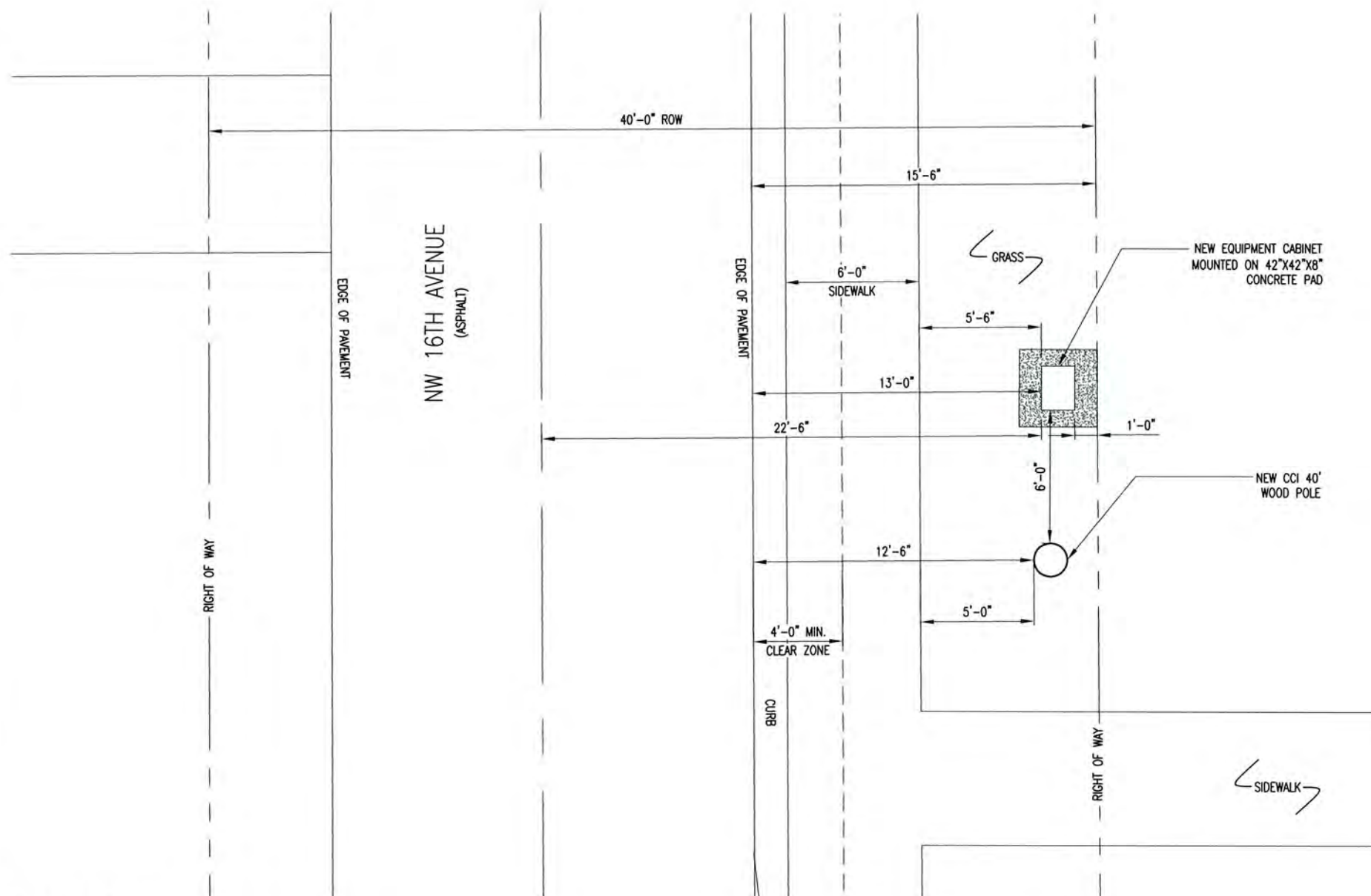
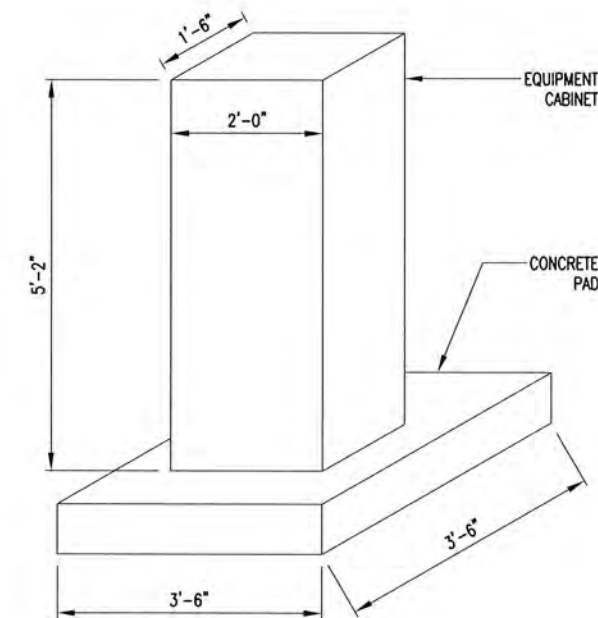


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 FORT LAUDERDALE, FL 33311

SHEET TITLE:
SITE PLAN ENLARGEMENT

SHEET NUMBER:
C1.1



UNDERGROUND SERVICE ALERT
 CALL TOLL FREE 1-800-432-4770
 48 HOURS BEFORE YOU DIG

- NOTES:**
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— W — WATER	
— S — SEWER	
— GAS — GAS	

1 — REPRESENTS DETAIL #	NOTE 1 — REPRESENTS NOTE
C7 — REPRESENTS SHEET #	SHT E7 — REPRESENTS SHEET #

1 - GENERAL PROVISIONS
1.1 - CONTRACT OVERVIEW

1. THE INTENTION OF THE DOCUMENTS IS TO SHOW THE COMPLETE INSTALLATION AND TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY, WHETHER OR NOT SPECIFICALLY INDICATED, FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS STATED IN THE CONTRACT. THE INTENT OF THIS DOCUMENT IS NOT TO DESIGNATE THE PLANS AND METHOD OF PROCEDURE OF THE WORK. THE CONTRACTOR SHALL SUPERVISE AND COORDINATE ALL WORK, USING HIS PROFESSIONAL KNOWLEDGE AND SKILLS. HE IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES, SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING CODES, STANDARDS AND SUPPLEMENTS:
• FBC - FLORIDA BUILDING CODE 2010
• ASC - AMERICAN INSTITUTE OF STEEL CONSTRUCTION SPECIFICATIONS
• IEEE - INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
• NEC - NATIONAL ELECTRICAL CODE
• NEMA - NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
• UL - UNDERWRITERS LABORATORIES
• NSPC - NATIONAL STANDARD PLUMBING CODE
• IMC - INTERNATIONAL MECHANICAL CODE
• NFPA - NATIONAL FIRE PROTECTION ASSOCIATION
• OSHA - OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
• NYS/TA - TELECOMMUNICATIONS INDUSTRY ASSOCIATION - 222-G STANDARD
• ALL GOVERNING STATE, COUNTY AND LOCAL CODES AND ORDINANCES
THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.

3. THE ENGINEERING DRAWINGS SHOW PRINCIPAL AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE ENGINEERING DRAWINGS DUE TO CHANGES AFFECTING EXISTING ELECTRICAL OR OTHER SYSTEMS. SUCH INCIDENTAL WORK IS ALSO A PART OF THIS CONTRACT. INSPECT THOSE AREAS AND ASCERTAIN WHAT IS NEEDED TO DO THAT WORK IN ACCORDANCE WITH THE CONTRACT REQUIREMENTS AT NO ADDITIONAL COST TO THE OWNER.

4. DO NOT SCALE DRAWINGS. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE.
5. MINOR DEVIATIONS FROM THE DESIGN LAYOUT ARE ANTICIPATED AND SHALL BE CONSIDERED AS PART OF THE WORK HOWEVER, NO CHANGE THAT ALTER THE CHARACTER INTENT OF THE DESIGN WILL BE MADE OR PERMITTED BY THE OWNER WITHOUT A CHANGE ORDER.
6. GENERAL ELECTRICAL AND ANTENNA DRAWINGS ARE INTERRELATED. IN PERFORMANCE OF THE WORK, EACH CONTRACTOR MUST REFER TO ALL DRAWINGS. ALL COORDINATION SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

7. THE GENERAL NOTES CONTAINED HEREIN ARE PART OF THE PLANS AND SPECIFICATIONS, AND ARE TO BE COMPLIED WITH IN ALL RESPECTS. THE MOST RESTRICTIVE NOTES SPECIFIED ARE TO TAKE PRECEDENCE. CERTAIN SECTIONS OF THE GENERAL NOTES MAY NOT APPLY TO EVERY SITE. THE CONTRACTOR IS TO COMPLY WITH ALL APPLICABLE GENERAL NOTES IN ALL RESPECTS.
8. ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENT TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.
9. REPRESENTATION OF THE TRUE NORTH OTHER THAN THOSE FOUND ON THE PLOT OF THE SURVEY DRAWING SHALL NOT BE USED TO IDENTIFY OR ESTABLISH THE BEARING OF THE TRUE NORTH AT THE SITE. THE CONTRACTOR SHALL RELY SOLELY ON THE PLOT OF THE SURVEY DRAWING AND ANY SURVEYOR'S MARKING AT THE SITE FOR THE ESTABLISHMENT OF THE TRUE NORTH, AND SHALL NOTIFY THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE CIVIL SURVEY. THE CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ENGINEER.



AW Solutions
INCORPORATED
300 CROWN OAK CENTRE DRIVE
LONGWOOD, FL 32750
TEL: 407.260.0231
FAX: 407.260.0749
FL COA#: 26983

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EMMANUEL POULIN
PROFESSIONAL ENGINEER
FL PE #54073
MAY 10 2013

SITE#: SFL61_3
ADDRESS: 934 NW 16TH AVENUE
FORT LAUDERDALE, FL 33311

SHEET TITLE: SPECIFICATIONS
SHEET NUMBER: SP1

11 - ELECTRICAL

- 11.1 GENERAL
1. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, TRANSPORTATION, CONSTRUCTION TOOLS, ETC., FOR THE INSTALLATION OF COMPLETE AND PROPERLY OPERATING SYSTEMS.
2. INSTALLATION SHALL COMPLY WITH ALL APPLICABLE LAWS AND ORDINANCES OF ALL AUTHORITIES HAVING JURISDICTION AND WITH ALL ASSOCIATED UTILITY COMPANY REGULATIONS AND APPLICABLE REQUIREMENTS.

- 11.2 INSPECTIONS
1. GENERAL: DURING AND UPON COMPLETION OF WORK, ARRANGE AND PAY ALL ASSOCIATED INSPECTIONS OF ALL ELECTRICAL WORK INSTALLED UNDER THIS CONTRACT IN ACCORDANCE WITH THE CONDITIONS OF THE CONTRACT.

- 11.3 HANGERS AND SUPPORTS
1. MATERIALS: ALL HANGERS, SUPPORTS, FASTENERS AND HARDWARE SHALL BE ZINC COATED OR OF EQUIVALENT CORROSION RESISTANCE BY TREATMENT OR INHERENT PROPERTY AND SHALL BE MANUFACTURED PRODUCTS DESIGNED FOR THE APPLICATION.

- 11.4 ENCLOSURES / WIREWAYS
1. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL, SHALL MEET OR EXCEED UL 50, AND BE RATED NEMA 1 (OR BETTER) INDOORS OR NEMA 3R (OR BETTER) OUTDOORS.

- 11.5 HOLES, SLEEVES AND OPENINGS
1. GENERAL: PROVIDE ALL HOLES, SLEEVES AND OPENINGS REQUIRED FOR THE COMPLETION OF WORK AND RESTORE ALL DAMAGED SURFACES TO MATCH SURROUNDING SURFACES.

- 11.6 EQUIPMENT
1. THE MAIN CIRCUIT BREAKER SHALL BE RATED FOR STANDARD A.I.C. RATING HIGHER THAN INCOMING EQUIPMENT A.I.C. ALL EQUIPMENT SHALL BE BRACED FOR STANDARD A.I.C. RATING HIGHER THAN INCOMING FROM UTILITY CO.

- 11.7 ELECTRICAL SERVICE
1. GENERAL: COMPLY WITH AND CO-ORDINATE ALL REQUIREMENTS OF THE UTILITY COMPANY.

- 11.8 TELEPHONE SERVICES
1. GENERAL: INSTALLATION SHALL BE IN ACCORDANCE WITH TELEPHONE UTILITY COMPANY'S RULES AND REGULATIONS.

- 11.9 CHECKOUT, TESTING AND ADJUSTING
1. CORRECTION/REPLACEMENT: AFTER TESTING BY CONTRACTOR, OWNER OR ENGINEER, CORRECT ANY DEFICIENCIES AND REPLACE MATERIALS AND EQUIPMENT SHOWN TO BE DEFECTIVE OR UNABLE TO PERFORM AT DESIGN OR RATED CAPACITY.

- 11.10 RACEWAY SYSTEMS / CONDUIT
1. UNDERGROUND CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT. UNDERGROUND PVC CONDUIT SHALL TRANSITION TO RIGID GALVANIZED STEEL CONDUIT OR SCHEDULE 80 PVC CONDUIT BEFORE RESING ABOVE GRADE OR CONCRETE SLAB.

USING SKILLED MECHANICS OF THE TRADES INVOLVED. DO NOT CUT MAJOR STRUCTURAL ELEMENTS WITHOUT APPROVAL. PATCHING SHALL BE OF QUALITY EQUAL TO AND OF MATCHING APPEARANCE OF EXISTING CONSTRUCTION.

- 11.6 CONDUCTORS
1. USE SIXX CONDUCTIVITY COPPER WITH TYPE XHHW-2 INSULATION, 600 VOLT, COLOR CODED. USE SOLID CONDUCTORS FOR WIRE UP TO AND INCLUDING NO. 8 AWG, STRANDED CONDUCTORS FOR WIRE LARGER THAN NO. 8 AWG.

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- 11.11 BELOW GRADE
1. THIS SITE INCLUDES NEW CRITICAL UNDERGROUND ELECTRIC, TELEPHONE AND OTHER SERVICES IN THE VICINITY OF OTHER UNDERGROUND SERVICES AND EQUIPMENT SUPPORTS.

- 11.12 EQUIPMENT
1. THE MAIN CIRCUIT BREAKER SHALL BE RATED FOR STANDARD A.I.C. RATING HIGHER THAN INCOMING EQUIPMENT A.I.C. ALL EQUIPMENT SHALL BE BRACED FOR STANDARD A.I.C. RATING HIGHER THAN INCOMING FROM UTILITY CO.

- 11.13 TRANSIENT VOLTAGE SURGE SUPPRESSION (TVSS)
1. TVSS DEVICES FOR AC POWER SHALL BE INSTALLED IN ALL EXISTING FACILITIES THAT ARE MISSING TVSS DEVICES OR HAVE UNSUITABLE TVSS DEVICES.

13 - RF AND TOWER APPURTENANCE INSTALLATION RELATED NOTES

- 13.1 COAXIAL CABLE REQUIREMENTS
1. GENERAL: PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS NECESSARY FOR RECEIVING, INSTALLING, TESTING, AND ADJUSTING ANTENNA CABLES FROM THE ANTENNA TO THE CONNECTIONS AT THE BASE TRANSMISSION SYSTEM (BTS).

Table with columns: CABLE, IN AIR OR CABLE TRAY, IN CONDUIT. Rows: 1/2", 5", 7/8", 10", 1-5/8", 20".

- 4. CABLES SHALL BE INSTALLED WITH THE MINIMUM NUMBER OF BENDS. CABLE SHALL NOT BE LEFT UNTERMINATED IN THE FIELD.
5. GROUNDING
A. ALL MAIN CABLES WILL BE GROUNDED AT: A) THE ANTENNA, B) MIDDLE OF THE CABLE RUN IF OVER 200', C) PRIOR TO ENTERING EQUIPMENT SHELTER/CABINET (WITHIN 1' OF ENTRY).

20 - SITE SPECIFIC NOTES

- 20.1 GENERAL
1. CONSTRUCTION INCLUDES:
- INSTALLATION OF COMMUNICATION EQUIPMENT
- ANTENNAS AND MOUNT INSTALLATION ON STRUCTURE

LEGEND AND ABBREVIATIONS

Legend table with columns: ABBR, DESCRIPTION. Rows: AHJ, AMG, BCW, BTS, CGSE, DIA, EXT, GEN, GPS, MGB, NEC, PPC, PVC, RGS, TYP.



300 CROWN OAK CENTRE DRIVE LONGWOOD, FL 32750 TEL: 407.260.0231 FAX: 407.260.0749 FL COA#: 26983

Revision table with columns: REV, DATE, DESCRIPTION. Rows: 1 05/06/13 REVISED PER COMMENTS, 0 10/30/12 ISSUED FOR PERMIT.



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SITE#: SFL61_3 ADDRESS: 934 NW 16TH AVENUE FORT LAUDERDALE, FL 33311

SHEET TITLE: SPECIFICATIONS

SHEET NUMBER: SP2