

SHEET NO.	SHEET NAME
A-01	PLAT
A-02	3D SITE
A-03	3D SITE
A-04	3D SITE
A-05	LAND & USE NO. ZONING MAP
A-06	C CONCEPT PLAN
A-07	8 ENCLOSURE
A-08	8 ENCLOSURE
A-09	8 ENCLOSURE
A-10	8 ENCLOSURE
A-11	8 ENCLOSURE
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A-99	8 ENCLOSURE
A-100	8 ENCLOSURE

SHEET NO.	SHEET NAME
L-01	GENERAL SITE PLAN
L-02	LAND USE MASTER PLAN
L-03	LAND USE PLAN
L-04	LAND USE MASTER PLAN
L-05	LAND USE MASTER PLAN
L-06	LAND USE MASTER PLAN
L-07	LAND USE MASTER PLAN
L-08	LAND USE MASTER PLAN
L-09	LAND USE MASTER PLAN
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L-98	LAND USE MASTER PLAN
L-99	LAND USE MASTER PLAN
L-100	LAND USE MASTER PLAN



ELECTRICAL ENGINEER
 T. J. COOPER, P.E.
 1000 N. UNIVERSITY BLVD., SUITE 100
 BOCA RATON, FL 33431
 PHONE: (561) 992-1200
 CELL: (561) 992-1200

MECHANICAL ENGINEER
 DR. RICHARD COOPER, P.E.
 1000 N. UNIVERSITY BLVD., SUITE 100
 BOCA RATON, FL 33431
 PHONE: (561) 992-1200
 CELL: (561) 992-1200

PLUMBING ENGINEER
 DR. RICHARD COOPER, P.E.
 1000 N. UNIVERSITY BLVD., SUITE 100
 BOCA RATON, FL 33431
 PHONE: (561) 992-1200
 CELL: (561) 992-1200

CIVIL ENGINEER
 DR. RICHARD COOPER, P.E.
 1000 N. UNIVERSITY BLVD., SUITE 100
 BOCA RATON, FL 33431
 PHONE: (561) 992-1200
 CELL: (561) 992-1200

TELEPHONE ENGINEER
 DR. RICHARD COOPER, P.E.
 1000 N. UNIVERSITY BLVD., SUITE 100
 BOCA RATON, FL 33431
 PHONE: (561) 992-1200
 CELL: (561) 992-1200

WATER SUPPLY ENGINEER
 DR. RICHARD COOPER, P.E.
 1000 N. UNIVERSITY BLVD., SUITE 100
 BOCA RATON, FL 33431
 PHONE: (561) 992-1200
 CELL: (561) 992-1200

PAVE ENGINEER
 DR. RICHARD COOPER, P.E.
 1000 N. UNIVERSITY BLVD., SUITE 100
 BOCA RATON, FL 33431
 PHONE: (561) 992-1200
 CELL: (561) 992-1200

SOILS ENGINEER
 DR. RICHARD COOPER, P.E.
 1000 N. UNIVERSITY BLVD., SUITE 100
 BOCA RATON, FL 33431
 PHONE: (561) 992-1200
 CELL: (561) 992-1200

Submission for Planned Development District Rezoning
 09/14/2023

WESTIN/AURA CYPRESS CREEK

200, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33334

LANDSCAPE:
 landscape
DESIGN
 workshop
 621 NW 53rd St,
 Suite #125
 Boca Raton, FL 33487
 PHONE: (954) 772-0724

ENGINEERING:

 1001 Yamato Road,
 Suite 105
 Boca Raton, Florida 33431
 PHONE: (561) 392-0221

ATTORNEY:

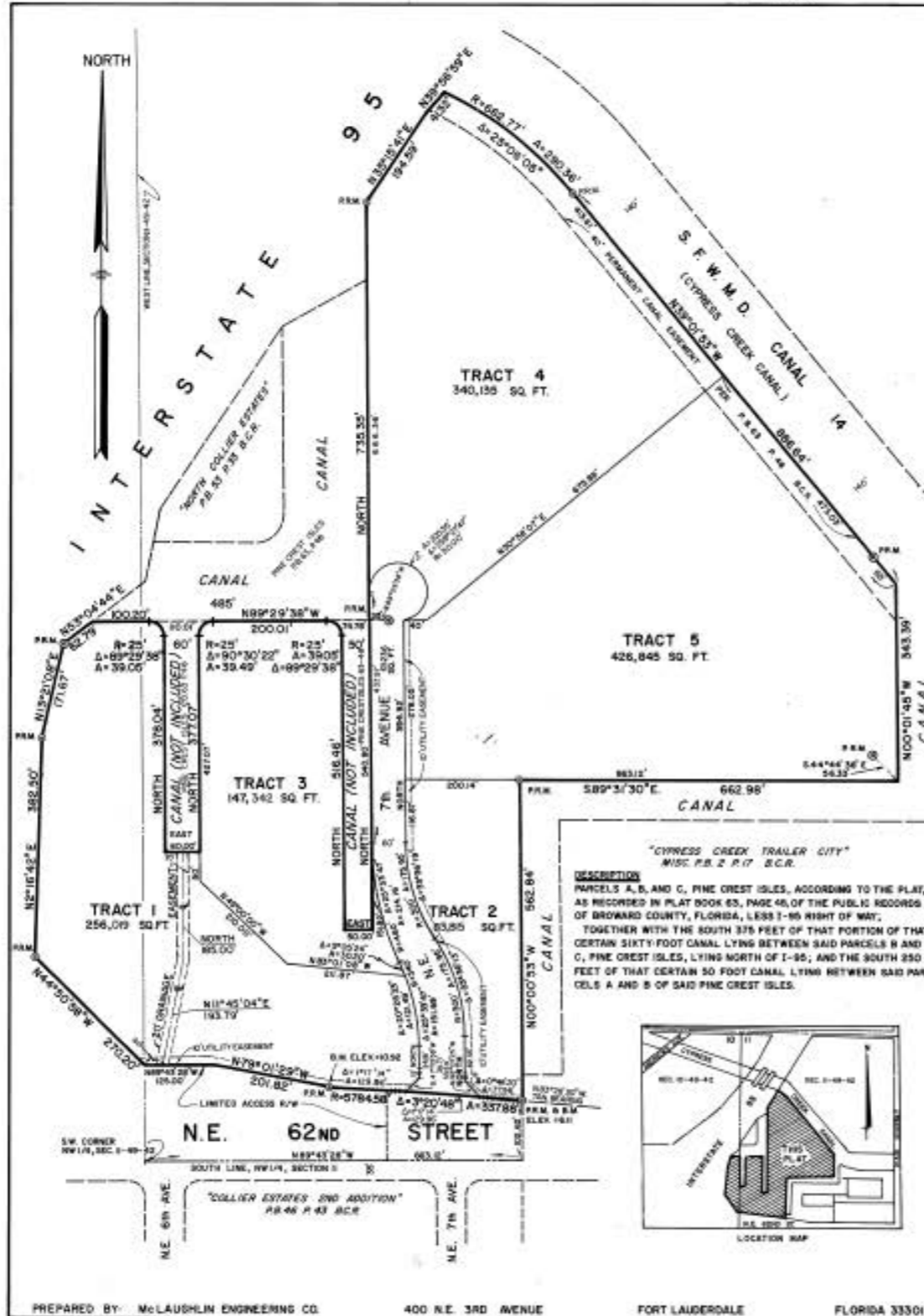
 1401 East Broward Boulevard,
 Suite 303
 Fort Lauderdale, FL 33301
 PHONE: (954) 779-1119

TRG
TRINSIC
 RESIDENTIAL GROUP
 8235 Douglas Ave,
 Dallas, TX 75225

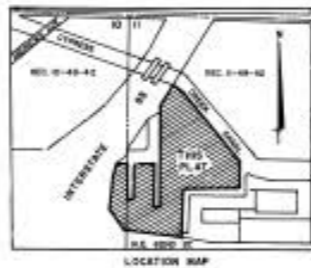
CA
 CORWIL ARCHITECTS
 5000 W. UNIVERSITY BLVD., SUITE 100
 FT. LAUDERDALE, FL 33309

"SHELL AT I-95"

BEING A RESUBDIVISION OF PORTIONS OF PARCELS A, B, AND C, PINE CREST ISLES, RECORDED IN PLAT BOOK 63, PAGE 48, BROWARD COUNTY RECORDS, OF SECTIONS 10 & 11, TOWNSHIP 49 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA.



DESCRIPTION
PARCELS A, B, AND C, PINE CREST ISLES, ACCORDING TO THE PLAT, AS RECORDED IN PLAT BOOK 63, PAGE 48, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS 1-60 RIGHT OF WAY, TOGETHER WITH THE SOUTH 375 FEET OF THAT PORTION OF THAT CERTAIN SIXTY-FOOT CANAL LYING BETWEEN SAID PARCELS B AND C, PINE CREST ISLES, LYING NORTH OF I-95; AND THE SOUTH 250 FEET OF THAT CERTAIN 50 FOOT CANAL LYING BETWEEN SAID PARCELS A AND B OF SAID PINE CREST ISLES.



DEDICATION
STATE OF TEXAS KNOW ALL MEN BY THESE PRESENTS: That SHELL OIL COMPANY, owner of the lands described and shown as included in this COUNTY OF HARRIS plat, has caused said lands to be subdivided and platted as hereto shown, said plat to be known as, "SHELL AT I-95," being a resubdivision of portions of Parcels A, B, and C, PINE CREST ISLES, recorded in Plat Book 63, Page 48, Broward County Records, Broward County, Florida. The thoroughfare is hereby dedicated to the perpetual use of the public in fee simple. All easements are hereby dedicated to the perpetual use of the public for purposes as indicated.

IN WITNESS WHEREOF: We hereunto set our hands and affix the corporate seal in the City of Houston, County of HARRIS, State of Texas, this 7th day of NOVEMBER, 1977.
Witness: *[Signatures]* Title: SEN. MAR. CORP. SEC. ASST.
Witness: *[Signatures]* Title: ASST. SECRETARY

ACKNOWLEDGEMENT
STATE OF TEXAS I HEREBY CERTIFY: That on this day personally appeared before me, an officer duly authorized by law to administer oaths and take oaths of knowledge, F. C. SLOAN and P. J. MORAN, SEN. MAR. CORP. SEC. ASST. and ASST. SEC. respectively of SHELL OIL COMPANY, to me well known to be the individuals described in and who executed the foregoing dedication and they acknowledged before me that they executed the same freely and voluntarily for uses and purposes therein expressed. WITNESS: My hand and official seal in the City of Houston, County of HARRIS, State of Texas, this 7th day of NOVEMBER, 1977.
My Commission Expires the 21st day of OCTOBER, 1978. NOTARY PUBLIC: *[Signature]* STATE OF TEXAS

BROWARD COUNTY PLANNING AND ADMINISTRATIVE SERVICES
This plat is hereby approved and accepted for record this 2 day of May, A.D. 1978.
BY: *[Signature]*, Director

BROWARD COUNTY PLANNING COUNCIL
THIS IS TO CERTIFY: That the Broward County Planning Council approved this plat with regard to dedication of Rights-of-Way for Traffic Ways by Resolution duly adopted this 2nd day of July, 1978. BY: *[Signature]*, this 26th day of OCTOBER, 1978.

BROWARD COUNTY ENGINEERING DIVISION
This plat has been approved and accepted for record.
BY: *[Signature]* Date: 5/14/78
J.B. Rullberg, Director
By: *[Signature]* Date: 5-14-78
Bruce S. Stokewes, County Surveyor
Fla. P.E. Reg. No. 11132
Fla. P.L.S. Reg. No. 2942

BROWARD COUNTY CENTRAL SERVICES DEPARTMENT - ARCHIVES AND MINUTES DIVISION
THIS IS TO CERTIFY: That this plat complies with the provisions of an ACT TO REGULATE THE MAKING AND FILING FOR RECORD OF MAPS AND PLATS IN THE STATE OF FLORIDA approved by the Governor, June 27, 1971. This plat accepted and approved for record by the BOARD OF COUNTY COMMISSIONERS, of Broward County, Florida, this 13 day of OCTOBER, 1978. GRAHAM WATT - COUNTY ADMINISTRATOR BY: *[Signature]* DEPUTY
BROWARD COUNTY FINANCE DEPARTMENT - RECORDING DIVISION BY: *[Signature]* CHAIRMAN, COUNTY COMMISSION
This plat filed for record this 11 day of May, 1979 in BOOK 162 of PLATS, of PAGE 25, "RECORD VERIFIED"
GRAHAM WATT, COUNTY ADMINISTRATOR BY: *[Signature]* DEPUTY

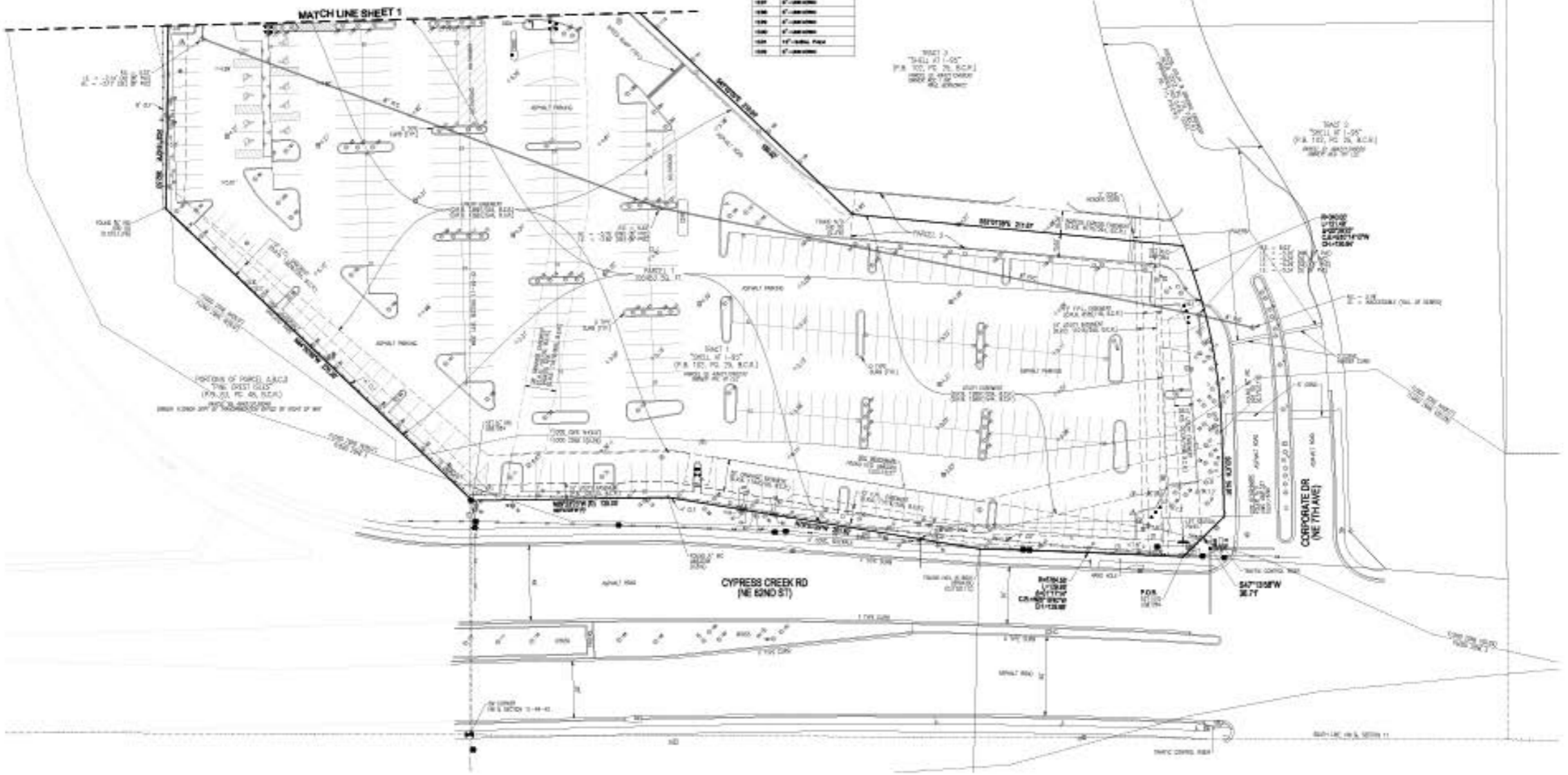
SURVEYOR'S CERTIFICATE
STATE OF FLORIDA I HEREBY CERTIFY: That the attached plat, is a true and correct representation of the lands recently surveyed, subdivided and platted under my COUNTY OF BROWARD reasonable direction and supervision, that the survey data shown complies with the applicable requirements of Chapter 177, FLORIDA STATUTES, A.D. 1971, and meets the minimum requirements established by the Florida Society of Professional Land Surveyors, and further that the PERMANENT REFERENCE MONUMENTS were set in accordance with Section 177.09(1) of said Chapter 177, on this 12th day of December, 1978. The BENCH MARKS shown are referenced to N.O.S. VERTICAL DATUM and conforms to standards for third order work. McLAUGHLIN ENGINEERING CO.
This plat done at Fort Lauderdale, Florida, this 12th day of Dec, 1977. BY: *[Signature]* James M. McLaughlin
Registered Land Surveyor No. 20211
State of Florida.

NOTES:
① P.R.M. - INDICATES PERMANENT REFERENCE MONUMENT
BEARINGS REFER TO AN ASSUMED MERIDIAN
THIS PLAT CONTAINS 30.2890 ACRES
B.M. - INDICATES BENCH MARK
++++ INDICATES NON-VEHICULAR ACCESS
THE MAXIMUM DENSITY FOR THE RESIDENTIAL AREA IS TO BE 200 UNITS.



TREE LIST

001	0' Diameter
002	0' Diameter
003	0' Diameter
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099	0' Diameter
100	0' Diameter



Certificate of Authorization No. 157264

347 Old Moore Road
Boca Raton, FL 33487
Tel: (561) 341-8888
Fax: (561) 341-0187

**ALTA/NSPS LAND TITLE SURVEY
WESTIN AURA CYPRESS CREEK**

NO.	DATE	BY	CHKD	REVISION

JOB NO. 22161
SCALE 1" = 30'
DRAWN AIR
CHECKED JSR
SHEET 2 OF 3



VIEW 1



VIEW 2



SUBJECT PROPERTY LOCATION



VIEW 3



VIEW 4



VIEW 5



VIEW 6



VIEW 7



VIEW 8



VIEW 9



VIEW 10



VIEW 11



VIEW 12



VIEW 13



VIEW 14



VIEW 15



VIEW 16



CORWIL ARCHITECTS
451 LUCAS ST. CORP. BLDG. 200
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



6235 Douglas Ave,
Dallas, TX 75225

CONTEXT PLAN

PHASE:
PDD SUBMITTAL



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OF CORWIL ARCHITECTS.

DATE: 04/24/2023
JOB No.: 2021-04
DRAWN BY: MC/D/A/AMV
APPROVED: A.M.C.
PRINTED: 05/02/23 10:11 AM

SHEET NUMBER:
A-0.02



NORTHWEST PEDESTRIAN VIEW



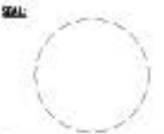
CORWIL ARCHITECTS
ARCHITECTS & INTERIORS
10000 W. BOCA RATON BLVD. SUITE 100
BOCA RATON, FLORIDA 33433

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

RENDERINGS

PHASE:
PDD SUBMITTAL



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DATE: 04/24/2023
CD No.: 2021-54
DESIGNER: MC/D/A/AMV
APPROVER: AMC
PRINTED: 10:00:23 AM 04/24/23

SHEET NUMBER:
A-0.03



KEY PLAN
N.T.S.



CORWIL ARCHITECTS
451 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 754.464.7777

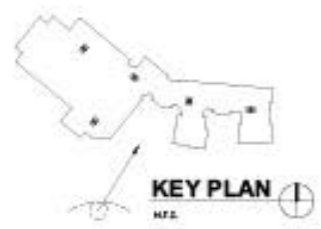
PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:

TRINISIC
RESIDENTIAL GROUP
8225 Douglas Ave,
Dallas, TX 75225



SOUTH VIEW



RENDERINGS

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CD No.: 2021-84
DESIGNER: MC/D/A/AMV
APPROVER: AMC
PRINTED: 10:00:23 AM 04/24/23

SHEET NUMBER:
A-0.04



NORTHWEST AERIAL VIEW



KEY PLAN



CORWIL ARCHITECTS
351 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 754.466.7777

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304
OWNER:

TRG
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

RENDERINGS

PHASE:
PDD SUBMITTAL



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DATE: 04/24/2023
JOB No.: 2021-04
DESIGNER: MC/D/A/AMV
APPROV.: AMC
PRINTED: 10:00:23 AM 04/24/2023

SHEET NUMBER:
A-0.05



SOUTHEAST AERIAL VIEW



CORWIL ARCHITECTS
351 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 754.466.1111

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304
OWNER:

TRG
TRINISIC
RESIDENTIAL GROUP
8225 Douglas Ave,
Dallas, TX 75225

RENDERINGS

PHASE:
PDD SUBMITTAL



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FILE NO.: 2021-04
DESIGNER: MC/D/A/AMV
APPROVER: AMC
PRINTED: 10:00:23 AM 4/24/23

SHEET NUMBER:
A-0.06





SOUTHEAST PEDESTRIAN VIEW



CORWIL ARCHITECTS
3511 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 754.833.1111

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

TRG
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

RENDERINGS

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DATE: 04/24/2023
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APPROVER: AMC
PRINTED: 10:00:23 AM 04/24/2023

SHEET NUMBER:
A-0.07



CORWIL ARCHITECTS
351 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.487.1111

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG
TRINISIC
RESIDENTIAL GROUP
8225 Douglas Ave,
Dallas, TX 75225

RENDERINGS

PHASE:
PDD SUBMITTAL



DATE: 04/24/2023
DATE PLOTTED: 2023-04
DESIGNED BY: AMV
APP'D BY: AMC
PLOTTED BY: W. B. B. 10:20:23 AM

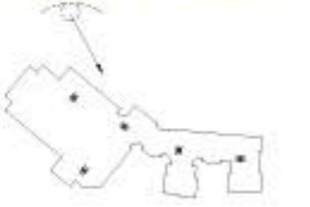
SHEET NUMBER:
A-0.08

EAST LINEAR PARK PEDESTRIAN VIEW





NORTHWEST PEDESTRIAN VIEW



KEY PLAN
1/2" = 1' N.T.S.



CORWIL ARCHITECTS
3511 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 754.885.1111

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG
TRINISIC
RESIDENTIAL GROUP
8225 Douglas Ave,
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RENDERINGS

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A-0.09



CORWIL ARCHITECTS
451 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 754.467.7777 FAX: 754.467.7778

PROJECT:
WESTIN/AURA CYPRESS CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304
OWNER:

TRG
TRINSIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

RENDERINGS

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A-0.10

CAM #24-0081
Exhibit 3
Page 15 of 102



NORTH PUBLIC PARK PEDESTRIAN VIEW



KEY PLAN
N/E



CORWIL ARCHITECTS
351 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 754.467.1111 FAX: 754.467.1112

PROJECT:
**WESTIN/AURA CYPRESS
CREEK**
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304
OWNER:

TRG
TRINISIC
RESIDENTIAL GROUP
6225 Douglas Ave,
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RENDERINGS

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DATE: 04/24/2023
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PRINTED: 10:00:23 AM

SHEET NUMBER:
A-0.11



NORTH PUBLIC PARK PEDESTRIAN VIEW



KEY PLAN
NPA



AERIAL PLAN
SCALE: 1" = 50'-0"



CORWILARCHITECTS
451 LINDEN ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.776.1111

PROJECT:
WESTIN/AURA CYPRESS CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33324



8255 Douglas Ave,
Dallas, TX 75225

AERIAL PLAN

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SEAL:



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DATE: 04/24/2023
1 OF 10 SHEETS
DESIGNED BY: MC/DA/AMV
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A-1.00



CORWIL ARCHITECTS
4311 LAUREL CREEK DRIVE, SUITE 201
FT. LAUDERDALE, FL 33309

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33334



6255 Douglas Ave,
Dallas, TX 75225

ZONING DATA SHEET

Project location: 300, 400 CORPORATE DRIVE, FORT LAUDERDALE, FL 33334

SITE INFORMATION			
	PARCELA (NO. 1 PARCEL)	PARCELA (RESIDENTIAL, COMMERCIAL & PARKING GARAGE)	ENTIRE PARCEL
Site Area			
Net Lot Area	PARCELA A= 132,636 square feet (3.0469 acres)	PARCELA B= 355,453 square feet (8.1067 acres)	ENTIRE PARCEL = 488,089 square feet (11.1536 acres)
Ground Lot Area			6 Acres
Land-Use Designation			
Existing	Residential Medium High (R-15)	Residential Medium High (R-15)	Residential Medium High (R-15)
Proposed	Mixed Use	Mixed Use	Mixed Use
Zoning Designation			
Existing	R-6 County (H0761R-60 DISTRICT)	R-6 County (H0761R-60 DISTRICT)	R-6 County (H0761R-60 DISTRICT)
Proposed	Planned Development District (PDD)	Planned Development District (PDD)	Planned Development District (PDD)
BUILDING REQUIREMENTS			
Category and Uses	R-6 COUNTY ZONING (H0761R-60 DISTRICT) Allowed/Required	Proposed	Proposed
Building - No changes		Hotel: 298 rooms and accessory meeting space, food and beverage and retail	Hotel: 298 rooms and accessory meeting space, food and beverage and retail
Proposed Residential	Per City Land Use: 60 d.u. / 6.6 Net Acre = 9.09 d.u./max. Per County Land Use: 90 d.u. / 6.6 Gross Acre = 13.64 d.u./max.	Residential: 340 d.u. Commercial: 4,717 SF	Residential: 340 d.u. (50 units per gross acre) (5.13 units per net acre) Commercial: 4,717 SF
Net Building Area	N/A	316,955 SF (based on drawings done by other)	335,706.38 SF 566,566 SF
FAR (Gross Building Area)			
Parking Garage Excluded Per ULDL Sec 47-2.2	R-6 (No requirement PDD: 3.0 MAX (300,000 sq ft & 300,000 sq ft))	358,964 SF (based on drawings done by other)	No garage: 136,043 SF Garage: 607,169 SF
Building Height (From Grade)	R-6 MAX: 35 STORIES (130'-0") PDD MAX: 300'	34 Stories (140'-0")	33 Stories (138'-0")
Setbacks			
FRONT	33'-0"	see overall	see overall
FRONT (Private Road)	33'-0"	see overall	28'-11"
WEST (R-6)	33'-0"	see overall	25'-0"
EAST (Retail)	33'-0"	see overall	14'-6"
EAST (Private Road)	33'-0"	see overall	9'-0"
SOUTH (Cypress Canal)	33'-0"	see overall	52'-10"
Building Footprint Coverage			
Open Space	288,089 SF * 4 = 1,152,356 SF (40%)	45,080 SF (14%)	618,135 SF (40%) 26,873 SF (8.7%)
Landscape Area	3.36 FAR = 32 OPEN SPACE RATIO	42,888 SF (13%)	79,961 SF (11.2%) 31,369 SF (8.2%)
Structure Length			
Primary Pedestrian (Private Road)	N/A	340'-6"	26'-10"
Primary Pedestrian (Private Road)			330'-0"
Vehicle Use Area			
LOA DRG	Provided	Provided	Required
	1		1

	Area, SF	Required Parking Ratio (County Code for all categories and ULDR for proposed use)	Proposed Ratio under PDD (per parking study)
PROPOSED USES (see remarks):			
Hotel Rooms	298	3 per 4 rooms	338 spaces
Hotel Restaurant #1	4,000 sf	35% of 1 space per 50 sf of CSA CSA = 50% of gross of 3,000 sf of CSA = 1 space/150 sf	Included as accessory to hotel
Hotel Restaurant #2 (Lobby)	1,500 sf	35% of 1 space per 50 sf of CSA CSA = 50% of gross of 750 sf of CSA = 1 space/150 sf	Included as accessory to hotel
Hotel Restaurant #3 (Coffee Shop)	1,000 sf	35% of 1 space per 50 sf of CSA CSA = 50% of gross of 500 sf of CSA = 1 space/150 sf	Included as accessory to hotel
Kitchen Area	3,000 sf	Included as accessory to hotel	0 spaces
Meeting space (assembly use)	21,000 sf	35% of 1 space per 300 sf	30 spaces
Retail (Hotel Gift Shop)	500 sf	35% of 1 space per 400 sf	0 spaces
		SUBTOTAL ROOMING HOTEL:	338 spaces
PROPOSED USES:			
Affordable Studio/1 Bedroom	--		51 units @ 1.0/unit = 51 spaces**
Studio/1 Bedroom	186 unit	@ 1.75/unit	326 spaces
2Bedrooms	134 unit	@ 2.0/unit	268 spaces
3Bedrooms	36 unit	@ 2.1/unit	76 spaces
Total	340 unit		602 spaces
Retail (Gift Shop)	4,717 sf	@ 1/150 sf	31 spaces
		SUBTOTAL RETAIL USES:	31 spaces
		TOTAL REQUIRED:	633 spaces
		TOTAL PROVIDED:	602 spaces
			31 spaces (surplus of 30 spaces)
			(Standard 642 spaces, Compact 163 spaces***, ADA 31 spaces)
Bicycle Parking	340 unit	N/A	355 bike racks

** Parking reduction proposed pursuant to criteria in Sec. 47-30.3 (Parking reduction and exam plan)
 *** Parking reduction for multifamily affordable housing authorized by ULDR 47-20.3A.2.b.
 **** 2 sq ft code limits can park up to a max of 20% and min in diameter of 8'6" x 18'

ZONING DATA

PHASE:
PDD SUBMITTAL



DATE: 04/24/2023
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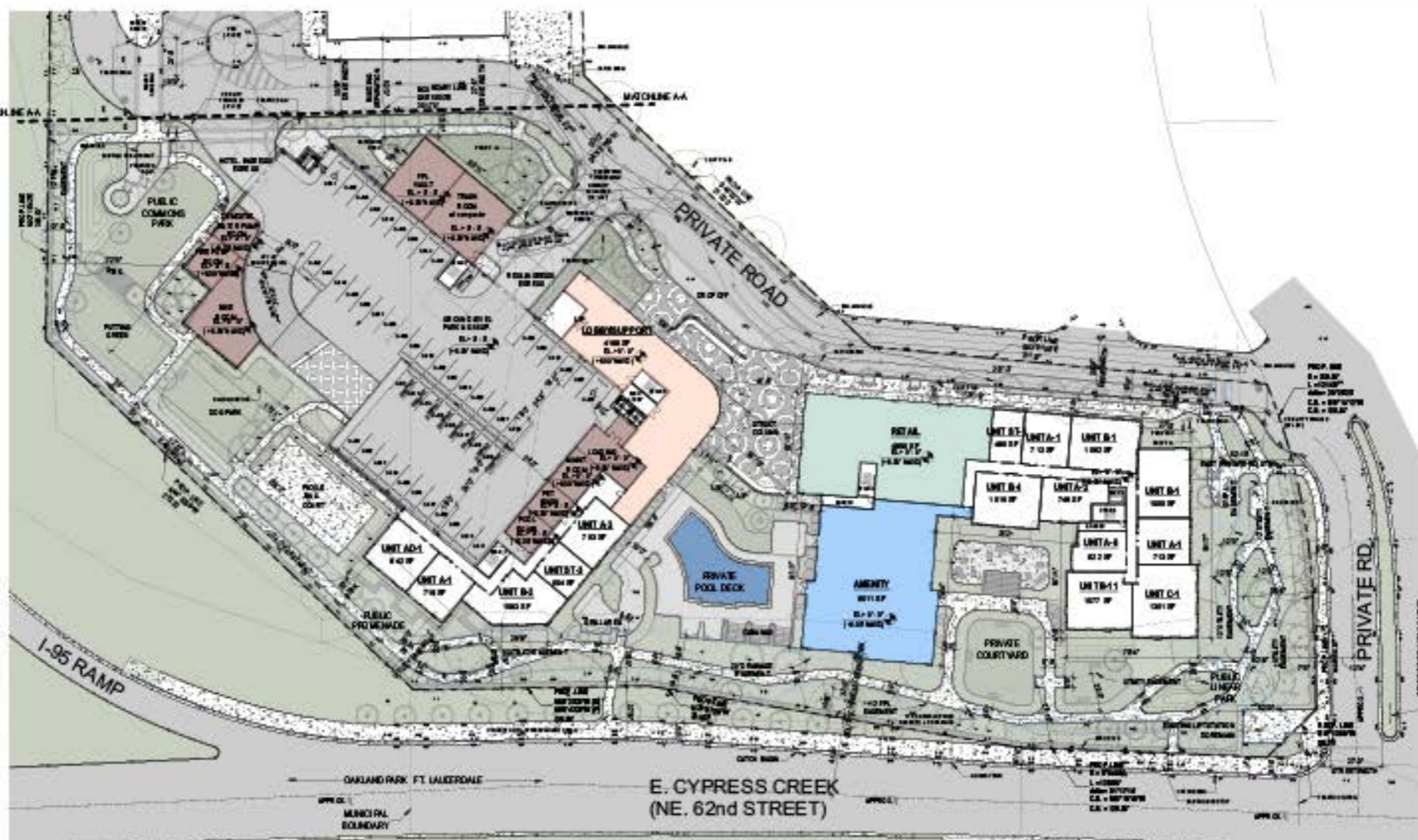


CORWIL ARCHITECTS
 351 LAKESHORE DRIVE, SUITE 200
 FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
 300, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33334

TRC TRINISIC RESIDENTIAL GROUP
 8225 Douglas Ave,
 Dallas, TX 75225

PARCEL B - SITE PLAN



SITE PLAN - PARCEL B
 SCALE: 1" = 30'-0"

LEGAL DESCRIPTION

TO HAVE AND TO HOLD unto the said CORWIL ARCHITECTS, its heirs, assigns, executors, administrators, successors and assigns, all that certain parcel of land, to-wit: a certain parcel of land, located in the City of Ft. Lauderdale, Florida, and being more particularly described as follows: ...

DESCRIPTION OF PARCEL B AS A WHOLE
 PARCEL B is a certain parcel of land, located in the City of Ft. Lauderdale, Florida, and being more particularly described as follows: ...

NOTES
 1. THE INFORMATION CONTAINED HEREIN IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE AN OFFER OF ANY FINANCIAL PRODUCT OR SERVICE. ...

UNIT TYPE	LEVELS												TOTAL			
	GROUND	3rd FLOOR	4th FLOOR	5th FLOOR	6th FLOOR	7th FLOOR	8th FLOOR	9th FLOOR	10th FLOOR	11th FLOOR	12th FLOOR	13th FLOOR				
STUDIO S	3	3	3	3	3	3	3	3	3	3	3	3	3	3	3	36
1 BRD	7	33	33	33	33	33	33	33	33	33	33	33	33	33	33	330
2 BRD	6	33	33	33	33	33	33	33	33	33	33	33	33	33	33	330
3 BRD	3	2	2	2	2	2	2	2	2	2	2	2	2	2	2	24
TOTAL	19	103	103	103	103	103	103	103	103	103	103	103	103	103	103	840

UNIT TYPE	UNIT MIX		PERCENTAGE
	TOTAL UNITS	PERCENTAGE	
STUDIO S	36	4.3%	
1 BRD	330	39.3%	
2 BRD	330	39.3%	
3 BRD	24	2.9%	
TOTAL	840	100.0%	

FLOOR	TOTAL SPACES			TOTAL
	RES.	ADAP.	COMPACT	
Ground Level	40	3	8	51
2nd Level	74	3	17	94
3rd Level	74	3	17	94
4th Level	74	3	17	94
5th Level	74	3	17	94
6th Level	74	3	17	94
7th Level	74	3	17	94
8th Level	74	3	17	94
9th Level	74	3	17	94
10th Level	74	3	17	94
11th Level	74	3	17	94
12th Level	74	3	17	94
Total	840	30	204	1074

FLOOR	TOTAL SPACES			TOTAL
	RES.	ADAP.	COMPACT	
Ground Level	0	3	0	3
2nd Level	0	0	0	0
3rd Level	0	0	0	0
4th Level	0	0	0	0
5th Level	0	0	0	0
6th Level	0	0	0	0
7th Level	0	0	0	0
8th Level	0	0	0	0
9th Level	0	0	0	0
10th Level	0	0	0	0
11th Level	0	0	0	0
12th Level	0	0	0	0
Total	0	30	0	30

FLOOR	TOTAL SPACES			TOTAL
	RES.	ADAP.	COMPACT	
Ground Level	40	3	8	51
2nd Level	74	3	17	94
3rd Level	74	3	17	94
4th Level	74	3	17	94
5th Level	74	3	17	94
6th Level	74	3	17	94
7th Level	74	3	17	94
8th Level	74	3	17	94
9th Level	74	3	17	94
10th Level	74	3	17	94
11th Level	74	3	17	94
12th Level	74	3	17	94
Total	840	30	204	1074



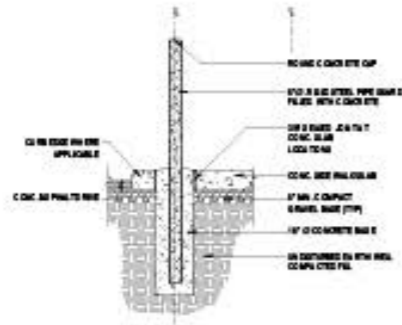
LOCATION MAP

PHASE:
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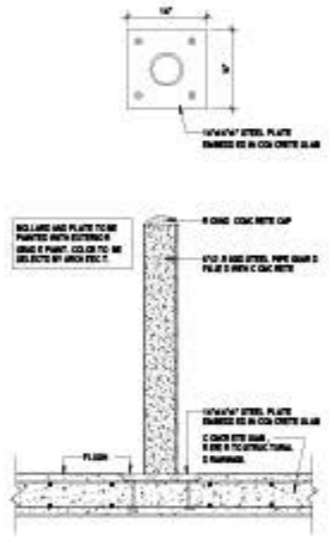


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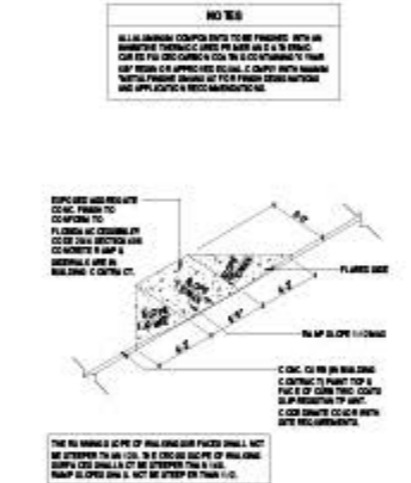
SHEET NUMBER:
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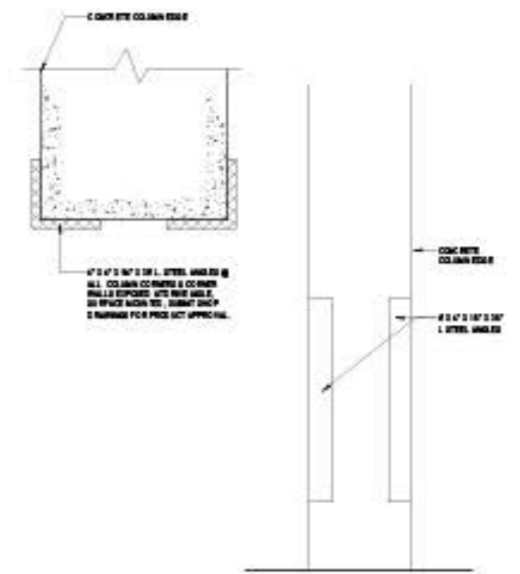
1 TYPICAL BOLLARD AT GROUND FLOOR
SCALE: 3/4" = 1'-0"



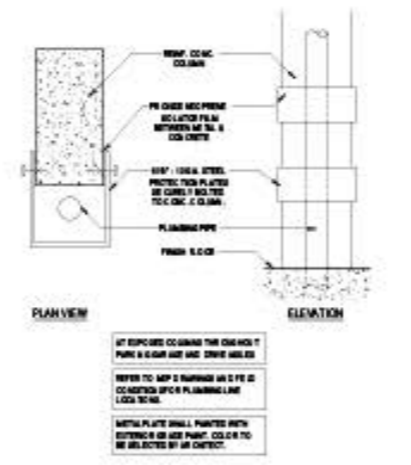
2 TYPICAL BOLLARD AT ELEVATED SLABS
SCALE: 1" = 1'-0"



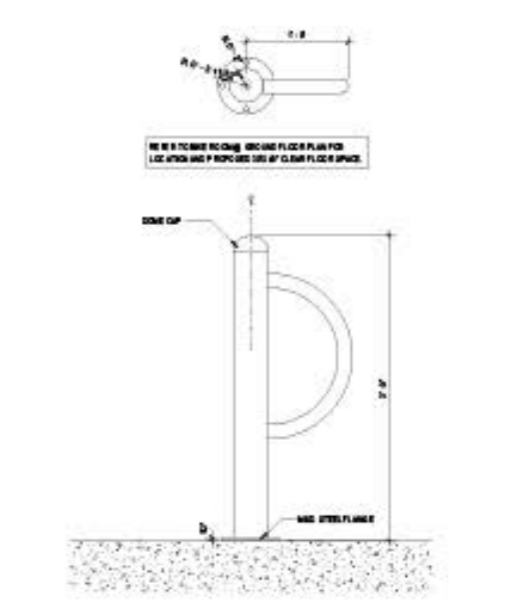
3 CONCRETE RAMP SLOPE
SCALE: 1" = 1'-0"



4 COLUMN GUARD DETAIL
SCALE: 1" = 1'-0"



5 TYPICAL PIPE PROTECTION DETAIL
SCALE: 1" = 1'-0"



6 TYPICAL FLOOR MOUNTED BIKE RACK DETAIL
SCALE: 1 1/2" = 1'-0"



CORWILAR ARCHITECTS
ARCHITECTS AND INTERIORS
1000 W. UNIVERSITY BLVD., SUITE 100
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



OWNER:
8255 Douglas Ave,
Dallas, TX 75225

SITE DETAILS

PHASE:
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A-1.02D



CORWIL ARCHITECTS
3511 LUGAN PL, SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.546.7800

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:

TRINSIC
RESIDENTIAL GROUP
8225 Douglas Ave,
Dallas, TX 75225

OPEN SPACE

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A-1.03

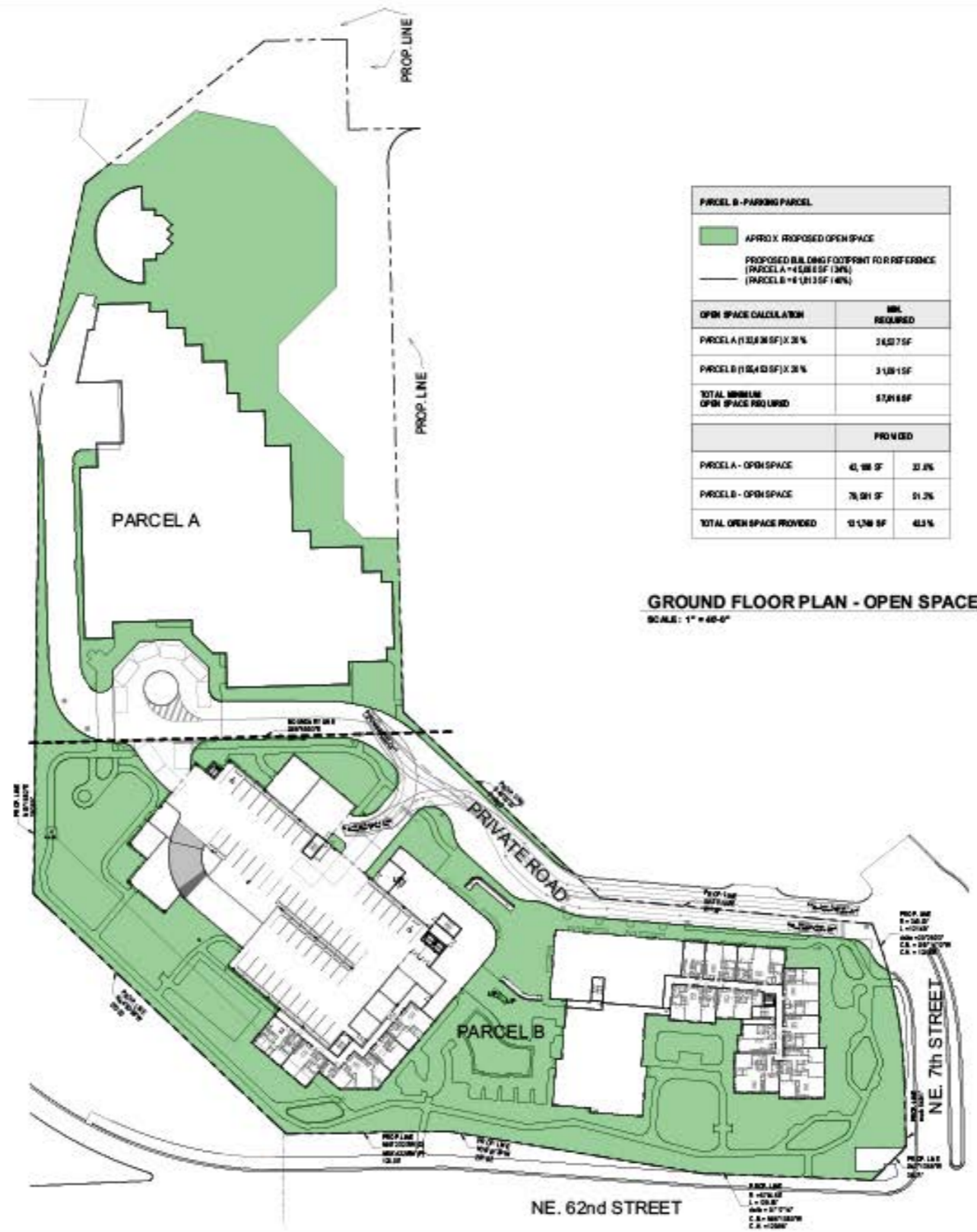
PARCEL B - PARKING PARCEL

APPROX. PROPOSED OPEN SPACE
 PROPOSED BUILDING FOOTPRINT FOR REFERENCE
 (PARCELA = 4,586 SF (34%)
 (PARCELB = 8,181 SF (46%))

OPEN SPACE CALCULATION	MIN. REQUIRED
PARCELA (11343 SF) X 30 %	3402.9 SF
PARCELB (10413 SF) X 30 %	3123.9 SF
TOTAL MINIMUM OPEN SPACE PROVIDED	6526.8 SF

	PROVIDED	
PARCELA - OPEN SPACE	41,98 SF	37.0%
PARCELB - OPEN SPACE	78,81 SF	51.2%
TOTAL OPEN SPACE PROVIDED	120,79 SF	48.2%

GROUND FLOOR PLAN - OPEN SPACE
SCALE: 1" = 40'-0"



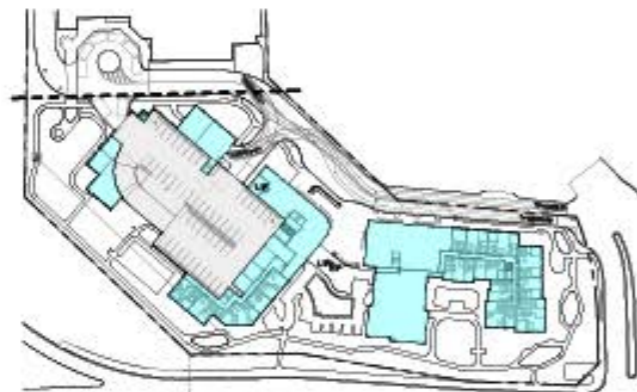


CORWIL ARCHITECTS
351 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.483.1234 FAX: 954.483.1235

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
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TRINISIC
RESIDENTIAL GROUP
8225 Douglas Ave,
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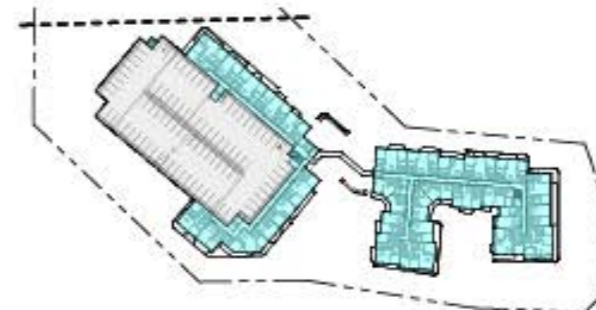
PARCEL B - F.A.R.



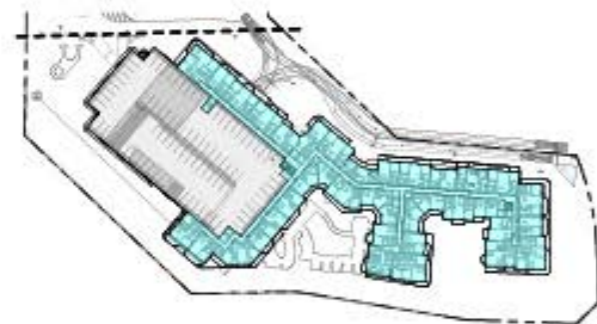
GROUND FLOOR PLAN
SCALE: 1" = 8'-0"



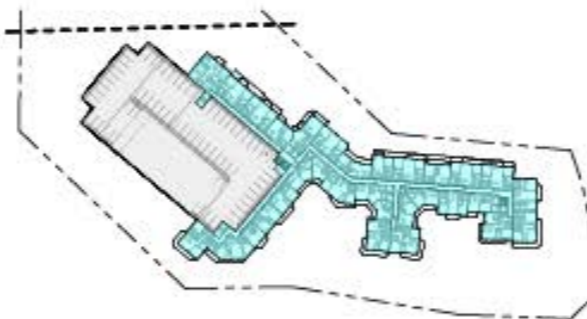
2nd LEVEL FLOOR PLAN
SCALE: 1" = 8'-0"



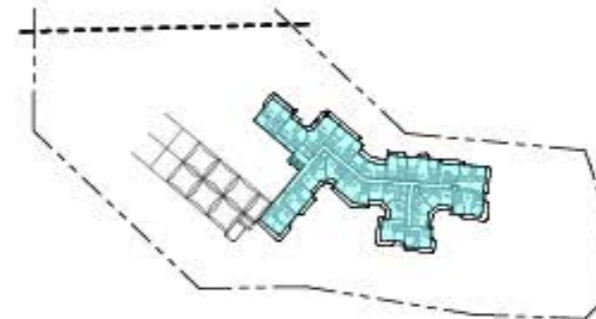
3rd LEVEL FLOOR PLAN
SCALE: 1" = 8'-0"



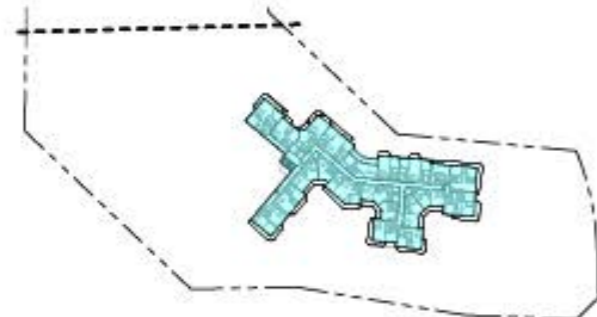
4th - 6th LEVEL FLOOR PLAN
SCALE: 1" = 8'-0"



7th-9th LEVEL FLOOR PLAN
SCALE: 1" = 8'-0"



10th -11th LEVEL FLOOR PLAN
SCALE: 1" = 8'-0"



12th LEVEL FLOOR PLAN
SCALE: 1" = 8'-0"

LEVELS	FAR (SF)	
	NO GARAGE	WITH GARAGE
Ground Level	37,567.18	60,639.18
2nd Level	38,086.39	57,595.39
3rd Level	38,506.07	61,389.07
4th Level	38,466.00	66,198.00
5th Level	38,466.00	66,198.00
6th Level	38,466.00	66,198.00
7th Level	38,982.00	60,674.00
8th Level	38,982.00	60,674.00
9th Level	38,982.00	47,975.00
10th Level	38,909.50	19,909.50
11th Level	38,909.50	19,909.50
12th Level	38,909.50	19,909.50
TOTAL	376,043.04	607,369.08

per parcel 2.4 FAR 3.9 FAR
as a whole with hotel (288,000 SF) 2.2 FAR 3.00 FAR

PHASE:
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DATE: 04/24/2023
JOB No.: 2021-04
DRAWN BY: MC/DA/AMV
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A-1.04



CORWIL ARCHITECTS
 1701 JOHNSON CIRCLE, SUITE 200
 FT. LAUDERDALE, FL 33304-3300

PROJECT:
WESTIN/AURA CYPRESS CREEK
 300, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRINISIC RESIDENTIAL GROUP
 8255 Douglas Ave,
 Dallas, TX 75225

PARCEL B - NET AREA

PHASE:
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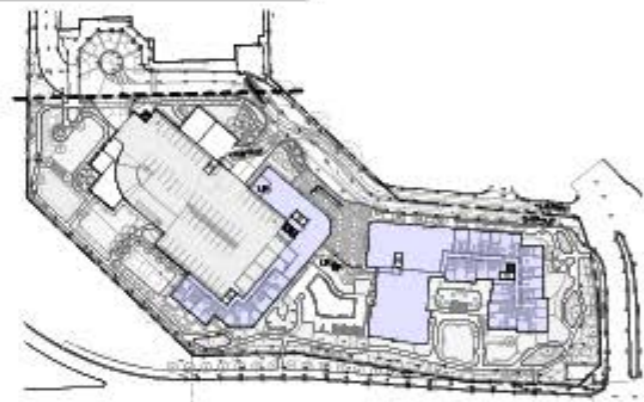
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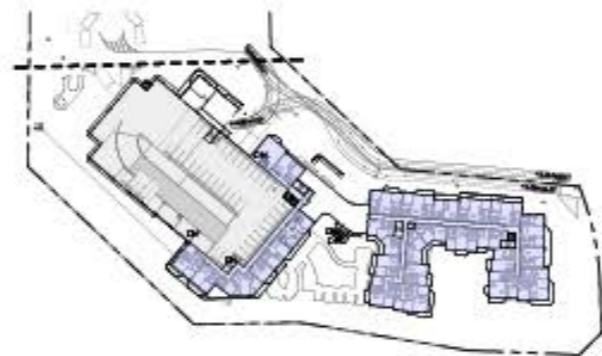
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 CHECKED BY: AMC
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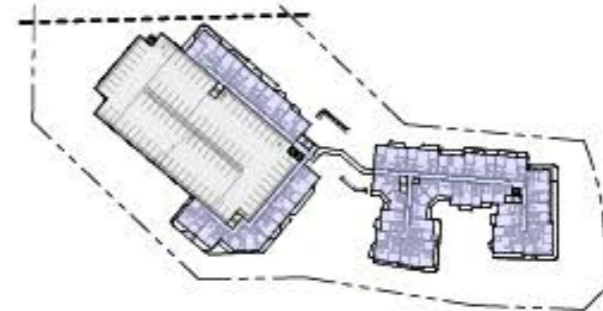
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GROUND FLOOR PLAN
 SCALE: 1" = 80'-0"



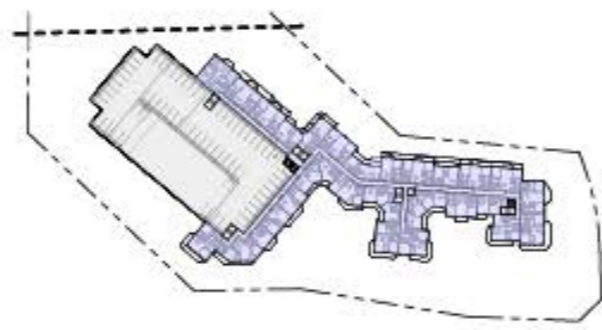
2nd LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



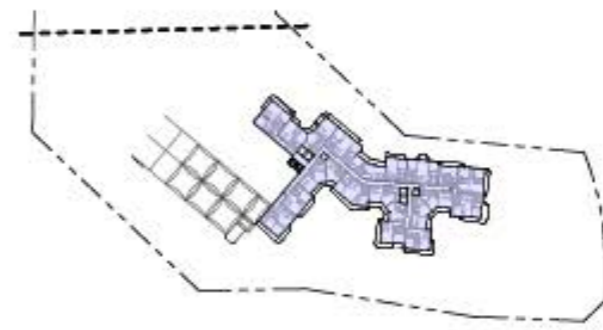
3rd LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



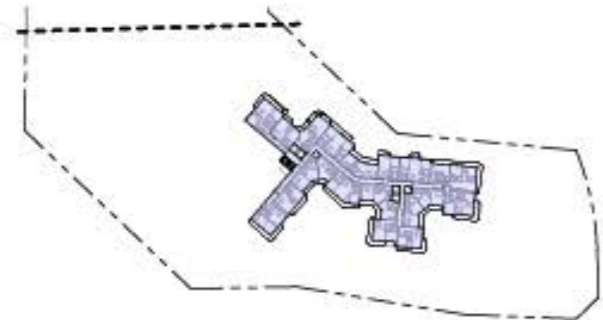
4th - 6th LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



7th-9th LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



10th -11th LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



12th LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"

NET AREA (PARCEL B)	
LEVELS	NET AREA (SF)
Ground Level	30,526.63
2nd Level	28,284.38
3rd Level	32,142.80
4th Level	37,296.15
5th Level	37,296.15
6th Level	37,296.15
7th Level	31,704.94
8th Level	31,704.94
9th Level	31,704.94
10th Level	19,249.10
11th Level	19,249.10
12th Level	19,249.10
TOTAL	355,704.38

NET AREA (PARCEL A)	
LEVELS	NET AREA (SF)
Ground Level	37,214.98
2nd Level	7,097.71
3rd Level	9,845.27
4th Level	13,318.13
5th Level	13,318.13
6th Level	13,318.13
7th Level	13,318.13
8th Level	13,318.13
9th Level	13,318.13
10th Level	13,318.13
11th Level	12,692.00
12th Level	12,693.00
13th Level	12,694.00
14th Level	12,695.00
15th Level	12,696.00
TOTAL	210,854.87



CORWIL ARCHITECTS
 4011 ALABAMA DRIVE, SUITE 200
 FT. LAUDERDALE, FL 33304

PROJECT:
 WESTIN/AURA CYPRESS
 CREEK
 300, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304
OWNER:



825 Douglas Ave,
 Dallas, TX 75225

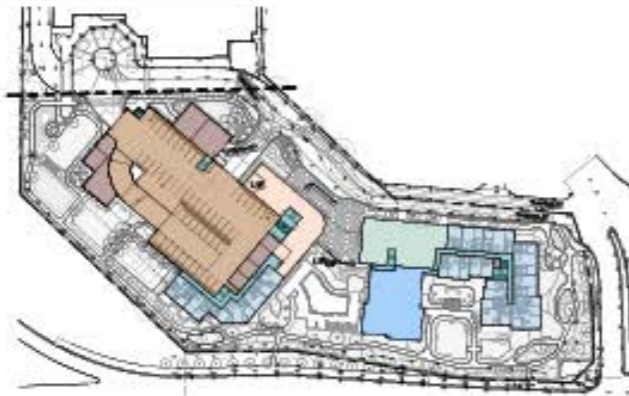
PARCEL B - GROSS SQUARE FOOTAGE

PHASE:
 PDD SUBMITTAL



DATE: 04/24/2023
JOB No.: 3021-54
DESIGNED BY: MJC/DA/AMV
APPROVED BY: AMC
PROJECT: WESTIN/AURA CYPRESS CREEK

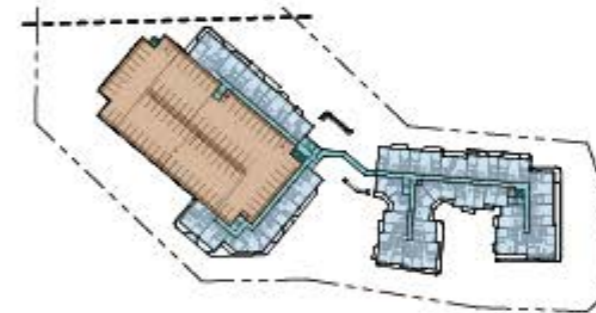
SHOT NUMBER:
A-1.06



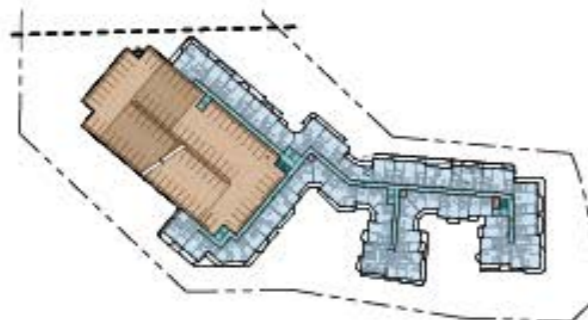
GROUND FLOOR PLAN
 SCALE: 1" = 80'-0"



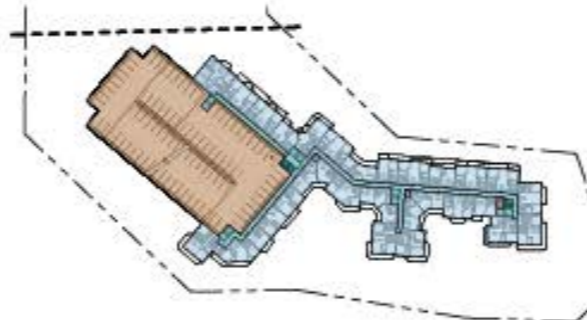
2nd LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



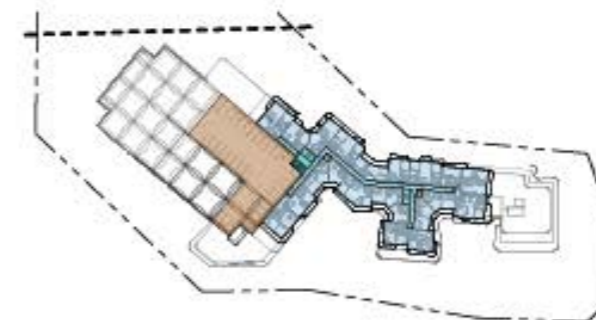
3rd LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



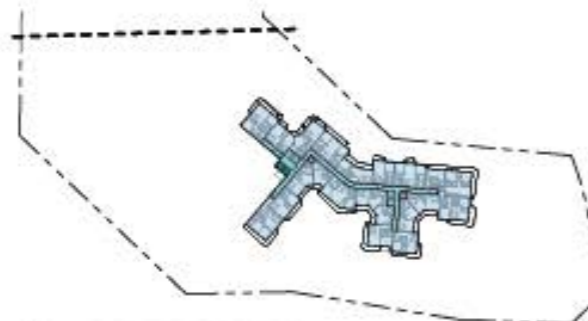
4th - 6th LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



7th-9th LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"



10th -11th LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"

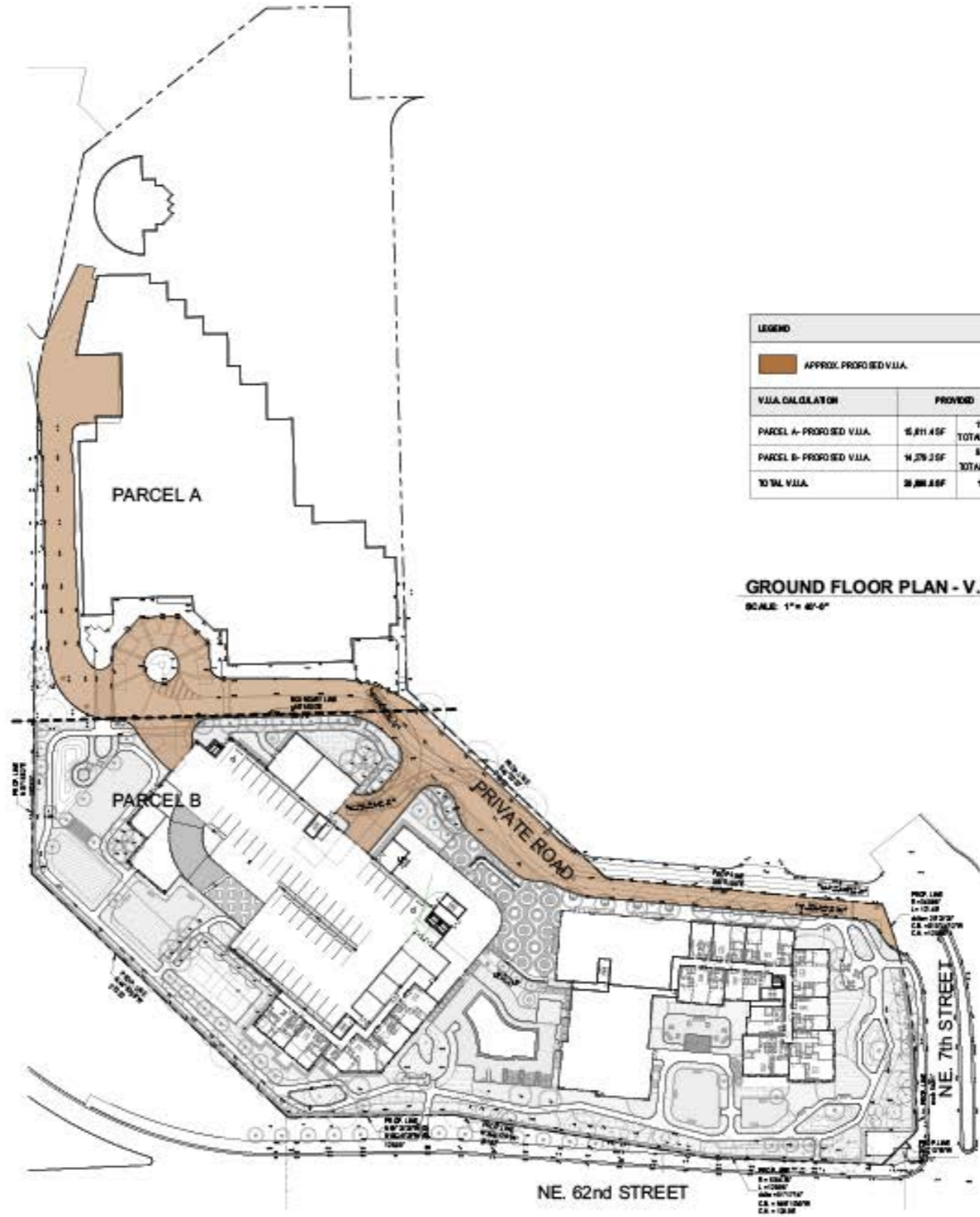


12th LEVEL FLOOR PLAN
 SCALE: 1" = 80'-0"

LEVELS	RESIDENTIAL		PARKING		COMMERCIAL (SF)	LOBBY/MAIL/LEASING/SUPPORT (SF)	AMENITY (SF)	COMMON AREA/CIRCULATION (SF)	POOL/DECK (SF)	BASE OF HOUSE (SF)	FLOOR TOTAL (SF)
	# Units	Apartment (SF)	Garage # Spaces	Garage Area (SF)							
Ground Level	15	13,343.15	92	24,668.23	4,700.00	4,718.30	5,460.39	3,789.16	9,489.32	5,407.96	71,886.45
2nd Level	20	25,393.08	98	27,876.29				4,074.39		936.70	62,208.28
3rd Level	31	28,545.75	98	27,876.29				5,471.31		257.91	62,191.26
4th Level	27	33,170.07	92	27,882.96				5,249.35		309.69	66,632.07
5th Level	27	33,170.07	92	27,882.96				5,249.35		309.69	66,632.07
6th Level	27	33,170.07	92	27,882.96				5,249.35		309.69	66,632.07
7th Level	31	27,152.61	92	27,897.55				4,716.34		309.69	60,036.19
8th Level	31	27,152.61	92	27,897.55				4,716.34		309.69	60,036.19
9th Level	31	27,152.61	92	27,897.55				4,716.34		309.69	60,036.19
10th Level	21	17,115.09	30	10,158.56				2,452.15		205.40	29,038.20
11th Level	21	17,115.09	30	10,158.56				2,452.15		205.40	19,778.64
12th Level	20	17,115.09	30	10,158.56				2,452.15		205.40	19,778.64
Roof Level											800.89
TOTAL	360	299,538.29	842	258,241.90	4,700.00	4,718.30	8,588.21	32,189.27	9,439.32	9,076.81	646,599.14

* DOES NOT INCLUDE ROOFS/BALCONIES

* GRAND TOTAL: 646,599.14



LEGEND		
	APPROX. PROPOSED VILLA	
VILLA CALCULATION		PROVIDED
PARCEL A- PROPOSED VILLA	15,811 ASF	11.8%
PARCEL B- PROPOSED VILLA	14,276 ASF	8.2%
TOTAL VILLA	30,087 ASF	19.4%

GROUND FLOOR PLAN - V.U.A.
SCALE: 1" = 40'-0"



CORWIL ARCHITECTS
ARCHITECTS & INTERIORS
1000 N. UNIVERSITY BLVD., SUITE 100
LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



8235 Douglas Ave,
Dallas, TX 75225

V.U.A.

PHASE:
PDD SUBMITTAL



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PRINTED: 10:00:23 AM

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A-1.07



CORWIL ARCHITECTS
3511 LUGAN PL, SUITE 100, FT. LAUDERDALE, FL 33309
TEL: 954-575-1111 FAX: 954-575-1112

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:

6225 Douglas Ave,
Dallas, TX 75225

LANDSCAPE AREA

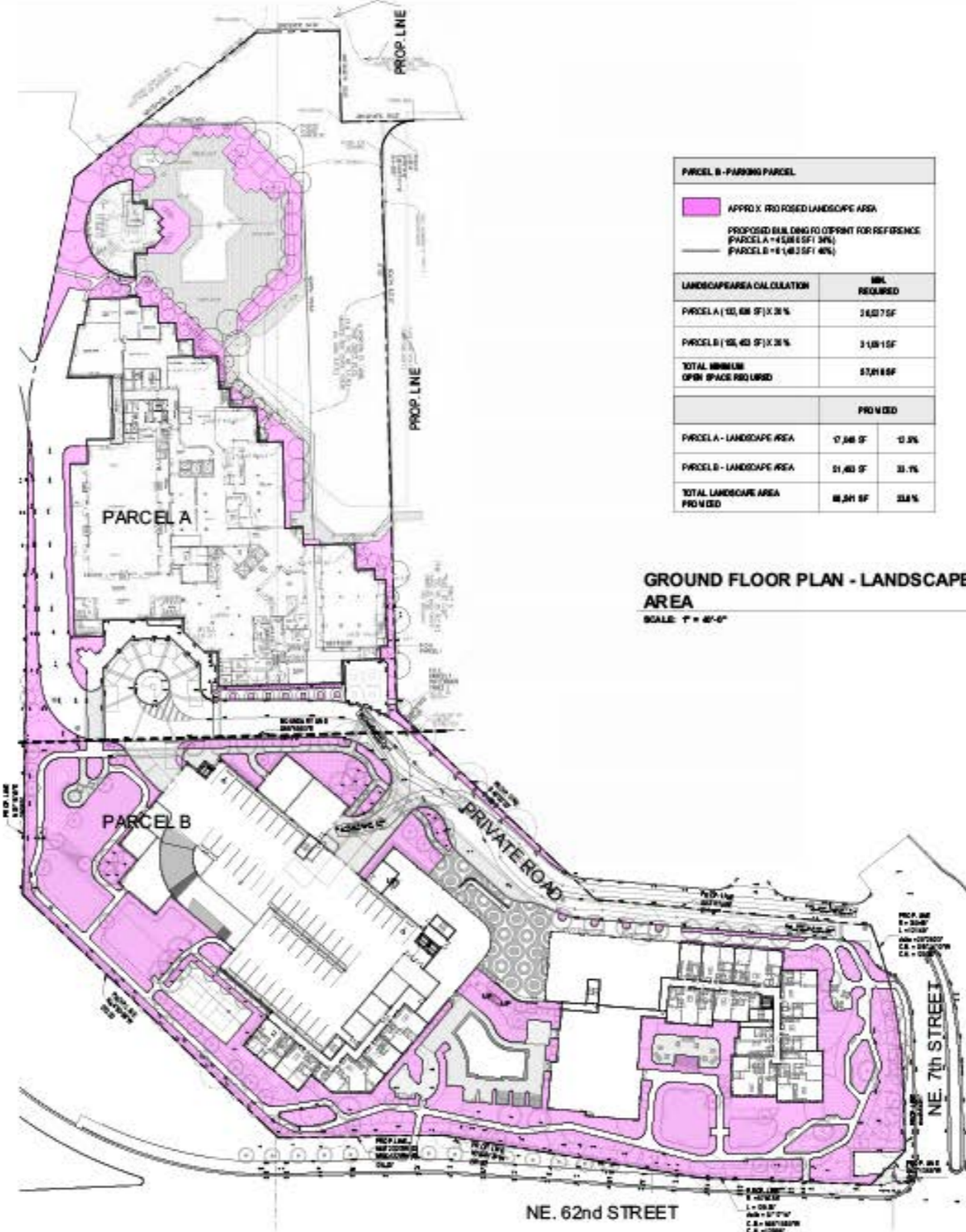
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PARCEL B - PARKING PARCEL

APPROX PROPOSED LANDSCAPE AREA

PROPOSED BUILDING FOOTPRINT FOR REFERENCE
PARCEL A = 45,886 SF (34%)
PARCEL B = 81,403 SF (66%)

LANDSCAPE AREA CALCULATION	MIN. REQUIRED
PARCEL A (45,886 SF) X 30%	13,766 SF
PARCEL B (81,403 SF) X 30%	24,421 SF
TOTAL MINIMUM OPEN SPACE REQUIRED	38,187 SF
	PROVIDED
PARCEL A - LANDSCAPE AREA	17,448 SF 38.0%
PARCEL B - LANDSCAPE AREA	51,403 SF 63.1%
TOTAL LANDSCAPE AREA PROVIDED	68,851 SF 84.1%

GROUND FLOOR PLAN - LANDSCAPED AREA
SCALE: 1" = 40'-0"



VEHICULAR AND PEDESTRIAN CIRCULATION



CORWIL ARCHITECTS
 2511 LAKESHORE DR. SUITE 200
 FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
 300, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304

OWNER:

TRINSIC
 RESIDENTIAL GROUP
 8235 Douglas Ave,
 Dallas, TX 75225

PEDESTRIAN AND VEHICULAR CIRCULATION

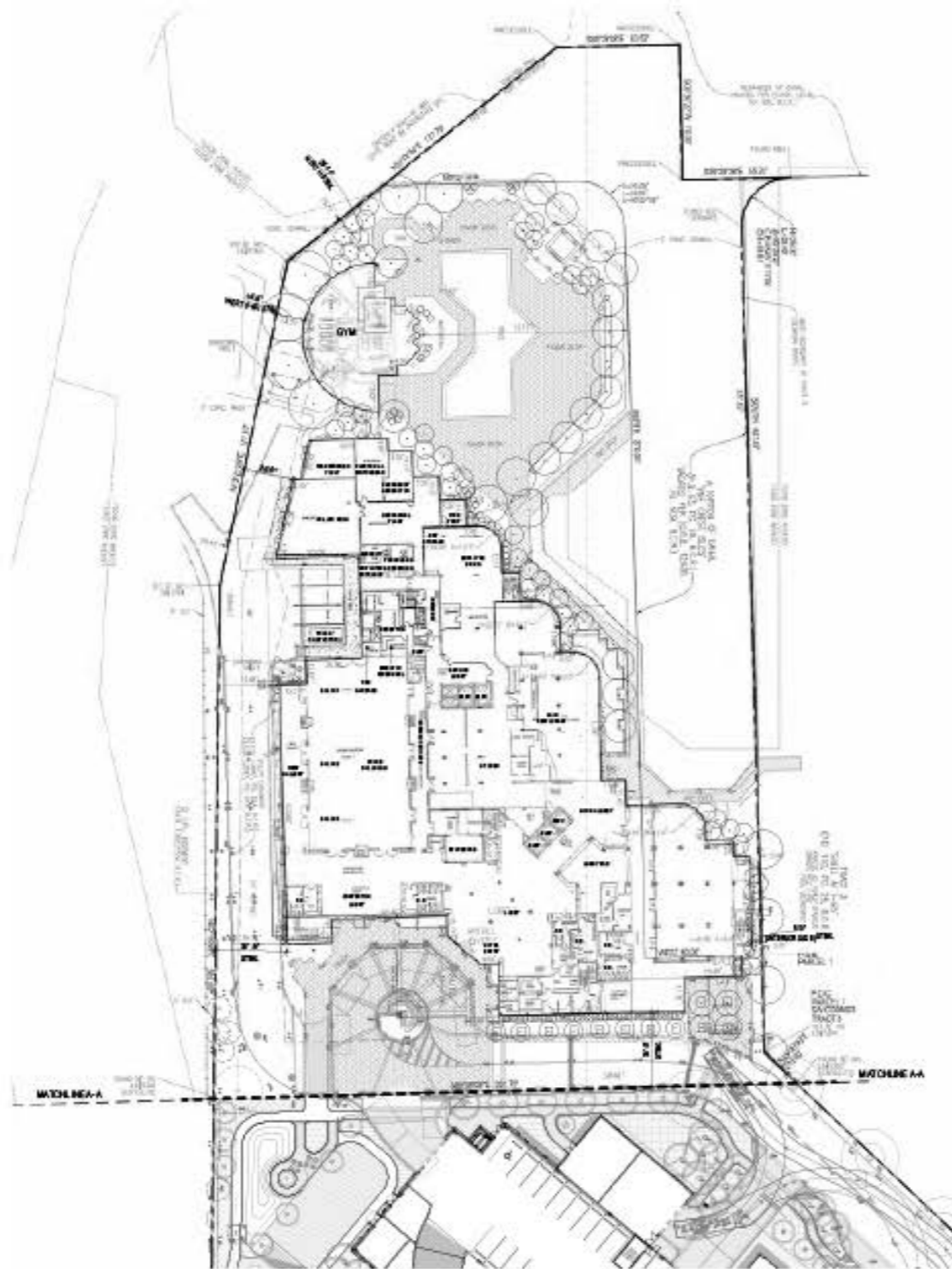
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DESIGNED BY: MJC/DJA/AMV
APPROVED BY: AMC
PRINTED: 10:00:23 AM 04/24/23

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A-1.09



CORWIL ARCHITECTS
ARCHITECTS & INTERIORS
1000 W. UNIVERSITY BLVD., SUITE 200
FT. LAUDERDALE, FL 33304

PROJECT:
WEST/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

PARCEL A - GROUND FLOOR PLAN

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DATE: 04/24/2023
FILE NO.: 2021-04
DESIGNED BY: AMV
APPROVED BY: AMC
PRINTED: 10:00:23 AM 04/24/23

GROUND FLOOR PLAN - PARCEL A 
SCALE: 1" = 30'-0"
NOTE: DRAWING HAS BEEN CREATED FROM PLOTTER IMAGES OF THE ORIGINAL DRAWINGS DONE BY OTHERS.

SHEET NUMBER:
A-2.00



CORWIL ARCHITECTS
3511 LINDALEY BLVD, SUITE 200
FT. LAUDERDALE, FL 33309

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

TRG
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

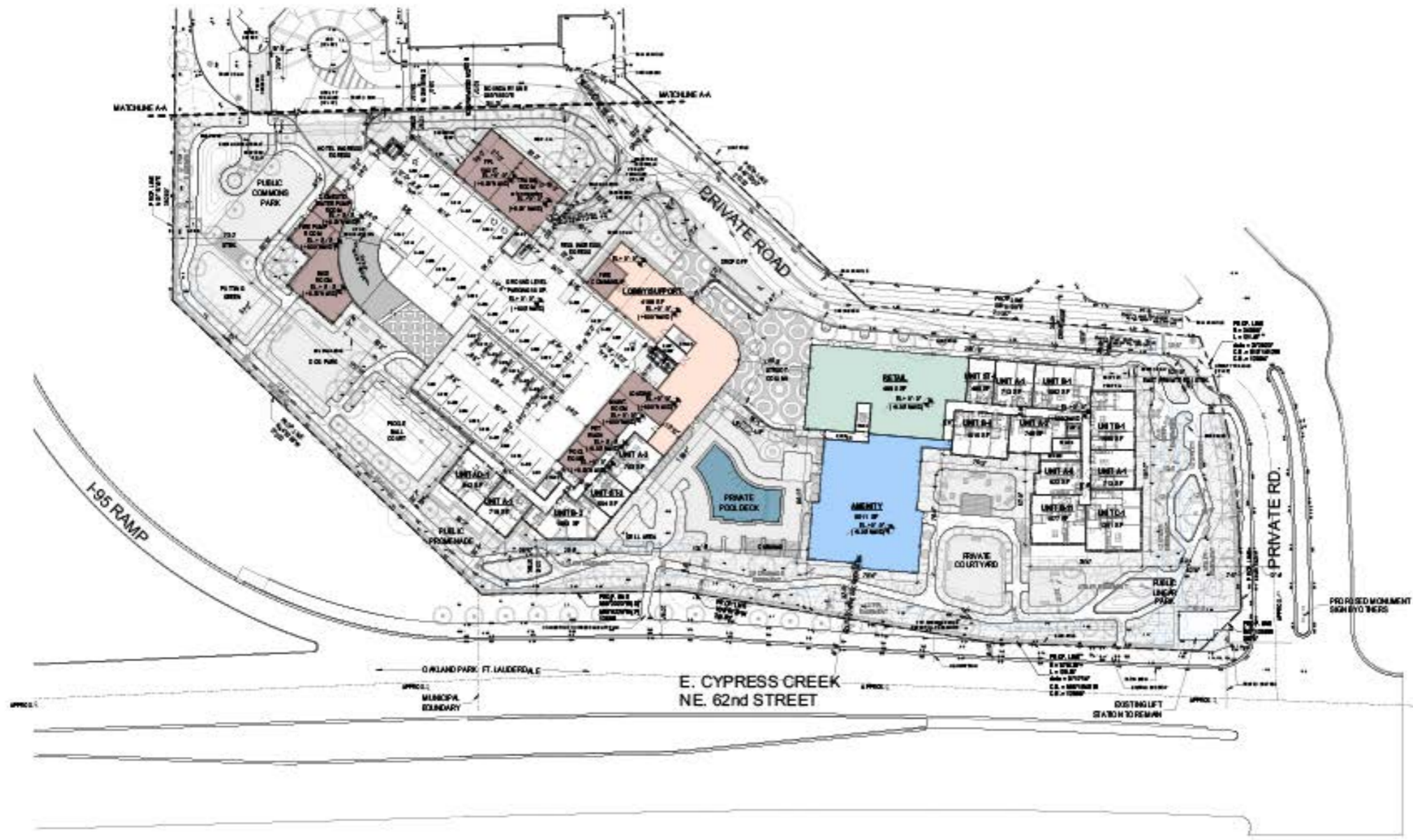
PARCEL B - GROUND FLOOR PLAN

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JOB No.: 2021-04
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PRINTED: 10:00:23 AM

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A-2.00A



GROUND FLOOR PLAN - PARCEL B
SCALE: 1" = 30' 0"
NOTE: On the copies of approved plans, the Seal is to be placed on the 2' x 2' REC. will be used.

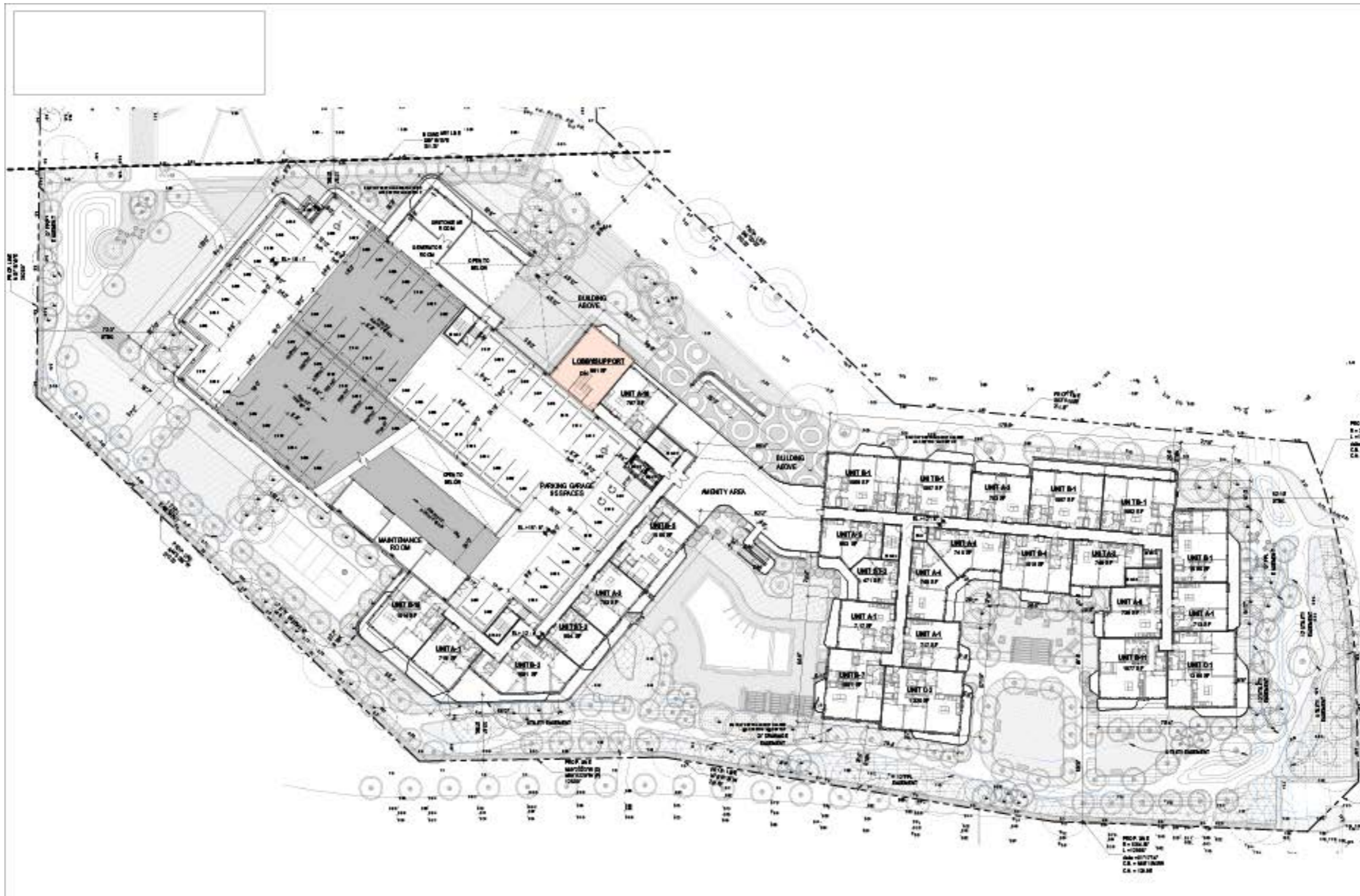


CORWIL ARCHITECTS
3515 LAKESHORE DRIVE, SUITE 200
FT. LAUDERDALE, FL 33309

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



8225 Douglas Ave,
Dallas, TX 75225



PARCEL B - 2nd LEVEL FLOOR PLAN

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APPROVED: AMC
PRINTED: WEDNESDAY 4:48 AM

SHEET NUMBER:
A-2.01

2nd LEVEL FLOOR PLAN

SCALE: 3/8" = 1'-0"
NOTE: Go to an online up to date local map or Google to see the 2021 REC will be used.



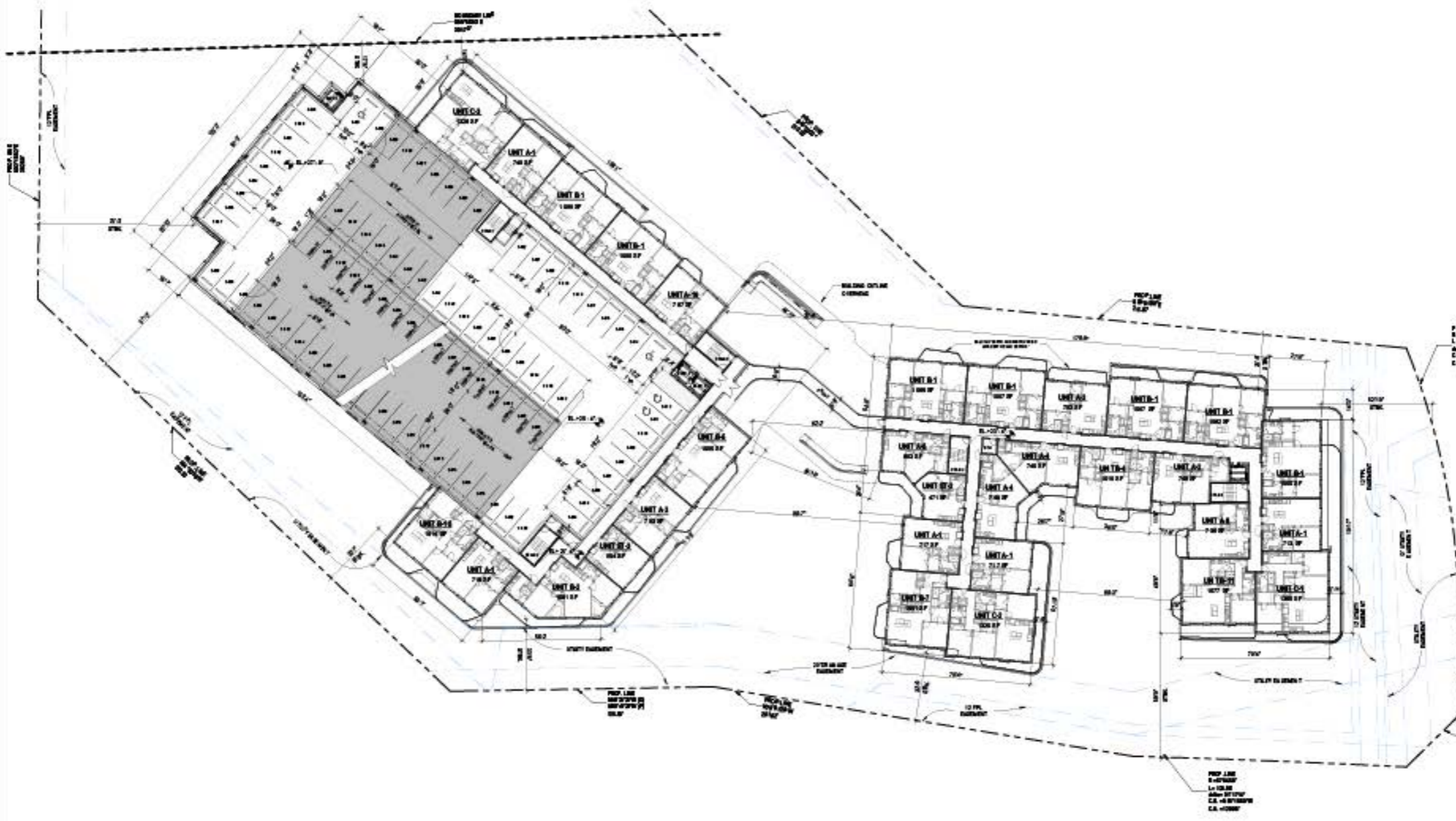


CORWIL ARCHITECTS
351 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.575.1111 FAX: 954.575.1112

PROJECT:
WEST/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33334



6225 Douglas Ave,
Dallas, TX 75225



PARCEL B - 3rd LEVEL FLOOR PLAN

PHASE:
PDD SUBMITTAL

DATE: 04/24/2023
JOB No.: 2021-04
DRAWN BY: AMV
APPROV.: AMC
PRINTED: 10:02:33 AM

3rd LEVEL FLOOR PLAN
SCALE: 3/8" = 1'-0"
NOTE: Go to the upper right corner of Sheet A-2.01 of the 2-D SET REC will be used.

SHEET NUMBER:
A-2.02



CORWIL ARCHITECTS
351 LUDLOW ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.776.1111 FAX: 954.776.1112

PROJECT:
WEST/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



6225 Douglas Ave,
Dallas, TX 75225

PARCEL B - 4th LEVEL FLOOR PLAN

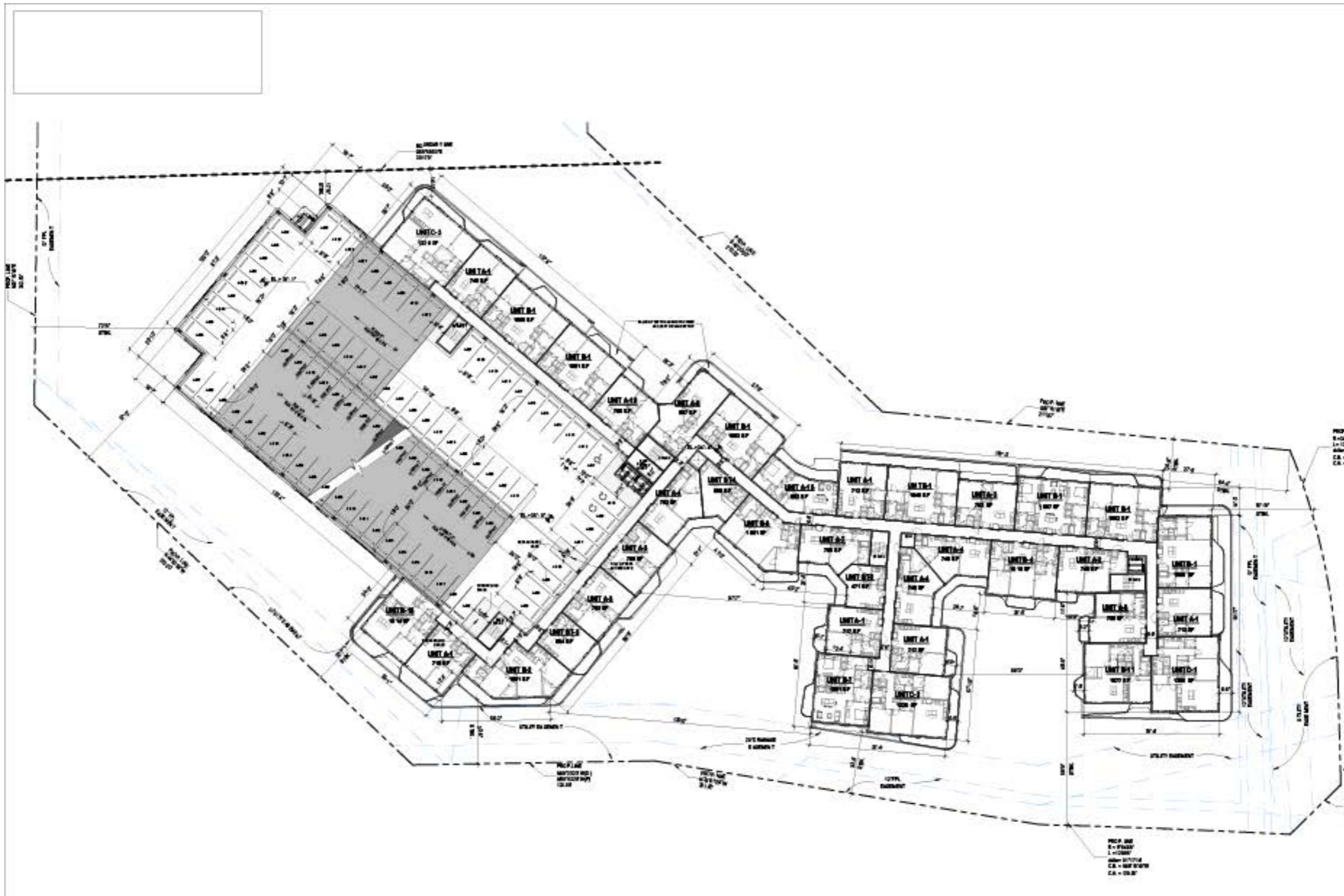
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DATE: 04/24/2023
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PRINTED: 10:00:23 AM 04/24/23

SHEET NUMBER:
A-2.03



4th LEVEL FLOOR PLAN
SCALE: 3/8" = 1'-0"
NOTE: To be in compliance with local and state codes, the 2021 IRC will be used.

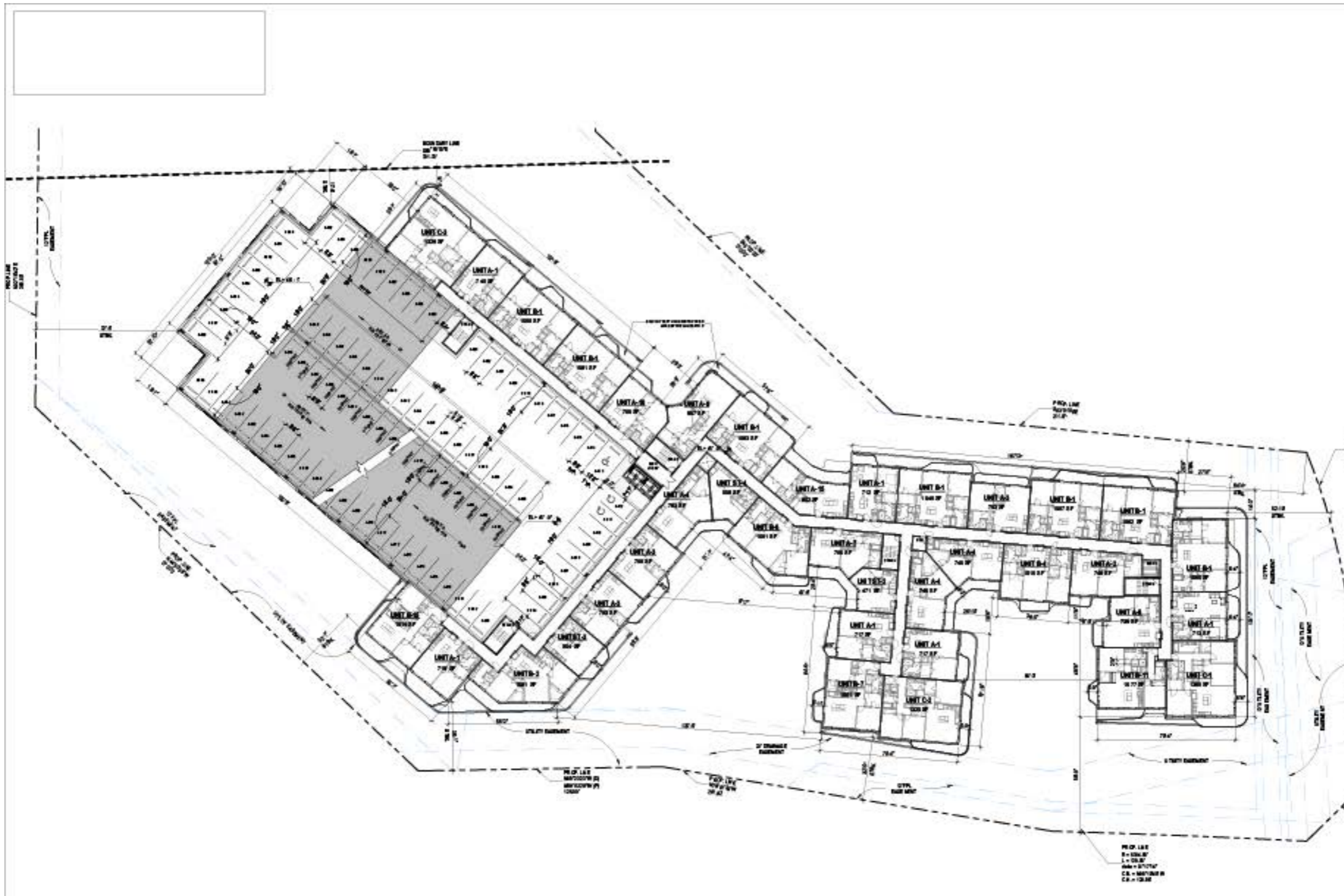


CORWIL ARCHITECTS
351 LUCAS STREET, SUITE 200
FT. LAUDERDALE, FL 33304

PROJECT:
WEST/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33324



6235 Douglas Ave,
Dallas, TX 75225



PARCEL B - 5th - 6th LEVEL FLOOR PLAN

PHASE:
PDD SUBMITTAL



DATE: 04/24/2023
JOB No.: 2021-04
DRAWN BY: MC/DA/AMV/GF
APP'D BY: AMC
PRINTED: 10:00:23 AM

5th - 6th LEVEL FLOOR PLAN

SCALE: 3/8" = 1'-0"
NOTE: Go to the applicable table and use the first 1/2 of the 2/2R REC will be used.

SHEET NUMBER:
A-2.04

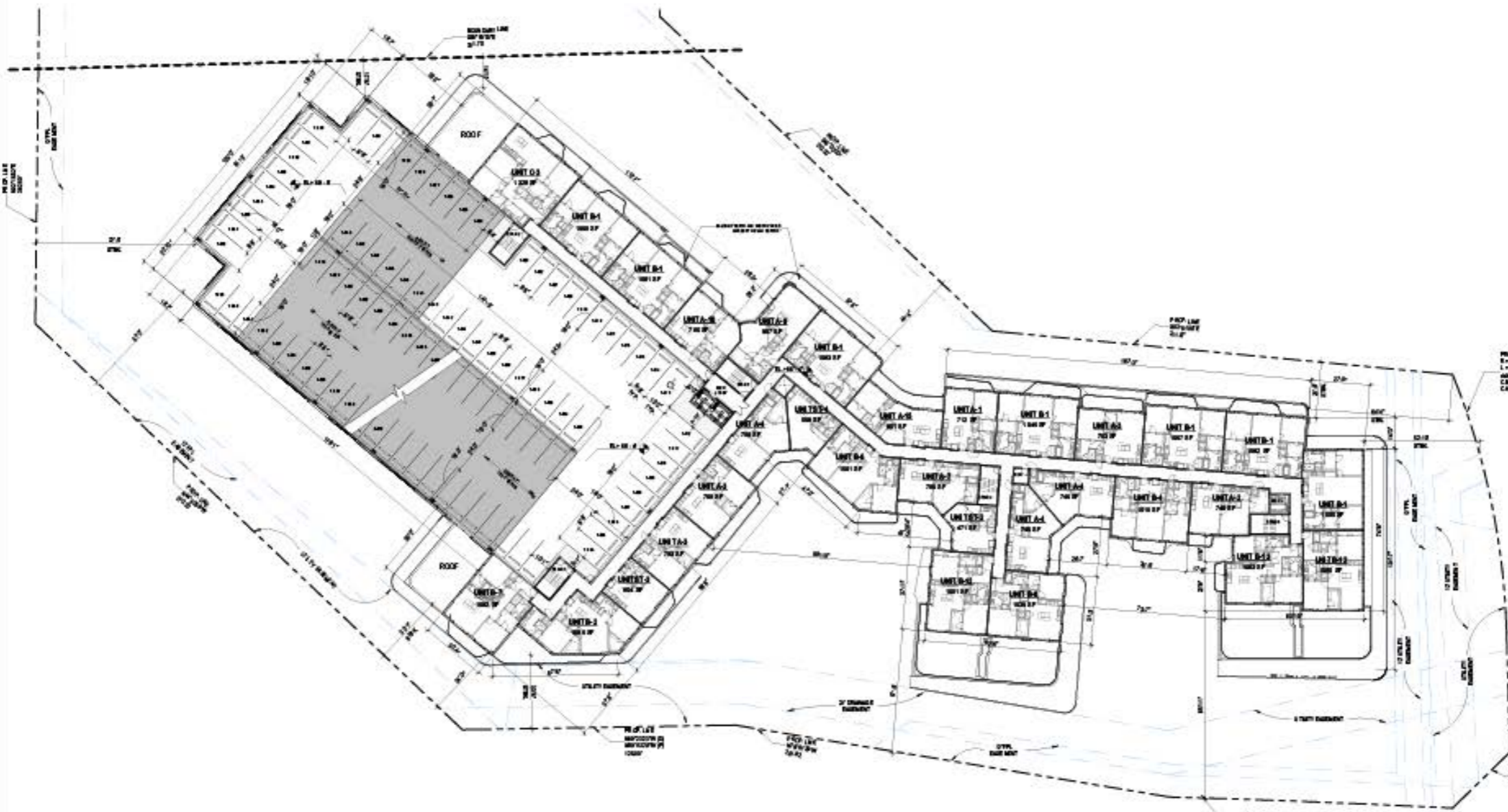


CORWIL ARCHITECTS
3511 LAKESHORE DRIVE, SUITE 200
FT. LAUDERDALE, FL 33304

PROJECT:
WEST/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33324



6225 Douglas Ave,
Dallas, TX 75225



PARCEL B - 7th LEVEL FLOOR PLAN

PHASE:
PDD SUBMITTAL

DATE: 04/24/2023
JOB No.: 2021-04
DRAWN BY: MC/DA/KAW/GF
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PRINTED: 10:00:23 AM

SHEET NUMBER:
A-2.05

6th - 7th LEVEL FLOOR PLAN
SCALE: 3/8" = 1'-0"
NOTE: See all applicable codes and standards of the FLSA REC will be used.

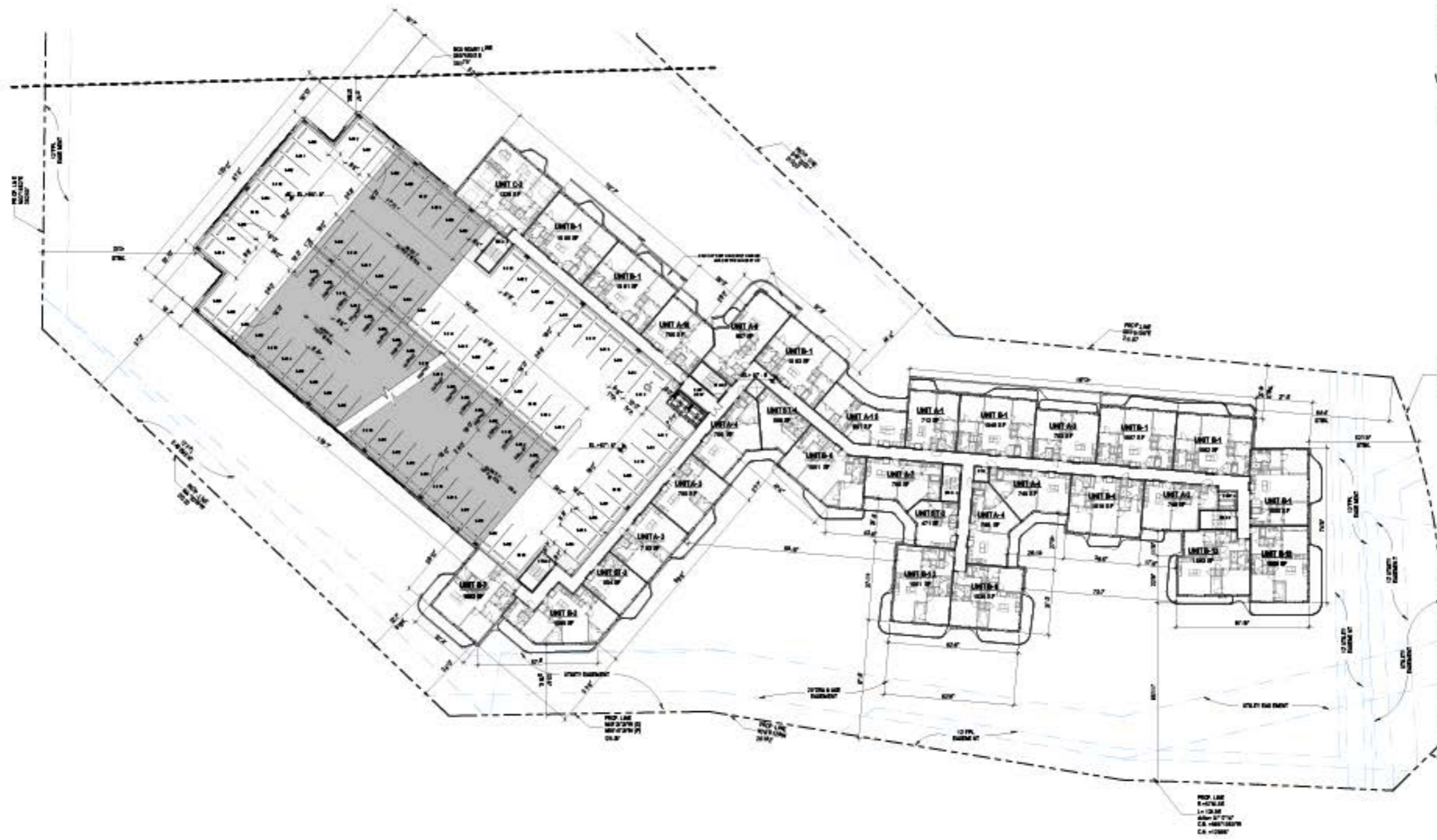


CORWIL ARCHITECTS
351 LUCAS ST. SUITE 200, FT. LAUDERDALE, FL 33304
TEL: 954.776.1111 FAX: 954.776.1112

PROJECT:
WEST/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



6235 Douglas Ave,
Dallas, TX 75225



PARCEL B - 8th - 9th LEVEL FLOOR PLAN

PHASE:
PDD SUBMITTAL

PROJ. LI. 2021-04
DATE: 04/24/2023
1:00 PM
DRAWN BY: MC/DA/AMV/GF
APP'D BY: AMC
PRINTED: 10:00:23 AM

8th - 9th LEVEL FLOOR PLAN
SCALE: 3/8" = 1'-0"
NOTE: Go to the applicable table and use the Grid Line ID of the 2D REC will be used.

SHEET NUMBER:
A-2.06

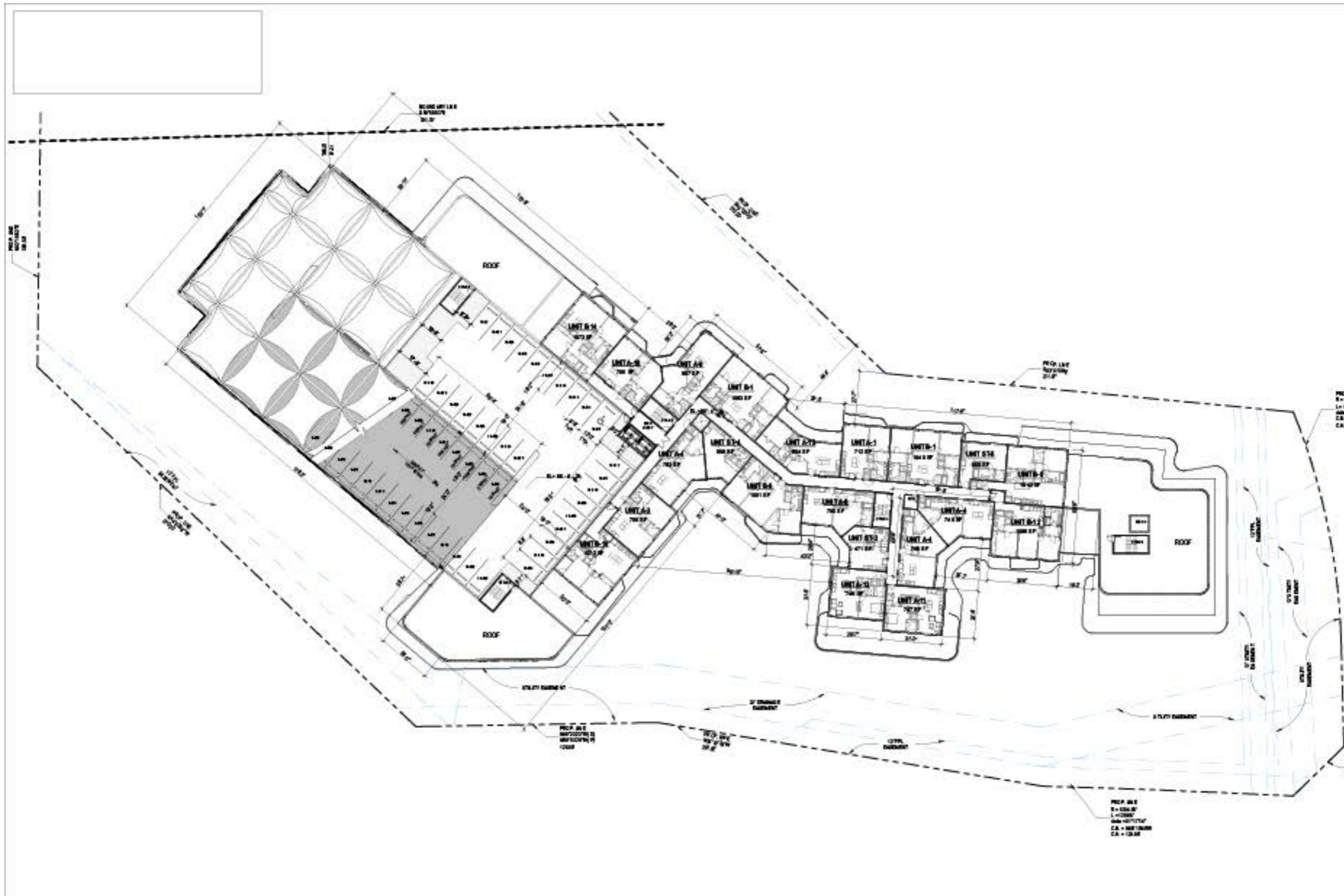


CORWIL ARCHITECTS
3511 LAKESHORE DR. SUITE 200
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



8235 Douglas Ave,
Dallas, TX 75225



PARCEL B - 10th LEVEL FLOOR PLAN

PHASE:
PDD SUBMITTAL



DATE: 04/24/2023
JOB No.: 2021-04
DRAWN BY: MC/DA/AM/AGF
APPROV: AMC
PRINTED: 10:00:23 AM

SHEET NUMBER:
A-2.07

10th LEVEL FLOOR PLAN
SCALE: 3/8" = 1'-0"
NOTE: Go to the applicable table top map on Sheet A-2.03 of the 2-D SET REC for details.

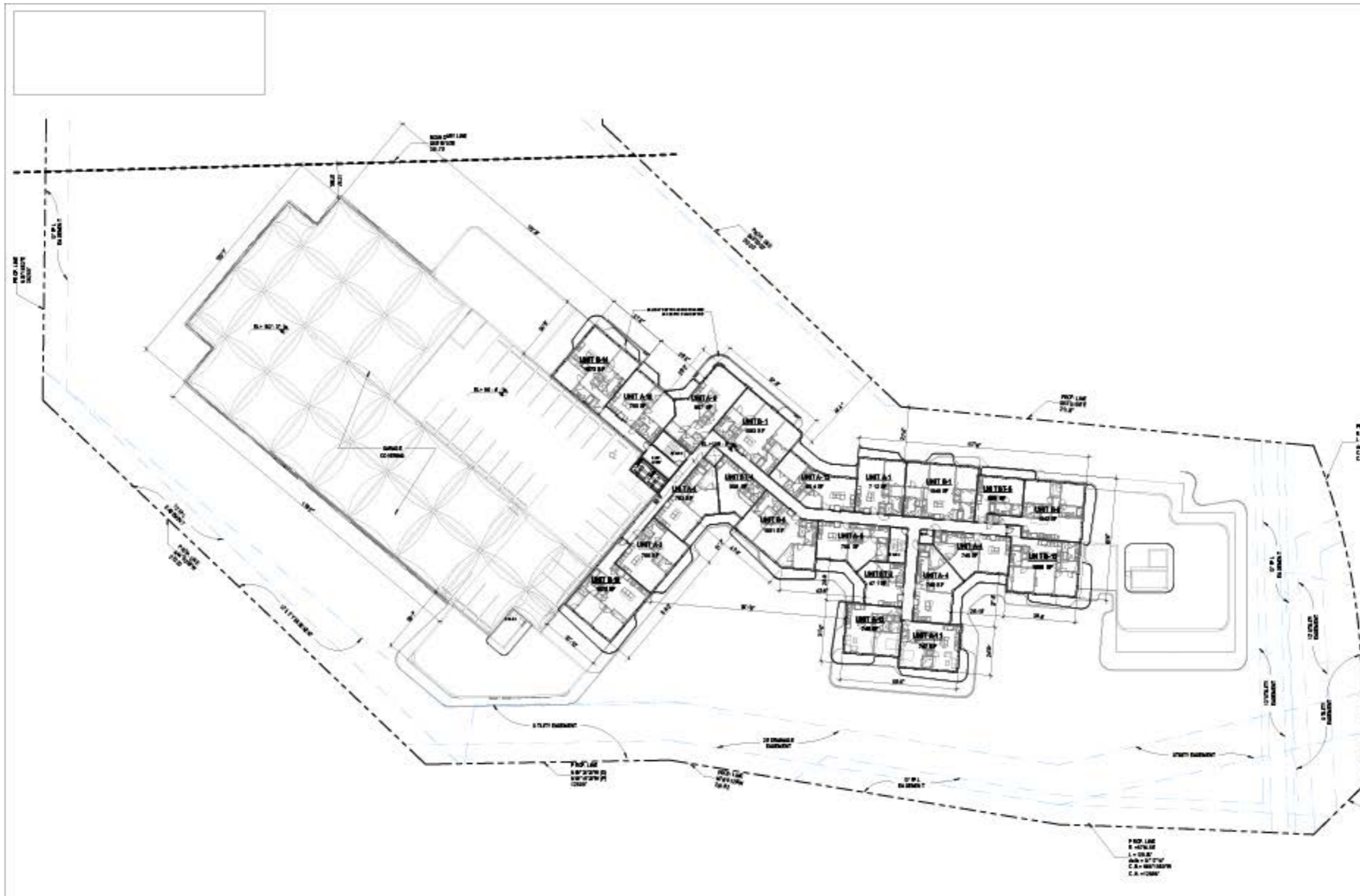


CORWIL ARCHITECTS
351 LUCAS BLVD, SUITE 200
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



8235 Douglas Ave,
Dallas, TX 75225



PARCEL B - 11th LEVEL FLOOR PLAN

PHASE:
PDD SUBMITTAL



DATE: 04/24/2023
JOB No.: 2021-04
DRAWN BY: AMW/JGF
APPROV.: AMC
PRINTED: 10:00:23 AM

10th - 11th LEVEL FLOOR PLAN
SCALE: 3/8" = 1'-0"

NOTE: See all applicable table and notes on Sheet 10-01 of the 2-D EX. REC. will be used.

SHEET NUMBER:
A-2.08



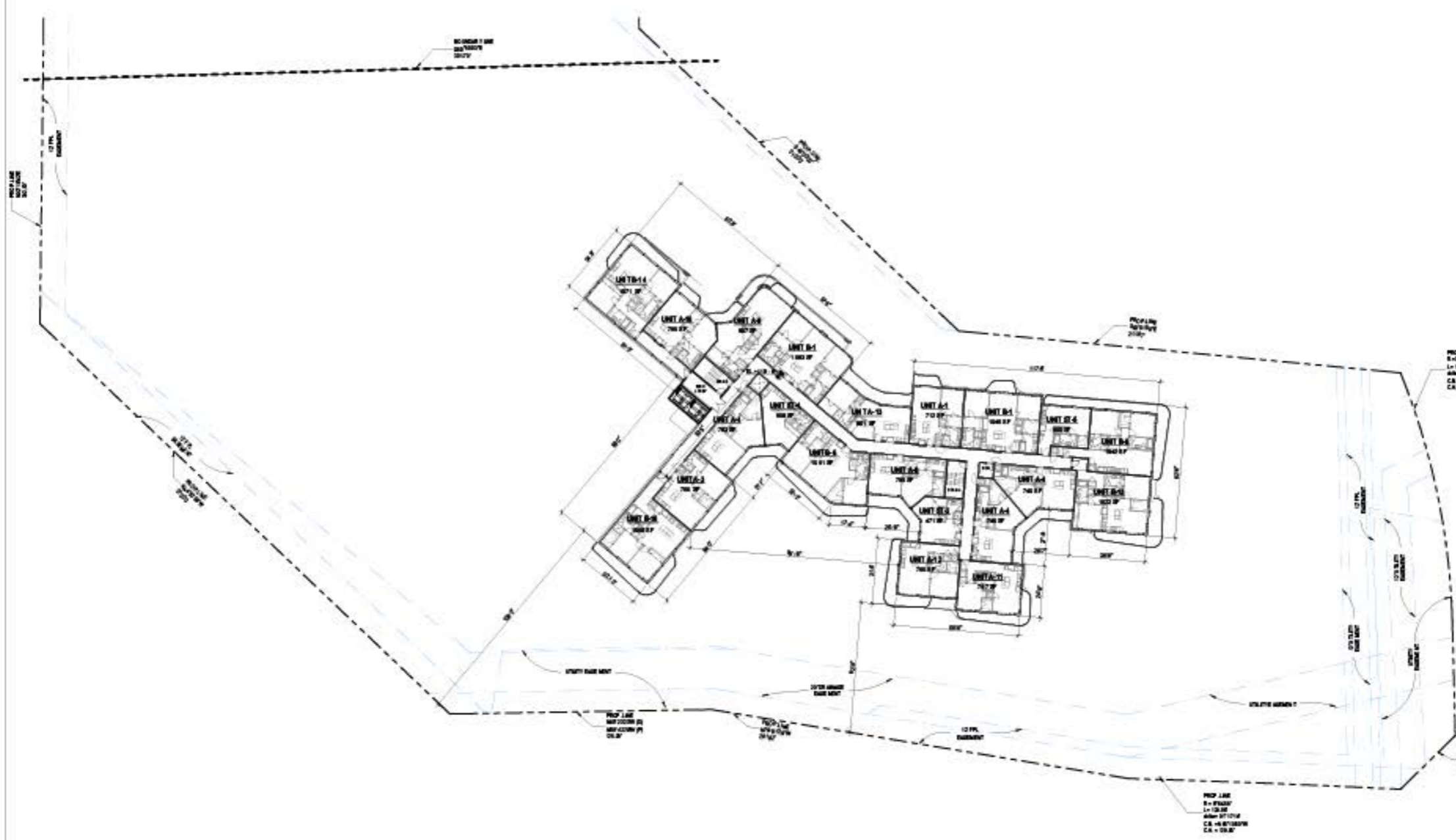
CORWIL ARCHITECTS
3511 LAKESHORE DRIVE, SUITE 200
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



6235 Douglas Ave,
Dallas, TX 75225

PARCEL B - 12th LEVEL FLOOR PLAN



PROJECT:
PDD SUBMITTAL



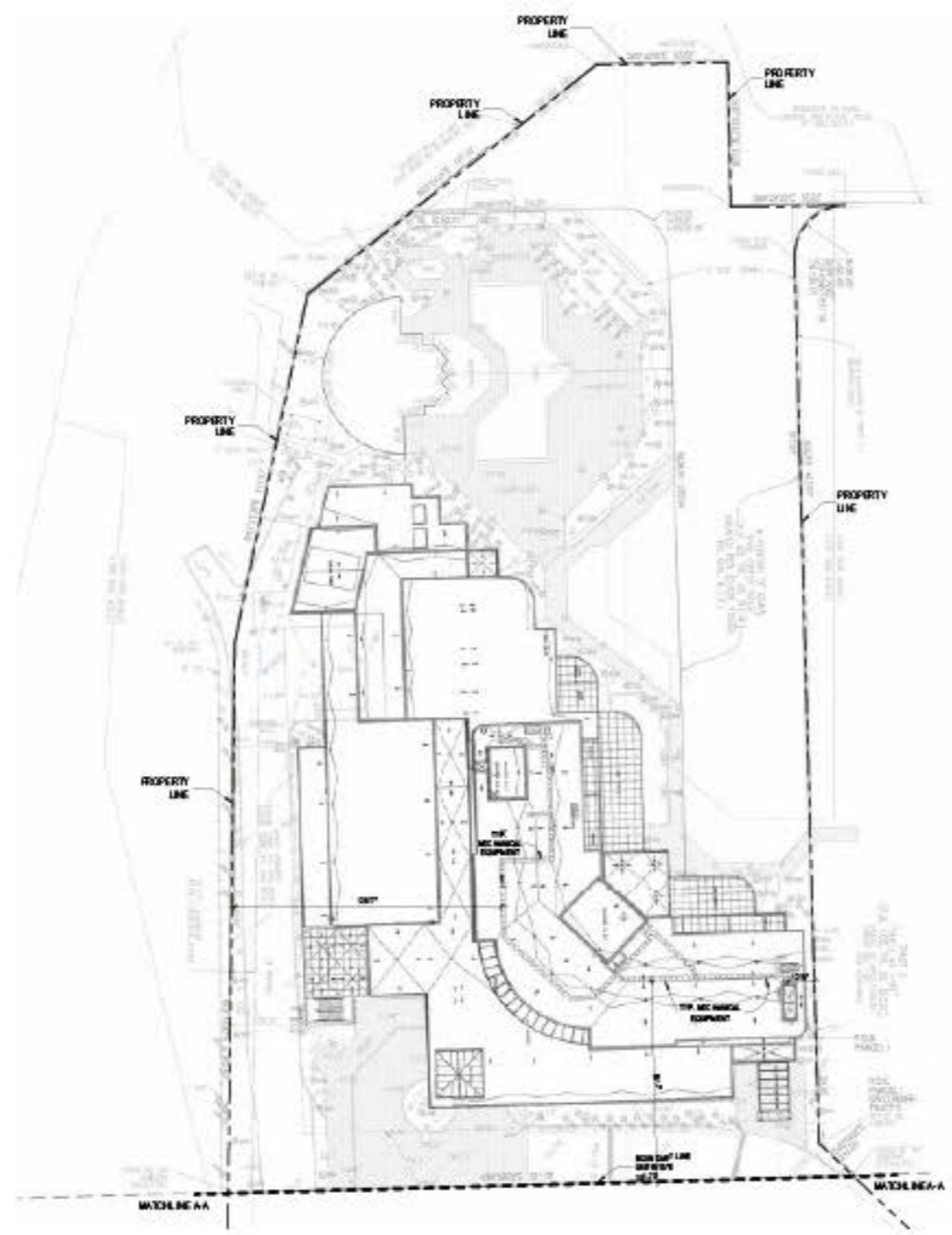
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12th LEVEL FLOOR PLAN

SCALE: 3/8" = 1'-0"
NOTE: Go to an up-to-date local map or Google Earth to verify the location of the building.

SHEET NUMBER:
A-2.09



CORWIL ARCHITECTS
ARCHITECTS & INTERIORS
1000 W. UNIVERSITY BLVD., SUITE 200
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

PARCEL A - ROOF LEVEL FLOOR PLAN

PHASE:
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DATE: 04/24/2023
1 OF 10: 2023-04
DESIGNED BY: AMV
APPROVED BY: AMC
PRINTED: 10:00:23 AM 04/24/23

Roof Level PARCEL A 
SCALE: 1" = 32'-0"
NOTE: DRAWING HAS BEEN CREATED FROM PASTER IMAGES
OF THE ORIGINAL DRAWINGS DONE BY OTHERS.

SHEET NUMBER:
A-2.10



CORWIL ARCHITECTS
351 LUCAS STREET, SUITE 200
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

PARCEL B - ROOF LEVEL FLOOR PLAN

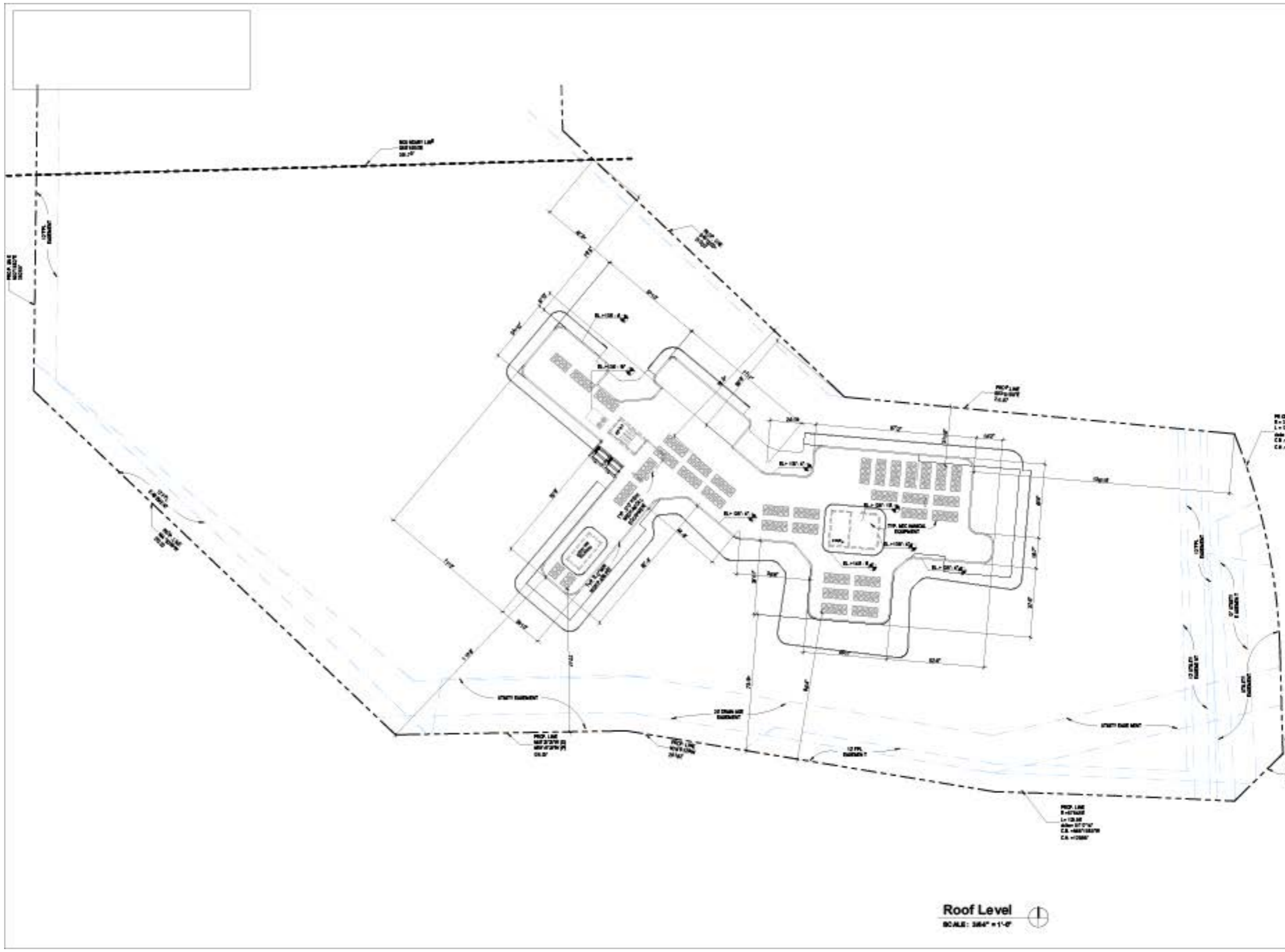
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SCALE:
AS SHOWN

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A-2.11



Roof Level
SCALE: 3/8" = 1'-0"



CORWIL ARCHITECTS
ARCHITECTS & ENGINEERS, P.A.
10000 W. UNIVERSITY BLVD., SUITE 100
FORT LAUDERDALE, FL 33324

PROJECT:
WESTIN/AURA CYPRESS CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33324

OWNER:
TRG TRINISIC RESIDENTIAL GROUP
8225 Douglas Ave,
Dallas, TX 75225

PARCEL B - PARKING LEVELS 1st - 4th

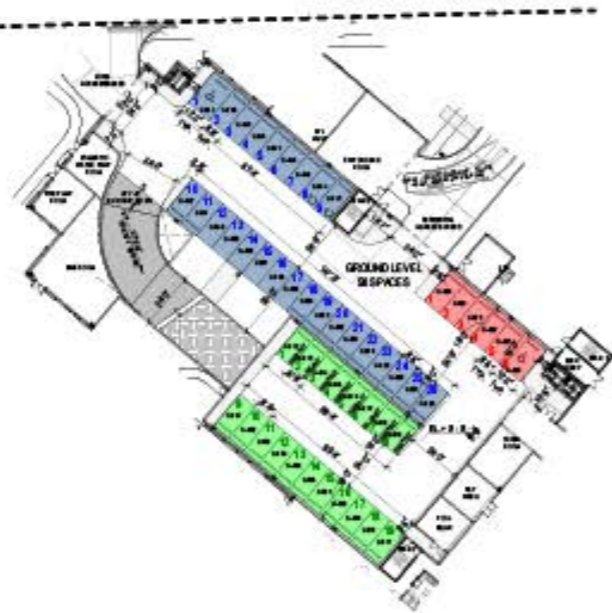
PHASE:
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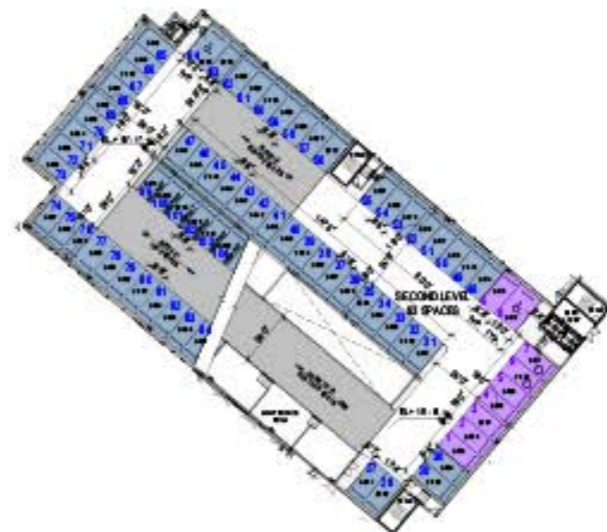
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DATE: 04/24/2023
1/01 No.: 2021-04
DESIGNED BY: MJC/DA/AMV
APPROVED BY: AMC
PRINTED: 04/24/2023 10:17 AM

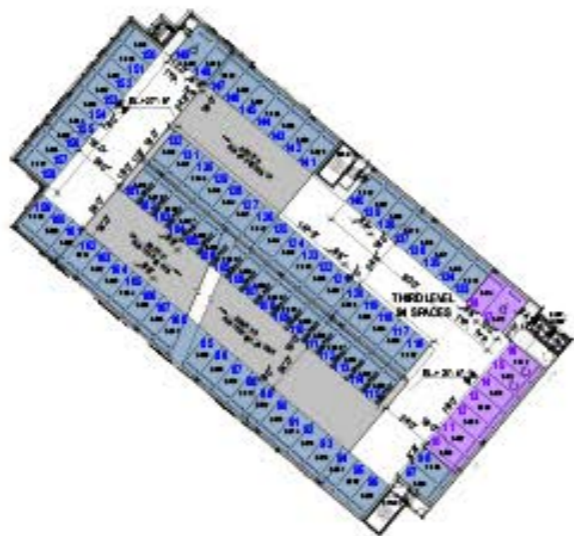
SHEET NUMBER:
A-2.12



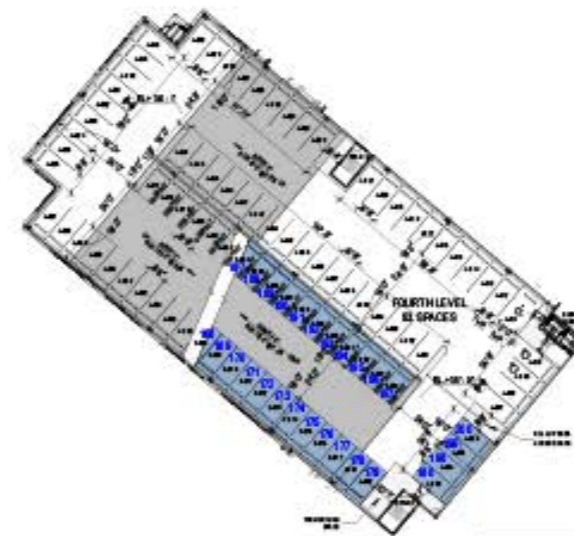
PARKING LEVEL 1
SCALE: 1" = 30'-0"



PARKING LEVEL 2
SCALE: 1" = 30'-0"



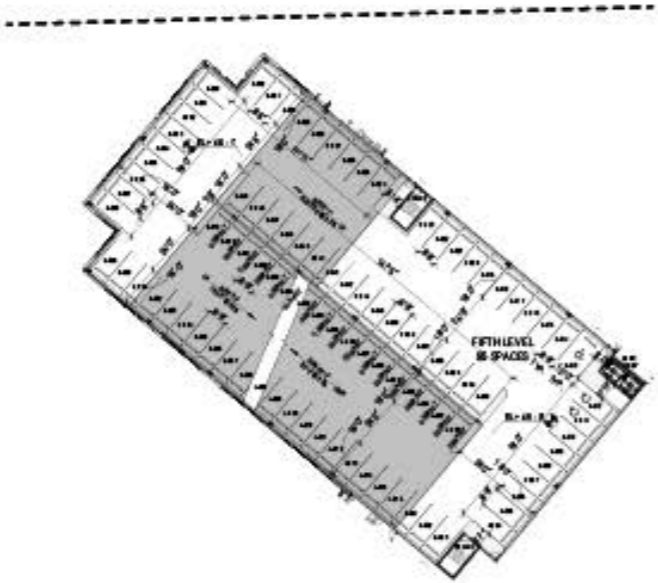
PARKING LEVEL 3
SCALE: 1" = 30'-0"



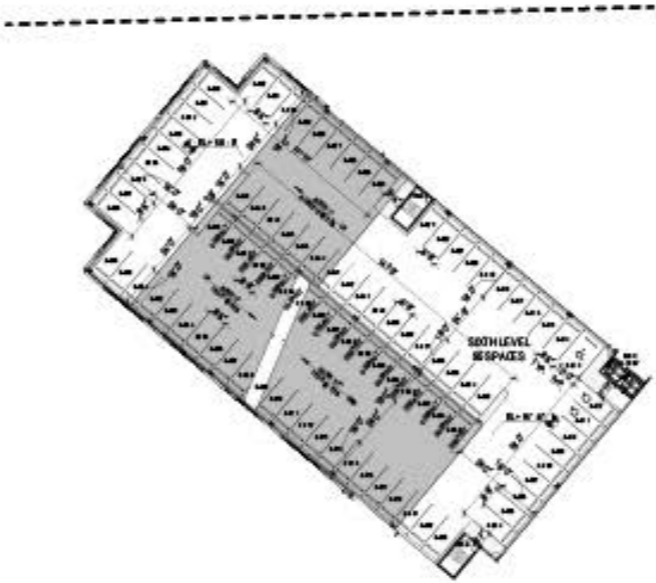
PARKING LEVEL 4
SCALE: 1" = 30'-0"

PARKING BEFORE RESI. ACCESS GATE

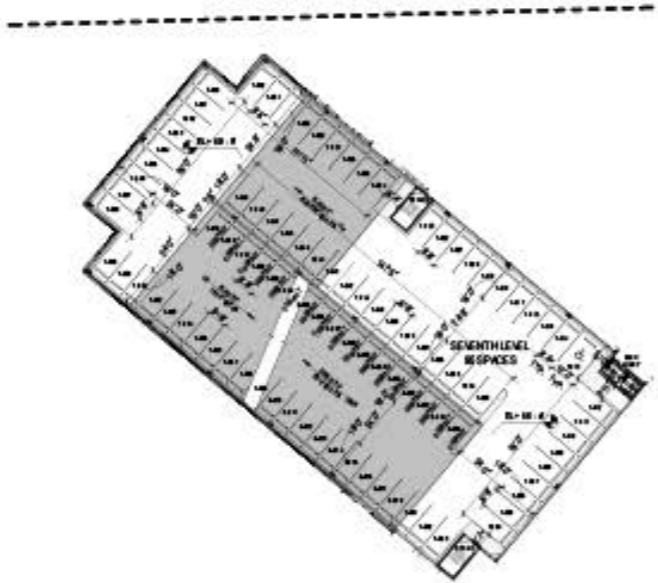
Blue	CYCL. PARKING - 25 SPACES
Green	BIKE PARKING - 9 SPACES
Red	POTENTIAL RESIDENT PARKING - 10 SPACES
Purple	BIKE PARKING - 10 SPACES



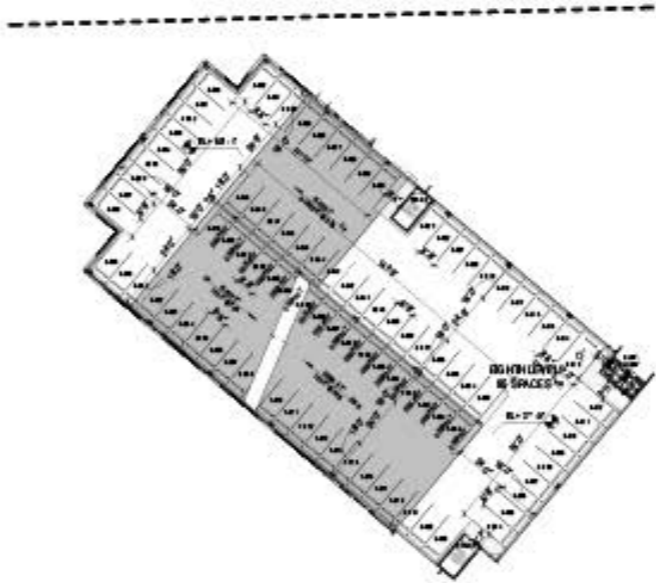
PARKING LEVEL 5
SCALE: 1" = 30' 0"



PARKING LEVEL 6
SCALE: 1" = 30' 0"



PARKING LEVEL 7
SCALE: 1" = 30' 0"



PARKING LEVEL 8
SCALE: 1" = 30' 0"



CORWIL ARCHITECTS
ARCHITECTS AND PLANNERS
1000 W. UNIVERSITY BLVD. SUITE 200
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG
TRINISIC
RESIDENTIAL GROUP
6225 Douglas Ave,
Dallas, TX 75225

PARCEL B - PARKING LEVELS 5th - 8th

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APPROVED BY: AMC
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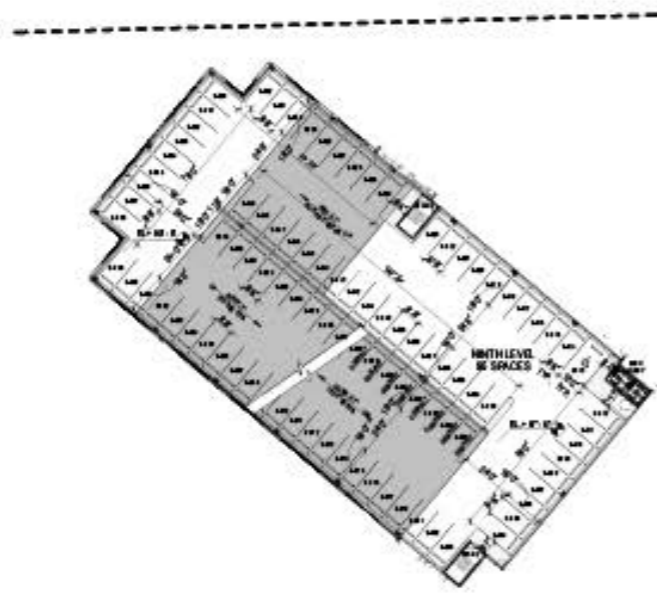


CORWIL ARCHITECTS
ARCHITECTS AND PLANNERS
1000 W. UNIVERSITY BLVD. SUITE 200
FT. LAUDERDALE, FL 33304

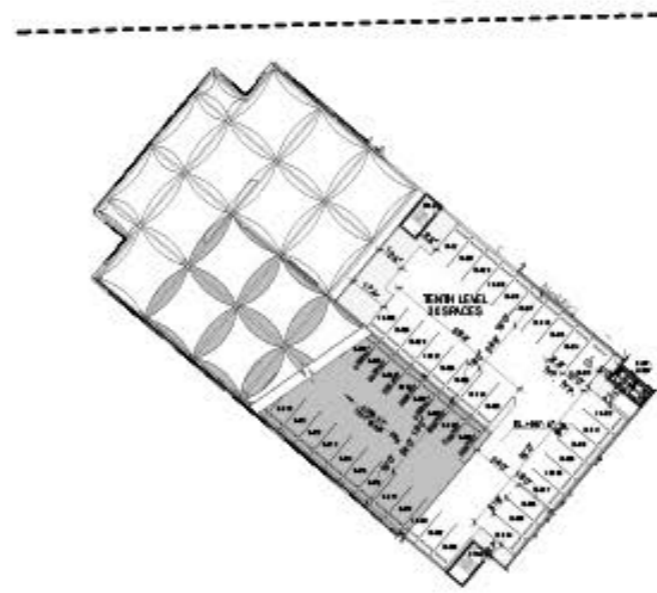
PROJECT:
WEST/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



6255 Douglas Ave,
Dallas, TX 75225



PARKING LEVEL 9 ⊕
SCALE: 1" = 30'-0"



PARKING LEVEL 10 (TOP LEVEL) ⊕
SCALE: 1" = 30'-0"

PARCEL B - PARKING LEVELS 9th - 10th

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THE SEAL OF THE BOARD OF ENGINEERS
IS VALID FOR THE STATE OF FLORIDA ONLY.
THE BOARD OF ENGINEERS SHALL NOT BE
BOUND BY THE SEAL OF ANY OTHER
STATE OR JURISDICTION.
A SEAL IS REQUIRED FOR THE BOARD OF
ENGINEERS TO BE VALID.

DATE: 04/24/2023
EXP. DATE: 2021-24
EXPIRES: ANNY
APPROVED: A.M.C.
PRINTED: 10:00:23 AM

SHEET NUMBER:
A-2.14



CORWIL ARCHITECTS
 351 LUCAS STREET, SUITE 200
 FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
 300, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33334

OWNER:
TRG TRINISIC RESIDENTIAL GROUP
 8255 Douglas Ave,
 Dallas, TX 75225



NORTHEAST ELEVATION

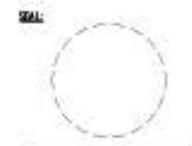
NORTHEAST ELEVATION
 SCALE: 1/8" = 1'-0"

ELEVATION LEGEND	
1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	8 IMPACT RESISTANT METAL DOOR
2 CONCRETE OVER CONCRETE PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.	9 STAIR/ELEVATORS BULLHEAD
3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS.	10 GARAGE ENTRANCE
4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH	11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS (TYP.)
5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS (TYP.)	12 ARTIFICIAL GREEN SCREEN
6 8 HIGH A.F.F. PARAPET WALL	13 DECORATIVE PERFORATED ALUMINUM SCREEN
7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)	14 FABRIC SHADING STRUCTURE
	15 PROPOSED SIGNAGE LOCATIONS
	16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH
	17 FLOORSCREEN
	18 HANGING GARDEN FEATURE

NOTE: ELEVATIONS AT 1/4" AS REFERENCED ON THESE PLANS = 1/4" MAX



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SHEET NUMBER:
A-3.00



CORWIL ARCHITECTS
 351 LUCAS STREET, SUITE 200
 FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
 300, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG TRINISIC RESIDENTIAL GROUP
 8225 Douglas Ave,
 Dallas, TX 75225

NORTH ELEVATION

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A-3.01



EL. +107'-0"	Final Level
EL. +110'-0"	Level 12
EL. +108'-0"	Level 11
EL. +107'-0"	Level 10
EL. +107'-0"	Level 9
EL. +107'-0"	Level 8
EL. +107'-0"	Level 7
EL. +107'-0"	Level 6
EL. +107'-0"	Level 5
EL. +107'-0"	Level 4
EL. +107'-0"	Level 3
EL. +107'-0"	Level 2
EL. +107'-0"	Ground Level

AVERAGE SIDEWALK AT (+1'-0" NAV)
 AVERAGE ROAD ELEV. AT (+0'-0" NAV)
 GROUND LEVEL FTL. AT (+1'-0" NAV)

NORTH ELEVATION
 SCALE: 1/16" = 1'-0"

ELEVATION LEGEND

- | | |
|--|--|
| 1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED) | 8 IMPACT RESISTANT METAL DOOR |
| 2 CONCRETE CYBROW PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS. | 9 STAIR/ELEVATORS BULLHEAD |
| 3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR OR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS. | 10 GARAGE ENTRANCE |
| 4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH | 11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.) |
| 5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.) | 12 ARTIFICIAL GREEN SCREEN |
| 6 8 HIGH A.F.F. PARAPET WALL | 13 DECORATIVE PERFORATED ALUMINUM SCREEN |
| 7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.) | 14 FABRIC SHADING STRUCTURE |
| | 15 PROPOSED SIGNAGE LOCATIONS |
| | 16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH |
| | 17 FLOORSCREEN |
| | 18 HANGING GARDEN FEATURE |

NOTE: ELEVATIONS AT 0'-0" AGREED UPON ON THESE PLANS = 0'-0" NAV



NOTE: MATERIAL MANUFACTURER T.B.D.



KEY PLAN
 HTS



CORWIL ARCHITECTS
 3511 LINDEN BLVD, SUITE 200, FT. LAUDERDALE, FL 33304
 TEL: 954.575.1111 FAX: 954.575.1112

PROJECT:
WESTIN/AURA CYPRESS CREEK
 300, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG TRINISIC RESIDENTIAL GROUP
 8255 Douglas Ave,
 Dallas, TX 75225

EAST ELEVATION



EAST ELEVATION
 SCALE: 1/16" = 1'-0"

ELEVATION LEGEND	
1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	8 IMPACT RESISTANT METAL DOOR
2 CONCRETE CYBROW PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.	9 STAIR/ELEVATORS BULLHEAD
3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR OR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS.	10 GARAGE ENTRANCE
4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH	11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)
5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)	12 ARTIFICIAL GREEN SCREEN
6 8" HIGH A.F.F. PARAPET WALL	13 DECORATIVE PERFORATED ALUMINUM SCREEN
7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)	14 FABRIC SHADING STRUCTURE
	15 PROPOSED SIGNAGE LOCATIONS
	16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH
	17 FLEDGE RAILING
	18 HANGING GARDEN FEATURE

NOTE: ELEVATIONS AT 8" AS REFERENCED ON THESE PLANS = +84'-11" (AVE)



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PRINTED: 10:00:23 AM 04/24/23

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A-3.02



CORWIL ARCHITECTS
 451 LUTHER BLVD., SUITE 200, FT. LAUDERDALE, FL 33304
 TEL: 954.575.1100 FAX: 954.575.1101

PROJECT:
WESTIN/AURA CYPRESS CREEK
 300, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG TRINISIC RESIDENTIAL GROUP
 8235 Douglas Ave,
 Dallas, TX 75225

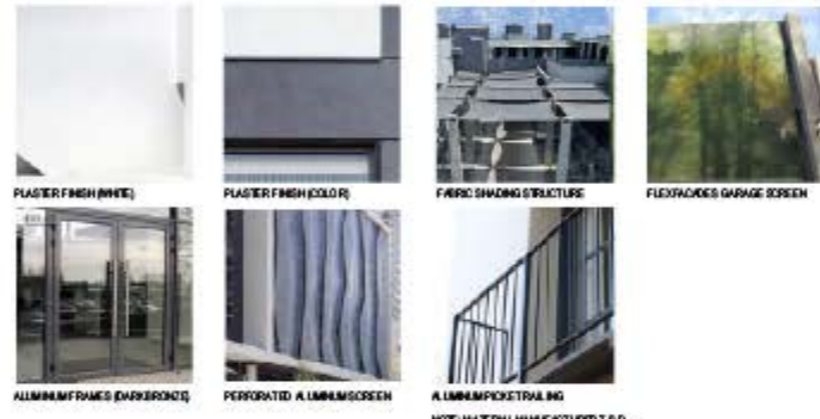
SOUTH ELEVATION



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

ELEVATION LEGEND	
1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	8 IMPACT RESISTANT METAL DOOR
2 CONCRETE CYBROW PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.	9 STAIR/ELEVATORS BULLHEAD
3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS.	10 GARAGE ENTRANCE
4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH	11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)
5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)	12 ARTIFICIAL GREEN SCREEN
6 8" HIGH A.F.F. PARAPET WALL	13 DECORATIVE PERFORATED ALUMINUM SCREEN
7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)	14 FABRIC SHADING STRUCTURE
	15 PROPOSED SIGNAGE LOCATIONS
	16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH
	17 FLEDGE SIGN
	18 HANGING GARDEN FEATURE

NOTE: ELEVATIONS AT 1/4" AS REFERENCED ON THESE PLANS = 1/4" HAWK



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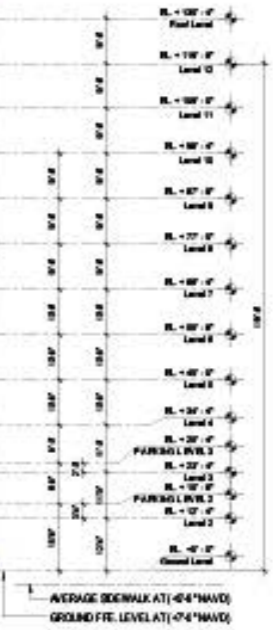
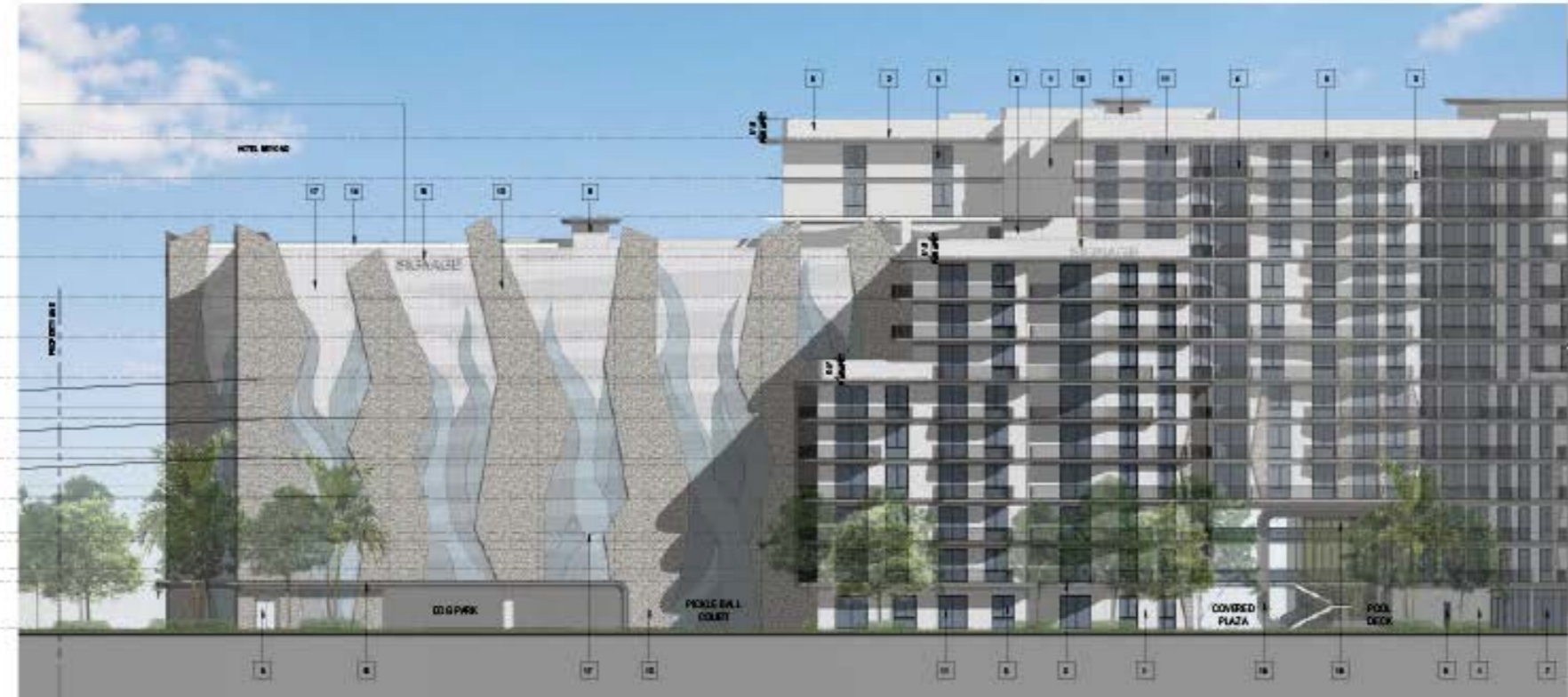


CORWIL ARCHITECTS
 351 LUCAS STREET, SUITE 200
 FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
 300, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG TRINISIC RESIDENTIAL GROUP
 8235 Douglas Ave,
 Dallas, TX 75225

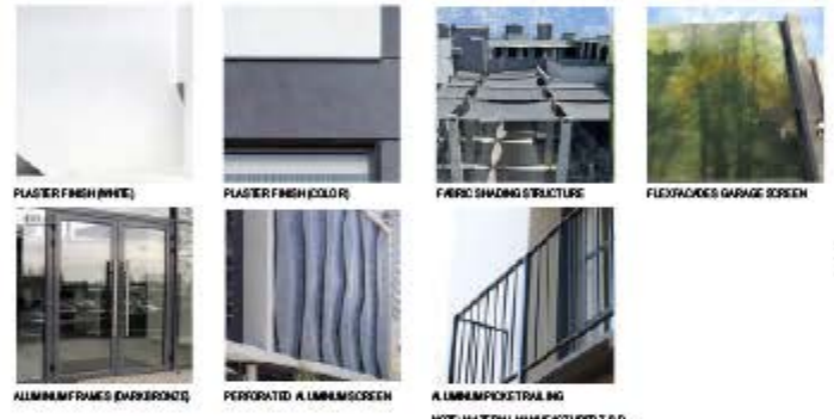
SW GARAGE ELEVATION



SOUTHWEST GARAGE ELEVATION
 SCALE: 1/8" = 1'-0"

ELEVATION LEGEND	
1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	8 IMPACT RESISTANT METAL DOOR
2 CONCRETE CYBROW PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.	9 STAIR/ELEVATORS BULLHEAD
3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS.	10 GARAGE ENTRANCE
4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH	11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)
5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)	12 ARTIFICIAL GREEN SCREEN
6 8" HIGH A.F.F. PARAPET WALL	13 DECORATIVE PERFORATED ALUMINUM SCREEN
7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)	14 FABRIC SHADING STRUCTURE
	15 PROPOSED SIGNAGE LOCATIONS
	16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH
	17 FLOORSCREEN
	18 HANGING GARDEN FEATURE

NOTE: ELEVATIONS AT 1/4" AS REFERENCED ON THESE PLANS = 1/4" HAWD



PHASE:
PDD SUBMITTAL



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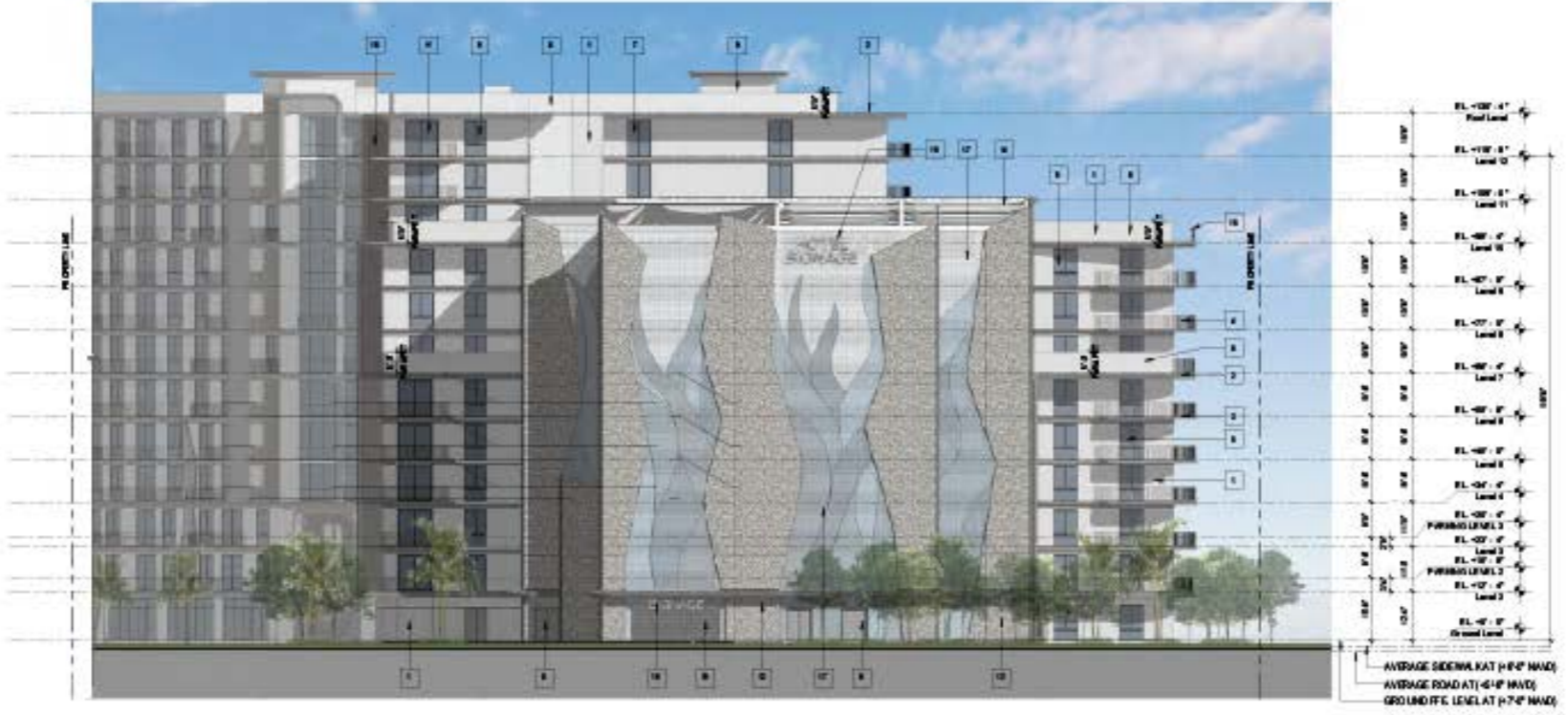


CORWIL ARCHITECTS
 351 LUCAS STREET, SUITE 200
 FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
 300, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG TRINISIC RESIDENTIAL GROUP
 8235 Douglas Ave,
 Dallas, TX 75225

NW GARAGE ELEVATIONS



NORTHWEST GARAGE ELEVATION
 SCALE: 1/16" = 1'-0"

ELEVATION LEGEND	
1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	8 IMPACT RESISTANT METAL DOOR
2 CONCRETE OVER CONCRETE PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.	9 STAIR/ELEVATORS BULLHEAD
3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS.	10 GARAGE ENTRANCE
4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH	11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)
5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)	12 ARTIFICIAL GREEN SCREEN
6 8" HIGH A.F.F. PARAPET WALL	13 DECORATIVE PERFORATED ALUMINUM SCREEN
7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)	14 FABRIC SHADING STRUCTURE
	15 PROPOSED SIGNAGE LOCATIONS
	16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH
	17 FLEDGE SIGN
	18 HANGING GARDEN FEATURE

NOTE: ELEVATIONS AT 8' 0" AGREEMENT ON THESE PLANS = 8' 0" MAX



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A-3.05



CORWIL ARCHITECTS
 3511 LINDEN BLVD, SUITE 200, FT. LAUDERDALE, FL 33309
 TEL: 954.776.1100 FAX: 954.776.1101

PROJECT:
WESTIN/AURA CYPRESS CREEK
 300, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG TRINISIC RESIDENTIAL GROUP
 8225 Douglas Ave,
 Dallas, TX 75225

SE GARAGE ELEVATIONS



SOUTHEAST GARAGE ELEVATION
 SCALE: 1/8" = 1'-0"

ELEVATION LEGEND	
1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	8 IMPACT RESISTANT METAL DOOR
2 CONCRETE CYBROW PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.	9 STAIR/ELEVATORS BULLHEAD
3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR OR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS.	10 GARAGE ENTRANCE
4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH	11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)
5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)	12 ARTIFICIAL GREEN SCREEN
6 8" HIGH A.F.F. PARAPET WALL	13 DECORATIVE PERFORATED ALUMINUM SCREEN
7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)	14 FABRIC SHADING STRUCTURE
	15 PROPOSED SIGNAGE LOCATIONS
	16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH
	17 FLOORSCREEN
	18 HANGING GARDEN FEATURE

NOTE: ELEVATIONS AT 1/4" AS REFERENCED ON THESE PLANS = 1/4" HANG



NOTE: MATERIAL MANUFACTURER T.B.D.



PHASE:
 PDD SUBMITTAL



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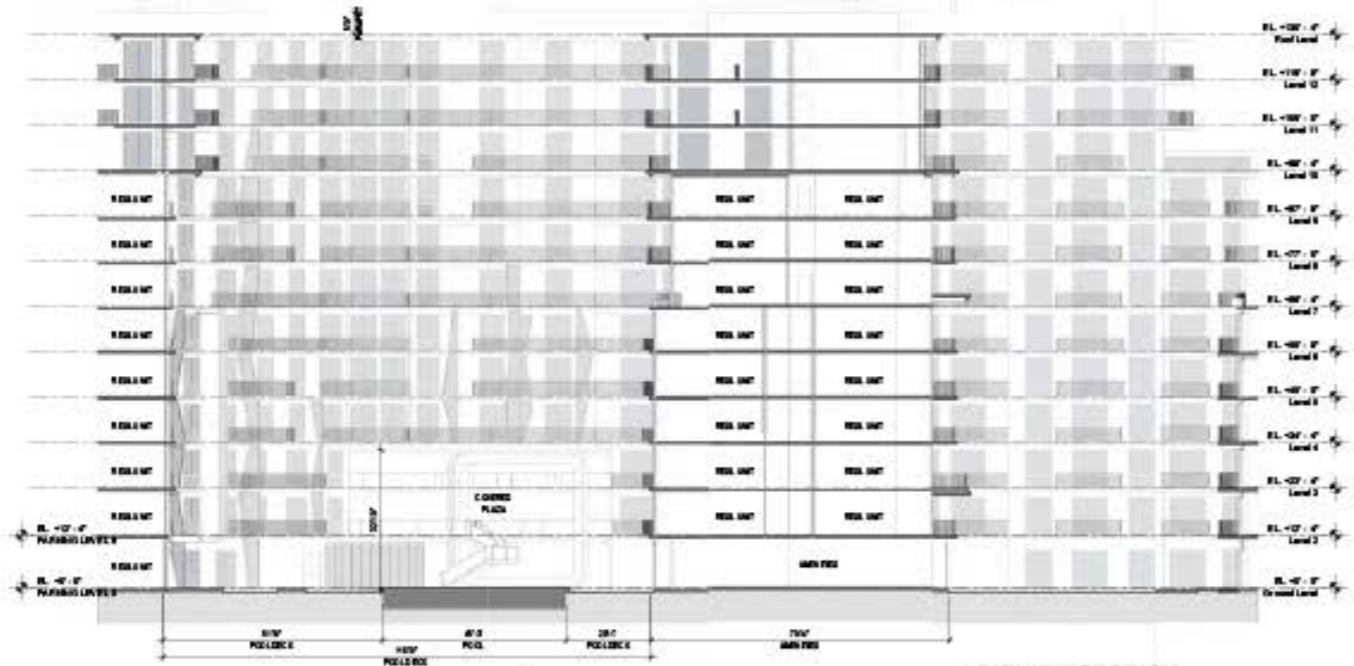
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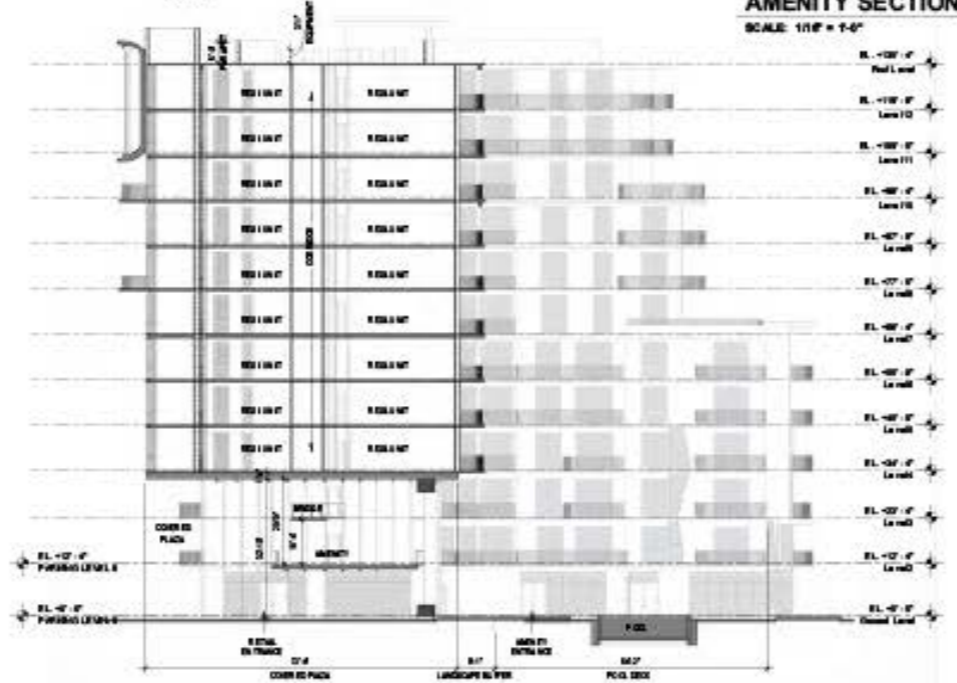
CORWIL ARCHITECTS
3511 LAKESHORE DRIVE, SUITE 300
FT. LAUDERDALE, FL 33304

PHASE:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225



AMENITY SECTION
SCALE: 1/8" = 1'-0"



SECTION THROUGH PLAZA
SCALE: 1/8" = 1'-0"



KEY PLAN 1
N.T.S.



KEY PLAN 2
N.T.S.

PRELIMINARY SECTIONS

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CORWIL ARCHITECTS
351 LUCAS STREET, SUITE 200
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

TRG
TRINISIC
RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

PRELIMINARY SECTION



RETAIL SECTION
SCALE: 1" = 20'-0"



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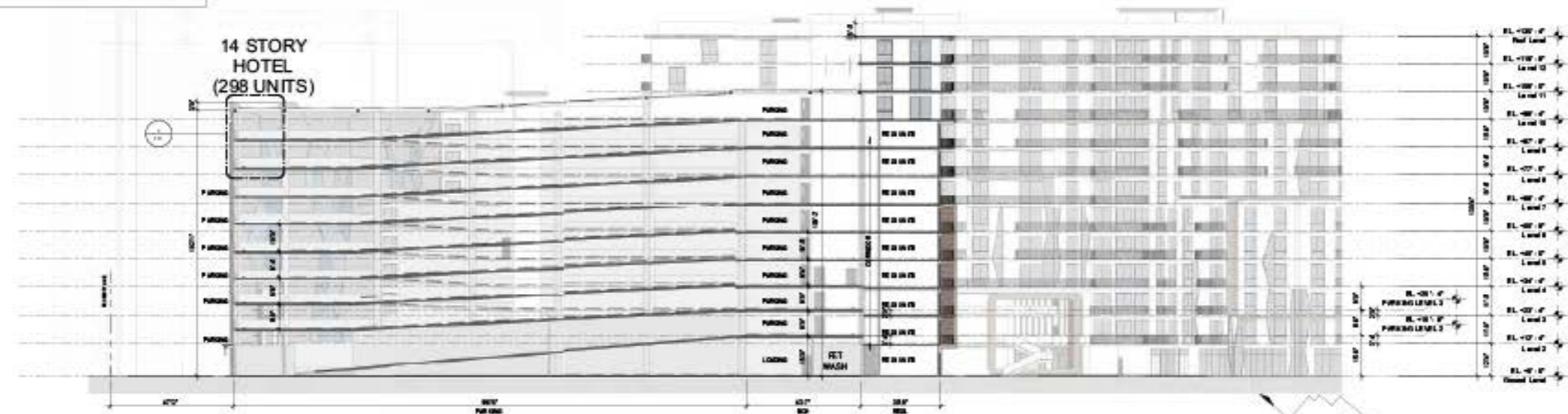


CORWIL ARCHITECTS
3511 LAKESHORE DRIVE, SUITE 300
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG
TRINISIC
RESIDENTIAL GROUP

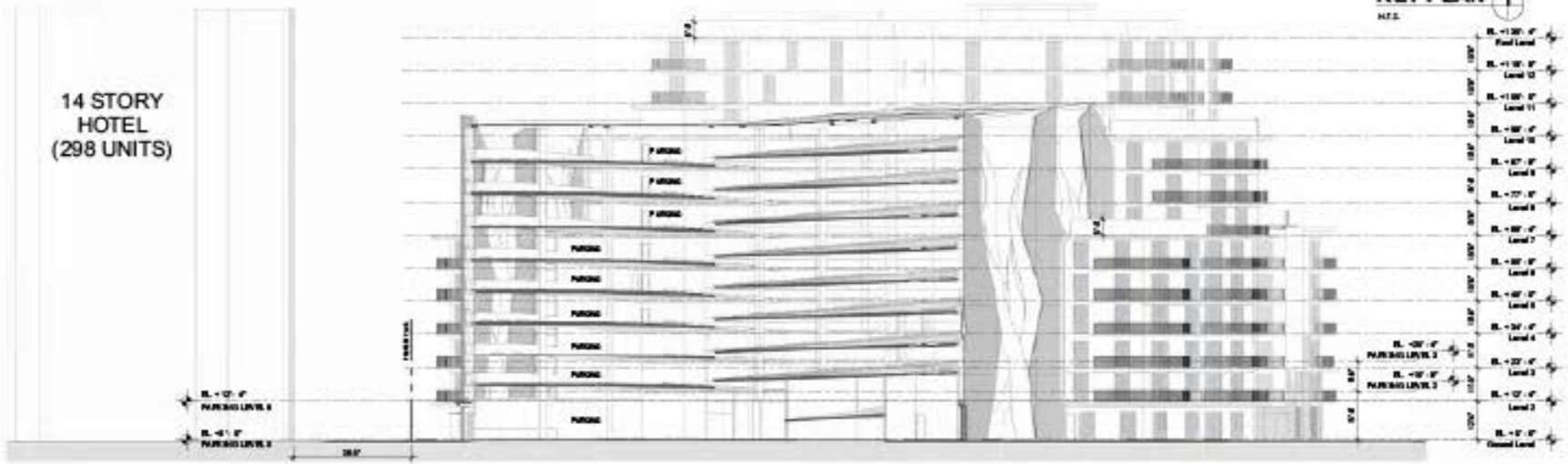
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Dallas, TX 75225



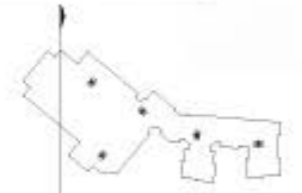
PARKING GARAGE SECTION
SCALE: 1" = 20'-0"



KEY PLAN
N.T.S.



ANGLED CUT THROUGH BUILDING AND
ADJACENT BUILDING
SCALE: 1" = 20'-0"



KEY PLAN
N.T.S.

PRELIMINARY SECTION

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PDD SUBMITTAL



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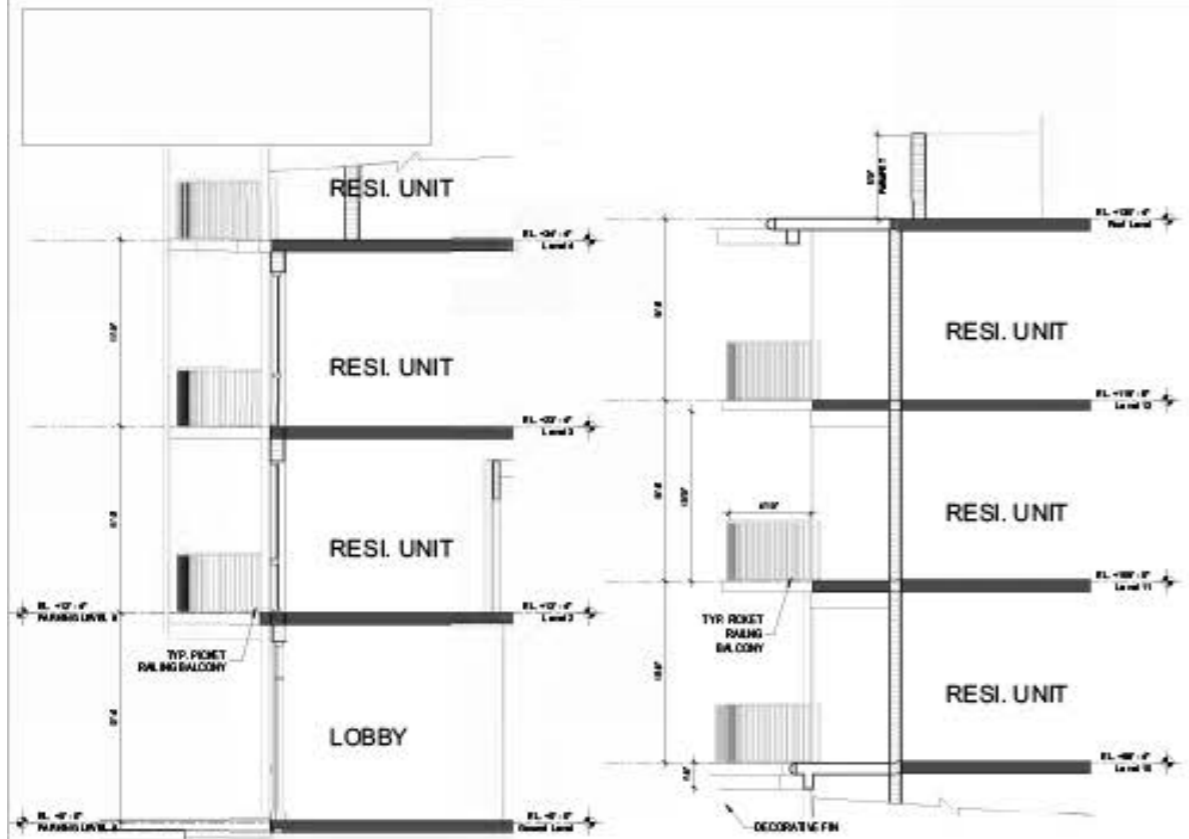


CORWIL ARCHITECTS
3515 UNIVERSITY BLVD, SUITE 200
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG
TRINISIC
RESIDENTIAL GROUP
8225 Douglas Ave,
Dallas, TX 75225

ENLARGEMENTS/DETAILS



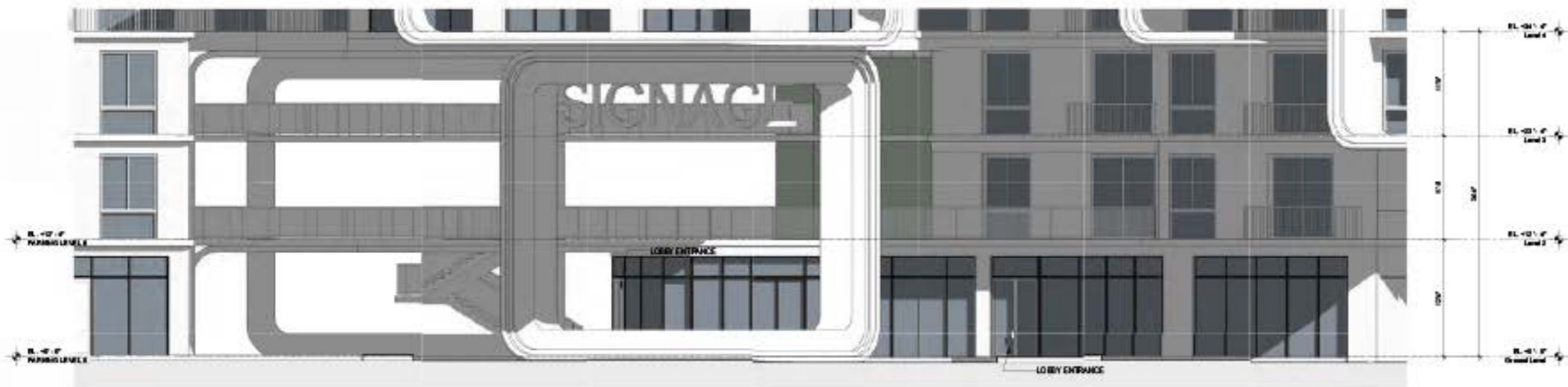
ENLARGED LOBBY SECTION
SCALE: 1/8" = 1'-0"

ENLARGEMENT TYPICAL PARAPET
SCALE: 3/4" = 1'-0"



PARTIAL MAIN ENTRANCE 3D SECTION
SCALE:

MAIN ENTRANCE - 3D
SCALE:



MAIN ENTRANCE ENLARGEMENT
SCALE: 3/8" = 1'-0"

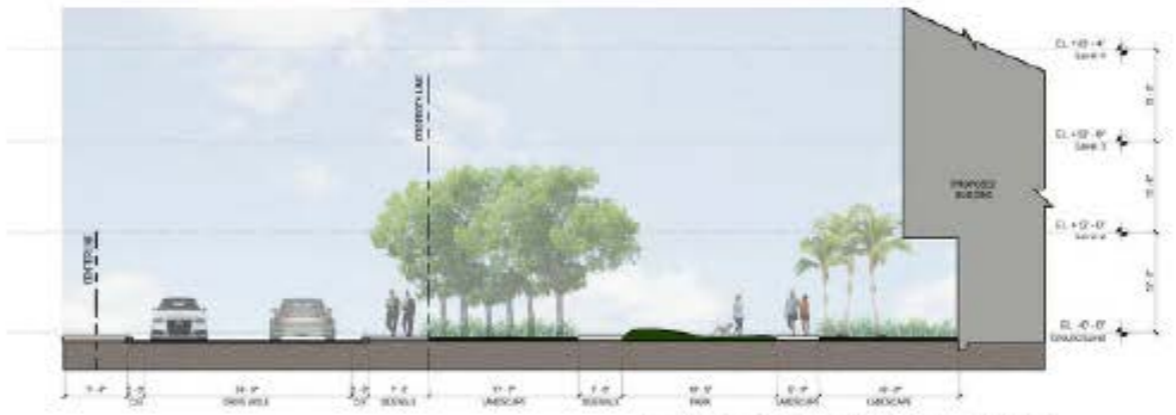
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CORPORATE DR - STREET SECTION
SCALE: 1/8" = 1'-0"



62ND STREET - STREET SECTION
SCALE: 1/8" = 1'-0"



PRIVATE ROAD - STREET SECTION
SCALE: 1/8" = 1'-0"



CORWIL ARCHITECTS
ARCHITECTS AND INTERIORS
1000 W. UNIVERSITY BLVD. SUITE 100
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



8255 Douglas Ave,
Dallas, TX 75225

STREET SECTIONS

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APPROVED BY:	Approver
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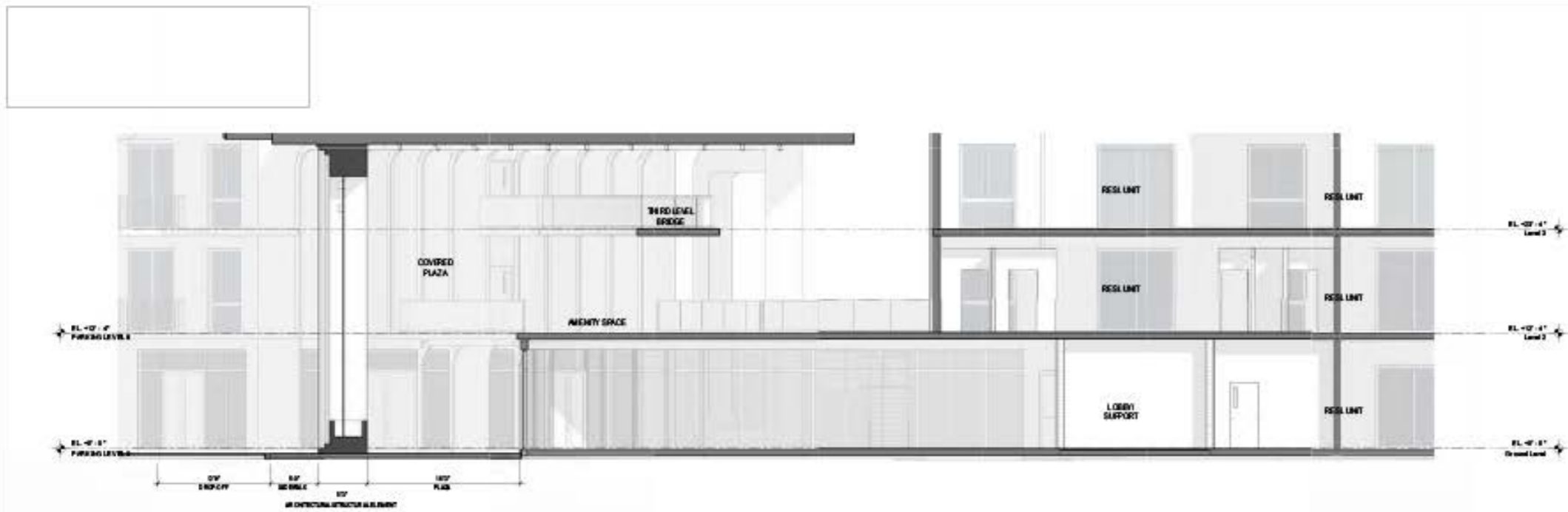
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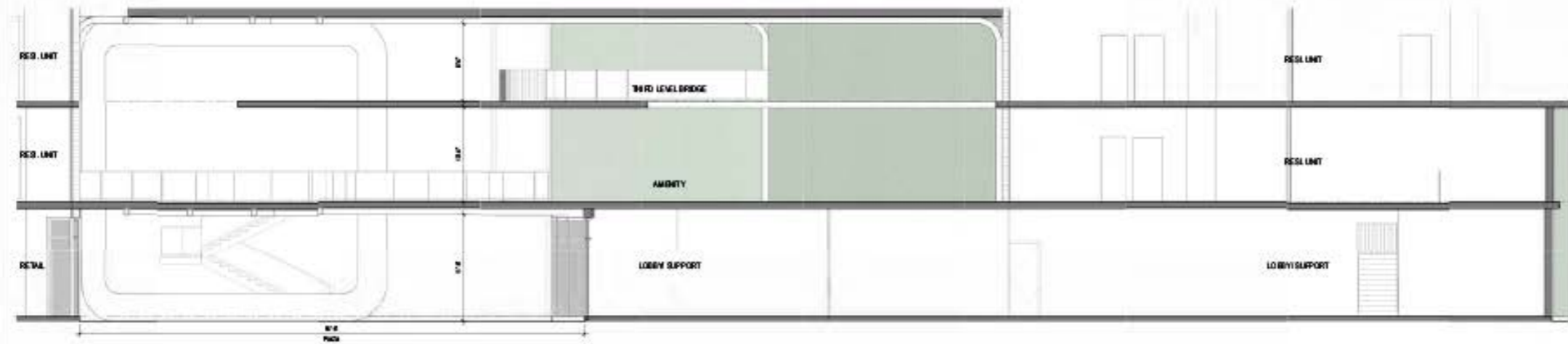
CORWIL ARCHITECTS
3515 LINDEN BLVD, SUITE 200, FT. LAUDERDALE, FL 33309
TEL: 954.776.7800 FAX: 954.776.7801

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG
TRINISIC
RESIDENTIAL GROUP
8235 Doughty Ave,
Dallas, TX 75225



ENLARGED LOBBY/SUPPORT SECTION
SCALE: 3/16" = 1'-0"



ENLARGED LOBBY SECTION
SCALE: 3/16" = 1'-0"

ENLARGEMENTS

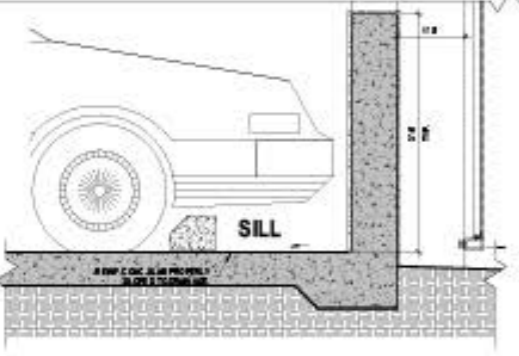
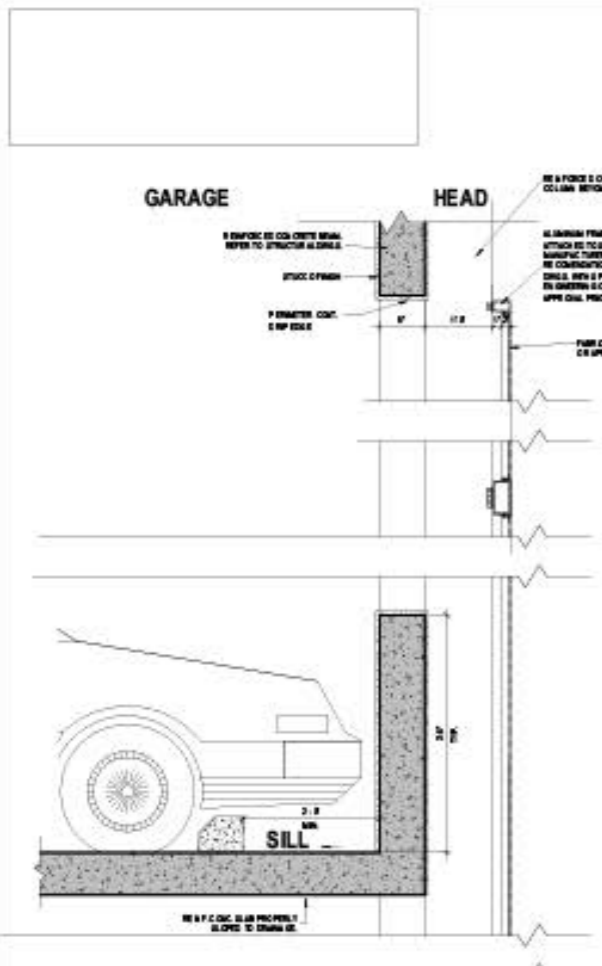
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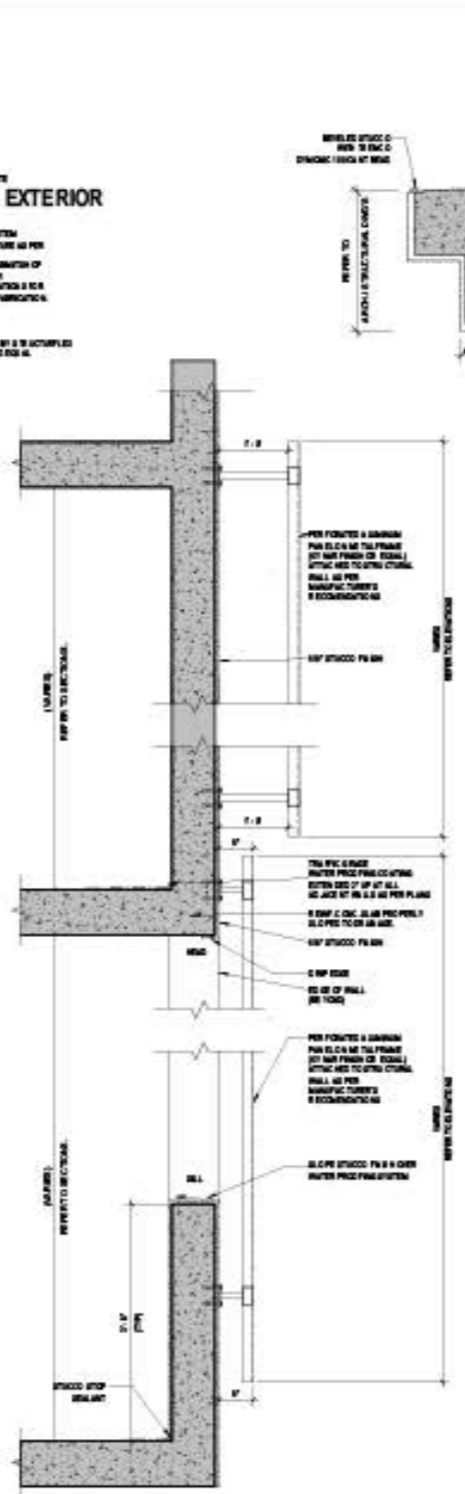
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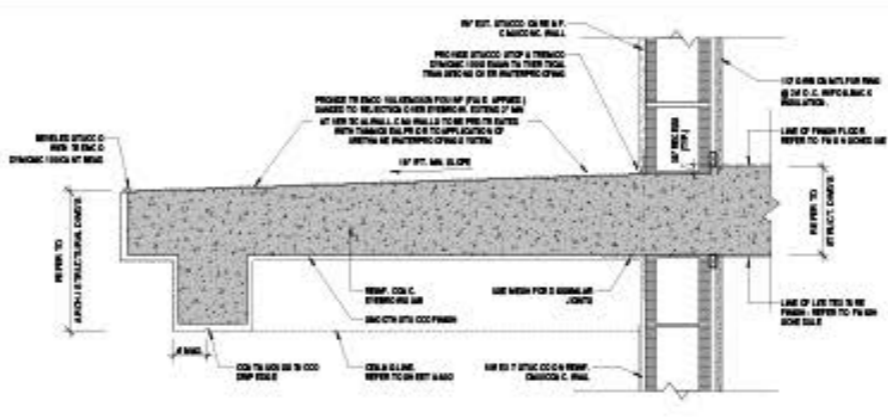
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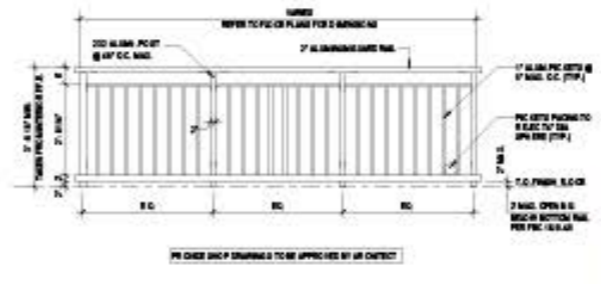
DECORATIVE GARAGE SCREEN SECTION
SCALE: 1" = 1'-0"



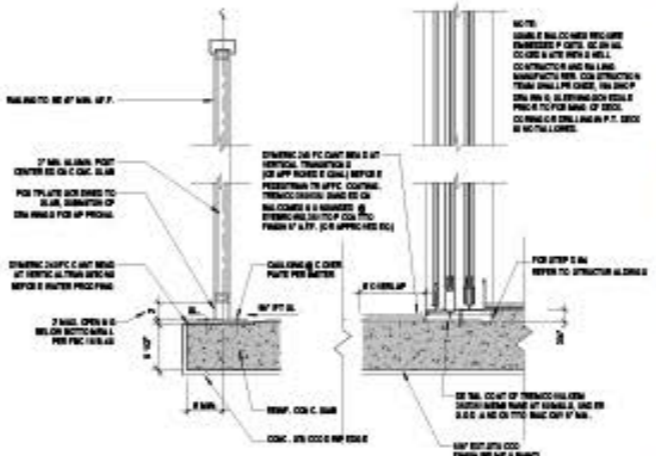
DECORATIVE SCREEN SECTION
SCALE: 1" = 1'-0"



TYP. DOWNTURNED EYEBROW DETAIL
SCALE: 1/2" = 1'-0"



TYP. PICKET BALCONY RAILING
SCALE: 1/2" = 1'-0"



GUARDRAIL AT BALCONY SECTION
SCALE: 1/2" = 1'-0"

- ELEVATION LEGEND**
- 1 LIGHT TEXT URG CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)
 - 2 CONCRETE EXTERIOR PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS
 - 3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS
 - 4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH
 - 5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS (TYP.)
 - 6 6" HIGH A.F.F. PARAPET WALL
 - 7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)
 - 8 IMPACT RESISTANT METAL DOOR
 - 9 STAIR/ELEVATOR BULLHEAD
 - 10 GARAGE ENTRANCE
 - 11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS (TYP.)
 - 12 ARTIFICIAL GREEN SCREEN
 - 13 DECORATIVE PERFORATED ALUMINUM SCREEN
 - 14 FABRIC SHADING STRUCTURE
 - 15 PROPOSED SIGNAGE LOCATIONS
 - 16 DECORATIVE FRAME DESIGN WITH SMOOTH STUCCO FINISH
 - 17 FLOOD SCREEN
 - 18 HANGING GARDEN FEATURE



CORWIL ARCHITECTS
ARCHITECTS
13110 LINDSEY COURT, SUITE 200
FT. LAUDERDALE, FLORIDA 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG TRINISIC RESIDENTIAL GROUP
8235 Douglas Ave,
Dallas, TX 75225

MATERIAL DETAILS

PHASE:
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CORWIL ARCHITECTS
3511 LUCAS STREET, SUITE 200, FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



8235 Douglas Ave,
Dallas, TX 75225

SPRING EQUINOX SUN STUDY

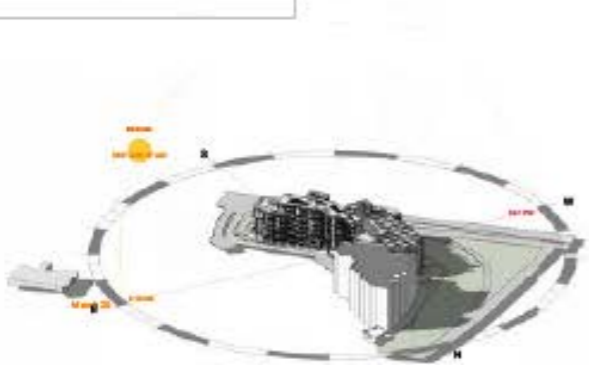
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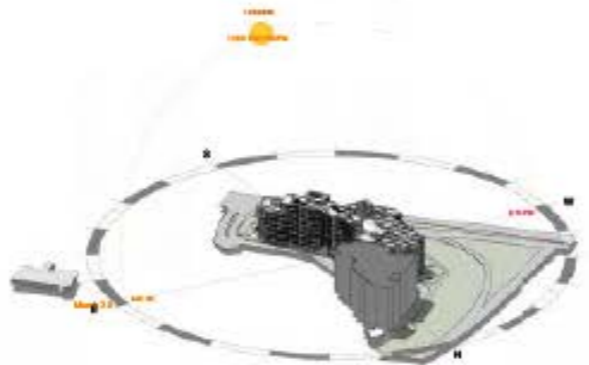
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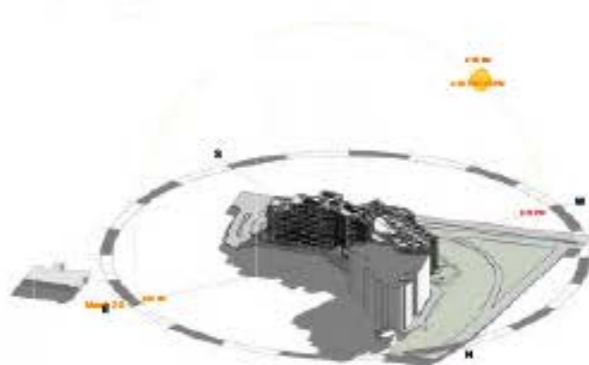
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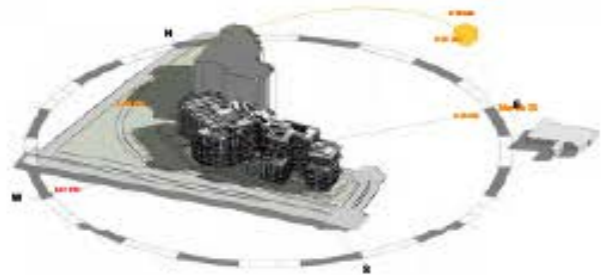
SPRING EQUINOX 9 AM NORTH
SCALE:



SPRING EQUINOX 12 PM NORTH
SCALE:



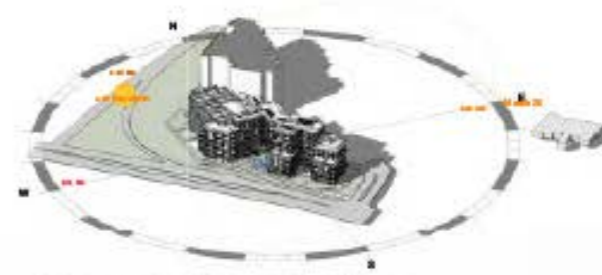
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SCALE:



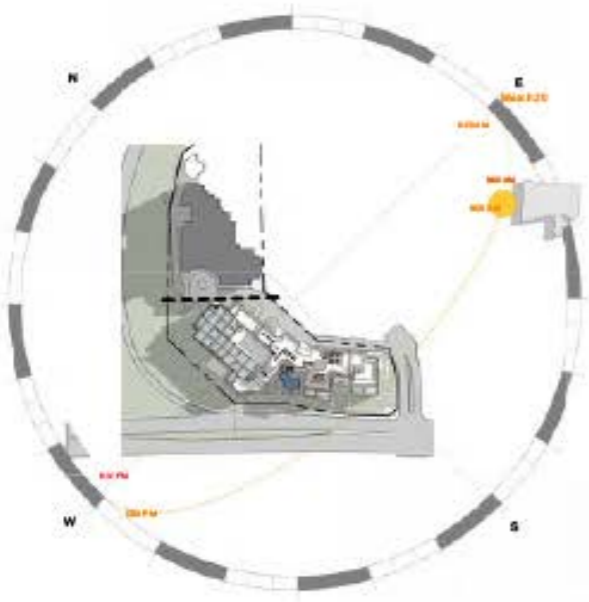
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SCALE:



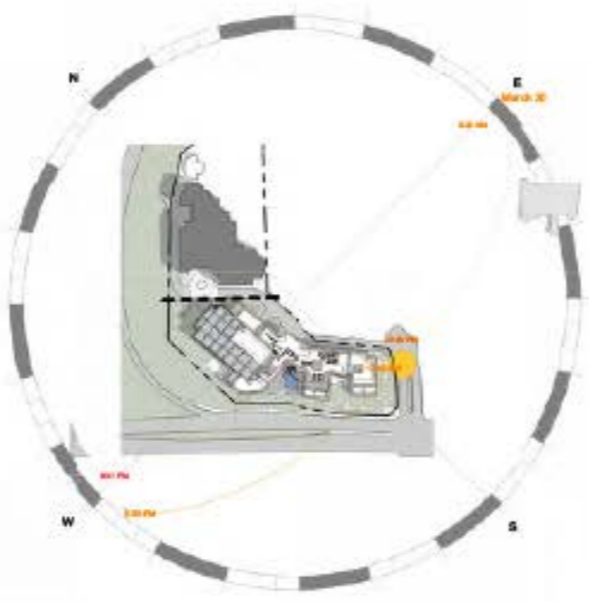
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SCALE:



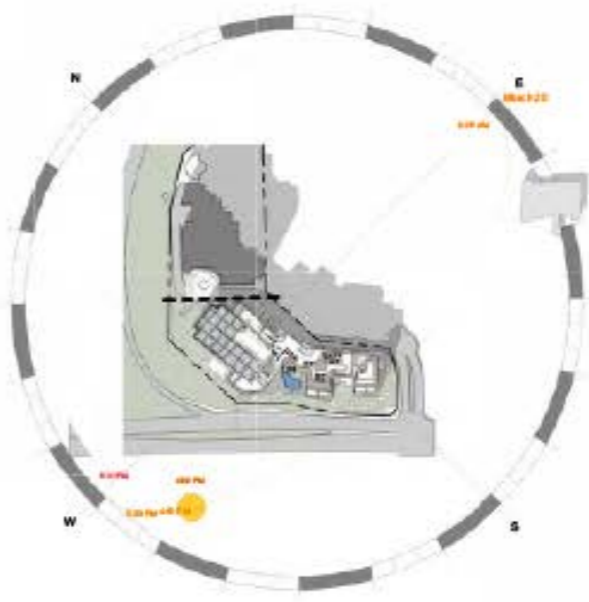
SPRING EQUINOX 4 PM SOUTH
SCALE:



Site Plan - SPRING EQUINOX 9 AM
SCALE: 1" = 200'-0"



Site Plan - SPRING EQUINOX 12 PM
SCALE: 1" = 200'-0"



Site Plan - SPRING EQUINOX 4 PM
SCALE: 1" = 200'-0"



CORWIL ARCHITECTS
ARCHITECTS AND INTERIORS
1000 W. UNIVERSITY BLVD. SUITE 100
FT. LAUDERDALE, FL 33304

PROJECT:
WESTIN/AURA CYPRESS
CREEK
300, 400 CORPORATE DR.
FT. LAUDERDALE, FLORIDA 33304



8235 Douglas Ave,
Dallas, TX 75225

WINTER SOLSTICE SUN STUDY

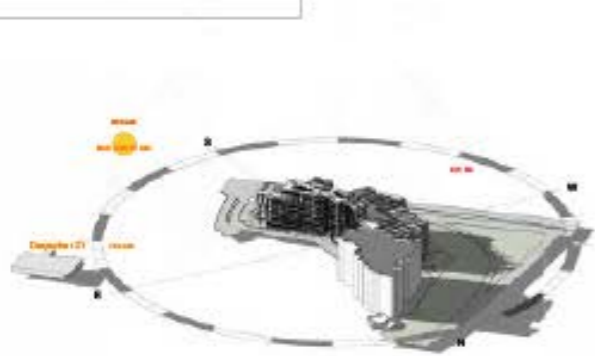
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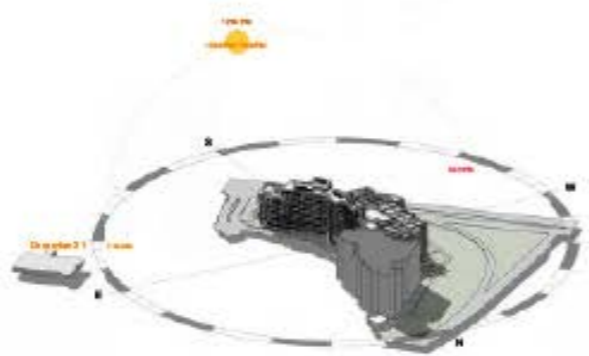
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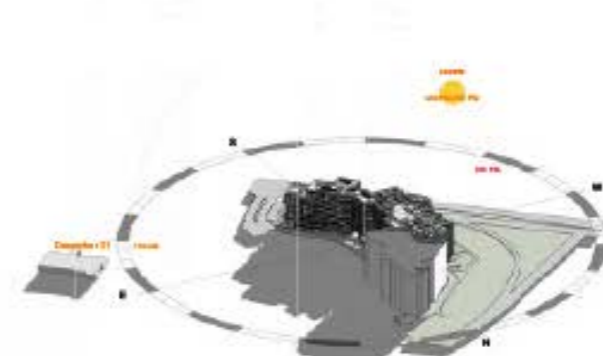
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A-4.01



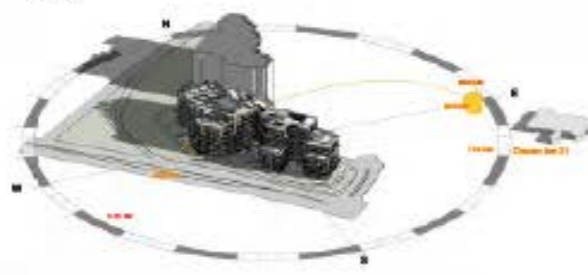
WINTER SOLSTICE 9 AM NORTH
SCALE:



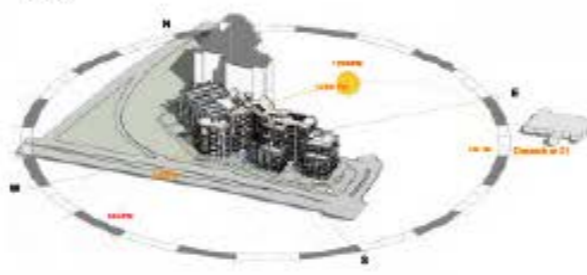
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SCALE:



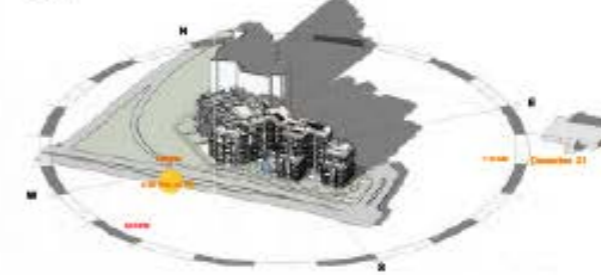
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SCALE:



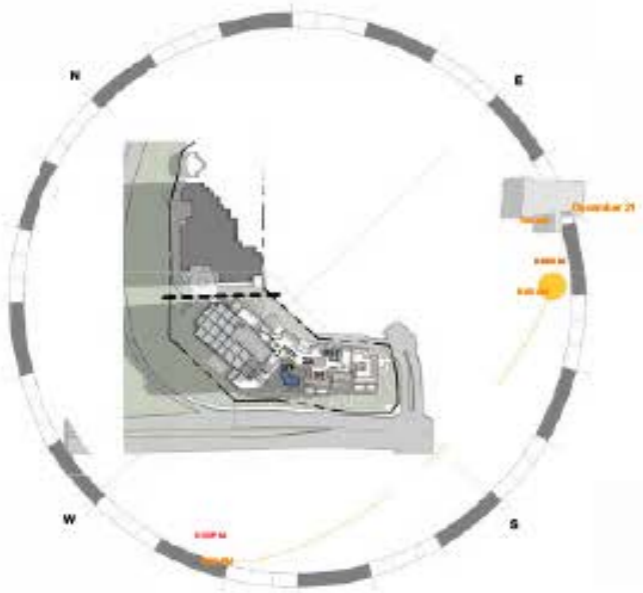
WINTER SOLSTICE 9 AM SOUTH
SCALE:



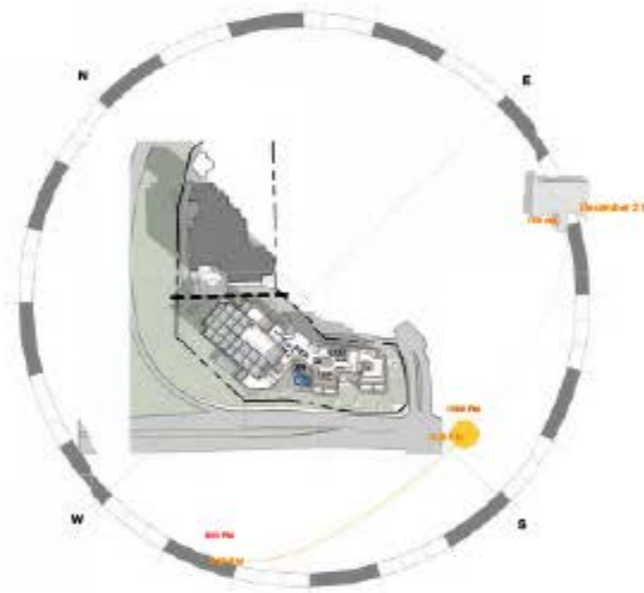
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SCALE:



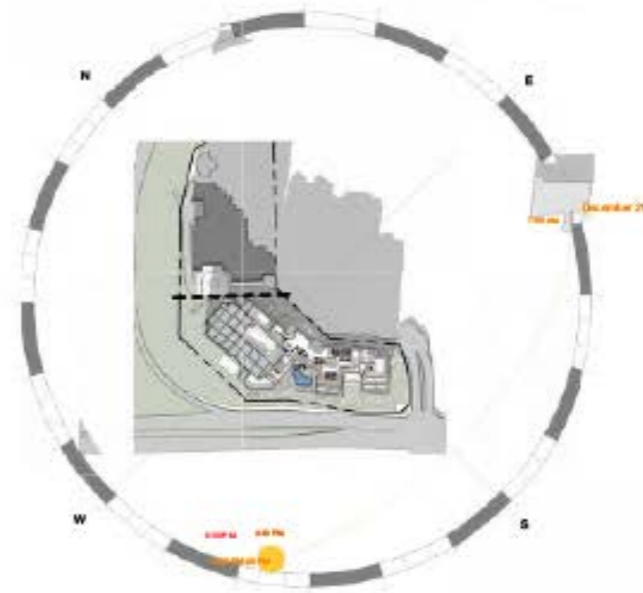
WINTER SOLSTICE 4 PM SOUTH
SCALE:



Site Plan - WINTER SOLSTICE 9 AM
SCALE: 1" = 200'-0"



Site Plan - WINTER SOLSTICE 12 PM
SCALE: 1" = 200'-0"



Site Plan - WINTER SOLSTICE 4 PM
SCALE: 1" = 200'-0"



STAGING PLAN ①



CORWILAR ARCHITECTS
 4350 LUCAS BLVD, SUITE 200, FT. LAUDERDALE, FL 33309
 TEL: 754.881.1111 FAX: 754.881.1112

PROJECT:
WESTIN/AURA CYPRESS CREEK
 300, 400 CORPORATE DR.
 FT. LAUDERDALE, FLORIDA 33304

OWNER:
TRG TRINISIC RESIDENTIAL GROUP
 8225 Douglas Ave,
 Dallas, TX 75225

STAGING PLAN

PHASE:
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landscape
DESIGN
workshop

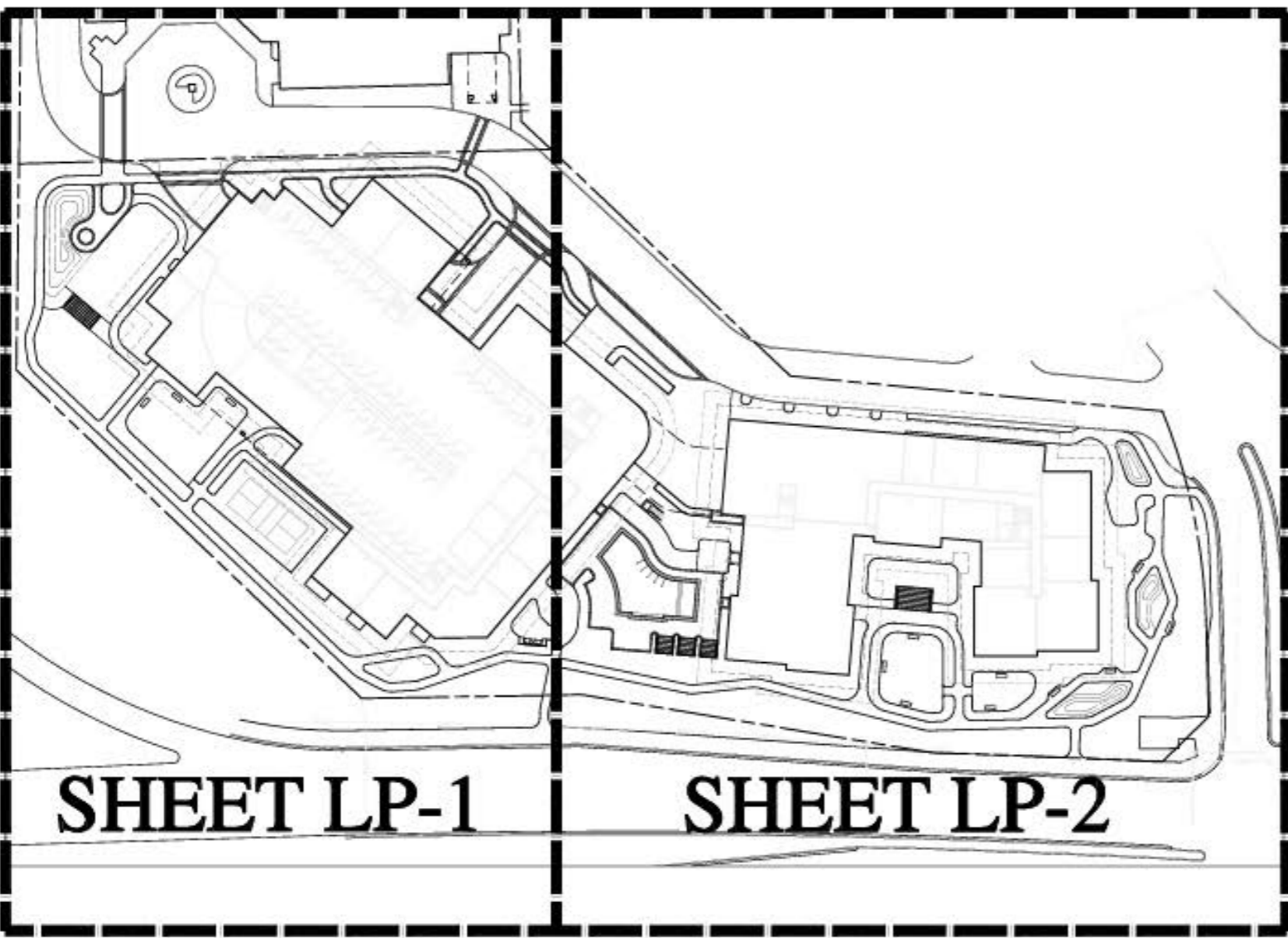
Planning
Landscape Architecture
One Park Ridge
427 NW Elm Street, Suite 102
Buckley, Florida 33447
(904) 772-0774
www.landscape-design-workshop.com



AURA CYPRESS CREEK
City of Fort Lauderdale
OVERALL SITE PLAN



L-1



LIST OF DRAWINGS	
SHEET	SHEET NAME
L-1	OVERALL SITE PLAN
L-2	ILLUSTRATED MASTER PLAN
L-3	LINEAR PARK PLAN
L-4	AURA COMMONS PARK PLAN
L-5	AMENITY AREA PLAN
L-6	SECTIONS
L-7	OPEN SPACE EXHIBIT
L-8	CPTED
LH-1	HARDSCAPE PLAN
LH-2	HARDSCAPE PLAN
LP-1	PLANTING PLAN
LP-2	PLANTING PLAN
LP-3	PLANTING DETAILS AND NOTES
LP-4	PLANTING TABULATIONS
LP-5	HYDROZONE PLAN
TD-1	TREE DISPOSITION PLAN
TD-2	TREE DISPOSITION PLAN
TD-3	TREE DISPOSITION LIST
TD-4	TREE DISPOSITION PLAN
LD-1	DETAILS

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BASE INFORMATION TAKEN FROM COBBLE ARCHITECTS

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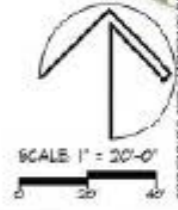
AURA CYPRESS CREEK
City of Fort Lauderdale
ILLUSTRATED MASTER PLAN

MAY 15, 2024
APRIL 12, 2023
NOVEMBER 14, 2022
JULY 15, 2022
MAY 11, 2022
APRIL 11, 2022

L-2

Aura Cypress Creek Legend:

- A. Linear Park
- B. Retail & Lobby Plaza
- C. Aura Commons Park
- D. Sculptural Earthwork
- E. Amenities & Pool Deck
- F. Community Courtyard
- G. Wellness Track
- H. Dog Park
- I. Putting Green
- J. Pickleball Court



NE 7TH AVENUE

CYPRESS CREEK ROAD
(NE 62ND STREET)

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AURA CYPRESS CREEK
 City of Fort Lauderdale
AURA COMMONS PARK PLAN

MEAN IT, 2024
 APRIL 10, 2024
 NORTH BEACH, FL 33407
 PROJECT NO. 15-2022
 SHEET NO. L-4
 SCALE: AS SHOWN
 APPROVED BY:
 DATE: 04/10/24

L-4

Mood Images:



Sculptural Earthwork



Event Lawn



Specialty paving



Lush Planting

- Aura Commons Park Legend**
1. Shade Trellis
 2. Bike Racks
 3. Event Lawn / Flex Lawn
 4. Sculptural Earthwork
 5. Dining Court
 6. Benches & Trash Receptacles
 7. Dog Park
 8. Putting Green
 9. Pickleball Court
 10. Connect to Hotel



Furniture



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Mood Images:



Dining Court



Pool Spout



Cabana



Amenity Area Legend

1. Swimming Pool w/ Deck-Level Grate
2. Water Spout
3. 10' x 10' Aluminum Cabanas
4. Lounging Area w/ Artificial Turf
5. Dining Plaza w/ Summer Kitchen
6. Bocce court
7. Trellis w/ Flowering Vines
8. Dog park
9. Community Lawn
10. Connect to future Cypress Creek Mobility Path



Lush Planting



Dog Park



Bocce Court



Bench & Trash



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AURA CYPRESS CREEK
City of Fort Lauderdale
AMENITY AREA PLAN

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MADE BY: JACOB
APPROVED BY: JACOB
DATE: 11/15/2023
PROJECT: AURA CYPRESS CREEK
SHEET: L-5

L-5

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Linear Park Section B-B'
 Scale: 3/16"=1'-0"



Street Tree Cross Section A-A'
 Scale: 3/16"=1'-0"



Wellness Track Section C-C'
 Scale: 3/16"=1'-0"

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AURA CYPRESS CREEK
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SECTIONS

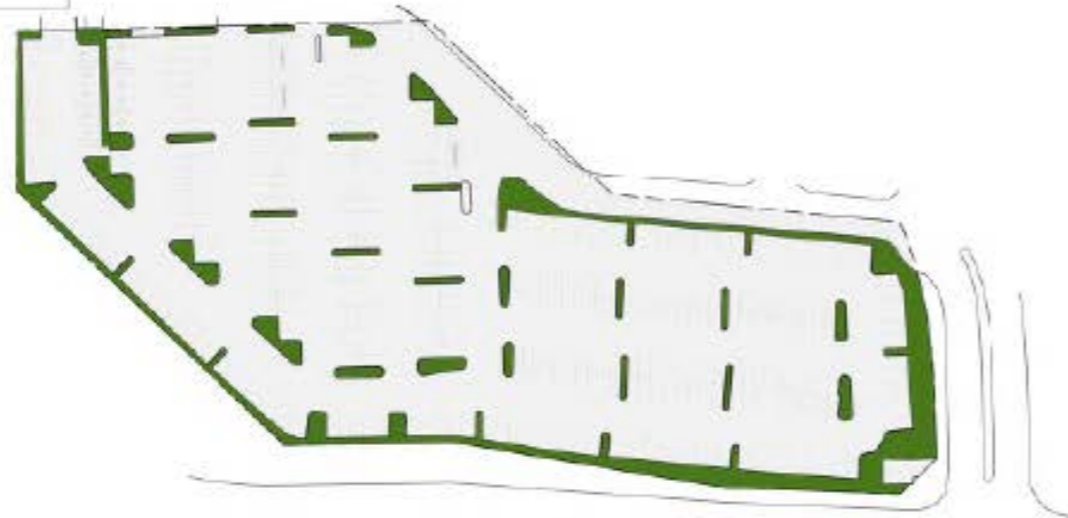
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 MAY 17, 2023
 APRIL 16, 2023
 NOVEMBER 15, 2022
 MAY 11, 2022
 APRIL 17, 2021

L-6



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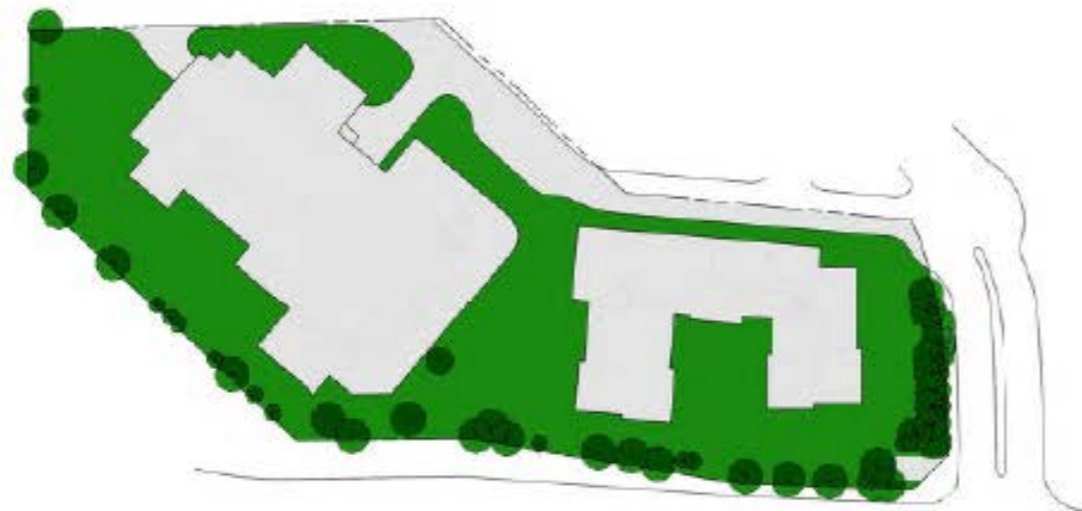
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 REVISIONS TO THESE PLANS SHALL BE BY THE BOUNDARIES, EXCEPTED LANDSCAPE ARCHITECTURE, STATE OF FLORIDA, LICENSE NO. 68695.
 REVISIONS TO THESE PLANS SHALL BE BY THE BOUNDARIES, EXCEPTED LANDSCAPE ARCHITECTURE, STATE OF FLORIDA, LICENSE NO. 68695.



Existing

	Open space	18,411 sf
	Impervious area	137,040 sf



Proposed

	Open space	80,204 sf
	Impervious area	75,397 sf

Note: Significantly more than **triple** the open space of existing conditions

Existing Trees to Remain

 Existing trees/palms to remain

Note: Total 696' DBH of preserved trees

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AURA CYPRESS CREEK
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OPEN SPACE EXHIBIT

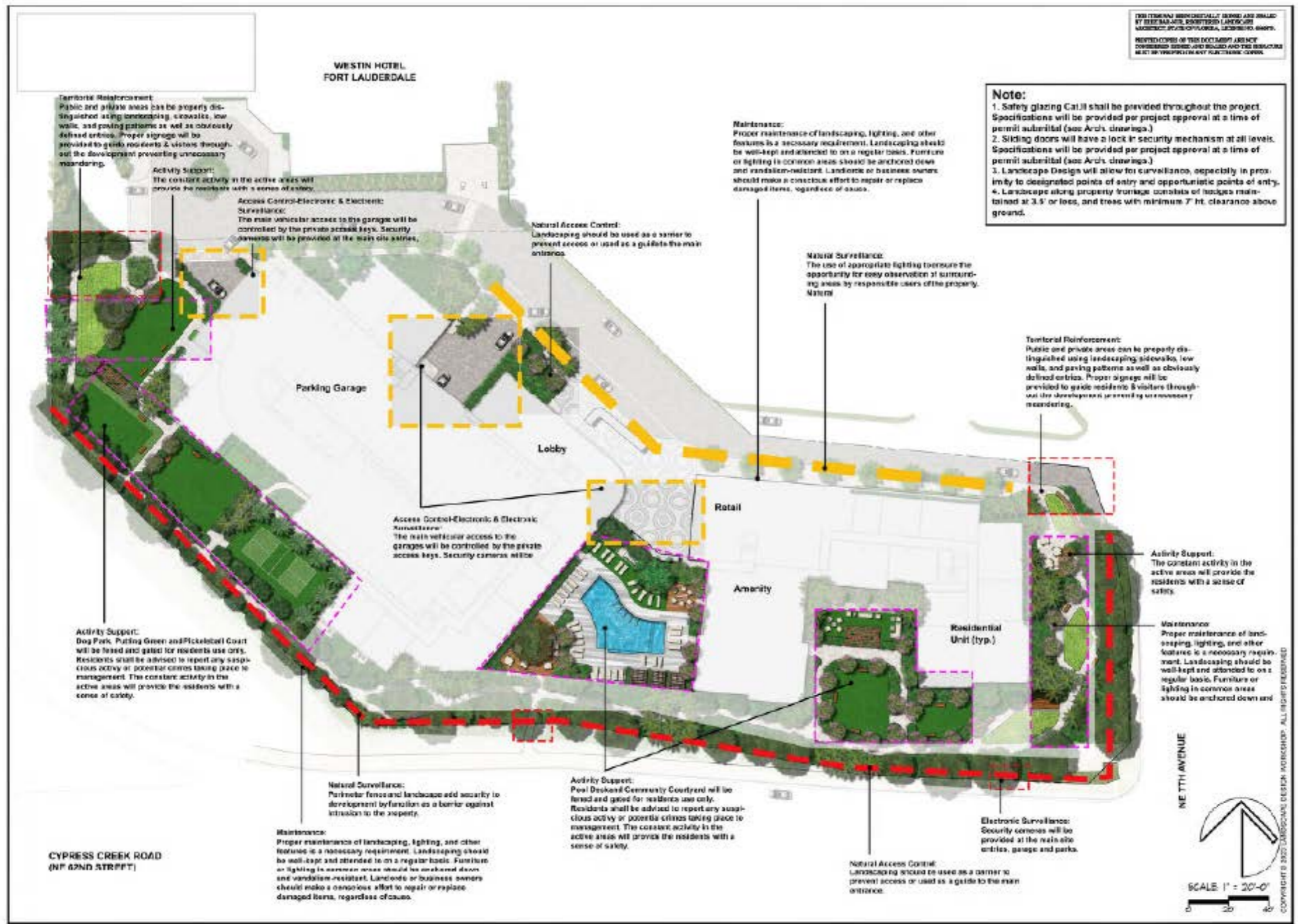
SEAL 11, 2023
 APRIL 18, 2023
 NOVEMBER 15, 2022
 MAY 11, 2022
 APRIL 11, 2022

L-7

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 REVISIONS TO THIS DOCUMENT SHALL BE PROVIDED TO THE CITY OF FORT LAUDERDALE AND THE BOARD OF PLANNING AND ZONING ADMINISTRATION FOR APPROVAL.

Note:
 1. Safety glazing (Cat II) shall be provided throughout the project. Specifications will be provided per project approval at a time of permit submittal (see Arch. drawings.)
 2. Sliding doors will have a lock in security mechanism at all levels. Specifications will be provided per project approval at a time of permit submittal (see Arch. drawings.)
 3. Landscape Design will allow for surveillance, especially in proximity to designated points of entry and opportunistic points of entry.
 4. Landscape along property frontage consists of species maintained at 3.5' or less, and trees with minimum 7' ht. clearance above ground.



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AURA CYPRESS CREEK
 City of Fort Lauderdale
 Crime Prevention Through Environmental Design (CPTED)

REVISED: MAY 11, 2021
 DATE: APRIL 28, 2021
 SHEET: 11
 DRAWN BY: JF
 APPROVED BY: JF

L-8

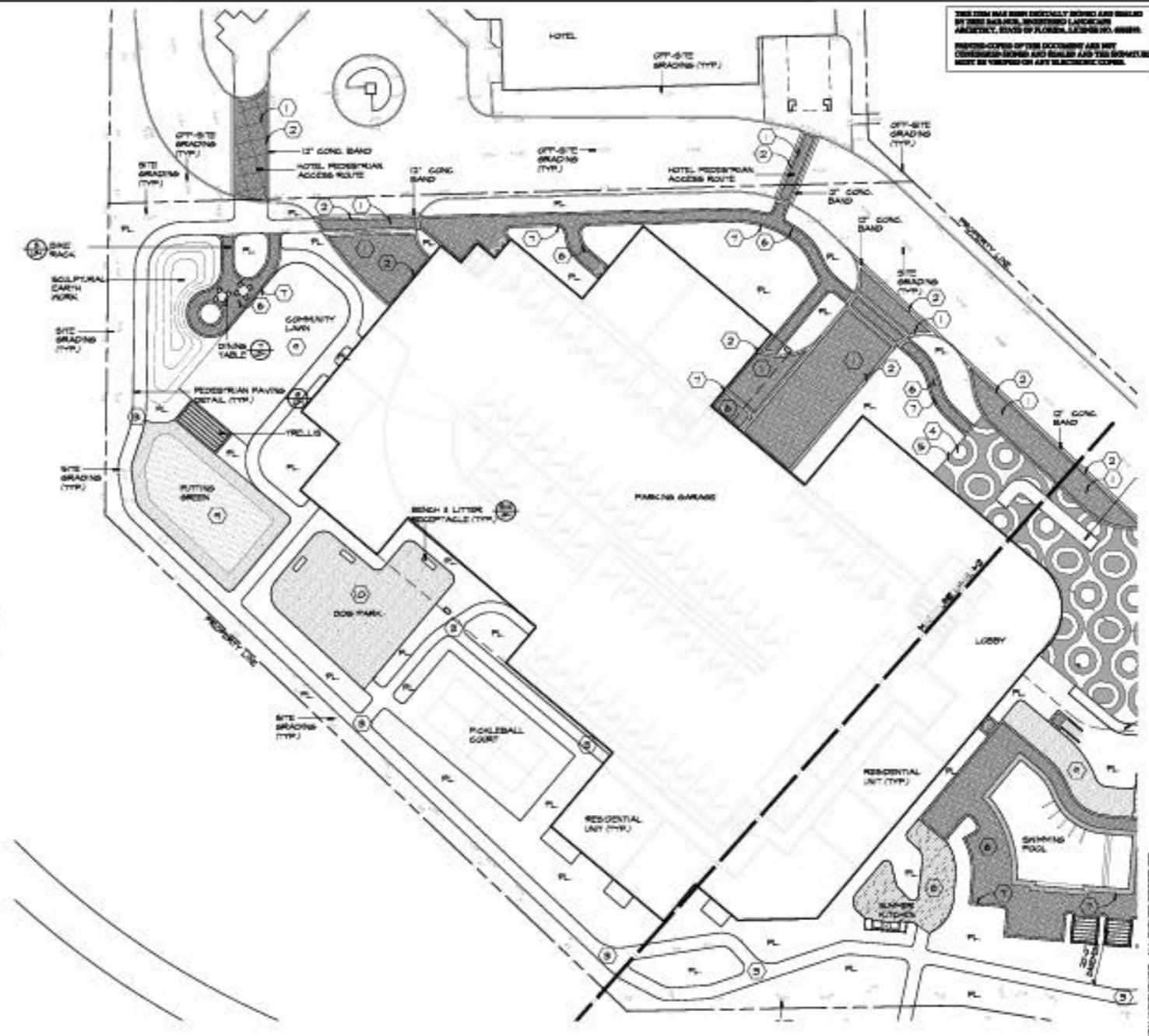
THIS PLAN HAS BEEN PRELIMINARILY REVIEWED AND APPROVED BY THE BOARD OF PLANNING AND ZONING. THE BOARD OF PLANNING AND ZONING HAS REVIEWED THE PLAN FOR CONFORMANCE WITH THE CITY OF FORT LAUDERDALE ZONING ORDINANCE, CHAPTER 216. THE BOARD OF PLANNING AND ZONING HAS REVIEWED THE PLAN FOR CONFORMANCE WITH THE CITY OF FORT LAUDERDALE ZONING ORDINANCE, CHAPTER 216. THE BOARD OF PLANNING AND ZONING HAS REVIEWED THE PLAN FOR CONFORMANCE WITH THE CITY OF FORT LAUDERDALE ZONING ORDINANCE, CHAPTER 216.

HARDSCAPE MATERIALS

- ① DRIVEWAY PAVEMENT FIELD: 6"x6" x 6"x6" ASPHALT PAVEMENT BY BELGARD OR APPROVED EQUAL, PATTERN: RANDOM (SEE DETAIL); COLOR: SLATE
- ② DRIVEWAY PAVEMENT BAND: 6"x6" ASPHALT PAVEMENT BY BELGARD OR APPROVED EQUAL, PATTERN: 1" WIDE SOLDIER COURSE; COLOR: SLATE
- ③ WALKWAY PAVEMENT: 8"x12" MODULINE PAVEMENT BY BELGARD OR APPROVED EQUAL, PATTERN: RADIAL RUNNING BOND; COLOR: TITANIUM
- ④ PLAZA PAVEMENT 1: 4"x8" PAVEMENT BY BELGARD OR APPROVED EQUAL, PATTERN: RUNNING BOND; COLOR: TITANIUM
- ⑤ PLAZA PAVEMENT 2: 4"x8" PAVEMENT BY BELGARD OR APPROVED EQUAL, PATTERN: RUNNING BOND; COLOR: CHARCOAL
- ⑥ PARK & POOL DECK PAVEMENT FIELD: 6"x6" x 6"x6" ASPHALT PAVEMENT BY BELGARD OR APPROVED EQUAL, PATTERN: RANDOM; COLOR: TITANIUM
- ⑦ PARK & POOL DECK PAVEMENT BAND: 6"x6" ASPHALT PAVEMENT BY BELGARD OR APPROVED EQUAL, PATTERN: 1" WIDE SOLDIER COURSE; COLOR: TITANIUM
- ⑧ WOOD PORCELAIN PAVEMENT: 12"x24" H&K BY CAESAR, OR APPROVED EQUAL, COLOR: LOOSE IV; TEXTURED FINISH
- ⑨ ARTIFICIAL SOOD: SYN AUSTINEX-1 BY SYNLAWN, OR APPROVED EQUAL
- ⑩ DOG PARK ARTIFICIAL SOOD: PET PREMIUM ARTIFICIAL TURF BY SYNLAWN, OR APPROVED EQUAL; INSTALL WITH ZEPHIRE DOOR REDUCING MIX OVER COMPACTED CLASS II ROAD AGGREGATE BASE AS RECOMMENDED BY MANUFACTURER

NOTES

- USE THIS PLAN FOR PAVEMENT SELECTION ONLY. USE CIVIL ENGINEERING PAVEMENT & MARKINGS PLANS FOR LOCATION AND SPECIFICATIONS OF PAVEMENT MARKINGS
- PAVEMENT CONTRACTOR SHALL PROVIDE PAVING MOCK UP FOR ALL PAVING DETAILS & COLORS FOR OWNER & LANDSCAPE ARCHITECT APPROVAL
- SUBMIT ALL STONE AND GROUT COLOR FOR OWNER & LANDSCAPE ARCHITECT APPROVAL
- INSTALL PAVEMENT IN SAND & COMPACTED SUBGRADE AS SPECIFIED BY CIVIL ENGINEER
- ALL PAVED SURFACES SHALL MEET ALL ADA REGULATIONS
- PAVEMENT SUBCONTRACTOR IS RESPONSIBLE FOR ALL PAVEMENT DETAILS, NOTES, SPECS, AND INFORMATION SHOWN ON CIVIL DRAWINGS



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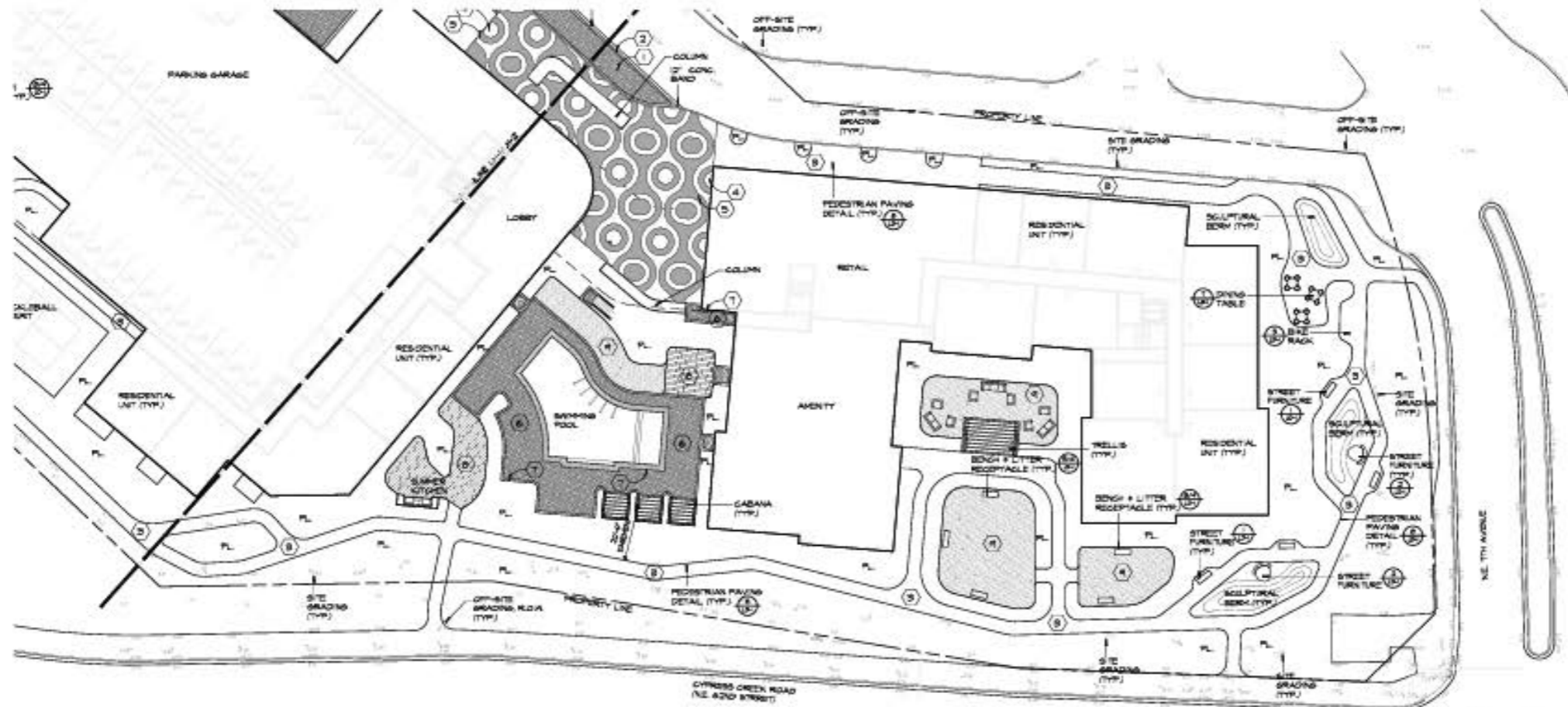


AURA CYPRESS CREEK
City of Fort Lauderdale
HARDSCAPE PLAN



LH-1

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HARDSCAPE MATERIALS

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- ② DRIVEWAY PAVEMENT SAND: 6" x 6" x 4" ASPHALT PAVEMENT BY BELMONT OR APPROVED EQUAL, PATTERN: 1" WIDE SOLDIER COURSE; COLOR: SLATE
- ③ BALCONY PAVEMENT: 3" x 6" MODULAR PAVEMENT BY BELMONT OR APPROVED EQUAL, PATTERN: RADIAL, RUNNING BOND; COLOR: TITANIUM
- ④ PLAZA PAVEMENT 1: 4" x 6" PAVEMENT BY BELMONT OR APPROVED EQUAL, PATTERN: RUNNING BOND; COLOR: TITANIUM
- ⑤ PLAZA PAVEMENT 2: 4" x 6" PAVEMENT BY BELMONT OR APPROVED EQUAL, PATTERN: RUNNING BOND; COLOR: CHARCOAL
- ⑥ PARK & POOL DECK PAVEMENT FIELD: 6" x 6" x 4" ASPHALT PAVEMENT BY BELMONT OR APPROVED EQUAL, PATTERN: RANDOM; COLOR: TITANIUM
- ⑦ PARK & POOL DECK PAVEMENT SAND: 6" x 6" x 4" ASPHALT PAVEMENT BY BELMONT OR APPROVED EQUAL, PATTERN: 1" WIDE SOLDIER COURSE; COLOR: TITANIUM
- ⑧ ROAD PORCELAIN PAVEMENT: 12" x 12" x 1 1/2" HAZ BY CABARK OR APPROVED EQUAL, COLOR: LOOKS LIKE TEXTURED FINISH
- ⑨ ARTIFICIAL SAND: SYN. ASSISTMENT BY SYNLAWN OR APPROVED EQUAL
- ⑩ DOG PARK ARTIFICIAL SAND: PET FRIENDLY ARTIFICIAL TURF BY SYNLAWN OR APPROVED EQUAL, INSTALL WITH 200% TO 250% DRAINAGE MIX OVER COMPACTED SAND & ROAD AGGREGATE BASE AS SPECIFIED BY MANUFACTURER

NOTES

- USE THIS PLAN FOR PAVEMENT SELECTION ONLY. USE CIVIL ENGINEERING PLANS & HOMEWORK PLANS FOR LOCATION AND SPECIFICATIONS OF PAVEMENT MATERIALS
- PAVEMENT CONTRACTOR SHALL PROVIDE PAVING MIXTURE FOR ALL PAVING DETAILS & COLORS FOR ORDER & LANDSCAPE ARCHITECT APPROVAL
- SUBMIT ALL STONE AND GROUT COLOR FOR ORDER & LANDSCAPE ARCHITECT APPROVAL
- INSTALL PAVEMENT IN SAND & COMPACTED SUBGRADE AS SPECIFIED BY CIVIL ENGINEER
- ALL PAVED SURFACES SHALL MEET ALL ADA REGULATIONS
- PAVEMENT CONTRACTOR IS RESPONSIBLE FOR ALL PAVEMENT DETAILS, NOTES, SPECIFICATIONS, AND INFORMATION SHOWN ON CIVIL DRAWINGS



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AURA CYPRESS CREEK
City of Fort Lauderdale
HARDSCAPE PLAN



LH-2

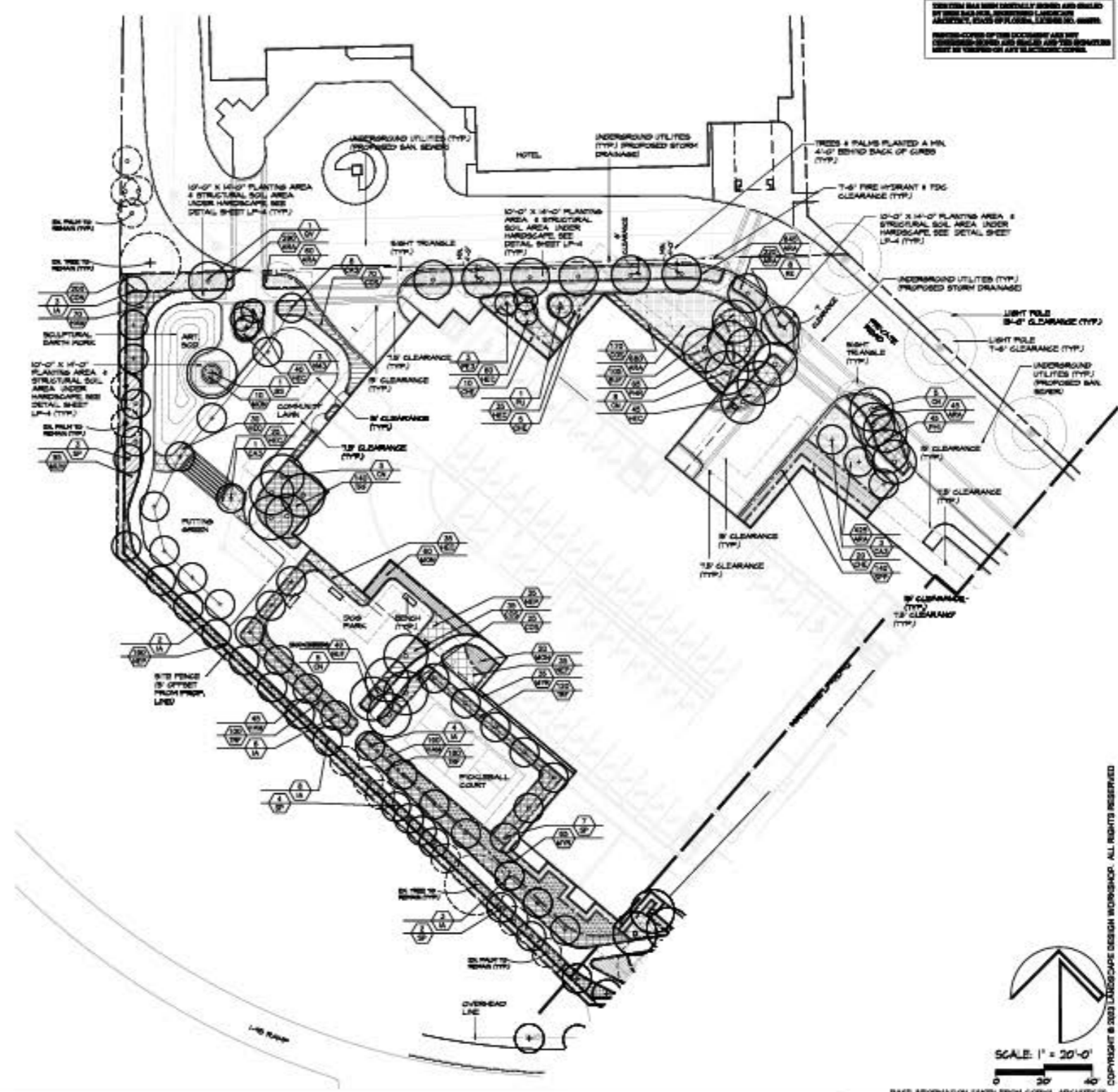
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Key	Qty	Water Need	Botanical/Common Name	Height	Spread	Trunk	Remarks
BR*	1	Low	Bursera simaruba* Gumbo Limbo	20	20	12" DBH	Specimen Growth: Full sun, Matured 20-25 ft. Full sunlight
CA3	12	Medium	Casearia grandis "Silver" Tree	8	7	8" D.B.	Full, Juvenile Growth
CL	23	Low	Coccoloba major "Mexican Coconut Palm"	6-12 O.A.	7	7" O.D.W.	Full, Juvenile Growth
A*	26	Low	Asplenium adnigrum* "East Palms Holly"	4	8		Full to the ground, Patched
PE3	3	Medium	Platanus mexicana* "Mexican Platan"	6-8	8-10	8" D.B.	Heavy, Full Sun, Trunk 8" DBH
PL	1	Low	Platanus sp. "Platan"	10-14	10		Heavy, Full Sun, Trunk 8" DBH
OV*	1	Low	Ocotea virginiana* "Live Oak"	8	10	8" DBH	Specimen Growth, Matured
RP*	8	Medium	Roystonia elaeagnifolia* "Florida Royal Palm"	6-10	10	10" G.W.	Heavy, Full Sun, Trunk 10" DBH
SP*	16	Low	Sabal palmetto* "Cabbage Palm"	10-12	14	8" D.B.	Heavy, Full Sun, Trunk 8" DBH
IND*	3	Medium	Indocalamus pulcherrimus* "Tiger Mangrove Palm"	20	20	8" D.B.	Heavy, Full Sun, Trunk 8" DBH

Key	Qty	Water Need	Botanical/Common Name	Height	Spread	Trunk	Remarks
ARA	200	Low	Azadirachta indica "Neem Tree"	15'	15'		Full & dense solid wall and 10' tall
BLF	145	Low	Buddleia davidii "Dwarf Butterfly Bush"	6'	6'		Full, 10' tall
CHB	30	Medium	Chorizanthe humilis "Bamboo Palm"	30'	34'		Full, multiple, healthy get mature
COV*	200	Low	Conocarpus erectus* "Queen Palmetto"	30'	34'		Full, 24' tall
COB	300	Medium	Cordia alliodora* "Allspice Tree"	30'	34'		Full, 24' tall
HAFF	300	Low	Hamelia patens* "Scarlet Fire Bush"	34'	34'		Full, 24' tall
HBC	375	Medium	Hibiscus palmerianus* "Lily of the Paradise"	34'	34'		Full, 24' tall
MOY	80	Medium	Moroneja tomentosa "Orange Tree"	34'	34'		Full, 24' tall
MUH*	120	Low	Mussaenda augustana* "Mussaenda"	34'	34'		Full, 24' tall
MVC	100	Low	Miconia tomentosa* "Miconia"	34'	34'		Full, 24' tall
MBP*	200	Medium	Melastoma tomentosum* "Red Bay"	34'	34'		Full, 24' tall
PEL	45	Medium	Persea indica* "Sour Orange"	34'	34'		Full, 24' tall
PHS	80	Medium	Philodendron bipinnatifidum* "Philodendron"	34'	34'		Full, 24' tall
OPR	140	Medium	Orchidaceae sp.* "Orchid"	18'	18'		Full, 18" o.c. Growth Garden 50-750-0785
TRP*	500	Low	Tillandsia usneoides* "Spanish Moss"	34'	34'		Full, 24' tall

MISCELLANEOUS
 * Indicates Native Plant Species

NOTES
 1. Soil - All soil to be 5' Augmented Grade 20/100 and 10' of landscape contractor to all provide 3" depth of mulch over all planting beds and as per planting specifications.
 2. In case of any disputes between planting client and plant list client, client take precedent.
 3. All landscape areas to receive 100% regular coverage with 100% overlap.
 4. General contractor responsible for water table off.



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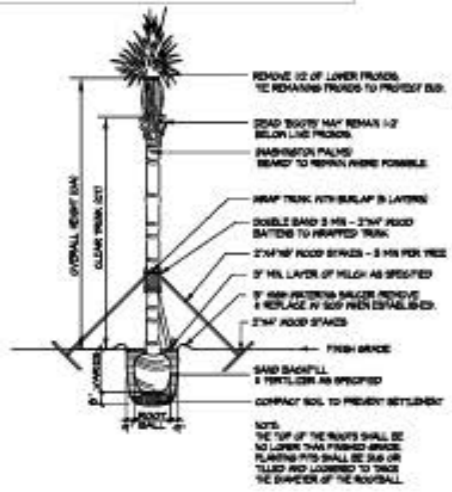
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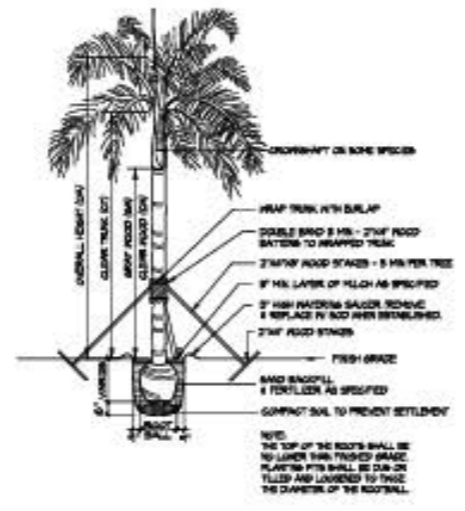
AURA CYPRESS CREEK
 City of Fort Lauderdale
PLANTING PLAN



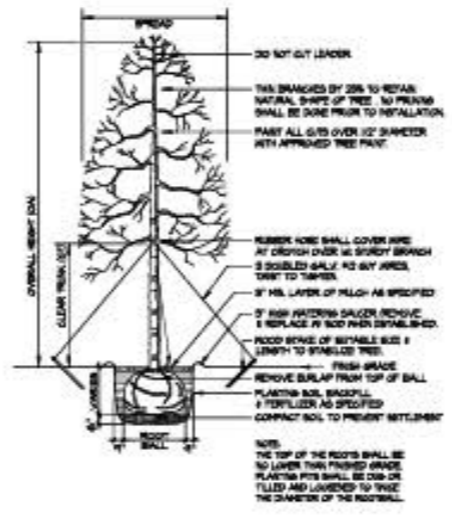
LP-1



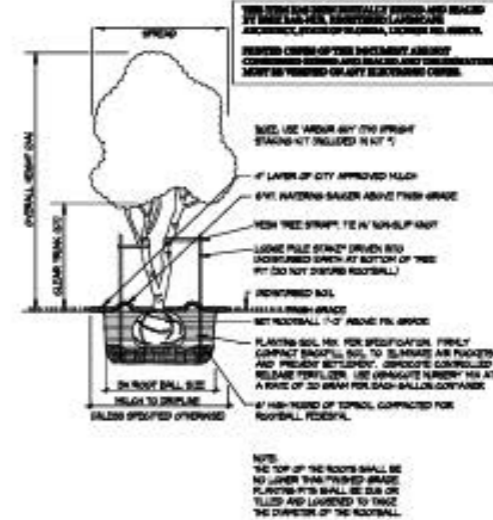
SABAL / WASHINGTON PALM PLANTING DETAIL
N.T.S.



TYPICAL PALM PLANTING DETAIL
N.T.S.



TYPICAL TREE PLANTING DETAIL
N.T.S.



MULTI TRUNK TREE PLANTING DETAIL
N.T.S.

- GENERAL NOTES**
- All plant materials shall conform to the standards for Florida No. 1 or better as given in "Grades and Standards for Nursery Plants", 3rd Edition, February 1990, State of Florida Department of Agriculture, Tallahassee, or thereto.
 - All landscape areas to be provided with a 100% automatic irrigation system.
 - All landscaping and irrigation shall be installed in a sound workmanlike manner and according to accepted and proper planting procedures with the quality of plant materials described.
 - Specifications of plant materials as follows: Spread - indicates average spread to nearest height (a.w.) - indicates overall height from top of root ball to highest of current season's growth; G.T. - indicates clear trunk measurement to first branching Pt. of plant - indicates measurement of plants from top of ball to top of stems.
 - All trees shall be properly guyed and staked at the time of planting to ensure proper establishment.
 - Hedges shall be planted and maintained so as to form a continuous, uniform, solid visual screen.
 - All sod areas to be 6t. Augustine 'Floratan' solid sod.
 - Planting soil - the depth of the root ball and twice the diameter of the root ball for palms & trees; 6 inches for shrubs & groundcover; 2 inches for sod.
 - Landscaped areas, including landscape islands, within or abutting vehicular use areas shall be excavated to a depth of 2.5 feet to ensure that adequate planting soil exists. Parking lot base course material, lime rock, asphalt and other similar material shall be removed to a depth of 2.5 feet.
 - A minimum of three inches of shredded mulch or ground cover shall be installed around each tree planting, including palm trees, and throughout hedge and shrub plantings.
 - The contractor is responsible for his own quantity count. Any discrepancy between drawings and plant list shall be considered as correct on the drawings.
 - The landscape contractor shall schedule an on-site pre-construction meeting with the City Landscaper.

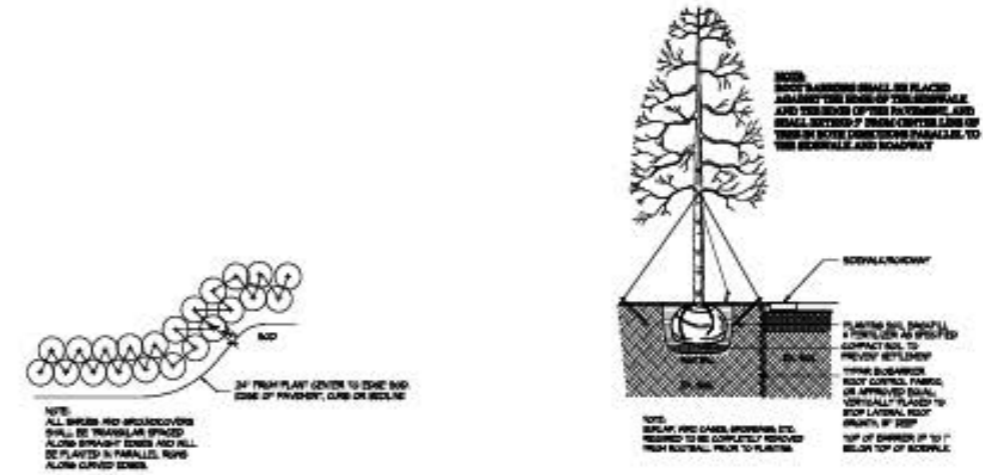
PLANTING SOIL:
GRADE LEVEL SOIL: 50/50 MIX BY ATLAS PRAT & SOIL, OR APPROVED EQUAL FOR TREES, SHRUBS & GROUNDCOVER (561-794-7300)

RECREATION TRUCK PLANTERS: 80% COARSE SAND & 20% FLORIDA PRAT MIX BY ATLAS PRAT & SOIL, OR APPROVED EQUAL (561-794-7300)

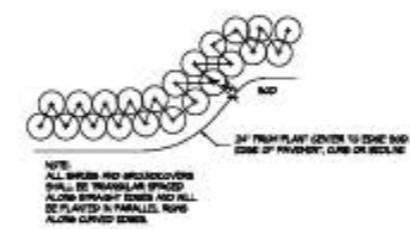
SOIL SAMPLES TOGETHER WITH CHECKED SOIL ANALYSIS REPORT MUST BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION

MULCH:
PREMIUM GREEN SMART MELALEUCA MULCH BY AMERIGROW, OR APPROVED EQUAL (561-489-8148)

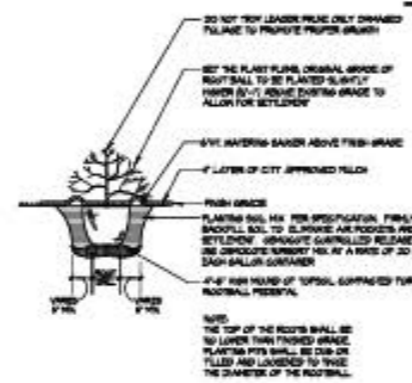
MULCH SAMPLE TOGETHER WITH CERTIFIED ANALYSIS REPORT MUST BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION



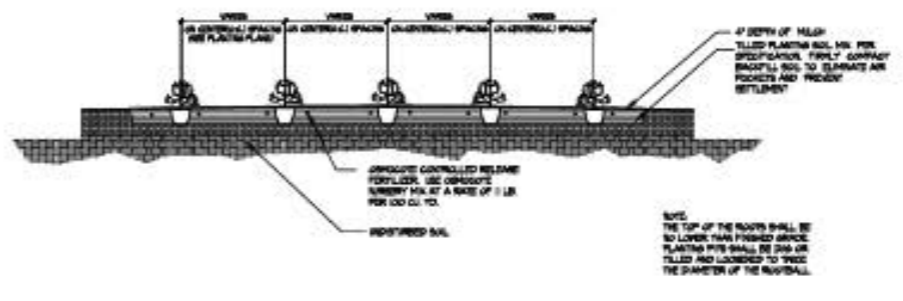
TYPICAL ROOT BARRIER DETAIL
N.T.S.



TYPICAL SMALL SHRUB / GROUNDCOVER PLANTING DETAIL
N.T.S.



TYPICAL SHRUB / GROUNDCOVER PLANTING DETAIL
N.T.S.



TYPICAL SMALL SHRUB / GROUNDCOVER PLANTING DETAIL
N.T.S.

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AURA CYPRESS CREEK
City of Fort Lauderdale
PLANTING DETAILS AND NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	11/11/2011	ISSUED FOR PERMIT
2	01/11/2012	ISSUED FOR PERMIT
3	01/11/2012	ISSUED FOR PERMIT
4	01/11/2012	ISSUED FOR PERMIT
5	01/11/2012	ISSUED FOR PERMIT
6	01/11/2012	ISSUED FOR PERMIT
7	01/11/2012	ISSUED FOR PERMIT
8	01/11/2012	ISSUED FOR PERMIT
9	01/11/2012	ISSUED FOR PERMIT
10	01/11/2012	ISSUED FOR PERMIT

LP-3

Landscape Requirements

Zoning District: RMH-4E

Net Lot Area: 155,454 s.f.

Landscape area:	REQUIRED	PROVIDED
A. Landscape area requirement: min. 20% x Net Lot Area (Sec. 47-21.13 B.3.) 20% x Net Lot Area 155,454 s.f. = 54,493 s.f.	54,493 s.f.	65,721 s.f.
Trees:		
A. Number of trees required: (1) tree / 1,000 s.f. (Sec. 47-21.13 B.1.a.) Net Lot Area 155,454 s.f. / 1,000 s.f. = 155	155	159
B. Shade trees required: 20% of req. trees (Sec. 47-21.13 B.1.a.) Number of required trees: 20% x 155 = 31	31	36
C. Palm trees required: max. 20% of req. trees Number of required trees: 20% x 155 = 31	31	31
D. Number of native trees required: 40% of req. trees (Sec. 47-21.13 B.1.b.) Number of required trees: 40% x 155 = 62	62	73
E. Number of STREET trees required: (1) tree / 40 ft. length of street frontage (Sec. 47-21.13 B.1.c.) Length of street frontage 340 ft. / 40 ft. = 8.5	9	12
F. Street Shade trees required: 50% of req. street trees (Sec. 47-21.13 B.1.c.) Number of required Street Trees = 50% x 9 = 5	5	12
G. Number of Required Species (Sec. 47-21.8 F.1.) (5) or more trees required: a minimum of (5) species	5 species	10 species
Shrubs:		
A. Number of shrubs required: (12) shrubs / 1,000 s.f. (Sec. 47-21.13 B.1.d.) 12 x (Net Lot Area 155,454 s.f. / 1,000 s.f.) = 1866	1866	2,049
B. Number of native shrubs required: 40% of req. shrubs (Sec. 47-21.13 B.1.d.) Number of required shrubs: 40% x 1866 = 746	746	1,662
C. Turfgrass areas required: max. 50% of landscape area (Sec. 47-21.8 F.2.) 50% x req. Landscape area 54,493 s.f. = 27,246 s.f.	max. 27,205 s.f.	2,264

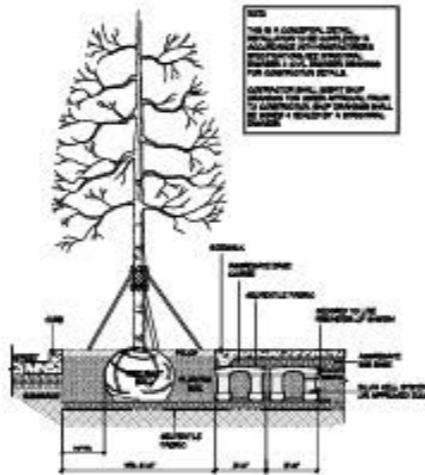
* Total provided trees includes 31 existing trees to be preserved

Minimum Vehicular Use Area (VUA) Requirements

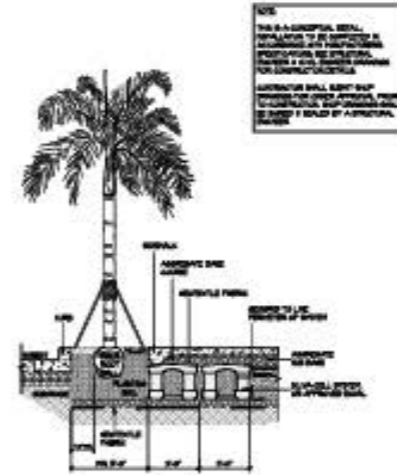
Sec. 47-21.12

Total VUA: 5,830 s.f.

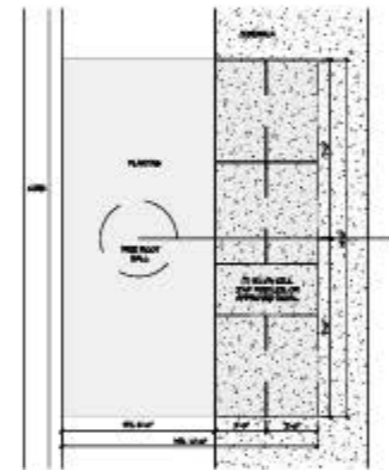
VUA Landscape area:	REQUIRED	PROVIDED
A. VUA Landscaping requirement: 20% of VUA area (Sec. 47-21.12 A.1.) 20% x 5,830 = 1,166 s.f.	1,166 s.f.	2,116 s.f.
B. VUA Landscaping Area: 30 sq. ft. per parking space (Sec. 47-21.12 A.3.) 30 x 1 x (2) parking spaces = 60 s.f.	60 s.f.	226 s.f.
VUA Trees:		
A. Number of trees required: 1 tree per 1,000 sq. ft. of VUA area (Sec. 47-21.12 C.1.) 5,830 sq. ft. / 1,000 sq. ft. = 6	6	6
B. Shade trees required: 20% trees w/ min. 3" trunk caliper (Sec. 47-21.12 C.1.a.) Number of required shade trees = 20% x 6 = 1.2	2	3
C. Shade trees required: 15% trees w/ min. 2" trunk caliper (Sec. 47-21.12 C.1.a.) Number of required trees = 15% x 6 = 0.9	1	2
D. Flowering trees required: 25% flowering trees (Sec. 47-21.12 C.1.c.) Number of required trees = 25% x 6 = 1.5	1	1
E. Palm trees required: max. 20% palm trees (Sec. 47-21.12 C.1.d.) Number of required trees = 20% x 6 = 1.2	1	1
F. Number of native trees: 50% native and/or drought tolerant (Sec. 47-21.8 F.2.) Number of required trees = 50% x 6 = 3	3	3
VUA Shrubs:		
A. Number of required shrubs: (10) shrubs per required tree (Sec. 47-21.12 C.1.) (10) x 6 = 60	60	360
B. Number of required native shrubs: 50% Native / drought tolerant (Sec. 47-21.8 F.2.) Number of required shrubs: 50% x 60 = 30	30	30



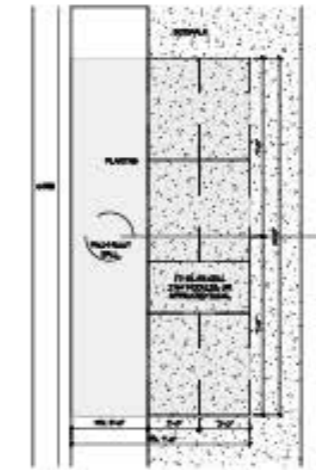
1 STRUCTURAL SOIL TYPICAL DETAIL
SCALE: 3/8"=1'-0"



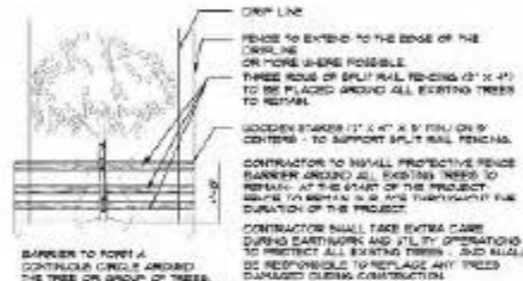
2 STRUCTURAL SOIL TYPICAL DETAIL
SCALE: 3/8"=1'-0"



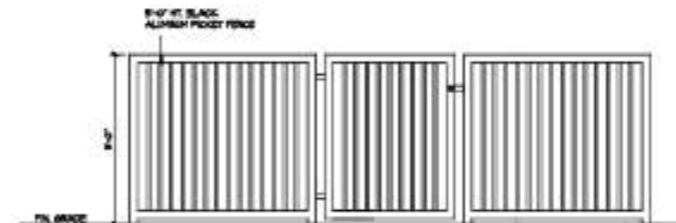
3 STRUCTURAL SOIL TYPICAL PLAN
SCALE: 3/8"=1'-0"



4 STRUCTURAL SOIL TYPICAL PLAN
SCALE: 3/8"=1'-0"



TREE PROTECTION DETAIL
NOTE



5 SITE PERIMETER FENCE & GATE FRONT ELEVATION
SCALE: 1/4"=1'-0"

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One Park Plaza
421 W. 2nd Street, Suite 120
PHX 102076
www.landscapeworkshop.com

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AURA CYPRESS CREEK
City of Phoenix Landscape
LANDSCAPE TABULATIONS

NOVEMBER 11, 2022

LP-4

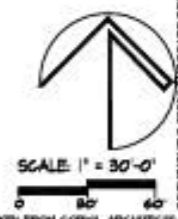
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Hydrozone Table

Hydrozone	Water Need
HZ-01	Low
HZ-02	Low
HZ-03	Medium
HZ-04	Low
HZ-05	Medium
HZ-06	Low
HZ-07	Low
HZ-08	Medium
HZ-09	Medium
HZ-10	Medium
HZ-11	Low
HZ-12	Low
HZ-13	Medium
HZ-14	Medium
HZ-15	Low
HZ-16	Medium
HZ-17	Low
HZ-18	Medium
HZ-19	Low
HZ-20	Medium
HZ-21	Low

LEGEND:
 **LOW**
 **MEDIUM**



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AURA CYPRESS CREEK
City of Fort Lauderdale
HYDROZONE PLAN

DATE: 08/15/23
PROJECT: AURA CYPRESS CREEK
CLIENT: CITY OF FORT LAUDERDALE
SCALE: 1" = 30'-0"
DATE: 08/15/23
PROJECT: AURA CYPRESS CREEK
CLIENT: CITY OF FORT LAUDERDALE
SCALE: 1" = 30'-0"
DATE: 08/15/23
PROJECT: AURA CYPRESS CREEK
CLIENT: CITY OF FORT LAUDERDALE
SCALE: 1" = 30'-0"

LP-5

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BASE INFORMATION TAKEN FROM COBBLE ARCHITECTS

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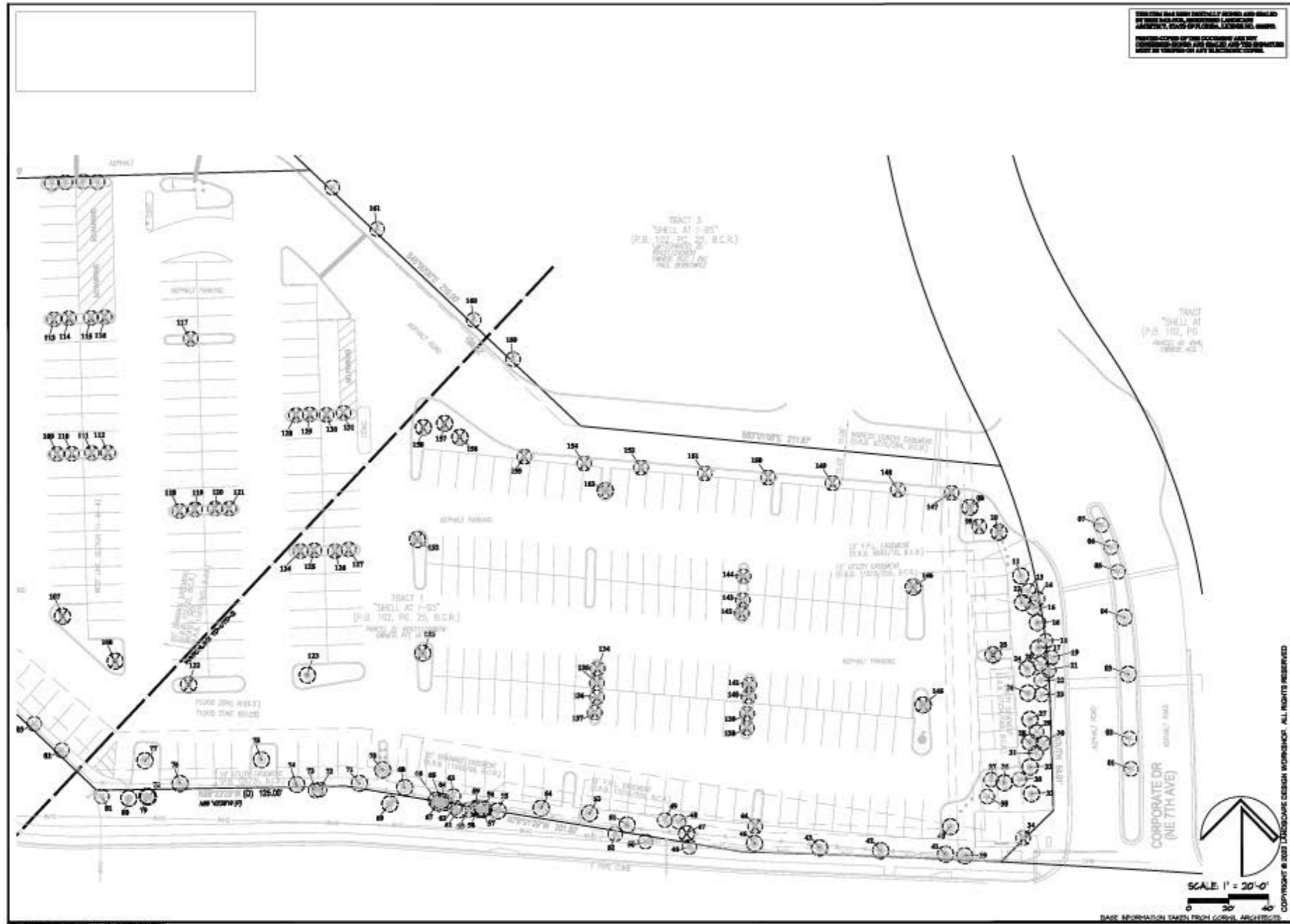


AURA CYPRESS CREEK
City of Fort Lauderdale
TREE DISPOSITION PLAN



TD-1

THIS PLAN HAS BEEN CAREFULLY REVIEWED AND APPROVED BY THE CITY ENGINEER, PORTLAND, OREGON, AND THE CITY ENGINEER, PORTLAND, OREGON, AND THE CITY ENGINEER, PORTLAND, OREGON.



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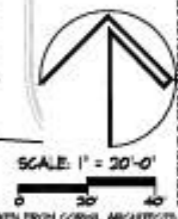
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Landscape Architecture
One Park Place
401 NW 23rd Street, Suite 120
Portland, Oregon 97201
(503) 772-0774



AURA CYPRESS CREEK
City of Portland
TREE DISPOSITION PLAN



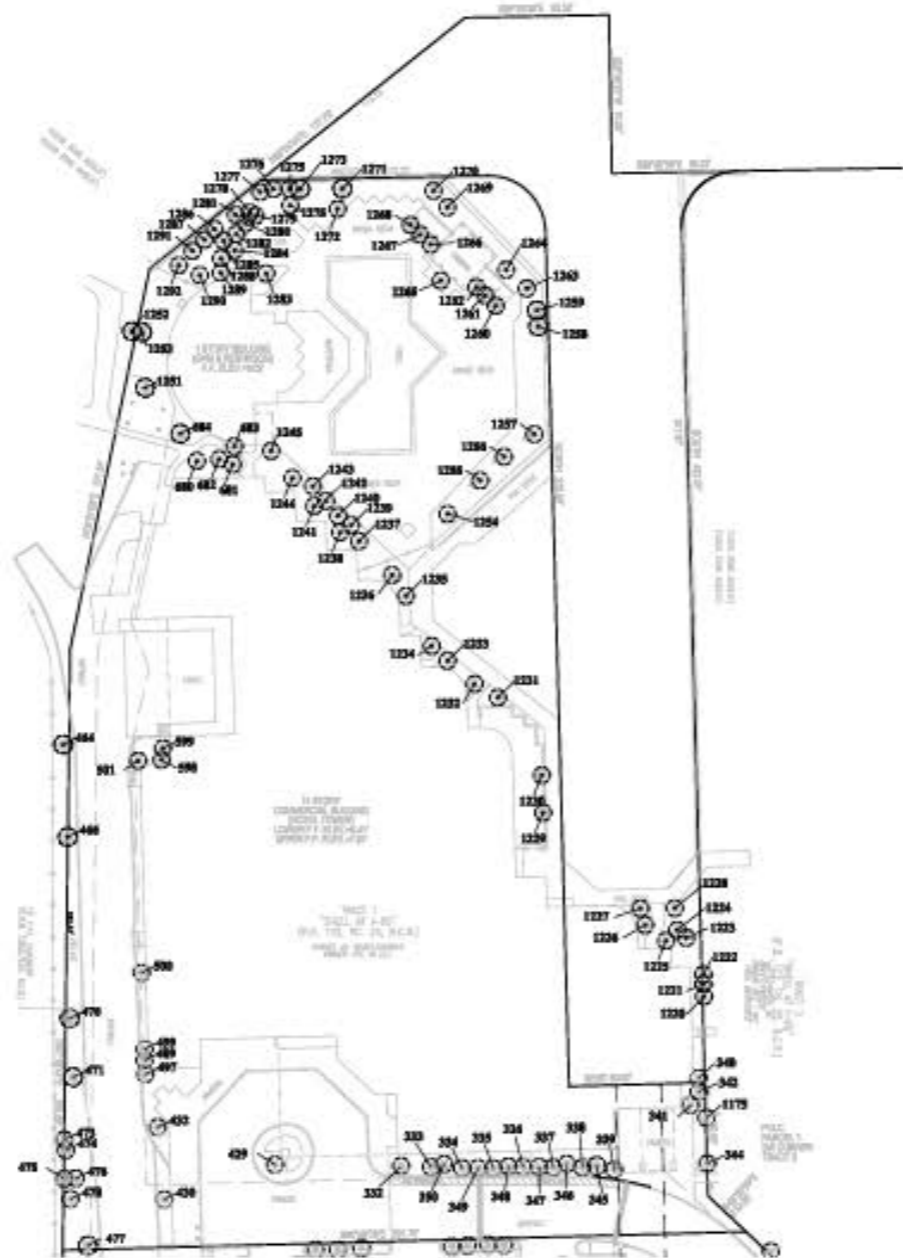
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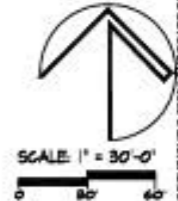
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NOTE:
 -ALL TREES TO REMAIN
 -SEE ARBORICULTURE TREE REPORT BY SUTTON
 CONSULTING ARBORIST, INC. DATED 2/25/2023.



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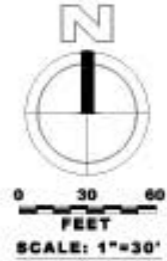
AURA CYPRESS CREEK
 City of Beaverton
TREE DISPOSITION PLAN

NO.	DATE	DESCRIPTION
1	02/25/2023	ARBORICULTURE TREE REPORT
2	03/01/2023	TREE DISPOSITION PLAN
3	03/01/2023	TREE DISPOSITION PLAN
4	03/01/2023	TREE DISPOSITION PLAN
5	03/01/2023	TREE DISPOSITION PLAN
6	03/01/2023	TREE DISPOSITION PLAN
7	03/01/2023	TREE DISPOSITION PLAN
8	03/01/2023	TREE DISPOSITION PLAN
9	03/01/2023	TREE DISPOSITION PLAN
10	03/01/2023	TREE DISPOSITION PLAN

TD-4

MATCHLINE - SEE SHEET EN-2

NOTE: ACCESSIBLE PARKING, ACCESSIBLE PATH FROM PARKING, AND ACCESSIBLE PATH FROM ADJACENT ROW WILL BE IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY CODE



Area	SF	Acres	%
Pervious	98798	2.27	34.3
Impervious	189291	4.35	65.7



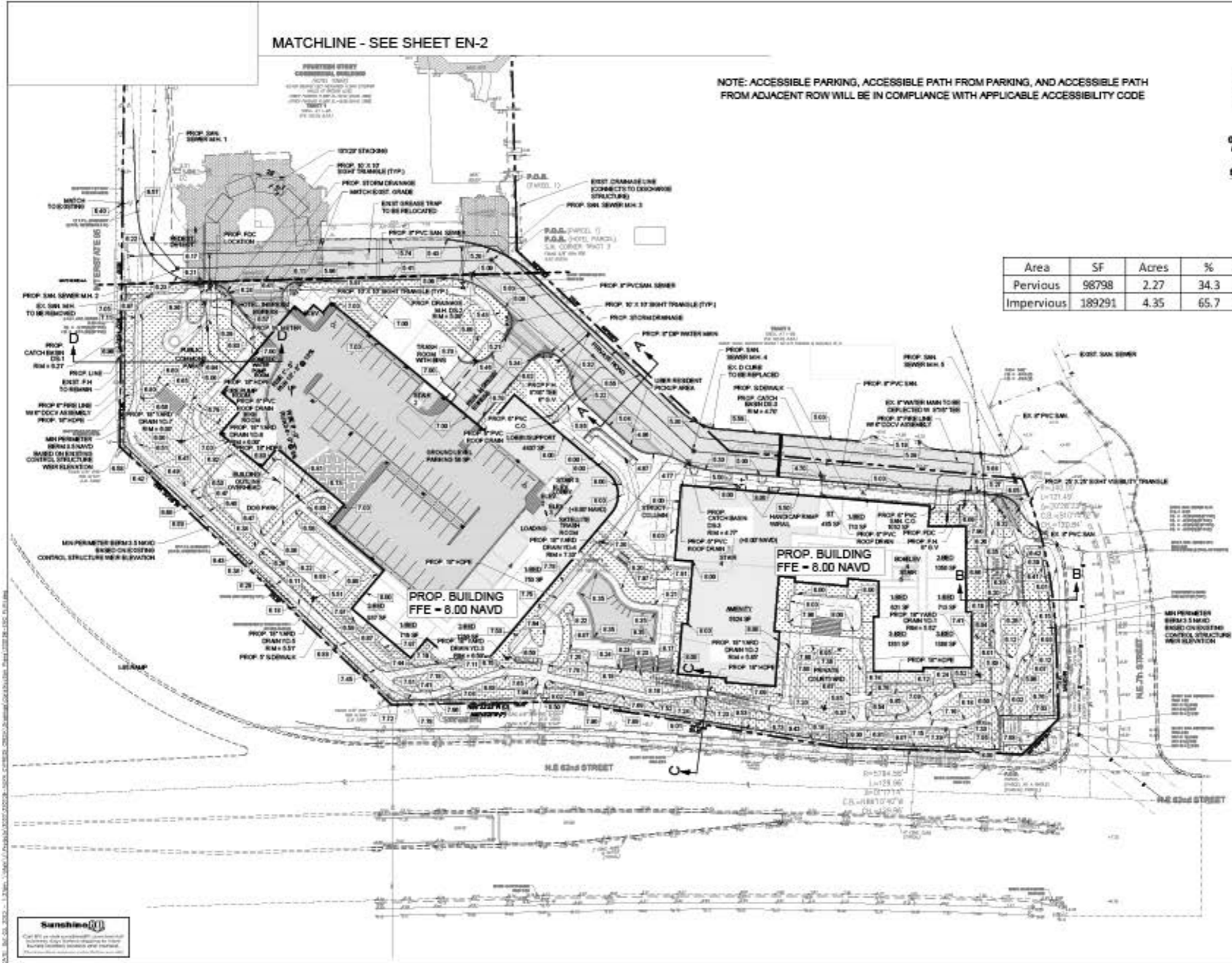
AURA CYPRESS CREEK

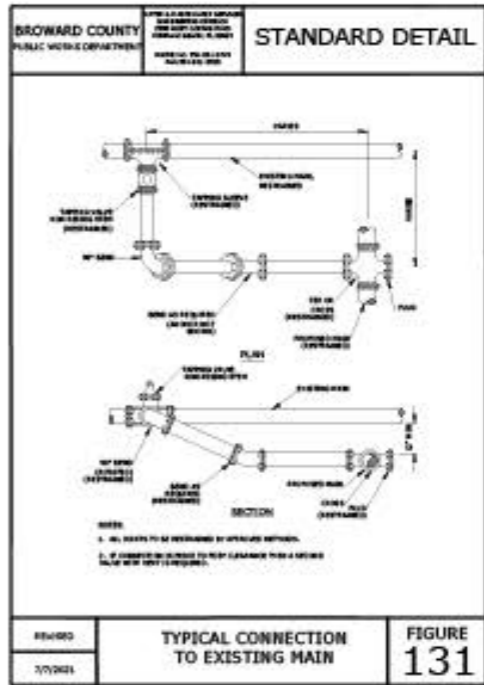
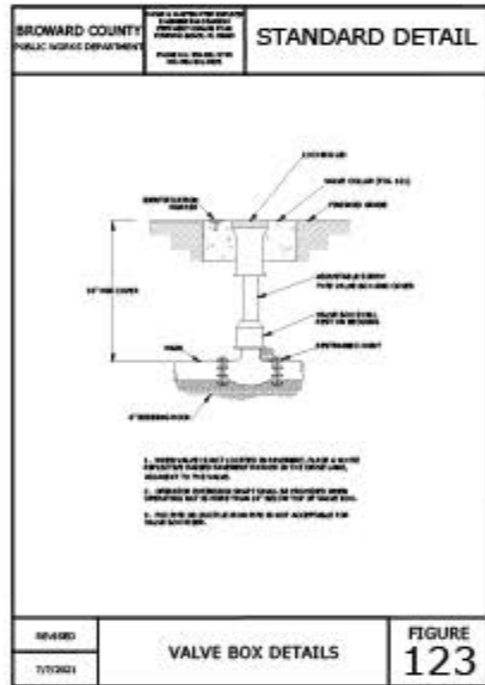
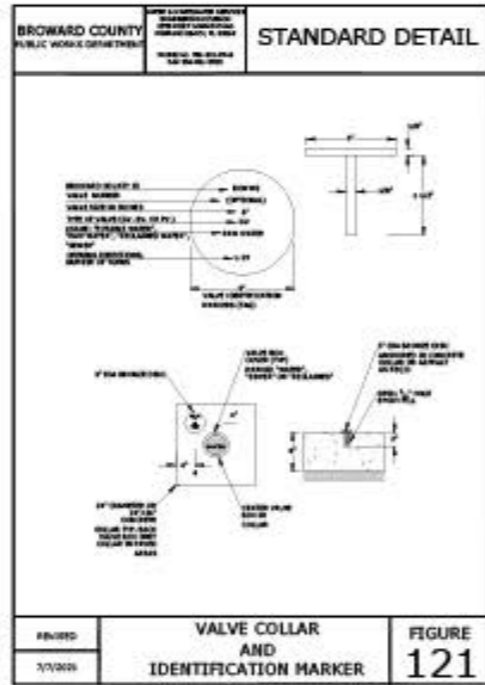
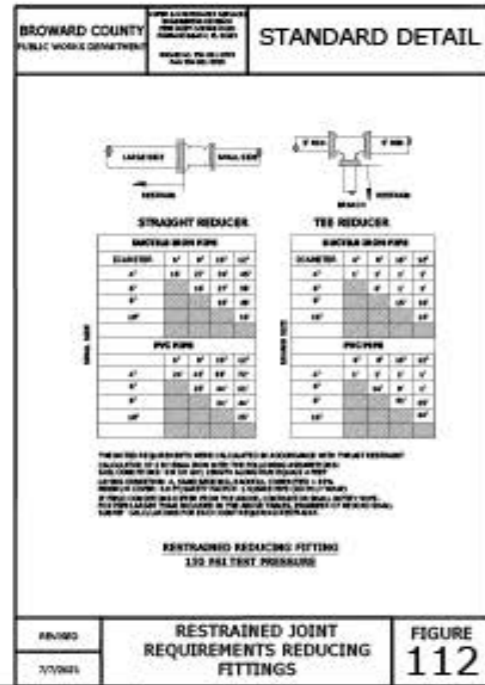
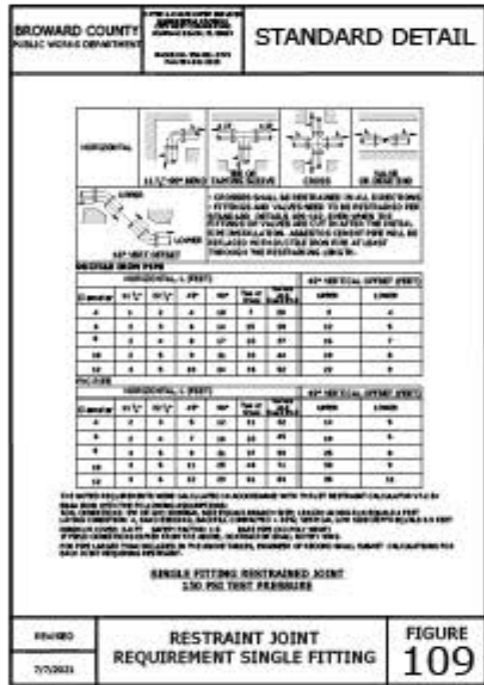
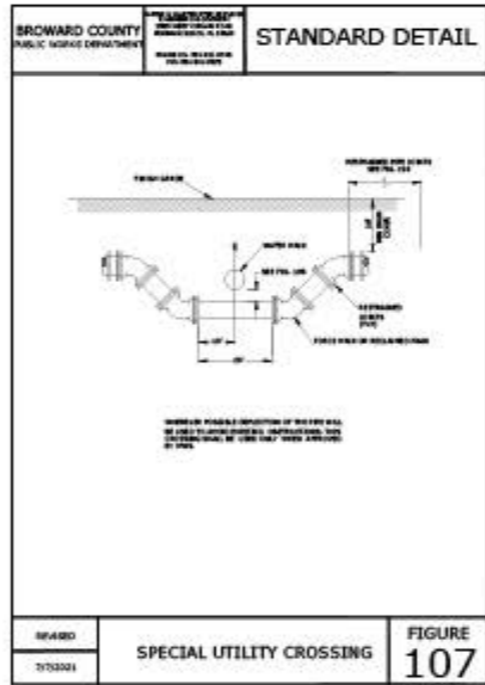
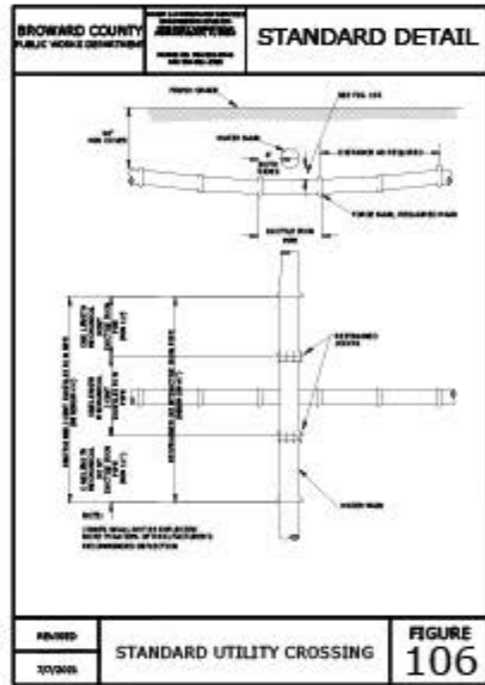
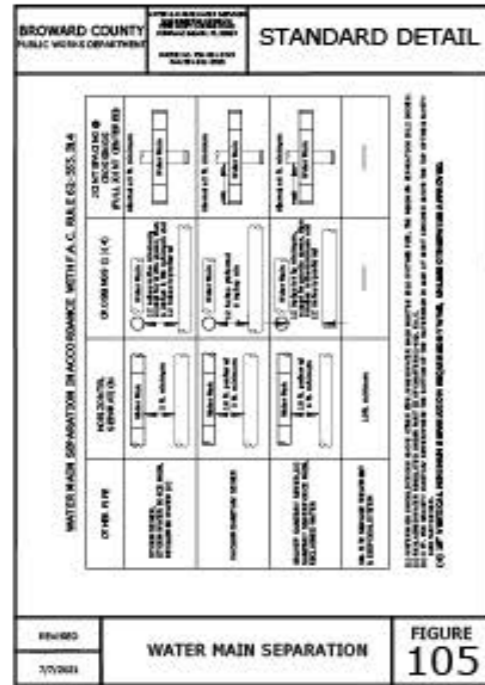
CONCEPTUAL ENGINEERING PLAN

DATE: _____
 DESIGNED BY: Z.T.
 DRAWN BY: S.B.
 CHECKED BY: J.H.



PROJECT: 2201-06
 SHEET: EN-1



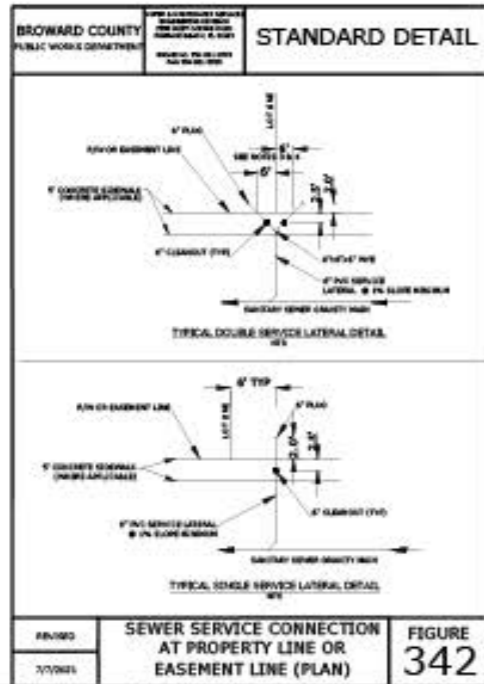
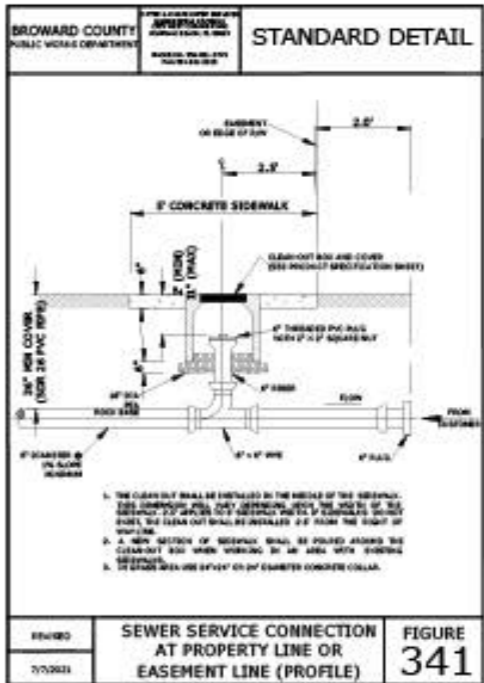
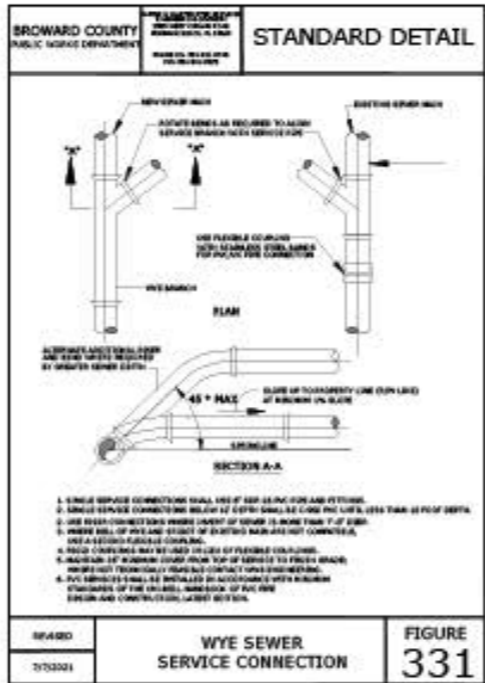
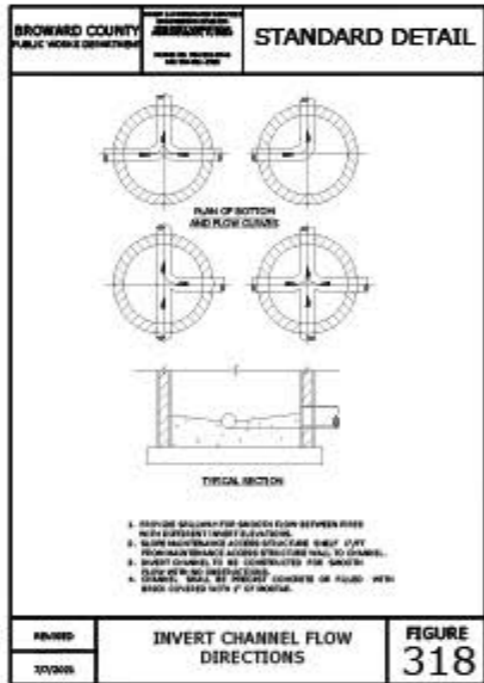


AURA CYPRESS CREEK
WATER AND SEWER DETAILS

DATE: 06/14
DESIGNED BY: Z.T.
DRAWN BY: S.B.
CHECKED BY: J.H.



PROJECT: 2301-06
SHEET: WSD-1



AURA CYPRESS CREEK
WATER AND SEWER DETAILS

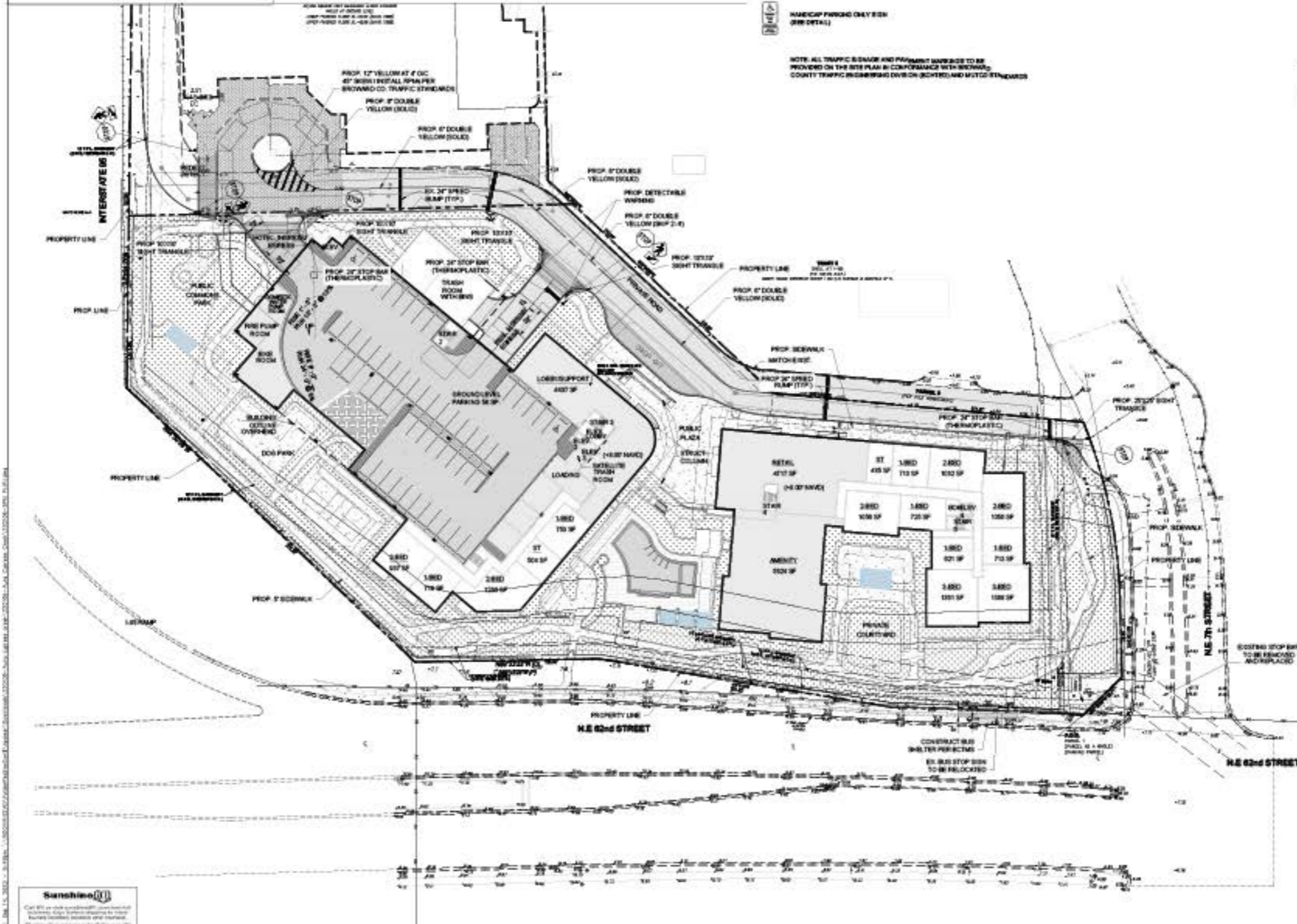
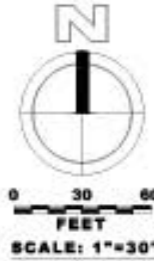
DATE	8/24
DESIGNED BY	Z.T.
DRAWN BY	S.E.
CHECKED BY	J.H.
PROJECT	2301-06
SHEET	WSD-4

CUTSHEET - SEE SHEET SPM-2

SIGN LEGEND:

- 81-1 STOP SIGN (20' x 30')
- W1-62 PEDESTRIAN CROSSING SIGN WITH DOWN ARROW
- HANICAP PARKING ONLY SIGN (SEE DETAIL)

NOTE: ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS TO BE PROVIDED ON THE SITE PLAN IN CONFORMANCE WITH BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BCTED) AND MUTCD STANDARDS



AURA CYPRESS CREEK
STRIPING AND PAVEMENT MARKINGS PLAN

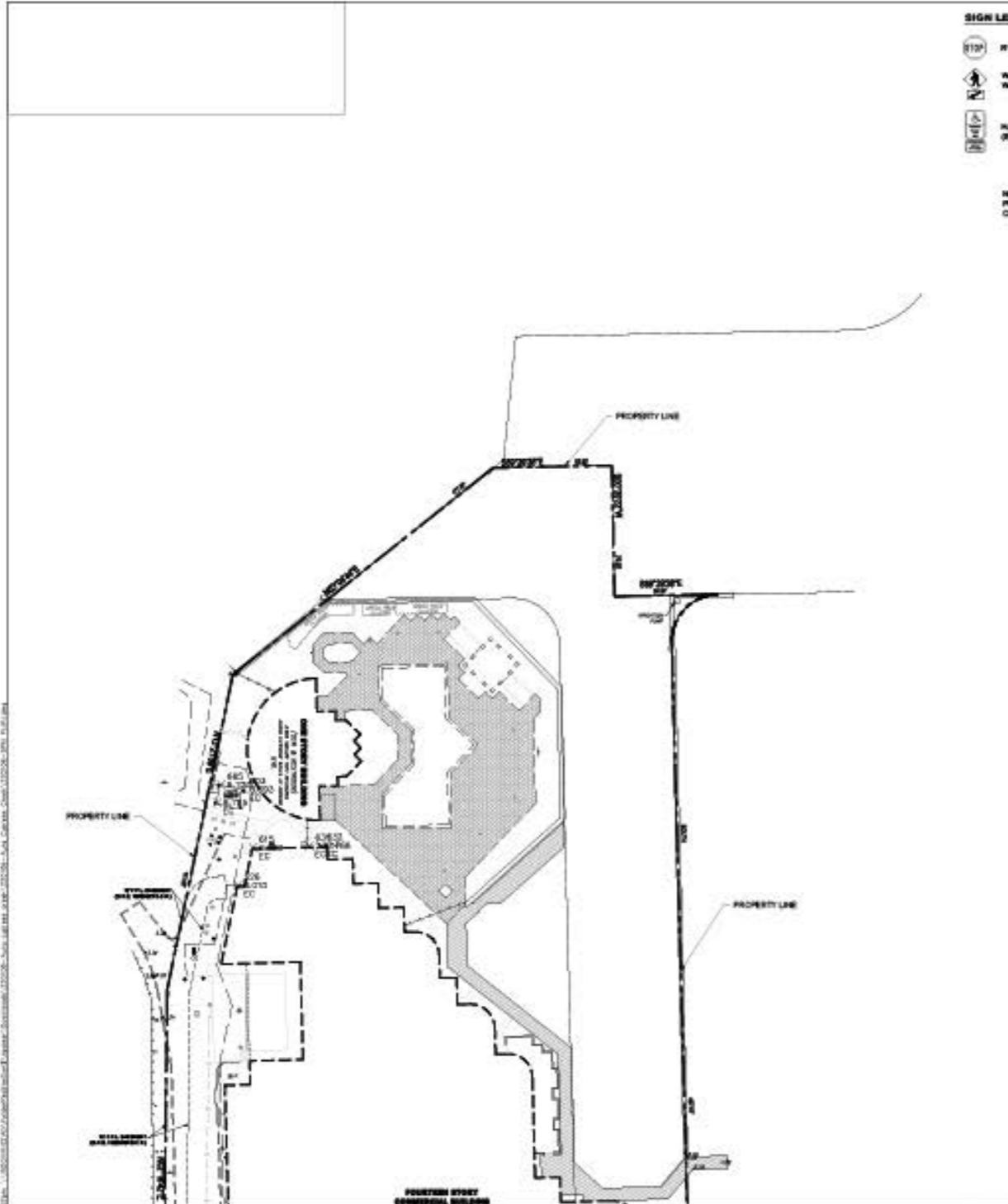
DATE: 06/24
DESIGNED BY: T.T.
DRAWN BY: S.S.
CHECKED BY: J.H.



PROJECT: 2201-06
SHEET: SPM-1

DATE PLOTTED: 06/24/2024 10:00:00 AM; PLOTTER: HP DesignJet T1100PS; PLOT SCALE: 1.0000; PLOT SHEET: SPM-1; PLOT PROJECT: 2201-06





SIGN LEGEND:

-  81-1 STOP SIGN (20' x 30')
-  WALKWAY CROSSING SIGN WITH CON. ARROW
-  MUNICIPAL PARKING ONLY SIGN (SEE DETAIL)

NOTE: ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS TO BE PROVIDED ON THE SITE PLAN IN CONFORMANCE WITH INDIANA COUNTY TRAFFIC ENGINEERING DIVISION (ICTED) AND MUTCD STANDARDS



0 30 60
FEET
SCALE: 1"=30'

NO.	DATE	BY	REVISIONS



H2O GROUP, LLC
Engineers, Planners, Surveyors
1111 Yanda Road, Suite 100
Bloomington, IN 47403-1000
www.h2ogroup.com

AURA CYPRESS CREEK
STRIPING AND PAVEMENT MARKINGS PLAN

DATE:	8/24
DESIGNED BY:	Z.T.
DRAWN BY:	S.E.
CHECKED BY:	J.H.



PROJECT:	2201-06
SHEET:	SPM-2

CUTSHEET - SEE SHEET SPM-1

DATE: 08/14/2024 11:50:00 AM PROJECT: 2201-06 SHEET: SPM-2 USER: zt...



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CUTSHEET - SEE SHEET TR-2



Feet
 Width : 9.80
 Track : 6.80
 Lock to Lock The : 6.8
 Steering Angle : 31.8



Feet
 Width : 7.30
 Track : 6.40
 Lock to Lock The : 6.3
 Steering Angle : 33.8



0 30 60
 FEET
 SCALE: 1"=30'

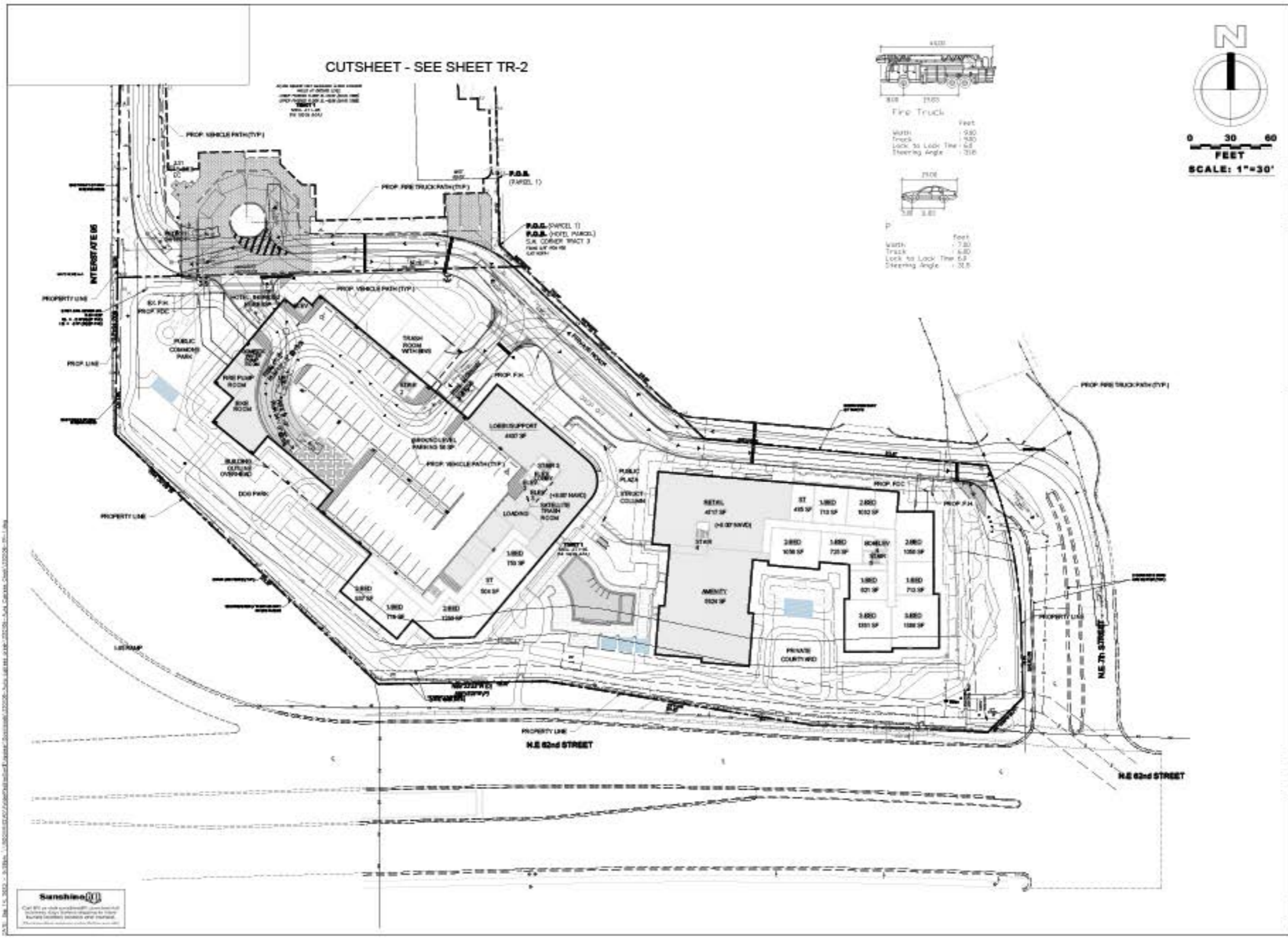


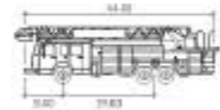
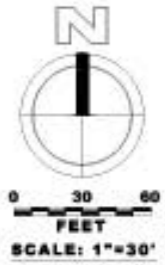
AURA CYPRESS CREEK
TRUCK ROUTING PLAN

DATE: 06/14
 DESIGNED BY: T.T.
 DRAWN BY: S.S.
 CHECKED BY: J.H.

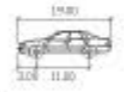


PROJECT: 2201-06
 SHEET: TR-1

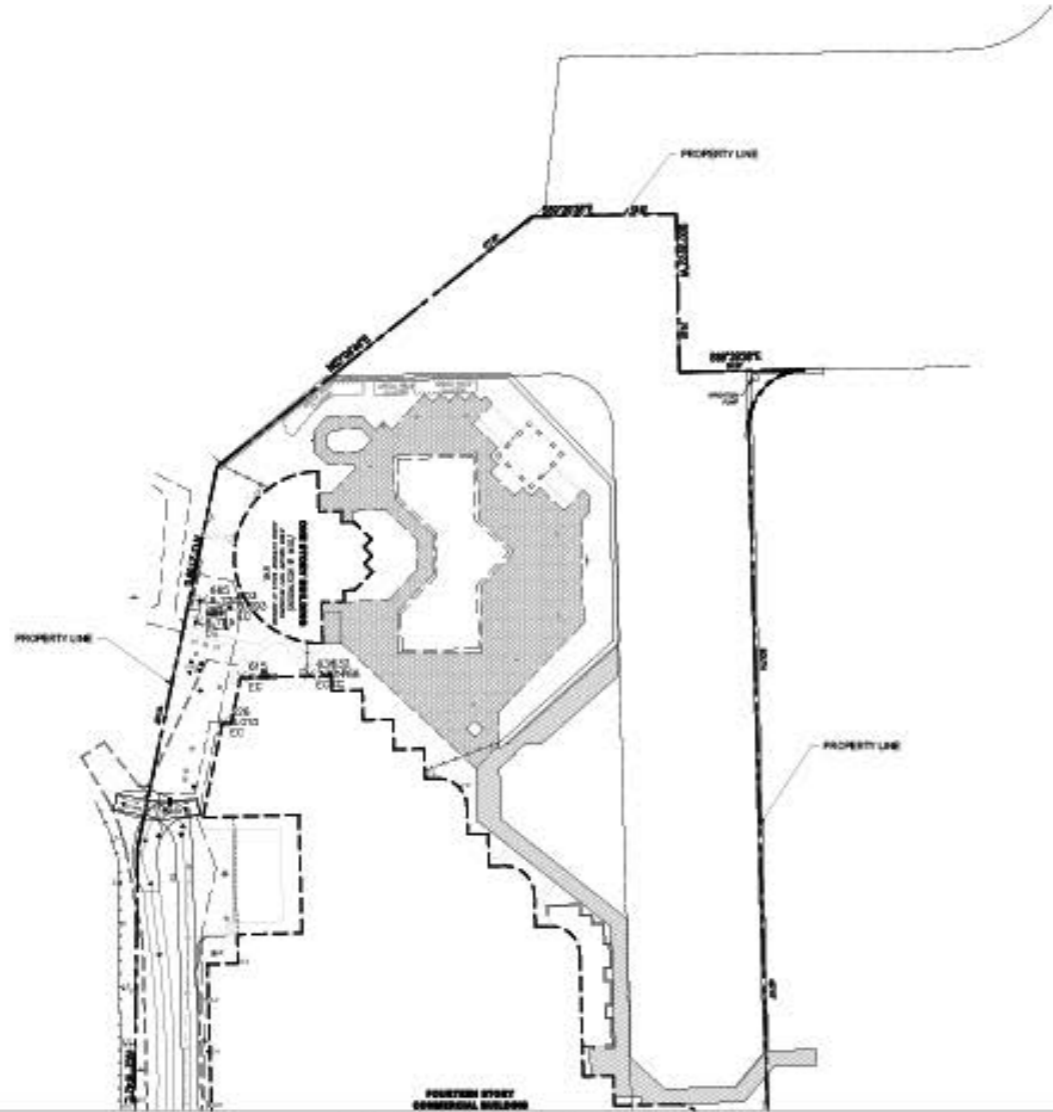




Fire Truck
 Width : 14.00
 Track : 19.00
 Lock to Lock Trk : 5.00
 Steering Angle : 35.9



Car
 Width : 11.00
 Track : 11.00
 Lock to Lock Trk : 5.00
 Steering Angle : 31.0



CUTSHEET - SEE SHEET TR-1



AURA CYPRESS CREEK
TRUCK ROUTING PLAN

DATE: 06/14/2014
 DESIGNED BY: Z.T.
 DRAWN BY: S.S.
 CHECKED BY: J.H.



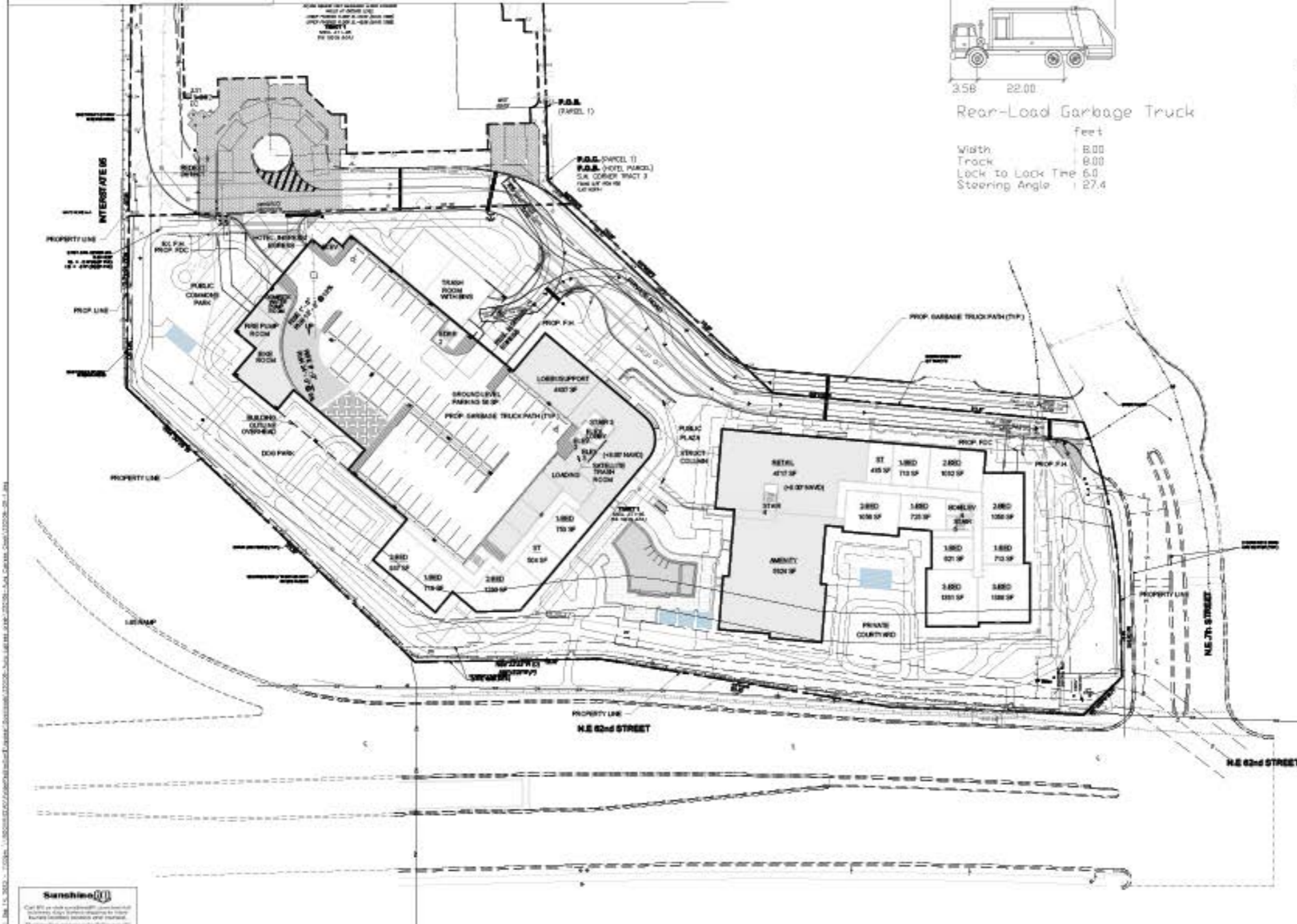
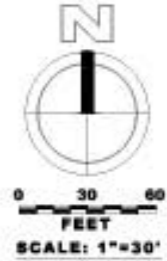
PROJECT: 2201-06
 SHEET: TR-2

CUTSHEET - SEE SHEET TR-4



Rear-Load Garbage Truck

feet	
Width	8.00
Track	8.00
Lock to Lock Time	6.0
Steering Angle	27.4



HSO GROUP, LLC
 Engineers, Planners, Surveyors
 11111 Yards Road, Suite 100
 Houston, Texas 77037-1400
 www.hso.com

AURA CYPRESS CREEK
GARBAGE TRUCK ROUTING PLAN

DATE	8/24
DESIGNED BY	Z.T.
DRAWN BY	S.E.
CHECKED BY	J.H.



PROJECT	2201-06
SHEET	TR-3



0 30 60
FEET
SCALE: 1"=30'

Onsite (North) (Existing)

EXIST. WESTIN BLDG.	1.0
EXIST. WESTIN BLDG.	0.7
EXIST. WESTIN BLDG.	0.3
EXIST. WESTIN BLDG.	0.2
EXIST. WESTIN BLDG.	0.1
EXIST. WESTIN BLDG.	0.1
EXIST. WESTIN BLDG.	0.1
EXIST. WESTIN BLDG.	0.1
EXIST. WESTIN BLDG.	0.1
EXIST. WESTIN BLDG.	0.1

Onsite Roadway

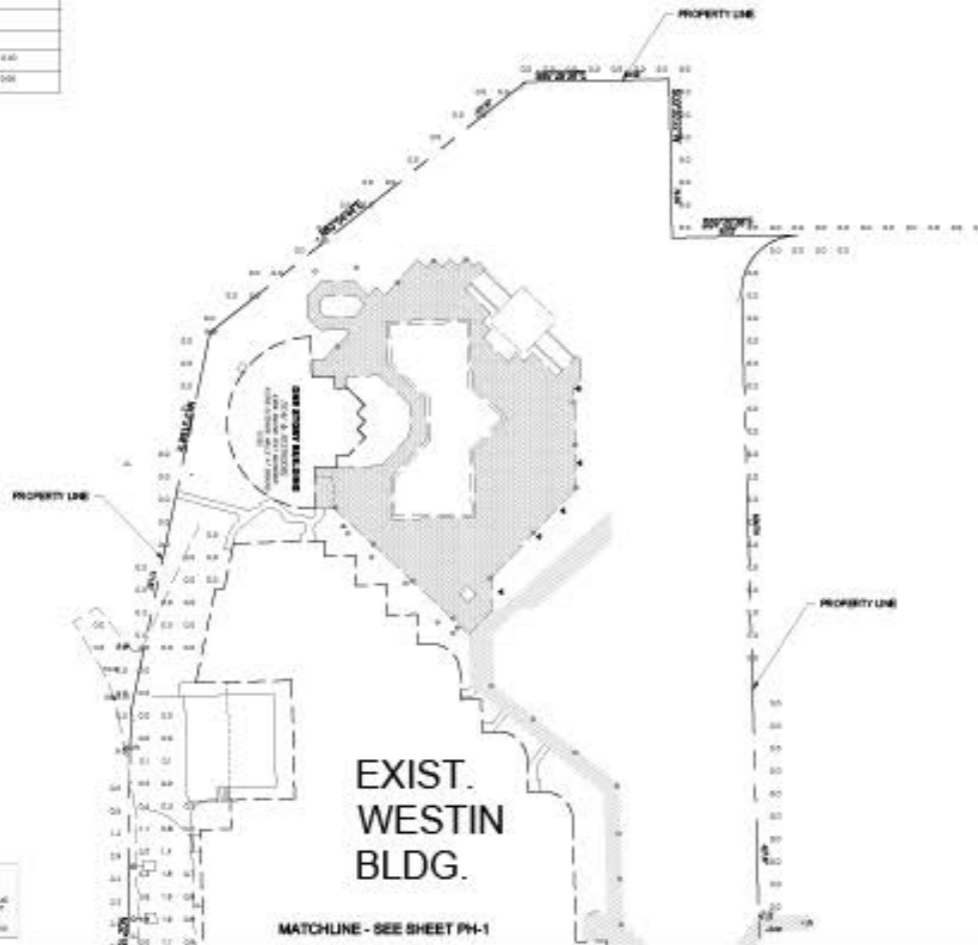
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EXIST. WESTIN BLDG.	0.7
EXIST. WESTIN BLDG.	0.3
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EXIST. WESTIN BLDG.	0.1
EXIST. WESTIN BLDG.	0.1
EXIST. WESTIN BLDG.	0.1
EXIST. WESTIN BLDG.	0.1
EXIST. WESTIN BLDG.	0.1
EXIST. WESTIN BLDG.	0.1

LUMINAIRE SCHEDULE

CLASS	SYMBOL	DESCRIPTION	WATT	HGT	AVERTY	RE-SET	TOTAL	NO. POLE
01	□	TOP END OF EXIST. STREET LIGHTING - 12' OR 20' HGT. POLE HEIGHTS.	100W	12'	12	12	1200	11-0-10-1-42
02	■	NEW END OF EXIST. STREET LIGHTING - 12' OR 20' HGT. POLE HEIGHTS.	100W	12'	12	12	1200	11-0-10-1-42

Offsite

EXIST. WESTIN BLDG.	0.7
EXIST. WESTIN BLDG.	0.3
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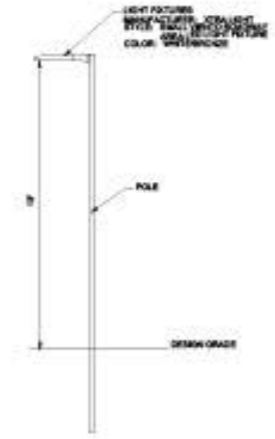


Streetwork

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
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Streetwork

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
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- GENERAL NOTES**
1. THE ABOVE LIGHT POLE HEIGHT IS FOR REFERENCE PURPOSES ONLY. SEE THE MANUFACTURER'S SPECIFICATIONS FOR THE ACTUAL CONSTRUCTION AND INSTALLATION INFORMATION.
 2. THE EXACT LOCATIONS OF THE NEW LIGHT POLES ARE TO BE FIELD ADJUSTED AS REQUIRED, IN ORDER TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES, CONCRETE CURBS, SIGNAGE, ETC. THE LIGHT POLES MUST BE MINIMUM 2.0 FEET FROM THE EDGE OF PAVEMENT.
 3. ALL NEW LIGHT POLES ARE TO BE MANUFACTURED AND INSTALLED TO WITHSTAND CURRENT CODE WIND LOADS PER THE FLORIDA BUILDING CODE.

NOTE: EXISTING LIGHT FIXTURE SPECIFICATIONS AND BS FILE NOT CURRENTLY KNOWN. APPROXIMATE ESTIMATE USED FOR PHOTOMETRIC CALCULATIONS.



AURA CYPRESS CREEK
PHOTOMETRIC PLAN

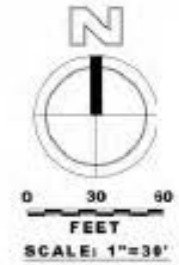
DATE	08/24
DESIGNED BY	Z.T.
DRAWN BY	S.E.
CHECKED BY	J.H.
PROJECT	2201-08
SHEET	PH-2



MATCHLINE - SEE SHEET PDP-2

NOTE: ACCESSIBLE PARKING, ACCESSIBLE PATH FROM PARKING, AND ACCESSIBLE PATH FROM ADJACENT ROW WILL BE IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY CODE

Area	SF	Acres	%
Pervious	98798	2.27	34.3
Impervious	189291	4.35	65.7

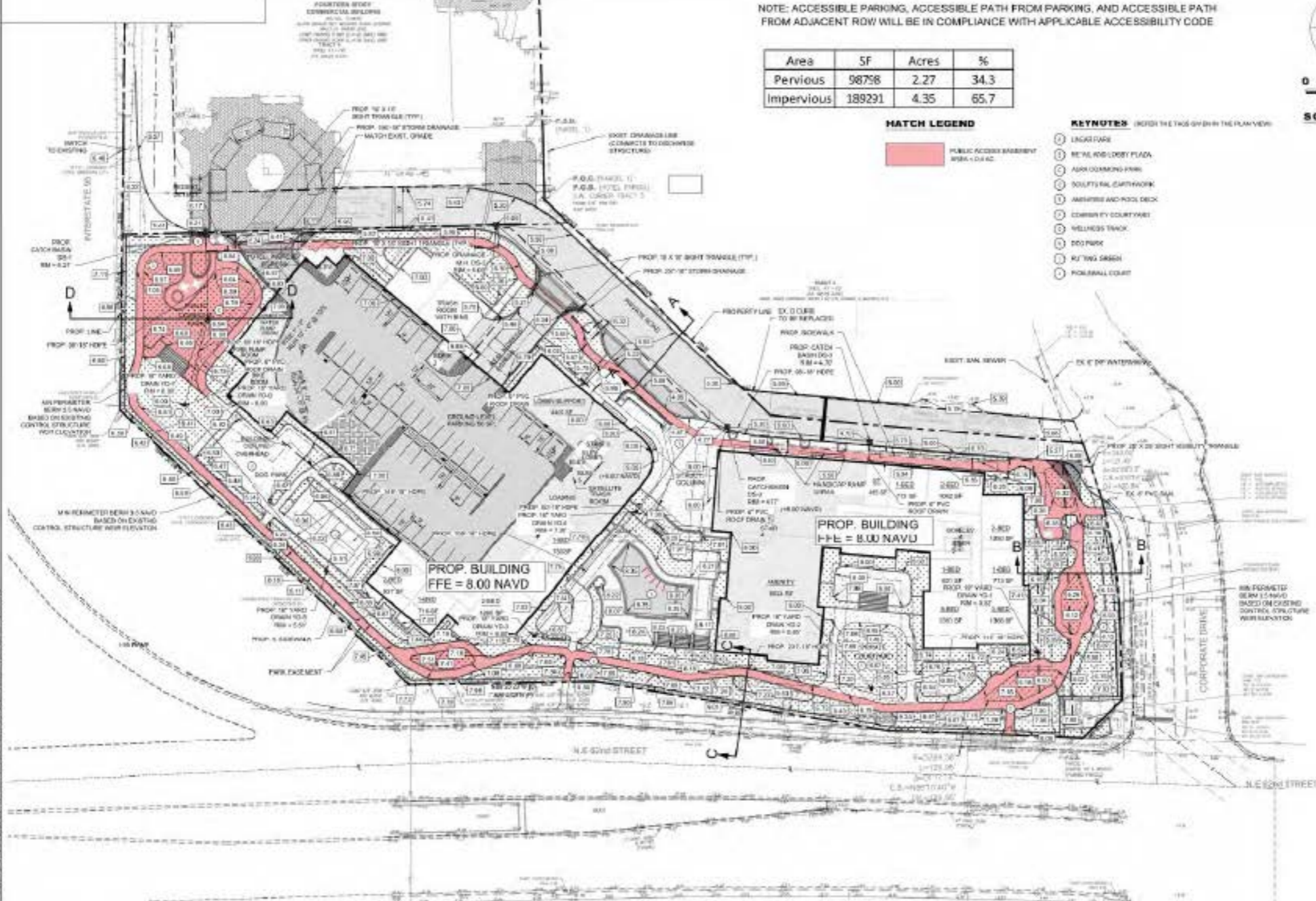


MATCH LEGEND



KEYNOTES (REFER TO THE TAGS SHOWN IN THE PLAN VIEW)

- 1 LANDSCAPE
- 2 REPAIR/REPLACE FLUDA
- 3 ASPH/CONCRETE FINISH
- 4 SOUP/ITALIEN EARTHWORK
- 5 AMBITIOUS AND POOL DECK
- 6 COMMON CY COURT/YARD
- 7 WELLNESS TRACK
- 8 DOG PARK
- 9 PUTTING GREEN
- 0 FOOTBALL COURT



AURA CYPRESS CREEK
PAVING AND DRAINAGE PLAN

DATE: 05/19
 DESIGNED BY: J.T.
 DRAWN BY: S.E.
 CHECKED BY: J.H.

PROJECT: 2301-00
 SHEET: POP-1

