

## PROJECT INFORMATION

Mount Hermon Apartments is a 110-unit senior housing 7-story high-rise development project that will utilize 9% LIHTC funding in RFA 2020-202. The unit mix will consist of 77 one bedrooms and 33 two bedrooms. The site is generally located at NW 4th Street and NW 8th Avenue in Fort Lauderdale, FL, 33311. The site is a combination of 2 parcels 10-25-21-0000-00100-0000 & 03-25-21-0040-0100-0070, folio number 50-42-10-12-0500.

The proposed development is ideally located for senior affordable housing with access to major grocery stores to include Save a lot, Fresh Market, multiple pharmacies, local eateries, other neighborhood shopping, medical options at all levels, major highways all located less than 1-mile from the site.

The development will be 100% affordable with income restrictions, 10% of the units will be set-aside for residents with extremely low income (ELI) at or below 25% AMI. The remaining units will be set-aside for residents at or below 60% of the Area Median Income.

Energy efficiency is essential to the well-being and long-term success of our residents and given the high cost of utilities, we take great pride in building communities that integrate sustainable design and construction techniques. Mount Hermon Apartments will provide unit and site features that exceed the industry standards for a development of its class. See below list of features and amenities list that will offered on site.

### Community Amenities:

- Safe and secure building with an on-site management and maintenance offices.
- Resident community center
- Multi-purpose rooms will be available to residents on a daily basis
- Library
- Computer room

### In-Unit Amenities:

- Washers/Dryers hook-ups in every unit
- Open floor plans
- Energy-Star ceiling fans in all bedrooms
- Full-size Energy-Star appliances (dishwasher, microwave, range, refrigerator)

Other features will include windows with high performance low-e glass, native species landscaping, high Seasonal Energy Efficiency Ratio (SEER 16 or better) HVAC systems, low flow plumbing fixtures and eco-friendly materials such as Green Label flooring, formaldehyde free cabinetry and low VOC paint. Mount Hermon will obtain a National Green Building Standard Certification, highlighting the importance of creating an environmentally friendly community for our residents and the neighbors environment through the utilization of sustainable construction practices.

HTG Management, an affiliate company of the applicant, comprised of a team of expert in their fields will also offer the below FHFC resident programs.

FHFC Resident Programs:

- ☒ 24 Hour Support to Assist Residents In Handling Urgent Issues
- ☒ Computer Training
- ☒ Daily Activities
- ☒ Resident Assurance Check-In Program

Mount Hermon Apartments is the perfect development for the site as it brings much needed affordable housing to an area where seniors can live peacefully while having access to major roadways and other community services.



## DEVELOPMENT AND UNIT AMENITIES

Mount Hermon Apartments will provide seniors with a safe, clean and comfortable living environment and create a living atmosphere where they can interact with their neighbors safely and leisurely. The community will be enhanced with best-in-class amenities for residents to enjoy their individual lifestyles to the fullest. Please refer to attached site plan for schematic design.

Mount Hermon Apartments will provide unit features that go above and beyond what is customarily seen in the industry, such as ceiling fans in all bedrooms, walk-in and roll-in showers, and walk in closets in main bedrooms. This development will also take into account the importance of environmentally sustainable communities for residents and our neighbors by maximizing energy efficiency and indoor air quality.

As per the FHFC 2020-202 RFA, the following will be provided in Mount Hermon Apartments:

**General Features (listed below are some, not all, of the features that are required in the RFA; nevertheless, all features in the 2020-202 RFA will be committed to):**

- Termite prevention;
- Pest control;
- Window coverings for each window and glass door inside each unit;
- Cable or satellite TV hook-up in each unit;
- Washer and dryer hook ups in each of the Development's units and equipment for rent;
- Full-size range and oven;
- Energy Star qualified microwave and dishwasher.

### **Green Building Features:**

Mount Hermon Apartments will provide all required Green Building features listed in the 2020-202 RFA, which include low VOC paint, low-flow water fixtures, Energy Star qualified appliances, and air conditioner and heater specifications that match the efficiency required in the RFA.

In addition, the development will achieve one of the following Green Building Certification programs: Leadership in Energy and Environmental Design (LEED); Florida Green Building Coalition (FGBC); or ICC 700 National Green Building Standard (NGBS). Selection of the program will be accomplished during the credit underwriting process.

### **ADA Accessibility:**

All units will provide the accessibility features indicated in the RFA, which include low door thresholds, lever style handles for doors, faucet, and cabinets. Reinforced walls to allow for installation of grab bars that meet ADA Standards will also be provided in all units. At least 20% of the units will have roll-in showers and all of the tubs/showers will have horizontal grab bars for added safety.






## DEVELOPMENT AND UNIT AMENITIES



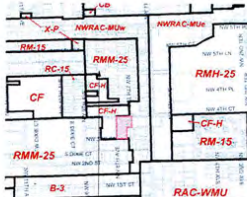
Below are samples of some of HTG's properties and the interior design and amenities that we offer as our standard. 1. VILLAGE PLACE, FORT LAUDERDALE, 2. COURTSIDE, MIAMI, 3. VALENCIA GROVE, EUSTIS





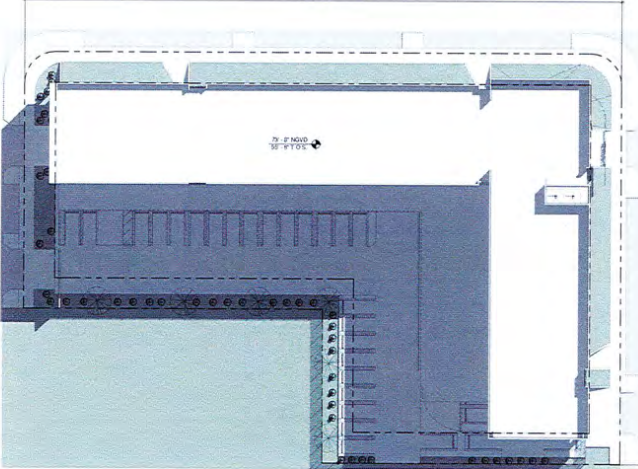


<b>PROJECT AND OWNER</b>	
<b>MT. HERMON</b>	
1000 4TH STREET & PARK BLVD (100) LARCHMONT, N.Y. 10531	
HFC	
(22) Alexander Avenue, Mt. Hermon Carmel, Calif. 93921	
<b>ARCHITECT</b>	
<b>R E P O R T</b>	
TITLE: NEW RESIDENCE, SEE SET (SHEET) 1 OF 24 (2) 1, 2, 3, 4 (SHEET) 1 OF 24 (2) 1, 2, 3, 4	
<b>CONSULTING ENGINEERS</b>	
MEP:	
STRUCTURAL ENGINEER:	
CIVIL ENGINEER:	
LANDSCAPE ARCHITECT:	
<b>KEY PLAN:</b>	
<b>SCHEMATIC DESIGN</b>	
PERMIT APPLICATION DATE: _____	
SHEET ISSUE DATE: _____	
PROJECT NO.: 1194	
DRAWN BY: 1194	APPROVED BY: _____
ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE THE ORIGINAL WORK OF THE ARCHITECTS AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.	
SEAL: 	
SIGNATURE: _____	
I, TODD MARSHALL, R.A. LIC.# A6001790,	
SHEET TITLE:	
<b>NOTES, SYMBOLS &amp; ABBREVIATIONS</b>	
SCALE: 1/4" = 1'-0"	
SHEET NO:	


 <p><b>SUBJECT LOCATION</b> NW 4TH STREET &amp; NW 8TH AVE FORT LAUDERDALE   FL 33311</p>	 <p><b>SUBJECT LOCATION</b> NW 4TH STREET &amp; NW 8TH AVE FORT LAUDERDALE   FL 33311</p>	 <p><b>SUBJECT LOCATION</b> NW 4TH STREET &amp; NW 8TH AVE FORT LAUDERDALE   FL 33311</p>
<b>1 AERIAL VIEW</b> NTS	<b>2 LOCATION MAP</b> NTS	<b>3 ZONING MAP</b> NTS

29'-0"

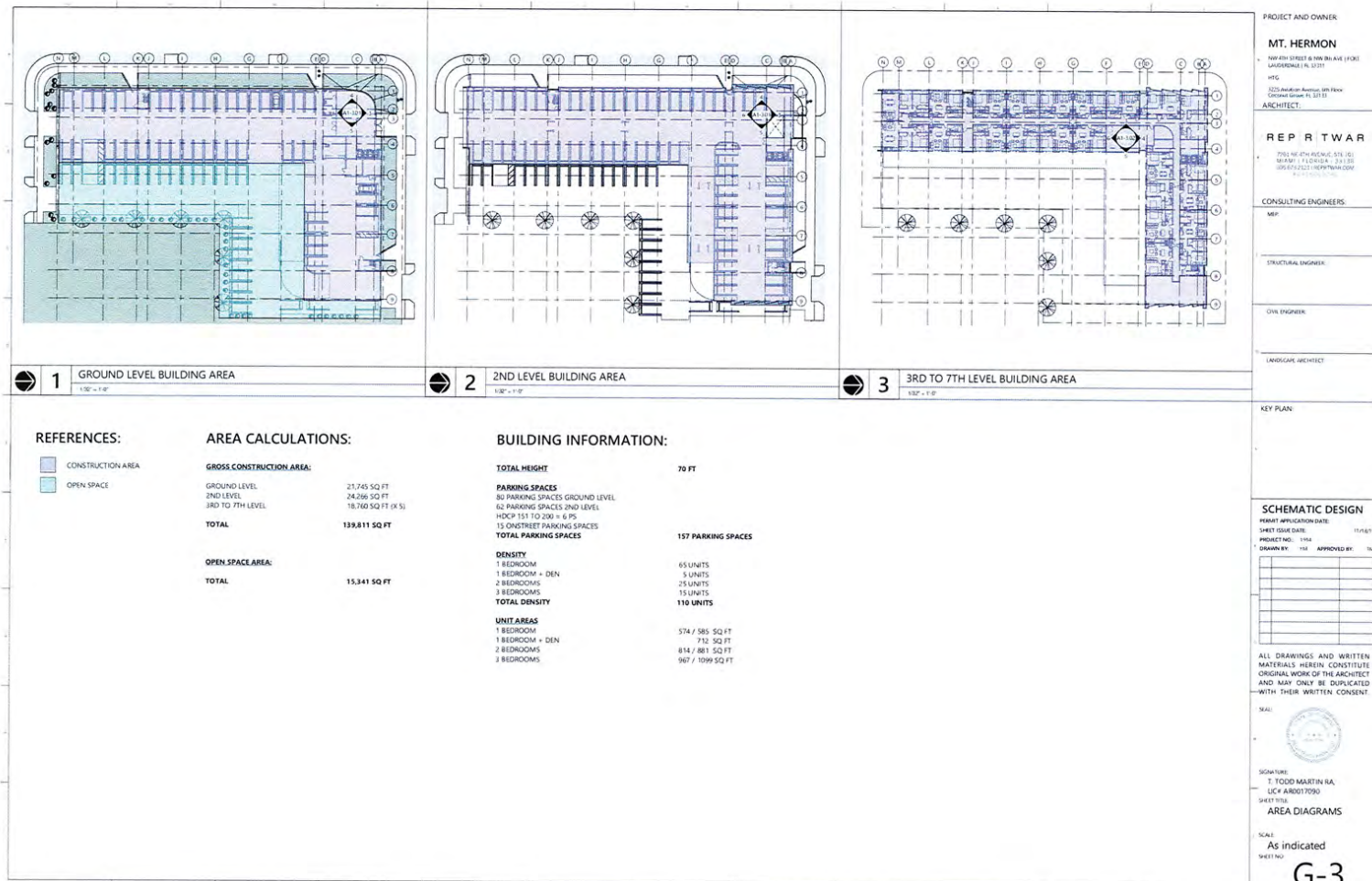


79'-0" NOVD  
30'-0" YES

 <b>4 Site Plan</b>
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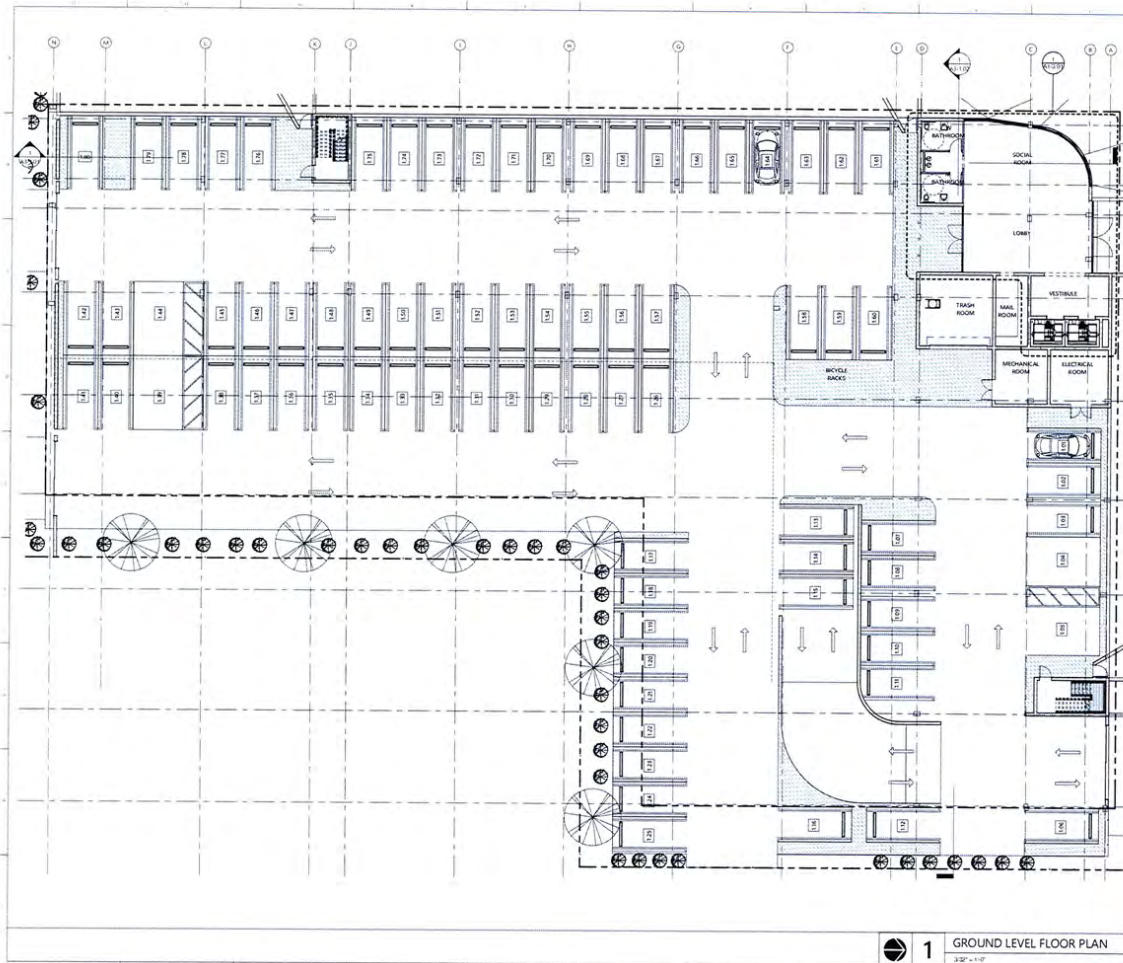
PROJECT AND OWNER	
<b>MT. HERMON</b>	
400 WEST STREET & VAN NO AVENUE (JORD) LAURELHURST, CA 92031	
400 1525 Anderson Avenue, 4th Floor Glendale, CA 91201	
ARCHITECT	
<b>R E P R T W A R</b>	
725 N. HAY STREET, SUITE 200 MILPITAS, CA 95035 (415) 951-1234 FAX (415) 951-1235 WWW.REPRTWAR.COM	
CONSULTING ENGINEERS	
MEP	
STRUCTURAL ENGINEER	
CIVIL ENGINEER	
LANDSCAPE ARCHITECT	
KEY PLAN	
SCHEMATIC DESIGN	
SHEET APPLICATION DATE: _____	
SHEET ISSUE DATE: _____	
PROJECTING: _____ APPROVED BY: _____	
DISMISSED: _____	
ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED WITH THEIR WRITTEN CONSENT	
SEAL: 	
SIGNATURE: T. TODD MARTIN, RA L.C.# A00017090	
ZONING, SITE PLAN & LOCATION DIAGRAMS	
SEAL: _____	
As indicated	
SHEET: <b>G-2</b>	











### WALL LEGEND

- WALL TYPE 1  
TYPICAL NON-LOAD BEARING 8\"/>

### CONSTRUCTION NOTES

- REFER TO DRAWINGS G-1 FOR ADDITIONAL NOTES AND SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL VISIT THE VENUE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND THE GENERAL SCOPE OF WORK, AND EXISTING CONDITIONS ON-SITE SHALL NOT BE A BASIS FOR ANY ASSUMPTIONS, TIME AND/OR EXPENSE TO THIS CONTRACT.
- ANY DISCREPANCY IN THE CONTRACT DOCUMENTS MUST BE BROUGHT TO THE ATTENTION OF ARCHITECT. FAILURE TO DO SO MAY RESULT IN REDUCTION OF PAYMENT THAT DOES NOT ADHERE TO THE INTENT OF THE CONTRACT DOCUMENTS.
- USING SCALE: SEE DRAWING. USING FIGURED DIMENSIONS. ONLY LARGE SCALE DETAILS GOVERN OVER SMALL SCALE. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES ON THE DRAWINGS.
- GC SHALL COORDINATE ARCHITECTURAL DRAWINGS WITH MECHANICAL, ELECTRICAL, PLUMBING AND SPECIALTIES DRAWINGS.
- ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE BUILDING DEPARTMENT'S REQUIREMENTS AND SHALL NOT BE SUBJECT TO ANY DISCREPANCIES.
- ALL EXISTING CONDITIONS SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES IN THE LOCATION OF WORK. CONTRACTOR AND ALL OTHER CLERKS SHALL BE CHIEFED WITH ARCHITECT FROM THE FURNISHING OF ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING WORK AT HIS OWN EXPENSE.
- ALL SUB CONTRACTORS FOR CONSTRUCTION OF THIS BUILDING SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE BUILDING. WITHIN THE BUILDING DEPARTMENT'S OFFICE AND CONFORM ACCORDING TO THE BUILDING DEPARTMENT'S OFFICE. SHALL BE PROVIDED FOR THE BUILDING DEPARTMENT WITH ALL APPROVED MATERIAL. SHALL BE PROVIDED WITHIN THE BUILDING DEPARTMENT'S OFFICE.
- CONTRACTOR SHALL FURNISH AND INSTALL NEW ACCESS DOORS WHEREVER REQUIRED FOR FURNISHING ELECTRICAL, MECHANICAL, ETC. SYSTEMS FOR WORK ACCESS AND MAINTENANCE.
- NEW WALLS SHALL BE CONSTRUCTED TO THE DESIGN AND OF WALL THICKNESS. UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL BE 3000 PSI. THE 1\"/>

### TERMITE CONTROL

THE BUILDING SHALL RECEIVE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBSTANTIAL TERMITE TREATMENT SHALL BE IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE LOCAL DEPARTMENT OF AGRICULTURE AND CONSUMERS SERVICES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY.

PROJECT AND OWNER

**MT. HERMON**

1000 4TH STREET N. BOX 100, 1001  
LAUREL, MD 21111

1000 4TH STREET N. BOX 100, 1001  
LAUREL, MD 21111

ARCHITECT:

**REP R T W A R**

1000 4TH STREET N. BOX 100, 1001  
LAUREL, MD 21111

CONSULTING ENGINEERS:

MEP:

STRUCTURAL ENGINEER:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

KEY PLAN:

**SCHEMATIC DESIGN**

PROJECT APPLICATION DATE:

SHEET DATE:

PROJECT NO: 1904

DESIGNED BY: APPROVED BY:

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.

SCALE:

1\"/>

1\"/>

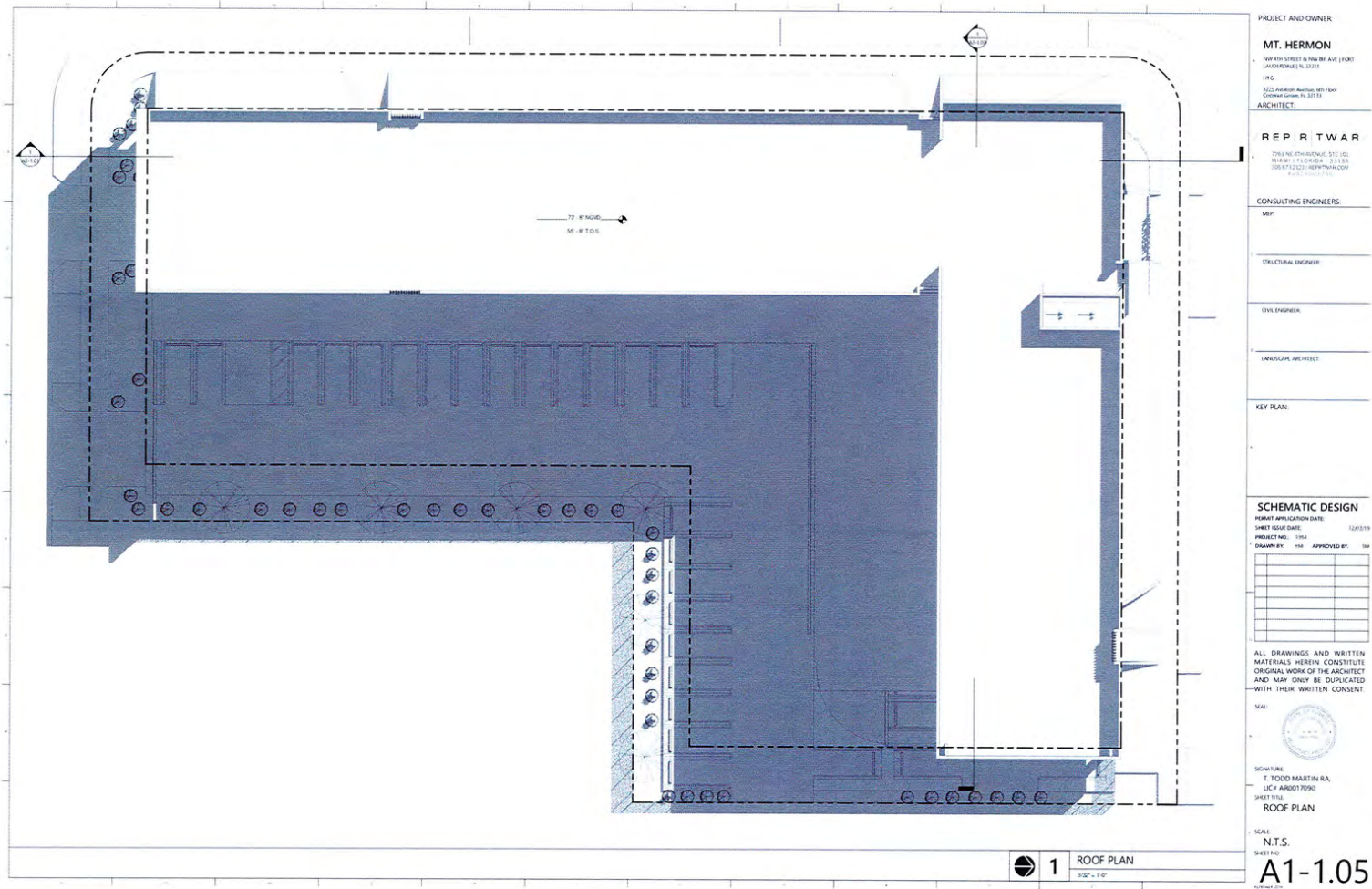




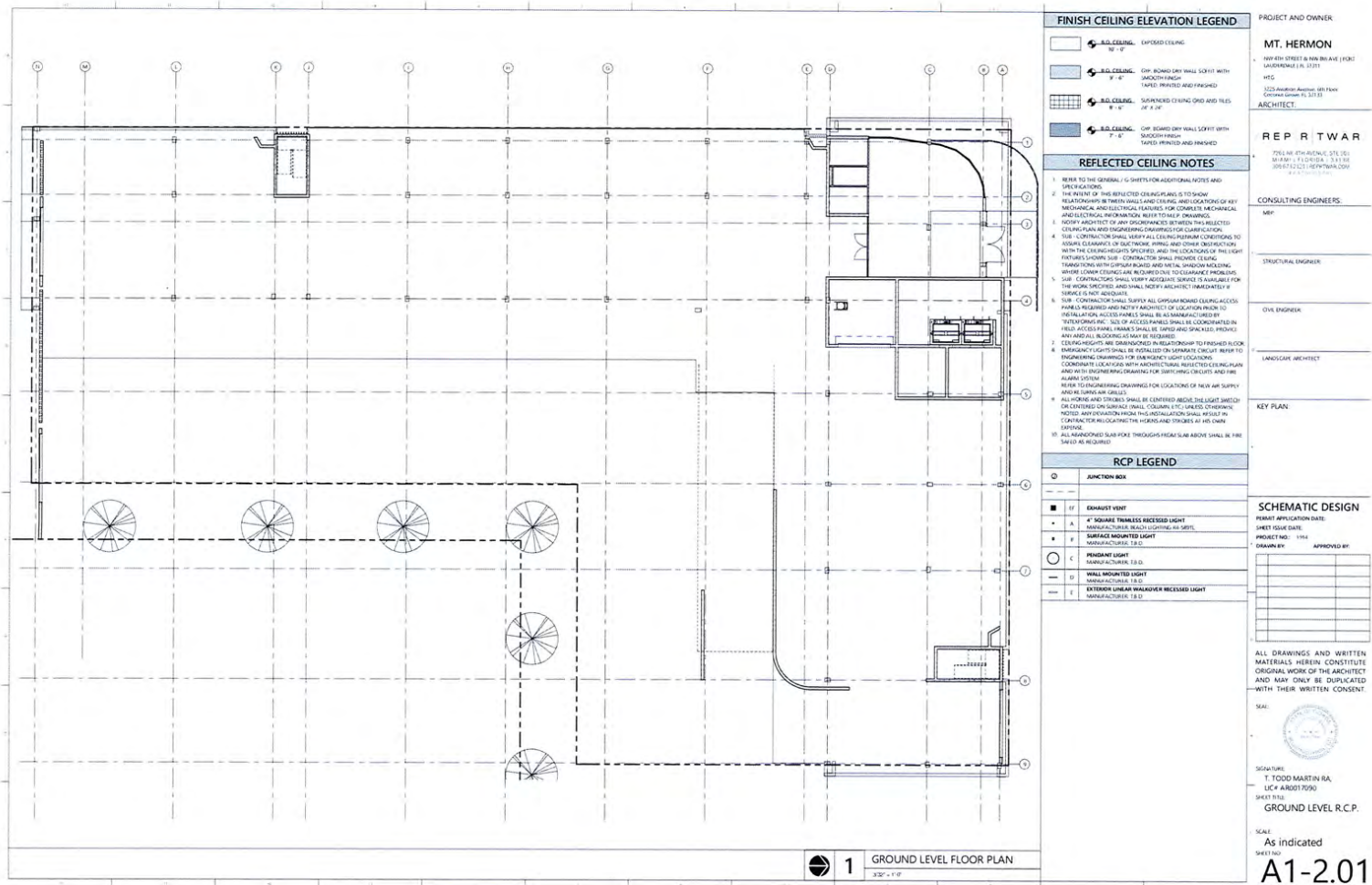


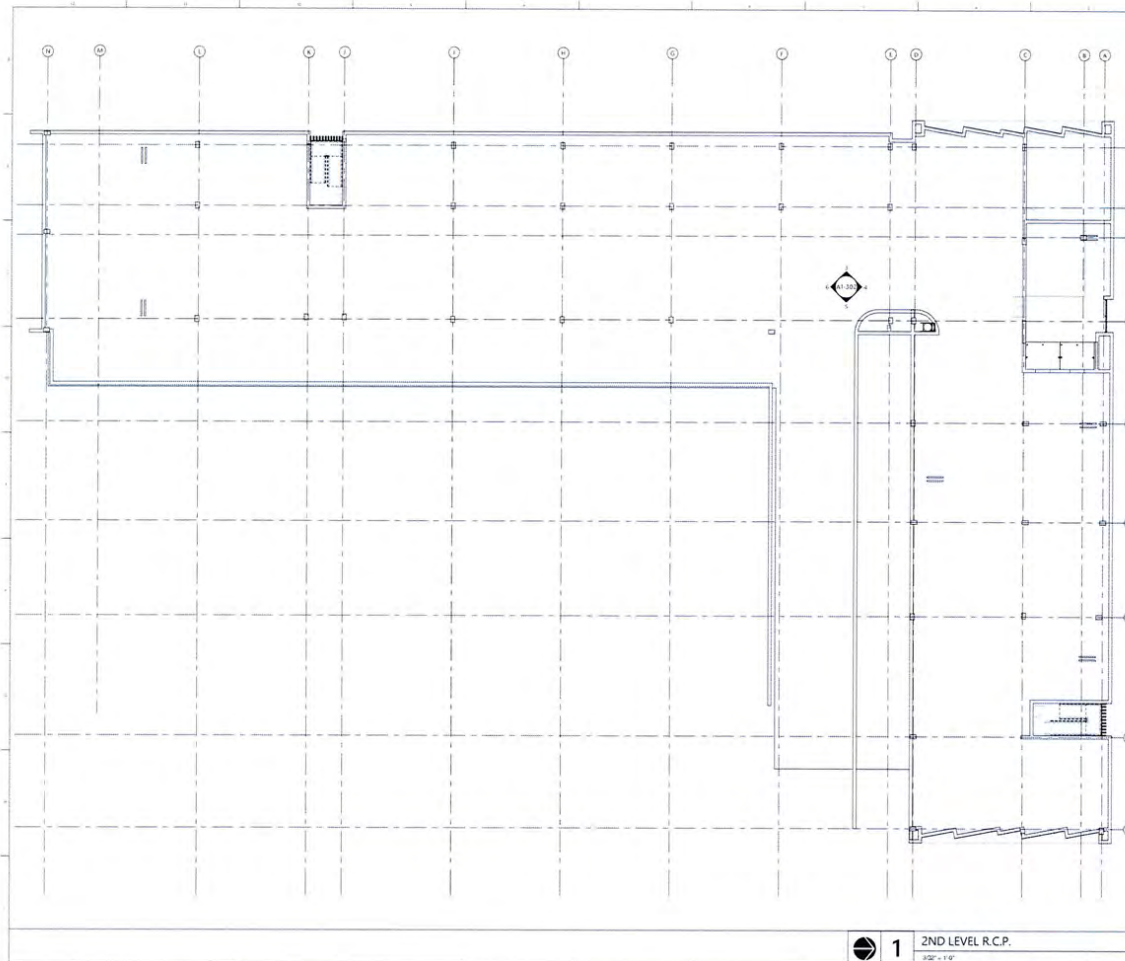












# FINISH CEILING ELEVATION LEGEND

- S.G. CEILING, EXPOSED CEILING, 12' x 12'
- S.G. CEILING, DRY BOARD DRY WALL SOFFIT WITH SUCTION FINISH, 12' x 12'
- S.G. CEILING, DRY BOARD DRY WALL SOFFIT WITH SUCTION FINISH, 12' x 12'
- S.G. CEILING, DRY BOARD DRY WALL SOFFIT WITH SUCTION FINISH, 12' x 12'

# REFLECTED CEILING NOTES

- REFER TO THE GENERAL NOTES SHEETS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
- THE INTENT OF THE REFLECTED CEILING PLAN IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING AND LOCATIONS OF KEY MECHANICAL AND ELECTRICAL FEATURES FOR COMPLETION OF MECHANICAL AND ELECTRICAL INFORMATION REFER TO ME.P. DRAWINGS.
- VERIFY ANY DISCREPANCIES BETWEEN THE REFLECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
- THE CONTRACTOR SHALL VERIFY ALL CEILING PLANS CONFORM TO ALLURE, CLEARANCE OF SWAYING, PIPING AND OTHER OBSTRUCTIONS WITH THE CEILING HEIGHTS SPECIFIED AND THE LOCATION OF THE LIGHT FIXTURES SHOWN. SUB-CONTRACTOR SHALL PROVIDE CEILING TRANSITION WITH CEILING BOARD AND METAL FINISHING MATERIALS WHERE LOWER CEILING ARE REQUIRED DUE TO CLEARANCE PROBLEMS.
- SUB-CONTRACTOR SHALL VERIFY ADEQUATE SPACE IS AVAILABLE FOR THE WORK SPECIFIED AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SPACES ARE INADEQUATE.
- SUB-CONTRACTOR SHALL SUPPLY ALL GYPSUM BOARD CEILING ACCESS PANELS REQUIRED AND MECHANICAL ACCESS PANELS TO BE MANUFACTURED BY "INSULBRIDGE". SIZE OF ACCESS PANELS SHALL BE COORDINATED WITH ACCESS PANEL FRAME SHALL BE TIGHT AND SPACED. PROVIDE ANY AND ALL FLOORING AS MAY BE REQUIRED.
- CEILING HEIGHTS ARE SPECIFIED IN RELATIONSHIP TO FINISHED FLOOR. EMERGENCY LIGHTS SHALL BE INSTALLED ON SEPARATE CIRCUIT REFER TO ENGINEERING DRAWINGS FOR EMERGENCY LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN AND WITH ENGINEERING DRAWINGS FOR SWAYING CIRCUITS AND FIRE ALARM SYSTEM.
- REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURN AIR GRILLS.
- ALL HOLES AND DRILLS SHALL BE COVERED ABOVE THE LIGHT SOURCE OR COVERED ON SURFACE WALL, COLUMN, ETC. UNLESS OTHERWISE NOTED AND SHOWN ON THE REFLECTED CEILING PLAN. THE CONTRACTOR SHALL LOCATE THE HOLES AND DRILLS AT HIS OWN EXPENSE.
- ALL ABANDONED SLAB PORE THROUGH FROM SLAB ABOVE SHALL BE FIRE RATED AS REQUIRED.

# RCP LEGEND

- JUNCTION BOX
- EXHAUST VENT
- 4' SQUARE RECESSED LIGHT
- SURFACE MOUNTED LIGHT
- PENDANT LIGHT
- WALL MOUNTED LIGHT
- EXTRA LARGE WALKOVER RECESSED LIGHT

# PROJECT AND OWNER

**MT. HERMON**  
 1000 10TH STREET & 10TH AVE. (1000)  
 (1000) 10TH STREET & 10TH AVE. (1000)  
 1000 10TH STREET & 10TH AVE. (1000)  
 1000 10TH STREET & 10TH AVE. (1000)  
 1000 10TH STREET & 10TH AVE. (1000)

# REPRITWAR

1000 10TH STREET & 10TH AVE. (1000)  
 1000 10TH STREET & 10TH AVE. (1000)  
 1000 10TH STREET & 10TH AVE. (1000)  
 1000 10TH STREET & 10TH AVE. (1000)  
 1000 10TH STREET & 10TH AVE. (1000)

# CONSULTING ENGINEERS

MECHANICAL ENGINEER  
 ELECTRICAL ENGINEER  
 PLUMBING ENGINEER  
 CIVIL ENGINEER  
 LANDSCAPE ARCHITECT

# KEY PLAN

1000 10TH STREET & 10TH AVE. (1000)  
 1000 10TH STREET & 10TH AVE. (1000)  
 1000 10TH STREET & 10TH AVE. (1000)  
 1000 10TH STREET & 10TH AVE. (1000)  
 1000 10TH STREET & 10TH AVE. (1000)

# SCHEMATIC DESIGN

PROJECT APPLICATION DATE: 12/20/19  
 PROJECT NO.: 1916  
 DRAWN BY: HSA  
 APPROVED BY: DM

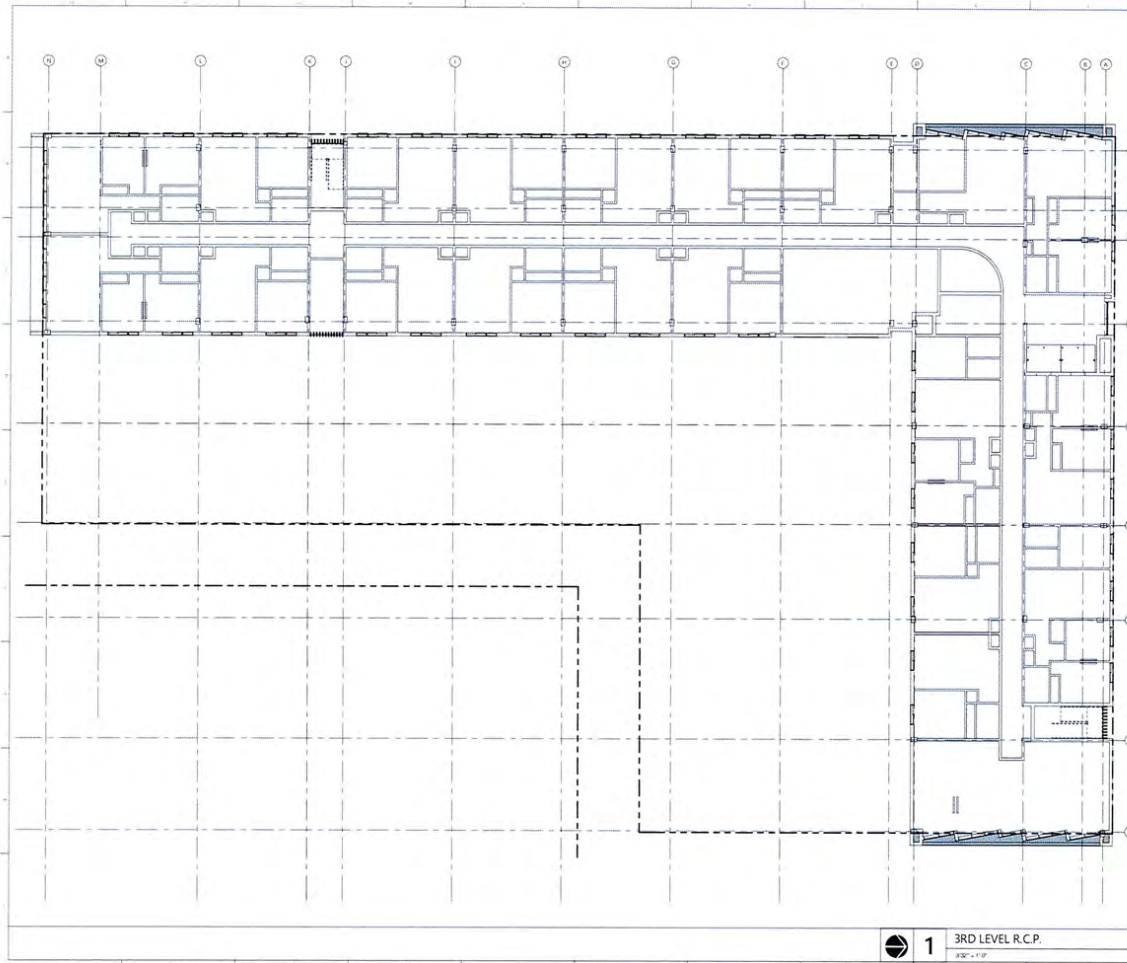
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SIGNATURE:  
 T. TODD MARTIN R.A.  
 LIC# 100017090  
 SHEET TITLE:  
 2ND LEVEL R.C.P.

SCALE:  
 N.T.S.  
 SHEET NO.:  
**A1-2.02**





# FINISH CEILING ELEVATION LEGEND

- REFLECTED CEILING: EXPOSED CEILING 12\"/>

# REFLECTED CEILING NOTES

1. REFER TO THE GENERAL / G SHEETS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
2. THE PATTERN OF THE REFLECTED CEILING SHALL BE TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING, AND LOCATIONS OF KEY MECHANICAL AND ELECTRICAL FEATURES FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION, REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
3. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE REFLECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLAMPING, ETC.
4. SUB: CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE REFLECTED CEILING PLAN WITH THE CONSULTING ENGINEER AND OTHER CONTRACTORS TO ASSURE CLEARANCE OF DUCTWORK, PIPING, AND OTHER EXTRACTS WITH THE CEILING HEIGHTS SPECIFIED, AND THE LOCATION OF THE LIGHT FIXTURES SHOWN SUB: CONTRACTOR SHALL PROVIDE CEILING FINISHES WITH THE CONSULTING ENGINEER AND OTHER CONTRACTORS, WHERE LOWER CLEARANCES ARE REQUIRED DUE TO CLEARANCE PROBLEMS.
5. SUB: CONTRACTOR SHALL VERIFY ADEQUATE SUPPORT AVAILABLE FOR THE WORK SPECIFIED, AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF SUPPORT IS NOT ADEQUATE.
6. SUB: CONTRACTOR SHALL SUPPLY ALL CEILING BOARD CEILING ACCESS PANELS INCLUDING AND NOTIFY ARCHITECT OF LOCATION PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE AS MANUFACTURED BY THE MANUFACTURER, AND ACCESS PANELS SHALL BE COORDINATED WITH ANY AND ALL BUILDING CODES AS MAY BE REQUIRED.
7. CEILING HEIGHTS ARE DIMENSIONED IN RELATIONSHIP TO FINISHED FLOOR. EMERGENCY LIGHTS SHALL BE INSTALLED ON SEPARATE CIRCUIT. REFER TO ENGINEERING DRAWINGS FOR EMERGENCY LIGHT LOCATIONS. COORDINATE LOCATIONS WITH ARCHITECTURAL ARCHITECTS CEILING PLAN AND WITH ENGINEERING DRAWINGS FOR SCHEDULING CREATS AND FIRE ALARMS ETC.
8. REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURN AIR GRILLES.
9. ALL HUNG AND TRIMMED SHALL BE CENTERED ABOVE THE LIGHT SWITCH OR CENTERED ON SPACED WALL, COLUMN, ETC. UNLESS OTHERWISE NOTED AND DEVIATION FROM THIS INSTALLATION SHALL RESULT IN CONTRACTOR REWORKING THE TRIM AND TRIMMING AT HIS OWN EXPENSE.
10. ALL REWORKED SQUARE POKER THROUGH FROM SLAB ABOVE SHALL BE FIRE SAVED AS REQUIRED.

# RCP LEGEND

- EXHAUST VENT
- 4\"/>

# PROJECT AND OWNER

**MT. HERMON**  
1000 4TH STREET & ANN AVE (EAST)  
JACKSONVILLE, FL 32211  
HQS  
2222 Avenue Avenue, 1000 Park  
Corner Suite 10, 32211  
ARCHITECT:

# REPRITWAR

2101 NW 4TH STREET, SUITE 100  
MIAMI, FL 33136  
305.675.5221 REPRITWAR.COM  
REPRITWAR.COM

# CONSULTING ENGINEERS

MEP  
STRUCTURAL ENGINEER  
CIVIL ENGINEER  
LANDSCAPE ARCHITECT

# KEY PLAN

# SCHEMATIC DESIGN

PROJECT APPLICATION DATE: 12/01/19  
SHEET ISSUE DATE: PROJECT NO.: 1918  
DRAWN BY: HSE APPROVED BY: HSE

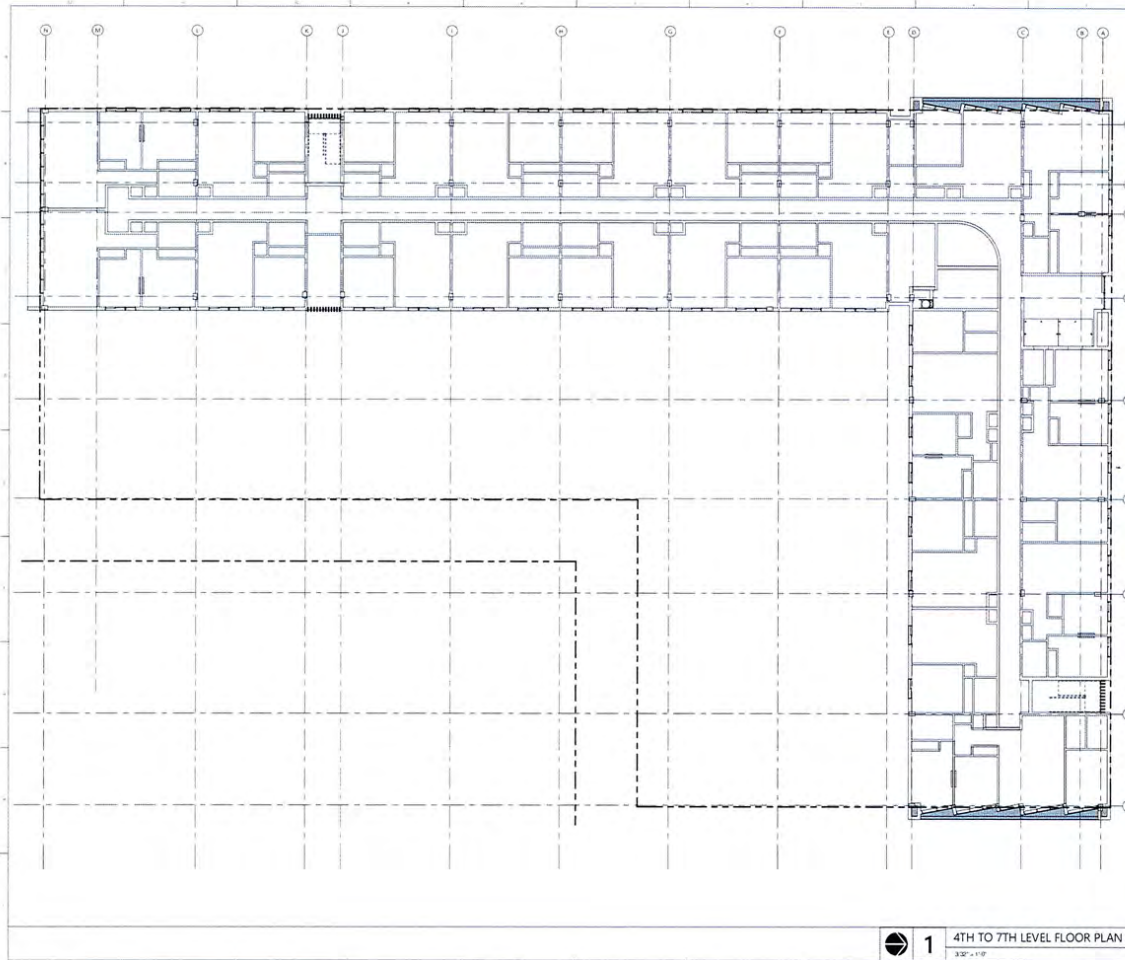
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SIGNATURE:  
T. TODD MARTIN, RA  
LIC# 190017090  
3RD LEVEL R.C.P.

SCALE:  
N.T.S.

**A1-2.03**



#### FINISH CEILING ELEVATION LEGEND

- 1. SUSPENDED CEILING GRID AND TILES
- 2. GYPSUM BOARD CEILING WITH SMOOTH FINISH
- 3. GYPSUM BOARD CEILING WITH SMOOTH FINISH AND PAINT
- 4. GYPSUM BOARD CEILING WITH SMOOTH FINISH AND PAINT

#### REFLECTED CEILING NOTES

1. REFER TO THE GENERAL NOTES FOR ADDITIONAL NOTES AND SPECIFICATIONS.
2. THE NOTES TO THIS REFLECTED CEILING PLAN IS TO SHOW RELATIONSHIPS BETWEEN WALLS AND CEILING AND LOCATIONS OF MECHANICAL AND ELECTRICAL FEATURES FOR COMPLETE MECHANICAL AND ELECTRICAL INFORMATION REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
3. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THIS REFLECTED CEILING PLAN AND ENGINEERING DRAWINGS FOR CLARIFICATION.
4. SUB - CONTRACTOR SHALL VERIFY ALL CEILING FLOORING CONDITIONS TO ASSURE CLEARANCE OF DUCTWORK, PIPING AND OTHER OBSTRUCTIONS WITH THE CEILING HEIGHTS SPECIFIED AND THE LOCATION OF THE LIGHT FIXTURES SHOWN. SUB - CONTRACTOR SHALL PROVIDE CEILING TRIMMING WITH DUCTWORK AND MECHANICAL SERVICES AS REQUIRED FOR THE WORK SPECIFIED AND SHALL NOTIFY ARCHITECT IMMEDIATELY IF DISCREPANCIES ARE NOT RESOLVED.
5. SUB - CONTRACTOR SHALL SUPPLY ALL GYPSUM BOARD CEILING ACCESS PANELS REQUIRING AND NOTIFY ARCHITECT OF LOCATION PRIOR TO INSTALLATION. ACCESS PANELS SHALL BE AS MANUFACTURED BY "MANUFACTURER" LISTED ON ACCESS PANELS SHALL BE COORDINATED BY FIELD ACCESS PANELS SHALL BE TYPED AND SPACED PROVIDING ANY AND ALL INFORMATION AS MAY BE REQUIRED.
6. CEILING HEIGHTS ARE DIMENSIONED IN RELATIONSHIP TO FINISHED FLOOR.
7. EMERGENCY LIGHTS SHALL BE INSTALLED ON SEPARATE CIRCUIT REFER TO ENGINEERING DRAWINGS FOR EMERGENCY LIGHT LOCATIONS.
8. COORDINATE LOCATIONS WITH ARCHITECTURAL REFLECTED CEILING PLAN AND WITH ENGINEERING DRAWINGS FOR SWITCHING CIRCUITS AND/OR ALARM SYSTEMS.
9. REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF NEW AIR SUPPLY AND RETURN AIR GRILLS.
10. ALL WORK AND MATERIALS SHALL BE CONFINED ABOVE THE LIGHT SWITCH OR LOCATED ON SURFACE SHALL, COLUMN, ETC. UNLESS OTHERWISE NOTED BY ARCHITECT FROM THE INSTALLATION SHALL ASSIST IN CONTRACTOR LOCATING THE WORK AND FINISH AT HIS OWN EXPENSE.
11. ALL UNFINISHED SLAB FLOOR THROUGH FLOOR SLAB ABOVE SHALL BE REFINISHED AS REQUIRED.

#### RCP LEGEND

- 1. JUNCTION BOX
- 2. EXHAUST VENT
- 3. 4" SQUARE TRIMLESS RECESSED LIGHT
- 4. SURFACE MOUNTED LIGHT
- 5. PENDANT LIGHT
- 6. WALL MOUNTED LIGHT
- 7. EXTERIOR LINEAR WALKOVER RECESSED LIGHT

#### PROJECT AND OWNER

**MT. HERMON**  
100 4TH STREET & MAIN AVENUE (EAST)  
LAURENS, SC 29555  
HSC  
100 4TH STREET & MAIN AVENUE (EAST)  
LAURENS, SC 29555

#### ARCHITECT

**REP. RT. WAR**  
100 4TH STREET & MAIN AVENUE (EAST)  
LAURENS, SC 29555  
100 4TH STREET & MAIN AVENUE (EAST)  
LAURENS, SC 29555

#### CONSULTING ENGINEERS

**MEP**  
  
**STRUCTURAL ENGINEER**  
  
**CIVIL ENGINEER**  
  
**LANDSCAPE ARCHITECT**

#### KEY PLAN

#### SCHEMATIC DESIGN

PROJECT APPROVAL DATE	10/15/19
SHEET ISSUE DATE	10/15/19
PROJECT NO.	1906
DRAWN BY	TM
APPROVED BY	TM

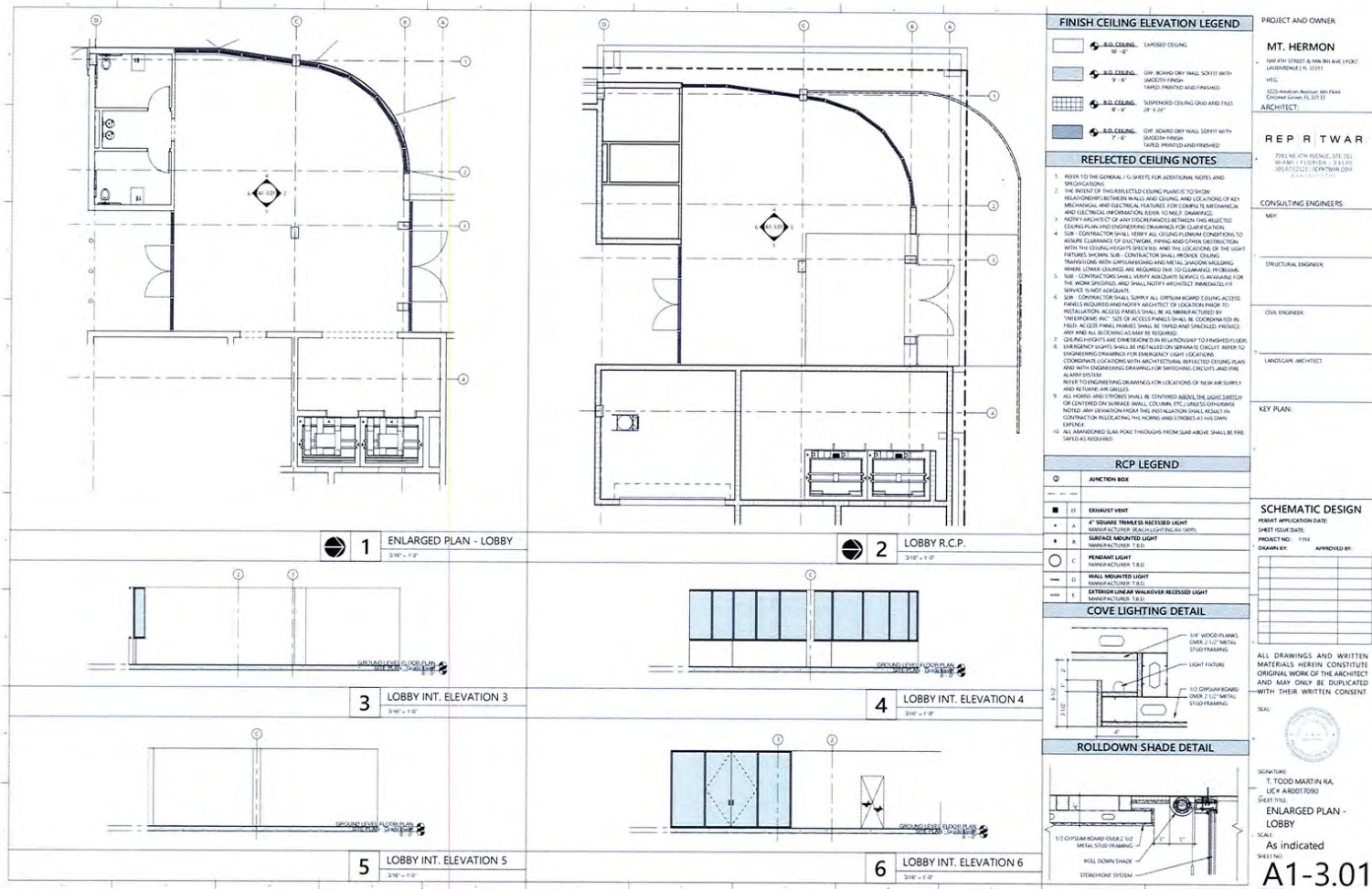
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SIGNATURE  
T. TODD MARTIN, R.A.  
LIC# A00017090  
SHEET NO.  
4TH TO 7TH LEVEL  
R.C.P.  
SCALE  
N.T.S.  
SHEET NO.

**A1-2.04**

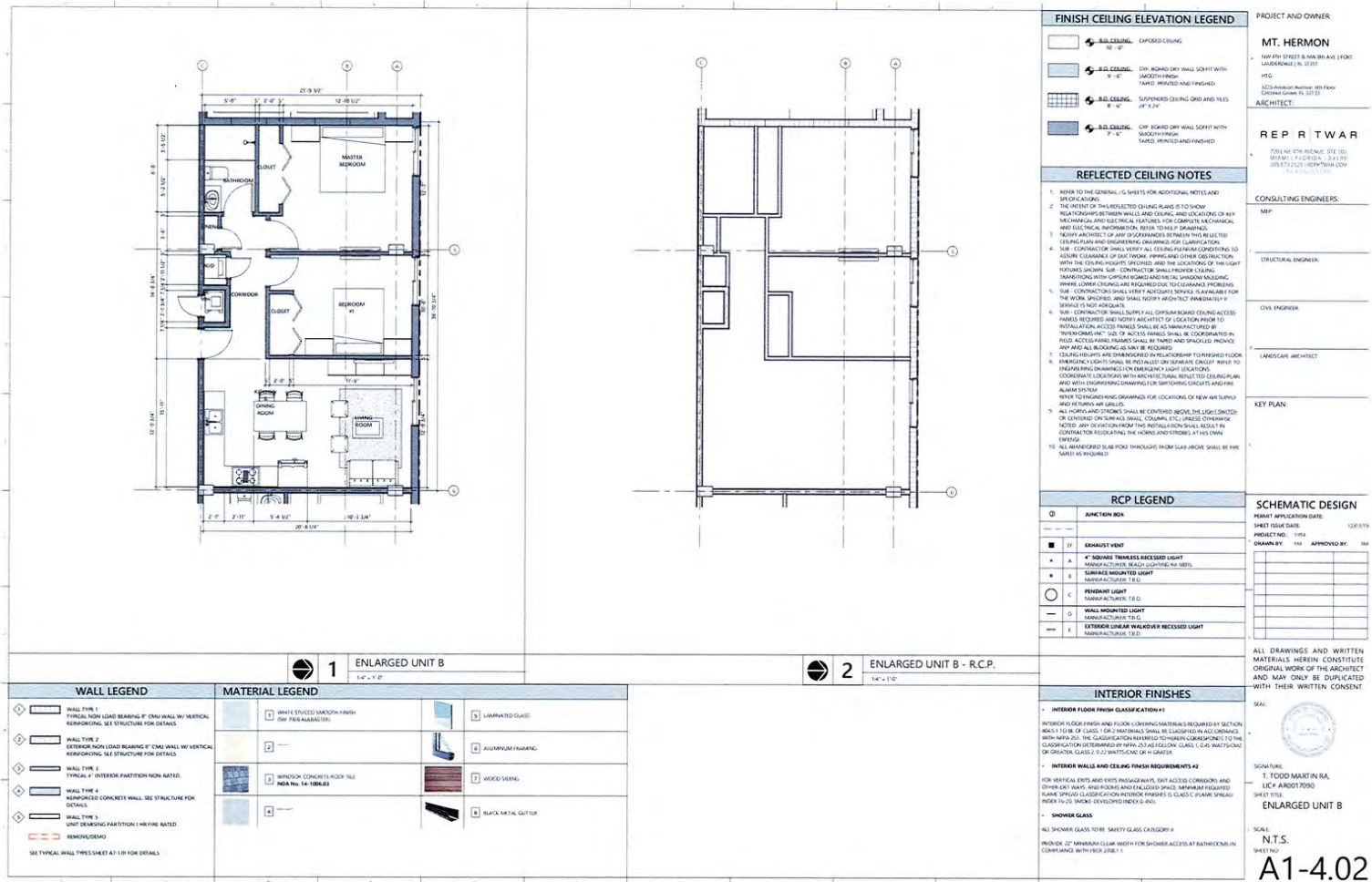










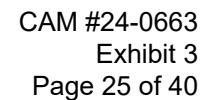


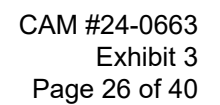




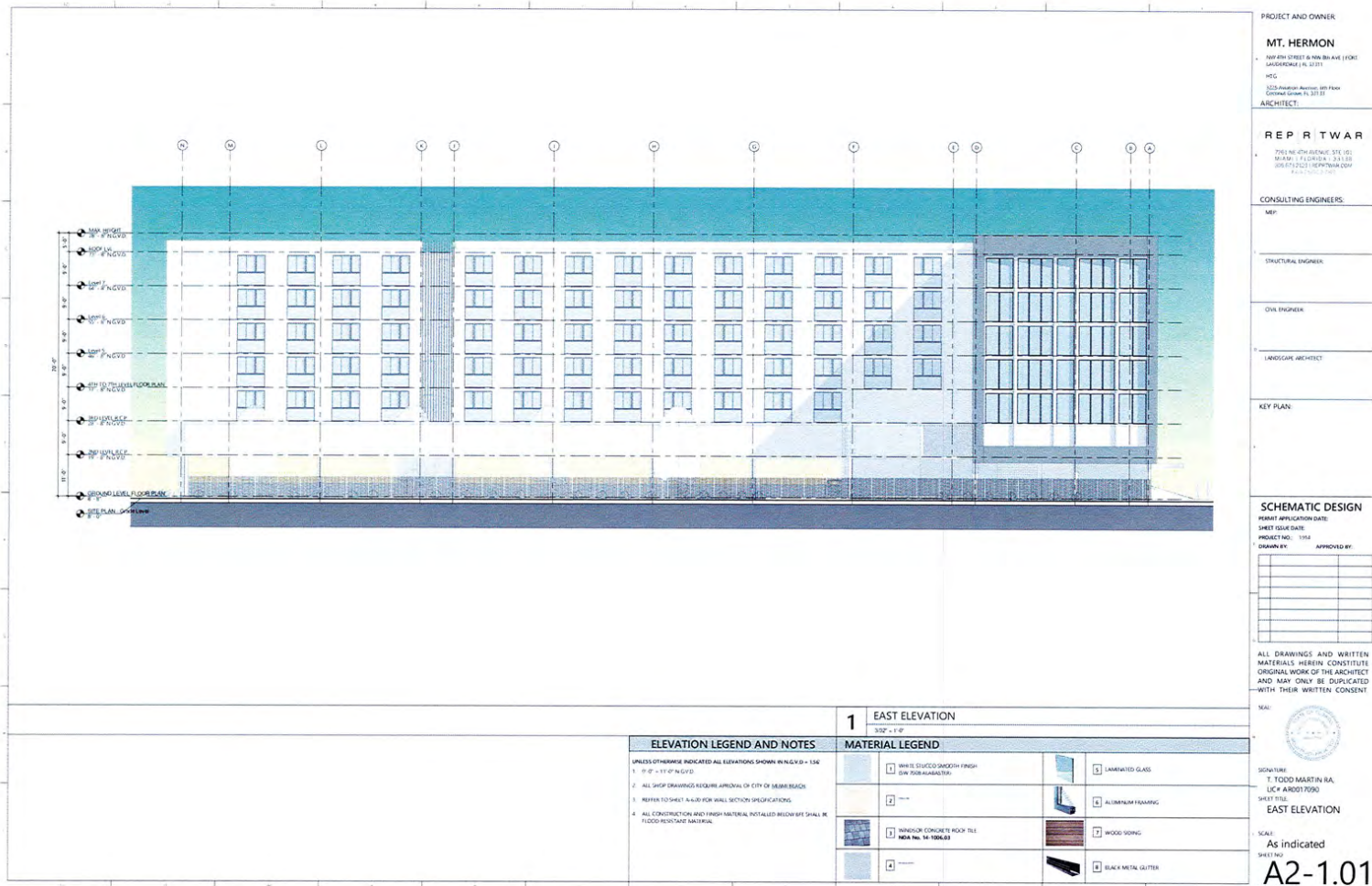


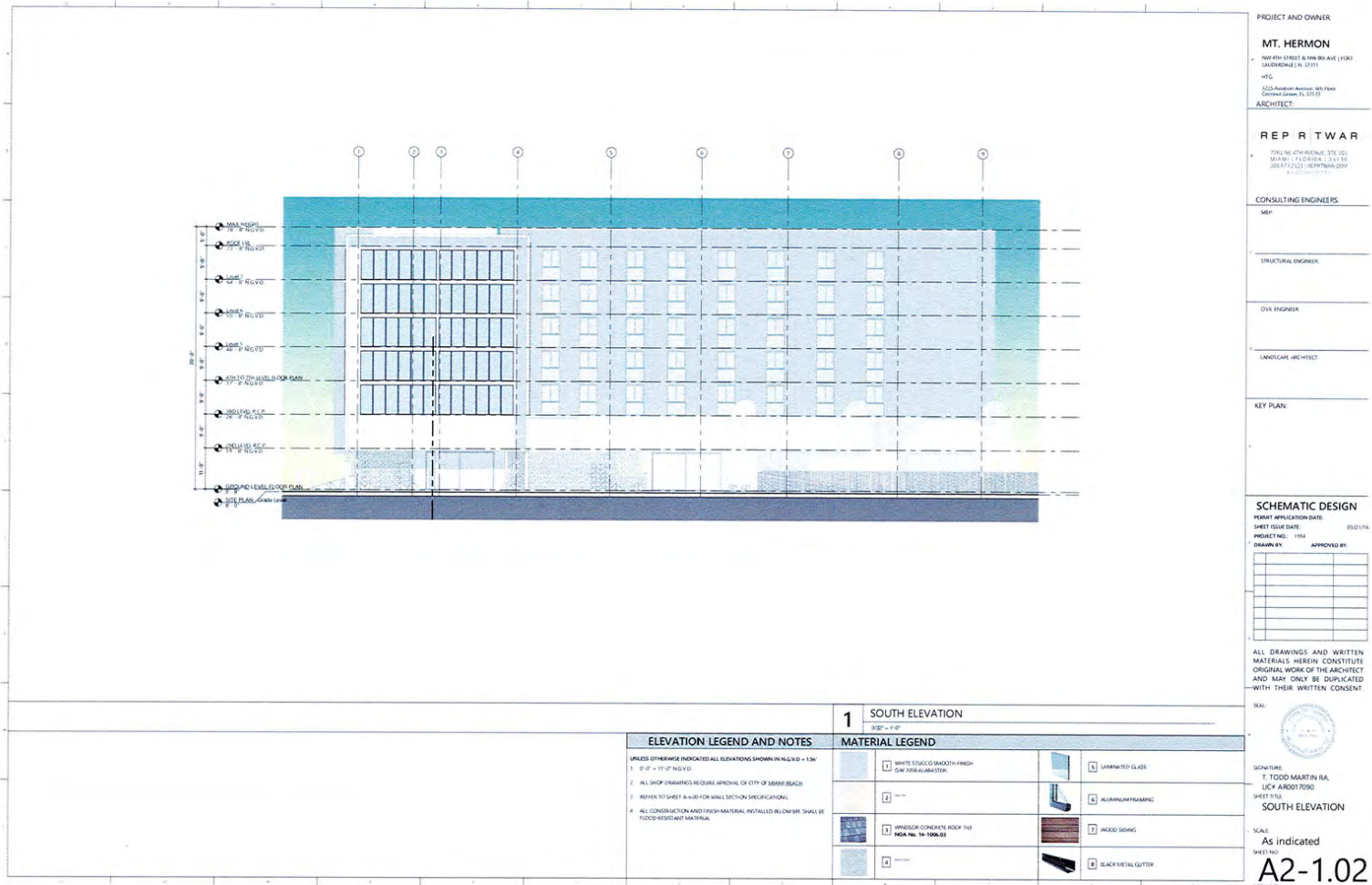




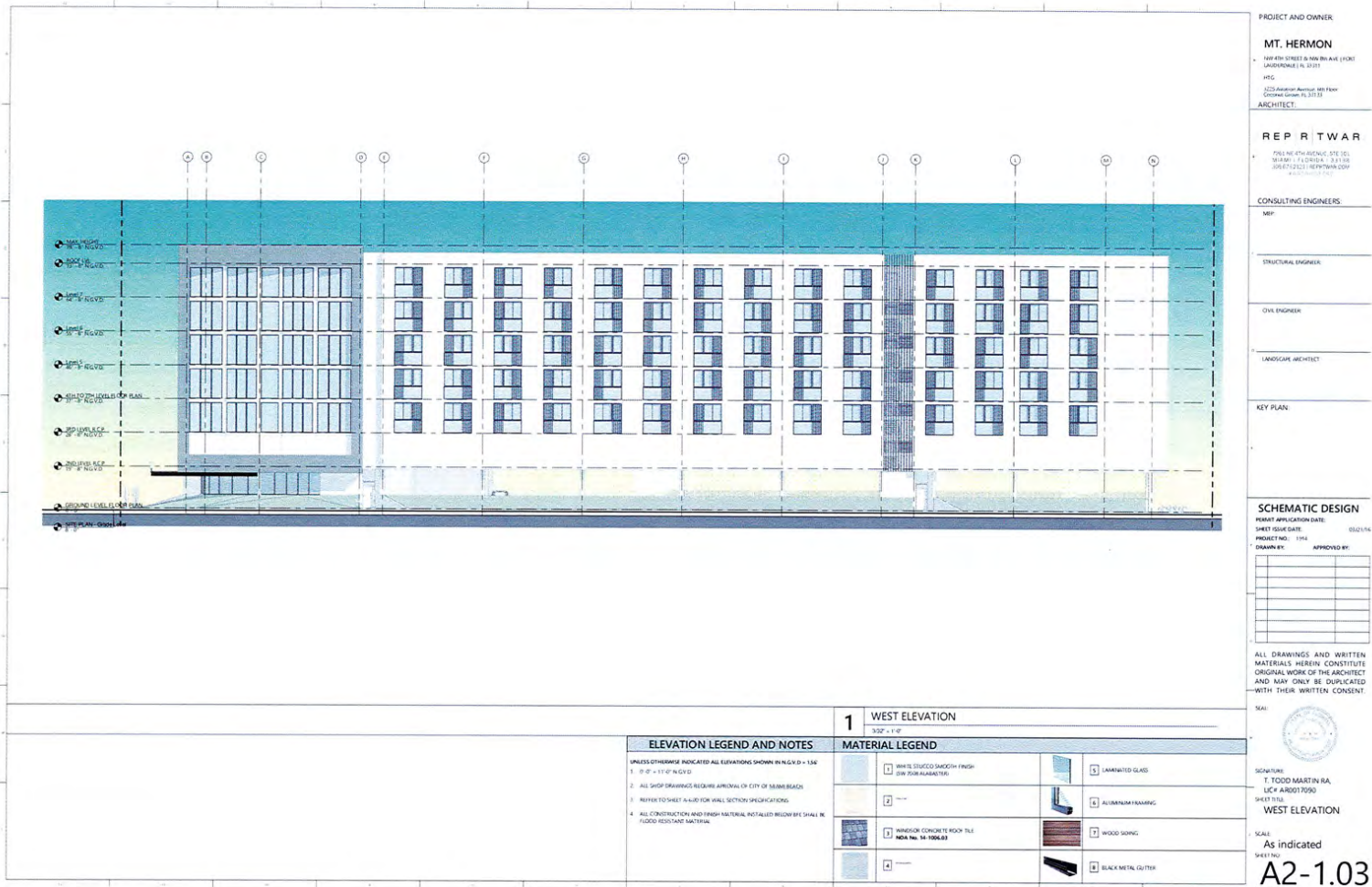


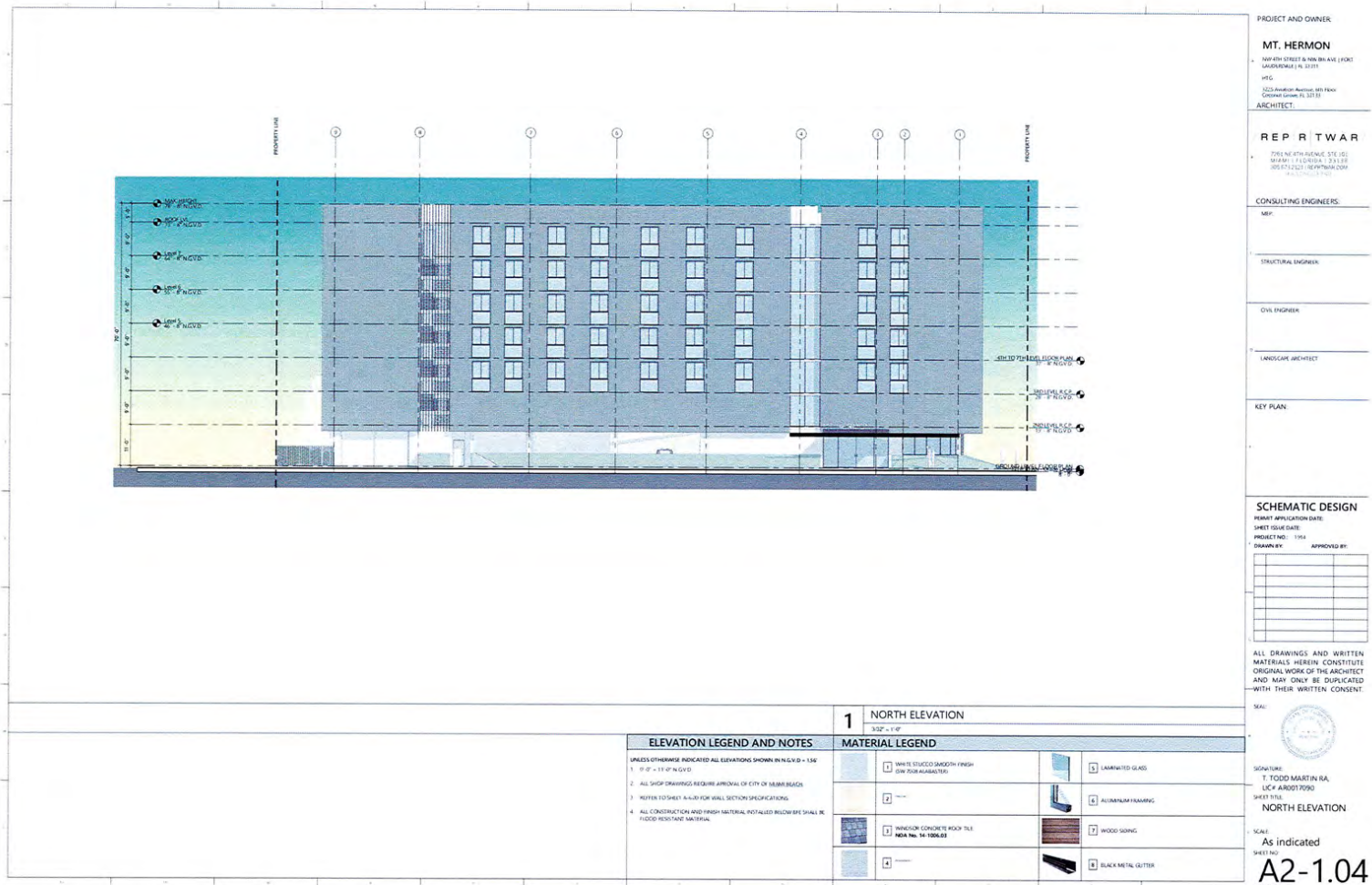




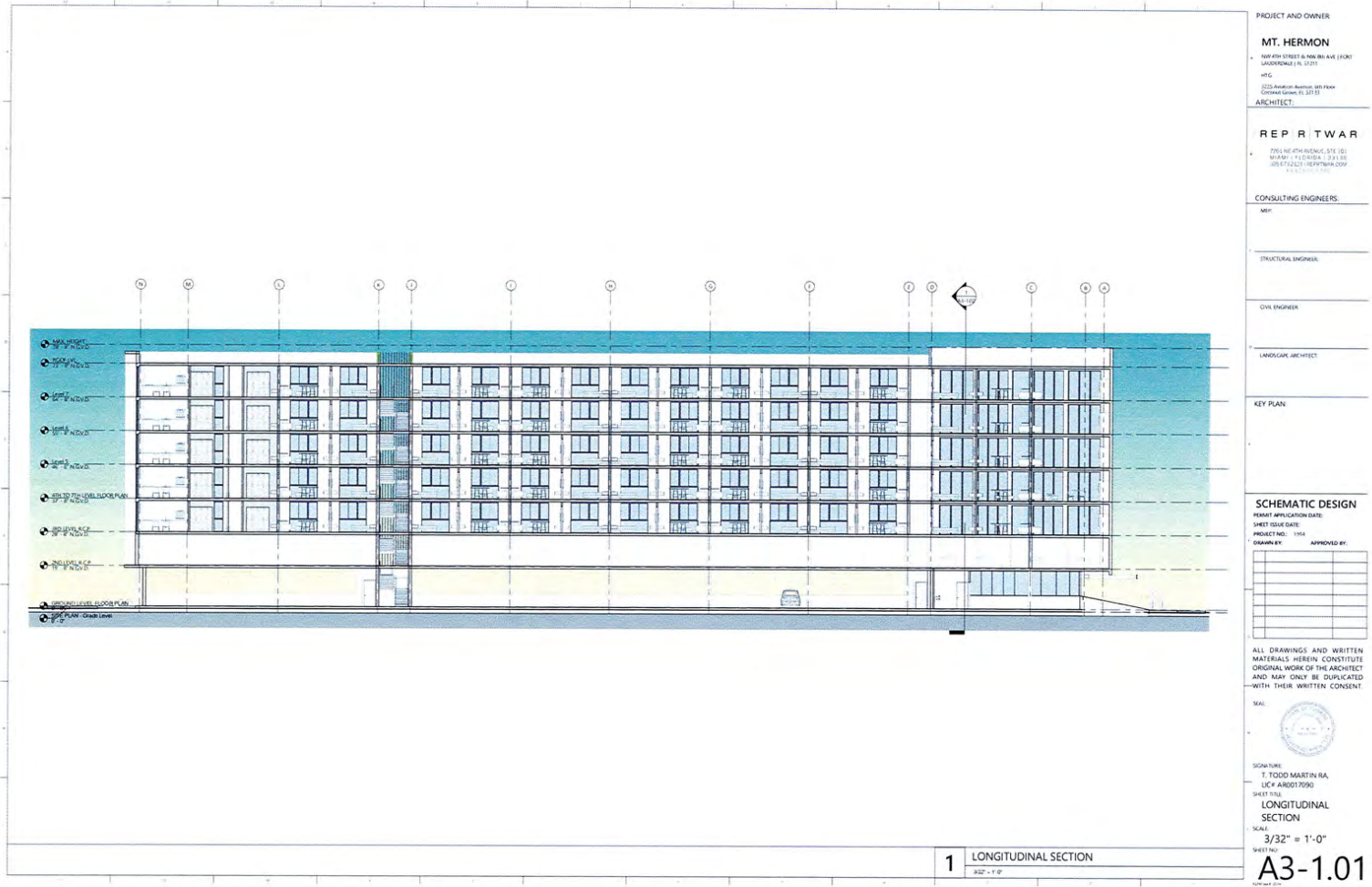








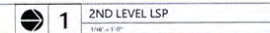








LS-01

[illegible]

PLUMBING FIXTURE COUNT:	
F.P.C. PLUMBING TABLE 403.1	

	REG.		# OF OCCUPANTS		REQUIRED FIXTURES		PROVIDED FIXTURES	
	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE
WATER CLOSETS	1 PER 75	133	133		2	2	0	0
LAVATORIES	1 PER 200	133	133		2	2	0	0
DRINKING FOUNTAINS	1 PER 1000	266			0			SEE NOTE

NOTE:  
1. FNC 410.5 - WHERE RESTAURANTS PROVIDE DRINKING WATER IN A

**WALL LEGEND**

1 WALL TYPE 1  
TYPICAL NON LOAD BEARING 8" CMU WALL W/ VERTICAL  
REINFORCING. SEE STRUCTURE FOR DETAILS.

2 WALL TYPE 2  
EXTERIOR NON LOAD BEARING 8" CMU WALL W/ VERTICAL  
REINFORCING. SEE STRUCTURE FOR DETAILS.

1 WALL TYPE 1  
TYPICAL 4" INTERIOR PARTITION NON-RATED

4 WALL TYPE 4  
REINFORCED CONCRETE WALL. SEE STRUCTURE FOR  
DETAILS.

5 WALL TYPE 5

UNIT DEMISING PARTITION 1 HR FIRE RATED

REMOVE/DEMO

SEE TYPICAL WALL TYPES SHEET A7-1.01 FOR DETAILS.

**SCHEMATIC DESIGN**  
 PERMIT APPLICATION DATE:  
 SHEET ISSUE DATE: 11/22/91  
 PROJECT NO.: 1454  
 CHAIRMAN, KY. AUTHORITY: ARBONOWSKI, CHAIRMAN

ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



SIGNATURE:  
T. TODD MARTIN RA,

LIC# A R0017090  
SHEET TITLE  
LIFE SAFETY PLAN 2ND

LEVEL  
SCALE  
NTS

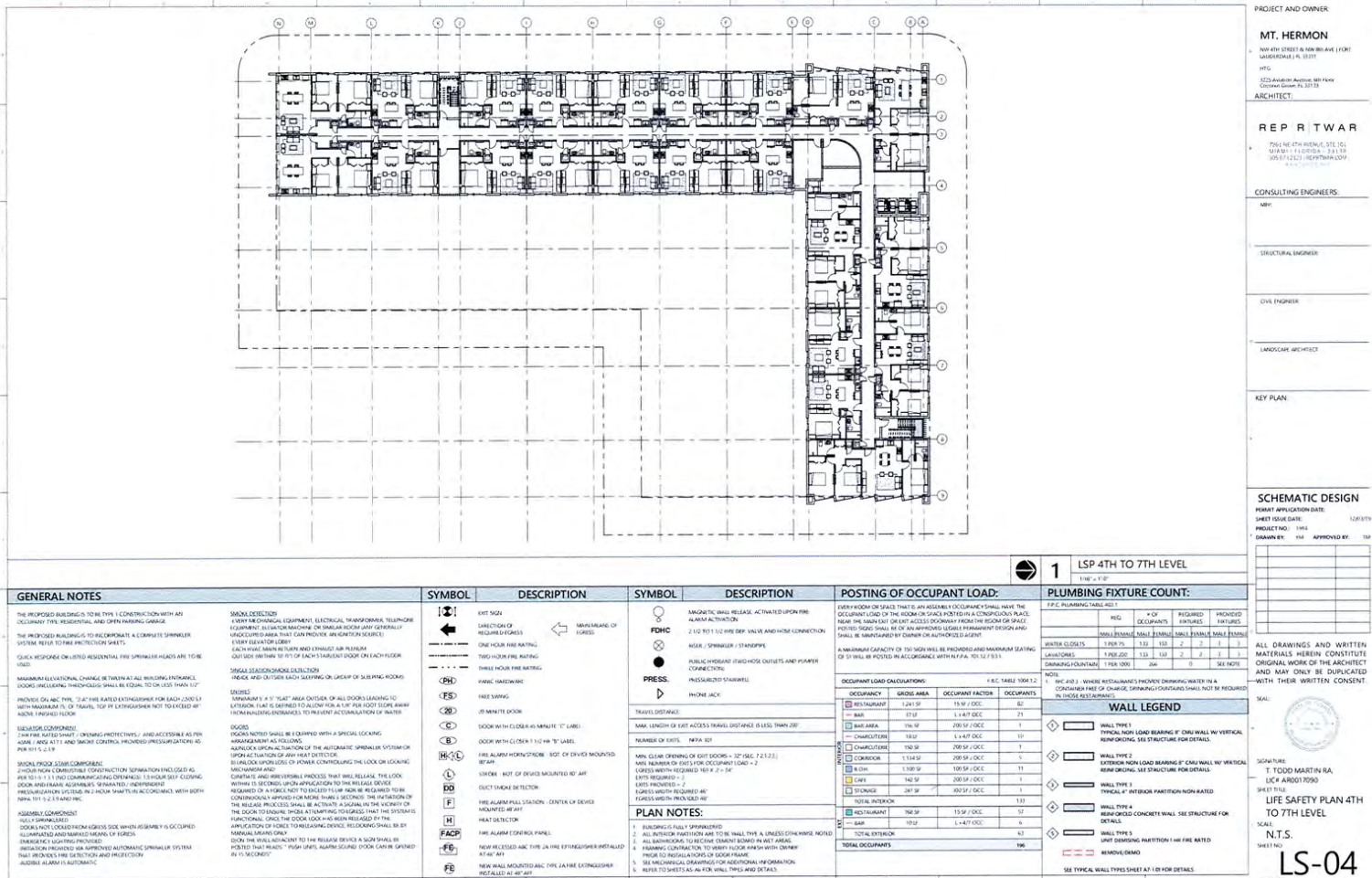
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IS-02

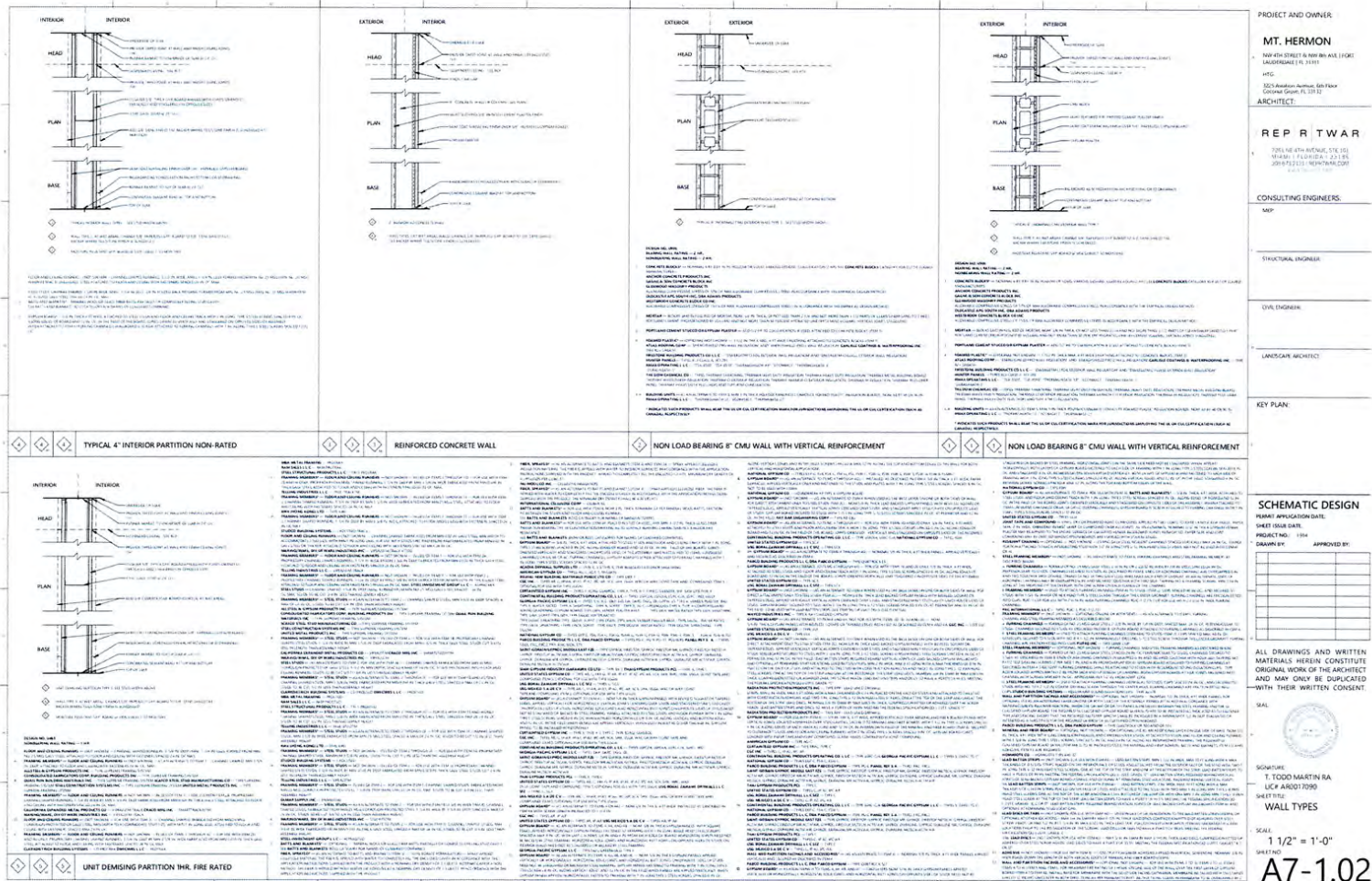
LS-02



[illegible]







**PROJECT AND OWNER**

**MT. HERMON**

1000 N. 10TH STREET, SUITE 101  
HERMON, FLORIDA 32142

**ARCHITECT**

**REP RT WAR**

1000 N. 10TH STREET, SUITE 101  
HERMON, FLORIDA 32142

**CONSULTING ENGINEERS**

**STRUCTURAL ENGINEER**

**CIVIL ENGINEER**

**LANDSCAPE ARCHITECT**

**KEY PLAN**

**SCHEMATIC DESIGN**

**REVISIONS**

**APPROVED BY**

**ALL DRAWINGS AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT**

**SCALE**

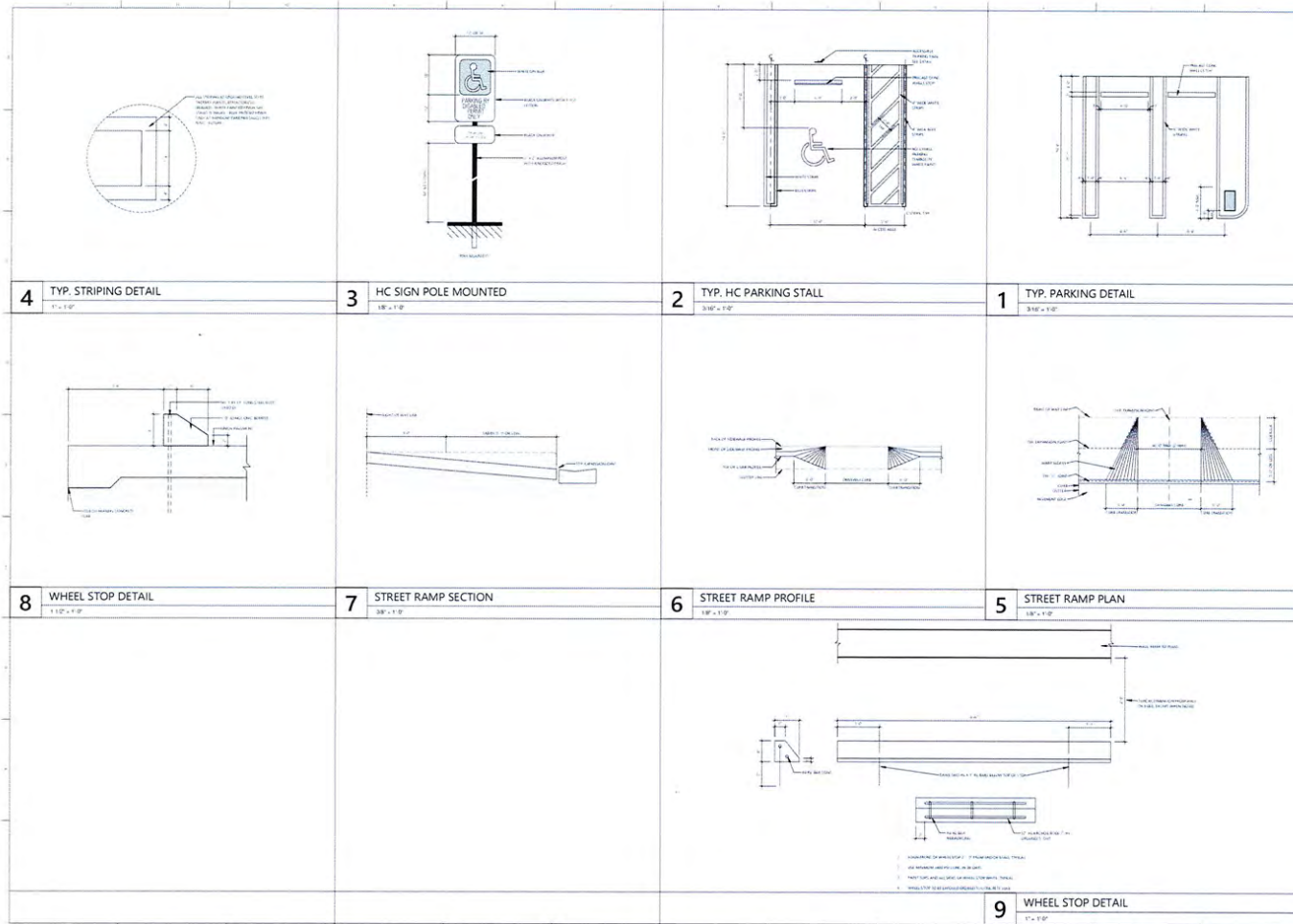
**1 1/2" = 1'-0"**

**A7-1.02**









PROJECT AND OWNER  
**MT. HERMON**  
 1400 KTH STREET & NEW BRIDGE AVE (150)  
 SANDEWICH, IL 60571  
 HRS  
 222 Anderson Avenue, 1st Floor  
 Galesburg, IL 62531  
 ARCHITECT

**REPTWAR**  
 222 Anderson Avenue, 1st Floor  
 Galesburg, IL 62531  
 CONSULTING ENGINEERS

MEP  
 STRUCTURAL ENGINEER

CVIL ENGINEER

LANDSCAPE ARCHITECT

KEY PLAN

SCHEMATIC DESIGN

PROJECT APPLICATION DATE

SHEET ISSUE DATE

PROJECT NO. 1701

DESIGN BY

APPROVED BY

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SCALE

SIGNATURE

T. TODD MARTIN RA

LC# A00017090

SHEET TITLE

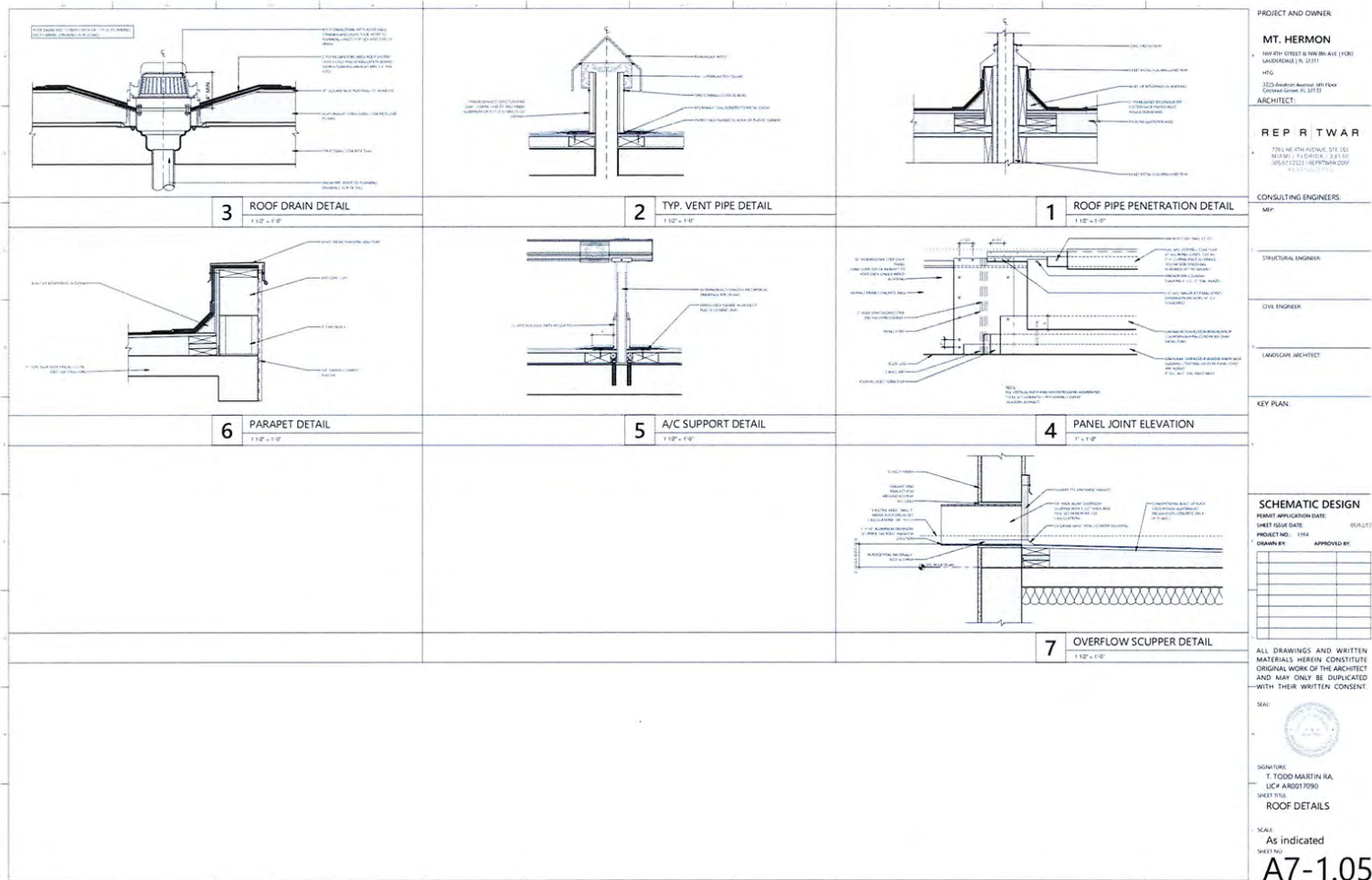
PARKING DETAILS

SCALE

As indicated

DATE

17-04



PROJECT AND OWNER  
**MT. HERMON**  
 1000 5TH STREET & 1000 8TH AVE (1000)  
 LANDSIDEVIEW, FL 33111  
 HFG  
 1225 Audubon Avenue, Mt. Hermon  
 (305) 421-1225  
**ARCHITECT:**  
**REP R T W A R**  
 7011 NE 17TH AVENUE, STE. 101  
 MIAMI, FL 33179  
 (305) 421-1225  
**CONSULTING ENGINEERS:**  
 MEP  
 STRUCTURAL ENGINEER  
 CIVIL ENGINEER  
 LANDSCAPE ARCHITECT  
**KEY PLAN:**  
**SCHEMATIC DESIGN**  
 PROJECT APPLICATION DATE: 05/20/17  
 SHEET ISSUE DATE:  
 PROJECT NO.: 1964  
 DRAWN BY:  
 APPROVED BY:  
 SEAL:  
 SIGNATURE:  
 T. TODD MARTIN RA  
 LIC# AR0017090  
 SHEET NO.:  
**ROOF DETAILS**  
 SCALE:  
 As indicated  
 SHEET NO:  
**A7-1.05**