

ORDINANCE NO. C-24-11

AN ORDINANCE AMENDING SECTION 47-1.6.B OF THE CITY OF FORT LAUDERDALE, FLORIDA UNIFIED LAND DEVELOPMENT REGULATIONS THROUGH THE REVISION OF THE OFFICIAL ZONING MAP OF THE CITY OF FORT LAUDERDALE AND SCHEDULE "A" REVISED COMPILATION ATTACHED THERETO AND BY REFERENCE MADE A PART THEREOF, SO AS TO REZONE FROM COUNTY HOTEL "COUNTY R-6" DISTRICT AND COUNTY ONE-FAMILY "COUNTY R-1-C" DISTRICT TO PLANNED DEVELOPMENT "PDD" DISTRICT, ALL OF TRACT 1, "SHELL AT I-95", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 102, PAGE 25, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH A PORTION OF THE VACATED CANAL ADJACENT TO SAID TRACT 1, RECORDED IN OFFICIAL RECORDS BOOK 12368, PAGE 909 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LOCATED NORTH OF EAST CYPRESS CREEK ROAD (NORTHEAST 62<sup>ND</sup> STREET), EAST OF I-95 (STATE ROAD 9), WEST OF DIXIE HIGHWAY AND SOUTH OF CYPRESS CREEK CANAL (C-14 CANAL), ALL SAID LANDS BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA.

WHEREAS, in accordance with Sections 47-37A, 47-24.4, 47-25.2 and 47-25.3 of the City of Fort Lauderdale, Florida Unified Land Development Regulations ("ULDR"), rezoning to a Planned Development District ("PDD") zoning district requires the approval of a development plan which meets the criteria provided in the above sections of the ULDR; and

WHEREAS, applicant, PFL VII, LLC, has submitted a development plan for the project known as "Westin/Aura Cypress Creek" located at 200 and 400 North Corporate Drive, Fort Lauderdale, Florida, as part of the zoning application to develop a mixed-use development consisting of 340 multi-family residential units and 4,717 square feet of commercial space, which includes the existing Westin hotel, the existing parking lot for the Westin hotel and mixed-use building, to be rezoned as more particularly described in Exhibit "B" attached hereto and incorporated herein; and

WHEREAS, applicant also proposes a 15 percent set aside of dwelling units (51 residential units) for affordable housing and publicly accessible open space on the western and southern portion of the approximate 6.8 acre site; and

WHEREAS, the Planning and Zoning Board functioning as the local planning agency, at its meeting of December 20, 2023, (Case No. UDP-PDD22003) recommended to the City Commission of the City of Fort Lauderdale ("City Commission") that the rezoning application be approved and that the lands herein described should be rezoned from Broward County Hotel ("County R-6") District and Broward County One-Family ("County R-1-C") District to Planned Development District ("PDD") based on the development plan as reviewed and approved as described herein and that the Official Zoning Map and Schedule "A" attached thereto should be amended to include such lands; and

WHEREAS, the City Clerk notified the public of public hearings to be held on Tuesday, March 5, 2024, at 6:00 p.m., or as soon thereafter as possible, and on Tuesday, March 19, 2024, at 6:00 p.m., or as soon thereafter as possible, at the Horvitz Auditorium located at the NSU Art Museum, 1 East Las Olas Boulevard, Fort Lauderdale, Florida, for the purpose of hearing any public comment to such rezoning; and

WHEREAS, such public hearing was duly held at the time and place designated after notice was given as required by law, and the City Commission determined that the applicant demonstrated by competent, substantial evidence in the record that the requested rezoning met the criteria for the PDD zoning district.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF FORT LAUDERDALE, FLORIDA:

SECTION 1. That the above recitals are true and correct and incorporated into this ordinance by reference.

SECTION 2. The City Commission finds that the application for rezoning of lands described in Section 3 of this ordinance meets the criteria of Sections 47-37A, 47-24.4, 47-25.2 and 47-25.3 of the ULDR, subject to the conditions imposed by the Development Review Committee and the Planning and Zoning Board, as enunciated and memorialized in the minutes of its meetings of March 5, 2024 and March 19, 2024, a portion of those findings expressly listed as follows:

1. The proposed rezoning is consistent with the underlying Mixed Use land use designation of the City's Comprehensive Plan.

2. The proposed PDD is consistent with the character of development in the surrounding area and will enhance development in and near the area under consideration by introducing residential units to create a compact, mixed-use development and by providing publicly accessible park space.
3. The character of the area proposed for a PDD is suitable for the uses and is compatible with surrounding Commerce Center (CC) districts.
4. The proposed PDD meets the requirements of Section 47-37A of the Unified Land Development Regulations.

**SECTION 3.** That the City of Fort Lauderdale, Florida ULDR, together with the Official Zoning Map of the City of Fort Lauderdale and revised Schedule "A", describing the lands lying within each zoning district, as approved on June 18, 1997, and described in Section 47-1.6 of the ULDR, be amended by rezoning from Broward County Hotel ("County R-6") District and Broward County One-Family ("County R-1-C") District to Planned Development District ("PDD") the following lands situated in the City of Fort Lauderdale, Broward County, Florida, to wit:

ALL OF TRACT 1, "SHELL AT I-95", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 102, PAGE 25, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH A PORTION OF THE VACATED CANAL ADJACENT TO SAID TRACT 1, RECORDED IN OFFICIAL RECORDS BOOK 12368, PAGE 909 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

Location: North of East Cypress Creek Road (Northeast 62<sup>nd</sup> Street), east of I-95 (State Road 9), west of Dixie Highway and south of Cypress Creek Canal (C-14 Canal)

being more particularly described in Exhibit "B" attached hereto and made a part hereof.

**SECTION 4.** That in accordance with Section 47-37A. Planned Development District ("PDD") zoning district of the ULDR, the development plan attached hereto as Exhibit "A" (the "Development Plan") is hereby approved, subject to the conditions imposed by the department and City Commission set forth in the attached Exhibit "C", and by reference made a part of this Ordinance as the specific zoning regulations and standards for the development of the property identified in SECTION 3 hereof (the "Property").

SECTION 5. All provisions of Section 47-37A of the ULDR shall apply to this PDD, including but not limited to, regulations regarding amendments of the PDD and expiration and extension of the PDD development plan.

SECTION 6. If there is a conflict between any of the documents comprising the approved Development Plan, the more restrictive interpretation by the City's Zoning Administrator shall govern the development of the Property.

SECTION 7. That the appropriate City officials of the City of Fort Lauderdale shall indicate such zoning upon a copy of the Official Zoning Map, and shall indicate an amendment of Schedule "A" accordingly, upon the records with proper reference to this ordinance, the date of passage, and a notation that the zoning may revert to the ABA zoning district if the PDD approval expires pursuant to Section 47-37A.16 of the ULDR.

SECTION 8. That pursuant to the provisions of the ULDR of the City of Fort Lauderdale, Florida, the proper city officials are hereby authorized to issue the necessary building and use permits that conform with this Ordinance upon recording of this Ordinance and fulfilling all conditions imposed by the department and the City Commission.

SECTION 9. That if any clause, section or other part of this Ordinance shall be held invalid or unconstitutional by any court of competent jurisdiction, the remainder of this Ordinance shall not be affected thereby, but shall remain in full force and effect.

SECTION 10. That all ordinances or parts of ordinances in conflict herewith, be and the same are hereby repealed.

SECTION 11. That this Ordinance shall be in full force and effect on the date it is recorded in the Public Records of Broward County, Florida.

SECTION 12. Issuance of a development permit by a municipality does not in any way create any right on the part of an applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the municipality for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

SECTION 13. This approval is conditioned upon the applicant obtaining all other applicable state or federal permits before commencement of the development.

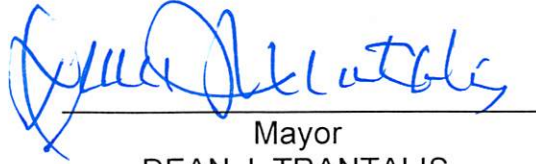


ORDINANCE NO. C-24-11

PAGE 5

PASSED FIRST READING this 5<sup>th</sup> day of March, 2024.

PASSED SECOND READING this 19<sup>th</sup> day of March, 2024.



\_\_\_\_\_  
Mayor  
DEAN J. TRANTALIS

ATTEST:



\_\_\_\_\_  
City Clerk  
DAVID R. SOLOMAN

**EXHIBIT "A"**

***PLACEHOLDER FOR DEVELOPMENT PLAN AS PART OF  
EXHIBIT 3 TO COMMISSION AGENDA MEMORANDUM NO. 24-0299.  
FULL DOCUMENT WILL BE ATTACHED AFTER FINAL ADOPTION.***

ARCHITECTURE	
SHEET NO.	SHEET NAME
A-001	PLAN
A-002	ELEVATION
A-003	SECTION
A-004	DETAIL
A-005	MECHANICAL
A-006	ELECTRICAL
A-007	PLUMBING
A-008	PAINT
A-009	FINISHES
A-010	MECHANICAL
A-011	ELECTRICAL
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A-098	ELECTRICAL
A-099	PLUMBING
A-100	MECHANICAL

LANDSCAPE	
SHEET NO.	SHEET NAME
L-01	CONCEPTUAL PLAN
L-02	CONCEPTUAL SECTION
L-03	CONCEPTUAL ELEVATION
L-04	CONCEPTUAL DETAIL
L-05	CONCEPTUAL MECHANICAL
L-06	CONCEPTUAL ELECTRICAL
L-07	CONCEPTUAL PLUMBING
L-08	CONCEPTUAL FINISHES
L-09	CONCEPTUAL PAINT
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L-13	CONCEPTUAL FINISHES
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L-96	CONCEPTUAL ELECTRICAL
L-97	CONCEPTUAL PLUMBING
L-98	CONCEPTUAL FINISHES
L-99	CONCEPTUAL PAINT
L-100	CONCEPTUAL MECHANICAL



LANDSCAPE ARCHITECTURE  
 TRINISIC RESIDENTIAL GROUP  
 8235 Douglas Ave., Suite 105  
 Dallas, TX 75225  
 PHONE: (954) 772-0724  
 CONTACT: JOE BAY

ENGINEERING  
 TRINISIC RESIDENTIAL GROUP  
 8235 Douglas Ave., Suite 105  
 Dallas, TX 75225  
 PHONE: (954) 772-0724  
 CONTACT: JOE BAY

MECHANICAL ENGINEERING  
 TRINISIC RESIDENTIAL GROUP  
 8235 Douglas Ave., Suite 105  
 Dallas, TX 75225  
 PHONE: (954) 772-0724  
 CONTACT: JOE BAY

ELECTRICAL ENGINEERING  
 TRINISIC RESIDENTIAL GROUP  
 8235 Douglas Ave., Suite 105  
 Dallas, TX 75225  
 PHONE: (954) 772-0724  
 CONTACT: JOE BAY

PLUMBING ENGINEERING  
 TRINISIC RESIDENTIAL GROUP  
 8235 Douglas Ave., Suite 105  
 Dallas, TX 75225  
 PHONE: (954) 772-0724  
 CONTACT: JOE BAY

FINISHES ENGINEERING  
 TRINISIC RESIDENTIAL GROUP  
 8235 Douglas Ave., Suite 105  
 Dallas, TX 75225  
 PHONE: (954) 772-0724  
 CONTACT: JOE BAY

PAINT ENGINEERING  
 TRINISIC RESIDENTIAL GROUP  
 8235 Douglas Ave., Suite 105  
 Dallas, TX 75225  
 PHONE: (954) 772-0724  
 CONTACT: JOE BAY

MECHANICAL ENGINEERING  
 TRINISIC RESIDENTIAL GROUP  
 8235 Douglas Ave., Suite 105  
 Dallas, TX 75225  
 PHONE: (954) 772-0724  
 CONTACT: JOE BAY

Submittal for Planned Development District Rezoning  
 09/14/2023

# WESTIN/AURA CYPRESS CREEK

200, 400 CORPORATE DR.  
 FT. LAUDERDALE, FLORIDA 33334

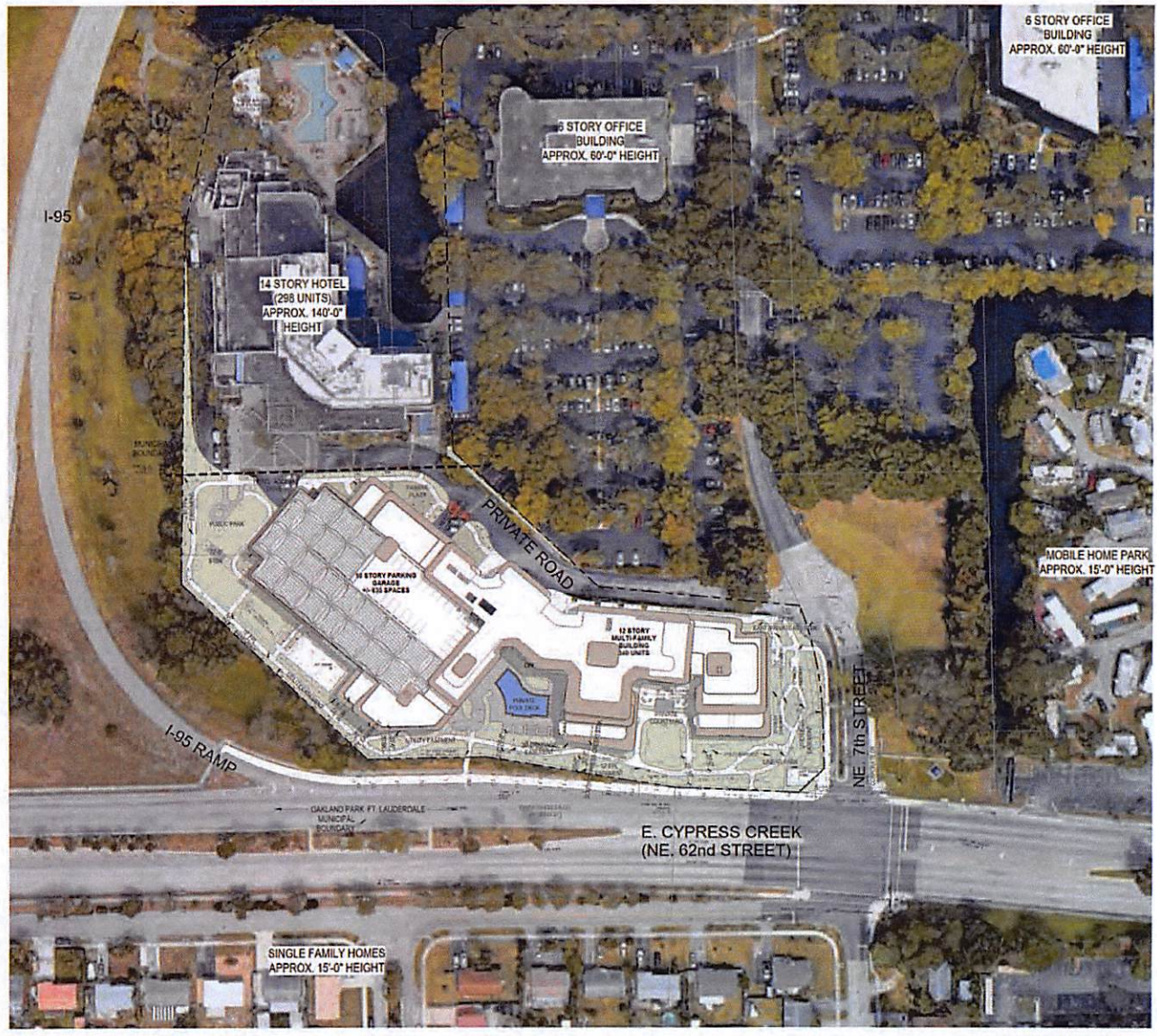
LANDSCAPE:  
 landscape  
 DESIGN  
 workshop  
 621 NW 53rd St,  
 Suite #125  
 Boca Raton, FL 33487  
 PHONE: (954) 772-0724

ENGINEERING:  
  
 1001 Yamato Road,  
 Suite 105  
 Boca Raton, Florida 33431  
 PHONE: (561) 392-0221

ATTORNEY:  
  
 1401 East Broward Boulevard,  
 Suite 303  
 Fort Lauderdale, FL 33301  
 PHONE: (954) 779-1119

**TRINISIC**  
 RESIDENTIAL GROUP  
 8235 Douglas Ave.,  
 Dallas, TX 75225  
  
**CORWIL ARCHITECTS**  
 8000 W. CENTRAL EXPRESSWAY, SUITE 100  
 DALLAS, TEXAS 75241





6 STORY OFFICE BUILDING APPROX. 60'-0" HEIGHT

6 STORY OFFICE BUILDING APPROX. 60'-0" HEIGHT

14 STORY HOTEL (298 UNITS) APPROX. 140'-0" HEIGHT

16 STORY PARKING GARAGE 432 SPACES

12 STORY MULTI-FAMILY BUILDING 345 UNITS

MOBILE HOME PARK APPROX. 15'-0" HEIGHT

SINGLE FAMILY HOMES APPROX. 15'-0" HEIGHT

**AERIAL PLAN**  
SCALE: 1" = 50'-0"



**CORWIL ARCHITECTS**  
4325 GARRA BL. CORAL GABLES FL 33146  
LIC. NO. AA-C002181 F. 305.448.7383

**PROJECT:**  
**WESTINAURA CYPRESS CREEK**  
200, 400 CORPORATE DR.  
FT. LAUDERDALE, FLORIDA 33334  
**OWNER:**

**TRINIC**  
**TRINIC**  
**RESIDENTIAL GROUP**  
8235 Douglas Ave.  
Dallas, TX 75225

**AERIAL PLAN**

**PHASE:**  
**PDD SUBMITTAL**



THIS DRAWING AND THE PROJECT'S CONSULTANTS ARE LIABLE ONLY FOR THE DESIGN AND CONSTRUCTION OF THIS DRAWING AND NOT FOR THE CONSTRUCTION OF ANY OTHER WORK NOT SHOWN AS NOTED TO BY THE ARCHITECT/ENGINEER.

**DATE:** 04/24/2023  
**DATE:** 2022-54  
**DRAWN BY:** MC/DJ/AMV  
**AREA BY:** AMC  
**PRINTED:** 10/5/2023 10:08:19 AM

**SHEET NUMBER:**  
**A-1.00**





CORWIL ARCHITECTS  
11015 LAKOTA AT CORAL GABLES PL. APT. 6  
S.W. 3RD AVE. #2022151 FT. LAUDERDALE, FL 33311

PROJECT:  
WESTIN/AURA CYPRESS  
CREEK  
200, 400 CORPORATE DR.  
FT. LAUDERDALE, FLORIDA 33331

OWNER:  
TRINISIC  
TRINISIC RESIDENTIAL GROUP  
8235 Douglas Ave.  
Dallas, TX 75225

PARCEL A - SITE PLAN

PHASE:  
PDD SUBMITTAL



THE UNDERSIGNED HEREBY CERTIFIES THAT THE INFORMATION CONTAINED IN THIS SUBMITTAL IS TRUE AND CORRECT TO THE BEST OF HIS KNOWLEDGE AND BELIEF.

DATE: 04/24/2023  
JOB NO.: 2421-54  
DESIGNER: AMV  
DRAWN BY: AMC  
PRINTED: 10/9/2023 10:08:24 AM

SHEET NUMBER:  
A-1.02A

PARCEL A - EXISTING USES  
290 Hotel Rooms - 1 per 3 sleeping rooms + 223.5 p.u.  
Accessory meeting space, food and beverage and retail

LEGAL DESCRIPTION

DESCRIPTION OF THE LAND AS SHOWN ON THE PLAT HERETOFORE REFERRED TO IN PART BEING ALL OF THAT LOT OF THE PUBLIC RECORDS OF HERRING COUNTY, FLORIDA...

TOGETHER WITH...  
A SECTION OF THE LAND, BEING AN UNDIVIDED INTEREST IN CERTAIN LOTS OF THE PUBLIC RECORDS OF HERRING COUNTY, FLORIDA...

CONSIDERATION OF THE FOREGOING CONVEYANCE OF SAID TRACT TO BE MADE BY THE SELLER TO THE BUYER...  
THE BUYER SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL TAXES AND FEES...

REMARKS FOR PARCEL A: A WHITE...  
BEGINNING AT A POINT IN THE EXTENDED NORTH-SOUTH LINE OF A 20' WIDE STREET...  
THENCE NORTH 00°00'00" WEST 100.00 FEET TO THE POINT OF BEGINNING...

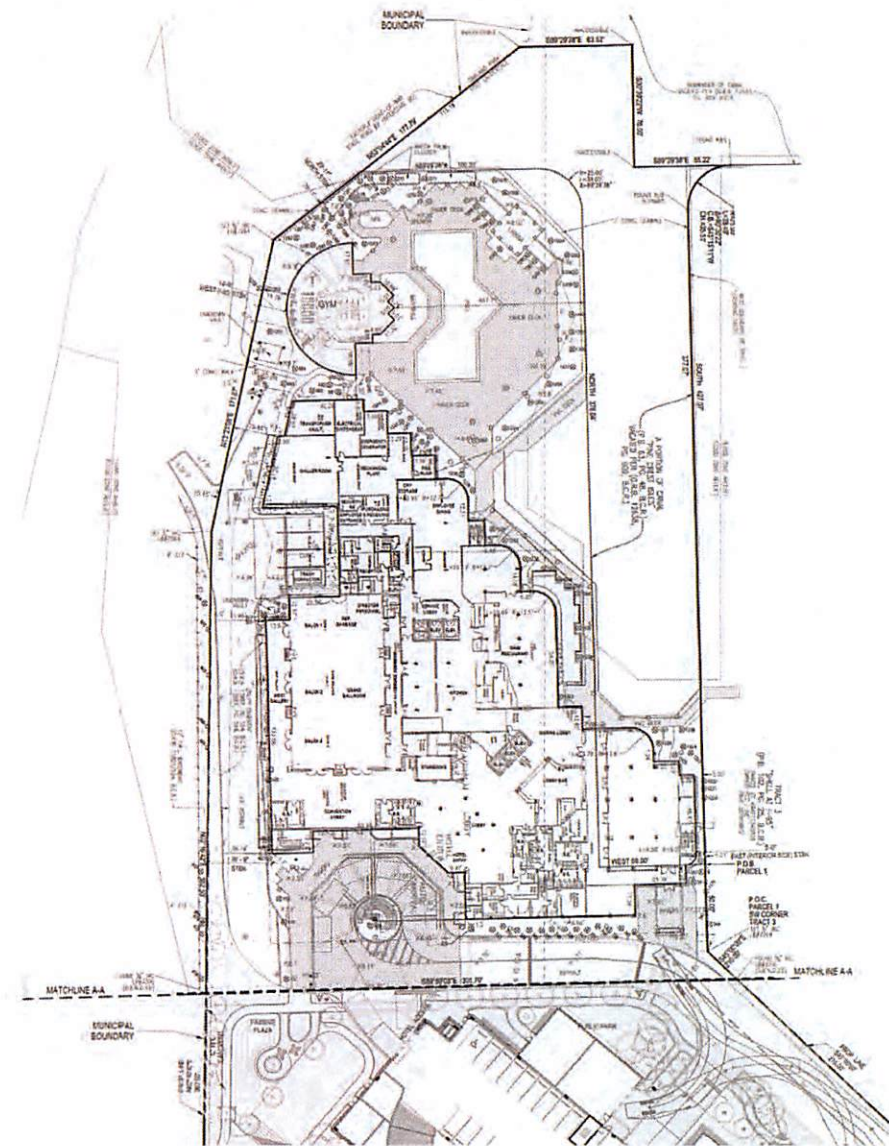
EXEMPT FOR THE BENEFIT OF PARCEL A AS LOCATED BY EASEMENT AGREEMENT...  
THE BENEFIT OF THE SAID EASEMENT SHALL BE LIMITED TO THE USES SPECIFIED...

THE BOUNDARY IS SET BY THE NORTHERLY 21.67 FEET OF THE WEST SIDE LINE...  
THE BOUNDARY IS SET BY THE SOUTHERLY 21.67 FEET OF THE WEST SIDE LINE...

- NOTES  
1. THIS PLANNING IS NOT VALID UNLESS THE SUBMITTAL AND THE DRAWING BEARING THEREON...  
2. ALL DIMENSIONS SHOWN HEREON ARE FOR THE RECORD PLATED DIMENSIONS...  
3. THERE SHALL BE NO UNNECESSARY IMPROVEMENTS LOCATED IN CONVICTION WITH THE...  
4. THE PROPOSED IMPROVEMENTS ARE BASED ON THE RECORD PLAT...  
5. THE PROPOSED IMPROVEMENTS ARE BASED ON THE RECORD PLAT...  
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7. THE PROPOSED IMPROVEMENTS ARE BASED ON THE RECORD PLAT...  
8. THE PROPOSED IMPROVEMENTS ARE BASED ON THE RECORD PLAT...



LOCATION MAP



SITE PLAN - PARCEL A  
SCALE: 1" = 30'-0"









PROJECT:  
WESTIN/AURA CYPRESS  
CREEK  
200, 400 CORPORATE DR.  
FT. LAUDERDALE, FLORIDA 33334  
OWNER:



8235 Douglas Ave.  
Dallas, TX 75225

### ZONING DATA SHEET

Project Location: 200, 400 CORPORATE DRIVE, FORT LAUDERDALE, FL 33334

SITE INFORMATION			
	PARCEL A (HOTEL PARCEL)	PARCEL B (RESIDENTIAL, COMMERCIAL & PARKING GARAGE)	ENTIRE PARCEL
Site Area			
Net Lot Area	PARCEL A= 132,635 square feet (3.0489 acres)	PARCEL B= 155,453 square feet (3.5687 acres)	ENTIRE PARCEL = 288,089 square feet (6.6136 acres)
Gross Lot Area			6.8 acres
Land-Use Designation			
Existing	Residential Medium High (Z5)	Residential Medium High(Z5)	Residential Medium High (Z5)
Proposed	Mixed Use	Mixed Use	Mixed Use
Zoning Designation			
Existing	R-6 County (HOTEL R-6 DISTRICT)	R-6 County (HOTEL R-6 DISTRICT)	R-6 County (HOTEL R-6 DISTRICT)
Proposed	Planned Development District (PDD)	Planned Development District (PDD)	Planned Development District (PDD)
BUILDING REQUIREMENTS			
R-6 COUNTY ZONING (HOTEL R-6 DISTRICT) Allowed/Required	Proposed	Proposed	Proposed
Density and Uses			
Existing - No changes	Hotel: 298 rooms and accessory meeting space, food and beverage and retail		Hotel: 298 rooms and accessory meeting space, food and beverage and retail
Proposed Residential	Per City Land Use: 60 d.u. / 6.6 Net Acres = 396 d.u. max. Per County Land Use: 50 d.u. / 6.8 Gross Acres = 340 d.u. max.	Residential: 340 d.u. Commercial: 4,717 SF	Residential: 340 d.u. (50 units per gross acres) Commercial: 4,717 SF
Net Building Area	N/A	210,855 SF (based on drawings done by others)	355,704.38 SF 566,559 SF
FAR (Gross Building Area)		No garage: 376,042 SF Garage: 607,169 SF	No garage: 635,006 SF (2.2 FAR) Garage: 856,133 SF (3.00 FAR)
Parking Garage Excluded Per ULDR Sec 47.2.2	R-6 : No requirement PDD: 3.0 MAX (288,089 X 3.0 = 864,267 SF)	258,954 SF (based on drawings done by others)	
Building Height (From Grade)	R-6 MAX: 15 STORIES (150'-0") PDD MAX: 300'	14 Stories (140'-8")	12 Stories (129'-4")
Setbacks			
NORTH	32'-0"	see overall	see overall
NORTH (Private Road)	32'-0"	see overall	29'-11"
WEST (I-95)	32'-0"	see overall	25'-9"
EAST (Interior)	32'-0"	see overall	14'-9"
EAST (Private Road)	32'-0"	see overall	5'-0"
SOUTH (Cypress Creek)	31'-0"	see overall	52'-10"
Building Footprint Coverage			
	288,089 SF * 4 = 115,236 SF (40%)	45,060 SF (14%)	61,813 SF (40%)
Open Space	2.26 FAR = 22 OPEN SPACE RATIO	42,188 SF (12%)	79,561 SF (51.2%)
Landscape Area	N/A	17,048 SF (12.9%)	51,492.54 SF (31.1%)
Structure Length			
Primary Pedestrian (Private Road)	N/A	240'-6"	206'-10"
Primary Pedestrian (Private Road)			270'-5"
Vehicle Use Area	N/A	15,611 (12%)	14,279 (9%)
LOADING	Provided	Provided	Required
	1		1

EXISTING USES (to remain)	Amount/SE	Required Parking Ratio (County Code for existing uses and ULDR for proposed uses)	Proposed Ratio under PDD (per parking study)
Hotel Rooms	298	3 per 4 rooms	223 spaces @ 0.67/room = 200 spaces*
Hotel Restaurant #1	4,000 sf	35% of 1 space per 50 sf of CSA CSA = 50% of gross sf 2,000 sf of CSA x 1space/50sf	14 spaces Included as accessory to hotel
Hotel Restaurant #2 (Lobby)	1,500 sf	35% of 1 space per 50 sf of CSA CSA = 50% of gross sf 750 sf of CSA x 1space/50sf	5 spaces Included as accessory to hotel
Hotel Restaurant #3 (Coffee Shop)	1,000 sf	35% of 1 space per 50 sf of CSA CSA = 50% of gross sf 500 sf of CSA x 1space/50sf	4 spaces Included as accessory to hotel
Kitchen Area	3,000 sf	included as accessory to hotel	0 spaces Included as accessory to hotel
Meeting space (assembly use)	22,021 sf	35% of 1 space per 200 sf	39 spaces Included as accessory to hotel
Retail (Hotel Gift Shop)	500 sf	35% of 1 space per 400 sf	0 spaces Included as accessory to hotel
		<b>SUBTOTAL EXISTING HOTEL:</b>	<b>285 spaces</b> <b>200 spaces</b>
PROPOSED USES:			
Affordable Studios/1 Bedroom	--		51 units @ 1.0/unit = 51 spaces**
Studios/1 Bedroom	188 units	@ 1.75/unit	329 spaces 137 units @ 1.75/unit = 240 spaces
2 Bedrooms	134 units	@ 2.0/unit	268 spaces 134 units @ 2.0/unit = 268 spaces
3 Bedrooms	18 units	@ 2.1/unit	38 spaces 18 units @ 2.1/unit = 38 spaces
Total	340 units		<b>635 spaces</b> <b>597 spaces</b>
Retail/Office	4,717 sf	@ 1/250sf	19 spaces 4,717 sf @ 1/250 sf = 19 spaces
		<b>SUBTOTAL RETAIL USES:</b>	<b>19 spaces</b> <b>19 spaces</b>
		<b>TOTAL REQUIRED:</b>	<b>940 spaces</b> <b>816 spaces</b>
		<b>TOTAL PARKING PROVIDED:</b>	<b>815 spaces in garage (surplus of 19 spaces)</b> (Standard 662 spaces; Compact 161 spaces***, ADA 13 spaces)
Bicycle Parking	340 units	N/A	155 bike racks

\* Parking reduction proposed pursuant to criteria in Sec. 47.20.3 (Parking reductions and exemptions)  
\*\* Parking reductions for multi-family affordable housing authorized by ULDR 47-20.3A.2.b.  
\*\*\* City code limits compact spaces to a max of 20% and minimum dimensions of 8'-8" x 16'

ZONING DATA

PHASE:  
PDD SUBMITTAL



DATE: 04/24/2023  
JOB NO.: 2021-54  
DRAWN BY: MC/DJ/AMV  
APPR BY: AMC  
PRINTED: 10/31/2023 11:10 PM

SHEET NUMBER:

**A-1.01**



**CORWIL ARCHITECTS**  
ARCHITECTS AT CORWIL GAMMA P.L.L.C.  
1000 UNIVERSITY BLVD, SUITE 1000  
FT. LAUDERDALE, FL 33304

**PROJECT:**  
**WESTINAURA CYPRESS CREEK**  
200 400 CORPORATE DR.  
FT. LAUDERDALE, FLORIDA 33334

**CLIENT:**  
**TRINIC**  
**TRINIC**  
**RESIDENTIAL GROUP**  
8235 Douglas Ave.  
Dallas, TX 75225

**RENDERINGS**

**PHASE:**  
**PDD SUBMITTAL**

**SEAL:**



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**DATE:** 04/24/2023  
**DESIGNER:** 2421-54  
**DRAWN BY:** AMV  
**CHECK BY:** AMC  
**PRINTED:** 10/9/2023 10:00:22 AM

**SHEET NUMBER:**

**A-0.11**



**NORTH PUBLIC PARK PEDESTRIAN VIEW**



**KEY PLAN**





NORTHWEST PEDESTRIAN VIEW



KEY PLAN



**CORWIL ARCHITECTS**  
SUITE 1000 AT CORAL CREEK Pk. 3030  
S.W. 11th AVE #1000 33304 FT. LAUDERDALE, FL 33304

**PROJECT:**  
**WESTINAURA CYPRESS CREEK**  
200, 400 CORPORATE DR.  
FT. LAUDERDALE, FLORIDA 33314

**OWNER:**  
**TRINIC**  
**TRINIC**  
**RESIDENTIAL GROUP**  
8235 Douglas Ave.  
Dallas, TX 75225

RENDERINGS

**PHASE:**  
**PDD SUBMITTAL**



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**DATE:** 04/24/2023  
**SCALE:** 2021-04  
**DESIGNED BY:** MC/DJ/AMV  
**APPROVED BY:** AMC  
**PRINTED:** 10/9/2023 10:00:12 AM

**SHEET NUMBER:**  
**A-0.03**





NORTHWEST PEDESTRIAN VIEW



**CORWIL ARCHITECTS**  
1115 LAGUNA AT CORAL GABLES PL, 3014E  
FT. LAUDERDALE, FL 33304-1702

**PROJECT:**  
**WESTIN/AURA CYPRESS CREEK**  
200, 400 CORPORATE DR.  
FT. LAUDERDALE, FLORIDA 33334

**TRG**  
**TRINISIC**  
RESIDENTIAL GROUP  
8235 Douglas Ave.  
Dallas, TX 75225

RENDERINGS

**PHASE:**  
PDD SUBMITTAL

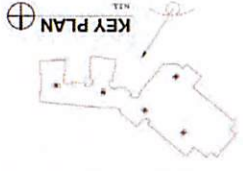


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**DATE:** 04/24/2023  
**DATE PLOTTED:** 28/2/24  
**DRAWN BY:** MC/DA/AMV  
**CHECKED BY:** AMC  
**PRINTED:** 15/02/2023 10:00:21 AM

**SHEET NUMBER:**  
**A-0.09**





SOUTH VIEW

# A-0.04

SHEET NUMBER  
DATE: 04/11/2023  
DRAWN BY: MCF/ALM  
CHECKED BY: ALM  
SCALE: AS SHOWN  
PROJECT: WESTIN/AURA CYPRESS  
LOCATION: 8235 DOUGLAS AVE., DALLAS, TX 75225



PDD SUBMITTAL

RENDERINGS

PROJECT:  
WESTIN/AURA CYPRESS  
305.400 CORPORATE DR.  
CREEK  
FT. LAUDERDALE, FLORIDA 33331  
OWNER:  
TRINIC  
RESIDENTIAL GROUP  
8235 DOUGLAS AVE.  
DALLAS, TX 75225  
CORWILL ARCHITECTS  
10100 KAPLAN BLVD. SUITE 200  
DALLAS, TEXAS 75243





CORWIL ARCHITECTS  
4210 LA GARA ST CORAL GABLES FL 33146  
LIC. NO. AA-C0023781 T.0004467383

PROJECT:  
WESTINAURA CYPRESS  
CREEK  
200, 400 CORPORATE DR.  
FT. LAUDERDALE, FLORIDA 33334

OWNER:



8235 Douglas Ave.  
Dallas, TX 75225

PUBLIC AND PRIVATE SPACES

PHASE:  
PDD SUBMITTAL

SCALE:

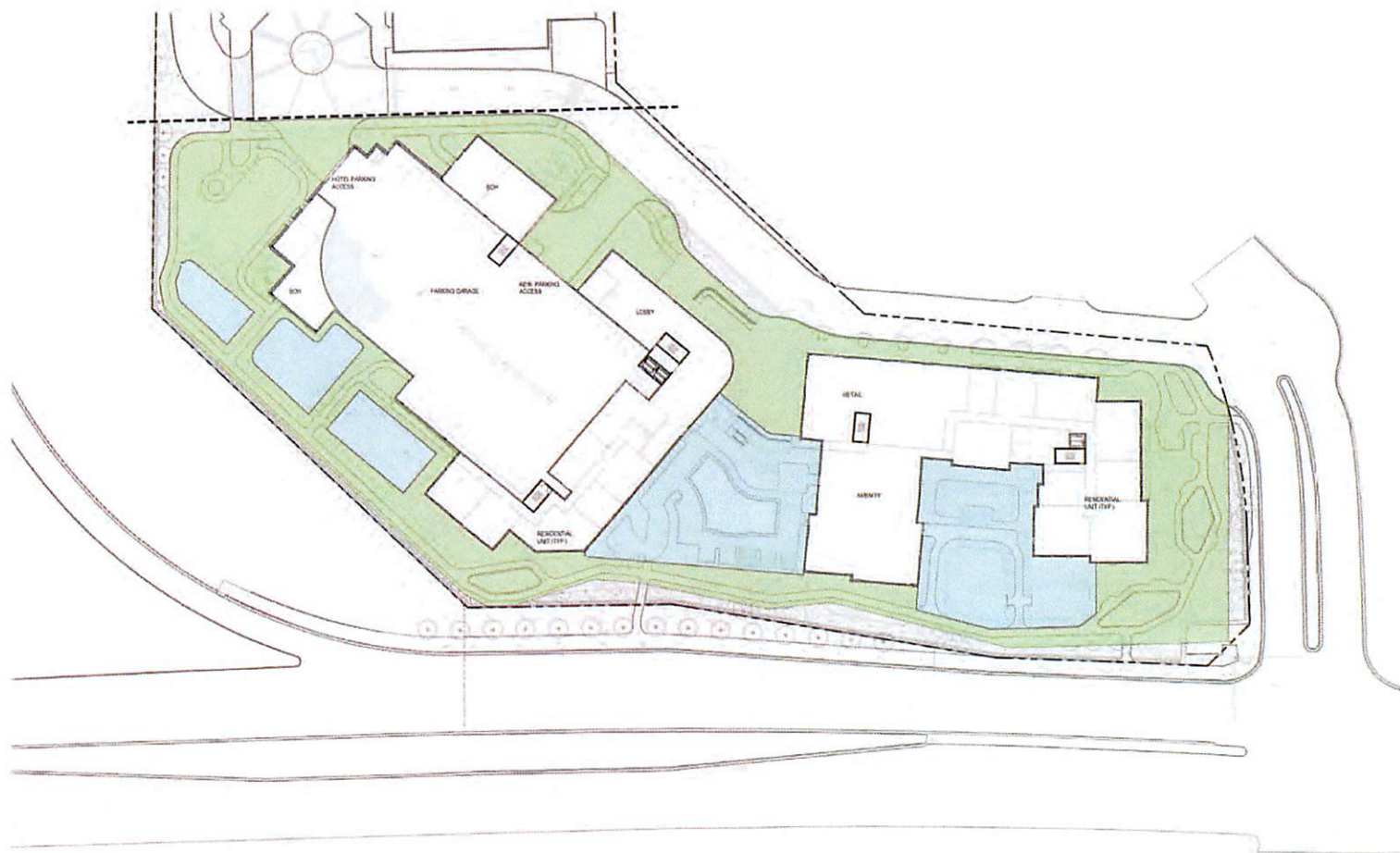


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WILL NOT BE TRANSMITTED TO ANY OTHER PARTY WITHOUT  
AS NOTED TO BY THE ARCHITECT'S FIRM/SELF.

DATE: 04/24/2023  
DSC BY: 2021:54  
DRAWN BY: GF  
AREA BY: AMC  
PRINTED: 10/5/2023 10:08:28 AM

SHEET NUMBER:

A-1.10



**PUBLIC & PRIVATE SPACES**

- PRIVATE RESIDENTIAL SPACE
- PUBLIC SPACE





CORWIL ARCHITECTS  
AUTOMATA & CURIAL GARIBAY PL. 3018  
400 N. GILMAN AVENUE SUITE 100 DALLAS, TX 75204

PROJECT:  
WESTINAURA CYPRESS  
CREEK  
200, 400 CORPORATE DR.  
FT. LAUDERDALE, FLORIDA 33334



8235 Douglas Ave.  
Dallas, TX 75225

PARCEL B - 2nd LEVEL FLOOR PLAN

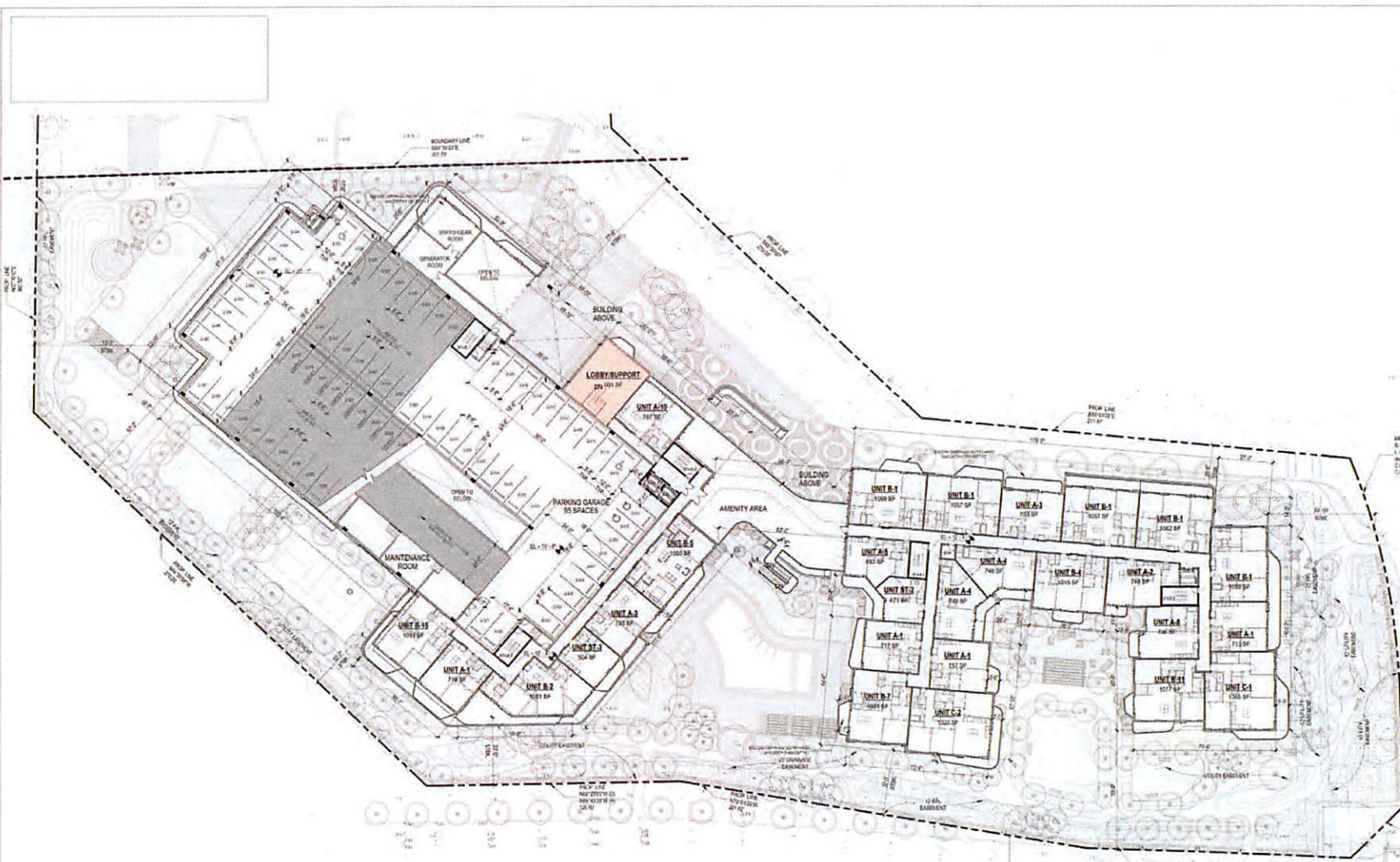
PHASE:  
PDD SUBMITTAL

SEAL

DATE: 04/24/2023  
DRAWN BY: MC/DJ/AMV/GF  
CHECKED BY: AMC  
PRINTED: 10/02/23 10:02:16 AM

SHEET NUMBER:

A-2.01



2nd LEVEL FLOOR PLAN

SCALE: 3/4" = 1'-0"

NOTE: Code compliant sprinkler system per Section 903 of the 2020 FBC will be used.





**CORWIL ARCHITECTS**  
300 EASTERN BLVD. SUITE 200 FT. LAUDERDALE, FL 33301  
TEL: 954-561-1111 FAX: 954-561-1112

**PROJECT:**  
**WESTINAURA CYPRESS CREEK**  
200, 400 CORPORATE DR.  
FT. LAUDERDALE, FLORIDA 33334

**OWNER:**  
**TRC**  
**TRINISIC RESIDENTIAL GROUP**  
8235 Douglas Ave.  
Dallas, TX 75225

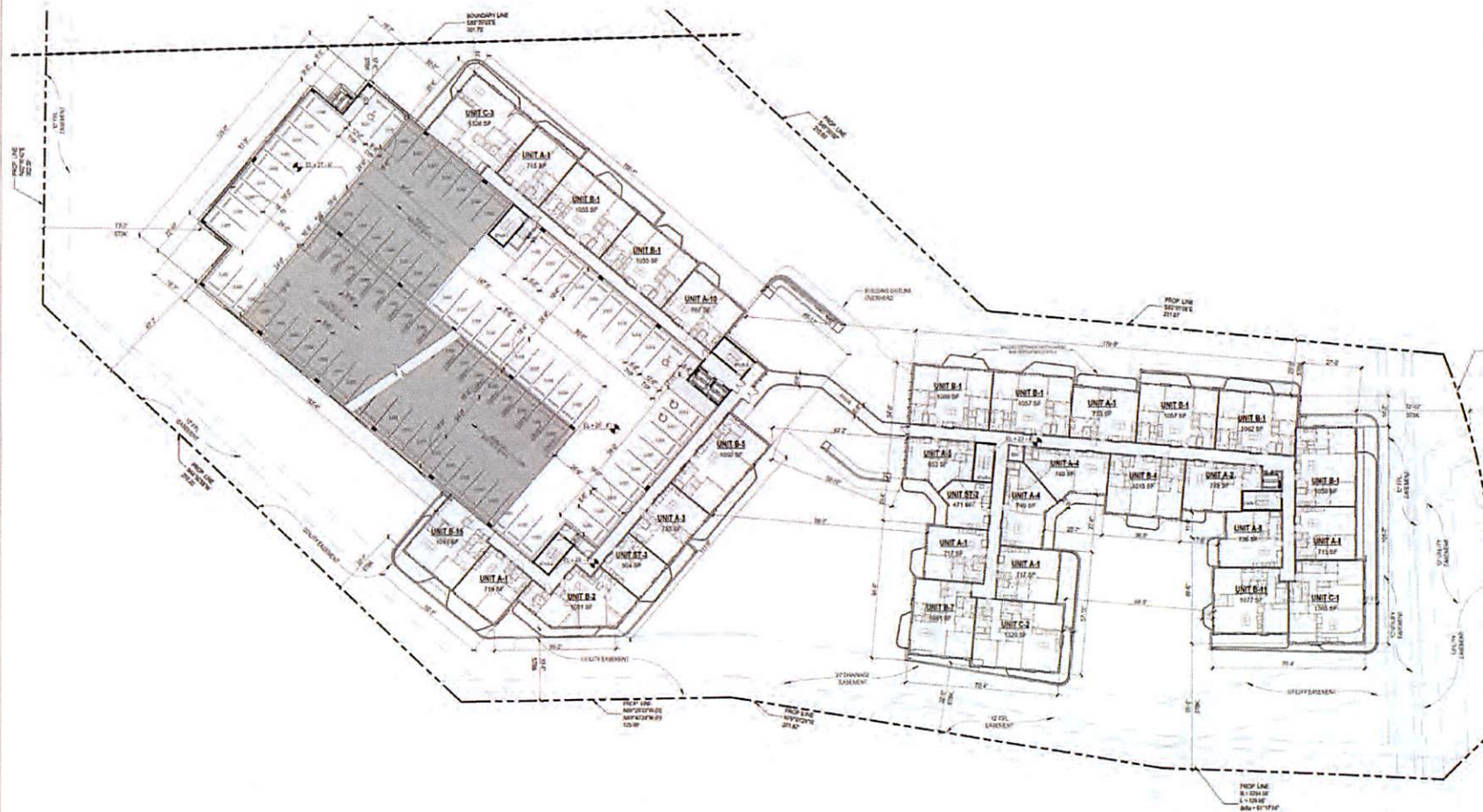
**PARCEL B - 3rd LEVEL FLOOR PLAN**

**PHASE:**  
**PDD SUBMITTAL**



**DATE:** 04/24/2023  
**DESIGNER:** 2822-54  
**DRAWN BY:** AMV  
**CHECK BY:** AMC  
**PRINTED:** 10/5/2023 10:08:49 AM

**SHEET NUMBER:**  
**A-2.02**



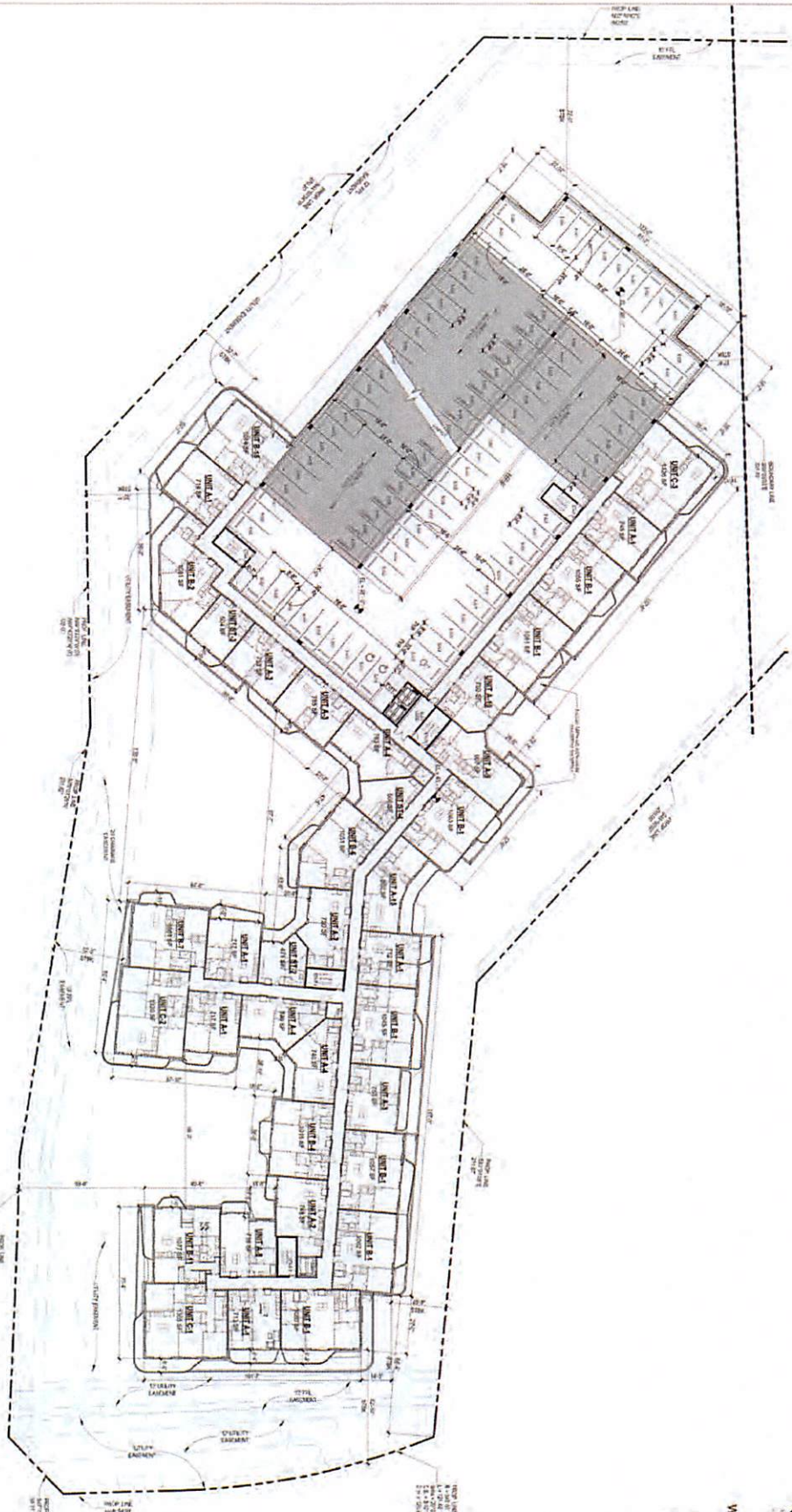
**3rd LEVEL FLOOR PLAN**

**SCALE:** 3/8" = 1'-0"

**NOTE:** Check compliant sprinkler system per Section 903 of the 2020 FBC will be used.







**5th - 6th LEVEL FLOOR PLAN**

SCALE: 1/8" = 1'-0"

NOTED: See corresponding elevations and Section 051 of the 2020 IBC with the owner.



**A-2.04**

DATE: 04/21/2022  
DRAWN BY: MC/DJ/AM/WG  
CHECKED BY: AMK  
PROJECT: 1908201 190819 748

DATE: 04/21/2022  
DRAWN BY: MC/DJ/AM/WG  
CHECKED BY: AMK  
PROJECT: 1908201 190819 748

**PARCEL B - 5th - 6th LEVEL FLOOR PLAN**

8235 Douglas Ave.  
Dallas, TX 75225

**TRINISIC**  
RESIDENTIAL GROUP

**WESTIN/AURA CYPRESS**  
300 AUSTIN  
FT. LAUDERDALE, FLORIDA 33311

**CORWILL ARCHITECTS**  
ARCHITECTS AT CORWILL GROUP, A SBA  
CORWILL GROUP, INC. (CORWILL GROUP)  
10000 W. CENTRAL EXPRESSWAY, SUITE 1000  
DALLAS, TEXAS 75243







**CORWIL ARCHITECTS**

10000 W. UNIVERSITY BLVD. SUITE 1000  
FORT LAUDERDALE, FL 33324

**PROJECT:**  
**WESTINAURA CYPRESS CREEK**  
200, 400 CORPORATE DR.  
FT. LAUDERDALE, FLORIDA 33324

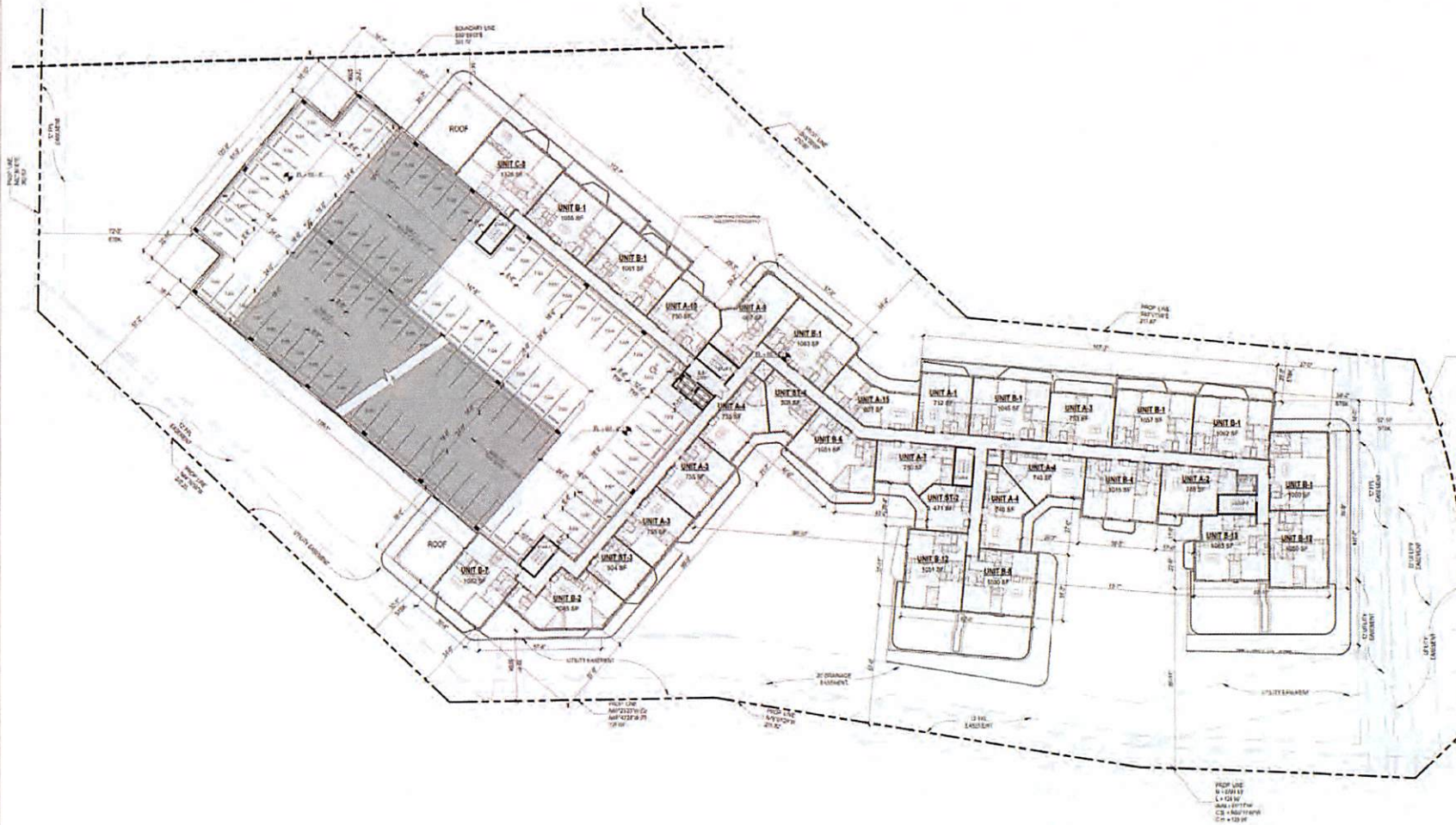
**OWNER:**  
**TRINISIC**  
RESIDENTIAL GROUP  
8235 Douglas Ave.  
Dallas, TX 75225

**PARCEL B - 7th LEVEL FLOOR PLAN**

**PHASE:**  
**PDD SUBMITTAL**

**DATE:** 04/24/2023  
**SCALE:** 3/8" = 1'-0"  
**DRAWN BY:** MC/DJ/AMV/GF  
**AREA BY:** AMC  
**PRINTED:** 10/05/2023 10:05:30 AM

**SHEET NUMBER:**  
**A-2.05**



**6th - 7th LEVEL FLOOR PLAN**

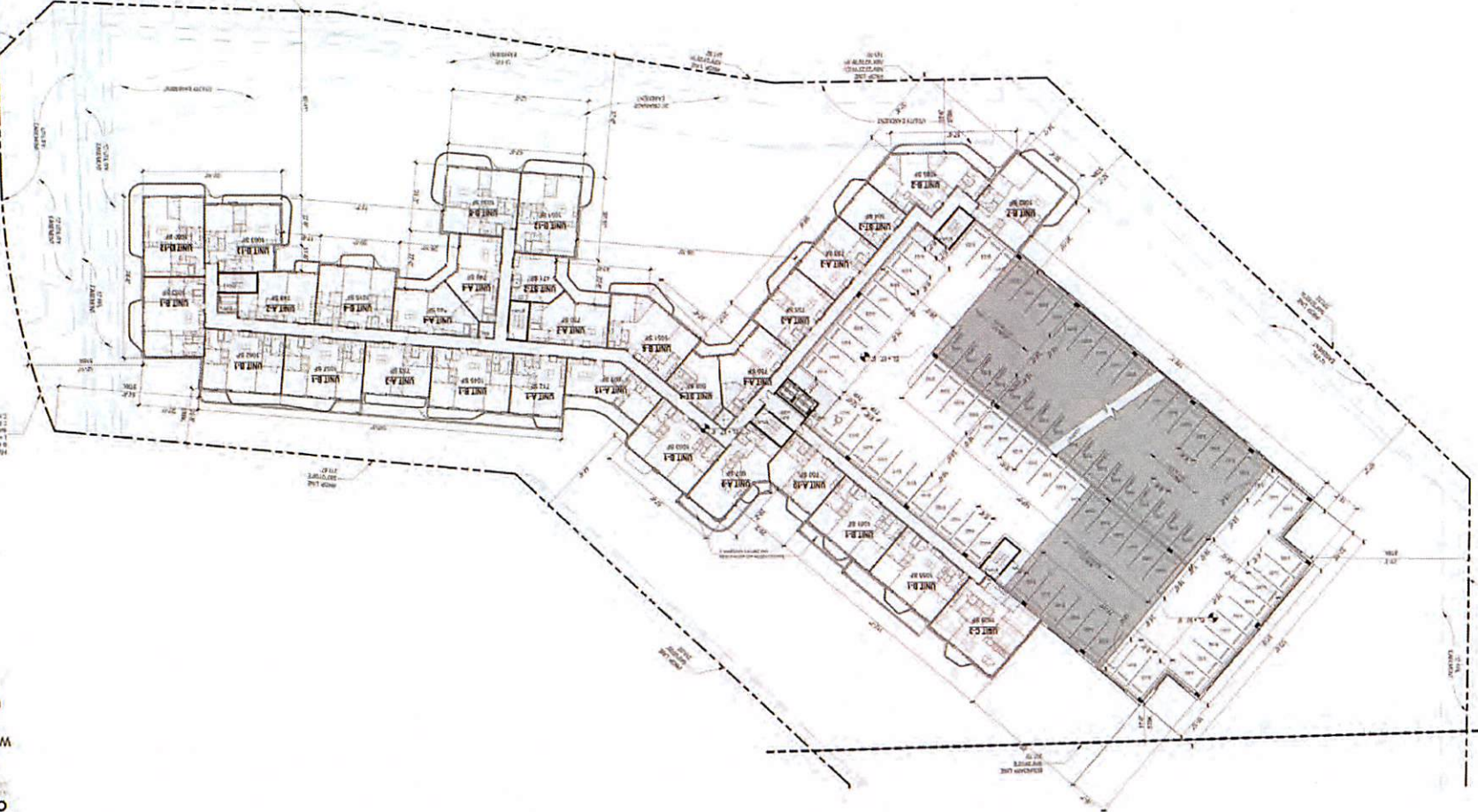
**SCALE: 3/8" = 1'-0"**

**NOTE:** Code compliant sprinkler system per Section 903 of the 2020 FBC will be used.

### 8th - 9th LEVEL FLOOR PLAN



SCALE: 3/8" = 1'-0"  
NOTE: Check component number system per Section 003 of PD 2020 FDC and by view.



# A-2.06

SHEET NUMBER:  
PROJECT: 1903023 HOUSTON 23 AM  
CLIENT: AMC  
DESIGNER: MC/DAL/AM/06  
DATE: 04/27/2023  
TIME: 10:58 AM

PDD SUBMITTAL

## PARCEL B - 8th - 9th LEVEL FLOOR PLAN

PROJECT: WESTIN/AURA CYPRESS CREEK  
200 400 CONFRATE DR  
FT. LAUDERDALE, FLORIDA 33311  
OWNER:  
TRINISIC RESIDENTIAL GROUP  
2835 Doughty Ave.  
DALLAS, TX 75225







**CORWIL ARCHITECTS**  
 4301 PALM BLVD. SUITE 200  
 FT. LAUDERDALE, FL 33309

**PROJECT:**  
**WESTIN/AURA CYPRESS CREEK**  
 200, 400 CORPORATE DR.  
 FT. LAUDERDALE, FLORIDA 33334

**OWNER:**  
**TRINIC**  
**RESIDENTIAL GROUP**  
 8235 Douglas Ave.  
 Dallas, TX 75225

**PARCEL B - 10th LEVEL FLOOR PLAN**

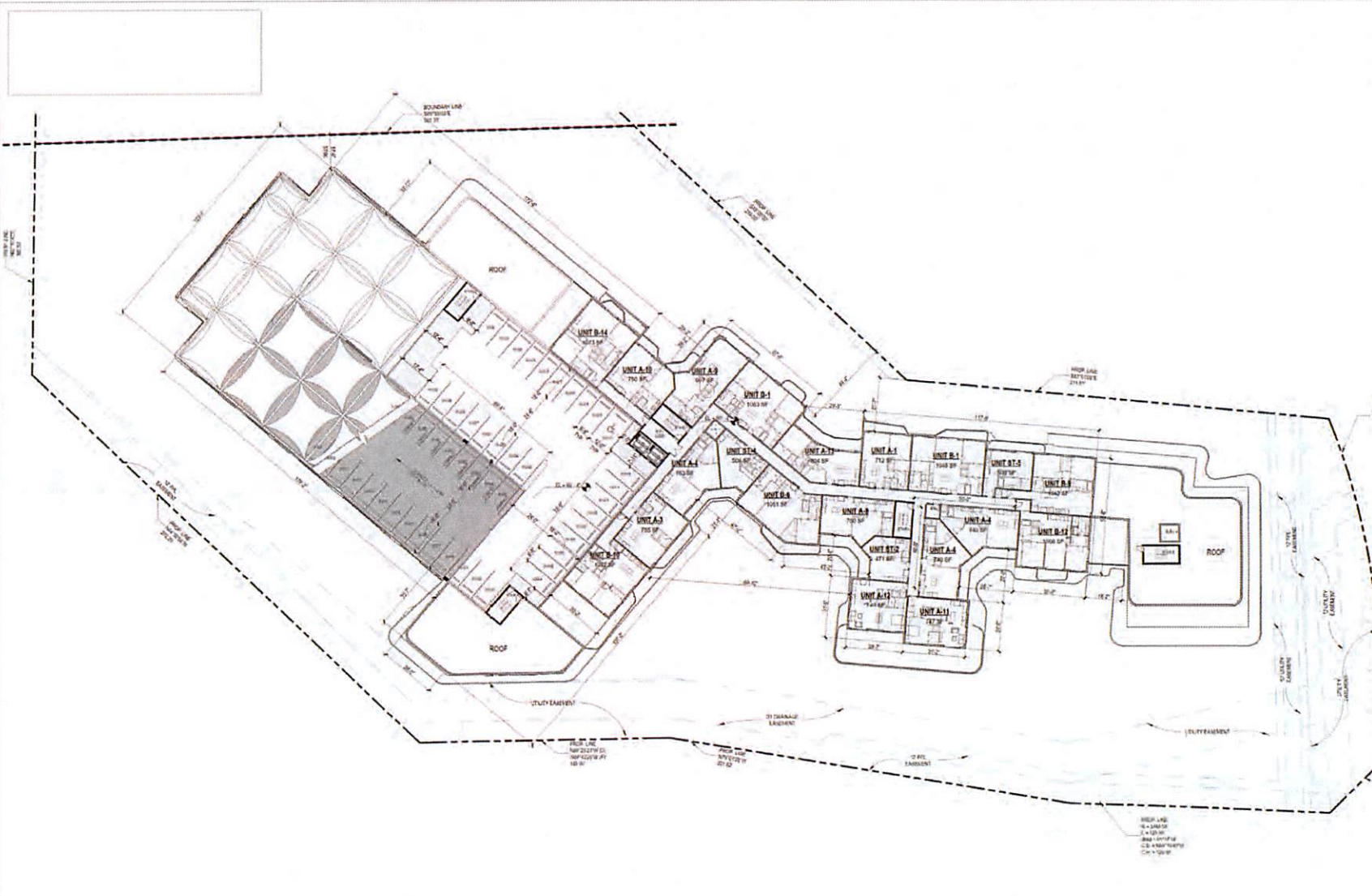
**PHASE:**  
**PDD SUBMITTAL**

**SCALE:**  
 1/8" = 1'-0"

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**DATE:** 04/24/2023  
**DESIGNER:** 2821.54  
**DRAWING BY:** MC/DA/AMV/OF  
**APPROVED BY:** AMC  
**PRINTED:** 10/02/2023 10:07:25 AM

**SHEET NUMBER:**  
**A-2.07**



**10th LEVEL FLOOR PLAN**

**SCALE:** 3/8" = 1'-0"  
 NOTE: Code compliant sprinkler system per Section 903 of the 2020 FBC will be used.



**CORWIL ARCHITECTS**  
 4302 LAKEWAY AL CORRAL GARDEN FL 33146  
 LIC NO: AA-43023 EXP 12/31/2024

**PROJECT:**  
**WESTIN/AURA CYPRESS CREEK**  
 200, 400 CORPORATE DR.  
 FT. LAUDERDALE, FLORIDA 33334

**OWNER:**  
  
**TRINISIC**  
 RESIDENTIAL GROUP  
 8235 Douglas Ave.  
 Dallas, TX 75225

**PARCEL B - 11th LEVEL FLOOR PLAN**

**PHASE:**  
**PDD SUBMITTAL**

**SCALE:**

**DATE:**

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**DATE:** 04/24/2023  
**DATE TYPED:** 2023.04  
**DESIGNED BY:** AMV/JOF  
**CHECKED BY:** AMC  
**DATE PLOTTED:** 10/02/2023 10:07:45 AM

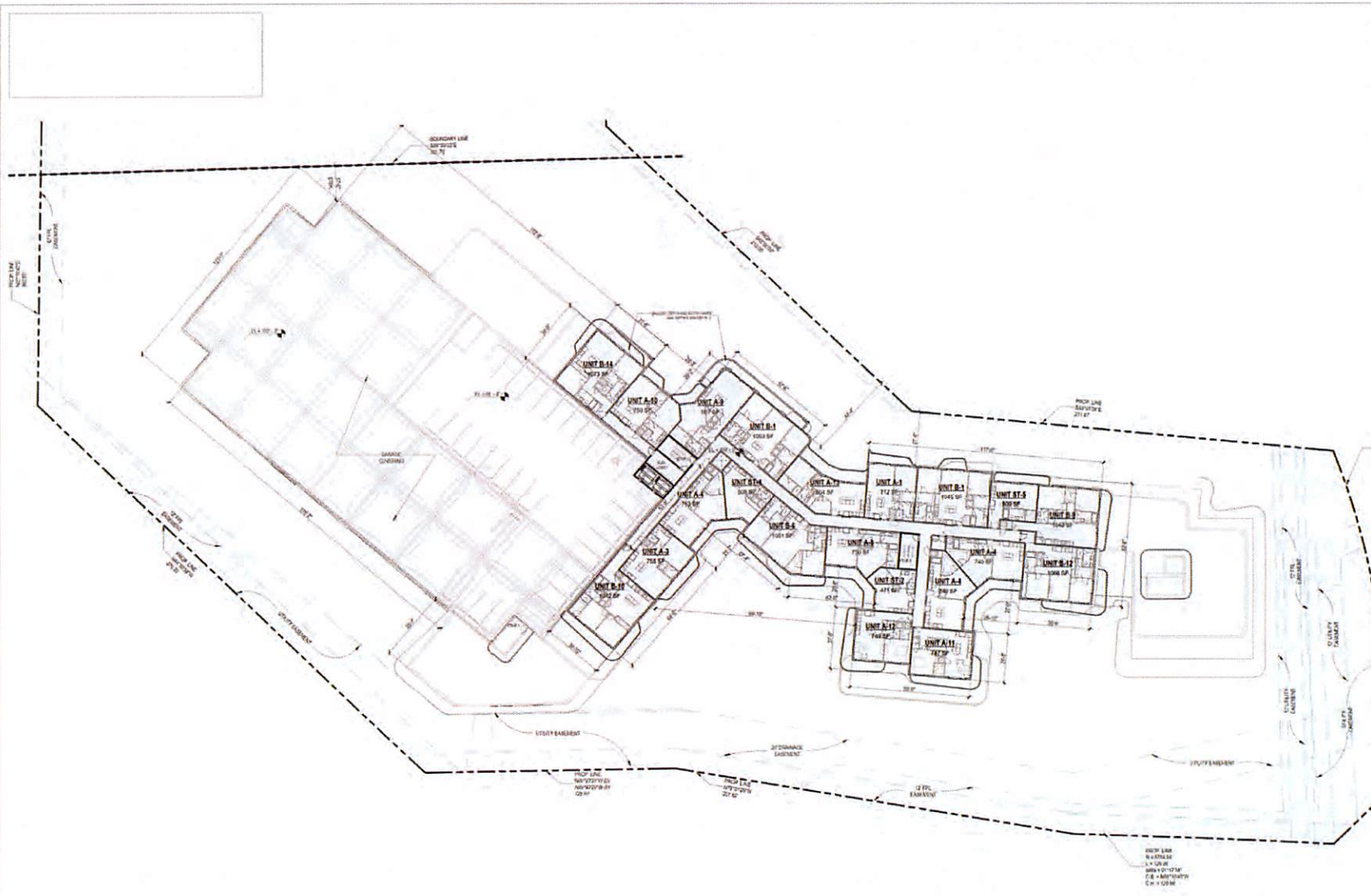
**SHEET NUMBER:**

**A-2.08**

**10th - 11th LEVEL FLOOR PLAN**

**SCALE: 3/16" = 1'-0"**

**NOTE:** Code compliant sprinkler system per Section 903 of the 2020 FBC will be used.





CORWIL ARCHITECTS  
11515 PALM BLVD, SUITE 200, FT. LAUDERDALE, FL 33325  
TEL: 954.487.1111 FAX: 954.487.1112

PROJECT:  
WESTINAURA CYPRESS  
CREEK  
300, 400 CORPORATE DR.  
FT. LAUDERDALE, FLORIDA 33334

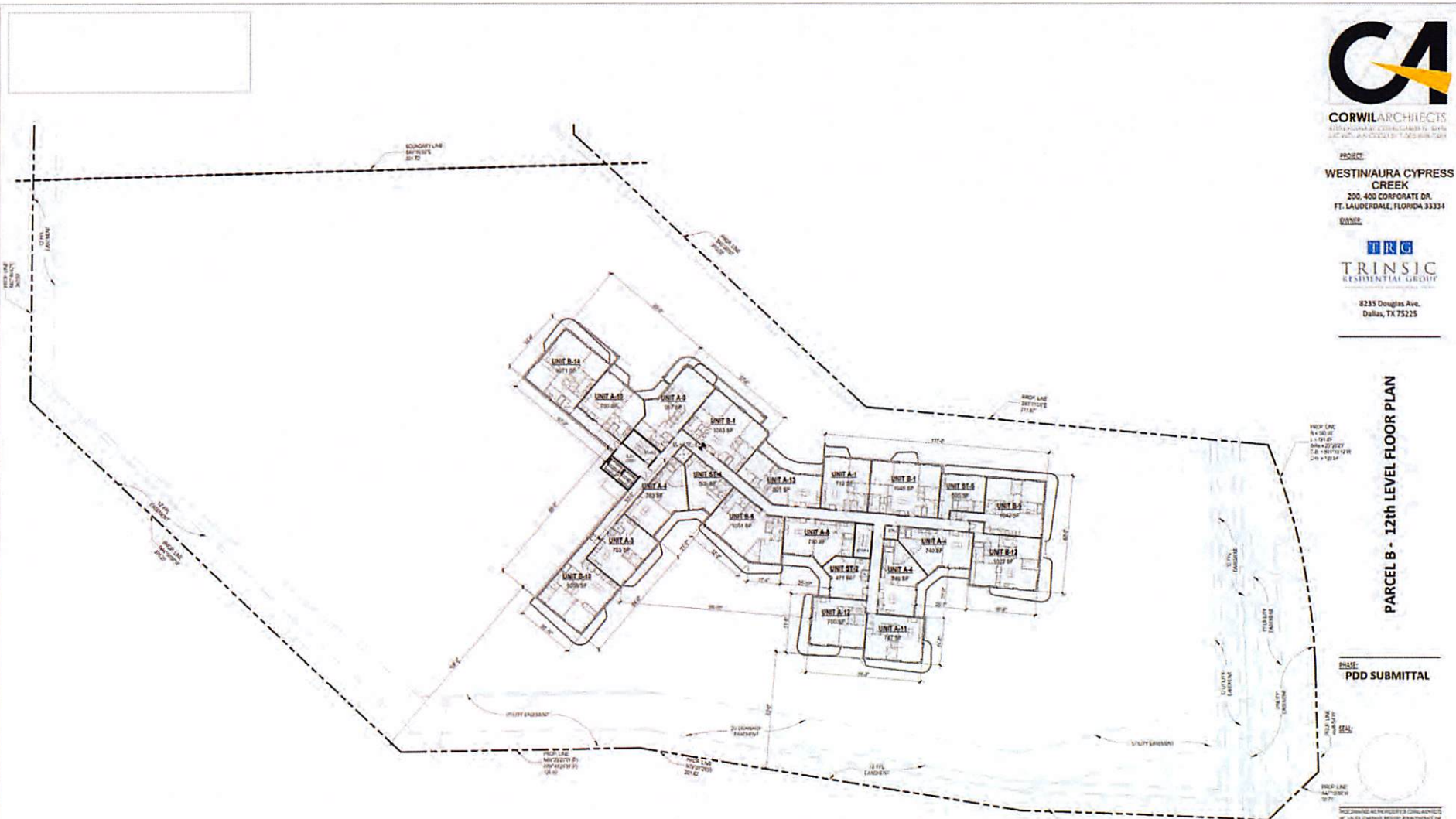
OWNER:  
 TRINISIC  
RESIDENTIAL GROUP  
8235 Douglas Ave.  
Dallas, TX 75225

PARCEL B - 12th LEVEL FLOOR PLAN

PHASE:  
PDD SUBMITTAL

DATE: 04/24/2023  
SCALE: 3/4" = 1'-0"  
DRAWN BY: MC/DJ/AMV/OF  
CHECK BY: AMC  
PRINTED: 10/02/23 10:06:03 AM

SHEET NUMBER:  
**A-2.09**



12th LEVEL FLOOR PLAN

SCALE: 3/4" = 1'-0"  
NOTE: Code compliant sprinkler system per Section 903 of the 2020 FBC will be used.





**CORWIL ARCHITECTS**  
 4711 AURORA ST. CENTRAL EXPRESS # 33148  
 FT. LAUDERDALE, FL 33309-1511 | 352.448.7383

**PROJECT:**  
**WESTIN/AURA CYPRESS CREEK**  
 200, 400 CORPORATE DR.  
 FT. LAUDERDALE, FLORIDA 33314

**OWNER:**  
**TRG TRINSIC RESIDENTIAL GROUP**  
 8235 Douglas Ave.  
 Dallas, TX 75225



**NORTHEAST ELEVATION**

**NORTHEAST ELEVATION**

SCALE: 1/16" = 1'-0"

ELEVATION LEGEND	
1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	9 IMPACT RESISTANT METAL DOOR
2 CONCRETE EYEBROW/PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.	10 STAIR/ELEVATORS BULKHEAD
3 BALCONY/TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS.	11 SLIDING GLASS DOOR ALUMINUM FRAME & IMPACT RESISTANT GLASS (TYP.)
4 42" HT. A.S.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRUNZÉ FINISH	12 ARTIFICIAL GREEN SCREEN
5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL ALUMINUM FRAME & IMPACT RESISTANT GLASS (TYP.)	13 DECORATIVE PERFORATED ALUMINUM SCREEN
6 5' HIGH A.F.F. PARAPET WALL	14 FABRIC SHADING STRUCTURE
7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)	15 PROPOSED SIGNAGE LOCATIONS
	16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH
	17 FLEXSCREEN
	18 HANGING GARDEN FEATURE

NOTE: ELEVATIONS AT 0'-0" AS REFERENCED ON THESE PLANS = 0'-0" NAVD



PLASTER FINISH (WHITE)



ALUMINUM FRAMES (DARK BRONZE)



PLASTER FINISH (COLOR)



PERFORATED ALUMINUM SCREEN



FABRIC SHADING STRUCTURE



ALUMINUM PICKET RAILING



FLEXSCREEN GARAGE SCREEN

NOTE: MATERIAL MANUFACTURER TBD



KEY PLAN

**PHASE:**  
 PDD SUBMITTAL



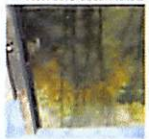
DATE: 04/24/2023  
 TIME: 10:08:37 AM  
 DRAWN BY: MC/DA/AMV  
 APPROVED BY: AMC  
 PRINTED: 10/6/2023 10:08:37 AM

**SHEET NUMBER:**  
**A-3.00**

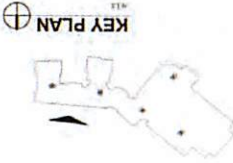


NOTE: ELEVATIONS AT 0-2' ARE REFERENCED ON THESE PLANS 4'-0" HORIZ.

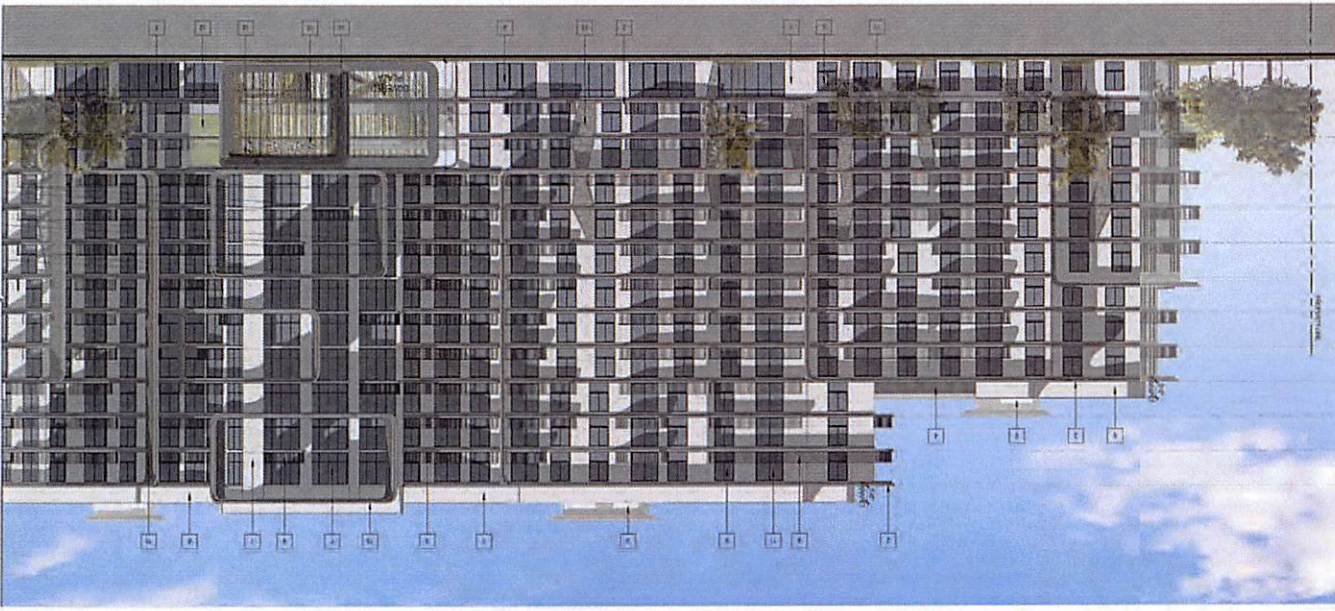
ELEVATION LEGEND	
1	LIGHT TEXTURE CONVENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)
2	CONCRETE OVERBROW/PANJEL STAILOPED TO EXTENSION W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DIMS.
3	RALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL DRAWINGS.
4	4" H.A.F.F. HIGH ALUMINUM PICKET FINISH WITH DARK BRONZE FINISH
5	HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS (TYP.)
6	9" HIGH A.F.F. PAPERET WALL SYSTEM (TYP.)
7	IMPACT RESISTANT ALUMINUM STOREFRONT
8	IMPACT RESISTANT METAL DOOR
9	STAIR/ELEVATORS BULKHEAD
10	GAUGE ENTRANCE
11	SLIDING GLASS DOOR ALUMINUM FRAME & IMPACT RESISTANT GLASS (TYP.)
12	ARTIFICIAL GREEN SCREEN
13	DECORATIVE PERFORATED ALUMINUM SCREEN
14	FABRIC SHADING STRUCTURE
15	PROPOSED SHADING LOCATION
16	DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH
17	FLEXSCREEN
18	HANGING GARDEN FEATURE



NOTE: MATERIAL MANUFACTURER T.B.D.



NORTH ELEVATION  
 SCALE: 1/8" = 1'-0"



LEVEL	ELEVATION	FINISH
Level 12	EL. +119'-0"	CONCRETE
Level 11	EL. +108'-0"	CONCRETE
Level 10	EL. +97'-0"	CONCRETE
Level 9	EL. +86'-0"	CONCRETE
Level 8	EL. +75'-0"	CONCRETE
Level 7	EL. +64'-0"	CONCRETE
Level 6	EL. +53'-0"	CONCRETE
Level 5	EL. +42'-0"	CONCRETE
Level 4	EL. +31'-0"	CONCRETE
Level 3	EL. +20'-0"	CONCRETE
Level 2	EL. +9'-0"	CONCRETE
Level 1	EL. -2'-0"	CONCRETE
Level 0	EL. -11'-0"	CONCRETE
Level -1	EL. -22'-0"	CONCRETE
Level -2	EL. -33'-0"	CONCRETE
Level -3	EL. -44'-0"	CONCRETE
Level -4	EL. -55'-0"	CONCRETE
Level -5	EL. -66'-0"	CONCRETE
Level -6	EL. -77'-0"	CONCRETE
Level -7	EL. -88'-0"	CONCRETE
Level -8	EL. -99'-0"	CONCRETE
Level -9	EL. -110'-0"	CONCRETE
Level -10	EL. -121'-0"	CONCRETE
Level -11	EL. -132'-0"	CONCRETE
Level -12	EL. -143'-0"	CONCRETE
Level -13	EL. -154'-0"	CONCRETE
Level -14	EL. -165'-0"	CONCRETE
Level -15	EL. -176'-0"	CONCRETE
Level -16	EL. -187'-0"	CONCRETE
Level -17	EL. -198'-0"	CONCRETE
Level -18	EL. -209'-0"	CONCRETE
Level -19	EL. -220'-0"	CONCRETE
Level -20	EL. -231'-0"	CONCRETE
Level -21	EL. -242'-0"	CONCRETE
Level -22	EL. -253'-0"	CONCRETE
Level -23	EL. -264'-0"	CONCRETE
Level -24	EL. -275'-0"	CONCRETE
Level -25	EL. -286'-0"	CONCRETE
Level -26	EL. -297'-0"	CONCRETE
Level -27	EL. -308'-0"	CONCRETE
Level -28	EL. -319'-0"	CONCRETE
Level -29	EL. -330'-0"	CONCRETE
Level -30	EL. -341'-0"	CONCRETE
Level -31	EL. -352'-0"	CONCRETE
Level -32	EL. -363'-0"	CONCRETE
Level -33	EL. -374'-0"	CONCRETE
Level -34	EL. -385'-0"	CONCRETE
Level -35	EL. -396'-0"	CONCRETE
Level -36	EL. -407'-0"	CONCRETE
Level -37	EL. -418'-0"	CONCRETE
Level -38	EL. -429'-0"	CONCRETE
Level -39	EL. -440'-0"	CONCRETE
Level -40	EL. -451'-0"	CONCRETE
Level -41	EL. -462'-0"	CONCRETE
Level -42	EL. -473'-0"	CONCRETE
Level -43	EL. -484'-0"	CONCRETE
Level -44	EL. -495'-0"	CONCRETE
Level -45	EL. -506'-0"	CONCRETE
Level -46	EL. -517'-0"	CONCRETE
Level -47	EL. -528'-0"	CONCRETE
Level -48	EL. -539'-0"	CONCRETE
Level -49	EL. -550'-0"	CONCRETE
Level -50	EL. -561'-0"	CONCRETE
Level -51	EL. -572'-0"	CONCRETE
Level -52	EL. -583'-0"	CONCRETE
Level -53	EL. -594'-0"	CONCRETE
Level -54	EL. -605'-0"	CONCRETE
Level -55	EL. -616'-0"	CONCRETE
Level -56	EL. -627'-0"	CONCRETE
Level -57	EL. -638'-0"	CONCRETE
Level -58	EL. -649'-0"	CONCRETE
Level -59	EL. -660'-0"	CONCRETE
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Level -62	EL. -693'-0"	CONCRETE
Level -63	EL. -704'-0"	CONCRETE
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Level -66	EL. -737'-0"	CONCRETE
Level -67	EL. -748'-0"	CONCRETE
Level -68	EL. -759'-0"	CONCRETE
Level -69	EL. -770'-0"	CONCRETE
Level -70	EL. -781'-0"	CONCRETE
Level -71	EL. -792'-0"	CONCRETE
Level -72	EL. -803'-0"	CONCRETE
Level -73	EL. -814'-0"	CONCRETE
Level -74	EL. -825'-0"	CONCRETE
Level -75	EL. -836'-0"	CONCRETE
Level -76	EL. -847'-0"	CONCRETE
Level -77	EL. -858'-0"	CONCRETE
Level -78	EL. -869'-0"	CONCRETE
Level -79	EL. -880'-0"	CONCRETE
Level -80	EL. -891'-0"	CONCRETE
Level -81	EL. -902'-0"	CONCRETE
Level -82	EL. -913'-0"	CONCRETE
Level -83	EL. -924'-0"	CONCRETE
Level -84	EL. -935'-0"	CONCRETE
Level -85	EL. -946'-0"	CONCRETE
Level -86	EL. -957'-0"	CONCRETE
Level -87	EL. -968'-0"	CONCRETE
Level -88	EL. -979'-0"	CONCRETE
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Level -90	EL. -1001'-0"	CONCRETE
Level -91	EL. -1012'-0"	CONCRETE
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Level -93	EL. -1034'-0"	CONCRETE
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Level -97	EL. -1078'-0"	CONCRETE
Level -98	EL. -1089'-0"	CONCRETE
Level -99	EL. -1100'-0"	CONCRETE
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Level -127	EL. -1408'-0"	CONCRETE
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Level -131	EL. -1452'-0"	CONCRETE
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Level -133	EL. -1474'-0"	CONCRETE
Level -134	EL. -1485'-0"	CONCRETE
Level -135	EL. -1496'-0"	CONCRETE
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Level -137	EL. -1518'-0"	CONCRETE
Level -138	EL. -1529'-0"	CONCRETE
Level -139	EL. -1540'-0"	CONCRETE
Level -140	EL. -1551'-0"	CONCRETE
Level -141	EL. -1562'-0"	CONCRETE
Level -142	EL. -1573'-0"	CONCRETE
Level -143	EL. -1584'-0"	CONCRETE
Level -144	EL. -1595'-0"	CONCRETE
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Level -147	EL. -1628'-0"	CONCRETE
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Level -149	EL. -1650'-0"	CONCRETE
Level -150	EL. -1661'-0"	CONCRETE
Level -151	EL. -1672'-0"	CONCRETE
Level -152	EL. -1683'-0"	CONCRETE
Level -153	EL. -1694'-0"	CONCRETE
Level -154	EL. -1705'-0"	CONCRETE
Level -155	EL. -1716'-0"	CONCRETE
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Level -172	EL. -1903'-0"	CONCRETE
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Level -178	EL. -1969'-0"	CONCRETE
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Level -181	EL. -2002'-0"	CONCRETE
Level -182	EL. -2013'-0"	CONCRETE
Level -183	EL. -2024'-0"	CONCRETE
Level -184	EL. -2035'-0"	CONCRETE
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Level -191	EL. -2112'-0"	CONCRETE
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Level -193	EL. -2134'-0"	CONCRETE
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Level -195	EL. -2156'-0"	CONCRETE
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Level -197	EL. -2178'-0"	CONCRETE
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Level -199	EL. -2200'-0"	CONCRETE
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Level -201	EL. -2222'-0"	CONCRETE
Level -202	EL. -2233'-0"	CONCRETE
Level -203	EL. -2244'-0"	CONCRETE
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Level -205	EL. -2266'-0"	CONCRETE
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Level -210	EL. -2321'-0"	CONCRETE
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Level -212	EL. -2343'-0"	CONCRETE
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Level -225	EL. -2486'-0"	CONCRETE
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Level -230	EL. -2541'-0"	CONCRETE
Level -231	EL. -2552'-0"	CONCRETE
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Level -233	EL. -2574'-0"	CONCRETE
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Level -235	EL. -2596'-0"	CONCRETE
Level -236	EL. -2607'-0"	CONCRETE
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Level -238	EL. -2629'-0"	CONCRETE
Level -239	EL. -2640'-0"	CONCRETE
Level -240	EL. -2651'-0"	CONCRETE
Level -241	EL. -2662'-0"	CONCRETE
Level -242	EL. -2673'-0"	CONCRETE
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Level -249	EL. -2750'-0"	CONCRETE
Level -250	EL. -2761'-0"	CONCRETE
Level -251	EL. -2772'-0"	CONCRETE
Level -252	EL. -2783'-0"	CONCRETE
Level -253	EL. -2794'-0"	CONCRETE
Level -254	EL. -28	





**CORWIL ARCHITECTS**  
 1001 LAMAR ST. SUITE 1000, DALLAS, TX 75202  
 TEL: 214.760.0000 FAX: 214.760.0001

**PROJECT:**  
**WESTINAURA CYPRESS CREEK**  
 200, 400 CORPORATE DR.  
 FT. LAUDERDALE, FLORIDA 33334

**OWNER:**



8235 Douglas Ave.  
 Dallas, TX 75225

**EAST ELEVATION**



**EAST ELEVATION**  
 SCALE: 1/16" = 1'-0"

ELEVATION LEGEND	
1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)	8 IMPACT RESISTANT METAL DOOR
2 CONCRETE EYEBROW PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.	9 STAIR/ELEVATORS BULKHEAD
3 BALCONY/TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS.	10 GARAGE ENTRANCE
4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH	11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS, (TYP.)
5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS, (TYP.)	12 ARTIFICIAL GREEN SCREEN
6 5' HIGH A.F.F. PARAPET WALL	13 DECORATIVE PERFORATED ALUMINUM SCREEN
7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)	14 FABRIC SHADING STRUCTURE
	15 PROPOSED SIGNAGE LOCATIONS
	16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH
	17 FLEXSCREEN
	18 HANGING GARDEN FEATURE

NOTE: ELEVATIONS AT 0'-0" AS REFERENCED ON THESE PLANS + 8'-0" NAVD



PLASTER FINISH (WHITE)

ALUMINUM FRAMES (DARK BRONZE)



PLASTER FINISH (COLOR)

PERFORATED ALUMINUM SCREEN



FABRIC SHADING STRUCTURE

ALUMINUM PICKET RAILING

NOTE: MATERIAL MANUFACTURER T.B.D.



FLEXSCREEN



**KEY PLAN**

PHASE:  
**PDD SUBMITTAL**



THIS DRAWING AND THE PROJECT'S CONSTRUCTION SHALL BE UNDER THE CLOSE PERSONAL SUPERVISION AND CONTROL OF THE LICENSED PROFESSIONAL ARCHITECTS WHOSE NAMES AND SEALS ARE AFFIXED HEREON. NO OTHER ARCHITECTS SHALL BE PERMITTED TO SIGN OR SEAL ANY PART OF THIS DRAWING.

DATE: 04/24/2023  
 DRAWN BY: MC/DJ/AMV  
 APPR BY: AMC  
 PRINTED: 10/8/2023 10:08:47 AM

SHEET NUMBER:  
**A-3.02**





**CORWIL ARCHITECTS**  
 1015 LAUREL ST. CORAL GABLES, FL 33134  
 305.461.4400 FAX 305.461.4403

**PROJECT:**  
**WESTIN/AURA CYPRESS CREEK**  
 200, 400 CORPORATE DR.  
 FT. LAUDERDALE, FLORIDA 33324

**OWNER:**



8235 Douglas Ave.  
 Dallas, TX 75225

SOUTH ELEVATION



**SOUTH ELEVATION**

SCALE: 1/16" = 1'-0"

**ELEVATION LEGEND**

- |   |  |
|---|--|
| 1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)  | 8 IMPACT RESISTANT METAL DOOR  |
| 2 CONCRETE EYEBROW PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.                   | 9 STAIR/ELEVATORS BULKHEAD   |
| 3 BALCONY/TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS. | 10 GARAGE ENTRANCE   |
| 4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH   | 11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.) |
| 5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)  | 12 ARTIFICIAL GREEN SCREEN   |
| 6 9" HIGH A.F.F. PARAPET WALL   | 13 DECORATIVE PERFORATED ALUMINUM SCREEN                               |
| 7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)  | 14 FABRIC SHADING STRUCTURE  |
|   | 15 PROPOSED SIGNAGE LOCATIONS  |
|   | 16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH                     |
|   | 17 FLEXSCREEN  |
|   | 18 HANGING GARDEN FEATURE  |

NOTE: ELEVATIONS AT 0'-0" AS REFERENCED ON THESE PLANS = 0'-0" NAVD



PLASTER FINISH (WHITE)  
 ALUMINUM FRAMES (DARK BRONZE)



PLASTER FINISH (COLOR)  
 PERFORATED ALUMINUM SCREEN



FABRIC SHADING STRUCTURE  
 ALUMINUM PICKET RAILING

NOTE: MATERIAL MANUFACTURER T.B.D.



FLEXSCREEN



**KEY PLAN**  
 N.E.L.

PHASE:  
 PDD SUBMITTAL

SCALE:



THIS DRAWING AND ANY POSSIBLE CONFLICTS THEREIN ARE THE SOLE RESPONSIBILITY OF THE ARCHITECT. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION AND DATA PROVIDED HEREIN. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT OR THE INFORMATION CONTAINED THEREIN.

DATE: 04/24/2023  
 DRAWN BY: MC/DJ/AMV  
 CHECKED BY: AMC  
 PRINTED: 10:05:23 10:05:50 AM

SHEET NUMBER:

**A-3.03**





**CORWIL ARCHITECTS**  
 3410 LAUREL AT CORAL GABLES FL 33134  
 P.O. BOX 10002133 FT. LAUDERDALE FL 33304

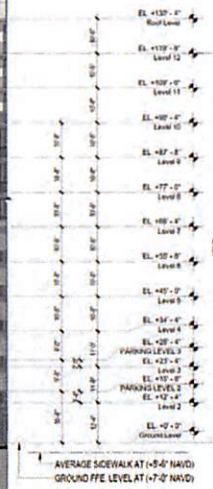
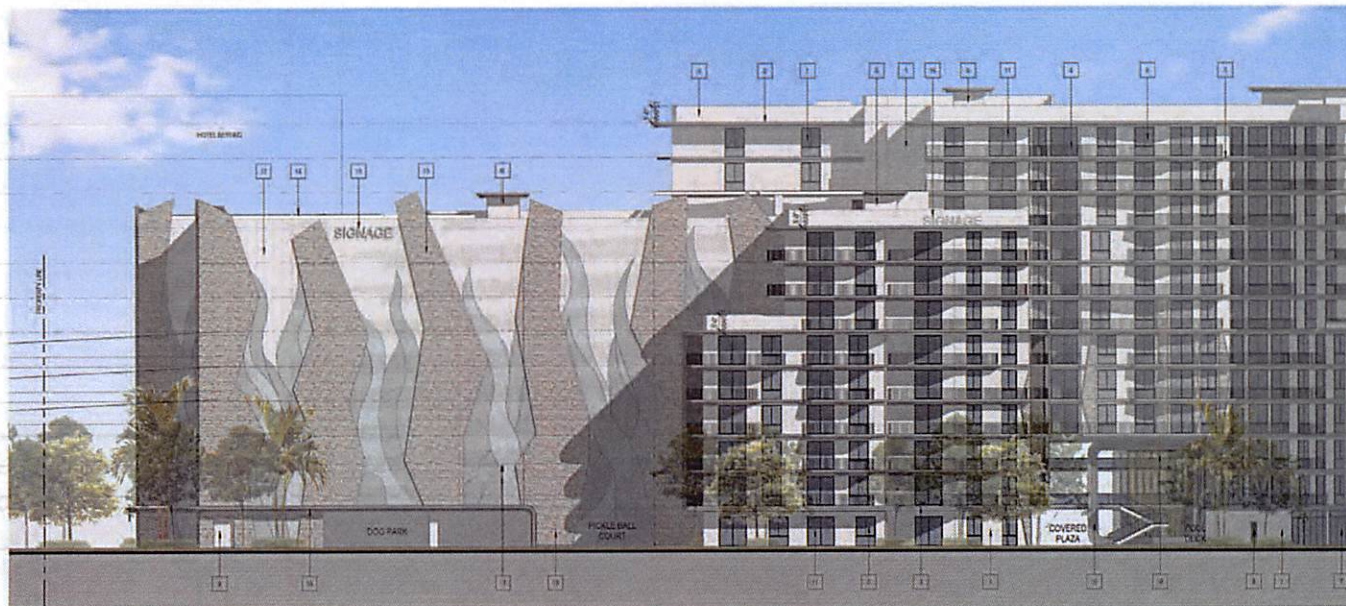
**PROJECT:**  
**WESTINAURA CYPRESS CREEK**  
 200, 400 CORPORATE DR.  
 FT. LAUDERDALE, FLORIDA 33334

**OWNER:**



8235 Douglas Ave.  
 Dallas, TX 75225

**SW GARAGE ELEVATION**



**SOUTHWEST GARAGE ELEVATION**

SCALE: 1/16" = 1'-0"

**ELEVATION LEGEND**

- |   |  |
|---|--|
| 1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)  | 8 IMPACT RESISTANT METAL DOOR  |
| 2 CONCRETE EYEBROW PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DIVOS.                  | 9 STAIR/ELEVATORS BULKHEAD   |
| 3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS. | 10 GARAGE ENTRANCE   |
| 4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH   | 11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS, (TYP.) |
| 5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS, (TYP.)  | 12 ARTIFICIAL GREEN SCREEN   |
| 6 5' HIGH A.F.F. PARAPET WALL   | 13 DECORATIVE PERFORATED ALUMINUM SCREEN                               |
| 7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)  | 14 FABRIC SHADING STRUCTURE  |
|   | 15 PROPOSED SIGNAGE LOCATIONS  |
|   | 16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH                     |
|   | 17 FLEXSCREEN  |
|   | 18 HANGING GARDEN FEATURE  |

NOTE: ELEVATIONS AT 0'-0" AS REFERENCED ON THESE PLANS = 8'-0" NAVD



ALUMINUM FRAMES (DARK BRONZE)

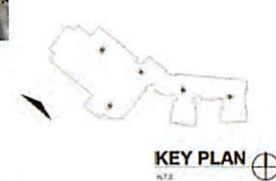


PERFORATED ALUMINUM SCREEN



ALUMINUM PICKET RAILING

NOTE: MATERIAL MANUFACTURER T.B.D.



PHASE:  
**PDD SUBMITTAL**

SCALE:



REVISIONS: SEE THE PROJECT'S DEVELOPMENT  
 WE, THE ARCHITECT, DESIGNER AND/OR CONTRACTOR, ACCEPT THE  
 LIABILITY OF THIS DRAWING AND CONSTRUCTION AND  
 SHALL NOT BE RESPONSIBLE TO ANY OTHER PARTY EXCEPT  
 AS NOTED TO BY THE ARCHITECT'S CONTRACT.

DATE: 04/24/2023  
 DRAWN BY: 2821-S4  
 APPR BY: MC/DJ/AMV  
 PRINTED: 10:02:03 10-02-23 AM

SHEET NUMBER:

**A-3.04**





**CORWILARCHITECTS**  
 4301 LAURA ST. CORAL GABLES, FL 33146  
 (305) 455-0021 FAX (305) 455-0022

**PROJECT:**  
**WESTIN/AURA CYPRESS CREEK**  
 300, 400 CORPORATE DR.  
 FT. LAUDERDALE, FLORIDA 33334

**OWNER:**  
**TRINIS**  
**TRINIS RESIDENTIAL GROUP**  
 8235 Douglas Ave.  
 Dallas, TX 75225

**NW GARAGE ELEVATIONS**



EL. +130'-0"	Roof Level
EL. +118'-0"	Level 12
EL. +108'-0"	Level 11
EL. +98'-0"	Level 10
EL. +87'-0"	Level 9
EL. +77'-0"	Level 8
EL. +69'-0"	Level 7
EL. +59'-0"	Level 6
EL. +49'-0"	Level 5
EL. +39'-0"	Level 4
EL. +28'-0"	PARKING LEVEL 3
EL. +17'-0"	Level 3
EL. +7'-0"	PARKING LEVEL 2
EL. +2'-0"	Level 2
EL. -0'-0"	Ground Level

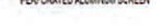
AVERAGE SIDEWALK AT (+0'-0" NAVD)  
 AVERAGE ROAD AT (+5'-0" NAVD)  
 GROUND FFE LEVEL AT (+7'-0" NAVD)

**NORTHWEST GARAGE ELEVATION**  
 SCALE: 1/16" = 1'-0"

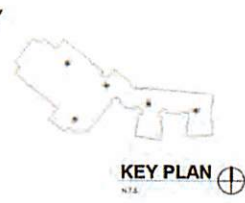
**ELEVATION LEGEND**

- |   |  |
|---|--|
| 1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)  | 8 IMPACT RESISTANT METAL DOOR  |
| 2 CONCRETE EYEBROW PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DWGS.                   | 9 STAIR/ELEVATORS BULKHEAD   |
| 3 BALCONY/TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS. | 10 GARAGE ENTRANCE   |
| 4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH   | 11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.) |
| 5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)  | 12 ARTIFICIAL GREEN SCREEN   |
| 6 5' HIGH A.F.F. PARAPET WALL   | 13 DECORATIVE PERFORATED ALUMINUM SCREEN                               |
| 7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)  | 14 FABRIC SHADING STRUCTURE  |
|   | 15 PROPOSED SIGNAGE LOCATIONS  |
|   | 16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH                     |
|   | 17 FLEXSCREEN  |
|   | 18 HANGING GARDEN FEATURE  |

NOTE: ELEVATIONS AT 0'-0" AS REFERENCED ON THESE PLANS = 8'-0" NAVD



NOTE: MATERIAL MANUFACTURER T.B.D.



**PHASE:**  
 PDD SUBMITTAL



REPRODUCED HERE FROM THE PROJECT'S CONSULTANTS. NO WARRANTIES, EXPRESS OR IMPLIED, ARE MADE BY THESE CONSULTANTS FOR THE CONTENTS OF THESE DRAWINGS AND CONSTRUCTION. ANY AND ALL ACTS OF NEGLIGENCE OR OMISSION SHALL BE HELD TO BE THE RESPONSIBILITY OF THE CLIENT.

**DATE:** 04/24/2023  
**SCALE:** 3/32" = 1'-0"  
**DRAWN BY:** MC/DA/AMV  
**CHECKED BY:** AMC  
**PRINTED:** 10/02/23 10:08:00 AM

**SHEET NUMBER:**

**A-3.05**



**CORWIL ARCHITECTS**  
 1401 LINDEN ST CORAL GABLES FL 33134  
 LIC# 0001-PA-0002131-FL-00000000-0000

**PROJECT:**  
**WESTINAURA CYPRESS CREEK**  
 200, 400 CORPORATE DR.  
 FT. LAUDERDALE, FLORIDA 33334

**OWNER:**

**TRIG**  
**TRINISIC**  
 RESIDENTIAL GROUP  
 8235 Douglas Ave.  
 Dallas, TX 75225

**SE GARAGE ELEVATIONS**



**SOUTHEAST GARAGE ELEVATION**

SCALE: 1/16" = 1'-0"

**ELEVATION LEGEND**

- |   |  |
|---|--|
| 1 LIGHT TEXTURE CEMENT PLASTER FINISH (TYP. THROUGHOUT UNLESS OTHERWISE NOTED)  | 8 IMPACT RESISTANT METAL DOOR  |
| 2 CONCRETE EYEBROW/PARAPET SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DIVOS.                  | 9 STAIR/ELEVATORS BULKHEAD   |
| 3 BALCONY TERRACE CONCRETE SLAB PROPERLY SLOPED TO EXTERIOR W/ APPLIED WATERPROOFING AT ALL ELEVATED SLABS OR AS OTHERWISE INDICATED BY DRAWINGS. | 10 GARAGE ENTRANCE   |
| 4 42" HT. A.F.F. HIGH ALUMINUM PICKET RAILING WITH DARK BRONZE FINISH   | 11 SLIDING GLASS DOOR, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.) |
| 5 HORIZONTAL SLIDING WINDOW W/ BOTTOM GLASS FIXED PANEL, ALUMINUM FRAME & IMPACT RESISTANT GLASS. (TYP.)  | 12 ARTIFICIAL GREEN SCREEN   |
| 6 5' HIGH A.F.F. PARAPET WALL   | 13 DECORATIVE PERFORATED ALUMINUM SCREEN                               |
| 7 IMPACT RESISTANT ALUMINUM STOREFRONT SYSTEM (TYP.)  | 14 FABRIC SHADING STRUCTURE  |
|   | 15 PROPOSED SIGNAGE LOCATIONS  |
|   | 16 DECORATIVE FRAME DESIGN W/ SMOOTH STUCCO FINISH                     |
|   | 17 FLEXSCREEN  |
|   | 18 HANGING GARDEN FEATURE  |

NOTE: ELEVATIONS AT 0'-0" AS REFERENCED ON THESE PLANS + 0'-0" NAVD



ALUMINUM FRAMES (DARK BRONZE)

PERFORATED ALUMINUM SCREEN

ALUMINUM PICKET RAILING

NOTE: MATERIAL MANUFACTURER T.B.D.

**PHASE:**  
**PDD SUBMITTAL**



**DATE:** 04/21/2023  
**DATE:** 2021-54  
**DESIGNER:** MC/DA/AMV  
**DATE:** AMC  
**DATE:** 10/02/23 10:08:55 AM

**SHEET NUMBER:**  
**A-3.06**





**CORWIL ARCHITECTS**  
AUSTIN, TEXAS • CORWIL ARCHITECTS, P.C. 2014 E.  
L.C. IND. 14-100223-01 1-2024-04-23

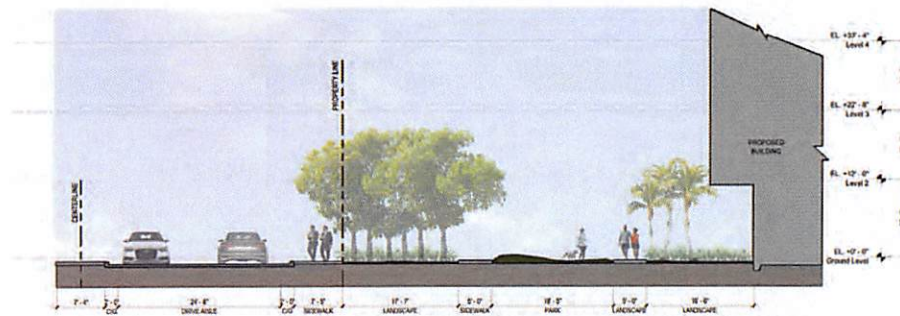
**PROJECT:**  
**WESTIN/AURA CYPRESS CREEK**  
200, 400 CORPORATE DR.  
FT. LAUDERDALE, FLORIDA 33334

**OWNER:**

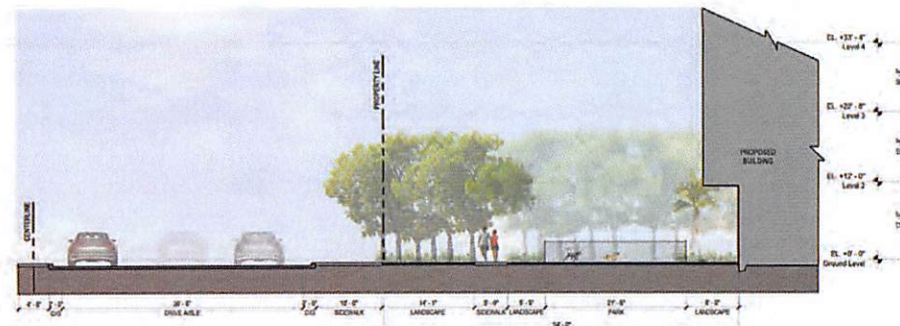


8235 Douglas Ave.  
Dallas, TX 75225

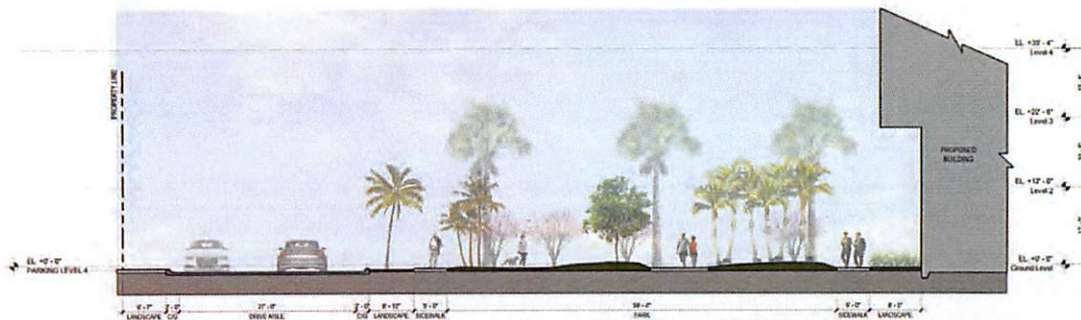
**STREET SECTIONS**



**CORPORATE DR - STREET SECTION**  
SCALE: 1/8" = 1'-0"



**62ND STREET - STREET SECTION**  
SCALE: 1/8" = 1'-0"



**PRIVATE ROAD - STREET SECTION**  
SCALE: 1/8" = 1'-0"

**PHASE:**  
PDD SUBMITTAL



NO CHANGES WILL BE PERMITTED TO CORWIL ARCHITECTS' REVISED DRAWINGS PROVIDED FOR IN CONTRACT. THE CONTENTS OF THESE DRAWINGS AND CONSTRUCTION SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY WITHOUT AS AGREED TO BY THE ARCHITECT'S FIRM.

**DATE:** 04/24/2023  
**DRAWN BY:** Author  
**APPROVED BY:** Approver  
**PRINTED:** 10/30/23 10:08:36 AM

**SHEET NUMBER:**  
**A-3.10a**

**EXHIBIT "B"**

**SKETCH AND LEGAL DESCRIPTION  
CASE NO. UDP-PDD22003**



m. D. u. k.

# PERIMETER

947 Clint Moore Road  
Boca Raton, Florida 33487

SURVEYING & MAPPING  
Certificate of Authorization No. LB7264

Tel: (561) 241-9988  
Fax: (561) 241-5182

## SKETCH AND LEGAL DESCRIPTION REZONE FROM R-6 (COUNTY) TO PDD (PLAN DEVELOPMENT DISTRICT) NOT A SURVEY 400 CORPORATE DRIVE

### LEGAL DESCRIPTION

ALL OF TRACT 1, SHELL AT I-95, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 102, AT PAGE 25, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH:

A PORTION OF THAT CANAL VACATED BY ORDINANCE RECORDED IN OFFICIAL RECORDS BOOK 12368, AT PAGE 909, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LYING WEST OF TRACT 3 AND EAST AND NORTH OF TRACT 1, OF SAID "SHELL AT I-95".

ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE CURVED NORTH RIGHT-OF-WAY LINE OF N.E. 62ND STREET WHERE THE SAME IS INTERSECTED BY THE WESTERLY RIGHT-OF-WAY LINE OF N.E. 7TH AVENUE; THENCE RUN WESTERLY 129.96 FEET WITH THE NORTH RIGHT-OF-WAY LINE OF N.E. 62ND STREET AND WITH A CURVE CONCAVE TO THE SOUTH HAVING A RADIUS OF 5784.58 FEET AND A CHORD BEARING AND DISTANCE OF NORTH 86°10'40" WEST 129.96 FEET TO AN ANGLE POINT; THENCE RUN NORTH 79°01'29" WEST 201.82 FEET TO AN ANGLE POINT; THENCE RUN NORTH 89°23'23" WEST 125.00 FEET TO A POINT AT THE SOUTHEASTERLY END OF A RIGHT-OF-WAY CUTBACK FROM INTERSTATE 95; THENCE RUN NORTH 44°50'58" WEST 270.20 FEET WITH SAID CUTBACK LINE TO A POINT IN THE EAST RIGHT-OF-WAY LINE OF INTERSTATE 95, THENCE RUN THE FOLLOWING COURSES AND DISTANCES WITH SAID EASTERLY RIGHT-OF-WAY LINE INTERSTATE 95; NORTH 02°16'42" EAST 382.50 FEET TO AN ANGLE POINT; NORTH 13°21'08" EAST 171.67 FEET TO AN ANGLE POINT; NORTH 53°04'44" EAST 177.97 FEET TO A POINT FOR CORNER; THENCE RUN SOUTH 89°29'38" EAST 63.52 FEET TO A POINT; THENCE RUN SOUTH 00°30'22" WEST 70.00 FEET TO A POINT; THENCE RUN SOUTH 89°29'38" EAST 55.22 FEET TO A POINT; THENCE RUN SOUTHWESTERLY 39.49 FEET WITH A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 25.00 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 45°15'11" WEST 35.51 FEET TO A POINT; THENCE RUN SOUTH 427.07 FEET TO A POINT; THENCE RUN SOUTH 45°00'00" EAST 210.00 FEET TO A POINT; THENCE RUN SOUTH 83°01'08" EAST 211.87 FEET TO A POINT IN THE WEST RIGHT-OF-WAY LINE OF N.E. 7TH AVENUE; THENCE RUN THE FOLLOWING COURSES AND DISTANCES WITH THE WEST RIGHT-OF-WAY LINE OF N.E. 7TH AVENUE; SOUTHERLY 121.49 FEET WITH A CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 340.00 FEET AND A CHORD BEARING AND DISTANCE OF SOUTH 10°14'12" WEST 120.84 FEET TO A POINT; SOUTH 54.91 FEET TO A POINT; SOUTH 47°13'58" WEST 36.71 FEET TO THE POINT OF BEGINNING.

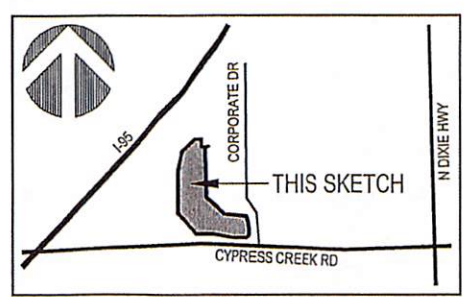
SAID LANDS SITUATE IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA, AND CONTAIN 6.614 ACRES, MORE OR LESS.

### NOTES

1. THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. NO SEARCH OF THE PUBLIC RECORDS WAS PERFORMED OR REFERENCED IN THE PREPARATION OF THIS SKETCH AND DESCRIPTION. FOR THE SAKE OF CLARITY, EASEMENTS ARE NOT SHOWN.
3. BEARINGS SHOWN HEREON ARE BASED ON THE RECORD PLAT.

### ABBREVIATIONS

- B.C.R. = BROWARD COUNTY RECORDS
- Δ = DELTA (CENTRAL ANGLE)
- (D) = DEED
- D.E. = DRAINAGE EASEMENT
- L = ARC LENGTH
- L.M.E. = LAKE MAINTENANCE EASEMENT
- MON. = MONUMENT
- N/D = NAIL AND DISC
- (P) = PLAT
- P.B. = PLAT BOOK
- PG. = PAGE
- PROP. = PROPOSED
- R = RADIUS
- R/W = RIGHT-OF-WAY
- U.E. = UTILITY EASEMENT



LOCATION MAP  
NOT TO SCALE

### SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THE SKETCH AND DESCRIPTION SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE AS CONTAINED IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT SAID SKETCH AND DESCRIPTION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS PREPARED UNDER MY DIRECTION.

*Jeff S. Hodapp*  
 \_\_\_\_\_  
 JEFF S. HODAPP  
 SURVEYOR AND MAPPER  
 FLORIDA LICENSE NO. LS5111

PROJECT NAME: 400 CORPORATE DR	DATE: 10/17/2022
JOB NO. 22101	DWG BY: AJR
	CK'D BY: JSH
	SHEET 1 OF 3

A.D.O.K.

# PERIMETER

947 Clint Moore Road  
Boca Raton, Florida 33487

SURVEYING & MAPPING  
Certificate of Authorization No. LB7264

Tel: (561) 241-9988  
Fax: (561) 241-5182

TRACT 3  
"SHELL AT I-95"  
(P.B. 102, PG. 25, B.C.R.)

R=25.00'  
L=39.49'  
Δ=90°30'22"  
C.B.=S45°15'11"W  
CH.=35.51'

SOUTH 427.07'

A PORTION OF CANAL  
"PINE CREST ISLES"  
(P.B. 63, PG. 48, B.C.R.)

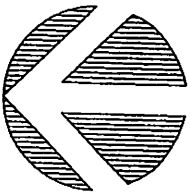
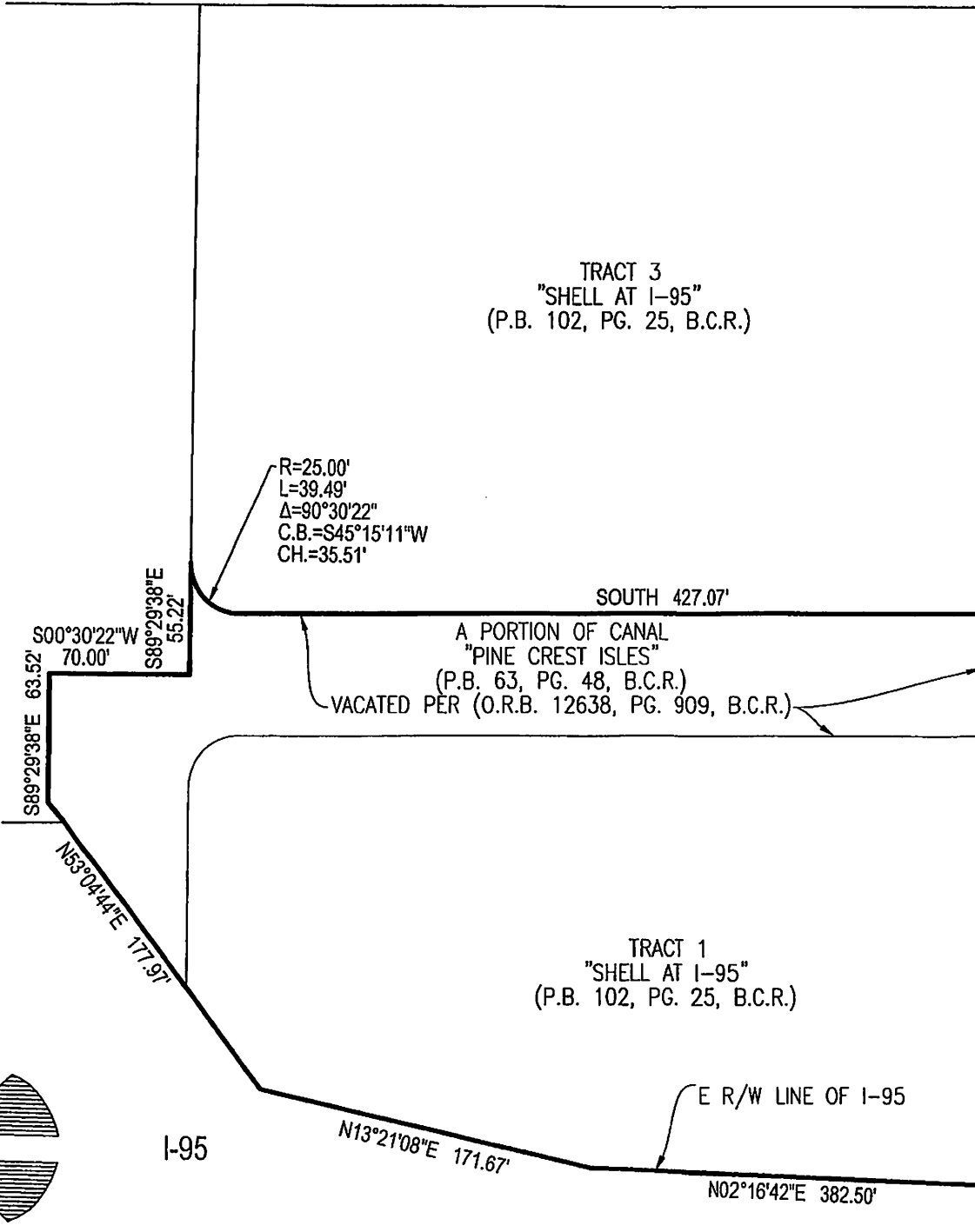
VACATED PER (O.R.B. 12638, PG. 909, B.C.R.)

MATCH LINE SEE SHEET 3

TRACT 1  
"SHELL AT I-95"  
(P.B. 102, PG. 25, B.C.R.)

E R/W LINE OF I-95

I-95



JOB NO. 22101	PROJECT NAME: 400 CORPORATE DR	DWG BY: AJR	SCALE: 1" = 80'	
		CK'D BY: JSH	DATE: 10/17/2022	SHEET 2 OF 3



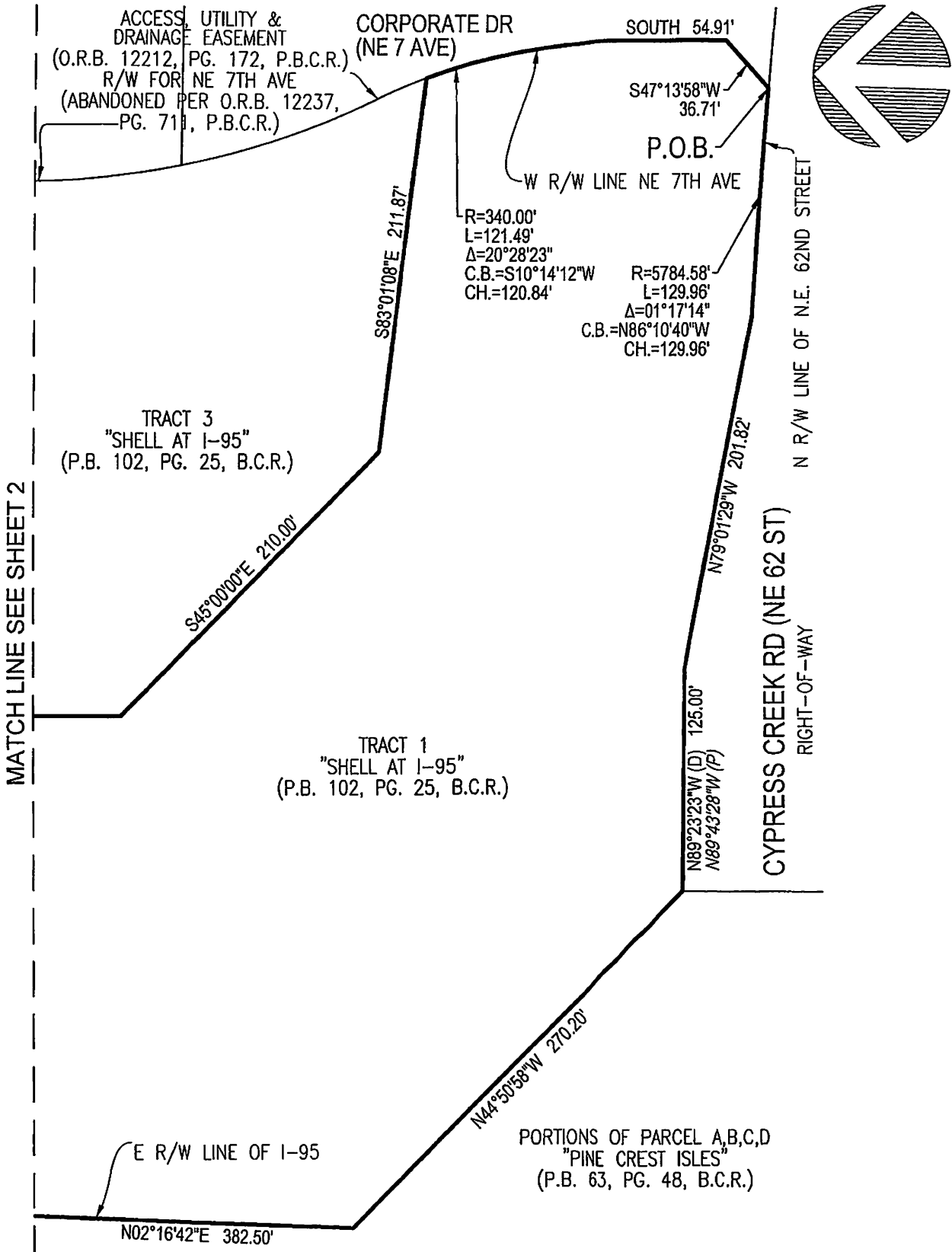
m. D. o. K.

# PERIMETER

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Boca Raton, Florida 33487

SURVEYING & MAPPING  
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Tel: (561) 241-9988  
Fax: (561) 241-5182



JOB NO. 22101	PROJECT NAME: 400 CORPORATE DR	DWG BY: AJR	SCALE: 1" = 80'
		CK'D BY: JSH	DATE: 10/17/2022
			SHEET 3 OF 3

## **EXHIBIT "C"**

### **CONDITIONS OF APPROVAL CASE NO. UDP-PDD22003**

1. Prior to submittal of a building permit, applicant shall provide the final School Capacity Availability Determination (SCAD) letter that confirms that school capacity is available, or if capacity is not available, that mitigation requirements have been satisfied.
2. Pursuant to ULDR Section 47-38A, Park Impact Fees, applicant will be required to pay Park Impact Fee for the proposed residential units, less any applicable credits, consistent with ULDR, Section 47-38A.8, Credits, prior to issuance of building permit
3. Prior to final DRC approval, provide a letter from the Federal Aviation Administration (FAA) letter stating that an interference review related to physical, communication, and radar obstruction has been completed.
4. Provide the following agreements:
  - a. Prior to final DRC approval, record a unified control document recorded in the public records of Broward County encompassing the PDD land area.
  - b. Prior to issuance of a final certificate of occupancy, record in the public records of Broward County any required non-exclusive utility easements and non-exclusive easements for public open space for the areas shown on the PDD development plan.
  - c. Prior to final DRC, record a development agreement with the City which includes permitted uses and provisions for the construction of the public improvements including public open space and streetscape improvements according to the approved site plan.
5. Prior to issuance of the building permit (other than site permits), applicant shall be required to pay \$14,567.98 to the City of Fort Lauderdale's Transportation and Mobility Department for their proportional share for two turn lane extensions.
6. Prior to issuance of a final certificate of occupancy, all entrances to publicly accessible open space areas shall have signage indicating the area is open to the public and the hours for public use.