



**SUSTAINABLE DEVELOPMENT – URBAN DESIGN & PLANNING**  
**PLANNING & ZONING BOARD (PZB) SITE PLAN APPLICATION**

Rev: 2 | Revision Date: 10/01/2020 | I.D. Number: SPA

**PLANNING & ZONING BOARD (PZB)**

**Site Plan Application**

- Cover:** Deadline, Notes, and Fees
- Page 1:** Applicant Information Sheet
- Page 2:** Required Documentation / Submittal Checklist
- Page 3:** Sign Notification Requirements & Affidavit
- Addendum:** PZB Rezone with Flex Allocation <<if applicable>>
- Addendum:** Parking Reduction Information <<if applicable>>

**DEADLINE:** Submittals must be received by 4:00 PM each business day. Pursuant to Section 47-24.1(1), the Department will review all applications to determine completeness within five (5) business days. Applicants will be notified via email, if plans do not meet the submittal requirements and if changes are required.

**NOTE:** If your development site is separated by any public right-of-way (alley, alley reservation, or ROW easement) you must complete a separate application for each parcel.

**NOTE:** Optional 15-minute time slots are available during DRC meetings for scheduling to applicants, for general project inquiries or to obtain signatures on completed DRC plans (including Pre-Planning and Zoning Board, Pre- City Commission and Final DRC plans) from all representatives at one time in preference to scheduling individual appointments. Appointments are subject to availability. To make an appointment, please call 954-828-6531 latest by Friday at 12:00 noon prior to the meeting date.

**FEES:** All applications for development permits are established by the City Commission, as set forth by resolution and amended from time to time. In addition to the application fee, any additional costs incurred by the City including review by a consultant on behalf of the City, or special advertising costs shall be paid by the applicant. Any additional costs, which are unknown at the time of application, but are later incurred by the City, shall be paid by the applicant prior to the issuance of a development permit.

<input type="checkbox"/> Planned Development District (PDD) and Planned Unite Development (PUD)	\$ 9,500.00
<input type="checkbox"/> Site Plan Level IV and in the RAC	\$ 4,100.00
<input checked="" type="checkbox"/> Site Plan Level III and in the RAC	\$ 4,300.00
<input type="checkbox"/> Change of Use Requiring PZB review	\$ 750.00
<input type="checkbox"/> Parking Reduction In addition to above site plan fee	\$ 900.00
<input type="checkbox"/> Site Plan Deferral	\$ 950.00
<input type="checkbox"/> Appeal of DRC Review	\$ 2,550.00



## Page 1: PZB Site Plan - Applicant Information Sheet

**INSTRUCTIONS:** The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

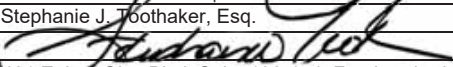
**NOTE:** To be filled out by Department

<b>Case Number</b>	
<b>Date of complete submittal</b>	

**NOTE:** For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

<b>Property Owner's Name</b>	SE Fourth LLC
<b>Property Owner's Signature</b>	If a signed agent letter is provided, no signature is required on the application by the owner.
<b>Address, City, State, Zip</b>	8903 GLADES ROAD, A-14, Boca Raton, FL 33434
<b>E-mail Address</b>	
<b>Phone Number</b>	
<b>Proof of Ownership</b>	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

**NOTE:** If **AGENT** is to represent **OWNER**, notarized letter of consent is required

<b>Applicant / Agent's Name</b>	Stephanie J. Toothaker, Esq.
<b>Applicant / Agent's Signature</b>	
<b>Address, City, State, Zip</b>	401 E. Las Olas Blvd, Suite 130-154, Fort Lauderdale
<b>E-mail Address</b>	stephanie@toothaker.org / cc: estefania@toothaker.org
<b>Phone Number</b>	954-648-9376
<b>Letter of Consent Submitted</b>	Yes

<b>Development / Project Name</b>	808 SE 4th Street	
<b>Development / Project Address</b>	<b>Existing:</b> 808 SE 4th Street	<b>New:</b> Same
<b>Legal Description</b>	Lots 6 and 7, Block 11, COLEE HAMMOCK, according to the plat thereof as recorded in Plat Book 1, Page 17, of the public records of Broward County, Florida.	
<b>Tax ID Folio Numbers</b> (For all parcels in development)	504211010470	
<b>Request / Description of Project</b>	Site Plan Level III Review: 77-Unit Multifamily Residential Development on the New River in Downtown Regional Activity Center - Transitional Mix Use (RAC-TMU) District	
<b>Applicable ULDR Sections</b>	See ULDR narrative attached	
<b>Total Estimated Cost of Project</b>	\$ N/A (Including land costs)	

**NOTE:** Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type.

<b>Estimated Park Impact Fee</b>	\$ 167,475 (+/-)	Fee Calculator: <a href="http://ci.flaud.fl.us/building_services/park_impact_fee_calc.htm">http://ci.flaud.fl.us/building_services/park_impact_fee_calc.htm</a>
<b>Future Land Use Designation</b>	Downtown RAC	
<b>Proposed Land Use Designation</b>	Downtown RAC	
<b>Current Zoning Designation</b>	RAC-EMU	
<b>Proposed Zoning Designation</b>	RAC-EMU	
<b>Current Use of Property</b>	Multifamily Residential	
<b>Residential SF (and Type)</b>	83,418 SF	
<b>Number of Residential Units</b>	77 units	
<b>Non-Residential SF (and Type)</b>	Refer to project area summary on Sheet A-0.00	
<b>Total Bldg. SF</b> (include structured parking)	239,818 SF	
<b>Site Adjacent to Waterway</b>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

Dimensional Requirements	Required	Proposed
<b>Lot Size (SF / Acreage)</b>	Min. 5,000 SF per ULDR	24,729 SF / 0.57 acres
<b>Lot Density</b>	None per ULDR	135.1 du/ac
<b>Lot Width</b>	None per ULDR	100'
<b>Building Height (Feet / Levels)</b>	None per ULDR / preferred 137.5' per DMP	14 floors / 137'-06"
<b>Structure Length</b>	None per ULDR / preferred 300' max per	DMP 232'-6" long x 100'-0" wide
<b>Floor Area Ratio</b>	None	9.5
<b>Lot Coverage</b>	75%	13,052 SF (53%)
<b>Open Space</b>	7,700 SF (100 sf x 77 units)	7,938 SF
<b>Landscape Area</b>	50%	6,179 SF
<b>Parking Spaces</b>	155 parking spaces per ULDR	155 parking spaces

**NOTE:** State north, south, east or west for each yard.

Setbacks/Yards*	Required	Proposed
<b>Front</b> [ N ] SE 4th Street	10' per ULDR / 35' from CL ROW per DMP	10'-0"
<b>Side</b> [ E ]	0' per ULDR	0'
<b>Side</b> [ W ]	0' per ULDR	5'-0"
<b>Rear</b> [ S ] Waterway	0' per ULDR / preferred 18' per NRMP	18'-0"

## Page 2: Required Documentation / Submittal Checklist

### One (1) copy of the following documents:

- Original Pre-PZB signed-off set of plans and all supplemental documentation (ie. narratives, photos, etc.)
- Completed application (all pages must be filled out where applicable)
- One (1) electronic version of complete application and plans in PDF format

### Two (2) original sets, signed and sealed, of Pre-PZB plans at 24" x 36"

### Thirteen (13) copy sets, of Pre-PZB half-size scaled plans at 12" x 18"

- Narrative** describing project specifics, to include but not be limited to: architectural style and important design elements, trash disposal system, security/gating system, hours of operation, dock facilities, etc. Narratives must be on letterhead, dated, and with author indicated.
- Narrative** quoting all applicable sections of the ULDR, with point-by-point responses of how project complies with such criteria. Narratives must be on letterhead, dated, and with author indicated.
- Land Use and Zoning maps** indicating all properties within 700 ft. of the subject property. These should be obtained from Urban Design & Planning Division. Site should be highlighted or clearly marked to identify the parcel(s) under consideration on all sets.
- Cover sheet** on plan set to state project name and table of contents.
- Current survey(s)** of property, signed and sealed, showing existing conditions; survey must be As-Built and Topographic with Right-of-Way and Easement Vacations Excluded. The survey should consist of the proposed project site alone. Do not include adjacent properties or portions of lands not included in the proposed project unless specifically requested by the City.
- Most **current recorded plat** including amendments, with site highlighted. This may be obtained from Broward County Public Records at 115 S. Andrews Ave. **Note: for Change of Use applications, this is not required.**
- Aerial photo** indicating all properties within 700 ft. of the subject property. Must be clear and current with site highlighted.
- Plans "A" thru "H".** **Note, for Change of Use applications, items asterisked (\*) are only required if proposed changes affect these plans. Otherwise, these items should be obtained from Property Records if showing current conditions.**
  - A. Site Plan
  - B. Details\*
  - C. Floor Plans
  - D. Building Elevations\*
  - E. Additional Renderings\*
  - F. Landscape Plans\*
  - G. Photometric Diagram\*
  - H. Engineering Plans\*

**Note:** All copy sets must be clear and legible. If original set is in color, copy sets must also be in color.

**Note:** Plans must be bound, stapled and folded to 8 1/2" x 11". All non-plan documents should be 8 1/2" x 11" and stapled or bound.

**Note:** Civil Engineering plans are only required at Final-DRC sign-off. Contact DRC Engineering Representative for details.

**Note:** For examples of project narratives, site plan data tables, and renderings required with your application, please refer to the "Submittal Reference Book" available at Urban Design & Planning.

Applicant's Affidavit		Staff Intake Review	
I acknowledge that the Required Documentation and Technical Specifications of the application are met:		For Urban Design & Planning staff use only:	
Print Name	Stephanie J. Toothaker	Date	8/13/2021
Signature		Received By	JH
Date	8/13/2021	Tech. Specs	
		Reviewed By	
		Case No.	8/13/2021

Updated August 13, 2021

**VIA ELECTRONIC SUBMISSION**

DEVELOPMENT REVIEW COMMITTEE  
DEPARTMENT OF SUSTAINABLE DEVELOPMENT  
URBAN DESIGN & PLANNING DIVISION  
CITY OF FORT LAUDERDALE  
700 NW 9<sup>TH</sup> AVE  
FORT LAUDERDALE, FL

**Re: 808 SE 4<sup>th</sup> Street – Case No. R19052  
Site Plan Level III on the New River in Downtown RAC-EMU District**

I represent SE FOURTH, LLC (the “Applicant”), owner of the 0.57-acre property located at 808 SE 4th Street, Fort Lauderdale, FL 33301 (the “Property”), Folio No. 5042-11-01-0470. Applicant is requesting Site Plan Level III approval to construct a 14-story, 77-unit multifamily residential project (the “Project”) adjacent to New River in the Regional Activity Center – East Mixed Use (“RAC-EMU”). The development application for the Project was submitted on July 12, 2019, prior to the codification of the Downtown Master Plan (“DMP”). The Property is also subject to the New River Master Plan (“NRMP”) which guidelines have not been codified. We hereby provide the following responses demonstrating compliance with the Unified Land Development Regulations (“ULDR”). An analysis of the Project’s compliance with the DMP and NRMP design intent is provided separately.

**1. PROJECT DESCRIPTION**

The Property is located in the “Near Downtown” character area as defined in the DMP along the New River on SE 4<sup>th</sup> Street in the RAC-EMU zoning district. The Project includes a 14-story (137’-6” high) 77-unit multifamily residential development with 155 parking spaces (109 typical parking spaces, 40 car lifts, and 6 ADA spaces).

At the ground level, a circular drop-off area with a bypass lane is provided on-site off SE 4<sup>th</sup> Street. Four vehicular reservoir spaces (“VRSS”) are incorporated on the east portion of the site to accommodate vehicles awaiting valet service and to not conflict or interfere with vehicular or pedestrian circulation. The Project proposes 7,938 square feet of open space at-grade, including abundant native vegetation and waterfront activation. More lush vegetation and residential amenities are proposed on the podium deck and rooftop terrace, including a 4<sup>th</sup> level cantilevering glass edge pool that acts as both an amenity for residents and a visual point of interest for the passersby and a 14<sup>th</sup> level rooftop garden and dog park.

The slender tower is situated with its narrowest dimension (64’- 5 1/8”) parallel to the river’s edge to maintain waterfront views, light, and air. The podium height is kept at 4-stories on the waterside and 5-stories on the streetside to blend in with the low-rise building context. The height and scale transition between the podium and the tower is balanced by a 30’ waterfront tower stepback above Level 4 and a 15’ tower stepback above level 5 on the east, west and north which reduce the massing of the tower to obtain a 12,120 square foot tower floorplate that is compatible with the surrounding neighborhood.

The Project’s façades are clad in high-end materials. The Project will incorporate synthetic composite wood on the east and west façades that adds a long-lasting natural appeal and avoids harsh sunlight reflections to the surroundings. A diagonal aluminum louver system shades the larger portion of the side façades and provides texture while a dense aluminum mesh provides further visual interest from the exterior all while

**Stephanie J. Toothaker, Esq.**

land use development political strategy procurement

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401 E Las Olas Blvd, Suite 130-154 Fort Lauderdale, FL 33301



still permitting the required ventilation for the proper functioning of the parking levels. Rich layering is applied throughout the different planes with elements such as cantilevered balconies, eyebrows, openings, banding, and offsets that further create a dynamic visual experience and break down the massing of the building.

The Project is anticipated to generate 306 daily trips, 17 AM peak hour trips, and 13 PM peak hour trips per the Traffic Statement prepared by the Applicant’s consultant Kimley Horn Inc. Water and wastewater are serviced by the City of Fort Lauderdale and a capacity letter was issued by the City’s Public Works Department which identified the plant facilities, pump station and associated infrastructure servicing this Project and the Project’s impact on capacity. The letter indicates that the existing water and sewer infrastructure has the capacity to support the proposed development and no improvements are needed.

## **2. UNIFIED LAND DEVELOPMENT REGULATIONS ANALYSIS**

### **Sec. 47-13.20 - Downtown RAC review process and special regulations**

- A. **Applicability.** The following regulations shall apply to those uses permitted within the Downtown RAC district, as shown on the List of Permitted and Conditional Uses, Sections 47-13.10 to 47-13.14.

**RESPONSE: The Downtown RAC Review Process and Special Regulations are applicable to this project.**

- B. **Density.** The permitted density within the Downtown RAC is provided in the City of Fort Lauderdale Comprehensive Plan, Permitted Land Uses, as amended from time to time, and per Section 47-28, Flexibility Rules, and any other applicable provisions in the Unified Land Development Regulations.

**RESPONSE: Acknowledged. The RAC-EMU District does not have a maximum density. Applicant proposes 77 dwelling units (135.1 du/acre) and is requesting an allocation of flex units.**

- C. **General design.** Development in any RAC district is subject to the following standards:
1. First floor exterior walls parallel to public rights-of-way. First floor exterior walls parallel to any public rights-of-way within RAC districts shall not be permitted to extend for more than 20 feet, unless such walls contain windows, doors, recesses of four feet or more, or other transparent or decorative elements.

**RESPONSE: The first-floor exterior walls parallel to SE 4<sup>th</sup> Street include fenestration and doors revealing the residential lobby and encourage ground level interaction and activation.**

2. **Roof lines.** Roof lines within the RAC-CC and RAC-AS districts shall be designed with sloping roofs or stepped roof forms. Flat roofs may be permitted but must have a parapet facing any street front. Mechanical roof-top equipment must be screened from all grade-level views within any RAC district.

**RESPONSE: The Property is located within the RAC-EMU. All mechanical roof-top equipment is screened from all-grade level views.**

3. *Design criteria.* Within all RAC districts principal structures shall provide a minimum of four of the following architectural features: variation in rooflines, terracing, cantilevering, angling, balconies, arcades, cornices, architectural ornamentation, color and material banding, or courtyards, plazas or landscaped areas which encourage pedestrian interaction between the development site and public areas. Every façade of a principal structure shall contain at least three of the above architectural features.

**RESPONSE: The Project will incorporate stepping volumes, projecting balconies and an activated roof top with amenities and landscaping. Shadow casting elements (eyebrows and overhangs) along all facades and will utilize energy efficient glazing.**

4. *Density in the RAC-TMU District.* Building sites within the RAC-TMU shall be eligible to apply for additional dwelling units above 25 dwelling units per net acre, subject to the review criteria as provided in Section 47-25.3, Neighborhood Compatibility.

**RESPONSE: Acknowledged and will comply. The project is requesting 135.1 du/acre. Refer to the Neighborhood Compatibility analysis provided below.**

5. RAC fencing. Within the RAC districts, chain-link fencing shall not be permitted along any pedestrian priority or image street. In all other areas of the RAC, any chain-link fencing shall be black or green vinyl coated. Temporary fencing may be permitted pursuant to Section 47-19.5.

**RESPONSE: Acknowledged and will comply.**

6. The provisions of this subsection C shall not apply to an existing structure in existence on the effective date (June 28, 1997) of the ULDR unless such structures are voluntarily demolished by more than fifty percent (50%) of the total gross floor area of the building or more than fifty percent (50%) of its replacement value.

**RESPONSE: Not applicable.**

#### D. *Parking regulations*

1. Off-street parking regulations are as provided in Section 47-20, parking and loading requirements, except as provided herein:
  - a. *RAC-CC and RAC-AS districts.* Development within the RAC-CC and RAC-AS districts shall be exempt from providing off-street parking requirements, except for a nonresidential use on a parcel located within 100 feet of a parcel zoned RAC-UV, RAC-RPO, or RAC-TMU.

**RESPONSE: Not applicable. The Property is proposing a residential use only on a RAC-TMU zoned parcel.**

- b. *RAC-UV, RAC-WMU, and RAC-RPO districts.* RAC-UV, RAC-WMU and RAC-RPO district residential parking requirements are reduced from the general parking requirements as provided in Table 3, Section 47-20, Parking and Loading Requirements.

**RESPONSE: Not applicable.**

- c. *Vehicular use area regulations.* A vehicular use area within any RAC district constructed after the effective date (June 28, 1997) of the ULDR, shall not be located within 50 feet of a pedestrian priority or image street, or the seawall or high water mark of the New River, except as provided in subsection C.1.d. Curbcuts providing access to parking areas shall be located on streets other than pedestrian priority and image streets or on alleys, except where a property only has access from a pedestrian priority or image street, or it is determined based on a traffic study that access from a pedestrian priority street or image street is necessary for safe and efficient vehicular and pedestrian circulation.

**RESPONSE: The VUA is not located within 50 feet of a pedestrian priority or image street or from the seawall or high-water mark of the New River.**

- d. A vehicular use area that is either:
  - i. On a parcel within the RAC-TMU district; or
  - ii. That is less than one hundred twenty-five (125) feet in depth; or
  - iii. Less than fifteen thousand (15,000) square feet in area; or
  - iv. Is located along Federal Highway;need only provide a minimum of a 20-foot setback from pedestrian priority or image streets, or from the seawall or high water mark of the New River.

**RESPONSE: Not applicable.**

- 2. *Parking garage.* The minimum design standards for a parking garage are:
  - a. Sloped garage ramps facing and within 100 feet of pedestrian priority and image streets and the seawall or high water mark of the New River shall have ornamental grating or other architectural features which screen the sloped ramp from view from the pedestrian priority and image street.
  - b. Parked vehicles shall be screened from view from abutting public rights-of-way, excluding alleys. Screening may be provided by intervening buildings, architectural detailing such as ornamental grating, or landscaping.
  - c. Pedestrian walkways shall be provided between a parking garage and any principal or accessory building it serves and to abutting public spaces.
  - d. A parking garage shall meet the following architectural guidelines:
    - i. When a parking garage is provided for a principal structure on the same plot, the design of the parking garage shall complement and contain architectural features consistent with the principal structure, or
    - ii. When a parking garage is the principal use on a plot, it shall be designed so that the uppermost parapet or roof of the parking garage contains elevational changes averaging at least three feet in height and ten feet in length every 50 horizontal feet or less.

**RESPONSE: Superior quality materials will be used to satisfy the City's requirements on garage fronting streets and waterways. Refer to Sheets A-5.02 and A-5.03 for the openness and transparency percentage.**

- E. *Open space for residential uses.* For development in the RAC districts, except for RAC-CC, open space shall be required for residential uses. Open space, for the purposes of this section,

shall include all areas on the site not covered by structures, other than covered arcades, or not covered by vehicular use area. Covered arcades with a minimum width of ten feet and at least one side open to a street shall be credited towards open space requirements. The required open space shall include seating and shade provided by trees, canopies, or other unenclosed shade structures. A minimum of fifty percent (50%) of the required open space shall be in landscaping. At least forty percent (40%) of the required open space shall be provided at-grade and the remaining open space shall be accessible to individual residential units or through a common area, or both. The total amount of open space required shall be calculated based on the size and density of the development, as follows:

1. For developments of 50 residential units or less, or developments of 25 dwelling units per acre or less density: A minimum of 200 square feet of open space per unit;

**RESPONSE: Not applicable.**

2. For developments of between fifty-one (51) and one hundred fifty (150) residential units, or developments of greater than 25 dwelling units per acre and up to 60 dwelling units per acre density: A minimum of one hundred fifty (150) square feet of open space per unit;

**RESPONSE: Not applicable.**

3. For developments of more than one hundred fifty (150) residential units, or developments of greater than 60 dwelling units per acre density: A minimum of 100 square feet of open space per unit;

**RESPONSE: The Project meets the open space and landscape requirements.**

4. For developments which fall into more than one of the above categories, the lesser open space requirement shall apply.

**RESPONSE: Acknowledged and will comply.**

- F. **RAC landscape requirements.** Surface parking lots within the RAC district shall meet the landscape requirements for vehicular use areas as specified in Section 47-21, Landscaping and Tree Preservation Requirements.

**RESPONSE: Not applicable.**

- G. **Signs.** Sign requirements are:

1. Downtown RAC district signs shall be as permitted in the central beach area zoning district pursuant to Section 47-22.4.C.13, except that message center signs and time and temperature signs shall be permitted, as provided in Section 47-22, Sign Requirements.
2. Amortization period. All signs in the RAC zoning districts shall comply with these sign code provisions within five years of the effective date (June 28, 1997) of the ULDR.

**RESPONSE: Signage will comply with applicable ULDR provisions.**

H. *Street and waterway treatment.* There are hereby identified streets and a waterfront corridor located within the downtown RAC which are currently accommodating, or are intended to accommodate, intensive pedestrian traffic, or which serve as major pedestrian streets and major vehicular entryways, or major gateways into the downtown, and which will, therefore, require adjacent development to accommodate said pedestrian and vehicular usage and aesthetic considerations. The streets and waterfront corridor are identified below:

1. Pedestrian priority streets.
  - a. Las Olas Boulevard, from Brickell Ave. to the east RAC boundary.
  - b. Brickell Avenue, from Las Olas Blvd. to S.W. 2nd Street.
  - c. S.W. 2nd Street, from Brickell Ave., West to S.W. 7th Ave.
  - d. Andrews Avenue, from Broward Blvd. to Las Olas Blvd.
  - e. S.E. 6th Street, from Andrews Ave. to S.E. 3rd Ave.
  - f. S.E. 5th Avenue from Las Olas Blvd. to the New River.

Special regulations for pedestrian priority streets are provided in subsection H.

2. Image streets.
  - a. N.E./N.W. 6th Street (Sistrunk Boulevard), from the FEC rail line to Federal Highway.
  - b. N.E./S.E. 3rd Avenue from N.E. 6th Street to S.E. 6th Street.
  - c. Andrews Ave. from Flagler Dr. to Broward Blvd. and from Las Olas Blvd. South to RAC boundary.
  - d. Broward Boulevard from S.W./N.W. 7th Avenue to N.E./S.E. 8th Avenue.
  - e. Federal Highway from N.E. 6th Street to S.E. 2nd Street.

Special regulations for image streets are provided in subsection I.

**RESPONSE: Not applicable. The Property is not located on either a Pedestrian Priority Street or Image Street.**

3. *New River waterfront corridor.* Special regulations for the New River waterfront corridor are provided in subsection J.

**RESPONSE: The Property is located in the RAC-TMU (RAC-EMU) zoning district which is exempt from the special regulations described in subsection J.**

4. *All other RAC streets.* All streets other than those included as pedestrian priority and image streets within the boundaries of the downtown RAC. Special regulations for these streets are provided in subsection K.

**RESPONSE: Acknowledged and will comply.**

- I. *Pedestrian priority streets.*

**RESPONSE: Not applicable. As such, this section is omitted from the narrative.**

- J. *Image streets.*

**RESPONSE: Not applicable. As such, this section is omitted from the narrative.**

- K. *New River Waterfront Corridor*. Except in the RAC-TMU zoning district as provided in subsection J.3., development on parcels located within 100 feet of the New River shall be reviewed pursuant to the process for a site plan level IV development permit (section 47-24.2) without planning and zoning board review, and shall be required to meet the following regulations:

**RESPONSE: Not applicable. The Property is located in the RAC-TMU zoning district and, as such, this section is omitted from the narrative.**

- L. *All other RAC district streets*. Development of property located abutting all streets within the RAC districts other than pedestrian priority or image streets shall satisfy the following regulations:

1. *Setback*.

- a. A minimum setback of five feet shall be provided from the property line along the street.

**RESPONSE: The Project provides a setback of 35'-0" from the centerline ROW along SE 4<sup>th</sup> Street.**

- b. Modification of setback requirements within the RAC-TMU district. Setback requirements for the RAC-TMU may be modified to require greater setbacks above those specified in subsection K.1.a, subject to approval of a Site Plan Level II permit and the review criteria provided in Section 47-25.3.A.3.e.iii, Neighborhood Compatibility. Setbacks may also be modified for building sites within the RAC-TMU that apply for additional dwelling units above 25 dwelling units per net acre, subject to approval of a Site Plan Level II permit and the review criteria as provided in Section 47-25.3.A.3.e.ii.

**RESPONSE: Acknowledged.**

2. *Street trees*.

- a. Shade trees shall be provided at least every 40 lineal feet along the area fronting the pedestrian priority street. Palm trees or ornamental trees may be permitted when existing or proposed physical conditions may prevent the proper growth of the shade tree, as determined by the DRC, at least every 20 lineal feet along the frontage. All trees shall satisfy the following standards at the time of planting:
- i. Shade trees: Minimum 14 feet height and eight foot spread, with minimum six foot ground clearance.
  - ii. Palm trees: Minimum 18 foot height, with a minimum of eight feet of wood.
  - iii. Ornamental trees: Minimum 12 feet in height and six foot spread, with a minimum six foot ground clearance.
- b. Root zone and pervious surface areas shall be provided as follows:
- i. Areca, Carpentaria, Cocothrinax, Phychospermia, Rhapis, Sabal, and Washingtonia: No less than nine square feet of pervious surface area and no dimension less than three feet.
  - ii. All other shade or ornamental: No less than sixty-four (64) square feet of pervious surface area and no dimension less than eight feet.



- iii. All other palm types: No less than 25 square feet of pervious surface area and no dimension less than five feet.

Pervious surface area, for purposes of this requirement, may be provided through open planting beds, tree grates, sand-set pavers, or any combination thereof.

- c. The DRC may permit alternative landscape treatment along the frontage of a pedestrian priority street where pedestrian entries to plazas or principal structures are provided. Specimen palm plantings or other landscape design treatments may be installed to complement the architectural design of the structure or plaza in lieu of shade trees, limited to no more than fifty percent (50%) of the plot frontage on a pedestrian priority street.

**RESPONSE: Tree planting complies with the DMP. Refer to the sheet LP-101.**

- 3. Location of street trees. The requirements for street trees, as provided herein, may be located within the public right-of-way, as approved by the entity with jurisdiction over the abutting right-of-way.

**RESPONSE: Tree planting complies with the DMP. Refer to the sheet LP-101.**

- M. *Effect of other ULDR provisions.* Unless otherwise provided in this Section 47-13, the provisions of the ULDR with general applicability to development within the city shall apply as requirements of the development of property within the district described in this Section 47-13. However, any provision of this Section 47-13 shall prevail to the extent of such conflict.

**RESPONSE: Acknowledged and will comply.**

N. *[ Site Plan Level II. ]*

- 1. A Site Plan Level II approval of a development for which a site plan has been approved by the city commission, or which has been the subject of an agreement with the city shall not be final until 30 days after final DRC approval and then only if no motion is adopted by the city commission seeking to review the application pursuant to the process provided in Section 47-26.A.2 of the ULDR. The action of the DRC shall be final and effective after the expiration of the thirty-day period if no action is taken by the city commission.
- 2. Approval of all other Site Plan Level II developments within the RAC shall not be final until 30 days after preliminary DRC approval and then only if no motion is adopted by the city commission seeking to review the application pursuant to the process provided in Section 47-26.A.2 of the ULDR. A motion seeking to review an application pursuant to this subsection 2, shall only be approved if it is found by the city commission that DRC has misapplied or failed to apply one or more requirements of the ULDR or the city's Comprehensive Plan in approving the application.

**RESPONSE: Not applicable. The Project is located adjacent to the New River which is subject to a Site Plan Level III approval.**

**Sec. 47-25.2. Adequacy Requirements**

- A. ***Applicability.*** The adequacy requirements set forth herein shall be used by the city to evaluate the demand created on public services and facilities created by a proposed development permit.

**RESPONSE: The adequacy requirements are applicable to the Project.**

- B. ***Communications network.*** Buildings and structures shall not interfere with the city's communication network. Developments shall be modified to accommodate the needs of the city's communication network, to eliminate any interference a development would create or otherwise accommodate the needs of the city's communication network within the development proposal.

**RESPONSE: The Project is not expected to interfere with the City's communication network.**

- C. ***Drainage facilities.*** Adequacy of stormwater management facilities shall be evaluated based upon the adopted level of service requiring the retention of the first inch of runoff from the entire site or two and one-half (2 1/2) inches of runoff from the impervious surface whichever is greater.

**RESPONSE: Public drainage facilities are not affected by the proposal. Any construction on the Property will comply with applicable stormwater management regulations.**

- D. ***Environmentally sensitive lands.***

1. In addition to a finding of adequacy, a development shall be reviewed pursuant to applicable federal, state, regional and local environmental regulations. Specifically, a application for development shall be reviewed in accordance with the following Broward County Ordinances which address environmentally sensitive lands and wellfield protection which ordinances are incorporated herein by reference:
  - Broward County Ordinance No. 89-6.
  - Section 5-198(I), Chapter 5, Article IX of the Broward County Code of Ordinances.
  - Broward County Ordinance No. 84-60.
2. The applicant must demonstrate that impacts of the proposed development to environmentally sensitive lands will be mitigated.

**RESPONSE: There are no environmentally sensitive lands located on the Property to Applicant's knowledge.**

- E. ***Fire protection.*** Fire protection service shall be adequate to protect people and property in the proposed development. Adequate water supply, fire hydrants, fire apparatus and facilities shall be provided in accordance with the Florida Building Code, South Florida Fire Code and other accepted applicable fire and safety standards.

**RESPONSE: Fire protection service will be adequate to protect people and property in the proposed development. Adequate water supply, fire hydrants, fire apparatus and facilities will be provided in accordance with the Florida Building Code, South Florida Fire Code and other accepted applicable fire and safety standards.**

F. *Parks and open space.*

1. The manner and amount of providing park and open space is as provided in Section 47-38A, Park Impact Fees, of the ULDR.
2. No building permit shall be issued until the park impact fee required by Section 47-38A of the ULDR has been paid in full by the applicant.

**RESPONSE: Applicant will pay the required park impact fees prior to the issuance of a building permit.**

- G. *Police protection.* Police protection service shall be adequate to protect people and property in the proposed development. The development shall provide improvements which are consistent with Crime Prevention Through Environmental Design (CPTED) to minimize the risk to public safety and assure adequate police protection.

**RESPONSE: Controlled access doors, security cameras and lobby personal will be provided. The Project will provide improvements which are consistent with Crime Prevention Through Environmental Design (“CPTED”) principles to minimize the risk to public safety and assure adequate police protection.**

H. *Potable water.*

1. Adequate potable water service shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of potable water systems in accordance with city engineering standards, the Florida Building Code, and applicable health and environmental regulations. The existing water treatment facilities and systems shall have sufficient capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which potable water treatment capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended from time to time. Improvements to the potable water service and system shall be made in accordance with city engineering standards and other accepted applicable engineering standards.
2. Potable water facilities.
  - a. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.
  - b. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the development.
  - c. Where the county is the projected service provider, a similar written assurance will be required.

**RESPONSE: The Water and Wastewater Capacity Availability Letter dated July 27, 2020, confirmed the existing water and sewer infrastructure have the capacity to support the proposed development and no improvements are needed.**

I. *Sanitary sewer.*

1. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from the design capacity. If there is

available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.

**RESPONSE: The Water and Wastewater Capacity Availability Letter dated July 27, 2020, confirmed the existing water and sewer infrastructure have the capacity to support the proposed development and no improvements are needed.**

- J. *Schools.* For all development including residential units, the applicant shall be required to mitigate the impact of such development on public school facilities in accordance with the Broward County Land Development Code or section 47-38C. Educational Mitigation, as applicable and shall provide documentation to the city that such education mitigation requirement has been satisfied.

**RESPONSE: Please refer to the Preliminary School Capacity Availability Determination (“SCAD”) letter dated February 4, 2021, that confirms that capacity is available.**

K. *Solid waste.*

1. Adequate solid waste collection facilities and service shall be obtained by the applicant in connection with the proposed development and evidence shall be provided to the city demonstrating that all solid waste will be disposed of in a manner that complies with all governmental requirements.
2. Where the city provides solid waste collection service and adequate service can be provided, an adequacy finding shall be issued. Where there is another service provider, a written assurance will be required. The impacts of the proposed development will be determined based on Table 4, Solid Waste, on file with the department.

**RESPONSE: Please refer to the Solid Waste Management Plan.**

- L. *Stormwater.* Adequate stormwater facilities and systems shall be provided so that the removal of stormwater will not adversely affect adjacent streets and properties or the public stormwater facilities and systems in accordance with the Florida Building Code city engineering standards and other accepted applicable engineering standards.

**RESPONSE: The Project will be designed with on-site storm water retention. Please refer to the civil drawings for information regarding proposed treatment of storm water.**

M. *Transportation facilities.*

1. The capacity for transportation facilities shall be evaluated based on Table 1, Generalized Daily Level of Service Maximum Volumes, on file with the department. If a development is within a compact deferral area, the available traffic capacity shall be determined in accordance with Table 2, Flowchart, on file with the department.
2. **Regional transportation network.** The regional transportation network shall have the adequate capacity, and safe and efficient traffic circulation to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the adopted traffic elements of the city and the county comprehensive plans, and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is needed in order to evaluate the impacts of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit such a study to the city which will be considered

by the DRC in its review. Roadway improvements needed to upgrade the regional transportation network shall be made in accordance with the city, the county, and Florida Department of Transportation traffic engineering standards and plans as applicable.

3. **Local streets.** Local streets shall have adequate capacity, safe and efficient traffic circulation, and appropriate functional classification to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the city's comprehensive plan and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is required in order to evaluate the impact of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit to the city such a study to be considered as part of the DRC review. Street improvements needed to upgrade the capacity or comply with the functional classification of local streets shall be made in accordance with the city engineering standards and acceptable applicable traffic engineering standards. Local streets are those streets that are not classified as federal, state or county roadways on the functional classification map adopted by the State of Florida.
4. **Traffic impact studies.**
  - a. When the proposed development may generate over one thousand (1,000) daily trips;
  - b. When the daily trip generation is less than one thousand (1,000) trips; and (1) when more than twenty percent (20%) of the total daily trips are anticipated to arrive or depart, or both, within one-half ( 1/2) hour; or (2) when the proposed use creates varying trip generation each day, but has the potential to place more than twenty percent (20%) of its maximum twenty-four (24) hour trip generation onto the adjacent transportation system within a one-half ( 1/2) hour period; the applicant shall submit to the city a traffic impact analysis prepared by the county or a registered Florida engineer experienced in trafficways impact analysis which shall:
    - i. Provide an estimate of the number of average and peak hour trips per day generated and directions or routes of travel for all trips with an external end.
    - ii. Estimate how traffic from the proposed development will change traffic volumes, levels of service, and circulation on the existing and programmed trafficways.
    - iii. If traffic generated by the proposed development requires any modification of existing or programmed components of the regional or local trafficways, define what city, county or state agencies have programmed the necessary construction and how this programming relates to the proposed development.
    - iv. A further detailed analysis and any other information that the review committee considers relevant.
    - v. The traffic impact study may be reviewed by an independent licensed professional engineer contracted by the city to determine whether it adequately addresses the impact and the study supports its conclusions. The cost of review by city's consultant shall be reimbursed to the city by the applicant.
    - vi. When this subsection M.4.b. applies, the traffic study shall include an analysis of how the peak loading will affect the transportation system including, if necessary, an operational plan showing how the peak trips will be controlled and managed.

**RESPONSE: The number of net new vehicle trips is below the 1,000 vehicle trips per day, which is below the threshold which would require a full Traffic Impact Analysis**

**pursuant to ULDR, Section 47-25.2M(4). Please refer to the Traffic Statement prepared by Kimley-Horn and Associates, Inc. dated July 10, 2019.**

5. ***Dedication of rights-of-way.*** Property shall be conveyed to the public by plat, deed or grant of easement as needed in accordance with the Broward County Trafficways Plan, the city's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards.

**RESPONSE: Requirement noted.**

6. ***Pedestrian facilities.*** Sidewalks, pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and along roadways to adjacent properties. Transit service facilities shall be provided for as required by the city and Broward County Transit. Pedestrian facilities shall be designed and installed in accordance with city engineering standards and accepted applicable engineering standards.

**RESPONSE: The Project provides 100 linear feet of sidewalk along SE 4<sup>th</sup> Street. All pedestrian facilities will be designed and installed in accordance with City engineering standards and accepted applicable engineering standards.**

7. ***Primary arterial street frontage.*** Where a proposed development abuts a primary arterial street either existing or proposed in the trafficways plan, the development review committee (DRC) may require marginal access street, reverse frontage with screen planting contained in a nonaccess reservation along the rear property line, deep lots with or without rear service alleys, or such other treatment as may be necessary for adequate protection of residential properties and to assure separation of through and level traffic.

**RESPONSE: Not applicable.**

8. ***Other roadway improvements.*** Roadways adjustments, traffic control devices, mechanisms, and access restrictions may be required to control traffic flow or divert traffic, as needed to reduce or eliminate development generated traffic.

**RESPONSE: Not applicable.**

9. ***Street trees.*** In order to provide for adequate landscaping along streets within the city, street trees shall be required along the length of the property abutting a street. A minimum of fifty percent (50%) of the required street trees shall be shade trees, and the remaining street trees may be provided as flowering or palm trees. These percentages may be varied based on existing or proposed physical conditions which may prevent the ability to comply with the street tree requirements of this subsection. The street trees shall be planted at a minimum height and size in accordance with the requirements of Section 47-21, Landscape and Tree Preservation Requirements, except in the downtown RAC districts the requirements of Sec. 47-13.20.H.8 shall apply. The location and number of street trees shall be determined by the department based on the height, bulk, mass and design of the structures on the site and the proposed development's compatibility to surrounding properties. The requirements for street trees, as provided herein, may be located within the public right-of-way as approved by the entity with jurisdiction over the abutting right-of-way.



**RESPONSE: The Project complies with the street tree requirements. Refer to Sheet LP-101.**

**N. *Wastewater.***

*1. Wastewater.* Adequate wastewater services shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of a wastewater and disposal system in accordance with applicable health, environmental and engineering regulations and standards. The existing wastewater treatment facilities and systems shall have adequate capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which wastewater treatment or disposal capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended for time to time. Improvements to the wastewater facilities and system shall be made in accordance with the city engineering and accepted applicable engineering standards.

**RESPONSE: The Water and Wastewater Capacity Availability Letter dated July 27, 2020 confirmed the existing water and sewer infrastructure have the capacity to support the proposed development and no improvements are needed.**

- O. *Trash management requirements.*** A trash management plan shall be required in connection with non-residential uses that provide prepackaged food or beverages for offsite consumption. Existing non-residential uses of this type shall adopt a trash management plan within six (6) months of the effective date of this provision.

**RESPONSE: Not applicable.**

**P. *Historic and archaeological resources.***

*1.* If a structure or site has been identified as having archaeological or historical significance by any entity within the State of Florida authorized by law to do same, the applicant shall be responsible for requesting this information from the state, county, local governmental or other entity with jurisdiction over historic or archaeological matters and submitting this information to the city at the time of, and together with, a development permit application. The reviewing entity shall include this information in its comments.

**RESPONSE: As a condition of Final DRC approval and in accordance with ULDR Section 47-25.5.P, Applicant will obtain a Cultural Resource Assessment Survey (CRAS) of the Property.**

- Q. *Hurricane Evacuation.*** If a structure or site is located east of the Intracoastal Waterway, the applicant shall submit documentation from Broward County or such agency with jurisdiction over hurricane evacuation analysis either indicating that acceptable level of service of hurricane evacuation routes and hurricane emergency shelter capacity shall be maintained without impairment resulting from a proposed development or describing actions or development modifications necessary to be implemented in order to maintain level of service and capacity.

**RESPONSE: Not applicable. The site is located west of the Intracoastal Waterway.**

**Sec. 47-25.3 - Neighborhood Compatibility**

A. The neighborhood compatibility requirements are as follows:

1. *Adequacy Requirements.* See Sec. 47-25.2.

**RESPONSE: The Applicant has provided a point-by-point narrative addressing the adequacy requirements.**

2. *Smoke, Odor, Emission of Particulate Matter and Noise.*

- a. Documentation from the Broward County Department of Natural Resource Protection (DNRP) or a report by a certified engineer, licensed in the State of Florida, that the proposed development will not exceed the maximum levels of smoke, odor, emissions of particulate matter and noise as regulated by Chapter 27, Pollution Control, of the Code of Broward County, and that a DNRP permit for such facility is not required.
- b. Where a DNRP license is required in accordance with Chapter 27, Pollution Control, of the Code of Broward County, all supporting documentation and information to obtain such permit shall be submitted to the DRC as part of a site plan review.
- c. Such DNRP licenses shall be required to be issued and copies provided to the city prior to the issuance of a building permit for the proposed development.

**RESPONSE: Should any County license be required, the Applicant will apply and obtain.**

3. *Design and Performance Standards*

- a. *Lighting.* No lighting shall be directed from a use which is subject to the requirements of this Sec. 47-25.3 in a manner which illuminates abutting residential property and no source of incandescent or mercury vapor illumination shall be directly visible from any abutting residential property. No neon lights inside or outside structures shall be visible from any abutting residential property.
  - i. Glare. Any nonresidential operation or activity producing glare shall be conducted so that direct or indirect illumination of light shall not cause illumination in excess of one (1) foot-candle on any abutting residential property except as provided in subsection iii. of this subsection a.

**RESPONSE: The proposed development will not cause illumination in excess of one foot-candle on any abutting properties.**

- ii. Control of effects of lights from automobiles or other sources. Where the site plan indicates potential adverse effects of parking or of other sources on the lot on which the nonresidential use is to be located, such effects shall be eliminated or at a minimum prevented so that lights do not illuminate adjacent residential property below a height of five (5) feet at the residential lot line, or from shining into any residential window if there is to be nonresidential parking on the premises after dark.

**RESPONSE: Superior quality materials will be used to satisfy the City's requirements on garage fronting streets and waterways. Refer to Sheets A-5.02 and A-5.03 for the openness and transparency percentage.**

- iii. In addition to the above, parking lots and garages will be subject to the provisions of Sections 47-20.14 and if in conflict with the provisions of this section, the more restrictive provisions shall apply.

**RESPONSE: Acknowledged and will comply.**

- b. **Control of Appearance.** The following design standards are provided to protect the character of abutting residential areas from the visual impact which may result from a use which is subject to the requirements of this Sec. 47-25.3.
  - i. *Architectural features.* The facade of any side of a nonresidential building facing the residential property shall be constructed to compliment a residential structure and shall include the following:
    - a) Fenestration such as windows, doors and openings in the building wall; and
    - b) Shall contain a minimum of one (1) feature from each of the following architectural feature groups with a total of four (4) architectural features from the following list:
      - 1. Detail and embellishments:
        - a. Balconies,
        - b. Color and material banding,
        - c. Decorative metal grates over windows,
        - d. Uniform cornice heights,
        - e. Awnings.
      - 2. Form and mass:
        - a. Building mass changes including projection and recession,
        - b. Multiple types and angles of roofline, or any combination thereof.
    - c) The above required facade treatment shall be required to continue around the corner onto the adjoining wall for a distance of twenty (20) feet.

**RESPONSE: Rich layering has been applied throughout the different planes with elements like balconies, eyebrows, openings, banding, offsets, etc.**

- ii. *Loading facilities.* Loading and service facilities shall be screened so as not to be visible from abutting residential uses or vacant residential zoned property.

**RESPONSE: The loading facilities are located internal to the building and are screened from public view.**

- iii. Screening of rooftop mechanical equipment. All rooftop mechanical equipment, stair and elevator towers shall be designed as an integral part of the building volume and/or adequately screened so that they are not visible from abutting residential uses or vacant residential zoned property.

**RESPONSE: All mechanical equipment is screened to not be visible from adjacent properties.**

- c. **Setback Regulations.** When a nonresidential use which is subject to the requirements of this Sec. 47-25.3 is contiguous to any residential property, there shall be an additional setback required for any yard of that use which is contiguous to the residential property, as follows:
  - i. When any side of a structure greater in height than forty (40) feet is contiguous to residential property, that portion of the structure shall be set back one (1) foot for each

one (1) foot of building height over forty (40) feet up to a maximum width equal to one-half (½) the height of the building, in addition to the required setback, as provided in the district in which the proposed nonresidential use is located.

**RESPONSE: Not applicable. Only a residential use is proposed.**

d. **Bufferyard Requirements.** When a use which is subject to the requirements of this Sec. 47-25.3 is contiguous to any residential property, the property where the use is located shall be required to have a landscaped strip area and a physical barrier between it and the residential property. Such landscape strip shall meet the following requirements:

- i. **Landscape strip requirements.** A ten (10) foot landscape strip shall be required to be located along all property lines which are adjacent to residential property. Such landscape strip shall include trees, shrubs and ground cover as provided in the landscape provisions of Section 47-21, Landscape and Tree Preservation Requirements. The width of the landscape area shall extend to the property line. All required landscaping shall be protected from vehicular encroachment. When walls are required on nonresidential property abutting an alley, required shrubbery shall be installed and located within the landscape area on the exterior of the wall.
- ii. **Parking restrictions.** No parking shall be located within twelve (12) feet of the property line, within the yard area required by the district in which the proposed nonresidential use is located, when such yard is contiguous to residential property.
- iii. **Dumpster regulations.** All solid waste refuse containers (dumpsters) shall be set back a minimum of twelve (12) feet from any property line which is contiguous to residential property, and shall be screened in accordance with the Dumpster requirements, as provided in Section 47-19, Accessory Uses, Buildings and Structures.
- iv. **Wall requirements.** A wall shall be required on the nonresidential property, a minimum of five (5) feet in height, constructed in accordance with Section 47-19.5 and subject to the following:
  - a) Decorative features shall be incorporated on the residential side of such wall according to the requirements of Section 47-19.5,
  - b) Shall be located within, and along the length of the property line which abuts the residential property,
  - c) When the nonresidential property is located adjacent to an alley such wall shall be located at least five (5) feet from the right-of-way line located closest to the nonresidential property,
  - d) When a utility, or other public purpose easement, on the nonresidential property precludes the construction of a wall, then an opaque fence, constructed in accordance with the standards described in Section 47-19.5, may be erected in lieu of the wall required by subsection iv. above. The use of an opaque fence as a physical barrier between nonresidential and residential property shall be reviewed and recommended by the city engineer.

**RESPONSE: Not applicable. Only a residential use is proposed.**

- v. **Application to existing uses.** Within five (5) years from the effective date of subsections A.3.c and d (effective date: September 19, 1989), all nonconforming uses of land which were in existence prior to such date shall comply with the requirements of subsections A.3.c and d unless compliance would cause one (1) or more of the following to occur:
  - a) Demolition of any load-bearing portion of a building as it exists on September 19, 1989, the effective date of subsections A.3.c and d;

- b) Reduction of required parking spaces;
- c) A reduction in the number of parking spaces provided for use of a parcel which would be required if based on the parking requirements of Section 47-20, Parking and Loading Requirements in effect on and applicable to such use on March 6, 1990;
- d) Relocation of an existing wall which complied with the Code prior to September 19, 1989, the effective date of subsections A.3.c and d;
- e) Access to the land would be substantially impaired;
- f) Installation of the wall as provided in subsection iv. would require a modification of the existing vehicular use area, which would impair traffic circulation on the site and a minimum five (5) foot high hedge, fence or other physical barrier is in place along the length of the nonresidential property line which abuts the residential property;
- g) In such cases, the use shall otherwise comply with the requirements of this section to the maximum possible extent; however, the requirement of subsections A.3.d.i to install a landscape strip shall be met if an abutting residential property owner agrees in writing that the landscape strip may be placed on his or her property. An agreement in form provided by the department must be executed by the applicant and the abutting property owner. If the abutting property owner removes the landscape strip after it has been installed, there shall be no further requirement to install another landscape strip on the abutting property in connection with the commercial use which existed at the time of the initial installation.

**RESPONSE: Not applicable.**

- e. ***Neighborhood Compatibly and Preservation.*** In addition to the review requirements provided in subsections A.1, A.2 and A.3.a, b, c, and d, the following review criteria shall also apply as provided below:
  - i. All developments subject to this Sec. 47-25.3 shall comply with the following:
    - a) Development will be compatible with, and preserve the character and integrity of adjacent neighborhoods, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods. These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, bufferyards, alteration of building mass, and the addition of landscaping, walls, or both, to ameliorate such impacts. Roadway adjustments, traffic control devices or mechanisms, and access restrictions may be required to control traffic flow or divert traffic as needed to reduce or eliminate development generated traffic on neighborhood streets.

**RESPONSE: The Project is located in a transition area identified in the DMP where the building height is recommended to be a maximum of 2.5 times the maximum permitted height of the adjacent residential zoning district. The adjacent residential zoning district is RMM-25 where the maximum permitted height is 55 feet. Therefore, the Project complies with the maximum permitted recommended height of 137'-6". Adjacent building heights range from five-stories (+/- 64') to the east (zoned RMM-25) and 7-stories (+/- 72') to the west (zoned RAC-EMU). The slender tower is situated with its narrowest dimension (64'- 5 1/8") parallel to the river's edge to maintain waterfront views, light, and air. The podium height is kept at 4-stories on**

**the waterside and 5-stories on the streetside to blend in with the low-rise building context. The height and scale transition between the podium and the tower is balanced by a 30' waterfront tower stepback above Level 4 and a 15' tower stepback above level 5 on the east, west and north which reduce the massing of the tower to obtain a 12,120 square foot tower floorplate that is compatible with the surrounding development.**

- b) Consideration shall be given to the recommendations of the adopted neighborhood master plan in which the proposed development is to be located, or which it abuts, although such neighborhood master plan shall not be considered to have the force and effect of law. When recommended improvements for the mitigation of impacts to any neighborhood, conflicts with any applicable ULDR provision, then the provisions of the ULDR shall prevail. In order to ensure that a development will be compatible with, and preserve the character and integrity of adjacent neighborhoods, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods. These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, bufferyards, alteration of building mass, and the addition of landscaping, walls, or both, to ameliorate such impacts. Roadway adjustments, traffic control devices or mechanisms, and access restrictions may be required to control traffic flow or divert traffic as needed to reduce or eliminate development generated traffic on neighborhood streets.

**RESPONSE: The Project complies with the intent of the DMP and NRMP. Refer to the DRT Narrative which provides a detailed analysis.**

- ii. All development within the RAC-TMU (RAC-EMU, RAC-SMU and RAC-WMU) district that is greater in density than twenty-five (25) dwelling units per net acre:
  - a) In addition to meeting the review requirements of subsection A.3.e.i, building sites within the RAC-TMU (RAC-EMU, RAC-SMU and RAC-WMU) district shall be eligible to apply for additional dwelling units over and above twenty-five (25) dwelling units per net acre, provided such additional dwelling units are available for distribution in the downtown regional activity center. However, in order to obtain such additional dwelling units, a site plan level II permit must be approved. Such approval shall be based upon consideration of the number of additional dwelling units available under the city land use plan, the number of additional dwelling units requested, the impact of the proposed development on abutting residential areas, the proposed residential density of the proposed development, location of the proposed development, the sensitivity to adjacent development of the site design and proposed orientation of the proposed development (including proposed setbacks), pedestrian movements associated with the proposed development, proposed landscaping, and traffic and parking impacts of the proposed development on the transportation network. Approval for allocations of any additional dwelling units, hotel rooms or both, for multifamily dwellings, hotels and mixed-use developments shall conform to the city's land use plan and may be granted subject to approval of a site plan level II permit, subject to the considerations for such review as prescribed above. A minimum setback of twenty (20) feet from all property lines for every building used exclusively for residential



purposes may be required. Such minimum setback may also be required for mixed use buildings in which residential use exceeds fifty-nine percent (59%) of the total floor area, exclusive of parking garages.

**RESPONSE: Acknowledged. Applicant has demonstrated through compliance with the ULDR and intent of the DMP and NRMP that the Project is compatible with the surrounding development. Proposed traffic impacts are not significantly increased from the existing development on the Property.**

- iii. All development within any downtown RAC district that is within one hundred (100) feet of residential property that is located outside of any downtown RAC district and all development within the RAC-TMU (RACEMU, RAC-SMU and RAC-WMU) district; and all development that is located on land adjacent to the New River within the RAC-AS and RACCC which deviates from the New River corridor requirements as provided in Section 47-13, Downtown Regional Activity Center:
  - a) In addition to meeting the review requirements of subsection A.3.e.i, the setbacks imposed for a development plan may be modified subject to the requirements provided as follows:
    - 1. No structure, or part thereof, shall be erected or used, or land or water used, or any change of use consummated, nor shall any building permit or certificate of occupancy be issued therefor, unless a development plan for such structure or use shall have been reviewed and approved, where applicable, after development review as prescribed in subsection A.3.e.i. In approving such development plan, consideration shall be given to the location, size, height, design, character and ground floor utilization of any structure or use, including appurtenances, access and circulation for vehicles and pedestrians, streets, open spaces, relationship to adjacent property, proximity to New River and other factors conducive to development and preservation of a high quality downtown regional activity center district. No approval shall be given to the setbacks shown on the development plan unless a determination is made that the setbacks conform to all applicable provisions of the ULDR, including the requirements of Section 47-13, Downtown Regional Activity Center Districts, that the safety and convenience of the public are properly provided for, and that adequate protection and separation are provided for contiguous property and other property in the vicinity. Approval of the setbacks of a development plan may be conditioned by imposing one (1) or more setback requirements exceeding the minimum requirements.

**RESPONSE: Acknowledged. Applicant has demonstrated through compliance with the ULDR and intent of the DMP and NRMP that the Project is compatible with the surrounding development.**

- iv. Not applicable

Respectfully,

/s/ Stephanie J. Toothaker

Stephanie J. Toothaker, Esq.











NORTH WEST CORNER VIEW



NORTH FRONT VIEW



EAST SIDE VIEW



WEST SIDE VIEW



EAST BACK VIEW



SOUTH BACK VIEW

DRC COMMENTS  
R19052  
06/11/21

808 SE 4TH ST  
FORT LAUDERDALE, FL 33301

SITE PHOTOS

A-0.03

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R19052  
06/11/21

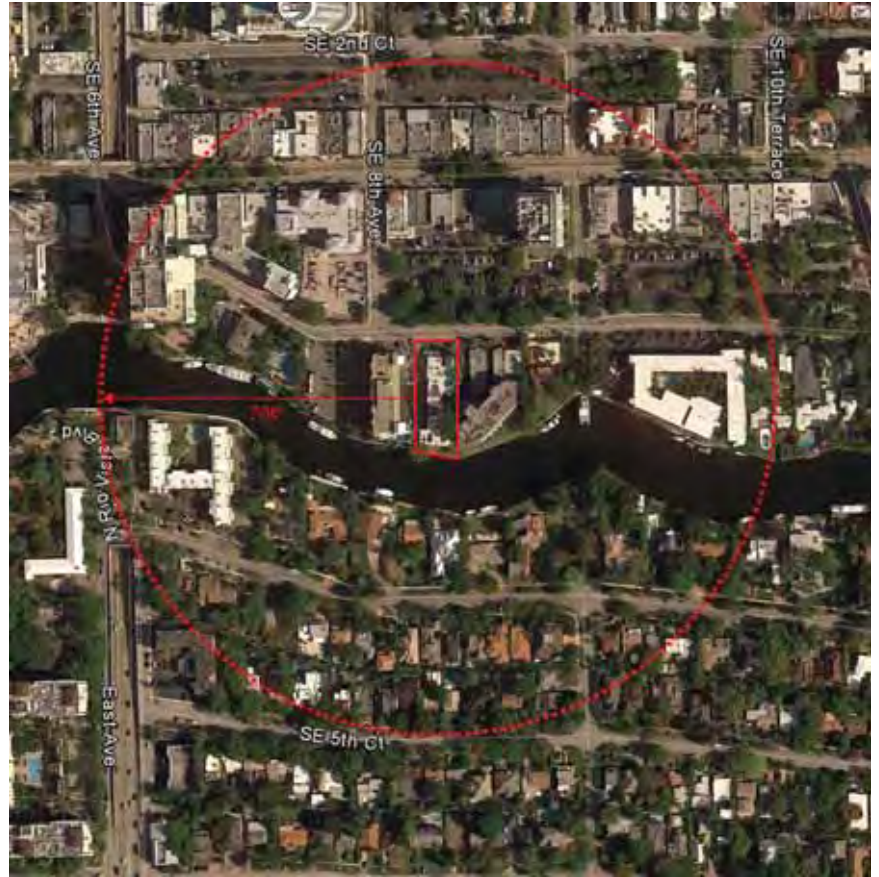
808 SE 4TH ST  
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SITE AERIAL VIEWS

A-0.04

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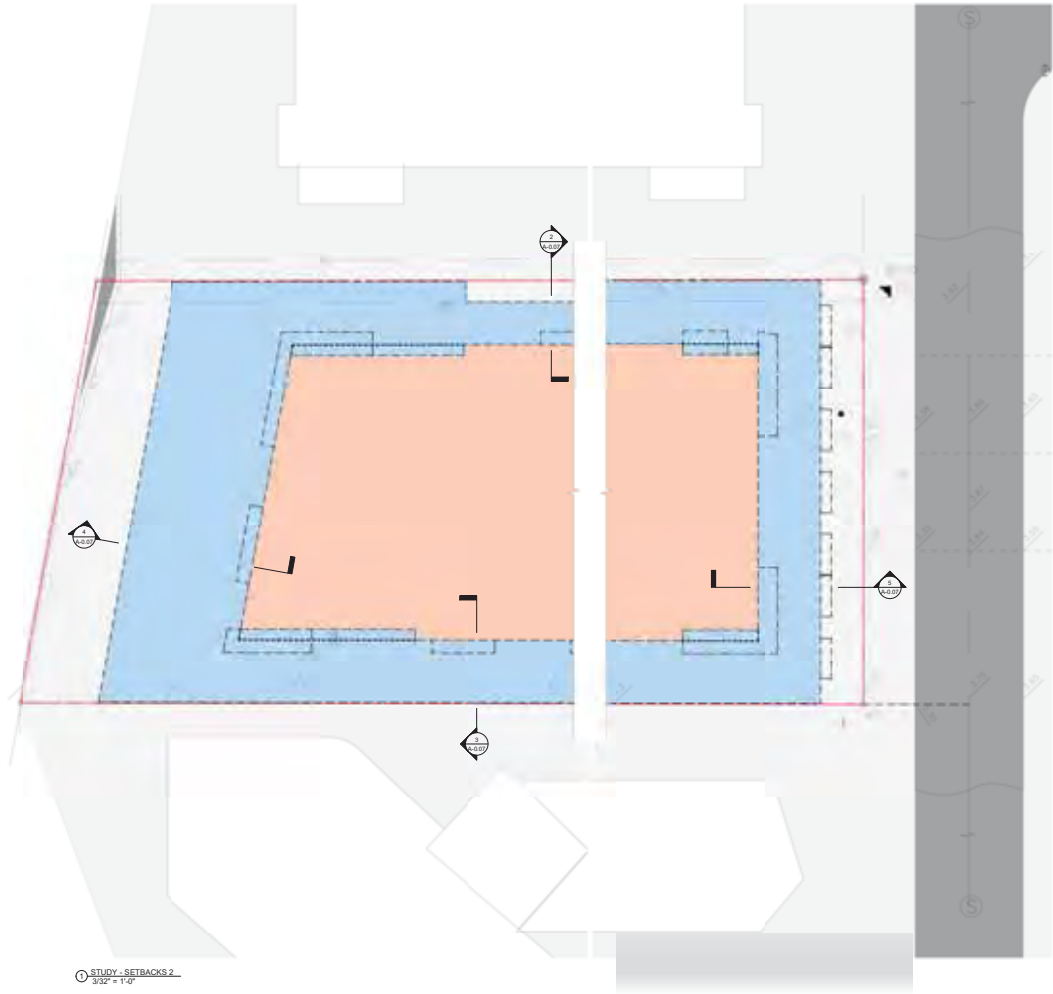
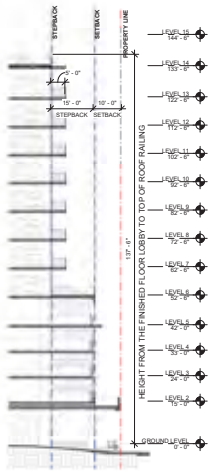
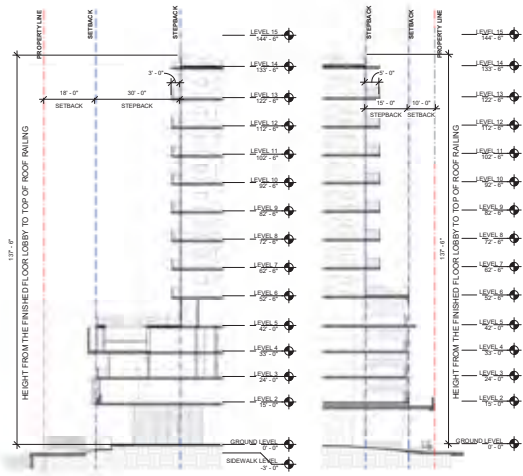
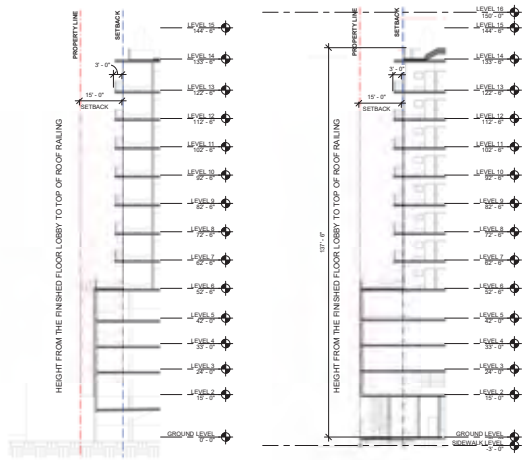
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LAND USE, ZONING, 700' RADIUS

A-0.05

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SETBACK STUDY

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CASE: R19052  
PZB Exhibit 1  
Page 31 of 99



LOT SIZE: 24,729 SF  
 PERVIOUS AREA: 3,709.35 SF  
 PERVIOUS PROVIDED: 15%

STUDY - PERVIOUS AREAS  
 335' x 115'

DRC COMMENTS  
 R19052  
 06/11/21

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 FORT LAUDERDALE, FL 33301

SITE STUDIES - PERVIOUS AREA

A-0.08A

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CASE: R19052  
 PZB Exhibit 1  
 Page 32 of 99



LOT SIZE: 24,729 SF  
 LANDSCAPE - PLANTED: 3,723.61 SF  
 LANDSCAPE - WATER FEATURE: 510.45 SF  
 LANDSCAPE - HARDSCAPE: 1,945.78 SF  
 TOTAL: 6,179.84 SF (25%)

STUDY - LANDSCAPE AREAS  
3/22/11/12

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 R19052  
 06/11/21

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 FORT LAUDERDALE, FL 33301

SITE STUDIES - LANDSCAPE AREAS

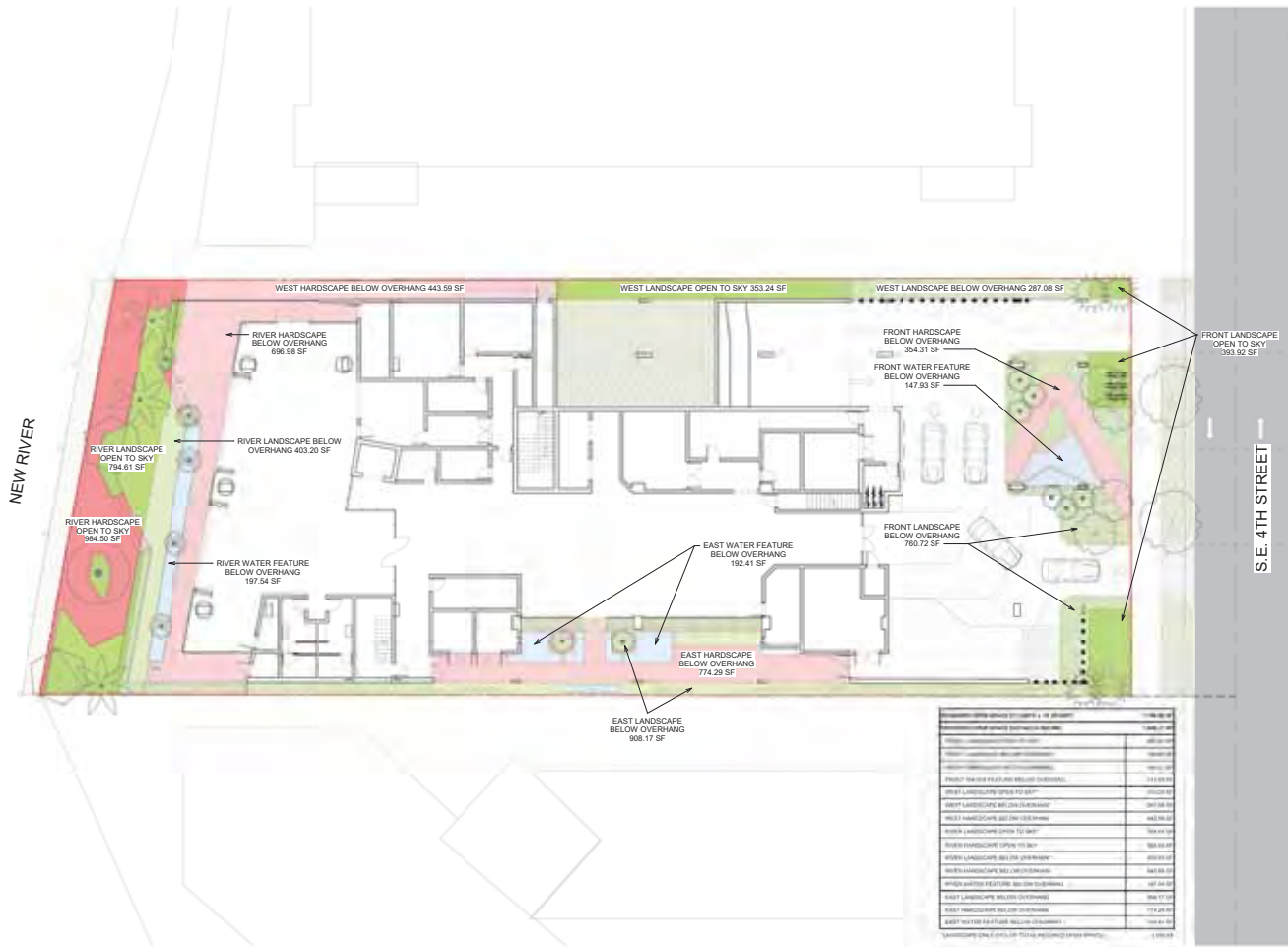
A-0.08B

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CASE: R19052  
 PZB Exhibit 1  
 Page 33 of 99

CAM #21-1186  
 Exhibit 4  
 Page 33 of 99





STUDY - OPEN SPACES  
3/22/17

DRC COMMENTS  
R19052  
06/11/21

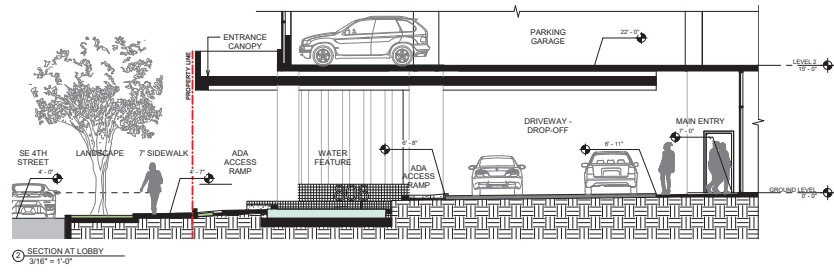
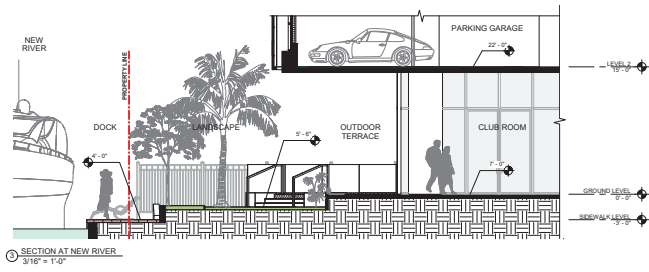
808 SE 4TH ST  
FORT LAUDERDALE, FL 33301

SITE STUDIES - OPEN SPACES

A-0.08C

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STREET SECTIONS

A-0.09

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MAINTENANCE AGREEMENT AREA EXHIBIT A-0.10

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SPRING EQUINOX (MARCH 20) 9:00 AM



SPRING EQUINOX (MARCH 20) 12:00 PM



SPRING EQUINOX (MARCH 20) 4:00 PM



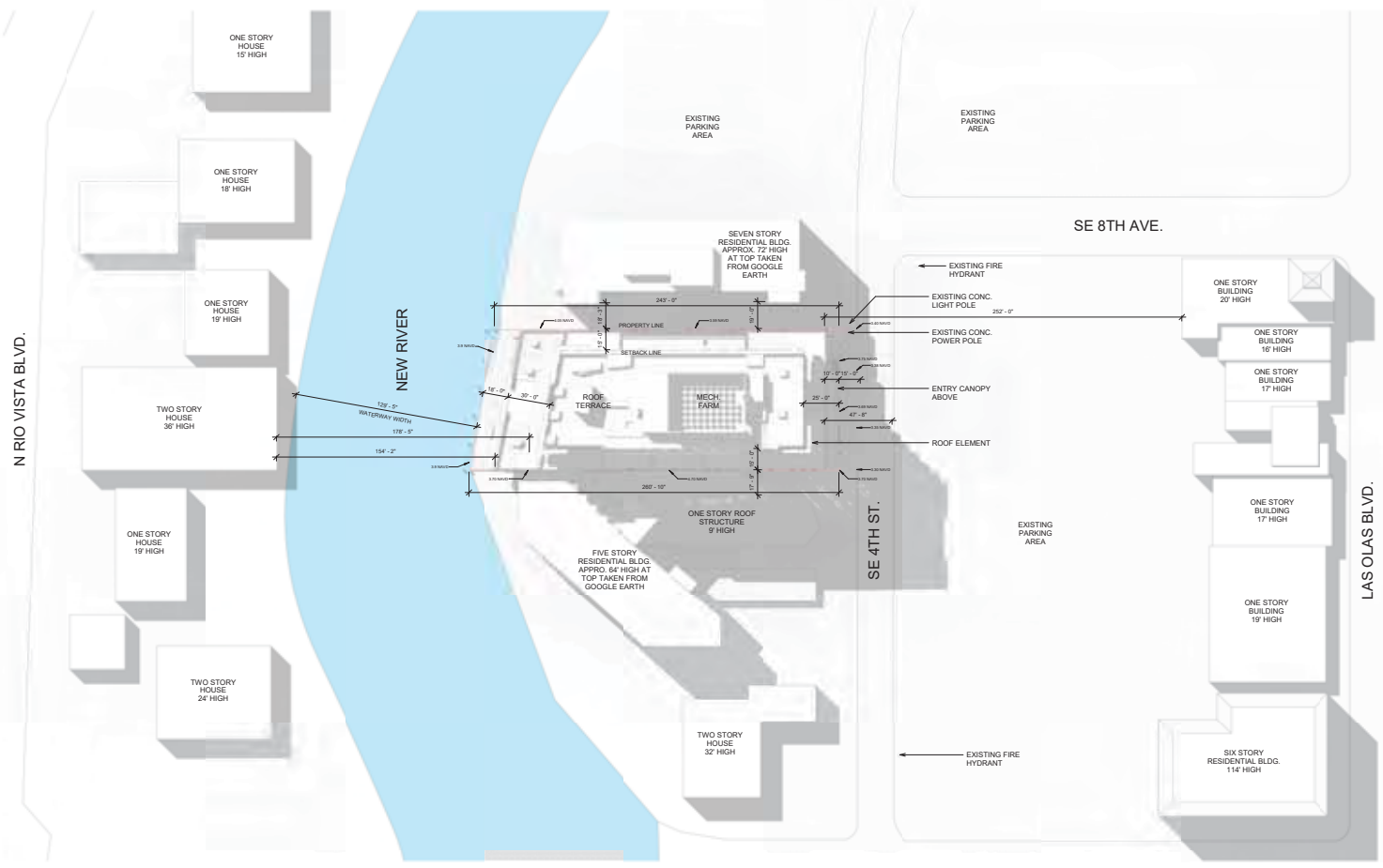
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WINTER SOLSTICE (DECEMBER 21) 12:00 PM

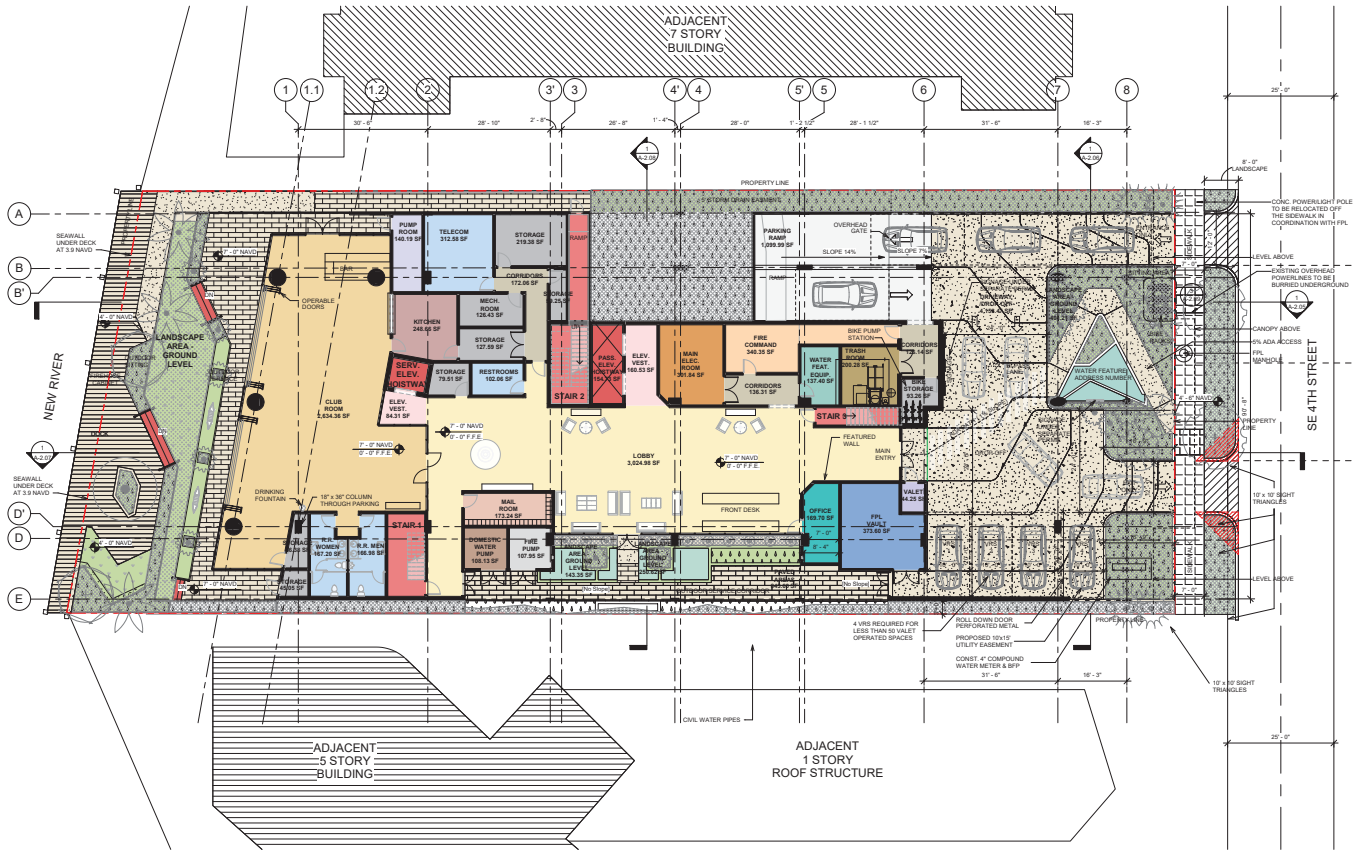


WINTER SOLSTICE (DECEMBER 21) 4:00 PM




  
 SITE
   
 1" = 30' 0"

CASE: R19052  
 PZB Exhibit 1  
 Page 38 of 99



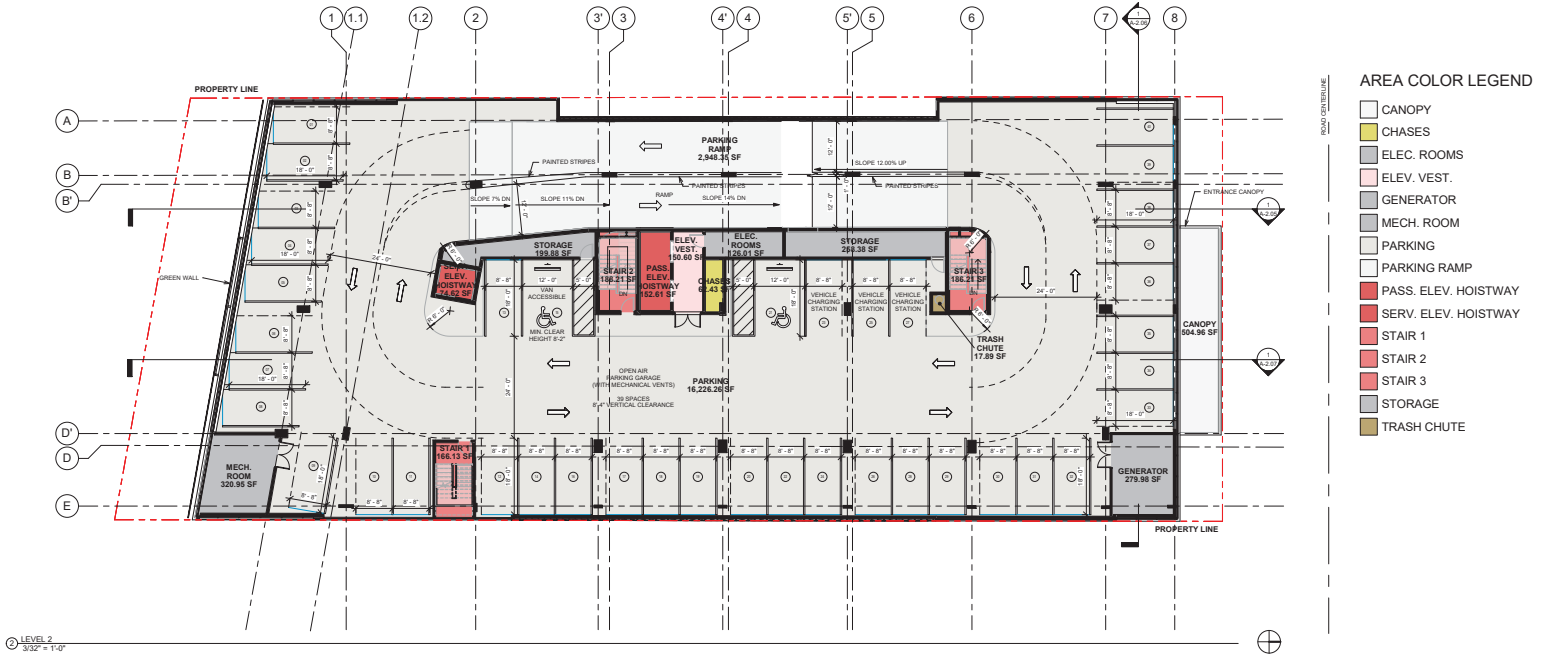
**AREA COLOR LEGEND**

- BIKE STORAGE
- CLUB ROOM
- CORRIDORS
- DOCK
- DOMESTIC WATER PUMP
- DRIVEWAY /DROP-OFF
- ELEV. VEST.
- FIRE COMMAND
- FIRE PUMP
- FPL VAULT
- KITCHEN
- LANDSCAPE AREA - GROUND LEVEL
- LOBBY
- MAIL ROOM
- MAIN ELEC. ROOM
- MECH. ROOM
- OFFICE
- PARKING RAMP
- PASS. ELEV. HOISTWAY
- PAVED AREAS
- POOL
- PUMP ROOM
- R.R. MEN
- R.R. WOMEN
- RESTROOMS
- SERV. ELEV. HOISTWAY
- STAIR 1
- STAIR 2
- STAIR 3
- STORAGE
- TELECOM
- TRASH ROOM
- VALET
- WATER FEAT. EQUIP.
- WATER FEATURE

FLOOR PLATE LEVEL 1	
INTERIOR	11,329 SF
EXTERIOR	13,687 SF
OVERALL FLOORPLATE = 25,016 SF	

1. RESIDENTIAL ENTRY DOORS TO BE SOLID, IMPACT RESISTANT OR METAL, PEERPHOLE OR VIEW PORT FOR SECURITY.
2. RESIDENTIAL UNITS ENTRY DOOR TO BE EQUIPPED WITH A QUALITY SECONDARY DEADBOLT LOCKING SYSTEM AND HAVE A 180 DEGREE
3. ALL GROUND LEVEL STAIR DOOR TO BE EGRESS ONLY OR ACCESS CONTROLLED.
4. LOBBY DOORS AND ELEVATORS AT THE GROUND TO BE ACCESS CONTROLLED.
5. RESIDENTIAL UNITS TO BE EQUIPPED FOR AN ALARM SYSTEM.
6. THE SITE TO BE EQUIPPED WITH A COMPREHENSIVE CCTV SYSTEM THAT IS CAPABLE OF RETRIEVING AN IDENTIFIABLE IMAGE OF AN INDIVIDUAL ON SITE. THE SYSTEM WILL COVER ALL ENTRY POINTS, PARKING GARAGE, COMMON AREAS AND ANY SENSITIVE AREA OF THE SITE.
7. ALL MECHANICAL, ELECTRICAL, AND MAINTENANCE ROOMS TO BE ACCESS CONTROLLED.
8. SLIDING GLASS DOORS AND WINDOWS TO BE EQUIPPED WITH BULGARY DEFERENT FEATURES SUCH AS TRACK BLOCKS, DOOR / WINDOW LOCK PINN FEATURES TO PREVENT THE DOOR / WINDOW FROM BEING LIFTED OFF THE TRACK.
9. EMERGENCY COMMUNICATION DEVICES TO BE AVAILABLE AT COMMON AREAS AND THE PARKING GARAGE.
10. BALCONIES TO PROVIDE A BARRIER BETWEEN ADJACENT BALCONIES FOR SECURITY.
11. TO PROVIDE VEHICULAR ACCESS CONTROL, TRAFFIC FOR ACCESS INTO THE PARKING GARAGE.
12. TO PROVIDE CHILD PROOF SAFETY FEATURES TO PREVENT UNSUPERVISED CHILDREN ACCESS TO THE POOL.
13. ALL LIGHTING AND LANDSCAPING WILL FOLLOW C.P.T.E.D. GUIDELINES.

FLOOR PLATE LEVEL 2	
INTERIOR	21,762 SF
EXTERIOR	0 SF
OVERALL FLOORPLATE = 21,762 SF	



DRC COMMENTS  
R19052  
06/11/21

808 SE 4TH ST  
FORT LAUDERDALE, FL 33301

2ND LEVEL

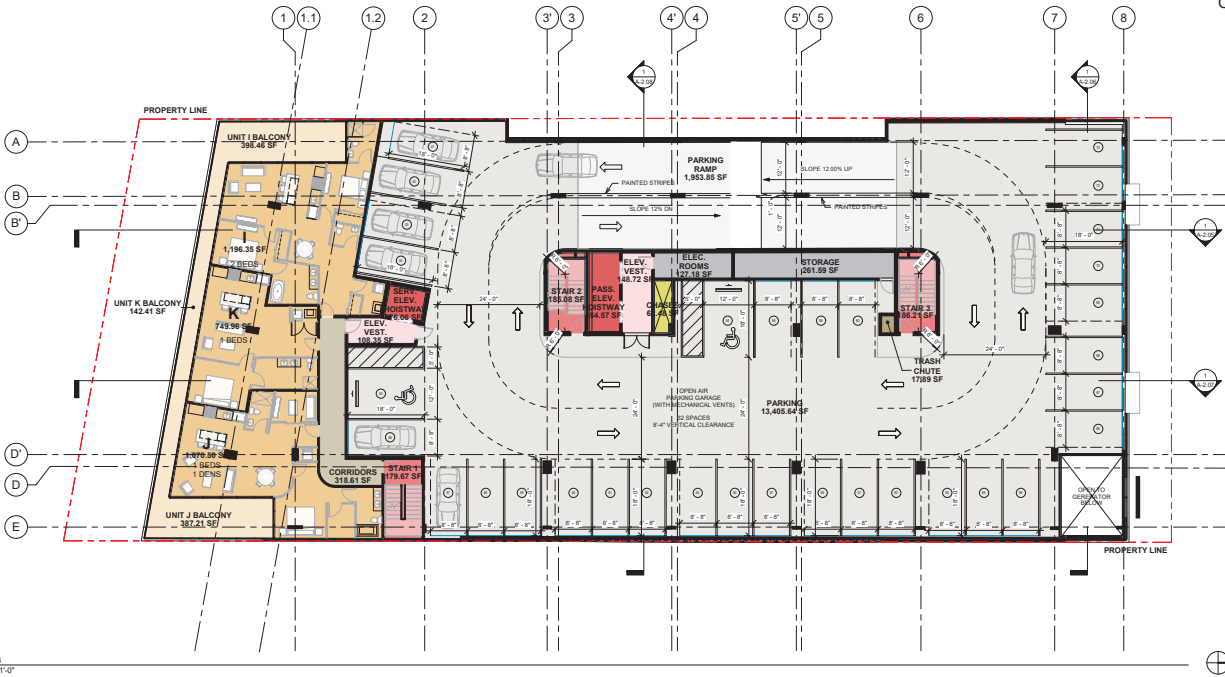
A-1.02 adache  
group architects

CASE: R19052  
PZB Exhibit 1  
Page 40 of 99

CAM #21-1186  
Exhibit 4  
Page 40 of 99



FLOOR PLATE LEVEL 3	
INTERIOR	20,793 SF
EXTERIOR	969 SF
OVERALL FLOORPLATE = 21,762 SF	



AREA COLOR LEGEND

- CHASES
- CORRIDORS
- ELEC. ROOMS
- ELEV. VEST.
- PARKING RAMP
- PARKING
- PASS. ELEV. HOISTWAY
- RESIDENTIAL UNITS
- SERV. ELEV. HOISTWAY
- STAIR 1
- STAIR 2
- STAIR 3
- STORAGE
- TRASH CHUTE
- UNIT BALCONIES

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R19052  
06/11/21

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FORT LAUDERDALE, FL 33301

3RD LEVEL

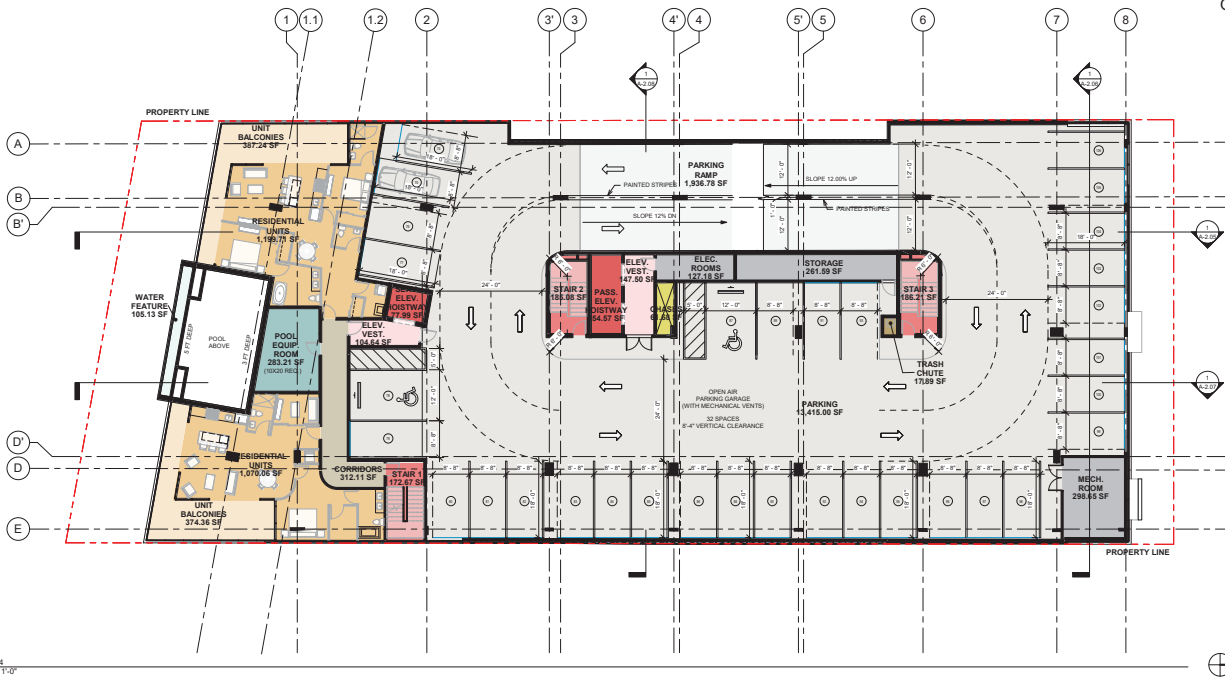
A-1.03

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CASE: R19052  
PZB Exhibit 1  
Page 41 of 99

CAM #21-1186  
Exhibit 4  
Page 41 of 99

FLOOR PLATE LEVEL 4	
INTERIOR	20,913 SF
EXTERIOR	849 SF
OVERALL FLOORPLATE = 21,762 SF	



AREA COLOR LEGEND

- CHASES
- CORRIDORS
- ELEC. ROOMS
- ELEV. VEST.
- MECH. ROOM
- PARKING
- PARKING RAMP
- PASS. ELEV. HOISTWAY
- POOL EQUIP. ROOM
- RESIDENTIAL UNITS
- SERV. ELEV. HOISTWAY
- STAIR 1
- STAIR 2
- STAIR 3
- STORAGE
- TRASH CHUTE
- UNIT BALCONIES
- WATER FEATURE

DRC COMMENTS  
R19052  
06/11/21

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FORT LAUDERDALE, FL 33301

4TH LEVEL

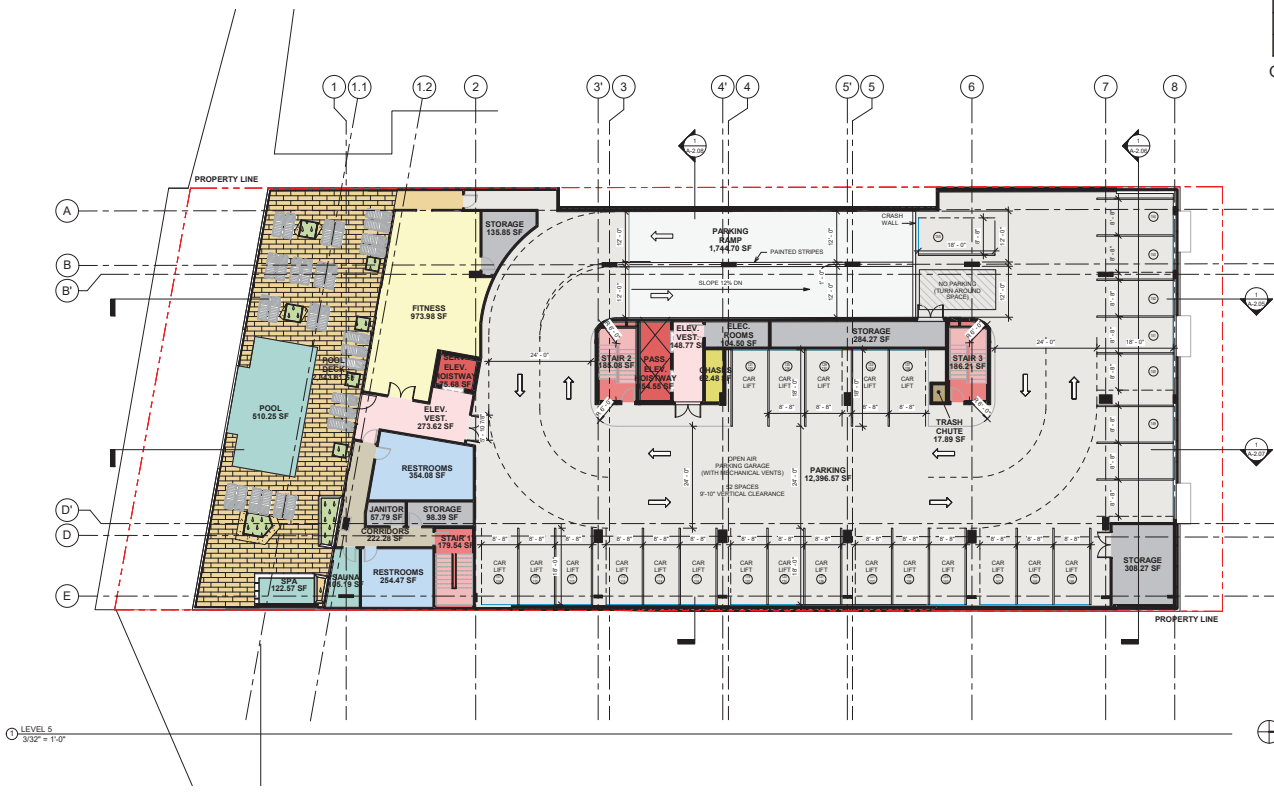
A-1.04

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FLOOR PLATE LEVEL 5	
INTERIOR	18,638 SF
EXTERIOR	3,124 SF
OVERALL FLOORPLATE = 21,762 SF	

AREA COLOR LEGEND

- CHASES
- CORRIDORS
- ELEC. ROOMS
- ELEV. VEST.
- FITNESS
- JANITOR
- LANDSCAPE AREA
- PARKING
- PARKING RAMP
- PASS. ELEV. HOISTWAY
- POOL
- POOL DECK
- RESTROOMS
- SAUNA
- SERV. ELEV. HOISTWAY
- SPA
- STAIR 1
- STAIR 2
- STAIR 3
- STORAGE
- TRASH CHUTE



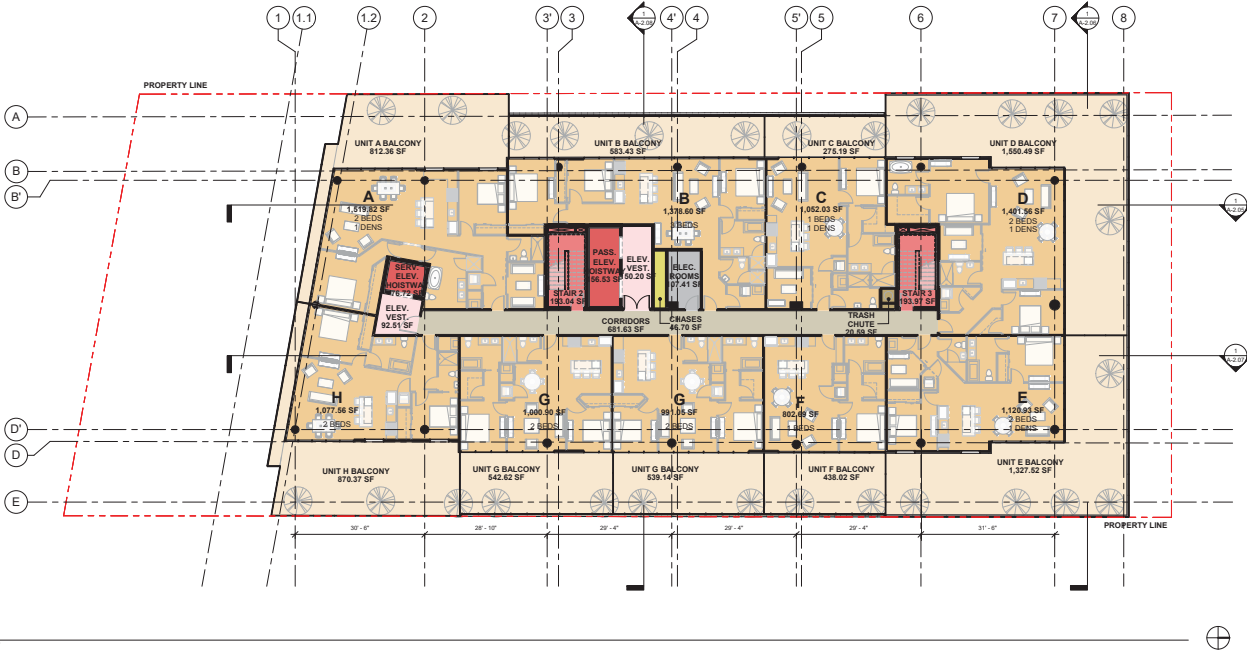
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R19052  
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FORT LAUDERDALE, FL 33301

5TH LEVEL

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FLOOR PLATE LEVEL 6	
INTERIOR	12,120 SF
EXTERIOR	6,844 SF
OVERALL FLOORPLATE = 18,964 SF	



AREA COLOR LEGEND

<span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black;"></span>	CHASES
<span style="display:inline-block; width:15px; height:15px; background-color:lightgrey; border:1px solid black;"></span>	CORRIDORS
<span style="display:inline-block; width:15px; height:15px; background-color:blue; border:1px solid black;"></span>	ELEC. ROOMS
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<span style="display:inline-block; width:15px; height:15px; background-color:lightblue; border:1px solid black;"></span>	STAIR 3
<span style="display:inline-block; width:15px; height:15px; background-color:lightgrey; border:1px solid black;"></span>	TRASH CHUTE
<span style="display:inline-block; width:15px; height:15px; background-color:lightyellow; border:1px solid black;"></span>	UNIT TERRACES

LEVEL 6  
3/32" = 1'-0"

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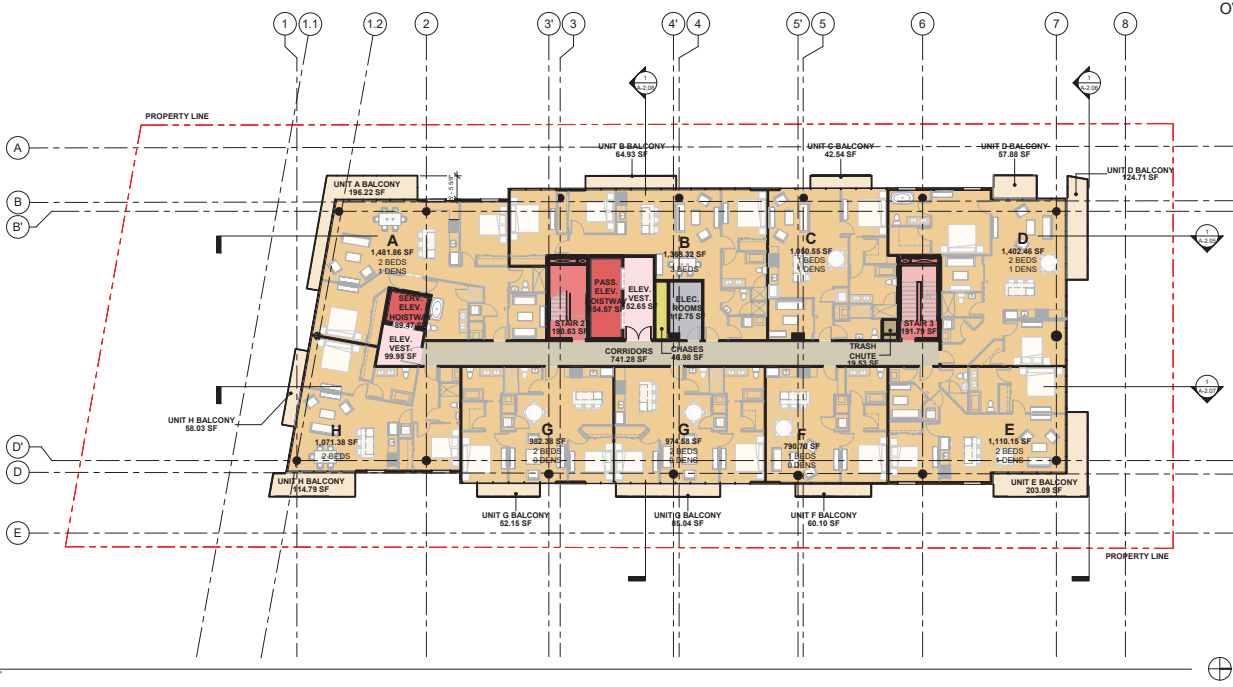
6TH LEVEL

A-1.06

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CASE: R19052  
PZB Exhibit 1  
Page 44 of 99

FLOOR PLATE LEVEL 7 TYP.	
INTERIOR	12,120 SF
EXTERIOR	1,020 SF
OVERALL FLOORPLATE = 13,140 SF	



- AREA COLOR LEGEND
- CHASES
  - CORRIDORS
  - ELEC. ROOMS
  - ELEV. VEST.
  - PASS. ELEV. HOISTWAY
  - RESIDENTIAL UNITS
  - SERV. ELEV. HOISTWAY
  - STAIR 2
  - STAIR 3
  - TRASH CHUTE
  - UNIT BALCONIES

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R19052  
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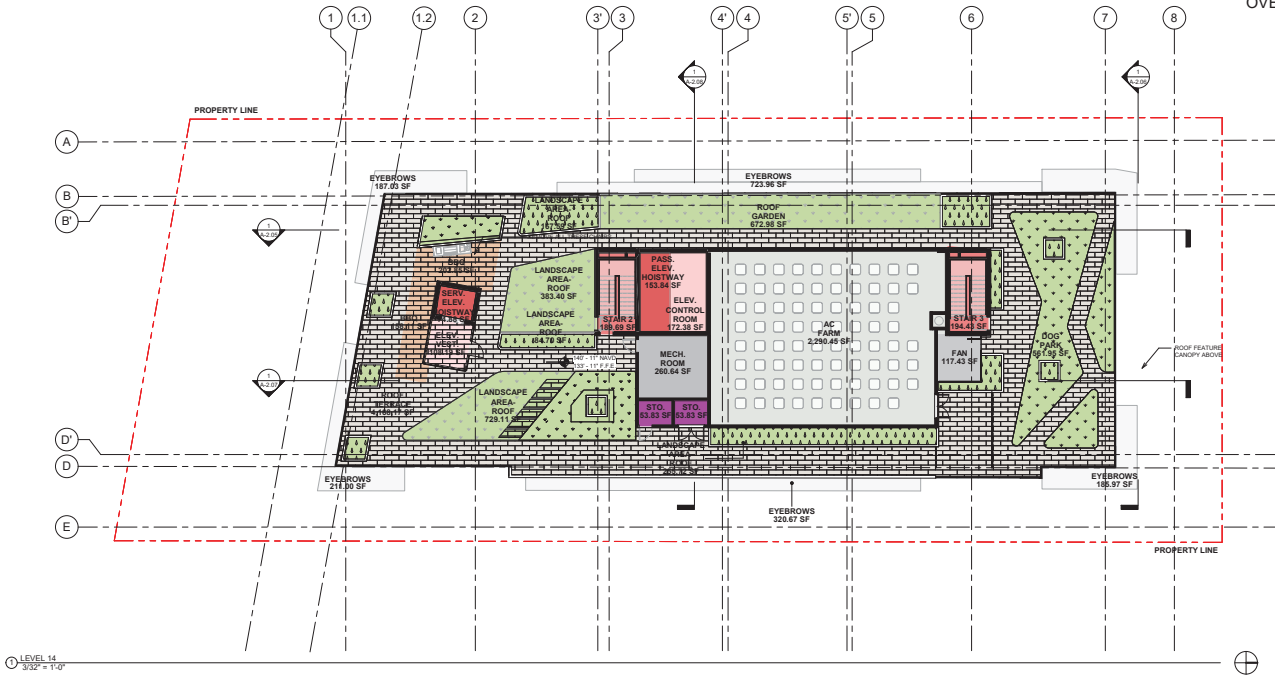
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7TH - 13TH TYPICAL LEVELS

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Page 45 of 99

FLOOR PLATE LEVEL 14 ROOF	
INTERIOR	1,370 SF
EXTERIOR	10,466 SF
OVERALL FLOORPLATE = 11,836 SF	



AREA COLOR LEGEND

- AC FARM
- BBQ
- DOG PARK
- ELEV. CONTROL ROOM
- ELEV. VEST.
- EYEBROWS
- FAN
- LANDSCAPE AREA
- LANDSCAPE AREA- ROOF
- MECH. ROOM
- PASS. ELEV. HOISTWAY
- ROOF GARDEN
- ROOF TERRACE
- SERV. ELEV. HOISTWAY
- STAIR 2
- STAIR 3
- STO.

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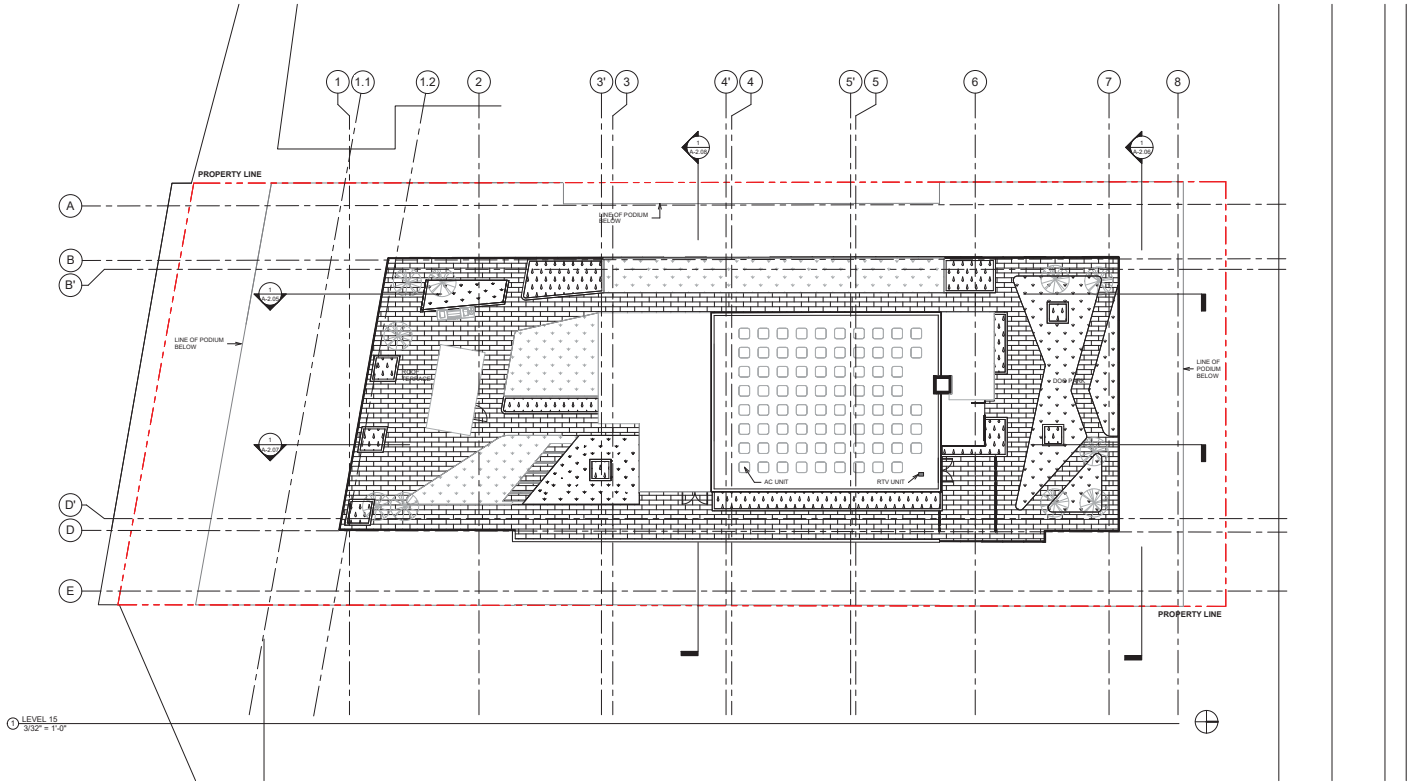
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14TH MECHANICAL ROOF

A-1.08

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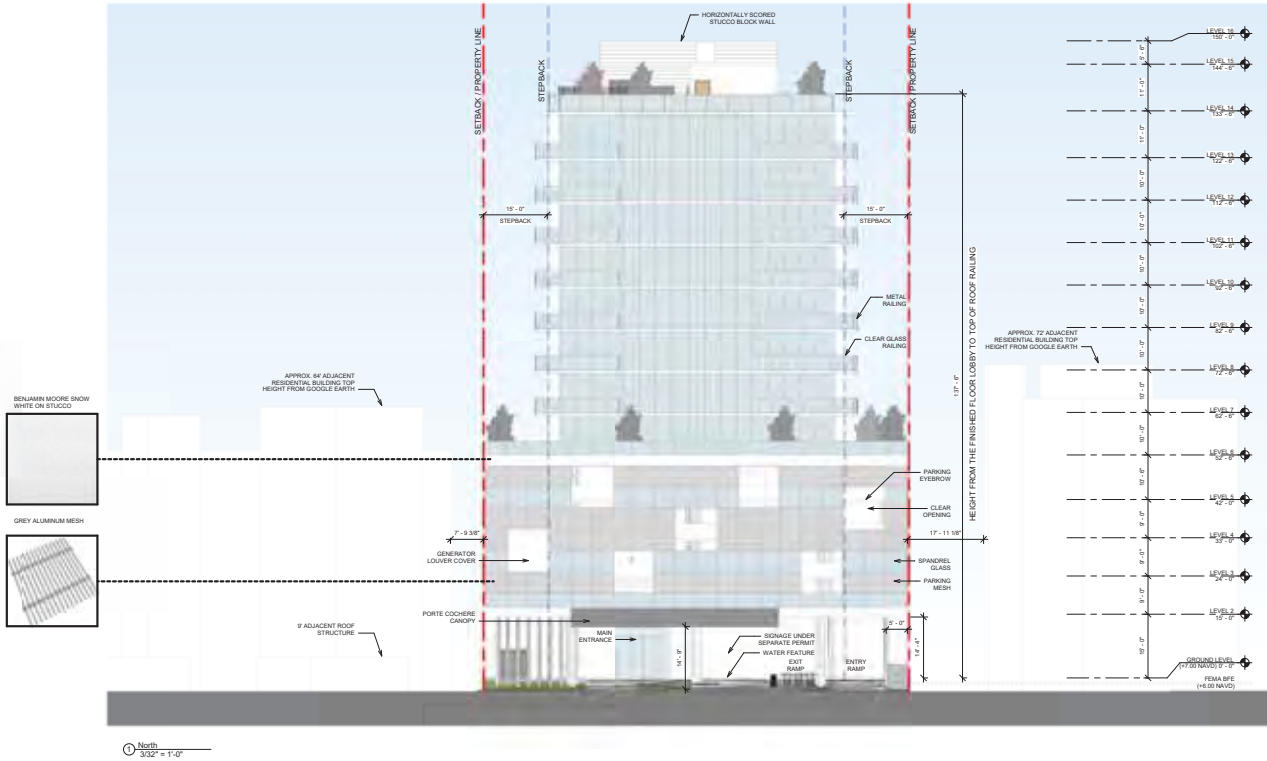
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15TH ROOF PLAN

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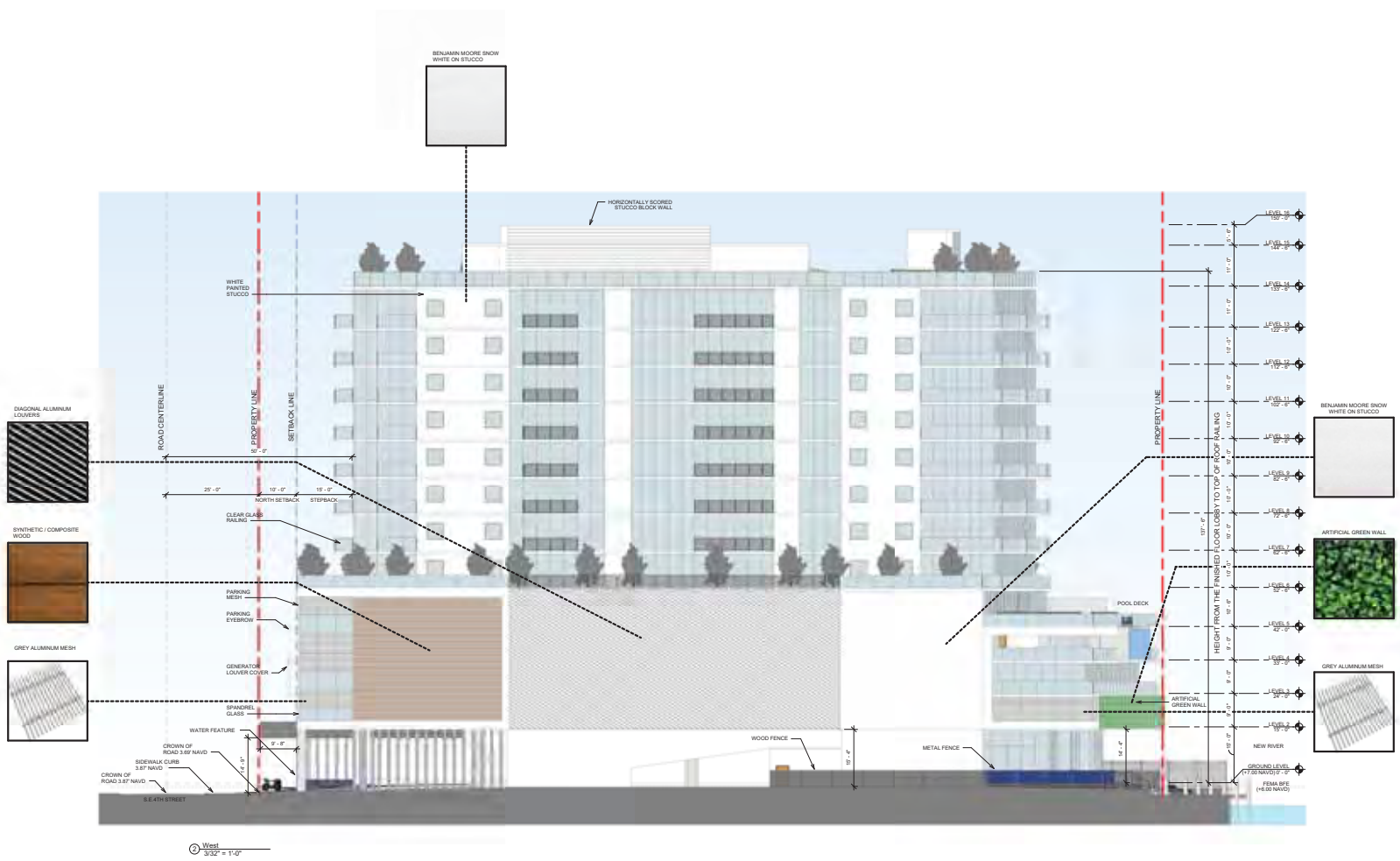
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NORTH ELEVATION

A-2.02

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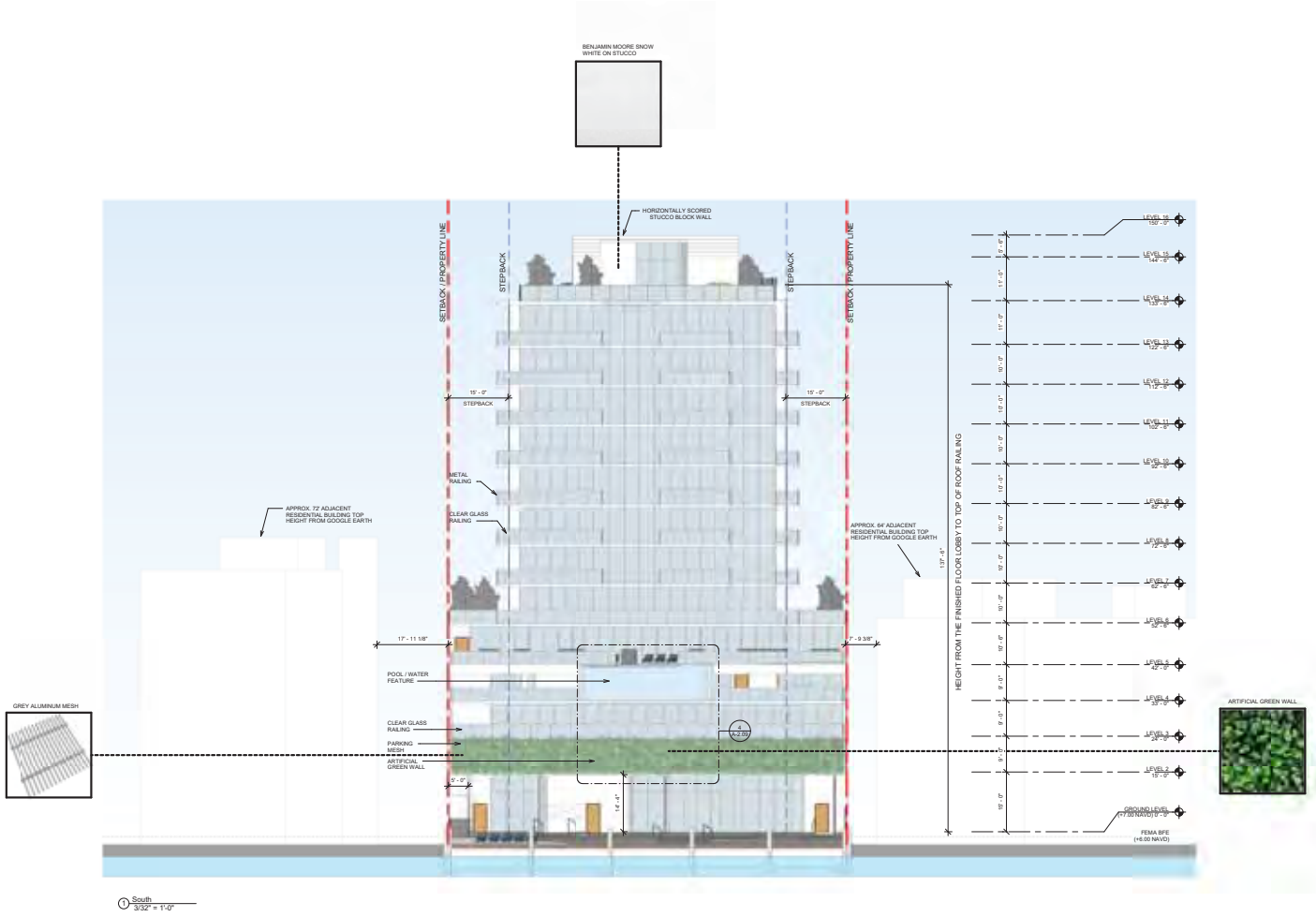
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WEST ELEVATION

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CASE: R19052  
PZB Exhibit 1  
Page 50 of 99



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R19052  
06/11/21

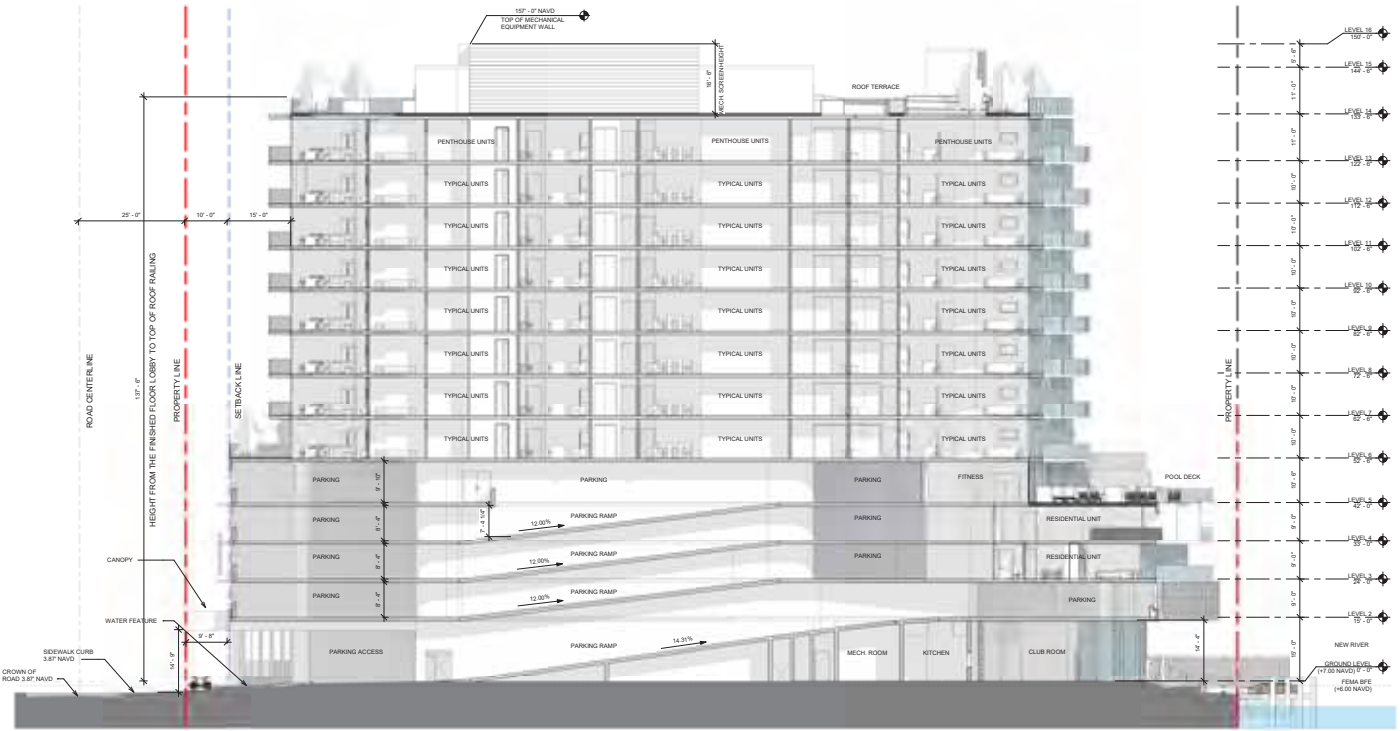
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FORT LAUDERDALE, FL 33301

SOUTH ELEVATION

A-2.04

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Section 1  
3/32" = 1'-0"

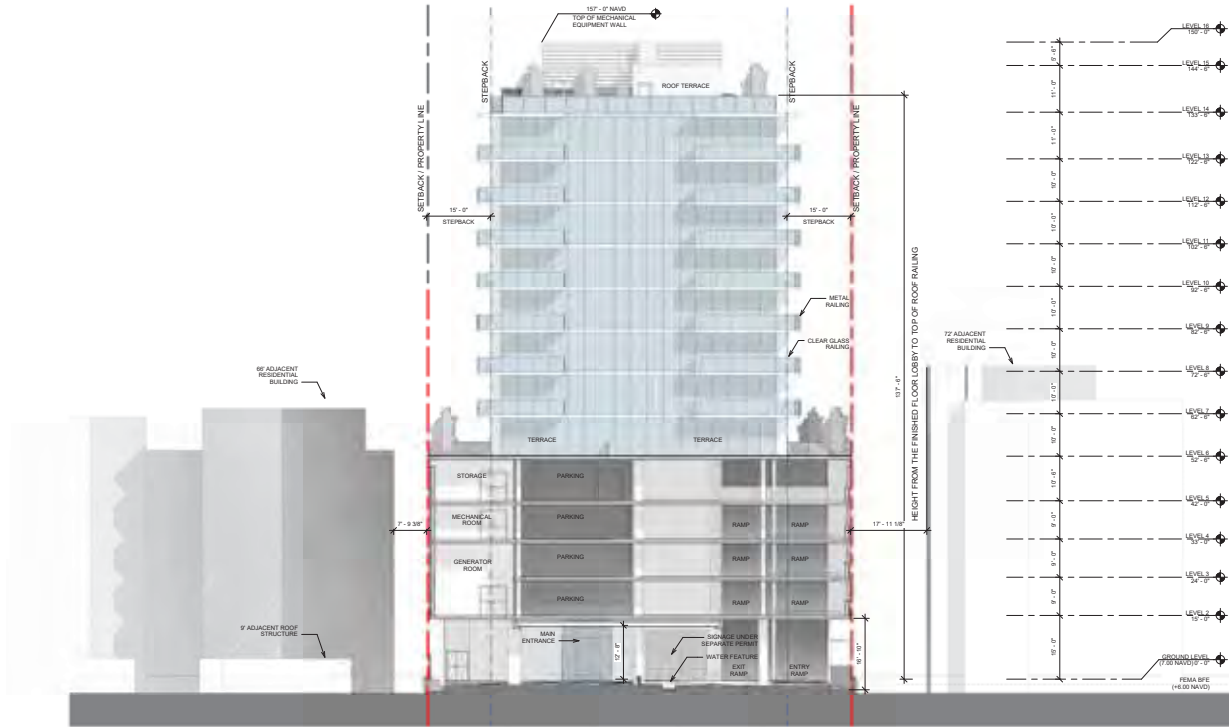
DRC COMMENTS  
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06/11/21

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SECTION 1

A-2.05

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Section 2  
3/32" = 1'-0"



Section 3  
3/32" = 1'-0"

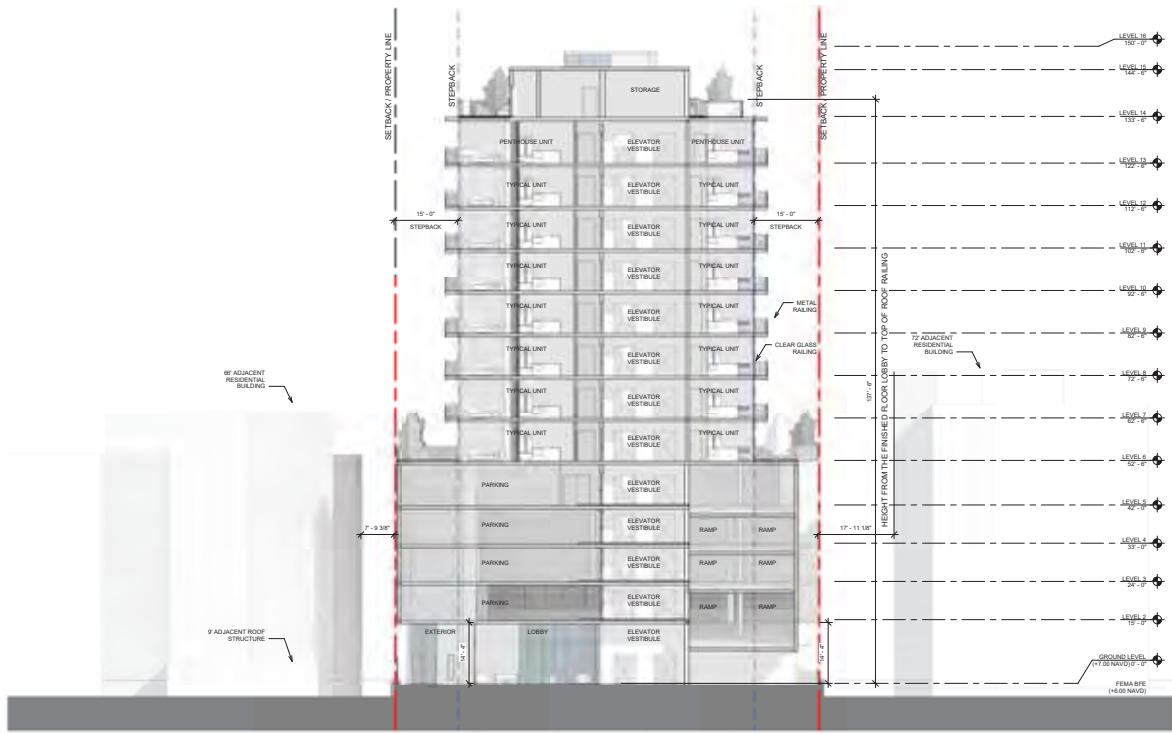
DRC COMMENTS  
R19052  
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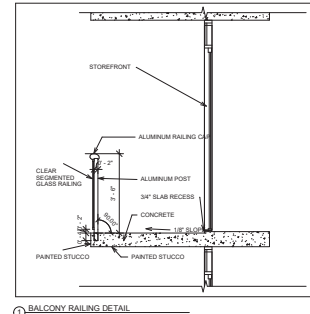
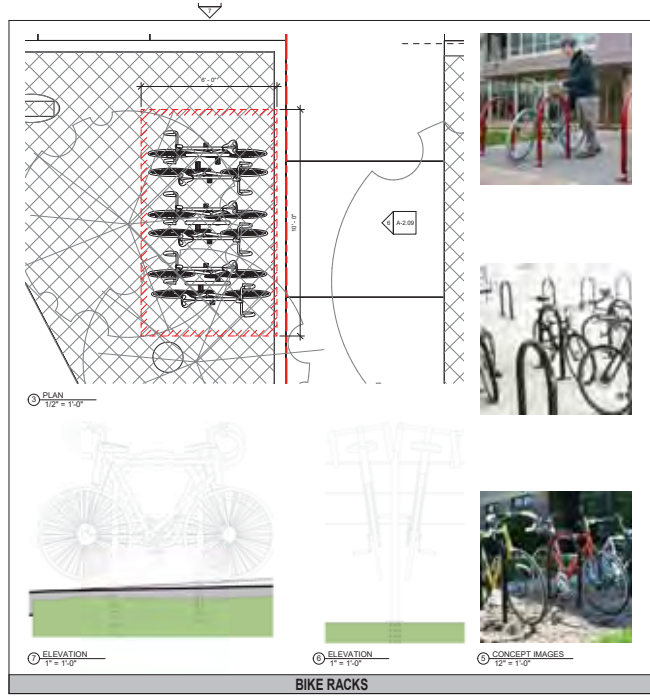
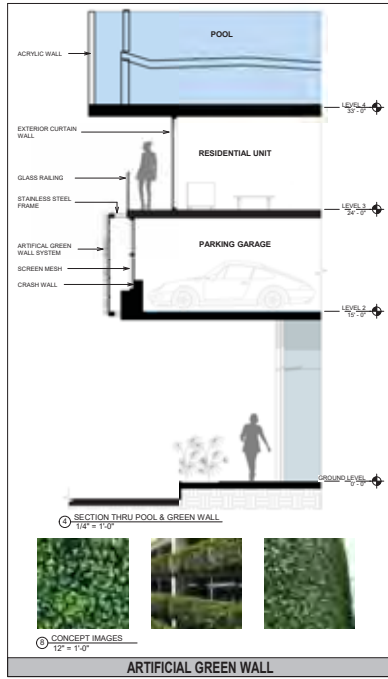
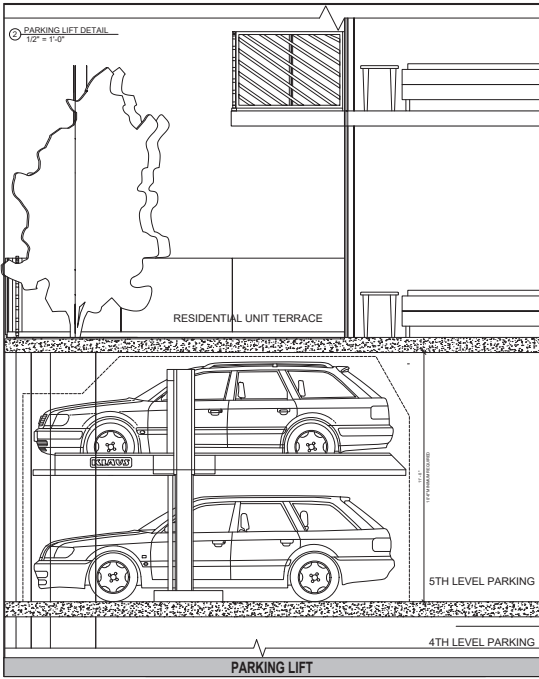
SECTION 3

A-2.07 **adache**  
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CASE: R19052  
PZB Exhibit 1  
Page 54 of 99



Section 4  
3/32" = 1'-0"



DRC COMMENTS  
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06/17/21

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DETAILS

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**ACCESSIBLE ROUTE**

**402.2 Components.** Accessible routes shall consist of one or more of the following components: walking surfaces with a running slope not steeper than 1:20, ramps, curb ramps, curbs, ramps, handrails, elevators, and platform lifts. All components of an accessible route shall comply with the applicable requirements of Chapter 4 and 208.3.1.

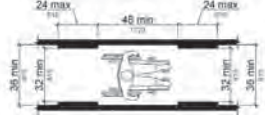


FIGURE 403.1 CLEAR WIDTH OF AN ACCESSIBLE ROUTE

**403 WALKING SURFACES**

**403.1 General.** Walking surfaces that are a part of an accessible route shall comply with 403.  
**403.2 Floor or Ground Surface.** Floor or ground surfaces shall comply with 302.  
**403.3 Slopes.** The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48.  
**403.4 Changes in Level.** Changes in level shall comply with 303.  
**403.5 Clearances.** Walking surfaces shall provide clearances complying with 403.5.  
**EXCEPTION:** Within employee work areas, clearances on common use circulation paths shall be permitted to be decreased by work area equipment provided that the decrease is essential to the function of the work being performed.  
**403.5.1 Clear Width.** Except as provided in 403.5.2 and 403.5.3, the clear width of walking surfaces shall be 36 inches (915 mm) minimum.  
**EXCEPTION:** The clear width shall be permitted to be reduced to 32 inches (813 mm) minimum for a length of 20 inches (508 mm) maximum provided that reduced width segments are separated by segments that are 48 inches (1220 mm) minimum and 36 inches (915 mm) wide minimum.

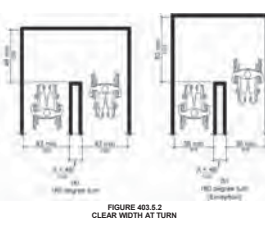


FIGURE 403.2 CLEAR WIDTH AT TURN

**403.5.2 Clear Width at Turn.** Where the accessible route makes a 180 degree turn around an element which is less than 48 inches (1220 mm) wide, clear width shall be 42 inches (1065 mm) minimum approaching the turn, 48 inches (1220 mm) minimum at the turn and 42 inches (1065 mm) minimum leaving the turn.  
**EXCEPTION:** Where the clear width at the turn is 60 inches (1525 mm) minimum compliance with 403.5.2 shall not be required.  
**403.5.3 Passing Spaces.** Accessible routes with a clear width less than 60 inches (1525 mm) shall provide passing spaces at intervals of 200 feet (61 m) maximum. Passing spaces shall be either: a space 60 inches (1525 mm) minimum by 48 inches (1220 mm) minimum; or, an intersection of two walking surfaces providing a T-shaped space complying with 304.3.2 where the base and arms of the T-shaped space extend 48 inches (1220 mm) minimum beyond the intersection.  
**403.6 Handrails.** Where handrails are provided along walking surfaces with running slopes not steeper than 1:20 they shall comply with 505.  
**404 DOORS, DOORWAYS, AND GATES**  
**404.1 General.** Doors, doorways, and gates that are part of an accessible route shall comply with 404. **EXCEPTION:** Doors, doorways, and gates designed to be operated only by security personnel shall not be required to comply with 404.2, 404.2.1, 404.2.2, 404.2.3, and 404.3.4 through 404.3.7.  
**404.2 Manual Doors, Doorways, and Manual Gates.** Manual doors and doorways and manual gates intended for user passage shall comply with 404.2.  
**404.2.1 Revolving Doors, Gates, and Turnstiles.** Revolving doors, revolving gates, and turnstiles shall not be part of an accessible route.  
**404.2.2 Double-Leaf Doors and Gates.** At least one of the active leaves of doors with two leaves shall comply with 404.2.3 and 404.2.4.  
**404.2.3 Clear Width.** Door openings shall provide a clear width of 32 inches (813 mm) minimum. Clear openings of doorways with swinging doors shall be measured between the face of the door and the stop, with the door open 90 degrees. Openings more than 34 inches (865 mm) deep shall provide a clear opening of 36 inches (915 mm) minimum. There shall be no projections into the required clear opening with lower than 34 inches (865 mm) above the finish floor or ground. Projections into the clear opening with between 34 inches (865 mm) and 80 inches (2032 mm) above the finish floor or ground shall not exceed 4 inches (100 mm). In alterations, a projection of 5.8 inches (146 mm) maximum into the required clear width shall be permitted for the latch side stop. 2. Door closers and door stops shall be permitted to be 78 inches (1980 mm) maximum above the finish floor or ground.

**404.2.4 Manuevering Clearances.** Minimum manuevering clearances at doors and gates shall comply with 404.2.4.1 and 404.2.4.2.  
**404.2.4.1 Swing Doors and Gates.** Swing doors and gates shall be required to provide the clearance beyond the latch side of the door.  
**404.2.4.2 Doorways without Doors or Gates, Sliding Doors, and Folding Doors.** Doorways less than 36 inches (915 mm) wide without doors or gates, sliding doors, or folding doors shall have manuevering clearances complying with Table 404.2.4.2.

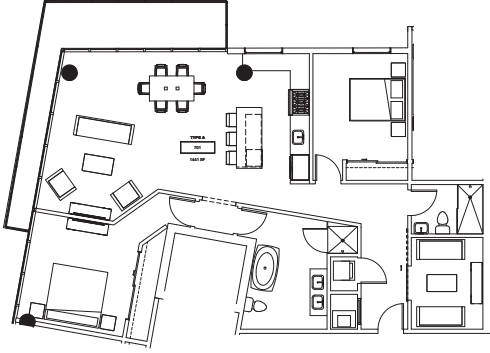
**404.2.4.3 Recessed Doors and Gates.** Manuevering clearances for forward approach shall be provided when any obstruction within 18 inches (455 mm) of the latch side of a doorway projects more than 8 inches (205 mm) beyond the face of the door, measured perpendicular to the face of the door or gate.  
**404.2.4.4 Floor or Ground Surface.** Floor or ground surfaces within required manuevering clearances shall comply with 302. Changes in level are not permitted. **EXCEPTION:** 1. Slopes not steeper than 1:48 shall be permitted. 2. Changes in level at thresholds complying with 404.2.5 shall be permitted.  
**404.2.5 Thresholds.** Thresholds, if provided at doorways, shall be 1/2 inch (13 mm) high maximum. Raised thresholds and changes in level at doorways shall comply with 302 and 303. **EXCEPTION:** Existing or altered thresholds 3/4 inch (19 mm) high maximum that have a beveled edge on each side with a slope not steeper than 1:2 shall not be required to comply with 404.2.5.

**404.2.5 Doors in Series and Gates in Series.** The distance between two hinged or pivoted doors in series and gates in series shall be 48 inches (1220 mm) minimum plus the width of doors or gates swinging into the space.  
**404.2.7 Door and Gate Hardware.** Handles, pulls, latches, locks, and other operable parts on doors and gates shall comply with 305.4 Operable parts of such hardware shall be 34 inches (865 mm) minimum and 48 inches (1220 mm) maximum above the finish floor or ground. Where sliding doors are in the fully open position, operating hardware shall be exposed and usable from both sides. **EXCEPTIONS:** 1. Existing locks shall be permitted in any location at existing glazed doors without sills, existing overhead rolling doors or grilles, and similar existing doors or grilles that are designed with locks that are activated only at the top or bottom rail. 2. Access gates in barrier walls and fences protecting public areas, and hot tubs shall be permitted to have operable parts of the release of latch or self-latching devices at 54 inches (1370 mm) maximum above the finish floor or ground provided the self-latching devices are not also self-locking devices and operated by means of a key, electronic opener, or remote control device.

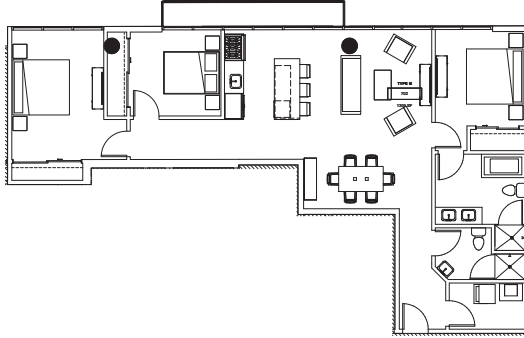
**404.2.8 Closing Speed.** Door and gate closing speed shall comply with 404.2.8.  
**404.2.9 Door and Gate Operation.** Door closers and gate closers shall be adjusted so that from an open position of 90 degrees, the time required to move the door to a position of 12 degrees from the latch is 5 seconds.  
**404.2.10 Spring Hinges.** Door and gate spring hinges shall be adjusted so that from the open position of 90 degrees, the door or gate will move to the closed position in 1.5 seconds minimum.  
**404.2.11 Door and Gate Opening Force.** Fire doors shall have a minimum opening force allowable by the appropriate administrative authority. The force for pushing or pulling open a door or gate other than fire doors shall be as follows: 1. Interior hinged doors and gates: 5 pounds (22.2 N) maximum. 2. Sliding or folding doors and gates: 20 pounds (89 N) maximum. 3. Exterior hinged doors and gates: shall be designed so that such doors can be pushed or pulled open with a force not exceeding 8.5 pounds (37.8 N). These forces do not apply to the force required to retract latch bolts or disengage other devices that hold the door or gate in a closed position.

**404.2.12 Door and Gate Surfaces.** Swinging door and gate surfaces within 10 inches (255 mm) of the finish floor or ground measured vertically shall have a smooth surface on the push side extending the full width of the door or gate. Panels creating horizontal or vertical joints in these surfaces shall be within 1/16 inch (1.6 mm) of the same plane as the other cavities created by added kick plates shall be capped. **EXCEPTIONS:** 1. Sliding doors shall not be required to comply with 404.2.12. 2. Tempered glass doors without sills and having a bottom rail or sills with the top leading edge splayed at 60 degrees minimum from the horizontal shall not be required to meet the 10 inch (255 mm) bottom smooth surface height requirement. 3. Doors and gates that do not extend within 10 inches (255 mm) of the finish floor or ground shall not be required to comply with 404.2.12. 4. Existing doors and gates without smooth surfaces within 10 inches (255 mm) of the finish floor or ground shall not be required to provide smooth surfaces complying with 404.2.12 provided that 404.2.12.1, 404.2.12.2, 404.2.12.3, 404.2.12.4, 404.2.12.5, 404.2.12.6, 404.2.12.7, 404.2.12.8, 404.2.12.9, 404.2.12.10, 404.2.12.11, 404.2.12.12, 404.2.12.13, 404.2.12.14, 404.2.12.15, 404.2.12.16, 404.2.12.17, 404.2.12.18, 404.2.12.19, 404.2.12.20, 404.2.12.21, 404.2.12.22, 404.2.12.23, 404.2.12.24, 404.2.12.25, 404.2.12.26, 404.2.12.27, 404.2.12.28, 404.2.12.29, 404.2.12.30, 404.2.12.31, 404.2.12.32, 404.2.12.33, 404.2.12.34, 404.2.12.35, 404.2.12.36, 404.2.12.37, 404.2.12.38, 404.2.12.39, 404.2.12.40, 404.2.12.41, 404.2.12.42, 404.2.12.43, 404.2.12.44, 404.2.12.45, 404.2.12.46, 404.2.12.47, 404.2.12.48, 404.2.12.49, 404.2.12.50, 404.2.12.51, 404.2.12.52, 404.2.12.53, 404.2.12.54, 404.2.12.55, 404.2.12.56, 404.2.12.57, 404.2.12.58, 404.2.12.59, 404.2.12.60, 404.2.12.61, 404.2.12.62, 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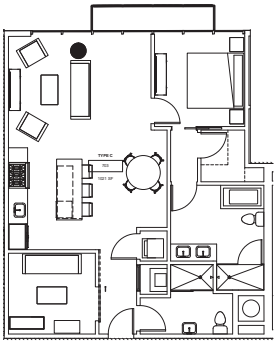




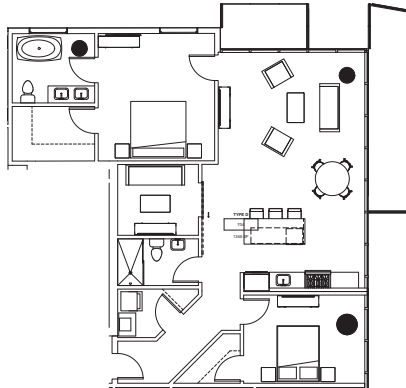
UNIT TYPE A  
3/16" = 1'-0"



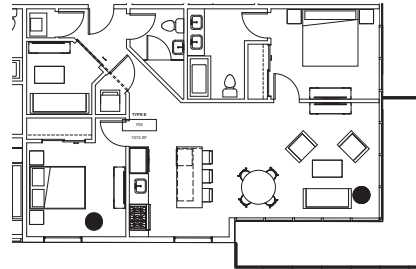
UNIT TYPE B  
3/16" = 1'-0"



UNIT TYPE C  
3/16" = 1'-0"



UNIT TYPE D  
3/16" = 1'-0"



UNIT TYPE E  
3/16" = 1'-0"

RESIDENTIAL UNITS UNIT MATRIX			
NAME	AREA	BEDS	DENS
RESIDENTIAL UNITS	1,482 SF	2	1
UNIT BALCONIES	106 SF		
RESIDENTIAL UNITS	1,308 SF	3	
UNIT BALCONIES	85 SF		
RESIDENTIAL UNITS	1,081 SF	1	1
UNIT BALCONIES	43 SF		
RESIDENTIAL UNITS	1,882 SF	2	1
UNIT BALCONIES	88 SF		
UNIT BALCONIES	128 SF		
RESIDENTIAL UNITS	1,120 SF	2	1
UNIT BALCONIES	203 SF		
RESIDENTIAL UNITS	791 SF	1	0
UNIT BALCONIES	89 SF		
RESIDENTIAL UNITS	875 SF	2	0
RESIDENTIAL UNITS	882 SF	2	0
UNIT BALCONIES	52 SF		
UNIT BALCONIES	85 SF		
RESIDENTIAL UNITS	1,071 SF	2	
UNIT BALCONIES	88 SF		
UNIT BALCONIES	135 SF		
RESIDENTIAL UNITS	1,186 SF	2	
UNIT BALCONIES	108 SF		
RESIDENTIAL UNITS	1,071 SF	1	1
UNIT BALCONIES	107 SF		
RESIDENTIAL UNITS	760 SF	1	
UNIT BALCONIES	142 SF		



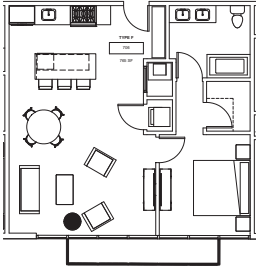
KEY PLAN TYPICAL LEVEL 7-13  
1" = 50'-0"

DRC COMMENTS  
R19052  
06/11/21

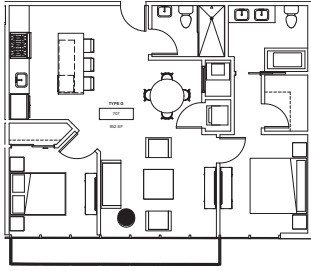
808 SE 4TH ST  
FORT LAUDERDALE, FL 33301

ENLARGED UNIT PLANS

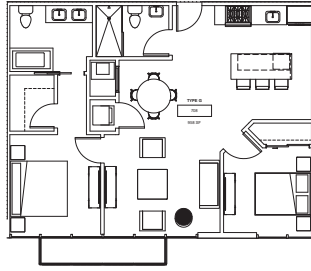
A-3.01 adache group architects



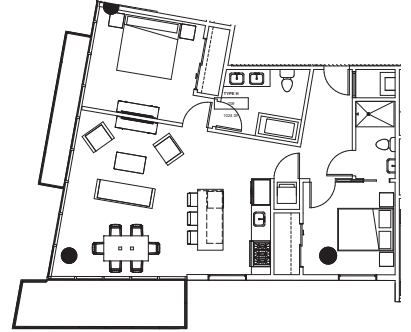
UNIT TYPE F  
3/16" = 1'-0"



UNIT TYPE G  
3/16" = 1'-0"



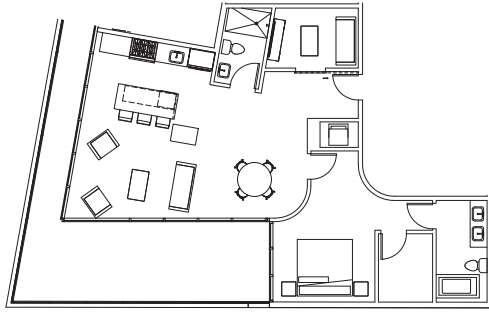
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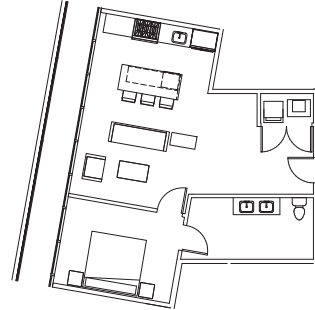
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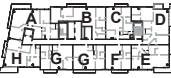
UNIT TYPE I  
3/16" = 1'-0"



UNIT TYPE J  
3/16" = 1'-0"



UNIT TYPE K  
3/16" = 1'-0"



KEY PLAN TYPICAL LEVEL 7-13  
1" = 50'-0"



KEY PLAN LEVEL 3  
1" = 50'-0"

DRC COMMENTS  
R19052  
06/11/21

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ENLARGED UNIT PLANS

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DRC COMMENTS  
R19052  
06/11/21

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FORT LAUDERDALE, FL 33301

3D VIEWS

A-4.01

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CASE: R19052  
PZB Exhibit 1  
Page 61 of 99

CAM #21-1186  
Exhibit 4  
Page 61 of 99





DRC COMMENTS  
R19052  
06/11/21

808 SE 4TH ST  
FORT LAUDERDALE, FL 33301

3D VIEWS

A-4.02

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CASE: R19052  
PZB Exhibit 1  
Page 62 of 99

CAM #21-1186  
Exhibit 4  
Page 62 of 99





SOUTH EAST AERIAL VIEW



SOUTH WEST AERIAL VIEW



NORTH WEST AERIAL VIEW



NORTH EAST AERIAL VIEW

DRC COMMENTS  
R19052  
06/11/21

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FORT LAUDERDALE, FL 33301

3D RENDERING - AERIAL

A-4.03

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NEW RIVER SOUTH WEST VIEW



NEW RIVER SOUTH EAST VIEW



4TH STREET NORTH EAST VIEW



4TH STREET NORTH WEST VIEW

DRC COMMENTS  
R19052  
06/11/21

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3D RENDERING - EYE LEVEL

A-4.04

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MAIN ENTRY AERIAL VIEW



MAIN ENTRY EYE LEVEL VIEW



NEW RIVER EYE LEVEL VIEW



POOL DECK AERIAL VIEW

DRC COMMENTS  
R19052  
06/11/21

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FORT LAUDERDALE, FL 33301

3D RENDERING - ENLARGED

A-4.05

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NEW RIVER VIEW DAY TIME RENDERING



NEW RIVER NIGHT TIME RENDERING

DRC COMMENTS  
R19052  
06/11/21

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FORT LAUDERDALE, FL 33301

NEW RIVER RENDERINGS

A-4.06

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4TH STREET VIEW DAY TIME RENDERING



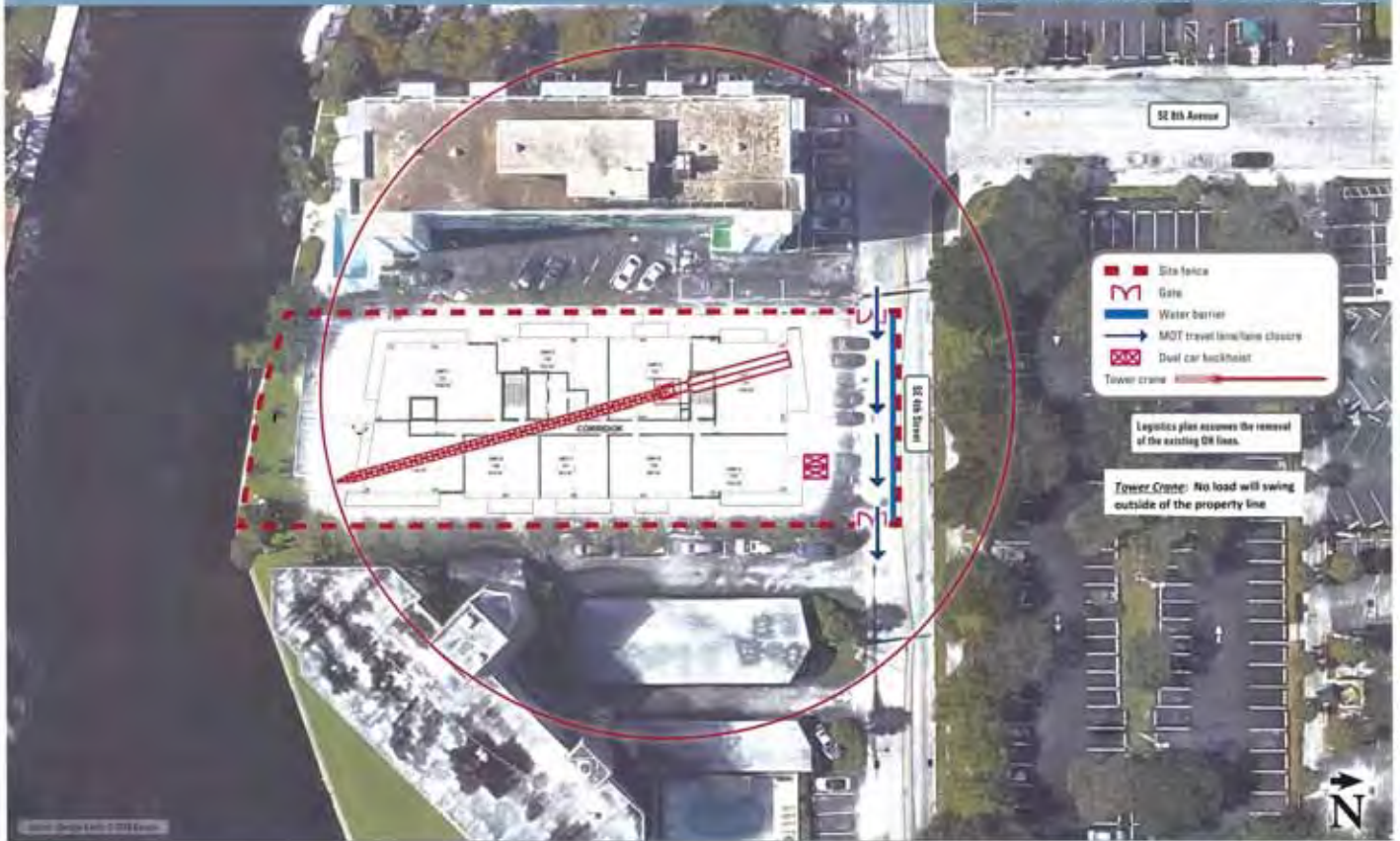
4TH STREET VIEW NIGHT TIME RENDERING

DRC COMMENTS  
R19052  
06/11/21

808 SE 4TH ST  
FORT LAUDERDALE, FL 33301

4TH STREET RENDERINGS

A-4.07 **adache**  
group architects



- Site fence
- M Gate
- Water barrier
- MOT travel lanes/turne clearance
- ↔ Dual car backhoist
- Tower crane

Logistics plan assumes the removal of the existing DR lines.

**Tower Crane:** No load will swing outside of the property line

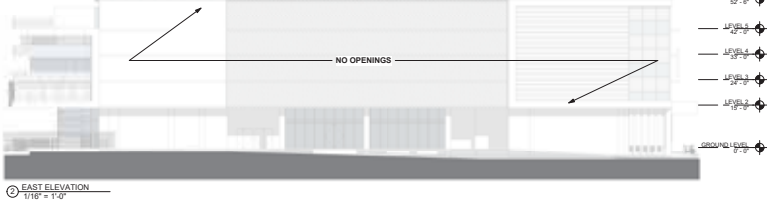
**MOSS**

808 SE 4TH STREET, FORT LAUDERDALE



GARAGE CALCULATION FOR NATURAL VENTILATION 808 NE 4TH STREET - FORT LAUDERDALE, FLORIDA			
SECOND FLOOR			
LOCATION	GARAGE WALL ELEVATIONS & AREA CALCULATION FOR SECOND FLOOR (2 SIDES ARE OPEN - NORTH AND WEST ELEVATION) - SOUTH AND EAST SIDE ARE CLOSED.	NUMBER OF OPENINGS PER ELEV.	AGGREGATE LENGTH CALCULATIONS
SOUTH WALL OPENING COVERED WITH MESH	4.81' $\frac{79.33' \times 4.81' = 379.57 \text{ S.F.}}{\text{CALCULATION FOR MESH OPENING IS 64%}} \rightarrow 243.80 \text{ S.F.}$ SOUTH WALL AREA = $79.33' \times 4.81' = 379.57 \text{ S.F.}$ AREA OF OPENINGS = $243.80 \text{ S.F.} \times 0.64\% = 156.23 \text{ S.F.}$	1 OPENING	79'-4" TOTAL LENGTH OF OPENINGS 99'-10" LONG WALL
WEST WALL PARTIAL COVERED WITH MESH	4.81' $\frac{14.5' \times 4.81' = 70.15 \text{ S.F.}}{\text{CALCULATION FOR MESH OPENING IS 64%}} \rightarrow 44.90 \text{ S.F.}$ WEST WALL AREA = $14.5' \times 4.81' = 70.15 \text{ S.F.}$ AREA OF OPENINGS = $44.90 \text{ S.F.} \times 0.64\% = 28.73 \text{ S.F.}$	1 OPENING	14'-0" TOTAL LENGTH OF OPENINGS 212'-3" LONG WALL
NORTH WALL OPENING COVERED WITH MESH	4.81' $\frac{81.67' \times 4.81' = 394.81 \text{ S.F.}}{\text{CALCULATION FOR MESH OPENING IS 64%}} \rightarrow 252.89 \text{ S.F.}$ NORTH WALL AREA = $81.67' \times 4.81' = 394.81 \text{ S.F.}$ AREA OF OPENINGS = $252.89 \text{ S.F.} \times 0.64\% = 162.08 \text{ S.F.}$	1 OPENING	81'-0" TOTAL LENGTH OF OPENINGS 96'-11" LONG WALL
EAST WALL IS CLOSED	EAST WALL AREA = $213.2' \times 8.33' = 1,777.76 \text{ S.F.}$ AREA OF OPENING = 0.00 S.F.	NO OPENINGS	0'-0" TOTAL LENGTH OF OPENINGS 231'-5" LONG WALL
TOTAL (%)	SECOND FLOOR PARKING TOTAL AREA = 4,363.4 S.F. TOTAL AREA OF OPENINGS FOR CALCULATION = 438.82 S.F. CALCULATION = $\frac{438.82 \text{ S.F.}}{4,363.4 \text{ S.F.}} = 10.06\%$		TOTAL WALL LENGTH = 442'-7" OPENING TOTAL LENGTH = 114'-2" = 25.8% (OF TOTAL WALL LENGTH)

GARAGE CALCULATION FOR NATURAL VENTILATION 808 NE 4TH STREET - FORT LAUDERDALE, FLORIDA			
FOURTH FLOOR			
LOCATION	GARAGE WALL ELEVATIONS & AREA CALCULATION FOR FOURTH FLOOR (2 SIDES ARE OPEN - NORTH AND WEST ELEVATION) - SOUTH AND EAST SIDE ARE CLOSED.	NUMBER OF OPENINGS PER ELEV.	AGGREGATE LENGTH CALCULATIONS
SOUTH WALL IS CLOSED	SOUTH WALL AREA = $88.58' \times 8.33' = 737.29 \text{ S.F.}$ AREA OF OPENING = 0.00 S.F.	NO OPENINGS	0'-0" TOTAL LENGTH OF OPENINGS 96'-7" LONG WALL
WEST WALL PARTIAL COVERED WITH MESH	4.81' $\frac{14.5' \times 4.81' = 70.15 \text{ S.F.}}{\text{CALCULATION FOR MESH OPENING IS 64%}} \rightarrow 44.90 \text{ S.F.}$ WEST WALL AREA = $14.5' \times 4.81' = 70.15 \text{ S.F.}$ AREA OF OPENINGS = $44.90 \text{ S.F.} \times 0.64\% = 28.73 \text{ S.F.}$	1 OPENING	14'-0" TOTAL LENGTH OF OPENINGS 157'-2" LONG WALL
NORTH WALL OPENING COVERED WITH MESH	4.81' $\frac{81.67' \times 4.81' = 394.81 \text{ S.F.}}{\text{CALCULATION FOR MESH OPENING IS 64%}} \rightarrow 252.89 \text{ S.F.}$ NORTH WALL AREA = $81.67' \times 4.81' = 394.81 \text{ S.F.}$ AREA OF OPENINGS = $252.89 \text{ S.F.} \times 0.64\% = 162.08 \text{ S.F.}$	1 OPENING	81'-0" TOTAL LENGTH OF OPENINGS 96'-11" LONG WALL
EAST WALL IS CLOSED	EAST WALL AREA = $164.2' \times 8.33' = 1,367.78 \text{ S.F.}$ AREA OF OPENING = 0.00 S.F.	NO OPENINGS	0'-0" TOTAL LENGTH OF OPENINGS 181'-3" LONG WALL
TOTAL (%)	FOURTH FLOOR PARKING TOTAL AREA = 4,486.82 S.F. TOTAL AREA OF OPENINGS FOR CALCULATION = 295.82 S.F. CALCULATION = $\frac{295.82 \text{ S.F.}}{4,486.82 \text{ S.F.}} = 6.60\%$		TOTAL WALL LENGTH = 512'-7" OPENING TOTAL LENGTH = 96'-2" = 18.7% (OF TOTAL WALL LENGTH)



① EAST ELEVATION  
1/16" = 1'-0"

GARAGE CALCULATION FOR NATURAL VENTILATION 808 NE 4TH STREET - FORT LAUDERDALE, FLORIDA			
THIRD FLOOR			
LOCATION	GARAGE WALL ELEVATIONS & AREA CALCULATION FOR THIRD FLOOR (2 SIDES ARE OPEN - NORTH AND WEST ELEVATION) - SOUTH AND EAST SIDE ARE CLOSED.	NUMBER OF OPENINGS PER ELEV.	AGGREGATE LENGTH CALCULATIONS
SOUTH WALL IS CLOSED	SOUTH WALL AREA = $88.58' \times 8.33' = 737.29 \text{ S.F.}$ AREA OF OPENING = 0.00 S.F.	NO OPENINGS	0'-0" TOTAL LENGTH OF OPENINGS 96'-7" LONG WALL
WEST WALL PARTIAL COVERED WITH MESH	4.81' $\frac{14.5' \times 4.81' = 70.15 \text{ S.F.}}{\text{CALCULATION FOR MESH OPENING IS 64%}} \rightarrow 44.90 \text{ S.F.}$ WEST WALL AREA = $14.5' \times 4.81' = 70.15 \text{ S.F.}$ AREA OF OPENINGS = $44.90 \text{ S.F.} \times 0.64\% = 28.73 \text{ S.F.}$	1 OPENING	14'-0" TOTAL LENGTH OF OPENINGS 119'-1" LONG WALL
NORTH WALL OPENING COVERED WITH MESH	4.81' $\frac{81.67' \times 4.81' = 394.81 \text{ S.F.}}{\text{CALCULATION FOR MESH OPENING IS 64%}} \rightarrow 252.89 \text{ S.F.}$ NORTH WALL AREA = $81.67' \times 4.81' = 394.81 \text{ S.F.}$ AREA OF OPENINGS = $252.89 \text{ S.F.} \times 0.64\% = 162.08 \text{ S.F.}$	1 OPENING	81'-0" TOTAL LENGTH OF OPENINGS 96'-11" LONG WALL
EAST WALL IS CLOSED	EAST WALL AREA = $164.2' \times 8.33' = 1,367.78 \text{ S.F.}$ AREA OF OPENING = 0.00 S.F.	NO OPENINGS	0'-0" TOTAL LENGTH OF OPENINGS 181'-3" LONG WALL
TOTAL (%)	THIRD FLOOR PARKING TOTAL AREA = 4,486.82 S.F. TOTAL AREA OF OPENINGS FOR CALCULATION = 295.82 S.F. CALCULATION = $\frac{295.82 \text{ S.F.}}{4,486.82 \text{ S.F.}} = 6.60\%$		TOTAL WALL LENGTH = 450'-7" OPENING TOTAL LENGTH = 96'-2" = 21.3% (OF TOTAL WALL LENGTH)

GARAGE CALCULATION FOR NATURAL VENTILATION 808 NE 4TH STREET - FORT LAUDERDALE, FLORIDA			
FIFTH FLOOR			
LOCATION	GARAGE WALL ELEVATIONS & AREA CALCULATION FOR FIFTH FLOOR (2 SIDES ARE OPEN - NORTH AND WEST ELEVATION) - SOUTH AND EAST SIDE ARE CLOSED.	NUMBER OF OPENINGS PER ELEV.	AGGREGATE LENGTH CALCULATIONS
SOUTH WALL IS CLOSED	SOUTH WALL AREA = $88.58' \times 8.33' = 737.29 \text{ S.F.}$ AREA OF OPENING = 0.00 S.F.	NO OPENINGS	0'-0" TOTAL LENGTH OF OPENINGS 96'-7" LONG WALL
WEST WALL PARTIAL COVERED WITH MESH	4.81' $\frac{14.5' \times 4.81' = 70.15 \text{ S.F.}}{\text{CALCULATION FOR MESH OPENING IS 64%}} \rightarrow 44.90 \text{ S.F.}$ WEST WALL AREA = $14.5' \times 4.81' = 70.15 \text{ S.F.}$ AREA OF OPENINGS = $44.90 \text{ S.F.} \times 0.64\% = 28.73 \text{ S.F.}$	1 OPENING	14'-0" TOTAL LENGTH OF OPENINGS 157'-2" LONG WALL
NORTH WALL OPENING COVERED WITH MESH	4.81' $\frac{81.67' \times 4.81' = 394.81 \text{ S.F.}}{\text{CALCULATION FOR MESH OPENING IS 64%}} \rightarrow 252.89 \text{ S.F.}$ NORTH WALL AREA = $81.67' \times 4.81' = 394.81 \text{ S.F.}$ AREA OF OPENINGS = $252.89 \text{ S.F.} \times 0.64\% = 162.08 \text{ S.F.}$	1 OPENING	81'-0" TOTAL LENGTH OF OPENINGS 96'-11" LONG WALL
EAST WALL IS CLOSED	EAST WALL AREA = $164.2' \times 8.33' = 1,367.78 \text{ S.F.}$ AREA OF OPENING = 0.00 S.F.	NO OPENINGS	0'-0" TOTAL LENGTH OF OPENINGS 181'-3" LONG WALL
TOTAL (%)	FOURTH FLOOR PARKING TOTAL AREA = 5,041.8 S.F. TOTAL AREA OF OPENINGS FOR CALCULATION = 295.82 S.F. CALCULATION = $\frac{295.82 \text{ S.F.}}{5,041.8 \text{ S.F.}} = 5.87\%$		TOTAL WALL LENGTH = 512'-7" OPENING TOTAL LENGTH = 96'-2" = 18.7% (OF TOTAL WALL LENGTH)



② WEST ELEVATION  
1/16" = 1'-0"

**GENERAL NOTES & REQUIREMENTS:**  
 - NATURAL VENTILATION CALCULATIONS TO COMPLY WITH FBC 2017, 406.5.2  
 - AREAS OF OPENINGS IN EXTERIOR WALLS ON A TIER SHALL NOT BE LESS THAN 20% OF THE TOTAL PERIMETER WALL AREA OF EACH TIER  
 - THE AGGREGATE LENGTH OF THE OPENINGS CONSIDERED TO BE PROVIDING NATURAL VENTILATION SHALL NOT BE LESS THAN 40% OF THE PERIMETER OF THE TIER  
 - WALL AREAS THAT ARE NOT DIRECTLY PART OF THE GARAGE PERIMETER ARE NOT INCLUDED IN CALCULATIONS

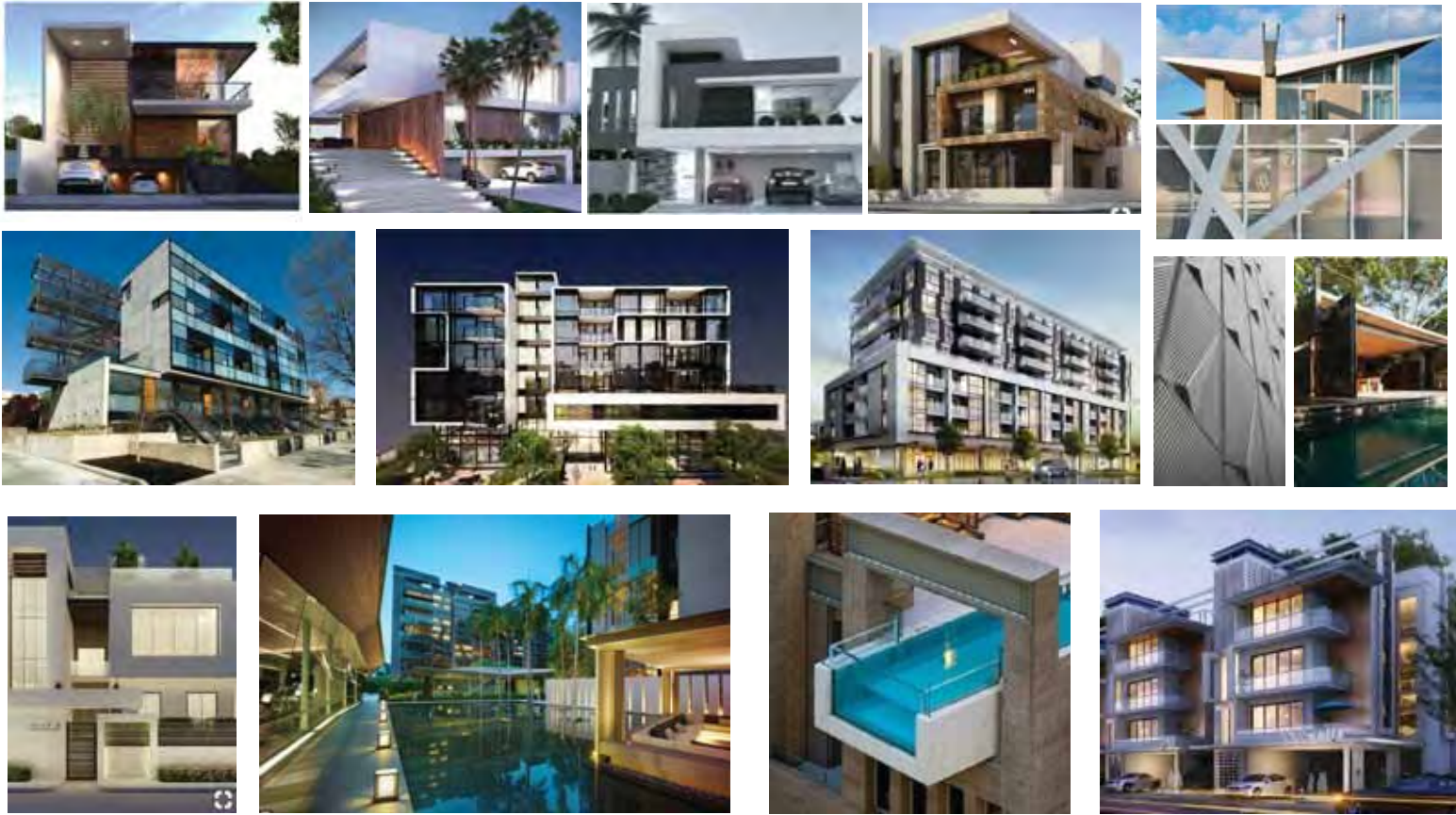


③ SOUTH ELEVATION  
1/16" = 1'-0"



④ NORTH ELEVATION  
1/16" = 1'-0"

**FAÇADE STUDY LEGEND**  
 ■ OPENING



DRC COMMENTS  
R19052  
06/11/21

808 SE 4TH ST  
FORT LAUDERDALE, FL 33301

MOOD IMAGES

A-6.01 **adache**  
group architects

**adache**  
group architects



**PROJECT DESIGN TEAM:**  
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**OWNER:**  
SE FOURTH, LLC

**PROJECT:**  
808 SE 4TH STREET  
808 SE 4TH STREET  
FORT LAUDERDALE, FL 33301

**ISSUED FOR:** DRC  
**DATE:** JUNE 18, 2020

NO.	DATE	REMARKS
1	10/23/20	PER COMMENTS

**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**  
SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. REVISIONS SHOULD BE MADE TO THE JOB OR ENGINE PLANS AND PERMITS TO REFLECT CHANGES. ENGINEERS AND AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL BE FULLY ADVISED UPON THE ISSUE.

**SEAL:**

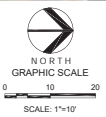
PAUL WIENBERG, P.E.  
FLORIDA REG. NO. LA86669804  
(FOR THE FIRM)

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**SHEET TITLE:**  
ILLUSTRATIVE PLAN

**DATE:** JUNE 18, 2020  
**SCALE:** AS NOTED  
**DRAWN BY:** MHL, JL  
**CHECKED BY:** KS, PW  
**JOB NO.:** 10119.001

**SHEET NO.:**  
LC-101







GENERAL ABBREVIATIONS			
BLDG.	BUILDING	M/N.	MINIMUM
B.O.C.	BACK OF CURB	N.C.	NOT IN CONTRACT
CJ	CONTROL JOINT	O.C.	ON CENTER
CL	CENTERLINE	O.C.E.W.	ON CENTER EACH WAY
CLR	CLEAR	PA (OR P.A.)	PLANTING AREA
EJ	EXPANSION JOINT	QTY	QUANTITY
EQ	EQUAL	R.O.W.	RIGHT OF WAY
FFE	FINISHED FLOOR ELEVATION	S/M.	SIMILAR DETAIL
F.O.B.	FACE OF BUILDING	TD	TOP OF DRAIN
HT	HEIGHT	T.O.C.	TOP OF CURB
H.P.	HIGH POINT	TS	TOP OF STAIR
L.A.	LANDSCAPE ARCHITECT	TW	TOP OF WALL
L.O.C.	LIMIT OF CONSTRUCTION	TYP.	TYPICAL
L.P.	LOW POINT	U.N.O.	UNLESS NOTED OTHERWISE

GENERAL LEGEND	
SYMBOL	DESCRIPTION
REF: [Symbol]	ENLARGEMENT AREA REFERENCE
[Symbol]	SHEET MATCHLINE
[Symbol]	PROPERTY LINE
SITEWORK	
[Symbol]	DETAIL REFERENCE
[Symbol]	MATERIAL OR FINISH REFERENCE SYMBOL
[Symbol]	SECTION CUT REFERENCE
[Symbol]	ELEVATION OR AERIAL VIEW REFERENCE
PLANTING	
[Symbol]	PLANT LABEL

MATERIALS SCHEDULE			
CONCRETE			
KEY	DESCRIPTION / MODEL	COLOR	FINISH
(C1)	CONCRETE	NO COLOR	MEDIUM BROOM
(C2)	CONCRETE - INTEGRAL COLOR	TBD	MEDIUM BROOM
(C3)	CONCRETE - INTEGRAL COLOR	TBD	MEDIUM SANDBLAST
(C4)	CONCRETE - INTEGRAL COLOR + CROSSWALKS	NO COLOR	HEAVY SANDBLAST
(C5)	CONCRETE - WALL	NO COLOR	RIBBED & SEALED
PAVERS			
(P1)	PAVEN - DETECTABLE WARNING - SIZE: 12"X12"	CHARCOAL	STANDARD
WOOD			
(W1)	PIE LUMBER	NATURAL	STAINSEALER, MESSMERS UV PLUS FOR HARDWOODS - EASED EDGES

**adache**  
group architects

**KEITH**

**PROJECT DESIGN TEAM:**  
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**OWNER:** SE FOURTH, LLC

**PROJECT:** 808 SE 4TH STREET  
808 SE 4TH STREET  
FORT LAUDERDALE, FL 33301

**ISSUED FOR:** DRC  
**DATE:** JUNE 18, 2020

REVISIONS:		
No.	DATE	REMARKS
1	10/23/20	PER COMMENTS
2	08/18/21	PER COMMENTS

**PRELIMINARY PLAN**  
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**SEAL:**

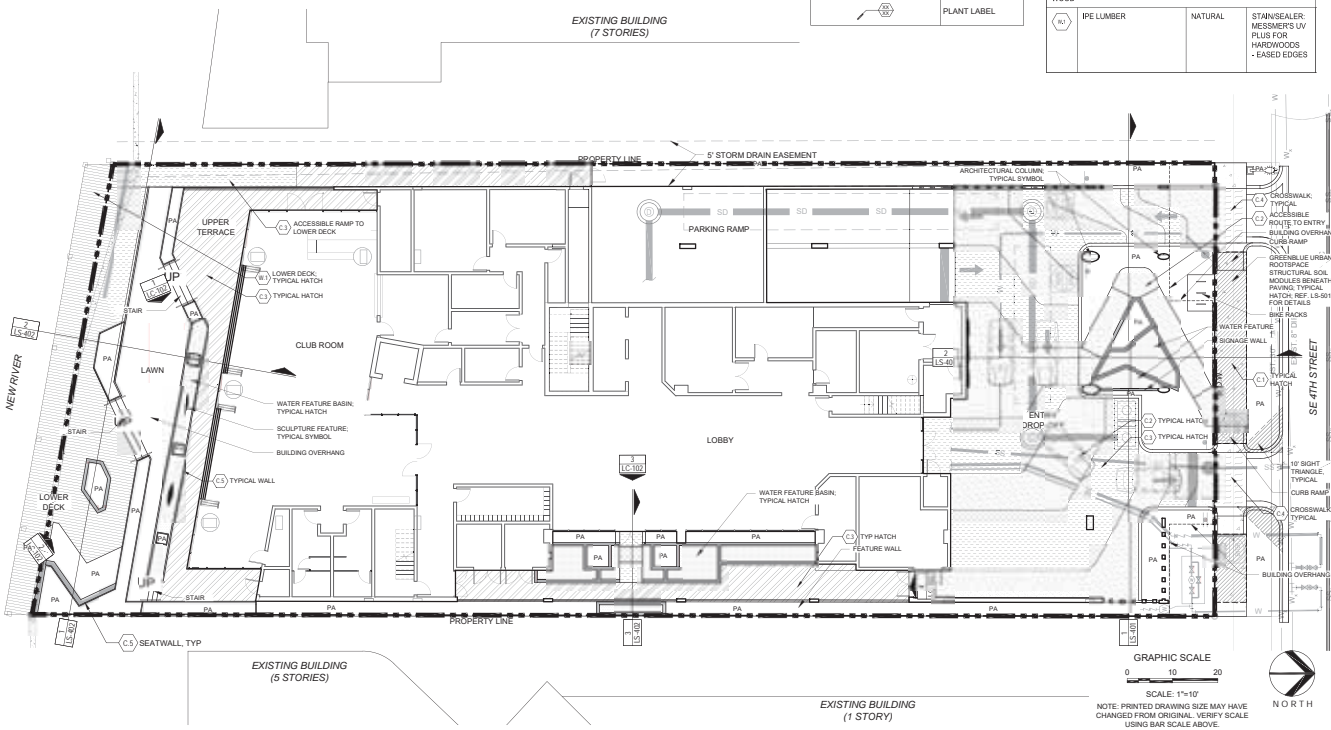
PAUL WIERBERG, P.E.  
FLORIDA REG. NO. LA8666904  
(FOR THE STATE)

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**SHEET TITLE:** SITEWORK PLAN

**DATE:** JUNE 18, 2020  
**SCALE:** AS NOTED  
**DRAWN BY:** M.H. JL  
**CHECKED BY:** K.S. PW  
**JOB NO.:** 10119.00

**SHEET NO.:** LS-101



CASE: R19052  
PZB Exhibit 1  
Page 73 of 99

CAM #21-1186  
Exhibit 4  
Page 73 of 99

**adache**  
group architects

**KEITH**

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**OWNER:**  
SE FOURTH, LLC

**PROJECT:**  
808 SE 4TH STREET  
808 SE 4TH STREET  
FORT LAUDERDALE, FL 33301

**ISSUED FOR:** DRC  
**DATE:** JUNE 18, 2020

**REVISIONS:**

No.	DATE	REMARKS
1	10/23/20	PER COMMENTS

**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**  
THREE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. PERMISSION IS GIVEN FOR THE USER OF THESE PLANS TO OBTAIN ALL NECESSARY PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL HOLD THEM UPON THE USER.

**SEAL:**

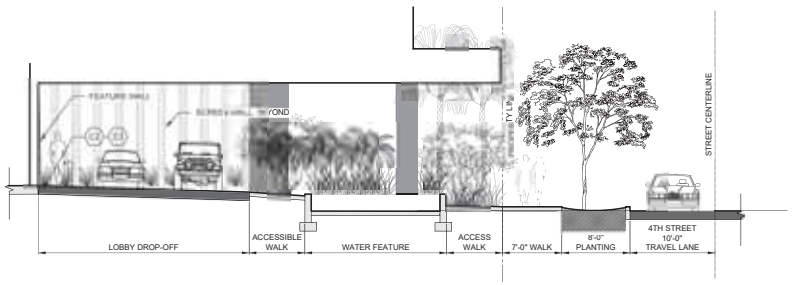
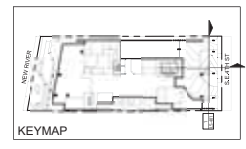
PAUL WIENBERG, P.E.  
FLORIDA REG. NO. LA8666904  
(FOR THE FIRM)

ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ADACHE GROUP ARCHITECTS. THIS DOCUMENT IS THE PROPERTY OF ADACHE GROUP ARCHITECTS AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF ADACHE GROUP ARCHITECTS. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED. CONTACT: (954) 344-1000 / 734-8159. E-MAIL: info@adache.com. FL REG. U. DISE # A93007073.

**SHEET TITLE:**  
SECTIONS

**DATE:** JUNE 18, 2020  
**SCALE:** AS NOTED  
**DRAWN BY:** M.H. JL  
**CHECKED BY:** K.S. PW  
**JOB NO.:** 10119.00

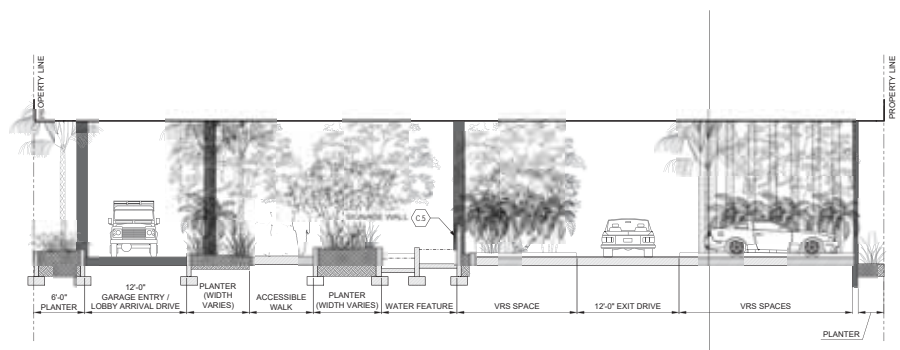
**SHEET NO.:**  
LS-401



**2 ENTRY DROP-OFF (NORTH/SOUTH)**

SECTION

SCALE: 3/16"=1'-0"

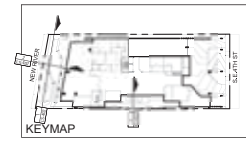


**1 ENTRY DROP-OFF (EAST/WEST)**

SECTION

SCALE: 3/16"=1'-0"





**adache**  
group architects



**PROJECT DESIGN TEAM:**  
**ARCHITECTS**  
 ADACHE GROUP ARCHITECTS  
 808 SOUTH FEDERAL HIGHWAY  
 FT LAUDERDALE, FLORIDA 33301  
 PHONE: (954) 333-1600 / 734-8109  
 E-MAIL: info@adache.com  
**KEITH & ASSOCIATES**  
**CIVIL AND LANDSCAPE ARCHITECTURE**  
 301 EAST ATLANTIC BLVD  
 FORT LAUDERDALE, FL 33404  
 3015 S. ANDERSON AVE.  
 FT LAUDERDALE, FLORIDA 33301  
 PHONE: 784-5442

**OWNER:**  
SE FOURTH, LLC

**PROJECT:**  
808 SE 4TH STREET  
808 SE 4TH STREET  
FORT LAUDERDALE, FL 33301

**ISSUED FOR:** DRC  
**DATE:** JUNE 18, 2020

**REVISIONS:**

No.	DATE	REMARKS
PRELIMINARY PLAN NOT FOR CONSTRUCTION		
THREE FLOORS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS RESTS WITH THE USER. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT AND SHALL BE SOLELY RESPONSIBLE THEREFOR.		

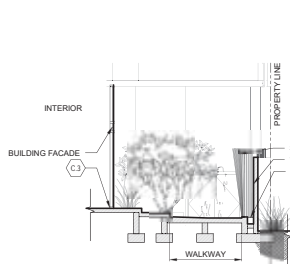


FL REG. U. DISE # A93007073

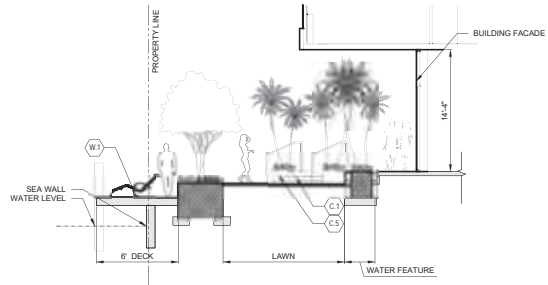
**SHEET TITLE:**  
SECTIONS

**DATE:** JUNE 18, 2020  
**SCALE:** AS NOTED  
**DRAWN BY:** MHL, JL  
**CHECKED BY:** KS, PW  
**JOB NO.:** 10119.00

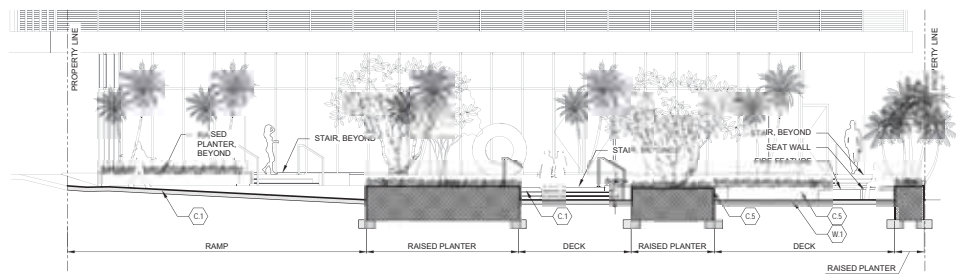
**SHEET NO.:**  
LS-402



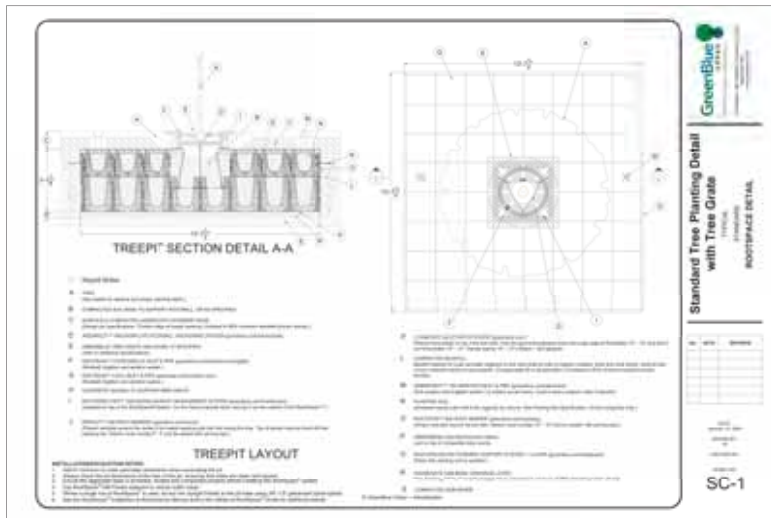
**3 EAST PATIO**  
SECTION SCALE: 3/16"=1'-0"



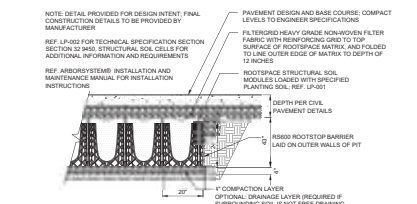
**2 SOUTH TERRACE (NORTH/SOUTH)**  
SECTION SCALE: 3/16"=1'-0"



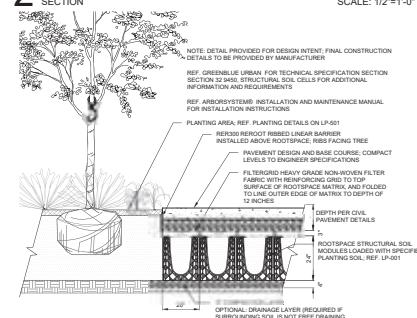
**1 SOUTH TERRACE (EAST/WEST)**  
SECTION SCALE: 3/16"=1'-0"



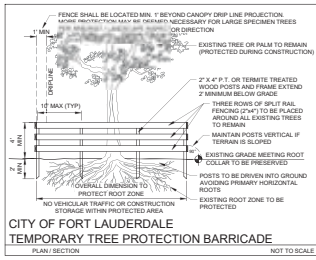
**3** (GREENBLUE URBAN) TYPICAL TREE PLANTING DETAIL (FOR INFORMATION PURPOSES ONLY)  
PLAN / SECTION NOT TO SCALE



**2** GREENBLUE URBAN ROOTSPACE MODULAR SOIL CELLS SECTION SCALE: 1/2"=1'-0"



**1** GREENBLUE URBAN TREE WELL WITH ROOTSPACE MODULAR SOIL CELLS SECTION SCALE: 1/2"=1'-0"



- TREE DISPOSITION NOTES:**
- EXISTING TREES TO REMAIN SHALL BE TRIMMED PER ANSI A300 STANDARDS, REMOVING WEAKEST RUBBING BRANCHES AND DEAD BRANCHES, BUT RETAINING 80% OF FOLIAGE. LARGE TREES SHALL HAVE LOWER BRANCHES CLEARED UP TO 8'. SYMBOLS MAY BE SHOWN OFFSET FROM ACTUAL TREE LOCATION FOR CLARITY.
  - CONTACT LANDSCAPE ARCHITECT / ISA CERTIFIED ARBORIST FOR CLARIFICATION ON ANY DISCREPANCIES.
  - TRIMMING AND ANY NECESSARY ROOT PRUNING SHALL BE PERFORMED OR SUPERVISED BY A CERTIFIED ARBORIST.
  - ALL TREE WORK WILL REQUIRE PERMITTING BY A REGISTERED BROWARD COUNTY TREE TRIMMER.
  - BUBBLERS SHALL BE PROVIDED FOR ALL RELOCATED TREES AND PALMS.
  - REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN "TREE REMOVAL PERMIT" FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL. CONFIRM WITH LOCAL GOVERNING AGENCY THAT TREES CLASSIFIED AS NUISANCE/EXOTIC/INVASIVE MAY BE EXEMPT.
  - ALL TREES AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. REFER TO TREE PROTECTION DETAIL ON THIS SHEET. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, ROOT ZONES AND GRADE.

**TREE DISPOSITION TABLE - Certified by Arborist Michael J. Phillips #FL9346A**

TREE #	COMMON NAME	SCIENTIFIC NAME	T	H	DBH	CPY	FR	TR	DISPOSITION	COMMENTS
01	CHRISTMAS PALM	Adonidia merrillii	1	22'	12"	1	0	0	REMOVE	NO EXISTING ROOT ZONE
02	CHRISTMAS PALM	Adonidia merrillii	1	6'	6"	1	0	0	REMOVE	NO EXISTING ROOT ZONE
03	FLORIDA PALM	Trachycarpus fortunei	1	6.4'	7.5"	1	0	0	REMOVE	NO EXISTING ROOT ZONE
04	SEA GRAPPE	Occasassa melanocarpa	1	30.12'	4.3"	1	0	0	REMOVE	NO EXISTING ROOT ZONE
05	LYCHEE	Quercus agrifolia	1	30'	5.5"	1	0	0	REMOVE	NO EXISTING ROOT ZONE
06	CHRISTMAS PALM	Adonidia merrillii	1	22'	12"	1	0	0	REMOVE	NO EXISTING ROOT ZONE
07	CHRISTMAS PALM	Adonidia merrillii	1	22'	12"	1	0	0	REMOVE	NO EXISTING ROOT ZONE
08	CHRISTMAS PALM	Adonidia merrillii	1	22'	12"	1	0	0	REMOVE	NO EXISTING ROOT ZONE
09	CHRISTMAS PALM	Adonidia merrillii	1	22'	12"	1	0	0	REMOVE	NO EXISTING ROOT ZONE

- TREE DISPOSITION LEGEND:**
- EXISTING TREE/PALM TO REMAIN WITHOUT DISPOSITION SYMBOL
  - TREES/PALMS TO BE PROTECTED DURING CONSTRUCTION
  - EXISTING TREE/PALM TO RELOCATE
  - REFER TO LANDSCAPE PLAN FOR NEW LOCATION
  - EXISTING TREE/PALM TO REMOVE
  - REMOVE ALL CAT. I INVASIVE EXOTICS (EX: BRAZ. PEPPER)
  - EXISTING TREE/PALM NUMBER
  - XXX-XX REFER TO TREE DISPOSITION TABLE ON LD-102

**adache group architects**

**KEITH**

**PROJECT DESIGN TEAM:**  
ADACHE GROUP ARCHITECTS  
550 SOUTH FEDERAL HIGHWAY  
FT. LAUDERDALE, FLORIDA 33301  
PH: 954.343.4444 FAX: 954.343.4449

**CIVIL AND LANDSCAPE ARCHITECTURE**  
KEITH & ASSOCIATES  
201 EAST PALM BLVD  
POMPANNO BEACH, FL 33060  
2325 S. ANDERSON AVE.  
FT. LAUDERDALE, FLORIDA 33301  
PH: 954.343.4449

**OWNER:** SE FOURTH, LLC

**PROJECT:** 808 SE 4TH STREET  
808 SE 4TH STREET  
FORT LAUDERDALE, FL 33301

**ISSUED FOR:** DRC  
**DATE:** JUNE 18, 2020

**REVISIONS:**

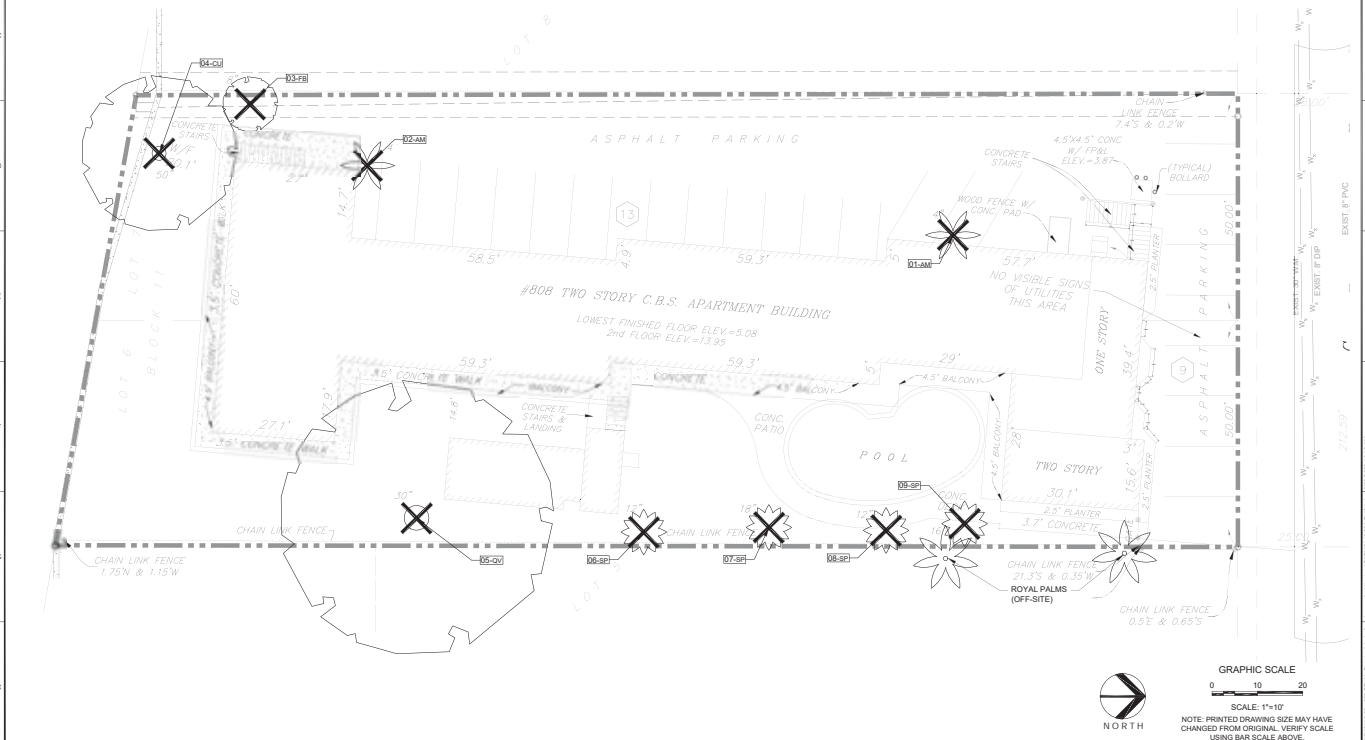
No.	DATE	REMARKS
1		PRELIMINARY PLAN NOT FOR CONSTRUCTION

**SEAL:**  
PAUL WEBBERG, P.L.A.  
FLORIDA REG. NO. 14666604  
(FOR THE FIRM)

**SHEET TITLE:** TREE DISPOSITION PLAN

**DATE:** JUNE 18, 2020  
**SCALE:** AS NOTED  
**DRAWN BY:** M.H. JL.  
**CHECKED BY:** K.S. PW  
**JOB NO.:** 10119.00

**SHEET NO.:** LD-101



CASE: R19052  
PZB Exhibit 1  
Page 77 of 99

**CITY OF FORT LAUDERDALE - LANDSCAPE REQUIREMENTS**  
 COMBINED DEVELOPMENT REGULATORY CODE CHAPTER 171 ARTICLE 18 - SECTION 171-12.1 LANDSCAPE AND TREE PRESERVATION REQUIREMENTS  
 VEHICULAR USE AREAS (SEE 171-12.1 LANDSCAPE REQUIREMENTS FOR VEHICULAR USE AREAS)

NET LOT AREA	24,000 SF	1.5M ACRES	REQUIRED	PROPOSED
VEHICLE AREA	12,000 SF	0.30 ACRES		
VEHICLE OFF-PAVEMENT	4,000 SF	0.09 ACRES		

**VEHICULAR REQUIREMENTS (2% OF VEHICULAR AREA)**

VEHICULAR AREA	24,000 SF	1.5M ACRES	REQUIRED	PROPOSED
1 TREE PER 1,000 SF VEHICULAR AREA			24 TREES	24 TREES
5' CALIBER SHADE TREES (20")			0 TREES	0 TREES
2" CALIBER SHADE TREES (10")			0 TREES	0 TREES
1" CALIBER SHADE TREES (5")			0 TREES	0 TREES
SHRUBS PER 1,000 SF VEHICULAR AREA			4 SHRUBS	4 SHRUBS
2" CALIBER SHRUBS (10")			0 SHRUBS	0 SHRUBS
1" CALIBER SHRUBS (5")			0 SHRUBS	0 SHRUBS
SHRUBS PER 1,000 SF VEHICULAR AREA			4 SHRUBS	4 SHRUBS

**LANDSCAPE REQUIREMENTS**

SEE 171-12.1(2) FOR ADDITIONAL REGULATIONS. SHALL REQUIRE TO MEET LANDSCAPE REQUIREMENTS FOR VEHICULAR AND OTHER TREE SPECIFICATIONS

**LOT DESIGNATION** R4C-100

**STREET TREES** (SEE 171-12.1(2) FOR ADDITIONAL REGULATIONS)

STREET TREES	REQUIRED	PROPOSED
1 TREE PER 100 SF OF STREET FRONTAGE	16 TREES	16 TREES
5" CALIBER TREES (10")	0 TREES	0 TREES
2" CALIBER TREES (5")	0 TREES	0 TREES
1" CALIBER TREES (2.5")	0 TREES	0 TREES

**PLANT LIST**

**SHRUBS & GROUNDCOVERS**

KEY	PLANT NAME	SIZE / REMARKS
AGA	Agave attenuata	12" HT, 14" SPRD, 24" O.C.
AGV	Agave vivipara	12" HT, 14" SPRD, 24" O.C.
CYC	Cyathea cooperi	6" HT, 6" SPRD
ATF	Australian Tree Fern	6" HT, 6" SPRD
ERN	Ernstia erectata	12" HT, 14" SPRD, 18" O.C.
CRK	Crinum	24" HT, 24" SPRD, 36" O.C.
PRC	Polka Dot Plant	12" HT, 14" SPRD, 18" O.C.
POL	Polka Dot Plant	12" HT, 14" SPRD, 18" O.C.
SER	Serranum	24" HT, 24" SPRD, 36" O.C.
TRA	Tradescantia	12" HT, 14" SPRD, 18" O.C.
AEC	Aechmea	18" HT, 18" SPRD, VARIETY PER L.A. & OWNER
ABP	Asplenium	14" HT, 14" SPRD, 18" O.C.
CAR	Carissa	12" HT, 18" SPRD, 18" O.C.
NEP	Nephrolepis	12" HT, 14" SPRD, 24" O.C. CERTIFIED NATIVE ONLY
NEP	Nephrolepis	12" HT, 14" SPRD, 24" O.C. CERTIFIED NATIVE ONLY
ZAM	Zamia	18" HT, 18" SPRD, 18" O.C.
SDO	ST AUGUSTINE FLORATUM	SOLID SOD

**PLANT LIST**

**TREES**

QTY	KEY	PLANT NAME	SIZE / REMARKS
1	CE	Conocarpus erectus	SPECIMEN 16" HT, 8" SPRD, FULL CANOPY
2	BA	Bauhinia	18" HT, 8" SPRD, 8" CLEAR TRUNK, FULL CANOPY
4	CG	Casuarina	18" HT, 8" SPRD, 8" CLEAR TRUNK, FULL CANOPY

**MEDIUM / SMALL PALMS**

QTY	KEY	PLANT NAME	SIZE / REMARKS
3	PO	Phoenix	18" CT, 20" GA HT, HEAVY, MATCHED
4	TR	Trachycarpus	12" CT, COLLECTED
16	RM	Rhapis	4" HT, FULL

**NOTES**

SDO TO BE ST. AUGUSTINE FLORATUM, CONTRACTOR TO DETERMINE QUANTITY.

ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.

ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAY FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.

BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.

CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATIONS ATTACHED TO THIS PLAN AND PLANT LIST. PLANS AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.

PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.

ALL ROAD ROOF, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIALS BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.

NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.

**OWNER:** SE FOURTH, LLC

**PROJECT:** 808 SE 4TH STREET  
808 SE 4TH STREET  
FORT LAUDERDALE, FL 33001

**ISSUED FOR:** DRC  
DATE: JUNE 18, 2020

**REVISIONS:**

No.	DATE	REMARKS
1	10/23/20	PER COMMENTS
2	06/18/21	PER COMMENTS

**PRELIMINARY PLAN NOT FOR CONSTRUCTION**

SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS AND ANY OTHER COMMENTS FROM THE CITY OF FORT LAUDERDALE. REVISIONS SHALL BE MADE TO THE PLAN AND PLANT LIST AS REQUIRED BY THE CITY OF FORT LAUDERDALE. REVISIONS SHALL BE MADE TO THE PLAN AND PLANT LIST AS REQUIRED BY THE CITY OF FORT LAUDERDALE.

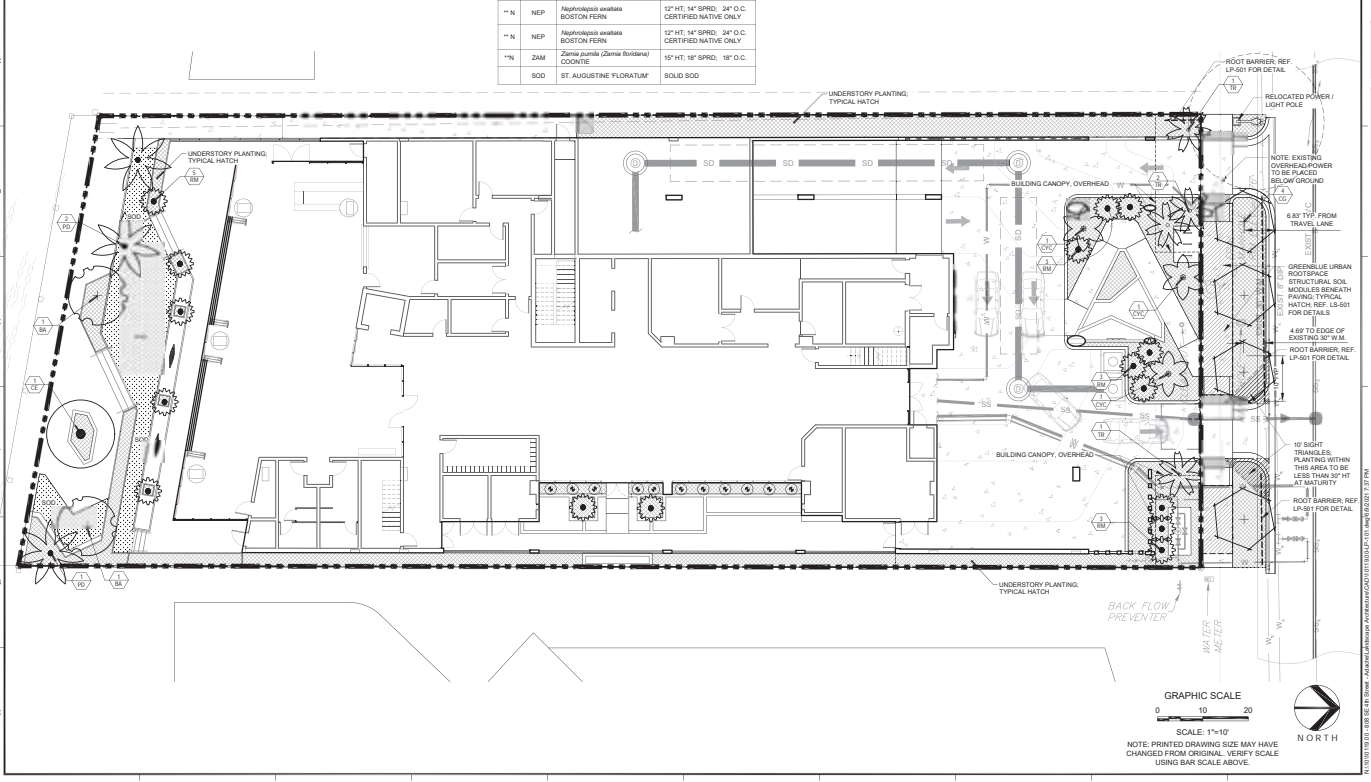
**SEAL:**

**PALL WEINBERG, P.L.A.**  
FLORIDA REG. NO. LA6606984  
(FOR THE FIRM)

**SHEET TITLE:** PLANTING PLAN

**DATE:** JUNE 18, 2020  
**SCALE:** AS NOTED  
**DRAWN BY:** MH, JL  
**CHECKED BY:** KS, PW  
**JOB NO.:** 10119.00

**SHEET NO.:** LP-101



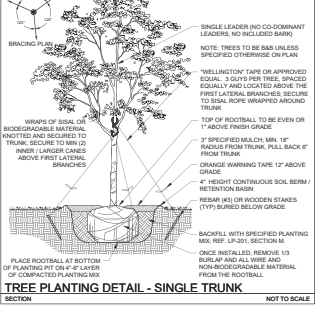
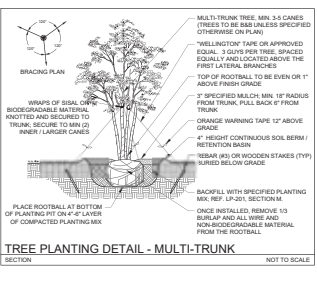
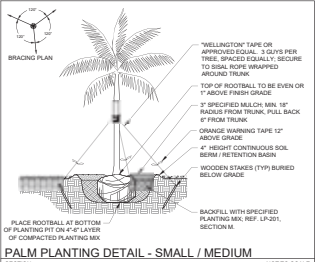
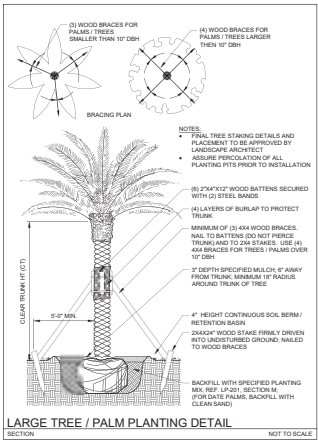
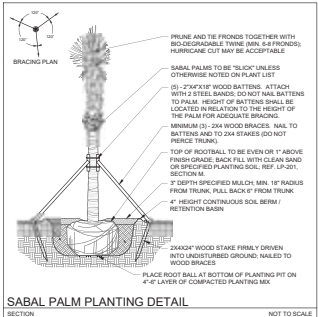
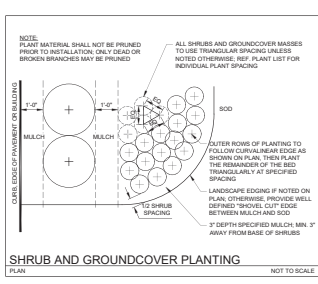
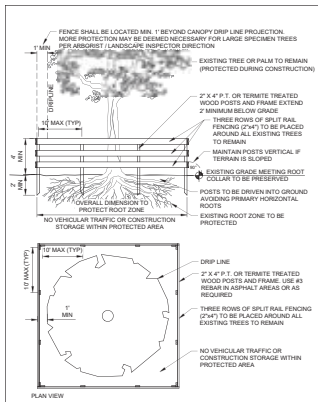
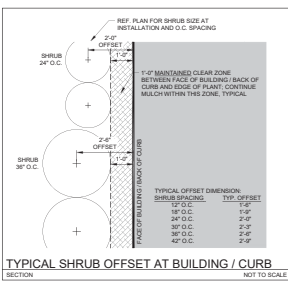
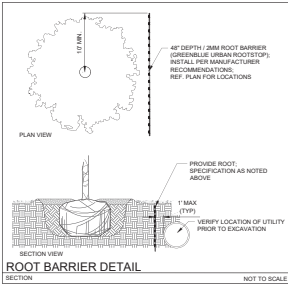
**adache group architects**

**KEITH**

**PROJECT DESIGN TEAM:**  
**ARCHITECTS:** ADACHE GROUP ARCHITECTS  
 808 SE 4TH STREET  
 FORT LAUDERDALE, FL 33001  
 P: (954) 463-1111  
 F: (954) 463-1111  
 WWW.ADACHEGROUP.COM

**CIVIL AND LANDSCAPE ARCHITECTURE:**  
 KEITH ASSOCIATES  
 391 EAST ATLANTIC BLVD  
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 WWW.KEITHASSOCIATES.COM

CASE: R19052  
 PZB Exhibit 1  
 Page 78 of 99



# PRELIMINARY ENGINEERING PLANS

FOR

## 808 SE 4<sup>th</sup> STREET

808 SE 4<sup>th</sup> STREET

CITY OF FORT LAUDERDALE  
BROWARD COUNTY, FLORIDA 33301



### FEMA FLOOD ZONE:

THE PROPERTY IS LOCATED WITHIN FLOOD ZONE AH WITH A BASE FLOOD ELEVATION OF 5 FEET NAVD, AS SHOWN ON F.I.R.M. NUMBER 1201100557H, BEARING A MAP EFFECTIVE DATE OF 8/18/2014.

#### RELATIONSHIP BETWEEN NGVD 1929 AND NAVD 1988

DATUM	DIFFERENCE	ELEV.
NGVD 1929	+1.58 FEET	1.58'
NAVD 1988		0.00'

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON NAVD 1988 DATUM

### LAND DESCRIPTION:

LOTS 6 AND 7, BLOCK 11, COLLEE HAMMOCK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 17, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



#### LOCATION MAP

SECTION 11, TOWNSHIP 50 S, RANGE 42 E  
PARCEL CONTROL #504211010470



Sheet Sequence No.	Sheet Identification	Sheet Title
1	--	COVER
2	GI-001	SURVEY
3	GI-002	LEGEND
4	GI-003	CONSTRUCTION SPECIFICATIONS
5	CG-101	GENERAL NOTES
6	CG-101	EROSION AND SEDIMENTATION CONTROL PLAN
7	CD-101	DEMOLITION PLAN
8-11	CP-501 - CP-504	PAVING, GRADING, AND DRAINAGE PLAN
12	CU-101	PAVING, GRADING AND DRAINAGE DETAILS
13-18	CU-501 - CU-506	WATER AND SEWER PLAN
19	CM-101	WATER AND SEWER DETAILS
		PAVEMENT MARKING AND SIGNAGE PLAN

THESE PLANS MAY HAVE BEEN REDUCED IN SIZE BY REPRODUCTION. THIS MUST BE CONSIDERED WHEN OBTAINING SCALED DATA.



PREPARED FOR:  
ADACHE GROUP ARCHITECTS  
550 S. FEDERAL HIGHWAY  
FT. LAUDERDALE, FL 33301



PROJECT No. 10119.00 DATE 03/16/2018

THOMAS F. DONAHUE, P.E.  
FLORIDA REG. NO. 60529  
(FOR THE FIRM)



General Symbols		
Existing	Proposed	Description
		Centerline & Baseline of Survey or Construction
		Building Access (ADA)
		Building Access (NON-ADA)
		Driveway Turnout Identification (Per FDOT Index 515) w/ Drive Width
		Sidewalk Curb Ramp (Per FDOT Index 304)
		Proposed Section Marker
		Flag Pole
		GPS Point
		Hay Bales
		Mail Box
		Major Contour Elevation
		Minor Contour Elevation
		Parking Meter
		Property Line
		Grade Elevation
		Top Of Curb Elevation/Pavement Elevation
		Soil Test Boring Hole
		Survey Bench Mark
<b>Line Types</b>		
		County Bound
		Demolition Line
		Easement Line
		Property Line
		Limited Access Line/Non-Vehicular Access
		Railroad
		Right Of Way
		Canal Or Drainage Ditch
		Shore Line
		Tree Line
		Aerial Communication Line
		Underground Communication Line
		Underground Storm Drain Line (Double Line 24" And Over)
		Underground Sanitary Line
		Aerial Electric Line
		Underground Electric
		Underground Water Line
		Underground Non Potable Water Line
		Underground Force Main
		Gate
		Chain Link Fence
		Wood Fence
		Metal Rail Fence
		Silt Fence
		Staked Turbidity Barrier
		Turbidity Barrier
		Guard Rail
		Roadway Centerline
		2 - 4 Skip
		3 - 9 Skip
		6 - 10 Skip
		10 - 30 Skip
		10 - 10 - 20 Skip
		Curb
		Curb And Gutter
<b>Landscaping</b>		
		Bash
		Tree
		Palm Tree

Paving and Grading		
Existing	Proposed	Description
		Flow Directional Arrow
		Pavement Marking Arrows
		Stop Bar
		Concrete Sidewalk
		Jogging Path
		Pavement Area
		Existing Pavement/Concrete/Landscape Removal Area
		Milking And Resurfacing
		Detectable Warning (Truncated Domes) Per Florida Accessibility Code
		Soil Tracking Prevention Device
<b>Drainage Utilities</b>		
		Catch Basin
		Yard Drain
		Eradication Trench
		Catch Basin With Filter Fabric Insert
		Curb Type 5
		Curb Type 6
		Pipe Culvert - Mitered End Section
		Pipe Culvert - Straight Endwall
		Pipe Culvert - U - Type Endwall
		Manhole - Communication, Electric, Gas, Dm, San Sew
		Valve Box - Gas, San, Sew, Water, Non-Potable Water
		22.5 degree Bend
		45 degree Bend
		90 degree Bend
		Utility Crossing
		Fire Hydrant
		Proposed Bacteriological Sampling Point
		Pump Station
		Grease Trap
		Septic Tank
		Drainage Well
		Monitoring Well
		Water Well
		Sanitary Sewer Cleanout
		Back Flow Preventor
		Junction Box
		Electric Handhole
		Electric Meter
		Water Meter
		Gate Valve
		Guy wire
		Light Pole
		Relocated Or Adjusted Light Pole
		Wood Pole Pole
		Concrete Utility Pole
		Traffic Signal Pole (Concrete, Wood, Metal)
		Pedestrian Signal Head (Pole Or Pedestal Mounted)
		Post Mounted Sign
		Street Sign
		High Mast Lighting Tower
		Controller Cabinet (Base Mounted)
		Controller Cabinet (Pole Mounted)
		Traffic Signal Head (Span Wire Mounted)
		Traffic Signal Head (Pedestal Mounted)
		Traffic Signal Head (Mast Arm Mounted)
N: 623025.4322 E: 850262.1786 Coordinate values shown on proposed improvements are relative to the coordinate values indicated on the Right-of-Way, property corners or reference monument		

General	Abbreviations
AADT	Annual Average Daily Traffic
ABAN	Abandon
ADJ	Adjust
APPROX	Approximate
A.C.	Asphalt Concrete
ACCM PIPE	Asphalt Coated Corrugated Metal Pipe
BIT	Bituminous
BC	Back Of Curb
BD	Bound
BL	Baseline
BLDG	Building
BM	Benchmark
BO	By Others
BOS	Bottom Of Slope
BR	Bridge
CAP	Corrugated Aluminum Pipe
CB	Catch Basin
CCCI	Catch Basin With Curb Inlet
CC	Cement Concrete
CCM	Cement Concrete Masonry
CEM	Cement
CI	Curb Inlet
CIP	Cast Iron Pipe
CLF	Chain Link Fence
CL	Centerline
CMP	Corrugated Metal Pipe
CO	County
CONC	Concrete
CONT	Continuous
CONST	Construction
CR GR	Crown Grade
DIV	Design Hourly Volume
DI	Drop Inlet
DIA	Diameter
DIP	Ductile Iron Pipe
DWAY	Driveway
ELEV (OR EL)	Elevation
EMB	Embankment
EQP	Edge Of Pavement
EXIST (OR EX)	Existing
EXC	Excavation
F&C	Frame And Cover
F&G	Frame And Grate
FDN	Foundation
FLDSTN	Fieldstone
GAR	Garage
GRD	Ground
GI	Gutter Inlet
GIP	Galvanized Iron Pipe
GRAN	Granite
GRAV	Gravel
GRD	Guard
GV	Gate Valve
HDW	Headwall
HMA	Hot Mix Asphalt
HOR	Horizontal
HYD	Hydrant
INV	Invert
JCT	Junction
L	Length Of Curve
LB	Leach Basin
LP	Light Pole
LT	Left
MAX	Maximum
MB	Mailbox
MEG	Match Existing Grade
MH	Manhole
MIN	Minimum
NIC	Not In Contract
NO.	Number
PC	Point Of Curvature
PCC	Point Of Compound Curvature

Abbreviations Continued	
P.G.L.	Profile Grade Line
PI	Point Of Intersection
POC	Point On Curve
POT	Point On Tangent
PAC	Point Of Reverse Curvature
PROJ	Project
PROP	Proposed
PT	Point Of Tangency
PVC	Point Of Vertical Curvature
PVI	Point Of Vertical Intersection
PVMT	Point Of Vertical Tangency
PVMT	Pavement
PWW	Paved Water Way
R	Radius Of Curvature
R&D	Remove And Dispose
RCP	Reinforced Concrete Pipe
RD	Road
R&W	Right of Way
REMO	Remove
RET	Retain
RET WALL	Retaining Wall
R&W	Right Of Way
RK	Railroad
R&R	Remove And Reset
RT	Right
SHD	Shoulder
SMH	Sewer Manhole
ST	Street
STA	Station
SSD	Stopping Sight Distance
SW	Sidewalk
T	Tangent Distance Of Curve/Truck %
TAN	Tangent
TEMP	Temporary
TC	Top Of Curb
TOS	Top Of Slope
TSV	Tapping Sleeve and Valve
TYP	Typical
UP	Utility Pole
VAR	Varies
VERT	Vertical
VC	Vertical Curve
WCR	Wheel Chair Ramp
WIP	Wrought Iron Pipe
WM	Water Meter/Water Main
X-SECT	Cross Section

## adache

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Florida Certificate of  
 Authorization # - 7528

---

**OWNER:**  
SE FOURTH, LLC

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**PROJECT:**  
808 SE 4TH STREET  
FORT LAUDERDALE, FL 33301

---

**ISSUED FOR:** DRC  
**DATE:** JUNE 18, 2020

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**REVISIONS:**

No.	DATE	REMARKS

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**PRELIMINARY PLAN  
 NOT FOR CONSTRUCTION**

THESE PLANS ARE NOT FINAL. THEY ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS RESTS WITH THE USER. NO WARRANTIES ARE MADE BY THE ARCHITECT FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE USER SHALL BE SOLELY RESPONSIBLE FOR THE USE OF THESE PLANS.

---

**SEAL:**

THOMAS F. DONAHUE, P.E.  
 FLORIDA REG. NO. 80209  
 (FOR THE FIRM)

---

FL REG. LICENSE # 48,007.7

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**SHEET TITLE:**  
LEGEND

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**DATE:** JUNE 18, 2020  
**SCALE:** AS NOTED  
**DRAWN BY:** NL  
**CHECKED BY:** TD  
**JOB NO.:** 10119.00

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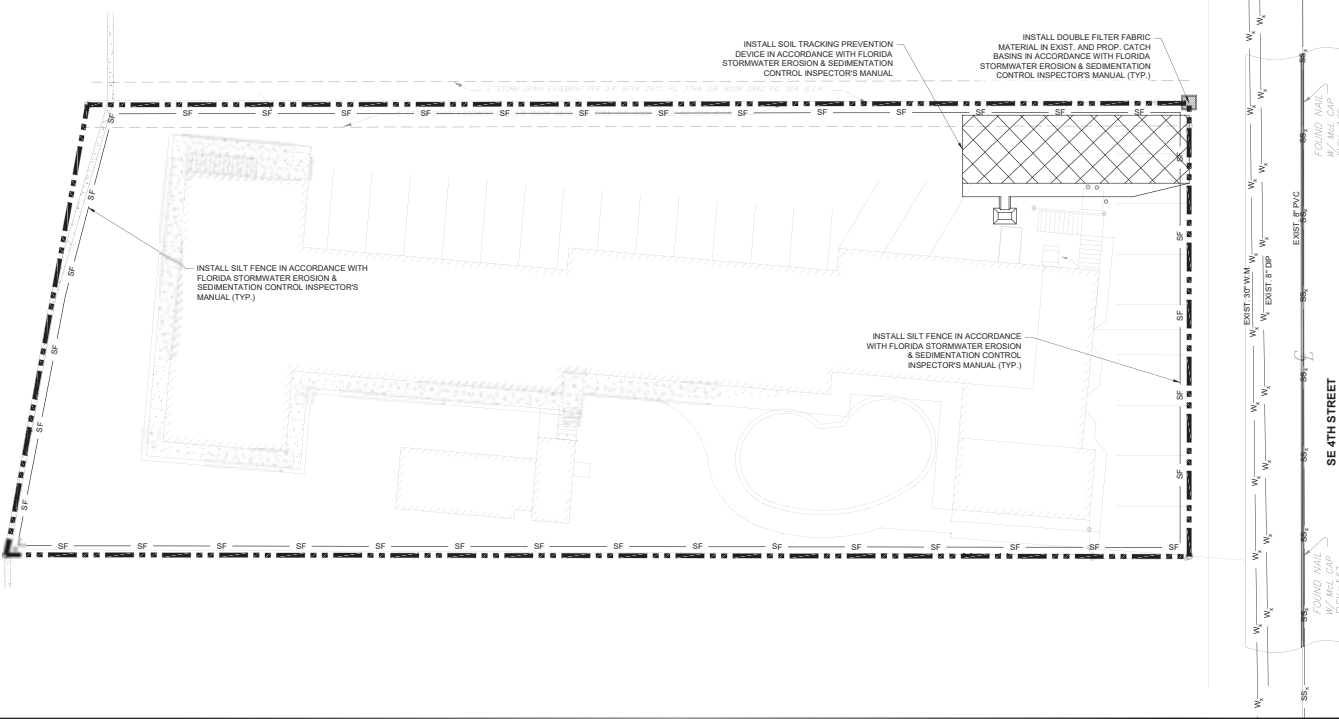
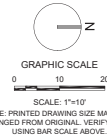
**SHEET NO.:**  
GI-001





**GENERAL NOTES - EROSION CONTROL:**

1. THE CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN FLORIDA (HEREAFTER REFERRED TO AS FL GUIDELINES).
2. MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, A VISUAL INSPECTION SHALL BE MADE OF ALL INSTALLED EROSION CONTROL MEASURES AND REPAIRS SHALL BE CONDUCTED TO ENSURE THEIR CONTINUING FUNCTION AS DESIGNED.
3. CATCH BASIN, INLETS, STORM SEWER MANHOLES STRUCTURES, ETC. SHALL BE PROTECTED DURING CONSTRUCTION OPERATIONS FROM SEDIMENT RUNOFF AND DEBRIS BY PLACING A FILTER FABRIC MATERIAL IN THE FRAME AND GRATE/MANHOLE COVER. PREVENTIVE METHODS MUST BE UTILIZED AROUND THESE STRUCTURES (DURING CONSTRUCTION OPERATIONS) BY GRADING TO DRAIN AWAY FROM STRUCTURES AND ANY OTHER METHODS APPROVED BY THE AGENCY HAVING JURISDICTION OR DESIGN ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL INSTALL A SOIL TRACKING PREVENTION DEVICE AS PER THE FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL. THE CONTRACTOR SHALL TAKE MEASURES TO INSURE THE CLEANUP OF SEDIMENTS THAT HAVE BEEN TRACKED BY VEHICLES OR HAVE BEEN TRANSPORTED BY WIND OR STORM WATER ABOUT THE SITE OR ONTO NEARBY ROADWAYS. STABILIZED CONSTRUCTION ENTRANCES AND CONSTRUCTION ROADS, IF APPROPRIATE, SHALL BE IMPLEMENTED IN ORDER TO REDUCE OFFSITE TRACKING.
5. ALL AREAS OF DISTURBANCE THAT ARE NOT WITHIN BUILDING OR PAVEMENT LIMITS SHALL BE SODED. REFER TO LANDSCAPE PLANS FOR SOD SPECIFICATION AND REQUIREMENTS.
6. REMOVE ALL EROSION CONTROL IMPROVEMENTS AFTER ALL DISTURBED AREAS ARE STABILIZED WITH THE FINAL GROUND COVER.



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**OWNER:**  
SE FOURTH, LLC

**PROJECT:**  
808 SE 4TH STREET  
808 SE 4TH STREET  
PORT LAUDERDALE, FL 33301

**ISSUED FOR:** ORC  
**DATE:** JUNE 18, 2020

NO.	DATE	REMARKS
<b>PRELIMINARY PLAN NOT FOR CONSTRUCTION</b> THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS MADE DURING THE PERMITTING PROCESS. RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMIT/FORMAL ALLIANCE HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.		

**SEAL:**  
  
 THOMAS F. DONAHUE, P.E.  
 FLORIDA REG. NO. 00529  
 FOR THE FIRM

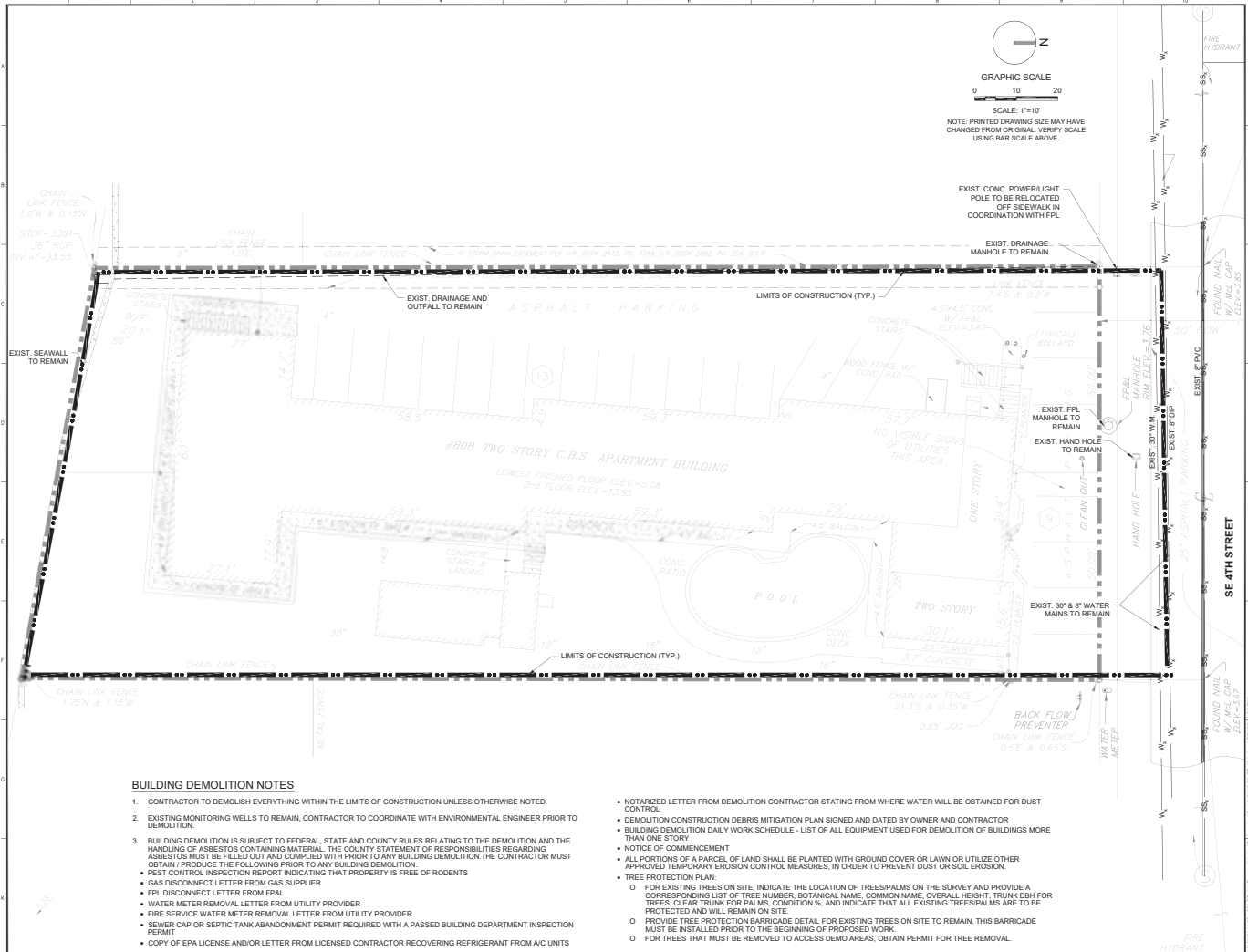
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**SHEET TITLE:**  
EROSION AND SEDIMENTATION CONTROL PLAN

**DATE:** JUNE 18, 2020  
**SCALE:** AS NOTED  
**DRAWN BY:** NL  
**CHECKED BY:** TD  
**JOB NO.:** 10119.00

**SHEET NO.:**  
CG-101

CASE: R19052  
 PZB Exhibit 1  
 Page 84 of 99



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Florida Certificate of Authorization # - 70226

**OWNER:**  
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**ISSUED FOR:** DRC  
**DATE:** JUNE 18, 2020

**REVISIONS:**

No.	DATE	REMARKS
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**SEAL:**  
 THOMAS F. DONAHUE, P.E.  
 FLORIDA REG. NO. 90029  
 (FOR THE FRM)

**SHEET TITLE:**  
DEMOLITION PLAN

**DATE:** JUNE 18, 2020  
**SCALE:** AS NOTED  
**DRAWN BY:** NL  
**CHECKED BY:** TD  
**JOB NO.:** 10119.00

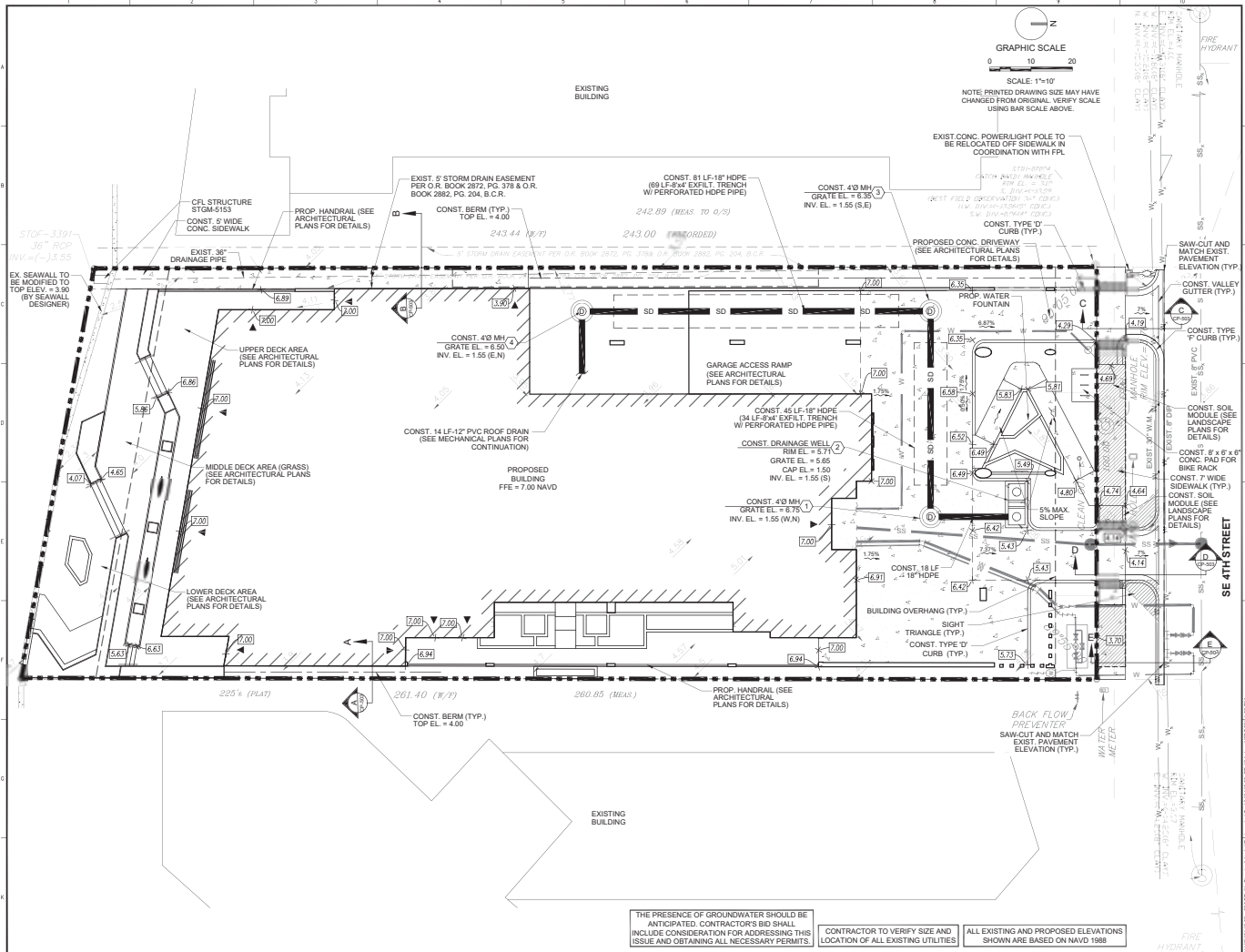
**SHEET NO.:** CD-101

**BUILDING DEMOLITION NOTES**

- CONTRACTOR TO DEMOLISH EVERYTHING WITHIN THE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED
- EXISTING MONITORING WELLS TO REMAIN. CONTRACTOR TO COORDINATE WITH ENVIRONMENTAL ENGINEER PRIOR TO DEMOLITION.
- BUILDING DEMOLITION IS SUBJECT TO FEDERAL, STATE AND COUNTY RULES RELATING TO THE DEMOLITION AND THE HANDLING OF ASBESTOS CONTAINING MATERIAL. THE COUNTY STATEMENT OF RESPONSIBILITIES REGARDING ASBESTOS MUST BE FILLED OUT AND COMPLIED WITH PRIOR TO ANY BUILDING DEMOLITION. THE CONTRACTOR MUST OBTAIN, PRODUCE THE FOLLOWING PRIOR TO ANY BUILDING DEMOLITION:
  - PEST CONTROL INSPECTION REPORT INDICATING THAT PROPERTY IS FREE OF RODENTS
  - GAS DISCONNECT LETTER FROM GAS SUPPLIER
  - FPL DISCONNECT LETTER FROM FPL
  - WATER METER REMOVAL LETTER FROM UTILITY PROVIDER
  - FIRE SERVICE WATER METER REMOVAL LETTER FROM UTILITY PROVIDER
  - SEWER CAP OR SEPTIC TANK ABANDONMENT PERMIT REQUIRED WITH A PASSED BUILDING DEPARTMENT INSPECTION PERMIT
  - COPY OF EPA LICENSE AND/OR LETTER FROM LICENSED CONTRACTOR RECOVERING REFRIGERANT FROM A/C UNITS

- NOTARIZED LETTER FROM DEMOLITION CONTRACTOR STATING FROM WHERE WATER WILL BE OBTAINED FOR DUST CONTROL.
- DEMOLITION CONSTRUCTION DEBRIS MITIGATION PLAN SIGNED AND DATED BY OWNER AND CONTRACTOR
- BUILDING DEMOLITION DAILY WORK SCHEDULE - LIST OF ALL EQUIPMENT USED FOR DEMOLITION OF BUILDINGS MORE THAN ONE STORY
- NOTICE OF COMMENCEMENT
- ALL PORTIONS OF A PARCEL OF LAND SHALL BE PLANTED WITH GROUND COVER OR LAWN OR UTILIZE OTHER APPROVED TEMPORARY EROSION CONTROL MEASURES, IN ORDER TO PREVENT DUST OR SOIL EROSION.
- TREE PROTECTION PLAN:
  - FOR EXISTING TREES ON SITE, INDICATE THE LOCATION OF TREES/PALMS ON THE SURVEY AND PROVIDE A CORRESPONDING LIST OF TREE NUMBER, BOTANICAL NAME, COMMON NAME, OVERALL HEIGHT, TRUNK DBH FOR TREES, CLEAR TRUNK FOR PALMS, CONDITION %, AND INDICATE THAT ALL EXISTING TREES/PALMS ARE TO BE PROTECTED AND WILL REMAIN ON SITE.
  - PROVIDE TREE PROTECTION BARRICADE DETAIL FOR EXISTING TREES ON SITE TO REMAIN. THIS BARRICADE MUST BE INSTALLED PRIOR TO THE BEGINNING OF PROPOSED WORK.
  - FOR TREES THAT MUST BE REMOVED TO ACCESS DEMO AREAS, OBTAIN PERMIT FOR TREE REMOVAL.





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**OWNER:**  
SE FOURTH, LLC

**PROJECT:**  
808 SE 4TH STREET  
FORT LAUDERDALE, FL 33301

**ISSUED FOR:** DRG  
**DATE:** JUNE 18, 2020

**REVISIONS:**

No.	DATE	REMARKS
1	10/23/20	PER SP

**PRELIMINARY PLAN**  
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**SEAL:**

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**SHEET TITLE:**  
PAVING, GRADING,  
AND DRAINAGE PLAN

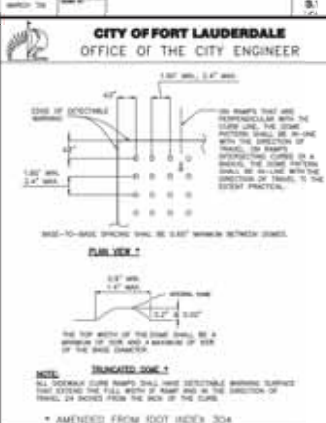
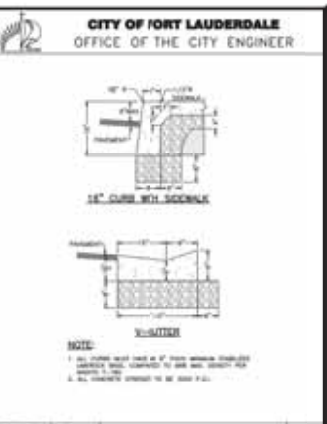
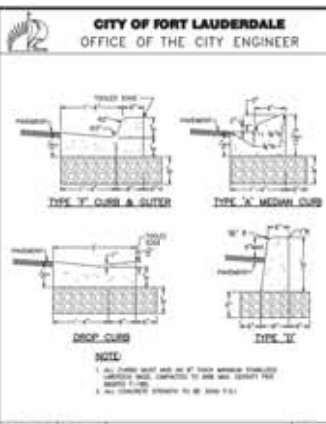
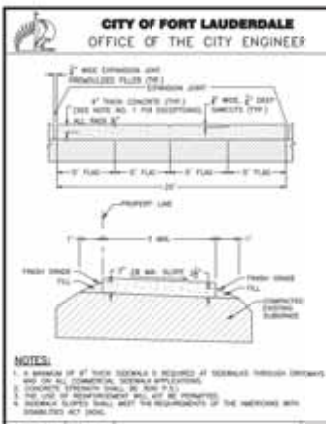
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**SCALE:** AS NOTED  
**DRAWN BY:** NL  
**CHECKED BY:** TD  
**JOB NO.:** 10119.00

**SHEET NO.:**  
CP-101

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED. CONTRACTOR'S BID SHOULD INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE AND OBTAINING ALL NECESSARY PERMITS.

CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL EXISTING UTILITIES.

ALL EXISTING AND PROPOSED ELEVATIONS SHOWN ARE BASED ON NAVD 1988.



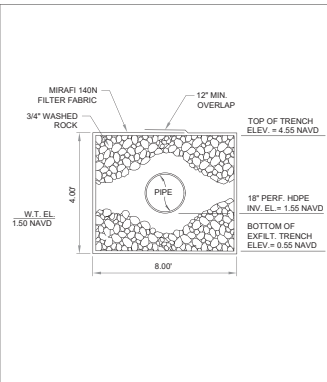
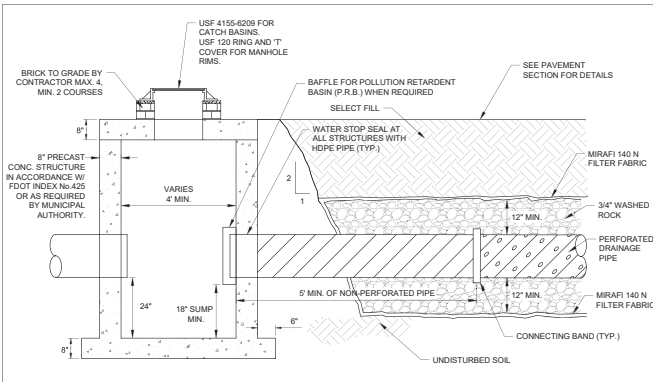
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DESIGNER: TFD	DRAWN BY: NL	CHECKED BY: TD	JOB NO: 10119.00

DATE: JUN 18, 2020	SCALE: AS NOTED	PROJECT: SE FOURTH, LLC	SHEET: CP-501
DESIGNER: TFD	DRAWN BY: NL	CHECKED BY: TD	JOB NO: 10119.00

DATE: JUN 18, 2020	SCALE: AS NOTED	PROJECT: SE FOURTH, LLC	SHEET: CP-501
DESIGNER: TFD	DRAWN BY: NL	CHECKED BY: TD	JOB NO: 10119.00

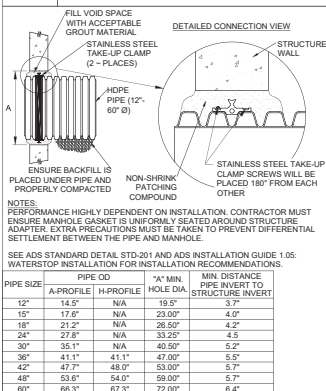
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DESIGNER: TFD	DRAWN BY: NL	CHECKED BY: TD	JOB NO: 10119.00



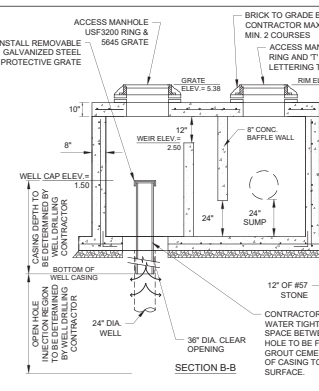


**13 CATCH BASIN W/ P.R.B. AND EXFILTRATION TRENCH**  
SCALE: NOT TO SCALE

**14 EXFILTRATION TRENCH DETAIL**  
SCALE: NOT TO SCALE

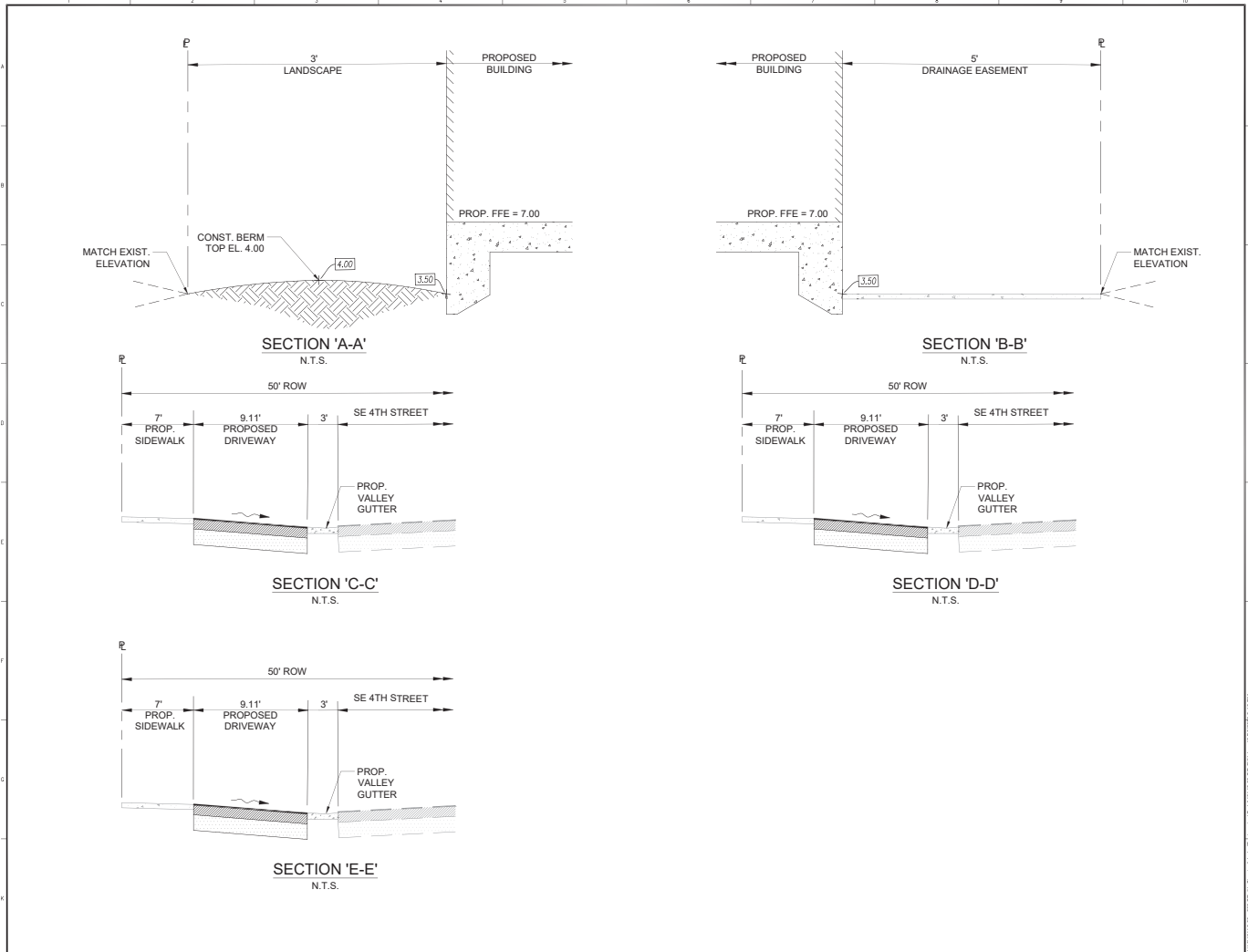


**15 GROUTED MANHOLE CONNECTION (HDPE PIPE) DETAIL**  
SCALE: NOT TO SCALE



**17 DRAINAGE WELL W/ WEIR**  
SCALE: NOT TO SCALE

PIPE SIZE	PIPE OD	"A" MIN. HOLE DIA.	MIN. DISTANCE PIPE INVERT TO STRUCTURE INVERT
12"	14.5"	N/A	3.7"
15"	17.6"	N/A	4.0"
18"	21.2"	N/A	4.2"
24"	27.8"	N/A	4.5"
30"	35.1"	N/A	5.2"
36"	41.1"	41.1"	47.00"
42"	47.7"	48.0"	53.00"
48"	53.8"	54.0"	59.00"
60"	66.3"	67.3"	72.00"



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**OWNER:**  
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**PROJECT:**  
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FORT LAUDERDALE, FL 33301

**ISSUED FOR:** DRC  
**DATE:** JUNE 18, 2020

**REVISIONS:**

No.	DATE	REMARKS
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**SEAL:**  
 THOMAS F. DONAHUE, P.E.  
 FLORIDA REG. NO. 80028  
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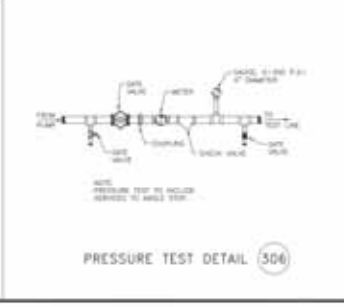
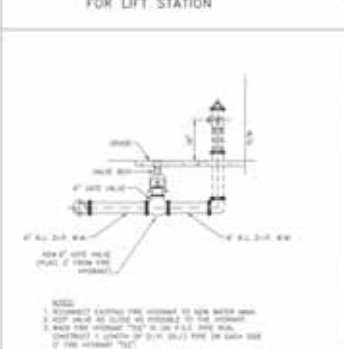
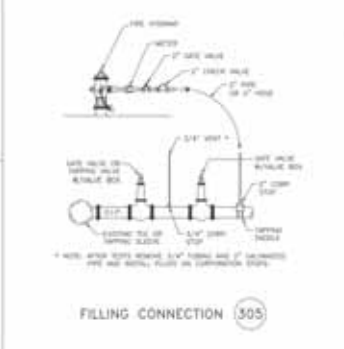
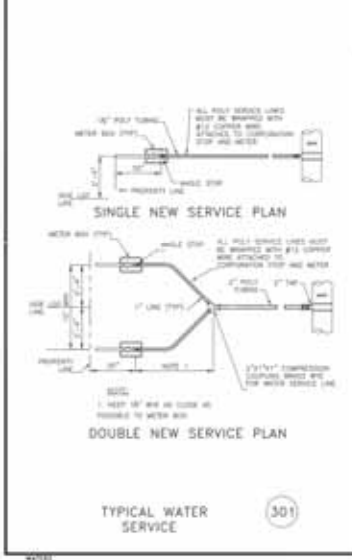
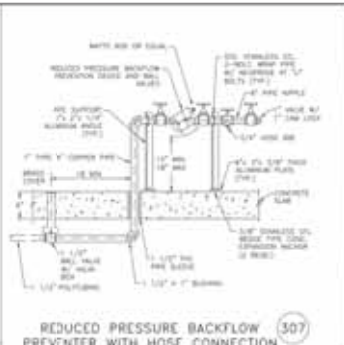
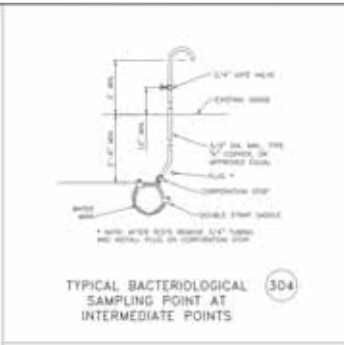
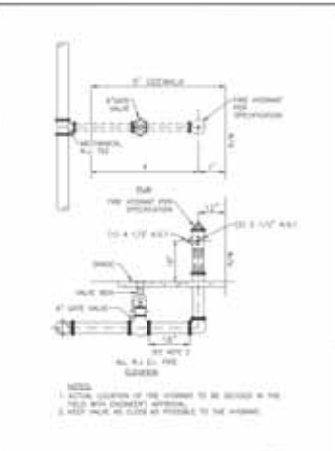
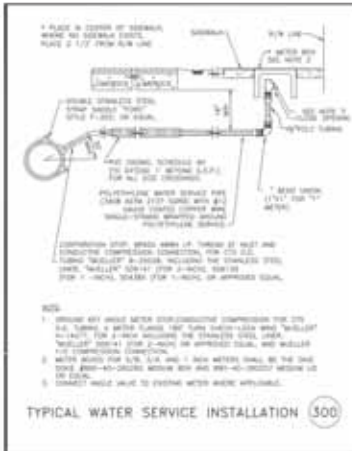
**SHEET TITLE:**  
PAVING, GRADING,  
AND DRAINAGE DETAILS

**DATE:** JUNE 18, 2020  
**SCALE:** AS NOTED  
**DRAWN BY:** NL  
**CHECKED BY:** TD  
**JOB NO.:** 10119.00

**SHEET NO.:**  
CP-504



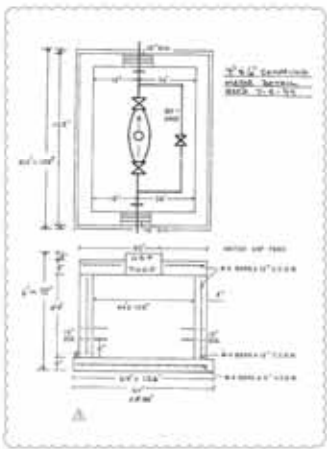




CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING DIVISION FORT LAUDERDALE, FLORIDA		STANDARD DETAIL SHEET
PROJECT NO.	808 SE 4TH STREET FORT LAUDERDALE, FL 33301	STANDARD WATER DETAILS
DATE	11/11/10	CU-301
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**LEGEND:**

SYMBOL	DESCRIPTION
	WATER METER BOX
	EXISTING VALVE
	PROPOSED VALVE
	FIRE HYDRANT
	BENCH MARK
	TREE
	MAN IN BOTTLE CAP
	MAN IN ASPHALT
	GAS LINE
	WATER MAIN
	BURIED TELEPHONE
	TELEPHONE
	UNDERGROUND ELECTRIC
	FORCE MAIN
	OVERHEAD WIRE
	CABLE TELEVISION
	CHAIN LINK FENCE
	WOOD FENCE
	ELEVATED ELEVATION
	SOIL BORING LOCATION MARK
	SOIL TYPE SEPARATION MARK



**NOTATION NOTES**

1. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/C115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02 and pipe shall be pressure rated 300, 34" and larger, pipe shall be pressure rated 300.
2. All 36" and larger pipe shall be installed in accordance with ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
3. All 36" and larger pipe shall be installed in accordance with ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
4. All 36" and larger pipe shall be installed in accordance with ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
5. All 36" and larger pipe shall be installed in accordance with ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
6. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
7. All 36" and larger pipe shall be installed in accordance with ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
8. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
9. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
10. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
11. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
12. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
13. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
14. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
15. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
16. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
17. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
18. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
19. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
20. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
21. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
22. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
23. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
24. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
25. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
26. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
27. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
28. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
29. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
30. Double size water main pipe shall conform to the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.

**NOTATION NOTES**

21. The water main shall be installed in accordance with the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
22. The water main shall be installed in accordance with the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
23. The water main shall be installed in accordance with the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.
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30. The water main shall be installed in accordance with the requirements of ANSI/AWWA C115/A115.1-02 and meet and exceed per ANSI/AWWA C115/A115.1-02.

**GENERAL NOTE**

All work shall be in accordance with the requirements of the Florida Building Code, Chapter 630, Part 1, and the Florida Building Code, Chapter 630, Part 2.

**CITY OF FORT LAUDERDALE**  
**PUBLIC WORKS DEPARTMENT**  
**ENGINEERING DIVISION**  
**FORT LAUDERDALE, FLORIDA**

**STANDARD DETAIL SHEET**

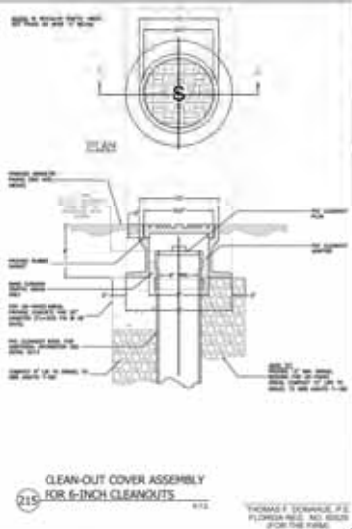
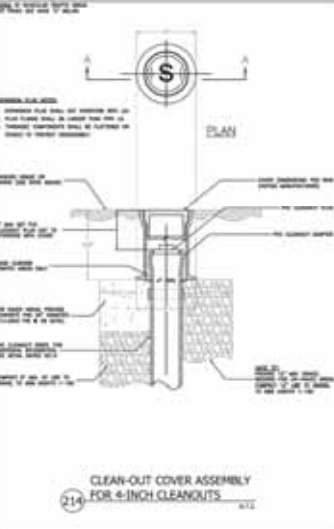
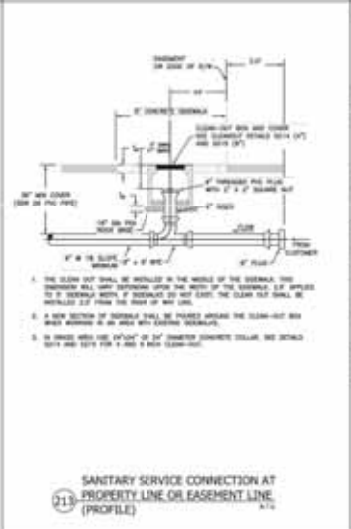
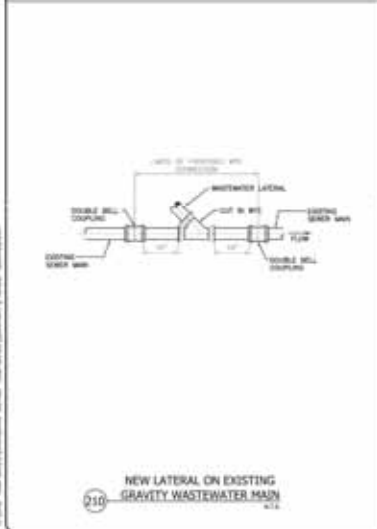
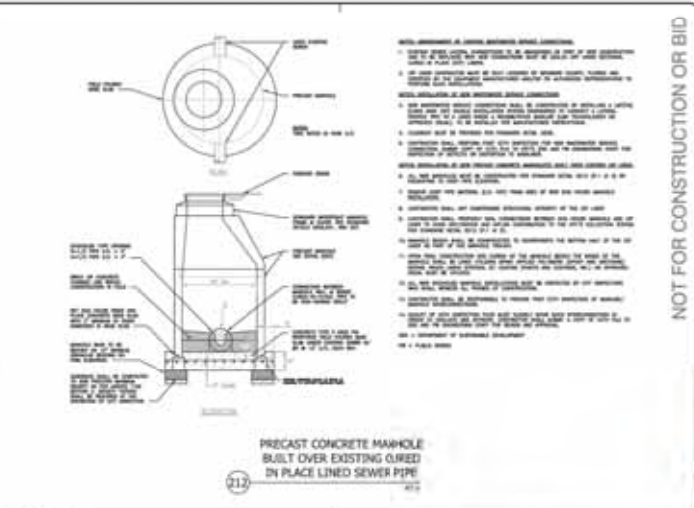
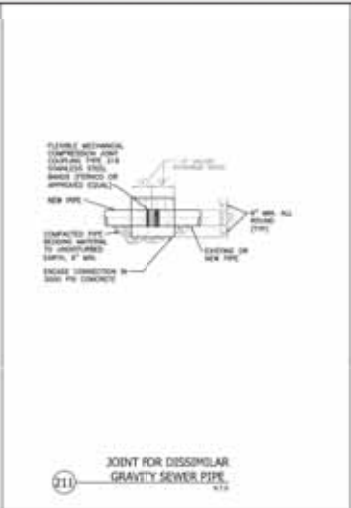
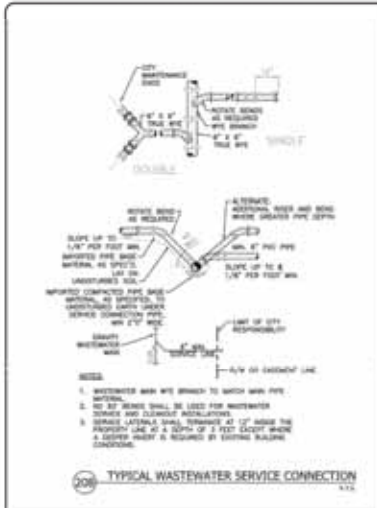
**KEITH PROJECT #10119-00**  
**808 SE 4TH STREET**  
**FORT LAUDERDALE, FL 33301**  
**STANDARD WATER DETAILS**

**DATE: 01/11/11**  
**SCALE: AS SHOWN**  
**DESIGNED BY: [Name]**  
**CHECKED BY: [Name]**  
**DATE: 01/11/11**

**NO. OF SHEETS: 1**  
**SHEET NO.: 1**

**THOMAS J. CONNOR P.E.**  
**FLORIDA REG. NO. 10000**  
**FOR THE FIRM:**





**NOT FOR CONSTRUCTION OR BID**

**CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE**

**KEITH PROJECT #10119.00  
808 SE 4TH STREET  
FORT LAUDERDALE, FL 33301  
STANDARD SANITARY SEWER DETAILS**

**CU-504**





**REVISIONS:**

No.	DATE	REMARKS

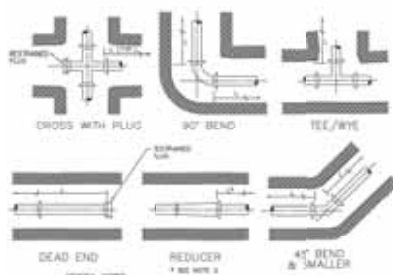
**PRELIMINARY PLAN  
NOT FOR CONSTRUCTION**  
THESE PLANS ARE NOT FULLY PERMITTED AND ARE  
SUBJECT TO REVISIONS AND OTHER THE PERMITTING  
PROCESS RESPONSIBLE FOR THE USE OF THESE  
PLANS PRIOR TO OBTAINING PERMITS FROM ALL  
AGENCIES HAVING JURISDICTION OVER THE PROJECT.  
WE WILL HOLD SOLELY UPON THE USER.

**SEAL:**  
  
**THOMAS F. DONAHUE, P.E.**  
FLORIDA REG. NO. 60028  
(FOR THE FIRM)

**SHEET TITLE:**  
WATER AND SEWER  
DETAILS

**DATE:** JUNE 18, 2020  
**SCALE:** AS NOTED  
**DRAWN BY:** NL  
**CHECKED BY:** TD  
**JOB NO.:** 10119.00

**SHEET NO.:**  
CU-506



- GENERAL NOTES:**
1. VALUES IN TABLE ARE BASED ON 1" OF JOINTS FOR THE ENTIRE PERIPHERY. FOR JOINTS BEYOND 150 PSF WIND WATER LOADS, WIND/WATER LOADS & COLLISIONS, REFER TO CONDITION 2. REFER TO TABLE 1 OF SDG, TMS, AND SAFETY FACTOR OF 2. RESTRAINED JOINTS WERE COMPUTED FOR 2000 PSI CONCRETE RESTRAINT DESIGN FOR 3000 PSI CONCRETE AND 75% PIPE. THIN-WALL RESTRAINT DESIGN. FAYATON, CHINA AND, INC.
  2. DETERMINE THE EXACT JOINTS OF RESTRAINTS REQUIRED FOR RESTRAINT, PIPE JOINTS IN PERPENDICULAR AND ANGLED JOINTS RESTRAINED JOINTS WITH THE JOINTS JOINTS.
  3. THE CONTRACTOR IS RESPONSIBLE FOR PROPER INSTALLATION OF THE RESTRAINED JOINTS TO PREVENT MOVEMENT OF THE PIPES & FITTINGS.
  4. IN THE EVENT OF A CONTACT BETWEEN RESTRAINED JOINTS SHOWN ON THIS TABLE AND RESTRAINED JOINTS SHOWN ON THE DRAWINGS, THE LONGEST RESTRAINED JOINT SHALL BE USED.

**RESTRAINED JOINT INFORMATION**

**PVC HORIZONTAL BENDS AND VERTICAL UP BENDS**

PIPE SIZE (IN.)	RESTRAINED JOINT LENGTH (1)			MINIMUM DISTANCE IN FEET FROM FITTING - (2) (3) (4)
	90°	45°	22.5°	
6	28	17	9	2
8	33	18	7	2
12	48	18	12	2

**PVC VERTICAL DOWN BEND**

PIPE SIZE (IN.)	RESTRAINED JOINT LENGTH (1)			MINIMUM DISTANCE IN FEET FROM FITTING - (2) (3) (4)
	90°	45°	22.5°	
6	28	17	9	2
8	33	18	7	2
12	48	18	12	2

**DIP HORIZONTAL BENDS AND VERTICAL UP BENDS**

PIPE SIZE (IN.)	RESTRAINED JOINT LENGTH (1)			MINIMUM DISTANCE IN FEET FROM FITTING - (2) (3) (4)
	90°	45°	22.5°	
6	28	17	9	2
8	33	18	7	2
12	48	18	12	2

**DIP VERTICAL DOWN BEND**

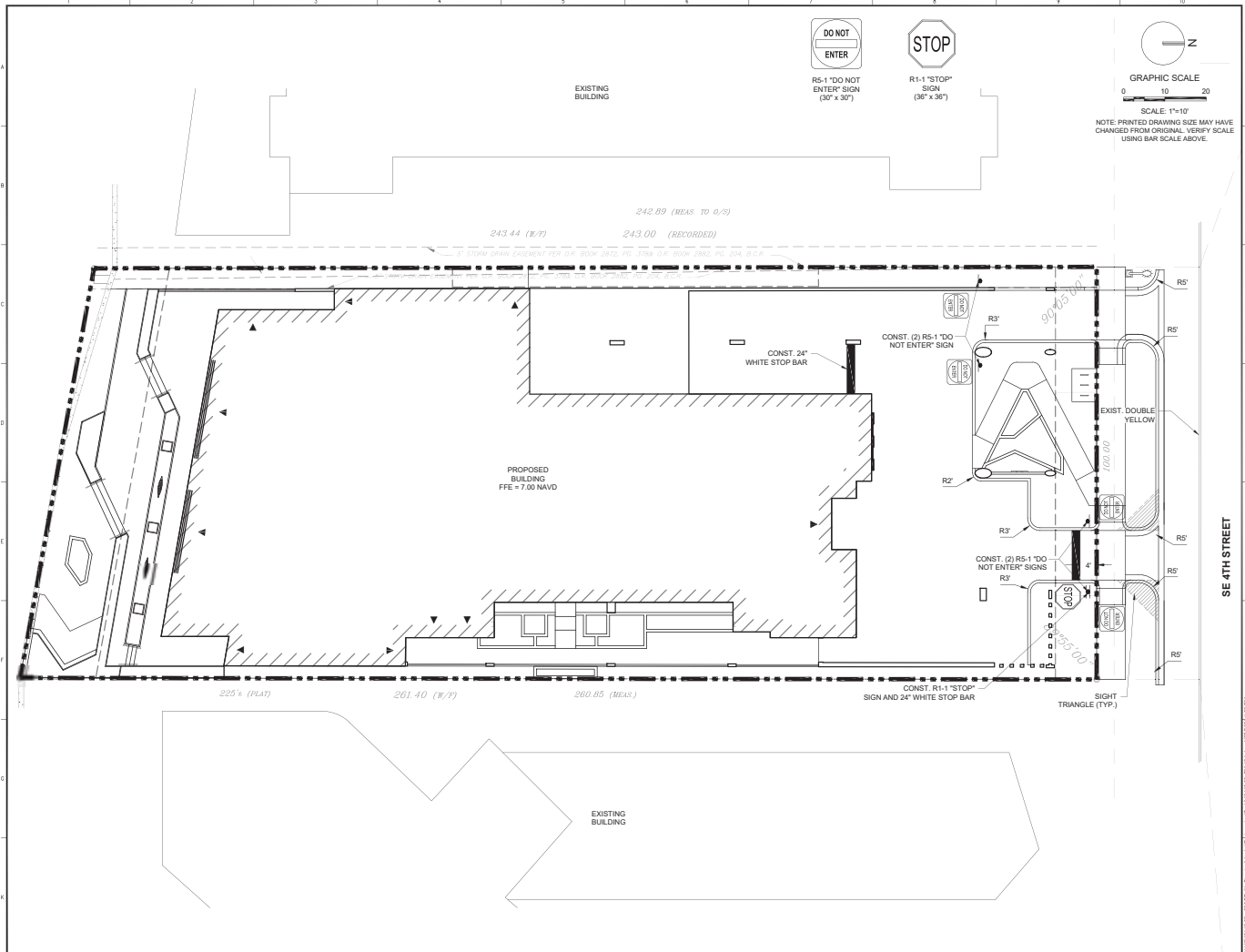
PIPE SIZE (IN.)	RESTRAINED JOINT LENGTH (1)			MINIMUM DISTANCE IN FEET FROM FITTING - (2) (3) (4)
	90°	45°	22.5°	
6	28	17	9	2
8	33	18	7	2
12	48	18	12	2

**RESTRAINED JOINT INFORMATION**

**MIN. LENGTH OF PIPE TO BE RESTRAINED**

TABLE 1: MINIMUM RESTRAINT LENGTHS FOR 150 PSF WIND/WATER LOADS AND JOINTS BEYOND 150 PSF WIND/WATER LOADS

FITTING TYPE	RESTRAINED JOINT LENGTH (1)			MINIMUM DISTANCE IN FEET FROM FITTING - (2) (3) (4)
	90°	45°	22.5°	
90° ELBOW	28	17	9	2
45° ELBOW	17	9	7	2
22.5° ELBOW	9	7	7	2
TEE	28	17	9	2
WYE	28	17	9	2
CRUISE	28	17	9	2
REDUCER	28	17	9	2
FLANGE	28	17	9	2
FLANGE BOLT	28	17	9	2
FLANGE NUT	28	17	9	2
FLANGE WASHER	28	17	9	2
FLANGE BOLT HEAD	28	17	9	2
FLANGE NUT HEAD	28	17	9	2
FLANGE WASHER HEAD	28	17	9	2
FLANGE BOLT HEAD & NUT	28	17	9	2
FLANGE NUT HEAD & WASHER	28	17	9	2
FLANGE WASHER HEAD & BOLT	28	17	9	2
FLANGE BOLT HEAD & WASHER	28	17	9	2
FLANGE NUT HEAD & WASHER	28	17	9	2
FLANGE WASHER HEAD & BOLT	28	17	9	2
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FLANGE NUT HEAD & WASHER	28	17	9	2
FLANGE WASHER HEAD & BOLT	28	17	9	2
FLANGE BOLT HEAD & WASHER	28	17	9	2
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FLANGE WASHER HEAD & BOLT	28	17	9	2
FLANGE BOLT HEAD & WASHER	28	17	9	2
FLANGE NUT HEAD				



**adache**  
group architects

**KEITH**

**PROJECT DESIGN TEAM:**  
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FORT LAUDERDALE, FL 33320  
215 S. ANDERSON AVE.  
FT. LAUDERDALE, FLORIDA 33301  
PH: 954.776.1000

Florida Certificate of  
Authorization # - 7528

**OWNER:**  
SE FOURTH, LLC

**PROJECT:**  
808 SE 4TH STREET  
808 SE 4TH STREET  
FORT LAUDERDALE, FL 33301

**ISSUED FOR:** DRC  
**DATE:** JUNE 18, 2020

REVISIONS:	No.	DATE	REMARKS
1	10/23/20	PER SP	

**PRELIMINARY PLAN**  
**NOT FOR CONSTRUCTION**  
THESE PLANS ARE NOT FULLY PERMITTED AND ARE SUBJECT TO REVISIONS AND CHANGE THE PERMITTING PROCESS RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING THE PERMIT FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

**SEAL:**  
THOMAS F. DONAUIRE, P.E.  
FLORIDA REG. NO. 80097  
(FOR THE FIRM)

**SHEET TITLE:**  
PAVEMENT MARKING  
AND SIGNAGE PLAN

**DATE:** JUNE 18, 2020  
**SCALE:** AS NOTED  
**DRAWN BY:** NL  
**CHECKED BY:** TD  
**JOB NO.:** 10119.00

**SHEET NO.:**  
CM-101

CASE: R19052  
PZB Exhibit 1  
Page 98 of 99

