

# Exhibit 9

# THE LARAMORE Site Plan Level II IN RAC

1620 NW 6TH COURT, FORT LAUDERDALE, FL 33311  
UDP-S23---

**SHEET INDEX**

	SURVEY PLAT
C0.1	SITE PLAN
A001	CONTEXT PHOTOS
A002	CONTEXT PHOTOS
A003	RENDERING
A004	RENDERING
A005	RENDERING
A006	GENERAL NOTES & PROJECT DATA
A007	GROSS AREA DIAGRAMS, PARKING & UNIT MATRIX
A101	OVERALL LEVELS 1 & 1.5 FLOOR PLANS
A102	OVERALL LEVELS 2 - ROOF PLANS
A201	SOUTH & WEST ELEVATIONS
A202	NORTH & EAST ELEVATIONS
A301	BUILDING SECTIONS
A302	BUILDING SECTIONS & DETAILS
A501	EXTERIOR DETAILS & MATERIALS
LAPL-0	TREE DISPOSITION PLAN
LAPL-1	PLANTING DETAILS
LAPL-2	PLANTING DETAILS
L0	SITE LIGHTING STUDY
L1G-D	GARAGE LIGHTING STUDY - DAY TIME
L1G-N	GARAGE LIGHTING STUDY - NIGHT TIME
L1G-E	GARAGE LIGHTING STUDY - EM MODE
C1	CONCEPTUAL PAVEMENT MARKING AND SIGNAGE PLAN
C2	CONCEPTUAL PAVING, GRADING & DRAINAGE PLAN
C3	CONCEPTUAL WATER & SEWER PLAN
E3C	EROSION & SEDIMENT CONTROL PLAN
X2	SIDEWALK EASEMENT EXHIBIT
X3	MAINTENANCE EASEMENT EXHIBIT
X4	OPEN SPACE EXHIBIT
X5	CIRCULATION EXHIBIT



**PROJECT TEAM:**

OWNER  
**FORT LAUDERDALE COMMUNITY  
REDEVELOPMENT AGENCY**  
100 N Andrews Ave  
Fort Lauderdale, Florida 33301

LAND USE ATTORNEY  
**LOCHRIE & CHAKAS**  
1401 E Broward Blvd, Suite 303  
Fort Lauderdale, FL 33301  
954.779.1119

ARCHITECT  
**STUDIO MC+G ARCHITECTURE**  
7500 NE 4th Court, Studio 102  
Miami, Florida 33138  
305.573.2728

CIVIL ENGINEER/LAND PLANNER  
**FLYNN ENGINEERING SERVICES**  
241 Commercial Blvd., L.B.T.S, FL  
954.522.1004

LANDSCAPE ARCHITECT  
**ECOPLAN**  
310 SE 18th Street  
Fort Lauderdale, Florida 33316  
954.524.3722

TRAFFIC ENGINEER  
**DC ENGINEERS**  
12743 NW 13th Court  
Coral Springs, Florida 33071  
954.798.0926

UTILITY CONSULTANT  
**M. JOHNSTON CONSULTING**  
305.298.5500

**FRANCHISE UTILITY PROVIDERS:**

FP&L	AT&T
COMCAST	TECO
CITY OF FORT LAUDERDALE	

**FLYNN  
ENGINEERING**

241 COMMERCIAL BLVD., LAUDERDALE-04-50-42, FL 33301  
PHONE (954) 522-1004 | WWW.FLYNNENGINEERING.COM  
305 522 1004

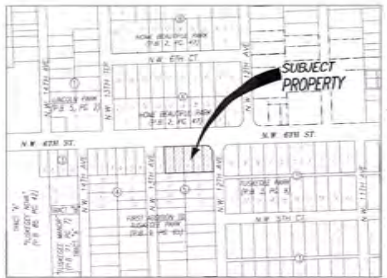
Project No.	12121-013
Issue No.	01/23/2013
Issue Date	01/23/2013
Scale	AS SHOWN
Author	AM
Check	AM
Date	01/23/2013







CONTINGENT LEGEND	
1	WATER
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LOCATION SKETCH  
Scale: 1"=200'

A PORTION OF SECTION 04-500-422, BROWARD COUNTY, FLORIDA.

**LEGAL DESCRIPTION**

LOT 2, BLOCK 4, LOTS 2 AND 3, FIRST ADDITION TO SUGGESTIVE PARK, A SUBDIVISION OF SECTION FOUR (4) TOWNSHIP FORTY (40) SOUTH, RANGE FORTY-TWO (42) EAST, A SUBDIVISION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 65, IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH

LOTS 2 AND 3, BLOCK 5, LOTS 2 AND 3, FIRST ADDITION TO SUGGESTIVE PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 65, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH

LOTS 5 AND 6, BLOCK 5, FIRST ADDITION TO SUGGESTIVE PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 65, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH

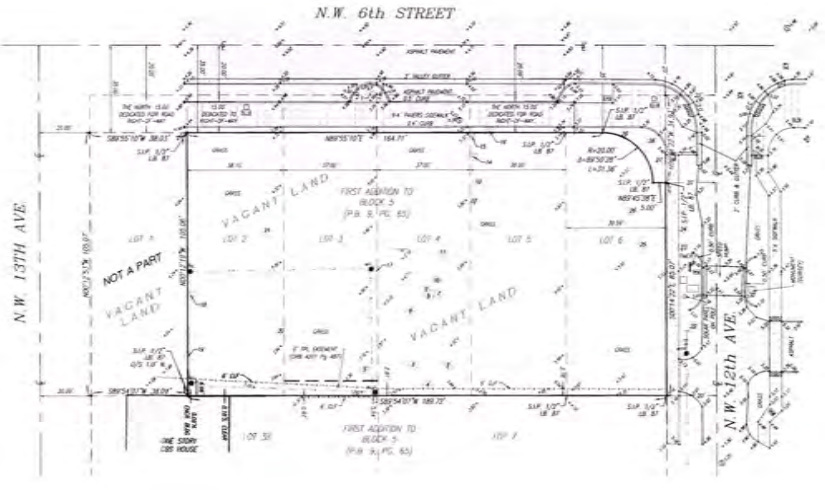
LOTS 5 AND 6, BLOCK 5, FIRST ADDITION TO SUGGESTIVE PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 65, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH

LOTS 5 AND 6, BLOCK 5, FIRST ADDITION TO SUGGESTIVE PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 65, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**SURVEYOR'S NOTES**

1. THE BEARINGS SHOWN HEREIN RELATE TO AN ASSUMED BEARING OF N85°12'00" E ALONG THE SOUTH END-OF-WAY LINE OF N.W. 8th STREET BETWEEN N.W. 12th AVENUE AND N.W. 13th AVENUE.
2. LEGAL DESCRIPTIONS SHOWN HEREIN ARE PROVIDED BY CLIENT.
3. AREAS OF THE PROPERTY DESCRIBED HEREIN ARE 4.7878 SQ. FT. (± 0.443 ACRES).
4. THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREIN. THE ATTACHED CERTIFICATIONS DOES NOT EXTEND TO ANY UNNAMED PARTIES.
5. UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOUNDINGS AND/OR FOUNDATIONS.
6. THE PROPERTY SHOWN HEREIN FALLS WITHIN FEDERAL ZONING DISTRICT "Y", PER FLORIDA STATUTE DISTRICT MAP NO. 12311 (COMMUNITY DEVELOPMENT CODES) AND NO. 12316 (SOUTH FLORIDA FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) MAP DATED AUGUST 18, 2014).
7. LEGAL DESCRIPTIONS OF INTERESTS ARE SHOWN HEREIN, HOWEVER, NO ATTEMPT HAS BEEN MADE TO LOCATE UNDERGROUND UTILITIES.
8. THE DISTANCES SHOWN ALONG THE BOUNDARY OF THE SUBJECT PROPERTY ARE RECORD MEASUREMENTS UNLESS OTHERWISE NOTED.
9. THIS SURVEY IS SUBJECT TO EASEMENTS, RIGHTS-OF-WAY AND OTHER MATTERS AS NOTED IN SCHEDULE B-4 OF THIS COMMITMENT REFLECTED HEREIN.
10. THE ELEVATIONS SHOWN HEREIN REFER TO NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) AND ARE EXPRESSED IN FEET AND HUNDRETHS THEREOF.
11. VERTICAL DATUM CONVERSION: 1929 - 1988 = 0.462 FT.
12. BENCHMARKS:
  - a. CITY OF FORT LAUDERDALE BM # 524, PA. 8 BRASS BENCHMARK IN TOP OF CURB ON NORTH SIDE OF N.W. 6th STREET - ELEVATION: 44.44' N.E.42.29 (N.A.V.D. 88)
  - b. CITY OF FORT LAUDERDALE BM # 524, PA. 8 BRASS BENCHMARK IN TOP OF CURB ON N.W. CORNER OF INTERSECTION OF N.W. 6th STREET AND N.W. 13th AVENUE - ELEVATION: 44.555' N.E.42.29 (N.A.V.D. 88)



EXEMPTIONS TO TITLE AS NOTED IN SCHEDULE B-4 OF EXEMPT NATIONAL TITLE INSURANCE COMPANY COMMITMENT NUMBER 11502771, EFFECTIVE 09/08/2023 AT 11:00 AM

1. City of Fort Lauderdale Resolution No. 95-05, recorded November 18, 2004, in Official Records Book 3064, Page 1747 - AFFECTS PROPERTY AS A WHOLE, NOT PARTIALLY.
2. Encumbrance in favor of Florida Power & Light Company, recorded in Official Records Book 4201, Page 487, REFLECTS HEREON.

TREE TABLE

NO.	COMMON NAME	SPECIES	DBH	HT	COPY #
1	...	...	...	...	...
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NOTE: THE TREE INFORMATION AS INDICATED ON THE "TREE LIST" IS SUBJECT TO REVISION BY SUBSEQUENT SITE INSPECTION BY A CERTIFIED ARBORIST OR OTHER INDIVIDUAL WITH SIMILAR EXPERTISE.

**CERTIFIED TO:**  
SOLAR APARTMENTS, LLC, a Florida limited liability company  
3010 SUGGESTIVE PARK DRIVE # 4000 LEP  
FORT LAUDERDALE, FLORIDA 33309

**SURVEYOR'S CERTIFICATION:**  
I HEREBY CERTIFY THAT THE "BOUNDARY SURVEY" OF THE HEREIN DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE STANDARDS AND PRACTICES OF THE SURVEYING PROFESSION IN FLORIDA (FS-15-2021). THIS SURVEY COMPLETES WITH THE STANDARDS OF PRACTICE REQUIREMENTS AS SET FORTH IN RULES 12-17.001 AND 12-17.002 AS ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYING AND MAPPING PURSUANT TO CHAPTER 402.001, FLORIDA STATUTES.

**Schwabke Shaskan & Associates, Inc.**  
ONE 5548 WARRIOR ON THIS DOCUMENT WAS AUTHORIZED BY MARK STEVEN JOHNSON, P.S.M. 4775

**Mark Steven Johnson**  
MARK STEVEN JOHNSON, PRINCIPAL  
PROFESSIONAL LAND SURVEYOR #A-4775  
STATE OF FLORIDA

ELEVATIONS SHOWN HEREON RELATE TO NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) AND ARE EXPRESSED IN FEET AND HUNDRETHS THEREOF.

**Schwabke Shaskan & Associates, Inc.**  
LAND SURVEYING ENGINEERS  
1200 N.W. 6TH STREET, FORT LAUDERDALE, FL 33411  
PHONE: 954.776.1100 FAX: 954.776.1101  
WWW.SWA-INC.COM  
STATE OF FLORIDA LICENSE NO. 12000  
ISSUED: 01/15/2010 EXPIRES: 01/15/2025  
RENEWED: 01/15/2025  
THIS IS A "BOUNDARY SURVEY"

**BOUNDARY SURVEY**  
1200 N.W. 6TH STREET, FORT LAUDERDALE, FL 33411  
SECTION 04, TOWNSHIP 30 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA

DATE: 09/08/2023  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1" = 20 FEET

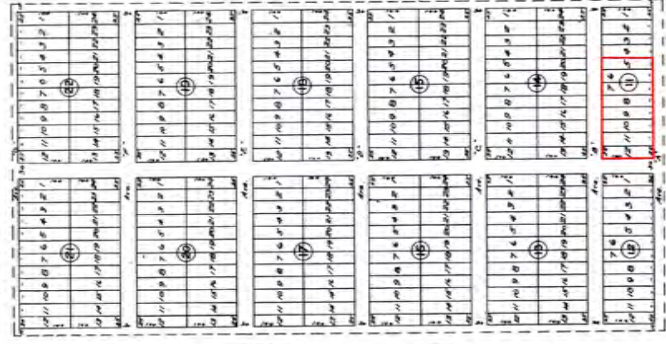
5-1

**FIRST ADDITION  
LINCOLN PARK**  
A SUBDIVISION OF TRACTS 31, 32, 41 AND 42 OF BLOCK A,  
CITICUS PARK FARM, A SUBDIVISION OF PART OF SEC. 4, T30S18R42E,  
BROWARD COUNTY - FLORIDA.

This Plat is being recorded for the purpose of approving  
the description of the plat hereon filed in 1935 under No. 29165  
of the Public Records of Broward County, Florida.

Know All Men By These Presents:  
That, Lewis Barkdull Co. Inc. owners  
of the land described on this plat, do hereby  
dedicate, to the perpetual use of the public,  
all streets and avenues shown on the plat  
hereto attached.  
In witness whereof said company has  
caused this instrument to be signed by its  
President and attested by its Secretary this  
13th day of March, A.D. 1935.

*[Signature]*  
PRESIDENT  
*[Signature]*  
SECRETARY



29165  
I, hereby certify that on this day  
I am Secretary of Lewis Barkdull Co. Inc. and my  
duties require me to be the secretary of the  
company in witness whereof I sign my name and seal this 13th day of March, A.D. 1935.

*[Signature]*  
NOTARY PUBLIC

F. N. Seal  
My commission expires  
November 18, 1935



STATE OF FLORIDA  
COUNTY OF BROWARD  
I HEREBY CERTIFY that this is a true  
and correct copy of a map as the same  
appears of record in Plat Book 5, at Page 7  
of the public record of Broward County Florida.  
WITNESS my hand and official seal in the City of  
Fort Lauderdale, Florida, this 13th day of March, A.D. 1935.



STATE OF FLORIDA  
COUNTY OF BROWARD  
This instrument was filed for record  
in the public records of Broward County  
Florida, on this 13th day of March, A.D. 1935.  
at 11:00 A.M.  
L. A. [Signature]  
Deputy Clerk

PLAT 29165

*[Handwritten note]*

REPLAT OF BLOCKS 13 AND 14,  
LINCOLN PARK 1ST ADD.  
PARCELS 14, (PB 71, PG 15)

REPLAT OF BLOCKS 13 AND 14, LINCOLN PARK 1ST ADD.  
PARCEL 10 (PB 71, PG 15)

**SITE PLAN INFORMATION**

COMPLY WITH THE ZONING AND USE	RESIDENTIAL
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**SETBACK TABLE**

FRONT YARD (300'-0" WESTRUNK BLVD)	0' TO PL.	4.4' TO PL.
SIDE YARD (300'-0" WESTRUNK BLVD)	0' TO PL.	0.1' TO PL.
REAR YARD (300'-0" WESTRUNK BLVD)	0' TO PL.	0.2' TO PL.
REAR YARD (300'-0" WESTRUNK BLVD)	0' TO PL.	0.2' TO PL.

**LEGAL DESCRIPTION**

LOTS 5 & 6, LESS ROAD BLOCK 11, FIRST ADDITION LINCOLN PARK, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGES 11, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH:

LOT 7, LESS ROAD RIGHT OF WAY, AND LOT 8, LESS ROAD RIGHT OF WAY, BLOCK 11, OF LINCOLN PARK FIRST ADDITION CORRECTED PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 11 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH:

LOTS 8 & 12 IN BLOCK 11 OF LINCOLN PARK FIRST ADDITION ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 5, PAGE 11 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



**LOCATION MAP**

TOTAL SITE AREA (ACRES)	1.41	TOTAL ADJ. TOTAL	17,923 SF
TOTAL SITE AREA (SQ FT)	1,242,000	TOTAL ADJ. TOTAL	2,382,000 SF
TOTAL PERMITTED PROPOSED (SCHEDULE)	287 SF		28
TOTAL PERMITTED EXISTING (SCHEDULE)	49,267 SF		100%
TOTAL IMPROVEMENTS PROPOSED	1,242 SF		10%
TOTAL IMPROVEMENTS EXISTING	1,242 SF		10%
TOTAL BUILDING FOOTPRINT PROPOSED	14,149 SF		85%
TOTAL BUILDING FOOTPRINT EXISTING	1,242 SF		10%
TOTAL BUILDING SQUARE FOOTAGE (NET CHANGE)	48,705 SF		
FLOOR AREA RATIO (FAR)	48,705 / 1,242 = 39.2		
PROPOSED BUILDING SIZE - TOTAL BLDG AREA	48,705 SF		
PROPOSED BUILDING SIZE - RESIDENTIAL	35,944 SF		
PROPOSED BUILDING SIZE - COMMERCIAL	11,144 SF		
PROPOSED BUILDING SIZE - MENTH	1,617 SF		
PROPOSED BUILDING SIZE - GARAGE (SQ FT NET)	1,844 SF		
TOTAL NUMBER UNITS	30 UNITS		
PROPOSED MARKET TYPE	2 UNITS		
PROPOSED AFFORDABLE COUPE	28 UNITS		
BUILDING HEIGHT PROPOSED (SEE DET. UNIT BUILDING)	51'-0"		
NUMBER OF STORIES	5 STORIES		
BUILDING WIDTH & LENGTH	78' x 198' 0"		
USE CATEGORY	RESIDENTIAL		
RESIDENTIAL PARKING SPACES	30 SPACES		
FOR AREA	30 SPACES		

**NWRAC-MUH REQUIREMENTS**

MIN. OF BUILDING TOWER FLOOR PLATE SIZE	REQUIRED	PROVIDED
MIN. BUILDING TOWER AREA	10,000 SF	2 STORIES
MIN. BUILDING TOWER TYPE	RESIDENTIAL	2 STORIES
MIN. RESIDENTIAL UNIT SIZE	400 SF	400 SF

**OPEN SPACE - REQUIRED & PROVIDED**

GREEN SPACE (SQ. FT.)	28,111 SF	PROVIDED
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**PARKING DATA:**

PROVISIONAL - TRAIL	20	1,000 SF	20.0
PROVISIONAL - TRAIL	18	1,000 SF	18.0
COMMERCIAL - TRAIL	1,100 SF	1,100 SF	4.1
TOTAL EXEMPT (TOTAL)	1,100 SF	1,100 SF	4.1
TOTAL	56.0	56.0	56.0

**PARKING BY AREA:**

ON-STREET PARKING	28	275' x 10'
OFF-STREET PARKING	0	0'
TOTAL	28	275' x 10'

**BIKE REQUIREMENTS:**

BIKE PARKING (TYPE - RESIDENTIAL)	REQUIRED	PROVIDED
BIKE PARKING (TYPE - COMMERCIAL)	0	0
TOTAL BIKE PARKING	0	0

**LOADING REQUIREMENTS:**

RESIDENTIAL	N/A	0	0
COMMERCIAL	1,100 SF	0	0
TOTAL	1,100 SF	0	0

**STACKING REQUIREMENTS:**

ON-STREET	REQUIRED	PROVIDED
TOTAL	0	0

**ON-STREET PKG:**

ON-STREET PARKING	REQUIRED	PROVIDED
TOTAL	0	0

**SOLID WASTE / RECYCLING MANAGEMENT:**

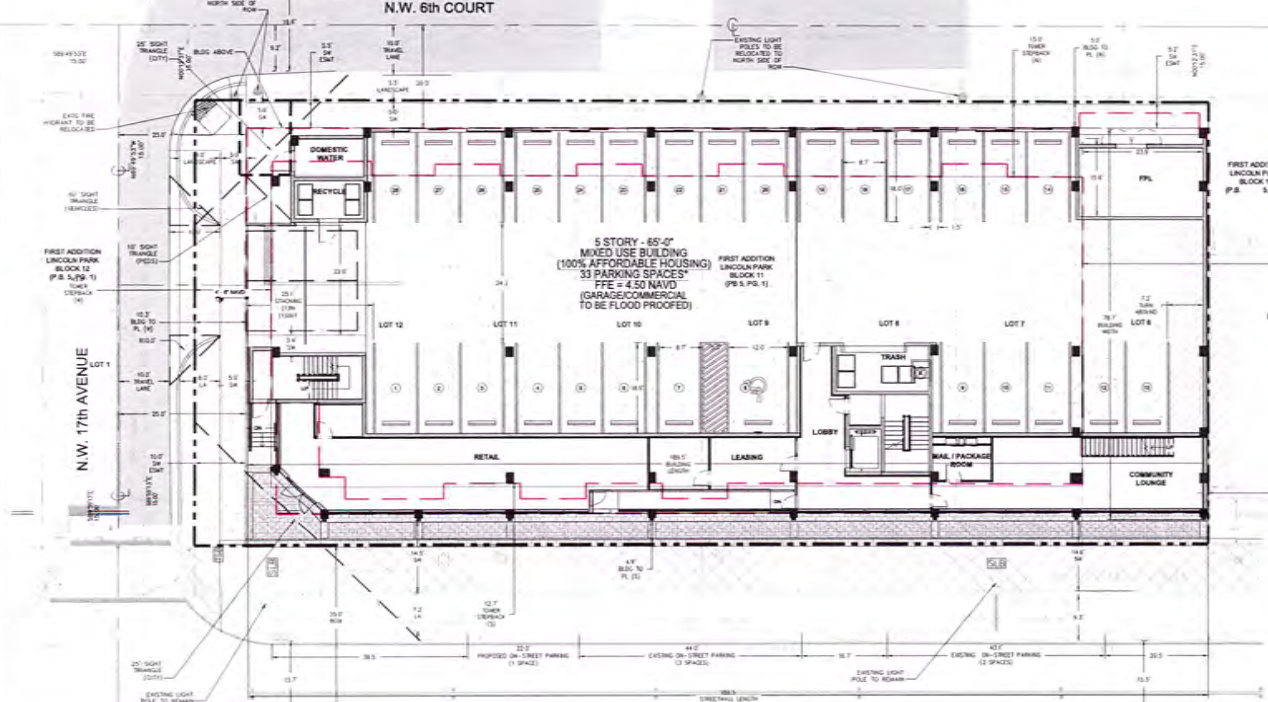
- THE COLLECTION WILL OCCUR BY ACCESS FROM THE SERVICE DRIVE OFF OF NW 10TH AVENUE. SEE SHEET 15 FOR TURNING RADII.
- THE TRASH AND RECYCLE CONTAINERS WILL BE STORED AT ALL TIMES WITHIN THE BASHOR ROOM UNDER THE BUILDING. PRIVATE CONTRACTOR SERVICE THE CONTAINERS FROM UNDER THE BUILDING.
- TRASH MUST BE TRANSPORTED TO TRASH ROOMS SHALL BE PERFORMED INSIDE THE BUILDING.
- THE WASTE SYSTEM WILL MEET THE CAPACITY REQUIREMENT OF THE BUILDING. THE WASTE SYSTEM WILL MEET THE CAPACITY REQUIREMENT OF THE BUILDING. THE WASTE SYSTEM WILL MEET THE CAPACITY REQUIREMENT OF THE BUILDING.
- THE BUILDING WILL CONTAIN THE FOLLOWING EQUIPMENT:  
- WASTE REMOVAL WILL BE 3 DAYS/TWICE OR AS NEEDED - (3) 210 CONTAINERS  
- RECYCLE REMOVAL WILL BE 3 DAYS/TWICE OR AS NEEDED - (2) 210 CONTAINERS

**STRUCTURAL SOIL:**

STRUCTURAL SOIL WILL BE USED UNDER THE PUBLIC SIDEWALK AS REQUIRED PER THE CITY OF FORT LAUDERDALE USE OF STRUCTURAL SOIL AND PAVER GRATE. DETAILS PROVIDED ON LANDSCAPE PLANS.

**FLOOD DATA:**

SEE CIVIL PLAN SHEET C3.



**FLYNN ENGINEERING**  
171 CANTONDA BLVD., LAUDERDALE, FL 33409  
PH: (754) 765-7800 FAX: (754) 765-7810

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**SITE PLAN**

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**THE LARAMORE**  
NW 6th STREET  
FORT LAUDERDALE, FLORIDA

---

**North**

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**DOCUMENTS**

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Scale: 1" = 10'

Drawn by: SMC  
Check by: SMC  
Date: 01/21/24

Sheet No: C0





4



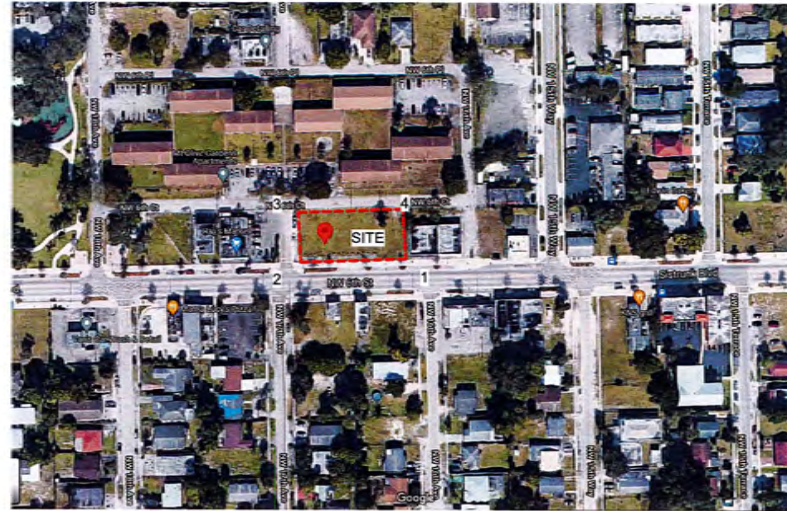
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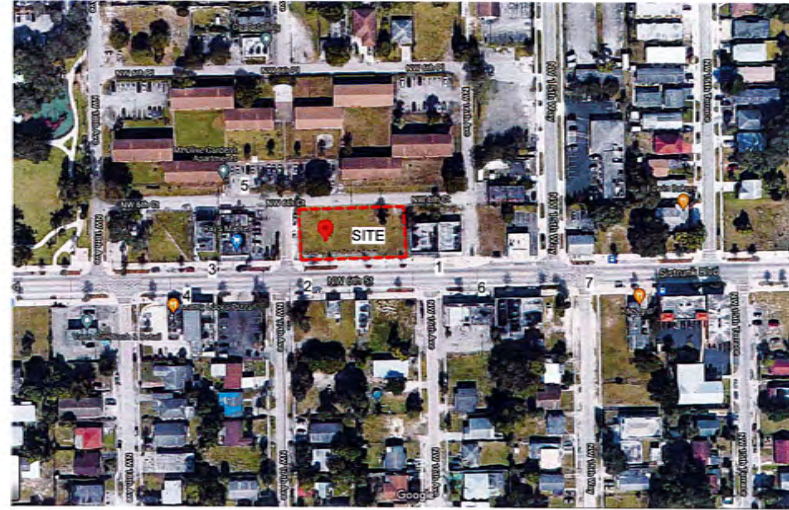


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REVISIONS	DATE	DESCRIPTION

SCALE	ACU
DRAWN	JMG
CHECK	JMG
DATE	02/28/24



REV	DATE	DESCRIPTION

SCALE:  
 DRAWN: ACJ  
 CHECK: JMG  
 DATE: 02/02/2024

STUDIO  
**MCG**  
ARCHITECTURE  
7500 NE 4th Court  
Suite 102  
Miami, FL 33138  
(305) 575-2728  
PROJECT NUMBER  
2302

MAGELLAN  
HOUSING

PROJECT NAME  
THE LARAMORE

PROJECT ADDRESS  
1619 NW 6TH ST.,  
FT. LAUDERDALE,  
FLORIDA

DRAWING  
PROPOSED  
RENDERING

DATE  
DRC SET  
01/25/2024

SCALE

REVISIONS

NO.	DATE	DESCRIPTION

SCALE:  
DRAWN: A.C.J.  
CHECK: J.M.G.  
DATE: 02/25/2024

SHEET NUMBER  
**A003**



SOUTH WEST VIEW



SOUTH WEST VIEW



SOUTH EAST VIEW



NORTH WEST VIEW



SOUTH WEST PEDESTRIAN VIEW

STUDIO  
**MCG**  
ARCHITECTURE  
7500 NE 4th Court  
Suite 102  
Miami, FL 33138  
(305) 573-2758  
PROJECT NUMBER  
2202

MAGELLAN  
HOUSING

PROJECT NAME  
THE LARAMORE

PROJECT ADDRESS  
1619 NW 6TH ST.,  
FT. LAUDERDALE,  
FLORIDA

DRAWING  
PROPOSED  
RENDERINGS

PHASE  
DIRC SET  
01/25/2024

SCALE

REVISIONS		
NO.	DATE	DESCRIPTION

SCALE:  
DRAWN: ACJ  
CHECK: JMG  
DATE: 02/20/24

SHEET NUMBER  
A004



SOUTH ELEVATION VIEW



NORTH ELEVATION VIEW

STUDIO  
**MCG**  
 ARCHITECTURE  
 7500 NE 4th Court  
 Suite 102  
 Miami, FL 33138  
 (305) 573-2728

PROJECT NUMBER  
 2202

MAGELLAN  
 HOUSING

PROJECT NAME  
 THE LARAMORE

PROJECT ADDRESS  
 1619 NW 6TH ST.,  
 FT. LAUDERDALE,  
 FLORIDA

DRAWING  
 PROPOSED  
 RENDERINGS

PHASE  
 D&C SET  
 01/25/2024

DATE: 01/25/2024

REVISIONS		
NO.	DATE	DESCRIPTION

SCALE  
 DRAWN: ACJ  
 CHECK: JMC  
 DATE: 02/08/2024

SHEET NUMBER  
**A005**

GENERAL CONSTRUCTION NOTES

- 1. THE ARCHITECT'S RESPONSIBILITY FOR THE DESIGN OF THE PROJECT SHALL BE LIMITED TO THE ARCHITECT'S PROFESSIONAL OBLIGATIONS AND SHALL NOT BE CONSIDERED AS AN ENDORSEMENT OF THE QUALITY OF THE WORK OR THE MATERIALS USED. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT OR THE QUALITY OF THE WORK OR THE MATERIALS USED.

- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND THE QUALITY OF THE WORK OR THE MATERIALS USED. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT OR THE QUALITY OF THE WORK OR THE MATERIALS USED.

- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND THE QUALITY OF THE WORK OR THE MATERIALS USED. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT OR THE QUALITY OF THE WORK OR THE MATERIALS USED.

- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND THE QUALITY OF THE WORK OR THE MATERIALS USED. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT OR THE QUALITY OF THE WORK OR THE MATERIALS USED.

- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND THE QUALITY OF THE WORK OR THE MATERIALS USED. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT OR THE QUALITY OF THE WORK OR THE MATERIALS USED.

- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT AND THE QUALITY OF THE WORK OR THE MATERIALS USED. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OF THE PROJECT OR THE QUALITY OF THE WORK OR THE MATERIALS USED.

TYPICAL GENERAL NOTES

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).

- 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).

- 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).

PROJECT LOCATION



CODE REQUIREMENTS

Table with 2 columns: Code Name and Edition. Includes Florida Building Code, National Electrical Code, Florida Mechanical Code, Florida Fire Prevention Code, Florida Life Safety Code, Florida Fire Prevention Code, Florida Building Code (Common Spaces).

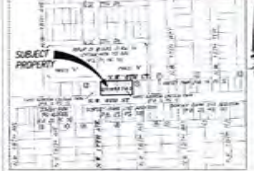
OCCUPANCY

BUILDING OCCUPANCY CLASSIFICATION: MIXED-USE BUILDING. R-2 RESIDENTIAL (MULTI-FAMILY), M-2 MERCHANDISE, R-3 STAYING LOW-RISE (FIRE/RISK DANGER). THE NEW BUILDING IS PROTECTED FULLY PROTECTED - SPRINKLERED WITH-CASE JABBERS/SLAB.

PROJECT ELEVATIONS

Table with 2 columns: Level and Elevation. Includes Ground Floor, Second Floor, Third Floor, Fourth Floor, Fifth Floor, Top of Roof.

LEGAL DESCRIPTION



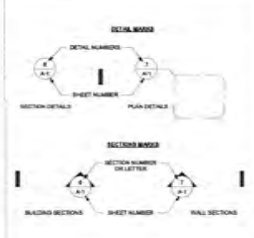
LEGAL DESCRIPTION: LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

SCOPE OF WORK

NEW CONSTRUCTION OF MIXED-USE DEVELOPMENT, INCLUDING ALL TRADES AND MECHANICAL WORK.

Table with 2 columns: Unit Mix and Parking Schedule. Unit mix includes 1BR/1BA, 2BR/2BA, 3BR/3BA. Parking schedule includes ADA, Single, Street, etc.

SYMBOLS LEGEND



STUDIO MCG ARCHITECTURE 7500 NE 4th Court Suite 102 Miami, FL 33138 (305) 573-3728

MAGELAN HOUSING

PROJECT NAME: THE LARAMORE

PROJECT ADDRESS: 1619 NW 6TH ST., FT. LAUDERDALE, FLORIDA

DRAWING: GENERAL NOTES & PROJECT DATA

DATE: 01/25/2024

Revision table with columns: REV, DATE, DESCRIPTION. Includes multiple revision entries for general notes and project data.

SCALE: 1/4" = 1'-0". DRAWN: ACJ. CHECK: JMC. SHEET NUMBER: A006

REV	DATE	DESCRIPTION

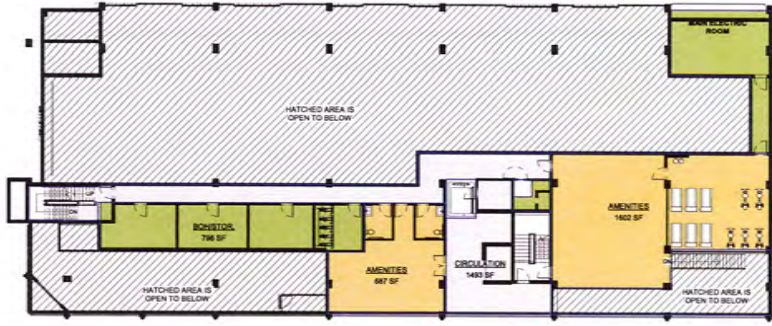
SCALE: 3/32" = 1'-0"  
DRAWN: ACJ  
CHECKED: JMG  
DATE: 12/22/2023

PARKING SCHEDULE	
ADA:	1
ADA-1	
SINGLE:	27
SHARLE:	
STREET:	5
STREET:	5
Grand total:	33

GROSS FLOOR AREA (GFA)	
LEVEL 1	14078 SF
LEVEL 1.5	5159 SF
LEVEL 2	9298 SF
LEVEL 3	8020 SF
LEVEL 4	9290 SF
LEVEL 5	9290 SF
LEVEL 5	56159 SF

UNIT TYPE MATRIX	
Name	Comments
TYPE A1	1BR/1BA
25	
TYPE B1	2BR/1BA
4	
TYPE C1	2BR/2BA
4	
TYPE C2	2BR/2BA
4	
TYPE C3	2BR/2BA
4	
Grand total:	36

COMMON AREAS	
Name	Area
AMENITIES	2290 SF
BOH/STOR.	3188 SF
	3188 SF
CIRCULATION	1483 SF
	1483 SF
CORRIDOR	5230 SF
	5230 SF
LOBBY	1431 SF
	1431 SF
PARKING	8944 SF
	8944 SF
RETAIL	1164 SF
	1164 SF
STAIR	478 SF
	478 SF
	25217 SF



Building Area Legend

- AMENITIES
- BOH/STOR.
- CIRCULATION

LEVEL 1.5  
332' x 1'-0"



Building Area Legend

- 1 BR / 1 BA
- 2 BR / 1 BA
- 2 BR / 2 BA
- BOH/STOR.
- CORRIDOR

LEVELS 2-5  
352' x 1'-0"

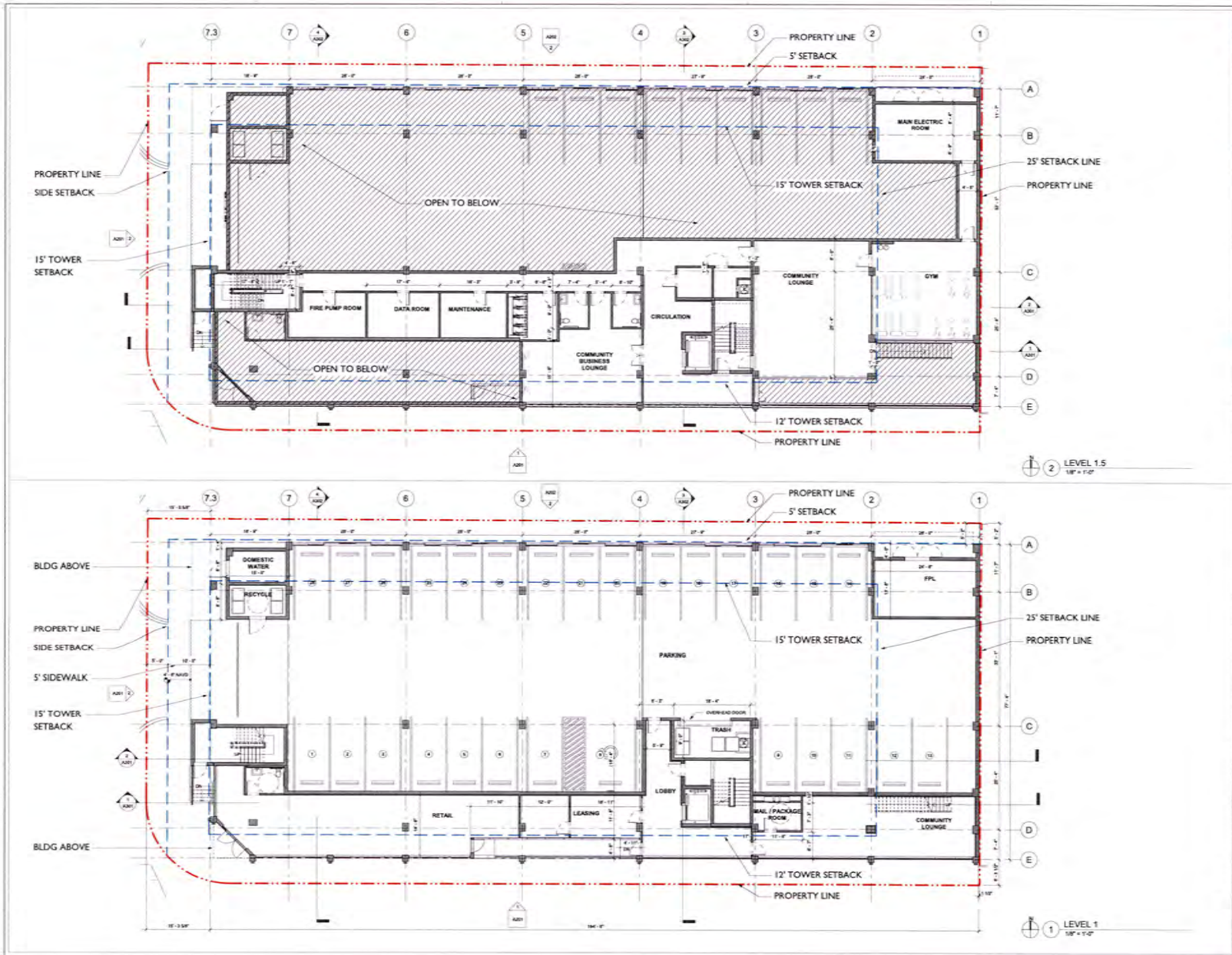
NOTE: AREAS ARE TO OUTLINE END OF BUILDING ENVELOPE.



Building Area Legend

- BOH/STOR.
- LOBBY
- PARKING
- RETAIL
- STAIR

LEVEL 1  
352' x 1'-0"



**MCG**  
ARCHITECTURE  
7500 NE 4th Court  
Suite 102  
Miami, FL 33138  
(305) 573-2738

PROJECT NUMBER  
2302

MAGELLAN  
HOUSING

PROJECT NAME  
THE LARAMORE

PROJECT ADDRESS  
1619 NW 6TH ST.,  
FT. LAUDERDALE,  
FLORIDA

DRAWING  
OVERALL LEVELS  
1 & 1.5 FLOOR  
PLANS

PHASE  
DRC SET  
01/25/2024

SCALE

REV	DATE	DESCRIPTION

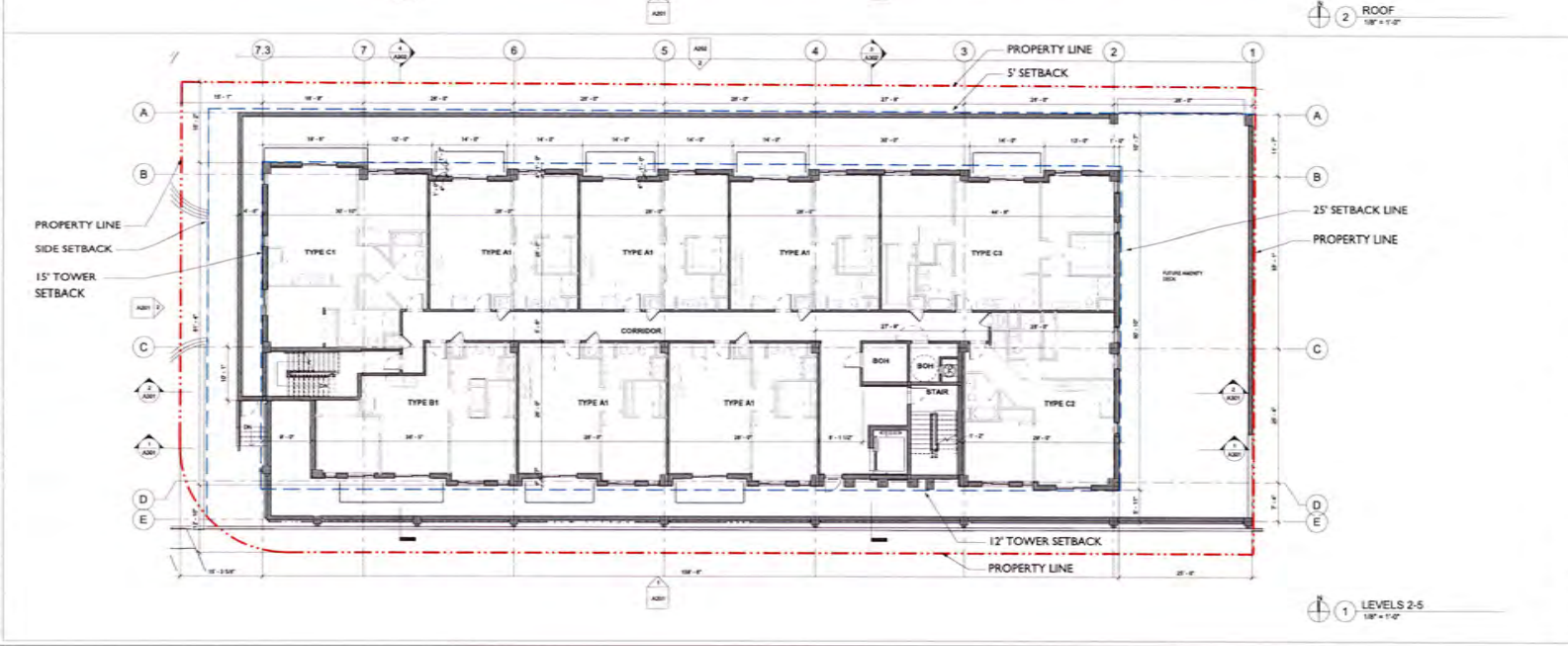
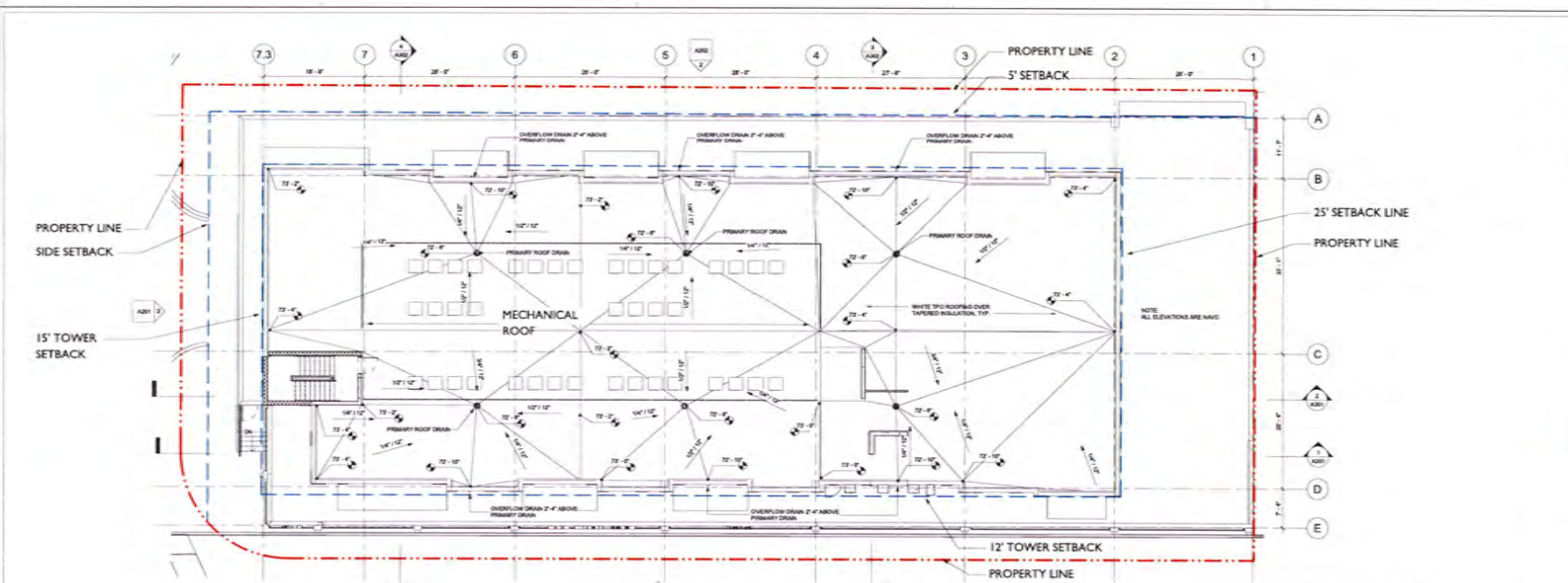
SCALE: 1/8" = 1'-0"  
DRAWN: ACJ  
CHECKED: JMACG  
DATE: 01/25/2024

SHEET NUMBER  
**A101**



REVISIONS		
NO.	DATE	DESCRIPTION

SCALE: 1/8" = 1'-0"  
 DRAWN: ACJ  
 CHECK: JMG  
 DATE: 10/20/2023





PROJECT NUMBER  
 2202

MAGELLAN  
 HOUSING

PROJECT NAME  
 THE LARAMORE

PROJECT ADDRESS  
 1619 NW 6TH ST.,  
 FT. LAUDERDALE,  
 FLORIDA

DRAWING  
 NORTH & EAST  
 ELEVATIONS

PHASE  
 DRC SET  
 01/25/2024

SCALE

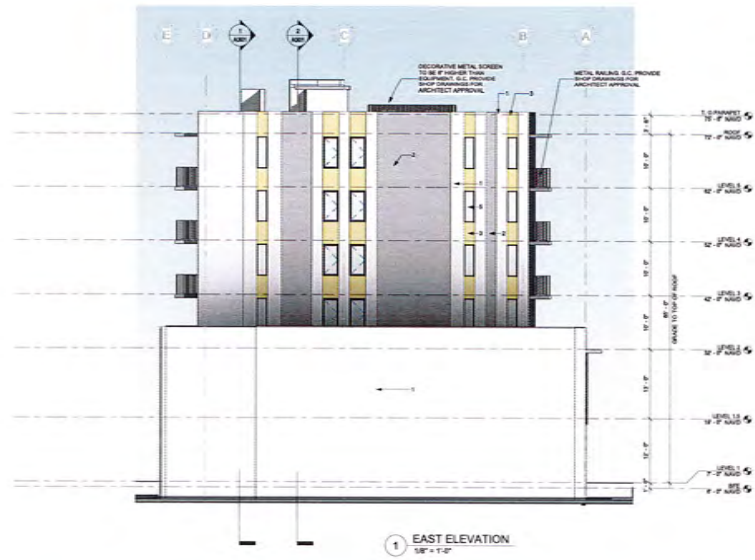
REVISIONS

NO.	DATE	DESCRIPTION

SCALE: As Indicated

DRAWN:	ACC
CHECK:	JMAG
DATE:	1/25/2024

SHEET NUMBER  
 A202

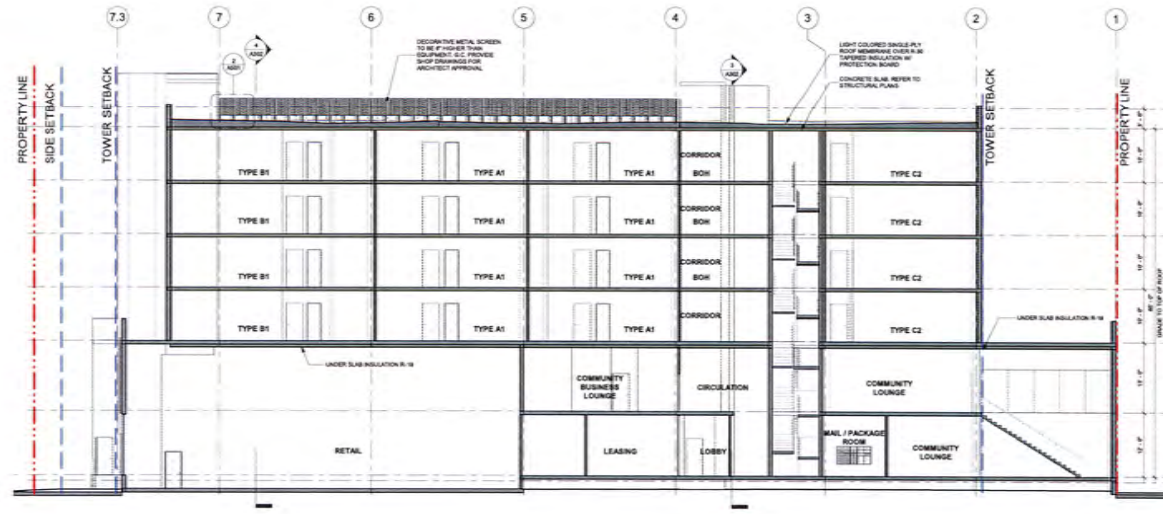


- ELEVATION LEGEND:**
1. SMOOTH STUCCO FINISH, PAINTED COLOR 1 (WHITE)
  2. SMOOTH STUCCO FINISH, PAINTED COLOR 2 (LIGHT GREY)
  3. SMOOTH STUCCO FINISH, PAINT COLOR 3 (YELLOW)
  4. SMOOTH STUCCO FINISH, PAINTED COLOR 4 (BLUE)

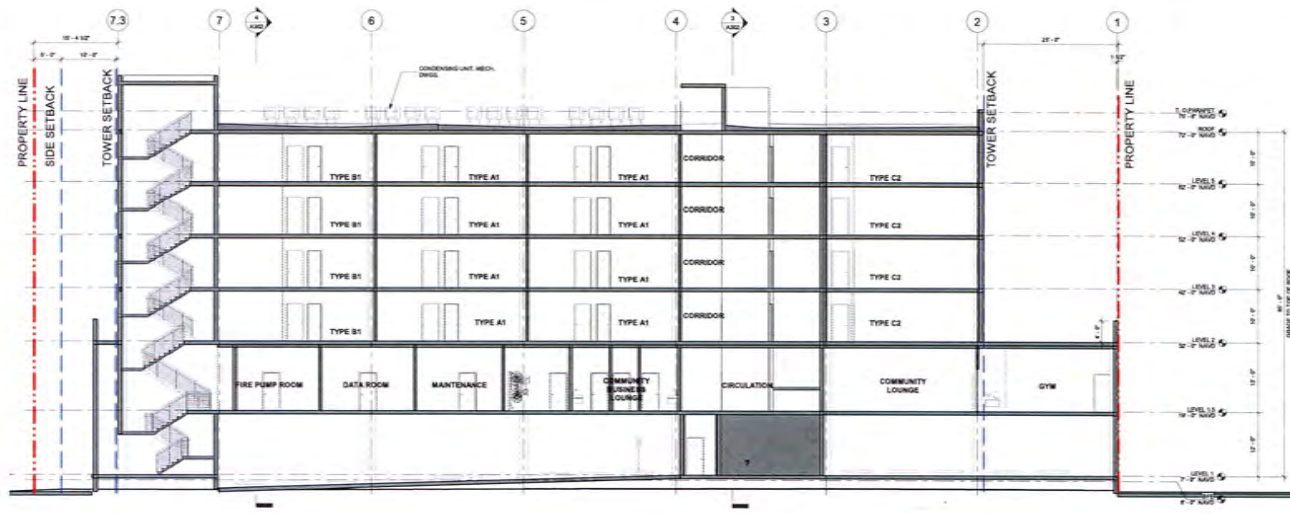


NO.	DATE	DESCRIPTION

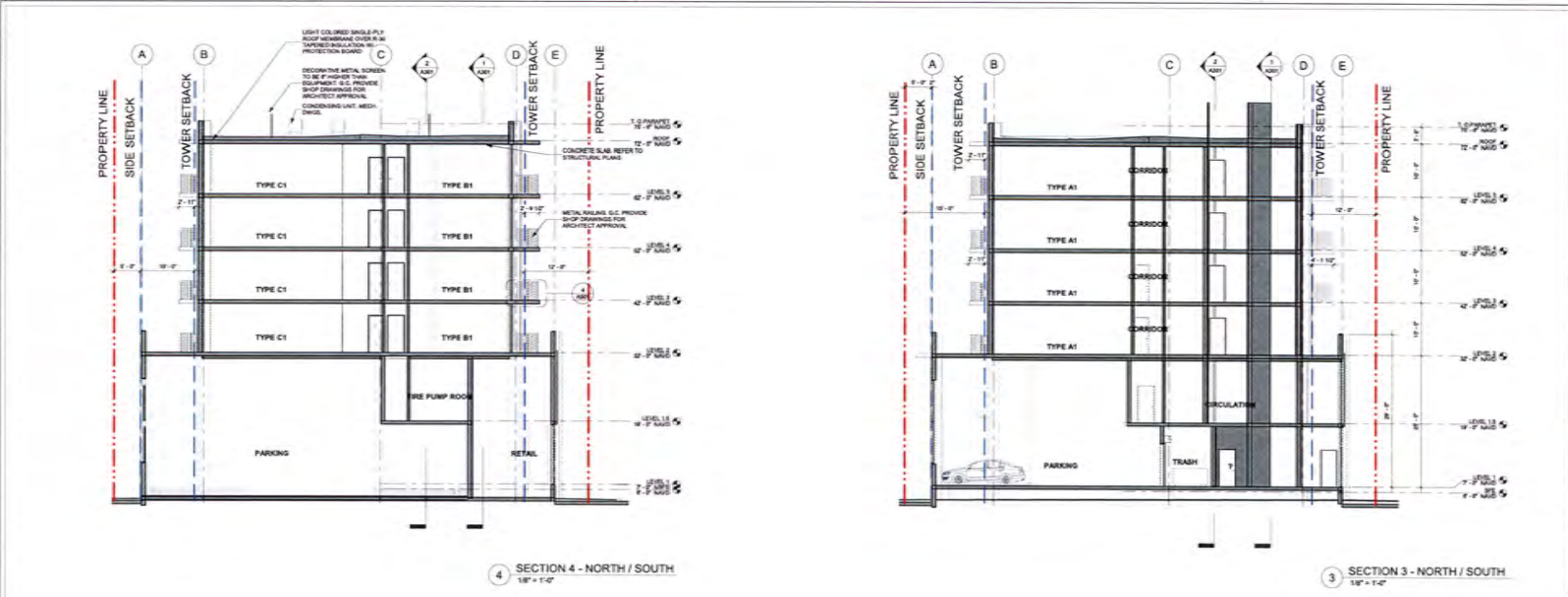
SCALE	1/8" = 1'-0"
DRAWN	A.C.
CHECK	J.M.G.
DATE	02/29/2024



1 SECTION 1 - EAST / WEST  
1/8" = 1'-0"



2 SECTION 2 - EAST / WEST  
1/8" = 1'-0"



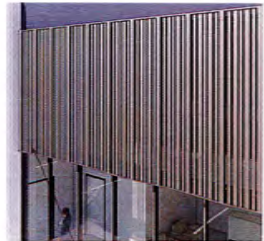
REVISIONS

NO.	DATE	DESCRIPTION

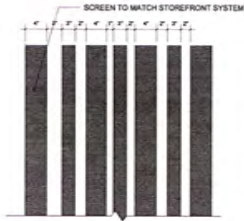
SCALE: 1/8" = 1'-0"  
DRAWN: ACJ  
CHECK: JMBG  
DATE: 01/25/2024



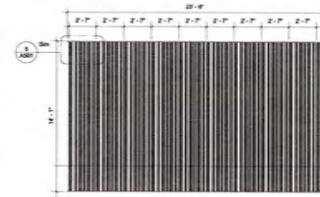
PAINTED STUCCO COLORS



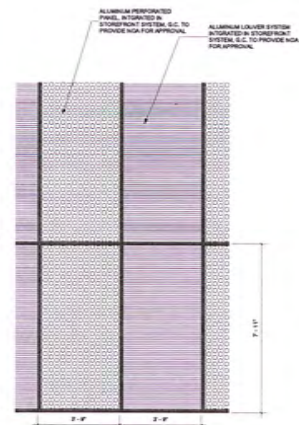
ES WINDOWS WITH SUNSTORM SILVER STORM (DARK GREY) MULLIONS AND GREY TINTED GLAZING



5 ENLARGED SCREEN DETAIL  
1/12" = 1'-0" REF.: 2/A501



6 GARAGE DOOR SCREEN  
1/4" = 1'-0" REF.: 2/A501

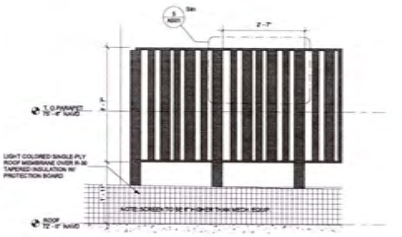


7 GARAGE SCREEN DETAIL  
1/2" = 1'-0" REF.: 2/A501

# THE LARAMORE

SIGNAGE UNDER SEPARATE PERMIT-18" HIGH LETTERS, BACKLIT LED

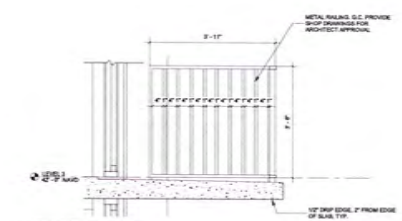
1 TYPICAL SIGNAGE  
1/2" = 1'-0" REF.: 1/A501



2 ROOF EQUIPMENT SCREEN  
3/4" = 1'-0" REF.: 1/A501



3 SOUTH ELEVATION - ENLARGED SCREEN  
1/4" = 1'-0" REF.: 1/A501



4 BALCONY SECTION  
3/4" = 1'-0" REF.: 4/A501

STUDIO  
**MCG**  
ARCHITECTURE  
7500 NE 4th Court  
Suite 102  
Miami, FL 33138  
(305) 573-2728

PROJECT NUMBER  
2202

MAGELLAN  
HOUSING

PROJECT NAME  
THE LARAMORE

PROJECT ADDRESS  
1619 NW 6TH ST.,  
FT. LAUDERDALE,  
FLORIDA

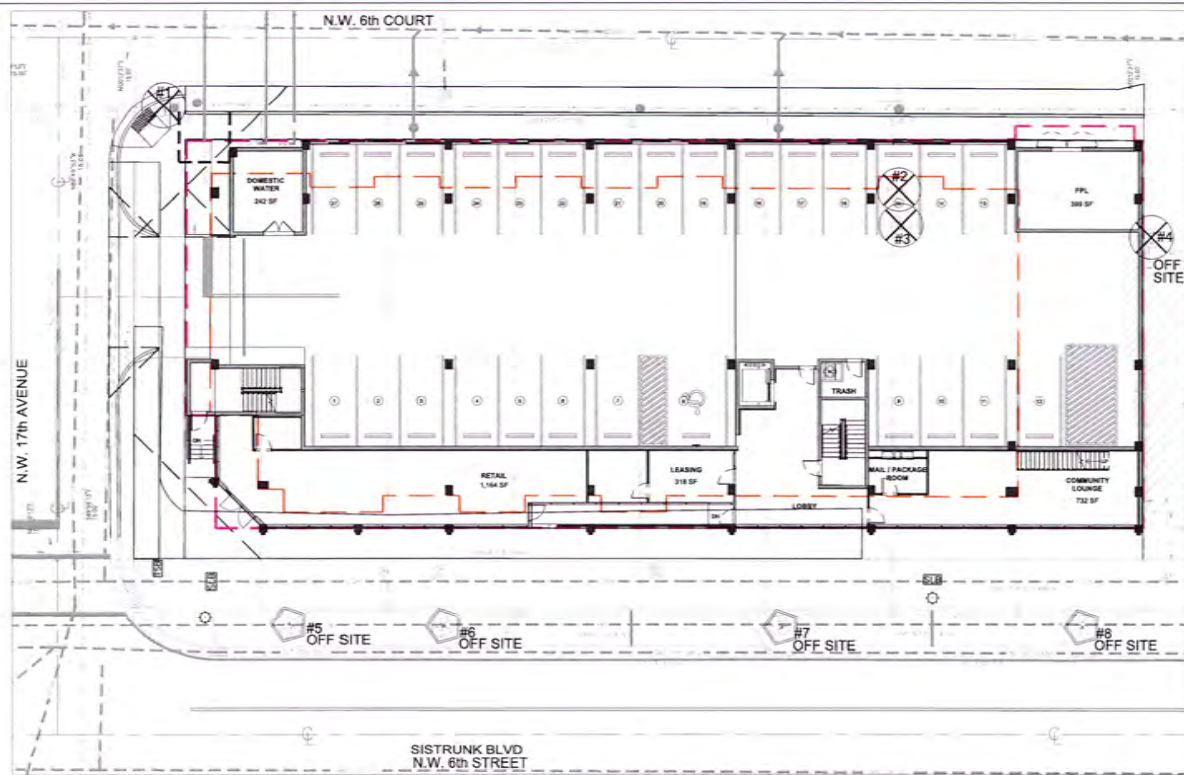
DRAWING  
EXTERIOR  
DETAILS &  
MATERIALS

DATE  
01/25/2024

REV#	DATE	DESCRIPTION

SHEET NUMBER  
A501

Scale: 1" = 37'-00"



TREE #	COMMON NAME	BOTANICAL NAME	HEIGHT (ft)	WIDTH (ft)	CLEAR TRUNK (ft)	DBH (in)	DISPOSITION	OBSERVATIONS
1	Subal Palm	<i>Subal palmifera</i>	15	8	7		REMOVE	Volunteer - between hydrant and utility pole
2	Subal Palm	<i>Subal palmifera</i>	17	9	9		REMOVE	Volunteer
3	Subal Palm	<i>Subal palmifera</i>	22	10	12		REMOVE	Volunteer
4	Quince Limbo	<i>Quince limbo</i>	16	25	10		OFFSITE	OFFSITE - volunteer growing against main building
5	Live Oak	<i>Quercus virginiana</i>	16	16	6		OFFSITE	Street Tree TO REMAIN
6	Live Oak	<i>Quercus virginiana</i>	15	17	5		OFFSITE	Street Tree TO REMAIN
7	Live Oak	<i>Quercus virginiana</i>	14	15	4		OFFSITE	Street Tree TO REMAIN
8	Live Oak	<i>Quercus virginiana</i>	15	15	4		OFFSITE	Street Tree TO REMAIN



DRP SUBMITTAL

THE LARAMORE  
1619 NW 6TH STREET - FORT LAUDERDALE, FLORIDA

TREE DISPOSITION PLAN

DATE: 9/28/2023  
PROJECT #: 2318  
REVISION #: 1P  
CHECKED BY: [Signature]  
SCALE:

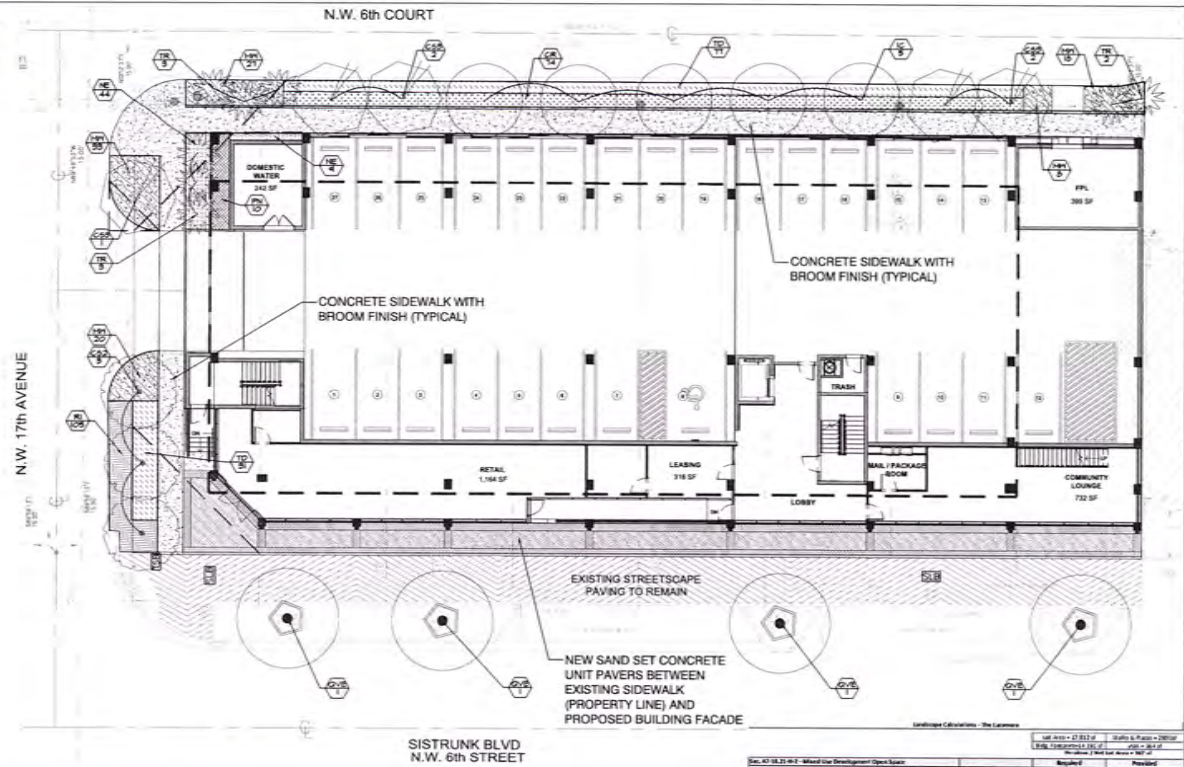
REVISIONS:

SEAL: [Professional Engineer Seal]

SHEET NUMBER: LAPL-0

Scale: 1/8" = 1'-00"

North

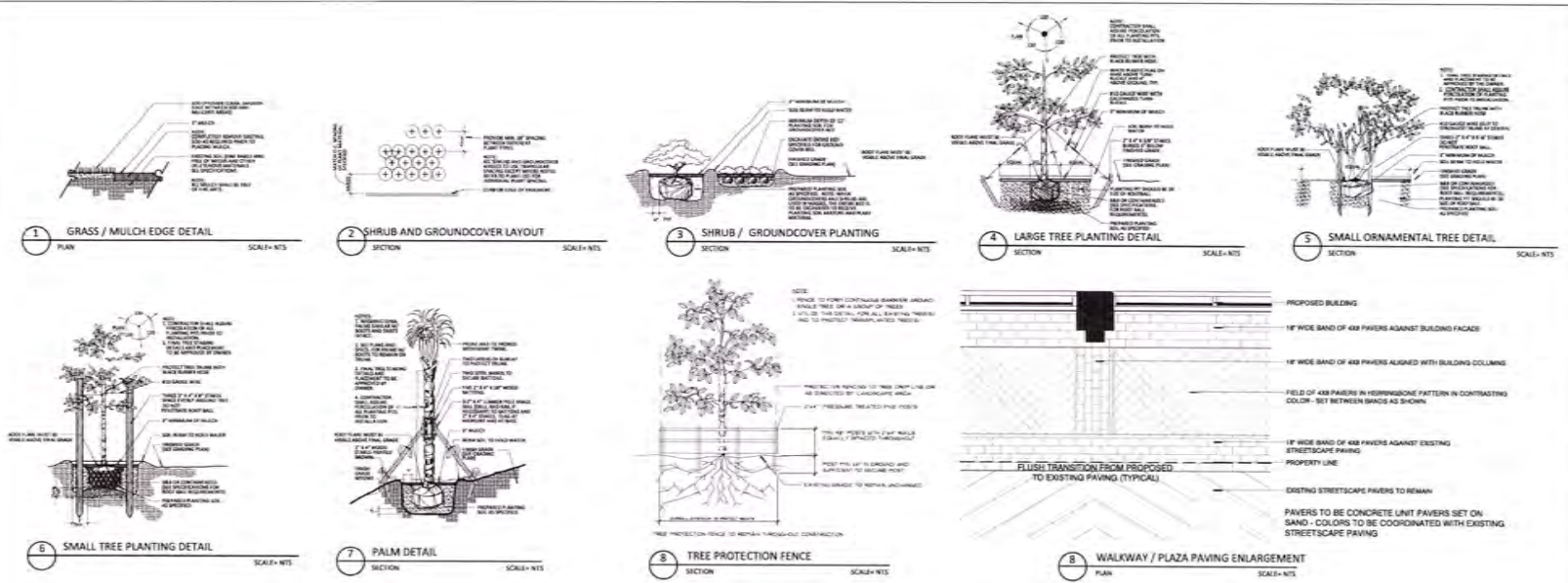


PLANT	SYM	QTY	REMARKS	LOCATION	PLANT	QTY	REMARKS	PLANT	QTY	REMARKS	PLANT	QTY	REMARKS	PLANT	QTY	REMARKS
(Symbol)	01	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	02	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	03	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	04	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	05	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	06	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	07	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	08	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	09	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	10	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	11	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	12	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	13	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	14	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	15	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	16	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	17	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	18	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	19	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	20	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	21	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	22	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	23	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	24	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	25	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	26	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	27	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	28	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	29	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...
(Symbol)	30	1	Plants to be removed	...	...	...	...	...	...	...	...	...	...	...	...	...

Code	Description	Quantity	Unit	Notes
Sec. 47.02.01-2	Minimum Development Open Space	327 sf	sq ft	...
Sec. 47.02.01-3	Open Space	327 sf	sq ft	...
Sec. 47.02.01-4	Open Space	327 sf	sq ft	...
Sec. 47.02.02-1	Open Space	327 sf	sq ft	...
Sec. 47.02.02-2	Open Space	327 sf	sq ft	...
Sec. 47.02.03-1	Open Space	327 sf	sq ft	...
Sec. 47.02.03-2	Open Space	327 sf	sq ft	...
Sec. 47.02.04-1	Open Space	327 sf	sq ft	...
Sec. 47.02.04-2	Open Space	327 sf	sq ft	...
Sec. 47.02.04-3	Open Space	327 sf	sq ft	...
Sec. 47.02.04-4	Open Space	327 sf	sq ft	...
Sec. 47.02.05-1	Open Space	327 sf	sq ft	...
Sec. 47.02.05-2	Open Space	327 sf	sq ft	...
Sec. 47.02.05-3	Open Space	327 sf	sq ft	...
Sec. 47.02.05-4	Open Space	327 sf	sq ft	...
Sec. 47.02.05-5	Open Space	327 sf	sq ft	...
Sec. 47.02.05-6	Open Space	327 sf	sq ft	...
Sec. 47.02.05-7	Open Space	327 sf	sq ft	...
Sec. 47.02.05-8	Open Space	327 sf	sq ft	...
Sec. 47.02.05-9	Open Space	327 sf	sq ft	...
Sec. 47.02.05-10	Open Space	327 sf	sq ft	...

PREPARED BY: **KOPLAN**  
 PROJECT # **238**  
 DRAWN BY: **LF**  
 CHECKED BY: **BT**  
 SCALE:  
 REVISIONS:  
 SEAL:  
 SHEET NUMBER: **LAPL-1**





**LANDSCAPE NOTES**

1. THE WORK CONSISTS OF THE COMPLETE PLANT MATERIAL INSTALLATION ON THE DRAWINGS AND AS HERIN SPECIFIED. THIS WORK SHALL INCLUDE, BUT IS NOT LIMITED TO, THE SUPPLYING OF ALL PLANT MATERIAL SPECIFIED, THE FURNISHING OF LABOR, EQUIPMENT, APPLIANCES AND ALL MATERIALS CALLED FOR, AND IN PERFORMING ALL OPERATIONS IN CONNECTION WITH THE LANDSCAPE INSTALLATION. ON THESE PLANS, FURTHER, THE WORK SHALL INCLUDE THE MAINTAINING OF ALL PLANTS AND PLANTING AREAS UNTIL ACCEPTANCE BY THE OWNER, AND THE FULFILLING OF ALL GUARANTEE PROVISIONS AS HERIN SPECIFIED.
2. IN THE EVENT OF VARIATION BETWEEN THE PLANT LIST AND THE ACTUAL NUMBER OF PLANTS SHOWN ON THE PLANS, THE PLANS SHALL CONTROL.
3. PLANT MATERIALS WILL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AT THE JOB SITE PRIOR TO INSTALLATION. WHEN INSPECTION WORK DOES NOT COMPLY WITH THE REQUIREMENTS, REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REINSPECTED AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS FROM THE PLANTING SITE WITHIN 48 HOURS, AND REPLACE WITH ACCEPTABLE MATERIALS.
4. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. THE OWNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO DIRECT THE REMOVAL AND REPLACEMENT OF ANY ITEMS WHICH, IN HIS OPINION, DO NOT PRESENT AN ORDERLY AND REASONABLE NEAT OR WORKMANLIKE APPEARANCE, PROVIDED SUCH ITEMS CAN BE PROPERLY INSTALLED IN AN ORDERLY WAY BY TYPICAL INSTALLATION METHODS.
5. ALL PLANTING BEDS WITHIN FOOT RIGHT OF WAYS SHALL BE MULCHED WITH 3" OF RECYCLED MULCH CERTIFIED BY THE MULCH AND SOIL COUNCIL (MSC). SUBMIT PROOF OF CERTIFICATION TO THE FOOT DISTRICT OPERATIONS PERMIT LANDSCAPE INSPECTOR UPON INSPECTION. ALL ON SITE PLANTING BEDS SHALL BE MULCHED WITH 3" OF RECYCLED MULCH. NO RED-COLORED MULCH WILL BE ACCEPTED.
6. ALL TREES 6' TALL OR LARGER SHALL BE STAKED AND GUYED WITH VERTICAL 2" X 2" PINE STAKES OR 4" DIAMETER POST IN DETAILS. NO DEVIATIONS UNLESS APPROVED IN WRITING.
7. PLANTING SOIL FOR ALL PLANT MATERIALS SHALL CONSIST OF TWO (2) PARTS OF TOPSOIL WITH ONE (1) PART PEAT MOSS AND .9 KG FERTILIZER PER CUBIC METER, WELL MIXED.
8. ALL PLANT MATERIALS SHALL BE WATERED BY THE CONTRACTOR THOROUGHLY WHEN PLANTED AND DURING THE PLANTING TIME PERIOD UP TO FINAL ACCEPTANCE BY OWNER.
9. PROVIDE NEW TOPSOIL FOR TURF IN ALL SODDED AND SEEDED AREAS. TOPSOIL SHALL BE FERTILE, BLACK IN COLOR, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 3 cm IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO SOO GROWTH. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 10 cm. DO NOT OBTAIN FROM BOGS OR MARSHES. THE CONTRACTOR SHALL PROVIDE A SOILS TEST REPORT SHOWING pH AND NUTRIENTS; pH SHALL BE 5.5 TO 6.0. IF NOT THEN USE THE APPROPRIATE SOIL AMENDMENTS TO REACH 5.5 TO 6.0.
10. CONTRACTOR TO VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY DIGGING.
11. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICT OR DISCREPANCY IN PLANS PRIOR TO PERFORMING ANY WORK IN THE AFFECTED AREA.
12. CONTRACTOR SHALL CLEAN UP AND REMOVE FROM THE PREMISES ALL SURPLUS AND DISCARDED MATERIALS AND RUBBISH FROM HIS CONSTRUCTION.
13. ALL SHRUBS, GROUNDCOVERS, AND SOO SHALL BE GUARANTEED FROM NINETY (90) DAYS AFTER FINAL ACCEPTANCE BY OWNER. ALL TREES SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER FINAL ACCEPTANCE BY OWNER.
14. FINAL INSPECTION WILL NOT TAKE PLACE UNTIL ALL MATERIALS ARE PLANTED/INSTALLED CORRECTLY. CONTRACTOR WILL REQUEST A FINAL INSPECTION BY WRITTEN LETTER TO OWNER.
15. UPON NOTICE OF FINAL ACCEPTANCE, THE OWNER WILL ASSUME MAINTENANCE AND THE GUARANTEE/WARRANTY PERIOD BEGINS.
16. ALL SODDED AREAS SHALL BE HAND WATERED UNTIL TURF IS ESTABLISHED.
17. CONTRACTOR INSTALLING THE PLANT MATERIAL AT THE SITE WILL BE RESPONSIBLE FOR MAINTAINING THE CONDITION AND HEALTH OF THE MATERIAL (AS DOCUMENTED IN THE PHOTOGRAPHS AT THE TIME OF INSPECTION) FROM THE TIME OF INSTALLATION TO THE TIME OF TURNING OVER THE PROJECT TO THE OWNER OR OPERATOR. IF THE CONTRACTOR FAILS TO MAINTAIN THE MATERIAL, AS SPECIFIED, THAT PLANT MATERIAL WILL BE REJECTED.
18. REPLACE EXISTING SOO WHERE DAMAGED BY CONSTRUCTION ACTIVITIES.



PREPARED BY: **ECCOPLAN**  
 1819 NW 6TH STREET - FORT LAUDERDALE, FLORIDA  
 THE LARAMORE  
 1819 NW 6TH STREET - FORT LAUDERDALE, FLORIDA  
 DRG SUBMITTAL  
 PLANTING DETAILS  
 DATE: 01/20/2024  
 PROJECT # : 2208  
 DRAWN BY : JF  
 CHECKED BY : JF  
 SCALE:  
 REVISIONS:  
 SHEET NUMBER: **LAPL-2**



**1619 SISTRUNK BLVD**

**LIGHTING FIXTURE SCHEDULE**

TYPE	WEB LINK	DESCRIPTION	APPLICATION	MFR	CATALOG NUMBER	VOLTS	LUMENS	LAMPS	WATTS	FINISH MOUNTING	DIMMING	NOTES
<b>SITE &amp; GARAGE</b>												
AW		ADJUSTABLE SLIM WALL PACK	OUTDOOR WALL PACK	LUMARK AP	ASWPLEDS5	120-277	SELECTABLE LUMENS 8000/10000	SELECTABLE CCT (3000K, 4000K, 5000K)	40 LP TO 75	WALL	0-10V	NOTE 1
G		CANOPY LED LUMINAIRE	PARKING GARAGE / CANOPY LIGHT - NIGHT TIME	LUMARK AP	CLCS405	120-277	SELECTABLE LUMENS 12000/17000	SELECTABLE CCT (3000K, 4000K, 5000K)	90-120	SURFACE	0-10V	NOTE 2
GS		CANOPY LED LUMINAIRE ON GENERATOR	PARKING GARAGE / CANOPY LIGHT - NIGHT TIME	LUMARK AP	CLCS405	120-277	SELECTABLE LUMENS 12000/17000	SELECTABLE CCT (3000K, 4000K, 5000K)	90-120	SURFACE	0-10V	NOTE 2
G1		CANOPY LED LUMINAIRE	PARKING GARAGE / CANOPY LIGHT - DAY TIME	LUMARK AP	CLCS405	120-277	SELECTABLE LUMENS 12000/17000	SELECTABLE CCT (3000K, 4000K, 5000K)	90-120	SURFACE	0-10V	NOTE 2
<b>FIXTURE SCHEDULE NOTES</b>												
NOTE 1: CALC'S MADE USING 75W / 10000 LUMENS / 4000K IES FILE												
NOTE 2: CALC'S MADE USING 120W / 17000 LUMENS / 4000K IES FILE												
CONTACT LIGHTING DYNAMICS 800.AT.ENG@LIGHTINGDYNAMICS.COM OR (844) 763-1800 FOR PROJECT QUOTATIONS.												
CONTACT GUSTAVO D MACIAS, L.C. LEED AP BC+C @MACIAS@LIGHTINGDYNAMICS.COM OR (850) 849-7271 WITH FIXTURE QUESTIONS.												

Photometric Calculator Software Generated Luminaire Schedule

Source	Symbol	Qty	Label	Arrangement	Lot's Lumens	Air Lot's Lumens	CUF	Lot's Watts	Air Watts
AW	AW	2	AW	Single	10000	10000	6.882	74.4	74.4

Calculator Summary

Source	Symbol	Qty	Unit	Avg	Max	Min	FootCandles	MaxCandles
AW	AW	2	FootCandle	4.78	18.7	1.3	4.78	18.70
G	G	2	FootCandle	2.86	2.9	1.7	1.86	1.91



Notes on this drawing shall be read in conjunction with the project specifications and contract documents. The drawings are intended to provide a general understanding of the project and are not to be used for construction without the approval of the design professional. The design professional is not responsible for any errors or omissions in the drawings or for any consequences arising from the use of the drawings for any purpose other than that intended.

NOTES:

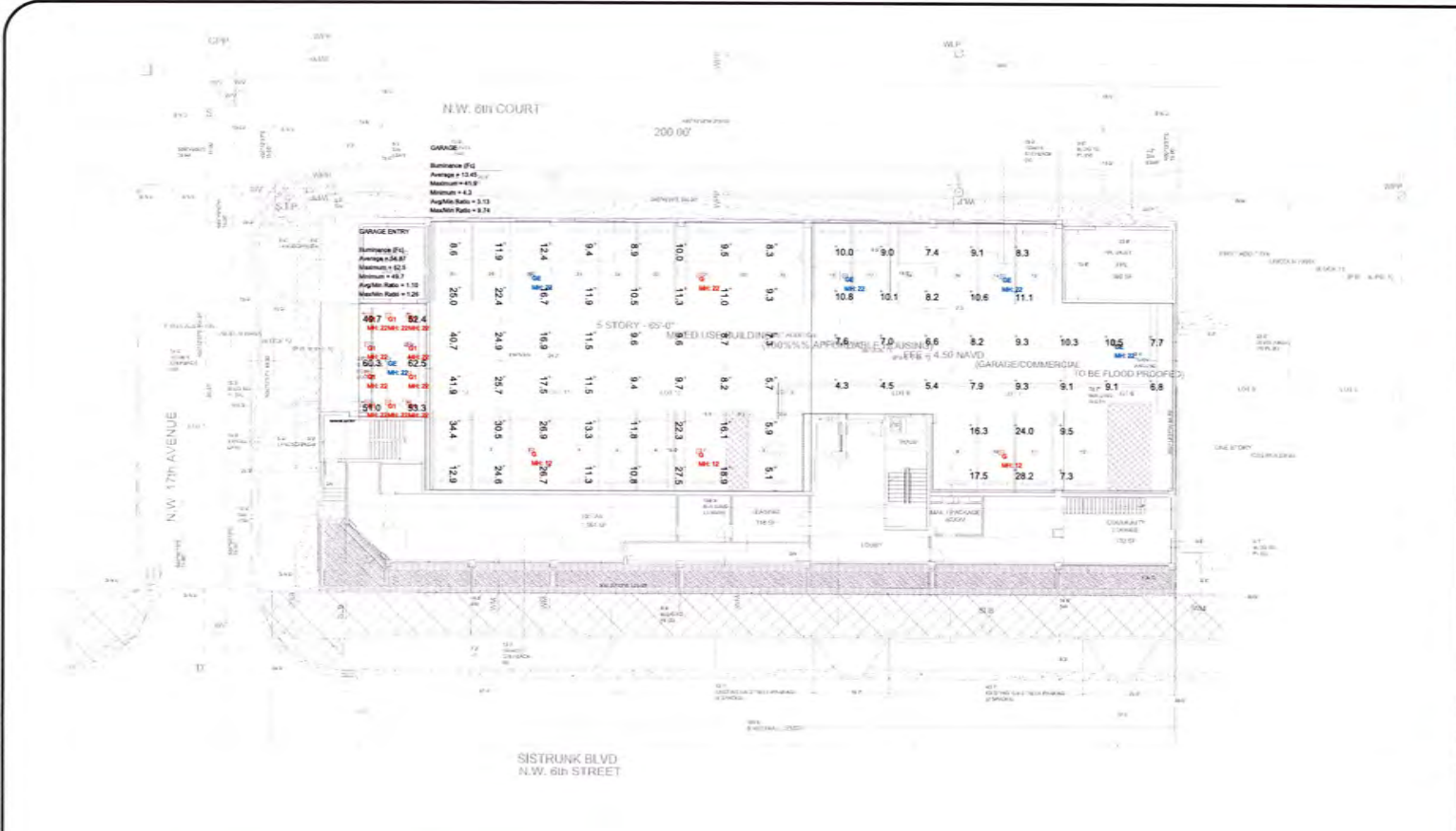
2	PHOTOMETRIC STUDY	11/04/24
1	PHOTOMETRIC STUDY	12/05/23
Rev	Revised/Issue	Date

**LIGHTING DYNAMICS, INC.**  
7835 West Commercial Blvd.  
Tamarac, FL 33351  
(954) 544-0288  
www.lightingdynamics.com

**1619 SISTRUNK BLVD**  
SITE LIGHTING STUDY  
Fort Lauderdale, FL

PROJECT ENGINEER  
FLYNN ENGINEERING

Project	1619 SISTRUNK BLVD	Sheet	<b>LO</b>
Date	01/04/2024	Drawn by	JR
Scale	3/32" = 1'	Checked by	



**1619 SISTRUNK BLVD**  
**LIGHTING FIXTURE SCHEDULE**

SYMBOL	DESCRIPTION	APPLICATION	MANUFACTURER	MODEL	WATTAGE	SPACING	HEIGHT	CEILING	NOTES
1	ADJUSTABLE DOWNFILL PACK	OUTDOOR WALL PACK	OSRAM	OSRAM	100W	10'-0"	10'-0"	9'-0"	NOTE 1
2	CANOPY LED LAMP	PARKING GARAGE CANOPY LIGHT - DAY TIME	OSRAM	OSRAM	100W	10'-0"	10'-0"	9'-0"	NOTE 2
3	CANOPY LED LAMP	PARKING GARAGE CANOPY LIGHT - NIGHT TIME	OSRAM	OSRAM	100W	10'-0"	10'-0"	9'-0"	NOTE 2
4	CANOPY LED LAMP	PARKING GARAGE CANOPY LIGHT - NIGHT TIME	OSRAM	OSRAM	100W	10'-0"	10'-0"	9'-0"	NOTE 2
5	CANOPY LED LAMP	PARKING GARAGE CANOPY LIGHT - DAY TIME	OSRAM	OSRAM	100W	10'-0"	10'-0"	9'-0"	NOTE 2

**FIXTURE SCHEDULE NOTES**  
NOTE 1: CHECK WITH OWNER FOR 100W LAMP - 100W WATTAGE  
NOTE 2: CHECK WITH OWNER FOR 100W LAMP - 100W WATTAGE  
CONTACT LIGHTING DYNAMICS CORPORATION, 7835 WEST COMMERCIAL BLVD., TAMARAC, FL 33551 FOR PROJECT SPECIFICATIONS  
CONTACT SUPPORT@LDYNAMICS.COM OR 855-644-2266 FOR MORE INFORMATION

**Photometric Calculation Software Generated Luminaires Schedule**

Symbol	Qty	Label	Arrangement	Lum. Lumens	Acc Lum. Lumens	LLF	Lum. Waste	Acc. Waste
1	4	D	Single	10000	10000	0.900	108.7	108.7
2	16	C	Single	10000	10000	0.900	108.7	108.7
3	5	DE	Single	10000	10000	0.900	108.7	108.7

**Calculation Summary**

Symbol	Label	Qty	Unit	Avg	Min	Max	Angle	Height
1	GARAGE	20	Ft	10.00	4.3	4.3	3.35	9.75
2	GARAGE ENTRY	21	Ft	34.87	42.5	48.7	1.10	1.24

**LIGHT OUTPUT SUMMARY**

Symbol	Label	Qty	Output	# Lum.
1	D	4	108.7	4
2	C	16	108.7	16
3	DE	5	108.7	5



Lighting Dynamics Incorporated is a registered professional engineering firm in the State of Florida. The company is not responsible for the design or construction of any lighting system unless it is specifically stated in the contract documents. The company is not responsible for the design or construction of any lighting system unless it is specifically stated in the contract documents.

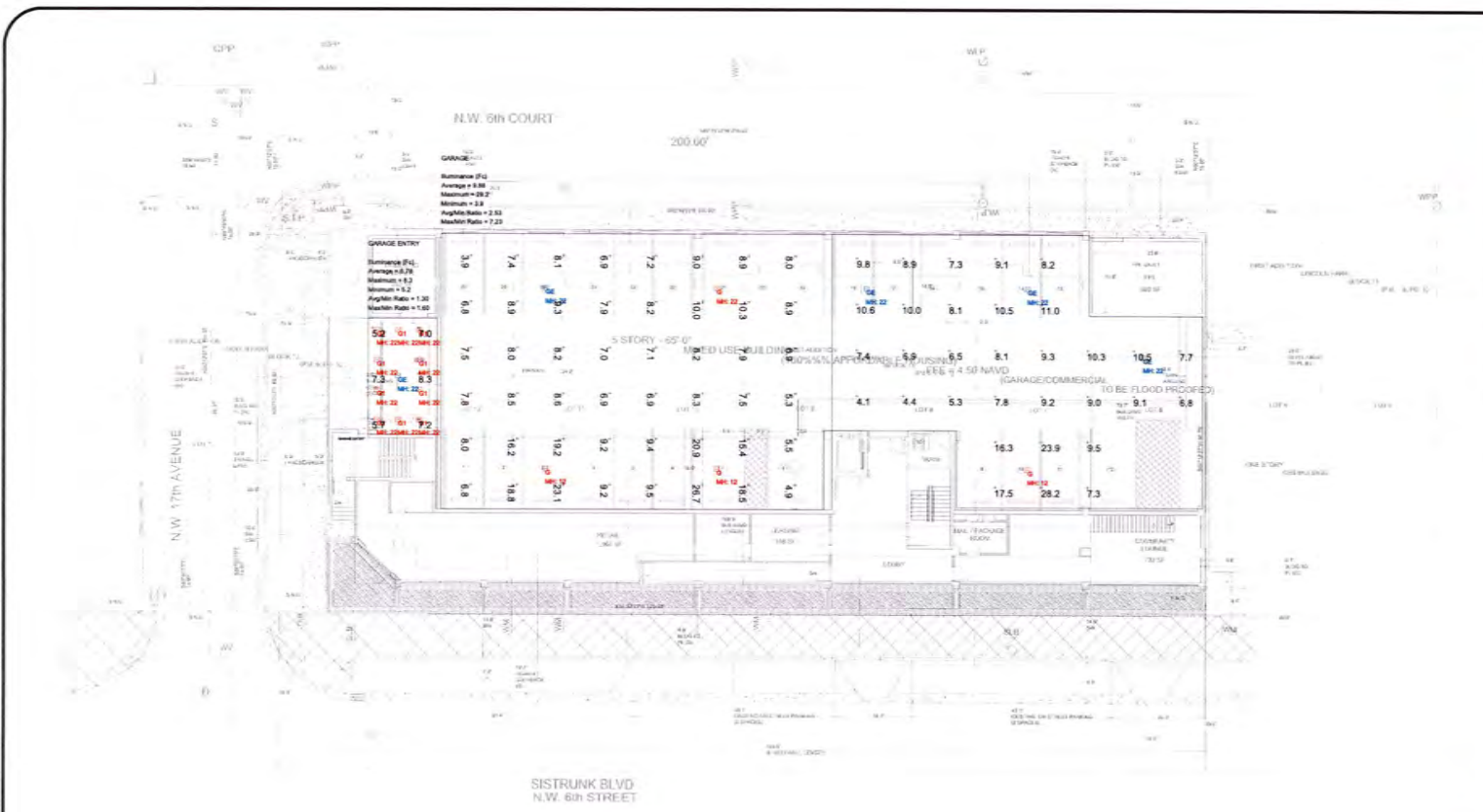
**NOTES**

1	PHOTOMETRIC STUDY	12/20/23
No.	Revision/Issue	Date

**LIGHTING DYNAMICS, INC.**  
7835 West Commercial Blvd.  
Tamarac, FL 33551  
(854) 544-2266  
[www.lightingdynamics.com](http://www.lightingdynamics.com)

**1619 SISTRUNK BLVD**  
**GARAGE LIGHTING STUDY**  
**DAY TIME**  
Fort Lauderdale, FL

Project Number: 1619  
Date: 12/20/23  
Sheet: 1 of 1  
Scale: 3/32" = 1'



**1619 SISTRUNK BLVD**

**LIGHTING FIXTURE SCHEDULE**

FIX. NUMBER	DESCRIPTION	APPLICATION	MANUFACTURER	MODEL	QUANTITY	LUMENS	BEAMS	SPACING	HEIGHT	NOTES
04	ADJUSTABLE QUADRA-FACE	OUTDOOR WALL PACK	OSRAM	200P-2000	10	10,000	4	10' x 10'	10'	NOTE 1
05	CANOPY LED LUMINAIRE	PARKING GARAGE CANOPY LIGHT - 4000 K	OSRAM	200P-2000	10	10,000	4	10' x 10'	10'	NOTE 2
06	CANOPY LED LUMINAIRE IN SLOTTED CAN	PARKING GARAGE CANOPY LIGHT - 4000 K	OSRAM	200P-2000	10	10,000	4	10' x 10'	10'	NOTE 2
07	CANOPY LED LUMINAIRE	PARKING GARAGE CANOPY LIGHT - 4000 K	OSRAM	200P-2000	10	10,000	4	10' x 10'	10'	NOTE 2

**FIXTURE DIMENSIONAL NOTES**

NOTE 1: CALLS WALL MOUNTING TOP 1/2" OVERHANG, 4" HANG, 4" HANG

NOTE 2: CALLS WALL MOUNTING TOP 1/2" OVERHANG, 4" HANG, 4" HANG

CONTACT LIGHTING DYNAMICS 800-774-7464 OR 954-882-7464 FOR PROJECT QUOTATIONS

CONTACT 800-774-7464 OR 954-882-7464 FOR PROJECT QUOTATIONS

**Photometric Calculations Software Generated Luminaire Schedule**

Source	Qty	Label	Arrangement	Lum. Lumens	Adj. Lum. Lumens	CUF	Lum. Walls	Adj. Walls
04	4	G	Single	10000	10000	1.000	118.7	118.7
05	10	G	Single	10000	10000	1.000	118.7	118.7
06	8	GC	Single	10000	10000	1.000	118.7	118.7

**Calculation Summary**

Source	Qty	Label	CUF	Avg	Max	Min	Angle	Height
LUM	24	G	1.000	4.18	20.2	2.3	2.0	7.2
GARAGE	18	GC	1.000	6.78	4.3	5.2	1.30	1.80
GARAGE ENTRY	1	G	1.000	6.78	4.3	5.2	1.30	1.80

**LIGHT OUTPUT SUMMARY**

Source	Qty	Label	CUF	Avg	Max	Min	Angle	Height
LUM	24	G	1.000	4.18	20.2	2.3	2.0	7.2
GARAGE	18	GC	1.000	6.78	4.3	5.2	1.30	1.80
GARAGE ENTRY	1	G	1.000	6.78	4.3	5.2	1.30	1.80



Lighting Dynamics Incorporated is a professional engineering firm providing lighting design and engineering services for commercial, industrial, and institutional facilities. The firm is a member of the Illuminating Engineering Society of North America (IESNA) and the International Dark Sky Association (IDSA). The firm is also a member of the Florida Engineering Council and the Florida Board of Professional Engineers. The firm is licensed in the state of Florida and is a member of the International Brotherhood of Electrical Workers (IBEW) Local 1454.

NOTES

1	PHOTOMETRIC STUDY	12/20/23
Rev	Revised/Issue	Date

**LIGHTING DYNAMICS, INC.**  
 7635 West Commercial Blvd.  
 Tamarac, FL 33351  
 (954) 944-0288  
[www.lightingdynamics.com](http://www.lightingdynamics.com)

**1619 SISTRUNK BLVD**  
**GARAGE LIGHTING STUDY**  
 NIGHT TIME  
 Fort Lauderdale, FL

Project	1619 SISTRUNK BLVD	Sheet	L1G-N
Date	12/05/23	Revision	01
Scale	3/32" = 1'	Drawn by	JV



Garage Entry  
 Illuminance (fc)  
 Average = 4.33  
 Maximum = 15.8  
 Minimum = 0.5  
 Footlight Ratio = 1.68  
 Mounting Height = 21.20

**1619 SISTRUNK BLVD LIGHTING FIXTURE SCHEDULE**

TYPE	DESCRIPTION	APPLICATION	QTY	CASTER NUMBER	VOLTS	LUMENS	WATTS	WARRANTY	NOTES
66	ADJUSTABLE DOWNWALL FACE	CARPENTER WALL FACE	200	100-000	120V	1000	100	5-YR	NOTE 1
67	CANOPY LED LAMP	PARKING GARAGE CANOPY LIGHT - 4000 K	100	100-000	120V	1000	100	5-YR	NOTE 1
68	CANOPY LED LAMP	PARKING GARAGE CANOPY LIGHT - 4000 K	100	100-000	120V	1000	100	5-YR	NOTE 1
69	CANOPY LED LAMP	PARKING GARAGE CANOPY LIGHT - 4000 K	100	100-000	120V	1000	100	5-YR	NOTE 1

**FIXTURE SCHEDULE NOTES**

NOTE 1: CALLS WIRE WORK TOP 18" MIN. LAMPING. REFER TO SCHEDULE FOR WIRE WORK. REFER TO SCHEDULE FOR WIRE WORK.

CONTACT LIGHTING DYNAMICS FOR PHOTOGRAPHY AND VIDEOWORKS. REFER TO SCHEDULE FOR PHOTOGRAPHY AND VIDEOWORKS.

CONTACT LIGHTING DYNAMICS FOR PHOTOGRAPHY AND VIDEOWORKS. REFER TO SCHEDULE FOR PHOTOGRAPHY AND VIDEOWORKS.

**Photometric Calculation Software Generated Luminaire Schedule**

Name	City	Label	Arrangement	Lum. Lumens	Adj. Lum. Lumens	UF	Lum. Walls	Adj. Walls
1	A	D	Single	17627	17627	0.800	118.7	118.7
2	B	C	Single	17627	17627	0.800	118.7	118.7
3	C	DE	Single	17627	17627	0.800	118.7	118.7

**Calculation Summary**

Name	City	Label	Arrangement	Lum. Lumens	Adj. Lum. Lumens	UF	Lum. Walls	Adj. Walls
1	A	D	Single	17627	17627	0.800	118.7	118.7
2	B	C	Single	17627	17627	0.800	118.7	118.7
3	C	DE	Single	17627	17627	0.800	118.7	118.7

**Light Output Summary**

Name	City	Label	Arrangement	Lum. Lumens	Adj. Lum. Lumens	UF	Lum. Walls	Adj. Walls
1	A	D	Single	17627	17627	0.800	118.7	118.7
2	B	C	Single	17627	17627	0.800	118.7	118.7
3	C	DE	Single	17627	17627	0.800	118.7	118.7



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NOTES

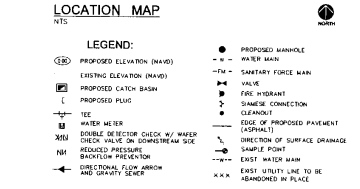
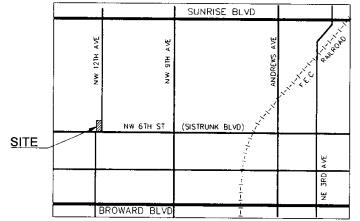
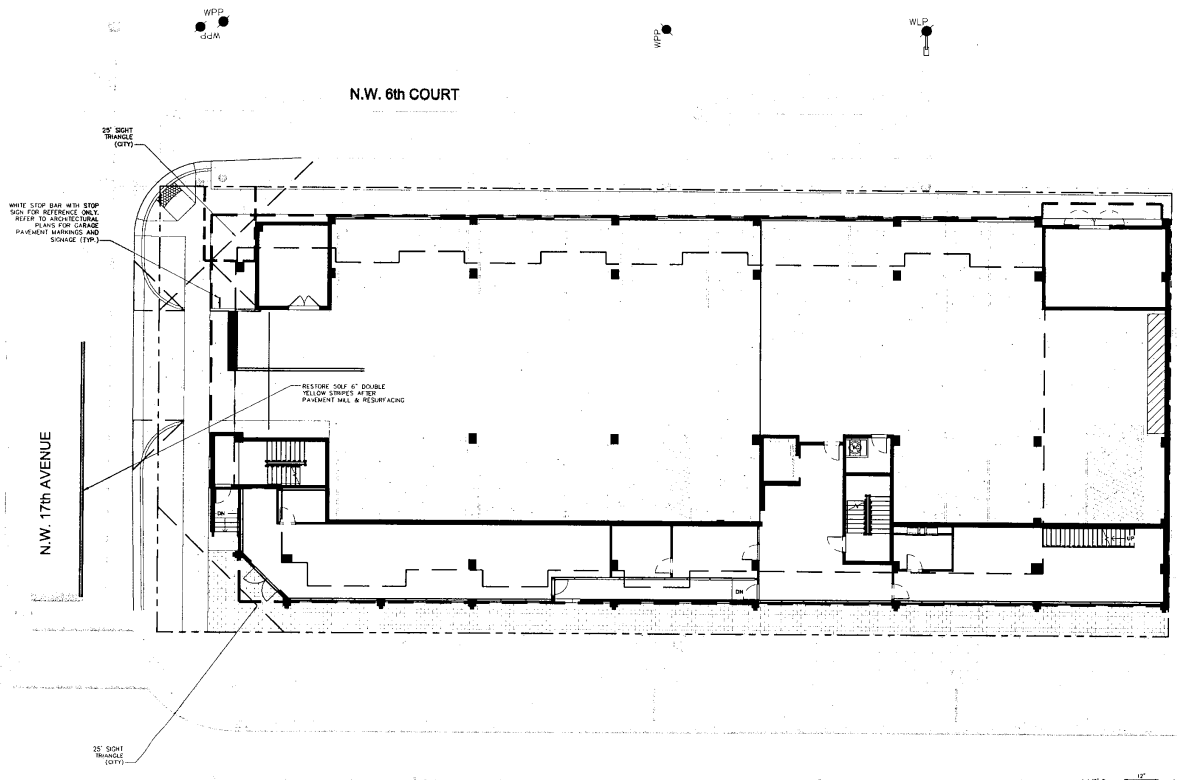
1	PHOTOMETRIC STUDY	12/29/23
No.	Revision/Issue	Date

**LIGHTING DYNAMICS, INC.**  
 7835 West Commercial Blvd.  
 Tampa, FL 33351  
 (813) 844-0286  
 www.lightingdynamics.com

**1619 SISTRUNK BLVD**  
**GARAGE LIGHTING STUDY**  
 EM MODE  
 Fort Lauderdale, FL

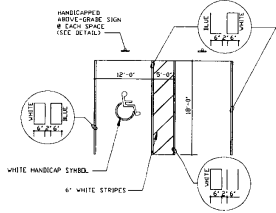
PROJECT: 1619SISTRUNKBLVD  
 CLIENT: FLYNN ENGINEERING

Project	1619 SISTRUNK BLVD	Sheet	L1G-E
Date	12/29/23	Version	01
Scale	3/32" = 1'	Drawn By	JW

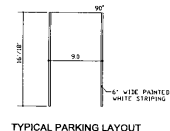


**SIGNAGE AND MARKING NOTES:**

- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND B.C.T.E.D. STANDARDS (CURRENT EDITION).
- ALL PAVEMENT MARKING AND SIGNAGE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS (CURRENT EDITION).
- REMOVAL OF PAVEMENT MARKINGS SHALL BE BY SAND OR HYDROBLASTING AS REQUIRED BY B.C.T.E.D.
- ALL PAVEMENT MARKINGS ON ASPHALT SHALL BE THERMOPLASTIC WITH THE EXCEPTION OF PARKING STALL SYMBOLS WHICH SHALL BE REGULAR PAINT.



TYPICAL HANDICAP PARKING LAYOUT

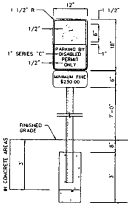


TYPICAL PARKING LAYOUT

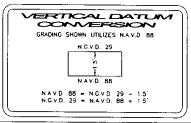
SISTRUNK BLVD  
N.W. 6th STREET

THE FOLLOWING ITEMS ARE NOT REVIEWED OR ACCEPTED BY BROWARD COUNTY:

- BROWARD COUNTY TRAFFIC ENGINEERING DIVISION'S REVIEW DOES NOT INCLUDE A REVIEW AND ACCEPTANCE OF THE PROJECT'S DESIGN OR OPERATION. THESE ITEMS ARE TO BE REVIEWED AND APPROVED BY THE CITY ENGINEER.
- BROWARD COUNTY TRAFFIC ENGINEERING DIVISION DOES NOT REVIEW AND APPROVE OR INSPECT AND ACCEPT THE FOLLOWING ITEMS FOR MAINTENANCE: PAVEMENT MARKINGS ON OR ADJACENT TO PAVEMENT SURFACES, PAINTED ASPHALT OR PAVEMENT MARKINGS MADE OF PAVER BRICKS, BRASSED INTERSECTIONS AND RELATED MARKINGS AND SIGNAGE, UN-HANDPAINTED RED-BLOCK CROSSWALKS AND RELATED MARKINGS AND SIGNAGE, UN-HANDPAINTED CROSSWALKS AND RELATED MARKINGS AND SIGNAGE, PAINTED/DECORATIVE CROSSWALKS, MARKED CROSSWALKS AND RELATED MARKINGS AND SIGNAGE, BLANKET SIGNS, RECTANGULAR PAVEMENT FLOWING BE SIGNS AND RELATED MARKINGS AND SIGNAGE, ON-STREET PARKING AND RELATED MARKINGS AND SIGNAGE, HOV-3 LANE MARKINGS AND RELATED MARKINGS AND SIGNAGE, GREEN BIKE LANES, FLEXIBLE DELINEATORS, LEGALITY SIGNS AND DECORATIVE SIGN POSTS, PLANTERS, SIDEWALK WORK OR ASPHALT WORK.
- THE CITY ENGINEER IS RESPONSIBLE FOR THE REVIEW AND APPROVAL OF THE DESIGN AND OPERATION OF THE PROJECT AND FOR THE INSPECTION AND ACCEPTANCE OF THE FOLLOWING ITEMS: SIGNAGE AND PAVEMENT MARKINGS ON OR ADJACENT TO PAVEMENT SURFACES, PAINTED ASPHALT OR PAVEMENT MARKINGS MADE OF PAVER BRICKS, BRASSED INTERSECTIONS AND RELATED MARKINGS AND SIGNAGE, UN-HANDPAINTED RED-BLOCK CROSSWALKS AND RELATED MARKINGS AND SIGNAGE, UN-HANDPAINTED CROSSWALKS AND RELATED MARKINGS AND SIGNAGE, PAINTED/DECORATIVE CROSSWALKS, MARKED CROSSWALKS AND RELATED MARKINGS AND SIGNAGE, BLANKET SIGNS, RECTANGULAR PAVEMENT FLOWING BE SIGNS AND RELATED MARKINGS AND SIGNAGE, ON-STREET PARKING AND RELATED MARKINGS AND SIGNAGE, HOV-3 LANE MARKINGS AND RELATED MARKINGS AND SIGNAGE, GREEN BIKE LANES, FLEXIBLE DELINEATORS, LEGALITY SIGNS AND DECORATIVE SIGN POSTS, PLANTERS, SIDEWALK WORK OR ASPHALT WORK.
- ALL TRAFFIC CONTROL DEVICES THAT ARE MAINTAINED BY BROWARD COUNTY THAT ARE REMOVED OR DAMAGED BY CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR USING CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DESIGN STANDARDS.



**HANDICAPPED PARKING SIGN**  
FTP-25 W/ SUPPLEMENTAL 12"x8"  
"MINIMUM FINE \$250.00" SIGN



PAVEMENT MARKING & SIGNAGE PLAN

THE LARAMORE  
NW 6th STREET  
FORT LAUDERDALE, FLORIDA



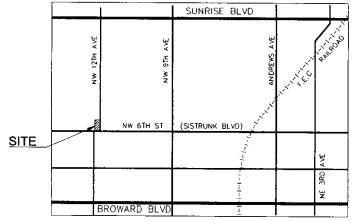
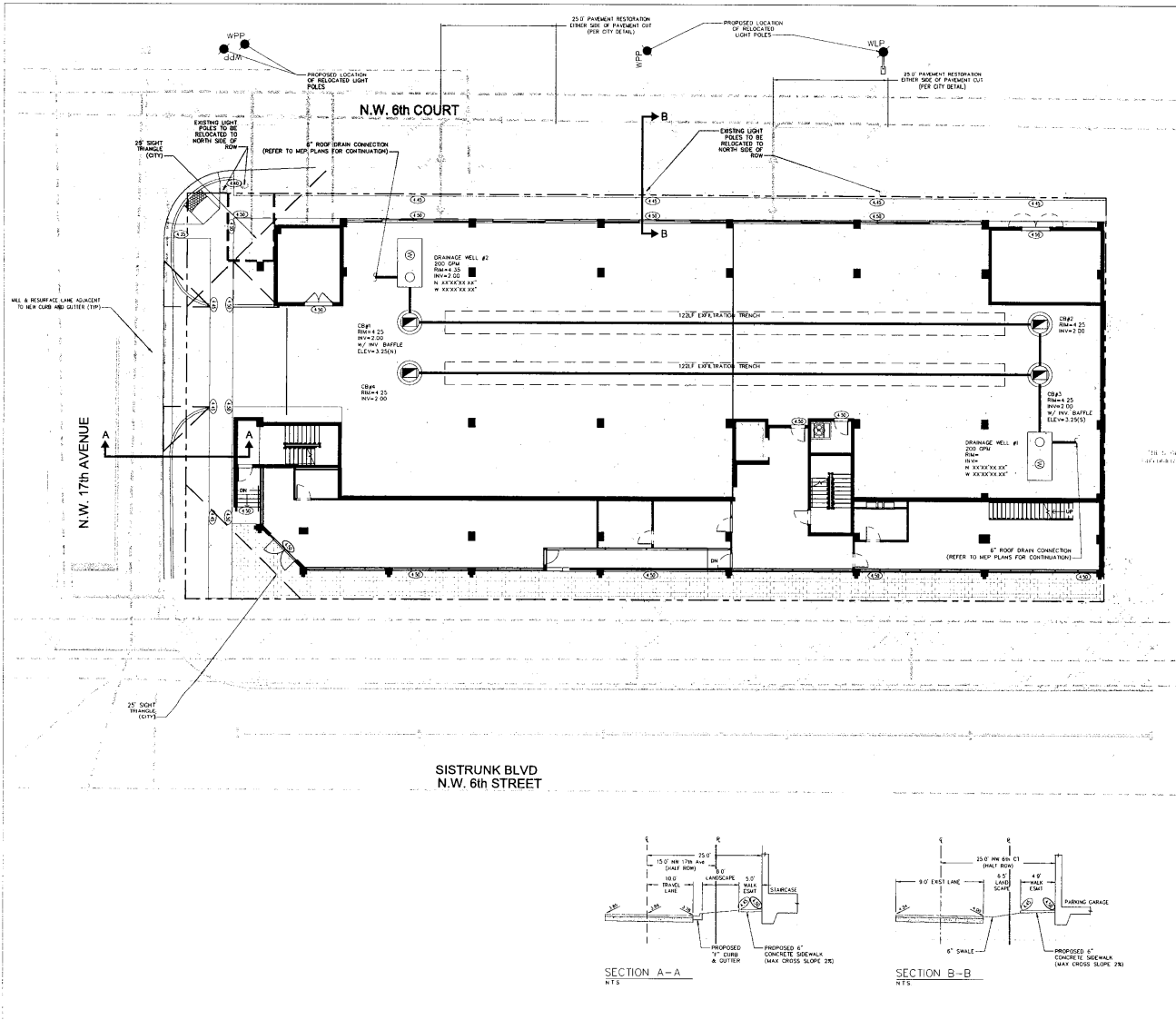
Revisions

No.	Date	Description

Printed  
Sheet  
DOCUMENTS

SEAL

SCALE	DATE
1"=10'	12/26/23
25 No.	Proj No.
121-1720	12/03/23
Drawn by	Sheet No.
SK02	C1
Proj. No.	Sheet
811	1 of 1

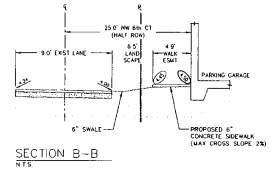
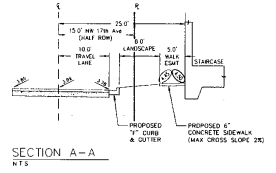


**LEGEND:**

- PROPOSED ELEVATION (NAVD)
- EXISTING ELEVATION (NAVD)
- PROPOSED CATCH BASIN
- PROPOSED PEGIC
- ICE WATER W/EF
- 3/8" DOUBLE REDUCER CHECK W/ WATER CHECK VALVE ON DOWNSTREAM SIDE
- 1/4" BACKFLOW PREVENTOR
- 1/4" OPERATIONAL FLOW ARROW AND GRAVITY SENSE
- PROPOSED MANHOLE
- WATER MAIN
- SEWER FORCE MAIN
- VALVE
- FIRE HYDRANT
- SHARED CONNECTION
- CLEANOUT
- EDGE OF PROPOSED PAVEMENT (ASPHALT)
- DIRECTION OF SURFACE DRAINAGE
- SHAKE POINT
- EXIST WATER MAIN
- EXIST UTILITY LINE TO BE MAINTAINED IN PLACE

**GRADING AND DRAINAGE NOTES:**

- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF FORT LAUDERDALE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL LIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SOFTEN WEATHERS.
- ALL STORM DRAINAGE LINE FROM THE BUILD SHALL BE LAD @ 1/8" MINIMUM SLOPE UNLESS NOTED OTHERWISE ON PLANS.
- CLEANOUTS ON STORM DRAINAGE LINES ARE TO BE ADJUSTED TO BE FLUSH WITH GRADE.
- CONTRACTOR SHALL PROVIDE FITTINGS, TEES, REDUCERS, ETC AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
- LANDSCAPE AREAS SHALL BE GRADED TO DRAIN TO THE CATCH BASIN INLETS. FIELD ADJUST GRADING AS REQUIRED.
- SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALY).
- RECTANGULAR CATCH BASIN AND YARD DRAIN GRATES SHALL BE INSTALLED SUCH THAT THE LONG AXIS OF GRATE PARALLELS THE CLOSEST ADJACENT MAIN, BLDG. DRIVE WAY, PROPERTY LINE, OR ROAD.
- COORDINATE LOCATION IN FIELD OF ALL CATCH BASINS & YARD DRAINS WITH LANDSCAPE CONTRACTOR TO AVOID CONFLICTS.
- CONFORMANCE OF YARD DRAINS @ BASE OF DOWN SPOUTS MUST ALIGN WITH OPERATIVE OF DOWN SPOUT PRIOR TO FINAL ACCEPTANCE BY OWNER. REFERENCE ARCH PLANS FOR EXACT LOCATION OF DOWN SPOUTS.
- SLOPE ON SIDEWALKS SHALL NOT EXCEED 3% SLOPE IN DIRECTION OF TRAVEL OR 3% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
- SLOPE IN HANDICAP PARKING AND ACCESS AISLES SHALL NOT EXCEED 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
- SLOPE IN CROSSWALKS SHALL NOT EXCEED 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
- SURVEY INFORMATION BASED ON SURVEY PROVIDED BY SCHNEKE-SHERIN & ASSOCIATES, INC. DATED JANUARY 13, 2021.
- ELEVATIONS SHOWN ARE NAVD88.
- FINAL FIN ELEVATIONS FOR THE DRAINAGE STRUCTURES WITHIN THE GARAGE TO BE BASED ON ARCHITECT'S GRADING PLAN.
- ALL DRAINAGE WELLS TO BE DRILLED IN THE ORDER THAT THEY ARE NUMBERED ON PLANS UNTIL TOTAL CAPACITY OF 200 GPM IS MET. WELL CAPACITY TO BE CONFIRMED WITH DRIVERS AT BEER DRINKING EACH DRAINAGE WELL. CONTRACTOR RESPONSIBLE FOR ALLOWING ACCESS AND CLEARANCE FOR DRILLING OF ALL DRAINAGE WELLS UNLESS CAPACITY IS MET.
- ASPHALT PAVEMENT RESTORATION ON CITY RIGHT-OF-WAY MUST BE PERFORMED BY A LICENSED ENGINEERING CONTRACTOR OR PAVING CONTRACTOR IN BROWARD COUNTY.



**DRAINAGE LAMPING TO BE PERFORMED AND WITNESSED BY CITY INSPECTOR AND ENGINEER OF RECORD.**

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA

**VERTICAL DATUM COMPARISON**

CRATING SHOWN UTILIZES NAVD 88

NGVD 29
NAVD 88
NAVD 88 + NAVD 29 = 15'
NGVD 29 + NAVD 88 = 15'

Scale: 1"=10' Date: 12/20/23  
 20 No: 23-1792-00 No. Rev: 12/20/23  
 Drawn by: SHI No: 811  
 Pch by: SHI  
 App by: SHI

**FLYNN ENGINEERING**  
 10 COMPTON BLVD. LAUDERDALE, FL 33409  
 PHONE: (772) 333-1111 FAX: (772) 333-1111

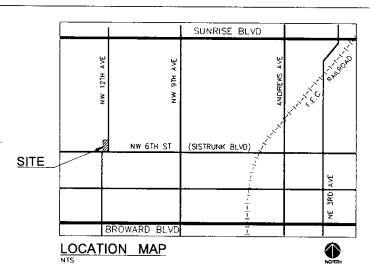
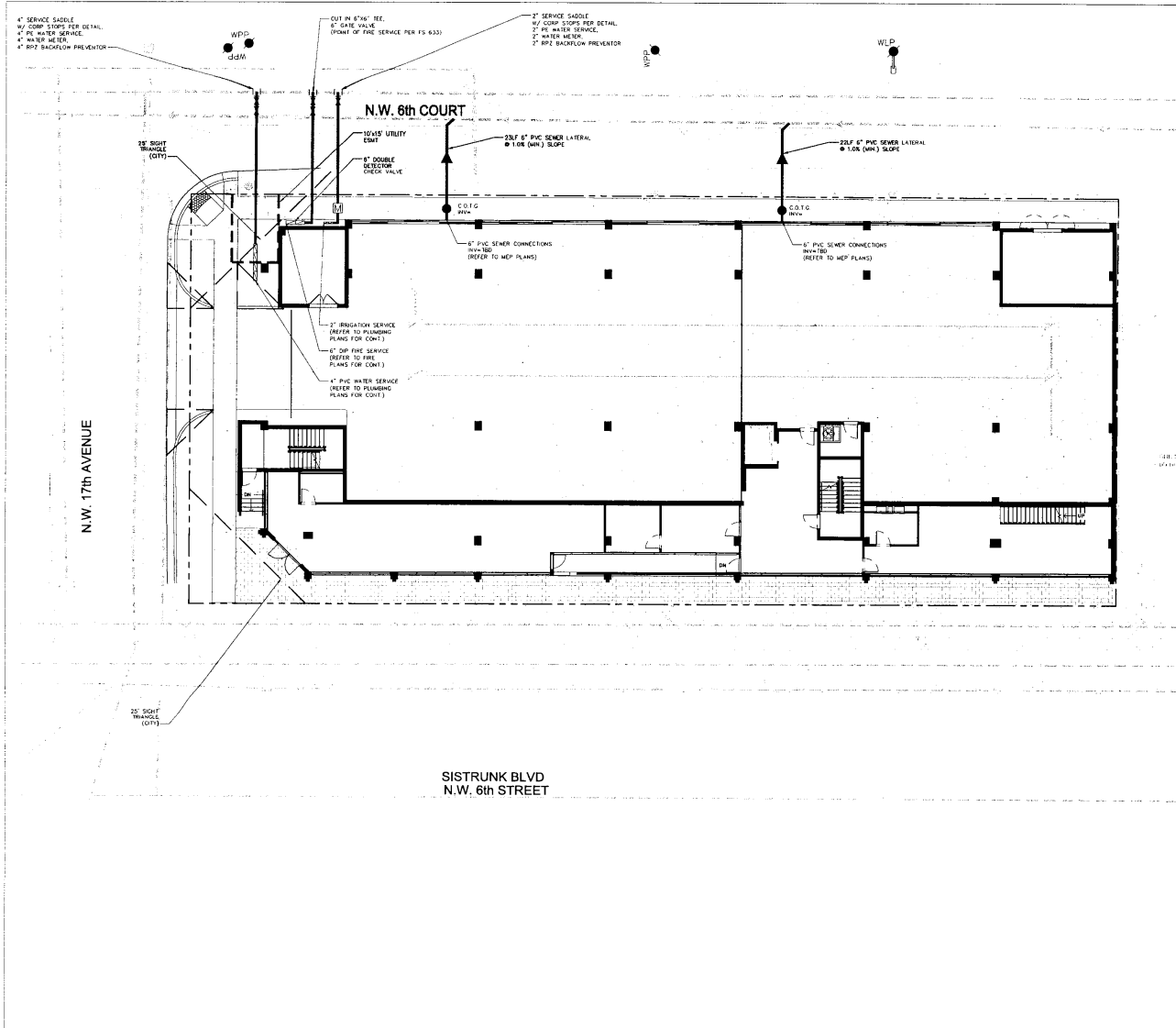
**CONCEPTUAL PAVING, GRADING, & DRAINAGE PLAN**

Sheet No: 000 Title: THE LARAMORE APARTMENT BUILDING FORT LAUDERDALE, FLORIDA

**Revisions**

1		
2		
3		
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Phase: ENG DOCUMENTS  
 SEAL



- LEGEND:**
- ⊙ PROPOSED ELEVATION (NAVD)
  - EXISTING ELEVATION (NAVD)
  - ⊠ PROPOSED CATCH BASIN
  - ⊞ PROPOSED PLUG
  - ⊕ TEE
  - ⊗ WATER METER
  - ⊗ DOUBLE DETECTOR CHECK W/ WATER
  - ⊗ CHECK VALVE ON DOWNSTREAM SIDE
  - ⊗ REDUCED PRESSURE
  - ⊗ BACKFLOW PREVENTOR
  - ⊗ DIRECTION OF FLOW, AIRFLOW AND GRAVITY SEWER
  - PROPOSED MANHOLE
  - WATER MAIN
  - SANITARY FORCE MAIN
  - ⊕ VALVE
  - ⊕ FIRE HYDRANT
  - ⊕ SHAMOCK CONNECTION
  - ⊕ CLEANOUT
  - EDGE OF PROPOSED PAVEMENT
  - SHAMOCK POINT
  - DIRECTION OF SURFACE DRAINAGE
  - EXIST WATER MAIN
  - EXIST UTILITY LINE TO BE ABANDONED IN PLACE

- WATER AND SEWER NOTES:**
1. CONTRACTOR SHALL PROVIDE FITTINGS, ELVES, TEE, REDUCERS, ETC AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
  2. CONTRACTOR SHALL PROVIDE ANY EQUIPMENT, EQUIPMENT FOUNDATION, AROUND METERS, BACKFLOW PREVENTORS, MANHOLE METERS, ETC AS REQUIRED BY THE CITY SO THAT THE OWNER MAY RECORD AND EASEMENTS WITH THE CITY COMPLYING WITH THE CITY REQUIREMENTS AND THE CITY AND PROVIDE ALL NECESSARY EASEMENT DOCUMENTATION TO THE OWNER. THE OWNER MUST THEN PROVIDE ALL RECORDED UTILITY EASEMENT DOCUMENTS TO THE CITY PRIOR TO FINAL ACCEPTANCE.
  3. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT. ANY WATER MAIN CONNECTIONS, UTILITY TRENCHING AND ADDRESS MUST BE IDENTIFIED FROM THE CITY RECORDS. THE CONTRACTOR IS REQUIRED TO PAY FOR ALL COSTS ASSOCIATED WITH THIS WORK REGARDLESS OF WHETHER OR NOT THE UTILITY OR THE CONTRACTOR PERFORMS THE WORK.
  4. SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLANNING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALLY).
  5. ALL P.S.'S. MANHOLE SHALL BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BONES, CULVERTS, ETC. ALL P.S.'S. MANHOLE SHALL BE LOCATED 5' FROM TREES. P.S.'S. MUST HAVE A 15' CLEAR RADIUS FROM ALL OBSTRUCTIONS.
  6. PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE DEPT. OF CITY OF FORT LAUDERDALE, PUBLIC WORKS DEPARTMENT AND PLUMBING ENGINEERING SERVICES STANDARDS.
  7. 18" VERTICAL CLEARANCE PREFERRED FOR ALL UTILITY CROSSINGS. MINIMUM OF 12" REQUIRED FOR WATER, DRAINAGE AND WATER CROSSING. CONTRACTOR SHALL CALL 811 AND LOCATE UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY OBSTRUCTIONS. ALL SANITARY SEWER LATERALS SHALL CROSS UNDER WATER MAINS WHERE APPLICABLE. IF THE WATER MAIN MUST CROSS BELOW THE SEWER, A MINIMUM OF 12" SEPARATION SHALL BE PROVIDED. A 30 FOOT SECTION OF SEPARATION INCLUDING 15 FEET MIN. CONTROLLED CROSSING IS REQUIRED IF LESS THAN 18" VERTICAL SEPARATION IS AVAILABLE.
  8. ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE CAPPED OFF AT THE POINT NEAREST TO THE UTILITIES OF DRAINAGE LINES THAT WILL REMAIN IN SERVICE. NOTIFY THE ENGINEER OF RECORD BEFORE REMOVING ANY UTILITIES THAT ARE CONNECTED TO SERVICE. THE CONTRACTOR SHALL NOT REMOVE ANY UTILITY SERVICE TO ANY EXISTING BUILDING THAT WILL REMAIN AND SHALL DO UP AND COMPLETELY REMOVE AND/OR ABANDON ANY UTILITY SERVICE THAT IS NO LONGER REQUIRED. THE CONTRACTOR SHALL VERIFY AND CONTROL THE LOCATION OF RECORD PRIOR TO REMOVING ANY LINES.
  9. CONTRACTOR SHALL VERIFY EXISTING WATER MAIN LOCATION AND ELEVATION AND NOTIFY THE ENGINEER OF ANY DIFFERENCE FROM THE DESIGN PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
  10. CLEARANCES AND MANHOLES ON SANITARY LINES ARE TO BE ADJUSTED TO BE FLUSH WITH FINISHED GRADE.
  11. PROPOSED FIRE LINES (I.E. MAINS, SERVICES, SHAMOCK CONNECTION LINES, ETC.) TO BE INSTALLED BY A STATE LICENSED FIRE LINE CONTRACTOR PER F.S. 333.
  12. FIRE LINES TO BE INSPECTED BY A CERTIFIED FIRE LINE INSPECTOR.
  13. STATE LICENSED FIRE LINE CONTRACTOR UPON COMPLETION OF REQUIRED TESTING, SHALL ISSUE A LICENSED UNDERGROUND TEST CERTIFICATE PRIOR TO ACCEPTANCE FOR PLUMBING FIRE LINE INTO SERVICE.
  14. COMING INTO EXISTING MANHOLE MAY RESULT IN COMPLETE RECONSTRUCTION OF EXISTING MANHOLE AT CONTRACTOR'S EXPENSE IF MANHOLE IS IN A DETERIORATED CONDITION.
  15. ON-SITE MANHOLES TO HAVE STANDARD SANITARY SEWER USE 420 COVER.
  16. THE MINIMUM COVER DEPTHS FOR PVC AND O.P. SEWER MAINS ARE RESPECTIVELY 36 INCHES AND 30 INCHES.
  17. EXFILTRATION TESTING AND LAMPING OF THE GRAVITY SEWER SHALL BE COORDINATED BY THE CONTRACTOR PRIOR TO THE COMPLETION OF THE PROJECT.
  18. ALL WATER AND SEWER WORK IN THE PUBLIC RIGHT-OF-WAY, PRIVATE BOROUGHS/AREAS OR UTILITY EASEMENTS MUST BE PERFORMED BY A LICENSED ENGINEERING CONTRACTOR OR CERTIFIED UNDERGROUND UTILITY AND EXCAVATION CONTRACTOR IN BROWARD COUNTY.

PUMP STATION START UP, EXFILTRATION TESTING, LAMPING, AND VIDEO SURVEY OF SANITARY SEWER TO BE PERFORMED AND WITNESSED BY CITY INSPECTOR. PRESSURE TESTING AND CANNON FLUSH OF WATER MAIN TO BE PERFORMED AND WITNESSED BY CITY INSPECTOR.



**VERTICAL DATUM CONVERSION**  
 OREGON SHOWN UNLESS NAVD 88

NAVD 22	
NAVD 88	
NAVD 88 + NAVD 22 = 15'	
NAVD 22 + NAVD 88 = 15'	

**FLYNN ENGINEERING**  
 2000 S.W. 11TH AVENUE, SUITE 100, FORT LAUDERDALE, FL 33409  
 (954) 341-1111

**CONCEPTUAL WATER & SEWER PLAN**

**THE LAMARORE ARCHITECTS**  
 100 N. W. 17th AVENUE  
 FORT LAUDERDALE, FLORIDA

**NORTH**

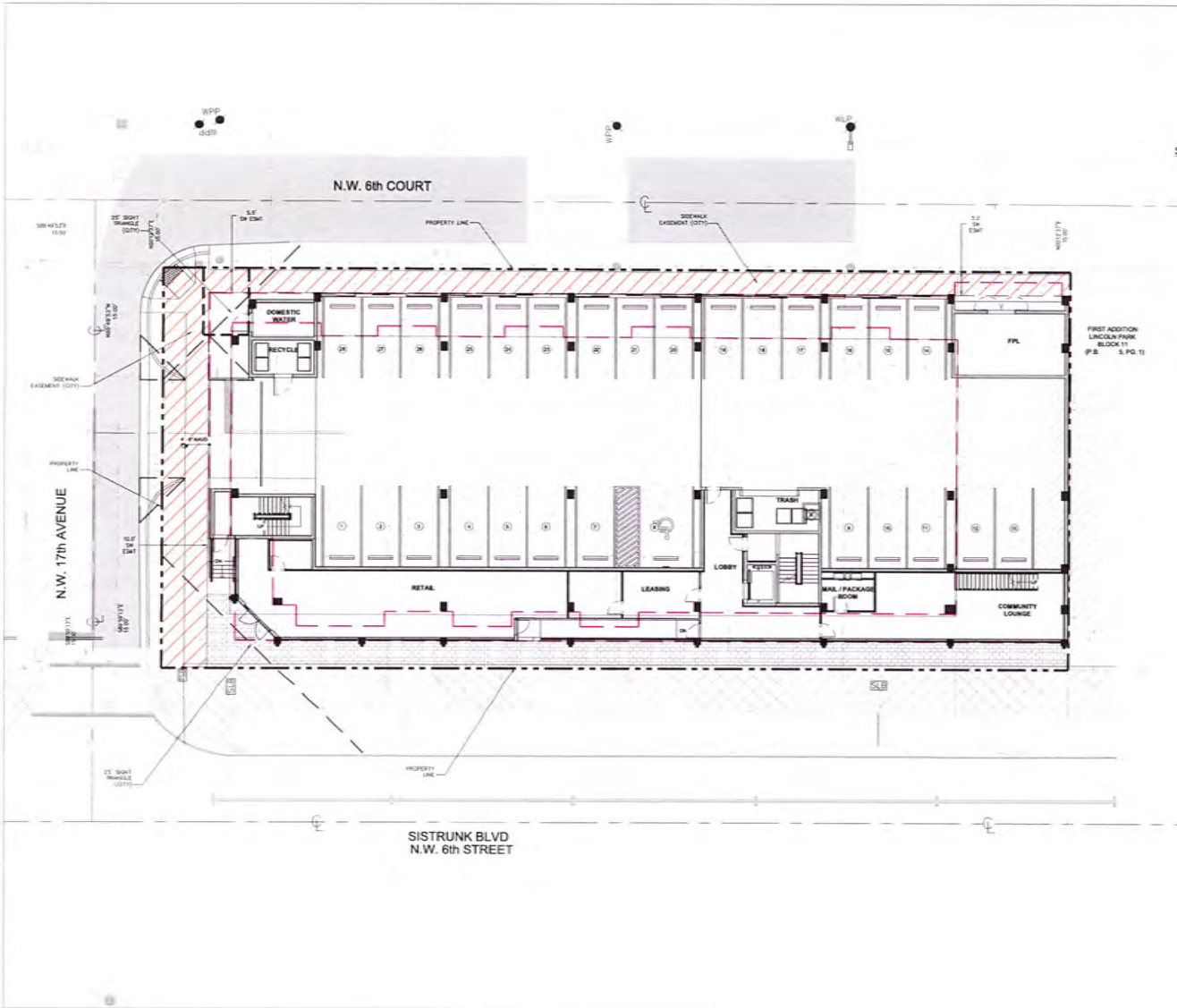
DATE	DESCRIPTION
12/20/23	CONCEPTUAL WATER & SEWER PLAN

PHASE: CONCEPTUAL  
 SHEET: 01 OF 01  
 SEAL: [Signature]

Scale: 1"=10'  
 Date: 12/20/23  
 No. 23-1172-001  
 Drawn By: SHC  
 Check By: SHC  
 Title: C3  
 App. By: SHC







LEGEND:

SIDEWALK EASEMENT (CITY)

FIRST ADDITION  
LINCOLN PARK  
BLOCK 11  
P.B. 5, PG. 13



Sheet Title  
**SIDEWALK EASEMENT EXHIBIT**

Job Title  
**THE LARAMORE  
N.W. 6th STREET  
FORT LAUDERDALE, FLORIDA**

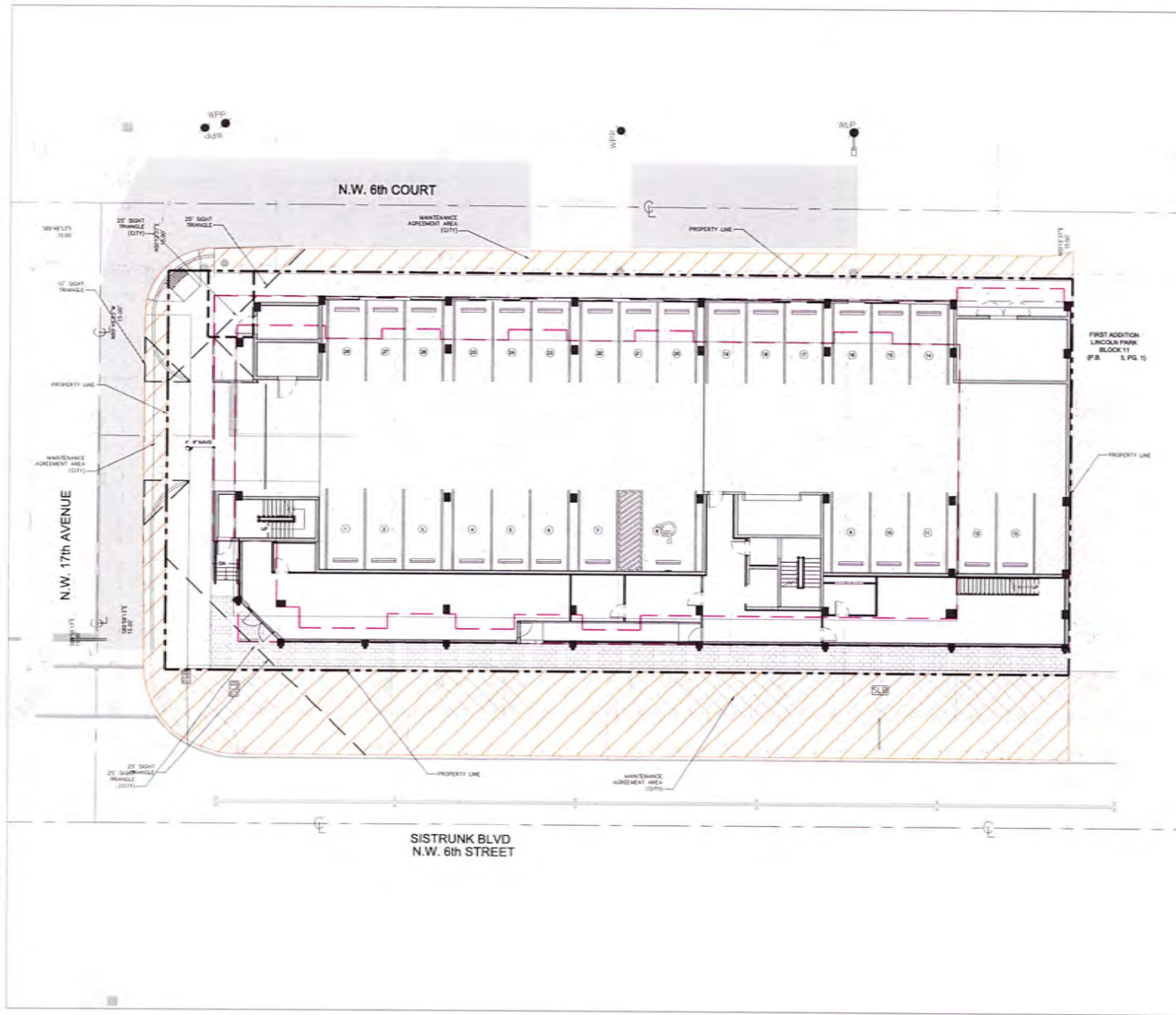


Revisions


Project  
**DOC DOCUMENTS**

Scale  
**AS SHOWN**

Title	Date
1-107	01/23/04
201-170-001	01/23/04
Drawn By	Scale
JAC	<b>X2</b>
Proj. No.	Sheet No.
3800	1
App. By	of
ML	1



LOCATION MAP

LEGEND:  
 MAINTENANCE AGREEMENT AREA (CITY)

FIRST ADDITION  
 LINCOLN PARK  
 BLOCK 11  
 P.S. 3, PG. 15



MAINTENANCE AGREEMENT EXHIBIT

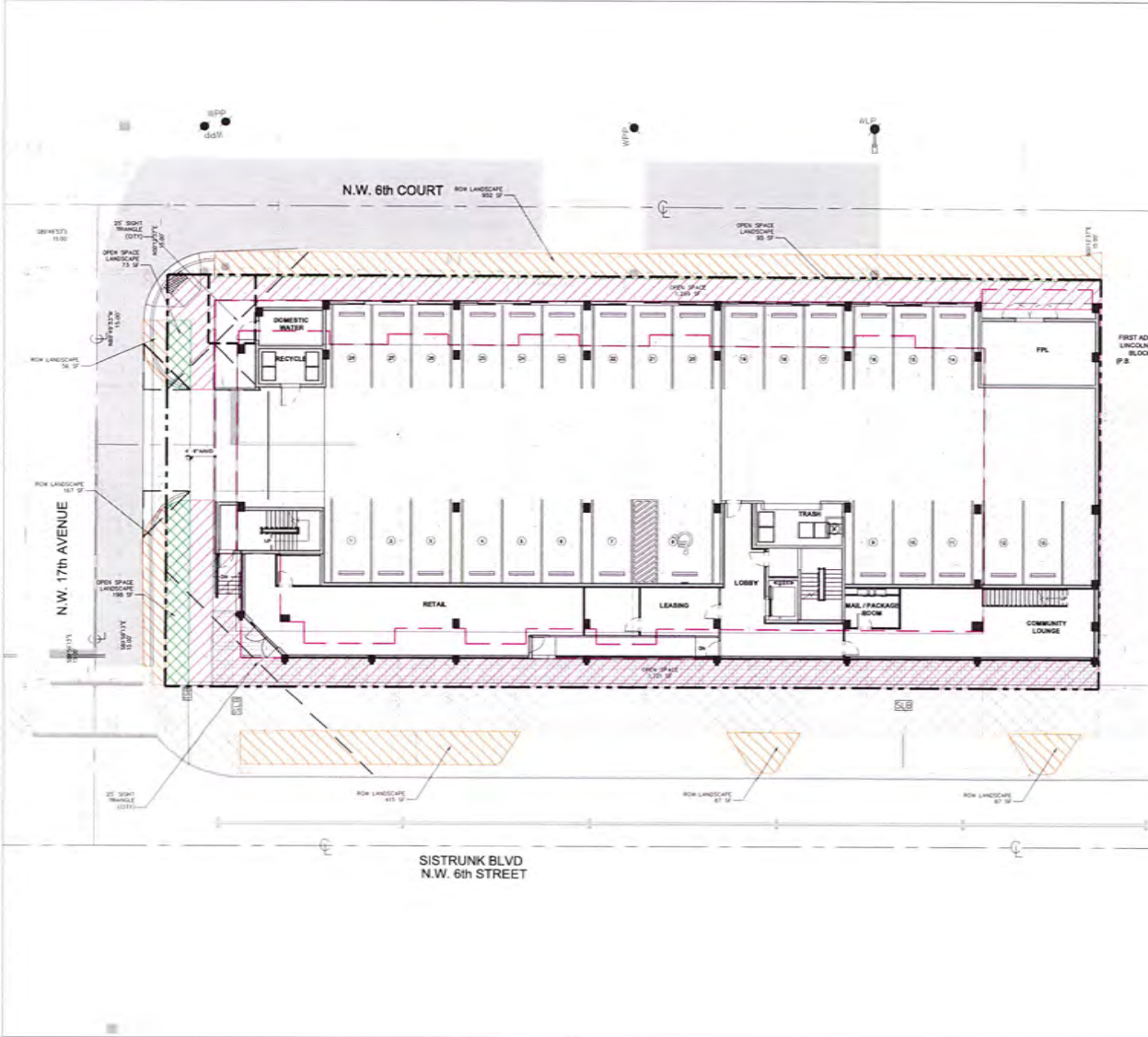
THE LARAMORE  
 200 6th STREET  
 FORT LAUDERDALE, FLORIDA



NO.	DATE	DESCRIPTION

Scale:  
 DRC  
 DOCUMENTS

DATE	BY	SCALE
11/23/24		
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- LEGEND:**
- OPEN SPACE AREA
  - OPEN SPACE (PERVIOUS)
  - OPEN SPACE (PERVIOUS IN RIGHT-OF-WAY)

**OPEN SPACE - PROVIDED & REQUIRED**

	REQUIRED	PROVIDED
NET GROSS LOT AREA (29-811) SF	2,991 SF	3,020 SF
		+29 SF SURPLUS
OPEN SPACE (AT GRADE) 40% REQ.	1,196 SF	3,020 SF

**PERVIOUS LANDSCAPE AREA - PROVIDED & REQUIRED**

	REQUIRED	PROVIDED
TOTAL PERVIOUS LANDSCAPE AREA IN OPEN SPACE (20% OF 3,104 SF)	299 SF	1,689 SF
		+1,390 SF SURPLUS
PERVIOUS LANDSCAPE AREA AT-GRADE		566 SF
PERVIOUS LANDSCAPE AREA TOTAL		1,323 SF

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 371 COMMERCIAL BLVD., LAUDERDALE BEACH, FL 33405  
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Sheet Title  
**OPEN SPACE EXHIBIT**

Job Title  
**THE LARAMORE**  
 NW 8th STREET  
 FORT LAUDERDALE, FLORIDA



Revision	Description
1	
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Project  
**DRG**  
**DOCUMENTS**

SEAL

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24-1770-06	05/23/24
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