

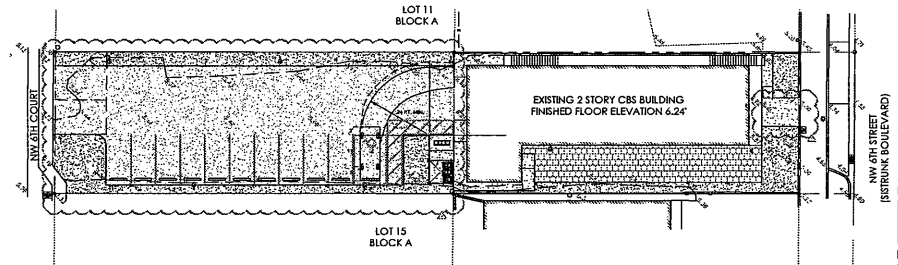
ISSUE HISTORY:		00701A PRIVATE SET	00701B PRIVATE SET	00701C PRIVATE SET	00701D PRIVATE SET	00701E PRIVATE SET	00701F PRIVATE SET	00701G PRIVATE SET	00701H PRIVATE SET	ISSUE HISTORY:	00701A PRIVATE SET	00701B PRIVATE SET	00701C PRIVATE SET	00701D PRIVATE SET	00701E PRIVATE SET	00701F PRIVATE SET	00701G PRIVATE SET	00701H PRIVATE SET
GENERAL										A-401 STAIRS ENLARGED PLAN & SECTION								
G-001 COVER SHEET		*	*	*	*	*	*	*	*	A-501 WALL TYPES AND DETAILS	*	*	*	*	*	*	*	*
G-101 LIFE SAFETY PLAN		*	*	*	*	*	*	*	*	A-602 DOOR, FRAMES AND WINDOWS DETAILS	*	*	*	*	*	*	*	*
G-601 FBC 2017 ACCESSIBILITY TYPICAL DETAILS		*	*	*	*	*	*	*	*	A-801 MECHANISMS DETAILS	*	*	*	*	*	*	*	*
SURVEY		*	*	*	*	*	*	*	*	A-901 SCHEDULES	*	*	*	*	*	*	*	*
LANDSCAPING										PLUMBING								
L-100 PROPOSED LANDSCAPE PLAN		*	*	*	*	*	*	*	*	P-100 PLUMBING INDEX, SYMBOL, LEGEND, SCHEDULES AND NOTES	*	*	*	*	*	*	*	*
L-300 LANDSCAPE DETAILS		*	*	*	*	*	*	*	*	P-100.1 PLUMBING SITE PLAN	*	*	*	*	*	*	*	*
B-300 PROPOSED PIRIGATION PLAN		*	*	*	*	*	*	*	*	P-101 FIRST LEVEL DOMESTIC WATER FLOOR PLAN	*	*	*	*	*	*	*	*
B-501 IRRIGATION NOTES AND DETAILS		*	*	*	*	*	*	*	*	P-101.1 FIRST LEVEL SANITARY FLOOR PLAN	*	*	*	*	*	*	*	*
STRUCTURAL										P-102 SECOND LEVEL DOMESTIC WATER FLOOR PLAN	*	*	*	*	*	*	*	*
S-1 STRUCTURAL NOTES		*	*	*	*	*	*	*	*	P-102.1 SECOND LEVEL SANITARY FLOOR PLAN	*	*	*	*	*	*	*	*
S-1 FIRST FLOOR AND FOUNDATION		*	*	*	*	*	*	*	*	P-200 DOMESTIC WATER ISOMETRIC	*	*	*	*	*	*	*	*
S-2 EXISTING 2ND FLOOR		*	*	*	*	*	*	*	*	P-201 SANITARY AND CONDENSATE ISOMETRICS	*	*	*	*	*	*	*	*
S-3 EXISTING ROOF PLAN		*	*	*	*	*	*	*	*									
S-4 DETAILS		*	*	*	*	*	*	*	*	MECHANICAL								
S-6 STAIR SECTIONS		*	*	*	*	*	*	*	*	M-100 MECHANICAL INDEX, SYMBOL, LEGEND, SCHEDULES AND NOTES	*	*	*	*	*	*	*	*
S-4 DETAILS		*	*	*	*	*	*	*	*	M-101 FIRST LEVEL MECHANICAL FLOOR PLAN	*	*	*	*	*	*	*	*
S-7 WIND PRESSURES		*	*	*	*	*	*	*	*	M-102 SECOND LEVEL PARTIAL ROOF LEVEL MECHANICAL PLAN	*	*	*	*	*	*	*	*
ARCHITECTURAL										M-200 MECHANICAL DETAILS	*	*	*	*	*	*	*	*
A0-101 ARCHITECTURAL SITE PLAN		*	*	*	*	*	*	*	*	ELECTRICAL								
A0-101 ARCHITECTURAL SITE PLAN DETAILS		*	*	*	*	*	*	*	*	E-100 ELECTRICAL INDEX, SYMBOL, LEGEND, SCHEDULES AND NOTES	*	*	*	*	*	*	*	*
A0-101 GROUND FLOOR DEMOLITION PLAN		*	*	*	*	*	*	*	*	E-100.1 ELECTRICAL SITE PLAN	*	*	*	*	*	*	*	*
A0-102 SECOND FLOOR DEMOLITION PLAN		*	*	*	*	*	*	*	*	E-101 FIRST LEVEL POWER FLOOR PLAN	*	*	*	*	*	*	*	*
A0-201 BUILDING ELEVATIONS DEMOLITION PLAN		*	*	*	*	*	*	*	*	E-101.1 FIRST LEVEL LIGHTING FLOOR PLAN	*	*	*	*	*	*	*	*
A0-102 BUILDING ELEVATIONS AND SECTIONS DEMOLITION PLAN		*	*	*	*	*	*	*	*	E-102 SECOND LEVEL POWER FLOOR PLAN	*	*	*	*	*	*	*	*
A-101 FIRST FLOOR PLAN		*	*	*	*	*	*	*	*	E-102.1 SECOND LEVEL LIGHTING FLOOR PLAN	*	*	*	*	*	*	*	*
A-102 SECOND FLOOR PLAN		*	*	*	*	*	*	*	*	E-200 TYPICAL UNIT ELECTRICAL PLAN	*	*	*	*	*	*	*	*
A-103 ROOF PLAN		*	*	*	*	*	*	*	*	E-300 WATER DRAINAGE PANEL, SCHEDULES & DETAILS	*	*	*	*	*	*	*	*
A-204 FIRST FLOOR REFLECTED CEILING PLAN		*	*	*	*	*	*	*	*									
A-106 SECOND FLOOR REFLECTED CEILING PLAN		*	*	*	*	*	*	*	*									
A-201 BUILDING ELEVATIONS		*	*	*	*	*	*	*	*									
A-302 BUILDING ELEVATIONS		*	*	*	*	*	*	*	*									
A-301 BUILDING SECTIONS		*	*	*	*	*	*	*	*									
A-302 BUILDING SECTIONS		*	*	*	*	*	*	*	*									
A-303 WALL SECTIONS		*	*	*	*	*	*	*	*									
A-304 WALL SECTIONS		*	*	*	*	*	*	*	*									
A-401 ENLARGED PLANS AND ELEVATIONS		*	*	*	*	*	*	*	*									
A-402 TYPICAL APARTMENT UNIT ENLARGED PLAN & ELEVATIONS		*	*	*	*	*	*	*	*									

6

PROJECT SHEET INDEX

[illegible]

4	GENERAL NOTES
---	---------------



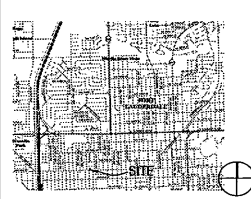
5 GENERAL SITE PLAN
SCALE: 1" = 20'

Renovation & Interior Improvements to:
B O L D E N B U I L D I N G
 1 2 2 7 N W 6 T H S T . , F O R T L A U D E R D A L E F L 3 3 3 1 1
 For: The City of Fort Lauderdale, CRA

ARCHITECT
SYNALOVSKI ROMANIK SAYE
1800 ELLER DRIVE, SUITE 500
FL, LAUDERDALE, FLORIDA 33316
T. (954) 561-5000 F. (954) 561-0807 www.synalovsky.com

STRUCTURAL ENGINEERS
SAAD ELIA EL-HAGE CONSULTING
ENGINEERS
861 NW 7TH AVE
FORT LAUDERDALE, FL 33311
T. (954) 771-6149

MEP
DELTA G CONSULTING ENGINEERS, INC
707 NE 3RD AVE SUITE 200
FORT LAUDERDALE, FL 33304
T. (954) 527-1112



LEGAL DESCRIPTION:
HOME BEAUTIFUL PARK 2-47 B LOT 13 LESS RID BLK A

ADDRESS:
1227 NW 6TH ST, FORT LAUDERDALE , FL 33311

3 DESIGN PROFESSIONAL TEAM
SCALE: N.T.S.

2	LOCATION MAP SCALE: N.T.S.
----------	--------------------------------------

1	LEGAL DESCRIPTIONS SCALE: N.T.S.
---	-------------------------------------



1800 Elder Drive, Suite 500
Fort Lauderdale, FL 33316
Y 564.961.6806
F 954.061.6807
www.syntronics.com

Manuel S. Sanchez, AIA
AR 001629
SEAL

LICENSE NO. AA26001863

EXISTING BUILDING RENOVATION PLANS FOR:



CLIENT: CITY OF FORT LAUDERDALE CRA

REV	DATE	DESCRIPTION
1	01/01/2018	Initial release
2	02/01/2018	Minor corrections
3	03/01/2018	Added new features
4	04/01/2018	Fixed bugs
5	05/01/2018	Updated documentation
6	06/01/2018	Added new features
7	07/01/2018	Fixed bugs
8	08/01/2018	Updated documentation
9	09/01/2018	Added new features
10	10/01/2018	Fixed bugs
11	11/01/2018	Updated documentation
12	12/01/2018	Added new features
13	13/01/2018	Fixed bugs
14	14/01/2018	Updated documentation
15	15/01/2018	Added new features
16	16/01/2018	Fixed bugs
17	17/01/2018	Updated documentation
18	18/01/2018	Added new features
19	19/01/2018	Fixed bugs
20	20/01/2018	Updated documentation
21	21/01/2018	Added new features
22	22/01/2018	Fixed bugs
23	23/01/2018	Updated documentation
24	24/01/2018	Added new features
25	25/01/2018	Fixed bugs
26	26/01/2018	Updated documentation
27	27/01/2018	Added new features
28	28/01/2018	Fixed bugs
29	29/01/2018	Updated documentation
30	30/01/2018	Added new features
31	31/01/2018	Fixed bugs
32	01/02/2018	Updated documentation
33	02/02/2018	Added new features
34	03/02/2018	Fixed bugs
35	04/02/2018	Updated documentation
36	05/02/2018	Added new features
37	06/02/2018	Fixed bugs
38	07/02/2018	Updated documentation
39	08/02/2018	Added new features
40	09/02/2018	Fixed bugs
41	10/02/2018	Updated documentation
42	11/02/2018	Added new features
43	12/02/2018	Fixed bugs
44	13/02/2018	Updated documentation
45	14/02/2018	Added new features
46	15/02/2018	Fixed bugs
47	16/02/2018	Updated documentation
48	17/02/2018	Added new features
49	18/02/2018	Fixed bugs
50	19/02/2018	Updated documentation
51	20/02/2018	Added new features
52	21/02/2018	Fixed bugs
53	22/02/2018	Updated documentation
54	23/02/2018	Added new features
55	24/02/2018	Fixed bugs
56	25/02/2018	Updated documentation
57	26/02/2018	Added new features
58	27/02/2018	Fixed bugs
59	28/02/2018	Updated documentation
60	29/02/2018	Added new features
61	01/03/2018	Fixed bugs
62	02/03/2018	Updated documentation
63	03/03/2018	Added new features
64	04/03/2018	Fixed bugs
65	05/03/2018	Updated documentation
66	06/03/2018	Added new features
67	07/03/2018	Fixed bugs
68	08/03/2018	Updated documentation
69	09/03/2018	Added new features
70	10/03/2018	Fixed bugs
71	11/03/2018	Updated documentation
72	12/03/2018	Added new features
73	13/03/2018	Fixed bugs
74	14/03/2018	Updated documentation
75	15/03/2018	Added new features
76	16/03/2018	Fixed bugs
77	17/03/2018	Updated documentation
78	18/03/2018	Added new features
79	19/03/2018	Fixed bugs
80	20/03/2018	Updated documentation
81	21/03/2018	Added new features
82	22/03/2018	Fixed bugs
83	23/03/2018	Updated documentation
84	24/03/2018	Added new features
85	25/03/2018	Fixed bugs
86	26/03/2018	Updated documentation
87	27/03/2018	Added new features
88	28/03/2018	Fixed bugs
89	29/03/2018	Updated documentation
90	30/03/2018	Added new features
91	31/03/2018	Fixed bugs
92	01/04/2018	Updated documentation
93	02/04/2018	Added new features
94	03/04/2018	Fixed bugs
95	04/04/2018	Updated documentation
96	05/04/2018	Added new features
97	06/04/2018	Fixed bugs
98	07/04/2018	Updated documentation
99	08/04/2018	Added new features
100	09/04/2018	Fixed bugs

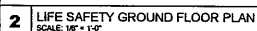
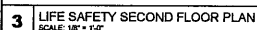
DESIGN
DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 1/7/19

PROJECT NUMBER: 1535-180425
DRAWN BY: AG

Copyright (c) by SYNALGEN® MEMORABLE STAFF
All Rights Reserved.

SHEET TITLE:
COVER SHEET

DEPT NUMBER:
G-001



NOTE: PROVIDE A MAX CAPACITY SIGNAGE FOR THE ASSEMBLY USE AT THE MAIN EXIT (207 PEOPLE)

1	LIFE SAFETY AND CODE DATA
---	---------------------------



<p>APPROACH TO TELEPHONES</p>	<p>(a) ADULT WALL HANG WATER CLOSETS (b) ADULT FLOOR MOUNTED WATER CLOSET AND CHILDREN'S WATER CLOSET</p>			<p>(a) FRONT APPROACH, PULL SIDE (b) FRONT APPROACH, PUSH SIDE (c) FRONT APPROACH, PUSH SIDE, DOOR PROVIDED WITH BOTH CLOSER AND LATCH (d) HINGE APPROACH, PULL SIDE (e) HINGE APPROACH, PUSH SIDE (f) HINGE APPROACH, PUSH SIDE</p>		<p>SRS SYNALOVSKI ROMANIKSAYE Architects & Planners - Interior Design 1800 Blue Drive, Suite 300 Fort Lauderdale, FL 33315 T 954.561.4805 F 954.561.6807 www.srsarchitects.com</p>
<p>29 REF. SECTIONS 703.4.2, 703.6, 703.7 & 704 NOT TO SCALE</p>	<p>28 REF. SECTIONS 604.8 NOT TO SCALE</p>	<p>27 REF. SECTIONS 505.5, 505.6 AND 505.7 NOT TO SCALE</p>	<p>26 REF. SECTIONS 406.2, 406.3 AND 406.4 NOT TO SCALE</p>	<p>25 REF. SECTION 307 NOT TO SCALE</p>	<p>24 REF. SECTIONS 703.2.5, 703.3.2 AND 703.4.1 NOT TO SCALE</p>	<p>23 REF. SECTIONS 604.5 AND 604.7 NOT TO SCALE</p>
<p>22 REF. SECTION 505.4 NOT TO SCALE</p>	<p>21 REF. SECTIONS 405.7 AND 405.9 NOT TO SCALE</p>	<p>20 REF. SECTION 404.2.4.1 NOT TO SCALE</p>	<p>19 REF. SECTIONS 306 NOT TO SCALE</p>	<p>18 REF. SECTIONS 605 AND 609 NOT TO SCALE</p>	<p>17 REF. SECTIONS 604.2 AND 604.3 NOT TO SCALE</p>	<p>16 REF. SECTION 504.5 NOT TO SCALE</p>
<p>15 REF. SECTION 404.2.6 NOT TO SCALE</p>	<p>14 REF. SECTION 404.2.3 NOT TO SCALE</p>	<p>13 REF. SECTIONS 304 AND 305 NOT TO SCALE</p>	<p>12 REF. SECTIONS 604.8.1.6 AND 604.8.2 NOT TO SCALE</p>	<p>11 REF. SECTIONS 602.05 NOT TO SCALE</p>	<p>10 REF. SECTION 406.7 NOT TO SCALE</p>	<p>9 REF. SECTION 404.2.4.3 NOT TO SCALE</p>
<p>8 REF. SECTION 403 NOT TO SCALE</p>	<p>7 REF. SECTIONS 302 AND 303 NOT TO SCALE</p>	<p>6 REF. SECTION 604.8.1.4 NOT TO SCALE</p>	<p>5 REF. SECTION 505.10 NOT TO SCALE</p>	<p>4 REF. SECTION 406.6 NOT TO SCALE</p>	<p>3 REF. SECTION 404.2.4.2 NOT TO SCALE</p>	<p>2 REF. SECTION 308 NOT TO SCALE</p>
<p>1 GRAPHIC CONVECTION FOR FIGURES NOT TO SCALE</p>	<p>1 REF. SECTION 308 NOT TO SCALE</p>	<p>1 REF. SECTION 308 NOT TO SCALE</p>	<p>1 REF. SECTION 308 NOT TO SCALE</p>	<p>1 REF. SECTION 308 NOT TO SCALE</p>	<p>1 REF. SECTION 308 NOT TO SCALE</p>	<p>1 REF. SECTION 308 NOT TO SCALE</p>

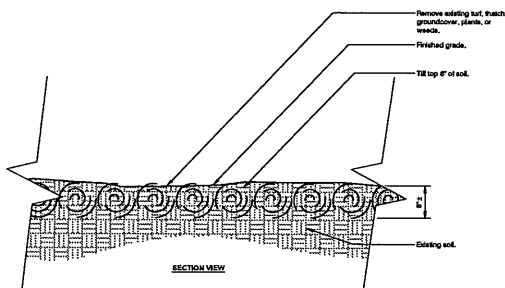
SYNALOVSKI ROMANIKSAYE
Architects & Planners - Interior Design
1800 Blue Drive, Suite 300
Fort Lauderdale, FL 33315
T 954.561.4805
F 954.561.6807
www.srsarchitects.com

MASTERS SYNCHRONAL, P.A.
ARCHITECTS
1501 N. W. 11th St.
FORT LAUDERDALE, FL 33304

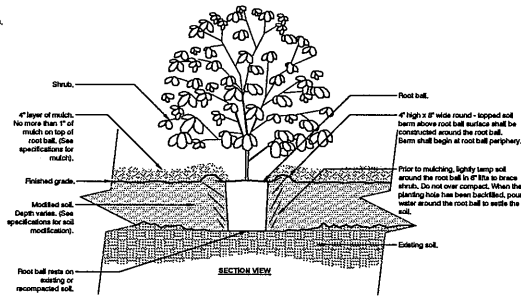
EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BUILDING
1237 NW 6TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE CRA

DESIGN DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 1/7/19
PROJECT NUMBER: 1535-1804-25
DRAWN BY: AG
CHECKED BY:
Copyright © by SYNALOVSKI ROMANIKSAYE
All Rights Reserved
1/11/19
FBC 2017
ACCESSIBILITY
TYPICAL DETAILS

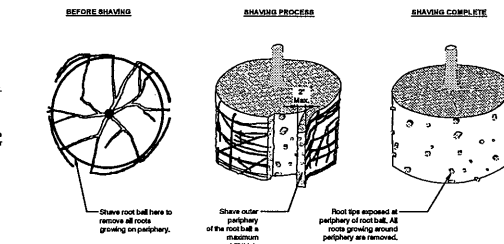
DETAIL NAME:
G-501



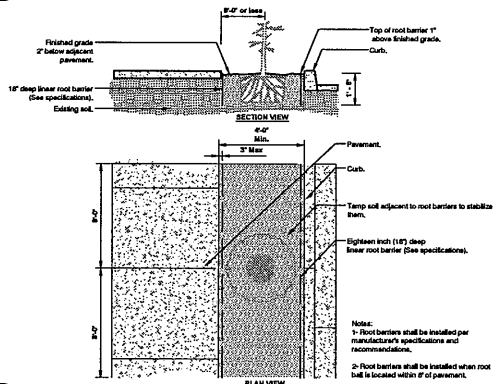
3 EXISTING SOIL - MINOR MODIFICATION
3/4\" = 1'0\"



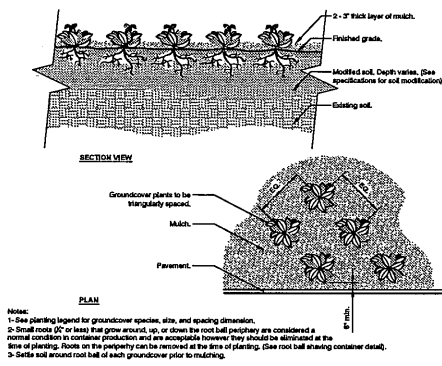
6 SHRUB - MODIFIED SOIL
3/4\" = 1'0\"



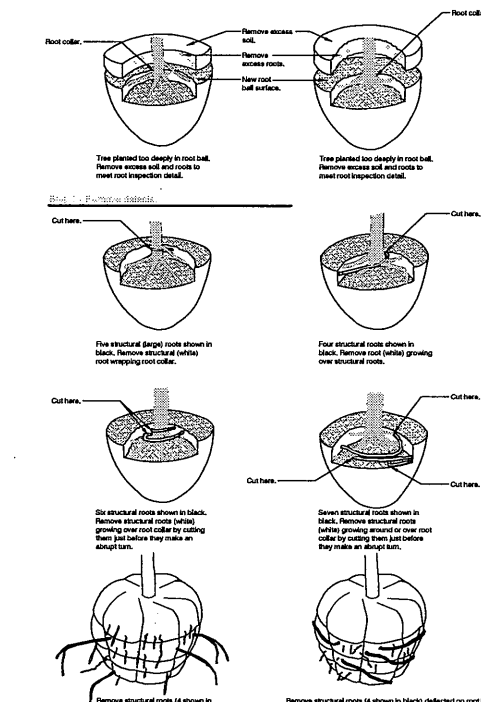
8 ROOT BALL SHAVING CONTAINER DETAIL
3\" = 1'0\"



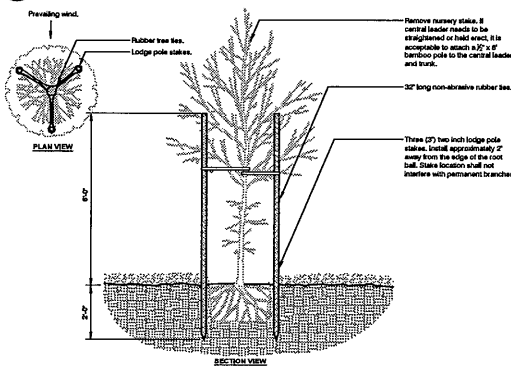
2 ROOT BARRIERS
3/8\" = 1'0\"



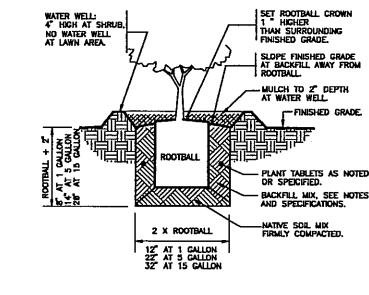
5 GROUND COVER
3/4\" = 1'0\"



7 ROOT CORRECTION DETAIL - BALLED AND BURLAPPED
1 1/2\" = 1'0\"



1 TREE STAKING - LODGE POLES (3)
1/2\" = 1'0\"



4 SHRUB PLANTING
1\" = 1'0\"



EXISTING BUILDING RENOVATION PLANS FOR BOLDEN BUILDING
1227 NW 4TH ST., FORT LAUDERDALE, FL 33609
CLIENT: CITY OF FORT LAUDERDALE, FL

NO.	DATE	DESCRIPTION
1	01/15/2014	PERMIT SET REV 1
2	01/15/2014	PERMIT SET REV 2
3	01/15/2014	PERMIT SET REV 3
4	01/15/2014	PERMIT SET REV 4
5	01/15/2014	PERMIT SET REV 5
6	01/15/2014	PERMIT SET REV 6
7	01/15/2014	PERMIT SET REV 7
8	01/15/2014	PERMIT SET REV 8
9	01/15/2014	PERMIT SET REV 9
10	01/15/2014	PERMIT SET REV 10
11	01/15/2014	PERMIT SET REV 11
12	01/15/2014	PERMIT SET REV 12
13	01/15/2014	PERMIT SET REV 13
14	01/15/2014	PERMIT SET REV 14
15	01/15/2014	PERMIT SET REV 15
16	01/15/2014	PERMIT SET REV 16
17	01/15/2014	PERMIT SET REV 17
18	01/15/2014	PERMIT SET REV 18
19	01/15/2014	PERMIT SET REV 19
20	01/15/2014	PERMIT SET REV 20

LANDSCAPE DETAILS
L-300



SYNALOVSKY ROMANTSEV ASSOCIATES

1100 Lee Drive, Suite 300
Fort Lauderdale, FL 33314
754.961.6806
754.961.6807

Hariet Synalovsk, AIA
AIA 001168
SEA

License No. AA2001845

Existing Building Renovation Plans for:
BOLDEN BUILDING
1037 NW 1ST ST
FORT LAUDERDALE, FL 33309

CLIENT: CITY OF FORT LAUDERDALE

DESIGN
REVISIONS:
ISSUE DATE: 10/31/2014
PROJECT NUMBER: 1535-180425
DRAWN BY: CAP
CHECKED BY: SEH
Copyright © by SYNALOVSKY ROMANTSEV ASSOCIATES
SHEET TITLE:
NOTES

SHEET NUMBER

S-0

SAAD ELIA EL-HAGE
CONSULTING ENGINEERS, INC.
1000 N. W. 10th Ave., Suite 1000
Fort Lauderdale, FL 33311
Phone: 754.576.1111
Fax: 754.576.1112
www.elhage.com

SAAD EL-HAGE P.E. #2025
CERTIFICATE OF AUTHORIZATION #00008001
3089 518-054

THRESHOLD INSPECTION PLAN

GENERAL

- 1) SPECIAL INSPECTION SHALL BE LICENSED AND REGISTERED IN THE STATE OF FLORIDA, AND SHALL CARRY A MINIMUM ERROR AND OMISSION INSURANCE FOR \$1,000,000.00.
- 2) SPECIAL INSPECTION SHALL APPLY AND FILL OUT AN INSPECTION FORM WITH THE CITY OR COUNTY WHICH HAS JURISDICTION OVER THE PROJECT TO GET APPROVAL FROM SUCH ENTITY PRIOR TO START INSPECTION.
- 3) SPECIAL INSPECTION SHALL VISUALLY INSPECT ALL STRUCTURAL COMPONENTS OF THE BUILDING TO ENSURE THAT THE WORK IS IN CONFORMANCE WITH THE APPROVED STRUCTURAL DOCUMENTS, SPECIFICATIONS, APPROVED SHOP DRAWINGS, AND ANY SIGNED AND SEALED ADDENDUM LETTERS OR SKETCHES BY THE STRUCTURAL ENGINEER OF RECORD.
- 4) SPECIAL INSPECTION CANNOT MODIFY DETAILS OR SPECIFICATIONS TO PHASE CONTRACTOR UNLESS THE MODIFICATIONS ARE SUBMITTED IN WRITING AND VIA SKETCHES FROM THE CONTRACTOR TO THE STRUCTURAL ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO THE ACTUAL WORK.
- 5) SPECIAL INSPECTION SHALL ATTEND THE FIRST JOB SITE CONSTRUCTION MEETING TO COORDINATE WITH THE G.C. THE PHASES OF CONSTRUCTION, AND TRAIN FOR THE INSPECTIONS. G.C. SHALL CALL AND E-MAIL THE INSPECTOR AHEAD OF TIME TO SCHEDULE ANY INSPECTION.
- 6) SPECIAL INSPECTION SHALL SUBMIT SIGNED AND SEALED WRITTEN REPORTS WEEKLY TO THE BUILDING DEPARTMENT. COPIES OF THESE REPORTS SHALL BE MAILED TO THE OWNER, ARCHITECT OF RECORD, STRUCTURAL ENGINEER OF RECORD, AND THE CONTRACTOR.
- 7) REPORTS SHALL HAVE THE FOLLOWING ITEMS:
DATE, TIME, WEATHER CONDITION, ITEMS INSPECTED, LOCATION OF ITEMS INSPECTED.
ANY FAILED INSPECTIONS SHALL HAVE ITS OWN SUB-WRITTEN REPORT AND SHALL BE SIGNED BY THE G.C. OR THE SUPERINTENDENT IN CHARGE ACKNOWLEDGING THE DEFECTS.
- 8) ONCE ALL THE INSPECTIONS OF THE STRUCTURAL COMPONENTS OF THE BUILDING ARE COMPLETED, THE SPECIAL INSPECTION SHALL ISSUE A SIGNED AND SEALED FINAL CERTIFICATE OF COMPLETION STATING ALL THE REPORTS NUMBERS, AND THAT ALL THE STRUCTURAL ITEMS WERE INSPECTED AND IN COMPLIANCE WITH THE APPROVED STRUCTURAL DOCUMENTS, SPECIFICATIONS, APPROVED SHOP DRAWINGS, AND ANY SIGNED AND SEALED ADDENDUM LETTERS OR SKETCHES BY THE STRUCTURAL ENGINEER OF RECORD.
- 9) ITEMS TO HAVE PEOPLE TO INSPECTIONS:
SOIL REPORTS: MAKE SURE SIGNED AND SEALED GEOTECHNICAL REPORT IS AVAILABLE PRIOR TO STARTING ANY INSPECTION.
STRUCTURAL DOCUMENTS: MAKE SURE YOU HAVE A COPY OF THE LATEST STRUCTURAL DOCUMENTS.
SHOP DRAWINGS: MAKE SURE YOU HAVE THE LATEST APPROVED SHOP DRAWINGS.
CONCRETE MIX DESIGNATIONS: MAKE SURE YOU HAVE A COPY OF THE APPROVED MIXES.
SUBSURFACE: MAKE SURE YOU HAVE COPIES OF SIGNED AND SEALED REPORTS FROM THE TESTING COMPANY REGARDING PASSING THE SOIL, PREPARATION, COMPACTION AND DENSITY.
- 10) ITEMS TO BE INSPECTED:
EXAMINATION: SIZE (LENGTH, WIDTH, THICKNESS), REINFORCING (AMOUNT, SIZE, SUPPORT, COVERAGE), DIMENSIONS (SIZE, LENGTH AND TYPE)
CONCRETE MIX (SPECIFICATION, SLUMP, CYLINDER FILLING, (MAKE SURE A TESTING COMPANY REPRESENTATIVE IS DOING THE TESTS), MONITOR CONCRETE POUR, NO ADDED WATER SHALL BE PERMITTED.
STEEL CHANNEL: SIZE, ANCHORING, WELDS
CONCRETE COLLARS: SIZE (WIDTH, THICKNESS), REINFORCING (AMOUNT, SIZE, SUPPORT, COVERAGE), DIMENSIONS (SIZE, LENGTH AND TYPE)
CONCRETE MIX (SPECIFICATION, SLUMP, CYLINDER FILLING, MONITOR CONCRETE POUR, NO ADDED WATER SHALL BE PERMITTED
CONCRETE BEAMS: SIZE (WIDTH, THICKNESS), REINFORCING (AMOUNT, SIZE, SUPPORT, COVERAGE), DIMENSIONS (SIZE, LENGTH AND TYPE)
CONCRETE MIX (SPECIFICATION, SLUMP, CYLINDER FILLING, MONITOR CONCRETE POUR, NO ADDED WATER SHALL BE PERMITTED
STRUCTURAL STEEL: (SIZE, FLANGE, WEIZARDING)
STEEL COLLARS: SIZE, ANCHORING
STEEL BEAMS: (LOCATION, ORIENTATION, SPACING, BEARING LENGTH)
STAR CASES: (NUMBER, SIZE, WELDS CONNECTIONS)
BOLTS: (SIZE, AMOUNT, LENGTH, SPACING, TIGHTENING)
WELDS: MAKE SURE WELDER IS CERTIFIED, GET A COPY OF THE CERTIFICATION, VISUALLY INSPECT WELD (PROPER LENGTH),
BROGING: SIZE, LOCATION, SPACING, WELD
STEEL CHANNELS: SIZE, SPACING, LOCATION,
VERIFY STEEL CORROSION PROTECTION AS PER SPECIFICATIONS.
UNIT MASONRY: REINFORCING (SIZE, SPACING, COVERAGE)
SUB-C-WALL LAYOUT, GROUT MORTARING.
STRUCTURAL STEEL: (BROOM)
STEEL JOISTS: (LOCATION, ORIENTATION, SPACING, BEARING LENGTH)
WELDS: MAKE SURE WELDER IS CERTIFIED, GET A COPY OF THE CERTIFICATION, VISUALLY INSPECT WELD (PROPER LENGTH),
BROGING: SIZE, LOCATION, SPACING, WELD
VERIFY STEEL CORROSION PROTECTION AS PER SPECIFICATIONS.
METAL DECK: (SIZE, FLANGE & BROOM)
CHECK THE GAUGE AND THICKNESS (VERIFY THE ATTACHED TAB BY THE MFR/SUPPLIER)
CONNECTION: WELD (SIZE AND SPACING), TIE SCREWS (SIZE-LAP AND PERMITS),
MISCELLANEOUS STEEL (BROOM)
A/C SUPPORT
STEEL ANGLE, CHANNEL (SIZE, LOCATION, ORIENTATION)
STEEL TUBES (SIZE, ORIENTATIONS, LOCATION)
ANCHORS (BOLTS SIZE, LENGTH), WELDS (LENGTH)
VERIFY STEEL CORROSION PROTECTION AS PER SPECIFICATIONS
PREFABRICATED STEEL STAR DIRECTION AND CONNECTIONS.
LIGHT WEIGHT METAL GAUGE (EXTERIOR AND STRUCTURAL)
CHECK SIZE, LOCATION, SPACING, GAUGE
CONNECTION: SCREWS (AMOUNT, SPACING, STEEL WELD (SIZE, LENGTH)
ALL CONCRETE REPAIR, PREPARATION BOWLS
ALL EXISTING STEEL JOIST REPAIR: ANGLES AND WELD

STRUCTURAL STEEL

1. STRUCTURAL STEEL CONSTRUCTION SHALL CONFORM WITH THE REQUIREMENTS OF THE "AISC'S SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL ON BUILDINGS", LATEST EDITION.
2. STRUCTURAL STEEL PLACEMENT DRAWINGS AND MATERIAL LISTS SHALL CONFORM TO AISC'S STRUCTURAL STEEL DETAILING", LATEST EDITION. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A FLORIDA LICENSED PROFESSIONAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. (SEE (08) PRINTS OF EACH DRAWING).
3. ALL STRUCTURAL MEMBERS AND WELDS SHALL CONFORM WITH ASTM A-36 UNLESS NOTED OTHERWISE.
4. SHOP CONNECTIONS SHALL BE WELDED IN ACCORDANCE WITH AISC D11, "STRUCTURAL WELDING CODE".
5. FIELD ELECTRODE SHALL BE ASTM A-36 3/16" BOLTS.
6. STEEL TURNING TO BE ASTM - A500 GRADE (K40).
7. WELDS SHALL BE WELDED TO THE CONTRACTOR'S DESIGN OR AS SHOWN ON TYPICAL.
8. ALL STEEL TO HAVE A SHOP COAT OF RUST INHIBITIVE PAINT.
9. BULGES PARTIAL OR FULL TO RESIST SPALLING OR PROTRUDING ON CONCRETE ENCASUREMENT.
10. FULL DEPTH CONNECTIONS ARE TO BE USED ON ALL ORDER AND BEAM CONNECTIONS TO COLUMNS. BOLTS TO BE AT 3" o.c. VERT. (UNL.)
11. ALL WELDS AND JOINTS SHALL BE EMBEDDED IN CONCRETE, OR FILLED CELLS OR GROUTED CELLS (TYP) FOR EMBEDMENT LENGTH, REFER TO SECTIONS.
12. ALL EXPOSED STEEL MEMBERS TO WEATHER SHALL BE HOT DIPPED GALVANIZED (TYP)

FIELD WELDING

1. WELDING SHALL BE DONE BY A CERTIFIED ARC WELDER USING THE LATEST APPROVED A.W.S. TECHNIQUES.
2. ALL WELDS SHALL CONFORM TO THE LATEST AISC SPECIFICATION USING E-70XX ELECTRODE.
3. ALL FIELD WELDS SHALL BE WIRE-CLEANED AND COATED WITH ANTI RUST PAINT.

WELDING REQUIREMENTS:

1. STEEL JOIST TO DAMERS (K SERIES) 1/4" WELD X 8" LONG (TYPICAL) (UNL.)
2. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
3. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
4. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
5. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
6. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
7. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
8. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
9. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
10. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
11. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
12. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
13. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
14. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
15. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
16. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
17. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
18. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
19. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
20. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
21. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
22. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
23. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
24. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
25. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
26. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
27. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
28. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
29. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
30. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
31. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
32. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
33. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
34. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
35. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
36. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
37. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
38. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
39. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
40. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
41. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
42. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
43. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
44. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
45. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
46. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
47. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
48. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
49. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
50. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
51. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
52. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
53. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
54. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
55. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
56. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
57. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
58. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
59. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
60. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
61. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
62. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
63. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
64. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
65. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
66. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
67. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
68. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
69. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
70. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
71. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
72. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
73. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
74. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
75. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
76. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
77. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
78. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
79. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
80. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
81. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
82. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
83. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
84. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
85. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
86. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
87. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
88. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
89. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
90. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
91. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
92. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
93. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
94. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
95. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
96. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
97. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
98. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
99. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)
100. STEEL JOIST TO DAMERS (H SERIES) 3/16" WELD X 8" LONG (TYPICAL) (UNL.)

OPEN WEIL STEEL JOIST

1. ALL JOISTS SHALL HAVE A SHOP COAT OF RUST INHIBITIVE NON RETARDING PAINT.
2. FINAL FABRICATION SHALL HAVE AN ENGINEER SIGNATURE IN THE STATE OF FLORIDA CERTIFY IN WRITING THAT THE STEEL JOISTS CAN SAFELY RESIST THE WIND UPLIFT FORCES STATED ON ROOF PLAN.
3. STEEL JOISTS SHALL BE DESIGNED, FABRICATED AND ERECTED TO THE REQUIREMENTS OF THE SPECIFICATIONS OF THE STEEL JOIST INSTITUTE. MANUFACTURER SHALL BE A MEMBER OF THE STEEL JOIST INSTITUTE. PROVIDE EVIDENCE IN ACCORDANCE WITH S4 STANDARDS UNLESS NOTED OTHERWISE. (UNL.)
4. MINIMUM BEARING OWNS SHALL BE:
ON MASONRY ON CONCRETE ON STEEL
K SERIES 4" 4" 2 1/2"
H SERIES 4" 4" 2 1/2"
5. CAMBER JOISTS FOR HEAD LOAD.
6. WELD OR BOLT JOINTS OVER TO SUPPORTING STEEL AND/OR WALL PLATE.
7. MAXIMUM DEFLECTION OF JOISTS AND ROOF DECK 1/360 OF SPAN UNDER LIVE LOAD.
8. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
9. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
10. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
11. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
12. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
13. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
14. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
15. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
16. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
17. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
18. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
19. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
20. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
21. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
22. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
23. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
24. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
25. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
26. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
27. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
28. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
29. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
30. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
31. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
32. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
33. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
34. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
35. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
36. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
37. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
38. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
39. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
40. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
41. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
42. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
43. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
44. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
45. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
46. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
47. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
48. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
49. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
50. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
51. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
52. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
53. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
54. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
55. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
56. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
57. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
58. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
59. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
60. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
61. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
62. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
63. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
64. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
65. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
66. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
67. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
68. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
69. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
70. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
71. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
72. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
73. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
74. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
75. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
76. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
77. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
78. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
79. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
80. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
81. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
82. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
83. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
84. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
85. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
86. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
87. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
88. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
89. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
90. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
91. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
92. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
93. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
94. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
95. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
96. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
97. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
98. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
99. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.
100. FABRICATOR SHALL SUBMIT DESIGN DATA AND ERECTION DIAGRAMS. SHOP DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER.

FILL COMPACTION

1. SOIL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D1557) WITHIN A DISTANCE OF FIVE FEET BEYOND ALL BUILDING EDGES. AT LEAST ONE FIELD DENSITY TEST SHALL BE PERFORMED FOR EACH 1000 SQUARE FEET OF AREA. DENSITY TESTS ARE TO BE MADE 12" BELOW THE COMPACTED SURFACE. RESULTS OF PROCTOR TESTS AND FIELD DENSITY TESTS SHALL BE FURNISHED TO THE OWNER. GENERAL CONTRACTOR SHALL FOLLOW RECOMMENDATIONS IN SOIL REPORT, PRIOR TO CONSTRUCTION.

SOIL REMEDIATION

1. SUBMIT (1) COPIES OF EACH REQUIRED SUBMITTAL, (1) COPY OF WHICH WILL BE KEPT IN THE OFFICE.
2. ALLOW 5 WORKING DAYS FOR REVIEW TIME.

FOOTING DESIGN

1. AN ASSUMED ALLOWABLE SOIL BEARING CAPACITY OF 2,500 PSF WAS USED FOR DESIGN OF FOOTINGS.
2. VERIFICATION SHALL BE PROVIDED BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION.
-



SYDALOVSKI ROMANIKS

1600 Silver Creek, Suite 510
Fort Lauderdale, FL 33316
754-961-6806
P 754-961-6807
www.sydalovskiromaniks.com

Harold Sydalovski, AIA
AR 0011083
SEAL

LICENSE NO. AA24001843

Existing Building Renovation Plans for:
BOLDEN BUILDING

1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309

CLIENT: CITY OF FORT LAUDERDALE

REV	DATE	DESCRIPTION
01	01/11/2018	ISSUED FOR PERMIT
02	02/23/2018	REVISION: CHANGED COLUMNS

DESIGN
DATE: 01/11/2018
ISSUE DATE: 01/31/2018

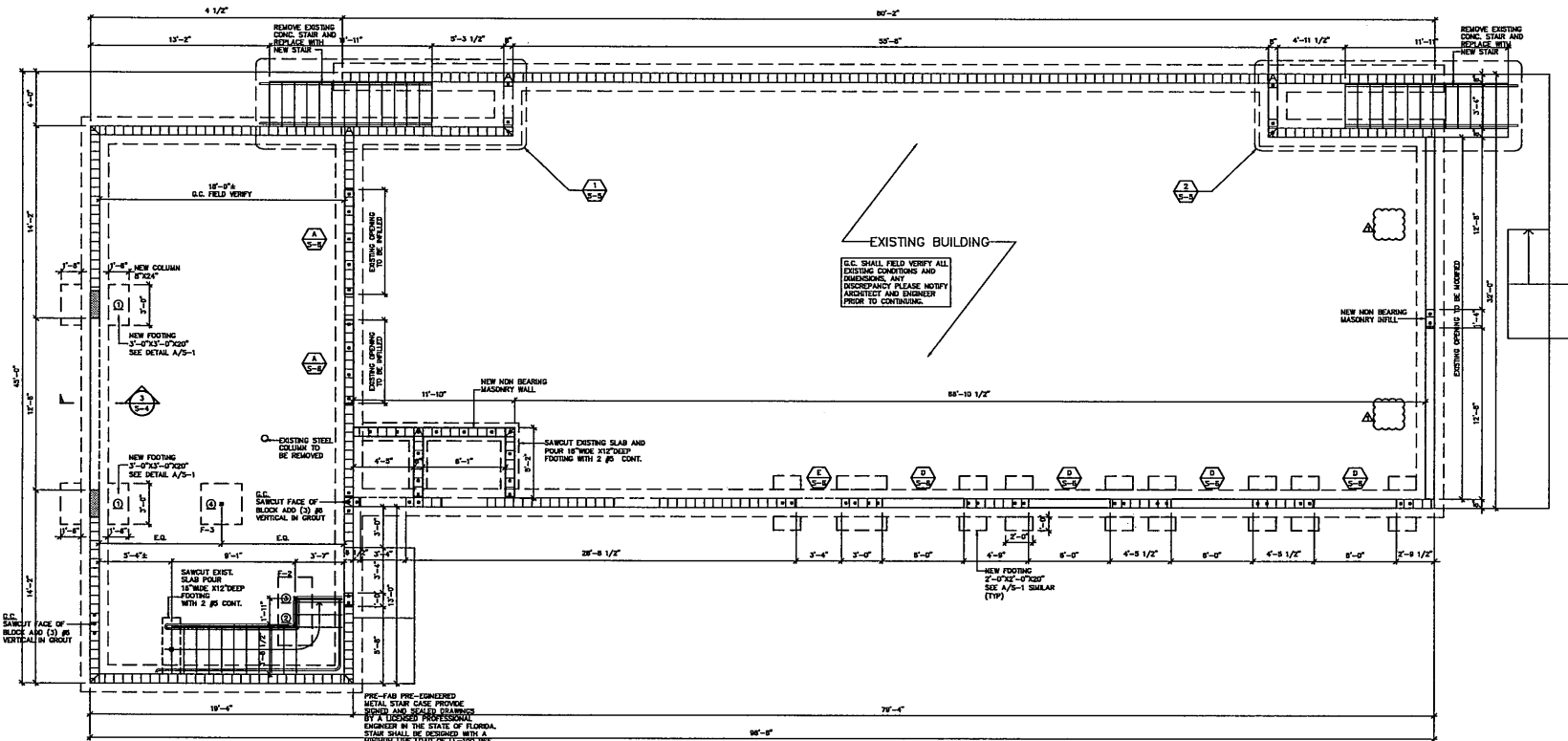
PROJECT NUMBER: 1535-180425
DRAWN BY: CAP
CHECKED BY: SEH

Copyright © by SYDALOVSKI ROMANIKS, INC.
All Rights Reserved.

**FIRST FLOOR
AND FOUNDATION**

SHEET NAME:

S-1

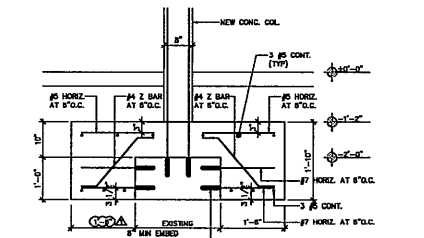


COLUMNS				
WHERE VERTICAL STEEL IS SPACED 8" O.C. OR MORE HAIR PINS SHALL BE REQUIRED				
MARK	SIZE	VERT / CAP PLATE	YES / BOTT. PLATE	REMARKS
①	8" X 3/4"	# 8	#3 AT 8" O.C.	
②	18" X 3" X 1/2"	BY STAR ENGINEER	8" X 8" X 3/4" (6) 3/4"X 8" A.B.	
③	18" X 3" X 1/2"	BY STAR ENGINEER	8" X 8" X 3/4" (6) 3/4"X 8" A.B.	
④	18" X 3" X 1/2"	8" X 8" X 3/4" FULLY WELDED	8" X 8" X 3/4" (6) 3/4"X 8" A.B.	

TYPE B

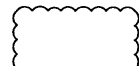
COLUMN TYPES

REINFORCED CONCRETE FOOTINGS					
CORNER BARS SHALL BE REQUIRED AT ALL FOOTING INTERSECTIONS AT 90 EACH DIRECTION					
MARK	SIZE	CONT	SW	LR	REMARKS
F-1A					SIZE A/S-1
F-2	5'-0"LONG X 2'-0" X 18"	AS AT 8"O.C. TOP & BOT	AS AT 8"O.C. TOP & BOT		
F-3	3'-0" X 3'-0" X 12"	4 #5	4 #5		



EXISTING
FOOTING REINFORCING
SCALE: 3/4\"/>

SEE "B" FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. ANY DISCREPANCY PLEASE NOTIFY ARCHITECT AND ENGINEER PRIOR TO CONTINUING.



PER F.B.C. 2017, 6TH EDITION
WIND SPEED: 110 MPH (ULTIMATE)
WIND DIRECTION: 158.8 MPH
EXPOSURE: "C"
RISK CATEGORY: II
ENCLOSURE: BUILDING
CORNER: 15
ROOF MEAN HEIGHT: 15
E: 15
F: 15
G: 15

**MODIFICATION
TO EXISTING BUILDING**

SCALE: 1/4\"/>

- ELEVATION TOP OF EXISTING FOOTINGS TO BE -2'-0\"/>
- PROVIDE 1 #6 VERTICAL IN FILLED CELL ADJACENT TO ANY WINDOW AND DOOR OPENINGS WHERE NO COLUMN IS INDICATED. REINFORC. TO EXTEND FROM FOUNDATION TO BEAM ABOVE.
- ALL MASONRY WALLS TO HAVE 1#6 LADDER TYPE BARS HORIZONTAL J ONLY REINFORCING EVERY 2ND BLOCK COURSE. EXTEND REINFORCING MINIMUM 4\"/>
- ALL SLOPES, DRAINS AND RECESSES IN FLOOR SLAB, COORDINATE W/ ARCH. AND MECHANICAL DRAWINGS PRIOR TO POURING FLOOR SLAB.
- INDICATES 1 #6 VERTICAL FILLED CELL, AT AS SHOWN (TYP.), DRILL AND DOWEL TOP AND BOTT. 8\"/>
- WHERE TWO FOOTINGS INTERSECT PROVIDE (3) #7 AT 8\"/>

**SAAD ELIA EL-HAGE
CONSULTING ENGINEERS, INC.**
1001 NW 11TH AVE., 11TH FLOOR, FORT LAUDERDALE, FL 33304
TEL: 754-961-6806 FAX: 754-961-6807
WWW.SYDALOVSKIROMANIKS.COM

SAAD EL-HAGE P.E. #42520
CERTIFICATE OF AUTHORIZATION #00008801
JAN 2018-03-31



SYNALOVSKI ROMANIK SAYE
Architects + Planning + Interior Design

1800 Elm Drive, Suite 500
Fort Lauderdale, FL 33316
T 954.463.4806
F 954.463.4807
www.srnai.com

Harsco Symbol: AIA
A8 001603
SEAL

LICENSE NO. AA3001843

Existing Building Renovation Plans for: BOLDEN BUILDING

1227 NW 6TH ST.
FORT LAUDERDALE, FL 33009

CLIENT: CITY OF FORT LAUDERDALE

REV	DATE	DESCRIPTION
1	10/31/2018	ISSUED FOR PERMIT
2	10/31/2018	REVISIONS
3	10/31/2018	REVISIONS
4	10/31/2018	REVISIONS
5	10/31/2018	REVISIONS
6	10/31/2018	REVISIONS
7	10/31/2018	REVISIONS
8	10/31/2018	REVISIONS
9	10/31/2018	REVISIONS
10	10/31/2018	REVISIONS

DESIGN DELIVERABLE:
ISSUE DATE: 10/31/2018

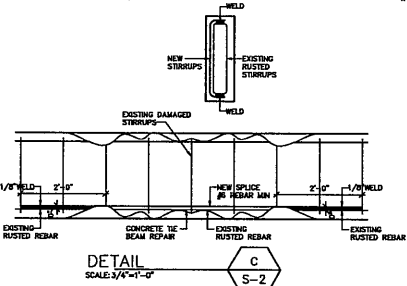
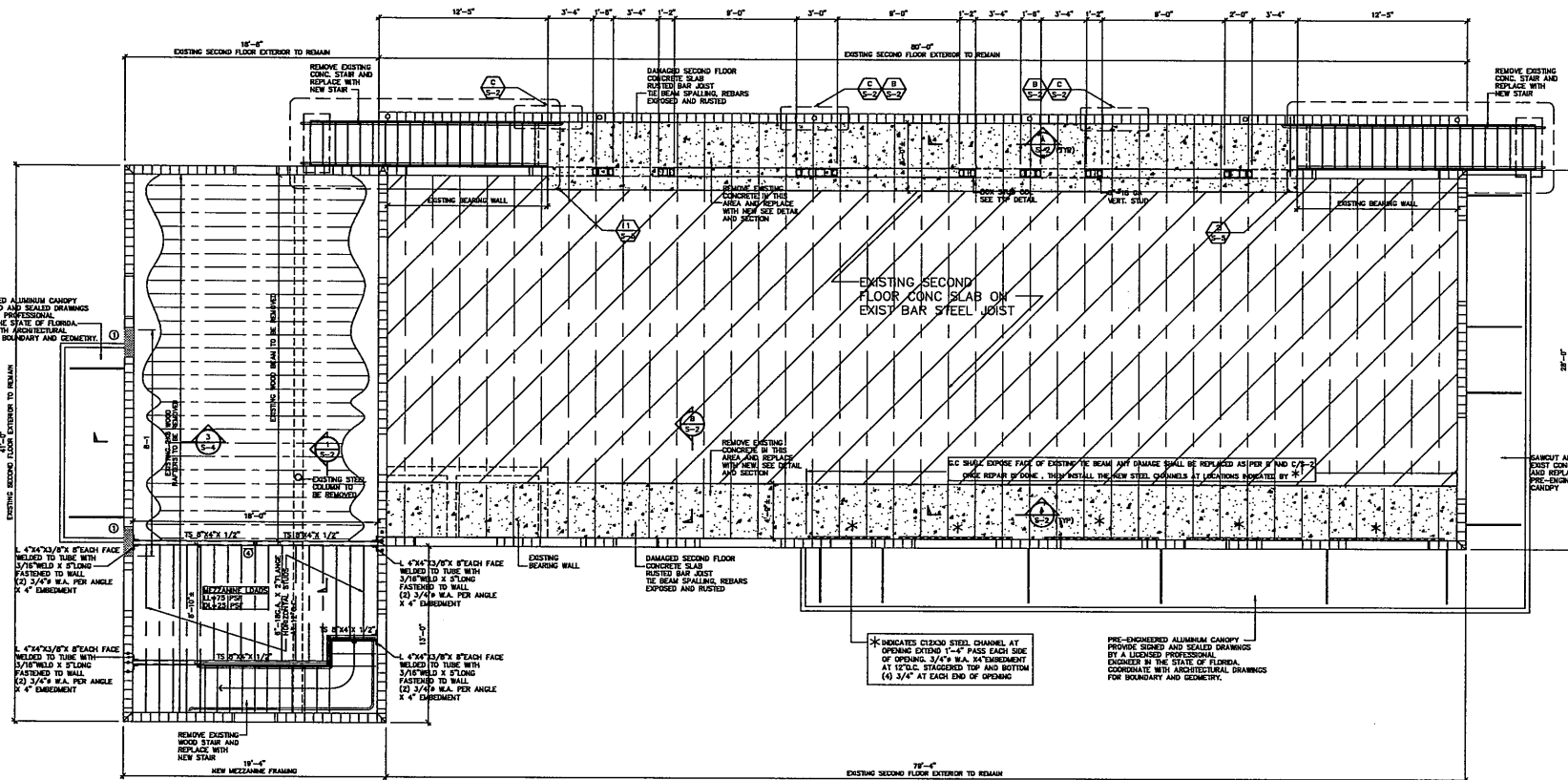
PROJECT NUMBER: 1535-180425
DRAWN BY: CAP
CHECKED BY: SEN

Copyright © by SYNALOVSKI ROMANIK SAYE
All Rights Reserved.

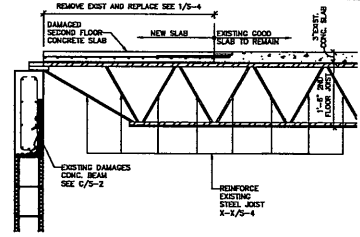
EXISTING
2ND FLOOR

SHEET NAME:

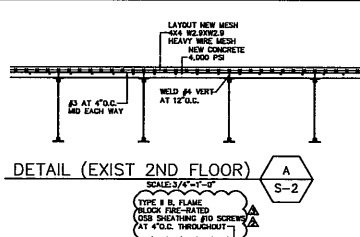
S-2



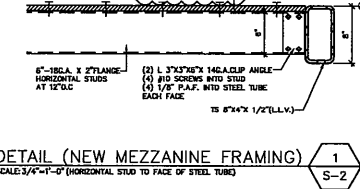
- DAMAGED CONCRETE BEAM REPAIR NOTES:**
1. CHOP EXIST DAMAGED AND SPALLED CONCRETE (CHOP UNTIL U REACH SOUND CONCRETE)
 2. EXPOSE EXISTING REBARS (ALL RUSTED REBARS AND STIRRUPS HAS TO BE EXPOSED)
 3. SAND BLAST THE REMAINING STEEL
 4. WIRE BRUSH ALL RUSTED STEEL AND CLEAN IT
 5. PROVIDE #8 HORIZONTAL REINFORCING SPACING TO EXISTING RUSTED ONE (EXTEND 2'-0" PASS RUST, WELD WITH 1/8" FROM 1/4" LONG EVERY 12")
 6. PROVIDE #8 OPEN STIRRUPS WELD TO EXISTING RUSTED ONE OVERLAP 4" MIN USE 1/8" FULLY WELD
 7. APPLY BONDING AGENT
 8. APPLY Sika ADD MIXTURE CONCRETE 5,000 PSI MIN



DETAIL S-2
SCALE: 3/4" = 1'-0"



DETAIL (EXIST 2ND FLOOR)
SCALE: 3/4" = 1'-0"



DETAIL (NEW MEZZANINE FRAMING)
SCALE: 3/4" = 1'-0" (HORIZONTAL STUD TO FACE OF STEEL TUBE)

MODIFICATION TO EXISTING 2ND FLOOR

SCALE: 1/4" = 1'-0"

1. SHORE UP EXISTING STEEL JOIST
2. CHOP CONCRETE THE BEAM AND REMOVE SPALLING CONCRETE
3. CHOP AROUND RUSTED REBARS AND PASS 12" EACH END
4. CLEAN OUT ALL DUST AND DEBRIS
5. WELD #6 HORIZONTAL TO EXIST.
6. APPLY BONDING AGENT
7. APPLY SEALANT

FOR F.B.C. 2017, 8TH EDITION
USE 7-10
V=170 MPH (ULTIMATE)
V=100 MPH (DESIGN)
EXPOSURE = C
RISK CATEGORY = II
ENCLOSURE BUILDING
CORNER
ROOF MEAN HEIGHT
Kd = 0.50
Ks = 0.50
Kt = 0.50

S.C. SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. ANY DISCREPANCY PLEASE NOTIFY ARCHITECT AND ENGINEER PRIOR TO CONTINUING.

SAAD ELIA EL-HAGE
CONSULTING ENGINEER, L.L.C.
1000 NW 11TH AVE, SUITE 1000
FORT LAUDERDALE, FL 33311
TEL: 954.463.4806
FAX: 954.463.4807
WWW.SRNAI.COM

SAAD EL-HAGE P.E. #42200
EXPIRATION OF AUTHORIZATION: 06/30/2020
J001 515-034



SYNAGOVSKI ROMANETS & SONS
Architects & Engineers, Inc.

1800 River Drive, Suite 300
Fort Lauderdale, FL 33315
T 954.861.6806
F 954.941.6807
www.srnab.com

Horizontal Symbol, A.A.
A.E. 0011683
S.E.A.

LICENSE NO. A23001863

Existing Building Renovation Plans for: BOLDEN BUILDING

1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309

CLIENT: CITY OF FORT LAUDERDALE

NO.	DATE	DESCRIPTION
1	10/31/2018	EXISTING BUILDING RENOVATION

DESIGN DELIVERABLE:
ISSUE DATE: 10/31/2018

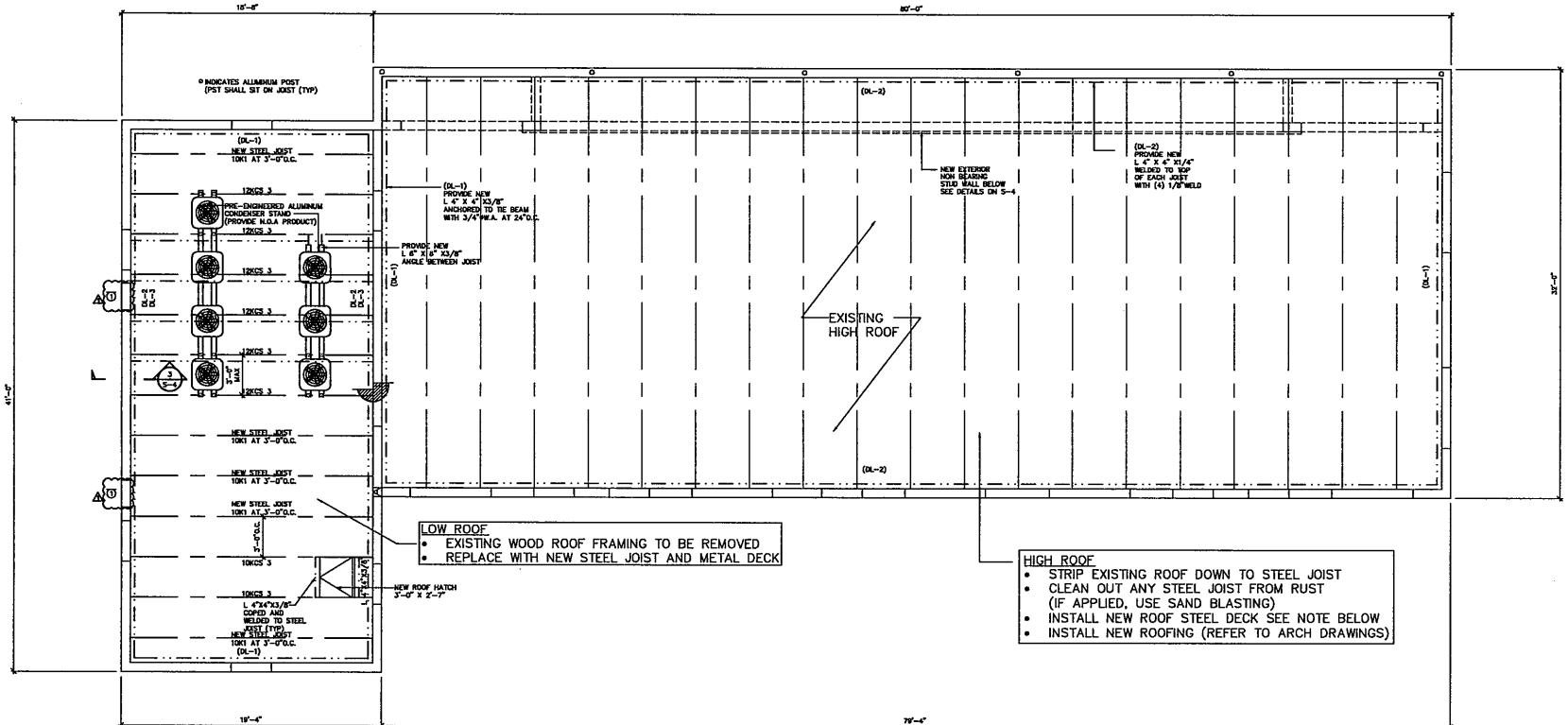
PROJECT NUMBER: 1533-180425
DRAWN BY: CAP
CHECKED BY: SMH

Copyright © by SYNAGOVSKI ROMANETS & SONS, INC.
All Rights Reserved.

EXISTING
ROOF PLAN

SHEET NUMBER:

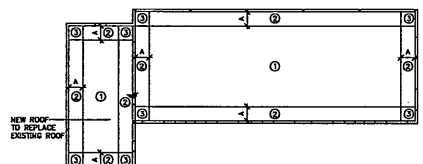
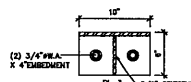
S-3



LOW ROOF
• EXISTING WOOD ROOF FRAMING TO BE REMOVED
• REPLACE WITH NEW STEEL JOIST AND METAL DECK

HIGH ROOF
• STRIP EXISTING ROOF DOWN TO STEEL JOIST
• CLEAN OUT ANY STEEL JOIST FROM RUST (IF APPLIED, USE SAND BLASTING)
• INSTALL NEW ROOF STEEL DECK SEE NOTE BELOW
• INSTALL NEW ROOFING (REFER TO ARCH DRAWINGS)

LOW ROOF
ROOF UPLIFT MEMBRANE BASED ON 10 Psf
ZONE ① PUF = 130.0 Psf
ZONE ② PUF = 130.0 Psf
ZONE ③ PUF = 130.0 Psf
NEW ROOF DECK
① 1 1/2" - 22GA, TYPE B D-90 GALVANIZED
FASTENERS
SUPPORT = 36/7 (5/8" TUBULAR WELD)
SEALAP = 10 #10 TEX SCREWS
PERMITTER = 3/8" TUBULAR WELD AT 8" O.C.
ROOF DESIGN LOADS:
-LIVE LOAD: 30 PSF
-DEAD LOAD: 30 PSF
1) DL-3 INDICATES 18" X 4" X 1/2" L.V. STEEL ANGLE PROVIDE NEW (SITS UNDER EACH STEEL JOIST SEAT)
2) DL-2 INDICATES L 4" X 4" X 1/4" ANGLE WELDED TO TOP OF STEEL JOIST WITH 4/8" X 1/4" LONG WELD (TYP)
3) DL-1 INDICATES L 4" X 4" X 3/8" X CONT. WITH 3/4" WELD AT 24" O.C. X 4" EMBEDMENT



HIGH ROOF
ROOF UPLIFT MEMBRANE BASED ON 10 Psf
ZONE ① PUF = 130.0 Psf
ZONE ② PUF = 130.0 Psf
ZONE ③ PUF = 130.0 Psf
NEW ROOF DECK
① 1 1/2" - 22GA, TYPE B D-90 GALVANIZED
FASTENERS
SUPPORT = 36/7 (5/8" TUBULAR WELD)
SEALAP = 10 #10 TEX SCREWS
PERMITTER = 3/8" TUBULAR WELD AT 8" O.C.
ROOF DESIGN LOADS:
-LIVE LOAD: 30 PSF
-DEAD LOAD: 25 PSF

MODIFICATION TO EXISTING ROOF

SCALE: 1/4" = 1'-0"

ICC SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. ANY DISCREPANCY PLEASE NOTIFY ARCHITECT AND ENGINEER PRIOR TO CONTINUING.

PER F.E.C. 2017, 6TH EDITION
ASCE 7-10
V=40 MPH (ULTIMATE)
Y=MODERATE
RISK CATEGORY=III
EXPOSED SAILING
ROOF PLENUM HEIGHT
R=MODERATE
R=MODERATE
R=MODERATE

SAAD ELIA EL-HAGE
CONSULTING ENGINEERS, INC.
1800 NW 6TH AVE, SUITE 300
FORT LAUDERDALE, FL 33311
TEL: 954.861.6806
FAX: 954.941.6807
WWW.SRNAB.COM

SAAD EL-HAGE P.E. #42520
CERTIFICATE OF AUTHORIZATION #00000801
JORG 518-034



SYNALOVSKI ROMANETS

1800 E. Bay Drive, Suite 500
Fort Lauderdale, FL 33316
754.461.6808
P 561.461.6807
www.srsinc.com

Harriet Sygalovsk, AIA
AIA 0015081
SEAL

LICENSE NO. A424001863

Existing Building Renovation Plans for: BOLDEN BUILDING

1027 NW 6TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE

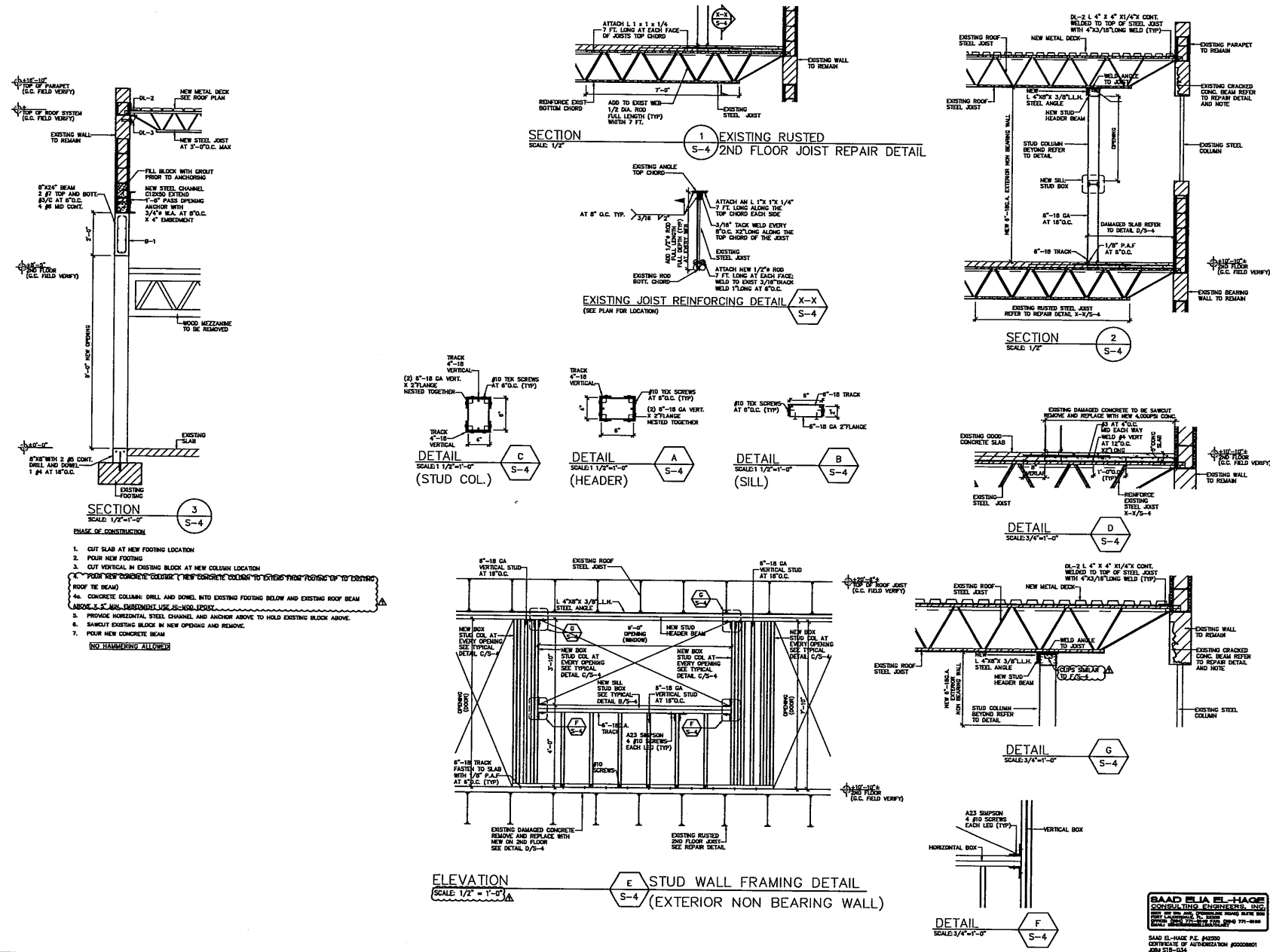
DESIGN
DELIVERABLE:
ISSUE DATE: 10/31/2018

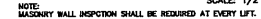
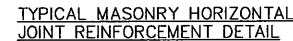
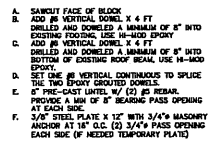
PROJECT NUMBER: 1535-180425
DRAWN BY: CAP
CHECKED BY: SEM
Copyright © by Synalovski Romanets Inc. All Rights Reserved.

DETAILS

SHEET NUMBER:

S-4





SHEET NUMBER:
S-6



SYNALOVSKI ROMANIK SAYE
Architects + Planning + Interior Design

1800 Elm Drive, Suite 500
Fort Lauderdale, FL 33314
T 954.567.4800
F 954.951.6877
www.srsnaa.com

Manuel Sursal, AIA
AA 0011029
SOP

LICENSE NO. AA2601863



EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BUILDING

1227 NW 6TH ST.
FORT LAUDERDALE, FL 33099

CLIENT: CITY OF FORT LAUDERDALE CRA

NO.	DATE	DESCRIPTION
1	10/1/2023	ISSUED FOR PERMIT
2	10/1/2023	ISSUED FOR PERMIT
3	10/1/2023	ISSUED FOR PERMIT
4	10/1/2023	ISSUED FOR PERMIT
5	10/1/2023	ISSUED FOR PERMIT
6	10/1/2023	ISSUED FOR PERMIT
7	10/1/2023	ISSUED FOR PERMIT
8	10/1/2023	ISSUED FOR PERMIT
9	10/1/2023	ISSUED FOR PERMIT
10	10/1/2023	ISSUED FOR PERMIT
11	10/1/2023	ISSUED FOR PERMIT
12	10/1/2023	ISSUED FOR PERMIT
13	10/1/2023	ISSUED FOR PERMIT
14	10/1/2023	ISSUED FOR PERMIT
15	10/1/2023	ISSUED FOR PERMIT
16	10/1/2023	ISSUED FOR PERMIT
17	10/1/2023	ISSUED FOR PERMIT
18	10/1/2023	ISSUED FOR PERMIT
19	10/1/2023	ISSUED FOR PERMIT
20	10/1/2023	ISSUED FOR PERMIT

DESIGN
DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 10/1/19

PROJECT NUMBER: 1535-180425

DRAWN BY: AG

CHECKED BY:

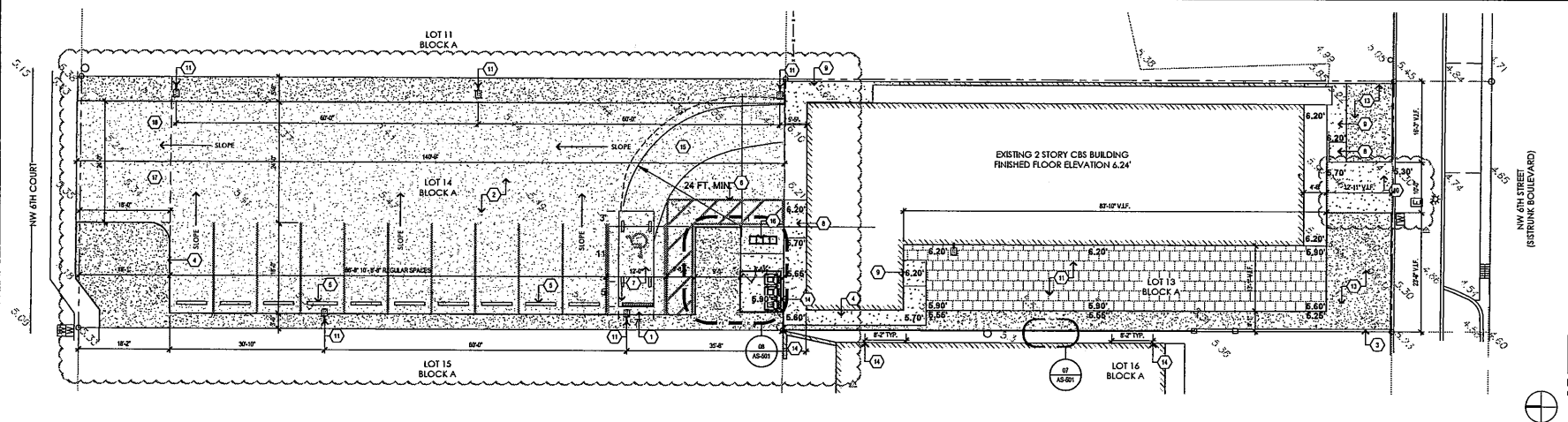
Copyright © by SYNALOVSKI ROMANIK SAYE
All Rights Reserved

DATE:

ARCHITECTURAL
SITE PLAN

REVISION:

AS-101

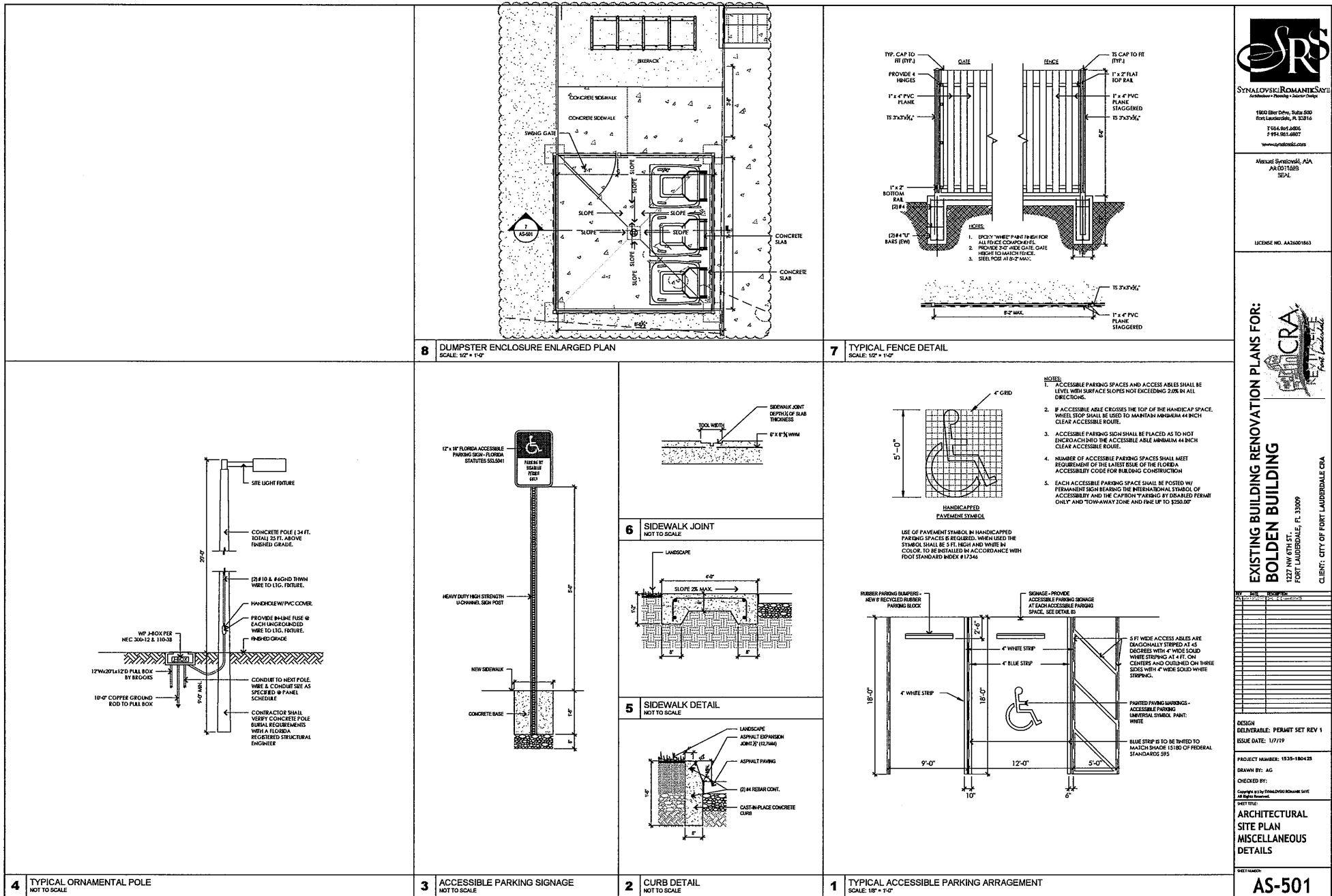


2 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'

1. PROVIDE ACCESSIBLE PARKING SIGNAGE AT EACH ACCESSIBLE PARKING SPACE. SEE DETAIL 01AS-001.
2. MILL AND REPLACE ASPHALT PAVING. PROVIDE NEW STRIPING PER PLAN.
3. NEW 12" CONCRETE CURBS - SEE DETAIL 01AS-001.
4. NEW CONCRETE SIDEWALK FLUSH WITH ASPHALT. SEE DETAIL 01AS-001.
5. RUBBER PARKING BARRIERS - NEW IF RECYCLED RUBBER PARKING BLOCK.
6. PAINTED PAVING MARKINGS. SEE DETAIL 01AS-001.
7. TYPICAL ACCESSIBLE PARKING SPACE WITH ACCESSIBLE PAVEMENT MARKINGS. SEE DETAIL 01AS-001.
8. NEW ACCESSIBLE CURB RAMP FROM NEW SIDEWALK TO EXISTING RAISED SIDEWALK. SLOPE MAX 1:12.
9. NEW ACCESSIBLE RAISED RAMP LANDINGS. SLOPE MAX 2%.
10. EXISTING TO REMAIN SIDEWALK.
11. NEW CONCRETE ORNAMENTAL POLE WITH LED LIGHT FIXTURE (6X1-FT) (INC. 3001AM) BY VISIONAIRE LIGHTING.
12. NEW CONCRETE PAVERS.
13. NEW PLANTING AREA.
14. NEW PVC FENCING - SEE DETAIL 01AS-001.

1. PROJECT 1535 BROWARD AVENUE, EFFECTIVE 10/1/19 ALL APPLICANTS TO PROVIDE CONTRACT DOCUMENTS SIGNED BETWEEN OWNER AND CONTRACTOR QUANTIFYING TOTAL VALUE OF WORK, INCLUDING MATERIALS AND LABOR, FOR WHICH THE PERMIT IS BEING ISSUED.
2. PROJECT 1535 BROWARD AVENUE, PROVIDE LEGIBLE HANDSIGNED OR INK AND/OR FLUORESCENT PROJECT APPROVAL SIGNATURE FOR THE HANDSIGNED, ACCEPTED, SIGNED AND STAMPED BY THE ARCHITECT OR ENGINEER OF RECORD CONFIRMING THAT THE COMPONENT MEETS THE DESIGN REQUIREMENTS OF THE PLANS, & REMOVAL, REPAIRS AND TO REPAIRS, & L&C CHARGE.
3. PROJECT 1535 BROWARD AVENUE, PROVIDE LEGIBLE HANDSIGNED OR INK AND/OR FLUORESCENT PROJECT APPROVAL SIGNATURE FOR THE HANDSIGNED, ACCEPTED, SIGNED AND STAMPED BY THE ARCHITECT OR ENGINEER OF RECORD CONFIRMING THAT THE COMPONENT MEETS THE DESIGN REQUIREMENTS OF THE PLANS, & REMOVAL, REPAIRS AND TO REPAIRS, & L&C CHARGE.
4. PROJECT 1535 BROWARD AVENUE, PROVIDE SEPARATE PERMIT AND SHOP DRAWINGS FOR CANOPY, SHOP DRAWINGS REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER.
5. PROJECT 1535 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PROJECT APPROVAL SIGNATURE REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE SEE THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.COM/HOMEOBSESSMENT-1535](http://www.fortlauderdale.com/homeownerscomment-1535)
6. PROJECT 1535 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PROJECT APPROVAL SIGNATURE REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE SEE THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.COM/HOMEOBSESSMENT-1535](http://www.fortlauderdale.com/homeownerscomment-1535)
7. PROJECT 1535 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PROJECT APPROVAL SIGNATURE REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE SEE THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.COM/HOMEOBSESSMENT-1535](http://www.fortlauderdale.com/homeownerscomment-1535)
8. PROJECT 1535 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PROJECT APPROVAL SIGNATURE REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE SEE THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.COM/HOMEOBSESSMENT-1535](http://www.fortlauderdale.com/homeownerscomment-1535)
9. PROJECT 1535 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PROJECT APPROVAL SIGNATURE REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE SEE THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.COM/HOMEOBSESSMENT-1535](http://www.fortlauderdale.com/homeownerscomment-1535)
10. PROJECT 1535 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PROJECT APPROVAL SIGNATURE REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE SEE THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.COM/HOMEOBSESSMENT-1535](http://www.fortlauderdale.com/homeownerscomment-1535)
11. PROJECT 1535 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PROJECT APPROVAL SIGNATURE REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE SEE THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.COM/HOMEOBSESSMENT-1535](http://www.fortlauderdale.com/homeownerscomment-1535)
12. PROJECT 1535 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PROJECT APPROVAL SIGNATURE REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE SEE THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.COM/HOMEOBSESSMENT-1535](http://www.fortlauderdale.com/homeownerscomment-1535)
13. PROJECT 1535 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PROJECT APPROVAL SIGNATURE REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE SEE THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.COM/HOMEOBSESSMENT-1535](http://www.fortlauderdale.com/homeownerscomment-1535)
14. PROJECT 1535 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PROJECT APPROVAL SIGNATURE REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE SEE THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.COM/HOMEOBSESSMENT-1535](http://www.fortlauderdale.com/homeownerscomment-1535)
15. PROJECT 1535 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PROJECT APPROVAL SIGNATURE REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE SEE THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.COM/HOMEOBSESSMENT-1535](http://www.fortlauderdale.com/homeownerscomment-1535)
16. PROJECT 1535 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PROJECT APPROVAL SIGNATURE REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE SEE THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.COM/HOMEOBSESSMENT-1535](http://www.fortlauderdale.com/homeownerscomment-1535)
17. PROJECT 1535 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PROJECT APPROVAL SIGNATURE REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE SEE THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.COM/HOMEOBSESSMENT-1535](http://www.fortlauderdale.com/homeownerscomment-1535)
18. PROJECT 1535 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PROJECT APPROVAL SIGNATURE REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE SEE THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.COM/HOMEOBSESSMENT-1535](http://www.fortlauderdale.com/homeownerscomment-1535)
19. PROJECT 1535 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PROJECT APPROVAL SIGNATURE REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE SEE THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.COM/HOMEOBSESSMENT-1535](http://www.fortlauderdale.com/homeownerscomment-1535)
20. PROJECT 1535 BROWARD AVENUE, SEPARATE ROOFING PERMIT REQUIRED WITH PROJECT APPROVAL SIGNATURE REVIEWED, ACCEPTED AND SIGNED OFF BY ENGINEER. PLEASE SEE THE FOLLOWING WEBSITE TO OBTAIN ROOF APPLICATION PACKAGE: [HTTP://WWW.FORTLAUDERDALE.COM/HOMEOBSESSMENT-1535](http://www.fortlauderdale.com/homeownerscomment-1535)

1 ARCHITECTURAL SITE PLAN NOTES



EXISTING BUILDING RENOVATION PLANS FOR:
BOI DEN BUILDING



CLIENT: CITY OF FORT LAUDERDALE CRA

[illegible]

DESIGN
DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 1/7/19

PROJECT NUMBER: 1533-1B0425
DRAWN BY: AG

CHECKED BY:

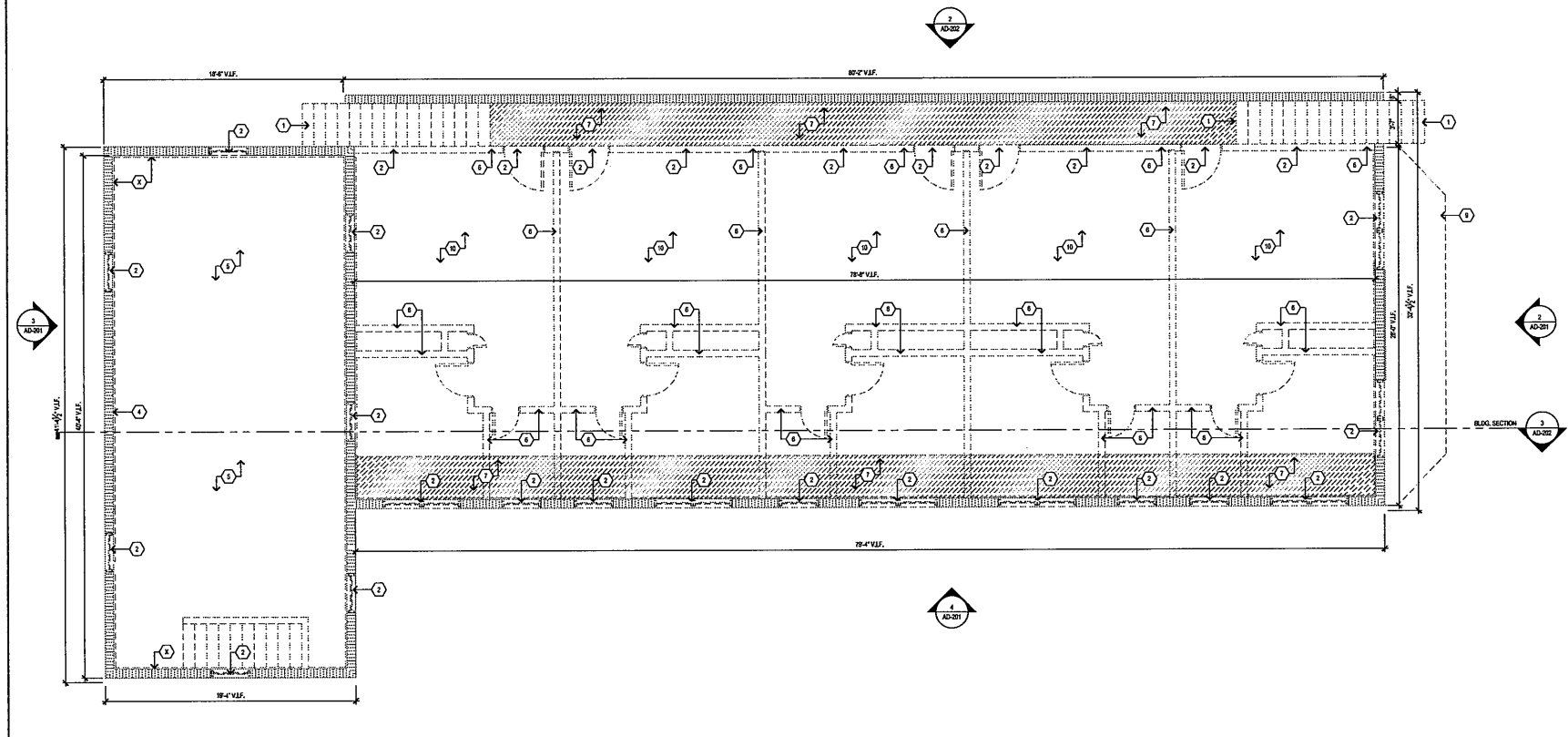
Copyright (c) by SYNGOLONGXO BONGAME SAYE

2-EXT TITLE:

SECOND FLOOR DEMOLITION PLAN

SHEET NUMBER:

AD-102



2	EXISTING 2ND LEVEL FLOOR PLAN
----------	--------------------------------------

SCALE: 1/4" = 1'-0"

- [illegible]

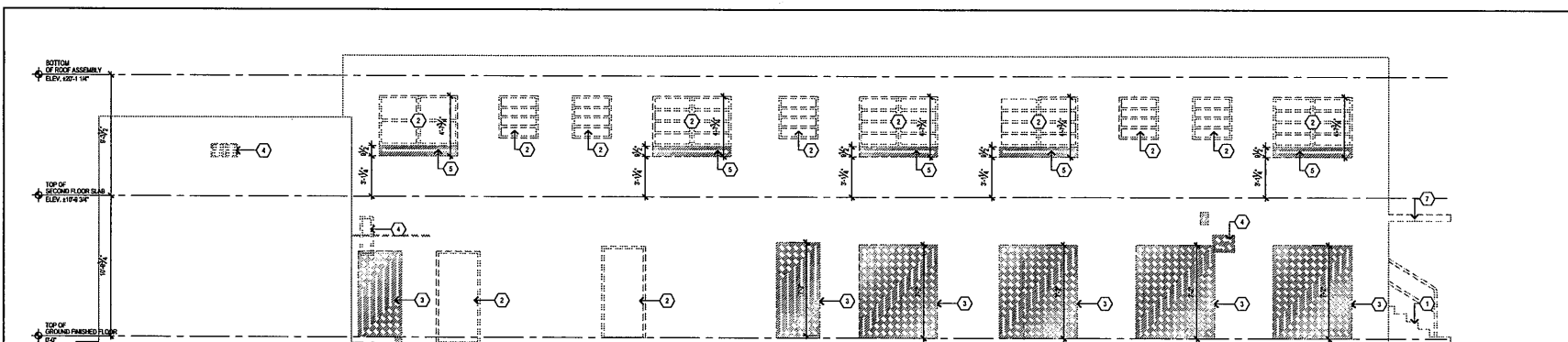
1 DEMOLITION NOTES AND FLOOR PLAN KEYNOTE LEGEND

- _____

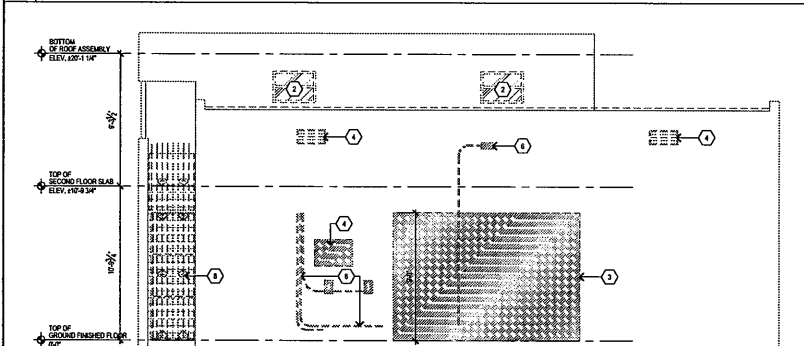
- [illegible]

DEMOLITION NOTES:

- 1 EXISTING CONCRETE STAIRS TO CEILING FLOOR STAIRS TO BE DEMOLISHED.
- 2 REMOVE AND DISPOSE ALL EXISTING STAIRWALKERS, DOORS AND WINDOWS. PROTECT BUILDING FROM INTRUSION AT ALL TIMES.
- 3 HOW OPENINGS AT EXISTING GABLEHEAD WALLS. MAINTAIN STRUCTURAL INTEGRITY AT ALL TIMES.
- 4 REMOVE AND DISPOSE EXISTING ROOFING MATERIALS. FOLLOW STRUCTURAL RECOMMENDATIONS SEE STRUCTURAL PLANS FOR DETAILS.
- 5 REMOVE AND DISPOSE INTERIOR WALL FINISHES AND FRAMING. PRESERVE WALL FOR NEW FINISH.
- 6 REMOVE AND DISPOSE EXISTING MEZZANINE WOOD AND STEEL STRUCTURE AND STAIRS.
- 7 REMOVE EXISTING WALL PARTITION.
- 8 PARTIAL FLOOR SLAB TO BE DEMOLISHED.
- 9 REMOVE AND DISPOSE EXISTING PLUMBING FIXTURES.
- 10 CONCRETE ELEVATOR TO BE DEMOLISHED.
- 11 REMOVE ALL EXISTING FLOOR FINISHES, INTERIOR PARTITIONS, FURNITURE, CABINETS, CEILING FINISHES, ACCESS INTERIOR EQUIPMENT, MECHANICALS AND PLUMBING EQUIPMENT, AND ELECTRICAL WIRING.



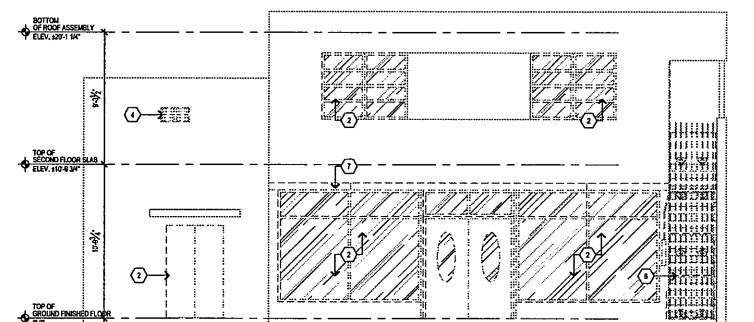
4 EXISTING BUILDING WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING BUILDING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

- [illegible]

1	DEMOLITION NOTES AND FLOOR PLAN KEYNOTE LEGEND
---	--



2 EXISTING BUILDING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:

- 1 EXISTING CONCRETE STEELING TO REMOVE FLOOR MUST BE DEMOLISHED.
- 2 REMOVE AND DISPOSE ALL EXISTING STRUCTURE'S, DOORS AND WINDOWS. PROTECT BUILDING FROM INTERIOR AT ALL TIMES.
- 3 NEW OPENINGS AT EXISTING CHAM BRICKING WALL. MAINTAIN STRUCTURAL STABILITY OF WALL AT ALL TIMES. FOLLOW STRUCTURAL RECOMMENDATIONS SET FOR SPECIAL PLANS FOR DETAILS.
- 4 EXISTING OPENING TO BE CLOSED AS PER WALL TYPE.
- 5 ENLARGED OPENING FOR NEW WINDOW SIZE AT CHAM WALL. FINAL OPENING SIZE WILL BE DETERMINED BY WINDOW SUBMITTAL AND SHOP DRAWINGS.
- 6 REMOVE AND DISPOSE EXISTING ELECTRICAL BOXES AND CONDUITS.
- 7 CONCRETE EXTERIOR TO BE DEMOLISHED.
- 8 REMOVE AND DISPOSE ALL EXISTING STEEL DECK. PROTECT BUILDING FROM INTERIOR AT ALL TIMES.



1800 Eller Drive, Suite 500
Fort Lauderdale, FL 33316
T 954.961.8806
F 954.961.6807
www.cultracut.com

Manuel Sison, Jr., AIA
AR 001628
SEA

LICENSE NO. AA26001863

**EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BUILDING**



CLIENT: CITY OF FORT LAUDERDALE CRA

[illegible]

DESIGN
DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 1/2/19

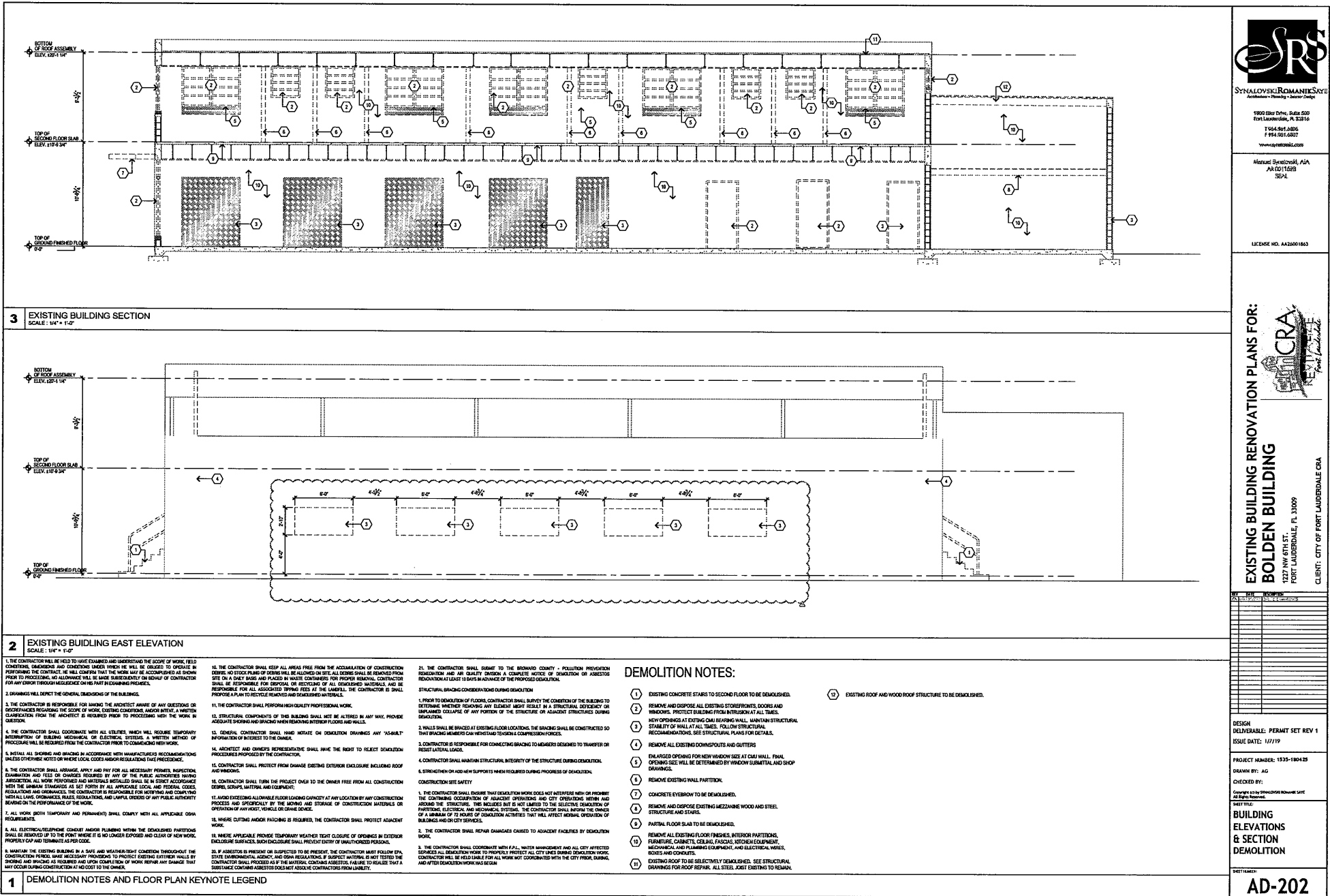
PROJECT NUMBER: 1535-180425

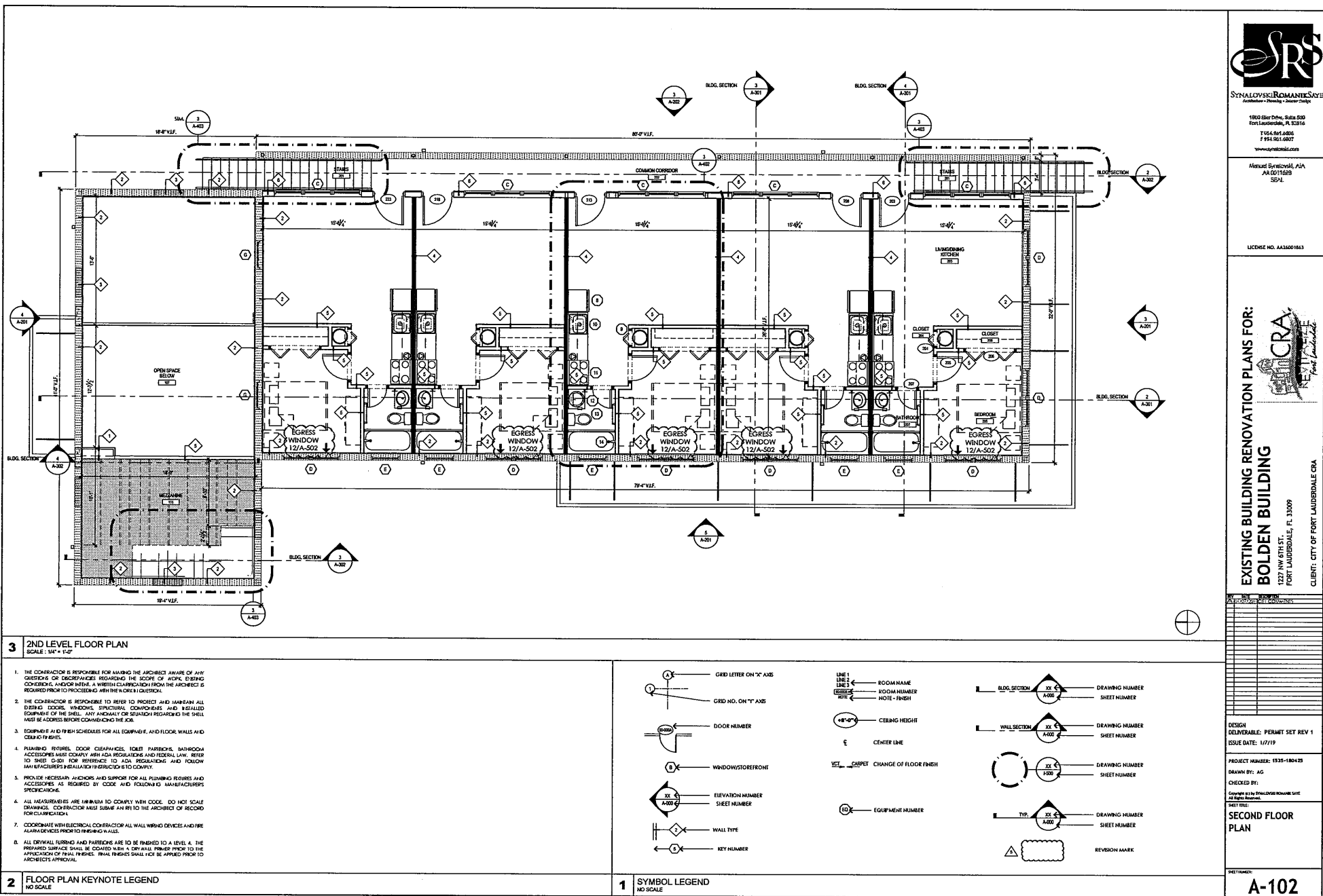
CHECKED BY:

**BUILDING
ELEVATIONS
DEMOLITION**

24011000:

AD-201





NO.	BY	DATE	DESCRIPTION
1	AG	1/7/19	PERMIT SET
2	AG	1/7/19	REVISION
3	AG	1/7/19	REVISION
4	AG	1/7/19	REVISION
5	AG	1/7/19	REVISION
6	AG	1/7/19	REVISION
7	AG	1/7/19	REVISION
8	AG	1/7/19	REVISION
9	AG	1/7/19	REVISION
10	AG	1/7/19	REVISION

DESIGN
DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 1/7/19

PROJECT NUMBER: 1325-1804-25

DRAWN BY: AG

CHECKED BY:

Copyright © 2019 by SRS Architects. All Rights Reserved.

2ND FLOOR PLAN

1/7/19

1/7/19

1/7/19

1/7/19

1/7/19

1/7/19

1/7/19

1/7/19

1/7/19

1/7/19

1/7/19

1/7/19



SYNALOVSKI ROMANIKS & SONS
Architectural • Planning • Interior Design

1900 Elder Drive, Suite 500
Fort Lauderdale, FL 33316
T 954.961.4886
F 954.961.4887
www.srsinc.com

Manuel Sencovich, AIA
AIA 0011628
S24

LICENSE NO. AA2601863



EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BUILDING
1037 NW 17th St.
FORT LAUDERDALE, FL 33309

CLIENT: CITY OF FORT LAUDERDALE, FLA

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	01/17/19
2	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
3	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
4	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
5	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
6	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
7	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
8	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
9	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
10	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
11	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
12	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
13	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
14	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
15	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
16	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
17	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
18	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
19	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
20	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
21	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
22	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
23	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
24	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
25	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
26	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
27	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
28	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
29	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
30	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
31	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
32	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
33	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
34	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
35	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
36	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
37	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
38	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
39	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
40	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
41	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
42	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
43	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
44	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
45	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
46	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
47	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
48	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
49	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
50	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
51	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
52	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
53	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
54	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
55	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
56	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
57	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
58	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
59	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
60	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
61	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
62	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
63	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
64	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
65	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
66	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
67	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
68	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
69	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
70	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
71	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
72	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
73	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
74	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
75	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
76	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
77	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
78	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
79	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
80	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
81	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
82	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
83	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
84	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
85	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
86	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
87	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
88	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
89	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
90	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
91	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
92	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
93	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
94	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
95	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
96	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
97	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
98	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
99	REVISED PER CITY OF FORT LAUDERDALE	01/17/19
100	REVISED PER CITY OF FORT LAUDERDALE	01/17/19

DESIGN
DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 1/17/19

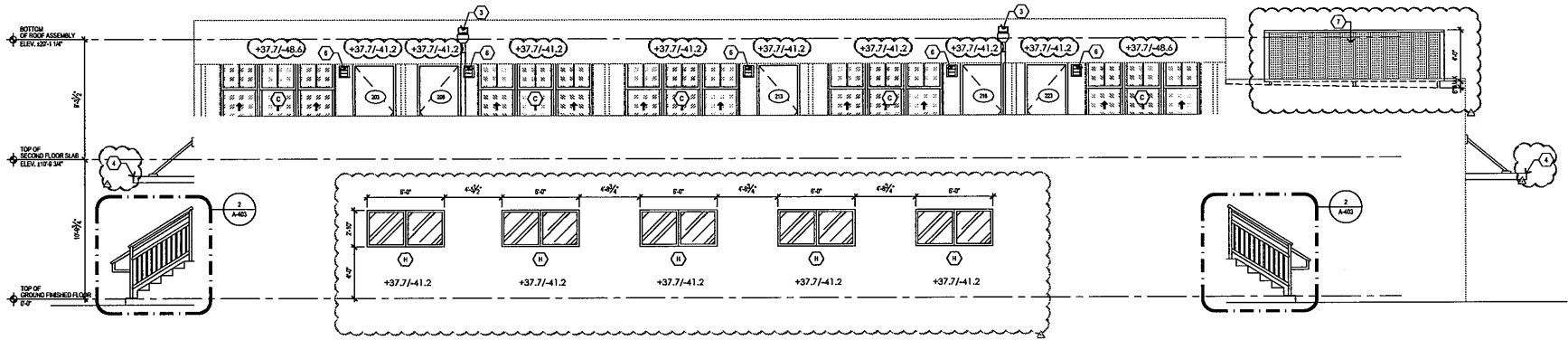
PROJECT NUMBER: 15-35-180435
DRAWN BY: AG
CHECKED BY:

Coverage is by SYNALOVSKI ROMANIKS & SONS
All Rights Reserved.

SHEET TITLE:
**BUILDING
ELEVATIONS**

SHEET NAME:

A-202



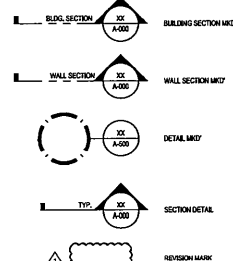
4 BUILDING NORTH ELEVATION SCALE: 1/4" = 1'-0"

- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ANY WORK NECESSARY TO COMPLETE THE PROPER INSTALLATION OF EXTERIOR FINISHES AND WINDOWS.
- ALL EXTERIOR WINDOWS AND STOREFRONTS SHALL BE GLASS IMPACT RESISTANT, SUBMIT AN AMERICAN SOCIETY OF TESTS (ASTM) APPROVED.
- ALL EXTERIOR WINDOWS THAT HAVE STOREFRONTS MUST BE SEALED WITH AN APPROVED EXTERIOR GRADE SEALANT APPLIED PER MANUFACTURER'S RECOMMENDATION.
- IN THE DESIGN WIND SPEED SHALL BE 120 MPH (150 MPH) AS PER FORT LAUDERDALE AND HONOLULU DESIGN WIND SPEEDS AS DETERMINED IN ACCORDANCE WITH SECTION 1603.1.
- RISK CATEGORY FROM TABLE 1603.1 OR TABLE 1603.2 OF ASCE 7.
- WIND EXPOSURE - WHERE MORE THAN ONE WIND EXPOSURE IS UTILIZED, THE WIND EXPOSURE AND APPLICABLE WIND DIRECTION SHALL BE INDICATED.
- THE APPLICABLE EXPOSURE CLASSIFICATION AND THE INTERNAL PRESSURE COEFFICIENT (IF DESIGNATED WITH ASCE 7).
- COMPONENTS AND CLADDING - THE DESIGN WIND PRESSURE IN TERMS OF PSF (MM) TO BE USED FOR THE SELECTION OF EXTERIOR COMPONENT CLADDING MATERIALS NOT SPECIFICALLY DESIGNATED BY THE REGISTERED DESIGN PROFESSIONAL.
- WHEN WINDOW BLOCK (INCLUDES STAGNANT) 1" PRESSURE TREATED BACKLASH THIN 1-1/2 INCH THICK GLASS WINDOW ATTACHMENT WILL REQUIRE FASTENED PENETRATION THROUGH THE BLOCK AND INTO THE SUBSTRATE AS RECOMMENDED BY THE MANUFACTURER.
- WHEN WINDOW BLOCK 1-1/2 INCH THICK OR THICKER IS USED, THE BLOCK MUST BE ATTACHED IN A MANNER THAT TRANSFERS THE LOAD DIRECTLY TO THE SUBSTRATE. WINDOWS MUST BE ATTACHED TO THE BLOCK.
- THE WINDOW BLOCK MUST EXTEND BEYOND THE INTERIOR LIP OF THE WINDOW, UNLESS OTHERWISE TESTED.
- WINDOW AND DOOR ASSEMBLIES SHALL BE ANCHORED IN ACCORDANCE WITH THE PUBLISHED MANUFACTURER'S RECOMMENDATIONS TO ACHIEVE THE DESIGN PRESSURE SPECIFIED.
- WHEN WINDOW AND DOOR ASSEMBLIES ARE FASTENED TOGETHER, WALLS SHALL DEMONSTRATE (ANALOGOUS ACCEPTED ENGINEERING PRACTICE OR TEST REPORTS)

- TRANSFER OF THE LOAD TO THE SUBSTRATE, GENERALLY OPENING, THE MEANS THAT SHALL BE USED TO ANCHOR TO THE SUBSTRATE AT EACH END AS WELL AS CALCULATIONS AND TEST REPORTS SUBSTANTIATING THIS.
- THE MAX. HEIGHT OF FILING GLASS DOORS MAY NOT EXCEED 36 INCH ABOVE THE EXTERIOR FINISHED FLOOR FOR RESIDENTIAL APPLICATIONS AND 48 INCH FOR COMMERCIAL APPLICATIONS. HOWEVER, FOR EXTERIOR DOORS SERVING ELEVATOR SHAFTS, THERE SHALL BE NO LIMITS TO THE HEIGHT REQUIRED TO PASS THE WATER RESISTANCE TEST OF AN AMERICAN INSTITUTE OF STANDARDS OR AS PER FOR WIND.
- FLUSHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MEANS OF MORE OF THE FOLLOWING:
- IN ACCORDANCE WITH PANAMA 101, PANAMA 102, OR PANAMA 103.
- THE FILING MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
- IN ACCORDANCE WITH THE FILING METHOD OF A REGISTERED DESIGN PROFESSIONAL.
- THE PENETRATION MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
- ALL EXTERIOR GLASS (PG SOLAR) SHALL BE SOLAR FILM OR CLEAR - ACT 10 30% OR 10% TINTED 1/16 INCH THICK GLASS MUST COMPLY WITH FBC 2017 CHAPTER 24.
- GLASS IN FIXED OR OPERABLE PANELS ADJACENT TO OR WITHIN 48" FROM EDGE OF DOOR OR WHERE BOTTOM EDGE OF GLASS IS LESS THAN 48" ABOVE FLOOR SHALL BE SAFETY GLASS CAT. II LITE GLASS THIN 5/8 OR CAT. II IF MORE THAN 48" PER 2017 IBC 24.2.
- GLASS IN FIXED OR OPERABLE PANELS SHALL BE SAFETY GLASS CAT. II PER 2017 IBC 24.2. GLASS IN THE FOLLOWING CONDITIONS APPLY GLASSING PANELS EXCEED 48" BOTTOM EDGE LESS THAN 48" ABOVE FLOOR, TOP EDGE GREATER THAN 36" EXCEPT FOR A PROTECTIVE BAR 1/2" IN HEIGHT & 1/2" IN LENGTH OF WITHSTANDING A MORE LIGHT OF APPLY IS LOCATED ON THE ACCESSIBLE SIDE 36" TO 48" ABOVE FLOOR.

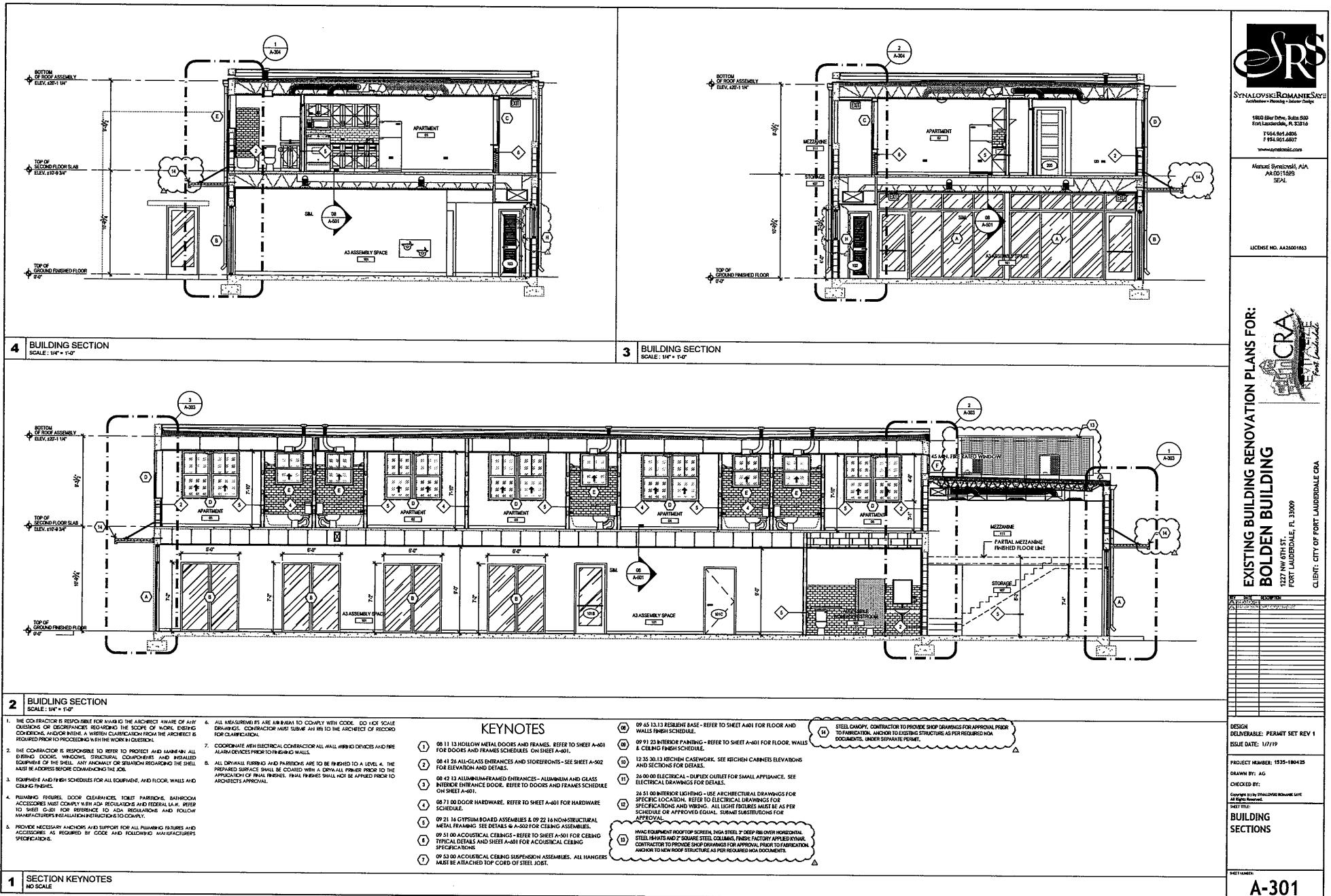
3 BUILDING SOUTH ELEVATION SCALE: 1/4" = 1'-0"

- EXISTING OPENING CLOSED AS PER WALL TYPE
- RAIN GUTTER - SEE TYPICAL DETAIL 7A-003
- SCUPPER - SEE TYPICAL DETAIL 3A-003
- STEEL CANOPY - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. ANCHOR TO EXISTING STRUCTURE AS PER REQUIRED HOA DOCUMENTS. UNDER SEPARATE PERMIT.
- WIND EQUIPMENT - SEE MECH. DRAWINGS FOR DETAILS
- WALL SCOOPE
- WIND EQUIPMENT ROOFTOP VENT, 18" DIA. STEEL 1" DEEP RISE OVER HORIZONTAL STEEL 18" DIA. AND 2" SQUARE STEEL COLUMN. FINISH FACTORY APPLIED FINISH. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. ANCHOR TO NEW ROOF STRUCTURE AS PER REQUIRED HOA DOCUMENTS.
- GLASSING IN FIXED OR OPERABLE PANELS SHALL BE SAFETY GLASS CAT. II PER 2017 IBC 24.2. GLASS IN THE FOLLOWING CONDITIONS APPLY GLASSING PANELS EXCEED 48" BOTTOM EDGE LESS THAN 48" ABOVE FLOOR, TOP EDGE GREATER THAN 36" EXCEPT FOR A PROTECTIVE BAR 1/2" IN HEIGHT & 1/2" IN LENGTH OF WITHSTANDING A MORE LIGHT OF APPLY IS LOCATED ON THE ACCESSIBLE SIDE 36" TO 48" ABOVE FLOOR.



2 RENOVATION PLAN KEYNOTE LEGEND NO SCALE

1 SYMBOL LEGEND NO SCALE



1800 Elmer Drive, Suite 500
Fort Lauderdale, FL 33316
T 954.561.6800
F 954.561.6807
www.srsinc.com

MAKING SYNOPSIS, P.C.A.
A-601-1559
SEAL

LICENSE NO. AA32001863



**EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BUILDING**
1227 NW 8TH ST.
FORT LAUDERDALE, FL 33009
CLIENT: CITY OF FORT LAUDERDALE CRA

NO.	DATE	DESCRIPTION
1	01/17/19	ISSUE DATE: 1/17/19
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		

DESIGN DELIVERABLE: PERMIT SET REV 1
ISSUE DATE: 1/17/19

PROJECT NUMBER: 1535-180425

DRAWN BY: AG

CHECKED BY:

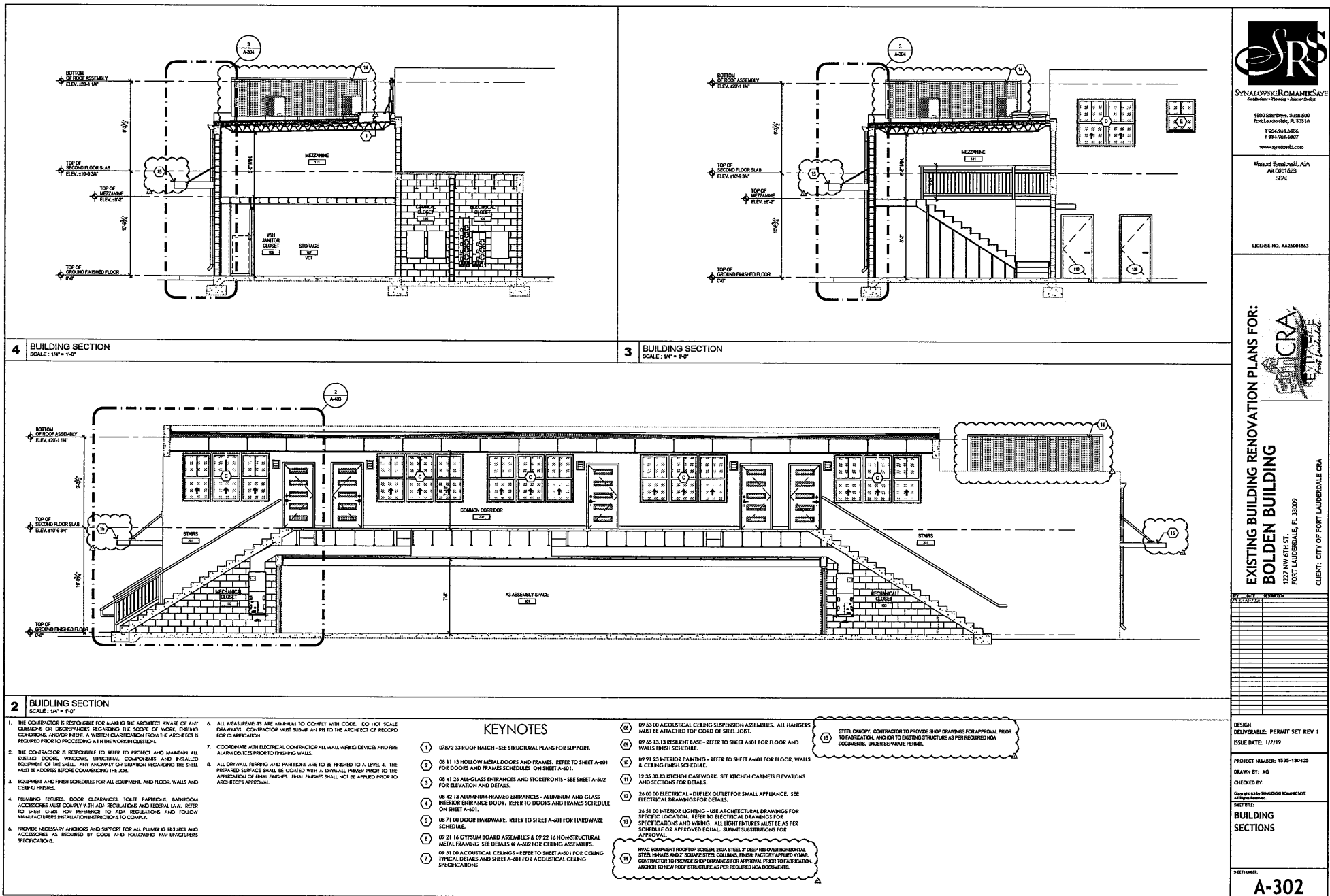
Copyright © by SYNALOWSKI ROMANICKI & SONS, INC. All Rights Reserved.

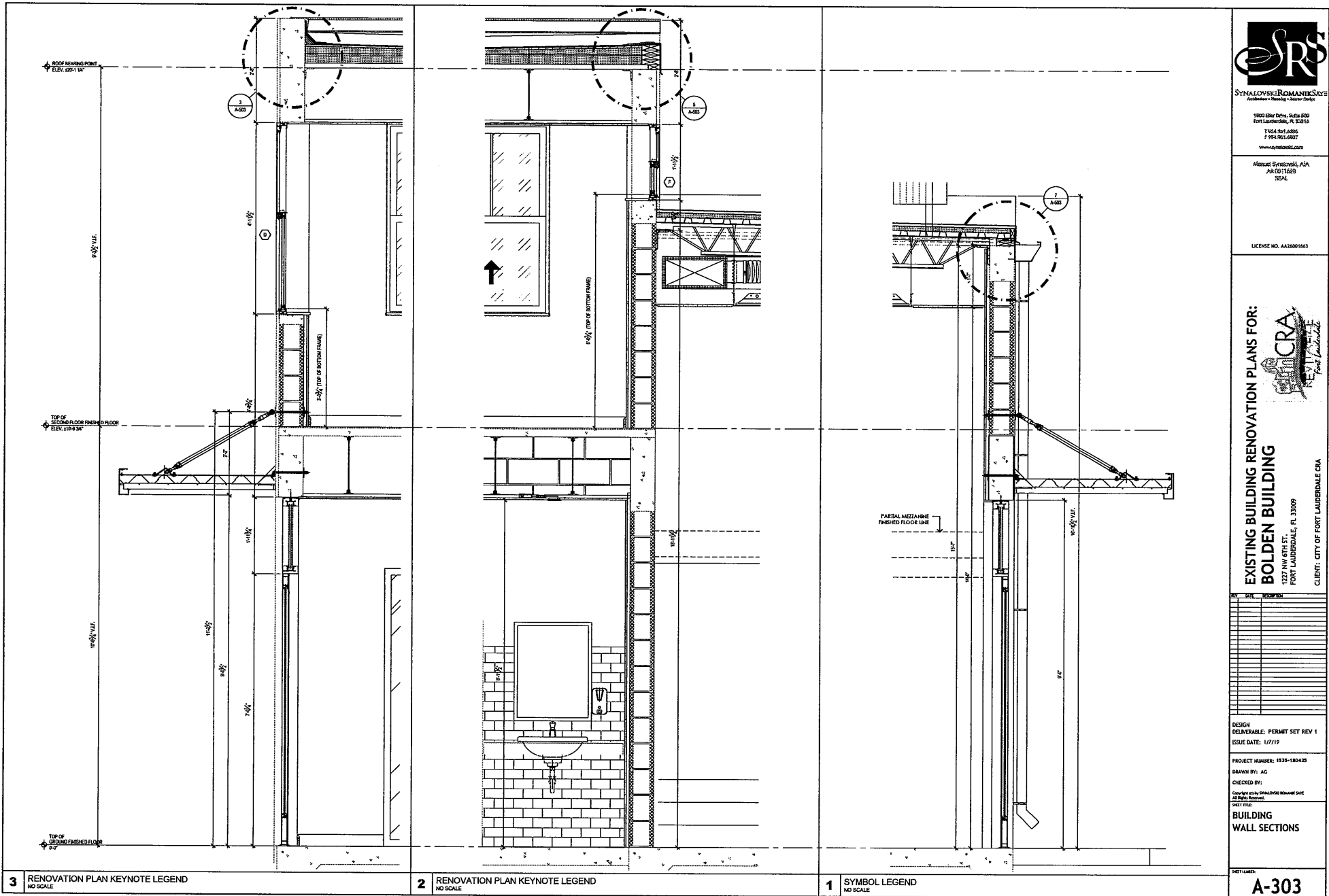
NO. 1701

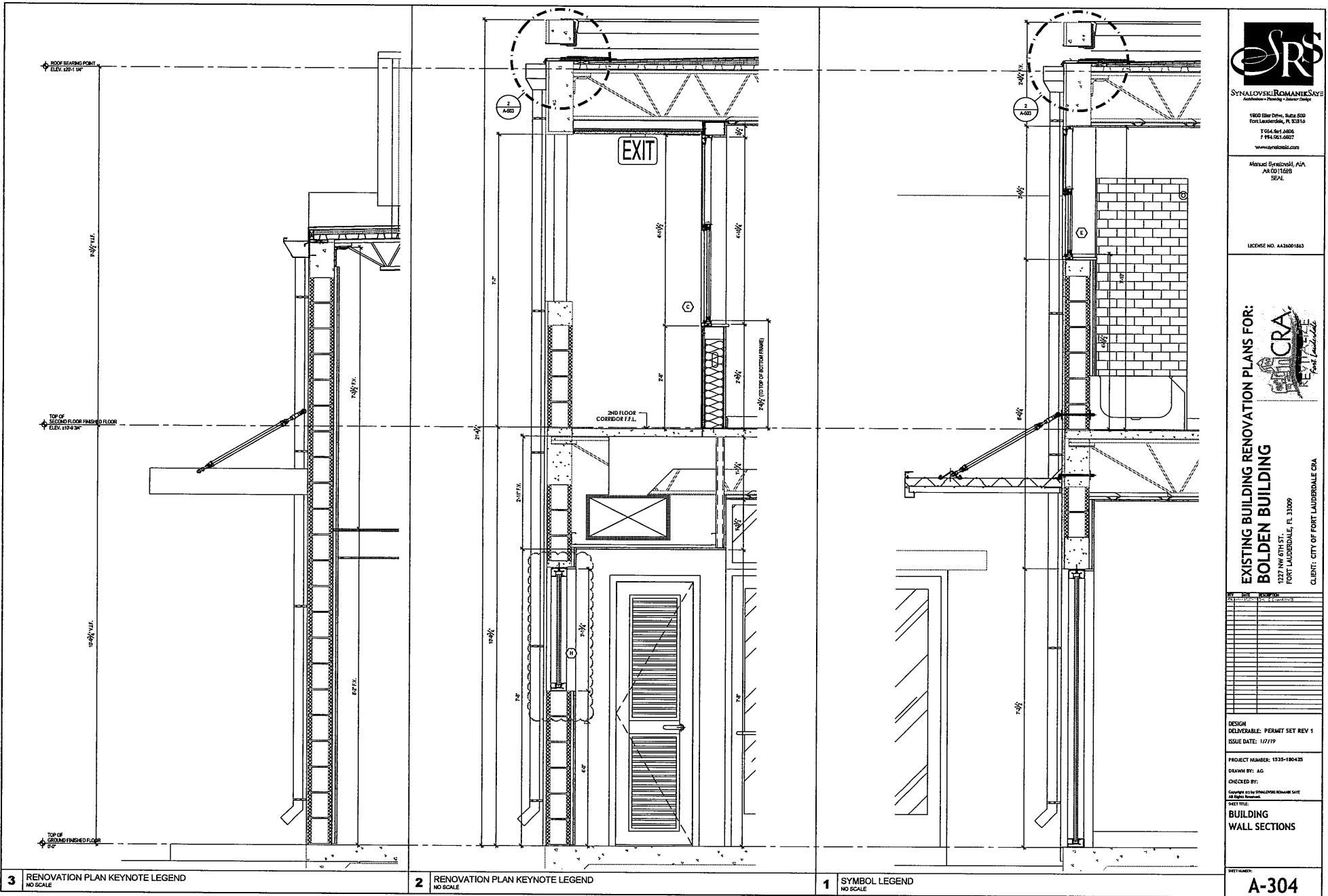
BUILDING SECTIONS

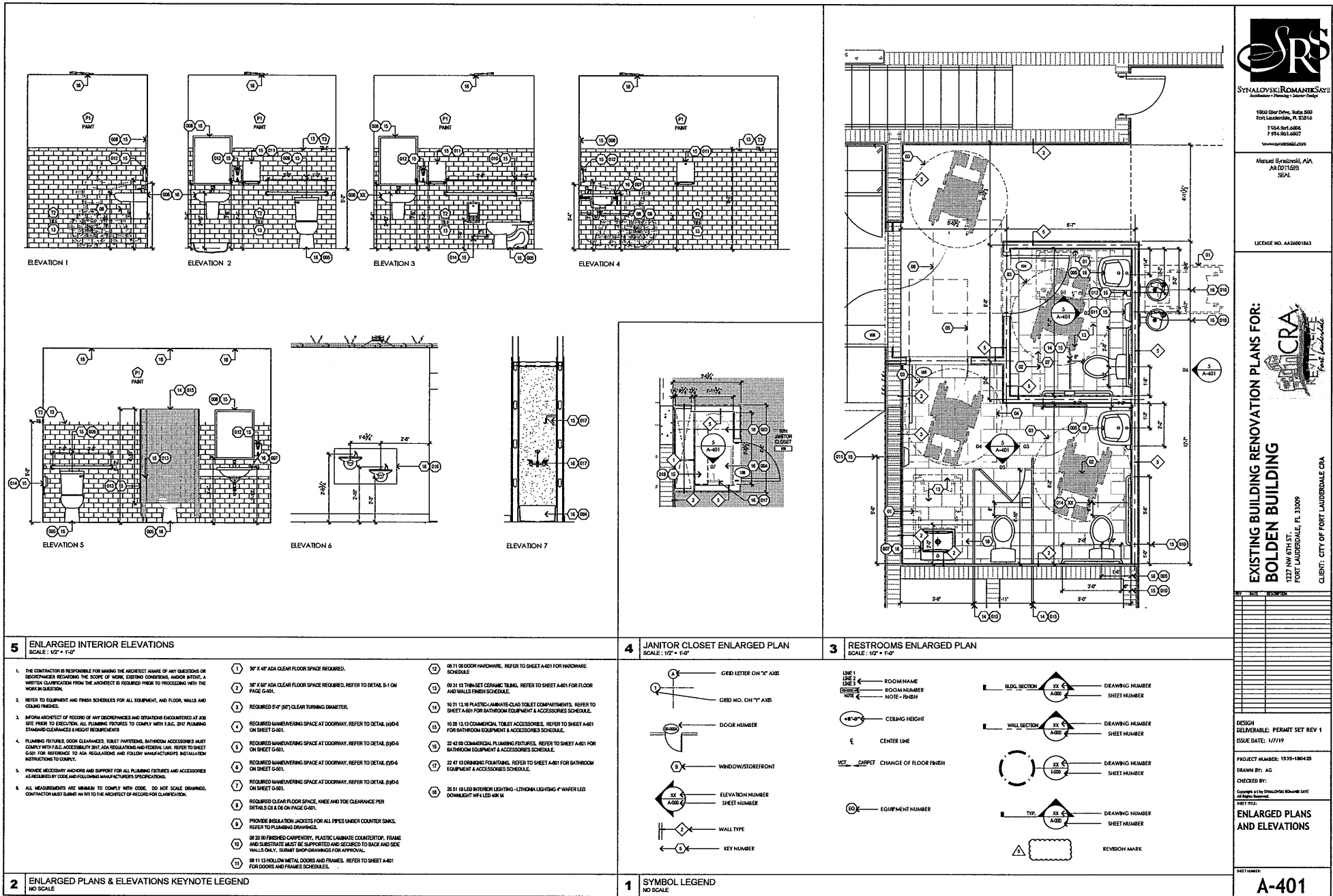
SHEET NUMBER:

A-301









REV	DATE	DESCRIPTION

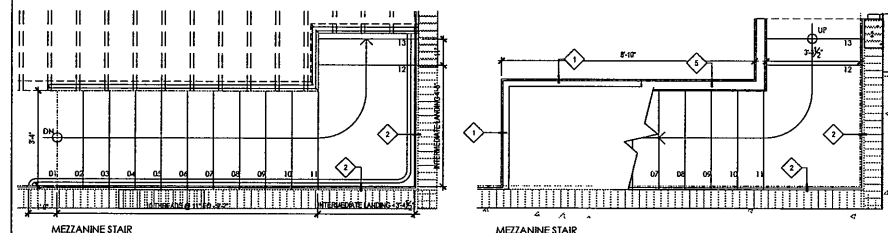
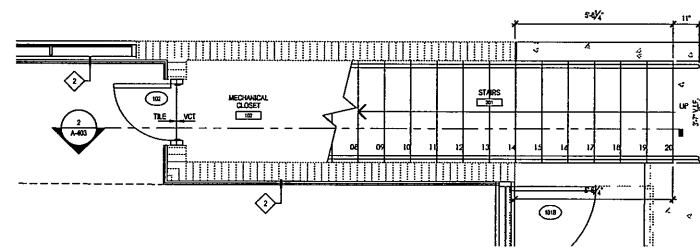
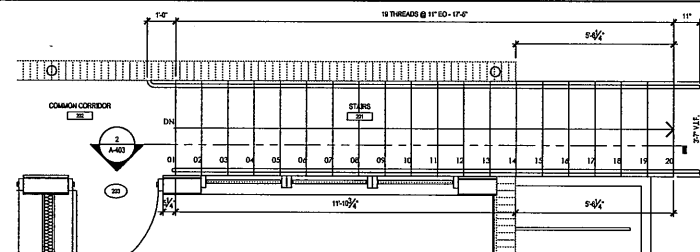
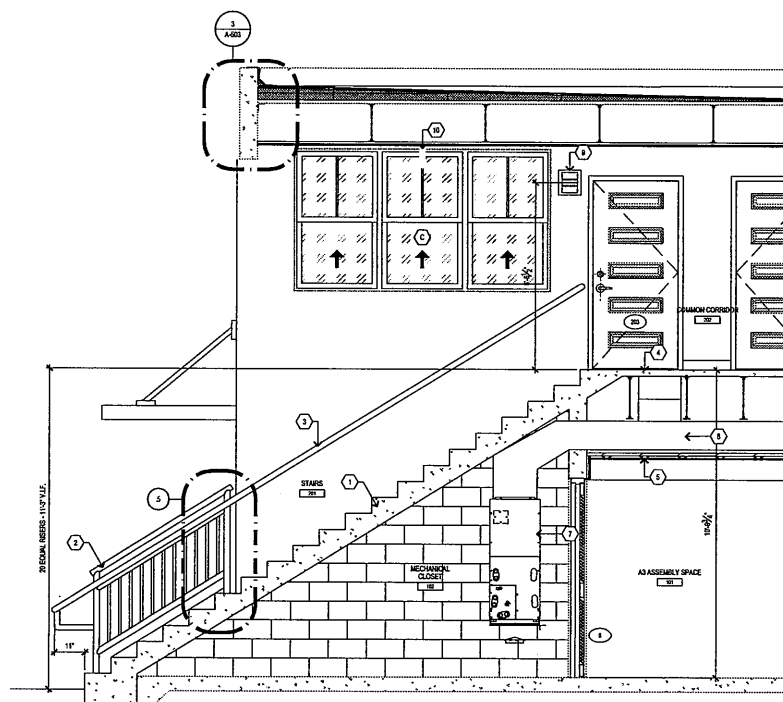
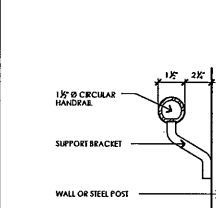
DESIGN
SCHEDULE: PERMIT SET REV 1
ISSUE DATE: 1/7/19

PROJECT NUMBER: 1335-180425
DRAWN BY: AG
CHECKED BY:

Copyright © 1997 by SYNALOVSKY ROMANIKS
All Rights Reserved

**ENLARGED PLANS
AND ELEVATIONS**

SHEET TITLE:
A-401



3	STAIRS ENLARGED PLAN
---	----------------------

- | | | | |
|-----|--|----|--|
| 1. | BOTH STAIRS ARE TO BE REINFORCED. SEE STRUCTURAL PLANS FOR DETAILS. | 1 | NEW REINFORCED CONCRETE STAIRS. SEE STRUCTURAL PLANS FOR DETAILS. |
| 2. | INSTALL HANDRAILS ON BOTH SIDES OF EACH STAIRWAY AND STAIR COMPLY WITH SECTION 10-04.0. | 2 | ALUMINUM HANDRAIL. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION. |
| 3. | ALL DRILLING TO BE 1/2" DIA. STEEL W/PIPED H/RAIL. PROVIDE 2" CLEAR SPACE BETWEEN RAILING AND H/RAIL W/IN 10'-0". | 3 | NEW ALUMINUM HANDRAIL. SEE DETAIL 9-01 FOR ADDITIONAL SUPPORT. |
| 4. | CONTRACTOR SHALL FIELD VERGE STAIR LAYOUT PRIOR TO FABRICATION OF CHAIRS. | 4 | STAIR TOP LANDING. SEE SHEET A-010 FOR CORRIDOR FLOOR FINISH. |
| 5. | STAIR RISE HEIGHT SHALL BE 7 INCHES MAXIMUM AND 6 INCHES MINIMUM. THE RISE HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN THE HORIZONTALS OF ADJACENT TREADS. REACHING RAIL TREAD DEPTH SHALL BE 11 INCHES MINIMUM MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANS OF THE FORWARD PROJECTION OF ADJACENT RISES AND AT A RIGHT ANGLE TO THE TREADS. CONTRACTOR SHALL FIELD STAIRS AND RESSER SHALL BE OF UNIFORM SIZE AND SHAPE. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISE HEIGHT OR BETWEEN THE LARGEST AND SMALLEST TREAD DEPTH SHALL NOT EXCEED 3/8" (9.5 MM) IN ANY ONE OF THE TWO FEET OF STAIRS. THE SMALLEST RISE HEIGHT SHALL BE AT THE WALKWAY AND THE FEET OF STAIRS SHALL NOT EXCEED THE MAXIMUM BY MORE THAN 3/8" (9.5 MM). | 5 | INTERIOR CEILING ANCHORS. SEE RCP AND SHEET A-050 FOR DETAILS. |
| 6. | ALL HANDRAILS TO BE COMFORTABLY CROSSABLE THROUGH ITS ENTIRETY, AND SHALL TERMINATE AT WALLS AT ALL ENDS. | 6 | FLAT LOUVERED CURT. SEE SCHEDULE D AT A-011 |
| 7. | ALL STAIRS TO STAIRS TO HAVE A SLOPE RISE OF 1 IN 8. | 7 | NEW H/W EQUIPMENT. SEE MECHANICAL DRAWINGS FOR DETAILS AND SPECIFICATIONS. |
| 8. | TOP OF ALL HANDRAILS TO BE LOCATED BETWEEN 3'-6" TO 4'-0" ABOVE STAIR WORKING. | 8 | NEW AC DUCTWORK. SEE MECHANICAL DRAWINGS FOR DETAILS AND SPECIFICATIONS. |
| 9. | ALL APPROVED SHOP DRAWINGS SHALL BE FORWARDED TO THE ARCHITECT FOR REVIEW. | 9 | WALL SOUNES. SEE ELECTRICAL DRAWINGS FOR DETAILS. |
| 10. | PROT. STAIRS SHALL BE PROTECTED FROM DAMAGE, INCLUDING THE MECHANICAL EQUIPMENT, DURING CONSTRUCTION WITH SECTION 10-04. | 10 | EXIST. RAIL. SEE ELECTRICAL DRAWINGS FOR DETAILS. |



1800 Elder Drive, Suite 500
Frost Lauderdale, FL 33316
T 954.961.6806
F 954.961.6807
www.ccsinc.com

Manual Synchro II, AIA
AR 00:1629
SEA

LICENSE NO. AA26001863

EXISTING BUILDING RENOVATION PLANS FOR:
BO DEN RIJN DING

EMCRA
NEXT STEP
Fast Lane®

CLIENT: CITY OF FORT LAUDERDALE CRA

[illegible]

PROJECT NUMBER: 1535-180425

DRAWN BY: AG

CHECKED BY:

**STAIRS
ENLARGED PLAN
AND SECTION**

Sheet Name: A-403



WINDOW SCHEDULE									
MARK	W	H	TYPE	MATL	GLZ	NOTES			
A	6'-0"	7'-2"	STOREFRONT	ALUM	IMPACT RESISTANCE				
B	12'-8"	9'-0"	STOREFRONT	ALUM	IMPACT RESISTANCE				
C	9'-0"	5'-0"	SINGLE HING	ALUM	IMPACT RESISTANCE				
D	6'-0"	5'-0"	SINGLE HING	ALUM	IMPACT RESISTANCE				
E	6'-0"	5'-0"	SINGLE HING	ALUM	IMPACT RESISTANCE				
F	3'-0"	3'-6"	SINGLE HING	ALUM	IMPACT RESISTANCE				
G	3'-0"	2'-0"	SINGLE HING	ALUM	IMPACT RESISTANCE				
H	6'-2"	3'-4"	STOREFRONT	ALUM	IMPACT RESISTANCE				

WINDOW NOTES

- CONTRACTOR SHALL COORDINATE NEW WINDOWS WITH EXISTING WINDOW OPENINGS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY WORK NECESSARY TO REPAIR ANY DAMAGED WALL FINISH AROUND WINDOWS.

5 WINDOW SCHEDULE

FINISH SCHEDULE									
MARK	ROOM NAME	FLOOR	BASE	WALL	CEILING	NOTES			
101	ASSEMBLY SPACE								
102	MECHANICAL CLOSET								
103	MECHANICAL CLOSET								
104	ACCESSIBLE MEN'S RESTROOM								
105	ACCESSIBLE WOMEN'S RESTROOM								
106	WARNING KITCHEN								
107	STORAGE								
108	JANITOR CLOSET								
109	ELECTRICAL CLOSET					EXPOSED			
110	COMMUNICATION CLOSET					EXPOSED			
111	MEZZANINE					EXPOSED			
201	STAIRS					EXPOSED			
202	COMMON CORRIDOR					EXPOSED			
203	TYP. APT. LIVING/DINING/KITCHEN								
204	TYP. APT. CLOSET								
205	TYP. APT. BEDROOM								
206	TYP. APT. CLOSET								
207	TYP. APT. BATHROOM								

FINISH MATERIALS SCHEDULE

			DESCRIPTION			
CODE	MATERIAL	MANUFACTURER	PRODUCT	COLOR	DIMENSION	
AC-1	ACOUSTIC CEILING	USG	RADAR LAY-IN	COLOR: FLAT WHITE	24" X 48" X 1"	
AC-2	PVC CEILING PANEL	GENESIS	LAY-IN	COLOR: FLAT WHITE	24" X 48" X 3/4"	
SUS-1	SUSPENSION SYSTEM	DOHN	SDXSDXAL CEILING SUSPENSION SYSTEM	FLAT WHITE		
PF-1	POURCELAN TILE	BY OWNER	MODEL PENDING	COLOR PENDING	18" X 18"	
PF-2	POURCELAN TILE	LIFECOF	POURCELAN FLOOR TILE	SHADOW WOOD	6" X 24"	
PC-1	PAINTED CONCRETE	SHERWIN WILLIAMS	PENDING	COLOR PENDING	PENDING	
LV-1	LUXURY VINYL	TRAFACMASTER	ALLURE	SHADE OAK	6" X 36"	
VCF-1	VINYL TILE	ARMSTRONG	STANDARD CYCLOPS	SPR15 IMPERIAL TEXTURE	12" X 12"	
PVC	PVC BASE/TRIM	ROYAL MOLDINGS	COMPOSITE WHITE COLONIAL BASE MOLDING	WHITE	3/2" HIGH	
RWB-1	WALL BASE	MANNING	VINYL WALL BASE "C" COVERED	901 - NIGHT BLACK	4"	
P-1	PAINT	SHERWIN WILLIAMS	PRIMER: SW PRIMAR 200 ZERO VOC	PRIMER		
P-2	PAINT	SHERWIN WILLIAMS	PRIMER: SW PRIMAR 200 ZERO VOC	PRIMER		
P-3	PAINT	SHERWIN WILLIAMS	PRIMER: SW PRIMAR 200 ZERO VOC	PRIMER		
EDPT	ENOCK DOWN PLASTER TEXTURE					
CH-1	CERAMIC TILE		SURWAY CERAMIC TILE	WHITE	3" X 6"	
CH-2	CERAMIC TILE		SURWAY CERAMIC TILE	WHITE	3" X 6"	
					4"	

FINISH PLAN NOTES

- GENERAL CONTRACTOR SHALL FLASH PATCH AND PREPARE ALL FLOORS AS REQUIRED TO RECEIVE SPECIFIED FLOORING MATERIAL.
- CONTRACTOR SHALL INSPECT THE SUB-FLOOR FOR TO CORRECTION OF WORK. THEY SHALL NOTIFY THE ARCHITECT AND/OR THE OWNER'S REPRESENTATIVE IN WRITING OF ANY CONDITIONS WHICH WILL PRESENT THEM FROM PROVIDING SATISFACTORY FINISH WORK.
- FLOORS MUST BE FREE OF DUST, OIL AND ALL FOREIGN MATTER. FINISHING MUST BE COMPLETED TO A FINISH OF 80% TO 100% PRIOR TO INSTALLATION OF FLOOR FINISHES. CRACKS 1/4" OR MORE, HOLES, AND OTHER UNDESIRABLES MUST BE FILLED WITH A LAYER BASE FLOOR FILLER. NEW SPOTS MUST BE LEVELLED. FLOOR MUST BE SWEPT CLEAN, WET MOIST WITH WARM WATER AND SWEPT AGAIN IF SWEEPING LEAVES A RESIDUE, FLOORS SHALL BE VACUUMED.
- GENERAL CONTRACTOR SHALL INSTALL WALL BASE AS INDICATED ON THE FINISH SCHEDULE.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL WALLS REPAIRING DAMAGES, IN ADDITION TO ANY FLOOR LEVELING AS MAY BE REQUIRED FOR SMOOTH TRANSITION AT ALL FLOORING MATERIAL TRANSITION POINTS. INSTALL ALUMINUM THRESHOLDS AT ALL ENTRY AND EXITS AND AT DOORS FROM AND TO MAIN, EXTERIOR, CORRIDORS AND LOBBIES. THRESHOLD SHALL ADDRESS ANY CHANGES IN LEVEL UP TO 3/4".
- WHERE WARD SURFACE FLOORING IS SPECIFIED, GC SHALL BE RESPONSIBLE FOR PROVIDING PATCHING MATERIALS AS REQUIRED AND AS RECOMMENDED BY SUPPLIER, FOR A CLEAN, LEVEL SURFACE.
- FLOOR COVERING IN STORAGE AREAS SHALL BE AS INDICATED IN THE FINISH SCHEDULE.
- GENERAL CONTRACTOR TO PROVIDE PRE-REPAIRING PATCHING FOR BLINDS ON EXTERIOR DRIVING THROUGHOUT.
- PAINTING OF ANY SURFACES NOT SPECIFICALLY MENTIONED TO BE PAINTED THROUGHOUT OR ON DRINKING, BUT FOR WHICH PAINTING IS OBVIOUSLY NECESSARY TO COMPLETE THE PROJECT OR WORK WHICH COMES WITHIN THE SCOPE OF THESE SPECIFICATIONS, SHALL BE INCLUDED IN THROUGH SPECIFIED AND INCLUDED IN SCOPE OF WORK OF CONTRACTOR WITHOUT EXCEPTIONS.
- ALL WALLS SHALL BE PROPERLY PREPARED (SPACKLED, Sanded) BEFORE PAINTING AND/OR FINISHING. ALL SURFACES SHALL BE PROPERLY PREPARED AND FINISHED IN ACCORDANCE WITH THE FINISH SCHEDULE.
- ALL PAINTS SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS FOR THE PARTICULAR SURFACE.

3 FINISH MATERIAL SCHEDULE

HARDWARE SCHEDULE

HARDWARE SCHEDULE									
MARK	ROOM NAME	W	H	TYPE	MATL	GLZ	NOTES		
101	ASSEMBLY SPACE	3'-0"	7'-2"	STOREFRONT	ALUM	IMPACT RESISTANCE			
102	MECHANICAL CLOSET								
103	MECHANICAL CLOSET								
104	ACCESSIBLE MEN'S RESTROOM								
105	ACCESSIBLE WOMEN'S RESTROOM								
106	WARNING KITCHEN								
107	STORAGE								
108	JANITOR CLOSET								
109	ELECTRICAL CLOSET						EXPOSED		
110	COMMUNICATION CLOSET						EXPOSED		
111	MEZZANINE						EXPOSED		
201	STAIRS						EXPOSED		
202	COMMON CORRIDOR						EXPOSED		
203	TYP. APT. LIVING/DINING/KITCHEN								
204	TYP. APT. CLOSET								
205	TYP. APT. BEDROOM								
206	TYP. APT. CLOSET								
207	TYP. APT. BATHROOM								

HARDWARE GROUP NO. 1 - ENTRANCE DOOR

Provide hardware as per door manufacturers. PROVIDE FIRE RESISTANT HARDWARE COMPLYING WITH NFPA 101 12.2.2.2 - EQUAL OR SIMILAR TO VON DUPRE 72 series fire door.

HARDWARE GROUP NO. 2 - ENTRANCE

Provide each SGL door(s) with the following:

3	EA	HINGE	3081 4.5 X 4.5 NRP	452	IVE
1	EA	STOREROOM LOCK	ND1080 TLE	426	SCH
1	EA	SURFACE CLOSER	489P	426	SCH
1	EA	DEP. CAP	16A 40"	CL	NCP
1	EA	SEALS	170KA 1/36" X 1/4"	CL	NCP
1	EA	DOOR SWEP	101 VA 36"	CL	NCP
1	EA	THRESHOLD	950V 36"	AL	NCP

Operational Description: - INSIDE LEVER ALWAYS OPEN.

HARDWARE GROUP NO. 3 - INTERIOR CLOSET

Provide each SGL door(s) with the following:

3	EA	HINGE	3081 4.5 X 4.5 NRP	452	IVE
1	EA	STOREROOM LOCK	ND1080 TLE	426	SCH
1	EA	WALL STOP	W5404/407CVX	432	IVE

Operational Description: - INSIDE LEVER ALWAYS OPEN.

HARDWARE GROUP NO. 4 - BATHROOM

Provide each SGL door(s) with the following:

3	EA	HINGE	3081 4.5 X 4.5 NRP	452	IVE
2	EA	STUNNAT RM	ND1010 BT	426	SCH
1	EA	DEAD BOLT W/ INDICATOR	8571	426	SCH
1	EA	WALL STOP	W5404/407CVX	432	IVE
1	EA	SELENER	SR44	426	IVE
1	EA	PROTECTION PLATE	8400 NVA-1-A	432	IVE

Operational Description: - INSIDE LEVER ALWAYS OPEN.

HARDWARE GROUP NO. 5 - BATHROOM NO LATCH

Provide each SGL door(s) with the following:

3	EA	HINGE	3081 4.5 X 4.5 NRP	452	IVE
1	EA	FURN PLATE	8300	432	IVE
1	EA	FULL PLATE	8305	432	IVE
1	EA	SELENER	SR44	426	IVE
1	EA	SURFACE CLOSER	489P SCUSH	426	SCH
1	EA	WALL STOP	W5404/407CVX	432	IVE

HARDWARE GROUP NO. 6 - DOUBLE ACTING DOOR

Provide each SGL door(s) with the following:

2	EA	PIVOTS	REGENCY COMMERCIAL HARDWARE	ALUMIN	REG
---	----	--------	-----------------------------	--------	-----

HARDWARE GROUP NO. 7 - EXTERIOR STOREROOM

Provide each SGL door(s) with the following:

3	EA	HINGE	3081 4.5 X 4.5 NRP	452	IVE
1	EA	STOREROOM LOCK	ND1080 TLE	426	SCH
1	EA	SELENER	SR44	426	IVE
1	EA	DEP. CAP	16A 40"	CL	NCP
1	EA	SEALS	170KA 1/36" X 1/4"	CL	NCP

Operational Description: - INSIDE LEVER ALWAYS OPEN.

HARDWARE GROUP NO. 8 - APARTMENT ENTRANCE DOOR

Provide each SGL door(s) with the following:

3	EA	HINGE	3081 4.5 X 4.5 NRP	452	IVE
1	EA	PASSAGE LOCK	ND1010 BT	426	SCH
1	EA	ONE WAY ANGLE VIEWER	8205	426	SCH
1	EA	DEAD BOLT	840	426	SCH
1	EA	SEALS	170KA 1/36" X 1/4"	CL	NCP
1	EA	WALL STOP	W5404/407CVX	432	IVE
1	EA	DOOR SWEP	101 VA 36"	CL	NCP

Operational Description: - BOTH LEVERS ALWAYS OPEN.

HARDWARE GROUP NO. 9 - APARTMENT EXTERIOR CLOSET DOOR

Provide each SGL door(s) with the following:

3	EA	HINGE	3081 4.5 X 4.5 NRP	452	IVE
1	EA	STOREROOM LOCK	ND1080 TLE	426	SCH
1	EA	SELENER	SR44	426	IVE
1	EA	DEP. CAP	16A 40"	CL	NCP
1	EA	SEALS	170KA 1/36" X 1/4"	CL	NCP

Operational Description: - INSIDE LEVER ALWAYS OPEN.

HARDWARE GROUP NO. 10 - APARTMENT 72" SGL DOOR

Provide each SGL door(s) with the following:

3	EA	HINGE	3081 4.5 X 4.5 NRP	452	IVE
1	EA	FRYVACY LOCK	ND405 TLE	426	SCH
1	EA	WALL STOP	W5404/407CVX	432	IVE

Provide hardware as per door manufacturers. MUST INCLUDE DOUBLE FISH BARS INSIDE AND NO LATCH - DOUBLE KEY DEAD BOLT CHIST DURING NOW OPERATING HOURS.


DOOR AND FRAME SCHEDULE

MARK	ROOM NAME	W	H	TYPE	MATL	GLZ	NOTES		
101A	ASSEMBLY SPACE	3'-0"	7'-2"	STOREFRONT	ALUM	IMPACT RESISTANCE			
101B	ASSEMBLY SPACE	3'-0"	7'-2"	STOREFRONT	ALUM	IMPACT RESISTANCE			
101C	ASSEMBLY SPACE	3'-0"	7'-2"	STOREFRONT	ALUM	IMPACT RESISTANCE			
101D	ASSEMBLY SPACE	3'-0"	7'-2"	STOREFRONT	ALUM	IMPACT RESISTANCE			
102	MECHANICAL CLOSET	3'-0"	7'-2"	STOREFRONT	ALUM	IMPACT RESISTANCE			
103	MECHANICAL CLOSET	3'-0"	7'-2"	STOREFRONT	ALUM	IMPACT RESISTANCE			
104	MEN'S RESTROOM	3'-0"	7'-2"	STOREFRONT	ALUM	IMPACT RESISTANCE			
105	WOMEN'S RESTROOM	3'-0"	7'-2"	STOREFRONT	ALUM	IMPACT RESISTANCE			
106	WARNING KITCHEN	3'-0"	7'-2"	STOREFRONT	ALUM	IMPACT RESISTANCE			
107	STORAGE	3'-0"	7'-2"	STOREFRONT	ALUM	IMPACT RESISTANCE			
108	STORAGE	3'-0"	7'-2"	STOREFRONT	ALUM	IMPACT RESISTANCE			
109	JANITOR CLOSET	3'-0"	7'-2"	STOREFRONT	ALUM	IMPACT RESISTANCE			
110	ELECTRICAL CLOSET	3'-0"	7'-2"	STOREFRONT	ALUM	IMPACT RESISTANCE			
111	COMMUNICATION CLOSET	3'-0"	7'-2"	STOREFRONT	ALUM	IMPACT RESISTANCE			
201	APT TYP. ENTRANCE	3'-0"	6'-0"	STOREFRONT	ALUM	IMPACT RESISTANCE			
202	APT TYP. BEDROOM	3'-0"	6'-0"	STOREFRONT	ALUM	IMPACT RESISTANCE			
203	APT TYP. CLOSET	3'-0"	6'-0"	STOREFRONT	ALUM	IMPACT RESISTANCE			
204	APT TYP. CLOSET	3'-0"	6'-0"	STOREFRONT	ALUM	IMPACT RESISTANCE			
205	APT TYP. BATHROOM	3'-0"	6'-0"	STOREFRONT	ALUM	IMPACT RESISTANCE			

DOOR NOTES

- CONTRACTOR SHALL COORDINATE INTERIOR DOOR FRAMES WITH PARTITION THICKNESS. ALL DOORS TO BE FINISH WITH SURROUNDING DRY WALL.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ANY AND ALL NECESSARY TO COMPLETE THE PROPER INSTALLATION OF DOORS, FRAMES, AND HARDWARE.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO ORDERING. PURCHASED, APPROVED, APPROVED, APPROVED.
- PROVIDE A RETAIL NEW H/W HARDWARE AS ALL INTERIOR DOORS, COORDINATE WITH OWNER.
- ALL EXTERIOR DOORS SHALL COMPLY WITH NFPA 101 7.2.1.1, F.B.C. (201) SECTION 1008.8 F.B.C. 11-4.1.3(7), 11-4.1.3.9 AND 11-4.1.3.10.
- ALL EXTERIOR DOORS HARDWARE SHALL COMPLY WITH NFPA 101 7.2.2.2.2.
- ALL HARDWARE TO BE BELIEVED HARDWARE "EQUAL OR SIMILAR TO" (APPROVED EQUAL) AND TO COMPLY WITH F.B.C. 11-4.1.3.10.
- REVIEW SCHEDULE PROVIDE MASTER KEY FOR ALL DOORS.
- PROVIDE DOOR TOPS THROUGHOUT. SEE HARDWARE SCHEDULE.
- INSTALL BATHROOM SCHEDULE PER ADA STANDARDS (SEE DETAILS E1-C-05 AND A1-C-05/01).

2 HARDWARE SCHEDULE



1800 Elm Drive, Suite 200
Tomball, Texas, TX 77375
TEL: 281.461.1800
F: 281.461.1807
www.srsinc.com

Asst. Sec. of State
JAN 2015
SEAL

LICENSE NO. AA3001863

EXISTING BUILDING RENOVATION PLANS FOR:
BOLDEN BUILDING
1037 NW STREET
PORT LAUDERDALE, FL 33009

CLIENT: CITY OF PORT LAUDERDALE, FLA

DESIGN DELIVERABLE: PERMIT SET KEY 1
ISSUE DATE: 1/17/19

DRAWN BY: AG
CHECKED BY: AG
CREATED BY: AG

PROJECT NUMBER: 1531-180425

DATE: 1/17/19

REVISIONS

1. 1/17/19

2. 1/17/19

3. 1/17/19

4. 1/17/19

5. 1/17/19

6. 1/17/19

7. 1/17/19

8. 1/17/19

9. 1/17/19

10. 1/17/19

11. 1/17/19

12. 1/17/19

13. 1/17/19

14. 1/17/19

15. 1/17/19

16. 1/17/19

17. 1/17/19

18. 1/17/19

19. 1/17/19

20. 1/17/19

21. 1/17/19

22. 1/17/19

23. 1/17/19

24. 1/17/19

25. 1/17/19

26. 1/17/19

27. 1/17/19

28. 1/17/19

29. 1/17/19

30. 1/17/19

31. 1/17/19

32. 1/17/19

33. 1/17/19

34. 1/17/19

35. 1/17/19

36. 1/17/19

37. 1/17/19

38. 1/17/19

39. 1/17/19

40. 1/17/19

41. 1/17/19

42. 1/17/19

43. 1/17/19

44. 1/17/19

45. 1/17/19

46. 1/17/19

47. 1/17/19

48. 1/17/19

49. 1/17/19

50. 1/17/19

51. 1/17/19

52. 1/17/19

53. 1/17/19

54. 1/17/19

55. 1/17/19

56. 1/17/19

57. 1/17/19

58. 1/17/19

59. 1/17/19

60. 1/17/19

61. 1/17/19

62. 1/17/19

63. 1/17/19

64. 1/17/19

65. 1/17/19

66. 1/17/19

67. 1/17/19

68. 1/17/19

69. 1/17/19

70. 1/17/19

71. 1/17/19

72. 1/17/19

73. 1/17/19

74. 1/17/19

75. 1/17/19

76. 1/17/19

77. 1/17/19

78. 1/17/19

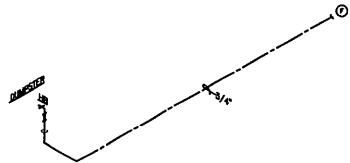
79. 1/17/19

80. 1/17/19

81. 1/17/19

82. 1/17/19

83. 1/17/19





SYNALOVER ROMANOSKY
Architects & Planning - Interior Design
1900 Silver Lake, Suite 200
Fort Lauderdale, FL 33316
T 954.564.2000
F 954.564.2007
www.synalover.com

Marcial Synalover, AIA
AR 001608
SAL

LICENSE NO. A43001943

Existing Building Renovation Plans for:
BOLDEN BUILDING
1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309

CLIENT: CITY OF FORT LAUDERDALE, FLA

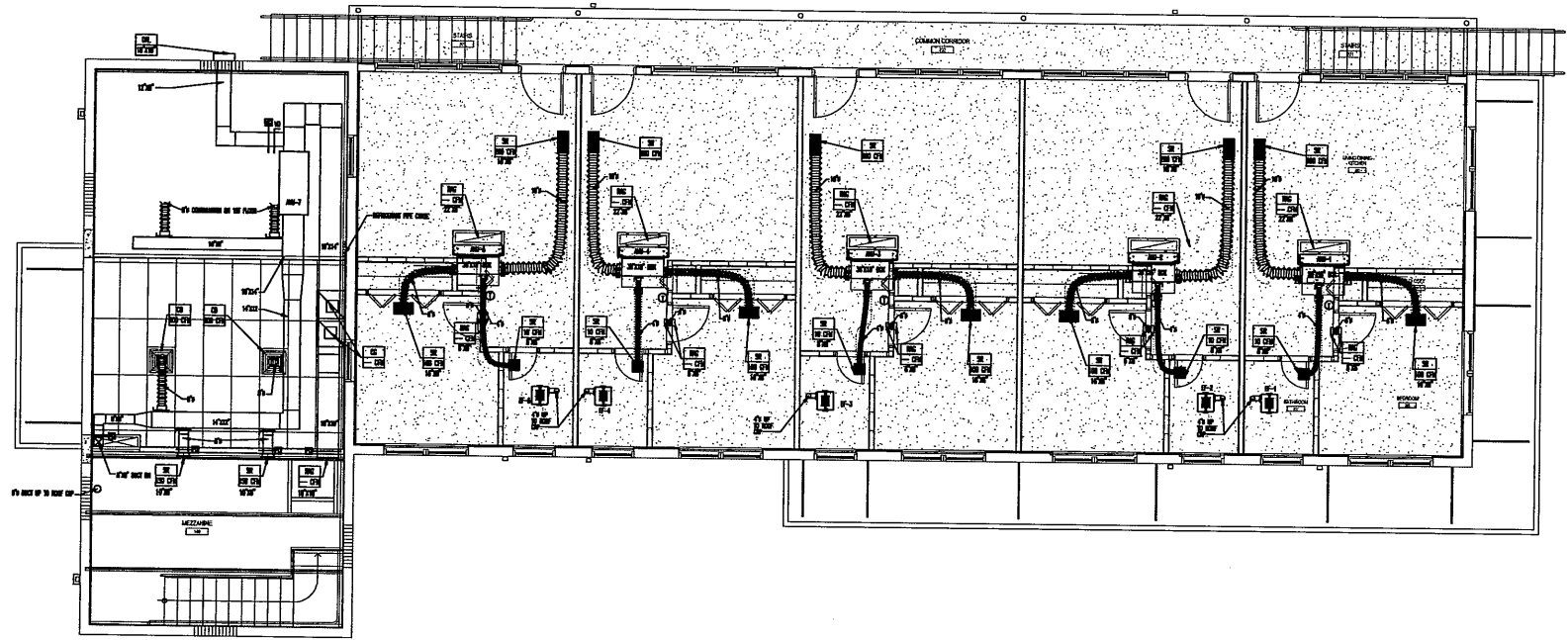
NO.	DESCRIPTION	DATE
1	REVISIONS	
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	
7	REVISIONS	
8	REVISIONS	
9	REVISIONS	
10	REVISIONS	
11	REVISIONS	
12	REVISIONS	
13	REVISIONS	
14	REVISIONS	
15	REVISIONS	
16	REVISIONS	
17	REVISIONS	
18	REVISIONS	
19	REVISIONS	
20	REVISIONS	

DESIGN
DELIVERABLE:
ISSUE DATE: 10/22/16
PROJECT NUMBER: 1535-180425
DRAWN BY: AGS, RAH, RT
CHECKED BY: AGS
Copyright © 2016 by SYNALOVER ROMANOSKY
All Rights Reserved.

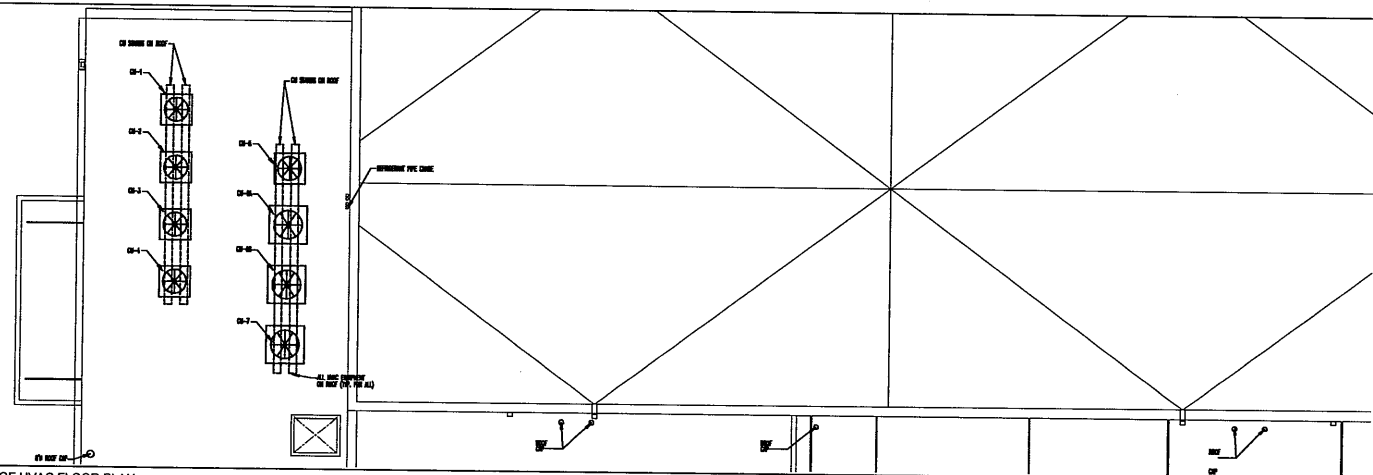
SECOND LEVEL
PARTIAL ROOF LEVEL
MECHANICAL PLAN

SHEET NAME:

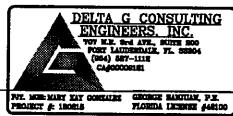
M-102

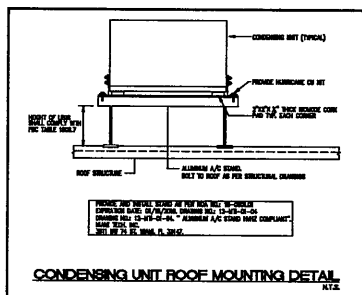
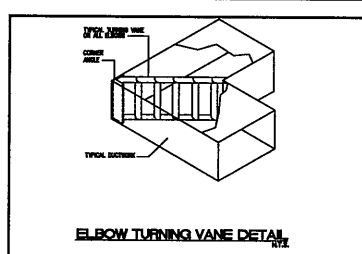
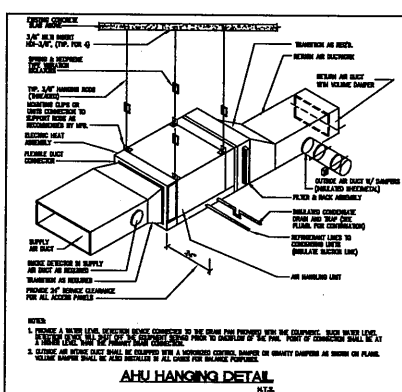
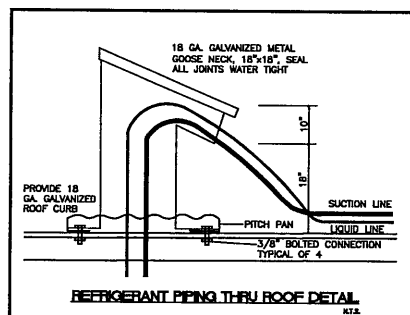
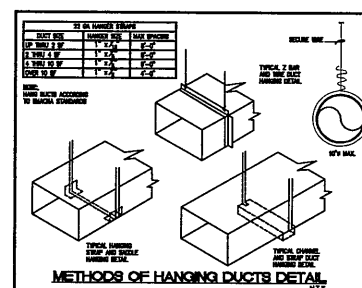
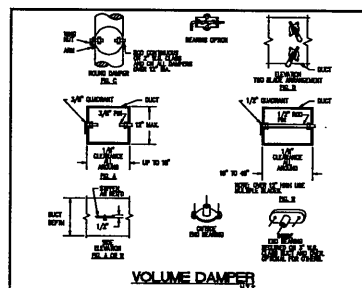
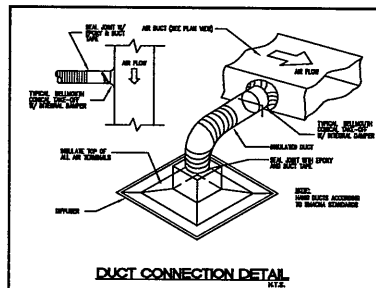
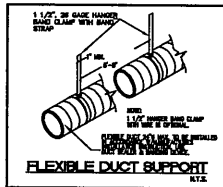


2 2nd LEVEL HVAC FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 PARTIAL ROOF HVAC FLOOR PLAN
SCALE: 1/4" = 1'-0"

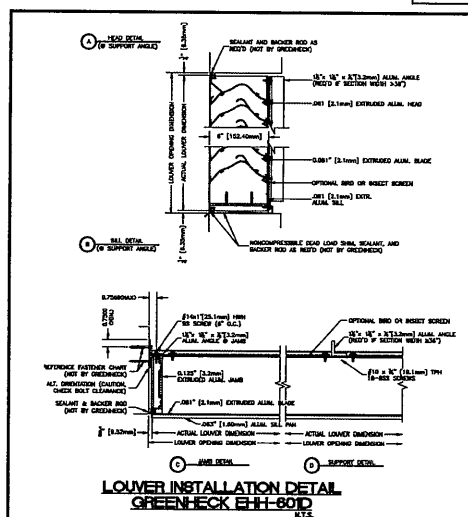
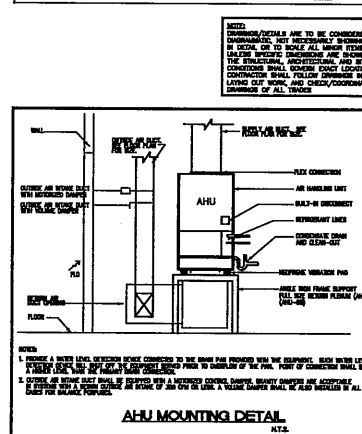
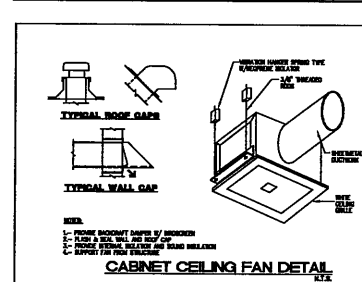




CLEARANCE BELOW RAISED ROOF MOUNTED MECHANICAL UNITS

MINIMUM CLEARANCE BELOW RAISED ROOF MOUNTED MECHANICAL UNITS

HEIGHT OF MECHANICAL UNIT (FEET)	MINIMUM CLEARANCE BELOW UNIT (FEET)
UP TO 10'	10'
10' TO 15'	15'
15' TO 20'	20'
20' TO 25'	25'
25' TO 30'	30'
30' TO 35'	35'
35' TO 40'	40'
40' TO 45'	45'
45' TO 50'	50'
50' TO 55'	55'
55' TO 60'	60'
60' TO 65'	65'
65' TO 70'	70'
70' TO 75'	75'
75' TO 80'	80'
80' TO 85'	85'
85' TO 90'	90'
90' TO 95'	95'
95' TO 100'	100'



1999 19th Ave. S.W., Suite 200
Fort Lauderdale, FL 33314
754.461.1800
www.srsdesign.com

Herat Brindley, AIA
AIA 001 008
SEAL

LICENSE NO. AA2001843

Existing Building Renovation Plans for:
BOLDEN BUILDING

1227 NW 4TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE COA

NO.	DATE	DESCRIPTION
1	10/27/18	ISSUED FOR CONSTRUCTION

DESIGN DELIVERABLE:
ISSUE DATE: 10/27/18

PROJECT NUMBER: 1535-100-423
DRAWING BY: MD, RA, RT
CHECKED BY: AMG
Copyright © 2018 by Synalover Romanovsky LLC
All Rights Reserved

MECHANICAL DETAILS

202

M-200





SYNALOVSKI ROMANIKS, INC.
Architectural - Planning - Interior Design

1800 Blue Drive, Suite 300
Fort Lauderdale, FL 33316
T 954.961.6806
F 954.961.6807
www.synalovskiromaniks.com

Marcel Synalowski, AIA
AIA 0011559
SEAL

LICENSE NO. A424001843

Existing Building Renovation Plans for:
BOLDEN BUILDING

1227 NW 6TH ST.
FORT LAUDERDALE, FL 33309

CLIENT: CITY OF FORT LAUDERDALE OKA

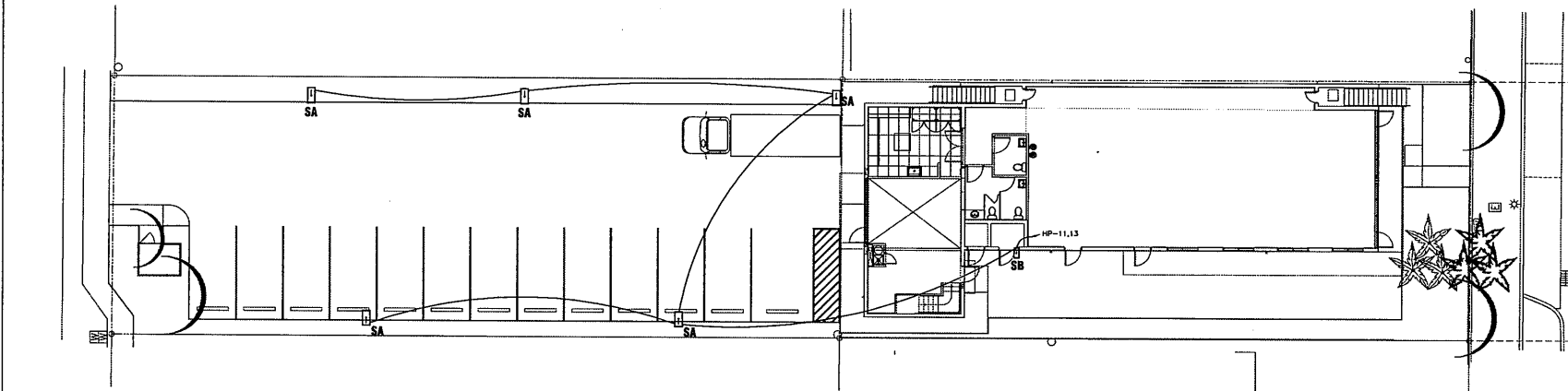
DESIGN	DATE	BY	CHKD
PROJECT NUMBER:	1535-180425		
DRAWN BY:	MD, BA, RT		
CHECKED BY:	AKG		
Copyright © by SYNALOVSKI ROMANIKS, INC.			
All Rights Reserved.			
SHEET TITLE:			

DESIGN
DELIVERABLE:
ISSUE DATE: 10/22/18

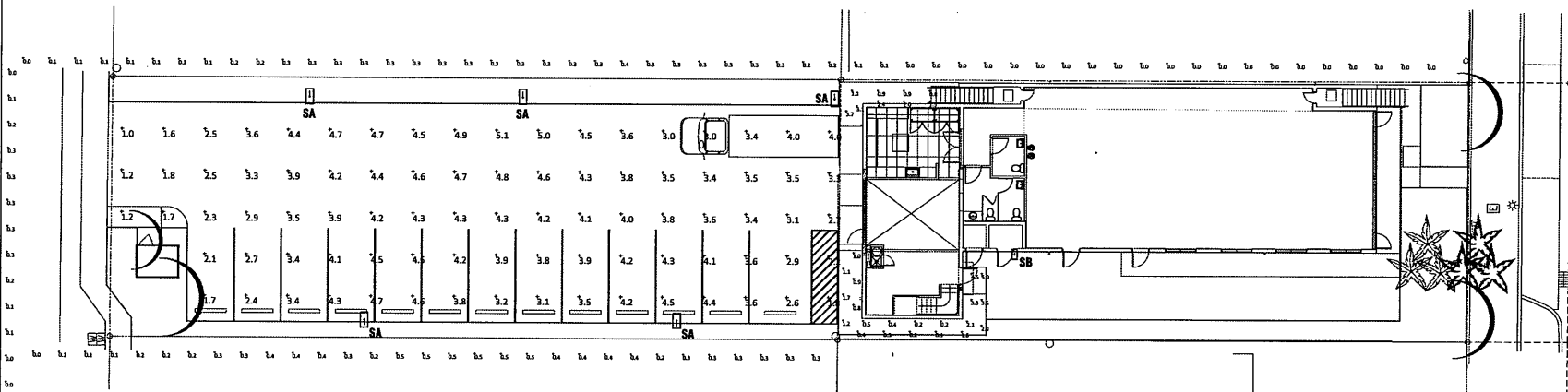
PROJECT NUMBER: 1535-180425
DRAWN BY: MD, BA, RT
CHECKED BY: AKG
Copyright © by SYNALOVSKI ROMANIKS, INC.
All Rights Reserved.
SHEET TITLE:

ELECTRICAL
SITE PLAN

SHEET NUMBER:
E-100.1



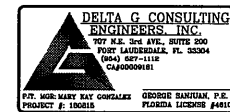
1 ELECTRICAL SITE PLAN
SCALE: 1/4" = 10'-0"

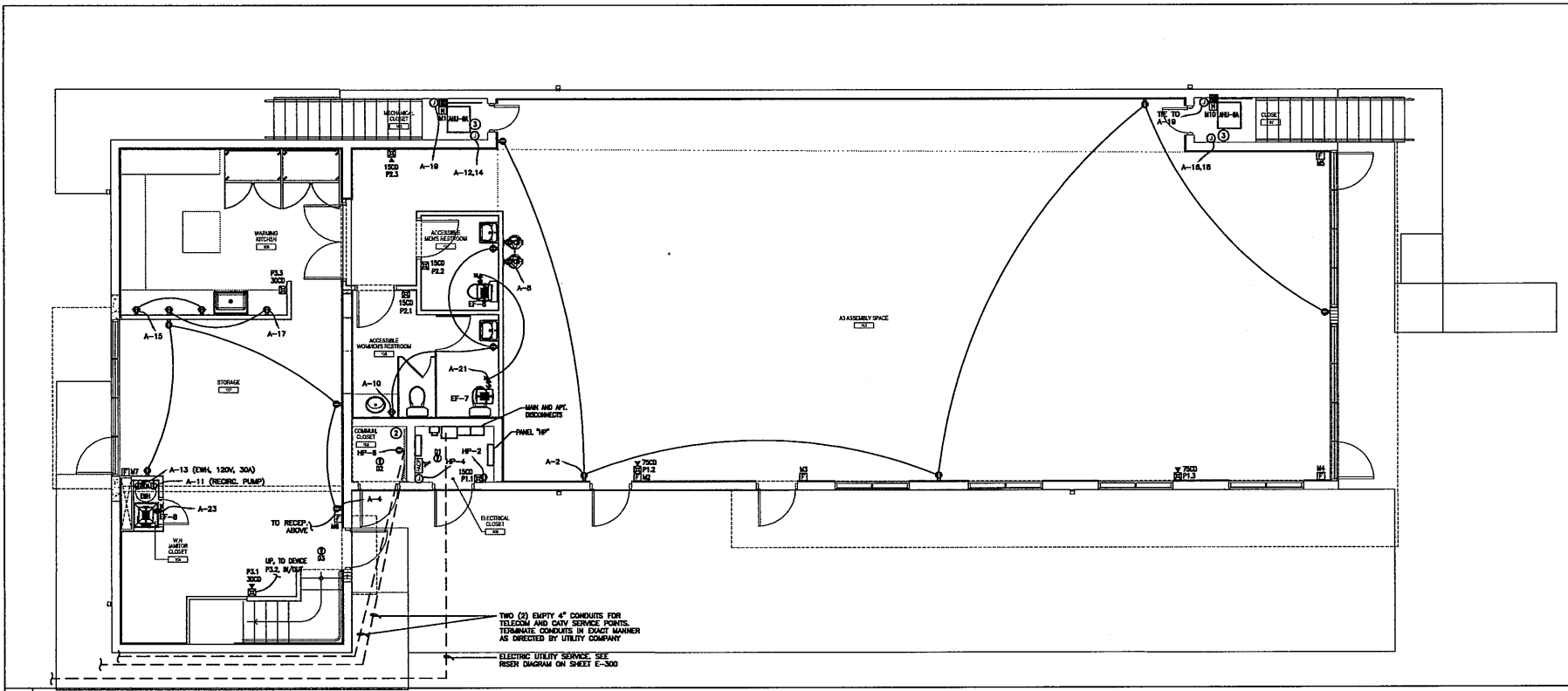


2 PHOTOMETRIC PLAN
SCALE: 1/4" = 10'-0"

Calculation Summary					
Project: Bolden Building SITE - NOV 7, 2018					
Label	Avg	Max	Min	Avg/Min	Max/Min
PARKING_Planar	3.59	5.1	1.0	3.59	5.10
SPLIT	0.20	0.5	0.0	N.A.	N.A.

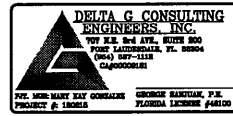
Luminaire Schedule							
Project: Bolden Building SITE - NOV 7, 2018							
Symbol	Qty	Label	Description	LLD	LDD	LLF	Total Watts
SA	5	SA	PHILIPS GARDCO P26-48L-400-NW-G2-BLC MH: 20FT AFG	0.900	0.900	0.810	60.07694
SB	1	SB	PHILIPS GARDCO PWS-48L-300-NW-G2-2 MH: 15FT AFG	0.900	0.900	0.810	46.8






1 1st LEVEL POWER FLOOR PLAN
SCALE: 1/4" = 1'-0"

- KEYNOTES:**
1. MOUNT DISCONNECTS ON OR ADJACENT TO SERVED EQUIPMENTS. LOCATE DISCONNECTS TO PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY THE NEC.
 2. TELEPHONE WOOD BACKBOARD 48"x48"x3/4" (THICK), GRADE DO PLYWOOD ON ALL SIDES. PAINT WITH TWO COATS OF FIRE RETARDANT BLACK PAINT.
 3. AIR HANDLER UNIT PROVIDED WITH BUILT-IN DISCONNECT. REFER TO MECHANICAL SCHEDULE ON SHEET M-100 FOR DETAILS.





SYNALOVER ROMANTIC SOCIETY
Adults Only - No Underage Members

1000 Blue Ridge, Suite 200
Fort Lauderdale, FL 33304
T 954.661.4888
F 954.661.4887
www.synalover.com

Marshall Swartz, AIA
ARCHITECT
SINCE 1984

LICENSE NO. AA36001563

Existing Building Renovation Plans for:
BOLDEN BUILDING

1227 NW 67th ST.
FORT LAUDERDALE, FL 33309

CLIENT: CITY OF FORT LAUDERDALE CMA

REV	DATE	DESCRIPTION
1	10/22/18	ISSUE FOR PERMITS

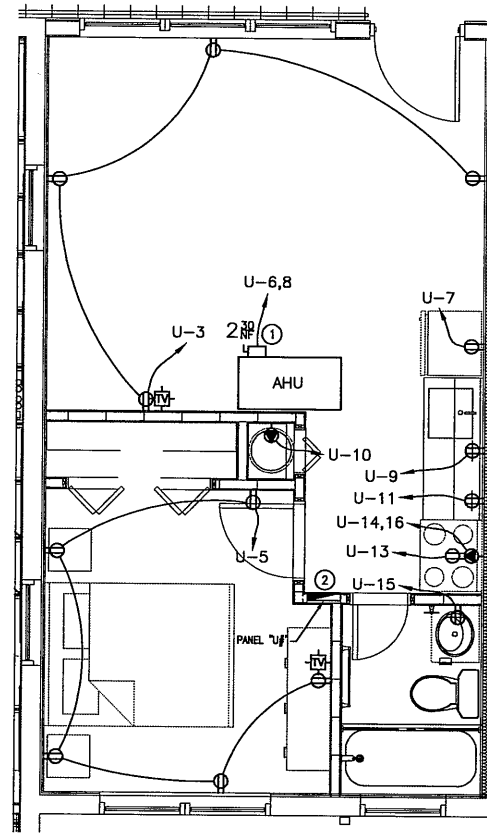
DESIGN DELIVERABLE:
ISSUE DATE: 10/22/18

PROJECT NUMBER: 1335-180423
DRAWN BY: JMO, RM, RT
CHECKED BY: MKG

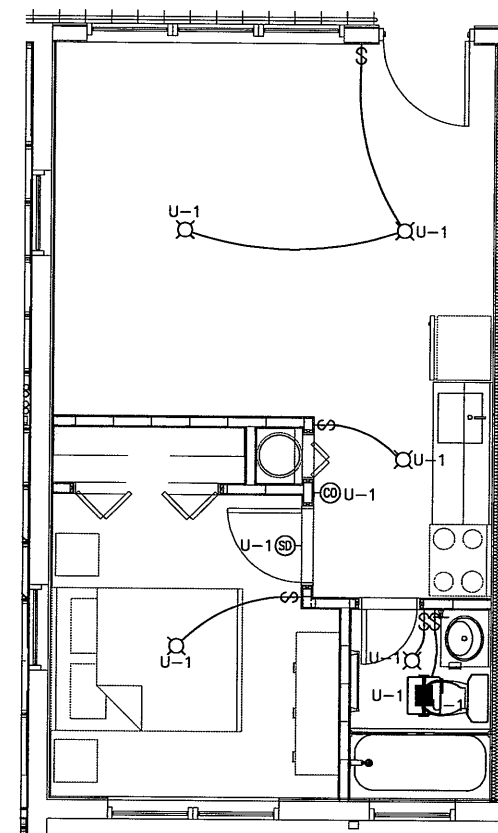
Copyright © 2018 by SYNALOVER ROMANTIC SOCIETY
All Rights Reserved.

SHEET TITLE:
**FIRST LEVEL
POWER FLOOR PLAN**

228
SHEET NUMBER:
E-101

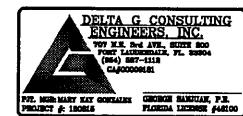


2nd LEVEL TYPICAL UNIT. POWER FLOOR PLAN
SCALE: 1/2" = 1'-0"



2nd LEVEL TYPICAL UNIT. LIGHTING FLOOR PLAN
SCALE: 1/2" = 1'-0"

- KEYNOTES**
1. MOUNT DISCONNECTS ON OR ADJACENT TO SERVED EQUIPMENTS. LOCATE, DISCONNECTS TO PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY THE NEC.
 2. INSTALL 3/4" EMPTY CONDUIT W/PULL STRING FROM LOAD CENTER TO CONDENSER UNIT LOCATED ON THE ROOF.



Michael Synaloviki, AIA
AIA #511608
SEAL

LICENSE NO. AA26001863

Existing Building Renovation Plans for:
BOLDEN BUILDING
1327 NW 6TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE CRA

NO.	REV.	DESCRIPTION
1	1	FOR REVIEW BY THE CITY
2	1	FOR REVIEW BY THE CITY
3	1	FOR REVIEW BY THE CITY
4	1	FOR REVIEW BY THE CITY
5	1	FOR REVIEW BY THE CITY
6	1	FOR REVIEW BY THE CITY
7	1	FOR REVIEW BY THE CITY
8	1	FOR REVIEW BY THE CITY
9	1	FOR REVIEW BY THE CITY
10	1	FOR REVIEW BY THE CITY
11	1	FOR REVIEW BY THE CITY
12	1	FOR REVIEW BY THE CITY
13	1	FOR REVIEW BY THE CITY
14	1	FOR REVIEW BY THE CITY
15	1	FOR REVIEW BY THE CITY
16	1	FOR REVIEW BY THE CITY
17	1	FOR REVIEW BY THE CITY
18	1	FOR REVIEW BY THE CITY
19	1	FOR REVIEW BY THE CITY
20	1	FOR REVIEW BY THE CITY
21	1	FOR REVIEW BY THE CITY
22	1	FOR REVIEW BY THE CITY
23	1	FOR REVIEW BY THE CITY
24	1	FOR REVIEW BY THE CITY
25	1	FOR REVIEW BY THE CITY
26	1	FOR REVIEW BY THE CITY
27	1	FOR REVIEW BY THE CITY
28	1	FOR REVIEW BY THE CITY
29	1	FOR REVIEW BY THE CITY
30	1	FOR REVIEW BY THE CITY
31	1	FOR REVIEW BY THE CITY
32	1	FOR REVIEW BY THE CITY
33	1	FOR REVIEW BY THE CITY
34	1	FOR REVIEW BY THE CITY
35	1	FOR REVIEW BY THE CITY
36	1	FOR REVIEW BY THE CITY
37	1	FOR REVIEW BY THE CITY
38	1	FOR REVIEW BY THE CITY
39	1	FOR REVIEW BY THE CITY
40	1	FOR REVIEW BY THE CITY
41	1	FOR REVIEW BY THE CITY
42	1	FOR REVIEW BY THE CITY
43	1	FOR REVIEW BY THE CITY
44	1	FOR REVIEW BY THE CITY
45	1	FOR REVIEW BY THE CITY
46	1	FOR REVIEW BY THE CITY
47	1	FOR REVIEW BY THE CITY
48	1	FOR REVIEW BY THE CITY
49	1	FOR REVIEW BY THE CITY
50	1	FOR REVIEW BY THE CITY
51	1	FOR REVIEW BY THE CITY
52	1	FOR REVIEW BY THE CITY
53	1	FOR REVIEW BY THE CITY
54	1	FOR REVIEW BY THE CITY
55	1	FOR REVIEW BY THE CITY
56	1	FOR REVIEW BY THE CITY
57	1	FOR REVIEW BY THE CITY
58	1	FOR REVIEW BY THE CITY
59	1	FOR REVIEW BY THE CITY
60	1	FOR REVIEW BY THE CITY
61	1	FOR REVIEW BY THE CITY
62	1	FOR REVIEW BY THE CITY
63	1	FOR REVIEW BY THE CITY
64	1	FOR REVIEW BY THE CITY
65	1	FOR REVIEW BY THE CITY
66	1	FOR REVIEW BY THE CITY
67	1	FOR REVIEW BY THE CITY
68	1	FOR REVIEW BY THE CITY
69	1	FOR REVIEW BY THE CITY
70	1	FOR REVIEW BY THE CITY
71	1	FOR REVIEW BY THE CITY
72	1	FOR REVIEW BY THE CITY
73	1	FOR REVIEW BY THE CITY
74	1	FOR REVIEW BY THE CITY
75	1	FOR REVIEW BY THE CITY
76	1	FOR REVIEW BY THE CITY
77	1	FOR REVIEW BY THE CITY
78	1	FOR REVIEW BY THE CITY
79	1	FOR REVIEW BY THE CITY
80	1	FOR REVIEW BY THE CITY
81	1	FOR REVIEW BY THE CITY
82	1	FOR REVIEW BY THE CITY
83	1	FOR REVIEW BY THE CITY
84	1	FOR REVIEW BY THE CITY
85	1	FOR REVIEW BY THE CITY
86	1	FOR REVIEW BY THE CITY
87	1	FOR REVIEW BY THE CITY
88	1	FOR REVIEW BY THE CITY
89	1	FOR REVIEW BY THE CITY
90	1	FOR REVIEW BY THE CITY
91	1	FOR REVIEW BY THE CITY
92	1	FOR REVIEW BY THE CITY
93	1	FOR REVIEW BY THE CITY
94	1	FOR REVIEW BY THE CITY
95	1	FOR REVIEW BY THE CITY
96	1	FOR REVIEW BY THE CITY
97	1	FOR REVIEW BY THE CITY
98	1	FOR REVIEW BY THE CITY
99	1	FOR REVIEW BY THE CITY
100	1	FOR REVIEW BY THE CITY

DESIGN
DELIVERABLE:
ISSUE DATE: 10/22/18
PROJECT NUMBER: 1535-180425
DRAWN BY: AIO, RA, RT
CHECKED BY: AIG
Copyright © by SYNALOVIKI ROMANIK, AIA
All Rights Reserved.

TYPICAL UNIT
ELECTRICAL PLAN

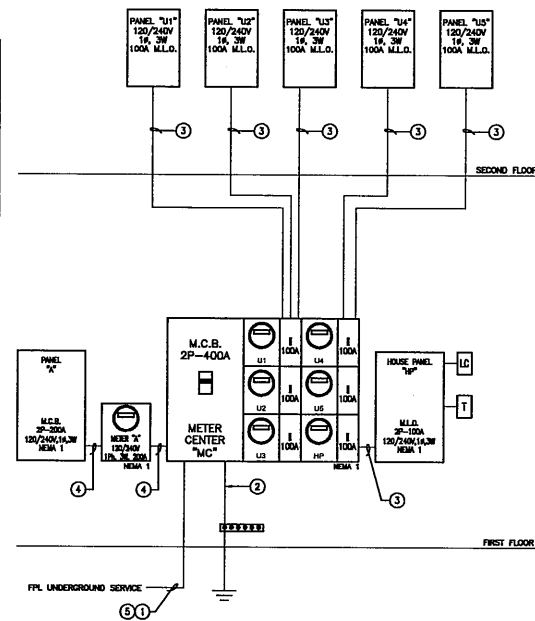
222
SHEET NUMBER

E-200

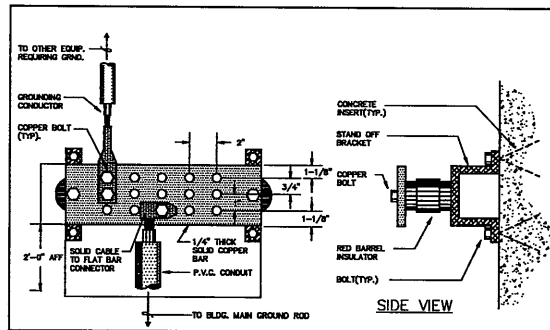
LOAD CALCULATION	
1. DEMAND LOAD FOR ONE UNIT	= 15.8 KVA
2. TOTAL CONNECTED LOAD AT UNITS (5 UNITS)	= 84.0 KVA
3. DEMAND LOAD FOR 5 UNITS BY TABLE 220.84 (450) =	42.3 KVA
4. DEMAND LOAD AT HOUSE PANEL "HP"	= 7.3 KVA
5. DEMAND LOAD AT PANEL "A"	= 37.8 KVA
6. TOTAL DEMAND LOAD (TEAM 3 THRU 5)	= 87.2 KVA
7. TOTAL AMP (BASED ON 120/240V, 1PH SYSTEM)	= 363 A

- GENERAL NOTES**
- CONTRACTOR SHALL INSTALL ALL NEW TENANT MAINS ON THE 2ND FLOOR, CLOSE TOGETHER ON ONE END OF THE WIREWAY TO LEAVE AMPLE SPACE FOR FUTURE TENANT MAINS.
 - SERVICE EQUIPMENT IN OTHER THAN DWELLING UNITS SHALL BE LEGIBLY MARKED IN THE FIELD WITH THE MAXIMUM AVAILABLE FAULT CURRENT. THE FIELD MARKING(S) SHALL INCLUDE THE DATE THE FAULT CURRENT CALCULATION WAS PERFORMED AND BE OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT.
 - PROVIDE INTERSYSTEM BONDING AT SERVICE AS SHOWN AND AS REQUIRED BY THE NEC.

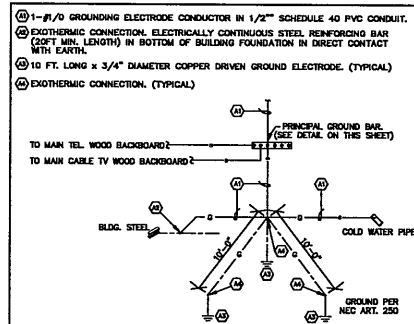
- KEY NOTES**
- TERMINATE CONDUITS IN EXACT MANNER AND LOCATION AS REQUIRED BY UTILITY COMPANY. LEAVE 10' F.T. SLACK CONDUIT PER CONDUIT FOR EXTENSION AND CONNECTION FOR UTILITY COMPANY.
 - BUILDING GROUNDING ELECTRODE SYSTEM. SEE DETAIL ON THIS SHEET.
 - 3-#3 THRU CU & 1-#6 GND IN 1-1/4" PVC CONDUIT.
 - 3-#3/0 THRU CU & 1-#1/0 GND IN 2" PVC CONDUIT.
 - 2 SETS OF 3-#3/0 THRU CU IN 2" PVC CONDUIT.



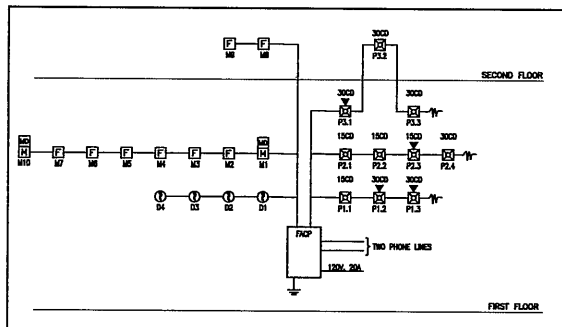
1 RISER DIAGRAM
N.T.S.



3 MAIN GROUNDING BAR
N.T.S.



2 GROUNDING ELECTRODE SYSTEM
N.T.S.



5 FIRE ALARM RISER DIAGRAM
N.T.S.

PANEL "U"	
TYPE: SQUARE D, G.E.	RATED VOLTAGE: 120/240V, 1PH, 3W
MOUNTING SURFACE: ENCLOSURE: NEMA 1	BRAND: M.C.B.
SUPPLY FROM: METER MAIN	FEED LOCATION: BOTTOM
	LOCATION: ELECTRICAL CLOSET
LOADS	
NO.	LOAD
1	120V 15A
2	120V 15A
3	120V 15A
4	120V 15A
5	120V 15A
6	120V 15A
7	120V 15A
8	120V 15A
9	120V 15A
10	120V 15A
11	120V 15A
12	120V 15A
13	120V 15A
14	120V 15A
15	120V 15A
16	120V 15A
17	120V 15A
18	120V 15A
19	120V 15A
20	120V 15A
21	120V 15A
22	120V 15A
23	120V 15A
24	120V 15A
25	120V 15A
26	120V 15A
27	120V 15A
28	120V 15A
29	120V 15A
30	120V 15A
31	120V 15A
32	120V 15A
33	120V 15A
34	120V 15A
35	120V 15A
36	120V 15A
37	120V 15A
38	120V 15A
39	120V 15A
40	120V 15A
41	120V 15A
42	120V 15A
43	120V 15A
44	120V 15A
45	120V 15A
46	120V 15A
47	120V 15A
48	120V 15A
49	120V 15A
50	120V 15A
51	120V 15A
52	120V 15A
53	120V 15A
54	120V 15A
55	120V 15A
56	120V 15A
57	120V 15A
58	120V 15A
59	120V 15A
60	120V 15A
61	120V 15A
62	120V 15A
63	120V 15A
64	120V 15A
65	120V 15A
66	120V 15A
67	120V 15A
68	120V 15A
69	120V 15A
70	120V 15A
71	120V 15A
72	120V 15A
73	120V 15A
74	120V 15A
75	120V 15A
76	120V 15A
77	120V 15A
78	120V 15A
79	120V 15A
80	120V 15A
81	120V 15A
82	120V 15A
83	120V 15A
84	120V 15A
85	120V 15A
86	120V 15A
87	120V 15A
88	120V 15A
89	120V 15A
90	120V 15A
91	120V 15A
92	120V 15A
93	120V 15A
94	120V 15A
95	120V 15A
96	120V 15A
97	120V 15A
98	120V 15A
99	120V 15A
100	120V 15A

PANEL "HP"	
TYPE: SQUARE D, G.E.	RATED VOLTAGE: 120/240V, 1PH, 3W
MOUNTING SURFACE: ENCLOSURE: NEMA 1	BRAND: M.C.B.
SUPPLY FROM: METER MAIN	FEED LOCATION: BOTTOM
	LOCATION: ELECTRICAL CLOSET
LOADS	
NO.	LOAD
1	120V 15A
2	120V 15A
3	120V 15A
4	120V 15A
5	120V 15A
6	120V 15A
7	120V 15A
8	120V 15A
9	120V 15A
10	120V 15A
11	120V 15A
12	120V 15A
13	120V 15A
14	120V 15A
15	120V 15A
16	120V 15A
17	120V 15A
18	120V 15A
19	120V 15A
20	120V 15A
21	120V 15A
22	120V 15A
23	120V 15A
24	120V 15A
25	120V 15A
26	120V 15A
27	120V 15A
28	120V 15A
29	120V 15A
30	120V 15A
31	120V 15A
32	120V 15A
33	120V 15A
34	120V 15A
35	120V 15A
36	120V 15A
37	120V 15A
38	120V 15A
39	120V 15A
40	120V 15A
41	120V 15A
42	120V 15A
43	120V 15A
44	120V 15A
45	120V 15A
46	120V 15A
47	120V 15A
48	120V 15A
49	120V 15A
50	120V 15A
51	120V 15A
52	120V 15A
53	120V 15A
54	120V 15A
55	120V 15A
56	120V 15A
57	120V 15A
58	120V 15A
59	120V 15A
60	120V 15A
61	120V 15A
62	120V 15A
63	120V 15A
64	120V 15A
65	120V 15A
66	120V 15A
67	120V 15A
68	120V 15A
69	120V 15A
70	120V 15A
71	120V 15A
72	120V 15A
73	120V 15A
74	120V 15A
75	120V 15A
76	120V 15A
77	120V 15A
78	120V 15A
79	120V 15A
80	120V 15A
81	120V 15A
82	120V 15A
83	120V 15A
84	120V 15A
85	120V 15A
86	120V 15A
87	120V 15A
88	120V 15A
89	120V 15A
90	120V 15A
91	120V 15A
92	120V 15A
93	120V 15A
94	120V 15A
95	120V 15A
96	120V 15A
97	120V 15A
98	120V 15A
99	120V 15A
100	120V 15A

PANEL "A"	
TYPE: SQUARE D, G.E.	RATED VOLTAGE: 120/240V, 1PH, 3W
MOUNTING SURFACE: ENCLOSURE: NEMA 1	BRAND: M.C.B.
SUPPLY FROM: METER MAIN	FEED LOCATION: BOTTOM
	LOCATION: ELECTRICAL CLOSET
LOADS	
NO.	LOAD
1	120V 15A
2	120V 15A
3	120V 15A
4	120V 15A
5	120V 15A
6	120V 15A
7	120V 15A
8	120V 15A
9	120V 15A
10	120V 15A
11	120V 15A
12	120V 15A
13	120V 15A
14	120V 15A
15	120V 15A
16	120V 15A
17	120V 15A
18	120V 15A
19	120V 15A
20	120V 15A
21	120V 15A
22	120V 15A
23	120V 15A
24	120V 15A
25	120V 15A
26	120V 15A
27	120V 15A
28	120V 15A
29	120V 15A
30	120V 15A
31	120V 15A
32	120V 15A
33	120V 15A
34	120V 15A
35	120V 15A
36	120V 15A
37	120V 15A
38	120V 15A
39	120V 15A
40	120V 15A
41	120V 15A
42	120V 15A
43	120V 15A
44	120V 15A
45	120V 15A
46	120V 15A
47	120V 15A
48	120V 15A
49	120V 15A
50	120V 15A
51	120V 15A
52	120V 15A
53	120V 15A
54	120V 15A
55	120V 15A
56	120V 15A
57	120V 15A
58	120V 15A
59	120V 15A
60	120V 15A
61	120V 15A
62	120V 15A
63	120V 15A
64	120V 15A
65	120V 15A
66	120V 15A
67	120V 15A
68	120V 15A
69	120V 15A
70	120V 15A
71	120V 15A
72	120V 15A
73	120V 15A
74	120V 15A
75	120V 15A
76	120V 15A
77	120V 15A
78	120V 15A
79	120V 15A
80	120V 15A
81	120V 15A
82	120V 15A
83	120V 15A
84	120V 15A
85	120V 15A
86	120V 15A
87	120V 15A
88	120V 15A
89	120V 15A
90	120V 15A
91	120V 15A
92	120V 15A
93	120V 15A
94	120V 15A
95	120V 15A
96	120V 15A
97	120V 15A
98	120V 15A
99	120V 15A
100	120V 15A

4 PANEL SCHEDULES
N.T.S.



Marcus Roman, P.E.
AS 501108
SEAL

LICENSE NO. AA2001863

Existing Building Renovation Plans for:
BOLDEN BUILDING
1222 NW 5TH ST.
FORT LAUDERDALE, FL 33309
CLIENT: CITY OF FORT LAUDERDALE, FLA

NO.	DATE	DESCRIPTION
1	10/27/18	ISSUED FOR PERMIT