

DRC APPLICATION

ALEXAN -TARPON RIVER

501 SE 6th AVENUE
FT. LAUDERDALE, FL 33301

Submitted to: City of Fort Lauderdale
Architect: Stantec
Landscape/Civil/Traffic Engineer: Kimley-Horn & Associates, Inc.
Land Use: Crush Law, P.A.
Owner: Trammell Crow Residential

18 August 2017
Date Resubmitted: 27 October 2017
Date Resubmitted: 30 November 2017



PROJECT TEAM

Owner:

TCR

Trammell Crow Residential
3715 Northside Parkway
Suite 1-200
Atlanta, GA 30327
T: 404.496.6142

Architect:

Stantec

Stantec
One Biscayne Tower Suite 1670
2 S Biscayne Boulevard
Miami, Florida 33131
T: 305.482.8700

Landscape / Civil / Traffic Engineer:

Kimley»Horn

Kimley-Horn & Associates, Inc.
355 Alhambra Circle, Suite 1400
Coral Gables, Florida 33144
T: 305.673.2025

Land Use:

CRUSH LAW PA

Crush Law, P.A.
333 North New River Drive East
Suite 1500
Fort Lauderdale, Fl. 33301
T: 954.522.2010

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ALEXAN - TARPON RIVER

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Andrew W. Burneth
Lic# : AF98495

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10.27.2017

PROJECT # 219420522

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- A-2: Location Map
- A-3: Existing Site Plan
- A-4: Location Images
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- A-8: Staging Site Plan

SITE

ALEXAN - TARPON RIVER

501 SE 6TH AVE, FORT LAUDERDALE, FL 33301

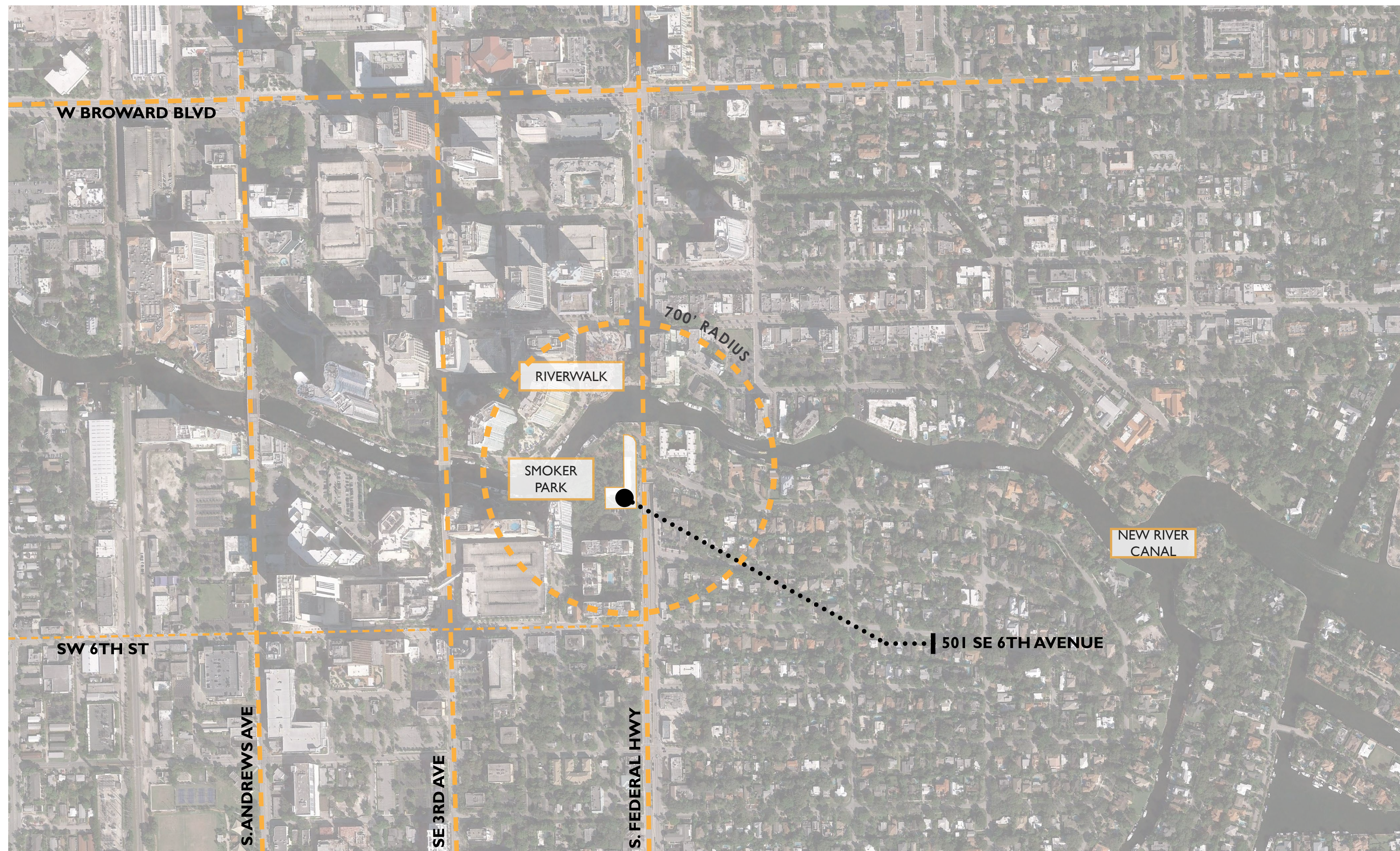


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A-1

LOCATION MAP



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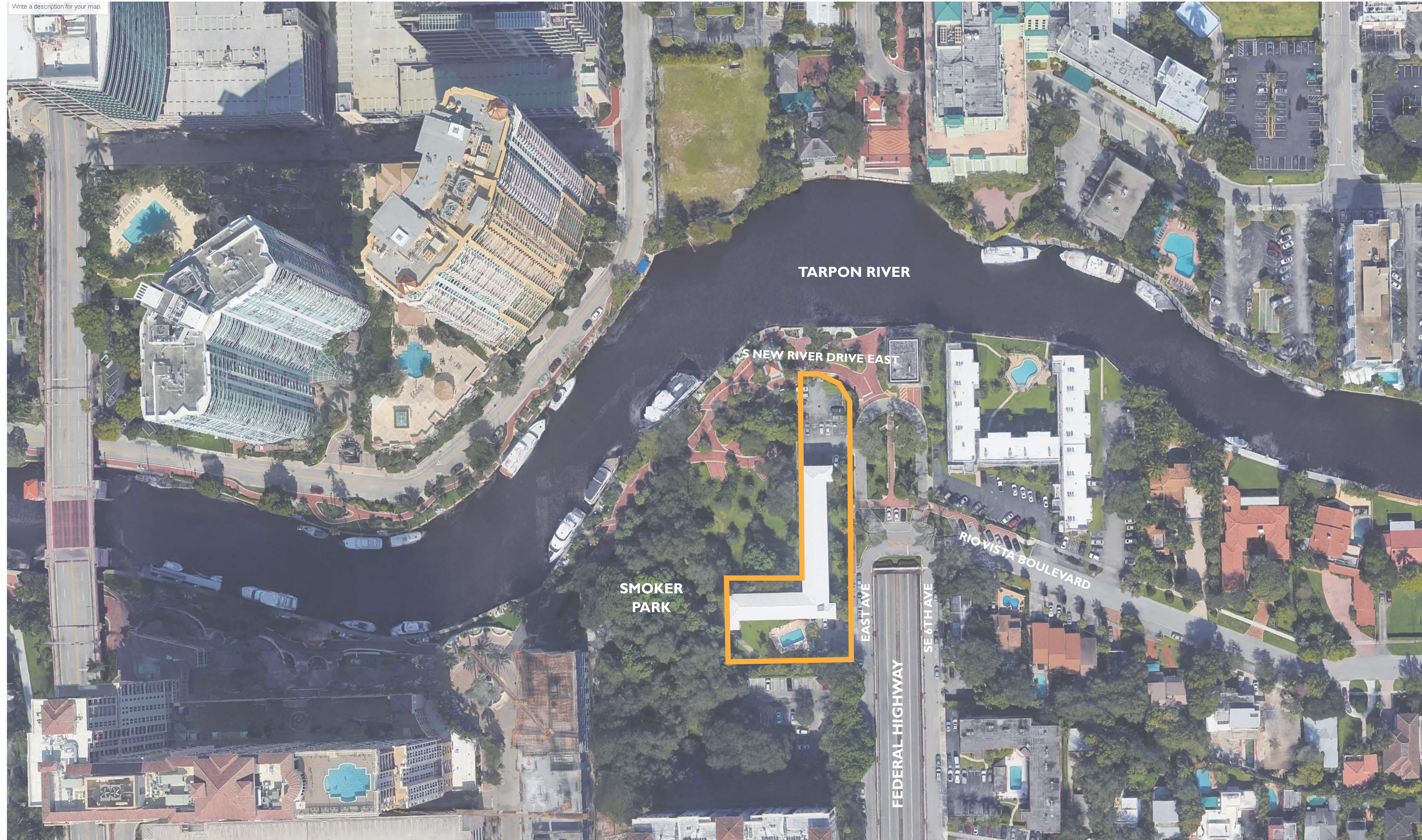
Lic# A-12000753
 Andrew W. Burchett
 Lic# A-898495

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PROJECT # 219420522



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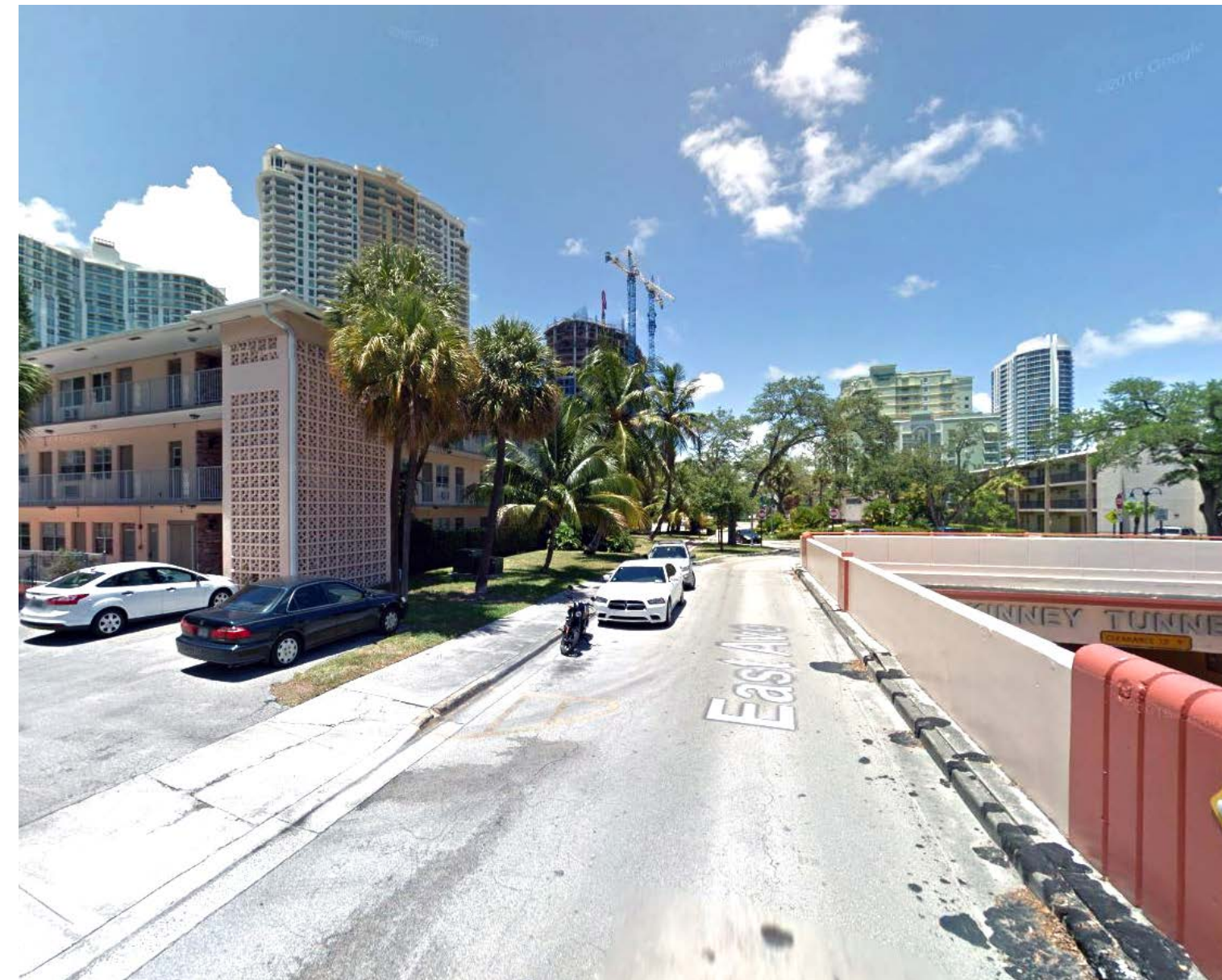
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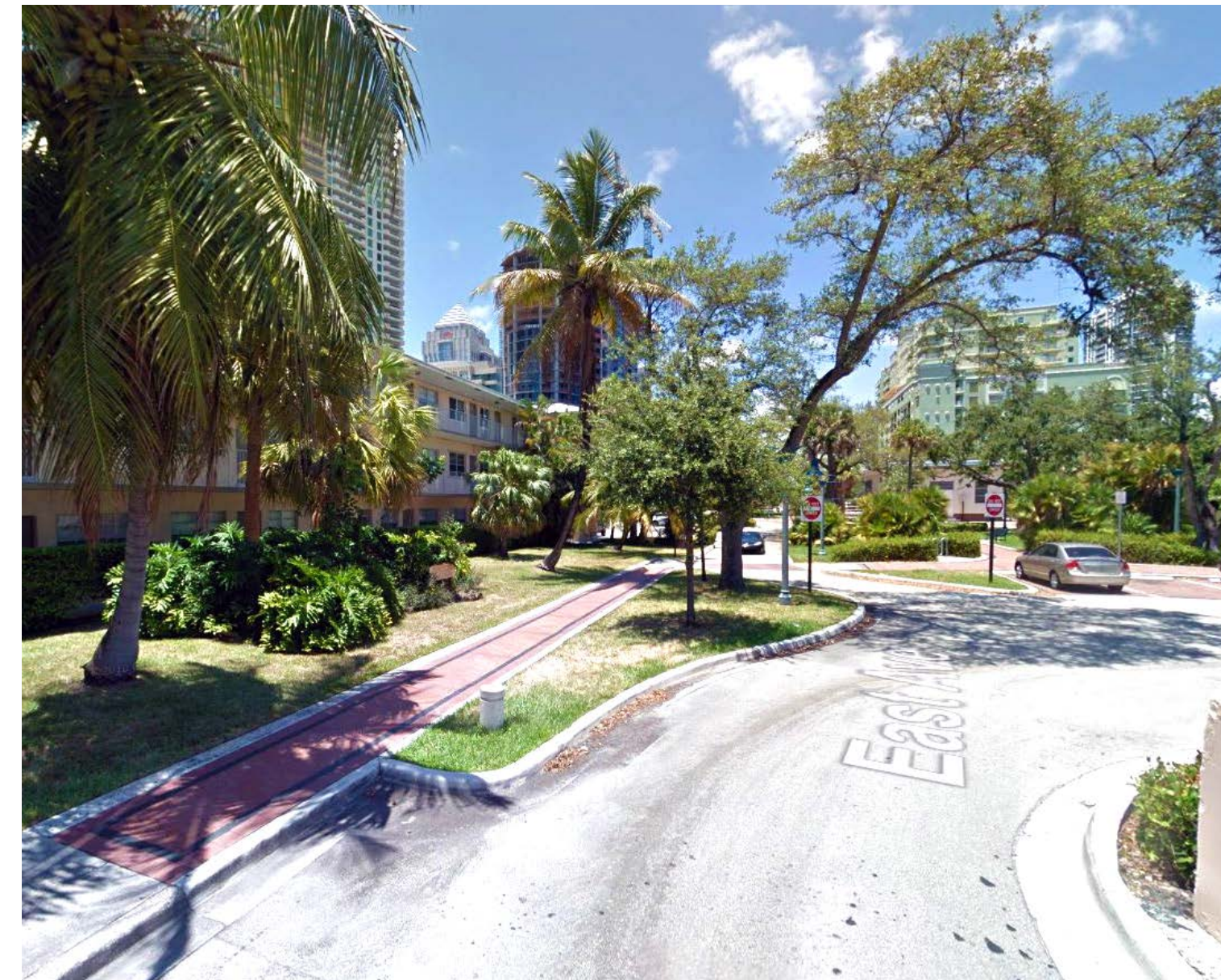
LOCATION IMAGES



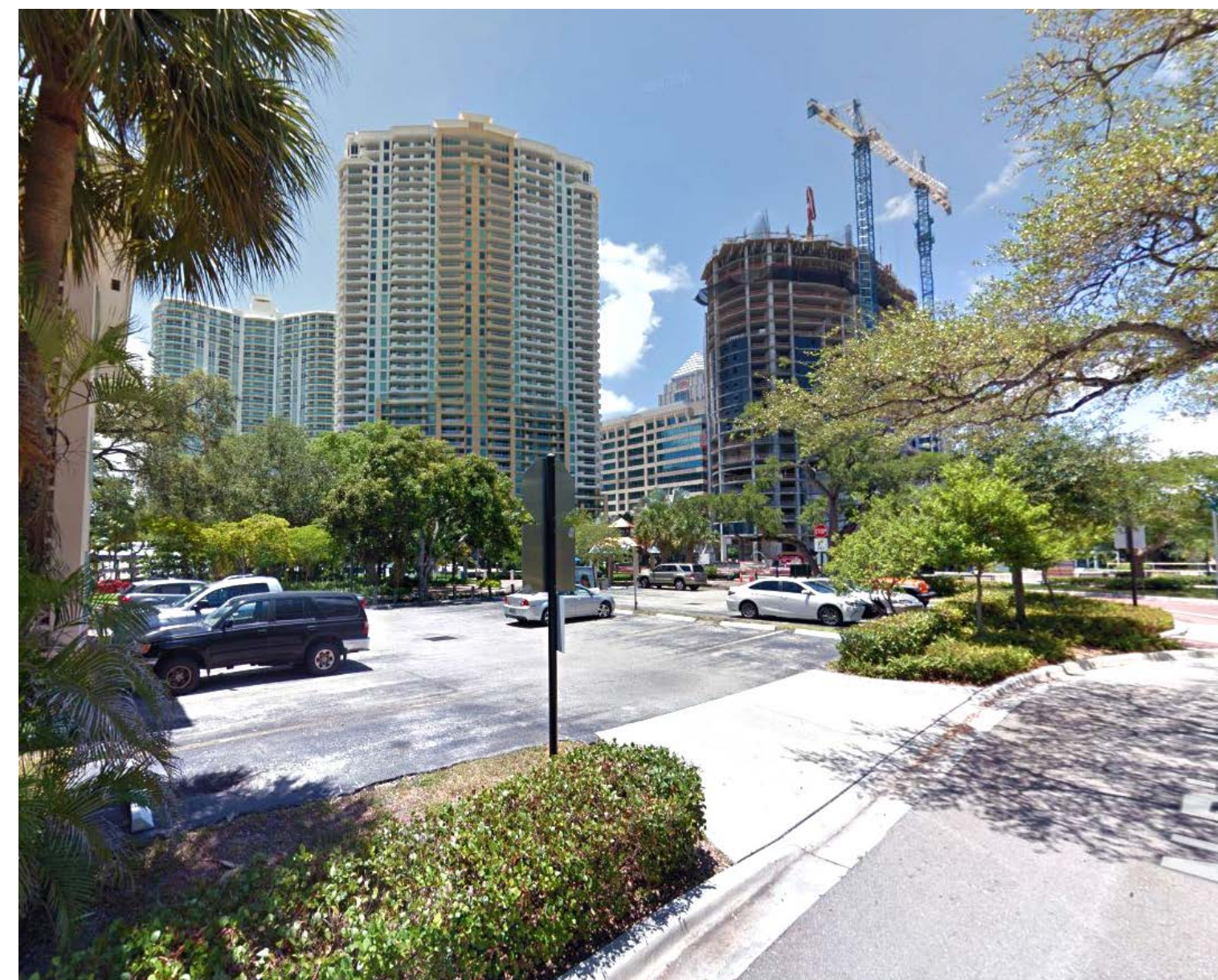
I | Site Plan Key



A | East Avenue



B | East Avenue



C | East Avenue



D | Rio Vista Boulevard & SE 6th Avenue

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501 SE 6TH AVE FORT LAUDERDALE, FL 33301



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LOCATION IMAGES



E | Rio Vista Boulevard



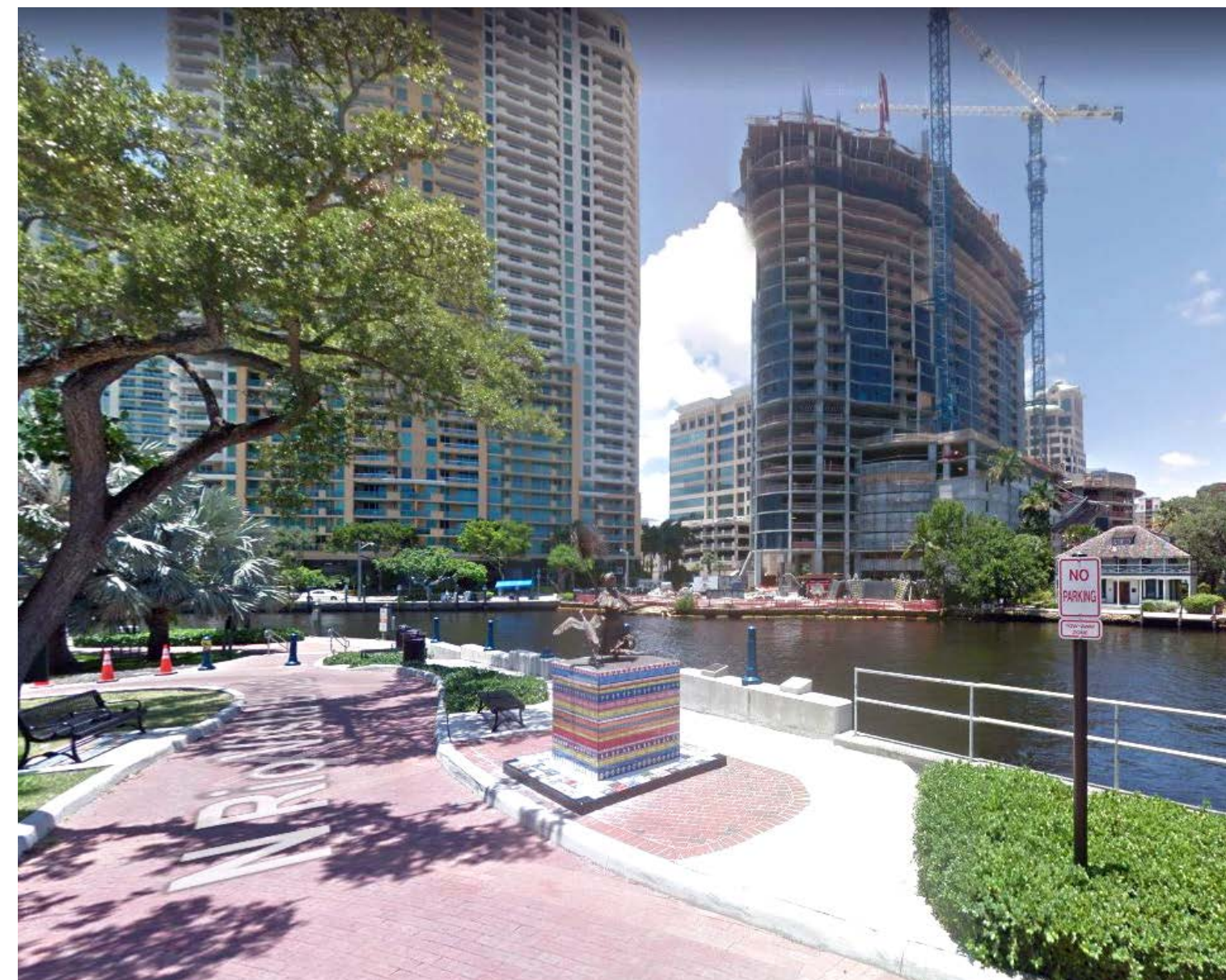
F | South New River Drive East



G | South New River Drive East



H | South New River Drive East



I | Rio Vista Boulevard



J | Las Olas Way

ALEXAN - TARPON RIVER

501 SE 6TH AVE FORT LAUDERDALE, FL 33301

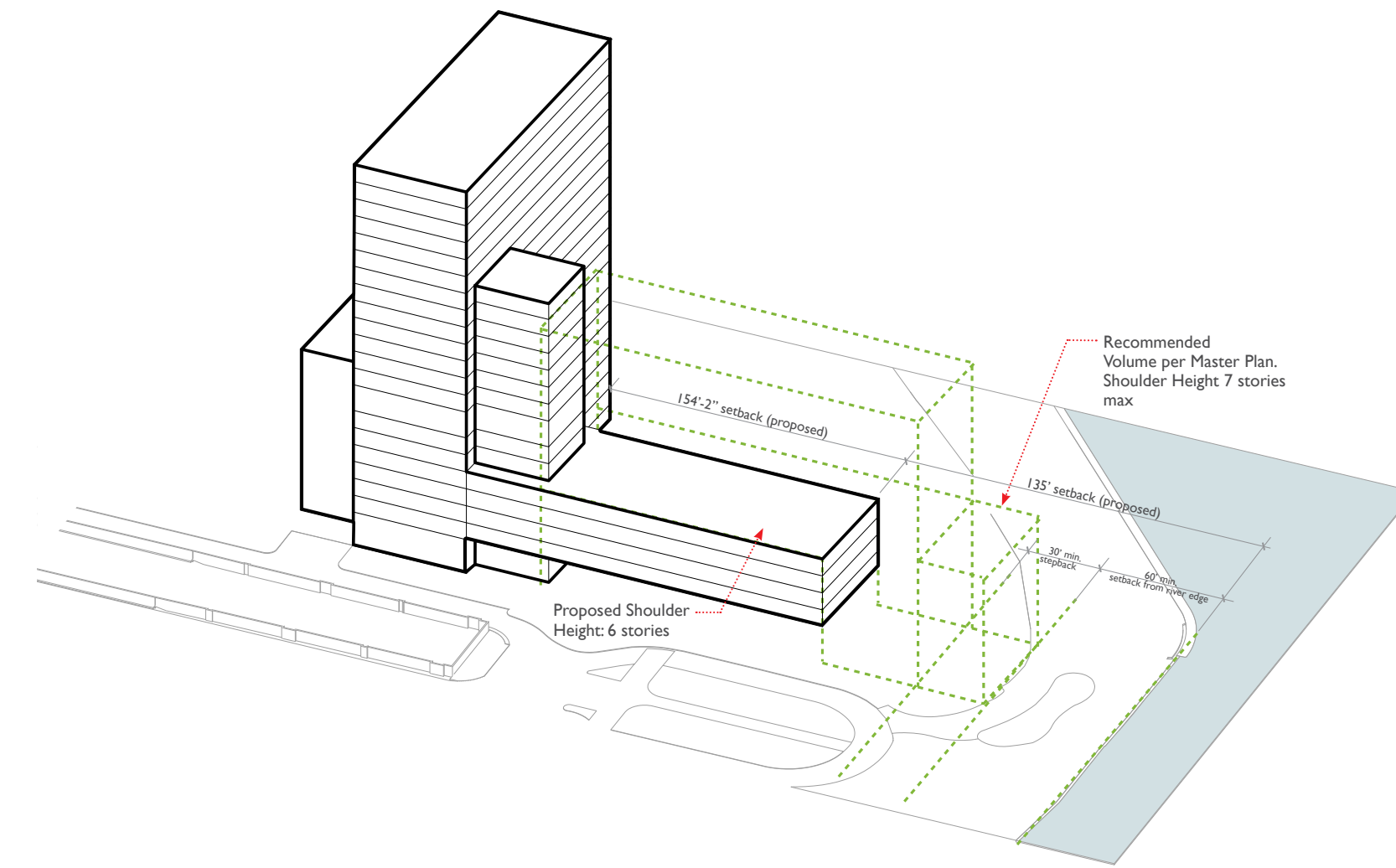


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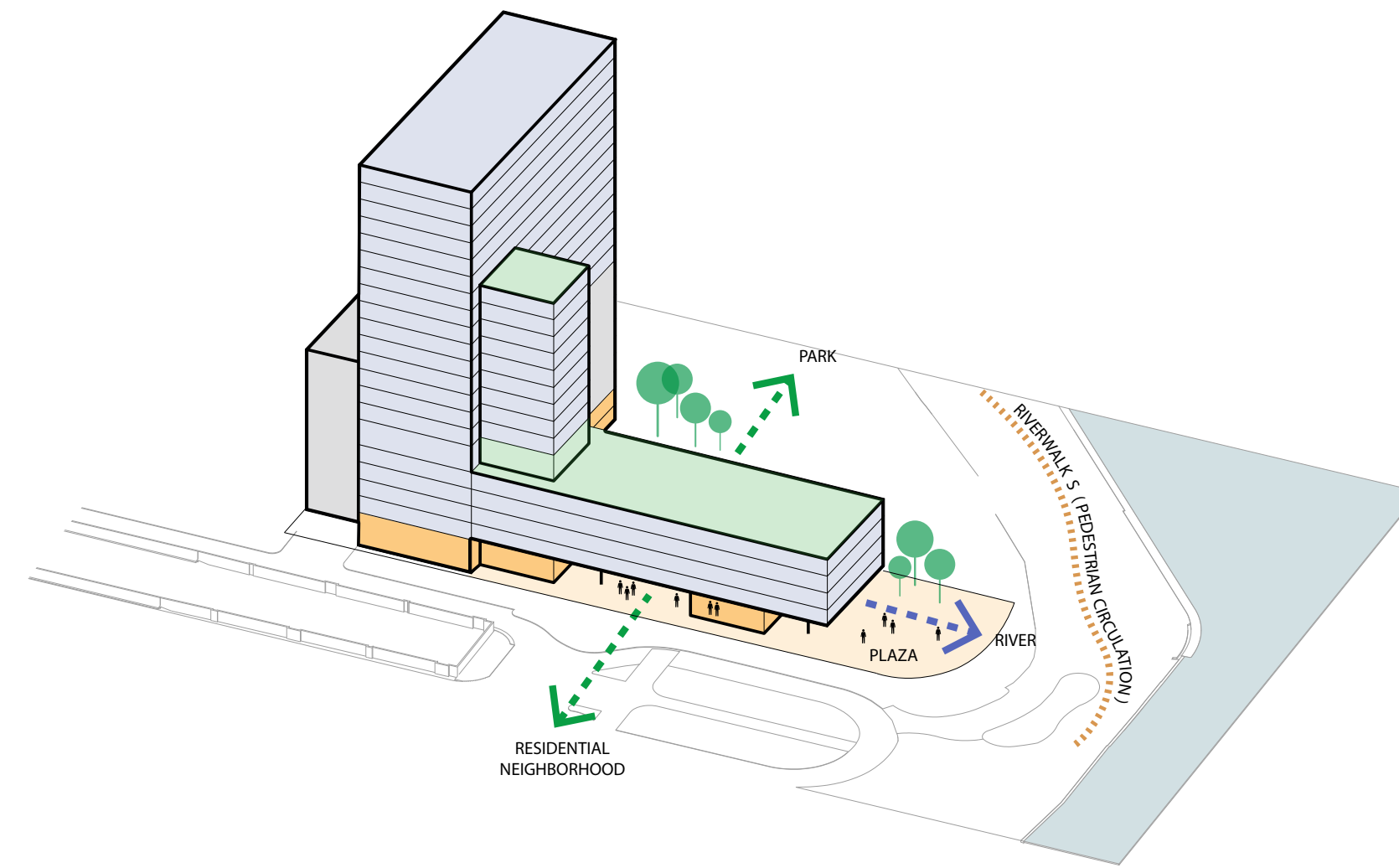
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1 MASSING DIAGRAM

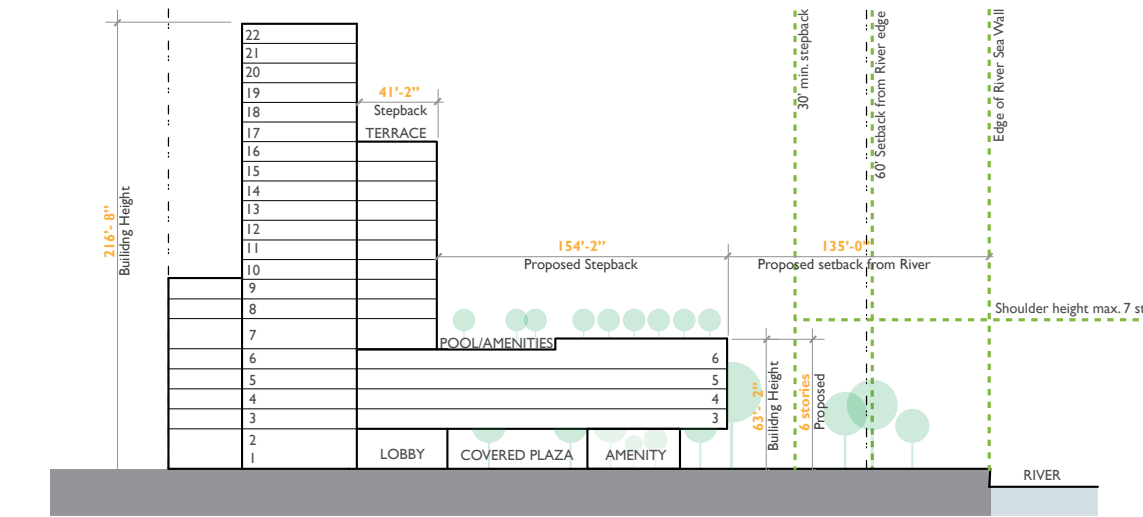
SCALE: NTS

Character area guidelines for River Front Sites
Area 4: River Park Promenade 4-B



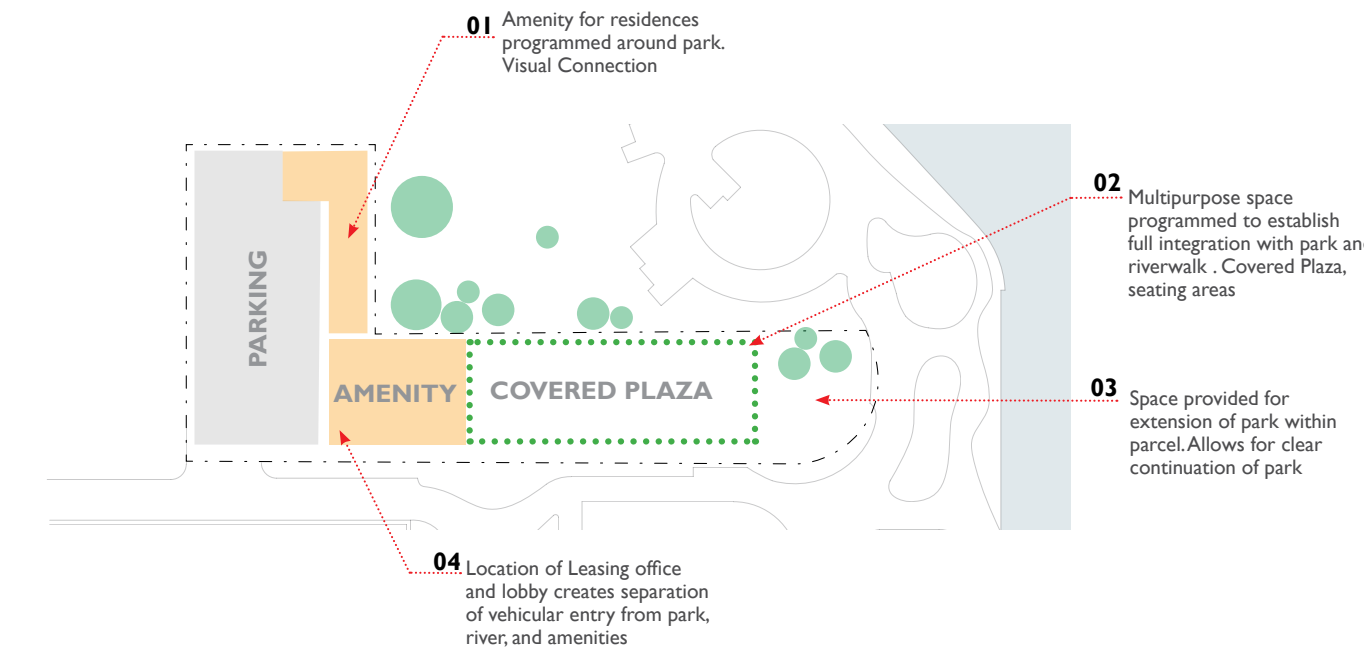
3 ACTIVATING THE RIVER AND SMOKER PARK

SCALE: NTS



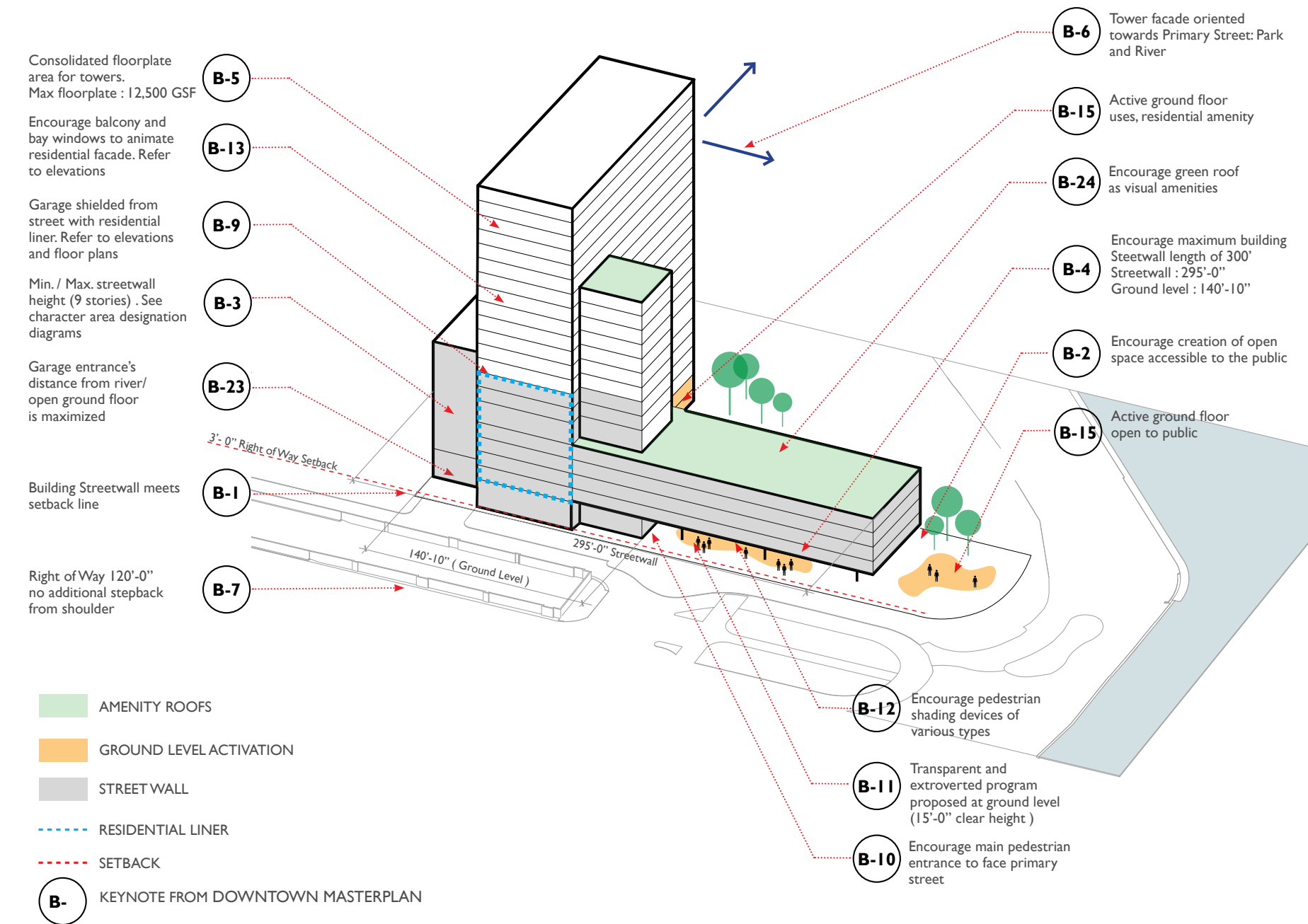
2 EAST ELEVATION DIAGRAM

SCALE: NTS

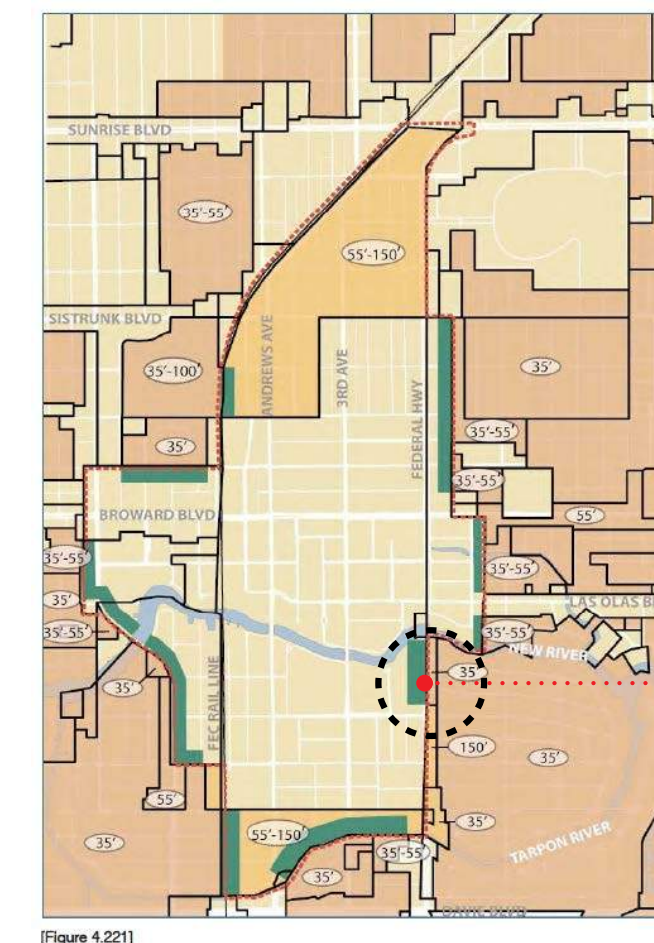


4 GROUND LEVEL ACTIVATION

SCALE: NTS

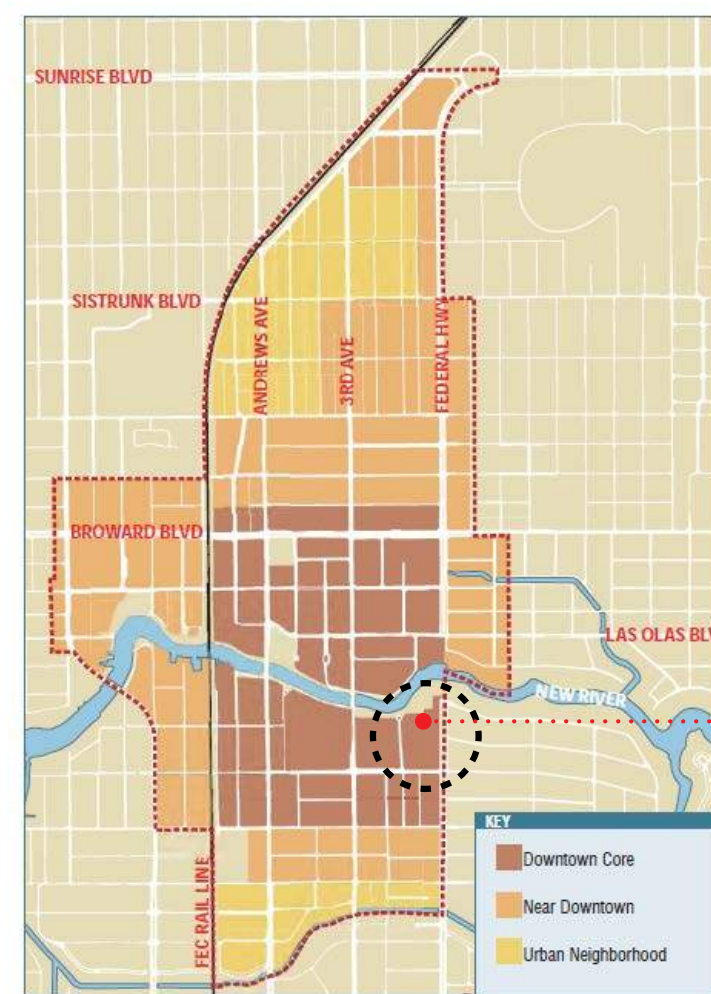


1 PRINCIPLES OF BUILDING DESIGN
SCALE: NTS

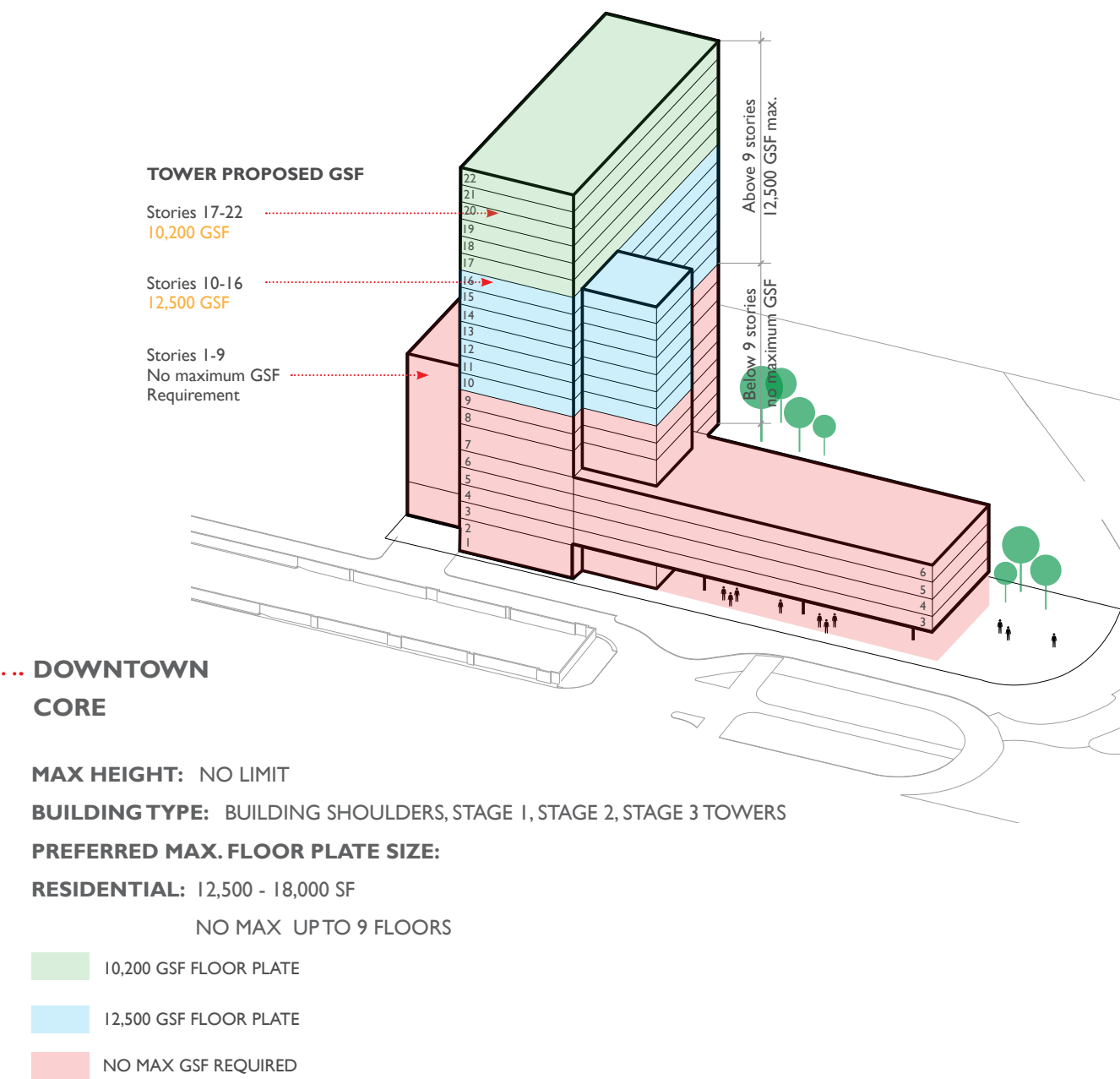


TRANSITION HEIGHT: 2.5 * MAX. HEIGHT ALLOWED BY ZONING
ADJACENT RESIDENTIAL MAX HEIGHT ALLOWED: 35 FT
RECOMMENDED HEIGHT: 2.5 X 35 = 87.5 FT

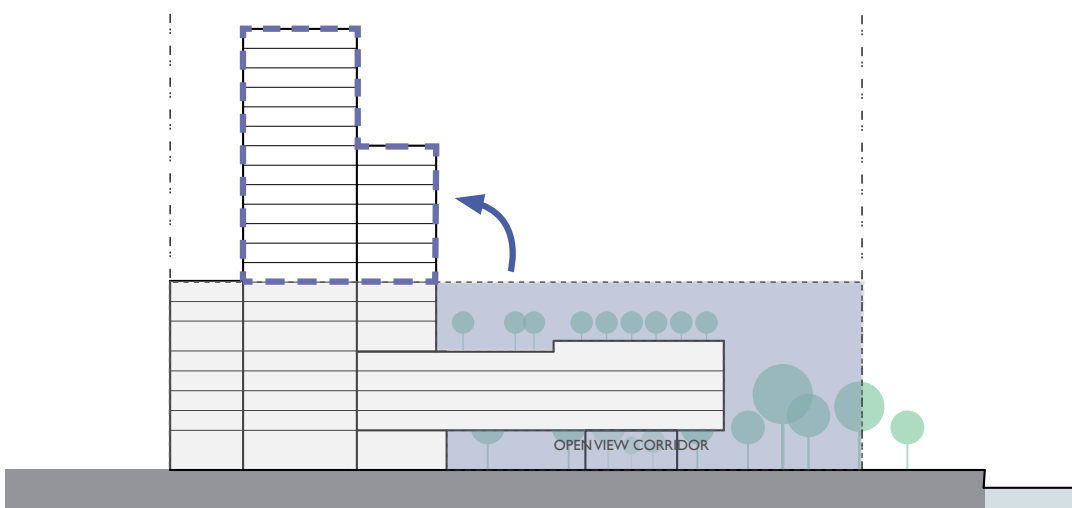
2 TRANSITION AREA TYPE
SCALE: NTS



[Figure 4.197] The Downtown RAC with Character Area designations



3 CHARACTER AREA DESIGNATIONS
SCALE: NTS



4 PROPOSED VISUAL MASSING (OPEN VIEW CORRIDOR)
SCALE: NTS

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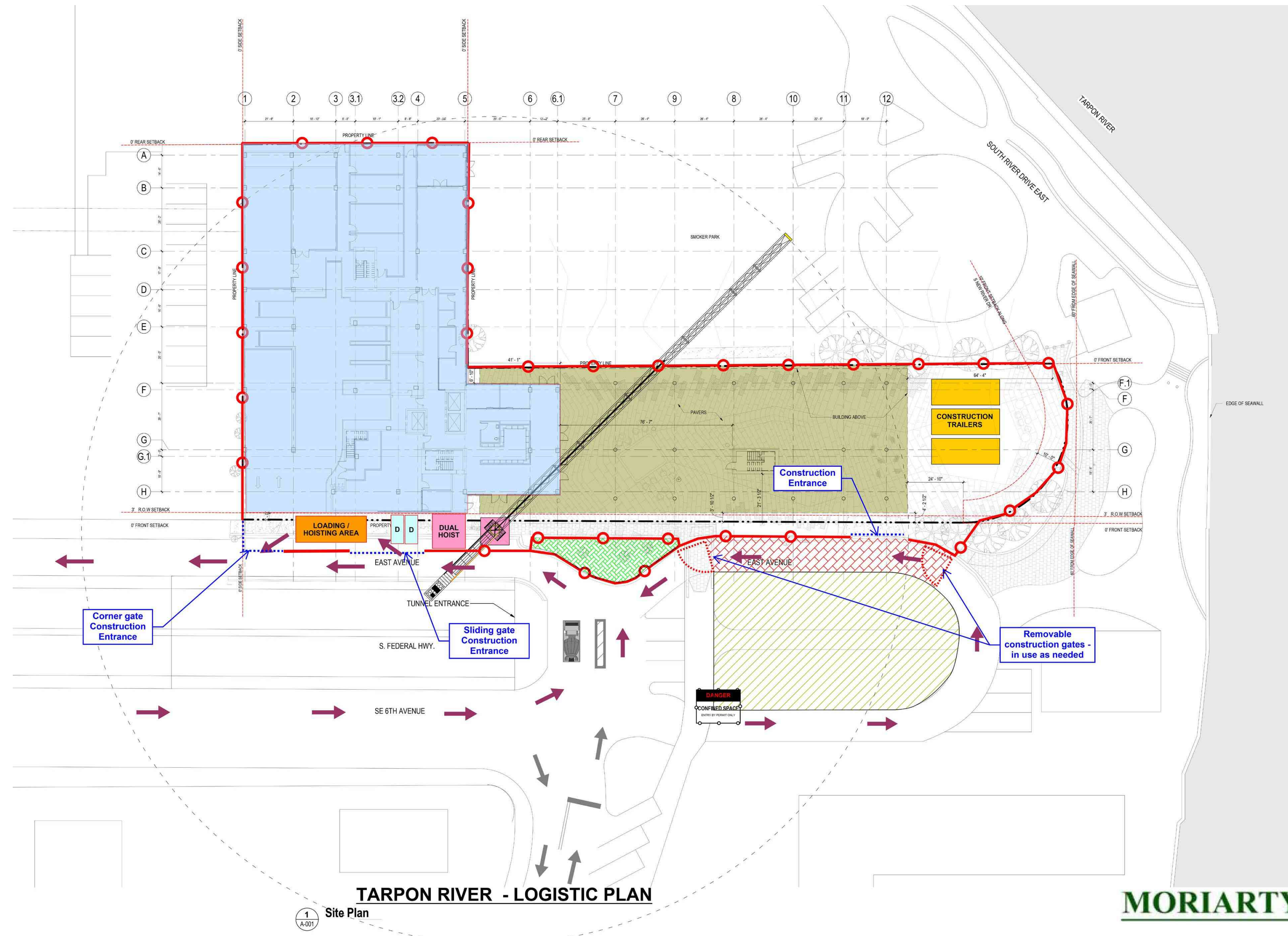
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STAGING SITE PLAN



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MORIARTY

PROJECT # 219420522 **STAGING SITE PLAN**
SCALE: NTS

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SURVEY

ALEXAN - TARPON RIVER

501 SE 6TH AVE FORT LAUDERDALE, FL 33301

- B-1: Survey**
- B-2: Survey Description
- B-3: Overall Survey



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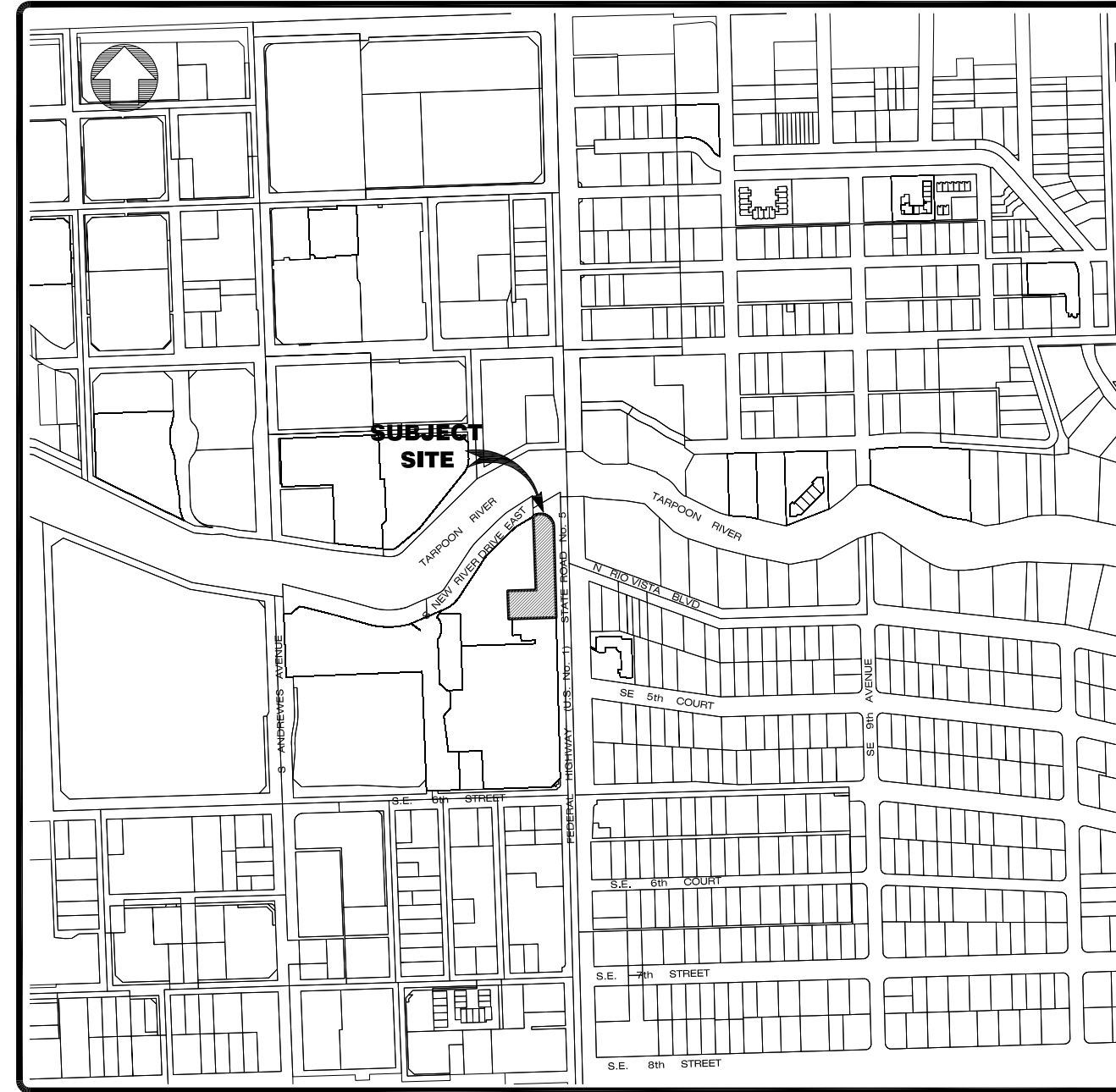
B-1

PROJECT # 219420522

MAP OF BOUNDARY SURVEY

A PORTION OF LOTS 1 & 19, BLOCK 44, OF 'TOWN OF FORT LAUDERDALE', RECORDED IN PLAT BOOK B, AT PAGE 40, MIAMI-DADE COUNTY PUBLIC RECORDS, LYING IN SECTION 10, TOWNSHIP 50 SOUTH, RANGE 42 EAST, CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA,

SECTION 10 - TOWNSHIP 50 SOUTH - RANGE 42 EAST



Benchmark: BCED BM 1881
Elevation: + 4.839 Feet (NVD 29 Datum)
Inversion: +3.259 Feet (NAVD 88 Datum)
Description: US Coast and Geodetic Survey brass disc set on top of concrete bench mark along south side of New River, near the west side of the SE 3rd Avenue bridge over the river, City of Fort Lauderdale, Broward County, Florida.

Legal Description was furnished by client.
Plat of 'BROWARD COUNTY COURTHOUSE PHASE II', recorded in Plat Book 142, of Page 21, Public Records of Broward County Florida.
Plat of 'HARCOURT', recorded in Plat Book 2, of Page 9, Public Records of Broward County Florida.
Plat of 'HENRY SHACKELFORD AMENDED PLAT SUBDIVISION LOTS 2 & 3 BLOCK 37', recorded in Plat Book 3, of Page 3, Public Records of Miami-Dade County Florida.
Plat of 'JUDICIAL PARKING FACILITY', recorded in Plat Book 137, of Page 38, Public Records of Broward County Florida.
Plat of 'BOO TRUST', recorded in Plat Book 153, of Page 37, Public Records of Broward County Florida.

For Horizontal Control:
All coordinates (Northing and Easting) are relative to the Florida State Plane Coordinates, Florida East Zone, North American Datum (NAD) 1983 adjustment of 2011 (NAD83/2011). Measurements were conducted in the field to acquire SRS coordinate values.

Name: FORT LAUDERDALE
Code: LAUD
Geographic Coordinates:
Longitude: 80°10'03.0433" W
Creation Date: 08-02-2010
Receiver Type: LEICA GR 10
Satellite System: GPS and GLONASS
Coverage Radius: 30 km

Name: DAVE
Code: FLD
Geographic Coordinates:
Longitude: 26°17' 14.23369" N
Longitude: 80°09' 24.79327" W
Creation Date: 08-02-2010
Receiver Type: LEICA GR 10
Satellite System: GPS and GLONASS
Coverage Radius: 30 km

Restrictions:
Since no other information was furnished other than that it cited in the Sources of Data, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Broward County.
The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual that may appear on the Public Records of this County.
No excavation or determination was made as to how the Subject Property is served by utilities.
No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown herein.

Accuracy:
The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the Minimum Technical Standards requirement for Suburban Area (Line) 1 foot in 7,500 feet as defined in Rule 5s-17.051 of the Florida Administrative Code.

Horizontal Accuracy:
Elevations of well identified features as depicted on the Survey Map were measured to an estimated vertical position accuracy of 1/100 of a foot on hard surfaces and 1/10 of a foot on ground surfaces.

Vertical Accuracy:
Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.

This Map of Survey is intended to be displayed at a scale of One inch equals: Twenty feet or smaller.

Pertinent Information Used in the Preparation of the Map of Survey:
North arrow direction is based on an assumed Meridian.
Bearings shown hereon are based upon the East Boundary Line of the Subject Site with an assumed bearing of N01°29'25" W, said line to be considered a well established and monumented line.

This property appears to be located in Flood Zone 'A1' with a Base Flood Elevation of 5.0 Feet (NAVD 88), 4.4 Feet (NVD 29) and Flood Zone 'X', as per Federal Emergency Management Agency (FEMA) Community-Flood Number 125105 (City of Fort Lauderdale). Map No. 0557, Suite L, Map Revised Date: August 18, 2014.

Elevations as shown hereon are based on the North American Vertical Datum of 1988, and a Benchmark provided by the Public Works and Transportation Department of Miami-Dade County, Florida.

For Units 202 & 310:
Order No. 6283381, with an effective search date covering up to March 24, 2017, at 11:00 P.M.
For Unit 204:
Order No. 6283317, with an effective search date covering up to March 16, 2017, at 11:00 P.M.
For Units 206 & 210:
Order No. 6283143, with an effective search date covering up to March 24, 2017, at 11:00 P.M.
For Unit 207:
Order No. 6283171, with an effective search date covering up to March 24, 2017, at 11:00 P.M.
For Unit 301:
Order No. 6283273, with an effective search date covering up to March 24, 2017, at 11:00 P.M.
For Unit 302:
Order No. 6283294, with an effective search date covering up to March 24, 2017, at 11:00 P.M.
For Unit 303:
Order No. 6283379, with an effective search date covering up to March 27, 2017, at 11:00 P.M.
For Unit 304:
Order No. 6283397, with an effective search date covering up to March 27, 2017, at 11:00 P.M.
For Unit 305:
Order No. 6283420, with an effective search date covering up to March 27, 2017, at 11:00 P.M.
For Unit 307:
Order No. 6283446, with an effective search date covering up to March 16, 2017, at 11:00 P.M.
For Unit 308:
Order No. 6283463, with an effective search date covering up to March 27, 2017, at 11:00 P.M.
For Unit 309:
Order No. 6283480, with an effective search date covering up to March 27, 2017, at 11:00 P.M.

Items # 1, 2, 3, 4 and Item # 5, inclusive, contain general conditions that have been addressed on this Survey Map or take outside the purview of the Land Surveying profession.

6. Restrictions, covenants, conditions, easements and other matters as contained on the Plat of Town of Fort Lauderdale, recorded in Plat Book 8, Page 40, of the Public Records of Dade County, Florida, sections now lying and situated in Broward County, Florida.

7. Easements in favor of Florida Power & Light Company filed in Official Records Book 3279, page 789 and Official Records Book 26997, page 1366, of the Public Records of Broward County, Florida.

8. Terms, covenants, conditions, easements, restrictions, reservations and other provisions, including provisions which provide for a private charge or assessment, and also provide for the prior approval of a future purchaser or occupant, according to that certain Edgewater House Declaration of Condominium, and the exhibits and attachments thereto, in Official Records Book 8689, page 184, Certificate of Amendment to Articles of Incorporation of Edgewater House filed in Official Records Book 43700, page 308, of the Public Records of Broward County, Florida.

9. Provisions and conditions as contained in License Agreement filed with Sakis Communications, Inc., filed 05/24/1989 in Official Records Book 9087, page 233, of the Public Records of Broward County, Florida.

10. The nature, extent or existence of riparian rights is not assured.

11. Any and all rights of the United States of America over artificial flood banks in what were formerly navigable waters, arising by reason of the United States of America's control over navigable waters in the interest of navigation and commerce, and any conditions contained in any permit authorizing the filling in of such areas.

12. The nature, extent or existence of riparian rights is not assured.

13. The nature, extent or existence of riparian rights is not assured.

14. The nature, extent or existence of riparian rights is not assured.

15. The nature, extent or existence of riparian rights is not assured.

16. The nature, extent or existence of riparian rights is not assured.

17. The nature, extent or existence of riparian rights is not assured.

18. The nature, extent or existence of riparian rights is not assured.

19. The nature, extent or existence of riparian rights is not assured.

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23. The nature, extent or existence of riparian rights is not assured.

24. The nature, extent or existence of riparian rights is not assured.

25. The nature, extent or existence of riparian rights is not assured.

26. The nature, extent or existence of riparian rights is not assured.

27. The nature, extent or existence of riparian rights is not assured.

28. The nature, extent or existence of riparian rights is not assured.

29. The nature, extent or existence of riparian rights is not assured.

30. The nature, extent or existence of riparian rights is not assured.

31. The nature, extent or existence of riparian rights is not assured.

32. The nature, extent or existence of riparian rights is not assured.

33. The nature, extent or existence of riparian rights is not assured.

34. The nature, extent or existence of riparian rights is not assured.

35. The nature, extent or existence of riparian rights is not assured.

Surveyor's Report:
Date of Survey:
The date of completion of the original field survey was on March 28, 2017, Revision 1. An additional field work was performed on April 18, 2017, to locate the portion of seawall along the New River, northerly of the Site and a free survey.
Revision 2: This Map of Survey was revised on July 24, 2017 to convert the vertical datum from the National Geodetic Vertical Datum of 1929 (NGVD 29) to North American Vertical Datum of 1988 (NAVD 88).

Legal Description:
As to Parcel 1:
Unit 101 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 2:
Unit 102 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 3:
Unit 103 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 4:
Unit 203 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 5:
Unit 205 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 6:
Unit 204 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 7:
Unit 207 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 8:
Unit 206 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 9:
Unit 208 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 10:
Unit 209 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 11:
Unit 204 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 12:
Unit 206 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 13:
Unit 207 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 14:
Unit 208 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 15:
Unit 209 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 16:
Unit 204 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 17:
Unit 206 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 18:
Unit 207 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 19:
Unit 208 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 20:
Unit 209 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 21:
Unit 204 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

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Unit 206 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

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Unit 207 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

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Unit 208 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 25:
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As to Parcel 26:
Unit 204 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 27:
Unit 206 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

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As to Parcel 33:
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As to Parcel 34:
Unit 208 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 35:
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As to Parcel 36:
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As to Parcel 42:
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As to Parcel 43:
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As to Parcel 44:
Unit 208 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 45:
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NOTE:
This Document is not full and complete without all pages. (Total of Two (2) pages)

LONGITUDE SURVEYORS
7715 NW 48TH STREET, SUITE 310
DORAL, FLORIDA 33166
PHONE: (305) 463-0912 FAX: (305) 313-5680
WWW.LONGITUDESURVEYORS.COM

JOB NO.: 17101.01 DRAWN BY: JM
FIELD BOOK: EFB SHEET 1 OF 2

Edgewater House Condominium lying and being in the following described lots:
Lots 1 and 19, LESS the portions thereof taken or occupied by the City of Fort Lauderdale, for street or road purposes, in Block 44 of TOWN OF FORT LAUDERDALE, according to the Plat thereof, recorded in Plat Book 8, Page 40, of the Public Records of Dade County, Florida; said lots situate, lying and being in Broward County, Florida.

Containing 34,669 Square Feet or 0.80 Acres, more or less, by calculations.

Property Address and Parcel Identification Number:
501 SE 6th Avenue, Fort Lauderdale, Florida 33301
Parcel Identification No. 504210A0010 (Reference only, Unit 101)

As to Parcel 1:
Unit 101 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 2:
Unit 102 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 3:
Unit 103 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 4:
Unit 203 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 5:
Unit 205 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 6:
Unit 204 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 7:
Unit 207 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 8:
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As to Parcel 9:
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As to Parcel 10:
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As to Parcel 11:
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As to Parcel 12:
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As to Parcel 13:
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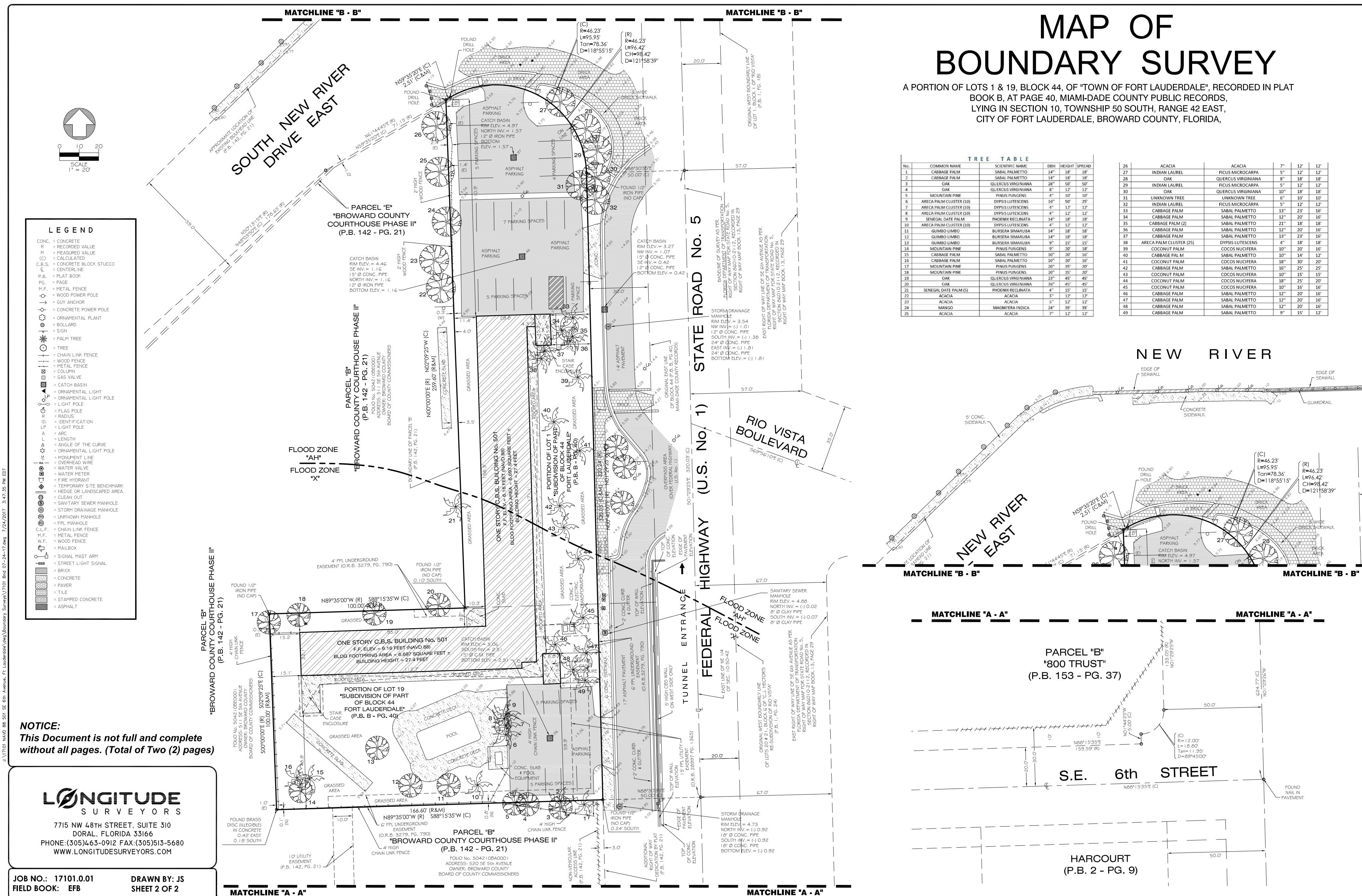
As to Parcel 14:
Unit 208 of Edgewater House Condominium, a Condominium according to the Declaration of Condominium thereof, recorded in Official Records Book 8689, Page(s) 184, of the Public Records of Broward County, Florida, and any amendments thereto, together with its undivided share in the common elements.

As to Parcel 15:
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As to Parcel 16:
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As to Parcel 17:
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As to Parcel 18:
Unit 2



ALEXAN - TARPON RIVER

Stantec logo and contact information.

B-3

PROJECT # 219420522 SURVEY SCALE: NTS

NOTE: 1. Survey for reference only

C-1: Cover Sheet

- C-2: General Notes
- C-3: Demolition Notes
- C-4: Demolition Plans
- C-5: Erosion Control Notes
- C-6: Erosion Control Plans
- C-7: Erosion Control Details
- C-8: Site Plan
- C-9: Site Plan Details
- C-10: Paving, Grading and Drainage Plan
- C-11: Paving, Grading and Drainage Details
- C-12: Water and Sewer Notes
- C-13: Water and Sewer Plan
- C-14: Water and Sewer Details
- C-15: Utility Plan
- C-16: Maneuverability Exhibit
- C-17: Easement Exhibit
- C-18: Fire Hydrant Exhibit
- C-19: Maintenance Agreement Area Exhibit

Kimley-Horn

Kimley-Horn & Associates, Inc.
355 Allamara Circle, Suite 1400
Coral Gables, Florida 33144
T: 305.673.2025 CA 00000696

Stantec

One Biscayne Tower, Suite 1670
Two South Biscayne Blvd, Miami, FL 33131
T: 305.452.8700
www.stantec.com

DRC-APPLICATION
NOT FOR CONSTRUCTION

10.27.2017

Barton J. Fye
Florida License
#73898

C-1

PROJECT # 219420522

GENERAL CONSTRUCTION NOTES

1. THE CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN A COPY OF THE CITY OF FORT LAUDERDALE, FLORIDA PUBLIC WORKS MANUAL AND SPECIFICATIONS, THE FLORIDA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (LATEST EDITION), THE FLORIDA BUILDING CODE, AND ALL OTHER LOCAL, COUNTY, STATE, AND FEDERAL STANDARDS GOVERNING THE PROPOSED WORK AND BECOME FAMILIAR WITH THE CONTENTS PRIOR TO COMMENCING WORK, AND, UNLESS OTHERWISE NOTED, ALL WORK SHALL CONFORM AS APPLICABLE TO THESE STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
3. THE INFORMATION PROVIDED IN THESE PLANS IS TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF THE CONDITIONS WHICH MAY BE ENCOUNTERED DURING THE COURSE OF THE WORK. ALL CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT ANY INVESTIGATION THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSIONS REGARDING THE ACTUAL CONDITION THAT WILL BE ENCOUNTERED, AND UPON WHICH THEIR BIDS WILL BE BASED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE BOTH THE SURFACE AND SUBSURFACE CONDITIONS AND BASE HIS PRICING ACCORDINGLY. GEOTECHNICAL AND ENVIRONMENTAL REPORTS ARE AVAILABLE FOR REVIEW.
4. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE COMMENCING ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 48 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION, AN APPROXIMATE LIST OF THE UTILITY COMPANIES WHICH THE CONTRACTOR MUST CALL BEFORE COMMENCING WORK IS PROVIDED ON THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
6. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER, AND THE ENGINEER OF RECORD.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONSTRUCTION DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, GEOTECHNICAL REPORT AND SPECIAL CONDITIONS AND COPIES OF ANY REQUIRED CONSTRUCTION PERMITS.
9. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER.
10. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER AND DESIGN ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF FLORIDA DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTORS RESPONSIBILITY.
12. ANY WELL DISCOVERED DURING EARTH MOVING OR EXCAVATION SHALL BE REPORTED TO THE OWNER, ENGINEER OF RECORD AND APPROPRIATE JURISDICTIONAL AGENCIES WITHIN 24 HOURS AFTER DISCOVERY IS MADE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY WELL ABANDONMENT PERMITS REQUIRED.
13. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE MAINTENANCE OF TRAFFIC FOR THE ADJACENT PROPERTY DURING CONSTRUCTION.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL AFFECTED AND ADJACENT PROPERTY OWNERS PRIOR TO BEGINNING WORK.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PROPOSED IMPROVEMENTS. FAILURE TO NOTIFY OWNER OF AN IDENTIFIABLE CONFLICT PRIOR TO PROCEEDING WITH INSTALLATION RELIEVES OWNER OF ANY OBLIGATION TO PAY FOR A RELATED CHANGE ORDER.
16. PRIOR TO GRAND OPENING THE CONTRACTOR SHALL:
 - SWEEP THE UTILITIES
 - ELIMINATE ALL DEBRIS IN THE LANDSCAPING AREAS
 - PRESSURE CLEAN THE SITE ASPHALT
 - PRESSURE CLEAN THE CURBS, SIDEWALKS, AND CONCRETE PAD AT THE DRIVE THRU

SURVEY DATA

1. ALL ELEVATIONS ON THE PLANS OR REFERENCED IN THE SPECIFICATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). HORIZONTAL COORDINATES ARE RELATIVE TO THE FLORIDA STATE COORDINATES SYSTEM, EAST ZONE, NORTH AMERICAN DATUM 1983(90) (NAD83).
2. ALL EXISTING CONTROL POINTS AND/OR REFERENCE MARKERS SHALL BE RAISED TO FINAL GRADE. THESE POINTS AND REFERENCE MARKERS SHALL BE LOCATED AND NOTED ON THE AS-BUILTS.
3. THE LOCATION OF EXISTING RIGHT-OF-WAY LINES, CENTERLINES, ROADWAY PAVEMENT, UTILITIES, TREES, AND OTHER PHYSICAL ABOVE-GROUND FEATURES SHOWN ON THE PLANS WERE TAKEN FROM THE SPECIFIC PURPOSE SURVEYS PREPARED BY:

LONGITUDE SURVEYORS
17715 NW 48TH STREET, SUITE 310
DORAL, FLORIDA 33166
PHONE: (305) 463-0912
FAX: (305) 513-5680
CONTACT: JOSE SENAS, PSM

UPDATED ON: 07/10/2017
4. ALL STATIONS AND OFFSETS ARE REFERENCED TO BASELINE OF SURVEY/CONSTRUCTION BASELINE.
5. EXISTING SECTION CORNERS AND ¼ SECTION CORNERS, AND OTHER LAND MARKERS OR MONUMENTS LOCATED WITHIN PROPOSED CONSTRUCTION ARE TO BE REFERENCED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND REPLACED IF DISTURBED BY THE CONTRACTOR AT DIRECTION OF A REGISTERED LAND SURVEYOR LICENSED IN THE STATE OF FLORIDA.
6. ANY NAVD-1988 MONUMENT WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF IN DANGER OF DAMAGE, NOTIFY:

GEODETC INFORMATION CENTER
ATTN: MARK MAINTENANCE SECTION N/CG-162
6001 EXECUTIVE BLVD
ROCKVILLE, MARYLAND 20852
PHONE: 301-443-8319

PAVING GRADING AND DRAINAGE NOTES

1. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN JURISDICTION'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
2. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
3. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/PIHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
5. ALL EARTHEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
6. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
7. WHERE NEW PAVEMENT MEETS THE EXISTING PAVEMENT, THE CONTRACTOR SHALL SAW OUT THE EXISTING PAVEMENT A MINIMUM 2' DEEP FOR A SMOOTH AND STRAIGHT JOINT AND MATCH THE EXISTING PAVEMENT ELEVATION WITH THE PROPOSED PAVEMENT UNLESS OTHERWISE INDICATED.
8. IF DETERMINED THAT DOWELING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE ENGINEER PRIOR TO ANY EXCAVATION.
9. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. IN SOME CASES TOPSOIL MAY BE STOCKPILED ON SITE FOR PLACEMENT WITHIN LANDSCAPED AREAS BUT ONLY AS DIRECTED BY THE OWNER.
10. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FOOT STANDARDS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
11. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE EARTHEN AREAS SHALL THEN BE SODDED OR SEEDED AS SPECIFIED IN THE PLANS. FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEEDED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
12. ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL) : 1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
14. THE CONTRACTOR SHALL TAKE ALL REQUIRED MEASURES TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY BARRIERS MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTER 17-302, FLORIDA ADMINISTRATIVE CODE.
15. SOD, WHERE CALLED FOR, MUST BE INSTALLED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING, AND AT ANY OTHER TIME AS NECESSARY, TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
16. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE ENVIRONMENTAL RESOURCE PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
17. THE CONTRACTOR SHALL ENSURE THAT PLANTING AREAS ARE NOT COMPACTED AND DO NOT CONTAIN ROAD BASE MATERIALS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND PROPERLY DISPOSED OF IN A LEGAL MANNER.
18. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORM WATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

MAINTENANCE

ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETRIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEDED AS NEEDED. FOR MAINTENANCE REQUIREMENTS REFER TO SECTION 981 OF THE STANDARD SPECIFICATIONS.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS AT NO ADDITIONAL COST TO THE OWNER WHEN THE DESIGN CAPACITY HAS BEEN NOTICEABLY REDUCED IN THE OPINION OF THE OWNER OR THE A/E.
7. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

MAINTENANCE OF TRAFFIC

1. TRAFFIC CONTROLS SHALL BE IN ACCORDANCE WITH THE PROJECT PLANS, THE 2017 EDITION OF THE FDOT DESIGN STANDARDS (600 SERIES), AND THE 2009 EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS A MINIMUM CRITERIA.
2. IF ANY DROP-OFF CONDITION CAN NOT BE CREATED AND RESTORED WITHIN THE SAME WORK PERIOD, THE CONTRACTOR SHALL USE BARRIERS PER INDEX 600 OF THE FDOT DESIGN STANDARDS.
3. THE CONTRACTOR SHALL HAVE A TRAFFIC CONTROL OFFICER ON SITE DURING WORK ACTIVITIES.
4. THE CONTRACTOR SHALL NOTIFY ALL LOCAL POLICE DEPARTMENTS, FIRE DEPARTMENTS, AND EMS 48 HOURS IN ADVANCE OF ANTICIPATED DISRUPTION TO THE NORMAL FLOW OF TRAFFIC, INCLUDING DETOURS.
5. THE CONTRACTOR SHALL NOTIFY THE CITY OF FORT LAUDERDALE AND THE BROWARD COUNTY SCHOOL DISTRICT TWO WEEKS PRIOR TO THE BEGINNING OF CONSTRUCTION.
6. THE CONTRACTOR SHALL MAINTAIN PEDESTRIAN FACILITIES PER STANDARD INDEX 660 DURING ALL CONSTRUCTION ACTIVITIES.

TYPICAL ENGINEER OBSERVATIONS

CONTRACTOR SHALL NOTIFY ENGINEER 48 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:

- PRE-CONSTRUCTION MEETING
- SUBGRADE PREPARATION
- BASE INSTALLATION
- CONCRETE INSTALLATION
- UNDERGROUND PIPING AND UTILITIES INSTALLATION
- INSTALLATION OF STRUCTURES, DDCV, HYDRANTS, METERS, ETC.
- SIDEWALK INSTALLATION
- CONNECTIONS TO WATER AND SEWER MAINS
- TESTS OF UTILITIES
- ANY OTHER INSPECTION FOR WHICH A PERMITTING AGENCY REQUIRES THE ENGINEER TO BE PRESENT

3RD PARTY TEST REPORTS REQUIRED

TEST REPORTS REQUIRED FOR CLOSE OUT INCLUDE, BUT ARE NOT LIMITED TO:

- DENSITY TEST REPORTS
- ANY OTHER TESTING REQUIRED BY JURISDICTIONAL AGENCIES

RECORD DRAWINGS

1. DURING THE DAILY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF CONSTRUCTION DRAWINGS THE EXACT LOCATION, LENGTH AND ELEVATION OF ANY FACILITY NOT BUILT EXACTLY ACCORDING TO PLANS.
2. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH AS-BUILT GRADES AND LOCATIONS OF FINISHED PAVEMENT, SIDEWALKS, CURBS, AND ALL PHYSICAL IMPROVEMENTS. SUCH GRADES SHALL BE OBTAINED BY A LICENSED SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF FLORIDA, AND SHALL DOCUMENT THE INTENT OF THE PROPOSED GRADES SHOWN ON THE PLANS. THIS SHALL BE DONE AT NO COST TO THE OWNER.

PROJECT CLOSE OUT

1. CLEANING UP
 - A. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEANUP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP CLEAN.
 - B. THE CONTRACTOR SHALL RESTORE OR REPLACE, WHEN AND AS DIRECTED, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY HIS/HER WORK, EQUIPMENT AND/OR EMPLOYEES TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS.
 - C. THE CONTRACTOR SHALL REPLACE ALL PAVING, STABILIZED EARTH, CURBS, DRIVEWAYS, SIDEWALKS, FENCES, MAILBOXES, SIGNS AND ANY OTHER IMPROVEMENTS REMOVED DURING CONSTRUCTION WITH THE SAME TYPE OF MATERIAL AND TO THE CONDITION WHICH EXISTED PRIOR TO THE BEGINNING OF OPERATIONS.
 - D. WHERE MATERIAL OR DEBRIS HAVE WASHED OR FLOWED INTO, OR HAVE BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE, AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING THE PROGRESS OF THE WORK. THESE AREAS SHALL BE KEPT IN A CLEAN AND NEAT CONDITION.
 - E. ALL DISPOSAL OF EXCESS AND UNSUITABLE EXCAVATED MATERIAL, DEMOLITION, VEGETATION, RUBBISH AND DEBRIS SHALL BE MADE OUTSIDE THE LIMITS OF CONSTRUCTION AT A LEGAL DISPOSAL SITE PROVIDED BY THE CONTRACTOR AT HIS/HER OWN EXPENSE, WITH THE PRIOR APPROVAL OF THE ENVIRONMENTAL ENGINEER. MATERIAL CLEARED FROM THE SITE SHALL NOT BE DEPOSITED ON ADJACENT AND/OR NEARBY PROPERTY.
 - F. IMMEDIATELY PRIOR TO GRAND OPENING, CONTRACTOR IS TO SWEEP ENTIRE SITE, ELIMINATE ALL DEBRIS AND FUMIGATE THE LANDSCAPE AREAS AND PRESSURE CLEAN THE SITE ASPHALT, CURB, SIDEWALKS, AND CONCRETE PADS.
2. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES, REMOVED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
3. CONTRACTOR TO REPLACE ALL FOUND PIPES WITH NAIL AND DISKS.
4. REFER TO BROWARD COUNTY AND THE CITY OF FORT LAUDERDALE STANDARDS FOR ADDITIONAL CLOSE-OUT REQUIREMENTS.

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PROJECT # 219420522

CIVIL RELATED DEMOLITION NOTES AND SPECIFICATIONS:

SHOULD ANY SECTION OF THESE DEMOLITION NOTES BE IN DIRECT CONFLICT WITH THE PROVISIONS OR TECHNICAL SPECIFICATIONS CONTAINED IN THE CONTRACT DOCUMENT FOR THIS PROJECT, THE INTENT OF THE CONTRACT DOCUMENT SHALL GOVERN.

I. GENERAL

FOR THIS PROJECT, "OWNER" SHALL MEAN TRAMMEL CROW RESIDENTIAL. "SURVEY" SHALL MEAN THE BOUNDARY SURVEY PREPARED BY LONGITUDE SURVEYORS ON 03/22/2017 (UPDATED 07/10/2017) FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER:LB-7335 AND "ENGINEER" SHALL MEAN THE ENGINEER OF RECORD.

- EXISTING CONDITIONS, UTILITIES, STRUCTURES AND OTHER IMPROVEMENTS, AS SHOWN ON THE DEMOLITION DRAWINGS, WERE TAKEN FROM THE SURVEY, AND FROM INFORMATION PROVIDED BY UTILITY COMPANIES. AN ATTEMPT HAS BEEN MADE TO SHOW ALL EXISTING STRUCTURES, UTILITIES, DRIVES, WALKS, ETC. IN THEIR APPROXIMATE LOCATION. OTHERS MAY EXIST AND MAY BE FOUND UPON VISITING THE SITE. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACCURATELY LOCATE ALL FACILITIES AND TO DETERMINE THEIR EXTENT. IF SUCH FACILITIES OBSTRUCT THE PROGRESS OF THE WORK AND ARE NOT INDICATED TO BE REMOVED OR RELOCATED, THEY SHALL BE REMOVED OR RELOCATED ONLY AS DIRECTED BY THE OWNER OR ENGINEER OF RECORD, AT NO ADDITIONAL COST TO THE OWNER.
- SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.
- ORGANIZE AND PERFORM DEMOLITION WORK TO AVOID DAMAGE TO CONSTRUCTION INTENDED TO REMAIN, INCLUDING TREES (SEE LANDSCAPE PLANS FOR DETAILS).
- DEMOLITION AND REMOVAL OPERATIONS SHALL BE CONDUCTED IN AN EXPEDIENT MANNER, WITH PRECAUTIONS TAKEN TO PREVENT THE DEMOLITION SITE FROM BEING A NUISANCE.
- PERFORM REMOVAL AND DEMOLITION IN ACCORDANCE WITH DEMOLITION SCHEDULE (REFER TO SECTION IV.) AND TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING ADJACENT BUILDINGS, FURNISHINGS, AND EQUIPMENT. NOTIFY THE ENGINEER OF ANY CONDITIONS THAT MAY AFFECT THE SAFETY OF OCCUPANTS OF ADJACENT BUILDINGS, THE NORMAL USE OF THESE FACILITIES, OR THE PHYSICAL CONDITION OF THE STRUCTURES.
- ALL EXISTING UTILITIES OUTSIDE THE PROPERTY BOUNDARIES ARE TO REMAIN, UNLESS OTHERWISE NOTED.
- PRIOR TO DEMOLITION ACTIVITIES, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL AFFECTED UTILITY COMPANIES IN ORDER TO COORDINATE THE DEACTIVATION OF ALL EXISTING UTILITY LINES WITHIN THE PROPERTY. ONCE ALL ON-SITE UTILITIES HAVE BEEN DEACTIVATED, ALL LINES SHALL BE CUT AND CAPPED INSIDE THE PROPERTY LINE, AND REMOVED (UNLESS OTHERWISE INDICATED).
- THE CONTRACTOR SHALL USE EXTREME CAUTION IN REMOVING ANY STRUCTURES AND UTILITIES ABOVE AND BELOW GRADE TO PREVENT DAMAGE TO EXISTING UTILITIES WHICH ARE TO REMAIN IN SERVICE. ANY DAMAGE TO EXISTING PIPELINES, UTILITIES, ETC., CAUSED BY THE CONTRACTOR SHALL BE REPAIRED, AT THE CONTRACTOR'S EXPENSE, IN A MANNER ACCEPTABLE TO THE PARTY IN OWNERSHIP OF THE DAMAGED PROPERTY. THE CONTRACTOR SHALL REPORT ANY EXISTING DAMAGE PRIOR TO BEGINNING WORK. IN THE EVENT OF ACCIDENTAL DISRUPTION OF UTILITIES OR THE DISCOVERY OF PREVIOUSLY UNKNOWN UTILITIES, STOP WORK IMMEDIATELY AND NOTIFY THE AFFECTED UTILITY COMPANY AND THE ENGINEER. DO NOT CONTINUE WORK UNTIL THE UTILITY COMPANY, ENGINEER, AND CONTRACTOR AGREE ON A PLAN TO CORRECT THE SITUATION OR IDENTIFY THE UTILITY SERVICE LINE.
- EXISTING WORK NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY REMOVED, DAMAGED, EXPOSED, OR IN ANY WAY DISTURBED OR ALTERED BY THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED, PATCHED OR REPLACED, SOLELY AT THE CONTRACTOR'S EXPENSE, TO THE ENGINEER'S AND OWNER'S SATISFACTION.
- TITLE AND RESPONSIBILITY TO MATERIALS AND EQUIPMENT TO BE REMOVED, EXCEPT SALVAGEABLE EQUIPMENT TO BE RETAINED BY THE OWNER, IS VESTED TO THE CONTRACTOR UPON RECEIPT OF NOTICE TO PROCEED. THE OWNER WILL NOT BE RESPONSIBLE FOR THE CONDITION, LOSS OR DAMAGE TO SUCH MATERIALS AND EQUIPMENT AFTER THE ISSUANCE OF THE NOTICE TO PROCEED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO:
 - PROTECT ALL EXISTING STRUCTURAL AND VEGETATIVE ELEMENTS TO REMAIN DURING DEMOLITION UNLESS OTHERWISE SPECIFIED.
 - IF APPLICABLE, PATCH AND REPAIR ALL SURFACES WITHIN THE PUBLIC R/W AFFECTED BY DEMOLITION.
 - SAW-CUT IN NEAT, STRAIGHT LINES, EXISTING CONC. OR ASPHALT PAVEMENT.
 - REMOVE ALL EXISTING IRRIGATION LINES WITHIN THE LIMITS OF DEMOLITION UNLESS OTHERWISE NOTED.
 - ALL EXISTING CHAIN LINK FENCES AND CBS WALLS ALONG THE PERIMETER OF THE PROPERTY SHALL REMAIN, UNLESS OTHERWISE SPECIFIED.
 - NO ELECTRIC POLES, STREET LIGHTS, WATER METERS/VALVES, FIRE HYDRANTS ETC. WILL BE REMOVED WITHIN THE ROADWAY RIGHT-OF-WAY, UNLESS OTHERWISE NOTED ON THE DEMOLITION PLANS.
 - REFER TO LANDSCAPE PLANS FOR VERIFICATION OF ALL EXISTING TREES TO BE REMOVED, RELOCATED OR TO REMAIN.
 - MAINTAIN ALL EXISTING SURVEY REFERENCES AND MARKERS IN PLACE, OTHERWISE THEY SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

II. DESCRIPTION

- PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SERVICES, ETC., NECESSARY AND INCIDENTAL TO THE COMPLETION OF ALL SITE DEMOLITION AND CLEARING WORK AS SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING THE LEGAL TRANSPORT AND OFF-SITE DISPOSAL OF DEMOLITION DEBRIS.
- ALL SITE WORK INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
 - FULL-DEPTH REMOVAL OF EXISTING SIDEWALKS, DRIVES, CURBS, AND PAVEMENT.
 - FULL DEPTH REMOVAL OF EXISTING BUILDING FOUNDATIONS, UNDERGROUND UTILITIES AND RELATED STRUCTURES.
 - CLEARING SITE OF VEGETATION AND TREES AS NOTED ON THE LANDSCAPE PLANS.
 - CLEARING SITE OF DEMOLITION DEBRIS.
 - REMOVAL FROM SITE AND DISPOSAL OF ALL EXCESS AND UNUSABLE MATERIAL.
 - COORDINATION WITH ALL UTILITY COMPANIES/OWNERS PRIOR TO DEACTIVATION OF EXISTING UTILITIES.

III. APPLICABLE CODES

- DEMOLITION AND TRANSPORTATION OF DEBRIS SHALL COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS GOVERNING THESE OPERATIONS. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS, BONDS, LICENSES, ETC., REQUIRED FOR DEMOLITION AND CLEARING WORK.
- ANY WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT, AND OTHER GOVERNMENTAL AGENCIES WHO MAY HAVE JURISDICTION OF THE PUBLIC RIGHT-OF-WAY. SAID WORK SHALL NOT BEGIN UNTIL THE CONTRACTOR HAS OBTAINED ALL PERMITS AND NOTIFIED ALL THE GOVERNING AUTHORITIES.

IV. SEQUENCING AND SCHEDULING

- AREAS ADJACENT TO DEMOLITION AND REMOVAL WORK MAY BE OCCUPIED AND THEIR ACTIVITIES CANNOT BE INTERRUPTED OR DISTURBED DURING NORMAL WORKING HOURS. DEMOLITION SCHEDULE SHALL BE COORDINATED WITH ALL ADJACENT PROPERTY OWNERS AND ANY OTHER PARTIES WHOSE DAILY ACTIVITIES WOULD BE AFFECTED BY THE DEMOLITION WORK.
- COORDINATE WITH APPLICABLE UTILITY COMPANIES FOR UTILITY LINE REMOVAL, CAPPING AND UTILITY SHUTDOWNS NECESSITATED BY REMOVAL WORK.

V. ENVIRONMENTAL PROTECTION

- CONTROL AMOUNT OF DUST RESULTING FROM CONSTRUCTION OR DEMOLITION TO PREVENT SPREAD OF DUST TO OTHER BUILDINGS AND TO AVOID CREATION OF A NUISANCE IN SURROUNDING AREAS. USE OF WATER TO CONTROL DUST WILL NOT BE PERMITTED WHEN IT WILL RESULT IN, OR CREATE, HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS FLOODING.
- NOISE PRODUCING ACTIVITIES SHALL BE HELD TO A MINIMUM. INTERNAL COMBUSTION ENGINES AND COMPRESSORS, ETC., SHALL BE EQUIPPED WITH MUFFLERS TO REDUCE NOISE TO A MINIMUM. CONTRACTOR SHALL COMPLY WITH ALL NOISE ABATEMENT ORDINANCES.
- THE USE OF EXPLOSIVES WILL NOT BE PERMITTED.
- DISPOSITION OF DEMOLISHED MATERIALS BY BURNING IS NOT PERMITTED.
- ALL CLEARING SHALL BE PERFORMED IN A MANNER SUCH AS TO PREVENT ANY WASH-OFF OF SOILS AND DEBRIS FROM THE SITE INTO PUBLIC RIGHT-OF-WAY WATER BODIES, AND/OR STORM DRAINAGE SYSTEMS. APPROPRIATE SEDIMENTATION PONDS, DIKES, COLLARS, AND FILTER MEDIA SHALL BE EMPLOYED TO ENSURE COMPLIANCE WITH THESE REQUIREMENTS. WHERE A SPECIFIC STATUTE GOVERNS THESE PROCEDURES, SUCH STATUTE SHALL BE COMPLIED WITH IN ITS ENTIRETY.
- AT ALL TIMES DURING THE CLEARING OPERATION, THE EXPOSED AREAS OF SUBGRADE SHALL BE MAINTAINED IN A CONDITION COMPATIBLE WITH POSITIVE DRAINAGE OF THE WORK AREA. NO WATER WILL BE PERMITTED TO STAND IN OPEN EXCAVATIONS. ALL STORMWATER RUNOFF SHALL BE CONTAINED WITHIN THE SITE. FAILURE TO MAINTAIN SUCH DRAINAGE SHALL BE CONSIDERED ADEQUATE CAUSE TO ORDER TEMPORARY SUSPENSION OF THE WORK.
- IF IT SHOULD BECOME NECESSARY TO STOP WORK FOR INDEFINITE PERIODS, THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE OR DETERIORATION OF THE WORK ALREADY PERFORMED, PROVIDE SUITABLE AND FUNCTIONAL DRAINAGE BY OPENING DITCHES, FILTER DRAINS, TEMPORARY CUT-OFF LINES, ETC. AND ERECT TEMPORARY PROTECTIVE STRUCTURES WHERE NECESSARY. ALL EMBANKMENTS SHALL BE BACK-BLADED AND SUITABLY SEALED TO PROTECT AGAINST ADVERSE WEATHER CONDITIONS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS WHEN REMOVING ABANDONED AND DE-ENERGIZED MATERIALS. IF ASBESTOS PIPES ARE ENCOUNTERED, THE CONTRACTOR WILL TAKE ALL NECESSARY ABATEMENT STEPS AS REQUIRED BY GOVERNING REGULATIONS TO SAFELY REMOVE AND DISPOSE OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF SAID MATERIALS.
- THE CONTRACTOR SHALL SECURE THE WORK AREA WITH FENCING OR OTHER MEANS AS APPROVED BY THE OWNER.

VI. TRAFFIC MAINTENANCE

- THE CONTRACTOR SHALL FOLLOW FDOT MAINTENANCE OF TRAFFIC PROCEDURES DURING CONSTRUCTION IN PUBLIC RIGHT-OF-WAYS AND PRIVATE DRIVEWAYS, PEDESTRIAN PATHS, AND ROADWAYS (INDEX 600 SERIES), AND PREPARE AND OBTAIN APPROVAL OF SUCH MAINTENANCE OF TRAFFIC PLAN FROM THE APPROPRIATE REGULATORY AGENCY.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING, SHORING, TEMPORARY CROSSEVER FOR PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING GUARDRAILS, LAMPS, WARNING SIGNS AND FLAGS AS REQUIRED BY AGENCIES HAVING JURISDICTION, AND SHALL NOT REMOVE THESE UNTIL THE NEED FOR PROTECTION CEASES.
- THE CONTRACTOR MAY NOT CLOSE ANY SIDEWALKS WITHOUT PROVIDING ALTERNATE ROUTES IN ACCORDANCE WITH FDOT INDEX 860 AND OBTAINING APPROVAL FROM THE GOVERNING JURISDICTIONAL AGENCY.
- THE CONTRACTOR SHALL CONDUCT CONSTRUCTION OPERATIONS SO THAT TRAFFIC IS MAINTAINED ALONG EXISTING STREETS AND WALKS. ALL PUBLIC PAVED STREETS AND WALKWAYS MUST BE KEPT FREE OF DEBRIS. THE CONTRACTOR MUST REMOVE MATERIAL AND OTHER MATTER TRACKED OR FALLEN ONTO TRAFFIC SURFACES.

VII. CLEAN UP

- REMOVE DEMOLISHED CONSTRUCTION MATERIALS AND RELATED DEBRIS FROM THE SITE ON A REGULAR BASIS. ACCUMULATION OF DEBRIS ON THE SITE WILL NOT BE PERMITTED. SELLING OF SALVAGEABLE MATERIALS IS NOT PERMITTED AT THE SITE.
- REMOVE MATERIALS, INCLUDING DEBRIS AND DUST, AND DISPOSE OF LEGALLY OFF SITE. NO DEBRIS SHALL BE BURNED OR BURIED ON THE SITE AS A MEANS OF DISPOSAL. USE METHODS APPROVED BY THE REGULATORY AGENCIES PRIOR TO BEGINNING CLEANUP OPERATIONS. USE OF BLOWERS TO DISTRIBUTE DUST WILL NOT BE PERMITTED.
- MATERIAL DESIGNATED FOR REMOVAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, AND ANY SALVAGE VALUE THERE FROM WILL ACCRUE TO THE CONTRACTOR.

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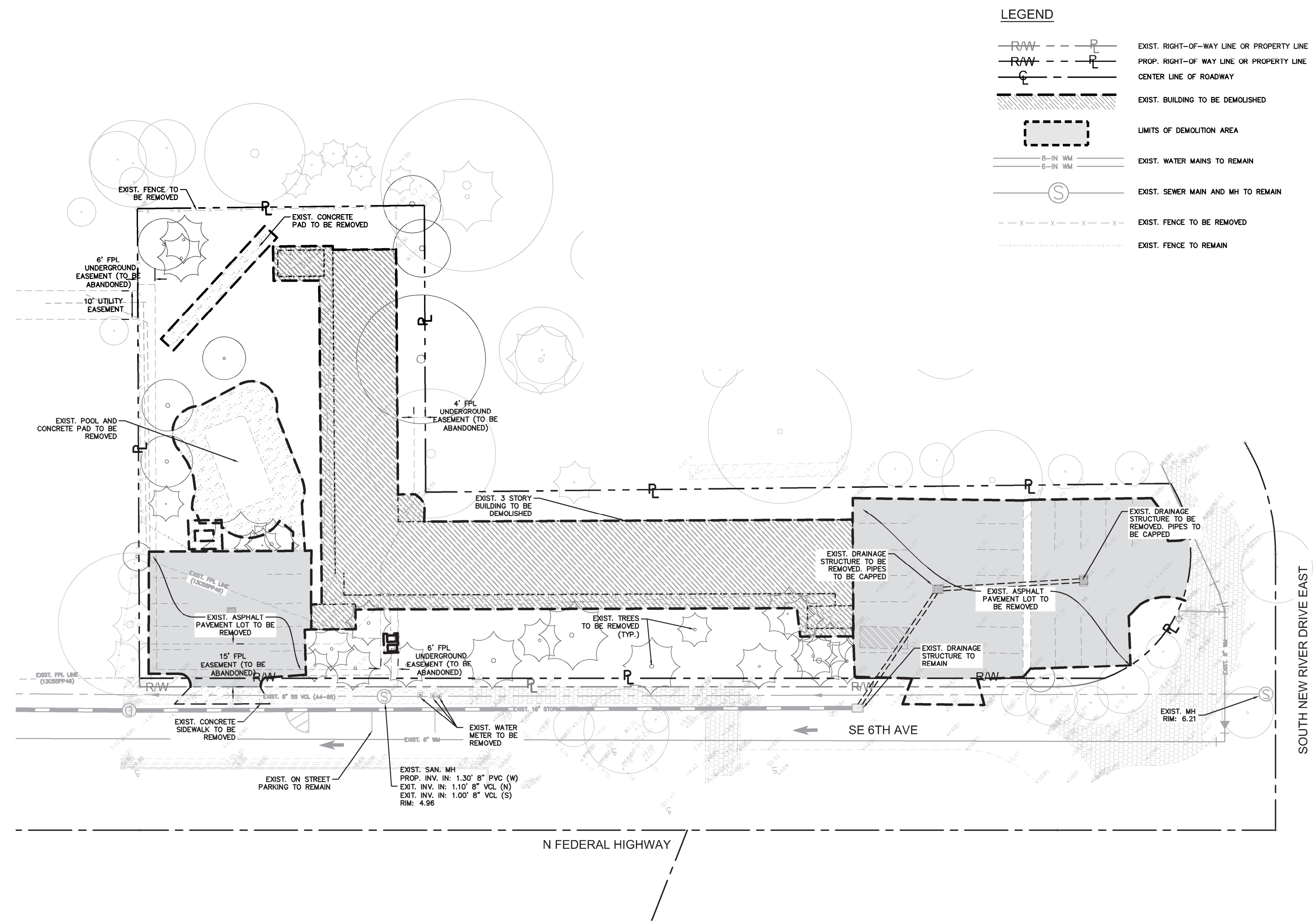
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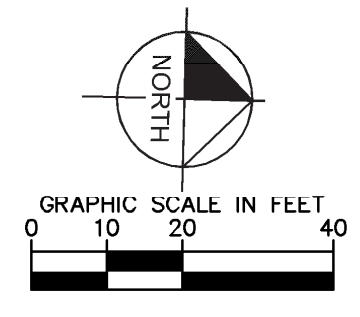
PROJECT # 219420522

DEMOLITION PLAN



LEGEND

	EXIST. RIGHT-OF-WAY LINE OR PROPERTY LINE
	PROP. RIGHT-OF-WAY LINE OR PROPERTY LINE
	CENTER LINE OF ROADWAY
	EXIST. BUILDING TO BE DEMOLISHED
	LIMITS OF DEMOLITION AREA
	EXIST. WATER MAINS TO REMAIN
	EXIST. SEWER MAIN AND MH TO REMAIN
	EXIST. FENCE TO BE REMOVED
	EXIST. FENCE TO REMAIN



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EROSION CONTROL NOTES

BEST MANAGEMENT PRACTICES (BMPs):

THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH APPROPRIATE CONDITIONS OF THE BROWARD COUNTY LAND DEVELOPMENT REGULATIONS, THE RULES OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP), CHAPTER 17--25, F.A.C., THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT (SFWMD), CHAPTER 400--4, F.A.C. AND THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) DOCUMENT NO. EPA 832/R--92--005 (SEPTEMBER 1992). THE PLAN ADDRESSES THE FOLLOWING:

- A. PREVENT LOSS OF SOIL DURING CONSTRUCTION BY STORMWATER RUNOFF AND/OR WIND EROSION, INCLUDING PROTECTING TOPSOIL BY STOCKPILING FOR REUSE.
- B. SEDIMENTATION PROTECTION OF STORM SEWER OR RECEIVING STREAM.
- C. PREVENT POLLUTING THE AIR WITH DUST AND PARTICULATE MATTER. THE VARIOUS TECHNIQUES OR ACTIONS IDENTIFIED UNDER EACH SECTION INDICATE THE APPROPRIATE SITUATION WHEN THE TECHNIQUES SHOULD BE EMPLOYED. ALSO IDENTIFIED IS A CROSS-REFERENCE TO A DIAGRAM OR FIGURE REPRESENTING THE TECHNIQUE. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THIS PLAN ARE ONLY SUGGESTED BMP(S). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED IN ACCORDANCE WITH THE CURRENT FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. CONTRACTOR SHALL PREPARE REQUIRED NPDES DOCUMENTATION AND OBTAIN PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE THE REQUIRED NPDES DOCUMENT AND OBTAIN THE NPDES PERMIT. ALL COST ASSOCIATED WITH SUCH WORK SHALL BE DEEMED INCIDENTAL TO THE PROJECT LUMP SUM COST.

GENERAL EROSION CONTROL NOTES:

- A. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THESE EROSION CONTROL DRAWINGS, THE STANDARD DETAILS, THE NPDES PERMIT (TO BE OBTAINED BY CONTRACTOR) AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THIS DRAWING AND THE STATE OF FLORIDA NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM GENERIC PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES (BMP) IN ALL CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 1. FUEL SPILLS AND LEAKS PREVENTION
 2. PREVENT/REDUCE VEHICLE AND EQUIPMENT WASHING AND STEAM CLEANING
 3. VEHICLE AND EQUIPMENT MAINTENANCE AND REPAIR
 4. PROPER OUTDOOR LOADING/UNLOADING OF MATERIALS
 5. PREVENT/REDUCE OUTDOOR STORAGE OF RAW MATERIALS, PRODUCTS, AND BY--PRODUCTS
 6. SOLID WASTE MANAGEMENT
 7. HAZARDOUS WASTE MANAGEMENT
 8. CONCRETE CURING MANAGEMENT
 9. SANDBLASTING WASTE MANAGEMENT
 10. STRUCTURE CONSTRUCTION AND PAINTING
 11. SPILL PREVENTION AND CONTROL
 12. CONTAMINATED SOIL MANAGEMENT
 13. SANITARY/SEPTIC WASTE MANAGEMENT
 14. SOIL EROSION CONTROL
 15. STORM WATER TURBIDITY MANAGEMENT
- D. BEST MANAGEMENT PRACTICES (BMPs) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. CONTRACTOR MUST MAINTAIN ALL PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS ON SITE AT ALL TIMES.
- F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- G. CONTRACTOR SHALL BEGIN CLEARING AND GRUBBING THOSE PORTIONS OF THE SITE NECESSARY TO IMPLEMENT PERIMETER CONTROL MEASURES. CLEARING AND GRUBBING FOR THE REMAINING PORTIONS OF THE PROPOSED SITE SHALL COMMENCE ONCE PERIMETER CONTROLS ARE IN PLACE. PERIMETER CONTROLS SHALL BE ACTIVELY MAINTAINED UNTIL SAID AREAS HAVE BEEN STABILIZED AND SHALL BE REMOVED ONCE FINAL STABILIZATION IS COMPLETE.
- H. GENERAL EROSION CONTROL BMPs SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND POTENTIAL LAKE SLOPE CAVE--INS. WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED AS SOON AS POSSIBLE DURING CONSTRUCTION.
- I. ON--SITE & OFF--SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- J. SURFACE WATER QUALITY SHALL BE MAINTAINED BY EMPLOYING THE FOLLOWING BMP'S IN THE CONSTRUCTION PLANNING AND CONSTRUCTION OF ALL IMPROVEMENTS.

STORM WATER EROSION CONTROL PRACTICES:

- A. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM DETENTION PONDS AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- B. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- C. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (COMPOST SOCK DEVICES, ETC.) TO PREVENT EROSION.
- D. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES.
- E. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:
 1. IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
 2. STORMWATER INLETS SHALL BE PROTECTED DURING CONSTRUCTION. PROTECTION MEASURES SHALL BE EMPLOYED AS SOON AS PRACTICAL DURING THE VARIOUS STAGES OF INLET CONSTRUCTION. SILT BARRIERS SHALL REMAIN IN PLACE UNTIL SODDING AROUND INLETS IS COMPLETE.
 3. WHEN NEEDED A TEMPORARY SEDIMENT TRAP SHOULD BE CONSTRUCTED TO DETAIN SEDIMENT--LADEN RUNOFF FROM DISTURBED AREAS.
- F. SILT BARRIERS, ANY SILT WHICH ACCUMULATES BEHIND THE BARRIERS, AND ANY FILL USED TO ANCHOR THE BARRIERS SHALL BE REMOVED PROMPTLY AFTER THE END OF THE MAINTENANCE PERIOD SPECIFIED FOR THE BARRIERS.
- G. SLOPES OF BANKS OF RETENTION/DETENTION PONDS SHALL BE CONSTRUCTED NOT STEEPER THAN 3H:1V FROM TOP OF BANK TO TWO FEET BELOW NORMAL WATER LEVEL, AS APPLICABLE.
- H. SOD SHALL BE PLACED FOR A 2--FOOT WIDE STRIP ADJOINING ALL CURBING AND AROUND ALL INLETS. SOD SHALL BE PLACED BEFORE SILT BARRIERS ARE REMOVED.
- I. WHERE REQUIRED TO PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A LAKE OR SWALE, A TEMPORARY SEDIMENT SLUMP SHALL BE CONSTRUCTED.
- J. FILTER FABRIC SHOULD BE USED FOR STORM DRAIN INLET PROTECTION BEFORE FINAL STABILIZATION.

WIND EROSION CONTROL PRACTICES:

- A. WIND EROSION SHALL BE CONTROLLED BY EMPLOYING THE FOLLOWING METHODS AS NECESSARY AND APPROPRIATE:
 1. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.
 2. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED (SEE PERMANENT STABILIZATION PRACTICES FOR DETAILS). THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN. CLEARED SITE DEVELOPMENT AREAS NOT CONTINUALLY SCHEDULED FOR CONSTRUCTION ACTIVITIES SHALL BE COVERED WITH HAY OR OVERSEEDED AND PERIODICALLY WATERED SUFFICIENTLY TO STABILIZE THE TEMPORARY GROUNDCOVER (SEE TEMPORARY STABILIZATION PRACTICES FOR DETAILS).
 3. AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS SHOULD INCLUDE ERECTION OF DUST CONTROL FENCES. A 6--FT GEOTEXTILE FILTER FABRIC SHOULD BE HANGING AGAINST THE EXISTING CHAIN LINK FENCE AND GATE.
- B. ALL DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

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STABILIZATION PRACTICES:

SHALL BE IN ACCORDANCE WITH DEP DOCUMENT NO. 62--621.300(4)(c)

WASTE DISPOSAL:

- A. WASTE MATERIALS -- ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN A METAL DUMPSTER WITH A SECURE LID IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN THE DUMPSTER. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITIES TO HAVE THE DUMPSTER EMPLOYED AT LEAST TWICE A WEEK AND THE WASTE TAKEN TO AN APPROPRIATE LANDFILL. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE. THE SUPERINTENDENT SHALL ORGANIZE TRAINING FOR THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND ENFORCING WASTE MATERIAL PROCEDURES.
- B. HAZARDOUS WASTE -- HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS OR AS DIRECTED BY THE MANUFACTURER. THE SUPERINTENDENT SHALL ORGANIZE THE PROPER TRAINING FOR EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH HAZARDOUS WASTE MATERIALS. THESE PROCEDURES SHALL BE ENFORCED THROUGH THE EMPLOYEES IN THE PROPER PRACTICES WHEN DEALING WITH WASTE MATERIALS. THE SUPERINTENDENT SHALL BE RESPONSIBLE FOR POSTING AND ENFORCING WASTE MATERIAL PROCEDURES.
- C. SANITARY WASTE -- SANITARY WASTE SHALL BE COLLECTED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL AND STATE LAWS. THE SUPERINTENDENT SHALL COORDINATE WITH THE LOCAL UTILITY FOR COLLECTION OF THE SANITARY WASTE AT LEAST THREE TIMES A WEEK TO PREVENT SPILLAGE ONTO THE SITE.
- D. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

OFFSITE TRACKING:

- A. STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED TO REDUCE SEDIMENT TRACKING OFFSITE. THE MAJOR ROAD CONNECTING TO THE PROJECT SHALL BE CLEANED ONCE A DAY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK RESULTING FROM CONSTRUCTION TRAFFIC. ALL TRUCKS HAULING MATERIALS OFFSITE SHALL BE COVERED WITH A TARPULIN.
- B. GENERAL CONTRACTOR SHALL DENOISE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA. EMPLOYEE PARKING AREA, AND AREA FOR LOCATION PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD DIKES, HAY BALES OR SILT SCREENS AROUND AND NEAR SEDIMENT BASINS WITHIN SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OF OIL, GREASE OR LUBRICANTS. CONTRACTORS SHALL HAVE AVAILABLES AND SHALL USE ABSORBENT FILTER PADS TO CLEAN UP SPILLS AS SOON AS POSSIBLE AFTER OCCURRENCE.
- C. ALL WASH WATER FROM CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC. SHALL BE DETAINED ON SITE AND SHALL BE PROPERLY TREATED OR DISPOSED.
- D. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- E. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

MAINTENANCE:

- A. ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A 0.5" RAINFALL EVENT, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
 - A. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
 - B. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
 - C. THE COMPOST SOCK FILTRATION DEVICE SHALL BE INSPECTED PERIODICALLY FOR HEIGHT OF SEDIMENT AND CONDITION OF DEVICE. COMPOST SOCK SHALL BE REPAIRED TO ITS ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE COMPOST SOCK WHEN IT REACHES ONE--THIRD THE HEIGHT OF THE COMPOST SOCK.
 - D. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS--OF--WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 - E. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 - F. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. THE SEDIMENT BASINS/DITCHES SHALL BE CHECKED MONTHLY FOR DEPTH OF SEDIMENT. SEDIMENT SHALL BE REMOVED FROM SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 10% AND AFTER CONSTRUCTION IS COMPLETE.
 - G. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER BUT IN NO CASE LATER THAN SEVEN CALENDAR DAYS FOLLOWING THE INSPECTION. DIVERSION DIKES SHALL BE INSPECTED MONTHLY. ANY BREAKS SHALL BE PROMPTLY REPAIRED.
 - H. A MAINTENANCE REPORT SHALL BE COMPLETED DAILY AFTER EACH INSPECTION OF THE SEDIMENT AND EROSION CONTROL METHODS. THE REPORTS SHALL BE FILED IN AN ORGANIZED MANNER AND RETAINED ON--SITE DURING CONSTRUCTION. AFTER CONSTRUCTION IS COMPLETED, THE REPORTS SHALL BE SAVED FOR AT LEAST THREE YEARS. THE REPORTS SHALL BE AVAILABLE FOR ANY AGENCY THAT HAS JURISDICTION OVER EROSION CONTROL.
- I. ALL REPAIRS MUST BE MADE WITHIN 24 HOURS OF REPORT.
- J. THE SUPERINTENDENT SHALL ORGANIZE THE TRAINING FOR INSPECTION PROCEDURES AND PROPER EROSION CONTROL METHODS FOR EMPLOYEES THAT COMPLETE INSPECTIONS AND REPORTS.
- K. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE--HALF THE HEIGHT OF THE SILT FENCE.

SPILL PREVENTION AND CONTROL:

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

- A. GOOD HOUSEKEEPING
 1. SUPERINTENDENT SHALL INSPECT PROJECT AREA DAILY FOR PROPER STORAGE, USE, AND DISPOSAL OF CONSTRUCTION MATERIALS.
 2. STORE ONLY ENOUGH MATERIAL ON SITE FOR PROJECT COMPLETION.
 3. ALL SUBSTANCES SHOULD BE USED BEFORE DISPOSAL OF CONTAINER.
 4. ALL CONSTRUCTION MATERIALS STORED SHALL BE ORGANIZED AND IN THE PROPER CONTAINER AND IF POSSIBLE, STORED UNDER A ROOF OR PROTECTIVE COVER.
 5. PRODUCTS SHALL NOT BE MIXED UNLESS DIRECTED BY THE MANUFACTURER.
 6. ALL PRODUCTS SHALL BE USED AND DISPOSED OF ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- B. HAZARDOUS PRODUCTS
 1. MATERIALS SHOULD BE KEPT IN ORIGINAL CONTAINER WITH LABELS UNLESS THE ORIGINAL CONTAINERS CANNOT BE RESEALED. IF ORIGINAL CONTAINERS CANNOT BE USED, LABELS AND PRODUCT INFORMATION SHALL BE SAVED.
 2. PROPER DISPOSAL PRACTICES SHALL ALWAYS BE FOLLOWED IN ACCORDANCE WITH MANUFACTURER AND LOCAL/STATE REGULATIONS.
- C. PRODUCT SPECIFIC PRACTICES
 1. PETROLEUM PRODUCTS MUST BE STORED IN PROPER CONTAINERS AND CLEARLY LABELED. VEHICLES CONTAINING PETROLEUM PRODUCTS SHALL BE PERIODICALLY INSPECTED FOR LEAKS. PRECAUTIONS SHALL BE TAKEN TO AVOID LEAKAGE OF PETROLEUM PRODUCTS ON SITE.

- 2. THE MINIMUM AMOUNT OF FERTILIZER SHALL BE USED AND MIXED INTO THE SOIL IN ORDER TO LIMIT EXPOSURE TO STORM WATER. FERTILIZERS SHALL BE STORED IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
- 3. PAINT CONTAINERS SHALL BE SEALED AND STORED WHEN NOT IN USE. EXCESS PAINT MUST BE DISPOSED OF IN AN APPROVED MANNER.
- 4. CONCRETE TRUCKS SHALL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CLEAN UP:

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED ABOVE, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- A. SPILL CLEANUP INFORMATION SHALL BE POSTED ON SITE TO INFORM EMPLOYEES ABOUT CLEANUP PROCEDURES AND RESOURCES.
- B. THE FOLLOWING CLEAN--UP EQUIPMENT MUST BE KEPT ON--SITE NEAR THE MATERIAL STORAGE AREA: GLOVES, MOPS, RAGS, BROOMS, DUST PANS, SAND, SAWDUST, LIQUID ABSORBER, GOGGLES, AND TRASH CONTAINERS.
- C. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON--SITE AND READILY AVAILABLE TO CONTAIN AND CLEAN--UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- D. ALL SPILLS SHALL BE CLEANED UP AS SOON AS POSSIBLE.
- E. WHEN CLEANING A SPILL, THE AREA SHOULD BE WELL VENTILATED AND THE EMPLOYEE SHALL WEAR PROPER PROTECTIVE COVERING TO PREVENT INJURY.
- F. TOXIC SPILLS MUST BE REPORTED TO THE PROPER AUTHORITY REGARDLESS OF THE SIZE OF THE SPILL.
- G. AFTER A SPILL, THE PREVENTION PLAN SHALL BE REVIEWED AND CHANGED TO PREVENT FURTHER SIMILAR SPILLS FROM OCCURRING. THE CAUSE OF THE SPILL, MEASURES TO PREVENT IT, AND HOW TO CLEAN THE SPILL UP SHALL BE RECORDED.
- H. THE SUPERINTENDENT SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR AND IS RESPONSIBLE FOR THE DAY TO DAY SITE OPERATIONS. THE SUPERINTENDENT ALSO OVERSEES THE SPILL PREVENTION PLAN AND SHALL BE RESPONSIBLE FOR EDUCATING THE EMPLOYEES ABOUT SPILL PREVENTION AND CLEANUP PROCEDURES.

CLOSED CIRCUIT TV INSPECTION (CCTV NOTES):

- A. CONTRACTOR SHALL PROVIDE CCTV VIDEOTAPES TO CITY STW OPS OF THE EXISTING STORMWATER SYSTEM TO THE LIMITS SHOWN WITH GREEN LINE WORK IN THE STORM MAP PROVIDED AT THE END OF THIS REPORT IN ORDER TO DOCUMENT THE PRE AND POST CONSTRUCTION CONDITIONS OF THE CITY'S STORM SYSTEM.
- B. CONTRACTOR SHALL PROVIDE THE PRE CONSTRUCTION CCTV TO CITY STW OPS WHEN APPLYING FOR A DEMOLITION PERMIT AT THE CITY'S BUILDING DEPARTMENT.
 1. IF DEBRIS IS FOUND IN THE CITY'S STORMWATER SYSTEM PRIOR TO DEMOLITION OR CONSTRUCTION, THE APPLICANT, CONTRACTOR, DEVELOPER OR DESIGNER (AS APPLICABLE) SHALL INFORM THE CITY'S STORMWATER OPERATIONS DEPARTMENT FOR PROPER REMOVAL.
 2. IF SURFACE WATER RUNOFF OR DEBRIS FROM DEMOLITION OR CONSTRUCTION ACTIVITIES IS FOUND TO HAVE NEGATIVELY IMPACTED THE CONDITION OF THE CITY'S STORMWATER ASSETS, IT WILL BE THE RESPONSIBILITY OF THE APPLICANT (CONTRACTOR, DEVELOPER, AND OWNER) TO RECTIFY THE INFRACTIONS(S) AS REQUESTED BY CITY.
- C. CONTRACTOR SHALL PROVIDE THE POST CONSTRUCTION VIDEOTAPE TO CITY STW OPS WHEN REQUESTING THE CERTIFICATE OF COMPLIANCE (CO) TO VERIFY THAT THE CITY'S STORMWATER SYSTEMS HAVE NOT BEEN NEGATIVELY IMPACTED BY THE DEMOLITION AND CONSTRUCTION ACTIVITIES.
 1. IF DEBRIS IS FOUND IN THE CITY'S STORM SYSTEMS AS A RESULT OF DEMOLITION OR CONSTRUCTION ACTIVITIES, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VACUUM CLEAN THE CITY'S STORMWATER SYSTEM (OR MAKE REPAIRS AS REQUESTED BY CITY'S STORMWATER OPERATIONS GROUP) PRIOR TO ISSUANCE OF FINAL CO.

POLLUTION PREVENTION NOTES:

- A. CONTRACTOR SHALL ADHERE TO OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. THE CONTRACTOR SHALL INSTITUTE BEST MANAGEMENT PRACTICES (BMPs) TO ENSURE COMPLIANCE WITH THE NPDES PROGRAM AND TO MINIMIZE THE IMPACT TO PUBLIC STORMWATER FACILITIES. A NOTICE OF INTENT (NOI) SHALL BE FILED PRIOR TO START CONSTRUCTION ACTIVITIES.
- B. PRIOR TO DEMOLITION ACTIVITIES, CONTRACTOR SHALL INSTALL POLLUTION PREVENTION CONTROL DEVICES (I.E., SILT BARRIERS, SEDIMENT BASINS, TURBIDITY BARRIERS, AROUND STORMWATER OUTFALLS ON THE WATERSIDE OF LAKES, PONDS, CANALS, OR WATERWAYS, SILT SCREENS, ETC. ACCORDING TO THE APPROVED SWPPP AND AS RECOMMENDED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) LATEST GUIDELINES AND PERMITTING REQUIREMENTS.
- C. PRIOR TO DEMOLITION ACTIVITIES, A SILT FENCE IN ACCORDANCE WITH THE APPROVED SWPPP DETAILS AND LATEST DEP STANDARDS SHALL BE ERRECTED AROUND THE SITE PROPERTY LINES. ALL PUBLIC INLETS SURROUNDING THE SITE SHALL BE PROTECTED BY THE INSTALLATION OF FILTER FABRIC INTO THE FRAME AND GRATE OR OTHER APPROVED BMPs TO PROTECT AGAINST STORM RUNOFF.
- D. POLLUTION CONTROL INSTALLATIONS, AS APPROVED AND SHOWN IN THE SWPPP, SHALL BE MAINTAINED THROUGHOUT DEMOLITION AND CONSTRUCTION PERIODS UNTIL THE PROJECT HAS BEEN COMPLETED AND APPROVED BY CITY ENGINEERING INSPECTOR OR PROJECT ENGINEER.
- E. CONTRACTOR SHALL INSPECT THE POLLUTION CONTROL DEVICES DAILY FOR SIGNS OF MALFUNCTION, FAILURE, OR NEEDED REPAIRS, AND SHALL MAKE REMEDIAL ACTIONS IMMEDIATELY UPON DISCOVERY.
- F. EXISTING STORMWATER INLETS, CATCH BASINS, OR MANHOLES, ONSITE AND OFFSITE, SHALL BE PROTECTED FROM SEDIMENT STORM RUNOFF FROM THE PROPOSED DEMOLITIONS AND CONSTRUCTION ACTIVITIES.
- G. CONTRACTOR SHALL IMMEDIATELY REMOVE ALL MUD, DIRT, OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING ROADS AND FACILITIES DUE TO DEMOLITION OR CONSTRUCTION ACTIVITIES FROM THE PROPOSED DEVELOPMENT.
 1. THE ENTRANCE SHALL BE MAINTAINED PERIODICALLY AS CONDITIONS DEMAND IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENTS ONTO PUBLIC RIGHTS--OF--WAY. SEDIMENT SHALL BE TRAPPED IN CLEANOUT AREAS AND PROPERLY HANDLED AS ONSITE DEBRIS PER APPLICABLE STATE REGULATIONS.
 2. WHEN NECESSARY, VEHICLE WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT--OF--WAY.
 3. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO PUBLIC STORM DRAINS MUST BE REMOVED BY THE CONTRACTOR IMMEDIATELY.
 4. TRUCKS SHALL NOT 'CUT CORNERS' WHERE THE CONSTRUCTION EXIT MEETS THE ROADWAYS.
 5. SWEEPING OF PUBLIC ROADWAYS SHALL BE DONE PERIODICALLY AS CONDITION DEMAND.
- H. IN ORDER TO MINIMIZE THE AMOUNT OF SEDIMENTS, MUD, AND DUST TRANSPORTED ONTO PUBLIC ROADWAYS BY THE CONSTRUCTION VEHICLES OR RUNOFF, THE CONTRACTOR SHALL INSTALL STABILIZED T TEMPORARY CONSTRUCTION ENTRANCE(S) FROM THE CONSTRUCTION SITE AS RECOMMENDED BY FDEP. EACH TEMPORAL CONSTRUCTION ENTRANCE IS A STABILIZED 6 INCH THICK LAYER OF 2 TO 3 INCH COURSE AGGREGATE STONE, 12" MINIMUM WIDTH, AND LENGTH TO ACCOMMODATE A MINIMUM OF ONE TRUCKING VEHICLE.
 1. NAME OF INSPECTOR AND HIS/HER QUALIFICATIONS IN EROSION AND SEDIMENTATION CONTROL
 2. DATE OF THE INSPECTION
 3. RAINFALL RATE
 4. OBSERVATIONS ABOUT THE SWPP
 5. ACTIONS TAKEN BY CONTRACTOR FOR ALL INCIDENTS OF NONCOMPLIANCE WITH PERMIT(S)
 6. CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE SWPP AND PERMIT(S)

DEWATERING NOTES:

- A. THE APPLICANT SHALL USE BROWARD COUNTY'S LATEST PLATE WM 2.1 -- FUTURE CONDITIONS FOR DETERMINING THE AVERAGE WET SEASON GROUND WATER LEVELS TO EVALUATE IF DEMOLITION OR EXCAVATION/EARTHWORK WILL REQUIRE DEWATERING ACTIVITIES. THE PLATE WM 2.1 -- FUTURE CONDITIONS AVERAGE WET SEASON GROUND WATER LEVELS CAN BE ACCESSED THROUGH THE FOLLOWING LINK: HTTP://BGIS.MAPS.ARCGIS.COM/APPS/VIEW/INDEX.HTML?APPID=7003F3FFC88748C28E432719EC2844C4
- B. IF DEWATERING ACTIVITIES ARE ANTICIPATED, A NOTARIZED CITY DEWATERING AFFIDAVIT SHALL BE FILED AT CITY'S BUILDING DEPARTMENT WHEN SUBMITTING A DEMOLITION OR FOUNDATION PERMIT ALONG WITH ANY APPLICABLE DEWATERING PERMIT FORM REGULATORY AGENCIES SUCH AS THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT OR BROWARD COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION.
 1. IF DEWATERING IS GOING TO BE NEEDED, PLEASE SUBMIT A DEWATERING PLAN, SO IT CAN BE REVIEWED BY THE CITY'S STORMWATER AND ENVIRONMENTAL GROUPS.
 2. DEWATERING ACTIVITIES WILL NOT BE ALLOWED WITHOUT AN APPROVED DEWATERING AFFIDAVIT, SWPPP, AND DEWATERING PERMIT FROM APPLICABLE REGULATORY AGENCIES.

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DRC-APPLICATION NOT FOR CONSTRUCTION



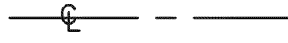



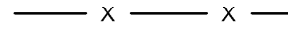



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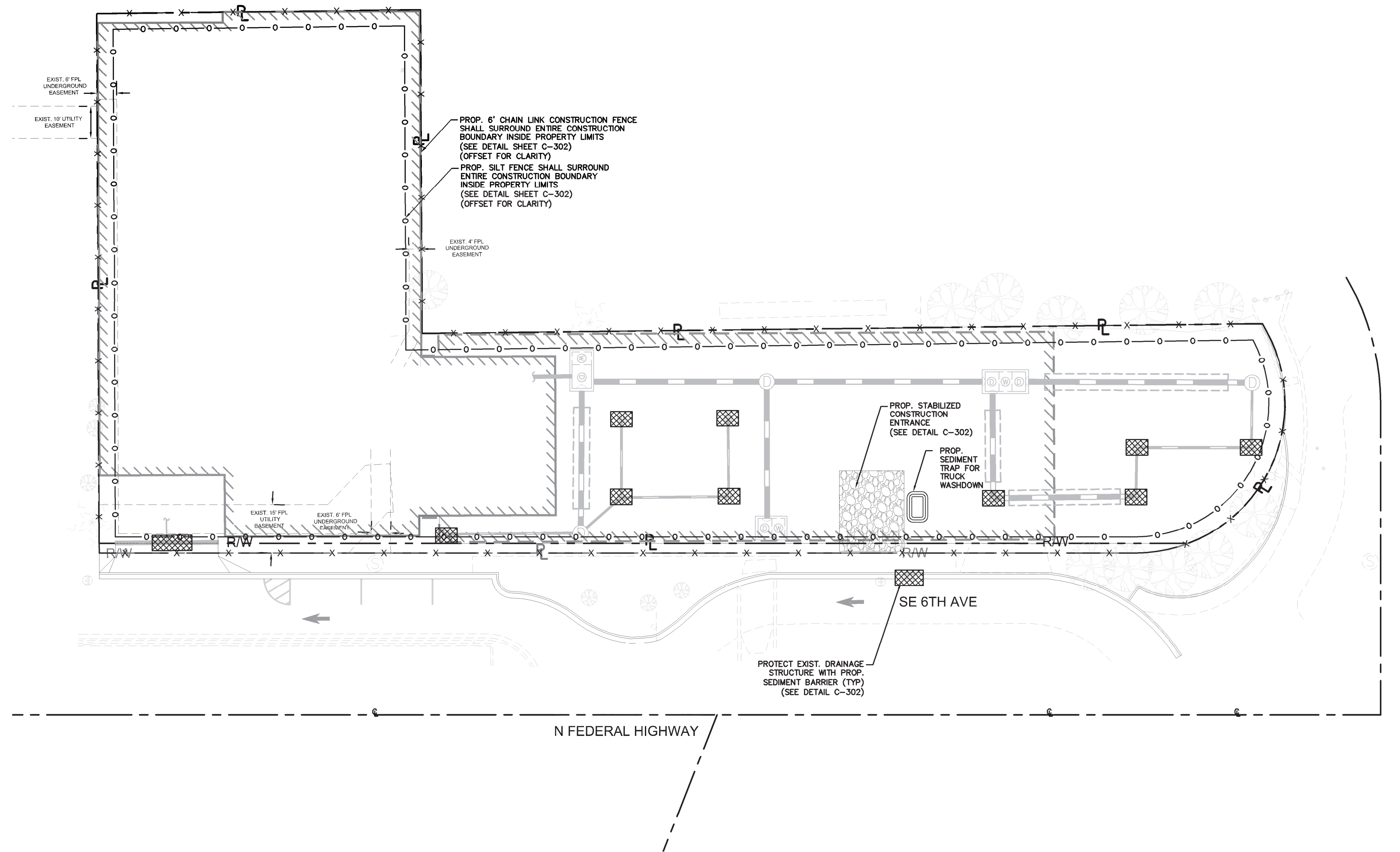
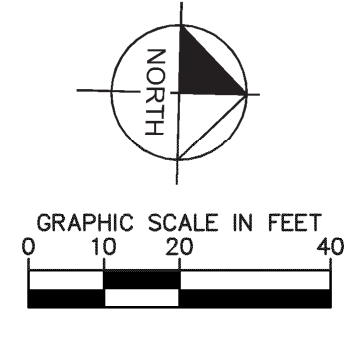
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EROSION CONTROL PLAN

LEGEND

-  EXIST. RIGHT-OF-WAY LINE OF PROPERTY LINE
-  PROP. RIGHT-OF-WAY LINE OF PROPERTY LINE
-  CENTER LINE OF ROADWAY
-  SEDIMENT BARRIER CONTROL FOR STORM STRUCTURE
-  PROP. STABILIZED CONSTRUCTION ENTRANCE
-  PROP. SILT FENCE
-  PROP. 6' CHAIN LINK CONSTRUCTION FENCE WITH DUST SCREEN
-  PROP. BUILDING OUTLINE
-  PROP. BUILDING OVERHANG
-  PROP. SEDIMENT TRAP STATION



PROJECT # 219420522

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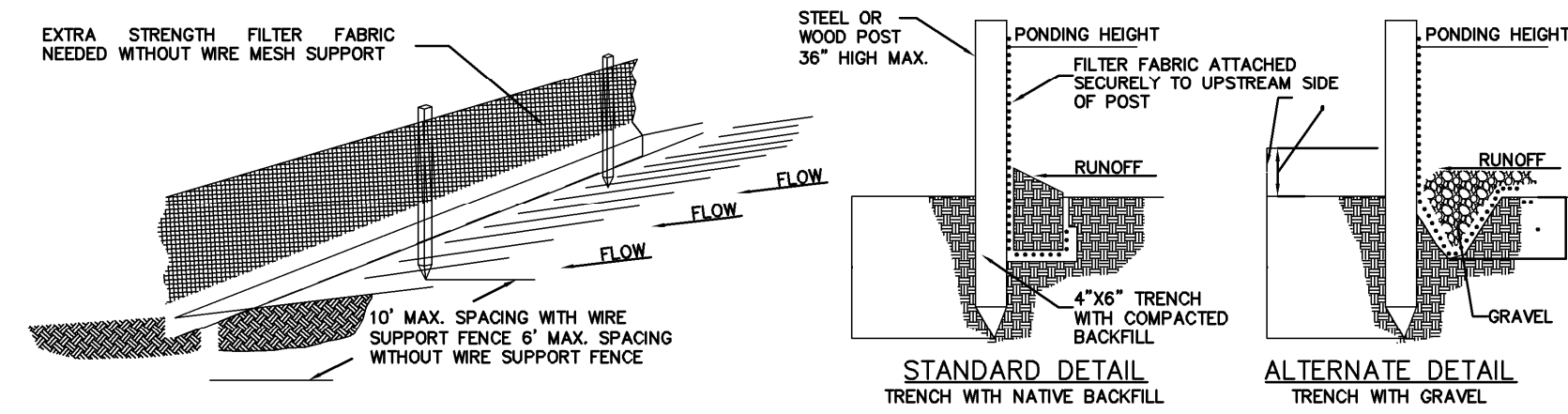
DRC-APPLICATION
NOT FOR CONSTRUCTION

10.27.2017

Barton J. Fye
Florida License
#73898

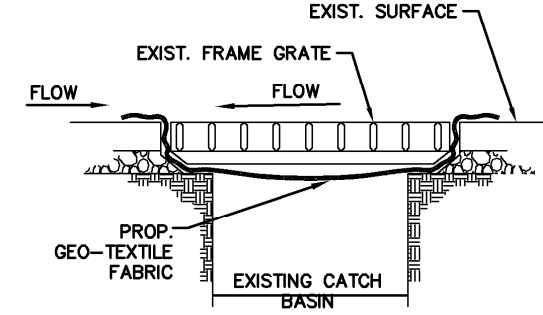


EROSION CONTROL DETAILS



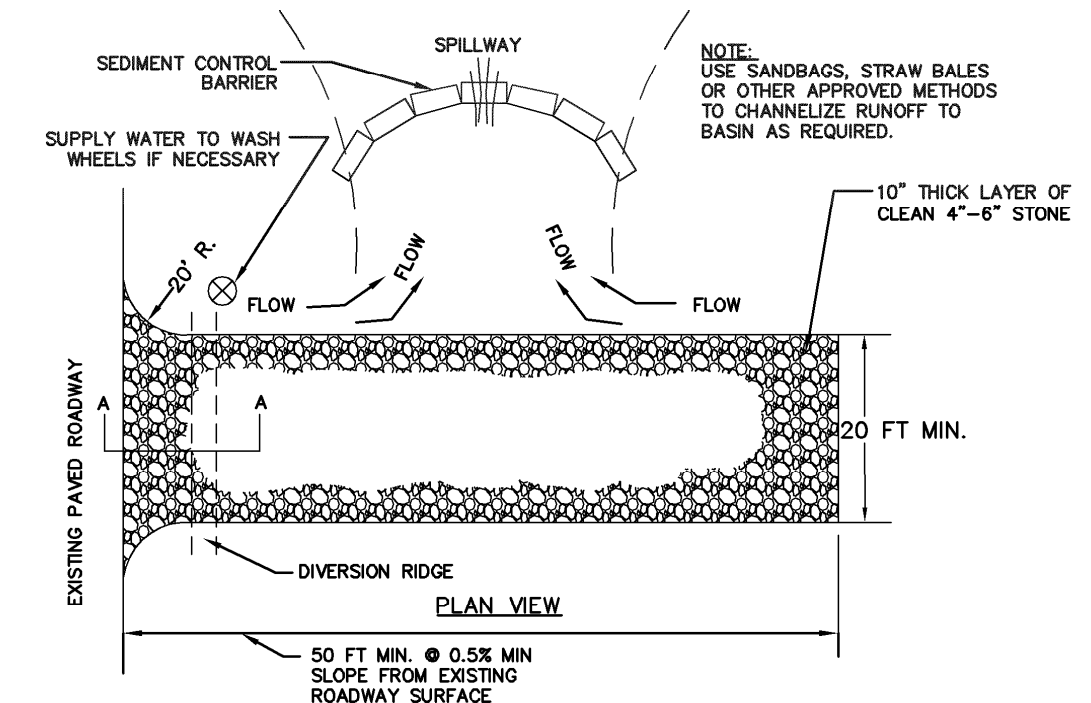
- NOTE:**
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

SILT FENCE DETAIL
N.T.S.



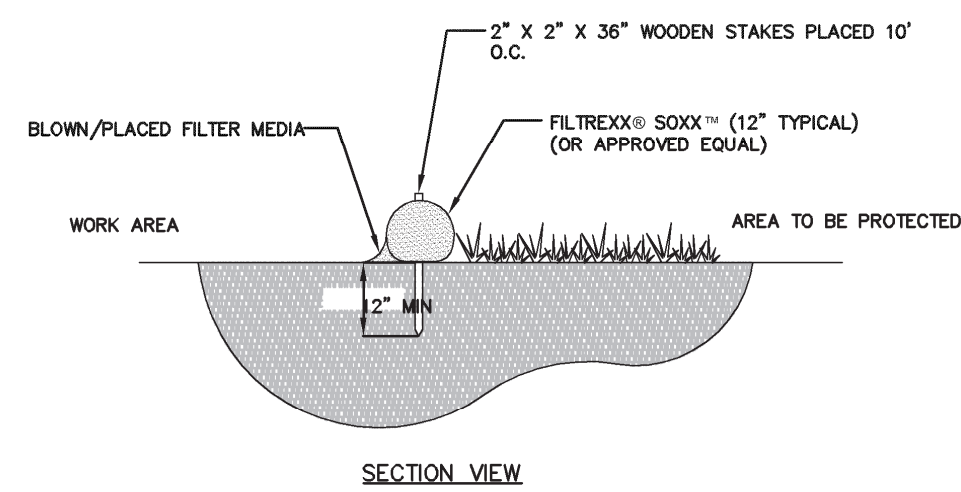
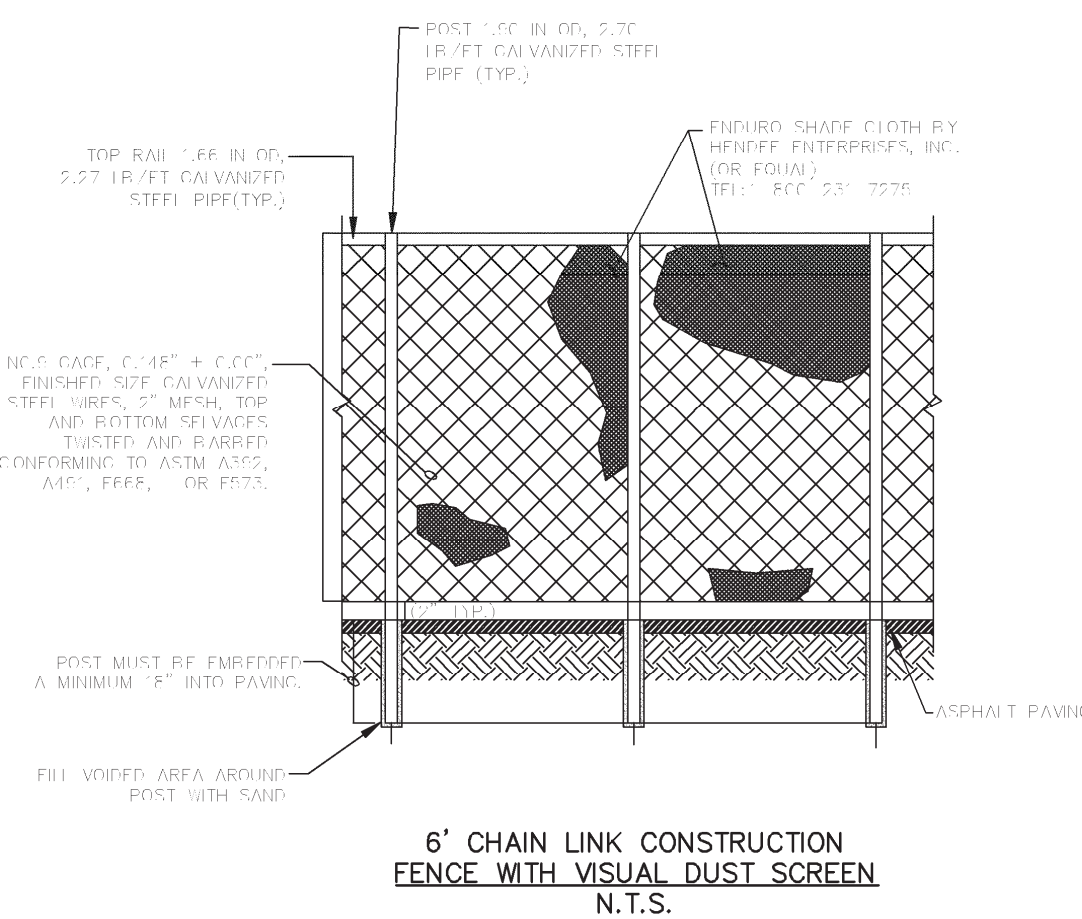
- NOTES:**
1. CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF GEO-TEXTILE FABRIC BARRIER AND AS NECESSARY REPLACE OR REPAIR AS REQUIRED, SPECIFICALLY AFTER STORM EVENTS AND LARGE RAINFALL EVENTS.
 2. SEDIMENTATION AND DEBRIS THAT ARE REMOVED FROM BARRIERS SHALL BE LEGALLY DISPOSED OF AT AN AUTHORIZED OFF-SITE DISPOSAL FACILITY.

DROP INLET SEDIMENT BARRIER
N.T.S.

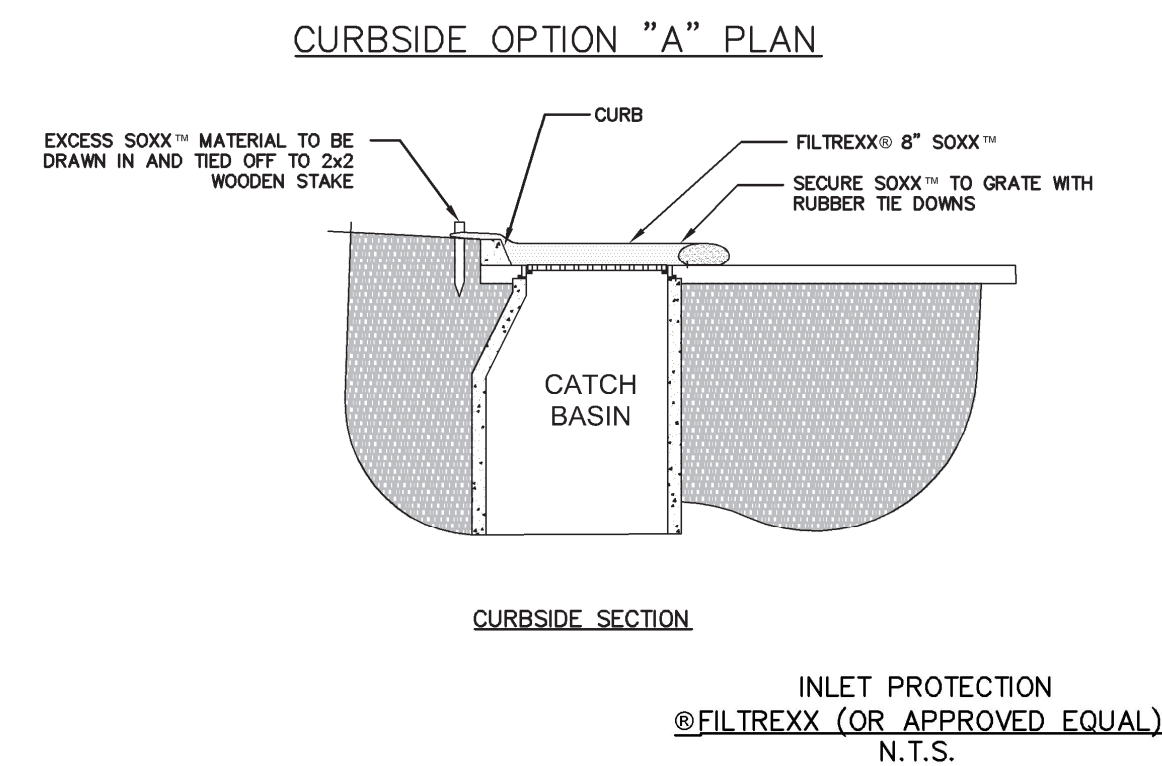
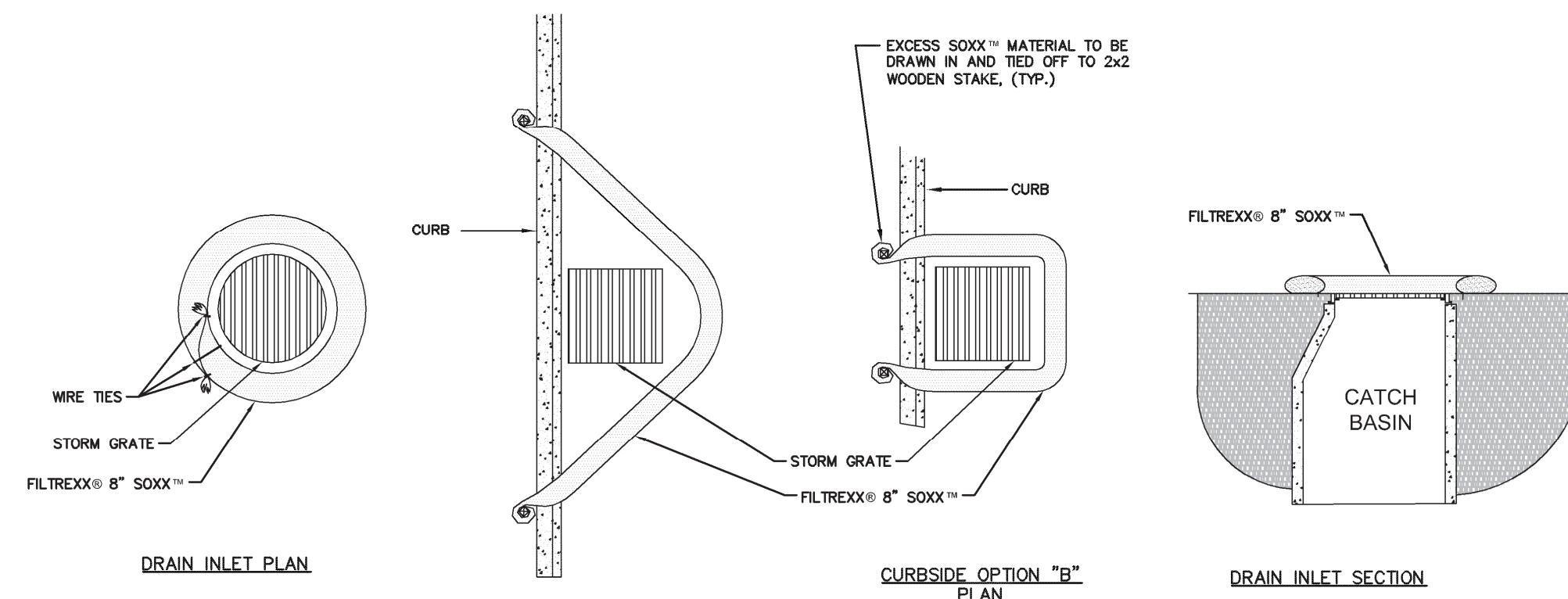


- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



SEDIMENT CONTROL
@FILTREXX (OR APPROVED EQUAL)
N.T.S.



- NOTES:**
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

ALEXAN - TARPON RIVER

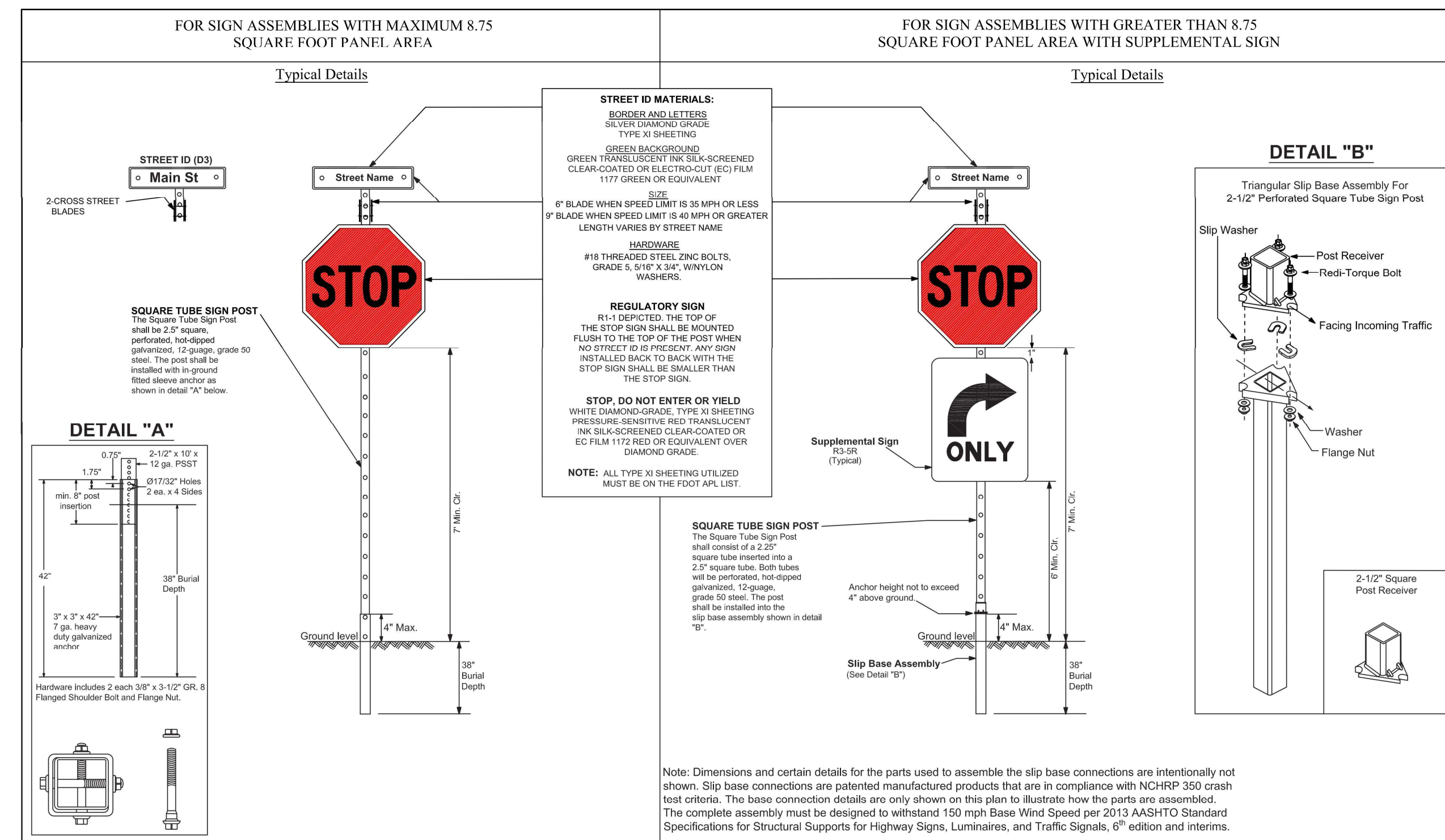
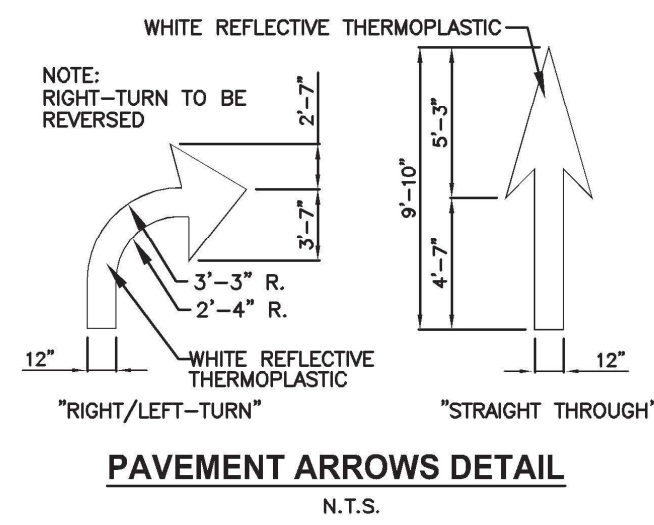
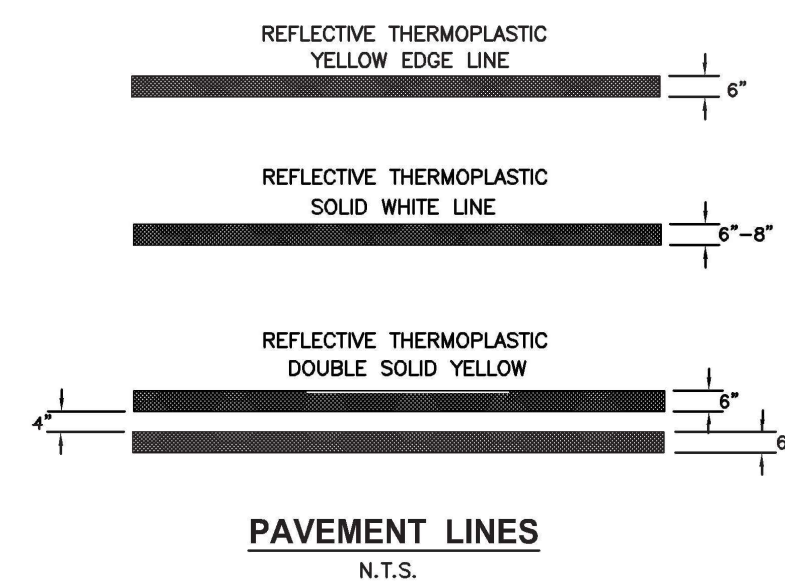
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STOP SIGN ASSEMBLY
N.T.S.

PROJECT # 219420522

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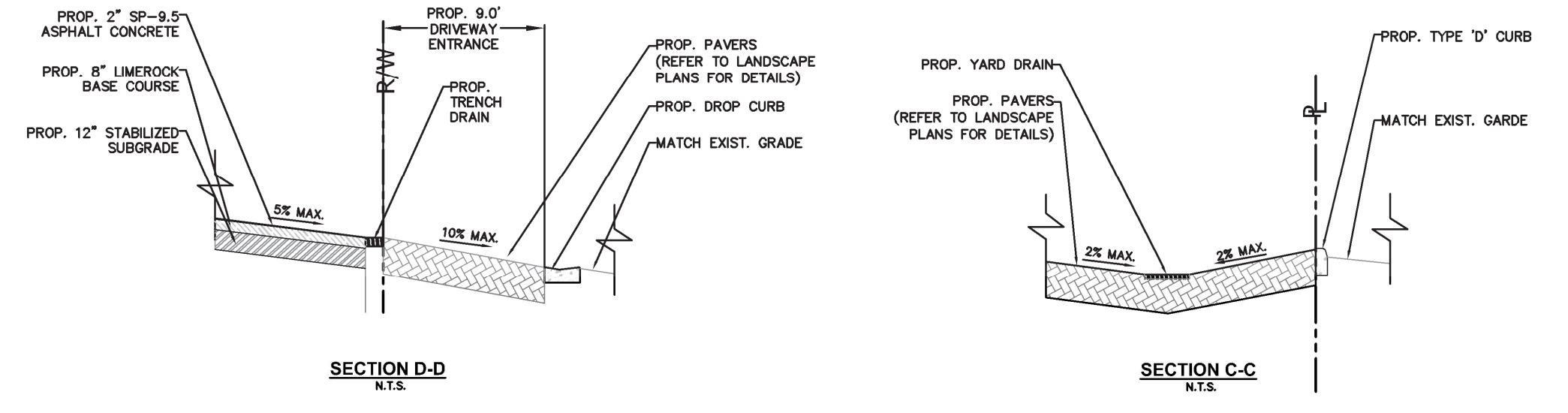
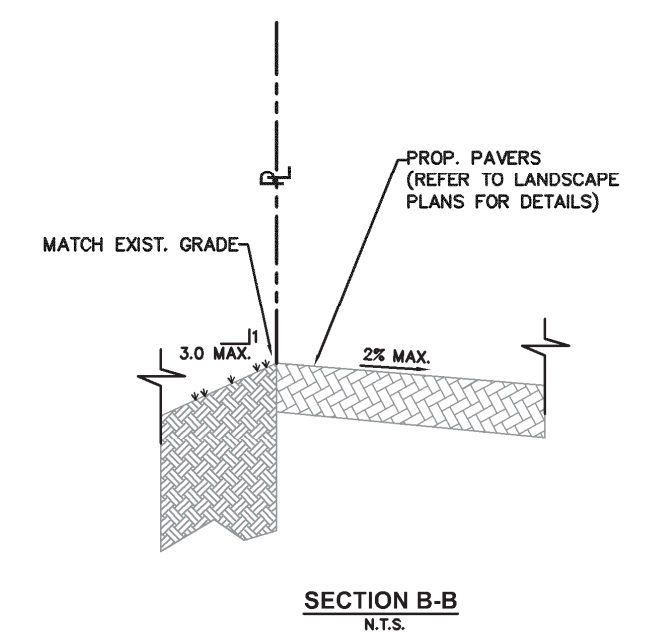
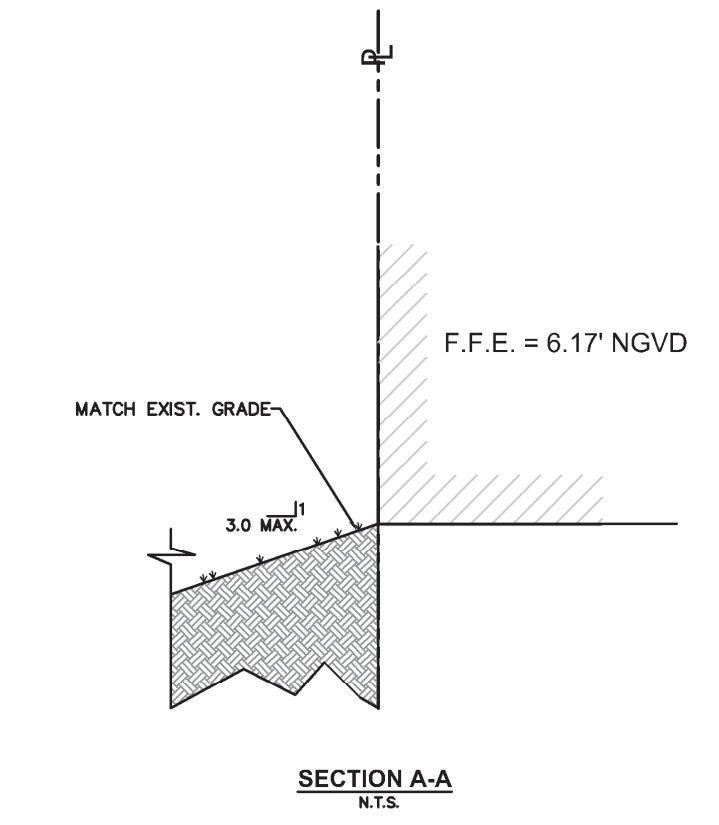
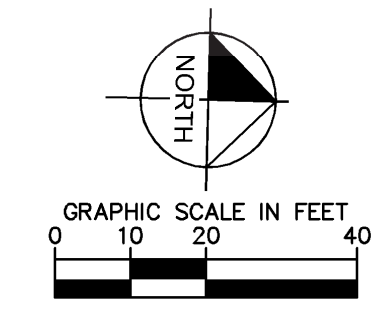
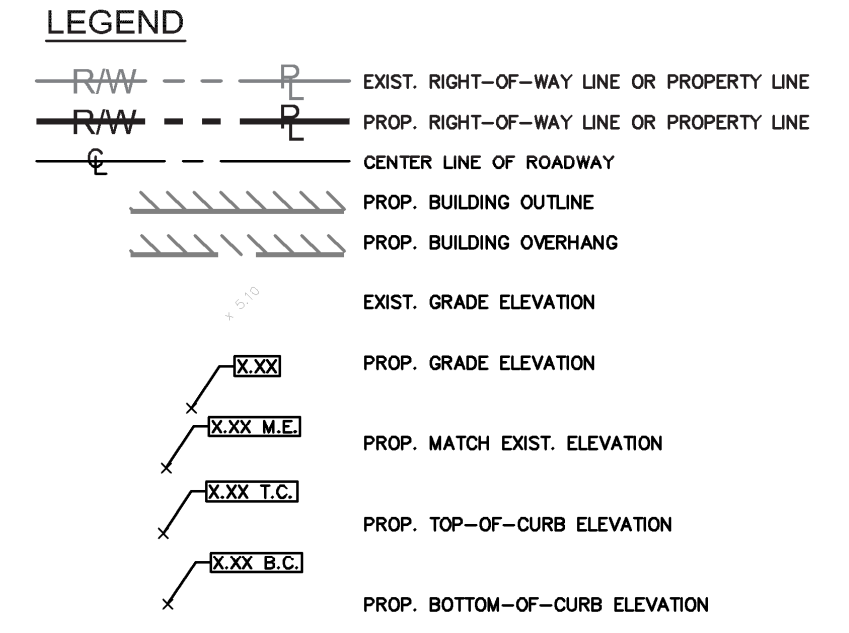
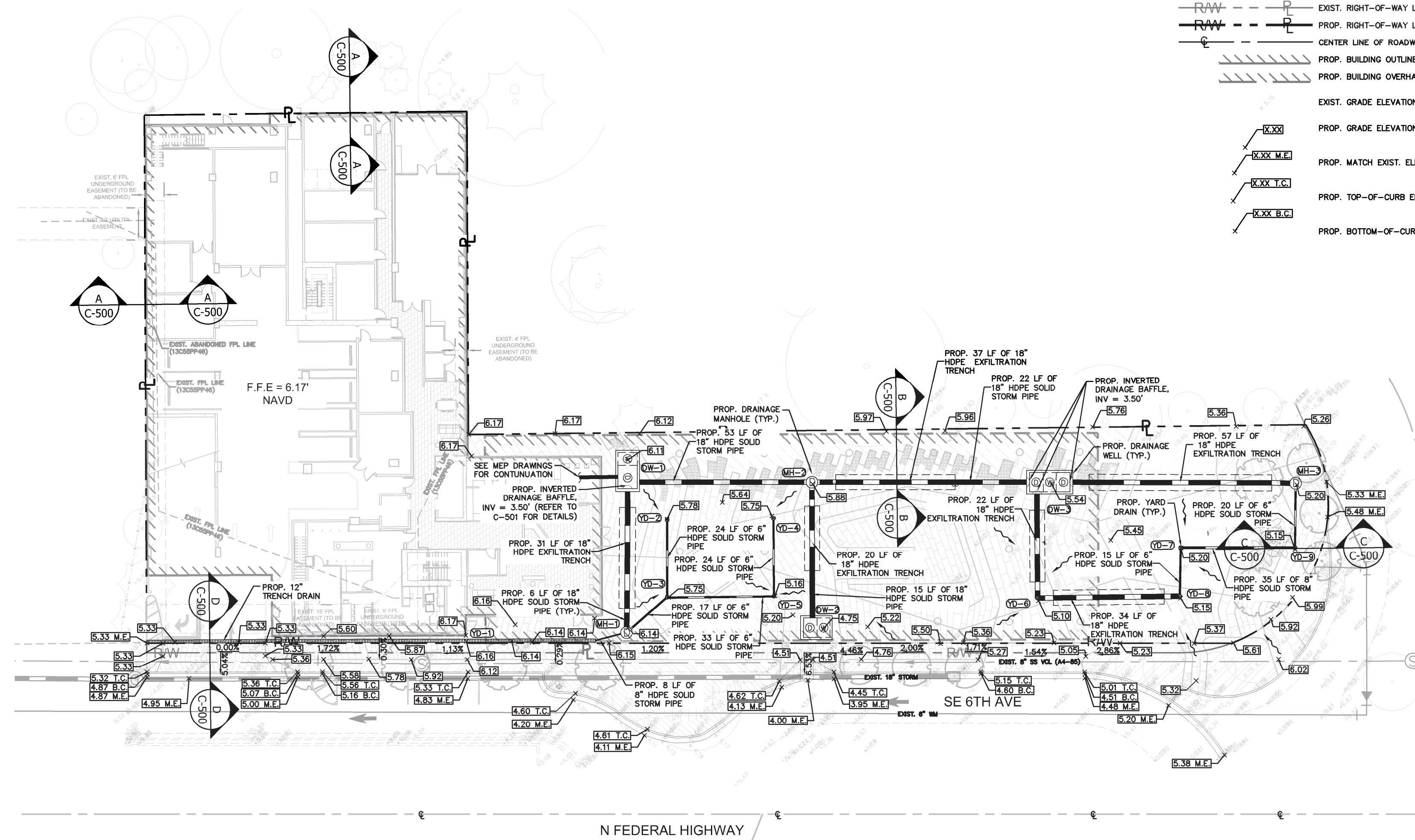
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PAVING, GRADING AND DRAINAGE PLAN



STRUCTURE	GRATE ELEVATION	PIPE INVERTS											
		N			S			W			E		
		DIA	ELE.	NOTE	DIA	ELE.	NOTE	DIA	ELE.	NOTE	DIA	ELE.	NOTE
DW-1	6.11'	18"	1.50'	-	12"	1.50'	SEE M.E.P.	-	-	-	18"	1.50'	INVERTED BAFFLE
DW-2	4.75'	-	-	-	-	-	-	18"	1.50'	-	-	-	-
DW-3	5.54'	18"	1.50'	-	18"	1.50'	INVERTED D BAFFLE	-	-	-	18"	1.50'	INVERTED BAFFLE
MH-1	6.14'	6"	2.50'	-	8"	2.25'	-	18"	1.50'	-	18"	1.50'	-
MH-2	5.88'	18"	1.50'	-	18"	1.50'	-	-	-	-	18"	1.50'	-
MH-3	5.20'	-	-	-	18"	1.50'	-	-	-	-	6"	2.25'	-
YD-1	5.33'	8"	2.25'	-	-	-	-	-	-	-	-	-	-
YD-2	5.78'	-	-	-	-	-	-	-	-	-	6"	2.50'	-
YD-3	5.75'	6"	2.50'	-	6"	2.50'	-	6"	2.50'	-	-	-	-
YD-4	5.75'	-	-	-	-	-	-	-	-	-	6"	2.50'	-
YD-5	5.16'	-	-	-	6"	2.50'	-	6"	2.50'	-	-	-	-
YD-6	5.10'	18"	1.50'	-	-	-	-	18"	1.50'	-	-	-	-
YD-7	5.20'	8"	2.25'	-	-	-	-	-	-	-	6"	2.25'	-
YD-8	5.15'	-	-	-	18"	1.50'	-	6"	2.25'	-	-	-	-
YD-9	5.15'	-	-	-	8"	2.25'	-	6"	2.25'	-	-	-	-

PROJECT # 219420522

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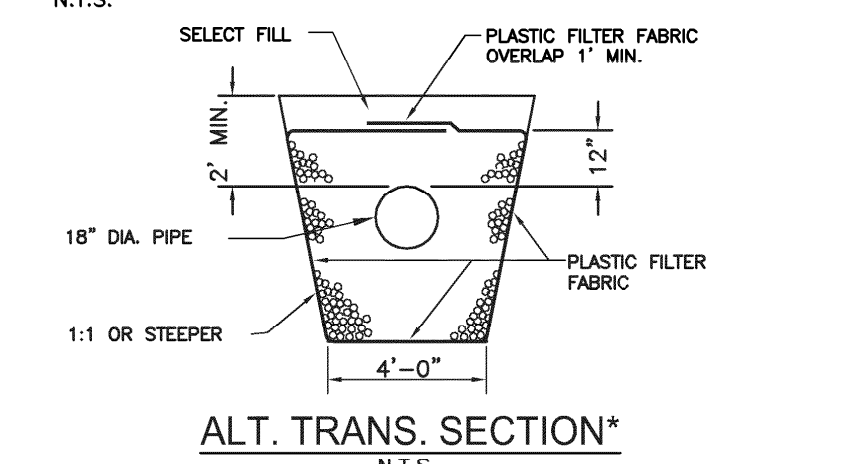
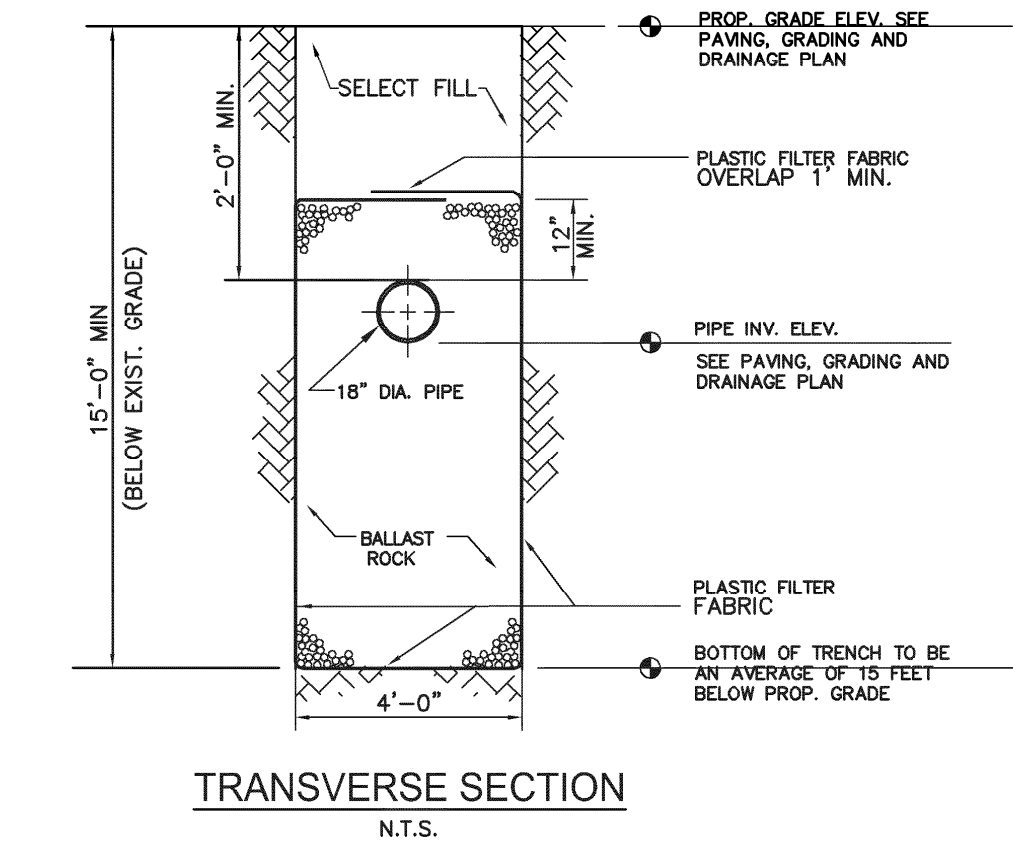
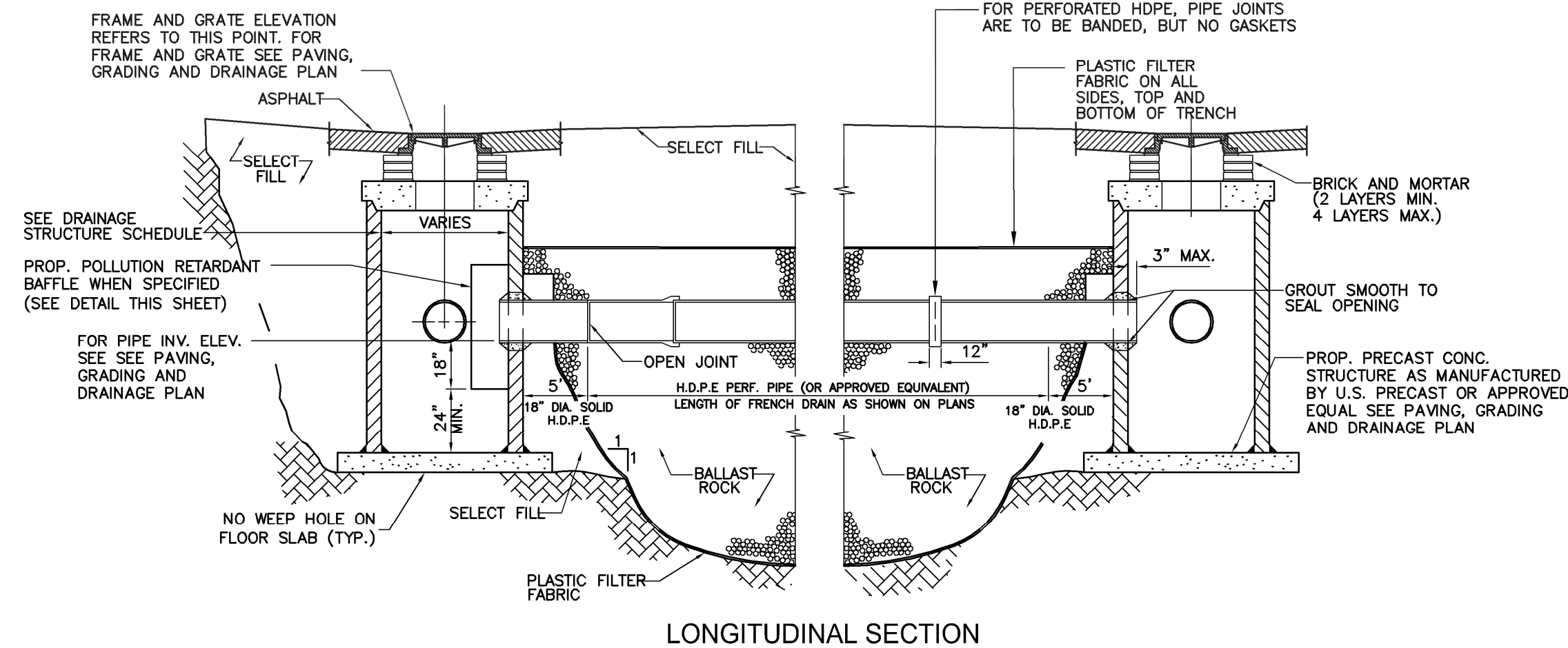
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C-10

Sunshine
Call 811 or www.sunshine11.com two full business days before digging to have utilities located and marked.

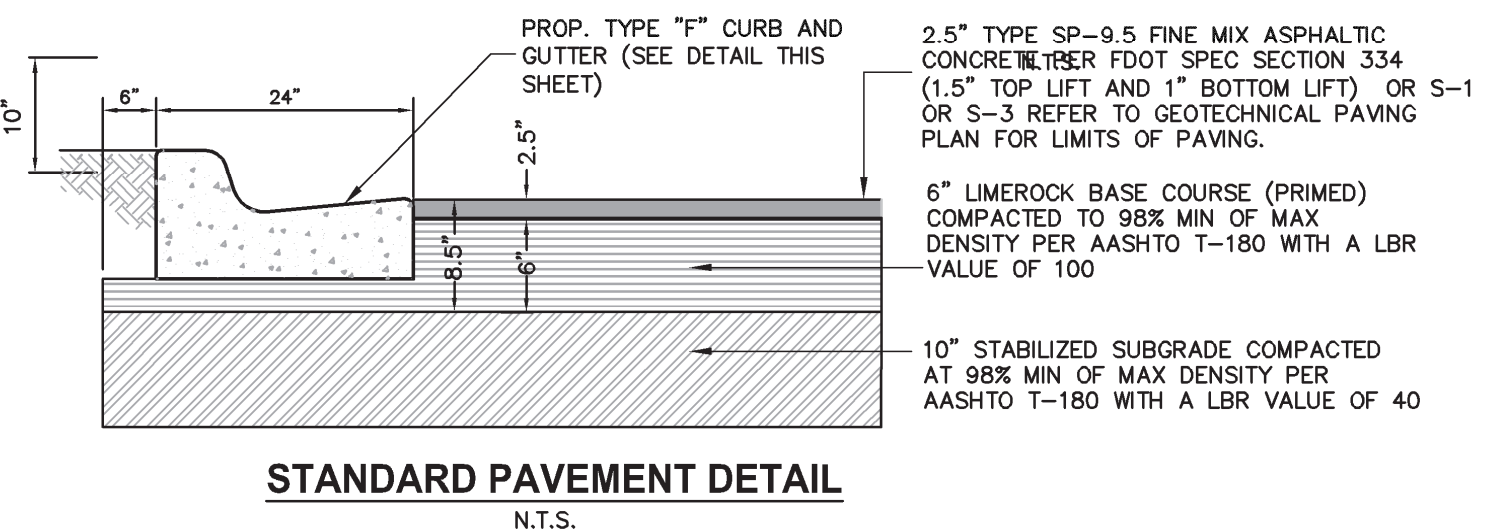
PAVING, GRADING AND DRAINAGE DETAILS



*MAY BE USED IN AREAS WHERE TRENCH WALLS WILL NOT STAND VERTICAL, OR WHERE CAVE-IN BELOW THE WATER TABLE IS LIKELY TO OCCUR. TO BE USED AT THE ENGINEER'S DISCRETION.

AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF SETTLEMENT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE PROPER ELEVATION SO THAT THE INFILTRATION TRENCH IS COMPLETED IN ACCORDANCE WITH THE DETAILS.

TYPICAL EXFILTRATION TRENCH DETAIL



NOTE: BITUMINOUS ASPHALT COARSE MAY BE INSTALLED IN TWO SEPARATE LIFTS TO ALLOW MOBILIZATION OF EQUIPMENT. THE SECOND LIFT OF ASPHALT SHALL NOT BE PLACED UNTIL ALL OTHER WORK ON THE SITE HAS BEEN COMPLETED. UPON COMPLETION OF SECOND LIFT OF ASPHALT, ANY SCRATCHES, GOUGES, OR LOSS OF AGGREGATE WILL NOT BE ACCEPTED. CONTRACTOR TO REMEDY ALL HOLES, BLEMISHES, ETC. PRIOR TO THE UNIFORM INSTALLATION OF SECOND LIFT. AFTER SECOND LIFT OF ASPHALT IS INSTALLED, ROLLING IS REQUIRED.

NOTES:

- 1- ALL WORK SHALL COMPLY WITH BROWARD COUNTY STANDARD SPECIFICATIONS.
- 2- SUBGRADE SHALL BE COMPACTED TO 98% DENSITY AASHTO T-99.
- 3- CURB, CURB & GUTTER, AND GUTTER SHALL BE CONSTRUCTED IN 50' MAX SECTIONS WITH 1/8" TO 1/4" OPEN EXPANSION JOINT BETWEEN EACH SECTION AND CONTRACTION JOINTS AT 10' INTERVALS.
- 4- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS.

PROJECT # 219420522

DRAINAGE STRUCTURES STRUCTURAL NOTES:

DESIGN CRITERIA: DESIGN, FABRICATION AND ERECTION OF PRECAST CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-99 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND PCI DESIGN HANDBOOK. DESIGN OF CAST-IN-PLACE CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-99.

DESIGN LIVE LOADS: THE TOP SLAB OF DRAINAGE STRUCTURE SHALL BE DESIGNED TO CARRY TRAFFIC LOADS (HS 20 LOADING).

GEOTECHNICAL CRITERIA: SOIL BEARING PRESSURE UNDER DRAINAGE STRUCTURE SHALL BE AT MINIMUM 2000 PSF. PRIOR TO INSTALLATION OF DRAINAGE STRUCTURE THE SOIL BEARING CAPACITY OF THE FOUNDATION MUST BE CONFIRMED BY THE CONTRACTOR, THROUGH A CERTIFIED GEOTECHNICAL LABORATORY.

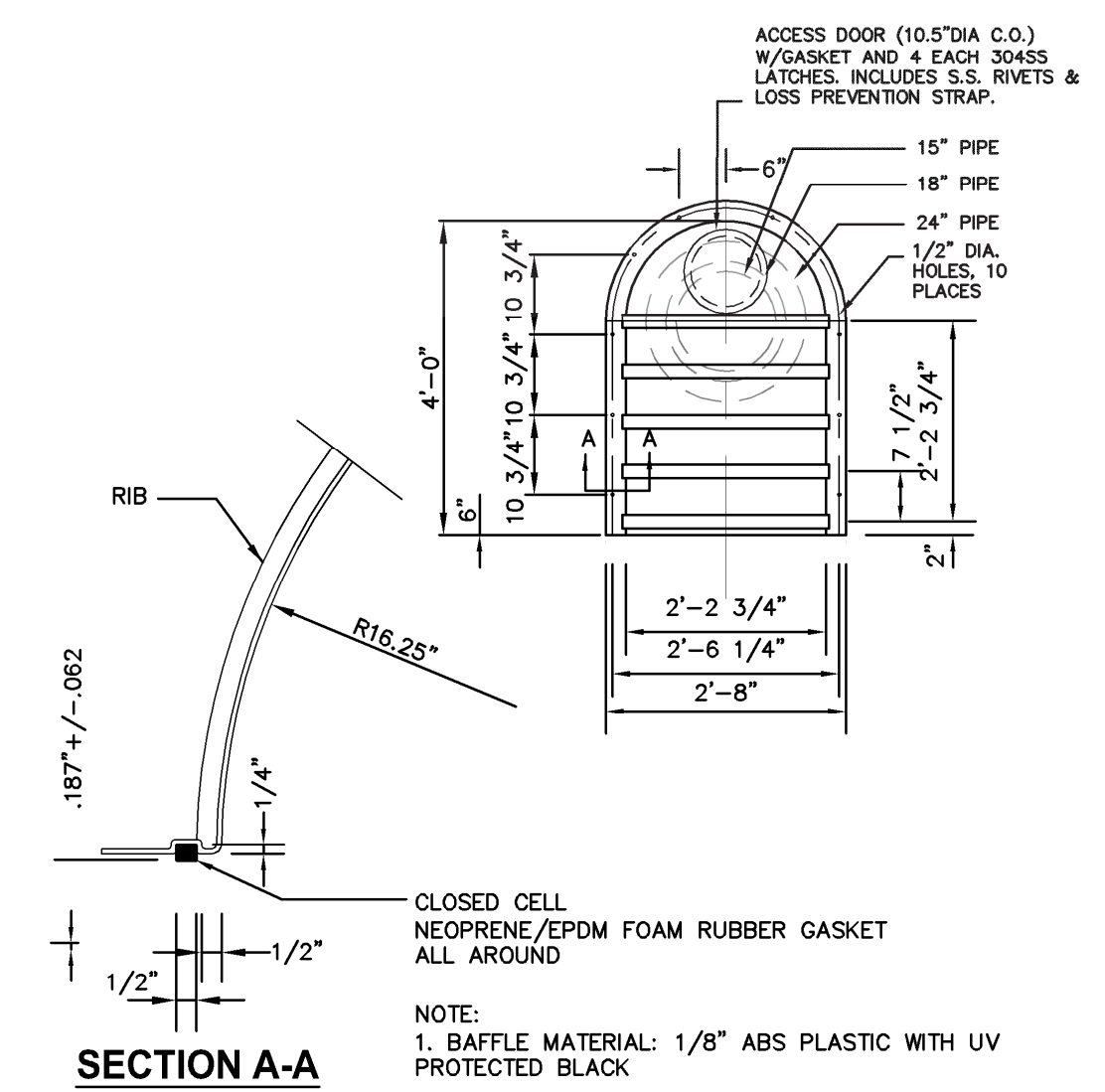
CONCRETE: CONCRETE SHALL BE NORMAL WEIGHT, AND SHALL ATTAIN A 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI AND SHALL MEET THE REQUIREMENT OF ASTM C478. CONCRETE COVER FOR REINFORCEMENT SHALL BE 2 INCHES EXCEPT FOOTING BOTTOM BARS SHALL HAVE 3" COVER.

REINFORCING: REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, AND SHALL BE OF U.S. MANUFACTURE.

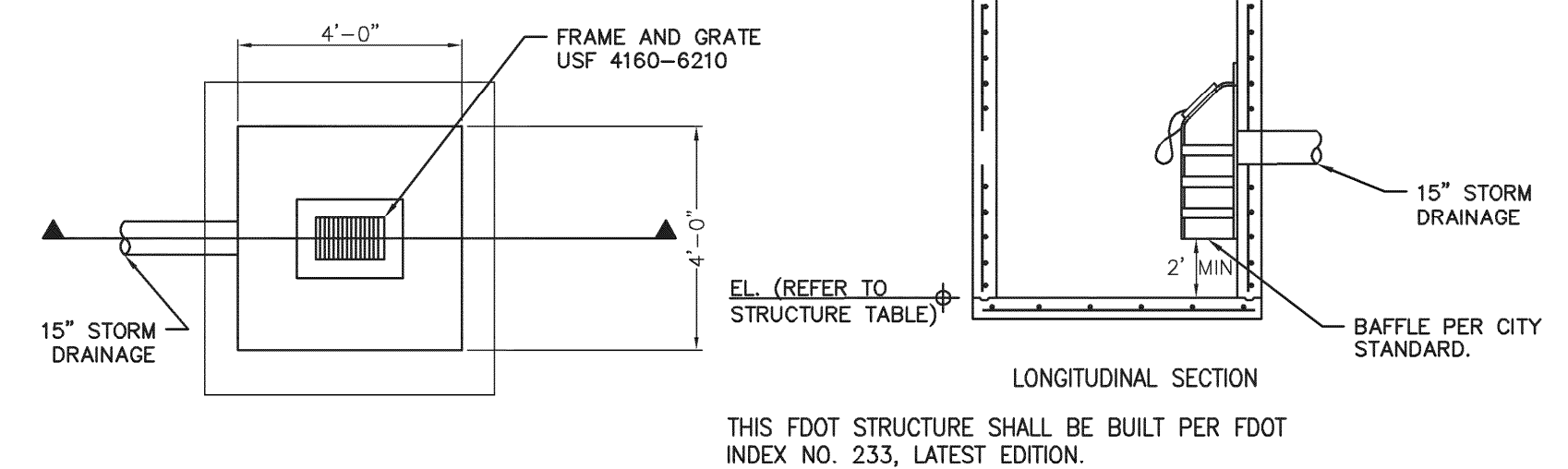
MORTAR: MORTAR GROUT TO SEAL THE PIPE, TOP SLABS, AND LEVELING COURSE SHALL BE OF SUCH A MIX THAT SHRINKAGE WILL NOT CAUSE LEAKAGE INTO OR OUT OF THE UNIT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR MORTAR FOR ENGINEER REVIEW AND APPROVAL.

SHOP DRAWINGS: CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, SIGNED AND SEALED BY A FLORIDA LICENSED ENGINEER, FOR PRECAST CONCRETE STRUCTURES TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE CONSTRUCTION OF STRUCTURE.

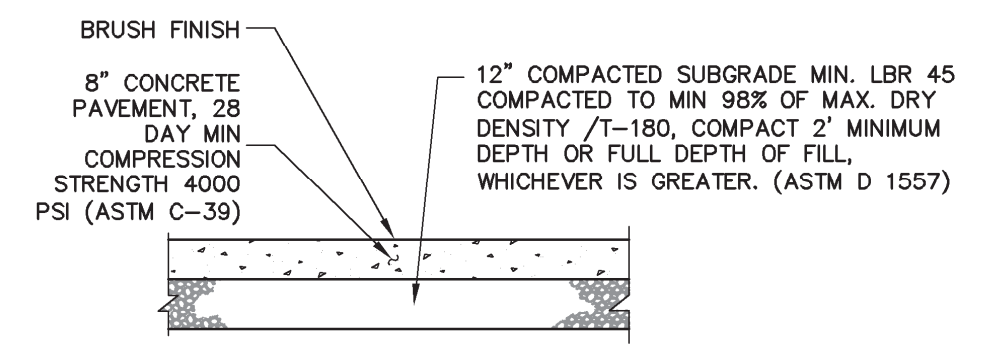
MANHOLE RING & COVER: ALL MANHOLE RINGS AND COVERS, WITHIN PRIVATE PROPERTY, SHALL HAVE THE WORD "STORM SEWER" CAST ON COVER.



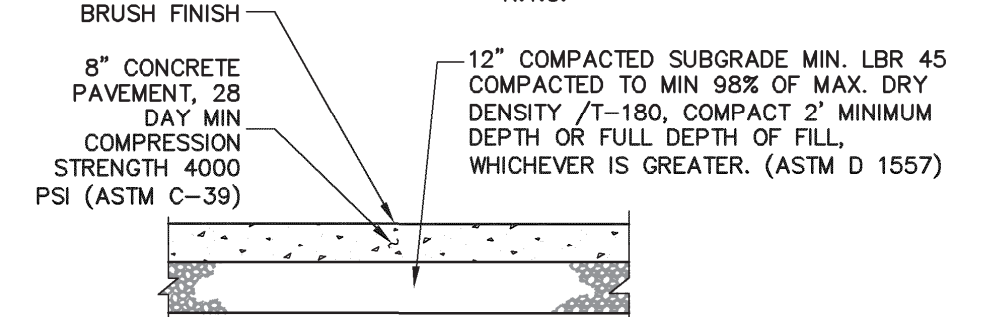
POLLUTION RETARDANT BAFFLE DETAIL



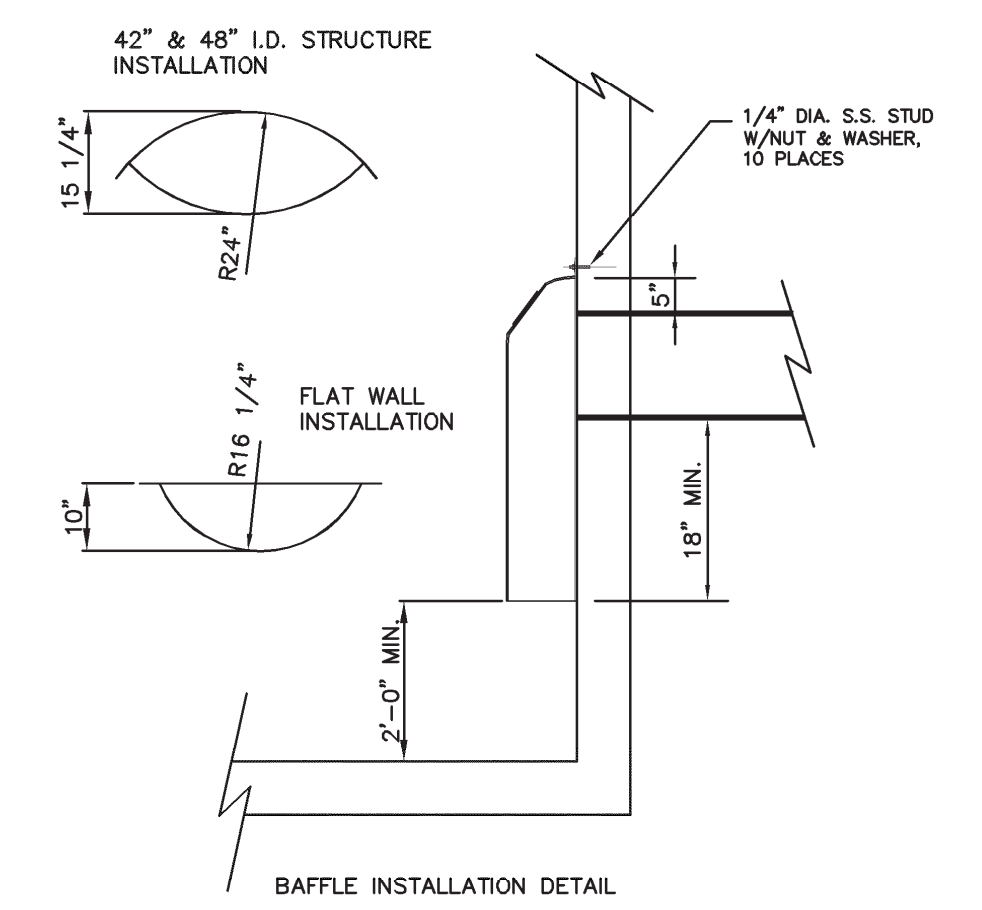
FDOT TYPE 'C' STRUCTURE



HEAVY DUTY CONCRETE PAVEMENT DETAIL



STANDARD CONCRETE PAVEMENT DETAIL



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C-11

WATER SYSTEM NOTES:PIPE D.I.P.

- DUCTILE IRON WATER MAIN PIPE SHALL CONFORM TO THE REQUIREMENTS OF A.N.S.I./A.W.W.A. C-151/A 21.51-02 AND LINED AND COATED PER A.N.S.I./A.W.W.A. C-104/A-214-03. 20" AND SMALLER PIPE SHALL BE PRESSURE CLASS 350; 24" AND LARGER, PIPE SHALL BE PRESSURE CLASS 250.
- ALL DIP SHALL HAVE ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION AND IT SHALL BE USED ONLY IF AS DETERMINED BY THE DESIGN ENGINEER, BASED ON FIELD CONDITIONS.
- ALL DIP SHALL BE INSTALLED IN ACCORDANCE WITH A.N.S.I./A.W.W.A. C-600-99, OR LATEST REVISION.

PIPE P.V.C.

- ALL P.V.C. MAINS SHALL BE SERIES 1120, CLASS 150 (DR 18) PRESSURE PIPE, CONFORMING TO A.N.S.I./A.W.W.A. C-900-07, OR LATEST REVISION, AND SHALL HAVE PUSH ON JOINTS, AND IRON PIPE O.D.
- ALL P.V.C. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-BELL PLASTIC PIPE ASSOCIATION'S "GUIDE FOR INSTALLATION OF P.V.C. PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEM". WATER DISTRIBUTION PIPE SHALL BE OF "BLUE" COLOR. ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555.320 F.A.C. (FLORIDA ADMINISTRATIVE CODE).
- DETECTOR TAPE ON ALL P.V.C. MAINS SHALL BE INSTALLED 18" ABOVE THE WATER MAIN.
- ALL P.V.C. MAINS MUST HAVE #8 COPPER WIRE, SINGLE STRAND, PLACED ON TOP OF PIPE, SHALL BE ELECTRICALLY CONTINUOUS OVER THE ENTIRE LENGTH OF THE PIPE, AND FASTENED EVERY 10' WITH A #12 WIRE.

FITTINGS

- FITTINGS SHALL BE DUCTILE IRON MEETING A.N.S.I./A.W.W.A. C153/21.00 AND SHALL BE COATED WITH 6 TO 8 MIL. THICKNESS COAL TAR EPOXY CONFORMING TO THE REQUIREMENTS OF A.N.S.I./A.W.W.A. C550-05 AND C116/A21.03.
- RESTRAINED JOINT PIPE SHALL BE USED FOR ALL BENDS, TEES, CROSSES, PLUGS, AND FIRE HYDRANTS. THRUST BLOCKS SHALL NOT BE ALLOWED.
- RETAINER GLANDS/MECHANICAL JOINT RESTRAINT SHALL BE USED ONLY IF AUTHORIZED BY THE ENGINEER AND SHALL CONFORM TO A.N.S.I./A.W.W.A. STANDARDS C 111/A-21.11-03, OR LATEST REVISION.
- ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITER'S LABORATORY FOR 250 P.S.I. MINIMUM WATER PRESSURE RATING.
- GLANDS SHALL BE CLOW CORPORATION MODEL F-1058, STANDARD FIRE PROTECTION EQUIPMENT COMPANY, OR APPROVED EQUAL.

VALVES

- TAPPING VALVES SHALL BE MUELLER H867 OR APPROVED EQUAL.
- TAPPING SLEEVES SHALL BE MUELLER H815 OR APPROVED EQUAL.
- GATE VALVES 3" OR LESS SHALL BE NIBCO T-133 OR T-136 WITH MALLEABLE HAND WHEELS. NO SUBSTITUTIONS ALLOWED.
- GATE VALVES 4" OR LARGER SHALL MEET A.W.W.A. C-500-02 SPECIFICATION (LATEST REVISION). VALVES SHALL BE MUELLER CO. OR APPROVED EQUAL.
- ALL VALVES SHALL BE FURNISHED WITH EXTENSION TYPE CAST IRON VALVE BOXES OF PROPER LENGTH FOR PIPE DEPTH. ALL BOXES SHALL CONFORM WITH A.W.W.A. SPECIFICATIONS WITH A SHAFT OF NO LESS THAN 5 INCHES AND HAVE THE WORD "WATER" CAST IN THE COVER. BASE OF VALVE BOX SHALL HAVE A FLARED SECTION TO FIT OVER STUFFING BOX OF VALVE.

HYDRANTS

- FIRE HYDRANTS SHALL BE BREAKAWAY MUELLER CO. CENTURION MODEL #A-423, OR METROPOLITAN 250 EDDY COMPRESSION TYPE F.H. OR APPROVED EQUAL.
- FIRE HYDRANTS SHALL BE INSTALLED WITH THE CENTER OF THE NOZZLE 18" ABOVE FINISHED GRADE.
- DEAD-END WATER MAINS 6" OR LARGER SHALL TERMINATE WITH A FIRE HYDRANT.

PLACEMENT

- ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM COVER OF 36" FOR P.V.C AND 30" FOR DIP EXCEPT WHERE SHOWN DIFFERENTLY ON PLANS.
- A CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED. BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND THE PIPE AS SHOWN ON THE PLANS AND/OR CITY OF FORT LAUDERDALE CONSTRUCTION STANDARDS AND SPECIFICATIONS, JANUARY 1982. ROCKS OR STONES LARGER THAN 3/4" DIAMETER FOUND IN THE TRENCH SHALL BE REMOVED FOR A DEPTH OF AT LEAST 6" BELOW THE BOTTOM OF THE PIPE.
- PIPE DEFLECTION SHALL NOT EXCEED 75% OF THE MAXIMUM DEFLECTION RECOMMENDED BY THE MANUFACTURER.

SEPARATION

- SANITARY SEWERS AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18" BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.
- WHERE SANITARY SEWER FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18" VERTICAL SEPARATION, BOTH THE SEWER AND WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6" MUST BE MAINTAINED AT ALL CROSSINGS.
- A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
- THE PREFERRED SEPARATION BETWEEN WATER MAINS AND SEWER MAINS SHALL BE 10 FEET. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 6 FOOT HORIZONTAL SEPARATION BETWEEN THE WATER MAINS AND SEWER MAINS, ONE OF THE FOLLOWING CONDITIONS MUST BE MET. THE MINIMUM SEPARATION BETWEEN WATER AND SEWER MAINS SHALL BE 3 FEET.
 - THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
 - THE SEWER OR FORCE MAIN IS ENCASED IN CONCRETE OR A WATERTIGHT CARRIER PIPE.
 - BOTH THE SEWER AND THE WATER MAIN ARE CONSTRUCTED OF PRESSURE PIPE TESTED TO 150 P.S.I.
- WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18" IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP, WITH A MINIMUM VERTICAL CLEARANCE OF 6". THE WATER MAIN SHOULD BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM THE JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
- ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING).
- WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 18" VERTICAL CLEARANCE, THE NEW PIPE SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS ABOVE.

TESTING, DISINFECTION

- PIPE SHALL BE TESTED UNDER CONSTANT PRESSURE OF 150 P.S.I. FOR A MINIMUM TEST PERIOD OF 2 HOURS AND SHALL NOT EXCEED THE LEAKAGE REQUIREMENTS AS PER A.N.S.I./A.W.W.A. SPECIFICATIONS OF C-600-05 LEAKAGE FORMULA:

$$Q = (LD \ P) / 148,000$$

$$Q = \text{QUANTITY OF MAKEUP WATER, (IN GALLONS PER HOUR)}$$

$$L = \text{LENGTH OF PIPE SECTION BEING TESTED, (IN FEET)}$$

$$D = \text{NOMINAL DIAMETER OF THE PIPE, (IN INCHES)}$$

$$P = \text{AVERAGE TEST PRESSURE DURING THE HYDROSTATIC TEST, (IN POUNDS PER SQUARE INCH GAUGE)}$$
- THE CITY OF FORT LAUDERDALE PUBLIC SERVICES DEPARTMENT WILL TAKE ALL BACTERIOLOGICAL TESTS, TO BE SCHEDULED VIA INSPECTOR. IF OTHERWISE SPECIFIED IN CONTRACT DETAILED SPECIFICATION AND/OR AUTHORIZED BY THE ENGINEER OF RECORD, BACTERIOLOGICAL TESTS MAY BE PERFORMED BY A CERTIFIED ENVIRONMENTAL TESTING LABORATORY.
- DISINFECTION OF MAINS SHALL COMPLY WITH A.N.S.I./A.W.W.A. C-651-05 STANDARD. BACTERIOLOGICAL SAMPLING POINTS SHALL BE DESIGNATED ON THE ENGINEERING PLANS. MINIMUM ONE SAMPLING POINT AT EACH END. MAXIMUM SPACE BETWEEN SAMPLING POINTS IS 1200 FEET.

CONNECTION

- ALL CONNECTIONS TO EXISTING MAINS SHALL BE MADE UNDER THE DIRECTION OF THE CITY OF FORT LAUDERDALE.
- THERE SHALL BE NO CONNECTION TO AN EXISTING WATER MAIN UNTIL PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN CONDUCTED AND THE RESULTS ARE APPROVED AND ACCEPTED BY THE CITY OF FORT LAUDERDALE.

SERVICE CONNECTIONS

- ALL METER SERVICE CONNECTIONS SHALL BE BRONZE FROM PLUG VALVE. NO GATE VALVES ARE TO BE USED (2" OR LESS).
- SERVICE SADDLES SHALL BE DUCTILE IRON WITH STAINLESS STEEL STRAPS. SADDLES SHALL BE DOUBLE STRAP TYPE. ALL SERVICE SADDLES SHALL CONFORM TO A.N.S.I./A.W.W.A. C 111/A-21.11-00 AND A.S.T.M. A588.
- ALL SERVICE LINES SHALL BE COPPER TUBING, TYPE "K", OR PLASTICIZED POLYETHYLENE 3408, A.S.T.M. D-2737, S.D.R. 9, 200 P.S.I.
- ALL EXISTING 2" WATER MAINS ARE TO BE CAPPED AND ABANDONED IN PLACE.
- NEW WATER SERVICE LINES SHALL BE INSTALLED TO SERVICE THE EXISTING PROPERTIES.

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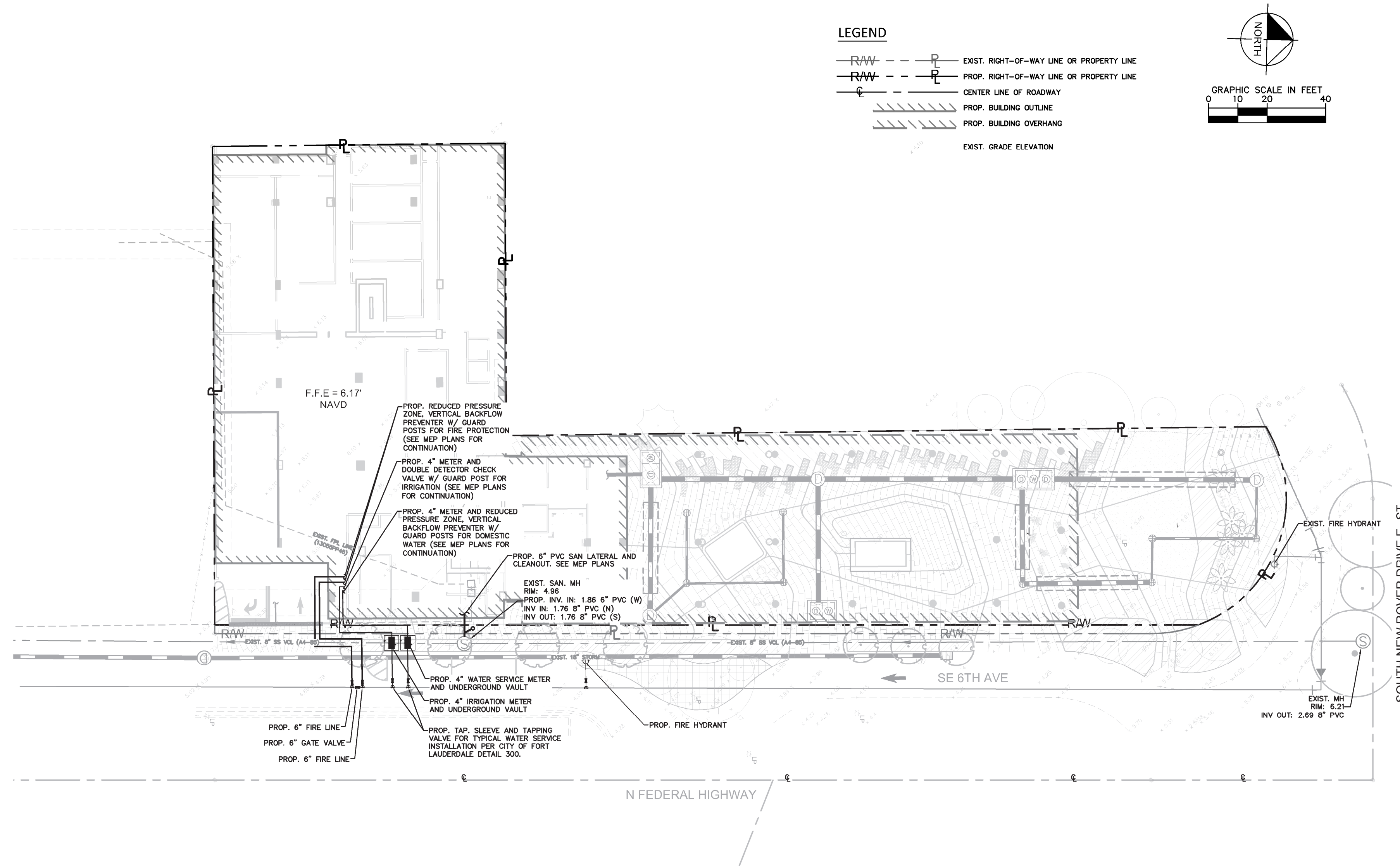
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C-12

WATER AND SEWER PLAN



PROJECT # 219420522

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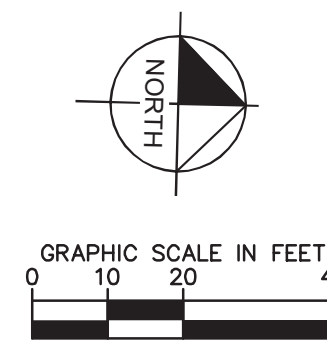
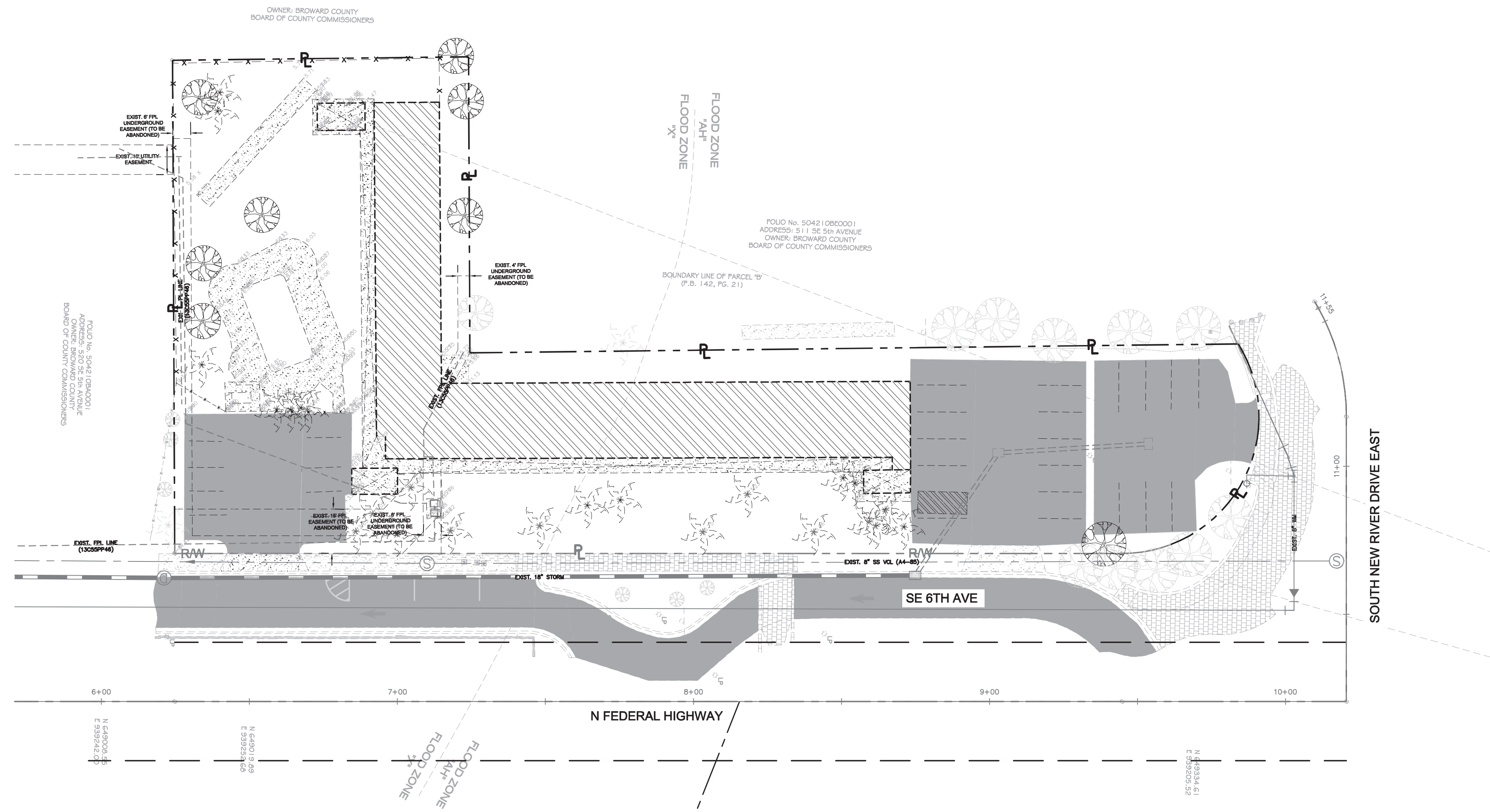
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C-13

UTILITY PLAN



PROJECT # 219420522

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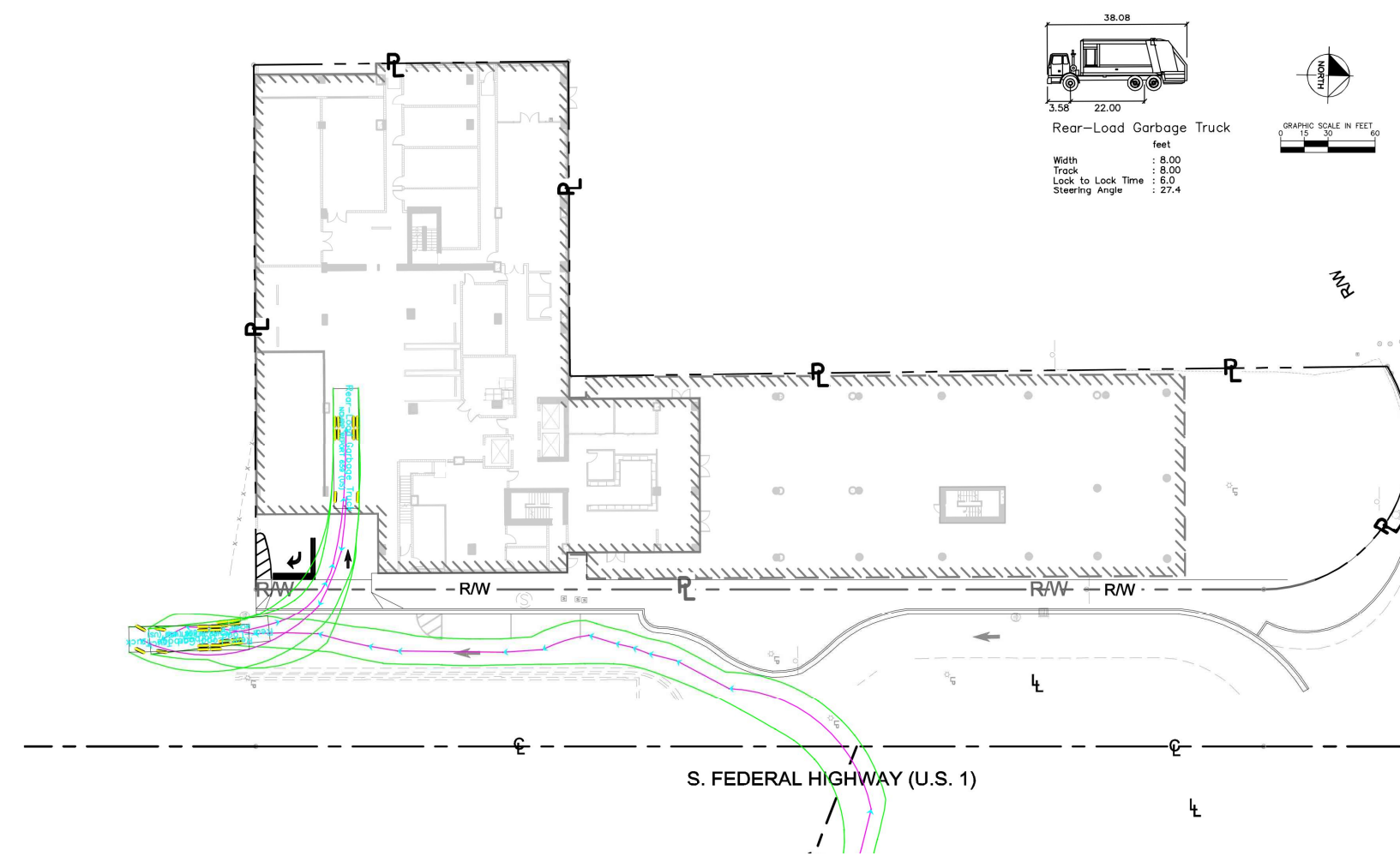
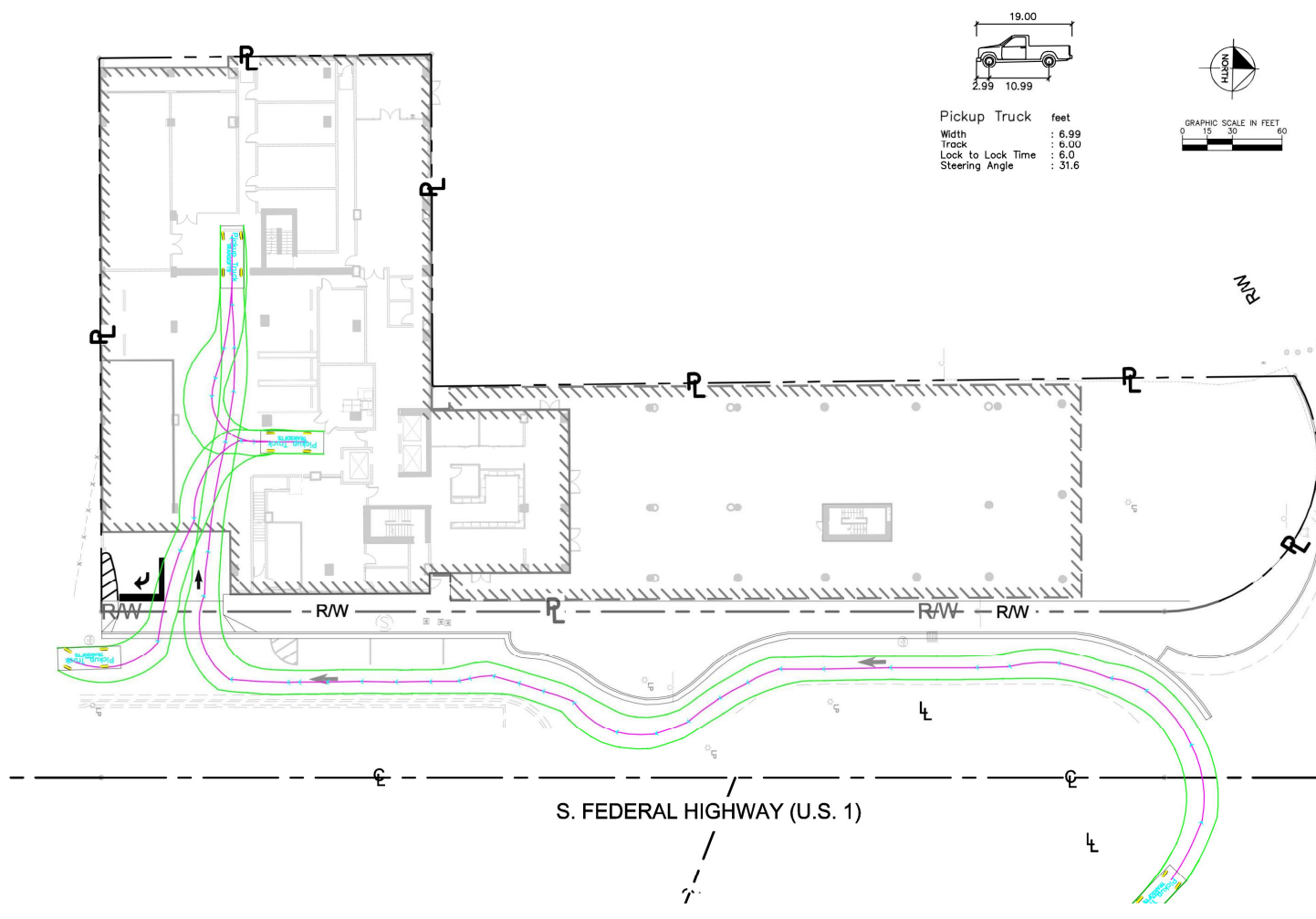
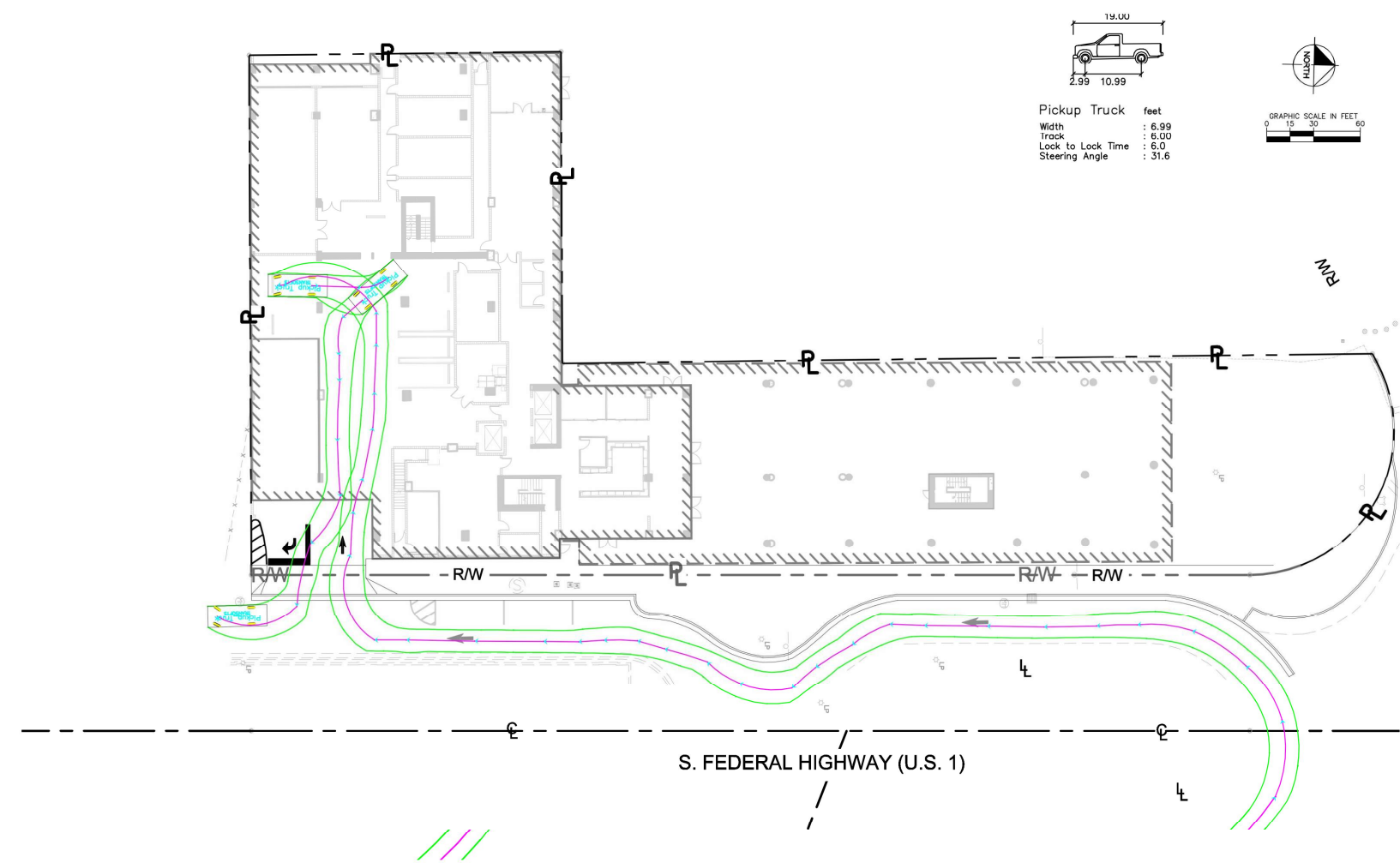
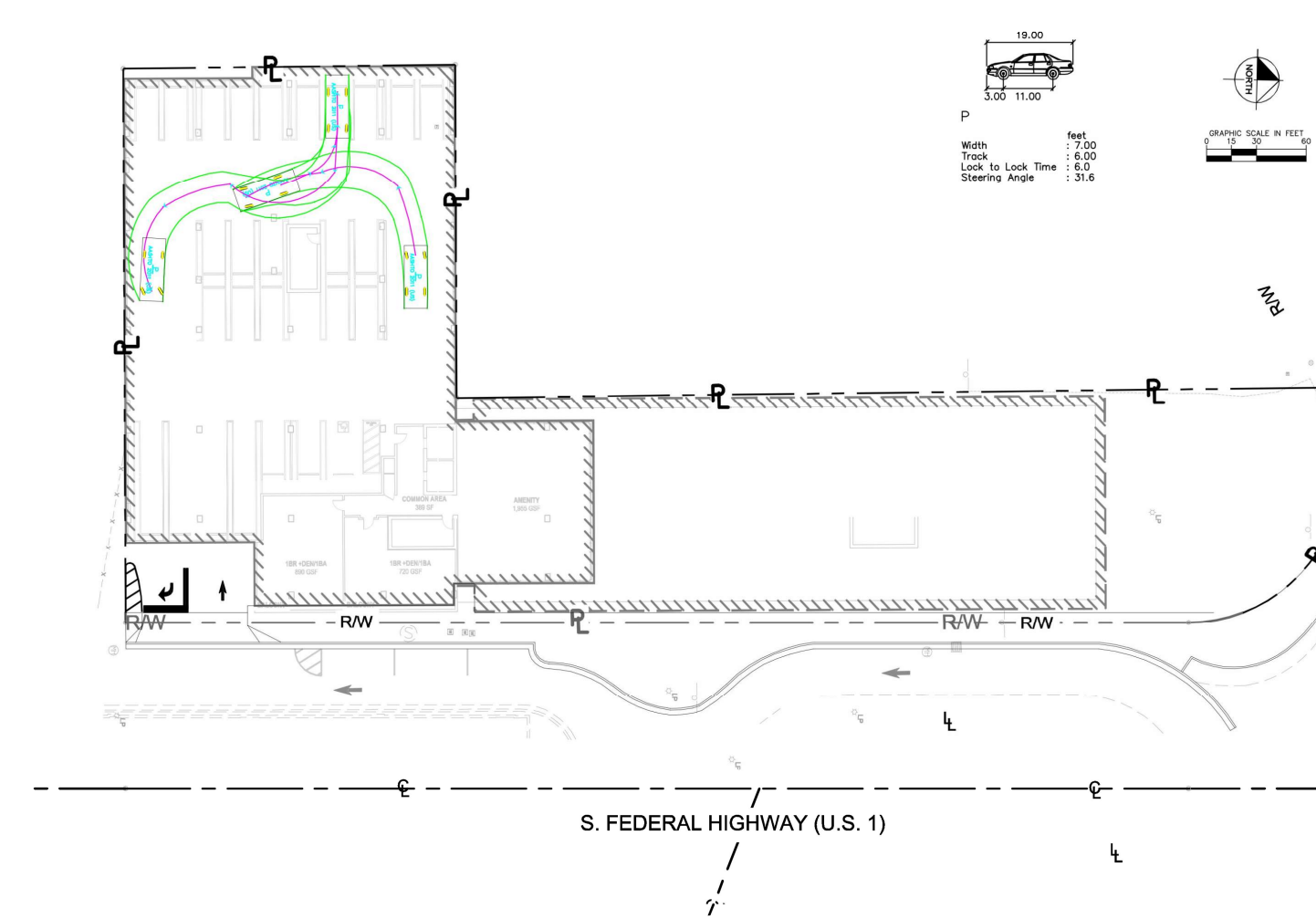
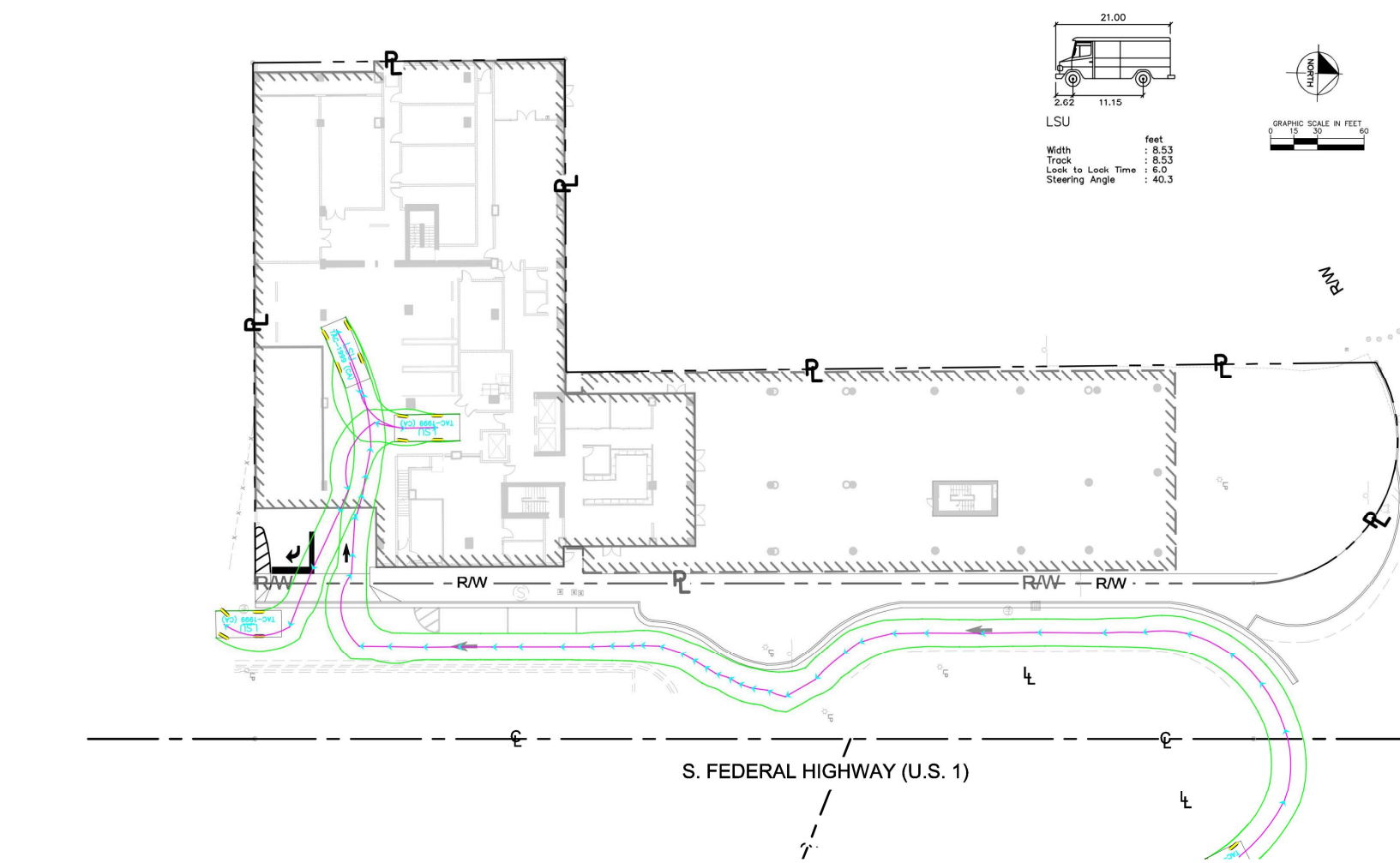
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MANEUVERABILITY EXHIBIT



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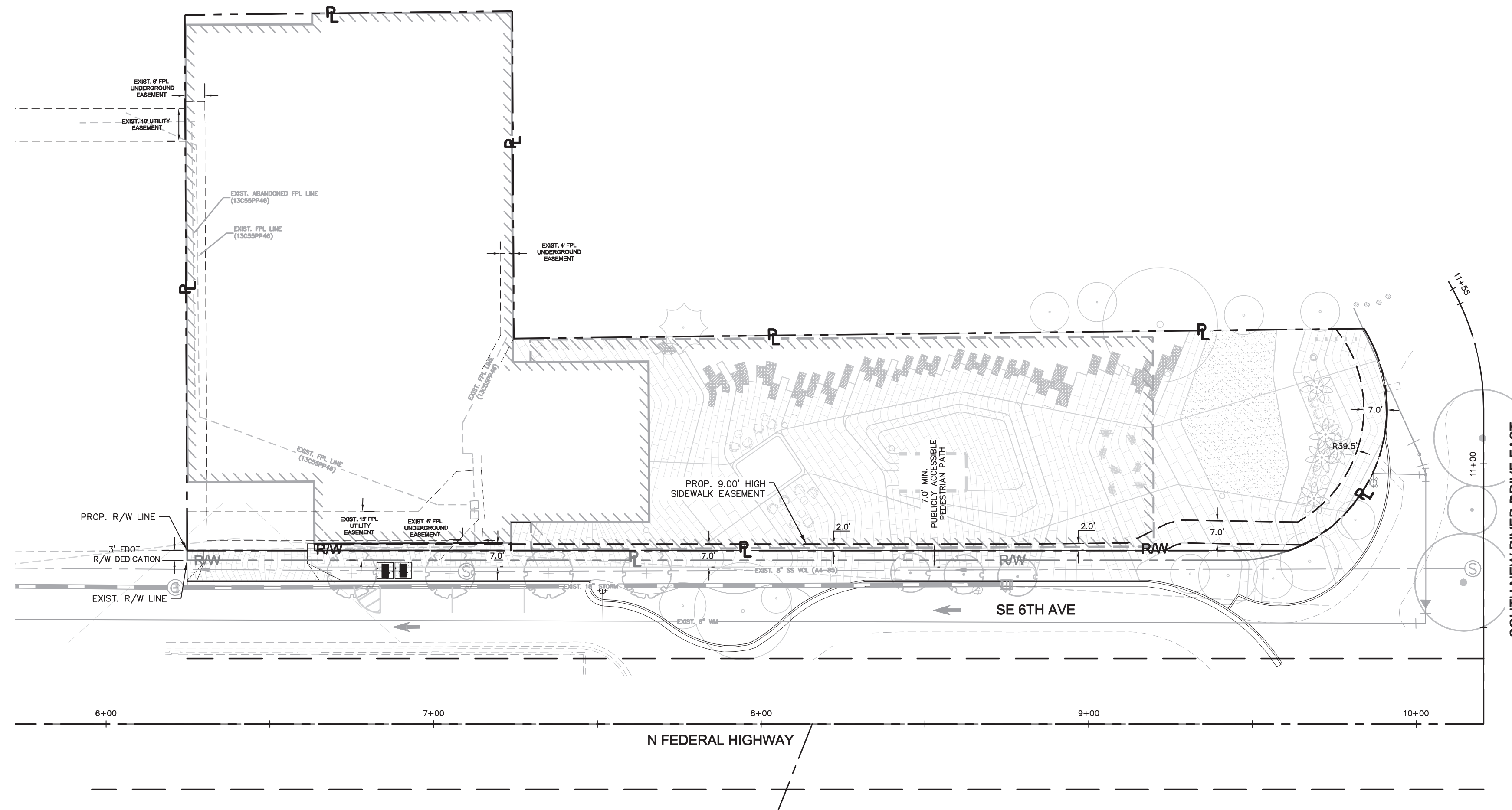
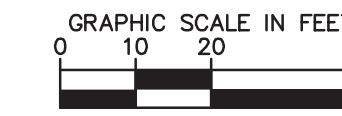
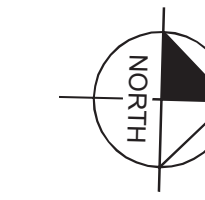
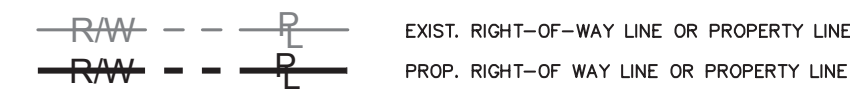
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C-16

PROJECT # 219420522

EASEMENT EXHIBIT

LEGEND



PROJECT # 219420522

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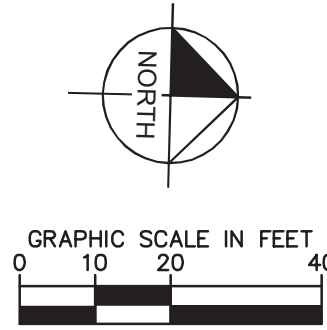
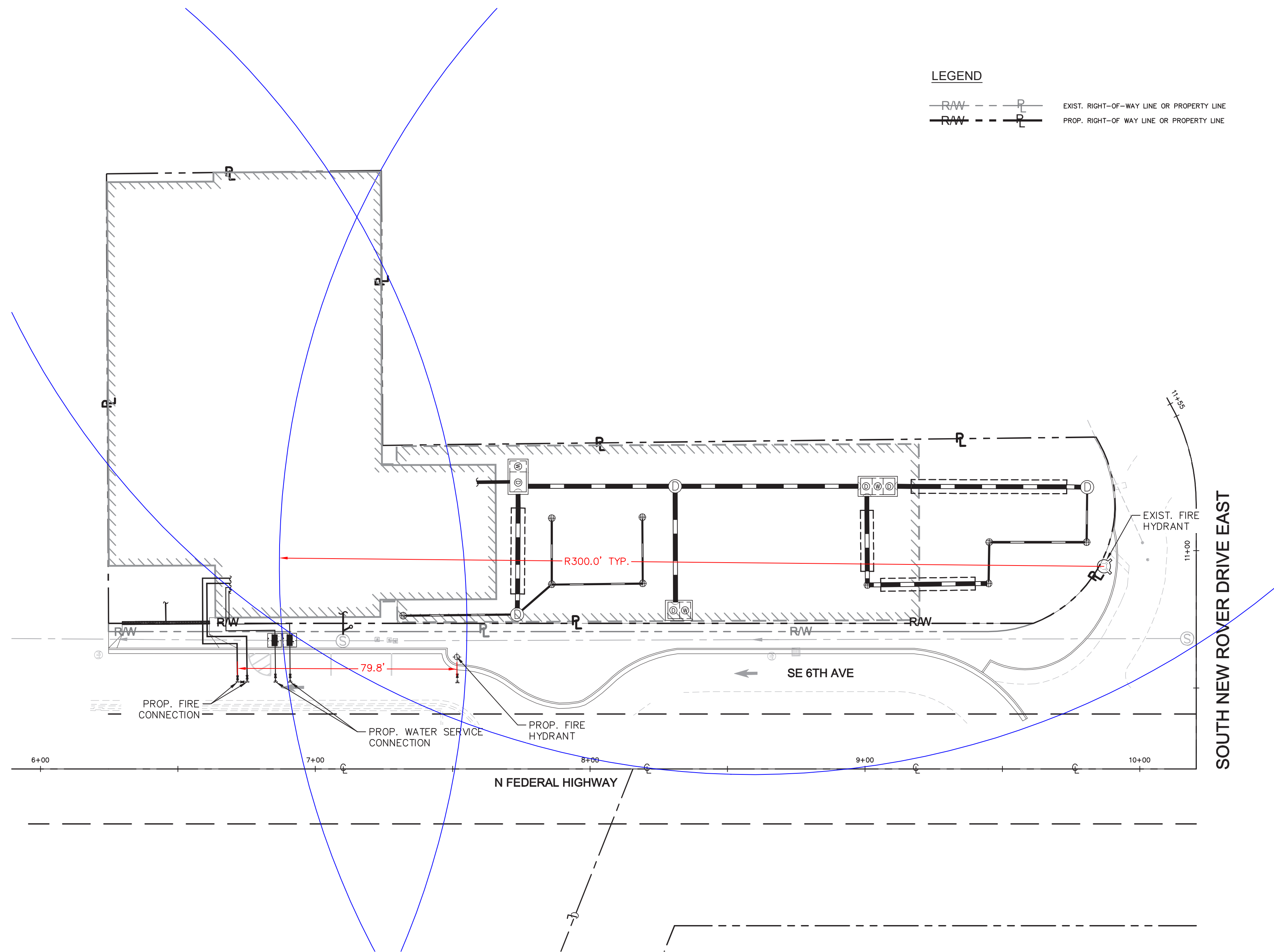
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C-17

FIRE HYDRANT EXHIBIT



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C-18

PROJECT # 219420522

LEVELS		FUNCTION OF SPACE															CALCULATIONS		
TOTAL # OF LEVELS		GSF per Typical Level	COMMON SPACES	PARKING	SERVICE	BOH	BALCONY	VERTICAL PENETRATION	AMENITY DECK	RESIDENTIAL AMENITIES	ST / 1 BA	1 BR / 1 BA	1 BR+DEN / 1 BA	2 BR / 2 BA	2 BR+DEN / 2 BA	3 BR / 2 BA	Net Rentable	Efficiency Per Floor	# Units Per Floors
10		Balcony and Amenity Deck Not Included	GSF	GSF	GSF	GSF	GSF	GSF	GSF	GSF	NSF	NSF	NSF	NSF	NSF	NSF			
LEVEL 23	01 LEVELS	733 GSF	00 GSF	00 GSF	00 GSF	00 GSF	00 GSF	733 GSF	00 GSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	0%	0
TOTAL LEVEL 23 (ROOF)		733 GSF	00 GSF	00 GSF	00 GSF	00 GSF	00 GSF	733 GSF	00 GSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	0%	0
LEVEL 19	04 LEVELS	9,471 GSF	1,153 GSF	00 GSF	00 GSF	85 GSF	316 GSF	746 GSF	00 GSF	00 NSF	528 NSF	564 NSF	1,603 NSF	4,793 NSF	00 NSF	00 NSF	7,487 NSF	79%	9
TOTAL LEVEL 19 TO 22		37,882 GSF	4,610 GSF	00 GSF	00 GSF	339 GSF	1,263 GSF	2,983 GSF	00 GSF	00 NSF	2,110 NSF	2,255 NSF	6,412 NSF	19,173 NSF	00 NSF	00 NSF	29,950 NSF	79%	36
LEVEL 18	01 LEVELS	9,469 GSF	1,153 GSF	00 GSF	00 GSF	85 GSF	317 GSF	746 GSF	2,069 GSF	00 NSF	528 NSF	564 NSF	1,603 NSF	4,792 NSF	00 NSF	00 NSF	7,486 NSF	79%	9
TOTAL LEVEL 18		9,469 GSF	1,153 GSF	00 GSF	00 GSF	85 GSF	317 GSF	746 GSF	2,069 GSF	00 NSF	528 NSF	564 NSF	1,603 NSF	4,792 NSF	00 NSF	00 NSF	7,486 NSF	79%	9
LEVEL 11	07 LEVELS	11,518 GSF	1,206 GSF	00 GSF	00 GSF	85 GSF	549 GSF	746 GSF	00 GSF	00 NSF	532 NSF	564 NSF	1,603 NSF	6,783 NSF	00 NSF	00 NSF	9,481 NSF	82%	11
TOTAL LEVEL 11 TO 17		80,625 GSF	8,440 GSF	00 GSF	00 GSF	594 GSF	3,843 GSF	5,220 GSF	00 GSF	00 NSF	3,721 NSF	3,946 NSF	11,222 NSF	47,482 NSF	00 NSF	00 NSF	66,370 NSF	82%	77
LEVEL 10	01 LEVELS	11,513 GSF	1,212 GSF	00 GSF	00 GSF	85 GSF	2,779 GSF	741 GSF	705 GSF	00 NSF	528 NSF	564 NSF	1,608 NSF	6,776 NSF	00 NSF	00 NSF	9,475 NSF	82%	11
TOTAL LEVEL 10		11,513 GSF	1,212 GSF	00 GSF	00 GSF	85 GSF	2,779 GSF	741 GSF	705 GSF	00 NSF	528 NSF	564 NSF	1,608 NSF	6,776 NSF	00 NSF	00 NSF	9,475 NSF	82%	11
LEVEL 09	01 LEVELS	17,289 GSF	460 GSF	12,507 GSF	00 GSF	88 GSF	296 GSF	807 GSF	00 GSF	00 NSF	00 NSF	681 NSF	735 NSF	2,012 NSF	00 NSF	00 NSF	3,428 NSF	20%	4
TOTAL LEVEL 09		17,289 GSF	460 GSF	12,507 GSF	00 GSF	88 GSF	296 GSF	807 GSF	00 GSF	00 NSF	00 NSF	681 NSF	735 NSF	2,012 NSF	00 NSF	00 NSF	3,428 NSF	20%	4
LEVEL 08	01 LEVELS	15,219 GSF	402 GSF	12,605 GSF	00 GSF	88 GSF	85 GSF	723 GSF	00 GSF	00 NSF	00 NSF	681 NSF	720 NSF	00 NSF	00 NSF	00 NSF	1,400 NSF	9%	2
TOTAL LEVEL 08		15,219 GSF	402 GSF	12,605 GSF	00 GSF	88 GSF	85 GSF	723 GSF	00 GSF	00 NSF	00 NSF	681 NSF	720 NSF	00 NSF	00 NSF	00 NSF	1,400 NSF	9%	2
LEVEL 07	01 LEVELS	17,467 GSF	402 GSF	12,590 GSF	00 GSF	88 GSF	85 GSF	929 GSF	8,961 GSF	2,042 NSF	00 NSF	681 NSF	735 NSF	00 NSF	00 NSF	00 NSF	1,415 NSF	8%	2
TOTAL LEVEL 07 (AMENITY LEVEL)		17,467 GSF	402 GSF	12,590 GSF	00 GSF	88 GSF	85 GSF	929 GSF	8,961 GSF	2,042 NSF	00 NSF	681 NSF	735 NSF	00 NSF	00 NSF	00 NSF	1,415 NSF	8%	2
LEVEL 05	02 LEVELS	26,648 GSF	1,643 GSF	12,602 GSF	00 GSF	88 GSF	404 GSF	936 GSF	00 GSF	00 NSF	00 NSF	5,001 NSF	725 NSF	4,250 NSF	00 NSF	1,404 NSF	11,379 NSF	43%	13
TOTAL LEVEL 05 TO 6		53,295 GSF	3,286 GSF	25,203 GSF	00 GSF	177 GSF	808 GSF	1,871 GSF	00 GSF	00 NSF	00 NSF	10,001 NSF	1,449 NSF	8,500 NSF	00 NSF	2,808 NSF	22,758 NSF	43%	26
LEVEL 04	01 LEVELS	26,696 GSF	399 GSF	12,605 GSF	00 GSF	88 GSF	460 GSF	929 GSF	00 GSF	00 NSF	00 NSF	683 NSF	720 NSF	988 NSF	1,951 NSF	8,333 NSF	12,674 NSF	47%	2
TOTAL LEVEL 04		26,696 GSF	399 GSF	12,605 GSF	00 GSF	88 GSF	460 GSF	929 GSF	00 GSF	00 NSF	00 NSF	683 NSF	720 NSF	988 NSF	1,951 NSF	8,333 NSF	12,674 NSF	47%	2
LEVEL 03	01 LEVELS	26,690 GSF	1,612 GSF	12,612 GSF	00 GSF	88 GSF	853 GSF	927 GSF	00 GSF	00 NSF	00 NSF	683 NSF	720 NSF	850 NSF	1,880 NSF	7,319 NSF	11,451 NSF	43%	12
TOTAL LEVEL 03		26,690 GSF	1,612 GSF	12,612 GSF	00 GSF	88 GSF	853 GSF	927 GSF	00 GSF	00 NSF	00 NSF	683 NSF	720 NSF	850 NSF	1,880 NSF	7,319 NSF	11,451 NSF	43%	12
LEVEL 02	01 LEVELS	7,940 GSF	00 GSF	7,011 GSF	00 GSF	00 GSF	00 GSF	929 GSF	00 GSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	0%	0
TOTAL LEVEL 02		7,940 GSF	00 GSF	7,011 GSF	00 GSF	00 GSF	00 GSF	929 GSF	00 GSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	0%	0
LEVEL 01	01 LEVELS	17,147 GSF	297 GSF	5,419 GSF	4,306 GSF	00 GSF	00 GSF	1,501 GSF	15,727 GSF	5,625 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	0%	0
TOTAL LEVEL 01 (GROUND FLOOR)		17,147 GSF	297 GSF	5,419 GSF	4,306 GSF	00 GSF	00 GSF	1,501 GSF	15,727 GSF	5,625 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	00 NSF	0%	0
TOTAL GSF	321,967 GSF	321,967 GSF	22,273 GSF	100,552 GSF	4,306 GSF	1,721 GSF	10,789 GSF	19,041 GSF	27,462 GSF	7,667 NSF	6,886 NSF	20,737 NSF	25,922 NSF	90,572 NSF	3,831 NSF	18,459 NSF	166,407 NSF	52%	181

Parking Level	Count	Type
Level 01	6	STANDARD (18'-0"x8'-8")
Level 1.5	14	STANDARD (18'-0"x8'-8")
Level 02	1	ADA_VAN (18'-0"x12'-0")
Level 02	2	STANDARD (18'-0"x8'-8")
Level 02	18	STANDARD (18'-0"x8'-8")
Level 02	5	TANDEM (36'-0"x8'-8")
Level 03	1	ADA_VAN (18'-0"x12'-0")
Level 03	2	STANDARD (18'-0"x8'-8")
Level 03	18	STANDARD (18'-0"x8'-8")
Level 03	5	TANDEM (36'-0"x8'-8")
Level 04	1	ADA (18'-0"x12'-0")
Level 04	2	STANDARD (18'-0"x8'-8")
Level 04	18	STANDARD (18'-0"x8'-8")
Level 04	5	TANDEM (36'-0"x8'-8")

Parking Level	Count	Type
Level 05	1	ADA (18'-0"x12'-0")
Level 05	2	STANDARD (18'-0"x8'-8")
Level 05	18	STANDARD (18'-0"x8'-8")
Level 05	5	TANDEM (36'-0"x8'-8")
Level 06	1	ADA (18'-0"x12'-0")
Level 06	2	STANDARD (18'-0"x8'-8")
Level 06	18	STANDARD (18'-0"x8'-8")
Level 06	5	TANDEM (36'-0"x8'-8")
Level 07	1	ADA (18'-0"x12'-0")
Level 07	2	STANDARD (18'-0"x8'-8")
Level 07	19	STANDARD (18'-0"x8'-8")
Level 07	4	TANDEM (36'-0"x8'-8")
Level 08	1	ADA (18'-0"x12'-0")
Level 08	2	STANDARD (18'-0"x8'-8")
Level 08	18	STANDARD (18'-0"x8'-8")
Level 08	4	TANDEM (36'-0"x8'-8")

Count
5
2
20
20
141
33
201

5 ADA + 2 ADA (VAN Accessible) = 141
STANDARD + 33 TANDEM = 201 spaces
Note: Tandem spaces designated to a single residential unit

	ST / 1 BA	1 BR / 1 BA	1 BR+DEN / 1 BA	2 BR / 2 BA	2 BR+DEN / 2 BA	3 BR / 2 BA		
Level 23	01 LEVELS	Typical						
		All						
Level 19	04 LEVELS	Typical	1	1	2	5		
		All	4	4	8	20		
Level 18	01 LEVELS	Typical	1	1	2	5		
		All	1	1	2	5		
Level 11	07 LEVELS	Typical	1	1	2	7		
		All	7	7	14	49		
Level 10	01 LEVELS	Typical	1	1	2	7		
		All	1	1	2	7		
Level 09	01 LEVELS	Typical	1	1	2			
		All	1	1	2			
Level 08	01 LEVELS	Typical	1	1				
		All	1	1				
Level 07	01 LEVELS	Typical	1	1				
		All	1	1				
Level 05	02 LEVELS	Typical	7	1	4	1		
		All	14	2	8	2		
Level 04	01 LEVELS	Typical	1	1				
		All	1	1				
Level 03	01 LEVELS	Typical	1	1	1	2		
		All	1	1	1	2		
TOTAL # UNITS			13	32	33	92	2	9
AVERAGE SQFT PER UNIT TYPE								
TOTAL AREA PER UNIT TYPE			6,886 NSF	20,737 NSF	25,922 NSF	90,572 NSF	3,831 NSF	18,459 NSF
AVERAGE AREA PER UNIT			530 NSF	648 NSF	786 NSF	984 NSF	1,915 NSF	2,051 NSF
% OF UNIT TYPE			7%	18%	18%	51%	1%	5%

TOTAL GROSS SF:	321,967 GSF
TOTAL NET RENTABLE:	166,407 NSF
TOTAL UNITS:	181 UNITS
AVERAGE NSF PER UNIT:	919 NSF
PARKING COUNT:	7 ADA SPACES
	33 TANDEM
	161 STANDARD SPACES
TOTAL PARKING:	201 SPACES

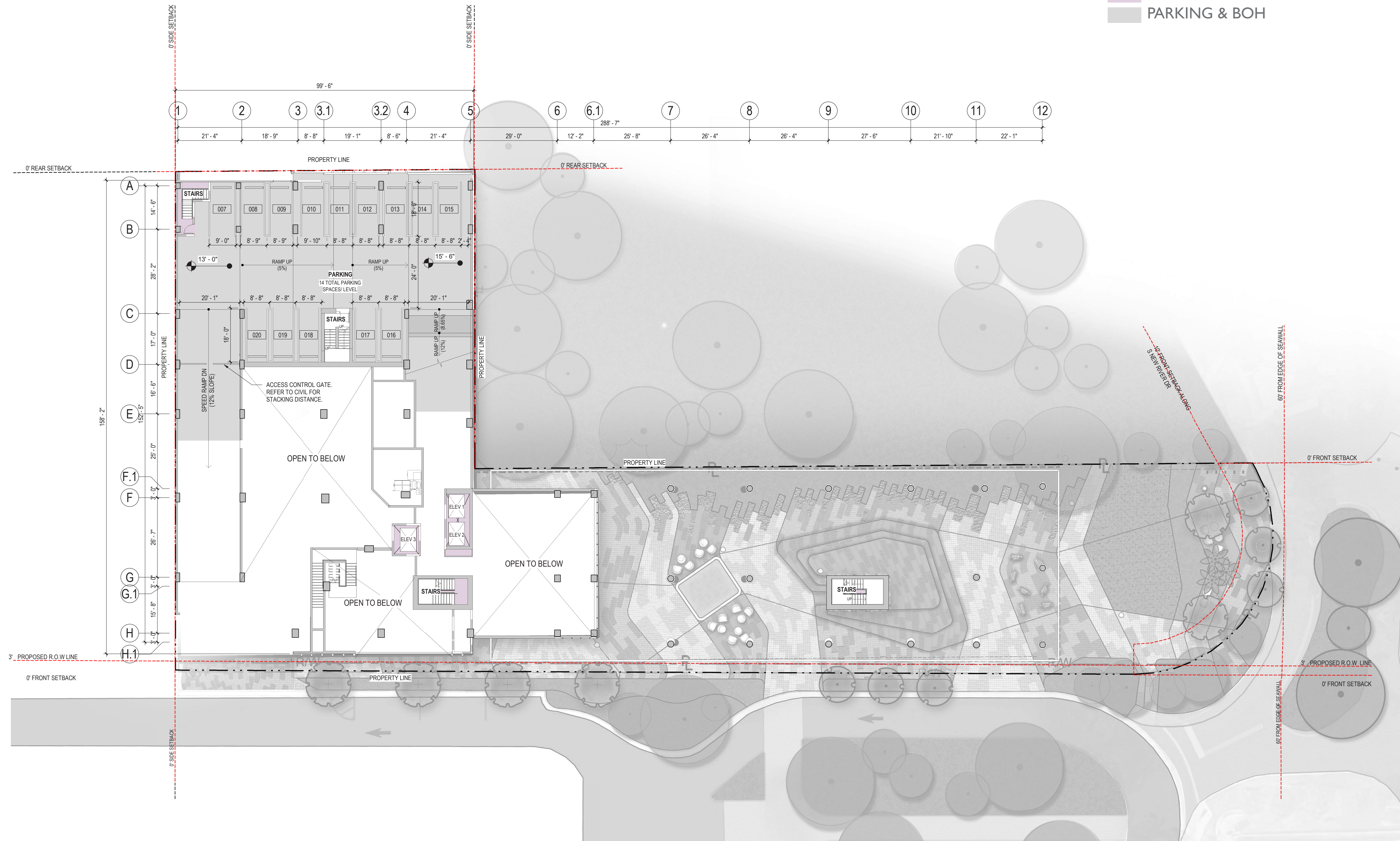
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D-3

LEVEL I.5 FLOOR PLAN



- AMENITY SPACE
- COMMON CIRCULATION
- PARKING & BOH

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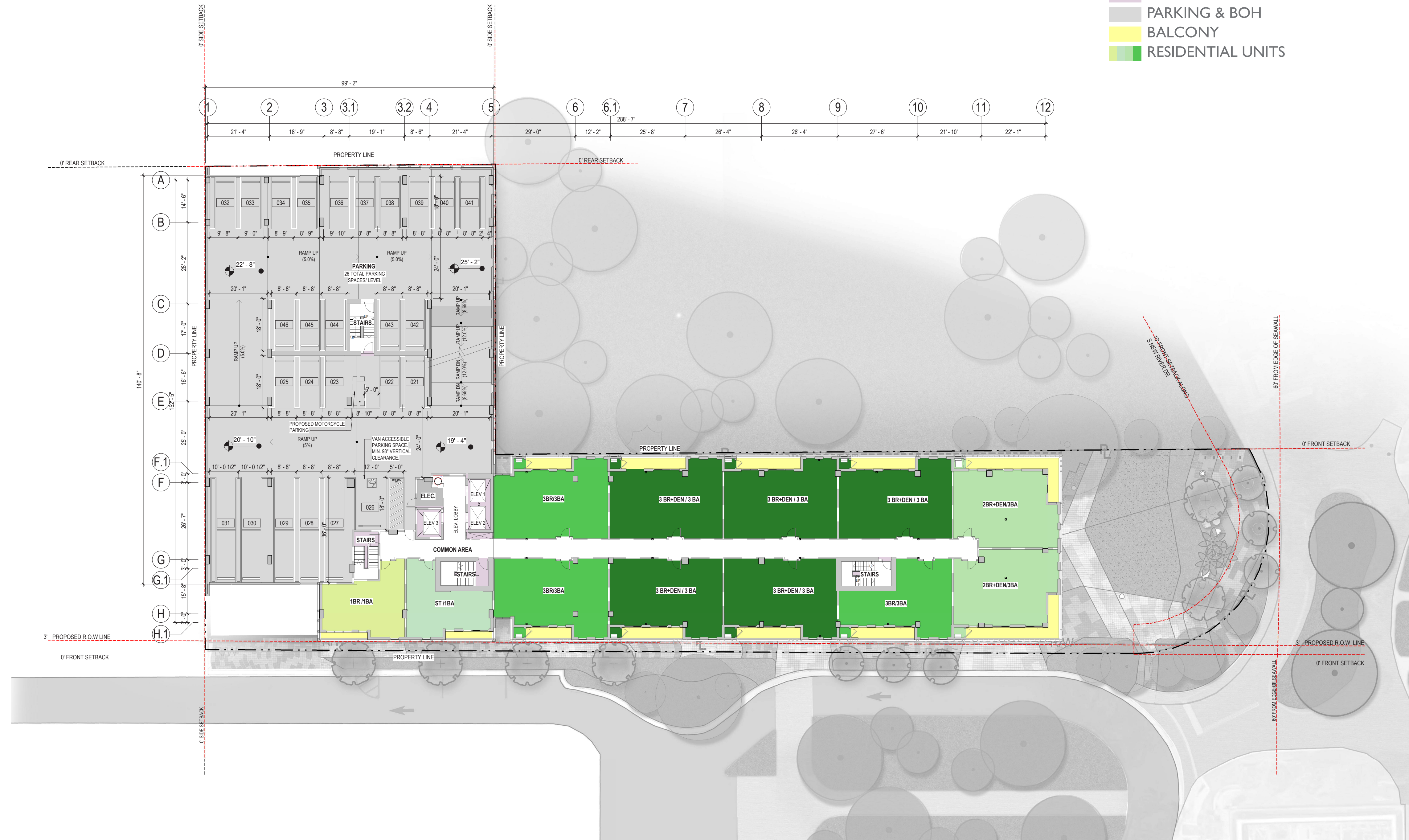
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11.30.2017

PROJECT # 219420522 **LEVEL I.5 - FLOOR PLAN**
SCALE: 1/16" = 1'-0"

D-5

LEVEL 02 FLOOR PLAN

- AMENITY SPACE
- COMMON CIRCULATION
- PARKING & BOH
- BALCONY
- RESIDENTIAL UNITS



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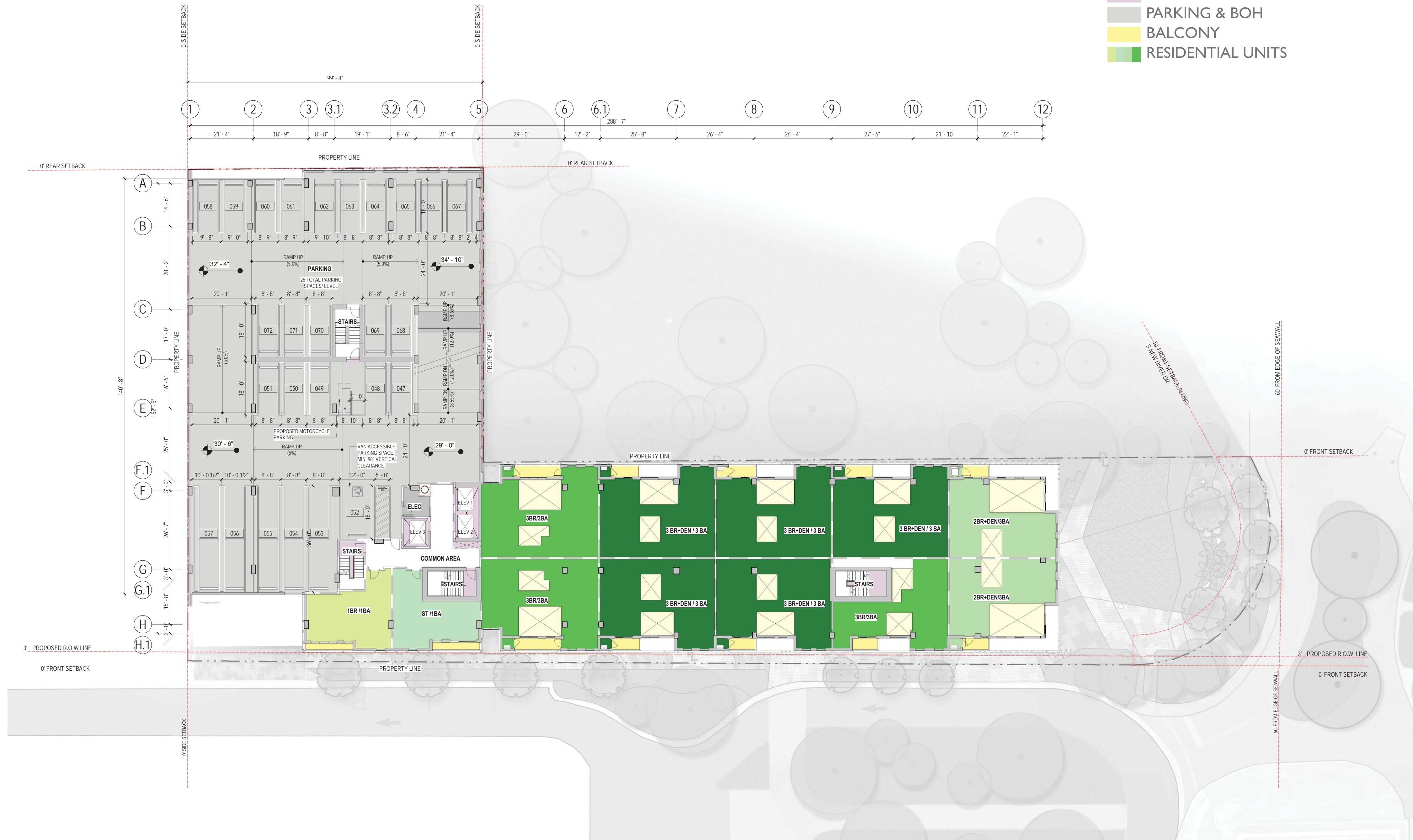
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PROJECT # 219420522 **LEVEL 02 FLOOR PLAN**
SCALE: 1/16" = 1'-0"

D-6

LEVEL 03 FLOOR PLAN



- AMENITY SPACE
- COMMON CIRCULATION
- PARKING & BOH
- BALCONY
- RESIDENTIAL UNITS

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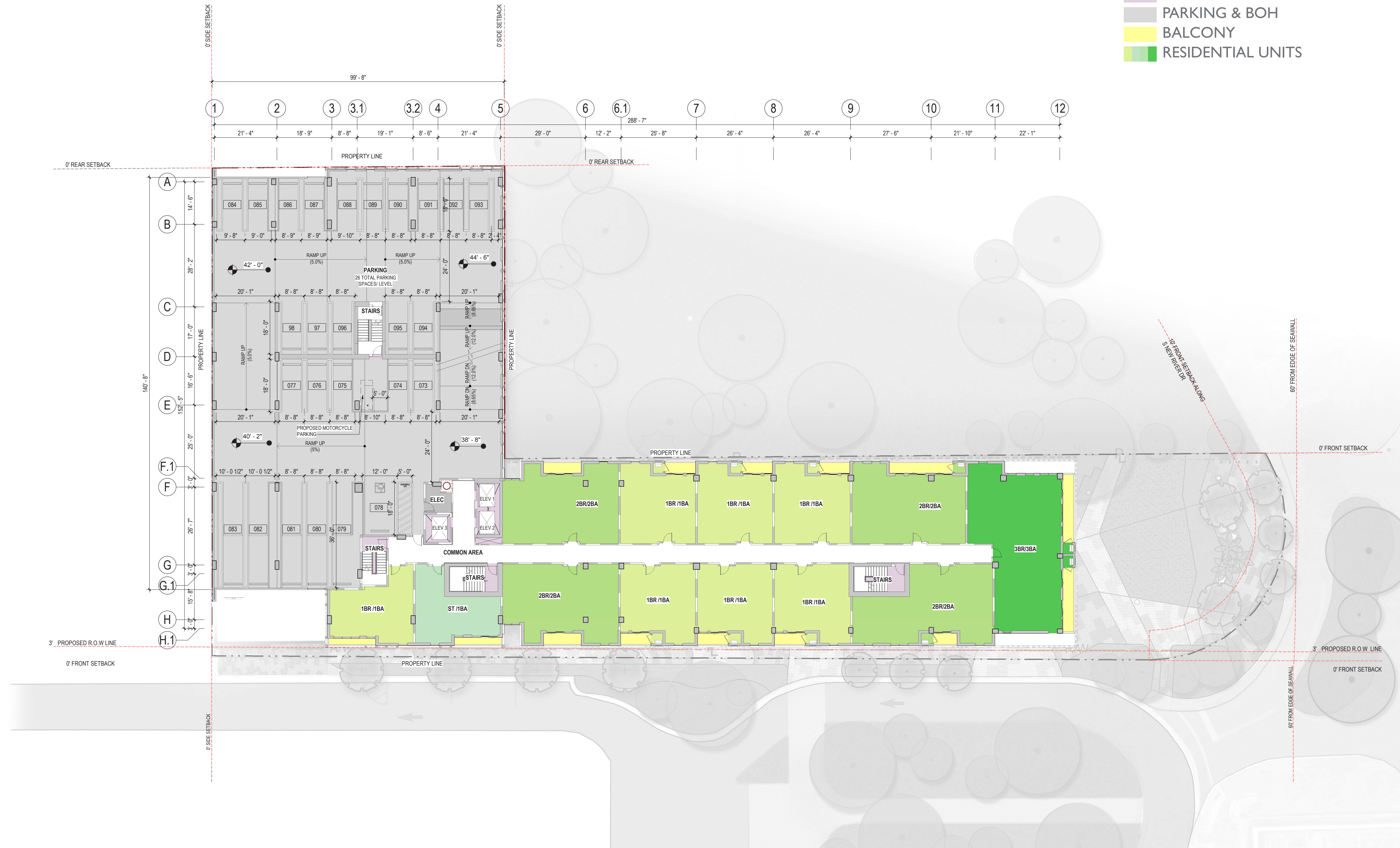
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PROJECT # 219420522 **LEVEL 03 FLOOR PLAN**
SCALE: 1/16" = 1'-0"

D-7

LEVELS 04-05 TYPICAL FLOOR PLAN

- AMENITY SPACE
- COMMON CIRCULATION
- PARKING & BOH
- BALCONY
- RESIDENTIAL UNITS



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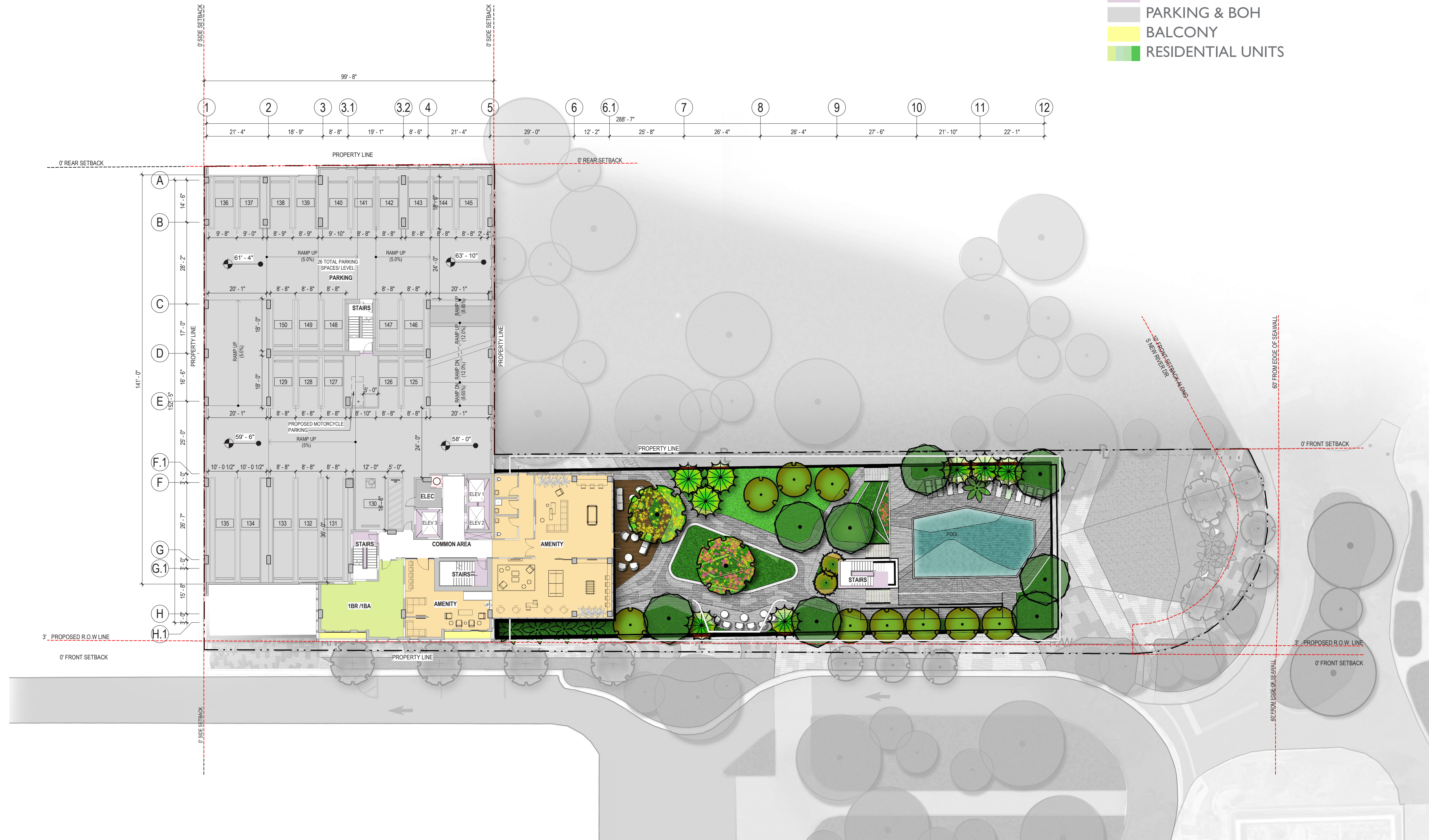
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11.30.2017

D-8

PROJECT # 219420522 LEVELS 04-05 - TYPICAL FLOOR PLAN
SCALE: 1/16" = 1'-0"

LEVEL 06 (AMENITIES) FLOOR PLAN

- AMENITY SPACE
- COMMON CIRCULATION
- PARKING & BOH
- BALCONY
- RESIDENTIAL UNITS



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11.30.2017

PROJECT # 219420522

LEVEL 06 (AMENITIES) - FLOOR PLAN
SCALE: 1/16" = 1'-0"

D-9

LEVEL 07 FLOOR PLAN

- AMENITY SPACE
- COMMON CIRCULATION
- PARKING & BOH
- BALCONY
- RESIDENTIAL UNITS



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PROJECT # 219420522 **LEVEL 07 FLOOR PLAN**
 SCALE: 1/16" = 1'-0"

D-10

LEVEL 08 FLOOR PLAN



- AMENITY SPACE
- COMMON CIRCULATION
- PARKING & BOH
- BALCONY
- RESIDENTIAL UNITS

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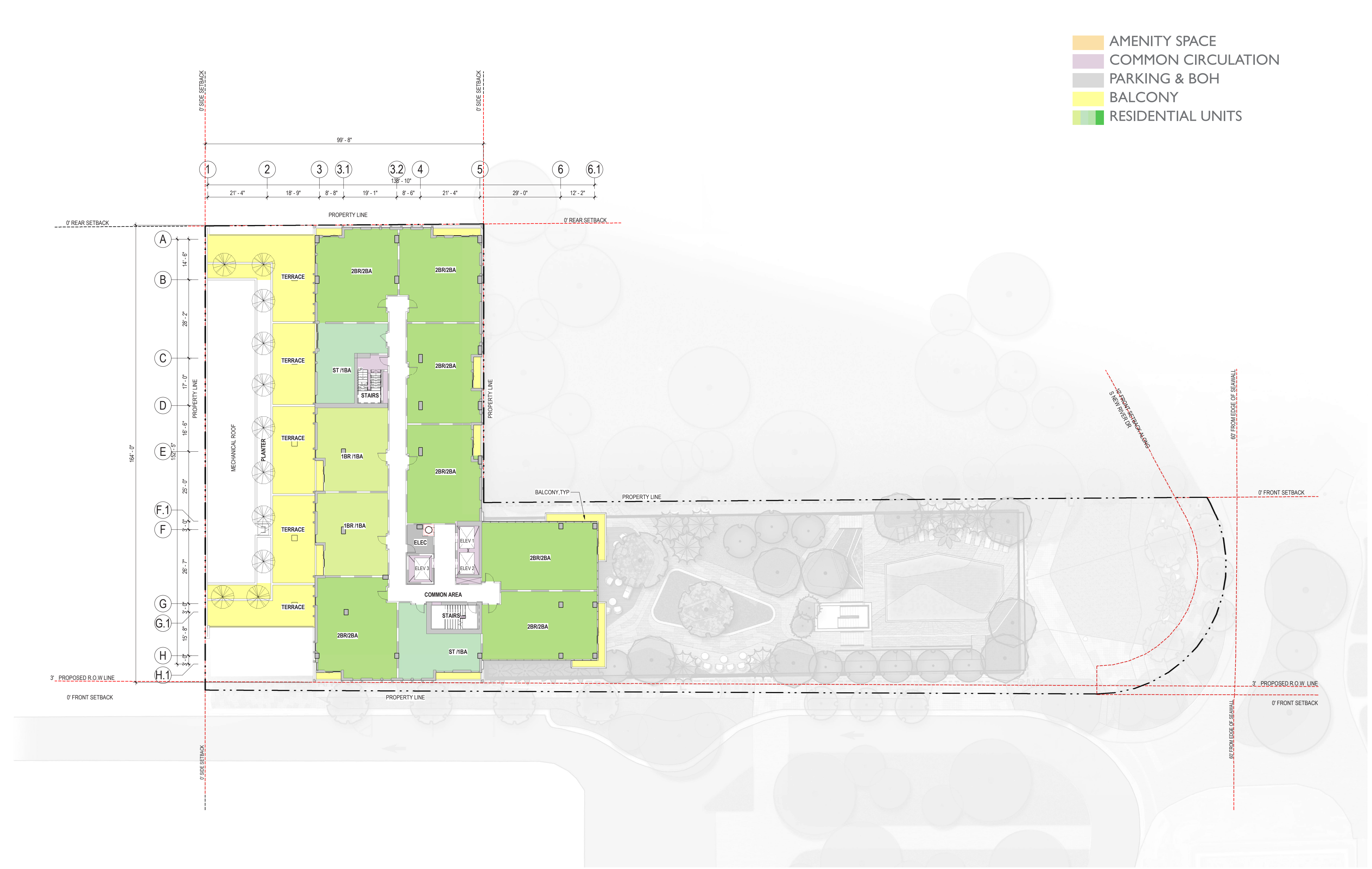
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PROJECT # 219420522 **LEVEL 08 FLOOR PLAN**
 SCALE: 1/16" = 1'-0"

D-11

LEVEL 09 FLOOR PLAN



- AMENITY SPACE
- COMMON CIRCULATION
- PARKING & BOH
- BALCONY
- RESIDENTIAL UNITS

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PROJECT # 219420522 **LEVEL 09 FLOOR PLAN**
 SCALE: 1/16" = 1'-0"

D-12

LEVELS 10-16 TYPICAL FLOOR PLAN

- AMENITY SPACE
- COMMON CIRCULATION
- PARKING & BOH
- BALCONY
- RESIDENTIAL UNITS



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PROJECT # 219420522 LEVELS 10-16 - TYPICAL FLOOR PLAN
SCALE: 1/16" = 1'-0"

D-13

LEVEL 17 FLOOR PLAN



- AMENITY SPACE
- COMMON CIRCULATION
- PARKING & BOH
- BALCONY
- RESIDENTIAL UNITS

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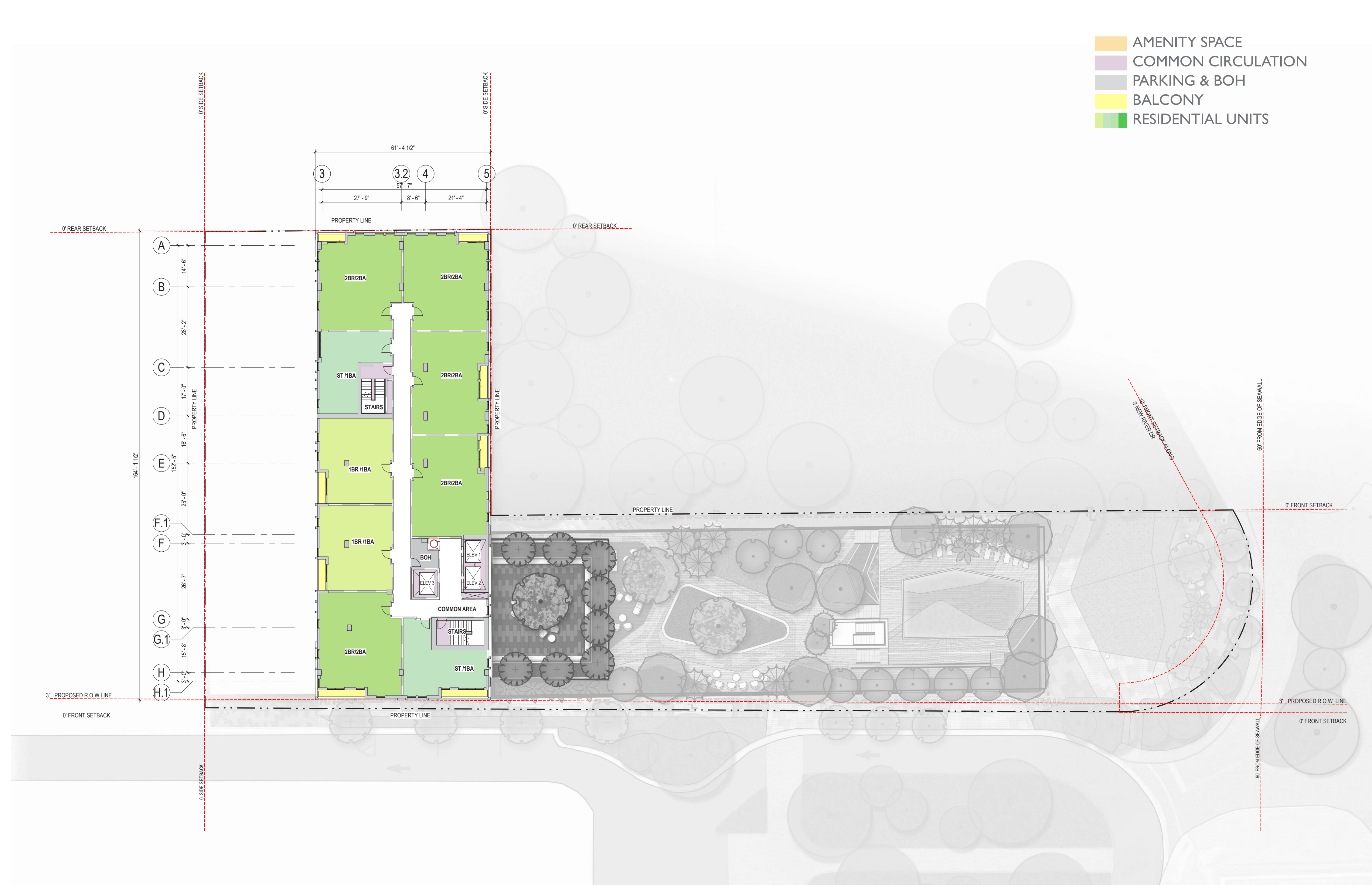
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PROJECT # 219420522 **LEVEL 17 FLOOR PLAN**
 SCALE: 1/16" = 1'-0"

D-14

LEVELS 18-21 TYPICAL FLOOR PLAN



- AMENITY SPACE
- COMMON CIRCULATION
- PARKING & BOH
- BALCONY
- RESIDENTIAL UNITS

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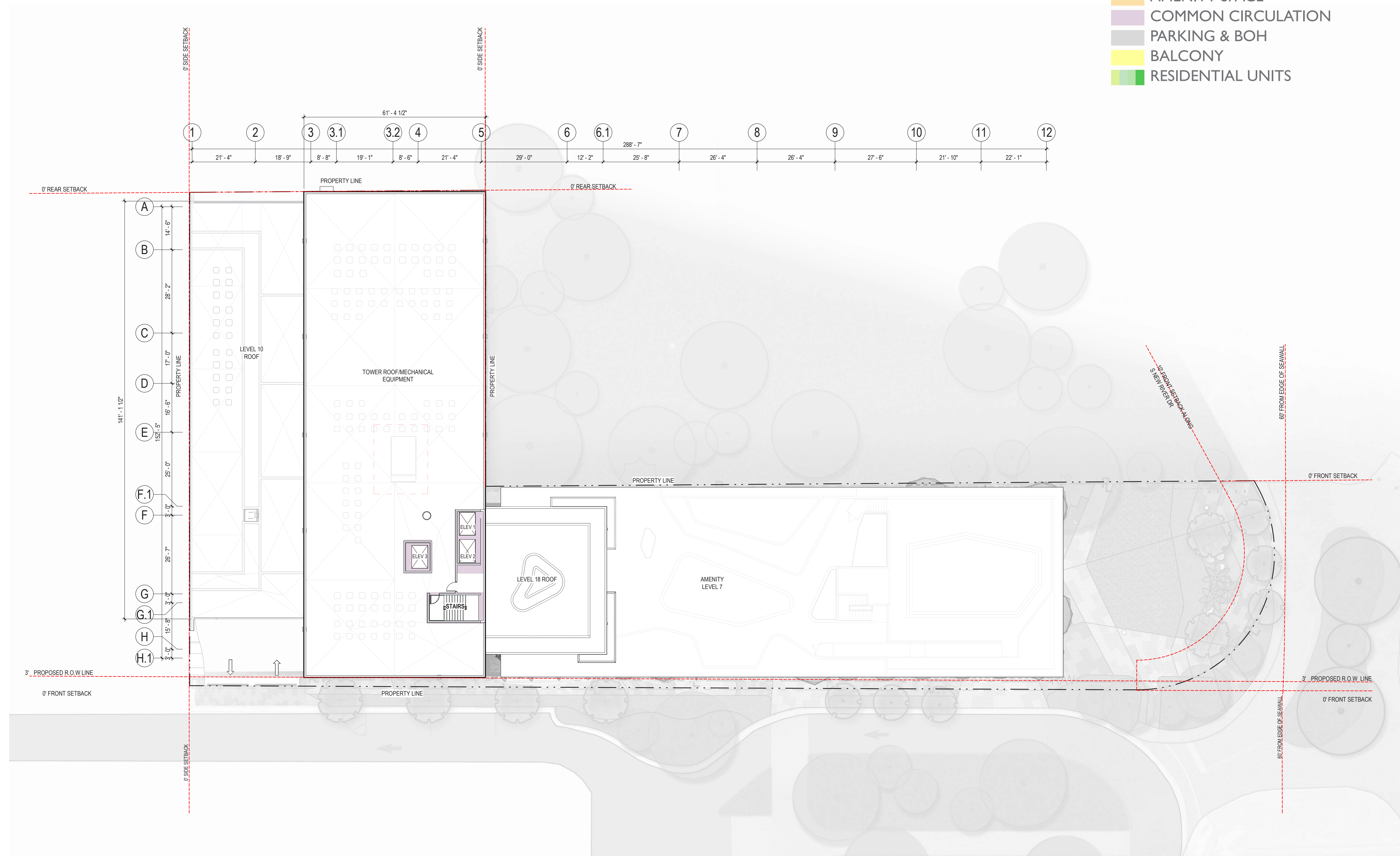
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PROJECT # 219420522 LEVELS 18-21 TYPICAL FLOOR PLAN
SCALE: 1/16" = 1'-0"

D-15

ROOF PLAN



- AMENITY SPACE
- COMMON CIRCULATION
- PARKING & BOH
- BALCONY
- RESIDENTIAL UNITS

ALEXAN - TARPON RIVER

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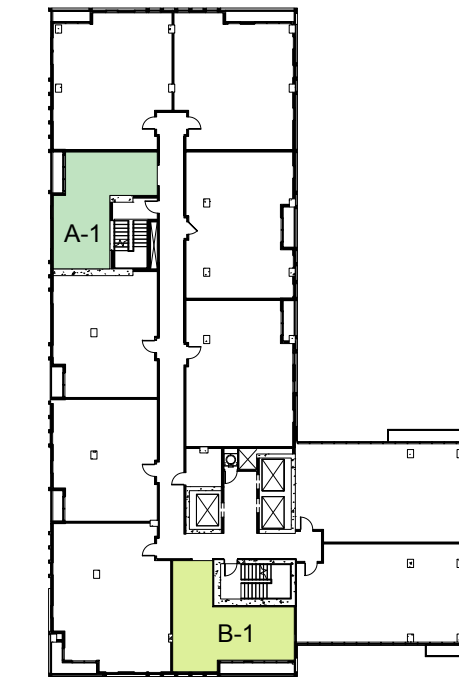
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PROJECT # 219420522 **ROOF PLAN**
SCALE: 1/16" = 1'-0"

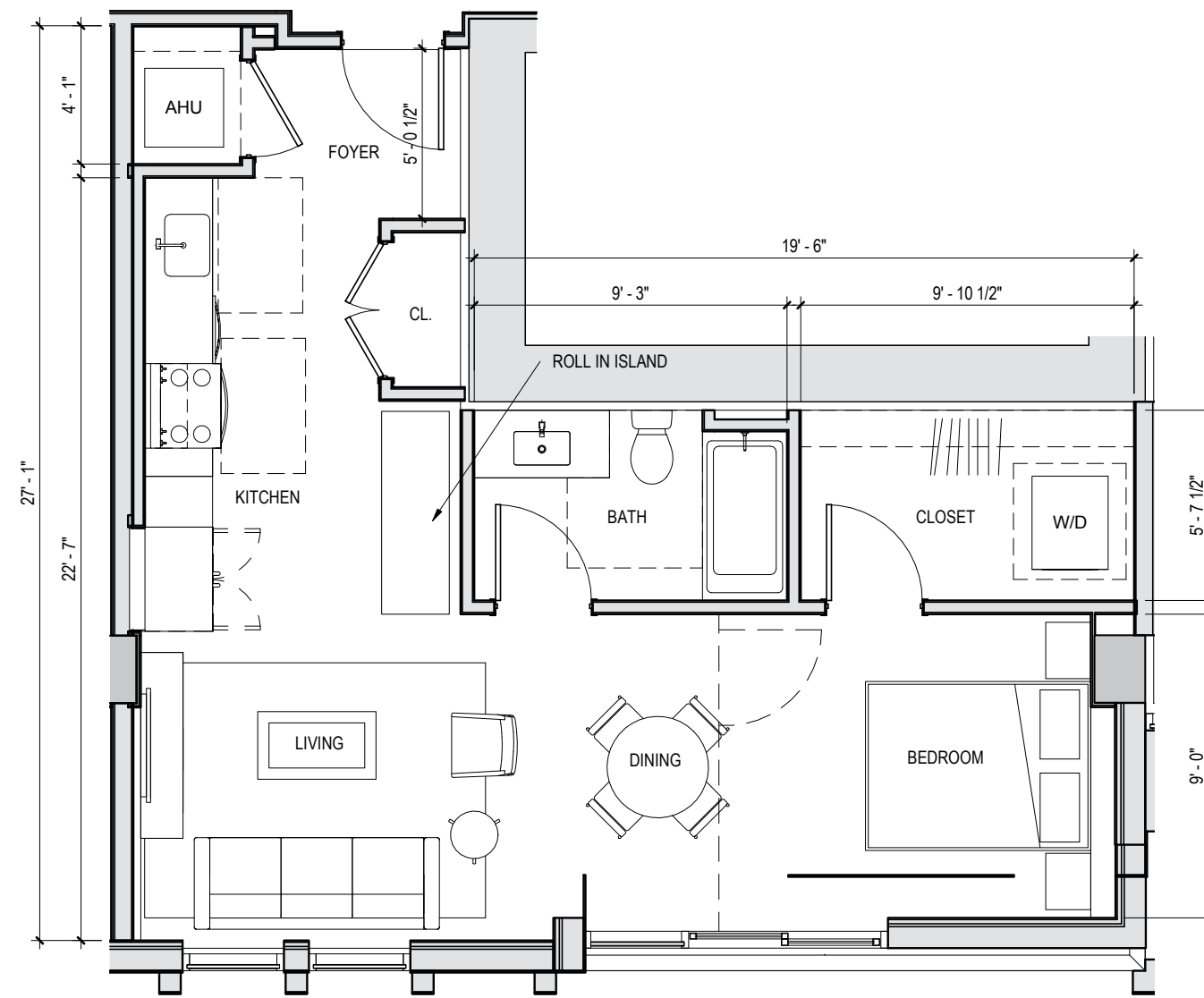
D-16

TYPICAL UNIT FLOOR PLAN

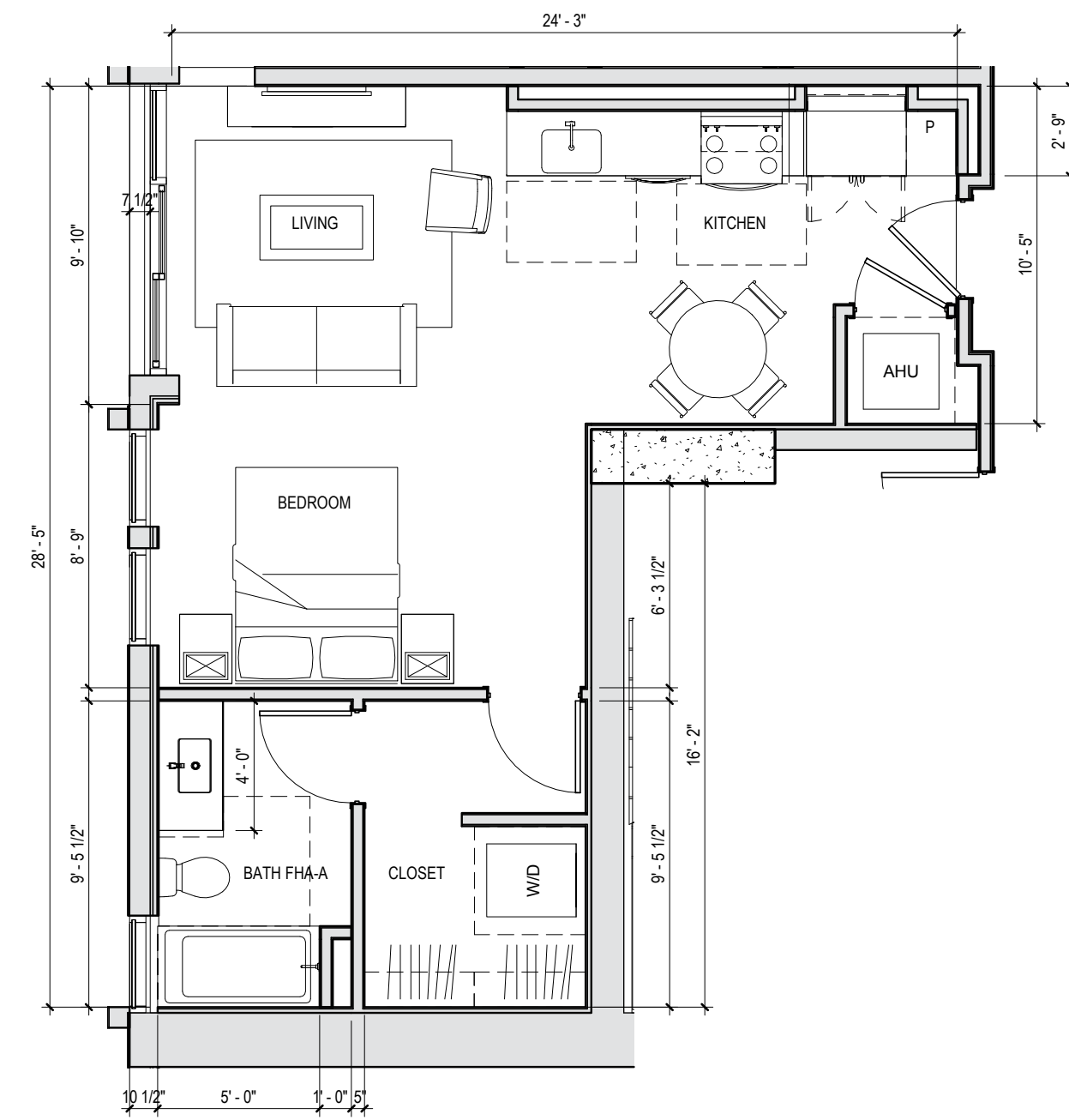


KEY PLAN (Level 10-16)
SCALE: NTS

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2 UNIT B1 STUDIO 594 SF
SCALE: 1/4" = 1'-0"



1 UNIT A1 (STUDIO) 547 SF
SCALE: 1/4" = 1'-0"

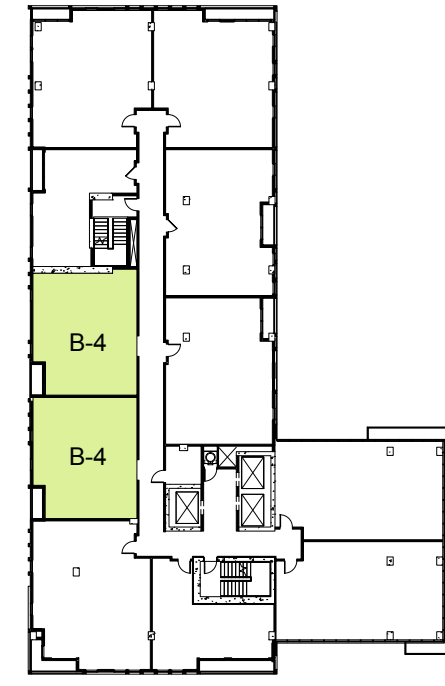
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D-17

TYPICAL UNIT FLOOR PLAN

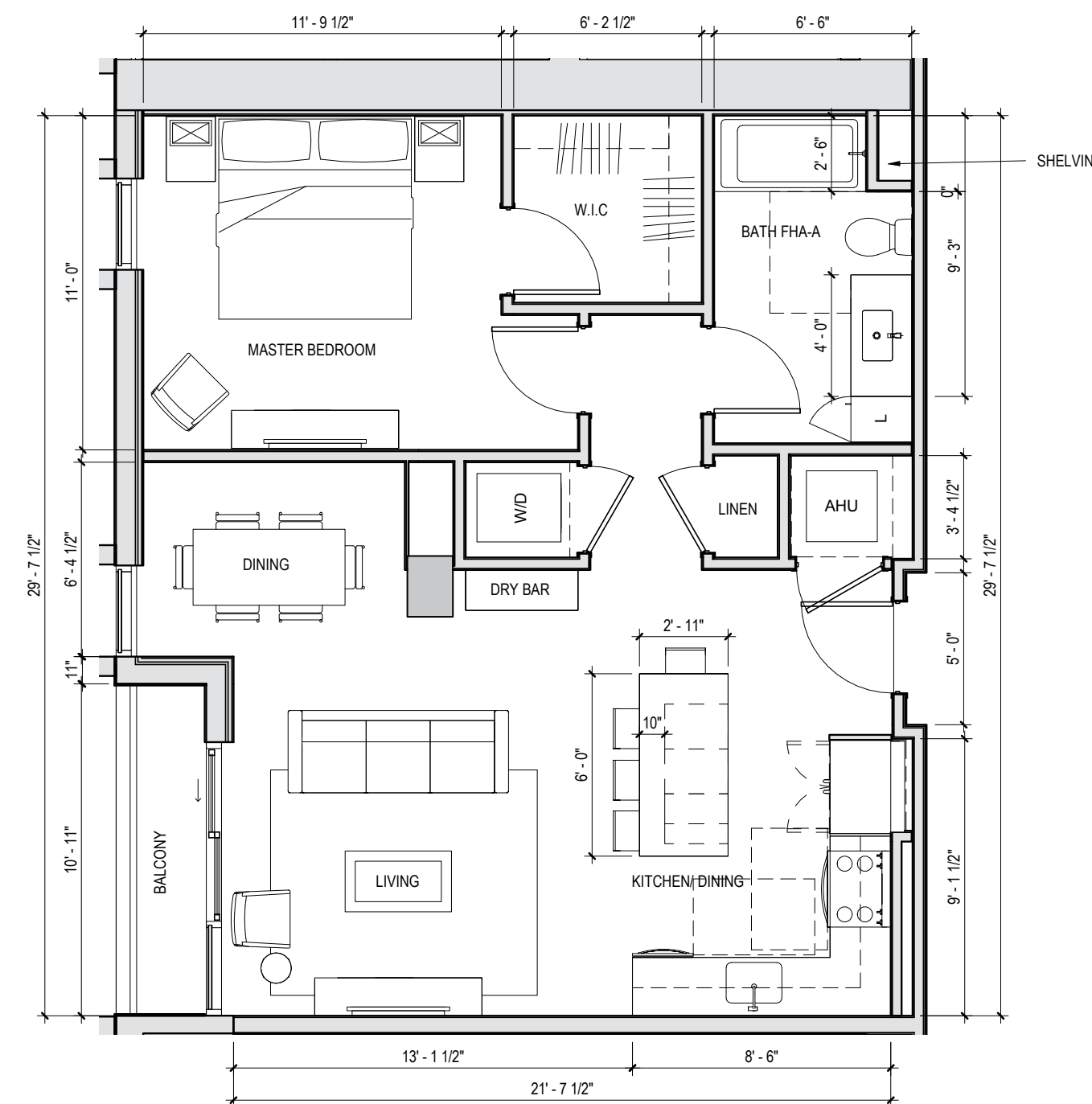


KEY PLAN (Level 10-16)
SCALE: NTS

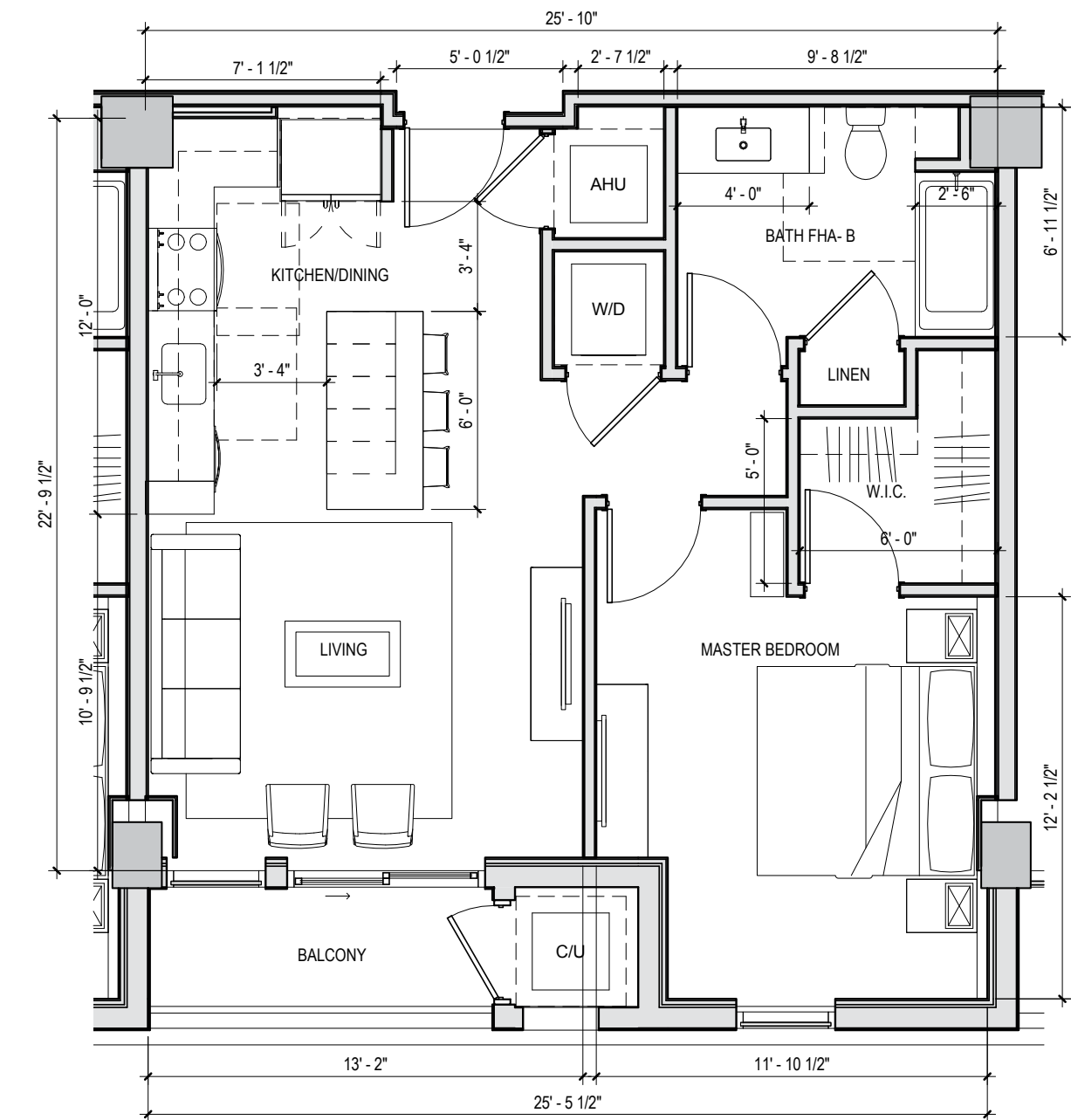


KEY PLAN (Level 4-5)
SCALE: NTS

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2 UNIT B4 (I/I) 762 SF
SCALE: 1/4" = 1'-0"



1 UNIT B3 (I/I) 688 SF
SCALE: 1/4" = 1'-0"

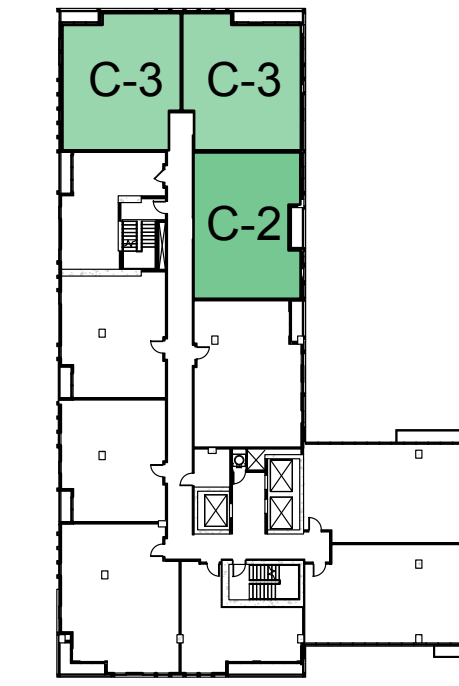
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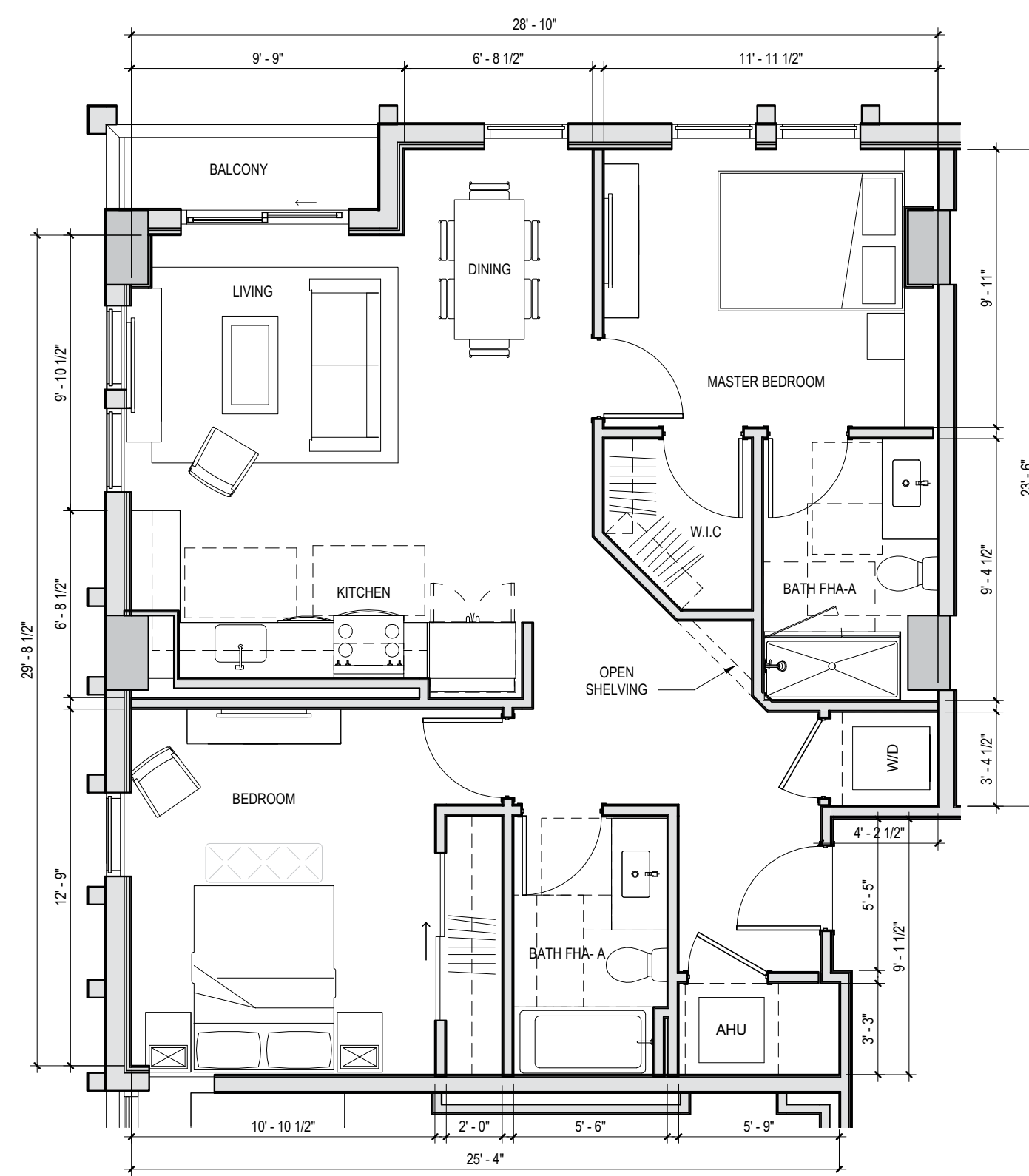
D-18

TYPICAL UNIT FLOOR PLAN

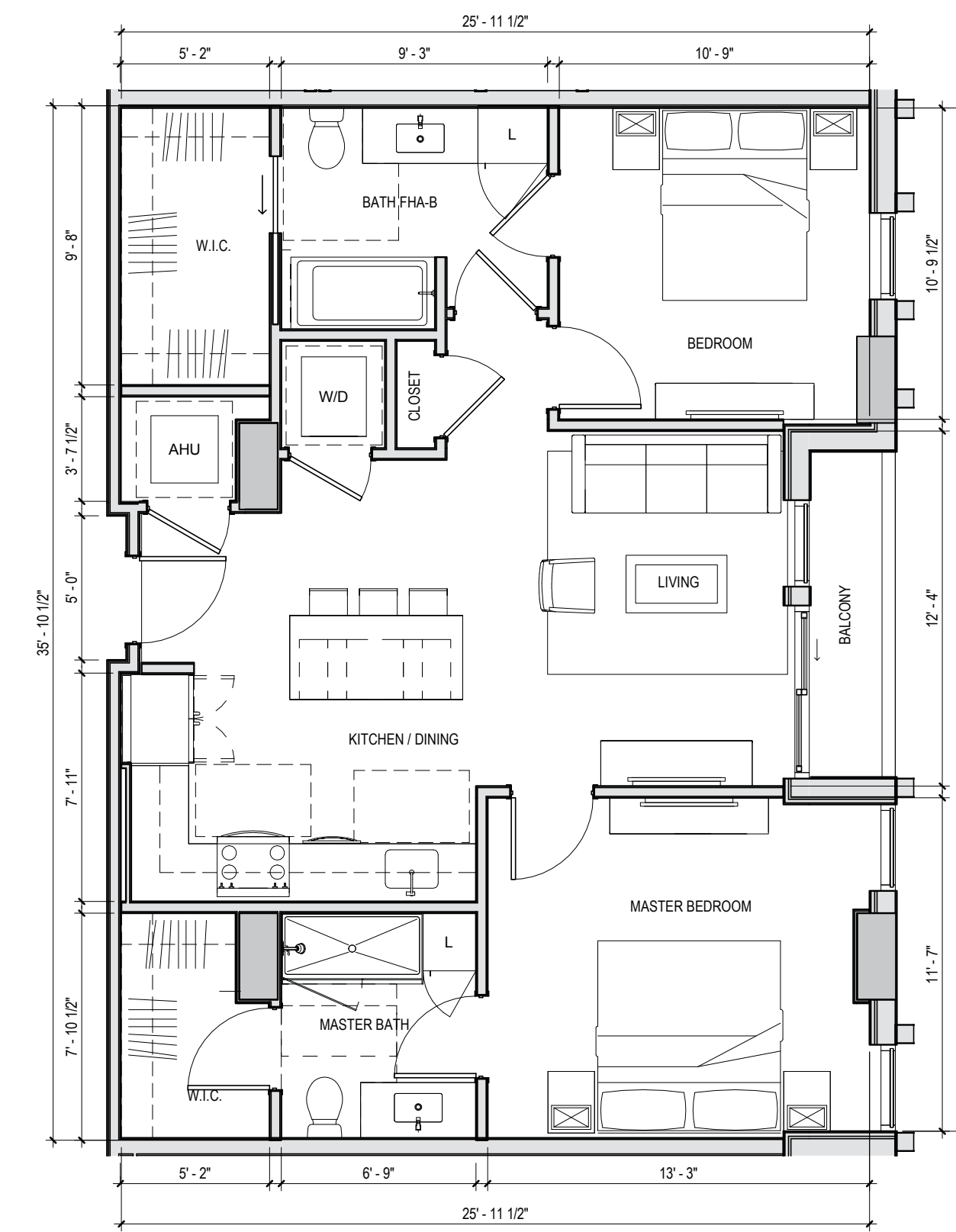


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KEY PLAN (Level 10-16)
SCALE: NTS



2 | UNIT C3 (2/2) 957 SF
SCALE: 1/4" = 1'-0"



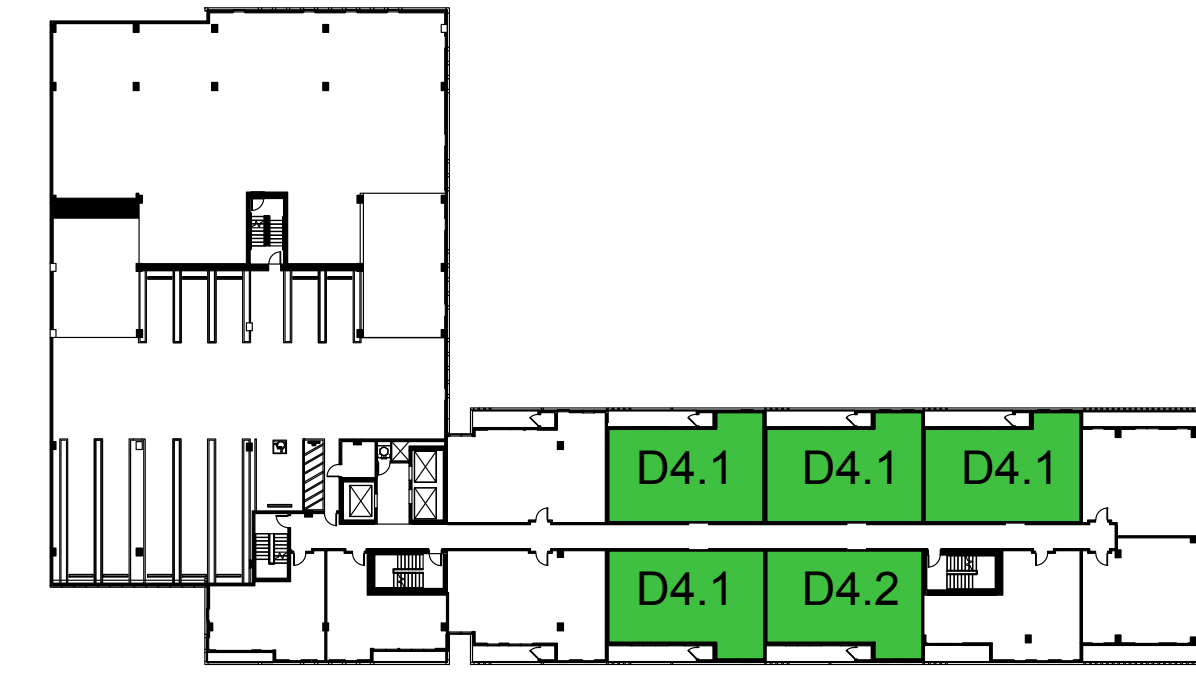
1 | UNIT C2 (2/2) 937 SF
SCALE: 1/4" = 1'-0"

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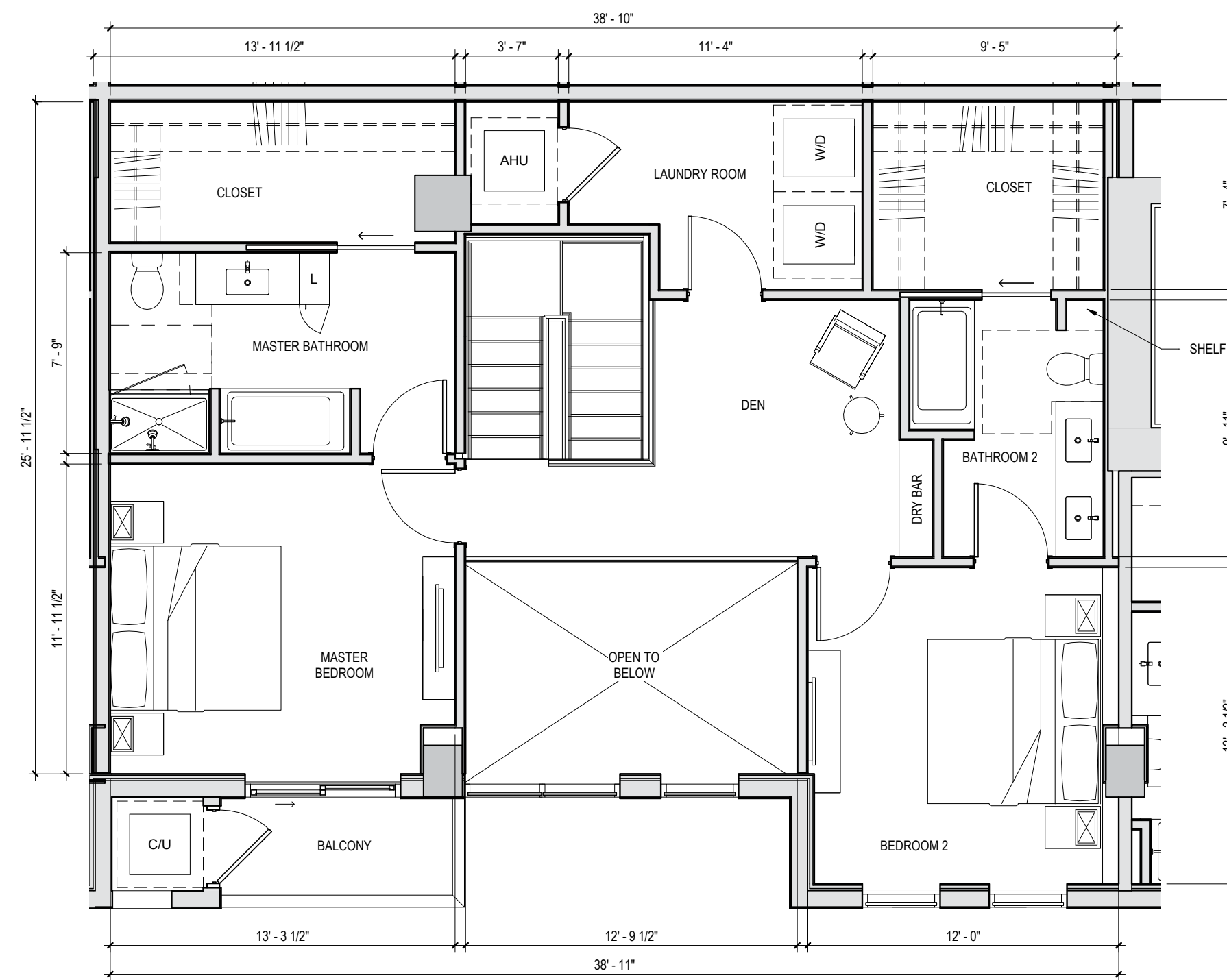
D-19

TYPICAL UNIT FLOOR PLAN

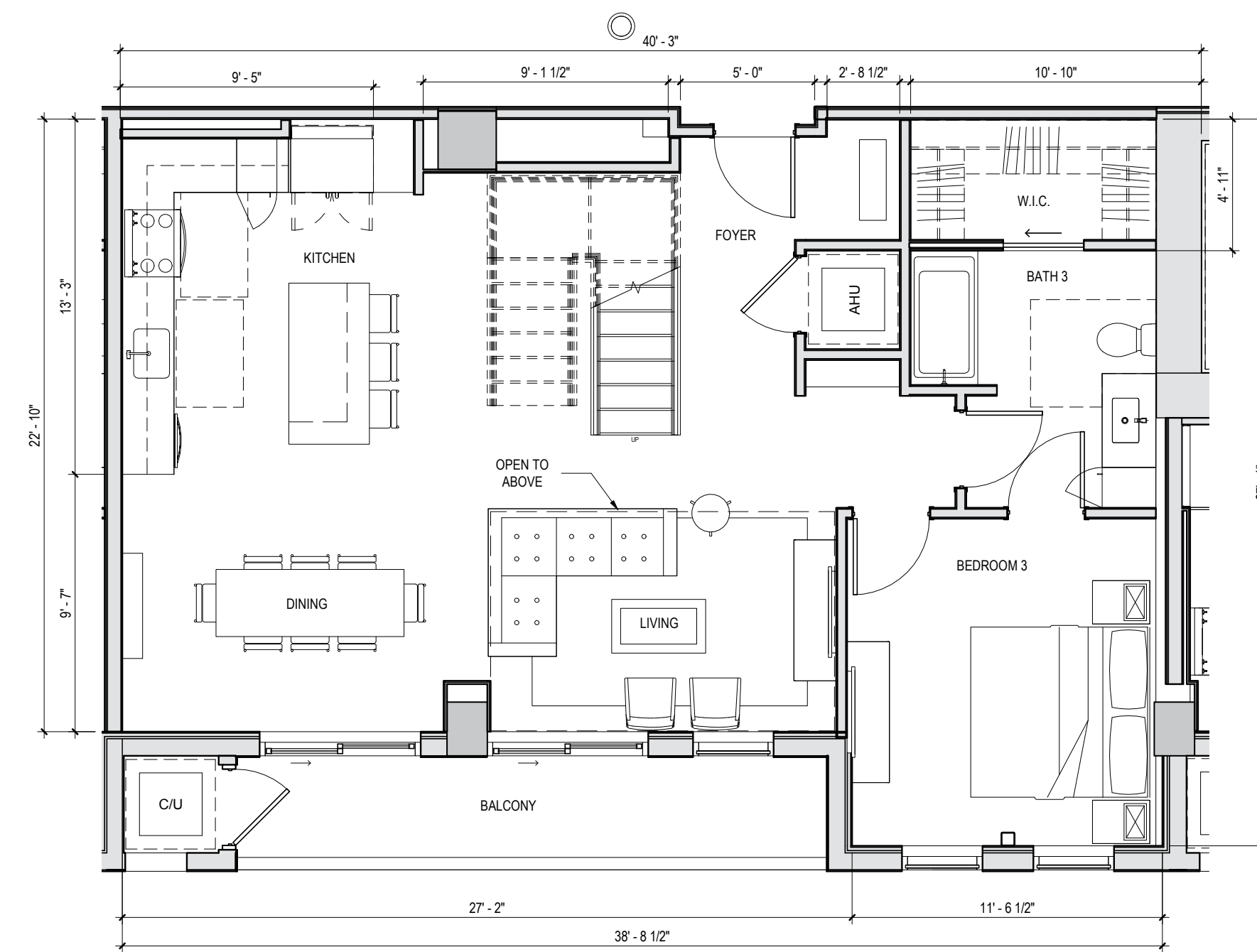


KEY PLAN (Level 2 - 3)
SCALE: NTS

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2 UNIT D4 UPPER LEVEL (3 + DEN / 3) 1,004 SF
SCALE: 1/4" = 1'-0"



1 UNIT D4 LOWER LEVEL (3 + DEN / 3) 968 SF
SCALE: 1/4" = 1'-0"

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D-20