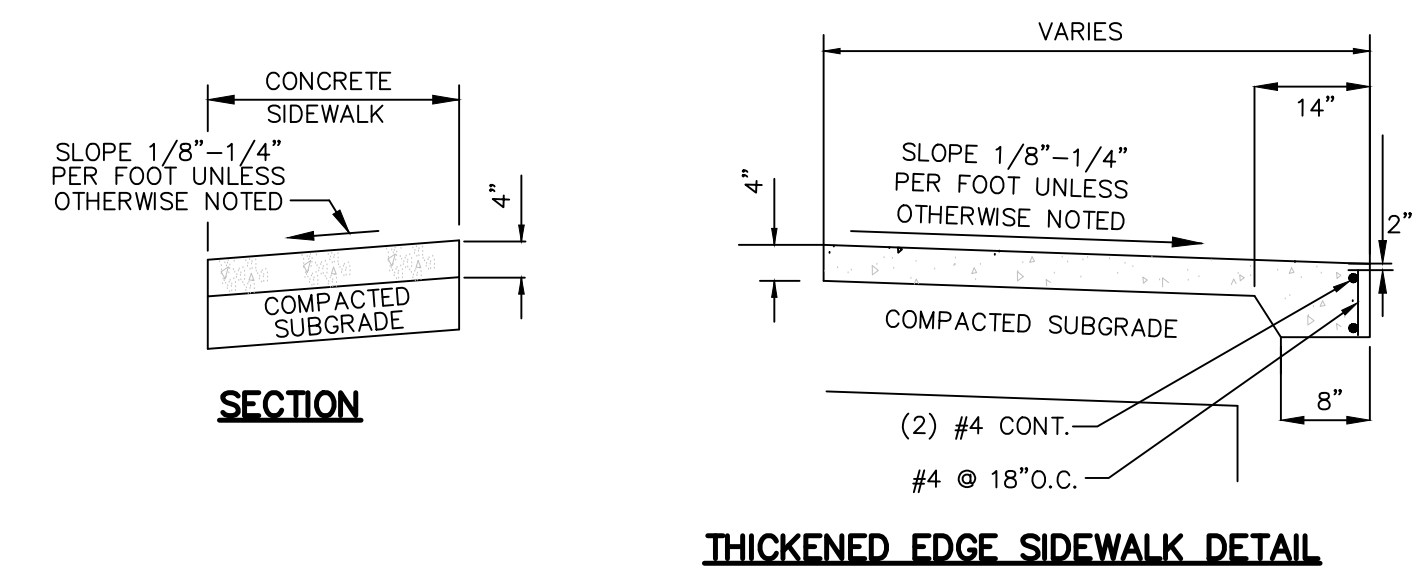


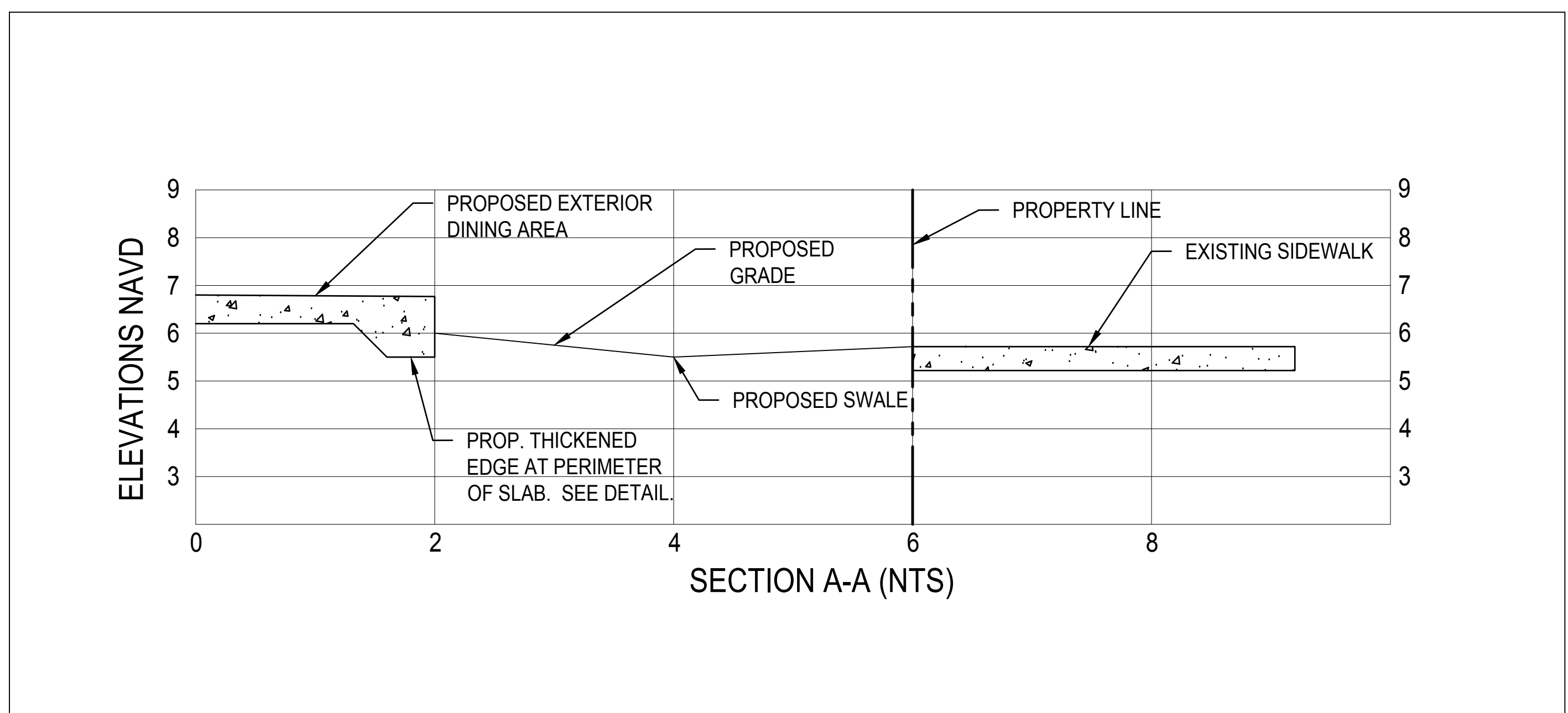
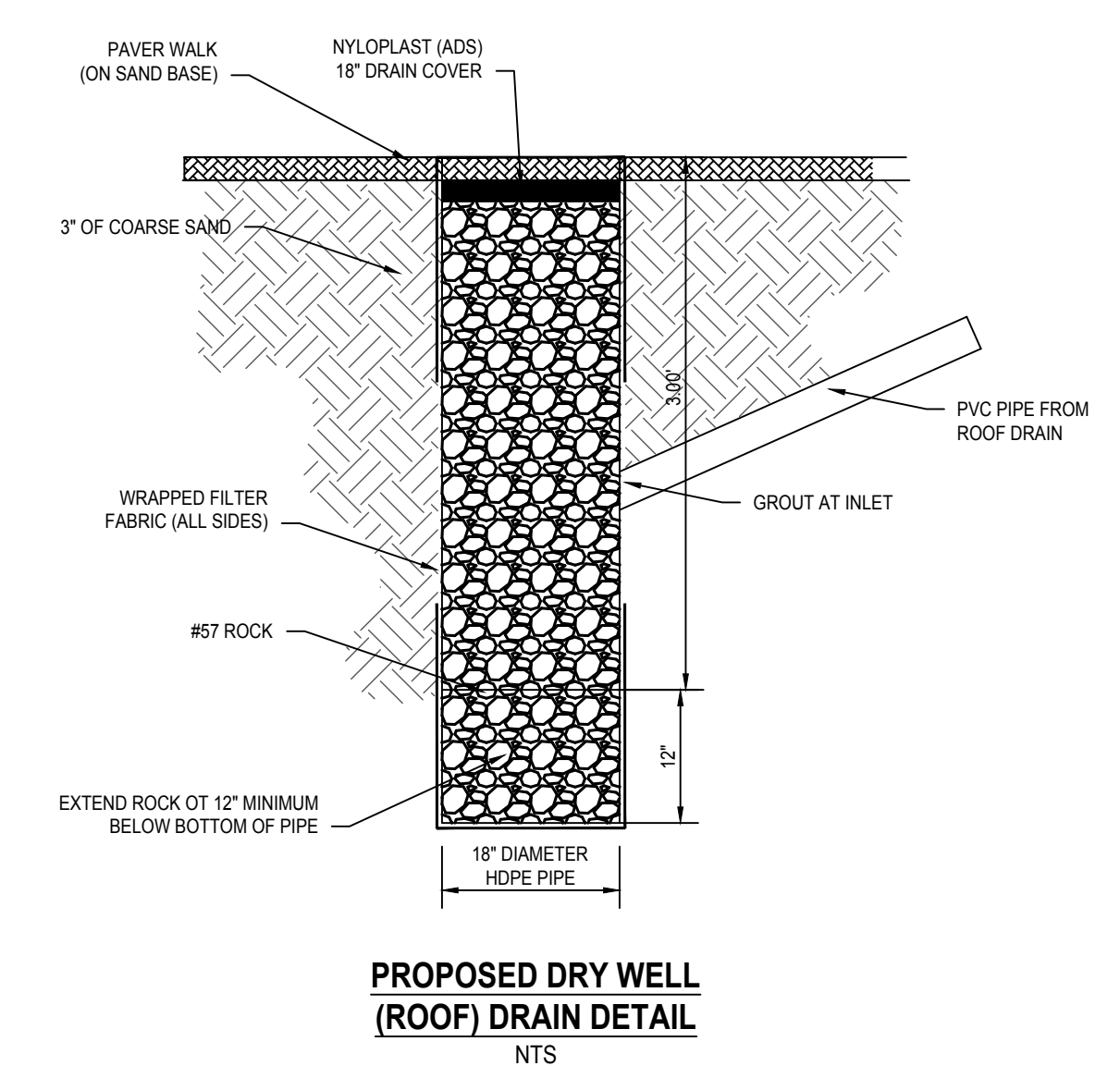
DRAINAGE LEGEND	
	PROP. FDOT TYPE C BASIN CURB INLET
	PROP. FDOT TYPE C BASIN INLET
	PROP. 48" ROUND BASIN INLET
	PROP. 48" ROUND BASIN MANHOLE
	PROP. 48" ROUND BASIN CURB INLET
	PROP. DRAINAGE WELL
	PROP. YARD DRAIN
	PROP. DRAINAGE PIPE
	PROP. EXFILTRATION TRENCH
ABBREVIATIONS	
	I.E. INVERT ELEVATION
	R.E. RIM ELEVATION
	G.E. GRATE ELEVATION
	M.H. MANHOLE
	C.B. CATCH BASIN
	D.W. DRAINAGE WELL
	PROP. PROPOSED
	EXIST. EXISTING

- GENERAL GRADING AND DRAINAGE NOTES:**
- CONTRACTOR TO RESTORE ALL EXISTING PAVEMENT, PAVEMENT MARKINGS, SIDEWALK, LANDSCAPING, IRRIGATION, ETC. DAMAGED DURING CONSTRUCTION INCLUDING AND DAMAGE TO EXISTING ROADWAY IN PUBLIC R.O.W.
 - EXISTING GRADES SHOWN ϕ X.XX ARE FOR REFERENCE ONLY. FINISHED GRADES INDICATED BY ϕ X.XX GOVERN.
 - ALL ELEVATIONS SHOWN HEREON REFER TO NAVD 1988 UNLESS NOTED OTHERWISE.
 - CROSSWALKS AND HC RAMPS TO CONFORM TO ADA W/ DETECTABLE WARNING SURFACE.
 - ALL ROOF DRAINS TO BE CONNECTED TO THE NEAREST STORM DRAINAGE STRUCTURE.



- SIDEWALK SHALL BE 4" THICK.
- SUBGRADE BELOW SIDEWALK SHALL BE COMPACTED TO 98% OF MAX. DENSITY PER A.A.S.H.T.O. T-150.
- CONCRETE STRENGTH SHALL BE MIN. 3000 PSI @ 28 DAYS.
- SIDEWALK SLOPES SHALL MEET THE REQUIREMENTS OF THE "AMERICAN WITH DISABILITY ACT., LATEST REVISION.

CONCRETE DETAILS
SCALE: NONE



0 5 10 20 30
GRAPHIC SCALE IN FEET

811
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REVISIONS	DATE	#

SEAL:

GRADING AND DRAINAGE EXHIBIT

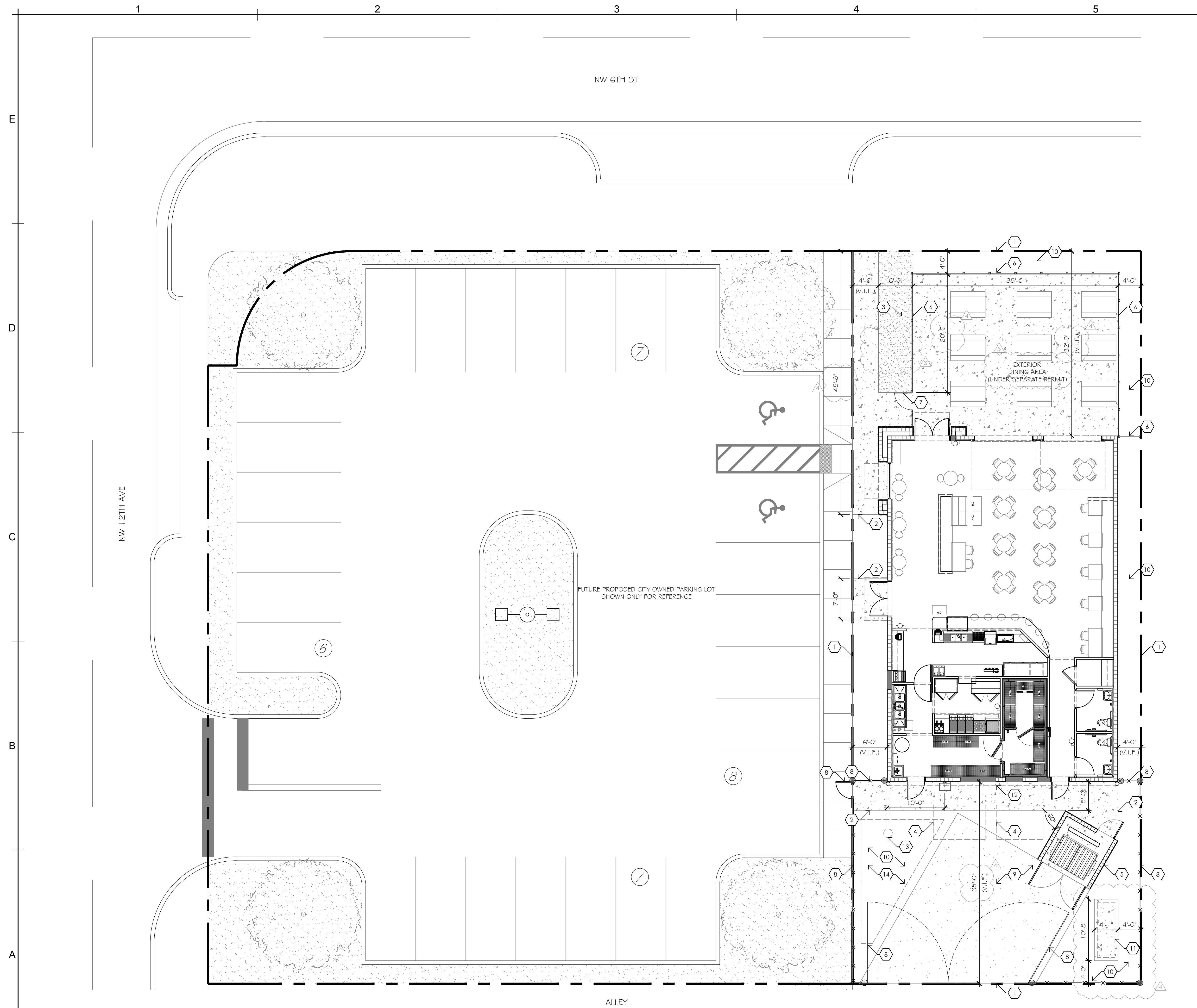
SMITTY'S WINGS
1134 NW 6th Street
Fort Lauderdale, FL 33311

Botek Thurlow Engineering, Inc.
3400 NW 9th Avenue, Suite 1102, Ft. Lauderdale, FL 33309
www.botekthurlow-eng.com P: 954-508-0888 F: 954-508-0777
FL Certificate of Authorization # 20787

BTE PROJECT #
19-0607

PROJECT DATE:
07-12-19

SHEET #
EX-1



LEGAL DESCRIPTION:
TUSKEGEE PARK 3-9 B LOT & LESS RD RW BLK 3

A. USE OF PROPERTY	
EXISTING	ASSEMBLY - DINNING / BANQUET HALL
PROPOSED	RESTAURANT
B. LAND USE DESIGNATION	
NW REGIONAL ACTIVITY CENTER	
C. ZONING DESIGNATION	
NWRAC-MUw, NORTHWEST REGIONAL ACTIVITY CENTER - MIXED USE WEST	
D. WATER / WASTE WATER SERVICE PROVIDER	
CITY OF FORT LAUDERDALE	
E. SITE AREA	
6,372 S.F. (APPROX. 0.15 ACRES)	
F. BUILDING FOOTPRINT COVERAGE	
2,400 S.F.	
G. GROSS FLOOR AREA	
EXISTING GROSS BLDG. AREA	2,400 S.F.
EXISTING GROSS BLDG. AREA TO BE DEMOLISHED	
PROPOSED GROSS FLOOR AREA INCLUDING BUILDING, COURT, AND DUMPSTER	
H. PARKING DATA (47-13.20)	
REQUIRED	PROVIDED
NWRAC-MU DISTRICTS: NONRESIDENTIAL USE	NONE - EXISTING DEVELOPMENT LESS THAN 2,500 S.F.
I. FLOOR AREA RATIO (FAR)	
2,400 S.F. / 6,500 S.F. = 0.38 (36.92%)	
J. BUILDING HEIGHT (47-13.31)	
MAX HEIGHT: 45'	PROVIDED: 18'
K. STRUCTURE LENGTH	
60'-0"	
L. NUMBER OF STORIES	
1 STORY	
M. SETBACKS (47-13.31)	
REQUIRED	PROVIDED
FRONT (NORTH)	0 FT PRIMARY STREET EXISTING 34'-0"
SIDE (EAST)	4'-0"
SIDE (WEST)	6'-0"
REAR (SOUTH)	EXISTING 36'-0"
N. OUTDOOR COURT DINNING AREA	
1,065 S.F. (16.38%)	
O. VEHICULAR USE AREA	
750 S.F. (11.54%)	
P. LANDSCAPE AREA	
1,607 S.F. (24.72%)	
Q. PROPOSED SIDEWALK	
678 S.F. (10.43%)	

NOTE: NO DEVELOPMENT REVIEW COMMITTEE (DRC) REQUIRED SINCE NONE OF THE FOLLOWING CONDITIONS ARE MET:

- NEW NONRESIDENTIAL GREATER THAN 5,000 SF
- RESIDENTIAL 5 UNITS OR MORE
- NONRESIDENTIAL USE WITHIN 100' OF RESIDENTIAL PROPERTY
- REDEVELOPMENT PROPOSALS (IF THRESHOLD MET)
- CHANGE IN USE (IF GREATER IMPACT)

B6 SITE PLAN DATA

- PROPERTY LINE
- PROPOSED CONCRETE WALKWAY
- PROPOSED PERMEABLE LOOSE ROCK GROUND COVER (UNDER SEPARATE PERMIT)
- PROPOSED UNDERGROUND GREASE TRAP LOCATION, REFER TO PLUMBING
- PROPOSED DUMPSTER ENCLOSURE, SEE DETAIL A5/A5-501
- PROPOSED STEEL PICKET W/ WOOD SLATS FENCE, SEE DETAIL C5/A5-501 (UNDER SEPARATE PERMIT)
- PROPOSED STEEL PICKET W/ WOOD SLATS 3'-0" FENCE SWING GATE, SEE DETAIL C5/A5-501 (UNDER SEPARATE PERMIT)
- PROPOSED CHAIN-LINK FENCE & GATE, SEE DETAILS A3 & C3/A3-501 (UNDER SEPARATE PERMIT)
- EXISTING DRIVE TO REMAIN
- EXISTING LANDSCAPE AREA TO REMAIN
- NEW EMERGENCY GENERATOR, REFER TO ELECTRICAL AND STRUCTURAL DWGS
- 8" PVC ROOF DRAIN W/ CLEANOUT, REFER TO CIVIL
- DEEP DRYWELL, REFER TO CIVIL
- PROPOSED RETENTION AREA, REFER TO CIVIL

NOTE: - ALL EXTERIOR FUTURE FURNITURE BY OWNER (UNDER SEPARATE PERMIT)
- ALL EXISTING TREES ON SITE TO REMAIN

A6 KEYNOTES

SMITTY'S WINGS

BUILDING IMPROVEMENTS FOR:

1915 southeast 4th avenue Fort Lauderdale, FL 33316 phone: (954) 961-7675 fax: (954) 961-7685 mail: @garchitecture.com

Fort Lauderdale, Florida
barranco gonzalez • architecture • planning • interior design
ib # 26001020 aa # 26001030

DESIGNED	DRAWN	CHECKED
JPB	EJB	JPB
DATE:	COMM:	
07.06.18	170214	

REVISIONS

01.10.19	BLDG. DEPT. COMMENTS
03.06.19	BLDG. DEPT. COMMENTS
06.20.19	CONSTRUCTION COORDINATION

SITE PLAN

DESIGN DEVELOPMENT

AS-101

A1 SITE PLAN

1/8" = 1'-0"

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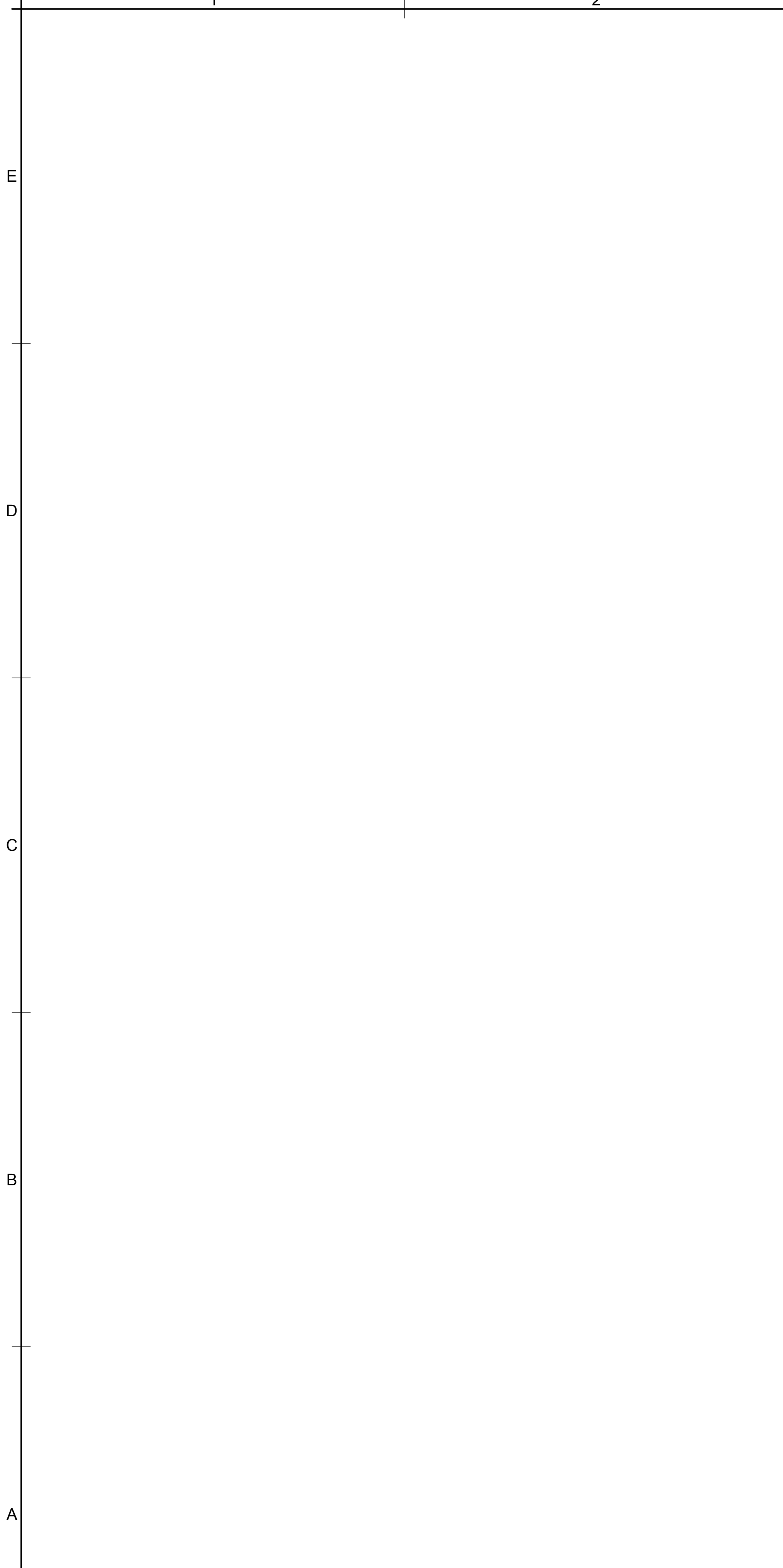
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(A1) NOT USED

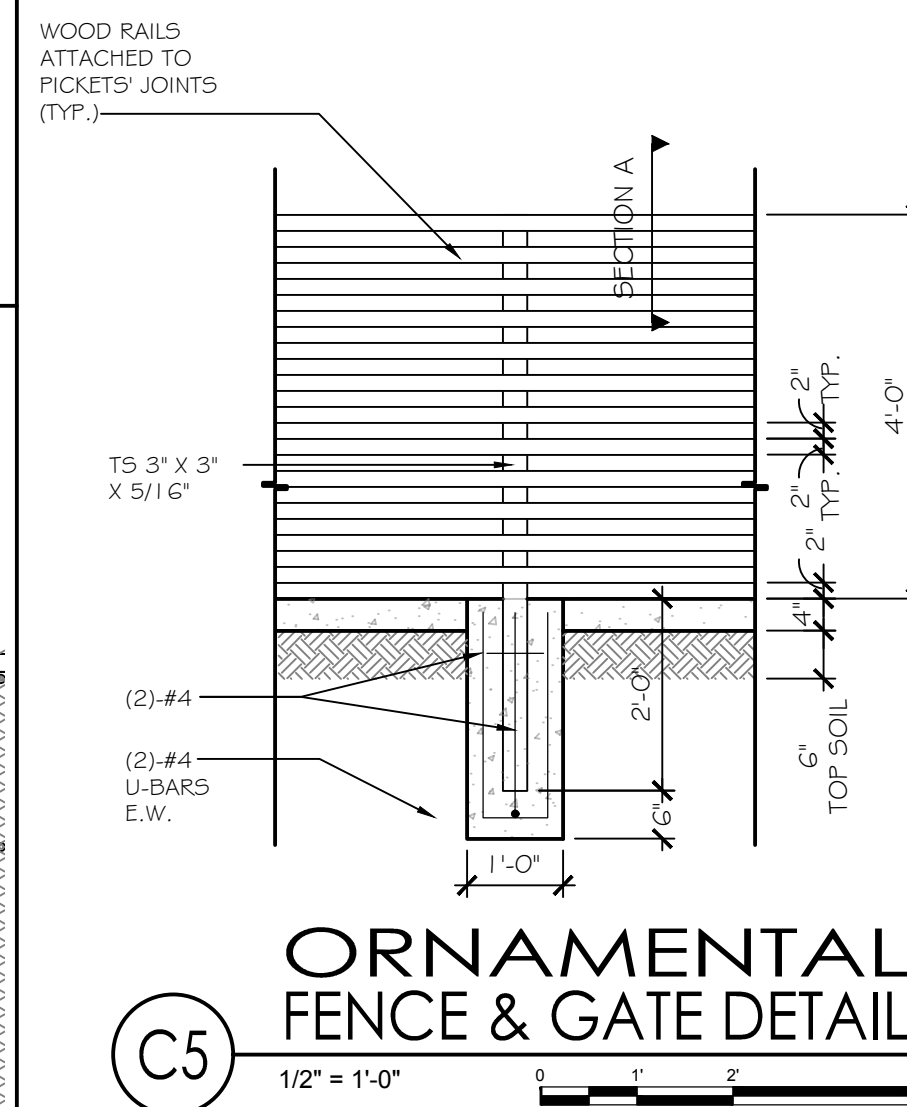
(A3) CHAIN-LINK FENCE DETAIL
1/2" = 1'-0"

(C3) CHAIN-LINK FENCE GATE DETAIL
1/2" = 1'-0"

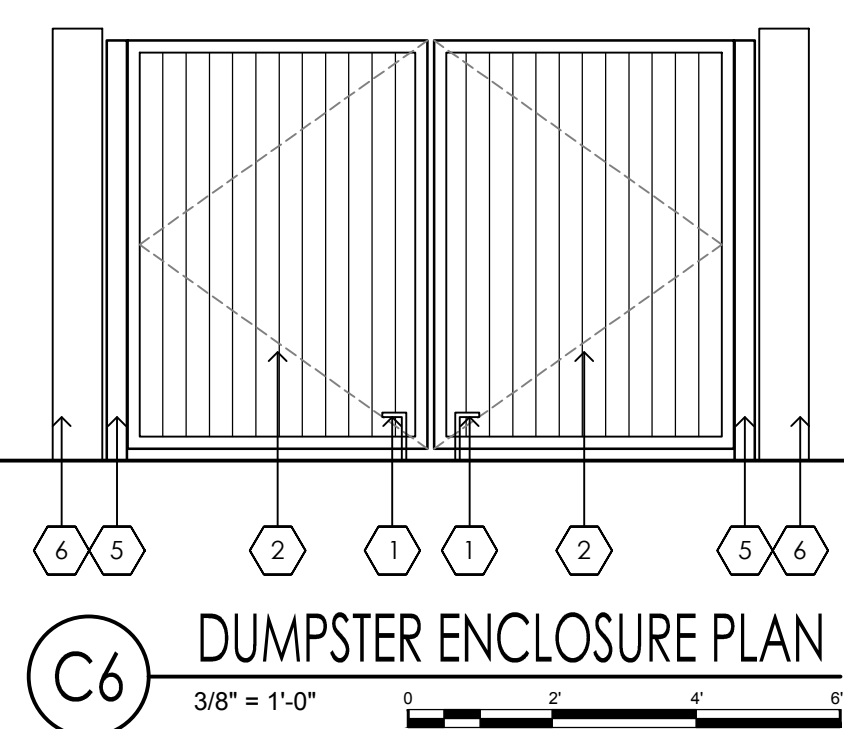
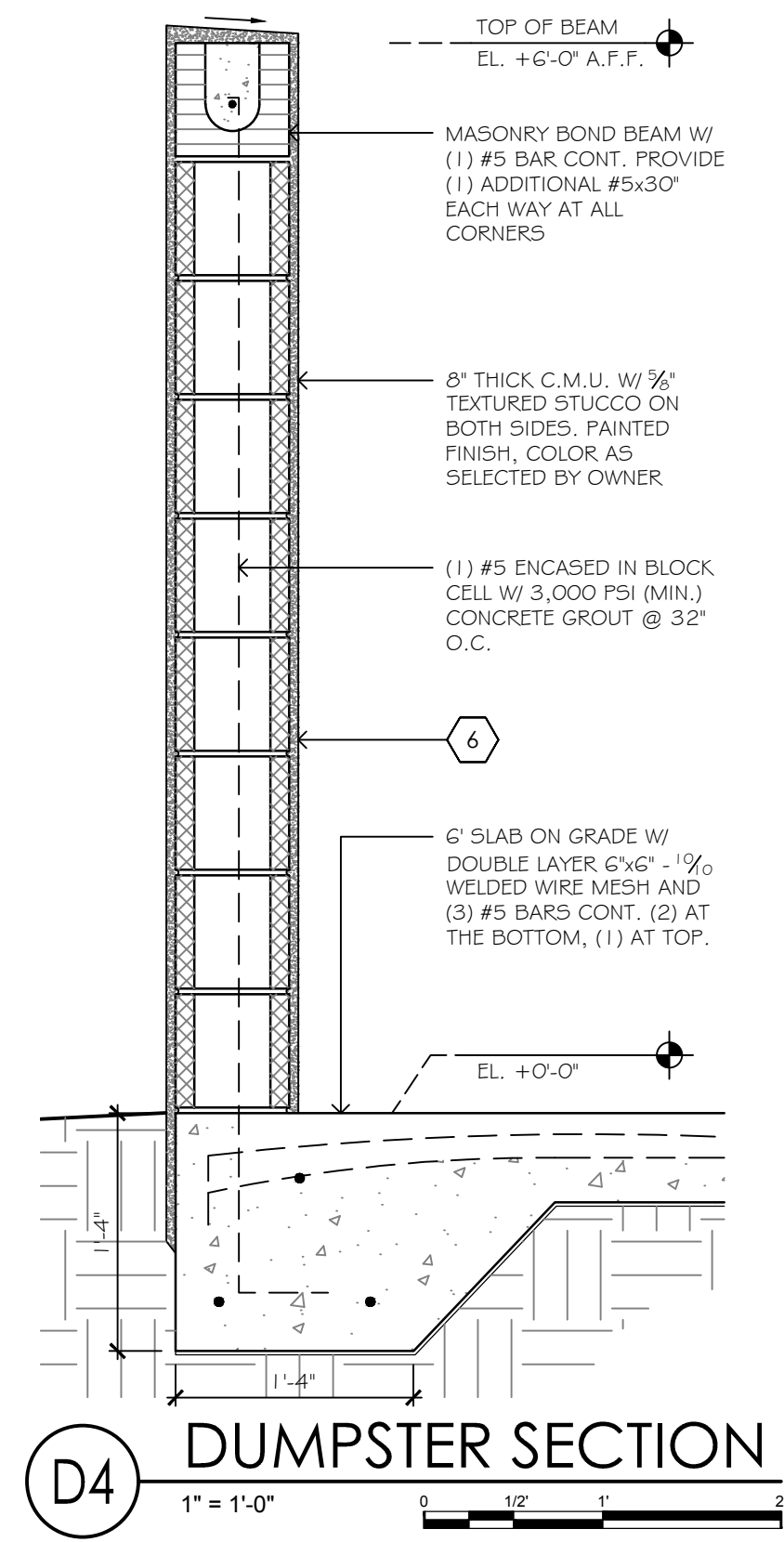
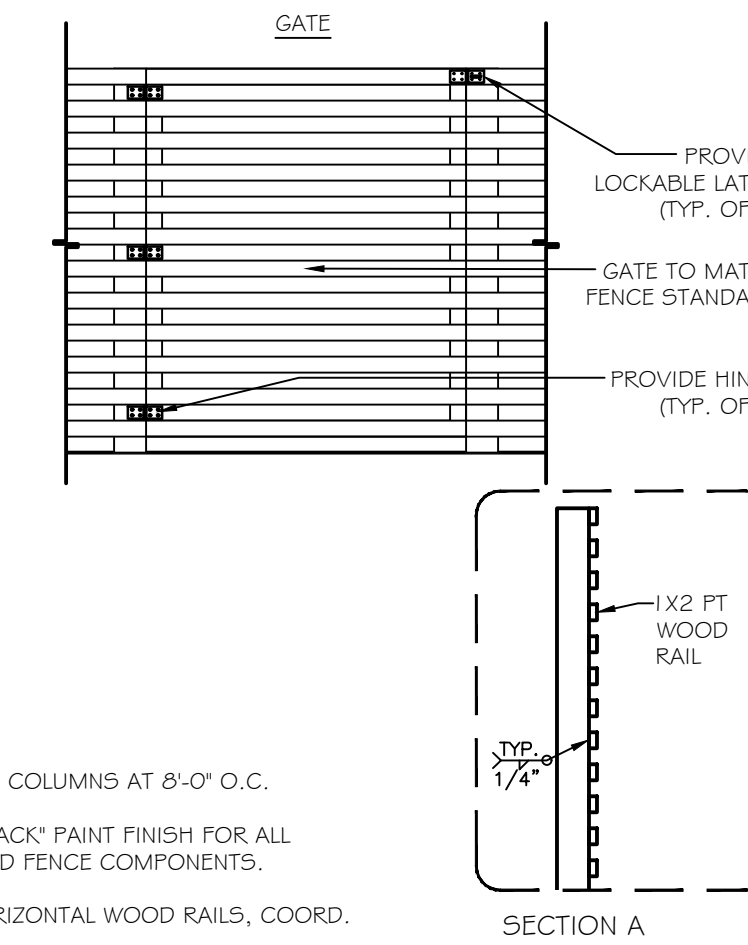
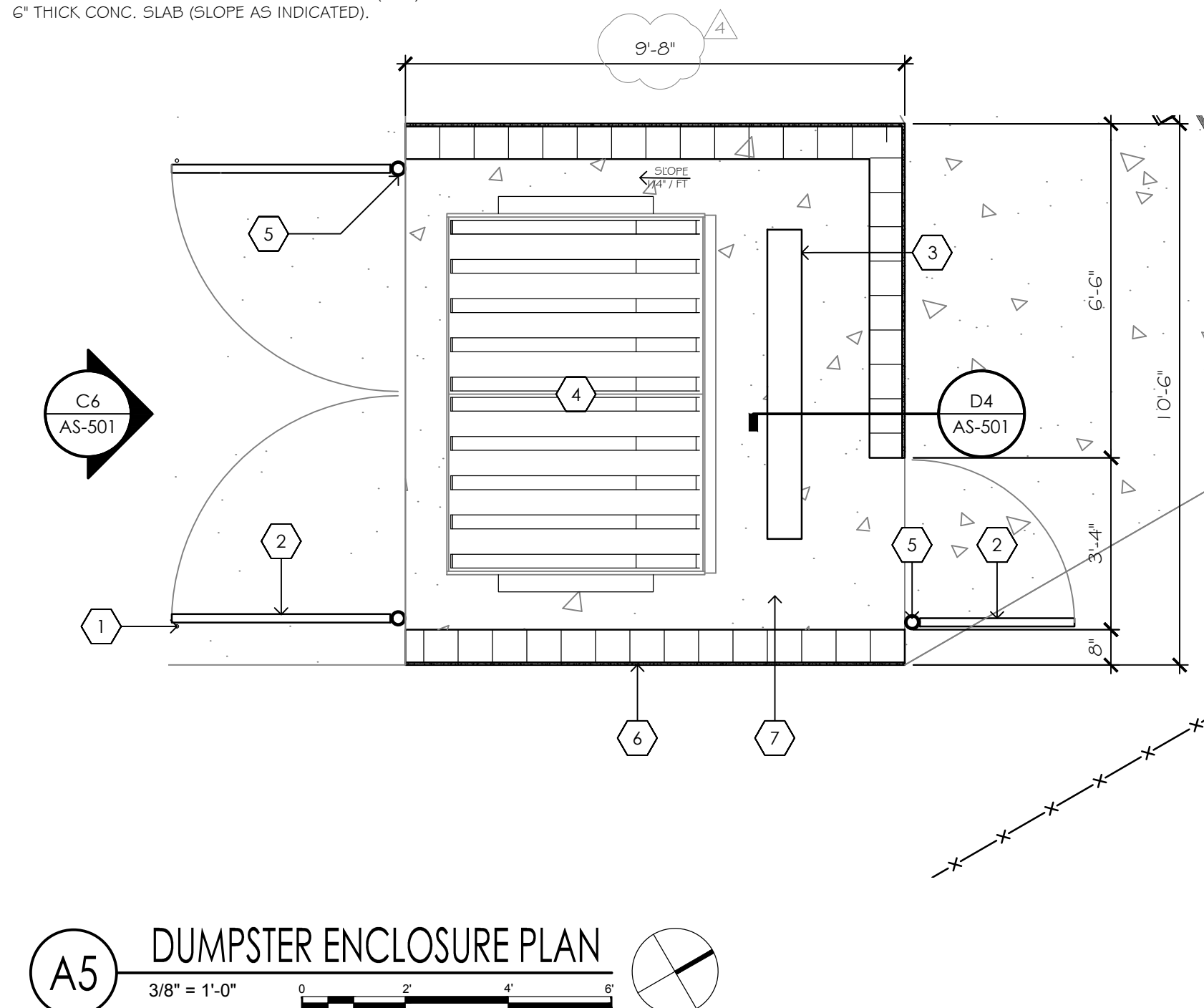
(D3) NOT USED



- NOTES:
1. METAL FENCE COLUMNS AT 8'-0" O.C.
 2. EPOXY "BLACK" PAINT FINISH FOR ALL NON-WOOD FENCE COMPONENTS.
 3. STAIN HORIZONTAL WOOD RAILS, COORD. W/ OWNER.
 4. PROVIDE 3'-0" WIDE GATES. GATE HEIGHT TO MATCH FENCE.
 5. PROVIDE & INSTALL NEW HARDWARE ON ALL GATES. COORD. WITH OWNER.
 6. G.C. TO SUBMIT SHOP DRAWING FOR ARCHITECT'S REVIEW AND APPROVAL



1. PROVIDE 3/2"X1/2" DEEP GALV. STEEL PIPE EMBEDDED IN ASPHALT ANCHOR PLACED TO ACCEPT CANE BOLTS & HOLD GATES IN OPEN POSITION DURING SERVICING TYP. AT BOTH SIDES
2. DOORS - GALV. CORRUGATED METAL PANELS WELDED TO GALV. STEEL TUBING FRAME. PAINTED TO MATCH BLDG. FIELD COLOR (TYP.)
3. WHEEL STOP
4. DUMPSTER
5. 4"x8" GATE POST (GALV.) SET IN CONC. 1'2"x30" DEEP (TYP.)
6. 6'-0" HIGH CMU WALL DUMPSTER ENCLOSURE (TYP.)
7. 6" THICK CONC. SLAB (SLOPE AS INDICATED).



- NOTES:
- OPENING MUST BE PERPENDICULAR TO LINE OF FLIGHT OF SERVICE VEHICLE
 - DOORS TO BE COMPLIANT W/ THE CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED) GUIDELINES.

BUILDING IMPROVEMENTS FOR:
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consultant

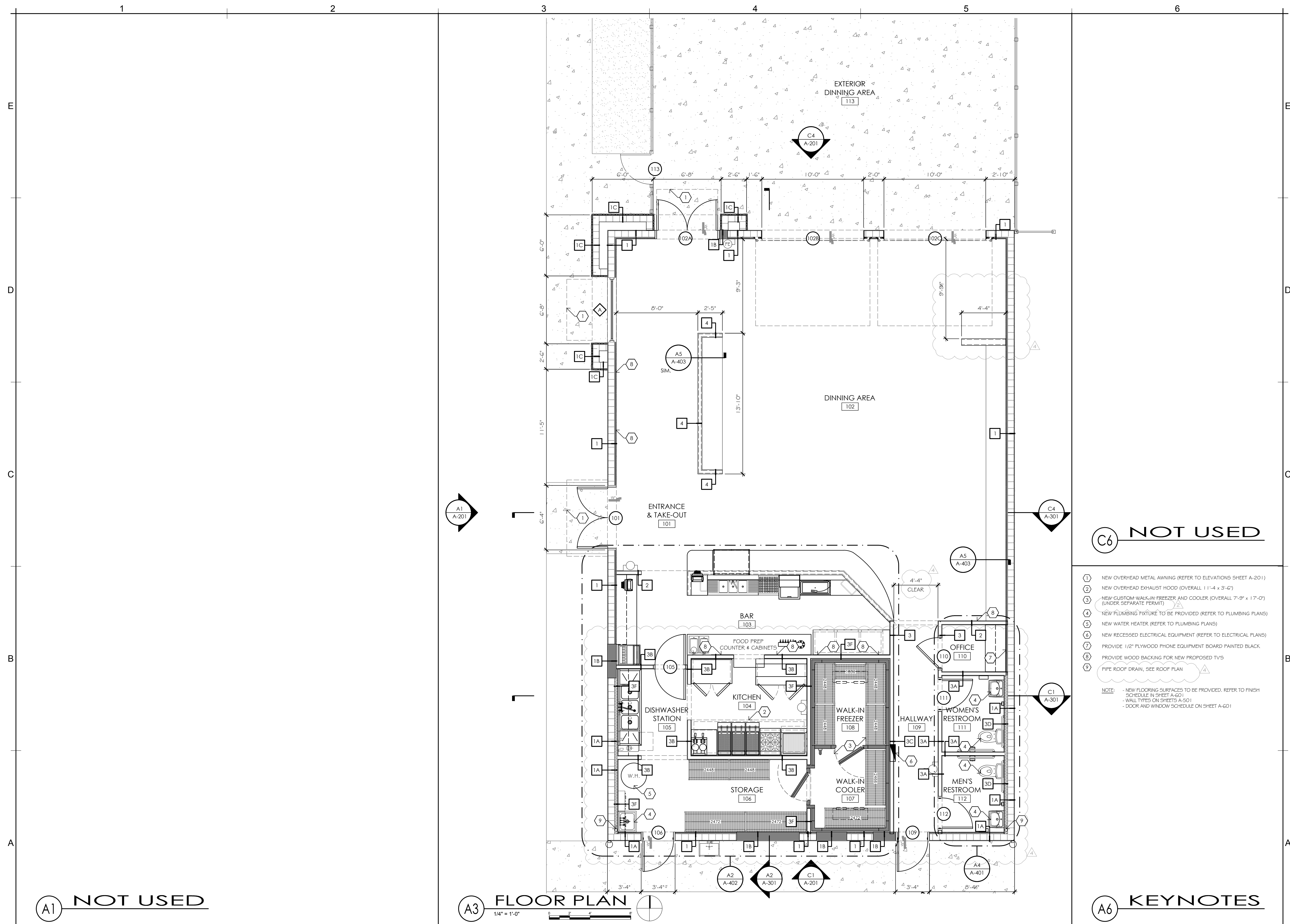
DESIGNED	DRAWN	CHECKED
JPB	EJB	JPB
DATE:	COMM:	
07.06.18	170214	

REVISIONS	
A	06.20.19 CONSTRUCTION COORDINATION

SITE DETAILS

DESIGN DEVELOPMENT

AS-501



C6 NOT USED

- 1 NEW OVERHEAD METAL AWNING (REFER TO ELEVATIONS SHEET A-201)
- 2 NEW OVERHEAD EXHAUST HOOD (OVERALL 11'-4" x 3'-6")
- 3 NEW CUSTOM WALK-IN FREEZER AND COOLER (OVERALL 7'-9" x 17'-0") (UNDER SEPARATE PERMIT)
- 4 NEW PLUMBING FIXTURE TO BE PROVIDED (REFER TO PLUMBING PLANS)
- 5 NEW WATER HEATER (REFER TO PLUMBING PLANS)
- 6 NEW RECESSED ELECTRICAL EQUIPMENT (REFER TO ELECTRICAL PLANS)
- 7 PROVIDE 1/2" PLYWOOD PHONE EQUIPMENT BOARD PAINTED BLACK
- 8 PROVIDE WOOD BACKING FOR NEW PROPOSED TV'S
- 9 PIPE ROOF DRAIN, SEE ROOF PLAN

NOTE: - NEW FLOORING SURFACES TO BE PROVIDED. REFER TO FINISH SCHEDULE IN SHEET A-601
 - WALL TYPES ON SHEETS A-501
 - DOOR AND WINDOW SCHEDULE ON SHEET A-601

A1 NOT USED

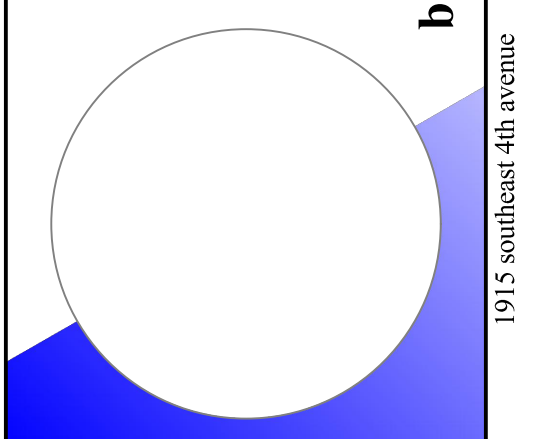
A3 FLOOR PLAN
 1/4" = 1'-0"

A6 KEYNOTES



BUILDING IMPROVEMENTS FOR:
SMITTY'S WINGS

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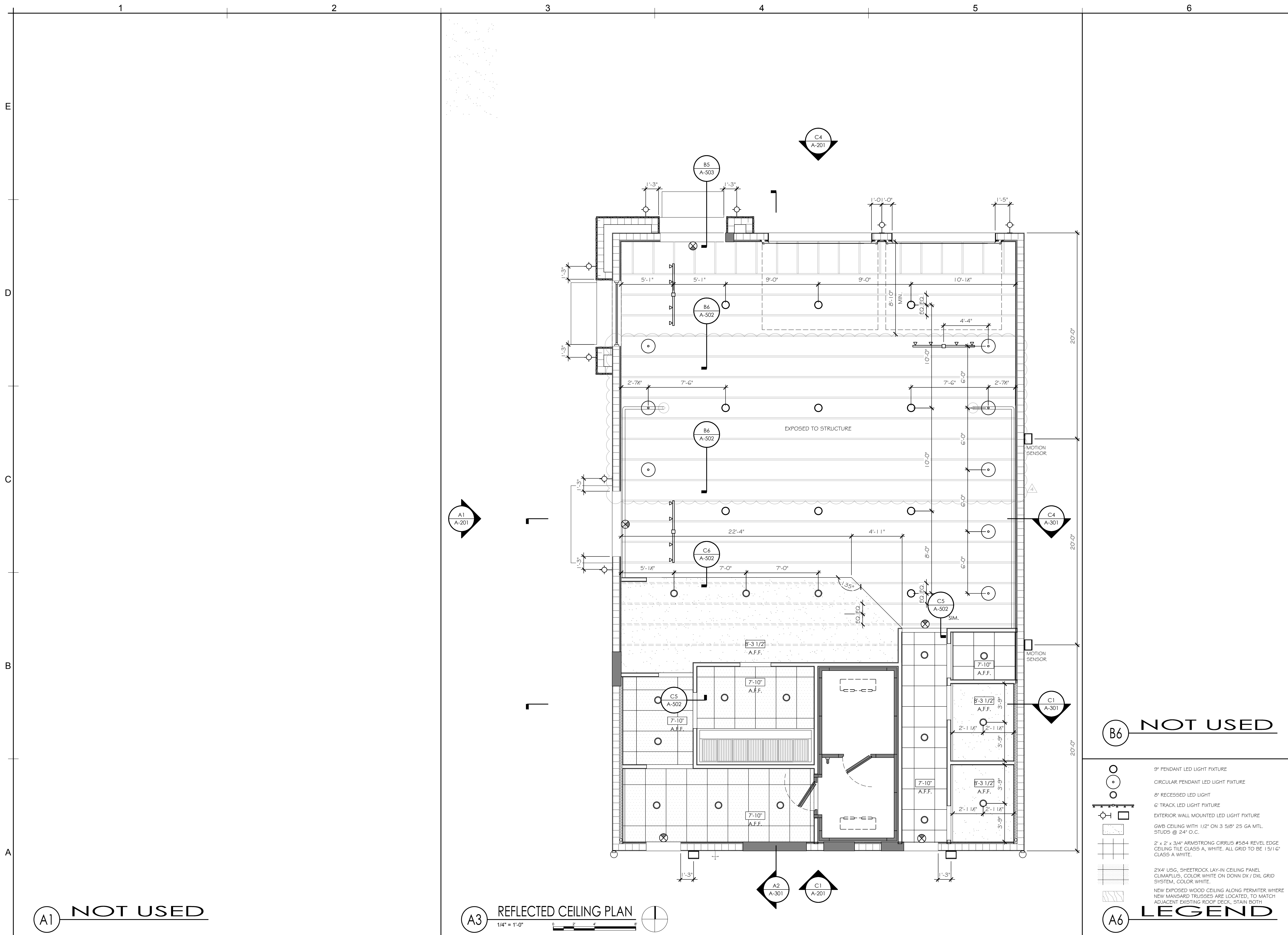
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DATE:	DATE:	DATE:
07.06.18	07.06.18	170214

REVISIONS	
01.10.19	BIDD. DEFT. COMMENTS
06.20.19	CONSTRUCTION COORDINATION

FLOOR PLAN

CONSTRUCTION DOCUMENTS

A-101



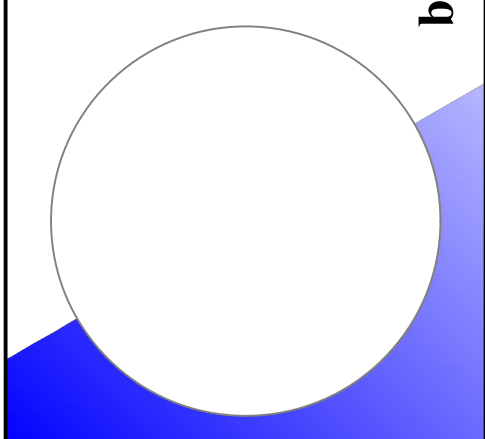
A1 NOT USED

A3 REFLECTED CEILING PLAN
1/4" = 1'-0"

B6 NOT USED

- A6 LEGEND
- 9" PENDANT LED LIGHT FIXTURE
 - CIRCULAR PENDANT LED LIGHT FIXTURE
 - 8" RECESSED LED LIGHT
 - 6" TRACK LED LIGHT FIXTURE
 - EXTERIOR WALL MOUNTED LED LIGHT FIXTURE
 - GWS CEILING WITH 1/2" ON 3 5/8" 25 GA MTL. STUDS @ 24" O.C.
 - 2' x 2' x 3/4" ARMSTRONG CIRRUS #584 REVEAL EDGE CEILING TILE CLASS A, WHITE. ALL GRID TO BE 15/16" CLASS A WHITE.
 - 2x4' USG SHEETROCK LAY-IN CEILING PANEL CLIMAPLUS, COLOR WHITE ON DONN DX / DXL GRID SYSTEM, COLOR WHITE.
 - NEW EXPOSED WOOD CEILING ALONG PERIMETER WHERE NEW MANSARD TRUSSES ARE LOCATED, TO MATCH ADJACENT EXISTING ROOF DECK, STAIN BOTH

BUILDING IMPROVEMENTS FOR:
SMITTY'S WINGS



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1915 southeast 4th avenue consultant

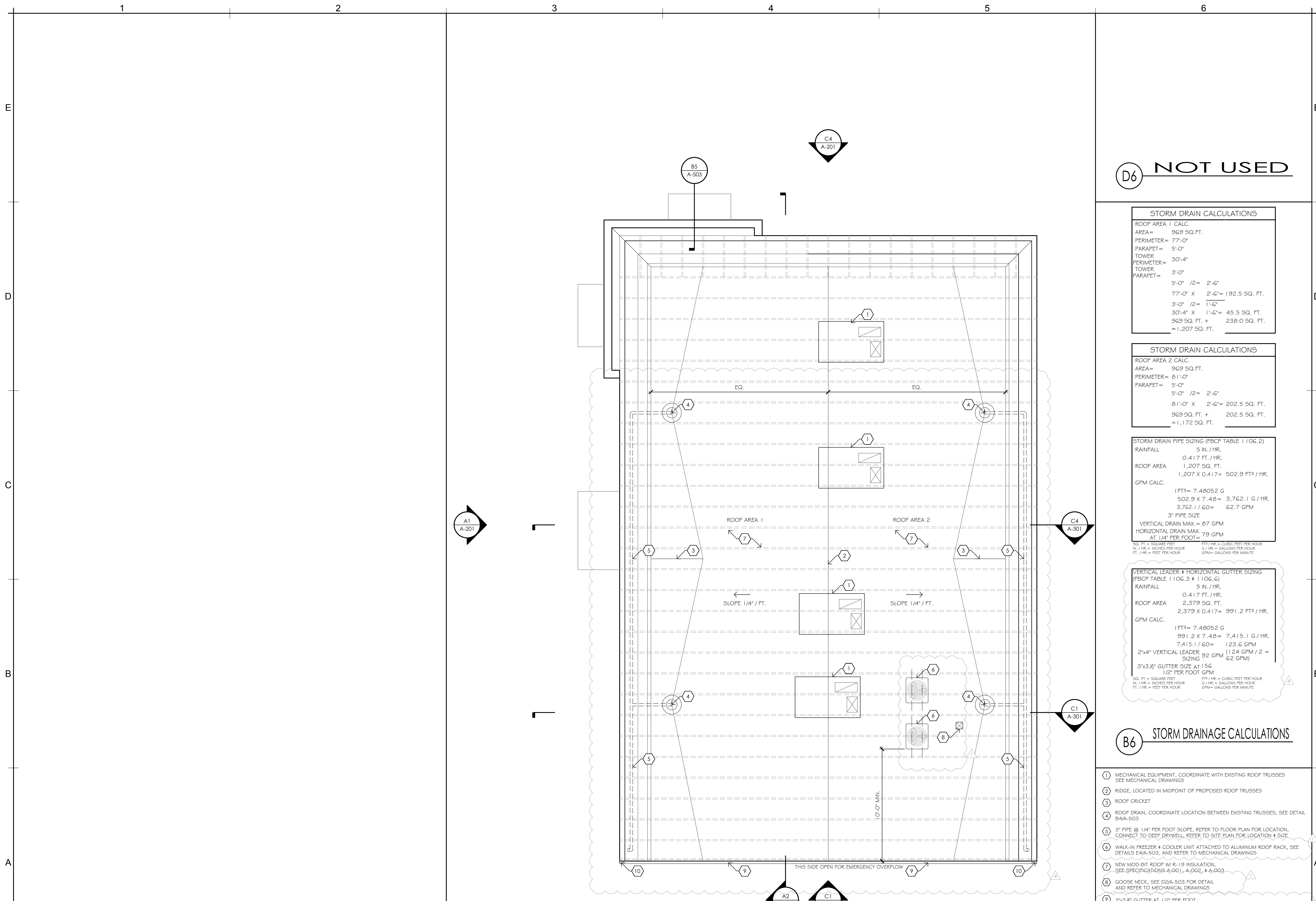
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JPB	EJB	JPB
DATE:	DATE:	DATE:
07.06.18	07.06.18	170214

REVISIONS	
A	06.20.19 CONSTRUCTION COORDINATION

REFLECTED CEILING PLAN

CONSTRUCTION DOCUMENTS

A-102



D6 NOT USED

STORM DRAIN CALCULATIONS
 ROOF AREA 1 CALC.
 AREA= 969 SQ.FT.
 PERIMETER= 77'-0"
 PARAPET= 5'-0"
 TOWER PERIMETER= 30'-4"
 TOWER PARAPET= 3'-0"
 5'-0" / 2 = 2'-6"
 77'-0" X 2'-6" = 192.5 SQ. FT.
 3'-0" / 2 = 1'-6"
 30'-4" X 1'-6" = 45.5 SQ. FT.
 969 SQ. FT. + 238.0 SQ. FT.
 = 1,207 SQ. FT.

STORM DRAIN CALCULATIONS
 ROOF AREA 2 CALC.
 AREA= 969 SQ.FT.
 PERIMETER= 81'-0"
 PARAPET= 5'-0"
 5'-0" / 2 = 2'-6"
 81'-0" X 2'-6" = 202.5 SQ. FT.
 969 SQ. FT. + 202.5 SQ. FT.
 = 1,172 SQ. FT.

STORM DRAIN PIPE SIZING (FBCP TABLE 11.06.2)
 RAINFALL 5 IN. / HR.
 0.417 FT. / HR.
 ROOF AREA 1,207 SQ. FT.
 1,207 X 0.417 = 502.9 FT³ / HR.
 GPM CALC.
 1 FT³ = 7.48052 G
 502.9 X 7.48 = 3,762.1 G / HR.
 3,762.1 / 60 = 62.7 GPM
 3" PIPE SIZE
 VERTICAL DRAIN MAX. = 87 GPM
 HORIZONTAL DRAIN MAX. AT 1/4" PER FOOT = 79 GPM

VERTICAL LEADER & HORIZONTAL GUTTER SIZING (FBCP TABLE 11.06.3 & 11.06.6)
 RAINFALL 5 IN. / HR.
 0.417 FT. / HR.
 ROOF AREA 2,379 SQ. FT.
 2,379 X 0.417 = 991.2 FT³ / HR.
 GPM CALC.
 1 FT³ = 7.48052 G
 991.2 X 7.48 = 7,415.1 G / HR.
 7,415.1 / 60 = 123.6 GPM
 2"x4" VERTICAL LEADER @ 92 GPM (124 GPM / 2 = 62 GPM)
 3"x3 1/2" GUTTER SIZE AT 156 1/2" PER FOOT GPM

B6 STORM DRAINAGE CALCULATIONS

- ① MECHANICAL EQUIPMENT, COORDINATE WITH EXISTING ROOF TRUSSES SEE MECHANICAL DRAWINGS
- ② RIDGE, LOCATED IN MIDPOINT OF PROPOSED ROOF TRUSSES
- ③ ROOF CRICKET
- ④ ROOF DRAIN, COORDINATE LOCATION BETWEEN EXISTING TRUSSES, SEE DETAIL B4/A-503
- ⑤ 3" PIPE @ 1/4" PER FOOT SLOPE, REFER TO FLOOR PLAN FOR LOCATION, CONNECT TO DEEP DRYWELL, REFER TO SITE PLAN FOR LOCATION & SIZE
- ⑥ WALK-IN FREEZER & COOLER UNIT ATTACHED TO ALUMINUM ROOF RACK, SEE DETAILS E4/A-503, AND REFER TO MECHANICAL DRAWINGS
- ⑦ NEW MOD-BIT ROOF W/ R-19 INSULATION, SEE SPECIFICATIONS A-001, A-002, & A-003
- ⑧ GOOSE NECK, SEE D2/A-503 FOR DETAIL AND REFER TO MECHANICAL DRAWINGS
- ⑨ 3"x3 1/2" GUTTER AT 1/2" PER FOOT
- ⑩ 2"x4" VERTICAL LEADER, CONNECT TO DEEP DRYWELL W/ PVC PIPE, SEE SITE PLAN

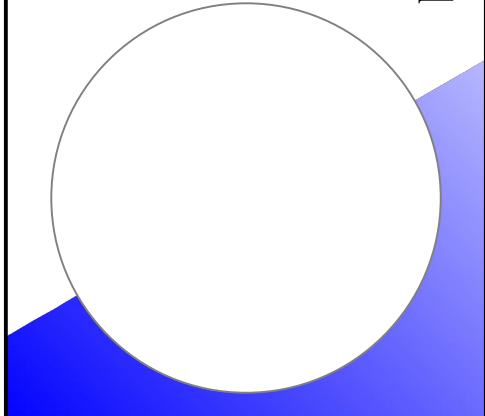
A6 KEYNOTES

A1 NOT USED

A3 REFLECTED CEILING PLAN
 1/4" = 1'-0"



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SMITTY'S WINGS



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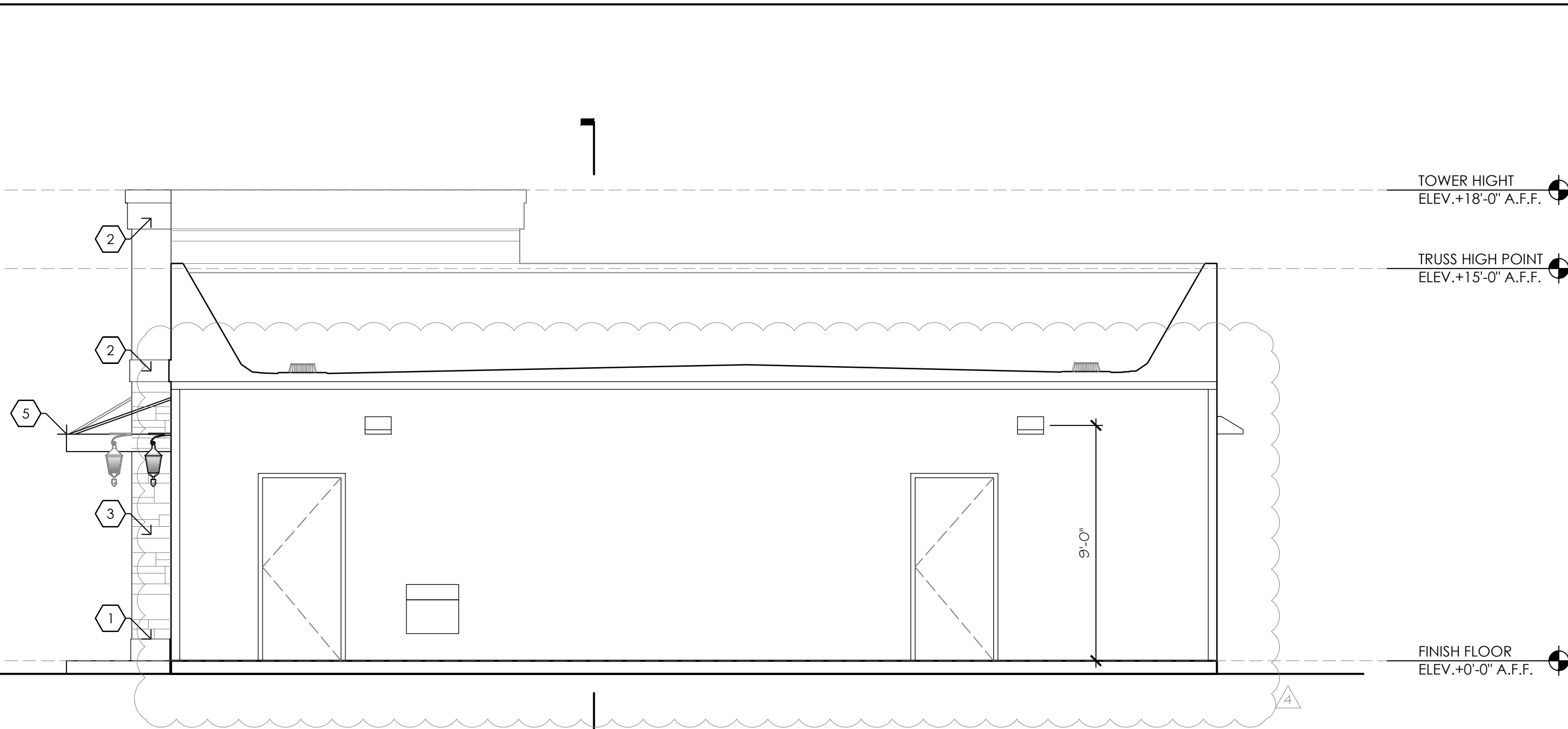
REVISIONS	
①	09.14.18 BIDDING COMMENTS
②	06.20.19 CONSTRUCTION COORDINATION

ROOF PLAN PLAN

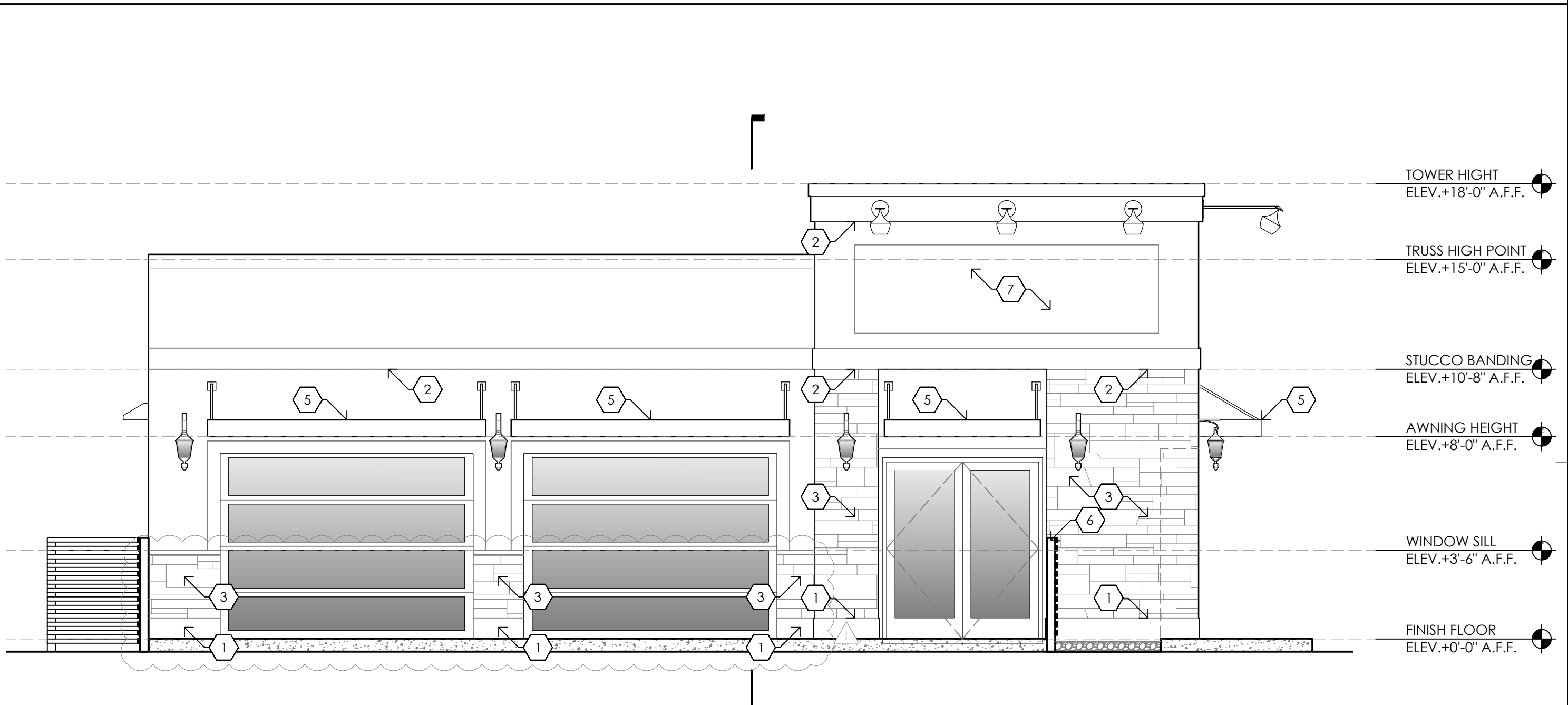
CONSTRUCTION DOCUMENTS

A-103

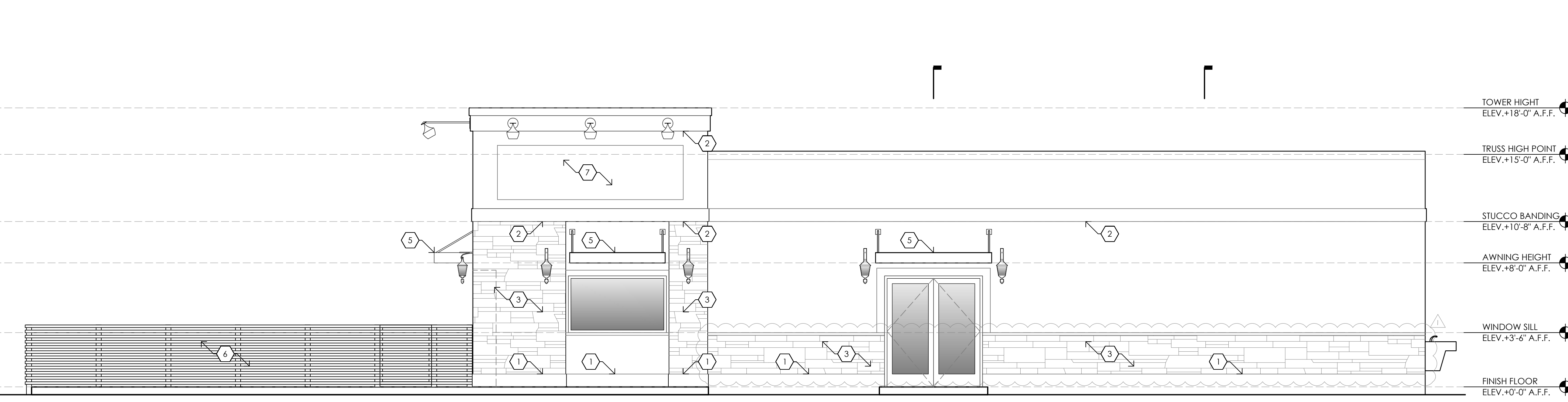
(E1) NOT USED



(C1) SOUTH ELEVATION
1/4" = 1'-0"



(C4) NORTH ELEVATION
1/4" = 1'-0"



(A1) WEST ELEVATION
1/4" = 1'-0"

(B6) NOT USED

- (A6) KEYNOTES
- (1) DECORATIVE 1" STUCCO BASE, 1" THICK TYP., 2" THICK WHEN ADJACENT TO STONE CLADDING FINISH
 - (2) DECORATIVE 1" STUCCO BANDING
 - (3) EXTERIOR STONE VENER FINISH, SEE SPECIFICATIONS IN A1/A-001 AND REFER TO DETAIL A5/A-503
 - (4) KEYNOTE NOT USED
 - (5) EXTERIOR ANODIZED ALUMINUM AWNING W/ INTEGRATED GUTTER FINISHES, G.C. TO PROVIDE NOA FOR ARCHITECT'S APPROVAL (UNDER SEPARATE PERMIT)
 - (6) METAL FENCE, G.C. TO PROVIDE SHOP DRAWINGS FOR ARCHITECT'S REVIEW & APPROVAL; SEE DETAIL C5/A5-501
 - (7) RESTAURANT SIGN BY OWNER, UNDER SEPARATE PERMIT

DESIGNED	DRAWN	CHECKED
JPB	EJB	JPB
DATE:	DATE:	DATE:
07.06.18	07.06.18	170214

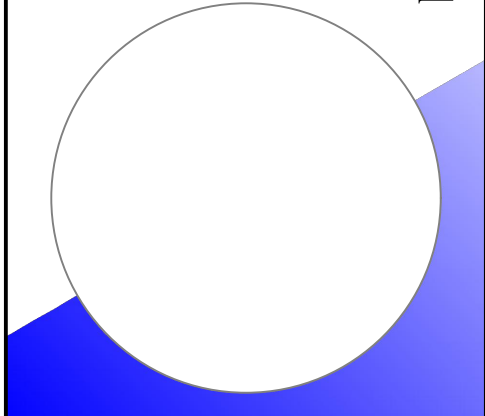
REVISIONS	
09.14.18	BIDDING COMMENTS
01.10.19	BIDD. DEPT. COMMENTS
06.20.19	CONSTRUCTION COORDINATION

EXTERIOR ELEVATIONS

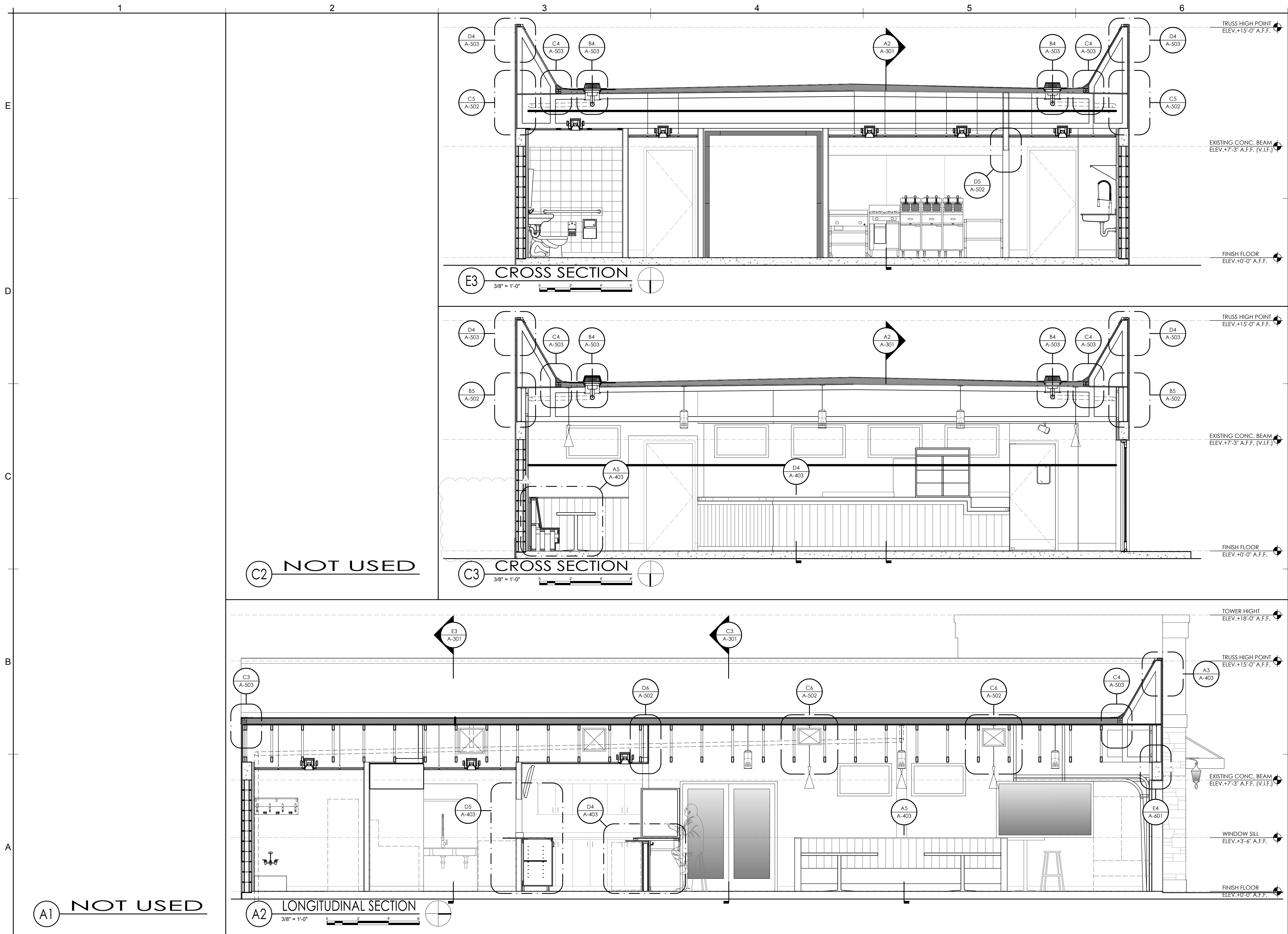
CONSTRUCTION DOCUMENTS

A-201

BUILDING IMPROVEMENTS FOR:
SMITTY'S WINGS



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SMITTY'S WINGS

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07.06.18	170214	
REVISIONS		
06.20.19 CONSTRUCTION COORDINATION		
BUILDING SECTIONS		
CONSTRUCTION DOCUMENTS		
A-301		

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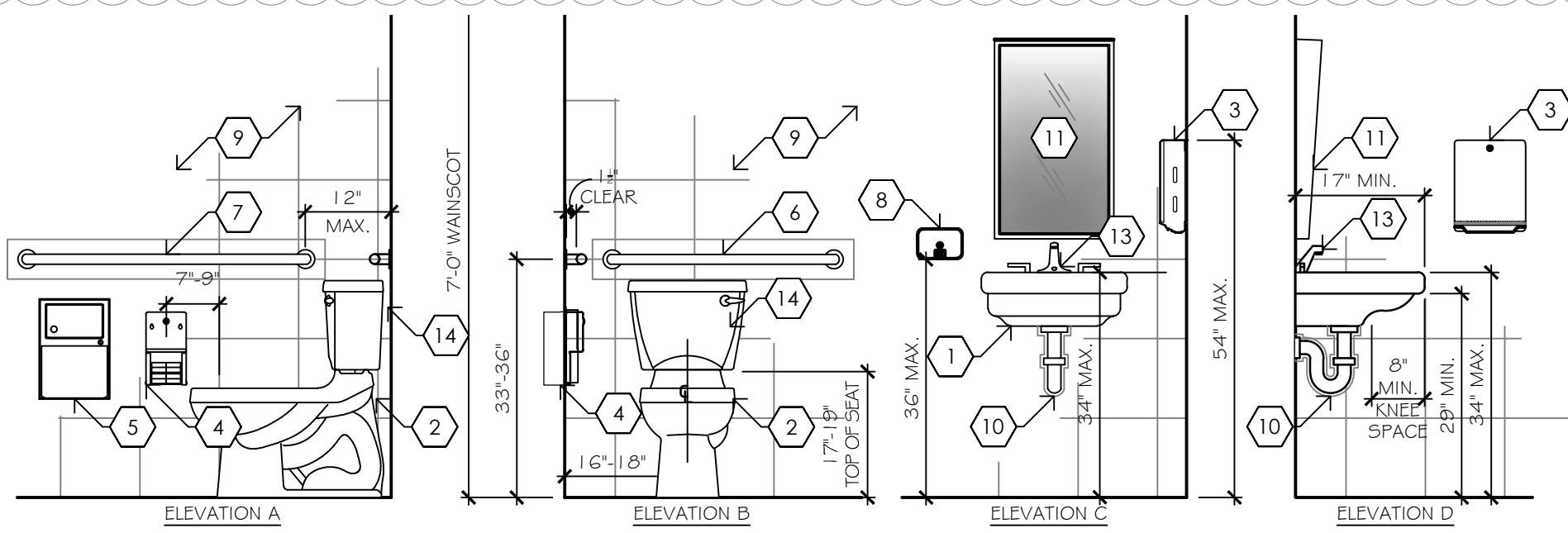
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E4 NOT USED



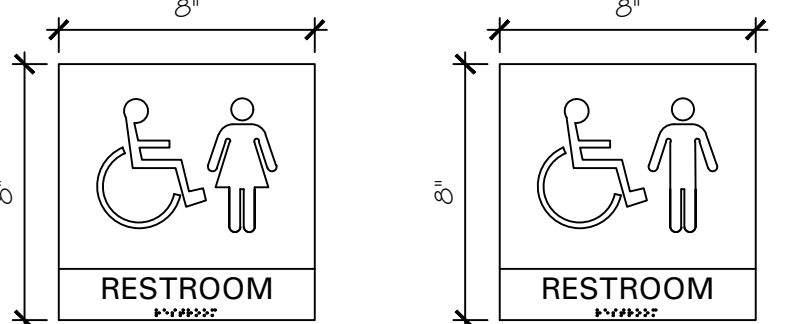
C4 TYP. RESTROOM ELEVATIONS
1/2" = 1'-0"

MOUNT ALL FIXTURES PER F.B.C. 2017 PLUMBING STANDARD CLEARANCES & HEIGHT REQUIREMENTS. ALL FINAL SELECTIONS TO BE APPROVED BY OWNER.

ADA SIGNAGE SPECS:

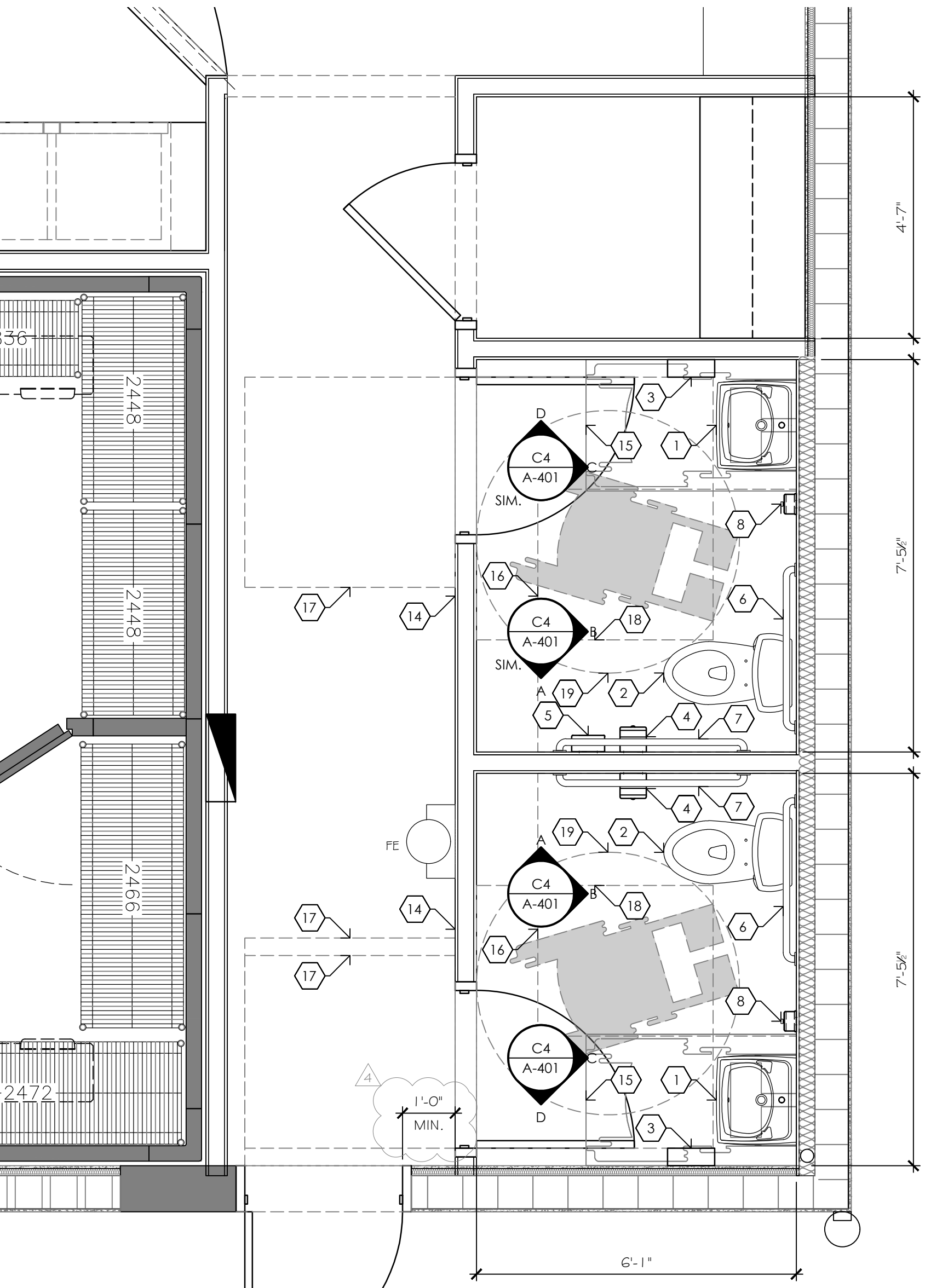
10.04 SIGNAGE

- A. GENERAL CONTRACTOR TO PROVIDE ALL CODE REQUIRED SIGNAGE INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 1. RAISED AND BRAILED CHARACTERS AND PICTOGRAMS.
 2. THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE, OR OTHER NON-GLARE FINISH.
 3. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND.
 4. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH TO HEIGHT RATIO BETWEEN 3:5 & 1:1, AND STROKE WIDTH TO HEIGHT RATIO BETWEEN 1:5 TO 1:10.
 5. MINIMUM SIZE 6" x 6".
- B. PROVIDE SIGNAGE AT THE FOLLOWING LOCATIONS:
 1. RESTROOM ENTRANCES
- C. ALL SIGNAGE SHALL COMPLY WITH FBC 2010 ED. CHAPTER 11 ACCESSIBILITY.



- NOTES:
1. PICTOGRAM OF WOMAN, ACCESSIBILITY AND MAN SYMBOLS IN 6" HIGH MINIMUM FIELD OF CONTRASTING NON-GLARING FINISH.
 2. LETTERS TO BE 5/8" TO 2" HIGH, RAISED 1/32" MINIMUM FROM THE CONTRASTING BACKGROUND FACE. LETTERS SHALL BE OF SANS SERIF OR SIMPLE SANS SERIF TYPE FACE AND SHALL BE ACCOMPANIED BY GRADE 2 BRAILLE.
 3. TACTILE SIGNS SHALL BE MOUNTED 60" TO THE CENTERLINE ABOVE THE FLOOR ADJACENT TO THE LATCH SIDE OF THE DOOR.

D6 TYP. RESTROOM NOTES



A4 ENLARGED FLOOR PLAN
1/4" = 1'-0"

1	LAVATORY: HANDICAP WALL MOUNTED (TYP.)
2	HANDICAPPED ACCESSIBLE FLOOR MOUNTED TOILET (TYP.)
3	B-262 PAPER TOWEL DISPENSER: BOBRICK (SURFACE MTD.) SATIN FINISH S.S. (TYP.)
4	B-2655 TOILET PAPER MULTITROLL DISPENSER: BOBRICK (SURFACE MTD.) SATIN FINISH S.S.
5	B-270 SANITARY NAPKIN DISPOSAL: BOBRICK (SURFACE MTD.) SATIN FINISH S.S.
6	B-5806 X 36 36" LONG GRAB BAR: BOBRICK 1-1/4" DIA. STAINLESS STEEL (SURFACE MTD.) WITH SNAP FLANGE & CONCEALED MOUNTING ANCHORS. PROVIDE 2X WOOD BACKING AT ALL SUPPORT POINTS
7	B-5806 X 42 42" LONG GRAB BAR: BOBRICK 1-1/4" DIA. STAINLESS STEEL (SURFACE MTD.) WITH SNAP FLANGE & CONCEALED MOUNTING ANCHORS. PROVIDE 2X WOOD BACKING AT ALL SUPPORT POINTS
8	B-2111 SOAP DISPENSER: BOBRICK (SURFACE MTD.) SATIN FINISH, S.S. VERTICAL TANK
9	CERAMIC WAINSCOT TILE TO BE SELECTED BY OWNER.
10	B-1830 INSULATION JACKETS FOR ALL PIPES UNDER SINKS
11	SURFACED MOUNTED MIRROR WITH STAINLESS STEEL CHANNEL FRAME - 18x30"
12	WALL BEYOND, PAINTED FINISH. COORD. W/ TENANT.
13	G055.205.002 TOUCH-LESS BATTERY-POWERED LAVATORY FAUCET. REFER TO MANUFACTURER SPECS
14	H.C. SIGNAGE. SEE DETAIL B6 / A-402
15	A.D.A. 30" x 48" REQUIRED CLEAR FLOOR SPACE
16	A.D.A. 60" x 59" REQUIRED CLEAR FLOOR SPACE
17	A.D.A. 48" x 48" MIN. MANEUVERING CLEARANCE
18	A.D.A. 60" x 54" MIN. MANEUVERING CLEARANCE
19	A.D.A. 60" DIAMETER MIN. TURNING SPACE

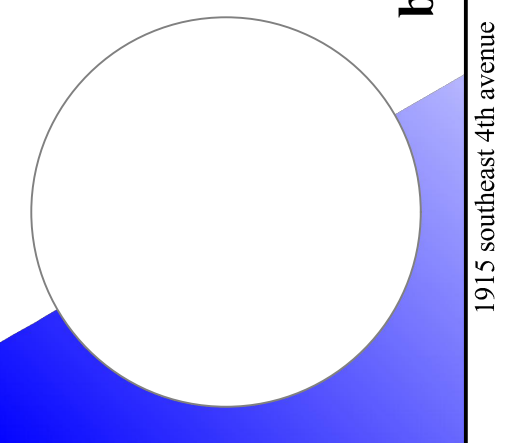
- NOTES:
1. PROVIDE AQUATOUGH 5/8" GYP. WALL BOARD AT ALL PARTITIONS IN RESTROOM, AND WET ROOM PARTITION LOCATIONS.
 2. ALL BATHROOM ACCESSORIES SHOWN ARE FOR DESIGN PURPOSES ONLY. FINAL BATHROOM ACCESSORIES MUST BE SELECTED BY OWNER AT A LATER DATE AND SHALL COMPLY WITH DESIGN INTENT.
 3. ALL ACCESSORIES SHALL COMPLY WITH THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.
 4. ALL PLUMBING FIXTURES TO COMPLY WITH F.B.C. 2010 PLUMBING STANDARD CLEARANCES & HEIGHT REQUIREMENTS.
 5. PROVIDE REINFORCING / BACKING AS REQUIRED BY THE MANUFACTURER FOR ALL PLUMBING FIXTURES.
 6. REFER TO MANUFACTURER'S SPECS FOR INSTALLATION REQUIREMENTS.
 7. REFER TO PLUMB. DRAWINGS FOR FLOOR DRAINS.
 8. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.

A6 RESTROOM EQUIPMENT SCHED.

A1 NOT USED



BUILDING IMPROVEMENTS FOR:
SMITTY'S WINGS

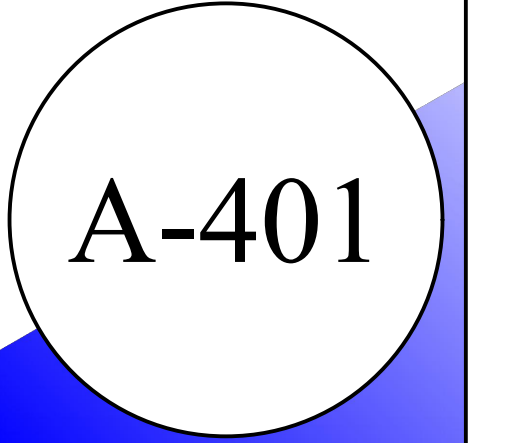


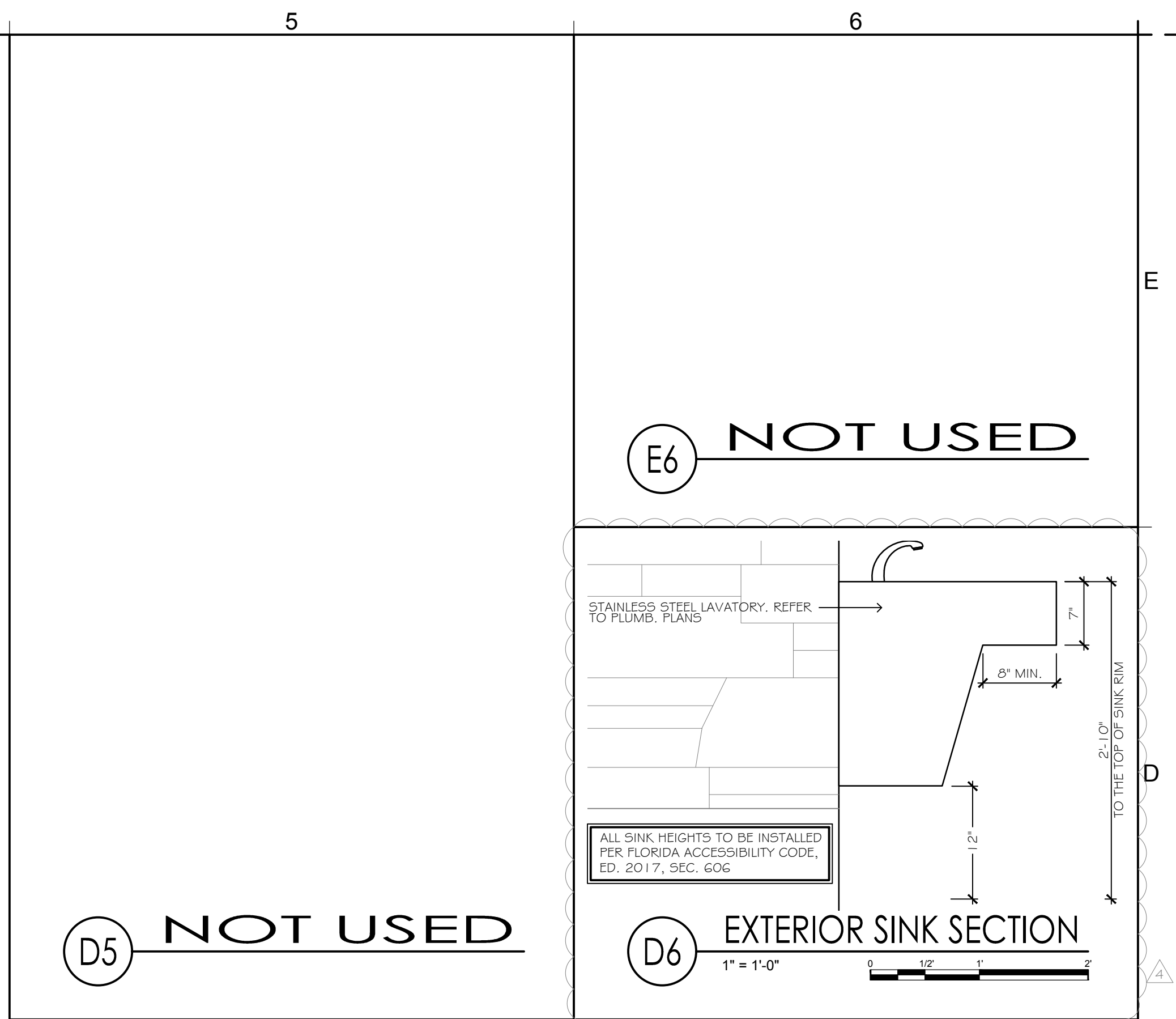
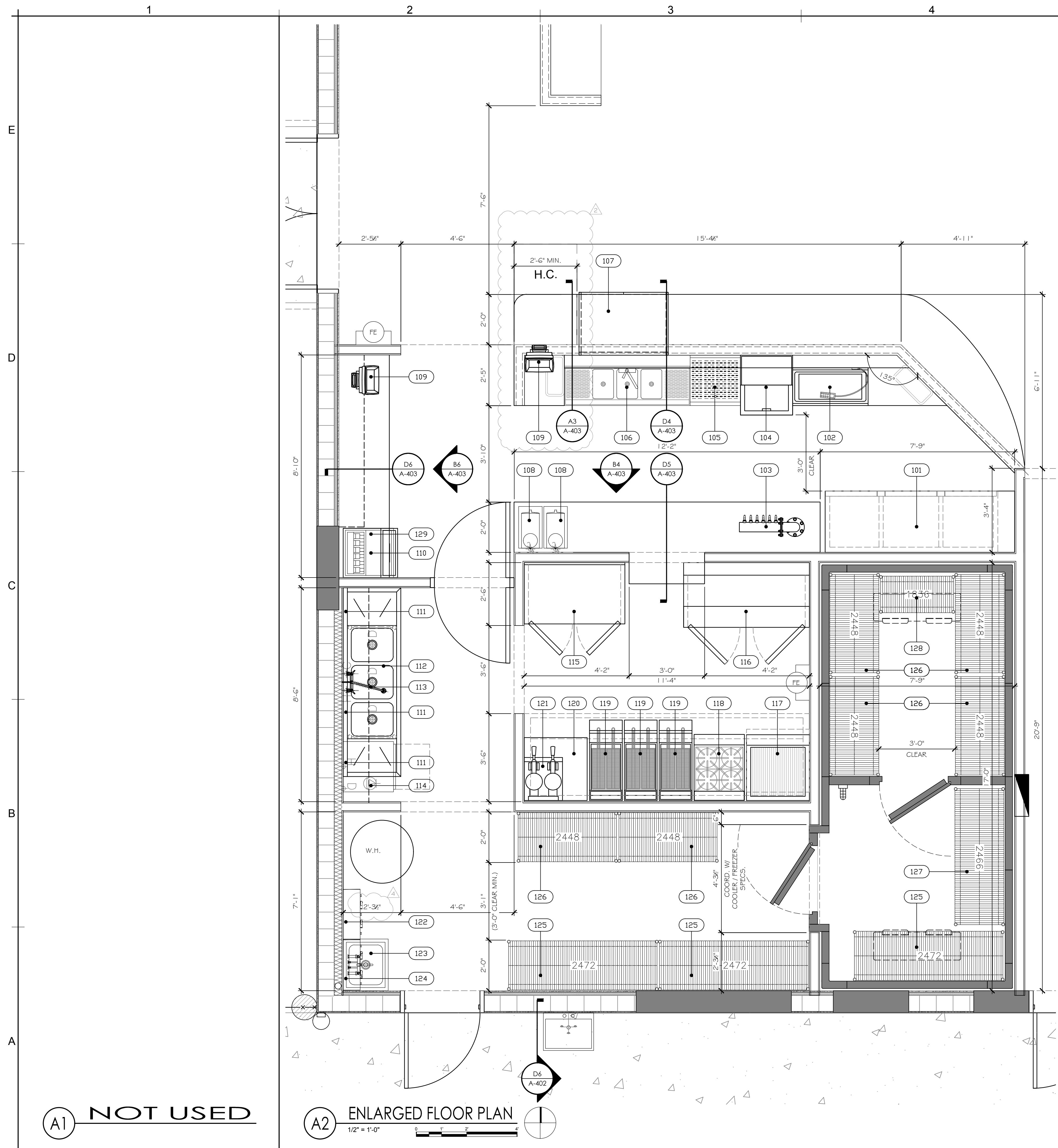
consultant

DESIGNED	DRAWN	CHECKED
JPB	EJB	JPB
DATE:	COMM:	
07.06.18	170214	
REVISIONS		
09.14.18	BIDDING COMMENTS	
06.20.19	CONSTRUCTION COORDINATION	

ENLARGED RESTROOMS PLAN

CONSTRUCTION DOCUMENTS





Item No.	Qty.	EQUIPMENT DESCRIPTION	Manufacturer	Model Number	Equip. Remarks
101	1	90° THREE GLASS DOOR, BACK BAR REFRIGERATOR	TURBO AIR	TBB-45G	
102	1	UNDERBAR ICE BIN	REGENCY	600B183G	SODA GUN BY VENDOR
103	1	DRAFT BEER DISP.	--	--	BY OWNER
104	1	BLACK GLASS FROSTER	TURBO AIR	TBC-245B-GF	
105	1	UNDERBAR GLASS RACK	KROWNE METAL	KR21-G9B1	
106	1	3 BOWL UNDERBAR SINK WITH FAUCET AND TWO DRAINBOARDS	REGENCY	600B31014213	
107	1	COUNTER TOP SELF-SERVE NON-REFRIG. BAKERY DISPLAY	FEDERAL	CT-6	
108	2	ICED TEA BREWER	BLOOMFIELD	B740	
109	2	POS TERMINAL	BY OWNER	BY OWNER	BY OWNER
110	1	INTEGRATED ICEMAKER BIN	FOLLET	BY OWNER	BY OWNER
111	3	SHelf, WALL MOUNTED	--	--	BY OWNER
112	1	3 COMPARTMENT SINK	EAGLE GROUP/METAL MAST.	314-16-3-18R	
113	1	PRE-RINSE FAUCET, WALL MOUNT	T 4 S BRASS	B-0133-B	FAUCET, ADD-ON: B-0156
114	1	DISHWASHER, UNDER-COUNTER	CMA DISHMACHINES	CMA-180UC	
115	1	STANDARD WORKTOP REFRIGERATOR CABINETS	BEVERAGE AIR	WTR48A	
116	1	FOOD PREPARATION TABLE - STANDARD TOP	BEVERAGE AIR	5P60-1G	
117	1	BROILER RADIANT COUNTER TOP	IMPERIAL	IRB-30	STAINLESS STEEL EQUIP. STAND
118	1	24" RESTAURANT RANGE	IMPERIAL	IR-4	
119	3	SOLOFILTER SOLSTICE GAS (5F5G)	PITCO	5F5G14	
120	1	30" x 30" STAINLESS STEEL TABLE	--	--	By owner
121	1	DOUBLE BELGIAN WAFFLE MAKERS	WARNING COMMERCIAL	WW250	
122	2	SINK, MOP ACCESSORY	ADVANCE TABCO	K-245	
123	1	SINK, MOP	ADVANCE TABCO	9-0P-40	
124	1	SERVICE SINK FAUCET, WALL MOUNT	T 4 S BRASS	B-0655-B5TP	
125	3	Shelving, Wire	955 Shelving	24725	Includes (4) 72" Posts, (4) Shelves
126	6	Shelving, Wire	955 Shelving	24485	Includes (4) 72" Posts, (4) Shelves
127	1	Shelving, Wire	955 Shelving	24665	Includes (4) 72" Posts, (4) Shelves
128	1	Shelving, Wire	955 Shelving	18365	Includes (4) 72" Posts, (4) Shelves
129	1	Soda/Ice Dispenser	VENDOR / PEPSI	--	VERIFY MODEL WITH VENDOR

NOTES:

- REFER TO ELECTRICAL PLANS FOR EQUIPMENT POWER SOURCE INFORMATION.
- REFER TO SPECIFICATION SHEETS AND WRITTEN SPECIFICATIONS FOR FULL EQUIP. INFORMATION.
- VERIFY IN FIELD ALL DIMENSIONS PRIOR TO CABINERY FABRICATION.
- THE INFORMATION CONTAINED IN THESE DRAWINGS IS FOR REFERENCE ONLY AND IS TO BE USED BY THE G.C. TO PREPARE THE SUBMITTAL DOCUMENTS.
- PRIOR TO ORDERING ALL EQUIPMENT G.C. SHALL COORDINATE WITH KITCHEN CONSULTANT AND TENANT FOR LIST ACCURACY.
- COORDINATE ALL EQUIPMENT CLEARANCES & DIMENSIONS PRIOR TO CABINET FABRICATION.
- MILLWORK CONTRACTOR TO COORDINATE ALL SPECIAL APPLICATIONS WITH EQUIPMENT AND ARCHITECTURAL PLANS.
- COUNTERS ARE TO BE BUILT WITH A COMMON RACEWAY TO FEED ELECTRICAL CIRCUITS THAT ARE TO BE BROUGHT (D.F.A.) INSIDE WALL AND SET RECEPTACLES AS NOTED FOR ACCESS TO EQUIPMENT.
- PROVIDE WOOD BACKING AS REQUIRED. ALL WOOD BACKING / BLOCKING TO BE FIRE RATED, MARINE WOOD / PLYWOOD (SAME THICKNESS AS ADJOINING SHEET ROCK), PER LOCAL CODES.

BUILDING IMPROVEMENTS FOR:
SMITTY'S WINGS

FORT LAUDERDALE, FLORIDA

barranco gonzalez • architecture • planning • interior design
Fort Lauderdale, FL 33316 phone: (954) 961-7675 fax: (954) 961-7685 mail: @bgarchitecture.com

1915 southeast 4th avenue consultant

DESIGNED: JPB
DRAWN: EJB
CHECKED: JPB

DATE: 07.06.18
COMM: 170214

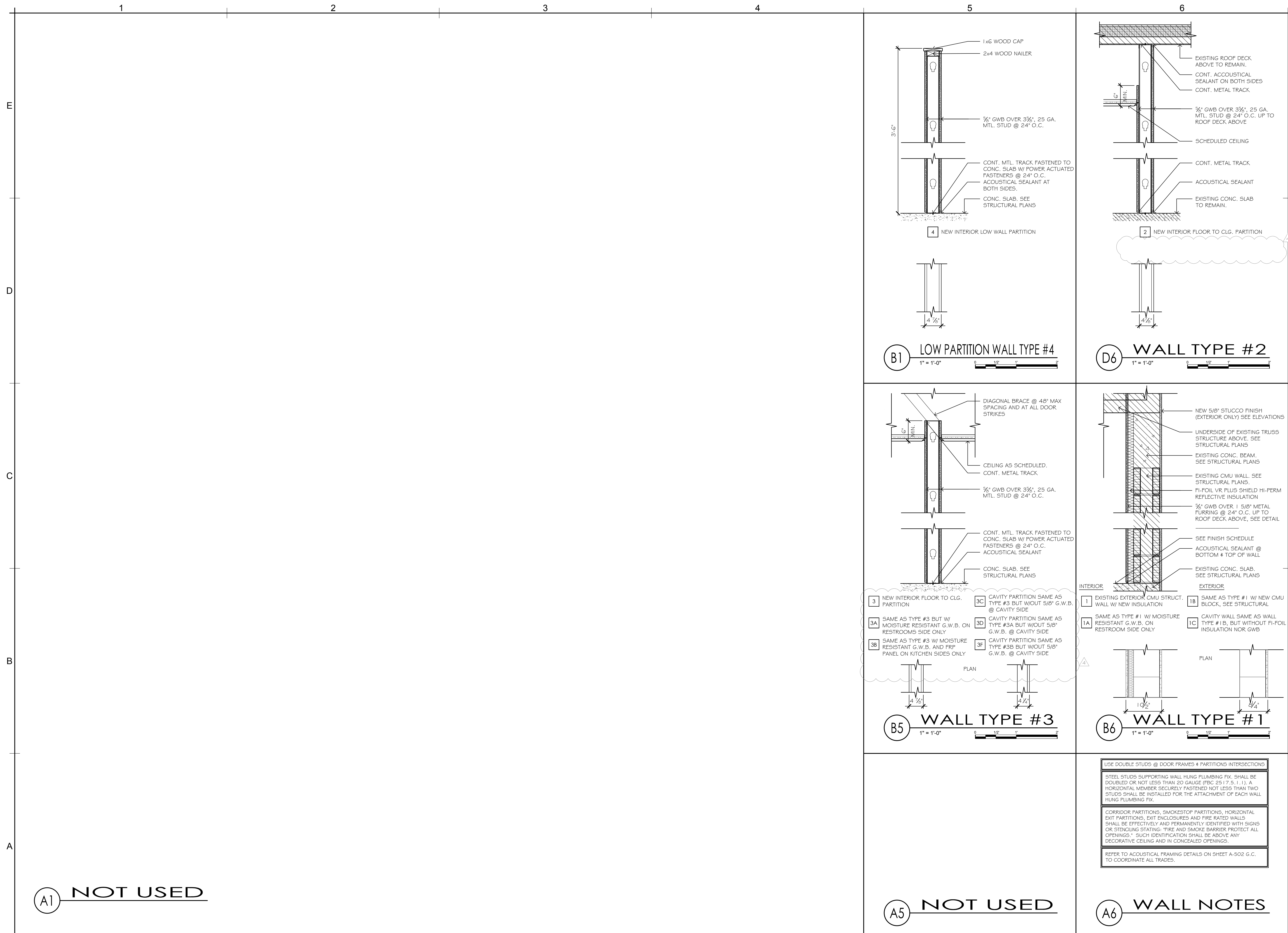
REVISIONS

- 09.14.18 BIDDING COMMENTS
- 01.10.19 BIDD. DEPT. COMMENTS
- 06.20.19 CONSTRUCTION COORDINATION

ENLARGED KITCHEN PLAN & EQUIPMENT SCHEDULE

CONSTRUCTION DOCUMENTS

A-402



SMITTY'S WINGS

BUILDING IMPROVEMENTS FOR:

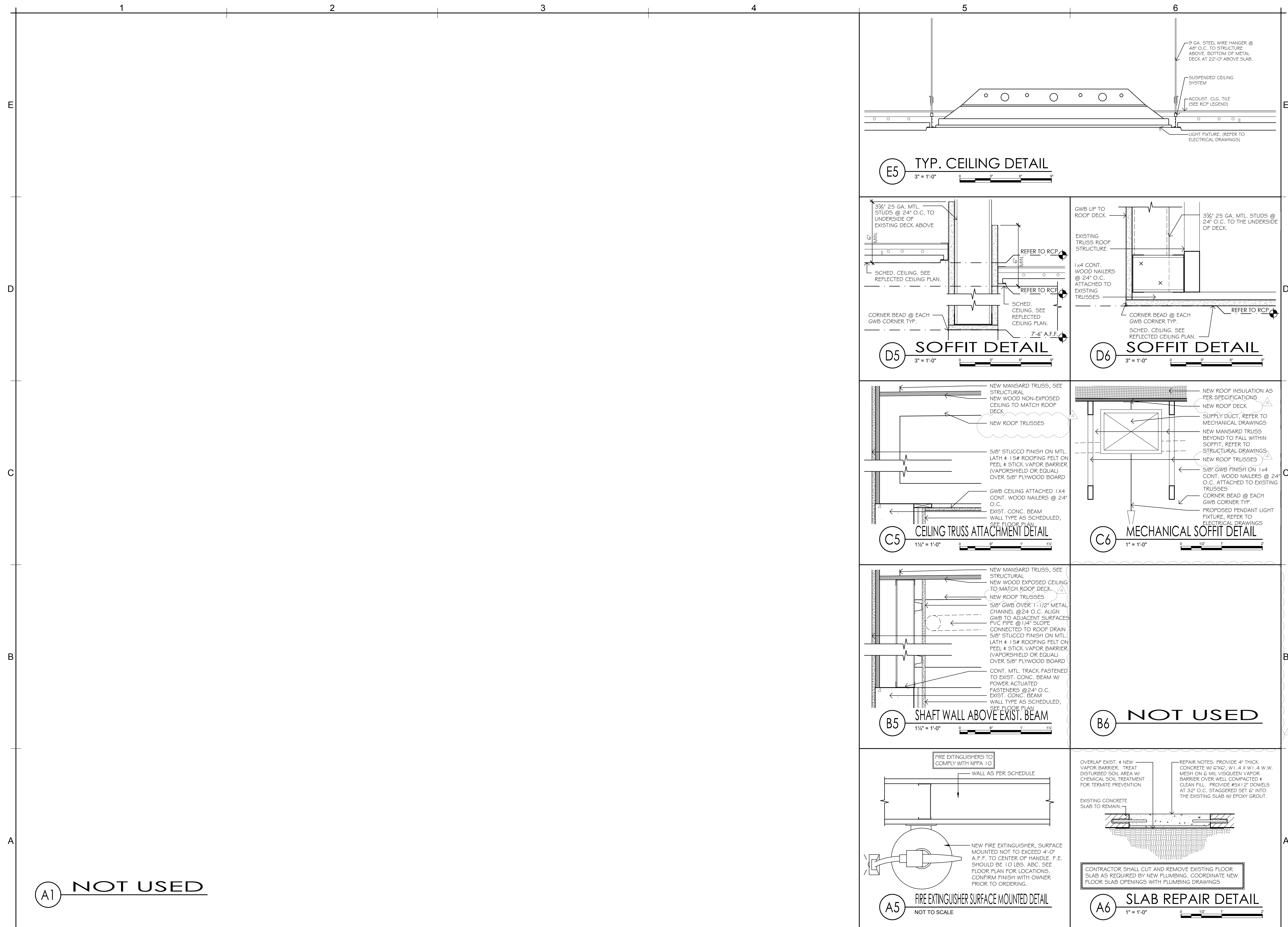
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FORT LAUDERDALE, FLORIDA
 phone: (954) 961-7675 fax: (954) 961-7685
 1915 southeast 4th avenue Fort Lauderdale, FL 33316
 email: mail@bgararchitecture.com

DESIGNED	DRAWN	CHECKED
JPB	EJB	JPB
DATE:	COMM:	
07.06.18	170214	

REVISIONS

A	06.20.19	CONSTRUCTION COORDINATION
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BUILDING IMPROVEMENTS FOR:
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07.06.18	07.06.18	170214

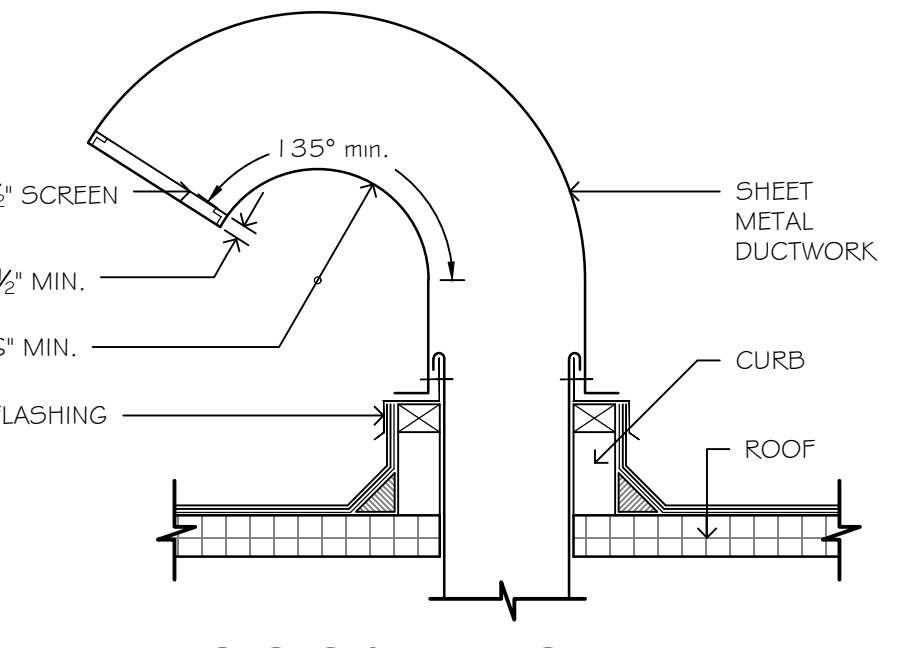
REVISIONS	
06.20.19	CONSTRUCTION COORDINATION

INTERIOR DETAILS

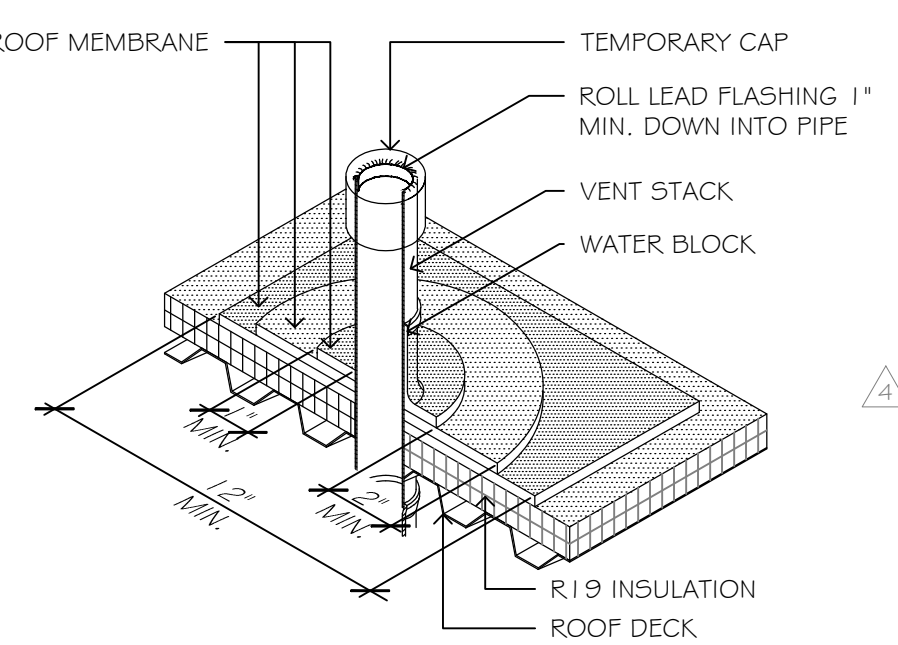
CONSTRUCTION DOCUMENTS

A-502

E2 NOT USED



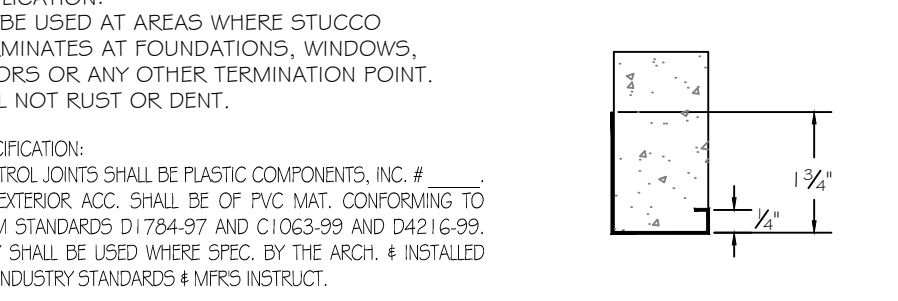
D2 GOOSE NECK DETAIL
NOT TO SCALE



C2 V.T.R. FLASHING
NOT TO SCALE

WIDE FLANGE CASING BEAD

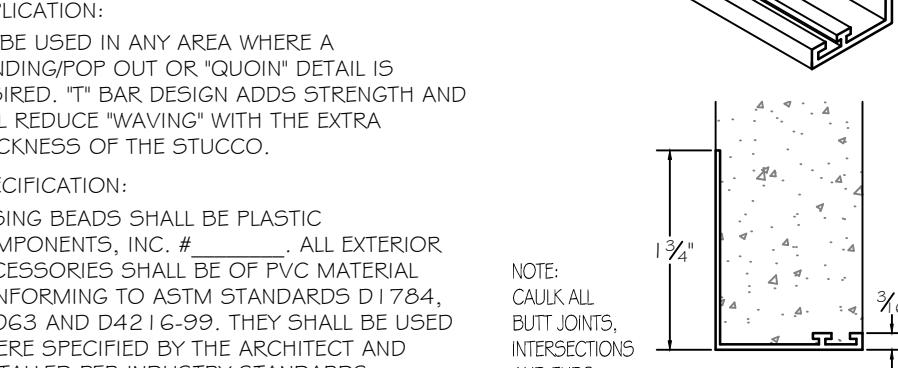
PRODUCT NUMBER	GROUND DESCRIPTION	DIMENSIONS/ DESCRIPTIONS	PIECES PER BOX
1025	1/4"	WIDE FLANGE CASING BEAD, 1/4" PERFORATED FLANGE.	75
1036	3/8"	WIDE FLANGE CASING BEAD, 3/8" PERFORATED FLANGE.	75
1050	1/2"	WIDE FLANGE CASING BEAD, 1/2" PERFORATED FLANGE.	75
1075	3/4"	WIDE FLANGE CASING BEAD, 3/4" PERFORATED FLANGE.	75
1078	7/8"	WIDE FLANGE CASING BEAD, 7/8" PERFORATED FLANGE.	75



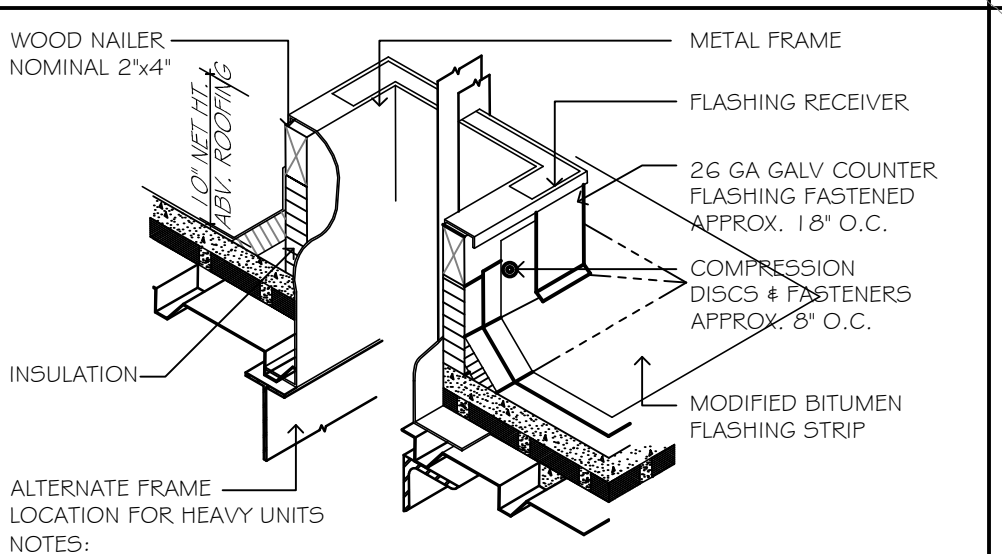
B2 STUCCO CASING BEAD DET.
NOT TO SCALE

"T" BAR CASING BEAD

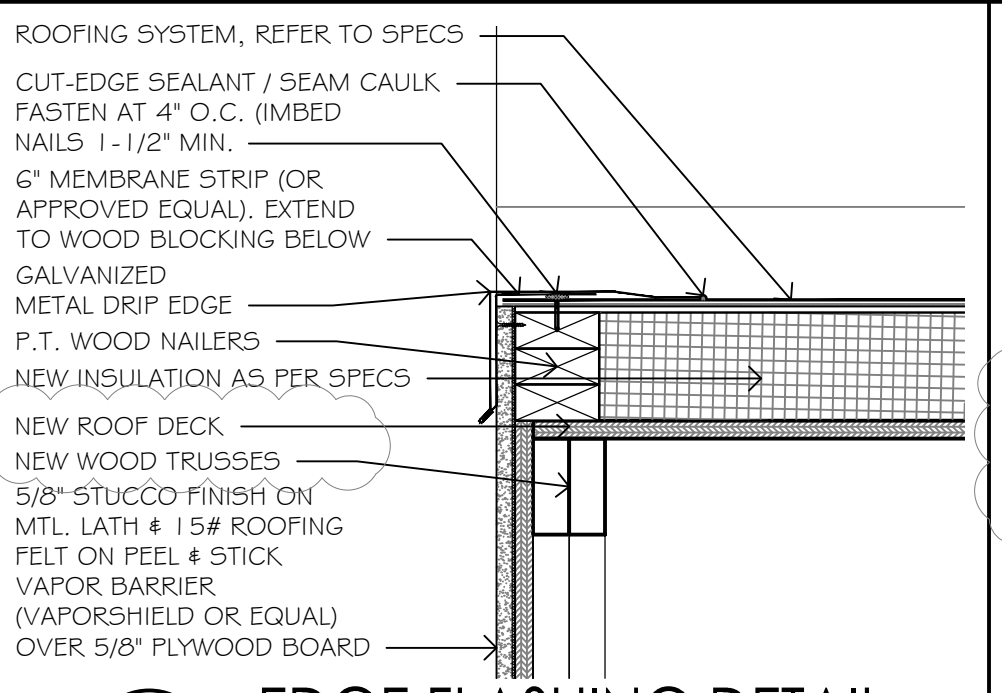
PRODUCT NUMBER	DIM. A	DIMENSIONS/ DESCRIPTIONS	PIECES PER BOX
1125	1-1/4"	"T" BAR CASING BEAD, 1-3/4" (44 MM) WIDE PERFORATED FLANGE. DESIGNED FOR EXTRA STRENGTH.	50
1200	2"	"T" BAR CASING BEAD, 2" WIDE PERFORATED FLANGE. DESIGNED FOR EXTRA STRENGTH.	40



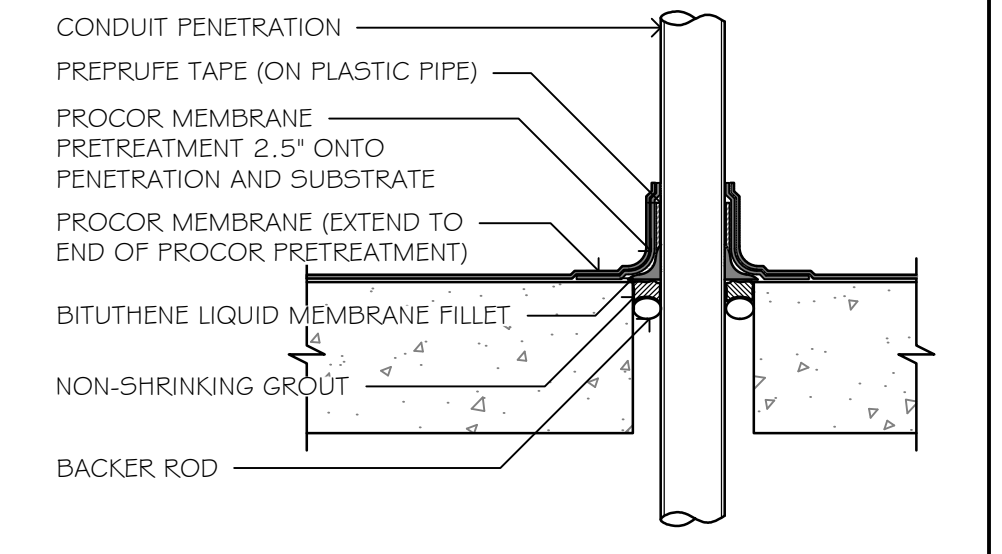
A2 STUCCO CASING BEAD DET.
NOT TO SCALE



D3 ROOF CURB DETAIL
NOT TO SCALE



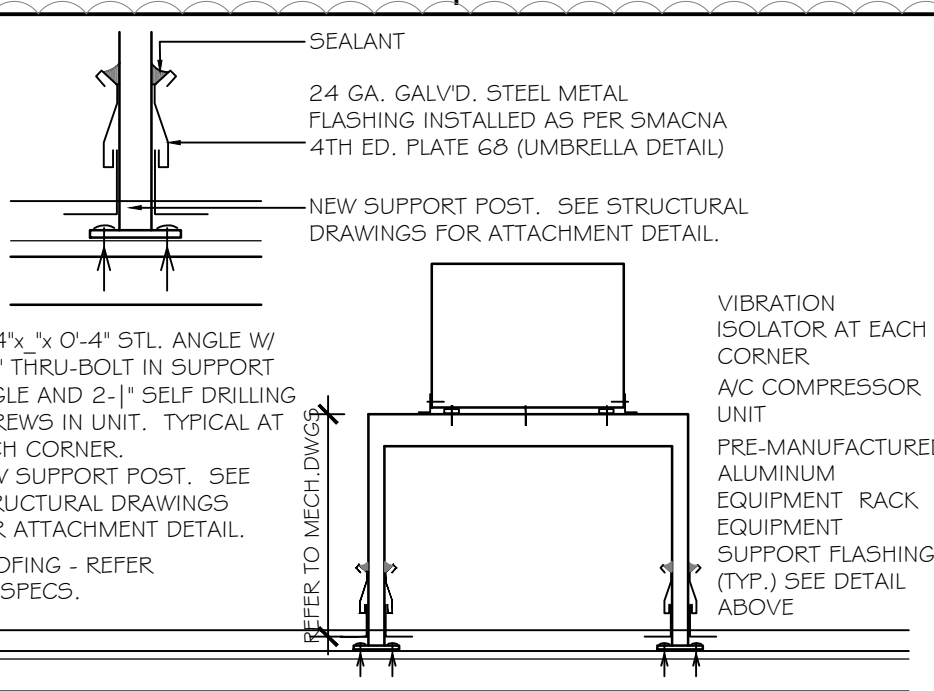
C3 EDGE FLASHING DETAIL
1 1/2\"/>



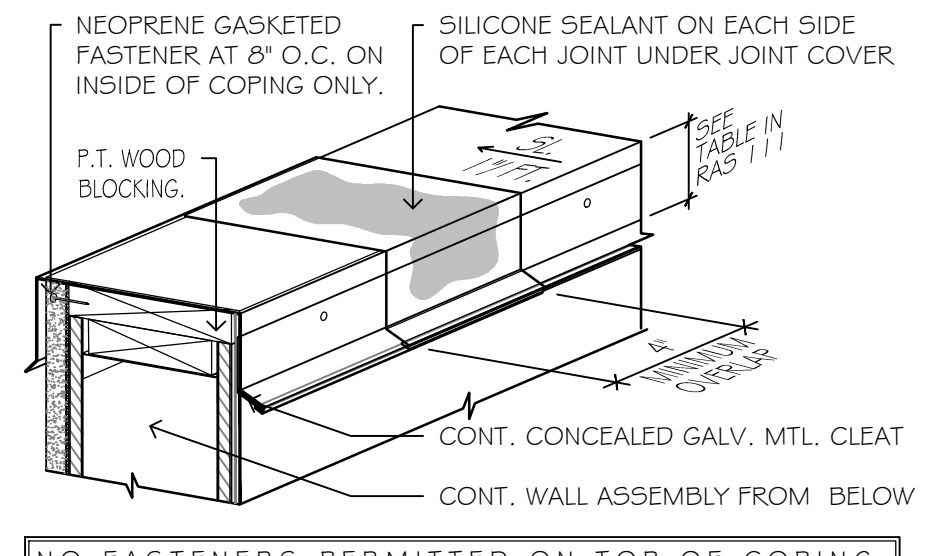
B3 WATERPROOF PENETRATION
NOT TO SCALE



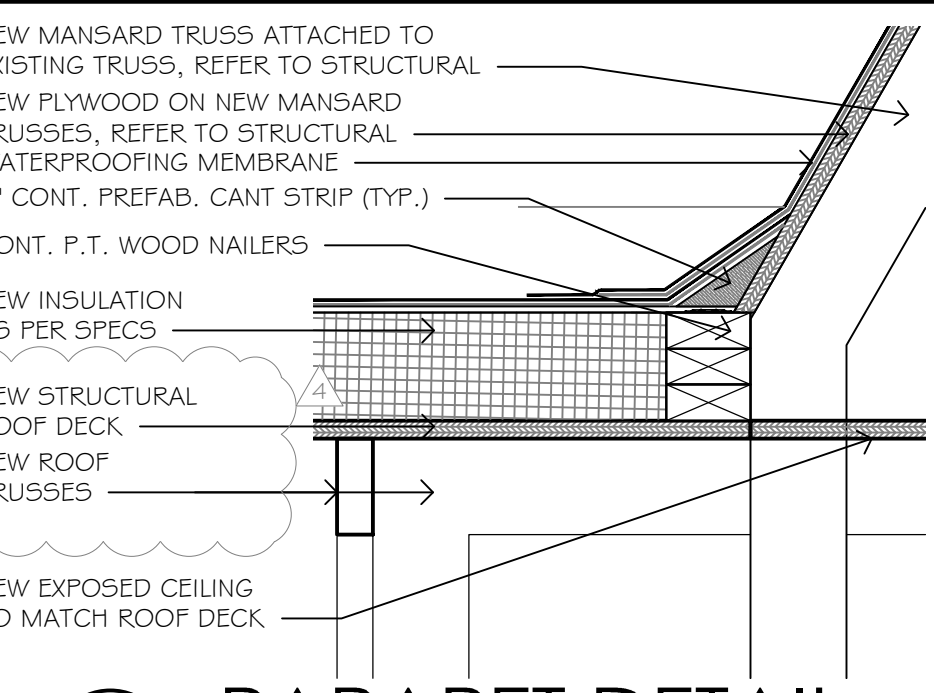
A3 NOT USED



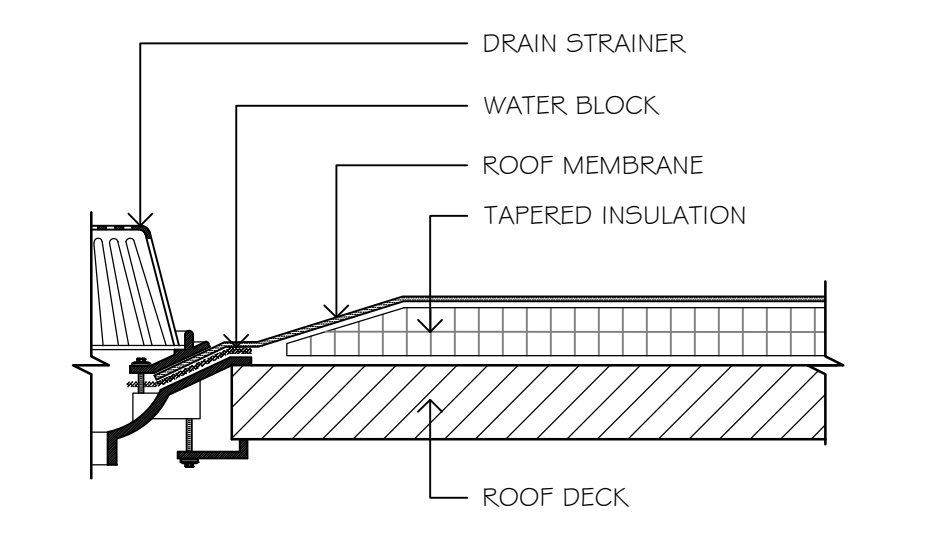
E4 ROOF UNIT RACK DETAIL
NOT TO SCALE



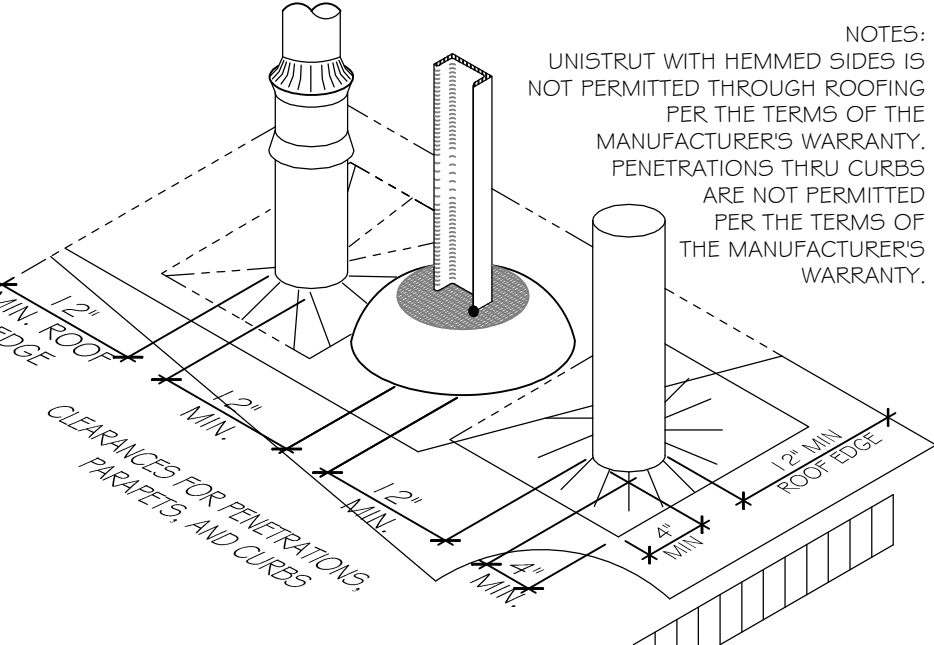
D4 CAP FLASHING DET.
NOT TO SCALE



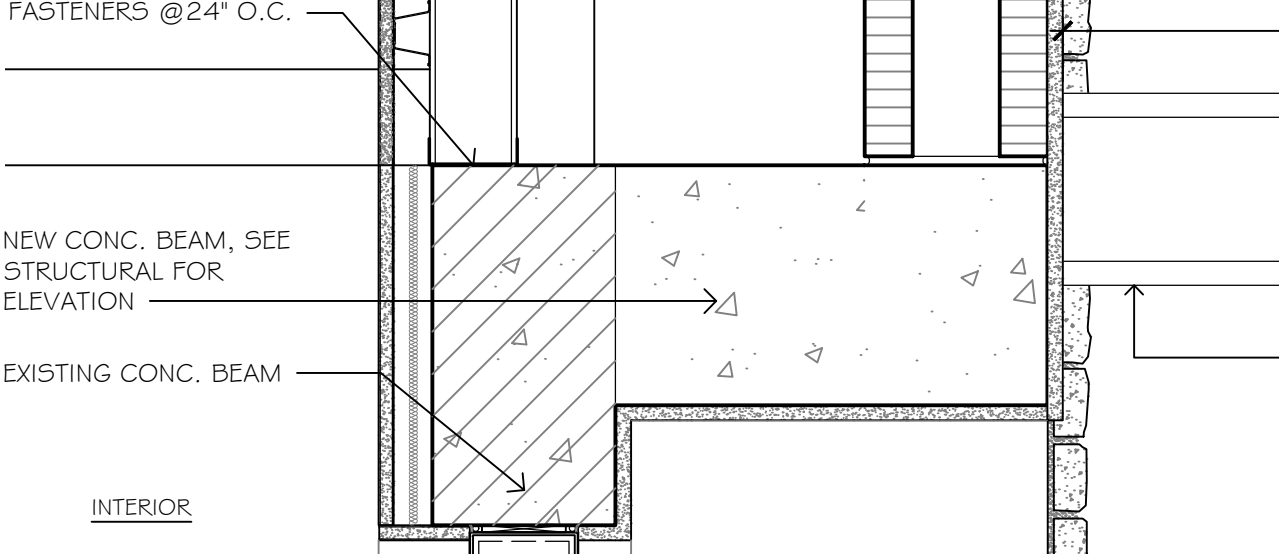
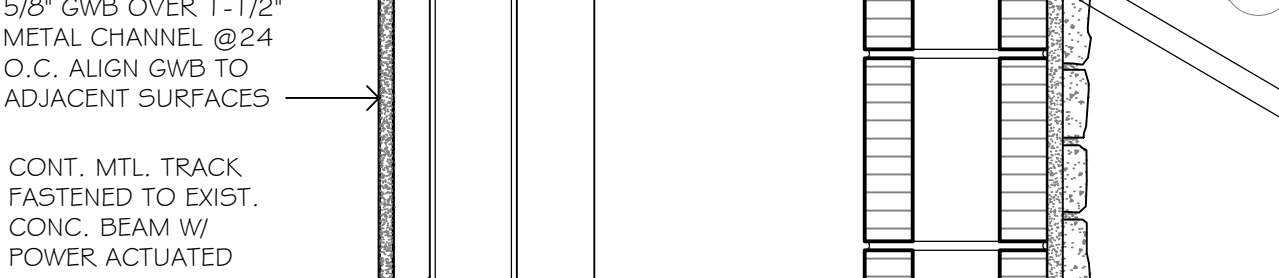
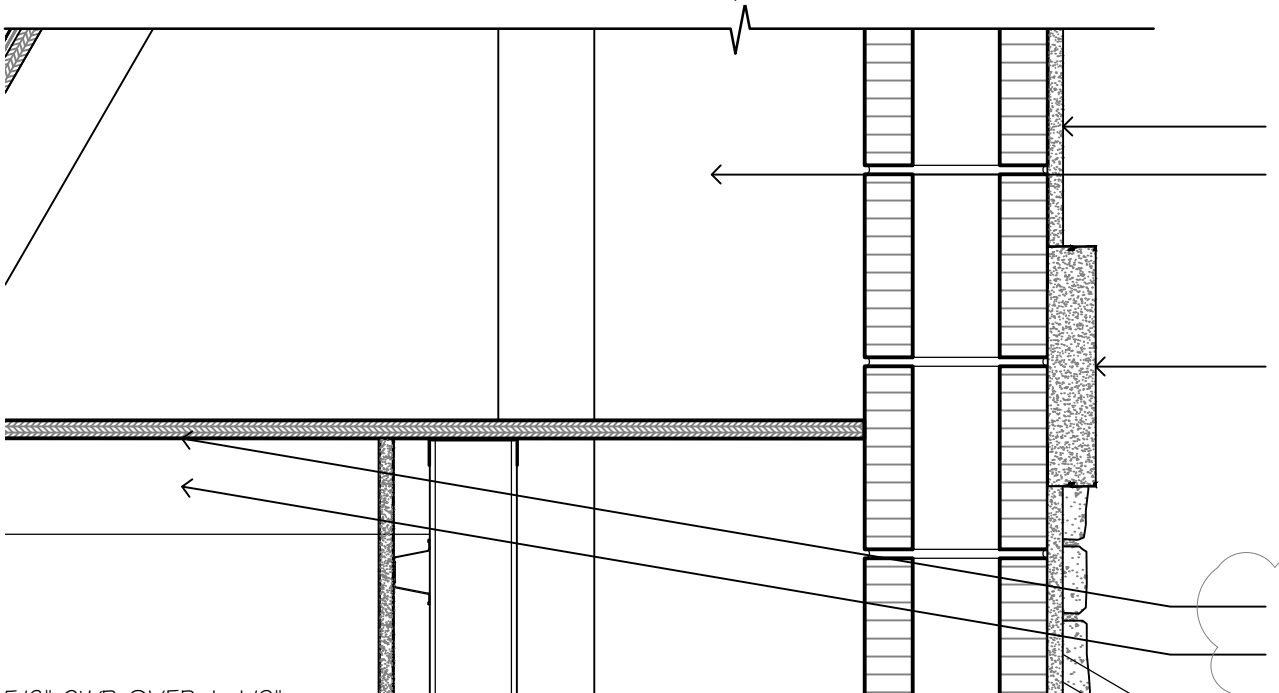
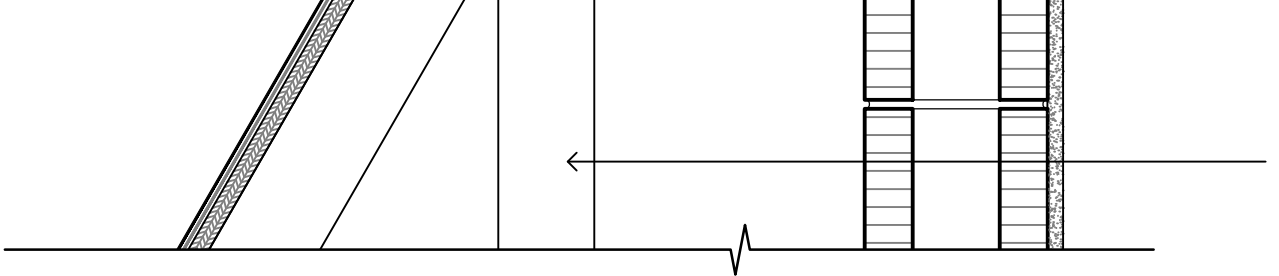
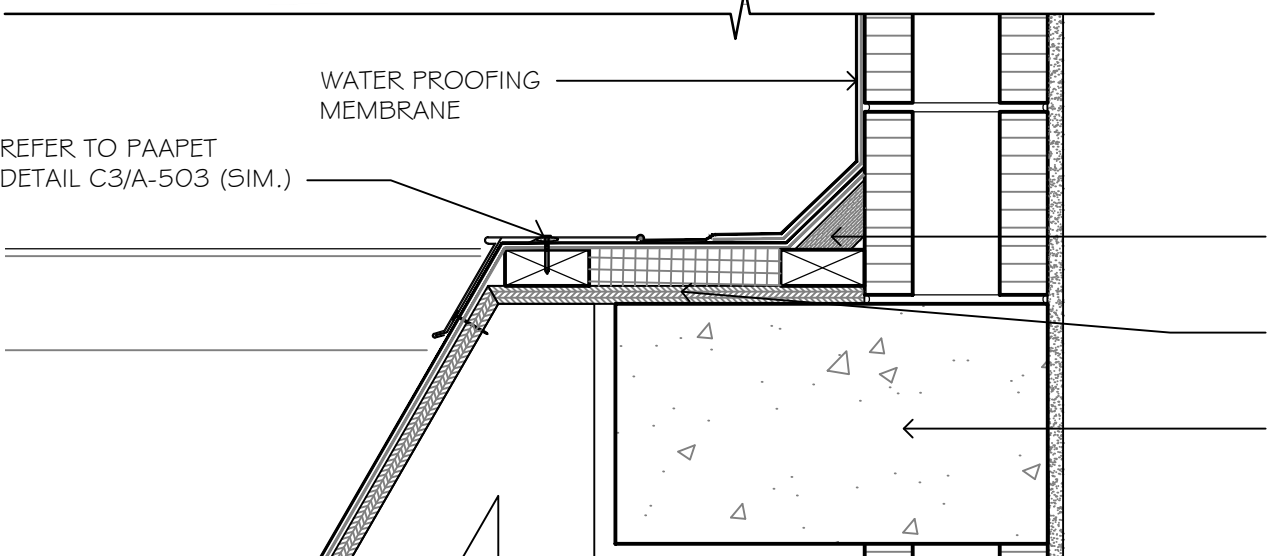
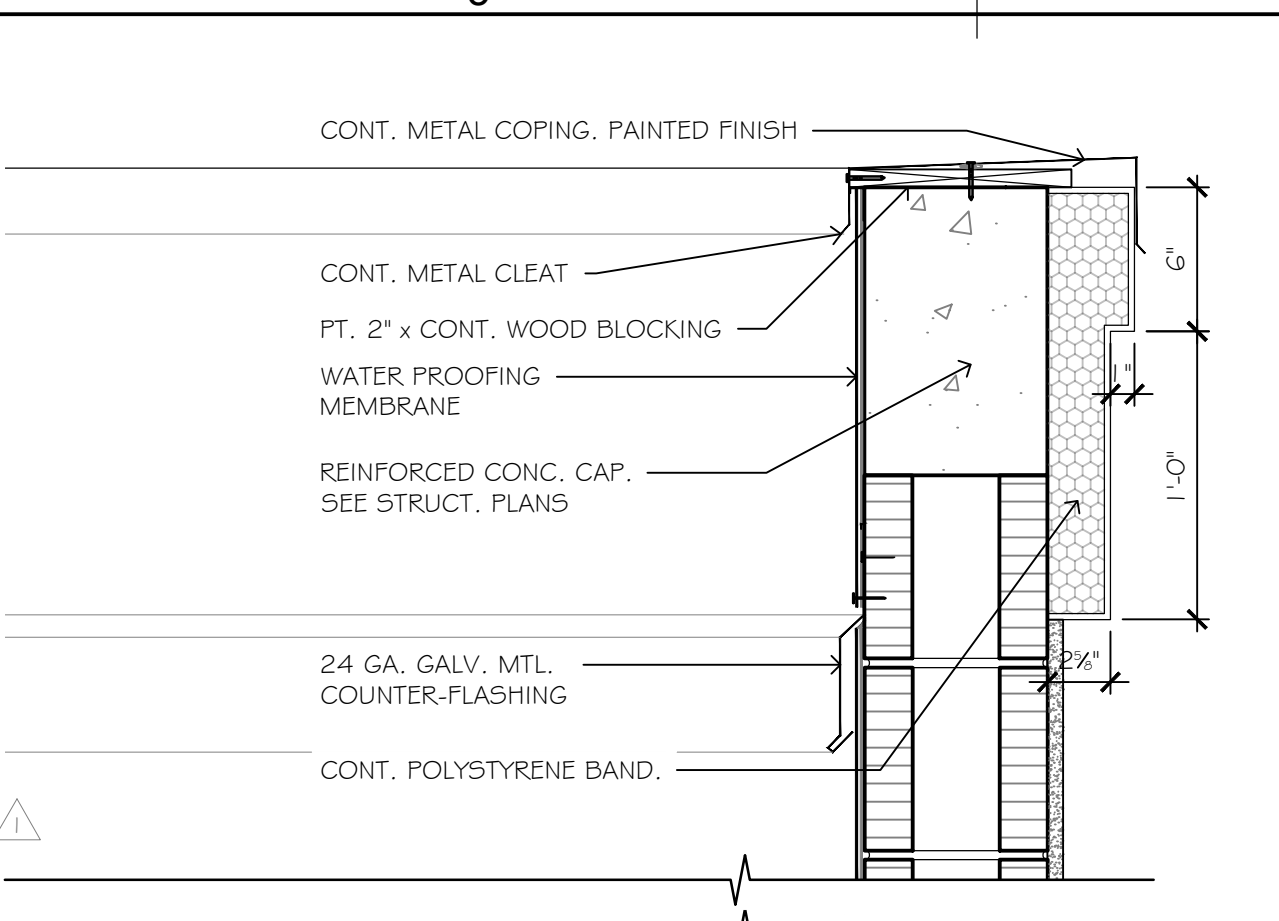
C4 PARAPET DETAIL
1 1/2\"/>



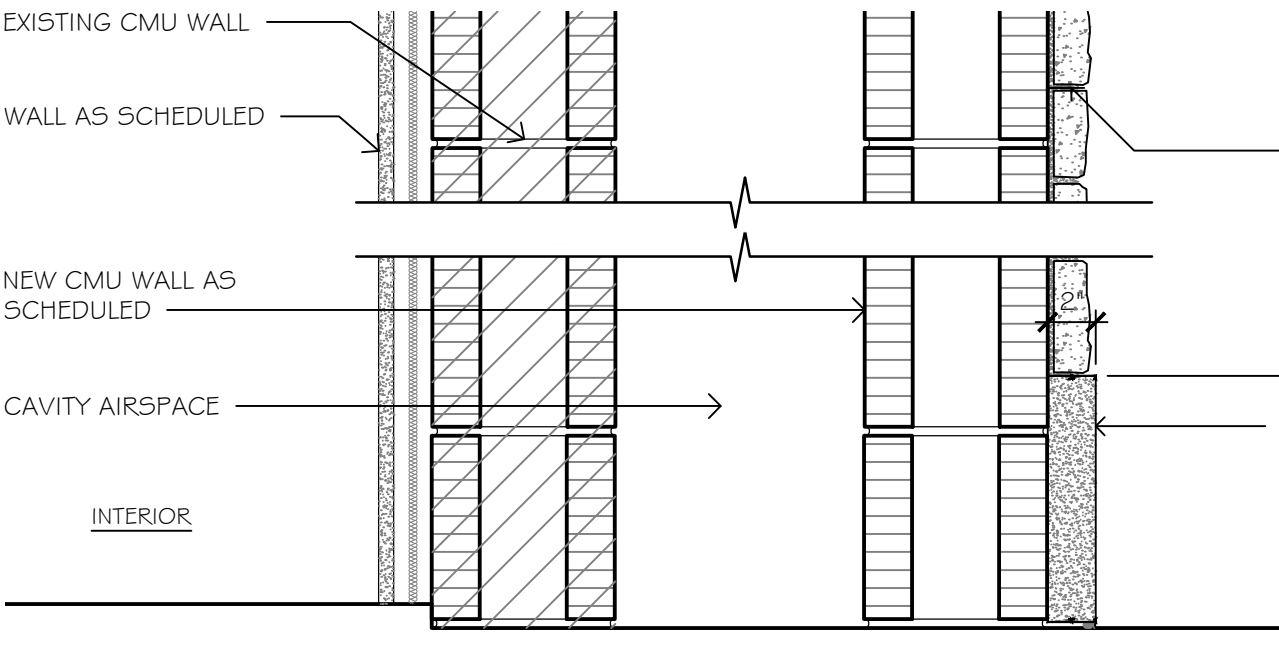
B4 TYP. DRAIN DETAIL
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A4 ROOF PENETRATION TYP. DETAIL
NOT TO SCALE



B5 TOWER DETAIL
1 1/2\"/>

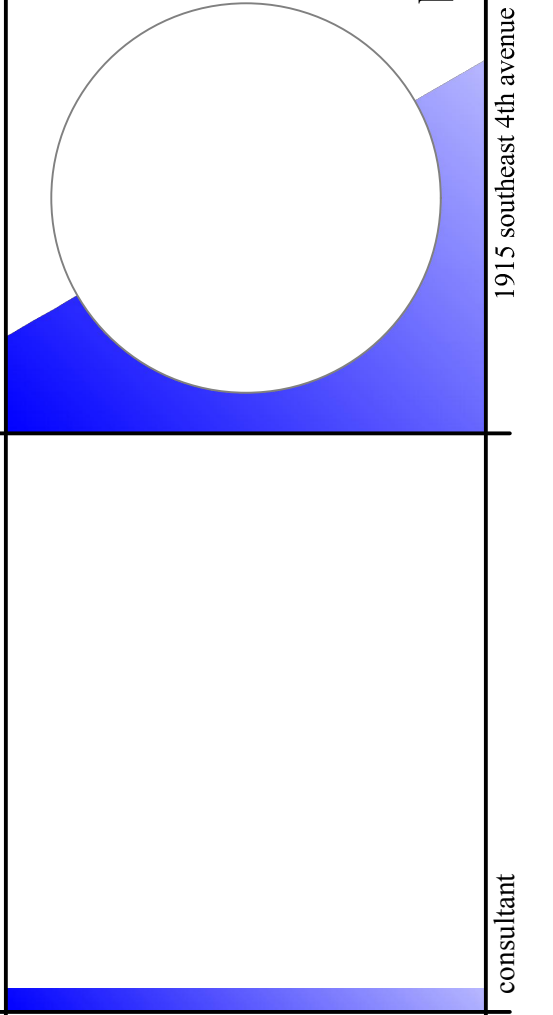


A5 BANDING / VENEER DETAIL
1 1/2\"/>



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DESIGNED DRAWN CHECKED
JPB EJB JPB

DATE: 07.06.18 COMM: 170214

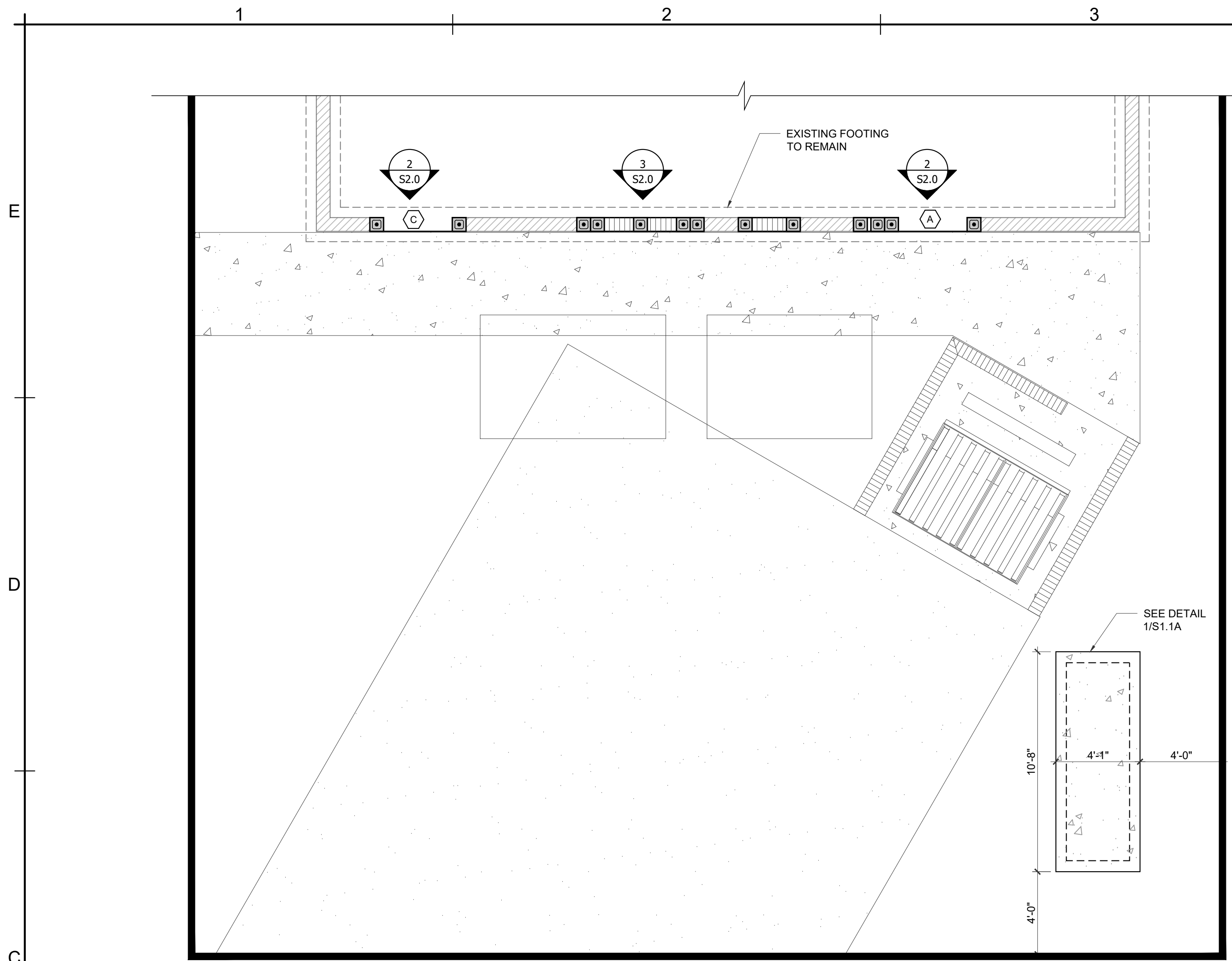
REVISIONS

NO.	DATE	DESCRIPTION
01	09.14.18	BIDDING COMMENTS
02	06.20.19	CONSTRUCTION COORDINATION

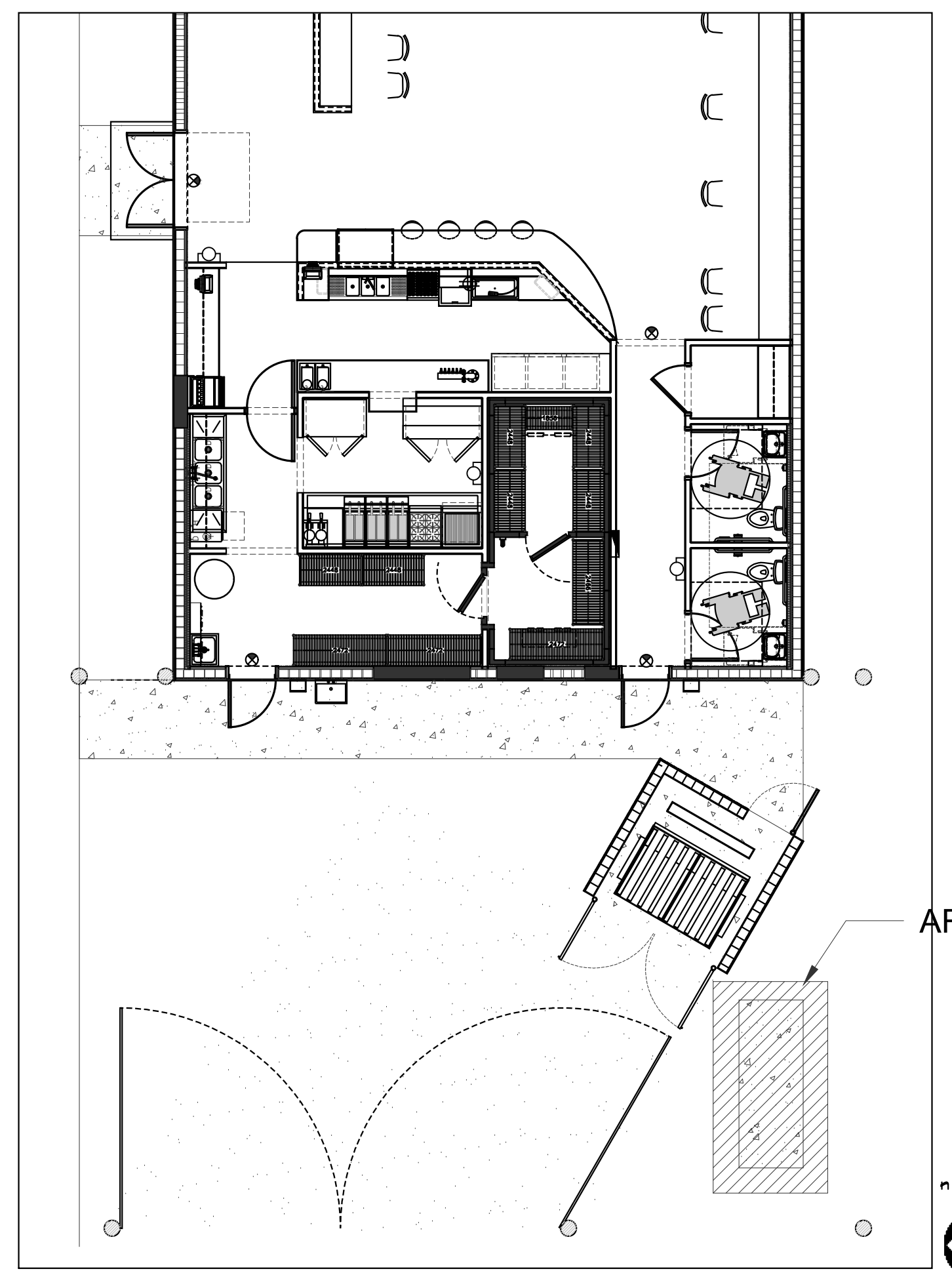
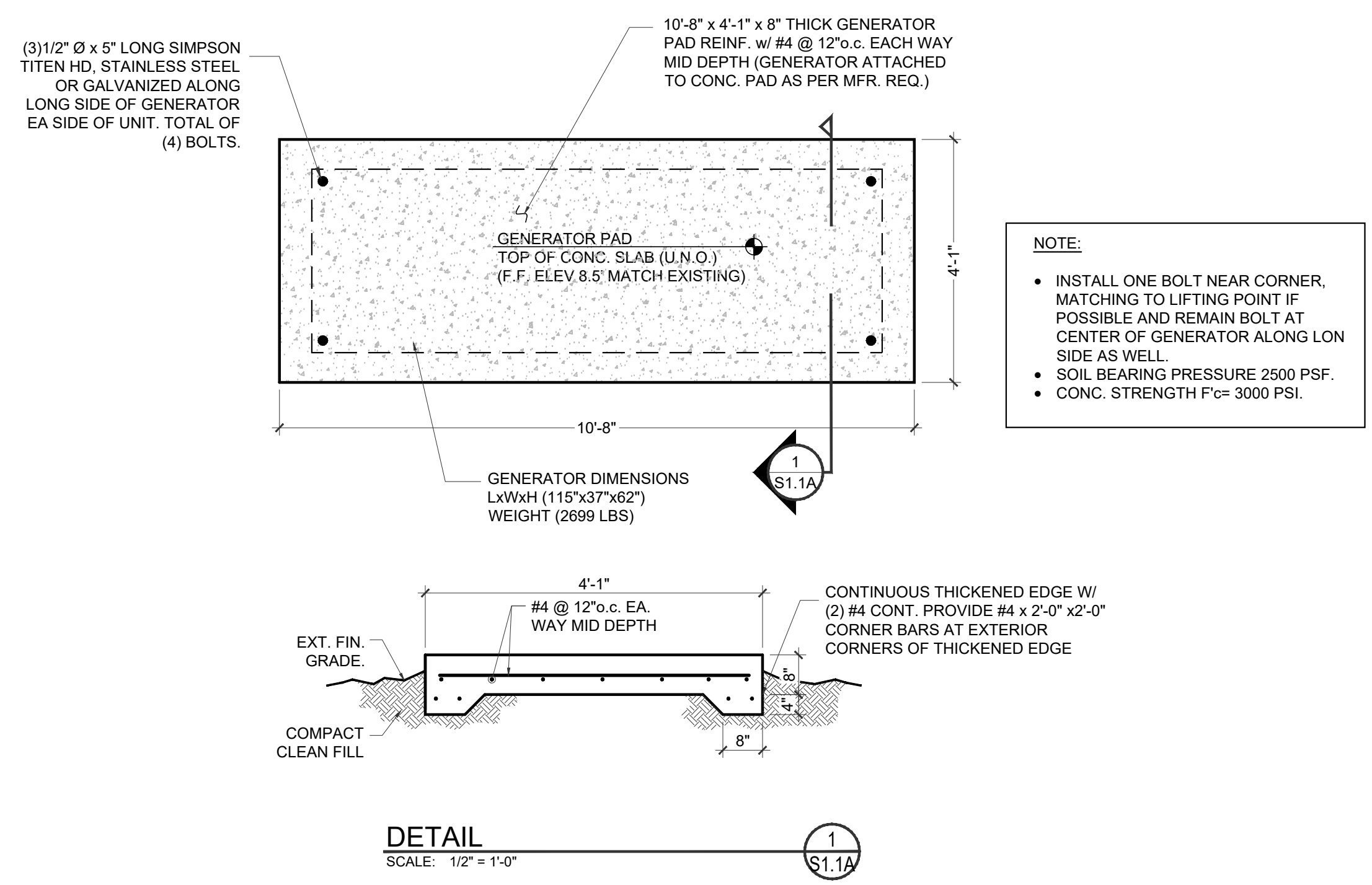
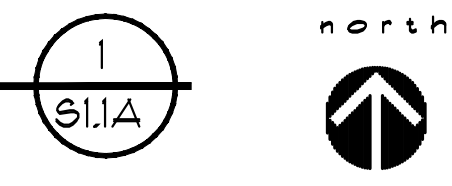
EXTERIOR & ROOF DETAILS

CONSTRUCTION DOCUMENTS

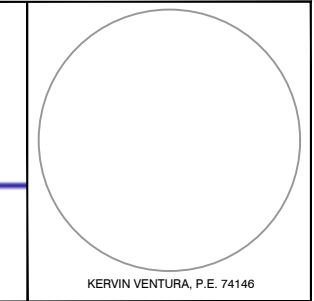
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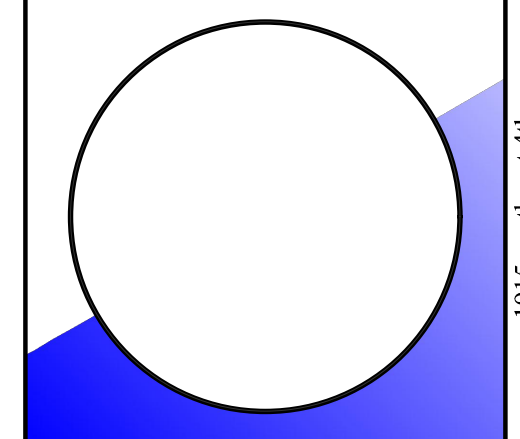
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



NEW SHEET



BUILDING IMPROVEMENTS FOR:
SMITTY'S WINGS

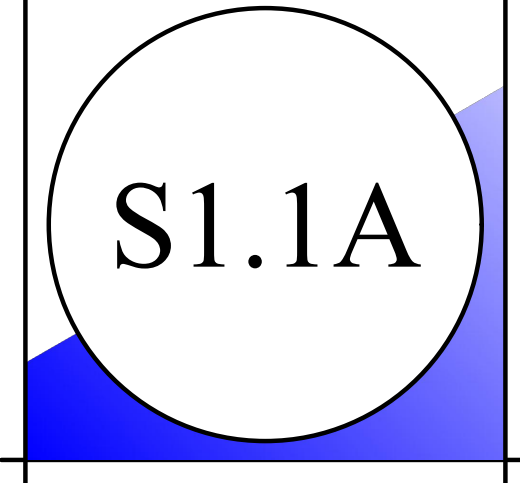


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JPB	EJB	JPB
DATE:	COMM:	
07.06.18	170214	

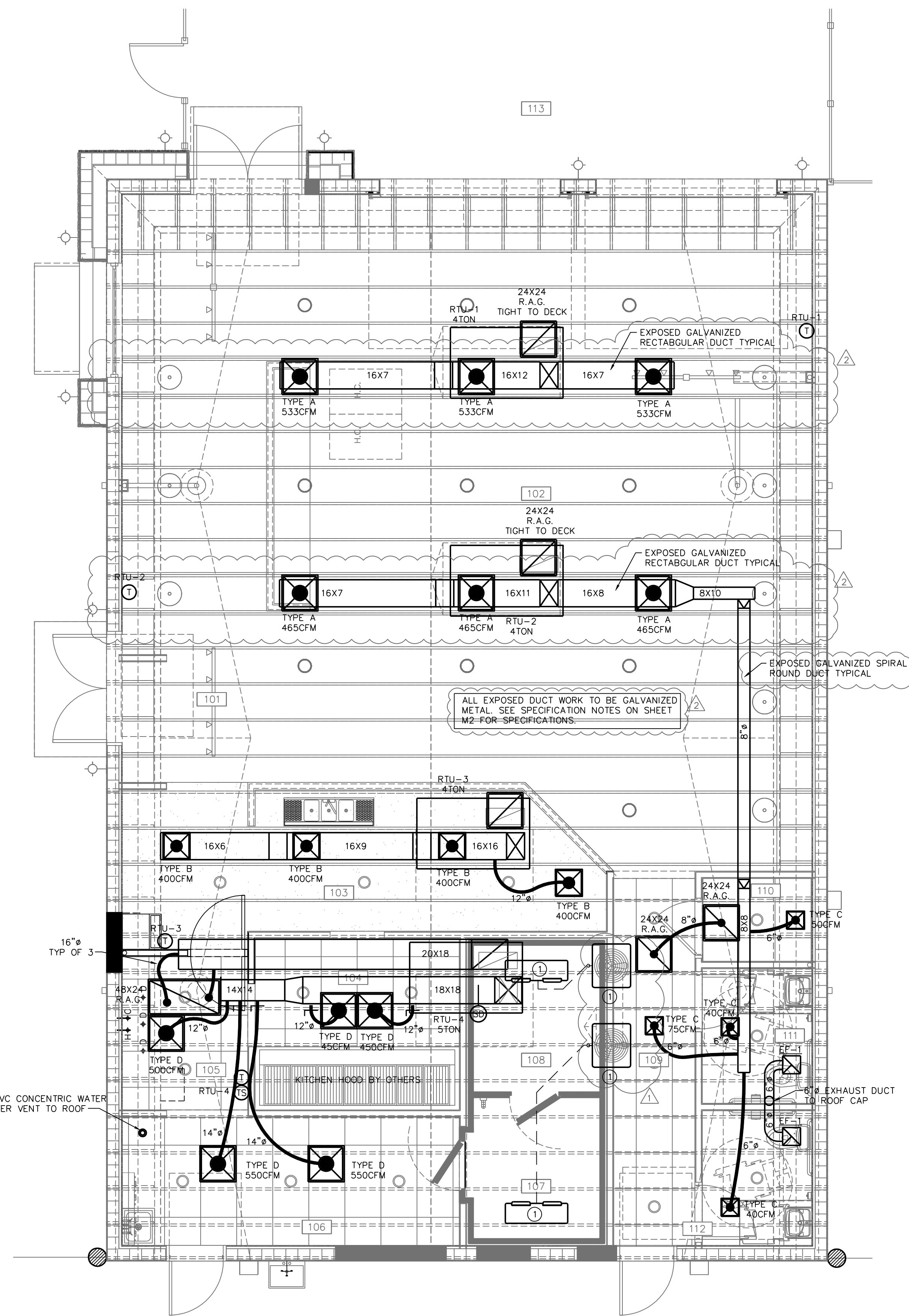
REVISIONS
△ OWNER'S REVISION 07-18-19

FOUNDATION PLAN

CONSTRUCTION DOCUMENTS



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ib # 26001020 as # 26001030



H.V.A.C. LEGEND	
EXISTING (RIGID DUCT)	===
EXISTING (RIGID DUCT REMOVED)	---
NEW (RIGID DUCT)	====
EXISTING FLEX	- - - -
EXISTING FLEX TO BE REMOVED	- . - .
NEW FLEX TO MATCH EXISTING WITH SPIN IN COLLARS/M.V.D.	— / —
NEW OR RELOCATED DIFFUSER	⊠
EXISTING DIFFUSER	⊠
NEW OR RELOCATED RETURN AIR GRILLE	⊠
EXISTING RETURN AIR GRILLE	⊠
DIFFUSER TO BE RELOCATED/REMOVED	⊠
RETURN TO BE REMOVED/RELOCATED	⊠
NEW OR RELOCATED EXHAUST FAN	⊠
NEW OR RELOCATED EXHAUST GRILLE	⊠
LINEAR GRILLE (EXISTING)	— — —
LINEAR GRILLE (NEW)	— — —
SPIN IN COLLAR W/M.V.D.	+
SMOKE DETECTOR	⊙
THERMOSTAT	⊙
TEST SWITCH	⊙
TRANSFER GRILLE	— — —
SIDE WALL DIFFUSER	— — —
RETURN AIR FIRE DAMPER (EXIST.)	— — —
RETURN AIR FIRE DAMPER (NEW)	— — —
FIRE DAMPER (NEW)	— — —
FIRE DAMPER (EXIST)	— — —
COLD WATER RETURN	—CWR—CWR—CWR—
COLD WATER SUPPLY	—CWS—CWS—CWS—
CO2 SENSOR - SUBMIT SHOP DWGS PROVIDE SENSOR & CONTROLLER	⊙
MOTORIZED DAMPER	MOD
EXISTING TO REMAIN THE SAME	ERS
RETURN AIR GRILLE	R.A.G.
FIRE DAMPER	FD
RETURN AIR FIRE DAMPER	RAFD
EXHAUST FAN	EF
LINEAR DIFFUSER	LD
LINEAR RETURN	LR
REMOVE	REM
RELOCATE	REL
EXISTING	(E)
NEW	(N)

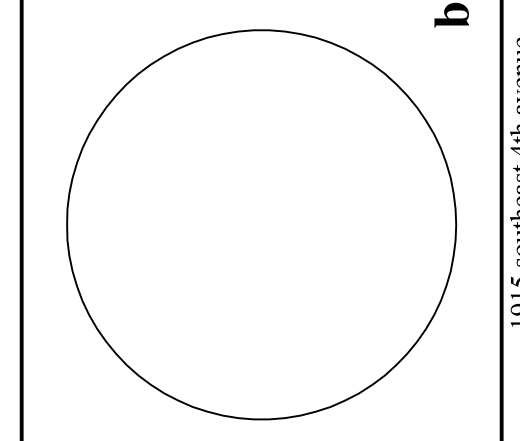
NOTE: SOME ITEMS MAY NOT BE USED IN THE DRAWING

1 MECHANICAL PLAN
SCALE: 1/4"=1'-0"

KEYED NOTES
1 COOLER/FREEZER AND ICE MAKER CONDENSERS/EVAPORATOR BY OTHERS. VERIFY FINAL LOCATION OF CONDENSERS IN FIELD.

loucks engineering inc.
consulting engineers
E. PILHUJ P.E. FL REG 49832
ESIGN SERIAL NO: 48 AD 4A 48 64 DC 67 99 76 08
G. INOA ALVAREZ P.E. FL REG 74056
321 e commercial Blvd. Ft. Lauderdale, FL 33334
TEL (954) 938-1881 FLA. REG. #EB-0003306

BUILDING IMPROVEMENTS FOR:
SMITTY'S WINGS



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DESIGNED	DRAWN	CHECKED
JPB	EJB	JPB
DATE:	COMM:	
07.06.18	170214	

REVISIONS

△	BLDG DEPT COMM	01/09/2019
△	COORDINATION	07/10/2019

MECHANICAL PLAN
CONSTRUCTION DOCUMENT

M1
JOB #18191

GENERAL MECHANICAL NOTES

- ALL WORK EXECUTED UNDER THESE OFFICIAL DOCUMENTS SHOULD BE PERFORMED BY A LICENSED AND INSURED MECHANICAL CONTRACTOR AND BE IN COMPLIANCE WITH THE LATEST FLORIDA BUILDING CODE (FBC), SHEET METAL & AIR CONDITIONING CONTRACTOR'S ASSOCIATION (SMACNA) STANDARDS, AND ALL OTHER APPLICABLE STATE AND LOCAL CODE.
- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANSHIP MANNER TO PRODUCE A COMPLETE SYSTEM THAT IS FULLY BALANCED, AND ADHERES TO ALL APPLICABLE CODES AND REGULATIONS.
- MECHANICAL CONTRACTOR SHALL PROVIDE A WRITTEN GUARANTEE THAT THE COMPLETE SYSTEM INSTALLED IS FREE OF DEFECTS OF MATERIALS AND WORKMANSHIP FOR A PERIOD OF A YEAR AFTER THE WORK IS COMPLETE AND TURNED OVER TO THE OWNER.
- THE MECHANICAL CONTRACTOR IS RESPONSIBLE TO OBTAIN HIS OWN PERMIT AND PAY ALL PERMIT AND INSPECTION FEES.
- AT THE COMPLETION OF THE PROJECT THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A SET OF PRINTS CLEARLY MARKED, DEPICTING ALL AS-BUILT CONDITIONS TO THE ENGINEER FOR RECORD.
- CONTRACTOR SHALL PAY SPECIAL ATTENTION TO OWNER EQUIPMENT, FURNITURE, AND CARPETING TO PREVENT CONTAMINATION BY COVERING AND WRAPPING FURNITURE AND EQUIPMENT. ALL WASTE AND DEBRIS SHALL BE REMOVED AT THE END OF EACH DAY TO MAINTAIN ACCEPTABLE INDOOR AIR QUALITY LEVEL DURING THE CONSTRUCTION.
- ANY PORTION OF EXISTING BUILDING (FLOOR, WALL, CEILING, OR ROOF) THAT IS AFFECTED BY EITHER REMOVAL, RELOCATION OR INSTALLATION OF A NEW EQUIPMENT SHALL BE REPAIRED AND MATCHED FINISHED EXISTING CONDITIONS ACCORDING TO ARCHITECTURAL DRAWINGS OR SPECIFICATIONS.
- WHEREVER DUCT RUNS THROUGH STRUCTURAL ELEMENT SUCH AS BEAM PRECAUTION SHALL BE TAKEN TO COORDINATE WITH OTHER TRADES TO RELOCATE OR TO PROVIDE NECESSARY SLEEVE BEFORE CONCRETE IS BEING POURED.
- SUPPLY 6 COPIES OF SHOP DRAWINGS FOR REVIEW TO ARCHITECT. NO EQUIPMENT IS TO BE ORDERED PRIOR TO THEIR APPROVAL.
- MECHANICAL CONTRACTOR TO PROVIDE TWO (2) COMFORT BALANCE VISITS TO SUIT THE NEEDS OF THE CLIENTS.
- OPENINGS AND DUCT TRAVELING THROUGH FIRE RATED WALL, TENANT DEMISING WALL, MECHANICAL AND ELECTRICAL ROOM, WALL AND FLOOR PARTITION, FLOOR AND ROOF SLAB SHALL BE INSTALLED WITH "B"-FIRE DAMPER.
- COMMERCIAL - CONTRACTOR TO PROVIDE CARBON DIOXIDE "CO2" SENSOR TO MONITOR OCCUPIED SPACE AIR QUALITY OF ROOM AIR. THE CONTROL SEQUENCE IS AS FOLLOWS:
 - AIR CONDITIONING UNIT EVAPORATOR FAN TO RUN CONTINUOUSLY WITH CO2 SENSOR INTERCONNECT TO A/C UNITS OUTSIDE AIR, EXHAUST DAMPER AND A/C UNIT COMPRESSOR. A/C UNIT EVAPORATOR INDOOR FAN TO RUN CONTINUOUSLY.
 - PROVIDE HARD WIRE INTERFACE TO INTERLOCK MOTORIZED OUTSIDE AIR, AND EXHAUST DAMPERS TO OPEN, AND ENERGIZE A.C. UNITS COMPRESSOR TO RUN UPON SIGNAL FROM CO2 SPACE SENSOR WHEN SPACE CONDITION AT OR ABOVE 800 P.P.M.
 - MOTORIZED OUTDOOR DAMPERS SHALL CLOSE UPON LEVELS BELOW 500 P.P.M. AND ON SHUTDOWN OF SPACE AIR CONDITIONING UNITS. FOR MULTIPLE SPACE UNITS MOTORIZED DAMPER FRESH AIR SHALL BE LOCATED AT UNITS RETURN AIR PLENUM. INTAKE. CONTRACTOR TO PROVIDE CO2 SENSOR SHOP DRAWING AND CONTROLLER.
- MOTORIZED DAMPERS REQUIRED ON EXHAUST AND OUTDOOR SUPPLY DUCTS THAT WILL AUTOMATICALLY SHUT OFF WHEN THE SYSTEMS OR SPACES SERVED ARE NOT IN USE. PER FBC 2017 - 403.2.4.3 ENERGY CONSERVATION
- H.V.A.C. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A FULLY OPERATIONAL AND BALANCED SYSTEM THAT ADHERES TO ALL APPLICABLE CODES AND REGULATIONS.
- CONTRACTOR TO PROVIDE CERTIFIED TEST AND BALANCE FOR ALL SYSTEMS
- IN CEILINGS BEING USED AS A PLENUM, COMBUSTIBLES OR COMBUSTIBLE CONSTRUCTION SHALL NOT BE ALLOWED.

SITE VISIT

- MECHANICAL CONTRACTOR IS DULY REQUIRED TO VISIT PROJECT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS. HE OR SHE SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY AT ONCE. FAILURE TO DO SO, THE MECHANICAL CONTRACTOR IS PROCEEDING AT HIS OWN RISK.
- DESIGN THAT IS CALLED FOR NEW DUCT OR PIPING TO BE CONNECTED TO EXISTING SYSTEM REQUIRES THE CONTRACTOR TO VERIFY EXISTING DUCT & PIPING SIZE BEFORE FABRICATION AND INSTALLATION.
- WHenever INTERFERENCE OR CONFLICT OCCURS WITH THE PROPOSED DESIGN, BEFORE PROCEEDING TO ANY CHANGE OR DEVIATION FROM THE EXISTING BID, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR THE CHANGE INCLUDED A DETAILED DRAWING FOR APPROVAL FROM ARCHITECT/ ENGINEER.
- CONTRACTOR SHALL CONSULT WITH STRUCTURAL ENGINEER WHEN CUTTING OR MAKING OPENING IN ANY BUILDING COMPONENT. CONTRACTOR SHALL VERIFY THAT STRUCTURAL INTEGRITY OF THE BUILDING IS NOT BEING COMPROMISED.
- POST TENSION STRUCTURAL SLAB: NO CUTTING OR DRILLING SHALL BE TAKEN PLACE WITHOUT THE X-RAY OF THE SLAB AND THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OF THE BUILDING.

EXISTING HVAC SYSTEM

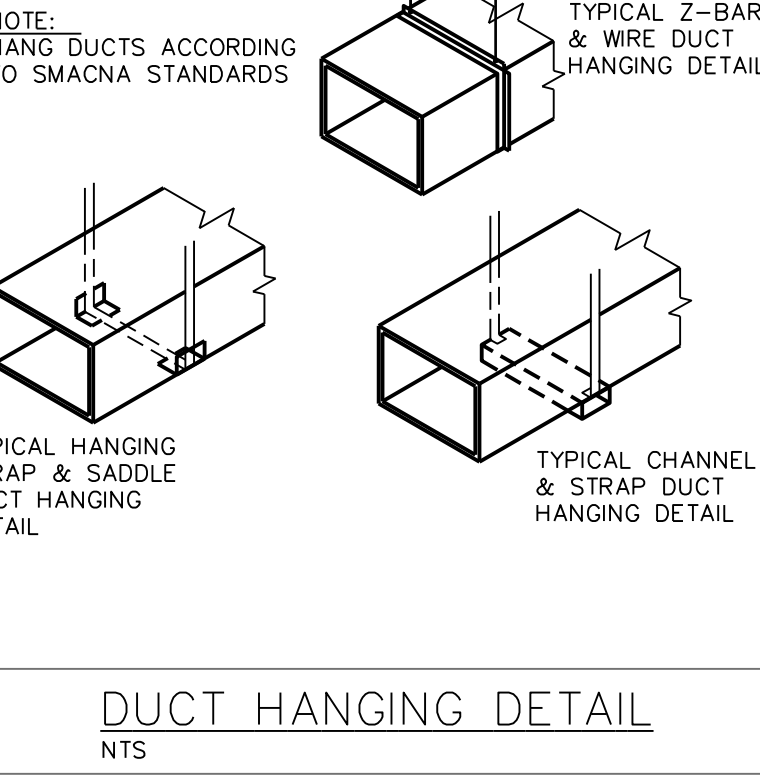
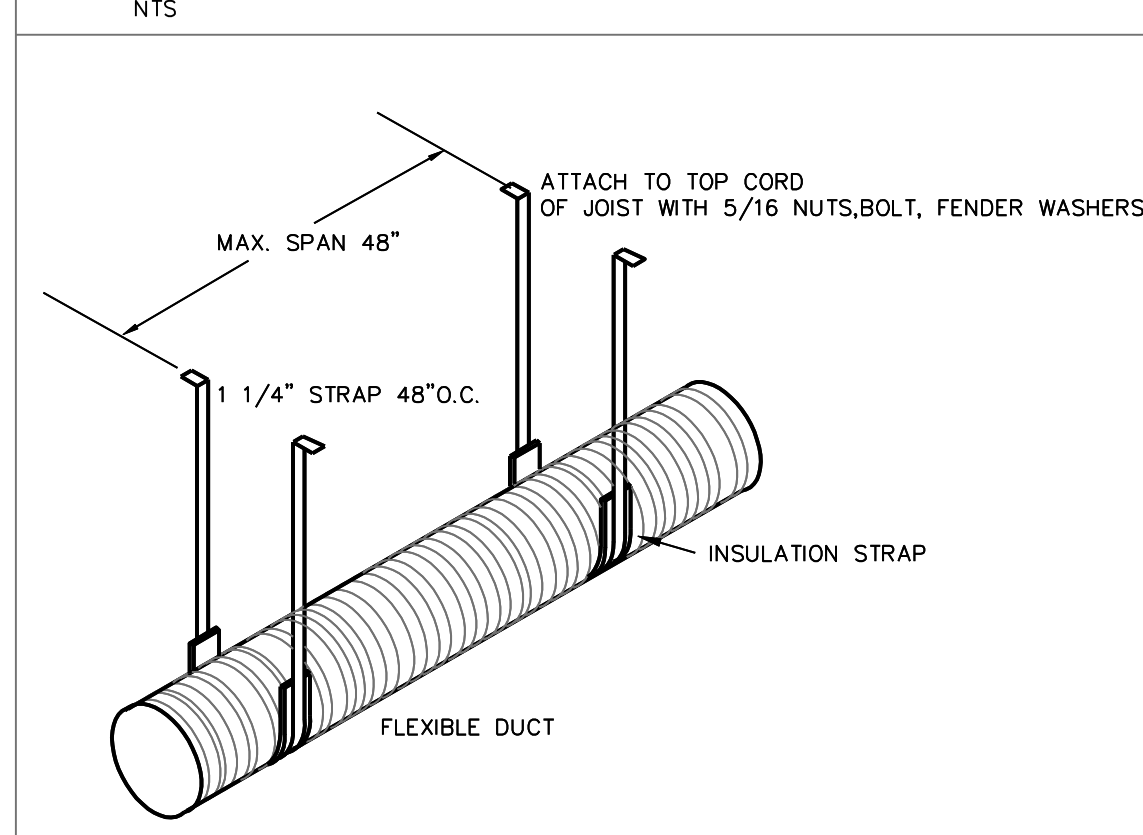
- MECHANICAL CONTRACTOR MUST CHANGE THE AIR FILTER IN ALL WORKING AIR CONDITIONING UNIT DURING CONSTRUCTION EVERY 21 DAYS OR LESS DEPENDING ON THE AMBIENT ENVIRONMENT TO PREVENT AIR CONTAMINATION, EQUIPMENT FAILURE SUCH AS BEARING FAILURE, DAMPER MALFUNCTION, ETC...
- AFTER CONSTRUCTION MECHANICAL CONTRACTOR IS TO VACUUM THOROUGHLY THE MECHANICAL ROOM TO REMOVE ALL DUSTY PARTICLES, INSPECT AND REPLACE AIR FILTERS, BEARINGS OR BELTS FOR OPTIMAL UNIT OPERATION.
- WHEN REUSING EXISTING AIR CONDITIONING THE CONTRACTOR MUST CLEAN THE COOLING AND THE CONDENSER COILS, CHECK AND ADJUST REFRIGERANT CHARGE TO ENSURE PROPER UNIT FUNCTION, VERIFY THE EXISTING CONDENSATE PIPING IS IN GOOD WORKING CONDITION, AND MAKE NECESSARY REPAIR. CONTRACTOR SHALL CHECK ALL ELECTRICAL COMPONENTS, TIGHTEN ALL ELECTRICAL CONNECTIONS FOR PROPER OPERATION.
- DETERIORATED DUCTWORK AND CEILING INSULATION SHALL BE REPLACED. ALL EXISTING DUCTWORK SHALL BE THOROUGHLY INSPECTED AND REPAIRED REMOVED EQUIPMENT THAT IS NOT BEING USED SHALL BE RETURNED TO THE OWNER.
- ANY EQUIPMENT THAT WAS TEMPORARILY DISCONNECTED WITH RESPECT TO A REMOVAL OF ANY OTHER DEVICE IT SHALL BE RECONNECTED TO THE EXISTING SYSTEM AND VERIFIED THAT IT IS FULLY OPERATIONAL.
- CONTRACTOR SHALL VERIFY EXISTING AIR CONDITIONING AND HEATING SYSTEMS ARE FUNCTIONING PROPERLY, ITS PERFORMANCE RANGE WITH RESPECT TO ITS VOLUME CAPACITY
- EQUIPMENT THAT IS LOCATED EXTERIOR OF THE BUILDING SHALL BE PROPERLY TIED DOWN AND BE ABLE TO WITHSTAND A 170 MILES/HR FORCE WIND.

SPECIFICATION NOTES:

A/C: NEW ROOFTOP PACKAGED UNITS. SEE RTU SCHEDULE FOR DETAILS.

DUCTWORK:
 (EXPOSED) SPIRAL ROUND DUCT - GALVANIZED S.M.A.C.N.A. STANDARD INNER LINED R=6 DUCT SUPPORTED @ 48" O.C.
 (EXPOSED) RECTANGULAR METAL DUCT - S.M.A.C.N.A. LOW PRESSURE RECTANGULAR GALVANIZED DUCT, INNER LINER, PROVIDE 1.5" R=6, SUPPORTED 48" O.C., AT ALL TURNS AND TRANSITIONS. MASTIC SEAL ALL SEAMS
 RIGID - FOIL FACED BACKED FIBERGLASS R=6 AT 1.5", SUPPORTED 48" O.C., AT ALL TURNS, TURNS AND TRANSITIONS. TAPED AND MASTIC SEALED ALL SEAMS.
 FLEX- U.L. CLASS ONE AIR DUCT, R6 SUPPORT 48" O.C. PROVIDE SPIN IN COLLARS WITH M.V.D. WHEN ACCESSIBLE OR WITH SCOOP WHEN NOT ACCESSIBLE. TIE WRAP INNER LINER TWICE AND TAPE AND MASTIC SEAL OUTER LINER TAKING CARE NOT TO COMPRESS INSULATION.
 TYPICAL SUPPLY BRANCH WITH CONICAL TAP, ROUND TO RECTANGULAR TRANSITION TO RECTANGULAR DIFFUSER.
 PROVIDE A VOLUME DAMPER ON THE SUPPLY, RETURN AND EXHAUST DUCTWORK ABOVE LAI-IN-CEILING OR AS INDICATED ON PLANS.
 ALL DUCT WORK DIMENSIONS ARE INTERIOR DIMENSIONS. ALLOW FOR 2 INCH INSULATION THICKNESS FOR EXTERIOR DIMENSIONS.
EXHAUST:
 GALVANIZED RECTANGLE DUCT OR ROUND SNAP LOCK METAL DUCT WILL BE INSTALLED WITH DUCT SUPPORTS AT 48 INCHES ON CENTER, INSULATE WITH R=6 FOIL FACED INSULATION WRAP U.L. AS REQUIRED.
 EF-1: BROAN XB80 80 CFM @ 0.250" SP, 120V, 0.3 AMPS
 NOTE: ALL FRESH AIR, OUTSIDE MAKE AIR TO BE INSULATED WITH 1.5" DUCT WRAP, PROVIDE COLLARS AT BRANCH TAKE OFF'S.
DIFFUSER:
 TYPE A - METALARE 5500, 4-WAY, 18X18 NECK SIZE, 24X24 OVERALL FACE SIZE, W/ OPPOSED BLADE DAMPER
 TYPE B - METALARE 5500, 4-WAY, 15X15 NECK SIZE, 21X21 OVERALL FACE SIZE, W/ OPPOSED BLADE DAMPER
 TYPE C - METALARE 5500, 4-WAY, 6X6 NECK SIZE, 12X12 OVERALL FACE SIZE, W/ OPPOSED BLADE DAMPER
 TYPE D - METALARE 5800, 4-WAY, 24X24 FACE SIZE, SEE PLAN FOR NECK/FLEX SIZE
RETURN: METALARE RH
THERMOSTAT: COMMERCIAL 24/7 PROGRAMMABLE HONEYWELL W/ CLEAR LOCKABLE BOX
SMOKE DETECTORS: IONIZATION TYPE CARRIER, BRK. WIRE UNIT FOR SHUTDOWN UPON ACTIVATION, PROVIDE TEST SWITCH, VISUAL AND AUDIBLE ALARM.

ROUND FLEX DUCT HANGING DETAIL



DUCT HANGING DETAIL
NTS

VENTILATION REQUIREMENTS FMC TABLE 403.3.1.1

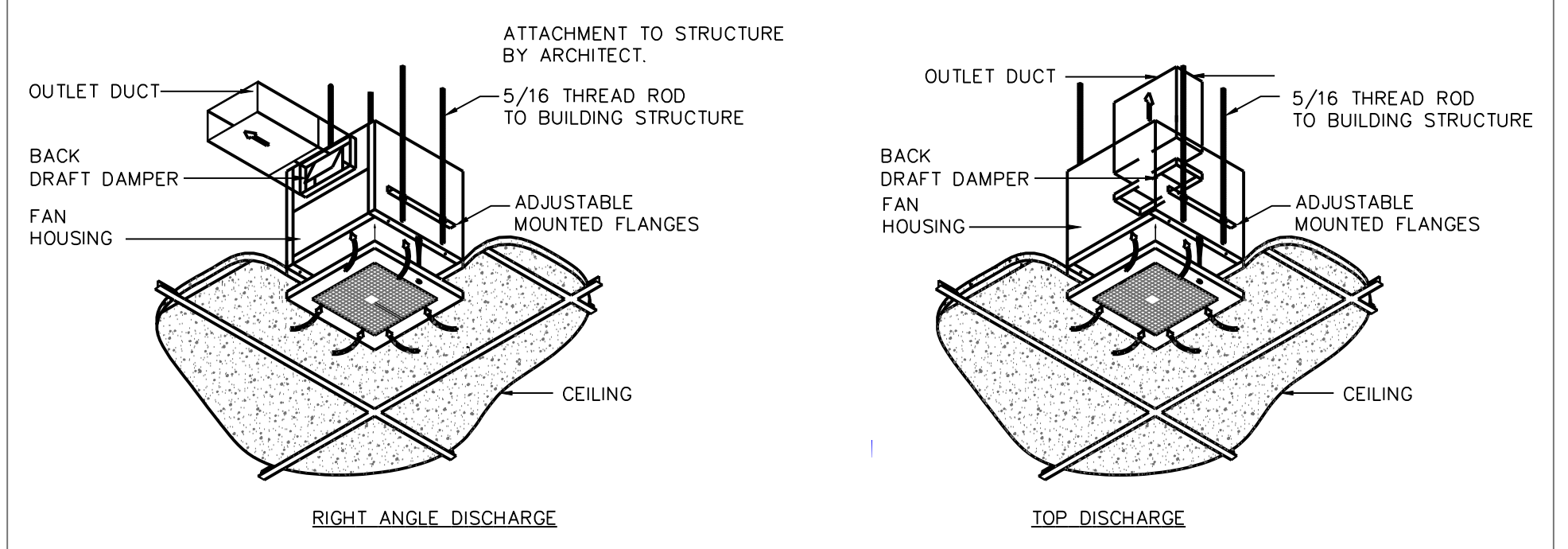
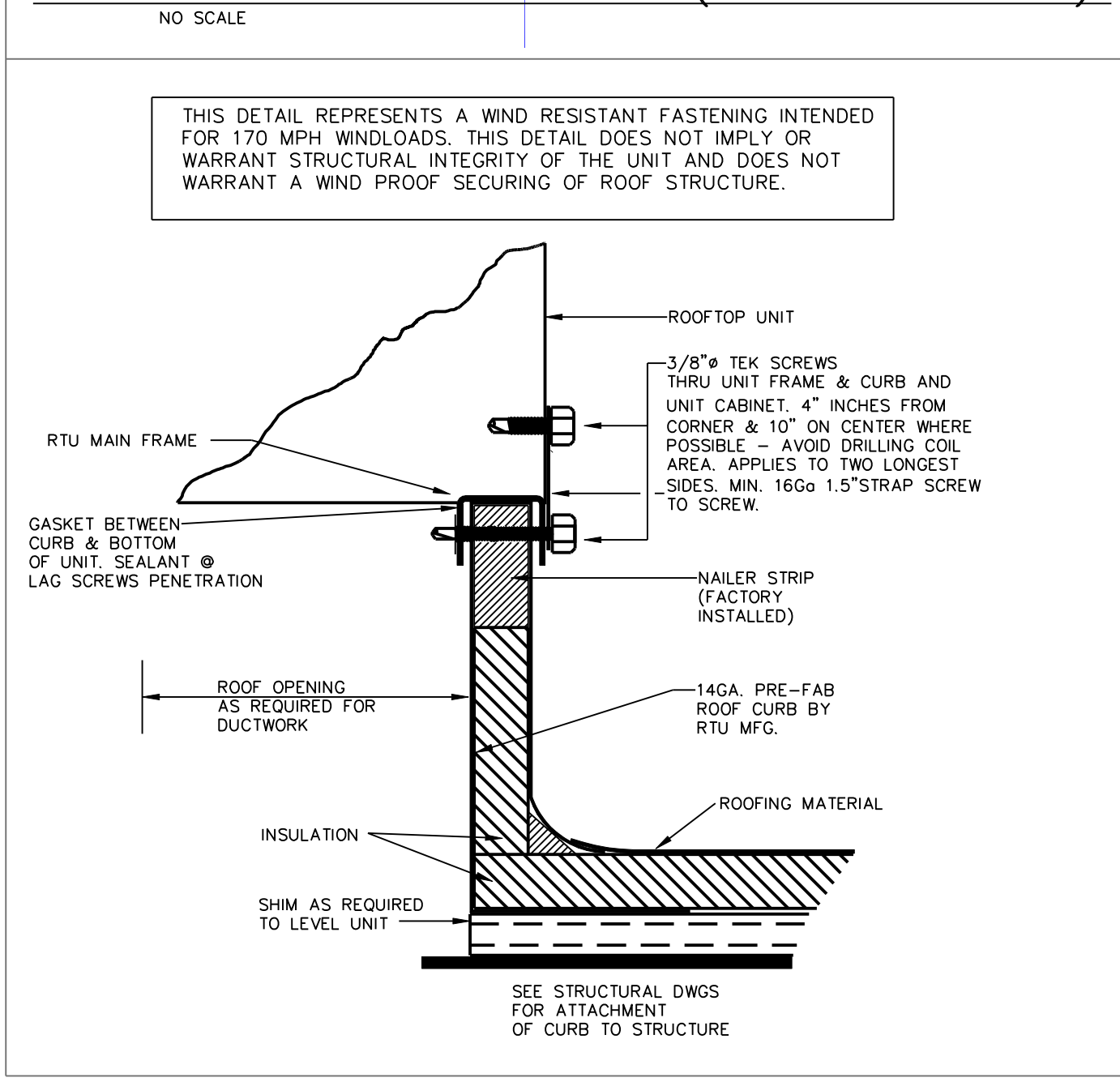
UNIT	SPACE	FLOOR AREA (SQ.FT.)	DEFAULT OCCUPANCY (P/1000SQ.FT.)	TOTAL OCCUPANTS (P)	REQUIRED OUTDOOR AIR (CFM/P)	REQUIRED OUTDOOR AIR (CFM/SQ.FT.)	TOTAL OUTDOOR AIR REQUIRED (CFM)
RTU-1&2	DINING	1320	N/A	71	7.5	0.18	770.1
	OFFICE	32	N/A	1	5	0.06	6.9
	HALLWAY	94	N/A	N/A	N/A	0.06	5.6
							782.6
							RTU-1: +392
							RTU-2: +392
RTU-3&4	KITCHEN	309	N/A	N/A	N/A	N/A	N/A
	BAR SERVICE	208	15	N/A	7.5	0.12	48.4
							RTU-3: +165
							RTU-4: +300
KEF-1	KITCHEN HOOD	N/A	N/A	N/A	N/A	N/A	-1000
KMUA-1	KITCHEN HOOD	N/A	N/A	N/A	N/A	N/A	+500
EF-1	KITCHEN HOOD	N/A	N/A	N/A	N/A	N/A	-160
							BLDG BALANCE = +589

RTU SCHEDULE

TAG	CARRIER MODEL	CARRIER MODEL
	50KC*A05	50KC*A06
NOM TONS	4.0	5.0
VOLTAGE	208/1/60	208/1/60
SEER/EER	14.0 SEER	14.1 SEER
AMBIENT TEMP.	95F	95F
REFRIGERANT	R410-A	R410-A
COOLING ENTER DB/WB	80F/67"	80F/67"
TOTAL MBH	48.7	61.8
SENS. MBH	37.5	46.2
TOTAL CFM	1600	2000
COMPR. QTY./TYPE	1/SCROLL	1/SCROLL
COMPR. RLA - LRA	21.8 - 117.0	25.0 - 134.0
COND. FAN QTY./FLA - HP	1/1.5 - 1/4	1/1.4 - 1/4
EVAP. FAN/FLA - BHP	4.9 - 1.2	4.9 - 1.2
MCA	46	46
MOCP	50	60
DIMENSIONS (L,W,H)	75"x47"x34"	75"x47"x42"
WEIGHT (LBS.)	499	552
HEATER (KW)	6.5	6.5

SCHEDULE NOTES:
 - PROVIDE MOTORIZED DAMPER AT FRESH AIR INTAKES.
 - ENTERING AIR CONDITIONS: 80DBF/67WBF.

ROOFTOP UNIT MOUNTING & ANCHORING DETAIL (TEK SCREWS)



CEILING EXHAUST FAN DETAIL
NTS

MECHANICAL DETAILS & NOTES
1 N.T.S.

lucks engineering inc.
 consulting engineers
 E. PILHUJ P.E. FL REG 49832
 ESIGN SERIAL NO: 48 AD 4A 48 64 DC 67 99 76 08
 G. INOA ALVAREZ P.E. FL REG 74056
 321 e commercial blvd. Ft. Lauderdale, FL 33334
 TEL (954) 938-1881 FLA. REG. #EB-0003906

M2
 JOB #18191

BUILDING IMPROVEMENTS FOR:
SMITTY'S WINGS

FORT LAUDERDALE, FLORIDA

barranco gonzalez • architecture • planning • interior design
 fort lauderdale, fl 33316 phone: (954)961-7675 fax: (954) 961-7685 mail@barrancoarchitecture.com

1915 southeast 4th avenue Fort Lauderdale, FL 33316 phone: (954)961-7675 fax: (954) 961-7685 mail@barrancoarchitecture.com

DESIGNED	DRAWN	CHECKED
JPB	EJB	JPB
DATE:	DATE:	DATE:
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COORDINATION
07/10/2019

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DETAIL & NOTES
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