

HAZEN AND SAWYER 4000 HOLLYWOOD BLVD, SUITE 750N HOLLYWOOD, FLORIDA 33021



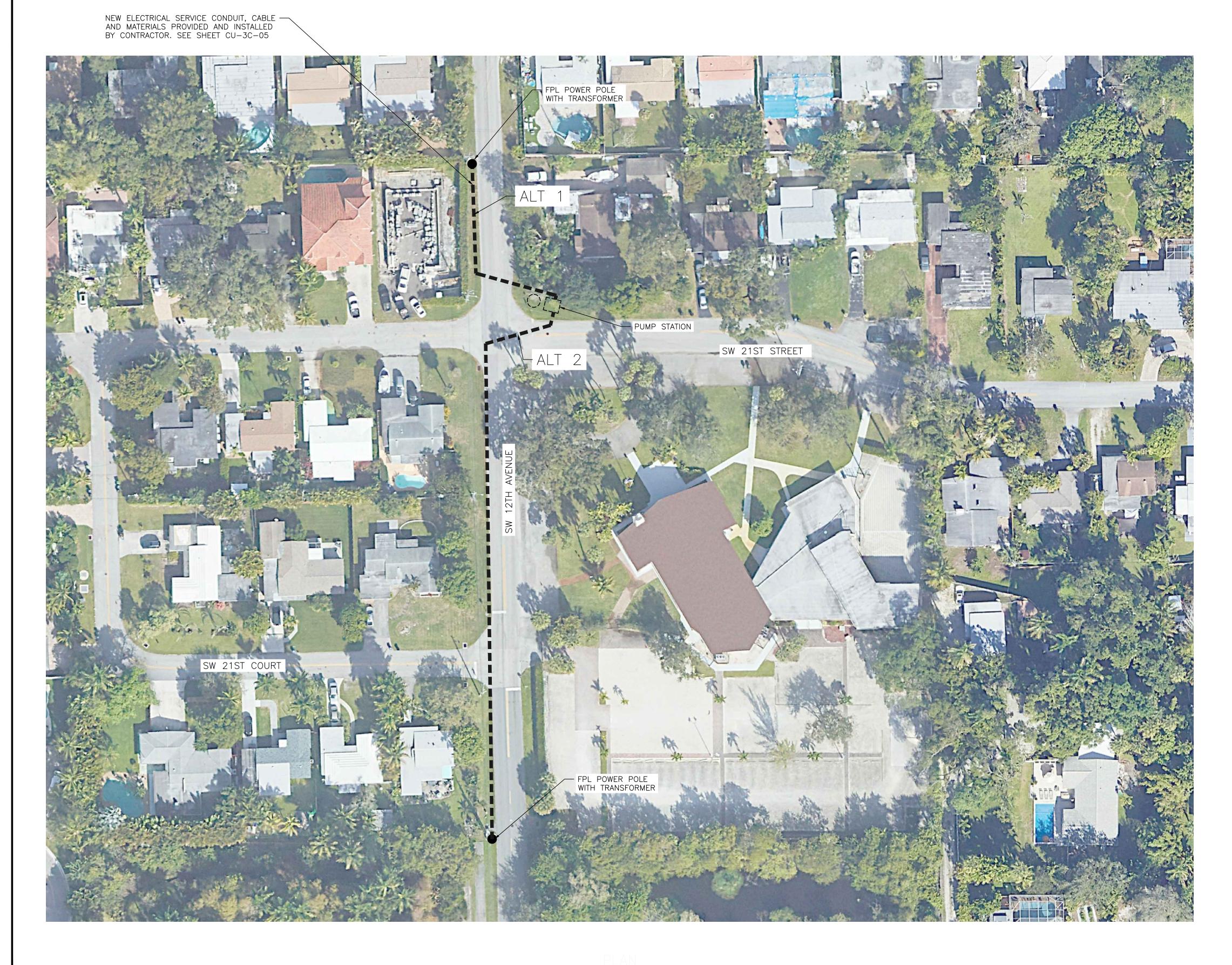
ENGINEERS • PLANNERS • SURVEYORS 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309 FAX: (954) 739-6409 TEL.: (954) 739-6400

FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS No. 271 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS No. C000114

CRAVEN • THOMPSON AND ASSOCIATES, INC.

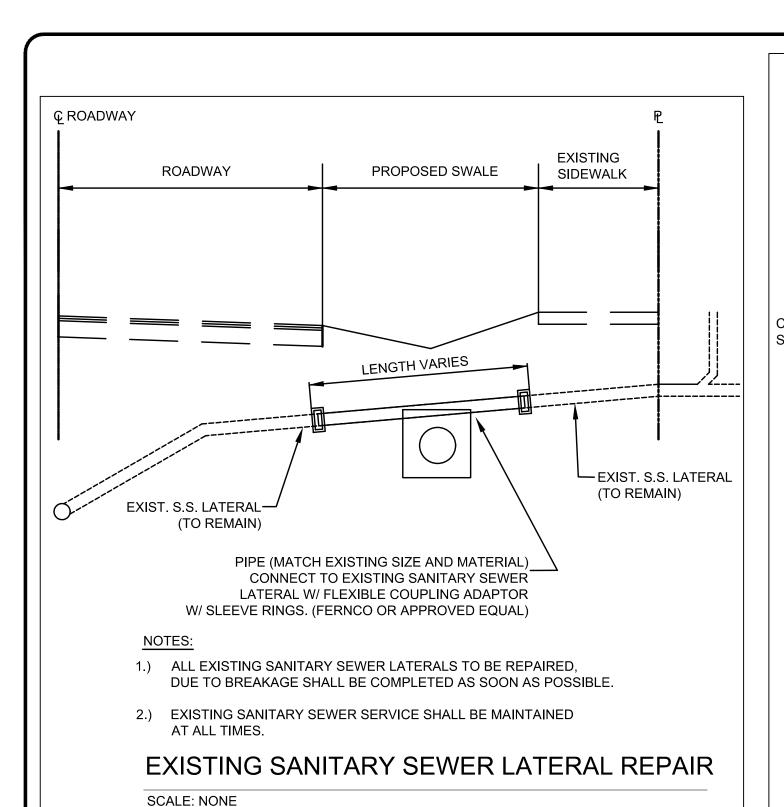
CU-3C-06 DRAWING FILE NO.

4-142-42



1" = 40'

CONTRACTOR SHALL COORDINATE WITH FPL TO ARRANGE FOR ELECTRICAL SERVICE FOR PUMP STATION. ALL COSTS ASSOCIATED WITH THESE COORDINATION EFFORTS SHALL BE INCLUDED IN THE BID ITEMS FOR THE MOPS STORMWATER PUMP STATION. FPL FEES SHALL BE REIMBURSED AT COST COST IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.



SQUARE CONC. COLLAR

SQUARE

NUT

PAVEMENT SECTION

2 #4 BARS CONTINUOUS AND

4 #4 BARS DIAGONAL (2" MIN.)

COVER FOR REINFORCING STEEL

ADJUSTABLE TWO PIECE

VALVE BOX CLOW No.

PROVIDE SOLID SHAFT

EXTENSION AS REQUIRED

F-2454 OR EQUAL.

ZIPPER TYPE PLASTIC

TIE STRAP (TYP.)

CITY OF FORT LAUDERDALE

North Andrews Avenue, Fort Lauderdale, Florida 33

PUBLIC WORKS DEPARTMENT

ENGINEERING DETAILS

CAST IRON STAY-PUT COVER, PROVIDE LETTERING "IRR", "SEWER" OR "WATER"

FINISH GRADE

WATR

015

3/4" CHAMFER ALL AROUND

FOR NON-METALIC PRESSURE MAINS:

DRILL HOLE IN VALVE BOX AND INSERT

LOCATING WIRE THROUGH TO INTERIOR OF OF VALVE BOX. LOCATING WIRE

SHALL HAVE A LENGTH SUFFICIENT TO

FOR NON-METALIC PRESSURE MAINS:

14 STRAND COLOR CODED LOCATING

WIRE TO BE INSTALLED ON THE

PRESSURE MAIN

OUTSIDE OF THE VALVE BOX

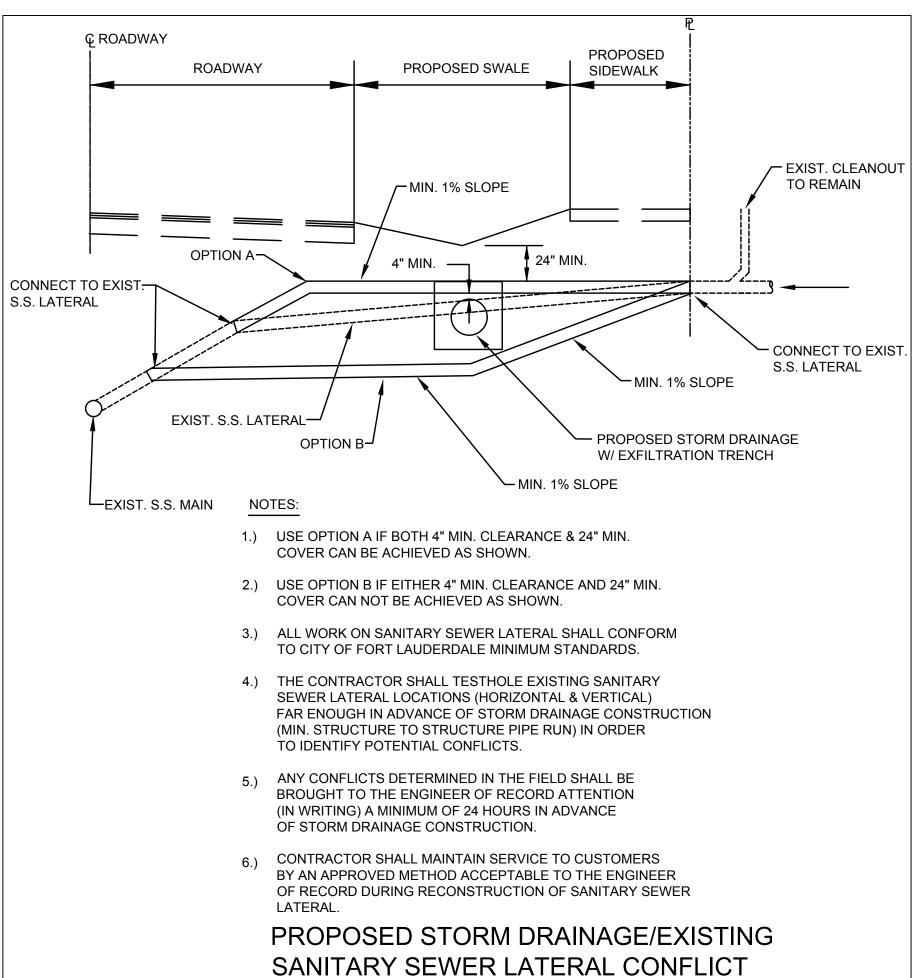
EXTEND 3' ABOVE GRADE

CONCRETE FOOTING

(L-3") x 16" x 8"

VALVE BOX

TO MATCH SERVICE



SCALE: NONE

2,500 P.S.I.

VALVE BOX AND COVER,

MATCH SERVICE

CITY OF FORT LAUDERDALE
PUBLIC WORKS DEPARTMENT

PUBLIC WORKS DEPARTMENT

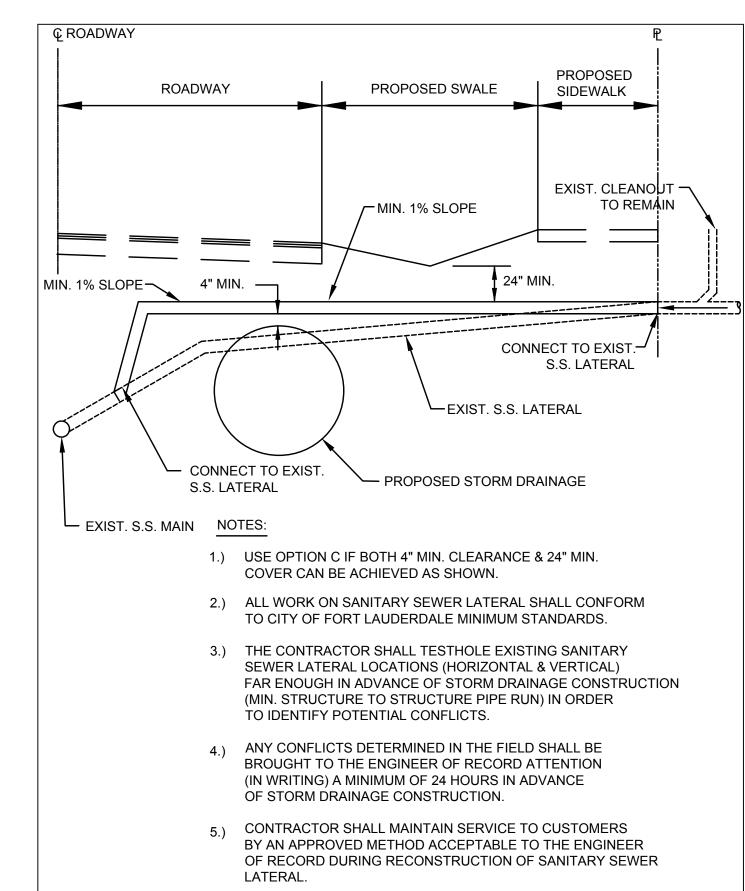
ENGINEERING DETAILS

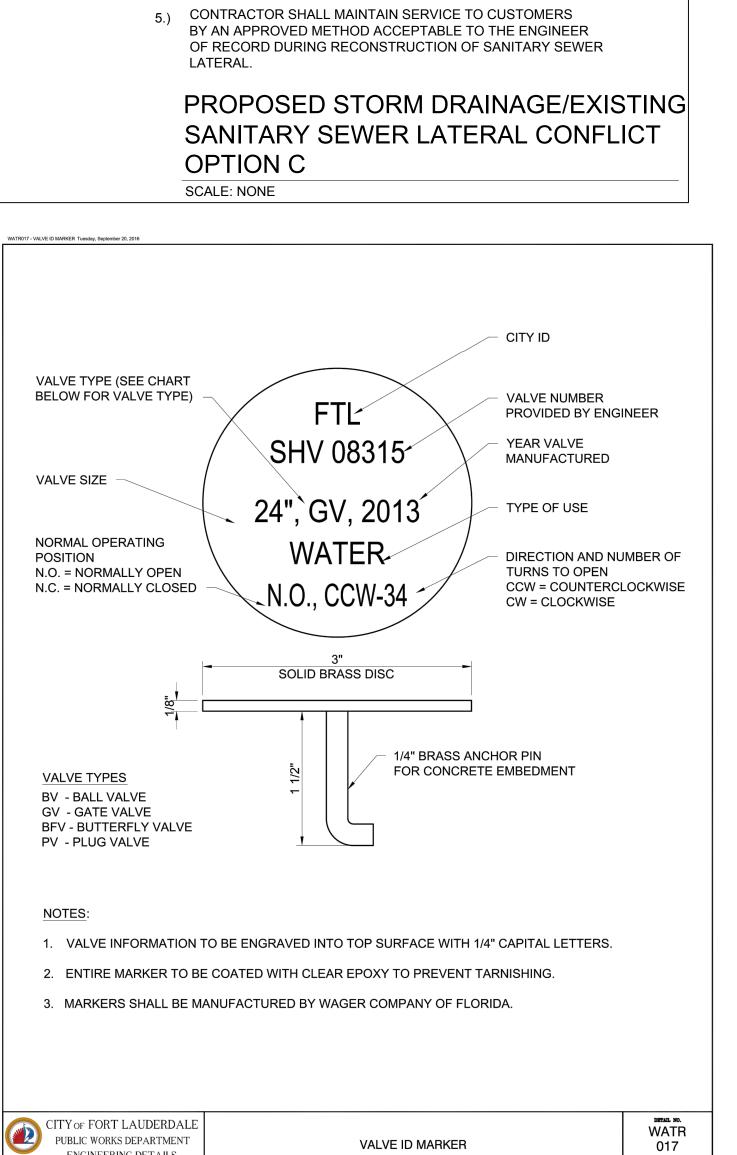
PROVIDE LETTERING "IRR",

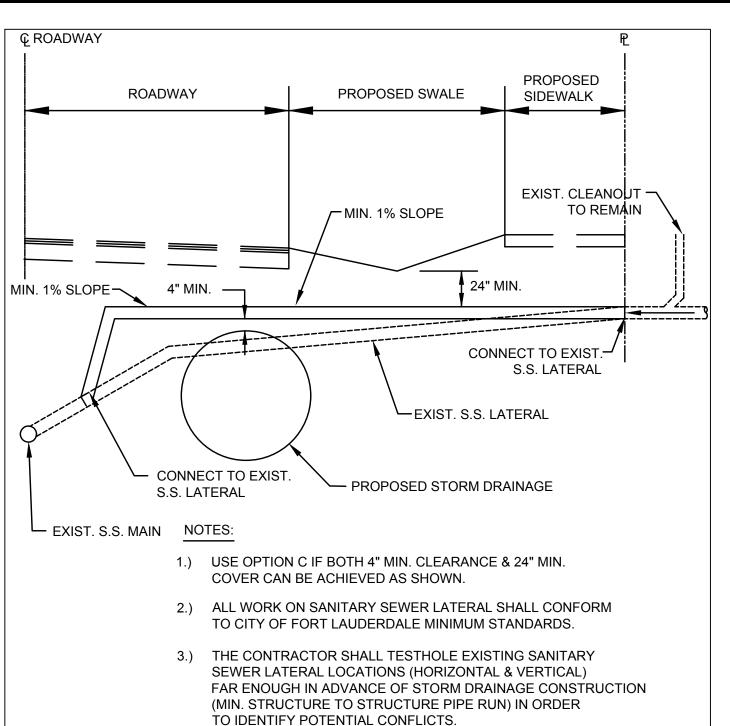
"SEWER", OR "WATER", TO

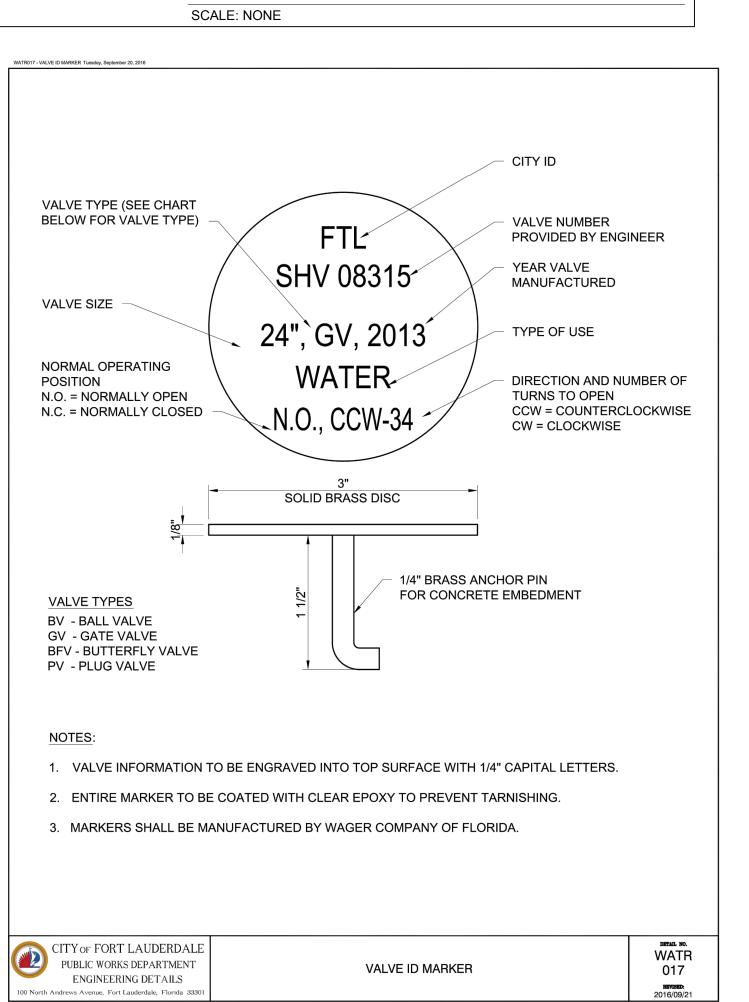
CONCRETE MIN

MIN. (TYP.)











HAZEN AND SAWYER 4000 HOLLYWOOD BLVD, SUITE 750N HOLLYWOOD, FLORIDA 33021

Certificate of Authorization No: 2771

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ENGINEERS • PLANNERS • SUBVEYORS 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309 FAX: (954) 739-6409 TEL.: (954) 739-6400 MATERIAL SHOWN HEREON IS THE PROPERTY OF CRAVEN.THOMPSON & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PERMISSION OF CRAVEN.THOMPSON & ASSOCIATES, INC. WRITING CRAVEN.\* THOMPSON & ASSOCIATES, INC. OPPRIGHT © 2017

Bid 12505-613

LAUDERDALE WOR! RING

PROJECT STORMW RIVER OA CITY STA SEPARAT

AD FILE: 11868-CZ-DT12 DRAWING FILE NO. 4-142-42

6/16/2021 10:31 AM

PLOT DATE: 4/5/2021 5:36 PM BY: MRODRIGUEZ

VALVE BOX COLLAR

3" DIA. BRONZE DISC ANCHORED IN

24"x24"x8" THICK CONCRETE COLLAR

2 #4 BARS CONTINUOUS AND

4 #4 BARS DIAGONAL (2" MIN.

COVER FOR REINFORCING

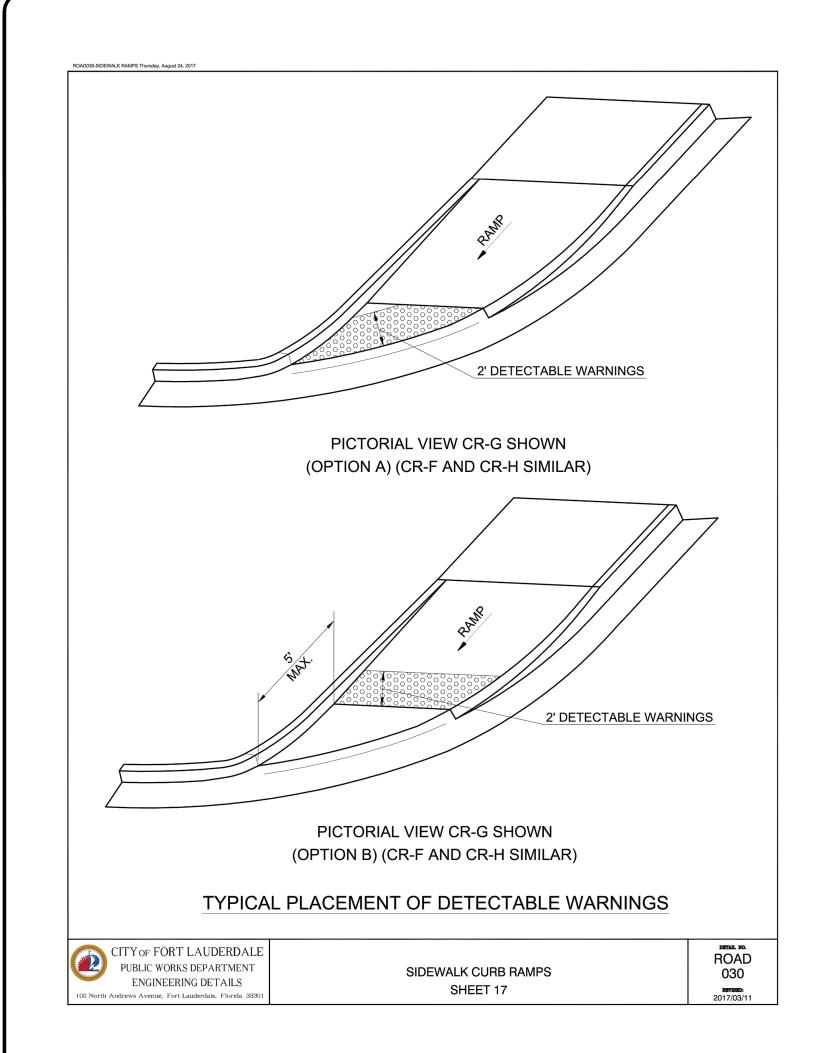
CONCRETE PAD STAMP AS REQ'D

(SEE VALVE IDENTIFICATION

MARKER DETAIL)

WATR

016



-BASE LINE

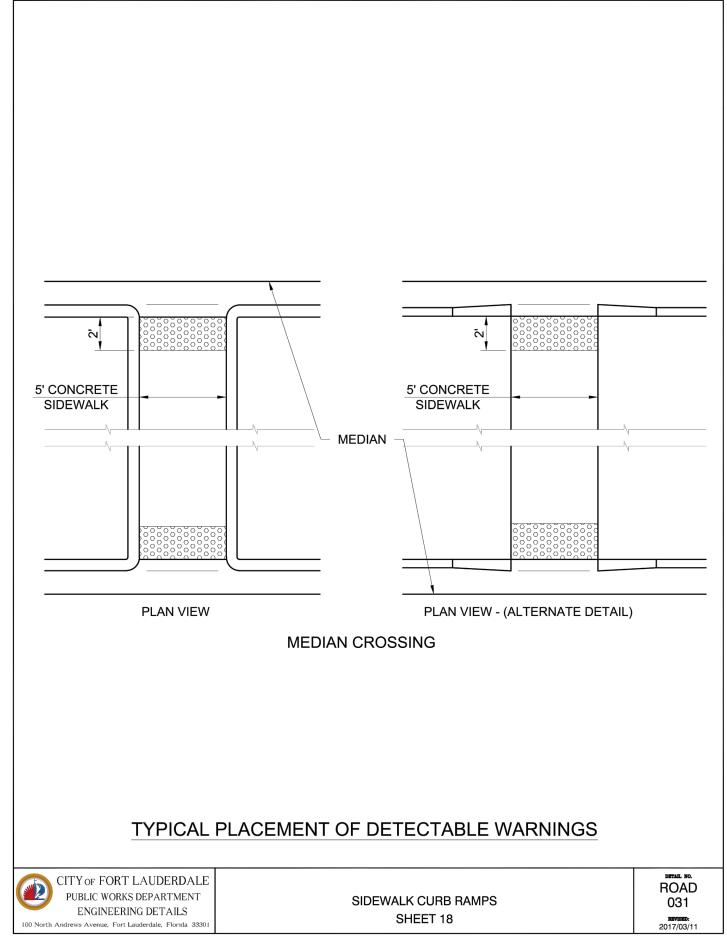
PRESERVE

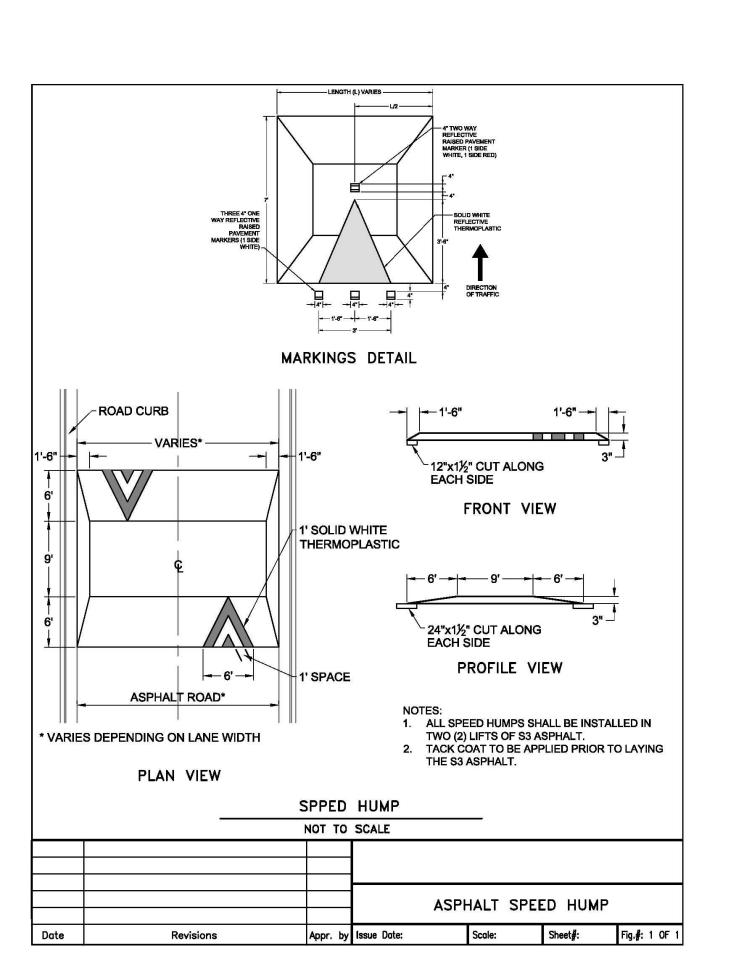
-OPTIONAL BASE GROUP 10

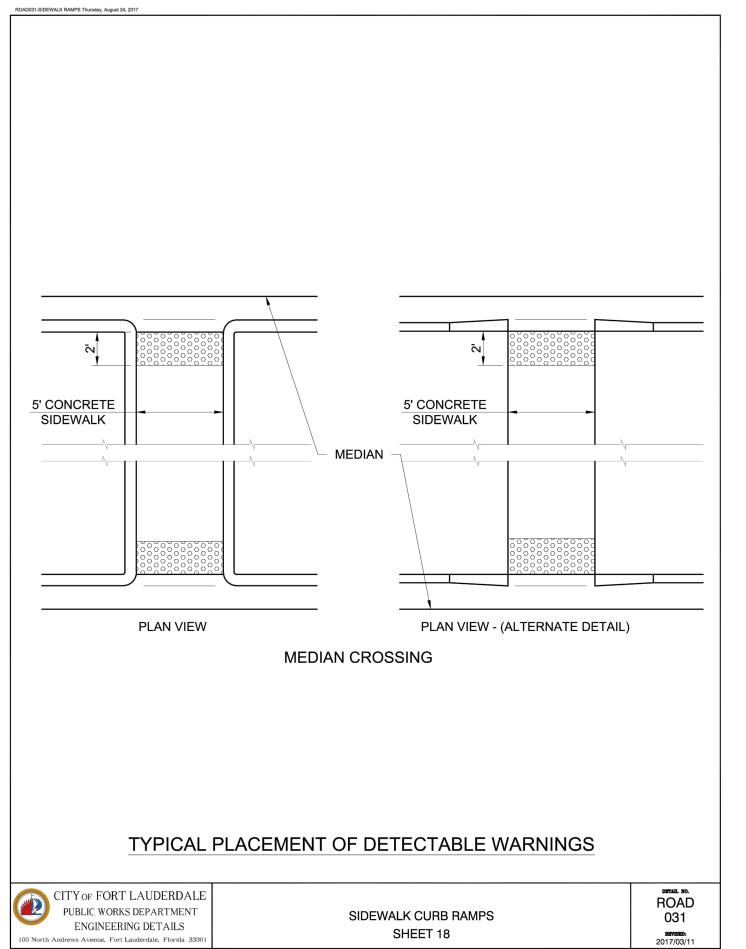
12" TYPE B STABILIZATION LBR 40

SECTION A ACCESS ROAD TYPICAL SECTION (SEE SHEET CP-ST-31, CP-ST-32 & CP-ST-37) STRUCTURAL COURSE

-NATURAL GROUND









ROAD 033

CURB RAMP	CURE		TOTAL AREA	1	
TYPE	RADIUS	(FT)	(SF)		
CR-A	N/A		8	<u> </u>	
				_	
CR-B	N/A		8	- -	
CR-C	N/A		8	-	
CR-D	25		11	-	
				1	
CR-E	N/A		8	-	
CR-F	10		9	-	
	20		11	-	
	25		13	]	
	30		14		
CR-G	10		10	-	
	20		11	-	
	25		12	]	
	30		14	1	
CR-H	20		8	-	
	25		8	-	
	30		8		
CR-K	N/A		8	-	
				]	
CR-L	10		18	_	
	15		13	-	
FLUSH SHOULDER				-	
OPTION A	10		11	NOTE:	
	20		14		ICTION
	25		15	DUE TO CONSTRU CR-L IS THE ONLY	
	30		17	A DETECTABLE W	
	40		19	CALCULATED USI	
	50		21	FOR FLUSH SHOU	II DER OI
OPTION B	10		10	SIDEWALKS, THE	
J. 11011 D	20		10	MEASURED AT 10'	
	25		10	TRAVELED WAY.	
				-	

AREAS OF DETECTABLE WARNINGS FOR SIDEWALK	
CURB RAMP AND FLUSH SHOULDER APPLICATIONS	

SHEET 20

CURB RAM	P AND FLUSH SHOULDER APPLICATIONS
CITY OF FORT LAUDERDALE	
PUBLIC WORKS DEPARTMENT	TABLE OF DETECTABLE WARNINGS

ENGINEERING DETAILS

100 North Andrews Avenue, Fort Lauderdale, Florida 333

Hazen

4000 HOLLYWOOD BLVD, SUITE 750N HOLLYWOOD, FLORIDA 33021

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Bid 12505-613

LAUDERDALE

PUBLIC WORKS I

PROJECT STORMWA RIVER OAK CITY STAN AND GRAE

CAD FILE: 11868-CZ-DT-18&22 DRAWING FILE NO.

PLOT DATE: 4/5/2021 5:37 PM BY: MRODRIGUEZ XREFs= .\11868DETAILS

PROPERTY LINE —

NATURAL GROUND —

VARIES

5' MIN.

HAZEN AND SAWYER 4000 HOLLYWOOD BLVD, SUITE 750N HOLLYWOOD, FLORIDA 33021

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Bid 12505-613



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AD FILE:

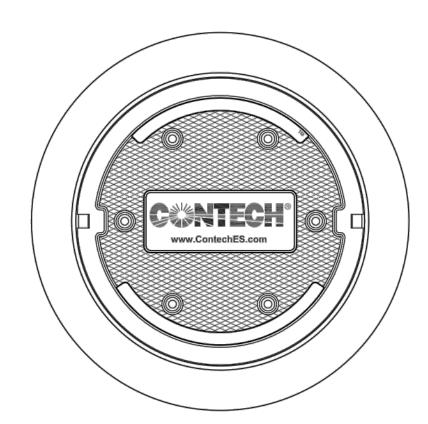
11868-CZ-DT20

RAWING FILE NO. 4-142-42

VORTECHS 9000 DESIGN NOTES

VORTECHS 9000 RATED TREATMENT CAPACITY IS 14 CFS, OR PER LOCAL REGULATIONS. IF THE SITE CONDITIONS EXCEED RATED TREATMENT CAPACITY, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

THE STANDARD INLET/OUTLET CONFIGURATION IS SHOWN. FOR OTHER CONFIGURATION OPTIONS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.ContechES.com



#### FRAME AND COVER (DIAMETER VARIES) N.T.S.

#### SITE SPECIFIC **DATA REQUIREMENTS** STRUCTURE ID

WATER QUALITY	FLOW RAT	E ((	CFS)		*
PEAK FLOW RATI	E (CFS)				*
RETURN PERIOD	OF PEAK F	LO	W (YRS)		*
PIPE DATA:	I.E.	N	//ATERIAL	D	IAMETER
INLET PIPE 1	*		*		*
INLET PIPE 2	*		*		*
OUTLET PIPE	*		*		*
RIM ELEVATION					*
ANTI-FLOTATION	BALLAST		WIDTH		HEIGHT

NOTES/SPECIAL REQUIREMENTS

\* PER ENGINEER OF RECORD

GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.

2. DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.

3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.ContechES.com

4. VORTECHS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.

5. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET AASHTO M306 LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.

6. INLET PIPE(S) MUST BE PERPEDICULAR TO THE VAULT AND AT THE CORNER TO INTRODUCE THE FLOW TANGENTIALLY TO THE SWIRL CHAMBER. DUAL INLETS NOT TO HAVE OPPOSING TANGENTIAL FLOW DIRECTIONS.

7. OUTLET PIPE(S) MUST BE DOWN STREAM OF THE FLOW CONTROL BAFFLE AND MAY BE LOCATED ON THE SIDE OR END OF THE VAULT. THE FLOW CONTROL WALL MAY BE TURNED TO ACCOMODATE OUTLET PIPE KNOCKOUTS ON THE SIDE OF THE VAULT.

INSTALLATION NOTES

A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS

AND SHALL BE SPECIFIED BY ENGINEER OF RECORD. B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE

VORTECHS STRUCTURE (LIFTING CLUTCHES PROVIDED).

C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE. D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.

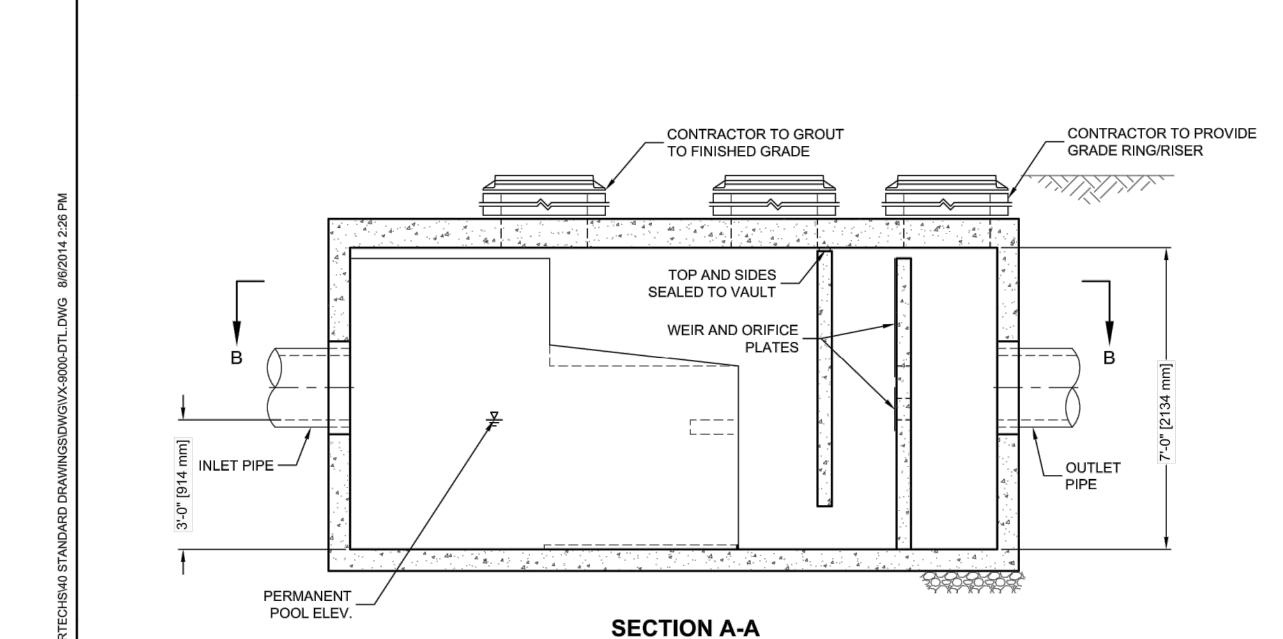
E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**ENGINEERED SOLUTIONS LLC** 

www.ContechES.com 9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069

800-338-1122 513-645-7000 513-645-7993 FAX

VORTECHS 9000 STANDARD DETAIL



THIS PRODUCT MAY BE PROTECTED BY THE FOLLOWING U.S. PATENT: 5,759,415; RELATED FOREIGN PATENTS.

15'-0" [4572 mm] -

**ALUMINUM SWIRL** 

CHAMBER

**BAFFLE WALL** 

**SECTION B-B** 

- FLOW CONTROL WALL

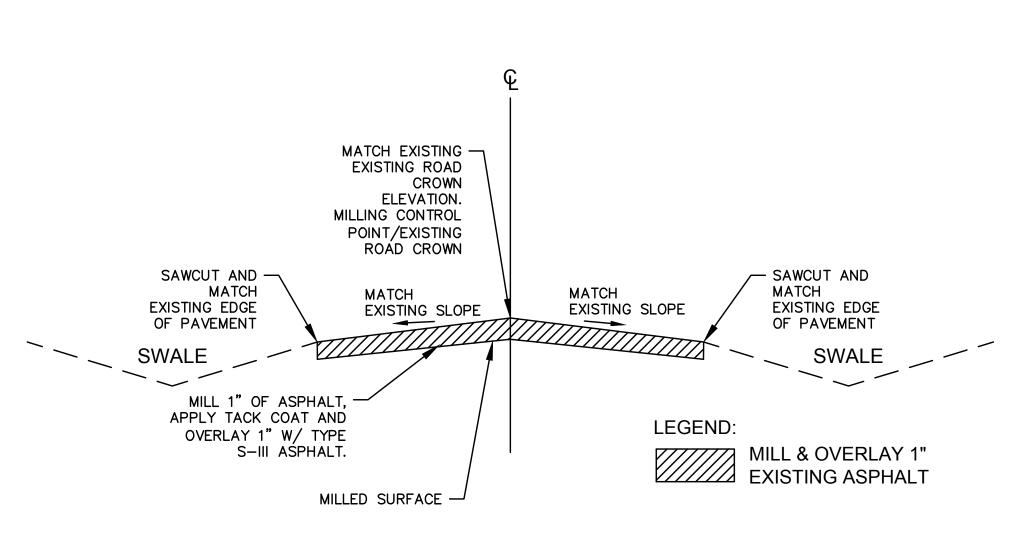
S491

(FOR REFERENCE SEE SHEET CU-ST-53A)

4 4 4 4

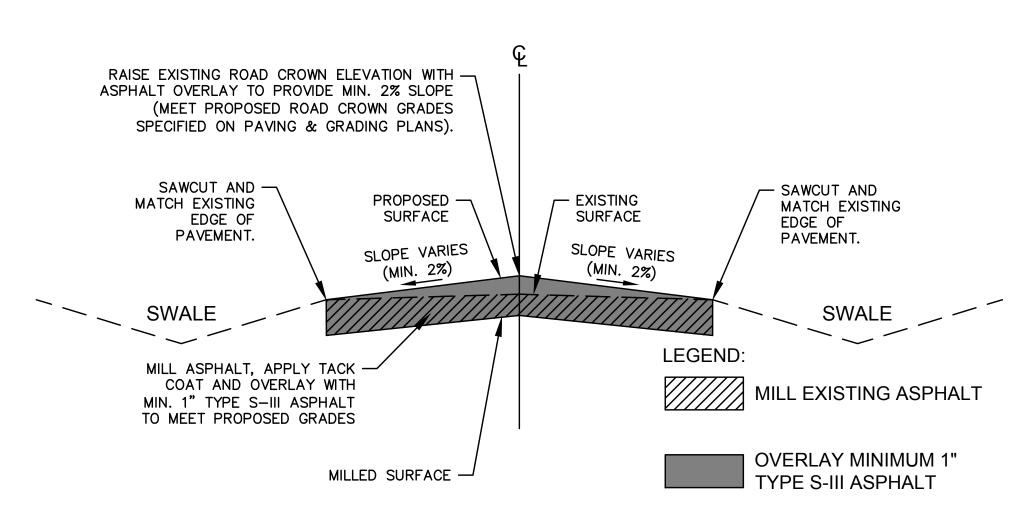
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#### TYPICAL MILL AND OVERLAY SECTION

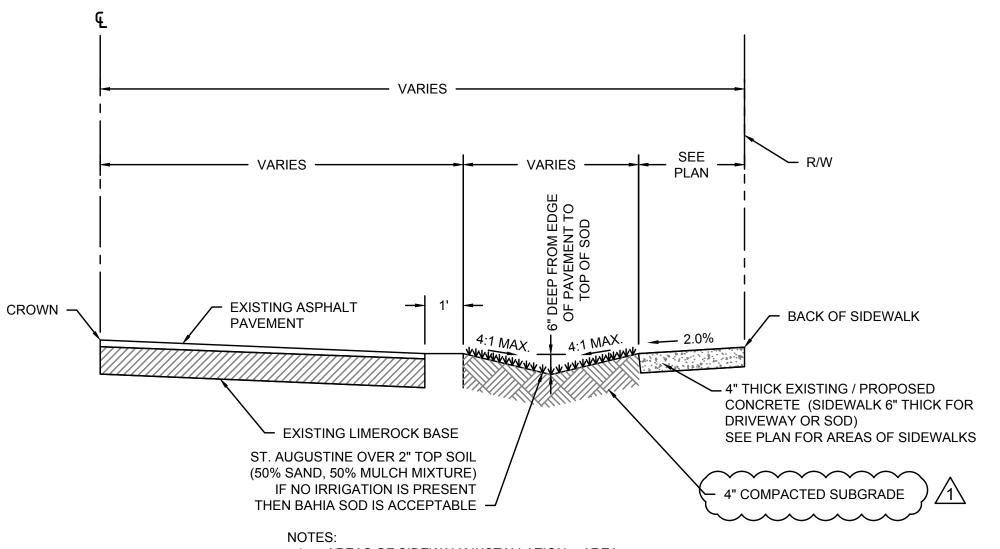
SCALE: N.T.S.



NOTES:

- 1. THIS DETAIL APPLIES TO EXISTING ROADWAYS THAT DO NOT HAVE A MINIMUM OF 2% ASPHALT CROSS SLOPE. CONTRACTOR SHALL PROVIDE A MINIMUM OF 2% ASPHALT CROSS SLOPE FOR ALL NEW ARES OF ASPHALT PAVEMENT OVERLAYS.
- 2. AREAS MAY BE SPECIFIED ON THE PAVING & GRADING PLANS WHERE CROSS SLOPES IN EXCESS OF 2% MAY BE REQUIRED. THESE AREAS ARE SHOWN WITH PROPOSED GRADES AT ROAD CROWNS WITHIN THE OVERLAY LIMITS. CONTRACTOR SHALL MATCH NEW PROPOSED CENTERLINE ELEVATIONS SHOWN ON THE PAVING & GRADING PLANS AS SPECIFIED. WHERE PROPOSED GRADES ARE NOT PROVIDED 2% MIN. CROSS SLOPE SHALL BE PROVIDED).

#### TYPICAL MILL & OVERLAY SECTION (WITH ASPHALT GRADE ADJUSTMENT)



- 1. AREAS OF SIDEWALK INSTALLATION AREA SHALL BE SODDED IN AREAS NO SIDEWALK IS SHOWN CONTRACTOR SHALL CENTER BOTTOM OF SWALE BETWEEN EDGE OF PAVEMENT AND R/W LINE IF NO SIDEWALK EXIST.
- 2. CONTRACTOR SHALL REPLACE ANY DAMAGED CONCRETE FLAGS OF SIDEWALKS.

6" SWALE PROFILE

Hazen

HAZEN AND SAWYER 4000 HOLLYWOOD BLVD, SUITE 750N HOLLYWOOD, FLORIDA 33021

Certificate of Authorization No: 2771

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CITY OF FORT LAUDERDALE DEPARTMENT ARCHITECTU PUBLIC WORKS I

PROJECT STORMWA RIVER OAK SWALE AN OVERLAY

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254 AD FILE: 11868-CZ-DT-18&22 RAWING FILE NO. 4-142-42

PLOT DATE: 4/7/2021 8:52 AM BY: MRODRIGUEZ XREFs= .\11868DETAILS

#### BID NO. 12505-613 RIVER OAKS STORMWATER IMPROVEMENTS (P11868)

#### ADDENDUM NO. 6

ISSUED: May 3, 2021

This Addendum is to provide the following information as well as clarification/response to Question & Answer concerns submitted in Bidsync. It is hereby made a part of the Plans and Specifications and shall be included with all contract documents.

Acknowledge receipt of this Addendum by inserting its number and date on the CITB Construction Bid Certification Page.

- BID OPENING: Bid opening date has been changed TUESDAY, MAY 18, 2021.
- 2. REVISED/REPLACED: Special Conditions Page, SC-3 (9), Bid Allowance, has been replaced (see attached). The Allowance description for FPL Pole Holding has been revised. Changes are indicated in red.
- 3. SUPPLEMENTAL INFORMATION: As a supplement to the previous Bid Document Information, included in this Addendum No. 6 <u>for Informational Purposes Only</u>, are the For Construction Plans & Planting Responsibilities for City Project #11419 River Oaks Stormwater Preserve.
  NOTE: It is <u>NOT</u> a part of Project #11868.

#### 4. BID LINE ITEMS REVISED/ADDED:

A list and description of the Bid Schedule revisions are detailed below:

- a. Bid Item Numbers were updated to match Measurement & Payment Section.
- b. Bid Item Numbers **130 & 131** were added to the Bid Schedule, for a total of 130 Bid Items.
- c. Bid Item Quantities were updated in accordance with the Plan Revisions for Addendum #6. There were changes to Bid Item Numbers: 8, 9, 14, 20, 27, 47, 48, 49, 50, 52, 54, 56, 58, 61, 63, 64, 65, 66, 67, 74, 85, 97 and 117.

p. 1048

#### **BID LINE ITEMS REVISED/ADDED** (continued:

- d. Bid Item Description was updated for Bid Item Number 105
- e. Bid Item No. 28 was deleted.

#### 3. REVISED SPECIFICATIONS:

A list and description of Specification revisions are detailed below:

#### a. Section 01025 - MEASUREMENT AND PAYMENT

- i. All revisions were bolded for clarity.
- ii. Item No. 1 was revised to include video inspection of existing sanitary sewer facilities. Approximately 4,500 LF of video inspection will be required, with the final amount to be determined in the field.
- iii. Item No. 86 was revised to correct the Payment section reference to relocated fire hydrant.
- iv. Item No. 94 was revised to strikethrough and exclude the last sentence section b. "Temporary asphalt, as approved by the ENGINEER, will be paid under a separate pay item."
- v. Item No. 97 was revised to strikethrough and exclude the 4" Thick reference to the apron for Drainage Structures. Thickness shall be provided based on material and in accordance with Details.
- vi. Item No. 101 was revised to strikethrough and exclude Geogrid from Bid Item requirements.
- vii. Item No. 105 was revised to update the Bid Item description to reference 4" limerock base to match the design drawings and details.
- viii. Item No. 130 was added to the Section for the New Fire Hydrant.
- ix. Item No. 131 was added to the Section for the New Root Barrier.
- x. Allowance FPL Pole Holding was revised to include temporary and permanent Pole Relocations and to include an allowance to cover costs.

#### 4. REVISED/NEW DRAWINGS - PLAN SHEETS (attached)

A list and description of Plan Revisions under Addendum #6 marked as Revision 2 and dated 4/26/21 is detailed below:

- a. Sheet #GG-GN-01B ADDENDUM #6 REVISION SUMMARY
  - i. New sheet added to Bid Set.
  - ii. Sheet added to provide an outline of revisions & a description of all changes issued with Addendum #6.

#### **REVISED/NEW DRAWINGS - PLAN SHEETS** (continued)

- b. Sheet #GG-GN-02 LIST OF DRAWINGS
  - i. Complete sheet update.
  - ii. 255 total sheets are now included in bid set & 19 sheets identified with a revision block number 2 for added, revised, removed or reissued under addendum #6 dated 4/26/21.
- c. Sheet #CU-SS-01 SUMMARY OF STORMWATER STRUCTURES
  - i. Complete sheet update.
  - ii. Revised structure tables.
- d. Sheet #CU-SS-02 SUMMARY OF STORMWATER STRUCTURES
  - i. Complete sheet update.
  - ii. Revised structure tables.
- e. Sheet #CU-SP-01 SUMMARY OF STORMWATER PIPES
  - i. Complete sheet update.
  - ii. Revised pipe tables.
- f. Sheet #CU-SP-02 SUMMARY OF STORMWATER PIPES
  - i. Complete sheet update.
  - ii. Revised pipe tables.
- g. Sheet #CU-ST-31B STORM DRAINAGE PLAN & PROFILE
  - i. Complete sheet update.
  - ii. Provided dimensions for diversion bypass vault included with S378 (plan now shows inner dimension of vault at 9'x14'), provided additional sheet piling for installation adjacent to embankment, revisions made in plan & profile.
- h. Sheet #CU-ST-32A STORM DRAINAGE PLAN & PROFILE
  - i. Complete sheet update.
  - ii. Removed structure #S74 and shifted piping away from existing gazebo in preserve park.
  - iii. Added additional sheet piling for installation under existing boardwalk.
  - iv. Added notes for requirements of contractor for pipe installation under boardwalk & required modifications to boardwalk.
  - v. Provided new alignment for proposed 6" DIP water wain & removed proposed 6" water main crossing & updated profile.
- i. Sheet #CU-ST-37A STORM DRAINAGE PLAN & PROFILE
  - i. Complete sheet update.
  - ii. Provided additional sheet piling for installation adjacent to embankment.

p. 1050

#### **REVISED/NEW DRAWINGS - PLAN SHEETS** (continued)

- j. Sheet #CU-ST-38A STORM DRAINAGE PLAN & PROFILE
  - i. Complete sheet update.
  - ii. Removed structure #S74 and shifted piping away from existing gazebo in preserve park.
  - iii. Added additional sheet piling for installation under existing boardwalk.
  - iv. Added notes for requirements of contractor for pipe installation under boardwalk & required modifications to boardwalk.
  - v. Updated proposed 6" water main crossing & updated profile.
- k. Sheet #CU-ST-38B STORM DRAINAGE PLAN & PROFILE
  - i. Complete sheet update.
  - ii. Shifted piping away from existing gazebo in preserve park.
  - Added additional sheet piling for installation under existing boardwalk.
  - iv. Added notes for requirements of contractor for pipe installation under boardwalk & required modifications to boardwalk.
  - v. Updated proposed 6" water main alignment & removed crossing in plan & profile.
- I. Sheet #CU-ST-39A STORM DRAINAGE PLAN & PROFILE
  - i. Complete sheet update.
  - ii. Revised plan to show slight shift to 66" RCP alignment & revised dimensions.
- m. Sheet #CU-ST-39B STORM DRAINAGE PLAN & PROFILE
  - i. Complete sheet update.
  - ii. Revised plan to show slight shift to 66" RCP alignment & revised dimensions.
- n. Sheet #CU-UR-08 UTILITY RELOCATION PLAN
  - i. Complete sheet update.
  - ii. Revised plan to show revised 6" DIP water main alignment & connection details.
- o. Sheet #CU-3C-03 PUMP STATION PROPOSED SITE PLAN
  - i. Complete sheet update.
  - ii. Revised plan to show update to electrical panel information, gravel area, bollard location, water quality structure orientation.
- p. Sheet #CZ-DT-13 WATER QUALITY CONTROL STRUCTURE DETAILS
  - i. Revised sheet to remove detail ROAD 039 & revise detail GREN 012 to include a 24" minimum storage layer.

#### **REVISED/NEW DRAWINGS - PLAN SHEETS** (continued)

- q. Sheet #CZ-DT-18 WATER QUALITY CONTROL STRUCTURE DETAILS
  - i. Revised sheet to provide driveway paver detail & header curb detail.
- r. Sheet #CZ-DT-19 WATER QUALITY CONTROL STRUCTURE DETAILS
  - i. Provided dimensions for diversion bypass vault included with #S378 (Structure now shows inner dimensions of 9'x14')
- s. Sheet #C-03 WATER MAIN EXTENSION PLAN
  - Revised sheet to provide updated proposed 6" DIP water main alignment & connection details, eliminated crossing with proposed 66" RCP.

All other terms, conditions, and specifications remain unchanged.

Maureen Lewis, MBA, PRES

Senior Procurement Specialist

'		
Company Name:		
	(please print)	
Bidder's Signature:		
Date:		

#### 08. SPECIFIC EXPERIENCE REQUIRED

The following expertise is required to be considered for this Contract. Specific references attesting to this expertise must be submitted with the bid response.

The contractor shall have previous construction experience in constructing: storm water drainage pipe ranging from 12 inches to 72 inches, pump station installation, Cured-In- Place Pipe (CIPP) pipe lining, and water main pipe installation ranging from 6 inches to 12 inches in the State of Florida within the last five (5) years. Bidder shall submit proof of construction experience for a minimum of three (3) projects of similar scope and scale (or larger) and shall, for each project listed, identify location; dates of construction; project name and overall scope; scope of work that was self-performed by Contractor; and client's name, address, telephone number and e-mail address.

NOTE: REFERENCES SHALL NOT INCLUDE ONLY CITY OF FORT LAUDERDALE EMPLOYEES OR WORK PERFORMED FOR THE CITY. THE CITY IS ALSO INTERESTED IN WORK EXPERIENCE AND REFERENCES FROM ENTITIES OTHER THAN THE CITY OF FORT LAUDERDALE.

By signing this bid solicitation, contractor is affirming that this expertise will be provided for this Contract at no additional charge.

#### 09. BID ALLOWANCE

**Allowance for permits:** Payments will be made to the contractor based on the actual cost of permits upon submission of paid permit receipts. The City shall not pay for other costs related to obtaining or securing permits.

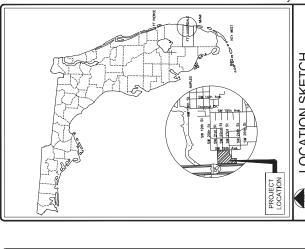
The amount indicated is intended to be sufficient to cover the entire project. If the City's permit fees exceed the allowance indicated, the City will reimburse the contractor the actual amount of the City's permit fees required for project completion.

Allowances	\$
Tree Protection, Tree Removal and Landscaping Restoration Within City Rights-of-Way.	\$ 150,000.00
Contaminated Site Dewatering Services	250,000.00
Permit and Licenses Fee	850,000.00
FPL Pole Holding and Pole Relocation	150,000.00
Gas Service Relocations	375,000.00
Sanitary Sewer main Relocations	250,000.00
Water & Force Main Relocations	250,000.00
Material Testing	75,000.00
Removal and Disposal of Unsuitable/Contaminated Soil	300,000.00
Furnish and Place Additional Suitable Backfill Material	200,000.00
FPL Service & Fee	100,000.00
TOTAL	\$2,950,000.00

Note: The City will add this allowance to your bid.

## SUPPLEMENTAL INFORMATION FOR INFORMATIONAL PURPOSE ONLY

## P11419 RIVER OAKS STORMWATER PRESERVE CONSTRUCTION PLANS



# **LOCATION SKETCH**

#### STORMWATER PRESERVE PROJECT #11419 RIVER OAKS

### CITY OF FORT LAUDERDALE ENGINEERING & ARCHITECTURE PUBLIC WORKS DEPARTMENT

# FORT LAUDERDALE CITY COMMISSION

COMMISSIONER - DISTRICT IV COMMISSIONER - DISTRICT | 1 COMMISSIONER - DISTRICT II COMMISSIONER - DISTRICT JOHN P. "JACK" SEILER BRUCE G. ROBERTS DEAN J. TRANTALIS ROBERT L. McKINZIE ROMNEY ROGERS

TITLE PRESIDENT ENGINEERING JOB 1 PROJECT MANAGER

PHONE NO. 954-739-6400

Ξ

DRAWING FILE No.: 4-135-81 CAD FILE: 11419-COVER DATE: 01/10/2019

**PURPOSES ONLY** PROJECT #11868 **NOT A PART OF** INFORMATION FOR



# CITY OF FORT LAUDERDALE

NATIVE TREE DISPOSITION PLAN - SHEET NATIVE TREE DISPOSITION PLAN - SHEET

TD-3

PLANTING PLAN

TREE EXHIBIT

NATIVE TREE EXHIBIT

SITE PLAN

DETAIL SHEET
DETAIL SHEET
DETAIL SHEET
TREE CHART

## STORMWATER IMPROVEMENTS RIVER OAKS STORMWATER PRESERVE PROJECT #11419

FORT LAUDERDALE, FLORIDA

 \* Environmental Consult
 \* Marina & Wetland
 \* Permitting
 \* Mitigation Design &
 \* Monitoring
 \* T&E Species Surveys
 \* Phase | ESSs
 \* Phase | Phase | ESSs
 \* Phase | Ph 714 East Methon Road Permean Beach, Forlide 33060 fee, 954,782,968 W. thechappellgroup.com

PARTIAL MAIN DECK LAYOUT PLAN - AREA 'A' PARTIAL MAIN DECK LAYOUT PLAN - AREA 'B'

5-2.00

S-2.01

STRUCTURAL NOTES

STRUCTURAL

SECTIONS AND DETAILS

3D VIEWS

EROSION CONTROL NOTES - SHEET 1 EROSION CONTROL NOTES - SHEET 2 EROSION CONTROL NOTES - SHEET 3

CITY STANDARD DETAILS

DEMOLITION NOTES - SHEET

SHEET

EROSION CONTROL DETAILS

STORMWATER DETAILS STORMWATER DETAILS EROSION CONTROL PLAN



STORMWATER DRAINAGE PLAN

DREDGE & FILL

2-2

0-1

EXISTING CONDITIONS PROPOSED CONDITION BOARDWALK GRADING PLAN

2-5

SECTION A & B

SECTION C

SECTION D SECTION E SECTION F SECTION G

8-0 6-0 -10 7-12

DRAWING INDEX

SURVEY COVER & NOTES

SURVEY

SURVEY PLAN

DETAIL SHEET DETAIL SHEET

GENERAL NOTES

COVER SHEET

6-01 6-02

GENERAI

G-02
TOTAL: 40
CAD FILE: 11419-004-SITED
DRAWING FILE NO. D. City Fort Lauderdale 2505-613 GENERAL NOTES STORMWATER PRESERVE RIVER OAKS PROJECT # 11419

TEL: 954-739-6409 CCKED BX: ENCINEERING & ARCHITECTURE BCKED BA: ACET 1,=5,
RIGNED BA: ACET 1,=5, PUBLIC WORKS DEPARTMENT CILA® FORT LAUDERDALE

THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING, MONNG AND RELOCATING OR DEPARTMENT AND THE RESPONSED TO SERVER LATERACY WHICH ARE RESOURCES TO DISNOR SHALL SIGHAL A WIRITER PLAN FOR WIRITS SERVEC AND RESEMBLY BE SERVED SHALL WILL SHALL A WIRITER PLAN FOR WIRITS SERVEC AND THE ARTICLASTIC SIGNATURY OF APPROACH 2 (SERVE) ALCIDIATE MAY FANGE TO THE ARTICLASTIC SIGNATURY INC CONTRACTOR SHALL MOTHER THE PROPERTY OWNERS AN INCIDENTAL

IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MOTHY THE UTILITIES DEPARTMENT OF THE CITY OF FORT LAUDERBALE AT LEAST TWO (2) BUSINESS DAYS IN DEPARTMENT O CORPORATED BY THE CITY'S UTILITIES DEPARTMENT. 27.

30. ALL WORK WITHIN BROWARD COUNTY RIGHT-OF-WAYS SHALL BE IN CONFORMANCE WITH THE BROWARD COUNTY MINIMUM STANDARDS AND/OR REQUIREMENTS. 31.

32.

STATIONS SHOWN ON THE DRAWINGS ARE BASED ON THE ESTABLISHED BASELINE AND STALL NOT BE CONSIDERED AS DISTANCES OR AS A MEASURE OF THE LINEAR FOOTAGE OF PIPE YO BE INSTALLED.

33

34. THE GENERAL INTENT IS TO PROVIDE SEWER SERVICE LATERALS FOR EACH PROPERTY. ALL LATERAL LOCATIONS SHALL BE FIELD ADJUSTED.

36. TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS SHALL NOT BE LEFT OPEN DURING NIGHT TIME HOURS WITHOUT ADEQUATE PROTECTION.

CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AS REQUIRED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT AND/OR WHEN REQUIRED FOR PUBLIC SAFETY. 38.

THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF POSTIBICATION OF DESTING AND MEMORITACION OF DURATION OF THE PROPERTION OF DESTING AND NEW IN INSTALLED UNITIES FROM DAMAGE OF DOSKUPTION OF SERVICE. THE CONTRACTOR ALL BE RESPONSIBLE FOR TAKING SHOM ARCHARE OF PROPERTY THE PROPERTY TO PROPERTY THE OFFICE OF THE STRONG SHOWN OF ACCESS TO THE WORK STIT.

LOCATION OF AR RELEASE VALVES MAY BE FIELD ADJUSTED BY THE ENGINEER OR CITY OF FORT LAUDERDALE AS NECESSARY. 6

EXISTING TRAFFIC SIGNS SHALL BE RESET UPON COMPLETION PER BROWARD COUNTY TRAFFIC CHOINEEMEN STANAROS, COST SHALL BE CONDISERD INCIDENTAL CONTRACTOR SHALL FOR CONDISERD INCIDENTAL CONTRACTOR TRAFFIC ENGINEEMING SPECIFICATIONS; COST SHALL BE INCIDENTAL. 42

CONTRACTOR SHALL RESTORE EXISTING PAVEMENT AND PAVEMENT MARKINGS/SIGNAGE TO DOCUMENTE, TRE-CONSTRUCTION CONDITION OR SO OHERWIZE SPECIFIED IN CONTRACT DOCUMENTS. THIS WORK SHALL BE CONSIDERED INCIDENTAL.

GRAVEN «THOMPSON AND ASSOCIATES, INC.
BROINERES » PLANNERS » SUBVEYORS
3463 NA. AND STRIT. FORT LANDROALE, FLOREN XXXX
FIRE (14) 724-4460

TILL (164) 724-440

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714 East MoNab Road Pempano Beach, Rorido 33080 tel. 954.782.1908 W. thech-

SITE INFORMATION HAS BEEN PROVIDED BY SITE SURVEY PREPARED CRAVEN THOMPSON & ASSOCIATES, INC.

CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FROM THE APPROPRIATE AND/OR AGENCIES HAVING JURISDICTION PRIOR TO COMMENCING WORK.

THE LOCATION OF EXISTING UTILITIES HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AMPLIESE TO THE UNDERER. THE INFORMATION IS NOT GLARANITED. THE HEAVEN WE AND ELEMATION OF ALL UTILITIES IN THE FIELD PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.

UNLINES HAVE BERN FLORITED FROM ANALUBLE SURVEY INFORMATION. IT IS THE CONTINUE THE TRANSPORT OF THE WIGHES BUT OF THE CONTINUE WIGHES THE CONTINUE AND THE CONTINUE WIGHES WITH CONTINUE WIGHES WITH CONTINUE WIGHES WITH CONTINUE WIGHES WITH CONTINUE WITH CONTINUE THE CONTINUE WITH CONTINUE THE CONTINUE WITH CONTINUE SHALL ALSO CONTINUE WITH PROJECT SHIT, LOCATION MAKES WITH UTILITIES ON THE PROJECT SHIT. HAVE WOT PARTICIPANTS OF SURVEYER BITH. UTILITIES

CONTRACTOR SHALL REPLACE SURROUNDING LAND COVER AFFECTED BY CONSTRUCTION ACTORINES, INCLUDINS, BUT NOT LIMITED TO, PAYERS, SIDEWALK, SOD, AND LANDSOAPING, TO EXISTING ON EETTER CONDITIONS.

CONTRACTOR SHALL TAKE CARE TO ANDID DAMAGE TO EXISTING PAREMENT, STRUCTURES, AND UTILITES THAT REW ON INDICATED TO BE EDBADISHED OR REMOYED. ANY DAMAGE SUSTING PAREMENT, STRUCTURES, AND UTILITES NOT INDICATED TO BE DEMOLISHED OR REMOVED SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

WHERE PROPOSED WORK IS IN THE VICINITY OF UTILITY POLES, SUCH THAT SUPPORT OF THE POLES, SUCH THAT SUPPORT OF THE OUTSIGN MLL. BE RECONSTRACTOR SHALL BE RESPONSIBLE FOR NUTIFING OODBOMNE WHY THE UTILITY OF THE WORK, IT WILL BE THE RESPONSIBLITY OF THE CONTRACTOR TO COORDINATE WITH THE UTILITY FOR SUPPORT OF THE POLE. 5.

GROUNDWATER FROM ALL DEWATERING OPERATIONS SHALL BE DISCHARGED TO AN ENWARENTLY ACCEPTABLE LOCATION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. OR AS DIRECTED BY THE ENABERS.

THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEBRIS GENERATED DURING PROJECT OFF SITE AT A PROPERLY PERMITTED DISPOSAL FACILITY.

FOR REFERENCE MONUMENTS, SEE SURVEY DRAWING.

THE CONTRACTOR IS REQUIRED TO OBTAIN WRITTEN APPROVAL FROM THE ENGINEER FOR ANY DEVARTIONS FROM THE PLANS AND/OR SPECIFICATIONS. 17.

21.

PIPING, FITTINGS, AND APPURTENANCES FOR DUCTILE IRON PIPE SHALL BE RESTRAINED MOUNT WHER SHOWN ON THE PLANS OR AS OTHERWISE SPECIFICALLY SPECIFIED IN THE CONTRACT DRAWNINGS. 22.

RESULENT SEATED GATE VALVES WITH BEVEL TYPE GEAR SHALL BE INSTALLED IN HONDROWNAL, ORIENTANDIOW WHEN LESS THAN TY-FEET OF COVER FROM TOP OF PIPE IS PRESENT OR AS OTHERWISE SPECIFIED IN THE CONTRACT DRAWINGS.

THE CONTRACTOR MUST INFORM THE CITY AT LEAST 48—HOURS IN ADVANCE OF CONSISTUCTION, IN WARRING FANY CONFLICT IS DISCOVERED DURING FOT HOLE OPERATIONS FOR CLARRICATION BY THE CITY.

ALL WORK WITHIN STATE DEPARTMENT OF TRANSPORTATION (FDDT) RIGHT-OF-WAYS SHALL BE IN CONFORMANCE WITH FDDT SPECIFICATIONS AND PERMIT REQUIREMENTS. 28. CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE EXISTING RIGHTS-OF-WAY.

CONTRACTOR SHALL COMPLY WITH ALL LOCAL CITY, COUNTY AND STATE REGULATIONS PERTAINING TO THE CLOSING OF PUBLIC STREETS FOR USE OF TRAFFIC DURING COMSTRUCTION.

CONTRACTOR SHALL PREPARE AND SUBMIT MAINTENANCE OF TRAFFIC (MOT) PLANS TO FROM ITO OF FORT LAUGEBALE. ENORMAND COUNTRY S REQUIRED FOR WORK TO BE DONE WITHIN THER RAY PRIOR TO COMMENCEMENT OF WORK, SPECIFIC AGENCY MOT REQUIREMENTS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

35. AL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAY OR WALKWAY SHALL BE PROFIERLY MARED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PERCEIPENT TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PERCEIPENT TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PERCEIPENT TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PERCEIPENT TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PERCEIPENT TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PERCEIPENT TO ASSURE THE SAFETY OF BOTH VEHICLER AND PROFILE THE SAFETY

CONTRACTOR SHALL PROMPILY REPAIR AND RESTORE EXISTING PAREMENT, SIDEWALKS, CLRES, DRIVEWAYS, PPES, RESIDENTIAL AND COMMERCIAL SPRINKLER LINES, CONDUIT, COABES, ETC. AND LANDSCAPE AREAS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES. 37.

CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, IMMHOLES, HAND HOLES, INLETS AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAYED WITH ASPHALT.

ALL CONSTRUCTION WITHIN FDOT R/W MUST CONFIDEN WITH FDOT SPECIFICATIONS. ADMORPS, SHALL COMMUNICW WITHIN FDOT R/WS WITHOUT AN FOOT PERMIT REQUISEMENTS, NO WORD SHALL COMMUNICW WITHIN FOOT PERMIT. FULL LANE WITHIN RESTORATION IS RECUIRED IN ACCORDANCE WITH FDOT STANDARDS FOR PROPOSED WORK WITHIN FDOT R/W.

REFER TO SPECIFICATION SECTION 0.1001 AND 0.1520 FOR DETAILED REQUIREMENTS FOR SEQUENCE OF CONSTRUCTION AND CONSTRUCTION CONSTRAINTS.

HORIZONTAL CONTROL IS REFERENCED TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, ESST ZONE, BASCO NITHE NORTH AMERICAN DATUM OF 1933 (AND 3D). VERTICAL CONTROL IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (KNAD 88).

CONTRACTOR SHALL YERPY FIELD CONDITIONS BEFORE COMMENCIDIENT OF ANY CONTRACTOR SHALL VERE STORNING EARNINGS AND DIMENSIONS WHERE NEW WORK WILL MATCH ESTERNING EXPRESSIONS AND SHEEK NEW WORK WILL MATCH ESTERNING SHALL BE BROUGHT OF THE ATTRACTOR PROOF TO THE COMMENCIALIST FOR RESOLUTION PROOF TO THE COMMENCIALIST OF WORK. RECORD DRAWINGS USED FOR EXISTING FEATURES: XXXXX. RECORD DRAWINGS MAY BE OBTAINED FROM THE OWNER UPON REQUEST.

ALL PRACTICAL AND NECESSARY EFFORTS SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT UNNECESSARY TREE REMOVAL AND/OR DAMAGE.

DURING EXCAMATION AND PLACEMENT OF UTILITES THE CONTRACTOR SYALL COMPLY WITH ALL APPRICABLE STREET STREAM AND SHALL SUBMITTO THE ENGINEER TOR PERFORM. SHEET PLING, SHORING AND/OR BRACING DESIGNS AS MAY BE NECESSARY TO COMPLY WITH THESE REGULATIONS.

THE INDERGROUND CONTRACTOR SHALL MINANZE THE WORK AREA AND WOTH OF TREASHEST ON MAND DISTURBANCES OF MATINGLY ESTERIORS, DISTURBED THE PLUCED DIALY OF PREDOUSY CLERED AREAS, ESTINIC RIGHT—CHANNO SHALL BE PLUCED DIALY OF PROMOSY CLERED AREAS, ESTINIC RIGHT—WAY OR ADMINISTRATION SHALL PROMOSY CHANGES, OR DISTURBE ANY THESS OR SHADES WITHOUT PROR A PRODUCT FROM THE EVARLED.

ALL RESTORATION SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE AGAPICIES HAVING JURISDICTION OVER THE RIGHT-OF-WAY WHERE THE PROJECT IS CONSTRUCTED. 20

ALL LOOP DETECTORS, COMUNICATION CABLES AND CONDUITS, IF DAMAGED BY THE GODINGACIORS, AGMENTES, SAMLL BE REPARED AND/OR REPLACED IN ACCORDANCE WITH COLD AND TOOT RECOIRCLARIES.

28(44-79) ELLD BOOK: TEL: 954-739-6409 BOUNDARY/TOPOGRAHIC SURVEY City f Fort Lauderdale Bid 12505-613 SURVEY NOTES SG-01

TOTAL: 4C

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4-135-81 KDb SCKED BA: ENCINEERING & ARCHITECTURE RIVER OAKS PRESERVE SURVEY **BUBLIC WORKS DEPARTMENT** STORMWATER IMPROVEMENTS CITY OF FORT LAUDERDALE BA CHK,D Aar PROJECT # 11419

## GENERAL NOTES

THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF THE CITY OF FORT LAUDGROALE. FORBILA, AND WEEN AND SAWFER, INC. FOR THE EXPRESS PURPOSE STATED HEREON AS RELATED TO ONE CONTRACT. THE PURPOSE OF THIS SUMPEY INS. TO ESTABLISH HORIZONTAL AND KERTICAL CONTROL AND COLLECT ABOOK GROUND, WISSEL INVESCRENTS WHITM AND ALLONG THE RIGHTSCH-ENNY STRANGE WISSEL WISSELL WISSELL SUMPORED AND ALSO INCLUDED INFORMATION RECORD WHITE THE WOOLDCH LIMITS. THE WINDOWS OF THE STAND WINDOWS TO STOWN MISTER STAND WINDOWS THE ACCESSURE, SIGH AS INVESTIGATED FIFE SIGHS AND WINDOWS, AND STOTIAN OF STRACTORES.

THE OPECTION USE OF THIS SUBJECT AND UMBER SERVED ADMISTRACING AND THE RESIDENCE THE STREET SERVED AND THE TELEMENT RELIAINED FOR SUMMER ASSUMPTION OF A COUNTERAL AND THE SERVED THE MANUAUM RELIAINED PROTINCE (SALT, FALS).

THE ELEVATIONS SHOWN HEREON ARE RELATIVE TO NORTH AMERICAN VERTICAL DATUM OF (NAVD88) AND ARE BASED ON THE FOLLOWING BENCHMARKS: (A) FLORIDA DEPARTMENT OF TRANSPORTATION STATE ROLD B4 BENCHMARK C4 ELEVATION (MAINED) 8-16-64-C4, REAN DOT HOUSET NETWORK CONTROL SPECIFIC SWAFE - FINANCIAL FROLECT NO 226245-1-22-01. (B) FLORIDA DEPARTMENT OF TRANSPORTATION STATE ROAD 84 BENCHMARK C6 ELEVATION (MARSB) STAMPED 8-4-86-04-6-6-7ROM PROJECT NETWORK CONTROL SPECIFIC SURFOR — PINMICHAL PROJECT NO 228243-1-32-01.

INTERSTATE 95

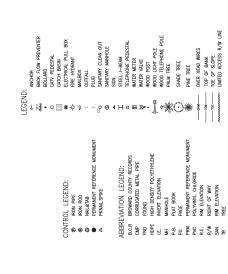
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R. PLAN BOOK 2, MAGE 49 VOSCIADAR PROVINCE OF THE STE AND THE STRINGS OF THE STE AND THE STRINGS OF THE STRIN

THE CORROWANTS SHOWN HEREBY ARE RELATED TO STATE PARKE, FLORDEA, DEST DOKE, MADES (195), STATEWING THE THRIBES, STATEWING THE THRIBES, STATEWING THE THRIBES, STATEWING THE STATEWING THE THRIBES, FOR THE CITY OF DIFFLUENCE THE THRIBES, FOR THE CITY OF FORTH LAUGHBALE IN 2016.

SECTIONAL INFORMATION AND RIGHT-OF-WAY LINES SHOWN HEREON ARE BASED ON THE RECORDED PLUTS AND FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAPS AND PROJECT CONTROL REPURPHORS. FIELD BOOK REFERENCES: FIELD BOOK (FB) 2859, PAGES 44-79 & FB 2860 PAGES 19-39 CTA

ALL PLATS SHOWN HEREON REFER TO RECORDED PLATS IN BROWARD COUNTY. NO TITLE DOCUMENTS WERE SUPPLIED TO THE SURVEYOR FOR REVIEW.



SW 21st St SW 26th St 84 16-50-42 SECTION 21-50-42 ROAD STATE SECTION SW 20th St RIVER OAKS PRESERVE

SECTION 16 & 21, TOWNSHIP 50 SOUTH, RANGE 42 EAST NOT TO SCALE LOCATION MAP PF PORTION

PROVIDED BY CLIENT DESCRIPTION:

THE SUPPLIES OF THE SUPPLIES O A PORTION OF THE SOUTHWEST ONE-QUARTER (SW 14) OF SECTION 16, TOWNSHIP 50 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: THE SOUTH 72.365 FEET OF THE FOLLOWING DESCRIBED PARCEL:

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AND ALSO

LESS AND EXCEPT THE LANDS LYING WITHIN THE BOUNDARIES OF INTERSTATE SAID LANDS SITUATE, LYING AND BEING IN BROWARD COUNTY, FLORIDA

PARCEL III:

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PARCEL "A" OF THE R.B.F. PLAT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 155, PAGE 35 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. PARCEL V:

THE WEST & OF THE SOUTHWEST & OF THE SOUTHWEST & AND THE WEST & OF THE SOUTHWEST & OF SOUTHWEST & SOUTHWEST & SOUTHWEST & SOUTHWEST & OF SOUTHWEST & SOUTHWEST THE FOLLOWING DESCRIBED PROPERTY: THE EAST 375 FEET OF

THE GAST 375 RETO OT THE WORTH 139 FETTO OT THE GOALD MESSA, REFOR OT THE WEST X/OF THE COLDINESTS X, GOALDHESTS X, LESS THE EAST 200 FEET OF THE SOUTH 75 FEET. SECTION 16: OWNSHIP 50 SOUTH, RANGE 42 EAST, OF THE PUBLIC RECORDS OF BROWARD CORUNTY, FRORDA. ARCEL VI

SAID LANDS LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA

HERROR CERTEY THAT HER DOCOMENDER SINEPY AND OTHER PERMENDED CHAS SOME HERROR. AS CONTINUED TO THE STANDARDS OF PROCINCE FOR LAND SIMPLIFIED WIN HIE STANDARDS OF PROCINCE FOR LAND SIMPLIFIED OF MACHINE AND ADMINISTRATION COORD. AND THE STANDARD OF THE WINNERS WINNERS SHAPED OF MACHINE AND THE WASHINGTON WINNERS SHAPED OF MACHINE AND THE WASHINGTON WINNERS SHAPED SIMPLIFIED SIMPLIFIE SURVEYOR'S CERTIFICATE:

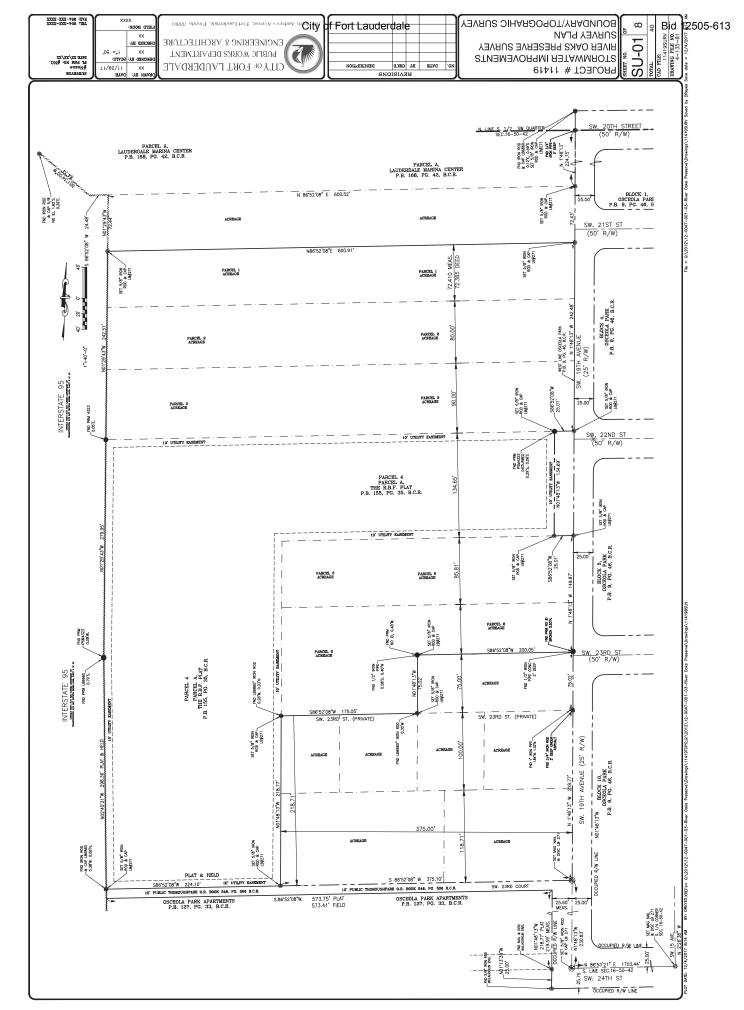
JAST DATE OF FIELD WORK: 11/21/2017

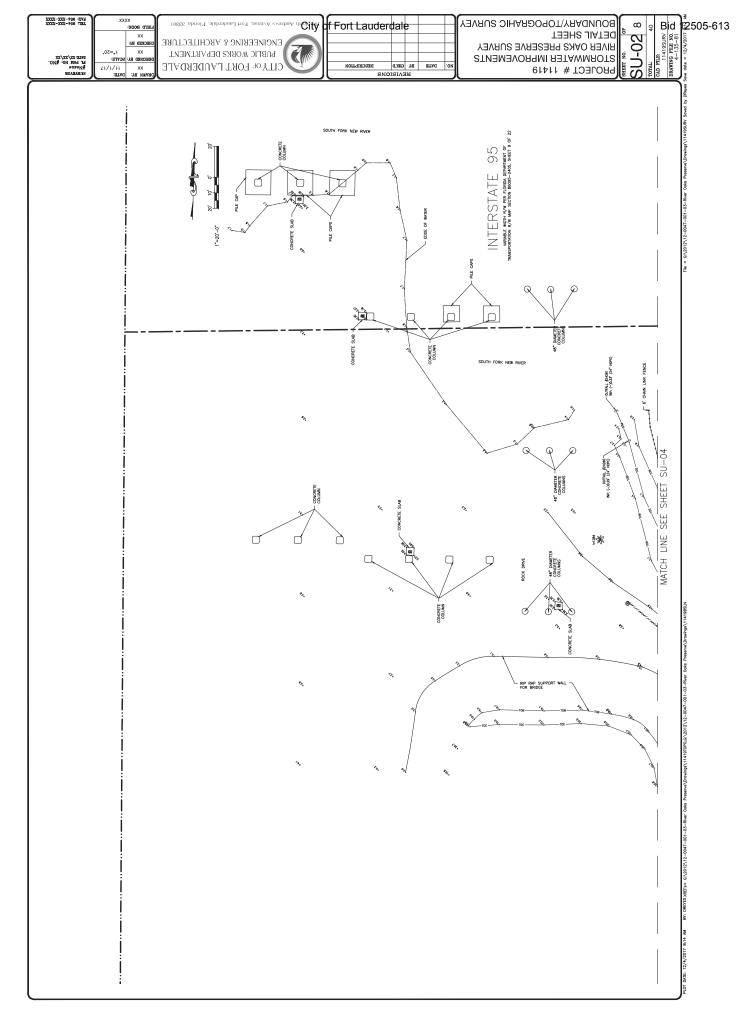
RICHARD D. PRYCE., FOR THE FIRM CHAIGH PROFESSIONAL SURFEYOR MAPPER NO 4038 CRANEN THOMPSON & ASSOCIATES, INC. LICENSED BUSINESS NUMBER NO. 271

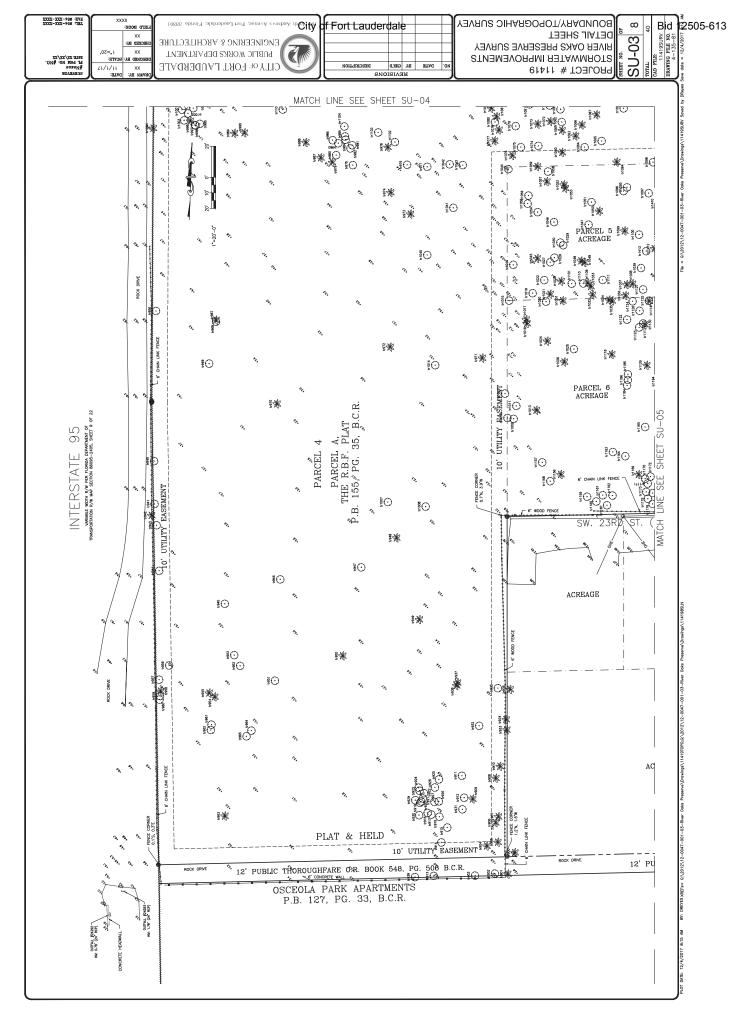
THES SEASON LEAD AND REPORT OR CODES THEREOR ARE NOT YALLD WINDOUT THE SOMETIME AND ORIGINAL HANSED SEAL OR A UNIVOIR ELECTRONIC SORANTIME OF A FLORIDA LICENSED CODE. SUMPLIES OF A FLORIDA ADMINISTRATIVE CODE. SUMPLIES SI-17 FLORIDA ADMINISTRATIVE

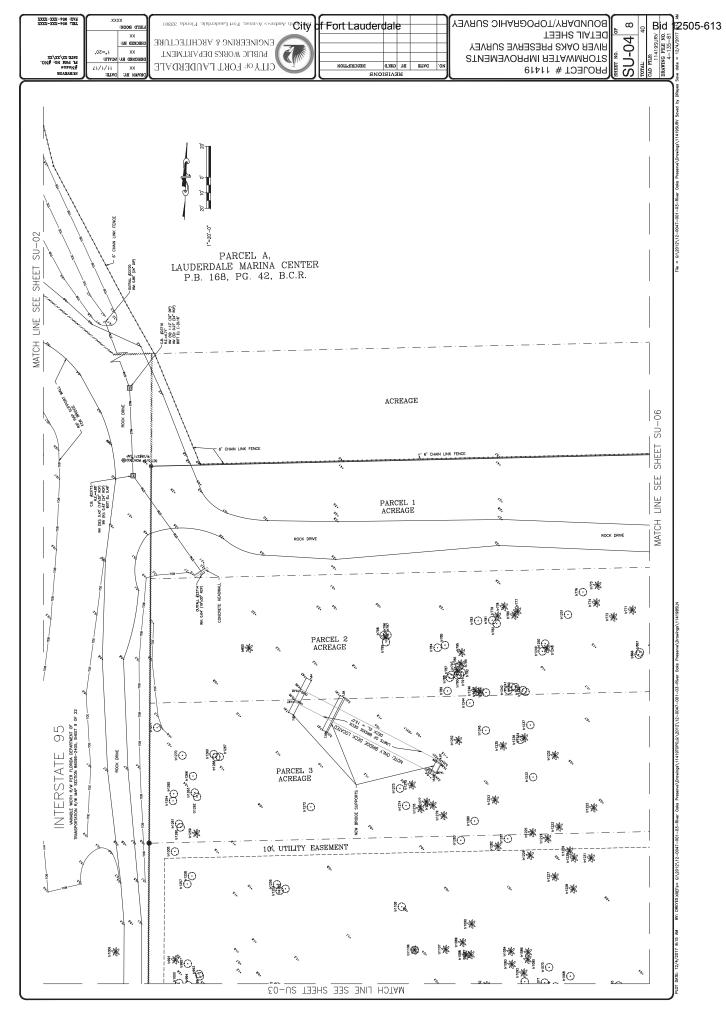
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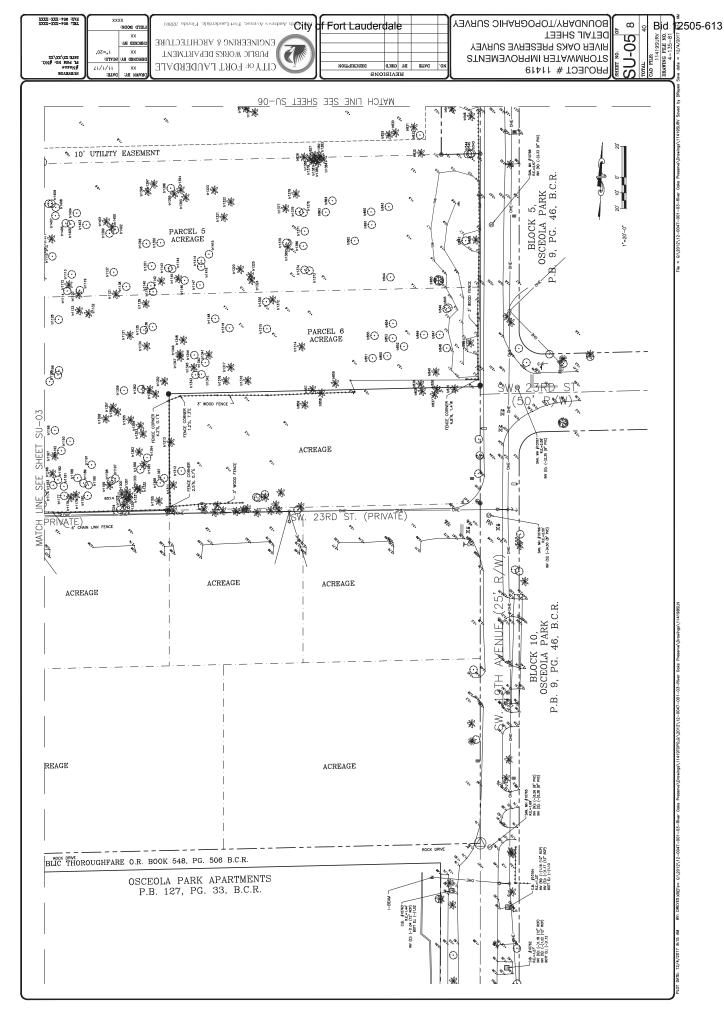
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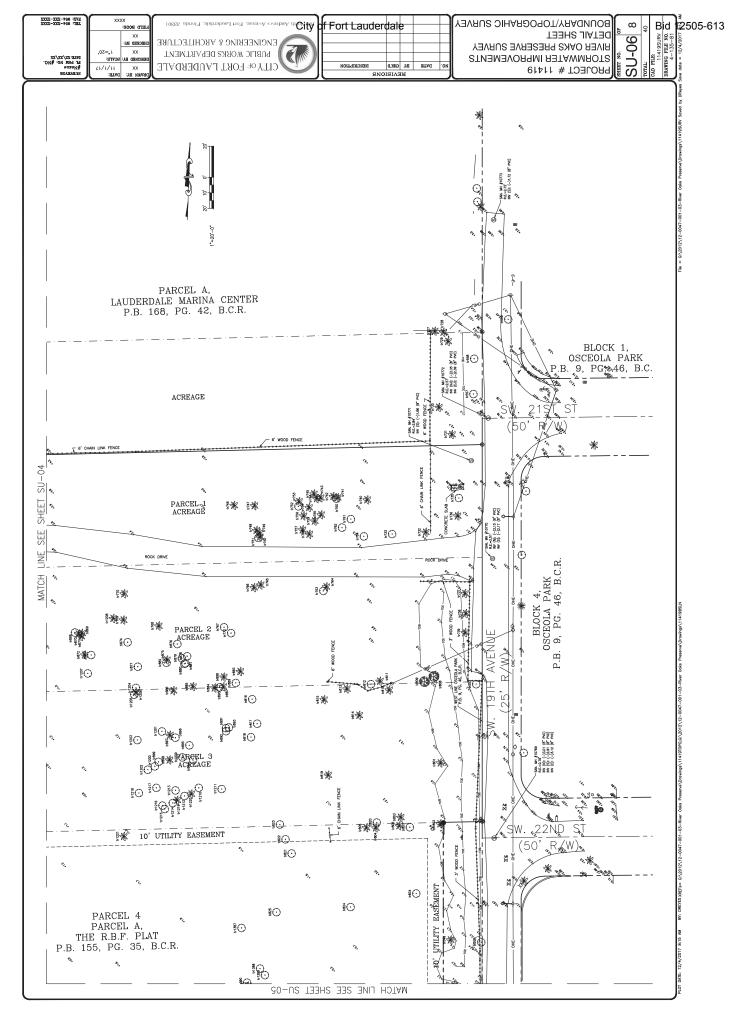












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4. BISCHOFFIA				L										
7" BISCHOFFIA		200	30" STRANGLER FIG	11874	16" OW	11248	15" ROYAL PALM BH=40"	tr1036	tr1036 8" ROYAL PALM BH=20"	01114	8* POND APPLE	tr1189	8* BISCHOFFIA	tr1377 8" ROYAL PALM BH=25"
11" ROYAL PALM BH=29"		Т	7" ACACIA (EMB 1EME)			11250	10" BISCHOFFIA	11078	trions is some pain stand	11112	tr112 8' BOXU BUN 84-12'		JIBOT UND T	11779 12" CHINESE EIN PAUN BH. NY
14" ROYAL PALM BH=33			SVBN, PALM BH-22"			11251	* BISCHOFFIA	tr1039	" POND APPLE	tr1113	18" POND APPLE	tr1192	" POND APPLE	tr1380 10" CHNESE FAN PALM BH-30"
16" ROYAL PALM BH-2			10" SABAL PALM BH-22"			9964	10" MAHOGAMY	tr1040	16° SEA GRAPE	tr1114	8" POND APPLE	tr1193	5" POND APPLE	12" CHNESE FAN PALM BH-35"
7" BISCHOFFIA			SABAL PALM BH=15"		11 BSCHOFFA	11 1982	C SABAL PALM BH=14"	tr1041	5° SEA GRAPE	_	8 BALD CYPRESS	141194	O" POND APPLE	12" CHNESE FAN PALM BH=35"
10" BISCHOFFIA		tr851	5" MAHOGARY	tr880	4" BISCHOFFM	9984	6" STRANGLER FIG	tr1042	2 12" OW	т	15" ROYAL PALM BH=45"	1136	10" POND APPLE	tr1383 12" CHINESE FAN PALM BH=30"
7" BISCHOFFM		П	5" MAHOGANY			1 6964	10" ACACIA (EAR LEAF)	tr1043	12" OW	tr1117	12* BALD CIPRESS	tr1196	" POND APPLE	tr1384 8* CHINESE FAN PALM BH=20*
14" SABA PALM RH=12"		T	4" WAHDSANY	1		Г	10" SABA PAIN RH=5"	tr1044	18° 04K	tr1118	11118 18" ROYA PAIN BH::40"	tr1197	12" BISCHOFFA	1/285 R* CHINESE FAN DALM RHIE30*
24" BOYLL DALM BAILT		Т	20" Saw Ballattio balla Ba-10"	1,884	BOO DALM Bis-17'	Т	12" CARAI DAIN BH-26"	trings	12" Britan Dalla Bei-45"	11110	15" DOND ABBIE	Т	8* BECHOSTIA	12" BOND ABBIE
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16" ROYAL PALM BH=31		T	8" CARROTHIOOD		BH=17:	Т	18" SABAL PALM BH=8"	tr1048	triods 8" SABAL PALM BH=6"		8" POND APPLE	$\neg$	15" ROYAL PALM BH=45"	tri389 8" BISCHOFFIA
15" SABAL PALM BH-6		$\neg$	18" SAW PALMETTO PALM BH=3"	1887			60" STRANGLER FIG	tr1049	8" SABAL PALM BH=6"	tr1123	8" POND APPLE	$\neg$	8" ALEXANDER PALM BH=30"	tr1390 24" BISCHOFFIA
24" OW		t-959 12	12" MAHDGANY	8894	11" SABAL PALM BH-25"	1976	30" STRANGLER FIG	tr1050	tr1050 18" ROYAL PALM BH-45"	tr1124	tr1124 8" POND APPLE	tr1312	12" BALD CIPRESS	tr1391 4" ROYAL PALM BH+8"
14" SABAL PALM BH=9"		980	8" CARROTWOOD	6884	20 BMLD CIPRESS	14977 8	84" STRANGLER FIG	tr1051	12" WPLE	tr1125	tr1125 6" POND APPLE	tr1313	18" ROYAL PALM BH-45"	tr1392 4" PALM BH=8"
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Z. WWGO	Ī	.	18" SABAL PALM BH=6"	- 1	8 BISCHOFFIA	0860	60" STRANGLER FIG	tage.	Z- POND APPLE	821178	15" BISCHOFFIA	- 1	8" ROYAL PALM BH=45"	Т
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12" PALM BH=12			8" ACACIA (EAR LEAF)		22" BISCHOFFIA	tr982 8	8* BISCHOFFIA	tr1056	" POND APPLE	tr130	10" SABAL PALM BH=10"		8" ROYAL PALM BH=38"	
45" OW			34" 04K	2684	10" BISCHOFFIA	tr983 8	8* BISCHOFFIA	tr1057	12" ROYAL PALM BH=20"	tr1131	tr1131 10" SABAL PALM BH=15"	tr1319	12" POND APPLE	
14" SABAL PALM BH-19"		tr822 15	15° OWK		14" CARROTWOOD	1984 2	24" STRANGLER FIG	tr1058	I' POND APPLE	tr1132	12" ROYAL PALM BH=15"	tr1320	18" ROYAL PALM BH=45"	tr1253 15" ROYAL PALM BH=35"
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5" CARROTWOOD		tr825 4*	4" BISCHOFFIA	6684	14" CARROTWOOD	1987 8	8" ROYAL PALM BH-18"	tr1061	h1061 12" ROYAL PALM BH=36"	41138	tr1135 30" POND APPLE	tr1323	18" ROYAL PALM BH40"	tr1255 13" BISCHOFFIA
54" UNKNOWN	-	tr826 12	12" ROYAL PALM BH=35"	t-1200	14" CARROTWOOD	t-988 2	20 ROTAL PALM BH-40	tr1062	tri062 8* POND APPLE	tr136	tr136 36* BISCHOFFIA	tr1324	tr1324 8" ALEXANDER PALM BH=30"	tr1256 8" BISCHOFFIA
SA" INKNOWN		Г	12" CHINESE FAN PALM BHEXY	t-1201		Г	40" ARECA RAMPOO PALM BHarto"	tr1063	11063 15" ROYAI PALM RHANG"	11137	A POND APPIF	11325	A" ALEXANDER PALM RH TO"	1+1257 A" RISCHOFFIA
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24" ROYAL PALM BH=45		tr831 12	12" SABAL PALM BH=20"	tr1204	tr1204 6" BISCHOFFIA	11 2887	18" STRANGLER FIG	tr1056	tr1056 12" ROYAL PALM BH=45"	tr1140	tr1140 6" POND APPLE	tr1328	4* UNKNOWN	tr1250 7" BISCHOFTA
6" CARROTWOOD		tr832 14	14" SABAL PALM BH=18"	tr1205		tr993 8	8* BISCHOFFIA	tr1067	2" ROYAL PALM BH=25"	17114	tr1141 6" BMLD CYPRESS	tr1329	10" ROYAL PALM BH=13"	tr1261 7" BISCHOFFIA
6" CARROTWOOD		Г	30" STRANGER FIG	tr1206	\$1206 18" ROYAL PALM BH=48"	1	30" STRANGLER FIG	tr1058	18" POND APPLE	tr1142	tr1142 20" ROYAL PALM BH=45"		6" ROYAL PALM BH-20"	tr1262 6" BISCHOFFIA
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9 COCUNUI PALM BH=20		- 1	A.K.		15 KUTAL PALM BH=45		BISCHOFFA	D/OLD	THUND 15 HOND APPLE	5	8 BALLI CTPRESS		HUTAL PALM BH=20	TIZER / BISCHOFFIA
5" COCONUT PALM BH-7"		T	7" ROYAL PALM BH=9"		10" CARROTHOOD	£897 8	8 BISCHOFFIA	tr1071	2" POND APPLE	41145	15" ROYAL PALM BH-45"	╗	18" ROYAL PALM BH-45"	╗
8" COCONUT PALM BH=8'			12" ROYAL PALM BH=18"	t-1210	10" BISCHOFFIA	11	15" SABAL PAUN BH=12"	tr1072	5" ROYAL PALM BH=8"	tr1146	10" BALD CYPRESS	tr1334	8* BISCHOFFIA	tr1266 8" BISCHOFFIA
5" COCONUT PA		t-837 5*	5" ROYAL PALM BH-5"	11711	#1211 18" BSCHOFFIA	6664	8" BISCHOFFIA	tr1073	10" ROYAL PALM BH=30"	tr1147	tr1147 12" BALD CYPRESS	tr1340	4" POND APPLE	tr1267 8" BSCHOFTA
O" COCOMIT PAIN RH-20"		Г	12" BOXW PAIN BH=21"	4-1212	A" RISCHOEDA	t-1000	H-1000 A" RECHOFFIA	tr1074	tri074 18" Bain copperes	11148	IN POND APPIF	141341	18" Britai Palla BHafr'	1-1268 6" RICHOFFLE
CO-CONTE DA M BULLOO	Ī	Т	16" BOYEL BALL BU-10"	1014	10,000,000	10014	10071	4-1075	FOTA 19" DOWN ABOUT	641150	150 P. COCCOMIT DAILY DAILY	0714	10" DOWN ADDIE	27.280 4. BECUDEEN
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6 CARROTWOOD		Т	8" WASHINGTONIA PALM BH=48"	41214	8" BISCHOFFIA	20014	5" BISCHOFFIA	tr1076	tr1076 8" ROYAL PALM BH=26"	41138	10" COCONUT PALM BH=20"		8" POND APPLE	tr1270 4" BISCHOFFIA
6" CARROTWOOD		tr841 15	15" SABAL PALM BH=22"	t-1215	tr1215 6* BISCHOFFIA	t-1003 8	8" BISCHOFFIA	tr1077	tr1077 20" ROYAL PALM BH=50"	tr156	tr1156 8" ROYAL PALM BH=10"	tr1344	12" POND APPLE	tr1271 5" BISCHOFFIA
7" MAHOGANY		tr842 5*	5° 04K	tr1216	9" BISCHOFFIA	t-1004	18" ROYAL PALM BH=35"	tr1078	tr1078 5" ROYAL PALM BH=8"	tr1157	8, MITOM	tr1345	18" ROYAL PALM BH=40"	tr1272 10" POND APPLE
6* CARROTWOOD		tr843 5"	5" BISCHOFFIA	t1217	10" BISCHOFFIA	tr1005	72" STRANGLER FIG	tr1079	5* BALD CIPPESS	tr1158	8, MITOM	tr1346	15" ROYAL PALM BH=35"	tr1273 5" POND APPLE
A* CABBOTWOOD		Т	A BISCHOESE	P1218		11100 B	tetinos as porcei para ser-a"	tr1080	2° 140 F	11160	O BISCHOFFIA		147347 8* BOYAL DALM BH-10*	12274 6" BOND ABBIE
TO CONTROL O		Т	Backers	2		2001	NOTICE PACE COLOR		nicoo iz merz		a los descriptions		NOTICE LANGE BUTTER	The once of the same
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8" CARROTWOOD		П	5" OWK	tr1220		tr1008 8	tr1008 8" ACACIA (EAR LEAF)	tr1082	tr1082 20" ROYAL PALM BH=40"	tr1161	tr1161 8" BISCHOFFIA	tr1349	12" BALD CYPRESS	
7" CARROTWOOD		П	12" BLACK OLIVE	t1221		t-1009	" PIDGEON PLUM	tr1083	12" ROYAL PALM BH=40"	tr1162	tr1162 15" CARROTWOOD	tr1350	5" BALD CIPRESS	tr1277 13" ROYAL PALM BH=22"
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8" CARROTWOOD		╗	4" OWK	£1224		11012	C PIDGEON PLUM	t-1086	5" ROYAL PALM BH-45"	200	8" POND APPLE	1383	8" ROYAL PALM BH-25"	tr1280 8" BISCHOFTIA
8" CARROTWOOD		12	12" MPLE	41225		t-1013	C ROYAL PALM BH-50"	tr1087	O" ROYAL PALM BH-30"	tr168	18" POND APPLE	tr1354	2" ROYAL PALM BH-25"	tr1281 12" POND APPLE
6" CARROTWOOD			UNING CITRUS TREE	t-1228	14" ROYAL PALM BH=31"	t-1014	tr1014 4" WILD TAMARIND	tr1088	12" ROYAL PALM BH=40"	tr1167	18" ROTAL PALM BH-45"	tr1355	CO" ROYAL PALM BH=45"	tr1282 16" ROYAL PALM BH=20"
6" CARROTWOOD		tr847 4"	4.04	4-1227		1 1015	12" OM	tr1089	20* BOYM PAIN BH=50*	11168	6" ROYAI PALM RH=R"	11356	15" ROYA PALA RH=50"	tr1283 12" POND APPIF
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6" CARROTWOOD		tr851 5"	5° 04K	t-1231	14" ROYAL PALM BH=19"	t-1019 4	4" POND APPLE	tr1093	tr1093 20* POND APPLE	tr1172 8	tr1172 8" POND APPLE	tr1360	12" ROYAL PALM BH=40"	tr1401 31" PALM BH=12"
6" CARROTWOOD		tr852 18	18" BMLD CYPRESS	t1232			8" POND APPLE	tr1094	18" ROYAL PAUM BH=355"	tr1173	18" BISCHOFFIA	tr1361	15" ROYAL PAUM BH=45"	tr1402 12" MPLE
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8" COCONUT PALM BH=8"			ROYAL PALM BH=32"	tr1237	t-1237 10" BISCHOFFIA	11025	tr1025 12" POND APPLE	tr1099	tr1099 8* SABAL PALM BH=25"	tr1178	tr178 18" ROSAL PALM BH=45"	tr1366	8* BISCHOFFIA	tr1407 15* POND APPLE
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18" SABAL PALM BH=20			11" OWK	tr1240		tr1028 6	POND APPLE	tr1102	o" owk	tr1181	8* BISCHOFFIA	tr1369	5" ROYAL PALM BH=40"	tr1410 10" POND APPLE
18" SABAL PALM BH=10		13	13" OWK	t-1241		t-1029 4	tr1029 4* POND APPLE	tr1103	12" OW	tr1182	tr1182 6" BISCHOFFIA		8* POND APPLE	tr1411 12" SABAL PALM BH=15"
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15" MAHOGANY	1		4" PALM BH=6"	tr1244	16" BISCHOFFIA	t-1032 2	#1032 20" ROTAL PALM BH=45"	trr1106	trillo6 15" GUMBO LIMBO	tr1185	6" POND APPLE	tr1373	4" POND APPLE	tr1414 6" POND APPLE
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