

THIS INSTRUMENT PREPARED
BY AND RETURN TO:

Jason S. Crush, Esq.
Crush Law, P.A.
600 SE 2nd Court
Fort Lauderdale, FL 33301

Space Reserved for Recording Information

DEVELOPMENT AGREEMENT

THIS DEVELOPMENT AGREEMENT is entered into this ___ day of ____, 2022, (the "Agreement"), by and between the CITY OF FORT LAUDERDALE, a municipal corporation of the State of Florida, its successors and assigns (the "City"), and BAYSHORE CONCEPTS, LLC, a Florida limited liability limited company, its successors and assigns (the "Developer").

WITNESSETH:

WHEREAS, Section 47-26A.1. of the Unified Land Development Regulations ("ULDR") provides that a development permit may be granted for a development which does not comply with zoning regulations adopted on or after September 4, 1996 and in effect at the time the application for development is filed with the City, but would comply with zoning regulations in effect immediately prior to a change in the regulations; and

WHEREAS, the applicant, Bayshore Concepts, LLC is the fee simple owner of the property identified in Exhibit "A" (the "Property") zoned IOA ("Intracoastal Overlook Area") and is proposing to construct a development with 65 residential units; and

WHEREAS, Bayshore Concepts, LLC has filed an application for development approval that includes a parking structure that exceeds the two hundred (200) feet maximum length limitation at a height of +/- thirty (30) feet and six (6) inches and is not permitted under the current zoning regulations applicable to the property at the time of the application, but would be permitted pursuant to Section 47-12 of the ULDR prior to the date the Amendment was in effect; and

WHEREAS, the Planning and Zoning Board at its meeting of July 21, 2021 (Case #: UDP-S20009) did recommend to the City Commission that the request for application of a prior zoning regulation, Site Plan Level IV development permit be granted, subject to certain conditions; and

WHEREAS, such public hearing was duly held at the time and place designated after notice of same was given by publication as required by law, and the City Commission reviewed the application as required by Section 47-26.A and Section 47-12 of the ULDR and found that the application, subject to certain conditions, conforms with the provisions of such regulations and approved the application; and

WHEREAS, pursuant to Ordinance No. C-21-29 adopted on September 21, 2021, as the same has been or may be amended from time to time, Developer intends to develop the Developer Property in accordance with the site plan and narrative approved as part of the Site Plan Level IV Development Permit as more particularly described therein ("Approved Development Plan") (Exhibit "B"); and

WHEREAS, Section 47-26.A.1.H. of ULDR provides that approval of a development permit though the application of prior zoning regulations shall be contingent upon and subject to a development agreement to be executed by the city and the property owner that specifies the development standards applicable to the property, any conditions imposed as a part of the approval and references the approved site plan; and

WHEREAS, pursuant to Section 163.3223, Florida Statutes (2021) any local government may, by ordinance, establish procedures and requirements, as provided in ss. 163.3220-163.3243, to consider and enter into a development agreement with any person having a legal or equitable interest in real property located within its jurisdiction.

NOW, THEREFORE, in consideration of Ten Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

1. **Recitals.** The above recitals are true, complete and correct and are hereby incorporated herein by this reference.
2. The development agreement shall be applicable to the Property situated in the City of Fort Lauderdale, Broward County, Florida and legal described as:

ALL OF LOTS 3, 4, 5 AND 6, BLOCK 7, "BIRCH OCEAN FRONT SUBDIVISION" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 19 PAGE 26 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA:

3. **Defined Terms.** The following terms, as used and referred to herein, shall have the meaning as set forth below, unless the context indicates otherwise.

Association means the property owner's association created by Developer in

connection with the development.

Authorized Representative. The Authorized Representative for each party shall mean the person designated in writing who is responsible to coordinate and communicate with the other party and to manage and supervise execution and implementation of the terms and conditions as set forth in this Agreement. In the administration of this Agreement, as contrasted with matters of policy, all parties may rely on the instructions or determinations made by the Authorized Representative, provided however that such instructions and determinations do not change the scope of participation. The parties agree that only one person shall be authorized to speak on behalf of that party at any one time. The City's Authorized Representative is designated as the City Manager or his designee. The Developer's Authorized Representative is designated as Par Sanda, Managing Member. In the event the Developer Property is transferred, sold or conveyed to one or more legal entities, the successor(s) or assign(s) shall give notice to City designating one natural person to be the Authorized Representative on behalf of any and all owners, Association or anyone else with interest in the Developer Property or the rights and obligation provided herein, it being the intent of the parties that City be required to communicate with one legal entity represented by one natural person in the carrying out of the rights and responsibilities of the Developer.

Day(s). In computing any period of time expressed in day(s) in this Agreement, the day of the act, event, or default from which the designated period of time begins to run shall not be included. The last day of the period so computed shall be included unless it is a Saturday, Sunday, or legal holiday, in which event the period shall run until the end of the next day which is neither a Saturday, Sunday or legal holiday. When the period of time prescribed or allowed is less than seven (7) days, intermediate Saturdays, Sundays, and legal holidays shall be excluded in the computation.

Effective Date means the effective date of this Agreement, which shall be the date upon which both parties have fully executed this Agreement as evidenced by the date written on the first page of this Agreement.

Person means any individual, firm, partnership (general or limited), corporation, company, association, joint venture, joint stock association, estate, trust, business trust, cooperative, limited liability corporation, limited liability partnership, limited liability company or association, or body politic, including any heir, executor, administrator, trustee, receiver, successor or assignee or other person acting in a similar representative capacity for or on behalf of such Person.

4. **Representations.** Developer represents and warrants to City the following:

- (a) that it is the fee simple owner of the Developer Property.

- (b) that it is an entity authorized to do business in the State of Florida.
- (c) that it has the requisite business skill and ability to perform the obligations imposed upon it by this Agreement,
- (d) that it shall obtain all the permits and approvals from all applicable governmental agencies having jurisdiction over the Property from the City or any other regulatory agency having jurisdiction; and
- (e) that Developer shall not convey the Developer Property, with the exception of submitting the Developer Property to a condominium regime, unless such conveyance is in conjunction with an assignment of all its rights and obligations under this Agreement.

5. **Development Uses Permitted on the Land:** Ordinance No. C-21-29 adopted on September 21, 2021, Florida, approved a Site Plan Level IV Development Permit for the development of a 65 dwelling unit residential development consisting of two building with a maximum height of 120 feet (11 stories) which is calculate to be a density of 42 dwelling units per net acre. The approved development is consistent with the City of Fort Lauderdale Comprehensive Plan and Unified Land Development Regulations.

6. **Conditions of Approval.**

- (a) The area identified as “resident dining” on the Approved Development Plan as presented to the Planning and Zoning Board and the City Commission, is hereby redesignated as a “Club Room” for resident use (as shown on the Site Plan – generally located in the southwest corner of the first floor). The Club Room has the following conditions:
 - (i) No Commercial Kitchen;
 - (ii) No Restaurant Grease Trap;
 - (iii) As it is not a restaurant, no food pick-up or take-out services will be employed; and
 - (iv) Olakino House dumpster is internal.
- (b) Pursuant to ULDR Section 47-26A.1 any amendment to the Approved Development Plan (Case #: UDP-S20009) shall be

reviewed by the Development Review Committee; the Planning and Zoning Board; and ultimately approved by the City Commission;

- (c) Prior to issuance of a final Certificate of Occupancy (C.O.), applicant shall dedicate a ten (10) foot by fifteen (15) foot utility easement for a water meter vault located within the proposed development to facilitate City maintenance access as approved by the City Engineer;
- (d) Prior to issuance of a final Certificate of Occupancy, applicant shall prepare, execute, and record an Agreement or other document for the perpetual maintenance of private improvements within the existing right-of-way of Bayshore Drive as depicted on the maintenance agreement exhibit sheet;
- (e) Applicant will be required to pay a park impact fee for the proposed residential units prior to issuance of building permit in accordance with ULDR Section 47-38A, Park Impact Fees;
- (f) Applicant will be required to obtain a final School Capacity Availability Determination (SCAD) letter prior to the submittal of building permit and provide the City with a copy at time of building permit submittal;
- (g) If, during the course of development, archaeological materials or unmarked human remains are encountered then excavation in the vicinity of the find shall halt immediately and the developer, property owner, or authorized agent should immediately alert the City's Historic Preservation staff to coordinate the discovery and take measures to implement Chapter 872.05 Florida Statutes as it pertains to the discovery of unmarked human remains; and
- (h) The applicant has proffered the following improvements prior to issuance of Final Certificate of Occupancy and shall be responsible for coordinating the improvements with the City's Public Works Department: Starting at the intersection Terramar Street and Bayshore Drive, 400 feet linear feet of six-inch water main shall be upsized to a minimum of 10 inches in diameter. The reconstruction of the pump station shall be designed and constructed to have enough capacity to accept the estimated project flow contribution and capacity for water service to address proposed project demand.

7. **Assignment.** Developer may sell, transfer or assign this Agreement without the prior written consent of City to an assignee or transferee of Developer's fee simple interest in the Developer Property or a portion thereof, or to an Association, which

such transfer or assignment shall be given in a recordable form and shall be recorded by Developer or Developer's assignee or transferee. Developer's assignee or transferee shall assume all obligations arising under this Agreement, and, thereafter, Developer shall be fully released and relieved from all liability and obligation hereunder. Other than as described in this subparagraph, Developer may not sell, transfer, or assign this Agreement without the prior written consent of City.

8. **Time is of the Essence.** Time is of the essence in the performance of this Agreement.

9. **Relationship of Parties.** The relationship between the parties hereto shall be solely as set forth herein and neither party shall be deemed the employee, agent, partner or joint venturer of the other.

10. **Choice of Laws; Venue.** This Agreement shall be governed by the laws of the State of Florida. In the event of litigation between the parties, venue for any such litigation shall be in Broward County, Florida.

11. **Compliance with Governing Laws.** The parties shall comply with all applicable laws, ordinances, and codes of the United States of America, the State of Florida and all local governments having jurisdiction, in carrying out the rights and responsibilities provided in this Agreement. If state or federal laws are enacted after the execution of this development agreement which are applicable to and preclude the parties' compliance with the terms of this development agreement, this agreement shall be modified or revoked as is necessary to comply with the relevant state or federal laws. The failure of the agreement to address a particular permit, condition, term, or restriction shall not relieve the developer of the necessity of complying with the law governing said permitting requirements, conditions, term, or restriction.

12. **Entire Agreement.** This Agreement, together with any other agreements entered into contemporaneously herewith, constitutes and represents the entire agreement between the parties hereto and supersedes any prior understandings or agreements, written or verbal, between the parties hereto respecting the subject matter herein. This Agreement may be amended, supplemented, modified or discharged only upon an agreement in writing executed by all of the parties hereto. This Agreement shall inure to the benefit of and shall be binding upon the parties hereto and their respective successors and assigns, subject, however, to the limitations contained herein. In the event any provision of this Agreement shall be held invalid or unenforceable by any court of competent jurisdiction, such holding shall not invalidate or render unenforceable any other provision hereof.

13. **Interpretation of Agreement.** This Agreement shall be governed by and construed in accordance with the laws of the State of Florida. If any provision, or its application to any person or situation, is deemed invalid or unenforceable for any reason and to any extent, the remainder of this Agreement, or the application of the

remainder of the provisions, shall not be affected. Rather, this Agreement is to be enforced to the extent permitted by law. The captions, headings and title of this Agreement are solely for convenience of reference and are not to affect its interpretation. Each covenant, agreement, obligation or other provision of this Agreement is to be construed as a separate and independent covenant of the party who is bound by or who undertakes it, and each is independent of any other provision of this Agreement, unless otherwise expressly provided. All terms and words used in this Agreement, regardless of the number or gender in which they are used, are deemed to include any other number and other gender as the context requires.

14. **Periodic Review of Development Agreement.** Pursuant to Section 163.3235, Florida Statutes, the city shall review land subject to a development agreement at least once every 12 months to determine if there has been demonstrated good faith compliance with the terms of the development agreement. If the City finds, on the basis of substantial competent evidence, that there has been a failure to comply with the terms of the development agreement, the agreement may be revoked or modified by the City.

15. **Notices.** Whenever it is provided herein that notice, demand, request or other communication shall or may be given to, or served upon, either of the parties by the other, or either of the parties shall desire to give or serve upon the other any notice, demand, request or other communication with respect hereto or with respect to any matter set forth in this Agreement, each such notice, demand, request or other communication shall be in writing and any law or statute to the contrary notwithstanding shall not be effective for any purpose unless the same shall be given by mailing the same by Federal Express or similar delivery method, registered or certified mail, postage prepaid, return receipt requested, addressed to the party at the address set forth below, or at such other address or addresses and to such other person or firm as City may from time to time designate by notice as herein provided.

All notices, demands, requests or other communications hereunder shall be deemed to have been given or served for all purposes hereunder forty-eight (48) hours after the time that the same shall be deposited in the United States mails, postage prepaid, in the manner aforesaid, provided, however, that for any distance in excess of five hundred (500) miles, air mail service or Federal Express or similar carrier shall be utilized, if available.

Any notice required or permitted to be given by the terms of this Agreement or under any applicable law by either party shall be in writing and shall be either hand delivered or sent by certified mail, postage prepaid, return receipt requested. Such written notice shall be addressed as follows, unless either party provides written notice to the other to direct notices other than as set forth herein:

If to City: Chris Lagerbloom, City Manager
City of Fort Lauderdale
100 N. Andrews Avenue, 8th Floor
Ft. Lauderdale, Florida 33301
Telephone: 954-828-5013

With a copy to: Alain E. Boileau, Esq., City Attorney
City of Fort Lauderdale
100 N Andrews Avenue
Fort Lauderdale, Florida 33301
Telephone: 954-828-5940

Developer: Par Sanda, Managing Member
Bayshore Concepts, LLC
501 N. Birch Road, #3
Fort Lauderdale, Florida 33304

With a copy to: Jason S. Crush, Esq.
Crush Law, PA
600 SE 2nd Court
Fort Lauderdale, FL 33301
Telephone: 954-522-2010

16. **Emergency Notice.** Within thirty (30) days of the Effective Date of this Agreement, Developer shall provide in writing to the City an emergency contact name and phone number. If an emergency situation arises with respect to the Improvement Areas, or any condition thereof presents an imminent threat to the health or safety of persons or property, the City shall make reasonable efforts to provide telephone notice to the contact person.

17. **Successors.** This Agreement shall be binding on and inure to the benefit of the parties, their successors and assigns.

18. **Recording.** This Agreement is not effective until it is properly recorded in the Public Records of Broward County, Florida within 14 days after the City has executed the agreement. City shall record the Agreement, subject to Developer reimbursing City for the cost thereof. A copy of the recorded Agreement shall be provided to Developer and filed with the City Clerk's Office of the City of Fort Lauderdale.

19. **Amendment or Cancellation.** This Agreement may be amended or canceled by mutual consent of City and Developer or their successors in interest. The

Developer or its designated successor in interest to a development agreement and the City may amend or cancel a development agreement without securing the consent of other parcel owners whose property was originally subject to the development agreement, unless the amendment or cancellation directly modifies the allowable uses or entitlements of such owners' property.

20. **Counterparts.** This Agreement may be executed in one or more counterparts, each of which shall be deemed to be an original but all of which together shall constitute one and the same instrument.

21. **Governing Law and Venue.** This Agreement shall be construed in accordance with the laws of the State of Florida and venue for any litigation hereunder shall be Broward County, Florida.

22. **Enforcement.** Any party or aggrieved or adversely affected person as defined in s. 163.3215(2) may file an action for injunctive relief in the circuit court where the local government is located to enforce the terms of a development agreement or to challenge compliance of the agreement with ss. 163.3220-163.3243.

23. **Duration of the Development Agreement.** The duration of this development agreement shall be 30 years but may be extended by mutual consent of the city commission and the developer, subject to a public hearing in accordance with s. 163.3225, Florida Statutes (2021).

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of the day and year first above written.

[Signatures begin on next page]

FOR CITY:

WITNESSES:

CITY OF FORT LAUDERDALE, a
municipal corporation of the State of
Florida.

Print Name _____

By: _____
DEAN J. TRANTALIS, Mayor

Print Name _____

Print Name _____

By: _____
CHRISTOPHER J. LAGERBLOOM
City Manager

Print Name _____
(SEAL)

ATTEST:

Approved as to form:
ALAIN E. BOILEAU, City Attorney

DAVID R. SOLOMAN
City Clerk

By: D'WAYNE M. SPENCE
Assistant City Attorney

STATE OF FLORIDA:
COUNTY OF BROWARD:

The foregoing instrument was acknowledged before me by means of physical presence
or online notarization, this ____ day of _____, 2022, by DEAN J. TRANTALIS
as Mayor of the City of Fort Lauderdale, Florida.

Signature of Notary Public - State of Florida

Print, Type, or Stamp Commissioned Name of Notary Public

Personally Known ____ OR Produced Identification ____
Type of Identification Produced: _____

STATE OF FLORIDA:
COUNTY OF BROWARD:

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this ____ day of _____, 2022, by CHRISTOPHER J. LAGERBLOOM as City Manager of the City of Fort Lauderdale, Florida.

Signature of Notary Public - State of Florida

Print, Type, or Stamp Commissioned Name of Notary Public

Personally Known ____ OR Produced Identification ____
Type of Identification Produced: _____

FOR DEVELOPER:

WITNESSES:

BAYSHORE CONCEPTS, LLC, a limited liability company

Print Name: _____

By _____
Print Name: Par Sanda
Title: Manager Member

Print Name: _____

STATE OF FLORIDA:
COUNTY OF BROWARD:

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this ____ day of _____, 2022, by Par Sanda, as Managing Member of Bayshore Concepts, LLC, a limited liability company.

Signature of Notary Public - State of Florida

Print, Type, or Stamp Commissioned Name of Notary Public

Personally Known ____ OR Produced Identification ____
Type of Identification Produced: _____

EXHIBIT "A"

INSERT SKETCH AND LEGAL



McLAUGHLIN ENGINEERING COMPANY
LB#285

ENGINEERING * SURVEYING * PLATTING * LAND PLANNING
1700 N.W. 64th STREET #400, FORT LAUDERDALE, FLORIDA
33309 PHONE (954) 763-7611 * FAX (954) 763-7615

M.O.D.K.

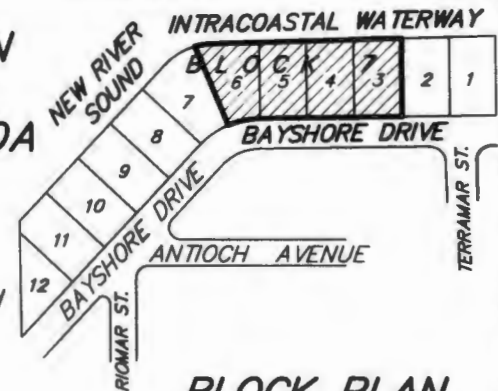
SCALE 1" = 80'

SKETCH AND DESCRIPTION
551 BAYSHORE DRIVE
FORT LAUDERDALE, FLORIDA

LEGAL DESCRIPTION:

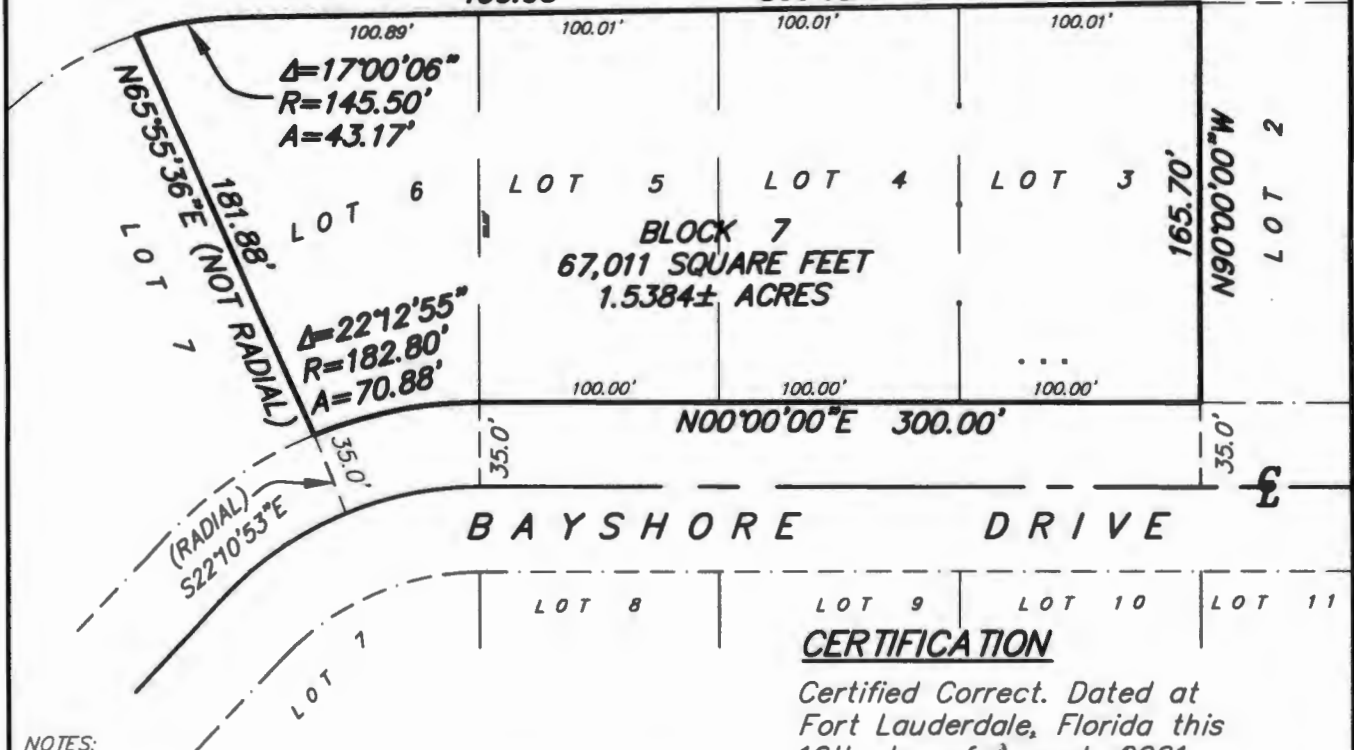
Lots 3, 4, 5, and 6, Block 7, BIRCH OCEAN FRONT SUBDIVISION, according to the plat thereof recorded in Plat Book 19, Page 26, of the public records of Broward County, Florida.

Said lands situate, lying and being in the City of Fort Lauderdale, Broward County, Florida and containing 67,011 square feet or 1.5384 acres more or less.



BLOCK PLAN
NOT TO SCALE

INTRACOASTAL WATERWAY
400.93' 500'52'48"E



CERTIFICATION

Certified Correct. Dated at Fort Lauderdale, Florida this 16th day of August, 2021.
Revised this 19th day of August, 2021.

McLAUGHLIN ENGINEERING COMPANY

J. M. McLaughlin Jr.
JAMES M. McLAUGHLIN JR.
Registered Land Surveyor No. 4497
State of Florida.

NOTES:

- 1) This sketch reflects all easements and rights-of-way, as shown on above referenced record plat(s). The subject property was not abstracted for other easements, road reservations or rights-of-way of record by McLaughlin Engineering Company.
- 2) Legal description prepared by McLaughlin Engineering Co.
- 3) This drawing is not valid unless sealed with an embossed surveyors seal.
- 4) THIS IS NOT A BOUNDARY SURVEY.
- 5) Bearings shown assume the East line of Lots 5, 4 and 3, as North 00°00'00" East.

FIELD BOOK NO. _____

DRAWN BY: JMMjr

JOB ORDER NO. V-6385

CHECKED BY: _____

REF. DWG.: 93-3-117

C: \JMMjr/2021/V6385

EXHIBIT "B"
INSERT SITE PLAN PACKAGE

OLAKINO HOUSE

FORT LAUDERDALE, FL



DRAWING INDEX					
Sheet Number	Sheet Name	Sheet Number	Sheet Name	Sheet Number	Sheet Name
A-1.00	SITE PLAN	A-2.05	SUN STUDY	PGD-3	SITE SECTIONS
A-1.01	GROUND FLOOR PLAN	A-2.01	ILLUSTRATIVE SITE PLAN	PGD-3.1	SITE SECTIONS
A-1.02	2ND Floor - Parking	U-02	TREE DISPOSITION PLAN	PGD-4	DRAINAGE DETAILS
A-1.03	3RD Floor - Parking	L-40	PLANTING NOTES & SCHEDULES	WS-1	WATER AND SEWER NOTES
A-1.04	4TH Floor - Amenity Level	L-41	PLANTING PLAN - CHARTS - GROUND FLOOR	WS-2	WATER AND SEWER PLAN
A-1.05	5TH Floor - Typical Unit 1	L-42	PLANTING PLAN - 4TH FLOOR AMENITY LEVEL	WS-3	WATER AND SEWER DETAILS
A-1.06	6TH FLOOR PLAN (6TH & 10TH SIMILAR)	L-43	PLANTING PLAN - ROOF	WS-4	SEWER DETAILS
A-1.07	7TH FLOOR PLAN (7TH SIMILAR)	L-50	PLANTING DETAILS	WS-5	SEWER DETAILS
A-1.11	11TH FLOOR - PH UNIT	L-51	PLANTING DETAILS	SWPPP-1	STORMWATER POLLUTION PREVENTION NOTES
A-1.13	ROOF PLAN	L-60	SEVA CELL PLAN	SWPPP-2	STORMWATER POLLUTION PREVENTION PLAN
A-2.00A	RENDER VIEW	U-00	COVER SHEET, LOCATION MAP AND NOTES	TR-1	LOADING TRUCK PATH PLAN
A-2.00B	RENDER VIEW	C-1	GENERAL NOTES		
A-2.01	ELEVATIONS	TR-1.1	PAVING MARKING AND SIGNAGE PLAN		
A-2.02	ELEVATIONS	PGD-1	PAVING-DRAINAGE-DRAINAGE PLAN		
A-2.0A	MATERIALS AND DETAILS	PGD-2	SITE DETAILS		
A-2.0B	MATERIALS AND DETAILS				
A-2.0C	CONTEXT AND DETAILS				

REV	DESCRIPTION	DATE

Digitally signed by Peter T. Stromberg
 Date: 2021.07.08 13:51:32 -0400
 © GSA Studios

GARCIA STROMBERG
 GSA Studios
 299 ALHAMBRA CIRCLE, SUITE 510
 CORAL GABLES, FL 33134
 Phone: 305.441.1111
 Fax: 305.441.1111
 www.garciastromberg.com

Location Ventures
 299 ALHAMBRA CIRCLE, SUITE 510
 CORAL GABLES, FL 33134

OLAKINO HOUSE
 561 BAYSHORE DRIVE
 FORT LAUDERDALE, FL 33304

COVER

- CV

OLAKINO HOUSE



03.12.2021 DRC SUBMISSION

PROJECT NUMBER: P2021-00000000

DATE: 03/12/2021

BY: [Signature]

FOR: [Signature]

GARCIA STROMBERG
GSAstudios
 ARCHITECTS
 2500 W. PALM BEACH BLVD #111, FORT PINE BLVD, SUITE 111B, DEER BEACH, FLORIDA 33442
 FORT PINE BLVD, SUITE 111B, DEER BEACH, FLORIDA 33442

Location Ventures
 259 ALHAMBRA
 CIRCLE, STE 510
 CORAL GABLES, FL

OLAKINO HOUSE
 551 BAYSHORE DRIVE
 FORT LAUDERDALE, FL
 33304

VIEWS

-- CV -
2

03.12.2021 DRC SUBMISSION

PROJECT NUMBER: P2021-00000000

DATE: 03/12/2021

BY: [Signature]

FOR: [Signature]

SITE PLAN INFORMATION

CURRENT USE OF PROPERTY	VACANT LOTS
CURRENT LAND USE DESIGNATION	CENTRAL REGIONAL ACTIVITY CENTER
PROPOSED LAND USE DESIGNATION	CENTRAL REGIONAL ACTIVITY CENTER
CURRENT ZONING DESIGNATION	ICA (INTRACASTAL OVERLOOK AREA)
PROPOSED ZONING DESIGNATION	ICA (INTRACASTAL OVERLOOK AREA)
ADJACENT ZONING DESIGNATION	NBRA, ICA
WASTE / WATER SERV. PROVIDER	CITY OF FORT LAUDERDALE
TOTAL SITE AREA - NET	1.5384 ACRES TOTAL / 67,011 SF
TOTAL PERVIOUS EXISTING (LANDSCAPE)	47,011 S.F. (70.0%)
TOTAL PERVIOUS PROPOSED (LANDSCAPE)	16,788 S.F. (25.05%) 25% REQUIRED
TOTAL IMPERVIOUS EXISTING	0 S.F. (0%)
TOTAL IMPERVIOUS PROPOSED	50,154 S.F. (74.65%)
TOTAL BUILDING FOOTPRINT EXISTING	0 S.F. (0%)
TOTAL BUILDING FOOTPRINT PROPOSED	38,297 S.F. (57.15%)



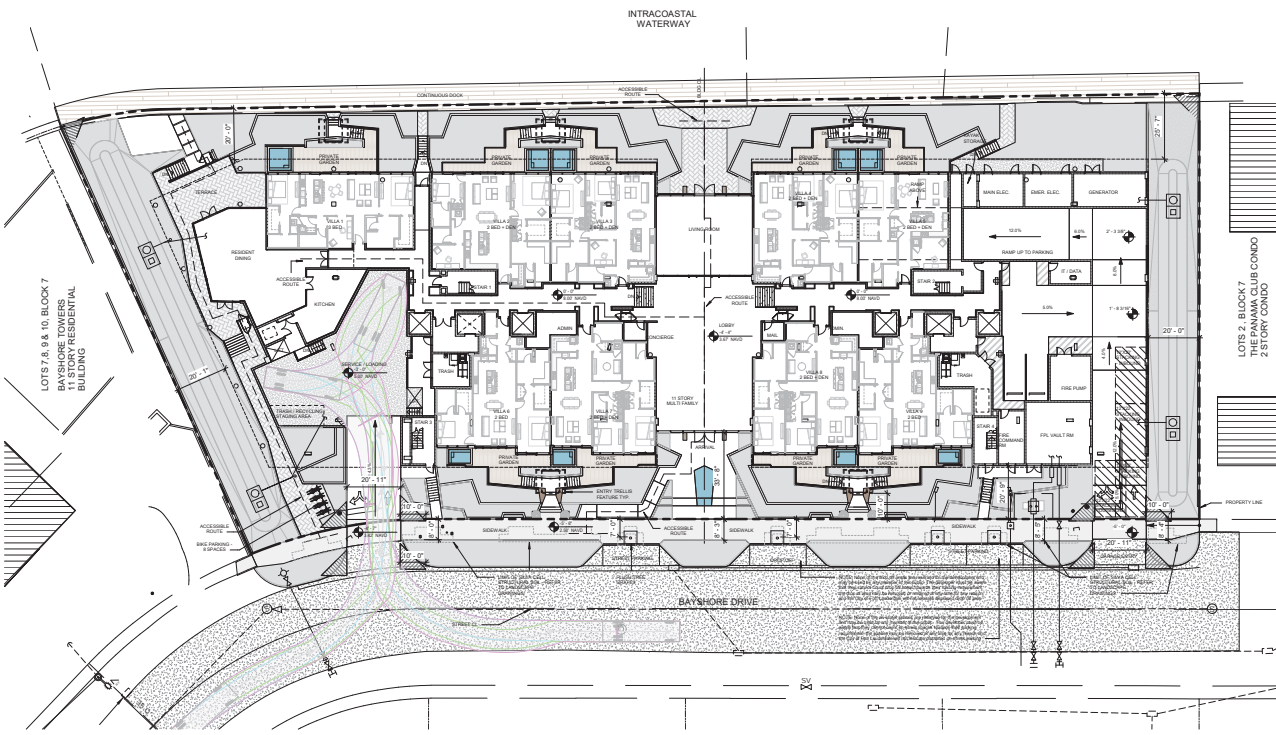
LOCATION MAP 2
A.1.0

LEGAL DESCRIPTION
LOTS 3, 4, 5, AND 6, BLOCK 7, BIRCH OCEAN FRONT SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 19, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

DENSITY RESIDENTIAL DEVELOPMENT (48 UNITS/ACRE)	73 UNITS ALLOWED	65 UNITS PROVIDED
PARKING DATA	REQUIRED (ICA)	PROVIDED
SPACES PROVIDED	151 SPACES (123 STANDARD + 22 COMPACT + 6 ADA)	
ROOM TYPE = 4 (2 BEDROOM) + 2 / UNIT	8 SPACES	
ROOM TYPE = 29 (2 BEDROOM + DEN) + 2.1 / UNIT	80.9 SPACES	
ROOM TYPE = 32 (2 BEDROOM + DEN) + 2.2 / UNIT	70.4 SPACES	
TOTAL PARKING	139.3 SPACES	151 SPACES
TOTAL HC PARKING INCL.	8 SPACES	8 SPACES
TOTAL COMPACT PARKING INCL. (MAX. 20% OF REQ.)	27 SPACES ALLOWED	22 SPACES
LOADING ZONE - PER TABLE 47.20.2	N/A (MULTI-FAMILY)	0
BICYCLE PARKING	N/A	8 SPACES
TOTAL BUILDING SQUARE FOOTAGE (GROSS)	NO REQUIREMENT	314,060 G.S.F.
FLOOR AREA RATIO (F.A.R.) (NO REQUIREMENT)	NO REQUIREMENT	314,060 / 67,011 = 4.68
BUILDING HEIGHT	120' ALLOWED	120'
NUMBER OF STORES	NO REQUIREMENT	11 STORES
BUILDING WIDTH AND LENGTH	200' MAX	388'-0" MAX. - POOLUM
DISTANCE BETWEEN BUILDINGS	24' MIN. (20' IN 120' HGT)	143'-0" MAX. - TOWER
LOT WIDTH	VARIABLE ACROSS SITE - SEE SURVEY	50'-2" MIN.
LOT COVERAGE	38,297 SF. (57.15%)	
OPEN SPACE	28,714 S.F. (42.85%)	
LANDSCAPE AREA (25% PER ICDR 47.21.13 B.14)	16,788 S.F. (25.05%) 25% REQUIRED	
VEHICULAR USE AREA (VUA)	861 S.F.	

SETBACKS

FLOOR (EAST)	HEIGHT	REQUIRED	PROPOSED TO BUILDING ENVELOPE	TO NEAREST BALCONY ARCH DESIGN ELEMENT
GROUND FLOOR (G-01)	3'-0" - 11'-0"	20'-0"	20'-0"	N/A
SECOND FLOOR (F-02)	11'-0" - 21'-0"	20'-0"	20'-0"	20'-0"
THIRD FLOOR (F-03)	21'-0" - 30'-0"	20'-0"	20'-0"	20'-0"
FOURTH FLOOR (F-04)	30'-0" - 41'-0"	20'-0"	20'-0"	20'-0"
FIFTH FLOOR (F-05)	41'-0" - 52'-0"	20'-0"	20'-0"	20'-0"
SIXTH FLOOR (F-06)	52'-0" - 62'-0"	20'-0"	20'-0"	20'-0"
SEVENTH FLOOR (F-07)	62'-0" - 72'-0"	20'-0"	20'-0"	20'-0"
EIGHTH FLOOR (F-08)	72'-0" - 84'-0"	20'-0"	20'-0"	20'-0"
TENTH FLOOR (F-10)	84'-0" - 105'-0"	20'-0"	20'-0"	20'-0"
ELEVENTH FLOOR (F-11)	105'-0" - 116'-0"	20'-0"	20'-0"	20'-0"
ROOF DECK (R-11)	116'-0" - 120'-0"	20'-0"	N/A	20'-0"



SOLID WASTE / RECYCLING MANAGEMENT

1. THE SOLID WASTE AND RECYCLE WILL BE COLLECTED FROM THE DRIVEWAY.
2. THE OPERATOR WILL PROVIDE COLLECTION BY A PRIVATE LICENSED CONTRACTOR 3 TIMES PER WEEK OR MORE AS NECESSARY.
3. THE COLLECTION WILL OCCUR BY ACCESS FROM BAYSHORE DRIVE. SERVICE TURNING RADIUS TO SHOW COLLECTION ARE PROVIDED.
4. THE COLLECTION WILL OCCUR BY ACCESS FROM BAYSHORE DRIVE. SERVICE TURNING RADIUS TO SHOW COLLECTION ARE PROVIDED.
5. THE TRASH AND RECYCLE CONTAINERS WILL BE STORED AT ALL TIMES WITHIN THE TRASH ROOM INSIDE THE BUILDING. THE CONTRACTOR WILL BE PROVIDED WITH ACCESS TO THE TRASH ROOM FOR PICK-UP.
6. THE WAKEY SYSTEM WILL MEET THE CAPACITY REQUIREMENTS OF THE BUILDING ORDINANCE REQUIREMENTS.



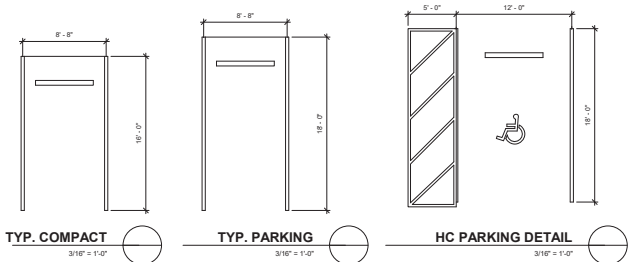
CASE: UDP-S20009
PZB Exhibit 1
Page 6 of 82

DATE: 02.22.2021
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]

GARCIA STROMBERG
GS studios
259 ALHAMBRA CIRCLE, SUITE 510
CORAL GABLES, FL 33134
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OLAKING HOUSE
551 BAYSHORE DRIVE
PORT LAUDERDALE, FL 33004

SITE PLAN
A-1.00
DATE: 02.22.2021



2ND FLOOR AREAS			
NAME	Area	LOAD FACTOR	OCCUPANCY
LOBBY 1	700 SF	15	47
LOBBY 2	700 SF	15	47
PARKING	30054 SF	300	151
STORAGE 1	842 SF	300	3
STORAGE 2	1573 SF	300	6
UTILITY 1	2117 SF	300	8
UTILITY 2	1000 SF	300	4
			266

BUILDING DATA

73 TOTAL PARKING SPACES INCLUDING:

- 42 COMPACT SPACES
- 12 COMPACT SPACES
- 10 STANDARD SPACES (B) 2-CAR GARAGES
- 3 HC SPACES

42,593 SF GROSS AREA

EGRESS WIDTH

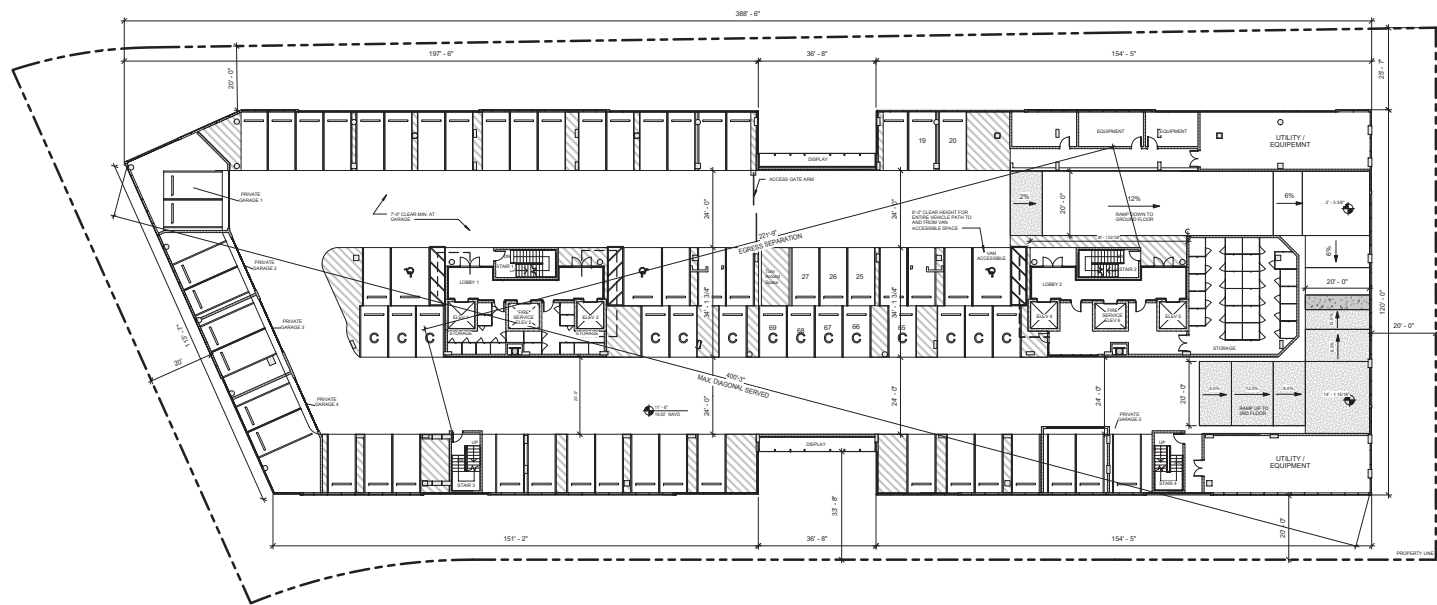
TOTAL OCCUPANTS = 266

REQUIRED EGRESS WIDTH (HORIZONTAL) = 3' / OCCUPANT (IBC 1005.32)

0.2' / OCCUPANT x 266 = 53.1" WIDTH REQUIRED
136" WIDTH PROVIDED

REQUIRED EGRESS WIDTH (STAIR) = 3' / OCCUPANT (IBC 1005.32)

0.3' / OCCUPANT x 266 = 79.8" WIDTH REQUIRED
176" WIDTH PROVIDED



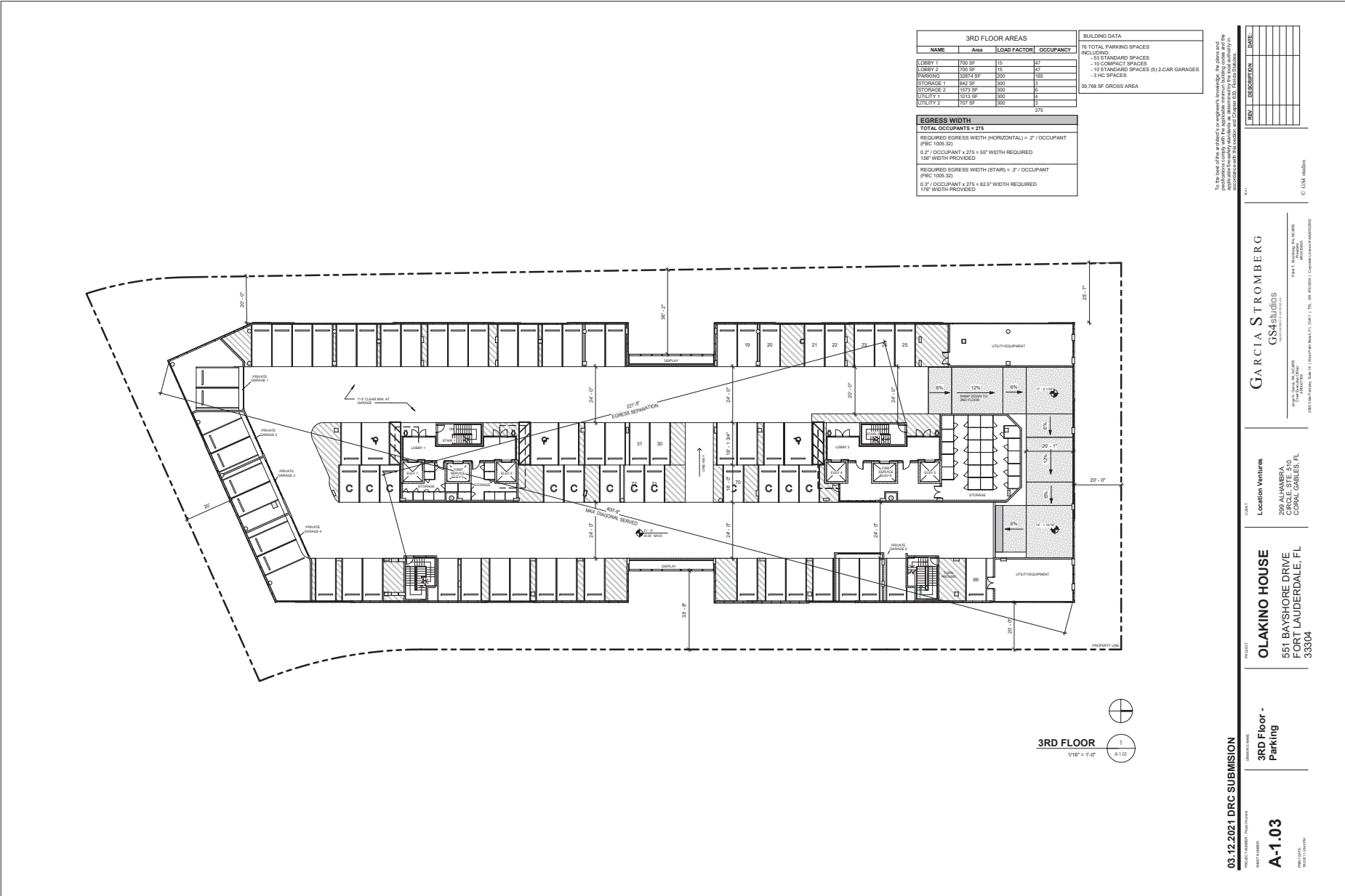
2ND FLOOR
1
1/16" = 1'-0"

DATE	REVISION

GARCIA STROMBERG
GS Studios
ARCHITECTS
2500 W. PALM BLVD. SUITE 110
FORT LAUDERDALE, FL 33304
PH: 954.344.4444
FAX: 954.344.4444
WWW.GARCIASTROMBERG.COM

OLAKINO HOUSE
551 BAYSHORE DRIVE
FORT LAUDERDALE, FL 33304

03.12.2021 DRC SUBMISSION
PROJECT NUMBER: P200000000
2ND Floor - Parking
A-1.02
DATE: 03/12/2021



3RD FLOOR AREAS			
NAME	Area	LOAD FACTOR	OCCUPANCY
LOBBY 1	700 SF	15	47
LOBBY 2	700 SF	15	47
PARKING	10874 SF	300	185
STORAGE 1	842 SF	300	3
STORAGE 2	1073 SF	300	6
UTILITY 1	1613 SF	300	4
UTILITY 2	707 SF	300	1
			275

BUILDING DATA

78 TOTAL PARKING SPACES INCLUDING:
 - 53 STANDARD SPACES
 - 10 COMPACT SPACES
 - 15 STANDARD SPACES (5) 2-CAR GARAGES
 - 3 HC SPACES

39,788 SF GROSS AREA

EGRESS WIDTH

TOTAL OCCUPANTS = 275

REQUIRED EGRESS WIDTH (HORIZONTAL) = 2' / OCCUPANT (IBC 1005.32)

REQUIRED EGRESS WIDTH (STAIR) = 3' / OCCUPANT (IBC 1005.32)

0.2' / OCCUPANT x 275 = 55' WIDTH REQUIRED
 150' WIDTH PROVIDED

0.37' / OCCUPANT x 275 = 82.5" WIDTH REQUIRED
 170' WIDTH PROVIDED

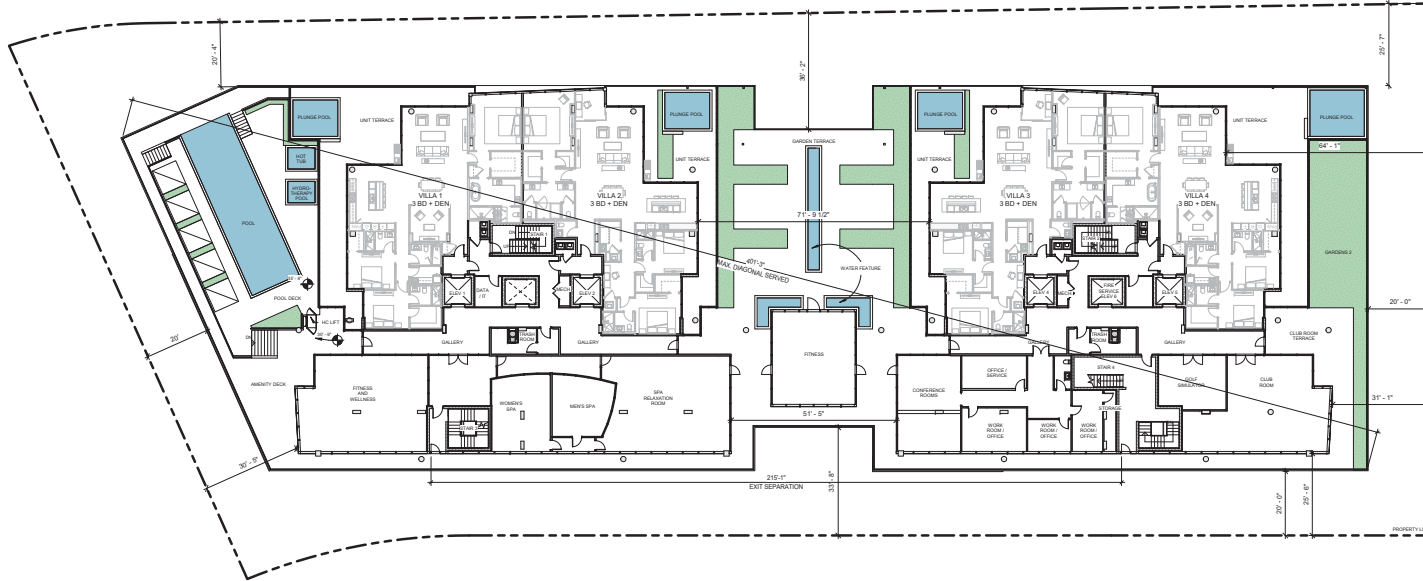
DATE	DESCRIPTION	DATE

GARCIA STROMBERG
 GS Studios
 1000 N. UNIVERSITY AVENUE
 SUITE 100
 TAMPA, FL 33606
 PH: 813.251.1111
 FAX: 813.251.1112
 WWW.GSSTUDIOS.COM

Location Ventures
 259 ALHAMBRA
 CIRCLE STE 500
 CORAL GABLES, FL
 33134

OLAKINO HOUSE
 551 BAYSHORE DRIVE
 FORT LAUDERDALE, FL
 33304

03.12.2021 DRC SUBMISSION
 PROJECT NUMBER: P2000009
 SHEET NUMBER:
A-1.03
 SHEET TITLE:
3RD Floor - Parking



4TH FLOOR AREAS			
NAME	Area	LOAD FACTOR	OCCUPANCY
AMENITY DECK	635 SF	15	30
CLUB ROOM	885 SF	15	80
CLUB ROOM TERRACE	810 SF	15	84
CONFERENCE	815 SF	15	42
FITNESS	897 SF	30	17
FITNESS AND WELLNESS	1022 SF	30	25
GARDEN TERRACES	1406 SF	15	36
GOLF SIMULATOR	838 SF	150	5
HOT TUB	87 SF	30	2
HYDRO-THERAPY POOL	17 SF	30	2
OFFICES	479 SF	150	3
POOL	877 SF	30	18
POOL DECK	1914 SF	15	128
RESIDENTIAL VILLAS 1	16150 SF	300	41
RESIDENTIAL VILLAS 2	8321 SF	300	42
SERVICE / OFFICE	212 SF	150	1
SPA	2839 SF	150	18
TRASH 1	128 SF	300	1
TRASH 2	138 SF	300	1
	29869 SF		569

EGRESS WIDTH	
TOTAL OCCUPANTS = 569	
REQUIRED EGRESS WIDTH (HORIZONTAL) = 2' / OCCUPANT (IBC 1003.5)	6.2' / OCCUPANT x 569 = 113.8' WIDTH REQUIRED
REQUIRED EGRESS WIDTH (STAIR) = 3' / OCCUPANT (IBC 1003.3)	13' WIDTH PROVIDED
REQUIRED EGRESS WIDTH (STAIR) = 3' / OCCUPANT (IBC 1003.3)	13' WIDTH PROVIDED
REQUIRED EGRESS WIDTH (STAIR) = 3' / OCCUPANT (IBC 1003.3)	13' WIDTH PROVIDED
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REQUIRED EGRESS WIDTH (STAIR) = 3' / OCCUPANT (IBC 1003.3)	13' WIDTH PROVIDED
REQUIRED EGRESS WIDTH (STAIR) = 3' / OCCUPANT (IBC 1003.3)	13' WIDTH PROVIDED
REQUIRED EGRESS WIDTH (STAIR) = 3' / OCCUPANT (IBC 1003.3)	13' WIDTH PROVIDED
REQUIRED EGRESS WIDTH (STAIR) = 3' / OCCUPANT (IBC 1003.3)	13' WIDTH PROVIDED
REQUIRED EGRESS WIDTH (STAIR) = 3' / OCCUPANT (IBC 1003.3)	13' WIDTH PROVIDED

BUILDING DATA	
4 RESIDENTIAL UNITS	
24,908 SF GROSS AREA	

LEVEL	DESCRIPTION	DATE

PROJECT: OLAKINO HOUSE
 551 BAYSHORE DRIVE
 FORT LAUDERDALE, FL 33304
 ARCHITECT: GARCI A STROMBERG
 GS studios
 259 ALHAMBRA DRIVE, SUITE 500
 CORAL GABLES, FL 33134
 305-441-7000
 www.garciastromberg.com

4TH FLOOR - AMENITY LEVEL
 1/16" = 1'-0"
 A-1.04

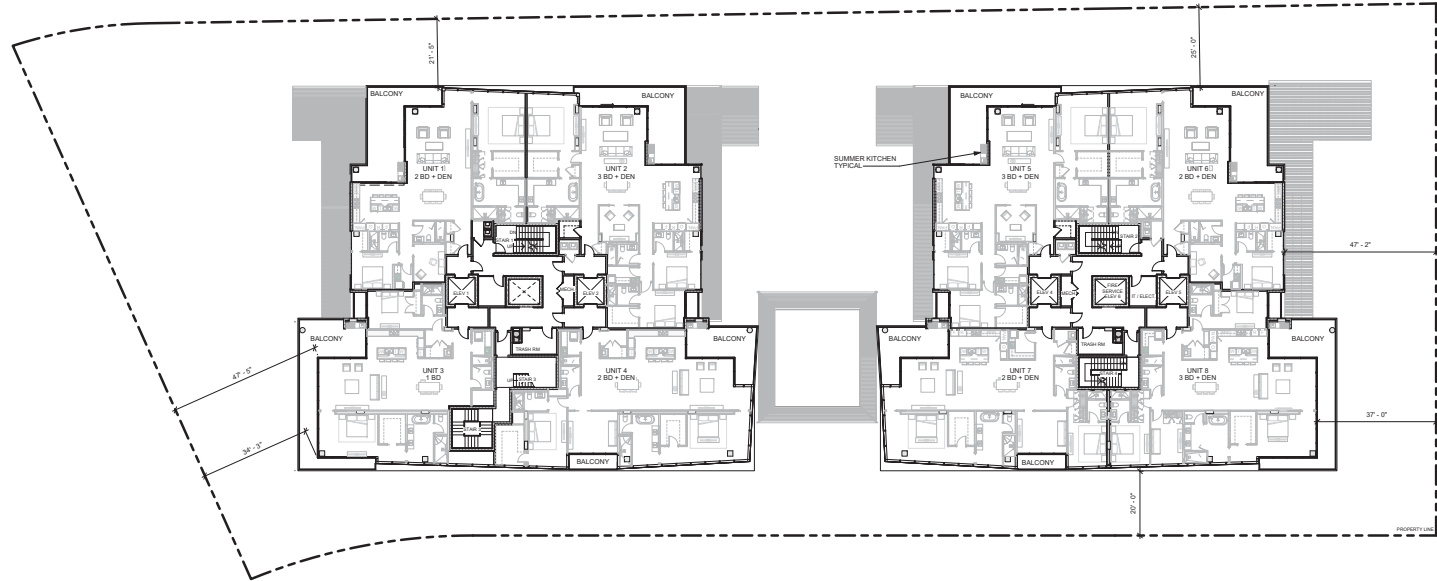
5TH FLOOR TOWER 1 AREAS			
NAME	Area	LOAD FACTOR	OCCUPANCY
DATA 1	82 SF	300	1
RESIDENTIAL UNIT 1	1287 SF	200	62
TRASH 1	130 SF	300	1
94			

5TH FLOOR TOWER 2 AREAS			
NAME	Area	LOAD FACTOR	OCCUPANCY
DATA 2	82 SF	300	1
RESIDENTIAL UNIT 2	1270 SF	200	64
TRASH 2	130 SF	300	1
95			

BUILDING DATA	
RESIDENTIAL UNITS	64
GROSS AREA	24,684 SF
GROSS AREA PER TOWER	12,292 SF

EGRESS WIDTH	
TOTAL OCCUPANTS = 64	
REQUIRED EGRESS WIDTH (HORIZONTAL) = 2' / OCCUPANT (IBC 1005.3)	
0.2' / OCCUPANT x 64 = 12.8' WIDTH REQUIRED	
88' WIDTH PROVIDED	
REQUIRED EGRESS WIDTH (STAIR) = 3' / OCCUPANT (IBC 1005.3)	
0.3' / OCCUPANT x 64 = 19.2' WIDTH REQUIRED	
88' WIDTH PROVIDED	

EGRESS WIDTH	
TOTAL OCCUPANTS = 66	
REQUIRED EGRESS WIDTH (HORIZONTAL) = 2' / OCCUPANT (IBC 1005.3)	
0.2' / OCCUPANT x 66 = 13.2' WIDTH REQUIRED	
88' WIDTH PROVIDED	
REQUIRED EGRESS WIDTH (STAIR) = 3' / OCCUPANT (IBC 1005.3)	
0.3' / OCCUPANT x 66 = 19.8' WIDTH REQUIRED	
88' WIDTH PROVIDED	



5TH FLOOR
1/16" = 1'-0"
A-1.05

REV.	DESCRIPTION	DATE

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CORAL GABLES, FL 33134
PH: 305.441.1000
WWW.GSSTUDIOS.COM

OLAKINO HOUSE
551 BAYSHORE DRIVE
PORT LAUDERDALE, FL 33004

A-1.05
5TH Floor - Typical Unit 1

03.12.2021 DRC SUBMISSION

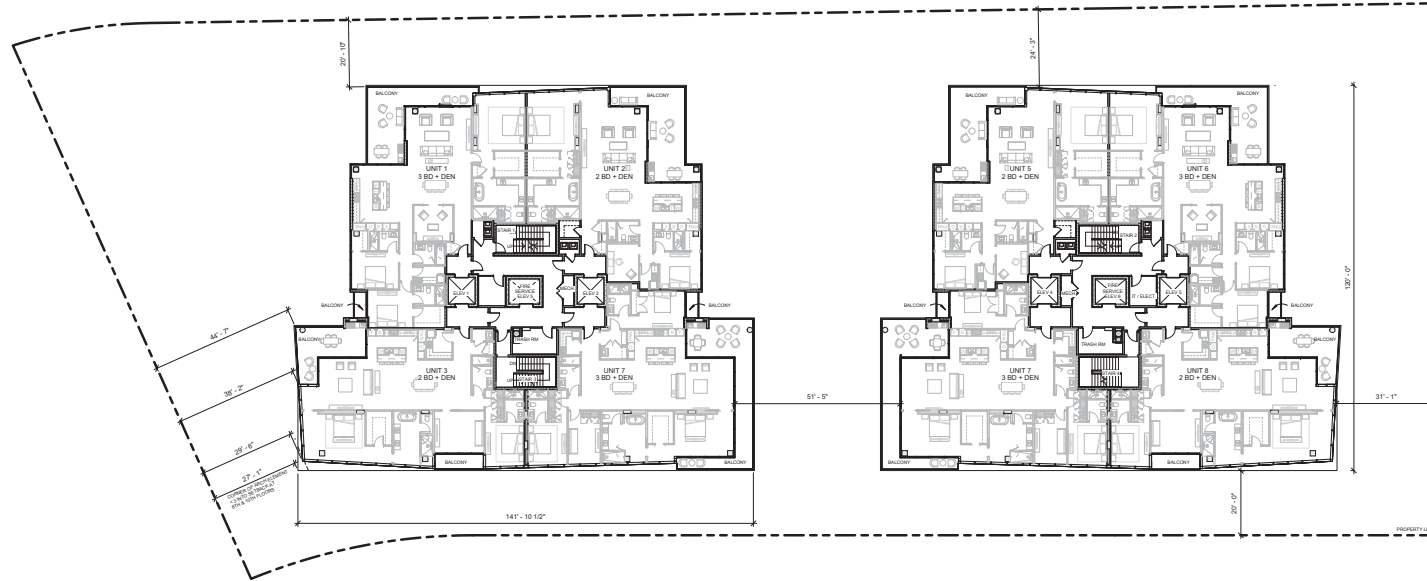
6TH FLOOR TOWER 1 AREAS			
NAME	Area	LOAD FACTOR	OCCUPANCY
T1/DATA 1	62 SF	100	1
RESIDENTIAL UNITS 1	12703 SF	200	64
TRASH 1	126 SF	200	1

6TH FLOOR TOWER 2 AREAS			
NAME	Area	LOAD FACTOR	OCCUPANCY
T2/DATA 2	62 SF	100	1
RESIDENTIAL UNITS 2	12703 SF	200	64
TRASH 2	126 SF	200	1

BUILDING DATA	
RESIDENTIAL UNITS	24
GROSS AREA	24,684 SF
GROSS AREA PER TOWER	12,292 SF

EGRESS WIDTH	
TOTAL OCCUPANTS = 66	
REQUIRED EGRESS WIDTH (HORIZONTAL) = 2' / OCCUPANT (FBC 1005.32)	
0.2' / OCCUPANT x 66 = 13.2" WIDTH REQUIRED	88" WIDTH PROVIDED
REQUIRED EGRESS WIDTH (STAR) = 3' / OCCUPANT (FBC 1005.32)	
0.3' / OCCUPANT x 47 = 19.8" WIDTH REQUIRED	88" WIDTH PROVIDED

EGRESS WIDTH	
TOTAL OCCUPANTS = 66	
REQUIRED EGRESS WIDTH (HORIZONTAL) = 2' / OCCUPANT (FBC 1005.32)	
0.2' / OCCUPANT x 66 = 13.2" WIDTH REQUIRED	88" WIDTH PROVIDED
REQUIRED EGRESS WIDTH (STAR) = 3' / OCCUPANT (FBC 1005.32)	
0.3' / OCCUPANT x 47 = 19.8" WIDTH REQUIRED	88" WIDTH PROVIDED



6TH FLOOR (8TH & 10TH SIMILAR) 1/16" = 1'-0" 1/4" = 1'-0"

REV.	DESCRIPTION	DATE

CLIENT: **GARCIA STROMBERG**
GS Studios
 2500 ALHAMBRA DRIVE, SUITE 510
 CORAL GABLES, FL 33134
 PH: 305.441.1111 FAX: 305.441.1111
 WWW.GSSTUDIOS.COM

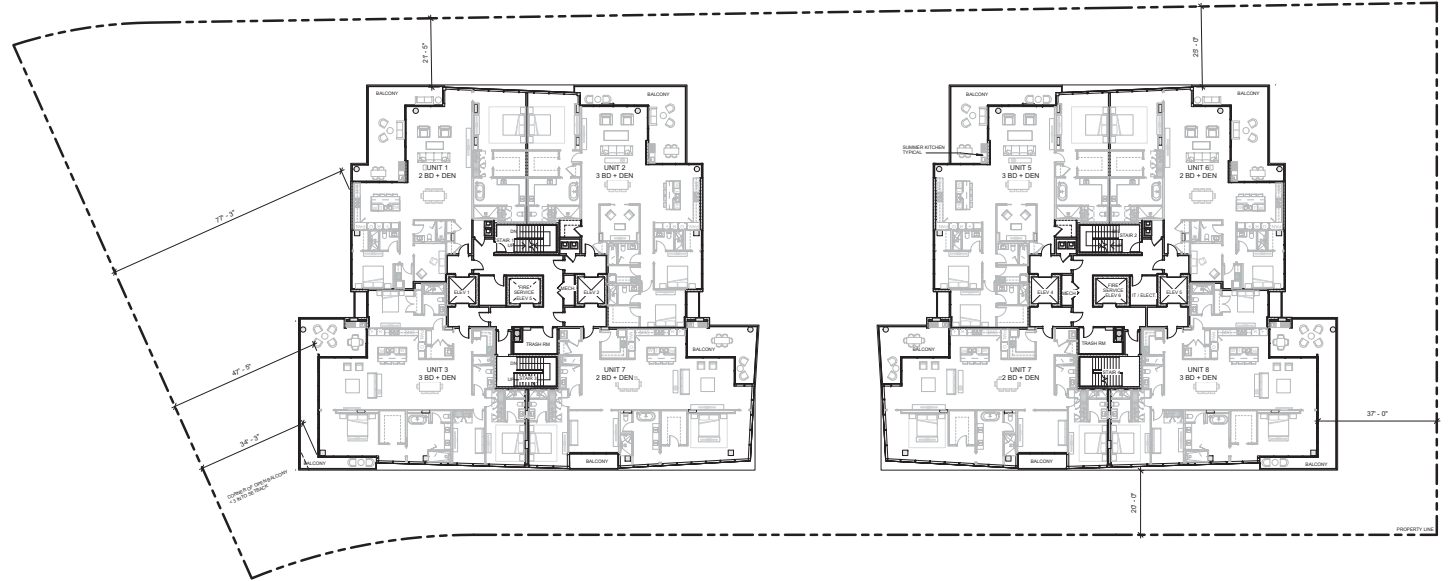
PROJECT: **OLAKINO HOUSE**
 551 BAYSHORE DRIVE
 PORT LAUDERDALE, FL 33004

DATE: 03.12.2021
 DRAWING: **A-1.06**
 6TH FLOOR PLAN (8TH & 10TH SIMILAR)

03.12.2021 DRC SUBMISSION

NOT TO SCALE. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS SHOWN ON THIS DRAWING SHALL GOVERN OVER ANY CONFLICTING DIMENSIONS ON ANY OTHER DRAWING. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. © GSN ARCHITECTS

7TH FLOOR TOWER 1 AREAS				7TH FLOOR TOWER 2 AREAS				BUILDING DATA	
NAME	Area	LOAD FACTOR	OCCUPANCY	NAME	Area	LOAD FACTOR	OCCUPANCY		
IT DATA 1	82 SF	200	L	IT DATA 2	82 SF	200	L	24 RESIDENTIAL UNITS	
RESIDENTIAL UNITS 1	12703 SF	200	G4	RESIDENTIAL UNITS 2	12703 SF	200	G4	24,684 SF GROSS AREA	
TRASH 1	128 SF	300	L	TRASH 2	128 SF	300	L	(12,292 SF GROSS AREA PER TOWER)	
EGRESS WIDTH				EGRESS WIDTH					
TOTAL OCCUPANTS = 66				TOTAL OCCUPANTS = 66					
REQUIRED EGRESS WIDTH (HORIZONTAL) = 2' / OCCUPANT (FBC 1005.32)				REQUIRED EGRESS WIDTH (HORIZONTAL) = 2' / OCCUPANT (FBC 1005.32)					
0.2' / OCCUPANT x 66 = 13.2' WIDTH REQUIRED				0.2' / OCCUPANT x 66 = 13.2' WIDTH REQUIRED					
88' WIDTH PROVIDED				88' WIDTH PROVIDED					
REQUIRED EGRESS WIDTH (STAR) = 3' / OCCUPANT (FBC 1005.32)				REQUIRED EGRESS WIDTH (STAR) = 3' / OCCUPANT (FBC 1005.32)					
0.3' / OCCUPANT x 47 = 19.8' WIDTH REQUIRED				0.3' / OCCUPANT x 47 = 19.8' WIDTH REQUIRED					
88' WIDTH PROVIDED				88' WIDTH PROVIDED					



7TH FLOOR (9TH SIMILAR)
 1/8" = 1'-0"
 1/8" = 1'-0"

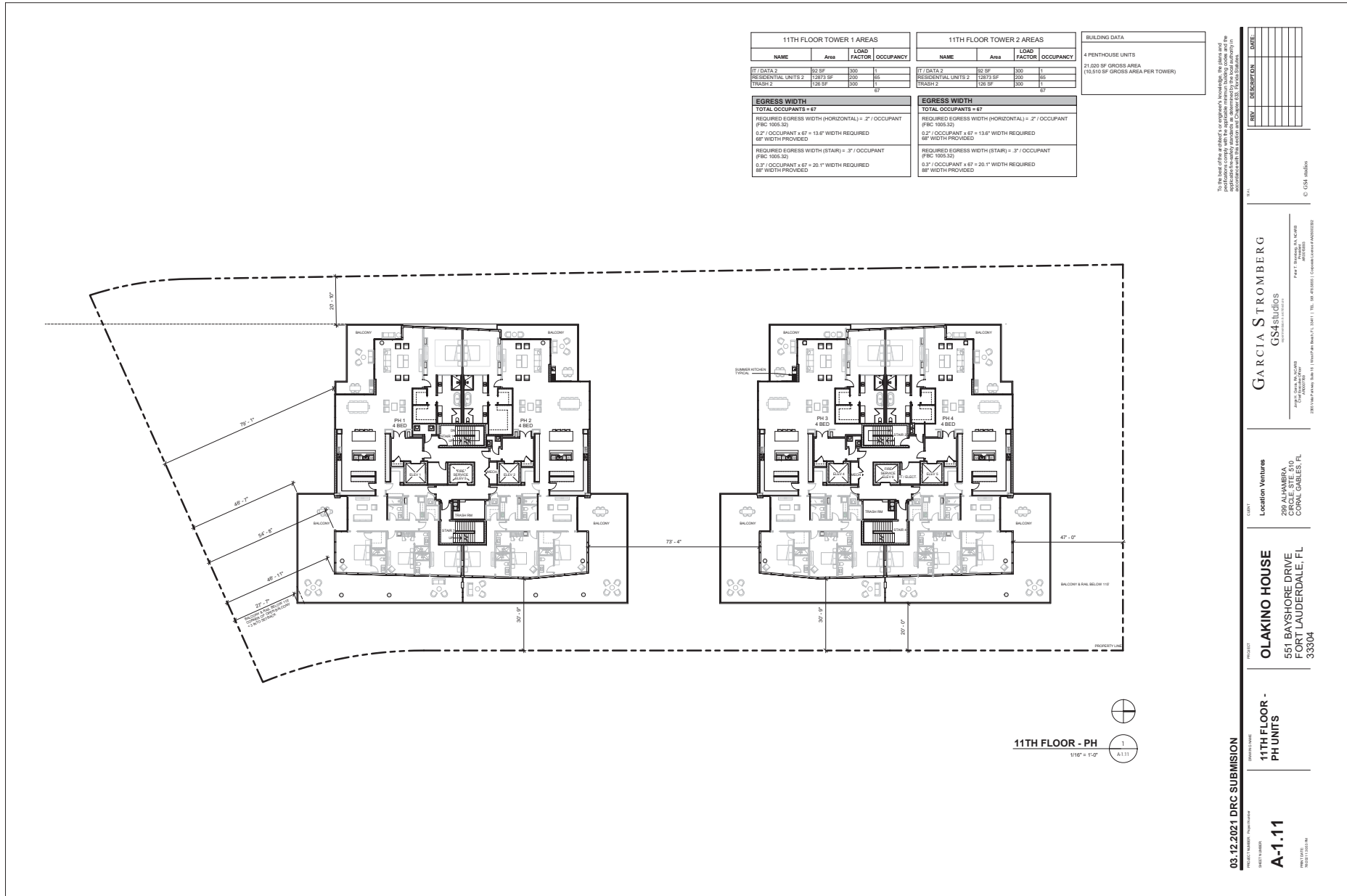
DATE	REVISION	BY

GARCIA STROMBERG
 GS Studios
 1000 N. UNIVERSITY AVENUE
 SUITE 1000
 TAMPA, FL 33606
 TEL: 813.251.1111
 FAX: 813.251.1111
 WWW.GSSTUDIOS.COM

OLAKINO HOUSE
 551 BAYSHORE DRIVE
 PORT LAUDERDALE, FL
 33004

A-1.07
 7TH FLOOR PLAN (9TH SIMILAR)

03.12.2021 DRC SUBMISSION



1. The floor area of the penthouse units is shown in grey. All other floor areas are shown in white. The floor area of the penthouse units is shown in grey. All other floor areas are shown in white. The floor area of the penthouse units is shown in grey. All other floor areas are shown in white.

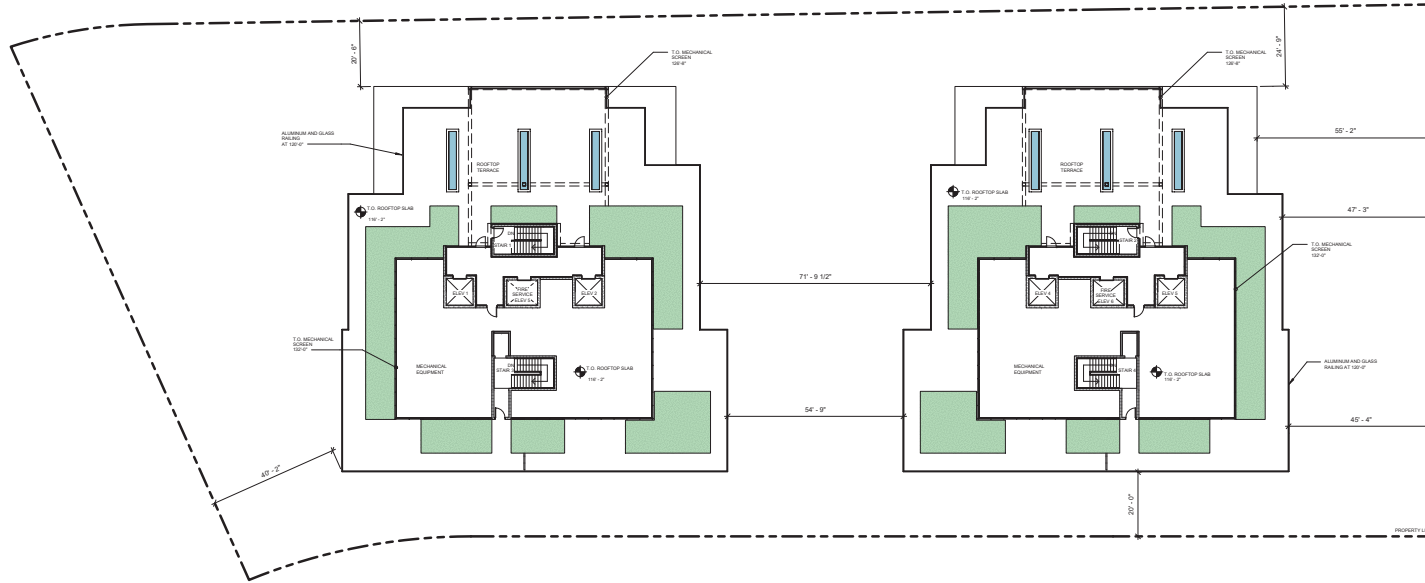
REV.	DESCRIPTION	DATE

GARCIA STROMBERG
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 1000 N. W. 10th Ave.
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 Fax: 954.341.1001
 www.garciastromberg.com

OLAKINO HOUSE
 551 BAYSHORE DRIVE
 FORT LAUDERDALE, FL
 33304

A-1.11
 11TH FLOOR - PH UNITS

ROOF TOWER 1 AREAS				ROOF TOWER 2 AREAS			
NAME	Area	LOAD FACTOR	OCCUPANCY	NAME	Area	LOAD FACTOR	OCCUPANCY
OCCUPIED ROOF	4082 SF	15	275	OCCUPIED ROOF	4082 SF	15	275
EGRESS WIDTH				EGRESS WIDTH			
TOTAL OCCUPANTS = 275				TOTAL OCCUPANTS = 275			
REQUIRED EGRESS WIDTH (HORIZONTAL) = 2' / OCCUPANT (IFC 1009.5.2)				REQUIRED EGRESS WIDTH (HORIZONTAL) = 2' / OCCUPANT (IFC 1009.5.2)			
0.2' / OCCUPANT x 275 = 55' WIDTH REQUIRED				0.2' / OCCUPANT x 275 = 55' WIDTH REQUIRED			
72" WIDTH PROVIDED				72" WIDTH PROVIDED			
REQUIRED EGRESS WIDTH (STAIR) = 3' / OCCUPANT (IFC 1009.5.2)				REQUIRED EGRESS WIDTH (STAIR) = 3' / OCCUPANT (IFC 1009.5.2)			
0.3' / OCCUPANT x 275 = 82.5' WIDTH REQUIRED				0.3' / OCCUPANT x 275 = 82.5' WIDTH REQUIRED			
88" WIDTH PROVIDED				88" WIDTH PROVIDED			



12TH ROOF
1/16" = 1'-0"
A-1.13

REV.	DESCRIPTION	DATE

GARCIA STROMBERG
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 SUITE 1000
 AUSTIN, TEXAS 78701
 (512) 476-1111
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Location Ventures
 259 ALHAMBRA
 CIRCLE, STE 510
 CORAL GABLES, FL
 33134

OLAKINO HOUSE
 551 BAYSHORE DRIVE
 SUITE 100
 LAUDERDALE, FL
 33304

03.12.2021 DRC SUBMISSION
 PROJECT NUMBER: P190010000
 SHEET NUMBER:
A-1.13
 SHEET TOTAL:



PEDESTRIAN VIEW ALONG BAYSHORE DRIVE



03.12.2021 DRC SUBMISSION
 PROJECT NUMBER: P202100000000
 SHEET NUMBER: A-2.00A

RENDER VIEW

OLAKINO HOUSE
 551 BAYSHORE DRIVE
 FORT LAUDERDALE, FL
 33304

Location Ventures
 259 ALHAMBRA
 CIRCLE, STE 510
 CORAL GABLES, FL
 33134

GARCIA STROMBERG
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 259 ALHAMBRA CIRCLE, STE 510
 CORAL GABLES, FL 33134
 Phone: 305.441.5000
 259 Alhambra Circle, Suite 510, Coral Gables, FL 33134

REVISIONS

NO.	DESCRIPTION	DATE

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WATERWAY VIEW LOOKING EAST

1
A-2.00B

03.12.2021 DRC SUBMISSION

PROJECT NUMBER: P202100000000
 SHEET NUMBER:
A-2.00B
 SHEET TOTAL:

RENDER VIEW

PROJECT
OLAKINO HOUSE
 551 BAYSHORE DRIVE
 FORT LAUDERDALE, FL
 33304

CLIENT
 Location Ventures
 299 ALHAMBRA
 CIRCLE, STE 500
 CORAL GABLES, FL

ARCHITECT
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 www.garciastromberg.com

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NO.	REVISION/DATE	DATE
1	REVISED/03/12/2021	03/12/2021

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REV.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	10/22/2021
2	ISSUED FOR PERMITS	10/22/2021

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GARCIA STROMBERG
 GS Studios
 2901 W. CENTRAL AVENUE
 SUITE 200
 AUSTIN, TEXAS 78705
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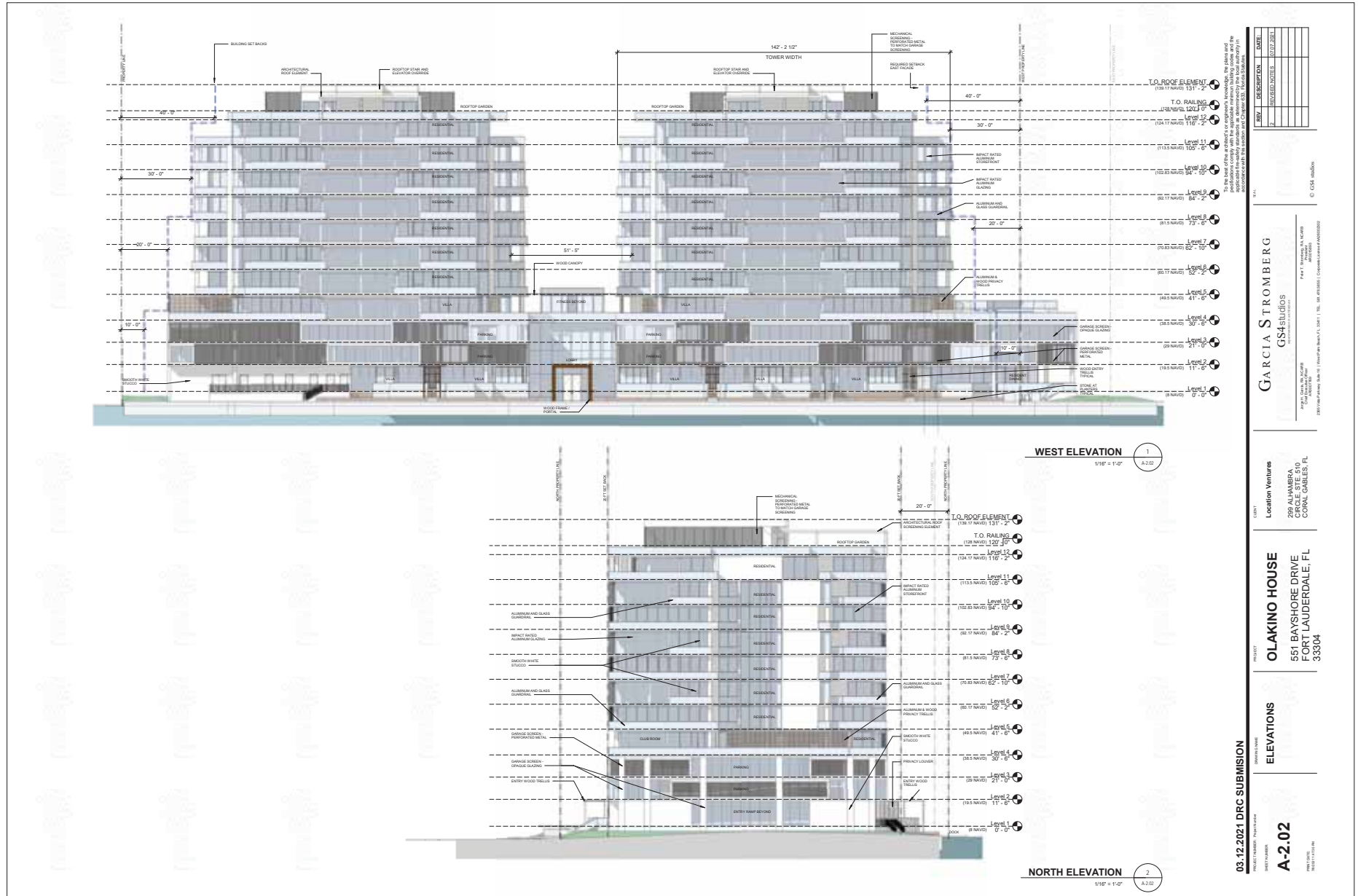
EAST ELEVATION 1
 1/16" = 1'-0"
 A-2.01

SOUTH ELEVATION 2
 1/16" = 1'-0"
 A-2.01

Location Ventures
 299 ALHAMBRA
 CIRCLE, SITE 510
 CORAL GABLES, FL
 33134

OLAKINO HOUSE
 551 BAYSHORE DRIVE
 PORT LAUDERDALE, FL
 33004

ELEVATIONS
A-2.01



REV.	DESCRIPTION	DATE
2	REVISIONS	10/27/2021

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 For the City of Alhambra, CA
 259 ALHAMBRA CIRCLE, SUITE 510
 CORRAL GABLES, FL 33004

GARCIA STROMBERG
 GS studios
 ARCHITECTS
 561 BAYSHORE DRIVE
 FORT LAUDERDALE, FL 33004

Location/Ventures
 259 ALHAMBRA
 CIRCLE, SUITE 510
 CORRAL GABLES, FL

OLAKINO HOUSE
 561 BAYSHORE DRIVE
 FORT LAUDERDALE, FL
 33004

ELEVATIONS

A-2.02

03.12.2021 DRC SUBMISSION



PEDESTRIAN VIEW ALONG BAYSHORE DRIVE - PUBLIC REALM 5
1/32" = 1'-0" A-2.04A



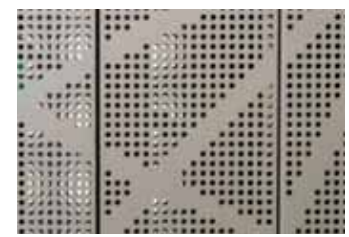
ENTRY TRELLIS 6
A-2.04A



STONE AT PLANTERS 1
1/32" = 1'-0" A-2.04A



ALUMINUM AND GLASS RAILING 2
A-2.04A



GARAGE / MECH. FACADE - PERFORATED METAL 3
A-2.04A



GARAGE FACADE - GLAZING 4
A-2.04A

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REV	DESCRIPTION	DATE

GARCIA STROMBERG
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PH: 305.441.1000 FAX: 305.441.1001
WWW.GARCIASTROMBERG.COM

OLAKINO HOUSE
551 BAYSHORE DRIVE
FORT LAUDERDALE, FL 33304

MATERIALS AND DETAILS
A-2.04A

03.12.2021 DRC SUBMISSION



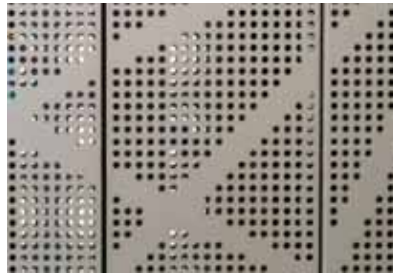
PEDESTRIAN VIEW OF BUILDING ENTRY 1
A-2.04B



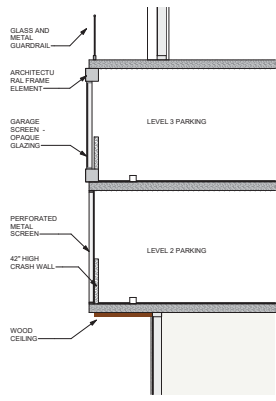
GARAGE FACADE - GLAZING 7
A-2.04B



GLAZING SYSTEM 6
1 1/2" = 1'-0" A-2.04B



GARAGE / MECH. FACADE - PERFORATED METAL 5
1 1/2" = 1'-0" A-2.04B



WALL SECTION - PARKING 2
3/4" = 1'-0" A-2.04B



WOOD CANOPY 3
A-2.04B



PRIVACY DIVIDER 4
A-2.04B

03.12.2021 DRC SUBMISSION
 PROJECT NUMBER: P2021-00000000
 SHEET NUMBER: A-2.04B
 DATE: 03.12.2021

MATERIALS AND DETAILS

A-2.04B
 PORT LAUDERDALE

OLAKINO HOUSE
 551 BAYSHORE DRIVE
 PORT LAUDERDALE, FL
 33304

Location Ventures
 289 ALHAMBRA
 CIRCLE STE 510
 CORAL GABLES, FL

GARCIA STROMBERG
GS&Studios
 ARCHITECTS
 1000 S. W. 10TH AVE
 MIAMI, FL 33135

PLOT 1000 S. W. 10TH AVE
 MIAMI, FL 33135

© GSN studios

REV.	DESCRIPTION	DATE

This sheet is for the project as shown. The architect, engineer, contractor, and other professionals are responsible for the accuracy of the information shown on this sheet and the information on this sheet is not to be used for any other project.



OBLIQUE VIEW - FROM THE NE

2
A2.00C



OBLIQUE VIEW - FROM THE SW

4
A2.00C



CONTEXT MAP

1" = 80' 0"

1
A2.00C



03.12.2021 DRC SUBMISSION
PROJECT NUMBER
PROJECT NAME

A-2.04C
PROJECT NUMBER
PROJECT NAME

CONTEXT AND DETAILS

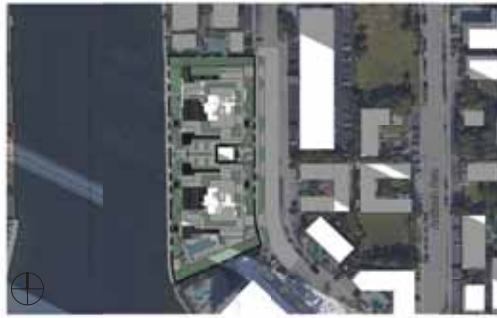
OLAKINO HOUSE
 551 BAYSHORE DRIVE
 FORT LAUDERDALE, FL
 33304

Location Ventures
 299 ALHAMBRA
 CORAL SITE 510
 CORAL GABLES, FL

GARCIA STROMBERG
GS&Studios
 200 W. GREEN BLVD
 SUITE 100
 FT. LAUDERDALE, FL 33304
 PH: 760.434.9600
 WWW.GSANDST.COM

REV.	DESCRIPTION	DATE

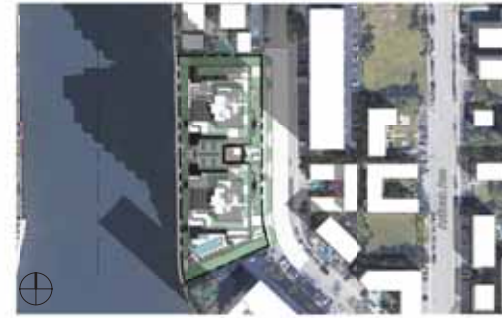
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SUN - DECEMBER 21 4PM
1
1" = 100'-0"
A-2.05



SUN - DECEMBER 21 12PM
3
1" = 100'-0"
A-2.05



SUN - DECEMBER 21 9AM
2
1" = 100'-0"
A-2.05



SUN - JUNE 21 4PM
9
1" = 100'-0"
A-2.05



SUN - JUNE 21 12PM
8
1" = 100'-0"
A-2.05



SUN - JUNE 21 9AM
7
1" = 100'-0"
A-2.05



SUN - MARCH/SEPT 21 4PM
6
1" = 100'-0"
A-2.05



SUN - MARCH/SEPT 21 12PM
5
1" = 100'-0"
A-2.05



SUN - MARCH/SEPT 21 9AM
4
1" = 100'-0"
A-2.05

SEC 47-23.11
Modification or
required work
A structure located on
a development site
abutting or separated
only by a right-of-way
from Intracoastal
Waterway shall not
cast a shadow that
exceeds 50% of such
public water at any
time between 9:00 AM
and 5:00 PM on March
(21 external equinox)

DATE: 03/12/2021 10:00 AM
PROJECT: 22-0516 CAM # 22-0516 EXHIBIT 3
SUBMISSION: SUN STUDY
SCALE: 1" = 100'-0"

REV	DESCRIPTION	DATE

DATE: 03/12/2021 10:00 AM
PROJECT: 22-0516 CAM # 22-0516 EXHIBIT 3
SUBMISSION: SUN STUDY
SCALE: 1" = 100'-0"

GARCIA STROMBERG
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ARCHITECTS
299 ALHAMBRA
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33134
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OLAKINO HOUSE
551 BAYSHORE DRIVE
PORT LAUDERDALE, FL
33004

SUN STUDY
A-2.05
03.12.2021 DRC SUBMISSION

Landscape Architectural Design
for:

OLAKINO HOUSE

551 BAYSHORE DRIVE
FORT LAUDERDALE, FLORIDA 33304



www.cadence-living.com
Fort Lauderdale, FL | 954.766.4572
LANDSCAPE ARCHITECTURE | URBAN DESIGN
SITE PLANNING | ENVIRONMENTAL GRAPHICS

DRC RESUBMITTAL
DATE: MARCH 11, 2021

Cadence Project No. 18.013

DRAWING LIST	
SHEET	DRAWINGS
L0-01	ILLUSTRATIVE SITE PLAN
L0-02	TREE DISPOSITION PLAN
L4-00	PLANTING NOTES & SCHEDULES
L4-01	PLANTING PLAN & CHARTS - GROUND FLOOR
L4-02	PLANTING PLAN - AMENITY LEVEL
L4-03	PLANTING PLAN - ROOF
L5-00	PLANTING DETAILS
L5-01	PLANTING DETAILS
L6-00	SILVA CELL PLAN

LOCATION MAPS



FORT LAUDERDALE, FL



BAYSHORE DRIVE



OLAKINO HOUSE
(SITE BOUNDARY)



Project:
OLAKINO HOUSE
 551 BAYSHORE DRIVE
 FORT LAUDERDALE, FLORIDA 33304

REVISIONS & MILESTONES	
NO.	DESCRIPTION
▲	DATE
▲	DISC APPLICATION SUBMITTAL
▲	DISC LANDSCAPE COMMENTS
▲	REVISED NOTES

PROJECT INFORMATION

PROJECT NO. 20-008
 DRAWN BY: SJG/AD
 CHECKED BY: RBK/GC
 DATE: DECEMBER 11, 2020
 SCALE: 1" = 20'-0"

ILLUSTRATIVE SITE PLAN
LO-01



- LEGEND**
- ① ENTRY PLAZA WITH WATER FEATURE
 - ② RAMP (< 5% SLOPE)
 - ③ SIDEWALK (VARIES 8'-0 MAX. TO 7' MIN.)
 - ④ PALMS IN PAVER GRATE SYSTEM
 - ⑤ SMALL TREES & SPECIMEN PALMS IN VERGE
 - ⑥ CANOPY STREET TREE IN VERGE
 - ⑦ ON-STREET PARKING (4 SPACES)
 - ⑧ PRIVATE VILLA PATIO
 - ⑨ VILLA GARDEN
 - ⑩ BENCHES INTEGRATED INTO RAISED PLANTER
 - ⑪ BICYCLE PARKING
 - ⑫ DRY RETENTION AREAS
 - ⑬ TERRACE
 - ⑭ SPECIMEN CANOPY TREE
 - ⑮ WATERFRONT GRAVEL SEATING AREA
 - ⑯ DOCK
 - ⑰ WATERFRONT PLAZA
 - ⑱ SPECIMEN PALM
 - ⑲ EGRESS PATH

PROJECT PATH: X:\PROJECTS\20-008 - OLAKINO HOUSE\DRAWINGS\CADENCE\DCR\LO-01-ILLUSTRATIVE SITE PLAN.DWG

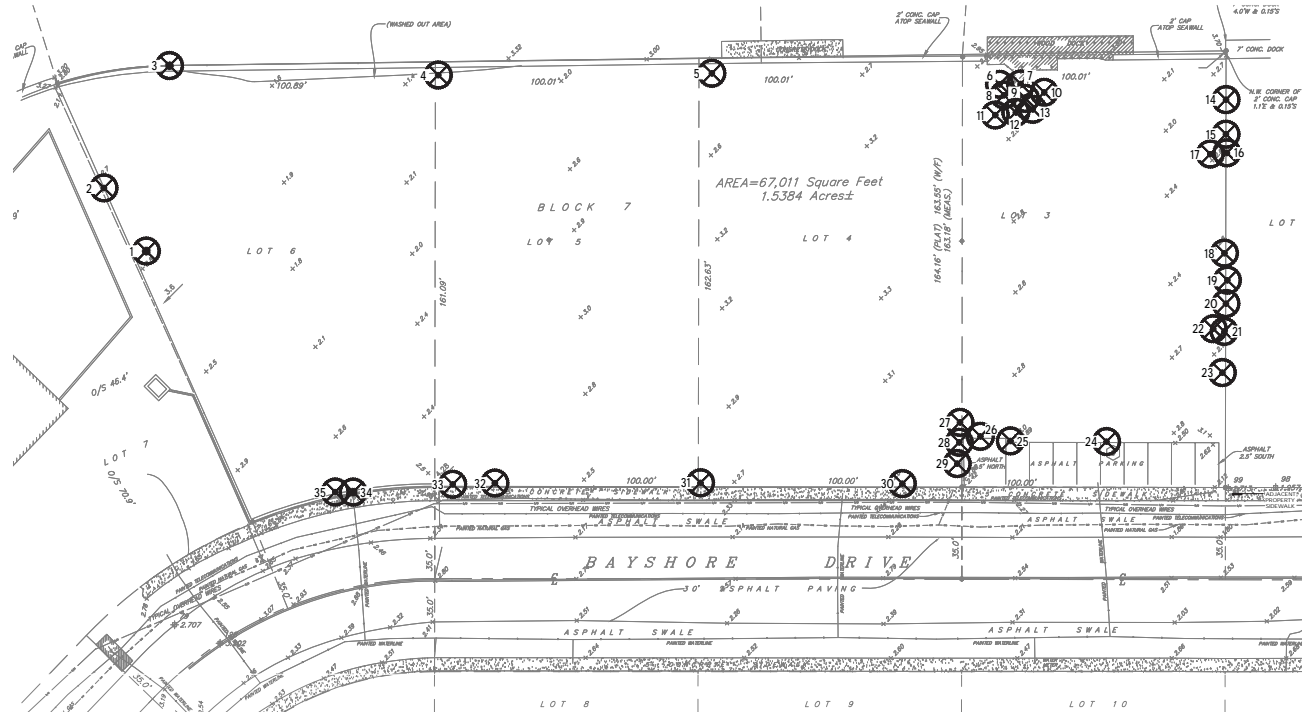
Symbol	Definition
	Palm Tree to Retain (See tree protection details)
	Palm Tree to Remove
	Non-Palm Tree to Retain (See tree protection details)
	Non-Palm Tree to Remove
	Tree to Retain (See tree protection details)
	Tree to Remove
	Tree to Relocate

NOTES:

- Final disposition of trees and palms shall be determined on a case by case basis at each phase of construction in accordance with local municipal requirements.
- Landscape removal contractor shall verify all notes on site with Landscape Architect prior to work.
- All ground covers and understory shrubs to be removed by hand. Landscape Architect to walk site with contractor prior to start of removal work.

#	Scientific Name	Common Name	D.B.H.	Height (CT for Palms)	Condition	Class	Disposition	Caliper or Palm Replacement	Replacement \$ Value	Notes
1	Ficus spp	Ficus	58"	30'	60%	C	REMOVE	2" Caliper Replacement	-	Non-native Species
2	Archontophoenix alexandriana	Alexander Palm	4"	17'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 AA @ min. 8" CT
3	Coccothrinax vallisneria	Sea Grass	-	-	-	-	-	-	-	Not Present
4	Sabal palmetto	Sabal Palm	20"	5'	Good	-	REMOVE	N/A	N/A	Less than 8" CT
5	Washingtonia robusta	Mexican Fan Palm	15"	8'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 AA @ min. 8" CT
6	Washingtonia robusta	Mexican Fan Palm	20"	9'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 AA @ min. 8" CT
7	Washingtonia robusta	Mexican Fan Palm	19"	12'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 AA @ min. 8" CT
8	Washingtonia robusta	Mexican Fan Palm	20"	15'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 AA @ min. 8" CT
9	Washingtonia robusta	Mexican Fan Palm	20"	19'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 AA @ min. 8" CT
10	Washingtonia robusta	Mexican Fan Palm	19"	24'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 AA @ min. 8" CT
11	Washingtonia robusta	Mexican Fan Palm	17"	36'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 AA @ min. 8" CT
12	Washingtonia robusta	Mexican Fan Palm	17"	38'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 AA @ min. 8" CT
13	Washingtonia robusta	Mexican Fan Palm	17"	39'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 AA @ min. 8" CT
14	Archontophoenix alexandriana	Alexander Palm	4"	30'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 AA @ min. 8" CT
15	Archontophoenix alexandriana	Alexander Palm	4"	30'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 AA @ min. 8" CT
16	Archontophoenix alexandriana	Alexander Palm	4"	30'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 AA @ min. 8" CT
17	Sabal palmetto	Sabal Palm	20"	5'	Good	-	REMOVE	N/A	N/A	Less than 8" CT
18	Sabal palmetto	Sabal Palm	16"	15'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 AA @ min. 8" CT
19	Sabal palmetto	Sabal Palm	16"	15'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 AA @ min. 8" CT

#	Scientific Name	Common Name	D.B.H.	Height (CT for Palms)	Condition	Class	Disposition	Caliper or Palm Replacement	Replacement \$ Value	Notes	
20	Sabal palmetto	Sabal Palm	16"	13'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 AA @ min. 8" CT	
21	Sabal palmetto	Sabal Palm	18"	12'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 TR @ min. 8" CT	
22	Sabal palmetto	Sabal Palm	6"	0'	Good	-	REMOVE	N/A	N/A	Less than 8" CT	
23	Sabal palmetto	Sabal Palm	10"	4'	Good	-	REMOVE	N/A	N/A	Less than 8" CT	
24	Washingtonia robusta	Mexican Fan Palm	20"	19'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 TR @ min. 8" CT	
25	Washingtonia robusta	Mexican Fan Palm	14"	24'	Good	-	REMOVE	N/A	N/A	Less than 8" CT	
26	Washingtonia robusta	Mexican Fan Palm	24"	7'	Good	-	REMOVE	N/A	N/A	Less than 8" CT	
27	Roystonia regia	Royal Palm	20"	34'	Moderate	-	REMOVE	-	\$10,000	Amount to be paid into Canopy Trust Fund	
28	Washingtonia robusta	Mexican Fan Palm	14"	14'	Good	-	REMOVE	N/A	N/A	Less than 8" CT	
29	Washingtonia robusta	Mexican Fan Palm	18"	4'	Good	-	REMOVE	N/A	N/A	Less than 8" CT	
30	Washingtonia robusta	Mexican Fan Palm	18"	25'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 TR @ min. 8" CT	
31	Washingtonia robusta	Mexican Fan Palm	18"	28'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 TR @ min. 8" CT	
32	Washingtonia robusta	Mexican Fan Palm	16"	8'	Good	-	REMOVE	1 palm @ min. 8" CT	-	Replace w/ 1 TR @ min. 8" CT	
33	Washingtonia robusta	Mexican Fan Palm	18"	4'	Good	-	REMOVE	N/A	N/A	Less than 8" CT	
34	Casuarina equisetifolia	Australian Pine	18"	40'	-	-	REMOVE	N/A	N/A	Category 1 Invasive FLEPPC	
35	Washingtonia robusta	Mexican Fan Palm	12"	5'	Good	-	REMOVE	N/A	N/A	Less than 8" CT	
TOTAL TREE REPLACEMENT									21	-	Replace w/ 3 TD @ 17" caliper min. & 18T @ 1" caliper. See Tree Plan L4-D3
TOTAL PALM REPLACEMENT									21	-	Replace w/ 16 AA & 5 TR @ min. 8" CT. See Tree Plan L4-D3
TOTAL \$ REPLACEMENT									-	\$10,000	Amount to be paid into Canopy Trust Fund



FOR DRC REVIEW ONLY - NOT FOR CONSTRUCTION



Project:
OLAKINO HOUSE
551 BAYSHORE DRIVE
FORT LAUDERDALE, FLORIDA 33304

NO.	DESCRIPTION	DATE
1	DRC APPLICATION SUBMITTAL	01/21/21

PROJECT INFORMATION	
PROJECT NO.	20-008
DRAWN BY	SLD/GD
CHECKED BY	BR/GCC
DATE	DECEMBER 11, 2020
SCALE	1" = 20'-0"

TREE DISPOSITION PLAN
LO-02

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	SPACING	SIZE	CALIPER	CONT	SPECIFICATIONS
	BR	2	Bay Rum Tree	<i>Plinthis racemosa</i>	N	See Plan	12' - 14' DA	4"	100 gal	Standard
	DL	5	Dahoon Holly	<i>Ilex cassina</i>	Y	See Plan	4' - 16' DA	2"	100 gal	Full Canopy Standard
	CE	7	Saw Palmetto	<i>Serenoa repens</i>	Y	See Plan	18 - 20' DA	4"	100 gal	Standard Matching
	BS	4	Gumbo Limbo	<i>Bursera simaruba</i>	Y	See Plan	20' DA	4"	75 gal	Straight Trunk, Full Structure
	MT	12	Native Medium Tree	(See Specifications)	Y	See Plan	8' - 10' DA, 4" CT	2"	65 gal	Varying Species: Bahama Strongbark / <i>Bourneria vacillans</i> Black Ironwood / <i>Acrocomia ferruginea</i> Caribbean Oak / <i>Cordia alliodora</i> Crownwood / <i>Gymnocladia dioica</i> Elegant Palm / <i>Coconutia elaeagnifolia</i> Sabaloid / <i>Chrysiotylus glaberrimus</i> Stagger Sparrow / <i>Eugenia spp.</i> 8 feet of canopy height clearance required when encroaching the public right of way
	ST	20	Native Small Tree	(See Specifications)	Y	See Plan	5' - 8' DA	2"	45 gal	Varying Species: Wax Myrtle / <i>Nyctanthes arborescens</i> Lignum Vitae / <i>Gouquieria venusta</i> Sourwood / <i>Clusia lucida</i>
	MF	6	Shrimp's Stinger	<i>Myrciophora fragrans</i>	Y	See Plan	2' - 30" DA, 5" - 8" CT	1"	100 gal	Bush, Single Leader, Standard
	FA	7	Stranger Fig	<i>Ficus aurea</i>	Y	See Plan	20' DA	4"	75 gal	Specimen by LA
	LL	4	Wild Tamarind	<i>Lycium bahianum</i>	Y	See Plan	20' - 22' DA, 8" CT	4"	100 gal	Standard 8 feet of canopy height clearance required when encroaching the right triangle

NATIVE TREE & PALM PERCENTAGE: 73.8% (93 of 126)
 NATIVE SHRUB PERCENTAGE: 100% (120 of 120)
 NATIVE SHRUB AREAS & GROUND COVER PERCENTAGE: 62.3% (6,627 of 10,632 sf)

NOTES:

- Root barrier shall be included where applicable to discourage utility impacts.
- All tree canopy encroaching the public right of way shall have a canopy height clearance of 8 feet and trees encroaching the right triangle to have a minimum 8 feet.

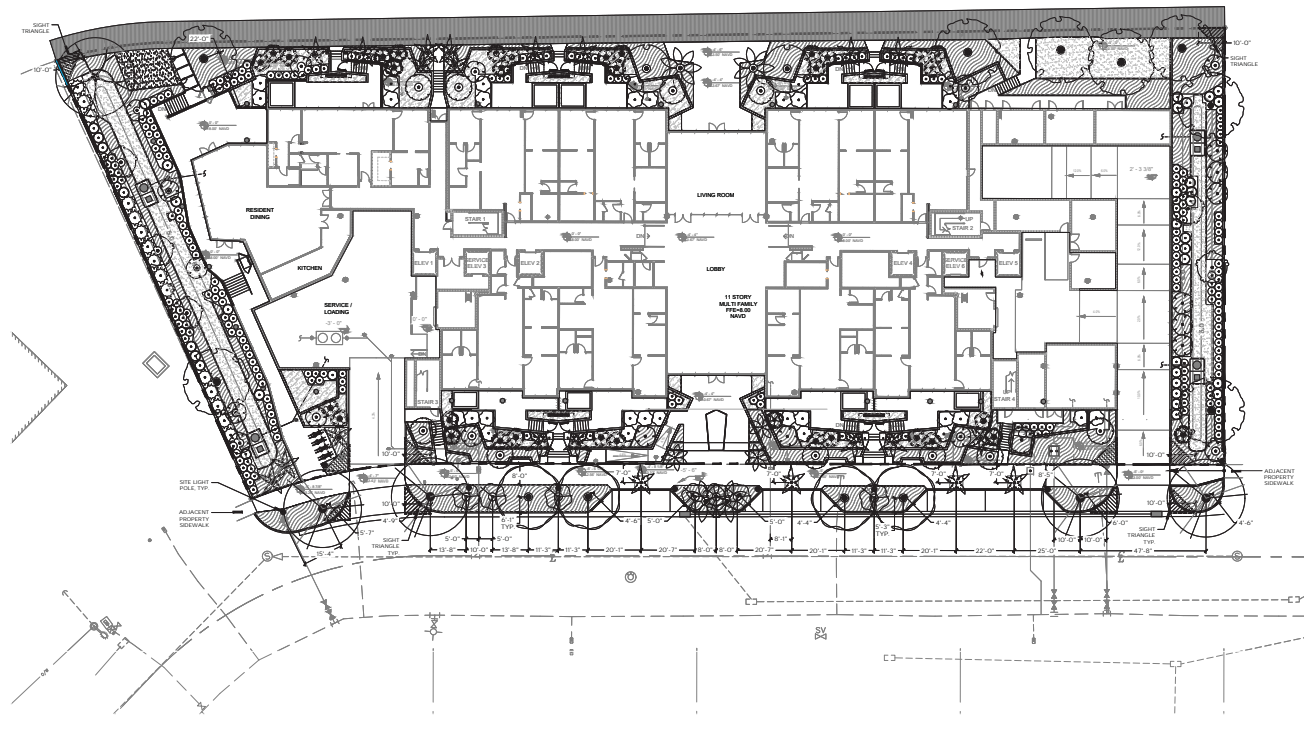
PALMS	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	SPACING	SIZE	CONT	SPECIFICATIONS	
	AA	22	Alexander Palm	<i>Archontophoenix alexandriae</i>	N	See Plan	10' - 16' CT	75 gal	Straight Trunk, Very Heights
	TD	24	Florida Thatch Palm	<i>Thrinax radiata</i>	Y	See Plan	8' - 10' CT	75 gal	Straight Trunk, Min. 7 Frons
	SP	9	Specimen Palm	(See Specifications)	N	See Plan	Varies	Varies	Varying Species: - Cerebra Palm / <i>Coccothrinax alba</i> - Canary Island Date Palm / <i>Phoenix canariensis</i> - Mexican Coconut Palm / <i>Coccothrinax major</i> - Queen Palm / <i>Sabal palmetto</i>
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	SPACING	SIZE	CONT	SPECIFICATIONS	
	PSL	36	Bahama Coffee	<i>Psychotria ligustrifolia</i>	Y	See Plan	30" HT X 24" SW	7 gal	Full to Base
	CHL	231	Horizontal Coccoloba	<i>Chrysothamnus toxicus</i>	Y	See Plan	2' - 3' DA	15 gal	Bush, Full to Base
	NLS	30	Native Large Shrub	(See Specifications)	Y	See Plan	5' - 7' DA	25 gal	Varying Species: - Red Stinger / <i>Eugenia thomsonii</i> - American Cedar / <i>Quercus virginiana</i>
	SSP	9	Silver Saw Palmetto	<i>Serenoa repens</i>	Y	See Plan	4' DA	100 gal	Full Structure
SHRUB MIXES	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	SPACING	SIZE	CONT	SPECIFICATIONS	
	2883	Lurel Plant Mix	(See Specifications)	Mixed	Varies	Varies	Varies	Varies	20% Lady Palm / <i>Eragrostis exilis</i> 20% Pigeonwood / <i>Caribbea floribunda</i> 20% Sweetgum / <i>Liquidambar styraciflua</i> 25% Wax Myrtle / <i>Nyctanthes arborescens</i> 15% Corymbium Passion Flower / <i>Passiflora suberosa</i>
GROUND COVER	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	SPACING	SIZE	CONT	SPECIFICATIONS	
	1949	Ground Cover Mix	(See Specifications)	Mixed	Varies	Varies	Varies	Varies	20% Golden Creeper / <i>Erosola integrata</i> 20% Lurel / <i>Chamaecrista nictitans</i> 20% Native Sweet Fern / <i>Asplenium platyneuron</i> 20% Carolina Mint / <i>Monarda virginiana</i> 10% Ceanothus / <i>Zinnia mexicana</i> 10% Beach Lily / <i>Thymocallis latifolia</i>
SCD/SEED	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	SPACING	SIZE	CONT	SPECIFICATIONS	
	278	Erinodryas	<i>Erinodryas</i>	N					See Signs

PREVIOUS REQUIREMENTS		
per U.L.D.R. Section 47-21.13(B)(14)		
Previous Area at Grade	Min. Required	Proposed
16,788 SF	16,788 SF	16,788 SF
A minimum of twenty-five (25%) pervious area is required for single and multiple family development.		

NET LOT AREA TREE REQUIREMENTS		
per U.L.D.R. Section 47-21.13(B)(1)		
Net Lot Area (16,752.5 SF)	Min. Required	Proposed
16.75	16.75	17.0
Net Lot Area Trees (1 per 1,000 SF)	Shade Tree (20% of Net Lot Trees)	
3.35	4+	
Net Lot Shrubs (12 per 1,000 SF)	201.04	202+

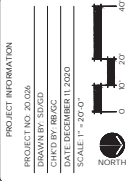
STREET TREE REQUIREMENTS		
per U.L.D.R. Section 47-21.13(B)(16)		
Trees R.O.W. (1 Tree/40 LF)	Min. Required	Proposed
8	8	8
East Property Line 371 LF	9.275 Trees	8 Shade Trees 6 Small Trees 6 Palms

VUA LANDSCAPE REQUIREMENTS		
per U.L.D.R. Section 47-21.12		
Vehicle Use Area (861 SF)	Min. Required	Proposed
172.2 SF	173 SF	173 SF
Vehicle Use Landscape Area (861 SF X 20%)		
VUA Trees (1 per 1,000 SF)	0.861	1.0
Shade Tree (25% of VUA)	0.215	0.0
Shade Tree (25% of VUA) 2.5' caliper	0.215	0.0
Flowering Tree (20% of VUA)	0.172	0.0
Palm Tree (20% of VUA)	0.172	1.0
Optional Species (10% of VUA)	0.0861	0.0
VUA Shrubs (6 per 1,000 SF)	5.166	6+



Project:
OLAKINO HOUSE
 551 BAYSHORE DRIVE
 FORT LAUDERDALE, FLORIDA 33304

REVISIONS & MILESTONES	
NO.	DATE
1	01/22/24
2	02/07/24
3	07/07/24
4	07/07/24
5	07/07/24
6	07/07/24
7	07/07/24
8	07/07/24
9	07/07/24
10	07/07/24



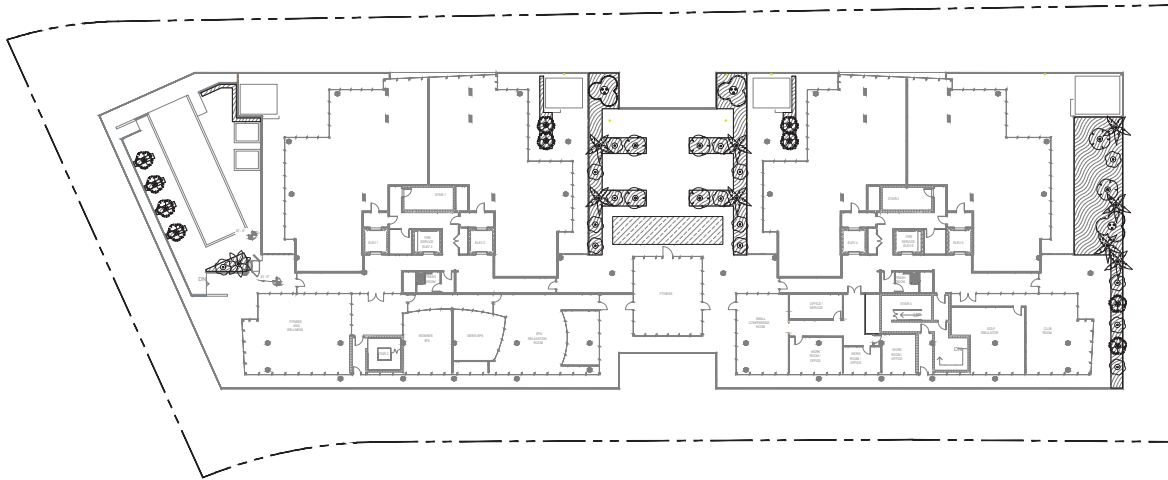
PLANTING PLAN & CHARTS - GROUND FLOOR
L4-01

FOR DRC REVIEW ONLY - NOT FOR CONSTRUCTION

PROJECT PATH: X:\PROJECTS\20026 - OLAKINO HOUSE\DRAWINGS\CADENCE\DCR\L4-00-PLANTING PLANDWG

PLANT SCHEDULE - 4th FLOOR AMENITY LEVEL									
TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	SPACING	SIZE	CONT	SPECIFICATIONS
	ST	6	Native Small Tree	Native Small Tree	Y	See Plan	6' - 8' OA	45 gal	Varying Species Wax Myrtle / Myrica cerifera Ligustrum Vitae / Guaiacum sanctum Jasowood / Jacquinia keyensis
PALMS	CODE	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	SPACING	SIZE	CONT	SPECIFICATIONS
	AA	8	Alexander Palm	Archontophoenix alexandrae	N	See Plan	10' - 16' CT	FG	Straight Trunk, Varying Heights
	TR1	10	Florida Thatch Palm	Thrinax radiata	Y	See Plan	8' - 10' CT	FG	Straight Trunk, Min. 7 Fronds
	TR2	3	Florida Thatch Palm	Thrinax radiata	Y	See Plan	8' - 12' CT	FG	Triple Trunk
	SP	1	Specimen Palm	Specimen Palm	N	See Plan	Varies	Varies	Varying Species Caranday Palm / Copernicia alba Canary Island Date Palm / Phoenix canariensis Meyyan Coconut Palm / Cocos nucifera 'Meyyan' Sabal Kentia Palm / Sabal Kentia lukiiensis
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	SPACING	SIZE	CONT	SPECIFICATIONS
	NLS	15	Native Large Shrub	Native Large Shrub	Y	See Plan	5' - 7' OA	25 gal	Full Structure
GROUND COVERS	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	SPACING	SIZE	CONT	SPECIFICATIONS	
	2,648 sf	Ground Cover Mix	Ground Cover Mix	Mixed	Varies	Varies	Varies	Golden Creeper / Eriosea littoralis 20% Liriope / Liriope muscari 20% Native Sword Fern / Nephrolepis exaltata 20% Sunshine Mimosa / Mimosa strigillosa 20% Koeleria / Zama floridana 10% Beach Lily / Hymenocallis latifolia 10%	
SOD/SEED	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	SPACING	SIZE	CONT	SPECIFICATIONS	
	441 sf	Artificial Turf	Artificial Turf	N					

NATIVE TREE & PALM PERCENTAGE: 67.9% (19 of 28)
 NATIVE SHRUB PERCENTAGE: 100% (15 of 15)
 NATIVE GROUND COVER PERCENTAGE: 80.0% (2,118 SF of 2,648 sf)



Project:
OLAKINO HOUSE
 551 BAYSHORE DRIVE
 FORT LAUDERDALE, FLORIDA 33304

NO.	DESCRIPTION	DATE
1	DCR APPLICATION RESUBMITTAL	01/27





PROJECT INFORMATION

PROJECT NO. 20026
 DRAWN BY: SDG
 CHECKED BY: RBG
 DATE: DECEMBER 11, 2020
 SCALE: 1" = 2'-0"

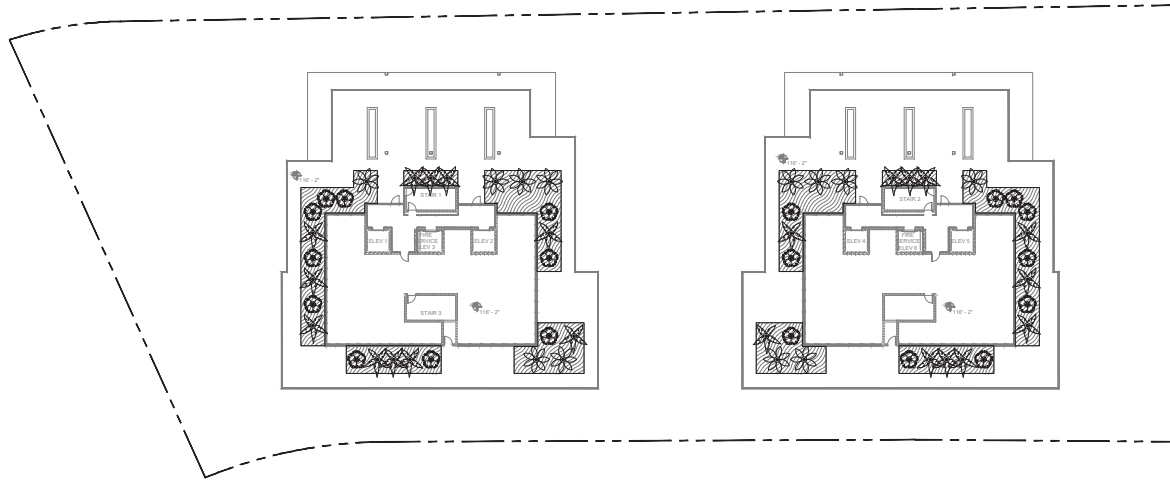
PLANTING PLAN - 4th FLOOR AMENITY LEVEL
L4-02

FOR DRC REVIEW ONLY - NOT FOR CONSTRUCTION

PROJECT PATH: X:\PROJECTS\20026 - OLAKINO HOUSE\DRAWINGS\CADENCE\DC\L4-03-PLANTING PLANDWG

PLANT SCHEDULE - ROOF									
PALMS	CODE	QTY	COMMON NAME	BOTANICAL NAME	NATIVE	SPACING	SIZE	CONT	SPECIFICATIONS
	AA	22	Alexander Palm	Archontophoenix alexandrae	N	See Plan	10' - 16' CT	FG	Straight Trunk, Very Heights
	TR1	20	Florida Thatch Palm	Thrinax radiata	Y	See Plan	8' - 10' CT	FG	Straight Trunk, Min. 7 Fronds
	SP	12	Specimen Palm	Specimen Palm	N	See Plan	Varies	Varies	Varying Species: - Carandiy Palm / Copernicia alba - Maypan Coconut Palm / Cocos nucifera 'Maypan' - Sabakentia Palm / Sabakentia lakueanos
GROUND COVERS		QTY	COMMON NAME	BOTANICAL NAME	NATIVE	SPACING	SIZE	CONT	SPECIFICATIONS
		4,553 sf	Ground Cover Mix	Ground Cover Mix	Mixed	Varies	Varies	Varies	Golden Creeper / Ermodea littoralis 20% Liriope / Liriope muscari 20% Native Sword Fern / Nephrolepis exaltata 20% Sunshine Mimosa / Mimosa strigilosa 20% Coontie / Zamia floridana 10% Beach Lily / Hymenocallis latifolia 10%

NATIVE TREE & PALM PERCENTAGE: 37.0% (20 of 54)
NATIVE GROUND COVER PERCENTAGE: 60.0% (2,742 sf of 4,553 sf)



Project:
OLAKINO HOUSE
551 BAYSHORE DRIVE
FORT LAUDERDALE, FLORIDA 33304

REVISIONS & MILESTONES	
NO.	DATE
1	01/27
DESCRIPTION	
DATE APPLICATION RESUBMITTED	

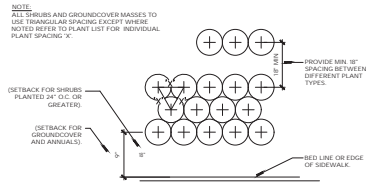
PROJECT INFORMATION

PROJECT NO. 20026
DRAWN BY: SDG
CHECKED BY: RBG/C
DATE: DECEMBER 11, 2020
SCALE: 1" = 2'-0"

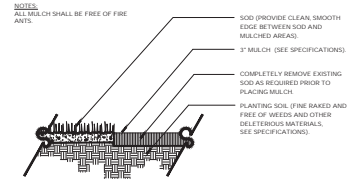
PLANTING PLAN - ROOF

L4-03

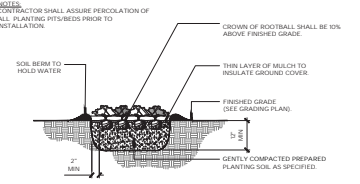
FOR DRC REVIEW ONLY - NOT FOR CONSTRUCTION



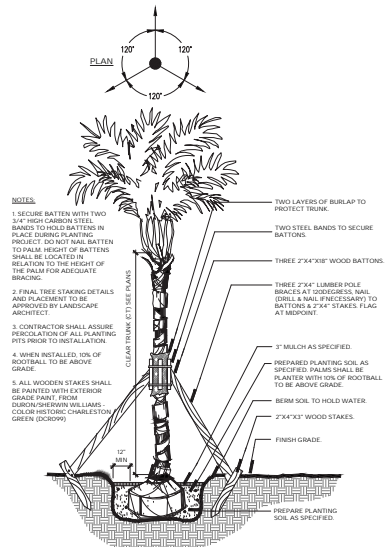
1 TYPICAL PLANT LAYOUT
PLAN SCALE: 1" = 1'-0"



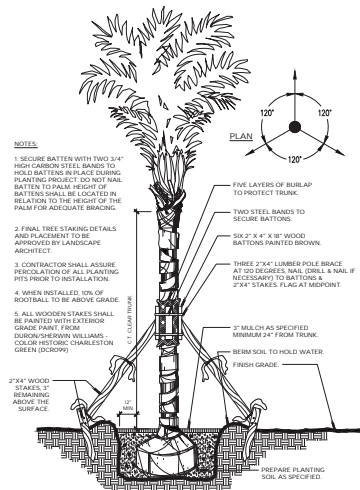
2 MULCH
SECTION SCALE: 1" = 1'-0"



3 GROUND COVER
SECTION SCALE: 1" = 1'-0"



4 SMALL PALM
SECTION NOT TO SCALE



5 LARGE PALM TREE
SECTION NOT TO SCALE

PROJECT PATH: X:\PROJECTS\2026 - OLAKINO HOUSE\DRAWINGS\CADENCE\DCR\LS-00_PLANTING DETAILS.DWG



Project:
OLAKINO HOUSE
551 BAYSHORE DRIVE
FORT LAUDERDALE, FLORIDA 33304

NO.	REVISIONS & MILESTONES	DATE
1	DESCRIPTION	01/11/24
2	DIRC APPLICATION RESUBMITTAL	

PROJECT INFORMATION	
PROJECT NO.	20206
DRAWN BY	SLD/GD
CHECKED BY	BR/CC
DATE	MARCH 9, 2024
SCALE	AS SHOWN

PLANTING DETAILS
L5-00

FOR DIRC REVIEW ONLY - NOT FOR CONSTRUCTION

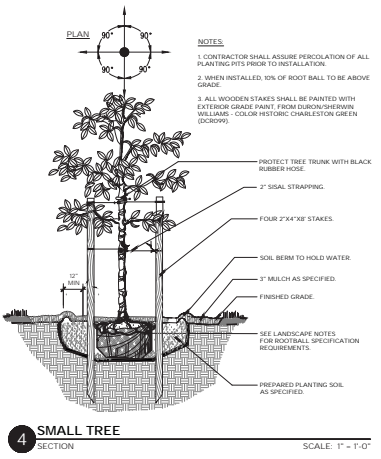
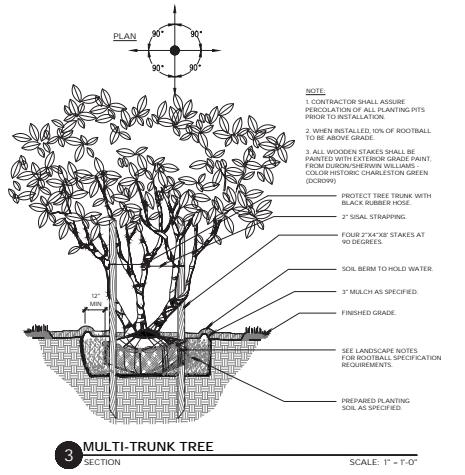
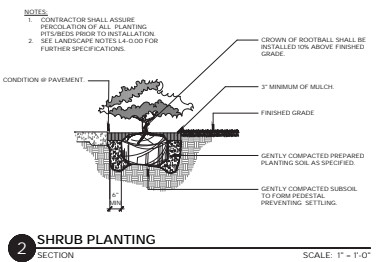
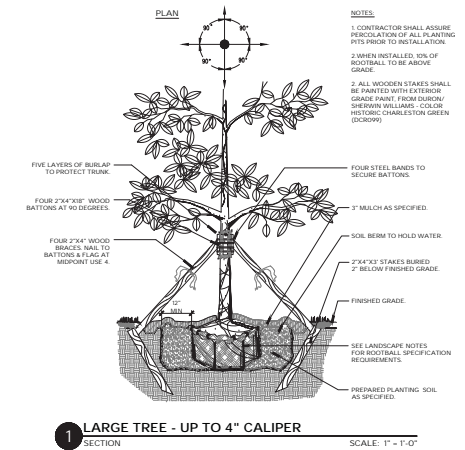


Project:
OLAKINO HOUSE
 551 BAYSHORE DRIVE
 FORT LAUDERDALE, FLORIDA 33304

NO.	DESCRIPTION	DATE
1	DATE 01/17/24	
	DESCRIBTION	
	DATE APPLICATION RESUBMITTAL	

PROJECT INFORMATION	
PROJECT NO.	202008
DRAWN BY	SLD/GD
CHECKED BY	BR/CC
DATE PLOTTED	1/17/24
SCALE	AS SHOWN

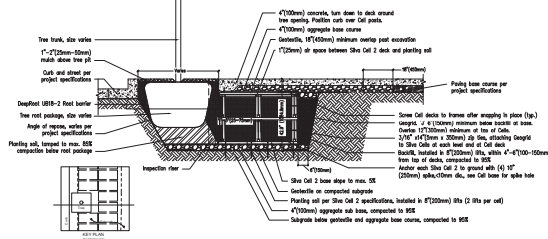
PLANTING DETAILS
L5-01



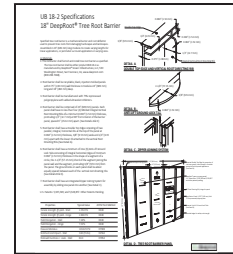
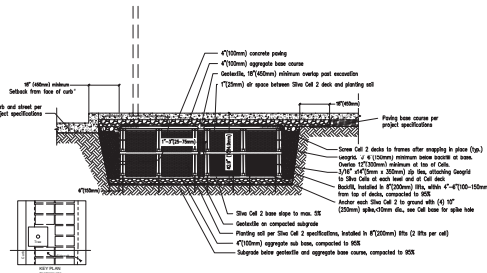
PROJECT PATH: X:\PROJECTS\2020-08-OLAKINO HOUSE\DRAWINGS\CADENCE\DC\DC\15-01-PLANTING DETAILS.DWG

FOR DRC REVIEW ONLY - NOT FOR CONSTRUCTION

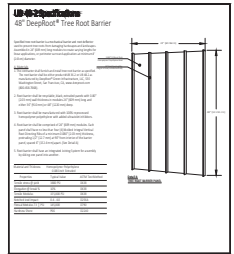
Standard preparation and placement of concrete shall be in accordance with ACI 308R-11. All concrete shall be placed in accordance with ACI 308R-11. All concrete shall be placed in accordance with ACI 308R-11.



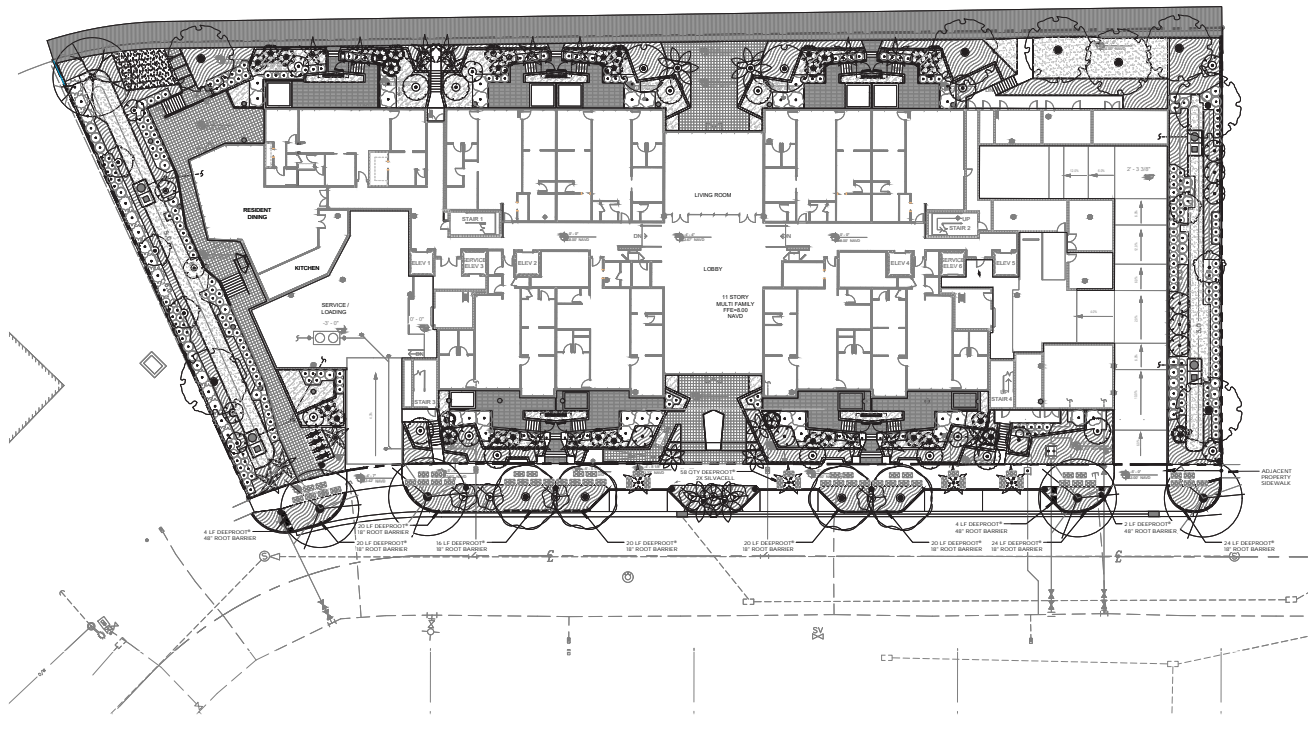
1 DEEPROOT® SILVA CELLS - STREETSCAPE APPLICATION
2X SILVA CELL SYSTEM CONCRETE PAVING ON AGGREGATE
SECTION
NOT TO SCALE



2 TREE ROOT BARRIER - 18"
CUT SHEET
NOT TO SCALE



3 TREE ROOT BARRIER - 48"
CUT SHEET
NOT TO SCALE



SILVA CELL LEGEND		
Symbol	Definition	Totals
SSS	DeeProot® Silva Cells 2X Silva Cell (Height: 30.9") System for Concrete Paving on Aggregate Base	58 QTY
	DeeProot® 18" Root Barrier	164 LF
	DeeProot® 48" Root Barrier	14 LF

- NOTES:**
- Field adjustments to Silva Cell to accommodate existing utilities, site poles, light poles, meters, etc. is allowed. Spacing between Silva Cells must not exceed allowable maximum spacing as stipulated by manufacturer.
 - Root barrier shall be included where applicable to discourage utility impacts.



Project:
OLAKINO HOUSE
551 BAYSHORE DRIVE
FORT LAUDERDALE, FLORIDA 33304

NO.	REVISIONS & MILESTONES	DATE
	DESCRIPTION	
	DATE APPLICATION RESUBMITTED	
	DATE LANDSCAPE COMMENTS	
	REVISED NOTES	

PROJECT INFORMATION	
PROJECT NO. 20208	DRAWN BY: SJL/AG
SCALE: 1" = 2'-0"	CHECKED BY: RB/CC
DATE: DECEMBER 11, 2020	SCALE: 1" = 2'-0"

SILVA CELL PLAN
L6-00

FOR DRC REVIEW ONLY - NOT FOR CONSTRUCTION

DRC SUBMITTAL FOR OLAKINO HOUSE

551 BAYSHORE DRIVE
FT. LAUDERDALE, FLORIDA 33304



9400 South Dadeland Boulevard
Suite 601
Miami, FL 33156
305 / 378 5555
305 / 279 4553 fax

www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 4270

SEAL / SIGNATURE:



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NELSON H. ORTIZ, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM: NELSON H. ORTIZ (CIVIL)
PE-57556

PROJECT TITLE:

OLAKINO HOUSE

551 Bayshore Drive
Fort Lauderdale, Florida 33304
Folio No. 5042-01-04-0600061006200630

LOCATION VENTURES
2999 Alhambra Circle, Suite 510
Coral Gables, Florida 33134

ISSUE:

NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2020-7034
DATE: 12-03-20
DRAWN BY: G.G.G.
CHECKED BY: J.H.
APPROVED BY: N.H.O.
SCALE: AS SHOWN

SHEET TITLE:

COVER SHEET, LOCATION MAP AND NOTES

SHEET NUMBER:

COVER

GENERAL NOTES

- ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988). REFERENCE BENCH MARK USED: CITY OF FORT LAUDERDALE BENCHMARK #NE 560, ELEV.=6.805 (NAVD 88).
- HORIZONTAL AND VERTICAL CONTROL SHALL BE PROVIDED BY THE CONTRACTOR'S SURVEYOR. LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE INTENT OF THESE DRAWINGS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION SUPPLIED BY OTHERS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MEET WITH ALL APPLICABLE UTILITY COMPANIES TO VERIFY ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE ALL SUCH DAMAGE.
- EXISTING GRADES WERE TAKEN FROM THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY REFLECT PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH CURRENT SITE CONDITIONS, AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING WORK.
- REFERENCE SHALL BE MADE TO THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR LOCATIONS, SIZE AND DETAILS OF ALL UTILITY SERVICES TO THE BUILDINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING ALL DISTURBED EXISTING MANHOLE COVERS, VALVE BOXES, BLOW-OFF RISERS, ETC. TO NEW ELEVATIONS, AS REQUIRED, WHETHER SPECIFICALLY SHOWN ON THESE DRAWINGS OR NOT.
- BOUNDARY AND TOPOGRAPHIC DATA BASED UPON SURVEY PREPARED BY McLAUGHLIN ENGINEERING COMPANY (LB#285), 1700 N.W. 64th STREET, FORT LAUDERDALE, FLORIDA, 33309, DATED 12TH DAY OF DECEMBER, 2002, RESURVEYED ON 12TH DAY OF NOVEMBER, 2020.
- THE PROPERTY DESCRIBED HEREON LIES WITHIN FLOOD ZONE AE ELEVATION 5 FEET, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 125105 0388 N, DATED AUGUST 18, 2014.



LOCATION MAP

N.T.S.

FOLID NO. 5042-01-04-0600
5042-01-04-0610
5042-01-04-0620
5042-01-04-0630

LEGAL DESCRIPTION

LOTS 3, 4, 5, AND 6, BLOCK 7, BIRCH OCEAN FRONT SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 19, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LAND SITUATE, LYING AND BEING IN THE CITY OF FORT LAUDERDALE, FLORIDA, AND CONTAINING 67,011 SQUARE FEET OR 1.5384 ACRES, MORE OR LESS.

STRIPING AND SIGNAGE NOTES

- ALL STRIPING IN RIGHT-OF-WAY AND ALL ON-SITE STOP BARS SHALL BE THERMOPLASTIC WITH A MIXTURE OF 50 PERCENT GLASS SPHERES AND 50 PERCENT SHARP SILICA SAND APPLIED AT A RATE OF 0.20 PSF IN ACCORDANCE WITH FOOT SECTION 711.
- ALL SIGNAGE SHALL BE IN ACCORDANCE WITH "THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION, AND MATCH EXISTING.
- ALL TRAFFIC SIGNAGE AND PAVEMENT MARKINGS TO BE PROVIDED ON THE SITE PLAN IN CONFORMANCE WITH BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BCHTED) AND MUTCD STANDARDS.
- ALL OFFSITE PAVEMENT MARKINGS AND SIGNAGE SHALL BE APPROVED BY BCHTED.
- SIGN POSTS SHALL BE STEEL CHANNEL IN ACCORDANCE WITH CITY/COUNTY PUBLIC WORKS DEPARTMENT STANDARDS AND SHALL BE BREAK-A-WAY.
- STOP SIGNS SHALL BE MOUNTED WITH 7" CLEAR FROM SIGN BOTTOM TO GRADE. WHERE INDICATED, ADDITIONAL SIGNAGE SHALL BE MOUNTED BELOW STOP SIGN.
- REFLECTIVE PAVEMENT MARKERS TO BE IN ACCORDANCE WITH FDOT STANDARD INDEX AND SECTION 706 AND SECTION 870 OF THE FDOT STANDARDS SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. CONTRACTOR TO REPLACE ANY BROKEN OR MISSING RPM'S IN ALL WORK AREAS, WHETHER SPECIFICALLY SHOWN OR NOT.

PAVING-GRADING-DRAINAGE NOTES

- HORIZONTAL AND VERTICAL CONTROL POINTS SHALL BE PROVIDED BY THE OWNER. ALL CONSTRUCTION LAYOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. IN THE EVENT THAT CONTROL POINTS ARE DISTURBED BY CONTRACTOR, CONTRACTOR SHALL PAY FOR ALL RESETTING OF CONTROL POINTS.
- GRADING SHALL CONSIST OF ALL EXCAVATION, FILLING, SHAPING AND SLOPING NECESSARY FOR THE CONSTRUCTION, PREPARATION AND COMPLETION OF ALL SUBGRADES SHOULDERS, SLOPES, INTERSECTIONS, PAVEMENTS AND OTHER AREAS, ALL IN ACCORDANCE WITH THE ALIGNMENT AND GRADES SHOWN IN THESE DRAWINGS.
- DRAINAGE STRUCTURES SHALL BE AS DETAILED IN THESE DRAWINGS. DRAINAGE PIPE TO BE CORRUGATED POLYETHYLENE.
- WHERE APPLICABLE, SAWCUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
- ASPHALTIC PAVEMENTS SHALL CONSIST OF COMPACTED SUBGRADE, COMPACTED LIMEROCK SUBBASE AND TYPE 5-3 ASPHALTIC CONCRETE; AND/OR, SHALL MEET CITY OF FT. LAUDERDALE STANDARDS IN ROADWAY RIGHT-OF-WAY.
- CONCRETE CURB, SIDEWALK AND SLABS SHALL CONSIST OF 3,000 PSI PORTLAND CEMENT CONCRETE, AS SHOWN IN THESE DRAWINGS.
- ALL REINFORCING, ALL SIZES, SHALL CONFORM TO ASTM A615, GRADE 60.
- ALL EXPOSED CONCRETE SURFACES SHALL RECEIVE A LIGHT BROOM FINISH, UNLESS OTHERWISE DIRECTED.
- FINAL GRADING OF LANDSCAPING AREAS SHALL BE COORDINATED IN THE FIELD WITH ENGINEER/LANDSCAPE ARCHITECT. COMPACTED FILL IN LANDSCAPED AREAS SHALL BE PLACED SUCH THAT 6 INCHES OF TOP SOIL MAY BE PLACED BETWEEN THE COMPACTED FILL AND FINISHED GRADE.
- TESTING LABORATORY SHALL BE RETAINED BY THE CONTRACTOR TO VERIFY SPECIFIED COMPACTION DENSITY AND CONCRETE STRENGTH. FAILURE OF ANY TESTING TO MEET SPECIFIED REQUIREMENTS SHALL BE DEEMED NON-COMPLYING.
- COORDINATE ALL SPECIALTY PAVEMENTS WITH ARCHITECTURAL AND LANDSCAPE DRAWINGS.

UTILITY CONTACTS

CITY OF FORT LAUDERDALE MR. CRAIG BARRETT PHONE : (954) 628-5875	AT&T / DISTRIBUTION MR. DINO FARUCCIO PHONE : (561) 683-2729
CROWN CASTLE NG FIBERGLASS TEAM PHONE : (888) 652-0951 EXT. 2	TECO PEOPLES GAS-SOUTH FLORIDA MS. JOAN DOMING PHONE : (813) 275-3783
FLORIDA POWER & LIGHT-SUBAQUEOUS MR. JOEL BRAY PHONE : (588) 586-6403	HOTWIRE COMMUNICATIONS MR. WALTER DAVILA PHONE: (954) 899-0900
FLORIDA POWER & LIGHT-BROWARD MR. JOEL BRAY PHONE : (588) 586-6403	MCI/DCI INVESTIGATIONS MR. WALTER DAVILA PHONE : (408) 886-4081
COMCAST CABLE MR. JOHN SCOTT STRAHM PHONE : (561) 227-3417	

INDEX OF DRAWINGS

SHT. NO.	TITLE
COVER	COVER SHEET, LOCATION MAP AND NOTES
C-1	GENERAL NOTES
PMS-1	PAVING MARKING AND SIGNAGE PLAN
PGD-1	PAVING-GRADING-DRAINAGE PLAN
PGD-2	SITE DETAILS
PGD-3.0	SITE SECTIONS
PGD-3.1	SITE SECTIONS
PGD-4	DRAINAGE DETAILS
WS-1	WATER AND SEWER NOTES
WS-2	WATER AND SEWER PLAN
WS-3	WATER AND SEWER PROFILES
WS-4	WATER DETAILS
WS-5	SEWER DETAILS
SWPPP-1	STORMWATER POLLUTION PREVENTION NOTES
SWPPP-2	STORMWATER POLLUTION PREVENTION PLAN
TP-1	LOADING TRUCK PATH PLAN

ADA COMPLIANCE NOTES

- THIS SET OF DOCUMENTS HAS BEEN DESIGNED TO COMPLY WITH FDS 6TH EDITION (2017) AND THE 2012 FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION AND PER APPLICABLE FDOT INDEXES 304, 310 & 515. ALL RELATED SECTIONS OF THE CODE ARE NOTED WITHIN THESE DOCUMENTS AND STRICT COMPLIANCE IS REQUIRED BY ALL CONSTRUCTION TRADES. CONSTRUCTION QUALITY AND COMPLIANCE OF THE FINAL PRODUCT ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL ACCESSIBLE ROUTES MUST NOT EXCEED A SLOPE OF 1:20 (5.00%), CURB CUT RAMPS AND RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.33%), RAMPS THAT EXCEED 6 FEET IN LENGTH REQUIRE HANDRAILS. ALL CROSS SLOPES MUST NOT EXCEED A SLOPE OF 1:50 (2.00%).
- PLANTERS, TREE GRATES AND OTHER ELEMENTS MUST BE FLUSH AND ADA COMPLIANT. PAVERS ON PEDESTRIAN PATH MUST BE FLUSH, FIRM, STABLE AND HAVE NO OPEN JOINTS.
- ALL DETECTABLE WARNINGS TO BE IN ACCORDANCE WITH MIAMI-DADE COUNTY ARTICLE 527 TESTED MATERIAL, TYPE & COLOR, LATEST EDITION (7/7/15).

DEMOLITION NOTES

- EXISTING CONDITIONS SHOWN BASED UPON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS PRIOR TO INITIATING WORK. SEE SURVEY PREPARED BY McLAUGHLIN ENGINEERING COMPANY (LB#285), DATED 12TH DAY OF DECEMBER, 2002. RESURVEYED ON 12TH DAY OF NOVEMBER, 2020.
- ALL EXCAVATION SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES.
- ASPHALTIC PAVEMENT DESIGNATED FOR DEMOLITION SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT AN APPROVED LOCATION. SAWCUT ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
- LIMEROCK SUBBASE SHALL BE SCARIFIED TO ITS FULL DEPTH. IN NO CASE SHALL REMOVED LIMEROCK SUBBASE BE USED AS SUBBASE FOR NEW ROADWAYS, DRIVEWAYS, OR PARKING AREAS.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND OWNER PRIOR TO DEMOLISHING ANY EXISTING UTILITIES.
- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY SERVICE LINES PRIOR TO START OF CONSTRUCTION AND DETERMINE THE REQUIREMENTS FOR THEIR PROTECTION.
- THE CONTRACTOR SHALL ARRANGE FOR THE PROPER DISCONNECTION AND CAPPING OF ALL UTILITIES BY THE APPROPRIATE CERTIFIED TECHNICIAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL UTILITIES DESIGNATED TO REMAIN AND TO REPAIR ANY DAMAGED UTILITIES.
- ALL EXISTING UTILITIES INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, GAS, POWER & TELEPHONE SHALL BE TERMINATED AT PROPERTY LINE (AND WORK LIMITS) AND REMOVED WITHIN THE DEMOLITION LIMITS. CONTRACTOR SHALL COORDINATE WITH EACH AFFECTED UTILITY COMPANY.
- ALL DEMOLITION DEBRIS, EQUIPMENT AND APPURTENANCES SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND DISPOSED OF OFF-SITE IN AN APPROVED MANNER, UNLESS OTHERWISE DESIGNATED BY THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL HAUL ROUTES, TO AND FROM THE SITE, FROM ALL REQUIRED AGENCIES/MUNICIPALITIES.

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3/17/2021 12:44 PM



9400 South Dadeland Boulevard
 Suite 601
 Miami, FL 33156
 305 / 378 5555
 305 / 279 4553 fax

www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 4270

SEAL / SIGNATURE:



THIS SEAL HAS BEEN DIGITALLY SIGNED AND SIGNED BY NELSON H. ORTIZ, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

DRC SUBMITTAL (03/17/2021) - NOT FOR CONSTRUCTION

FOR THE FIRM: NELSON H. ORTIZ (P.E.)
 PE-97556 (PVA)

PROJECT TITLE:
 OLAKINO HOUSE

551 Bayshore Drive
 Fort Lauderdale, Florida 33304
 Folio No. 5042-01-04-060006/100620030

LOCATION VENTURES
 2999 Alhambra Circle, Suite 510
 Coral Gables, Florida 33134

ISSUE:
 NO. DATE REVISIONS BY

PROJECT INFORMATION:
 PROJECT NUMBER: 2020-7034
 DATE: 12-03-20
 DRAWN BY: G.G.G.
 CHECKED BY: J.H.
 APPROVED BY: N.H.O.
 SCALE: AS SHOWN

SHEET TITLE:
 GENERAL NOTES
 SHEET NUMBER:

C-1

GENERAL NOTES - BROWARD COUNTY TRAFFIC ENGINEERING DEPT.

ALL PARTIES NOTE THE FOLLOWING:

DIRECTIONAL BORES, UTILITY CONNECTIONS, THE PLACEMENT OF NOT AND ADVANCE SIGNAGE MAY BY THEIR PLACEMENT, DAMAGE/DESTROY THE COMMUNICATIONS CABLE/CONDUIT LOCATED INSIDE AND OUTSIDE THE PROJECT AREA. ADDITIONALLY, CURB/OUTLET/SIDEWALK REMOVAL/PLACEMENT, RELOCATION OF TREES, LANDSCAPING ACTIVITIES AND IRRIGATION ACTIVITIES ARE POTENTIAL CAUSES FOR DAMAGE TO BCTED'S COMMUNICATION CABLE/CONDUIT. ALL PARTIES SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN PROXIMITY TO THE COMMUNICATIONS CABLE/CONDUIT.

ANY ABOVE PROJECT ACTIVITY, INCIDENTAL OR OTHERWISE, WHICH IMPACTS OR DAMAGES THE COMMUNICATIONS CABLE/CONDUIT, SHALL BE SUBJECT TO THE FOLLOWING NOTES AND CONDITIONS BELOW.

COMMUNICATIONS NOTES

THE AGENCY RESPONSIBLE FOR MAINTENANCE OF THE TRAFFIC SIGNALS AND RELATED EQUIPMENT IS BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BCTED). ALL SYSTEM COMMUNICATIONS EQUIPMENT, CABLING AND RELATED MATERIAL SHALL COMPLY WITH BROWARD COUNTY'S LATEST EDITION OF MINIMUM STANDARDS AS EXPRESSED IN THE "STANDARDS AND SPECIFICATIONS - COMMUNICATION INFRASTRUCTURE" DOCUMENT, ALSO REFER TO THE COUNTY'S COMMUNICATIONS PROCEDURES AND POLICES. BROWARD COUNTY TRAFFIC ENGINEERING DIVISION WILL NOT ACCEPT ANY PROJECTS THAT DO NOT MEET THESE STANDARDS AND SPECIFICATIONS. FOR A COPY OF THESE STANDARDS REFER TO BROWARD COUNTY WEB SITE AT WWW.BROWARD.ORG/TRAFFIC UNDER PUBLICATIONS OR CONTACT ROBERT BLOUNT, COMMUNICATIONS MANAGER AT BLOUNT@BROWARD.ORG.

INCLUDE BROWARD COUNTY TRAFFIC ENGINEERING (BCTED) IN ANY NOTICE OF UTILITY OWNERSHIP OR WITHIN A "UTILITY OWNERS/CONTACT PERSON" TABLE AS BROWARD COUNTY TRAFFIC ENGINEERING 954-847-2745 (808 BLOUNT).

IF THERE OPTIC PULL BOXES ALREADY EXIST AT AN INTERSECTION, NO ADDITIONAL PULL BOXES WILL BE INSTALLED.

ALL BCTED COMMUNICATIONS CABLE/CONDUIT SHALL BE LOCATED IN A MINIMUM OF 48 HOURS IN ADVANCE.

**BROWARD COUNTY TRAFFIC ENGINEERING DIVISION
 PROCEDURE FOR NOTIFICATION OF COMMUNICATION DISRUPTION**

WHEN COMMUNICATIONS TO AN INTERSECTION MUST BE INTERRUPTED BY A CONTRACTOR TO PERFORM WORK, THE CONTRACTOR SHALL PROVIDE AN ADVANCE TWO DAY NOTICE IN WRITING TO THE BROWARD COUNTY TRAFFIC ENGINEERING DIVISION. THIS NOTIFICATION SHALL BE CONVEYED VIA ELECTRONIC MAIL (EMAIL) TO THE COMMUNICATIONS MANAGER AT BLOUNT@BROWARD.ORG. NOTIFICATION SHALL INCLUDE CONTACT PERSON, TELEPHONE NUMBER, PURPOSE, LOCATION AND DURATION. THE DISRUPTION SHALL LAST FOR NO MORE THAN 3 CONSECUTIVE BUSINESS DAYS. WHERE POSSIBLE, THE DISRUPTION SHALL BE AT OFF PEAK HOURS BEGINNING AT 9:00AM AND ENDING AT 3:00PM.

UTILITY DEMOLITION NOTES

1. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITY SERVICE LINES PRIOR TO START OF CONSTRUCTION AND DETERMINE THE REQUIREMENTS FOR THEIR PROTECTION.
2. THE CONTRACTOR SHALL ARRANGE FOR THE PROPER DISCONNECTION AND CAPPING OF ALL UTILITIES BY THE APPROPRIATE CERTIFIED TECHNICIAN.
3. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND OWNER PRIOR TO DEMOLISHING ANY EXISTING UTILITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL UTILITIES DESIGNATED TO REMAIN AND TO REPAIR ANY DAMAGED UTILITIES.

EARTHWORK NOTES

1. ALL DEMOLITION DEBRIS AND EXCESS MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND DISPOSED OF AT AN APPROVED OFF-SITE LOCATION, IN AN APPROVED MANNER, UNLESS OTHERWISE DESIGNATED BY THE OWNER.
2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL HAIL ROUTES, TO AND FROM THE SITE.

GENERAL NOTES - TRAFFIC CONTROL PLAN

1. THE TRAFFIC CONTROL PLANS FOR THE PROJECT SHALL COMPLY WITH THE LATEST EDITION OF THE ROADWAY AND TRAFFIC DESIGN STANDARDS, INDEX NO. 800-660, MUTCD AND THE STANDARD SPECIFICATIONS. THE CONTRACTOR'S RESPONSE TIME TO ALL REPORTED MALFUNCTIONS OF TRAFFIC SIGNALS WITHIN THE PROJECT LIMITS SHALL BE NO MORE THAN TWO (2) HOURS AND SHALL RESTORE ALL MALFUNCTIONING TRAFFIC SIGNALS TO ITS LEVEL OF OPERATION PRIOR TO THE MALFUNCTIONING WITHIN TWENTY-FOUR (24) HOURS. DURING THIS TIME THE CONTRACTOR SHALL PROVIDE AT HIS EXPENSE TEMPORARY TRAFFIC CONTROL DEVICES, FLAGGED PERSONNEL AND LAW ENFORCEMENT PERSONNEL, AS NECESSARY TO MAINTAIN A SAFE AND EFFICIENT FLOW OF TRAFFIC AT THE AFFECTED WORK ZONE. THE ENGINEER OR THE CITY OF FORT LAUDERDALE SHALL APPROVE ALL MODIFICATIONS PRIOR TO THEIR IMPLEMENTATION.
2. THE CONTRACTOR SHALL MAINTAIN PROPER OPERATION OF ALL TRAFFIC SIGNAL LOOP ASSEMBLIES AND LOOP DETECTORS WITHIN THE PROJECT LIMITS. THE CONTRACTOR SHALL CORRECT ALL LOOP ASSEMBLY/DETECTOR MALFUNCTIONS WITHIN 24 HOURS OF NOTIFICATION OF SUCH MALFUNCTIONS BY THE ENGINEER.
3. THE AGENCY RESPONSIBLE FOR MAINTENANCE OF THE TRAFFIC SIGNALS AND RELATED EQUIPMENT IS BROWARD COUNTY TRAFFIC ENGINEERING.
4. A REGULATORY SPEED OF 25 MPH SHALL BE POSTED WITHIN THE LIMITS OF THE WORK ZONE.
5. EXISTING SIGNS AND PAVEMENT MARKINGS THAT CONFLICT WITH CONSTRUCTION SIGNS AND MARKINGS SHALL BE REMOVED DURING CONSTRUCTION. ALL EXISTING SIGNS THAT ARE REMOVED SHALL BE STOCKPILED IN A SECURE PLACE AND REINSTALLED AFTER CONSTRUCTION. REMOVE AND REPLACE ANY GROUND MOUNT SIGN BY A COPY OF INDEX NO. 611.
6. THE CONTRACTOR SHALL MAINTAIN EXISTING DRAINAGE PATTERNS AND PREVENT ADVERSE FLOODING OF THE TRAVEL LANES DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL OBTAIN WRITING AUTHORIZATION FROM THE CITY OF FORT LAUDERDALE FOR ANY AND ALL CONSTRUCTION ACTIVITIES TO BE PERFORMED AT NIGHT. NO LANE CLOSURE SHALL BE ALLOWED BETWEEN THE HOURS OF 6:00 AM TO 9:00 AM AND 4:00 PM TO 7:00 PM, MONDAY THROUGH FRIDAY UNLESS APPROVED BY THE ENGINEER.
8. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY TWO (2) BUSINESS DAYS IN ADVANCE OF ANY EXCAVATION INVOLVING ITS UTILITIES SO THAT A COMPANY REPRESENTATIVE CAN BE PRESENT. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. SEE SPECS FOR LIST OF UTILITY COMPANIES.
9. TRAFFIC CONTROL ON ALL COUNTY ROUTES-OF-WAY SHALL MEET THE ADDITIONAL REQUIREMENTS OF THE BROWARD COUNTY ENGINEERING DEPARTMENT.
10. THE AGENCY RESPONSIBLE FOR MAINTENANCE OF THE TRAFFIC SIGNALS AND RELATED EQUIPMENT IS BROWARD COUNTY TRAFFIC ENGINEERING.
11. CONTRACTOR SHALL PREPARE AND SUBMIT MAINTENANCE OF TRAFFIC PLAN (MOT) WHERE REQUIRED BY FEDERAL, STATE COUNTY OR LOCAL AGENCIES HAVING JURISDICTION. CONTRACTOR SHALL OBTAIN ALL REQUIRED APPROVALS AND PERMITS ASSOCIATED WITH THE MOT'S. ALL MOT'S TO BE AT'S CERTIFIED.
12. THE CONTRACTOR SHALL ALSO COORDINATE THE CONSTRUCTION SCHEDULE WITH FOOT, BROWARD COUNTY AND THE CITY OF FORT LAUDERDALE TO AVOID LANE CLOSURES WHICH WOULD ADVERSELY AFFECT TRAFFIC DURING RUSH HOUR.

MAINTENANCE OF TRAFFIC SCHOOL/PEDESTRIAN

1. THE MAINTENANCE OF TRAFFIC PLAN, PROVIDED BY THE CONTRACTOR, SHALL INCLUDE PROVISIONS FOR PEDESTRIAN AND/OR SCHOOL STUDENT TRAFFIC AS WELL AS VEHICULAR TRAFFIC. THE FOLLOWING ARE MINIMUM REQUIREMENTS.
 - A. THE SAFE WALK ROUTE FOR ALL SCHOOL STUDENTS WITHIN THE VICINITY OF THE CONSTRUCTION ZONE SHALL BE MAINTAINED DURING THE TIMES STUDENTS ARE ARRIVING AT OR LEAVING SCHOOL. IF THE CURRENT WALKING SURFACE CAN NOT BE MAINTAINED, THEN A TEMPORARY ROAD-ROCK 4' WALK WAY SHALL BE CREATED. THE SAFE WALK ROUTE SHALL BE SEPARATED FROM THE CONSTRUCTION ACTIVITY BY THE 4' HIGH ORANGE CONSTRUCTION FENCE FOR THE ENTIRE LENGTH OF THE PROJECT OR THE LENGTH OF THE WALK ROUTE, WHICHEVER IS LESS.
 - B. ALL CONSTRUCTION EQUIPMENT AROUND ANY DESIGNATED CROSSWALK SHALL CEASE TO OPERATE DURING THE TIMES STUDENTS ARE ARRIVING AT OR LEAVING SCHOOL. ALL CONSTRUCTION EQUIPMENT ADJACENT TO A DESIGNATED WALK ROUTE SHALL CEASE OPERATING UNLESS SATISFACTORILY BARRICADED FROM THE WALK ROUTE.
 - C. IN THE CASE THAT A DESIGNATED CROSSING OR ANY PORTION OF THE DESIGNATED WALK ROUTE CAN NOT BE MAINTAINED, THEN THE CONTRACTOR SHALL NOTIFY THE SPECIAL PROJECTS COORDINATOR AT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION, (954) 847-2871. A MINIMUM OF TEN (10) MORNING DAYS PRIOR TO CLOSING THAT ROUTE IN ORDER THAT AN ALTERNATE CROSSING/ROUTE CAN BE ESTABLISHED.
 - D. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ANY NECESSARY PAVEMENT, ROAD ROCK, PAVEMENT MARKING AND SIGNAGE AND/OR ANY PEDESTRIAN SIGNALIZATION AND/OR SIGNAL MODIFICATION TO ACCOMMODATE AN EXISTING OR ALTERNATE WALK ROUTE.
 - E. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE STATE CERTIFIED SCHOOL CROSSING GUARDS OR OFF DUTY POLICE OFFICERS TO CROSS STUDENTS AT ANY LOCATIONS OTHER THAN THOSE PREVIOUSLY DESIGNATED. THE CONTRACTOR MAY USE FLAG MEN, ONLY IF THEY ARE STATE CERTIFIED AS A SCHOOL CROSSING GUARD.
 - F. THIRTY (30) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE SPECIAL PROJECTS COORDINATOR AT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION, (954) 847-2871, TO ARRANGE A PRE-CONSTRUCTION - SCHOOL SAFETY MEETING.
 - G. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE BROWARD COUNTY SCHOOL BOARD PUPIL TRANSPORTATION DEPARTMENT, (754) 321-4440, TO ARRANGE A PRE-CONSTRUCTION - SCHOOL BUS ROUTE MEETING. THIS MEETING IS TO DETERMINE ALL BUS ROUTES AND TO MAKE ANY NECESSARY ARRANGEMENTS FOR THE PROJECT. THIS MEETING SHALL INCLUDE THE SPECIAL PROJECTS COORDINATOR FROM BROWARD COUNTY TRAFFIC ENGINEERING DIVISION, (954) 847-2871.
 - H. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SAFE AND ADEQUATE WALKING SURFACE FOR ALL SCHOOL CHILDREN/PEDESTRIANS. THE SAFE WALK ROUTE SHALL BE PART OF THE MAINTENANCE OF TRAFFIC PLAN.

GENERAL CONSTRUCTION NOTES

1. NO CONNECTIONS FOR THE PURPOSE OF OBTAINING WATER SUPPLY DURING CONSTRUCTION SHALL BE MADE TO ANY FIRE HYDRANT OR BLOW-OFF STRUCTURE WITHOUT FIRST OBTAINING PERMISSION AND A CONSTRUCTION METE FROM THE CITY OF FORT LAUDERDALE.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING, MOVING AND RELOCATING OR REPLACING ALL WATER SERVICES OR SEWER LATERALS WHICH ARE ENCOUNTERED DURING EXCAVATION. THE CONTRACTOR SHALL SUBMIT A WRITTEN PLAN FOR WATER SERVICE AND WASTEWATER SERVICE DISRUPTION FOR APPROVAL 7 (SEVEN) CALENDAR DAYS PRIOR TO THE ANTICIPATED DISRUPTION. THE CONTRACTOR SHALL NOTIFY THE PROPERTY OWNERS 48 HOURS IN ADVANCE OF ANY WORK ON THESE SERVICES. THIS WORK SHALL BE CONSIDERED INCIDENTAL.
3. THE CONTRACTOR MUST USE EXTREME CARE TO AVOID DAMAGE OR DISRUPTION TO ANY EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. ALL PLAN LOCATIONS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED. CONTRACTOR IS TO CONTACT SUNSHINE STATE ONE CALL OF FLORIDA AT 1-800-432-4770 AND ALL OTHER PARTICIPATING UTILITIES 2 FULL BUSINESS DAYS PRIOR TO CONSTRUCTION FOR FIELD MARKUP LOCATIONS OF EXISTING UTILITIES AND FACILITIES.
4. THE CONTRACTOR MUST INFORM THE CITY AT LEAST 48-HOURS IN ADVANCE OF CONSTRUCTION, IN WRITING IF ANY CONFLICT IS DISCOVERED DURING FOOT HOLE OPERATIONS FOR CLARIFICATION BY THE CITY.
5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE UTILITIES DEPARTMENT OF THE CITY OF FORT LAUDERDALE AT LEAST TWO (2) BUSINESS DAYS IN ADVANCE TO COORDINATE ANY ACTIVITY TO BE PERFORMED BY THE CITY'S UTILITIES DEPARTMENT.
6. CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE EXISTING RIGHTS-OF-WAY.
7. IN GENERAL, EXISTING STRUCTURES AND UTILITIES ARE NOTED AS EXISTING AND/OR SHOWN IN THIN LINES. NEW CONSTRUCTION IS IN HEAVY LINES AND/OR UNDERLINED.
8. ALL WORK WITHIN STATE DEPARTMENT OF TRANSPORTATION (FDOT) RIGHT-OF-WAYS SHALL BE IN CONFORMANCE WITH FDOT SPECIFICATIONS AND PERMIT REQUIREMENTS.
9. ALL WORK WITHIN BROWARD COUNTY RIGHT-OF-WAYS SHALL BE IN CONFORMANCE WITH THE BROWARD COUNTY MINIMUM STANDARDS AND/OR REGULATIONS.
10. CONTRACTOR SHALL COMPLY WITH ALL LOCAL CITY, COUNTY AND STATE REGULATIONS PERTAINING TO THE CLOSING OF PUBLIC STREETS FOR USE OF TRAFFIC DURING CONSTRUCTION.
11. CONTRACTOR SHALL PREPARE AND SUBMIT MAINTENANCE OF TRAFFIC (MOT) PLANS TO FDOT, CITY OF FORT LAUDERDALE, BROWARD COUNTY AS REQUIRED FOR WORK TO BE DONE WITHIN THEIR R/W PRIOR TO COMMENCEMENT OF WORK. SPECIFIC AGENCY MOT REQUIREMENTS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
12. STATIONS SHOWN ON THE DRAWINGS ARE BASED ON THE ESTABLISHED BASELINE AND SHALL NOT BE CONSIDERED AS DISTANCES OR AS A MEASURE OF THE LINEAR FOOTAGE OF PIPE TO BE INSTALLED.
13. THE GENERAL INTENT IS TO PROVIDE SEWER SERVICE LATERALS FOR EACH PROPERTY. ALL LATERAL LOCATIONS SHALL BE FIELD ADJUSTED.
14. CONTRACTOR SHALL MAINTAIN ACCESS TO PRIVATE PROPERTY AT ALL TIMES.
15. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAY OR WALKWAY SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
16. TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR THEIR SHOULDERS SHALL NOT BE LEFT OPEN DURING NIGHT TIME HOURS WITHOUT ADEQUATE PROTECTION.
17. CONTRACTOR SHALL PROMPTLY REPAIR AND RESTORE EXISTING PAVEMENT, SIDEWALKS, CURBS, DRIVEWAYS, PIPES, RESIDENTIAL AND COMMERCIAL SPRINKLER LINES, CONDUIT, CABLES, ETC. AND LANDSCAPE AREAS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES.
18. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AS REQUIRED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT AND/OR WHEN REQUIRED FOR PUBLIC SAFETY.
19. THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL ACCEPTANCE OF WORK, FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
20. LOCATION OF AIR RELEASE VALVES MAY BE FIELD ADJUSTED BY THE ENGINEER OR CITY OF FORT LAUDERDALE AS NECESSARY.
21. CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITY CASTINGS INCLUDING VALVE BOXES, MANHOLES, HAND HOLES, PULL BOXES, INLETS AND SIMILAR STRUCTURES IN CONSTRUCTION AREA TO BE OVERLAPPED WITH ASPHALT.
22. EXISTING TRAFFIC SIGNS SHALL BE RESET UPON COMPLETION PER FDOT STANDARDS. COST SHALL BE CONSIDERED INCIDENTAL. CONTRACTOR SHALL REPAIR OR REPLACE DAMAGED TRAFFIC SIGNAL LOOPS PER BROWARD COUNTY TRAFFIC ENGINEERING SPECIFICATIONS. COST SHALL BE INCIDENTAL.
23. CONTRACTOR SHALL RESTORE EXISTING PAVEMENT AND PAVEMENT MARKINGS/SIGNAGE TO ORIGINAL PRE-CONSTRUCTION CONDITION OR AS OTHERWISE SPECIFIED IN CONTRACT DOCUMENTS. THIS WORK SHALL BE CONSIDERED INCIDENTAL.
24. ALL CONSTRUCTION WITHIN FDOT R/W MUST CONFORM WITH FDOT SPECIFICATIONS, STANDARDS, AND PERMIT REQUIREMENTS. NO WORK SHALL COMMENCE WITHIN FDOT R/W'S WITHOUT AN FDOT PERMIT. FULL LANE WIDTH RESTORATION TO MATCH EXISTING PAVEMENT SECTION IS REQUIRED IN ACCORDANCE WITH FDOT STANDARDS FOR PROPOSED WORK WITHIN FDOT R/W.
25. SEWER LATERALS SHALL BE PROVIDED FOR EACH PROPERTY.
26. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND ELEVATIONS BEFORE STARTING CONSTRUCTION.
27. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988.

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FOR THE FIRM: NELSON H. ORTIZ (CIVIL)
 PE-57556

PROJECT TITLE:
 OLAKINO HOUSE

551 Bayshore Drive
 Fort Lauderdale, Florida 33304
 Folio No. 5042-01-04-06006-1006200630

LOCATION VENTURES
 2999 Alhambra Circle, Suite 510
 Coral Gables, Florida 33134

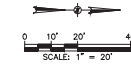
ISSUE:
 NO. DATE REVISIONS BY

PROJECT INFORMATION:
 PROJECT NUMBER: 2020-7034
 DATE: 12-03-20
 DRAWN BY: G.G.G.
 CHECKED BY: J.H.
 APPROVED BY: N.H.O.
 SCALE: AS SHOWN

SHEET TITLE:

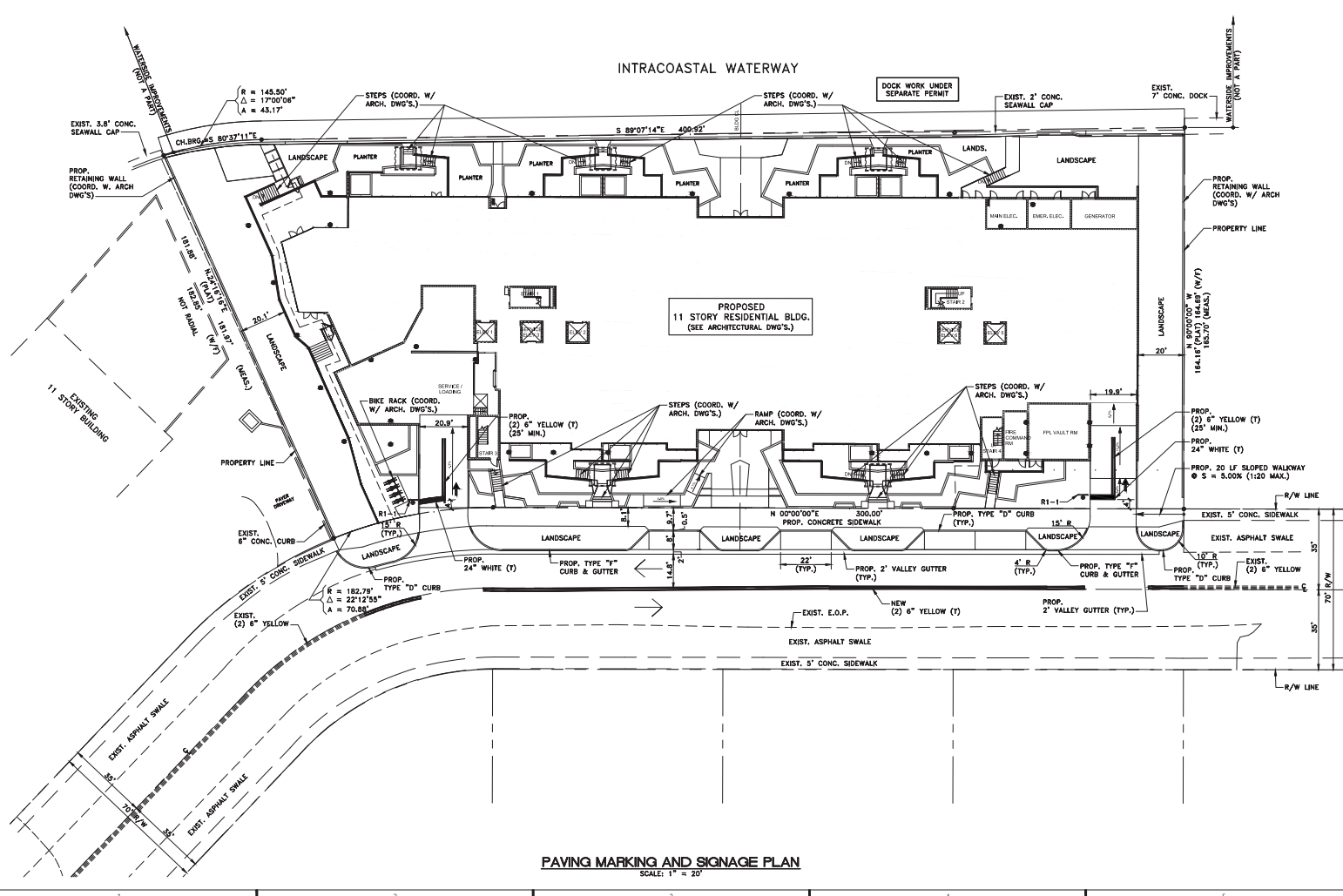
PAVING MARKING AND SIGNAGE PLAN
 SHEET NUMBER:

PMS-1



SIGN LEGEND

- R1-1 30" X 30" STOP SIGN
- TRAFFIC FLOW ARROW



PAVING MARKING AND SIGNAGE PLAN
 SCALE: 1" = 20'

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FOR THE FIRM: NELSON H. ORTIZ (CIVIL)
 PE-51556

PROJECT TITLE:

OLAKINO HOUSE

551 Bayshore Drive
 Fort Lauderdale, Florida 33304
 Folio No. 5042-01-04-0600061006200630

LOCATION VENTURES
 2999 Alhambra Circle, Suite 510
 Coral Gables, Florida 33134

ISSUE:

NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2020-7034

DATE: 12-03-20

DRAWN BY: G.G.G.

CHECKED BY: J.H.

APPROVED BY: N.H.O.

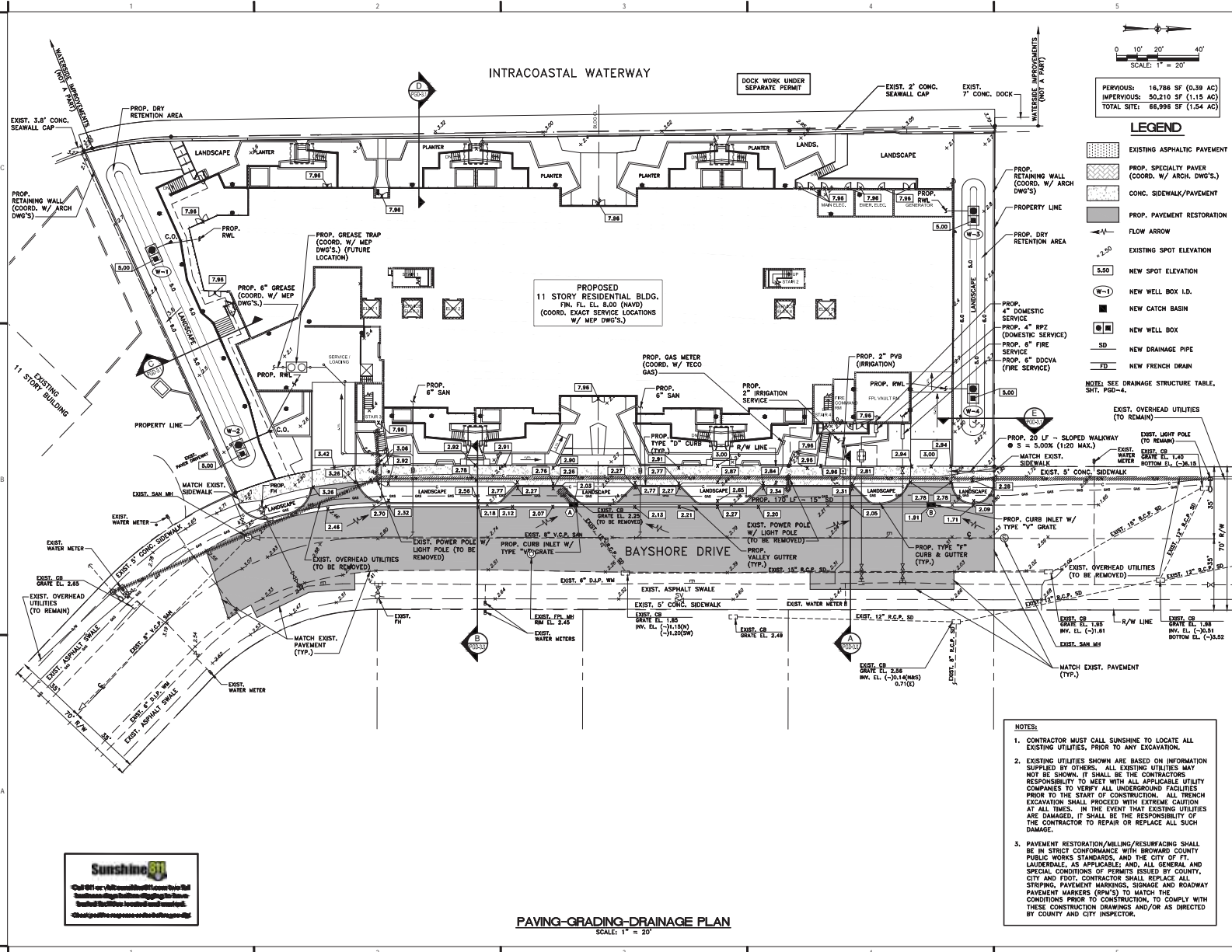
SCALE: AS SHOWN

SHEET TITLE:

PAVING-GRADING-DRAINAGE PLAN

SHEET NUMBER:

PGD-1



PERIODIC: 16,786 SF (0.38 AC)
 IMPERVIOUS: 59,210 SF (1.15 AC)
 TOTAL SITE: 66,996 SF (1.54 AC)

LEGEND

- [Pattern] EXISTING ASPHALTIC PAVEMENT
- [Pattern] PROP. SPECIALTY PAVER (COORD. W/ ARCH. DWG'S.)
- [Pattern] CONC. SIDEWALK/PAVEMENT
- [Pattern] PROP. PAVEMENT RESTORATION
- [Arrow] FLOW ARROW
- [Symbol] EXISTING SPOT ELEVATION
- [Symbol] NEW SPOT ELEVATION
- [Symbol] NEW WELL BOX I.D.
- [Symbol] NEW CATCH BASIN
- [Symbol] NEW WELL BOX
- [Symbol] NEW DRAINAGE PIPE
- [Symbol] NEW FRENCH DRAIN

NOTE: SEE DRAINAGE STRUCTURE TABLE, SMT. PGD-4.

PROPOSED
 11 STORY RESIDENTIAL BLDG.
 FIN. FL. EL. 8.00 (NAVD)
 (COORD. EXACT SERVICE LOCATIONS
 W/ MEP DWG'S.)

BAYSHORE DRIVE

PAVING-GRADING-DRAINAGE PLAN
 SCALE: 1" = 20'

- NOTES:**
- CONTRACTOR MUST CALL SUNSHINE TO LOCATE ALL EXISTING UTILITIES, PRIOR TO ANY EXCAVATION.
 - EXISTING UTILITIES SHOWN ARE BASED ON INFORMATION SUPPLIED BY OTHERS. ALL EXISTING UTILITIES MAY NOT BE SHOWN. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO MEET WITH ALL APPLICABLE UTILITY COMPANIES TO VERIFY ALL UNDERGROUND FACILITIES PRIOR TO THE START OF CONSTRUCTION. ALL TRENCH EXCAVATION SHALL PROCEED WITH EXTREME CAUTION AT ALL TIMES. IN THE EVENT THAT EXISTING UTILITIES ARE DAMAGED, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE ALL SUCH DAMAGE.
 - PAVEMENT RESTORATION/MILLING/RESURFACING SHALL BE IN STRICT CONFORMANCE WITH BROWARD COUNTY PUBLIC WORKS STANDARDS, AND THE CITY OF FT. LAUDERDALE, AS APPLICABLE; AND, ALL GENERAL AND SPECIAL CONDITIONS OF PERMITS ISSUED BY COUNTY, CITY AND FDOT. CONTRACTOR SHALL REPLACE ALL STRIPING, PAVEMENT MARKINGS, SIGNAGE AND ROADWAY PAVEMENT MARKERS (RPV'S) TO MATCH THE CONDITIONS PRIOR TO CONSTRUCTION, TO COMPLY WITH THESE CONSTRUCTION DRAWINGS AND/OR AS DIRECTED BY COUNTY AND CITY INSPECTOR.



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FOR THE FIRM: NELSON H. ORTIZ (CIVIL)
 PE-57356

PROJECT TITLE:
 OLAKINO HOUSE

551 Bayshore Drive
 Fort Lauderdale, Florida 33304
 Folio No. 5042-01-04-06006/10/06-20/0630

LOCATION VENTURES
 2999 Alhambra Circle, Suite 510
 Coral Gables, Florida 33134

NO.	DATE	REVISIONS	BY	ISSUE

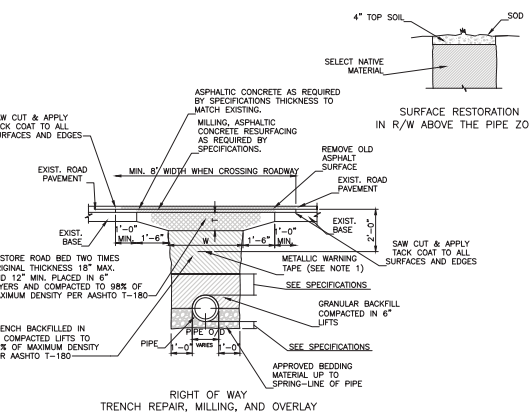
PROJECT INFORMATION:
 PROJECT NUMBER: 2020-7034

DATE: 12-03-20
 DRAWN BY: G.G.G.
 CHECKED BY: J.H.
 APPROVED BY: N.H.O.
 SCALE: AS SHOWN

SHEET TITLE:
 SITE DETAILS

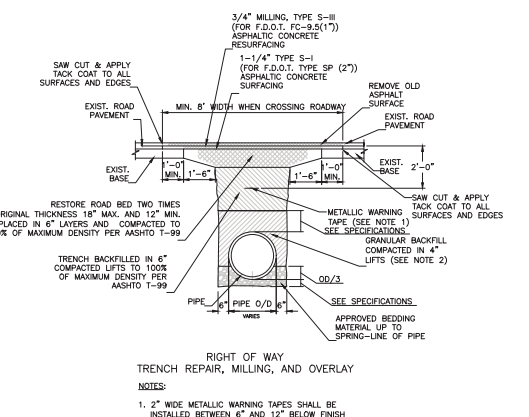
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DRC SUBMITTAL (03/17/2021) - NOT FOR CONSTRUCTION



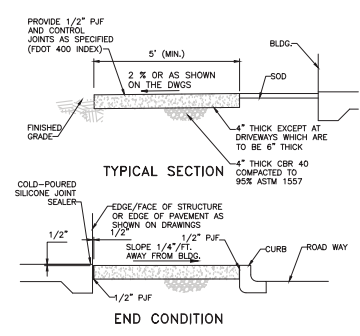
- NOTES:**
- METALLIC WARNING TAPES SHALL BE INSTALLED 24" BELOW FINISH GRADE ABOVE MAIN. (SEE SPECIFICATION 3320 SECTION 3.6 FOR MARKING TYPE)
 - UNLESS OTHERWISE SPECIFIED SELECTED MATERIAL SHALL BE FREE OF STONES LARGER THAN 3/8" DIA.
 - REPLACE ALL LANE MARKINGS AND REFLECTIVE MARKERS.
- T=6" PARKING
 TR=8" RESIDENTIAL STREETS
 T=10" MAJOR STREETS (4 LANE)
 T=12" MAJOR STREETS (6 LANE)
 2T=18" MAX. 12" MIN.

TYPICAL TRENCH AND PAVEMENT RESTORATION FOR TRANSVERSE CROSSING
 N.T.S. (100)

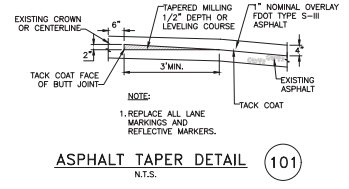


- NOTES:**
- 2" WIDE METALLIC WARNING TAPES SHALL BE INSTALLED BETWEEN 6" AND 12" BELOW FINISH GRADE ABOVE MAIN.
 - UNLESS OTHERWISE SPECIFIED SELECTED MATERIAL SHALL BE FREE OF STONES LARGER THAN 3/8" DIA.
 - REPLACE ALL LANE MARKINGS, REFLECTIVE MARKERS AND DAMAGED TRAFFIC SIGNS.

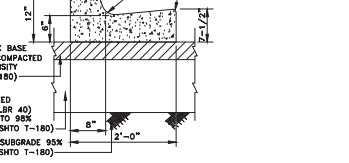
F.D.O.T. & BROWARD COUNTY TYPICAL TRENCH AND PAVEMENT RESTORATION
 N.T.S. (100BC)



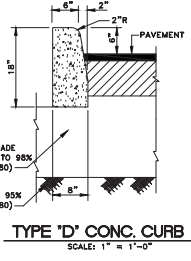
TYPICAL SIDEWALK DETAILS
 N.T.S. (103)



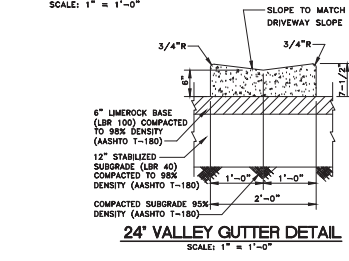
ASPHALT TAPER DETAIL
 N.T.S. (101)



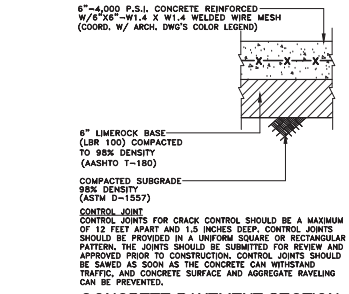
TYPE 'F' CURB AND GUTTER
 SCALE: 1" = 1'-0" (104)



TYPE 'D' CONC. CURB
 SCALE: 1" = 1'-0" (104B)



24' VALLEY GUTTER DETAIL
 SCALE: 1" = 1'-0" (104C)



CONCRETE PAVEMENT SECTION
 (VEHICULAR) N.T.S. (104D)

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FOR THE FIRM: NELSON H. ORTIZ (CIVIL)
 PE-51558

PROJECT TITLE:
 OLAKINO HOUSE

551 Bayshore Drive
 Fort Lauderdale, Florida 33304
 Folio No. 5042-01-04-06006-1006200630

LOCATION VENTURES
 2999 Alhambra Circle, Suite 510
 Coral Gables, Florida 33134

ISSUE:
 NO. DATE REVISIONS BY

PROJECT INFORMATION:
 PROJECT NUMBER: 2020-7034
 DATE: 12-03-20
 DRAWN BY: G.G.G.
 CHECKED BY: J.H.
 APPROVED BY: N.H.O.
 SCALE: AS SHOWN

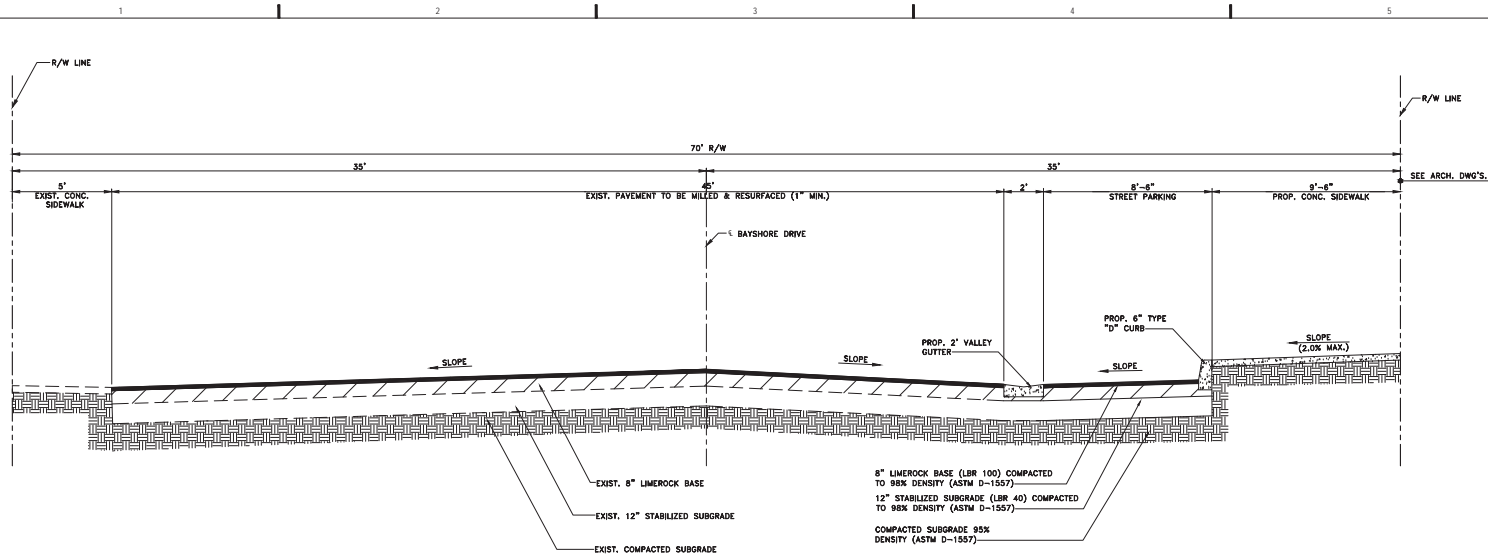
SHEET TITLE:

SITE SECTIONS

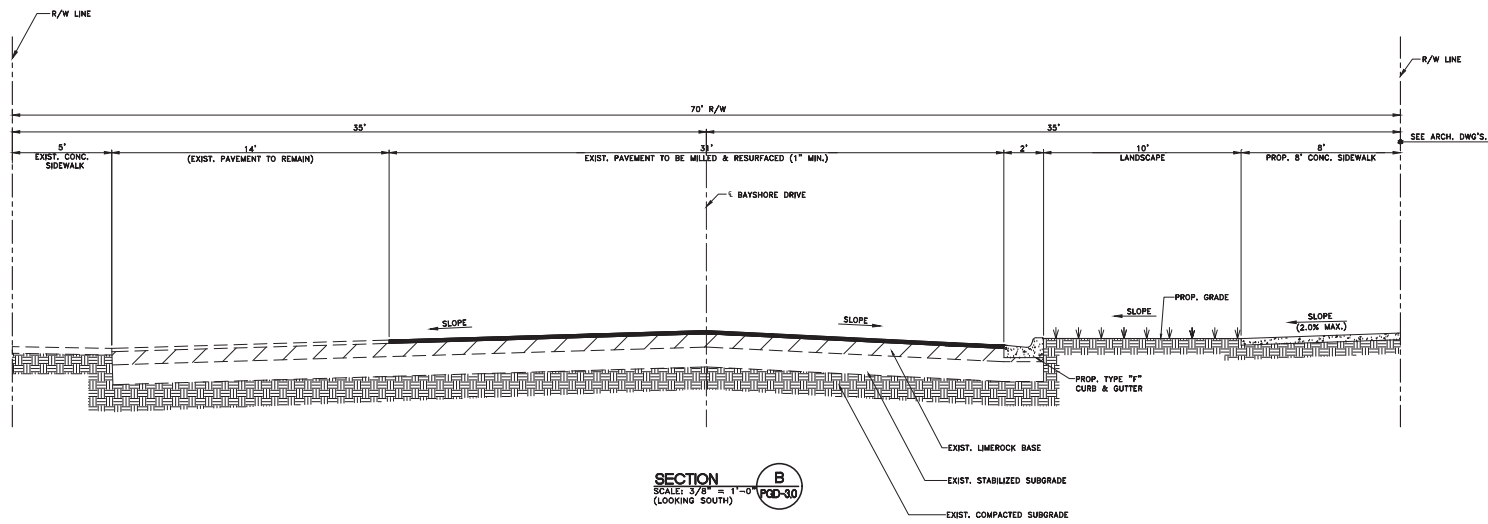
SHEET NUMBER:

PGD-3.0

DRC SUBMITTAL (03/12/2021) - NOT FOR CONSTRUCTION



SECTION A
 SCALE: 3/8" = 1'-0"
 (LOOKING SOUTH)
 PGD-3.0



SECTION B
 SCALE: 3/8" = 1'-0"
 (LOOKING SOUTH)
 PGD-3.0

X:\MVA\2020\2020\7034\0\Design\Design Files\6_PGD-3.0 (Site Sections)
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FOR THE FIRM: NELSON H. ORTIZ (CIVIL)
 PE-51556

PROJECT TITLE:

OLAKINO HOUSE

551 Bayshore Drive
 Fort Lauderdale, Florida 33304
 Folio No. 5042-01-04-0600/0610/0620/0630

LOCATION VENTURES
 2999 Alhambra Circle, Suite 510
 Coral Gables, Florida 33134

ISSUE:

NO. DATE REVISIONS BY

DRC SUBMITTAL (03/17/2021) - NOT FOR CONSTRUCTION

PROJECT INFORMATION:

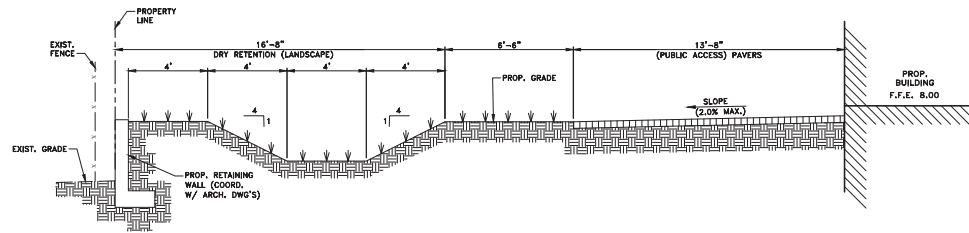
PROJECT NUMBER: 2020-7034
 DATE: 12-03-20
 DRAWN BY: G.G.G.
 CHECKED BY: J.H.
 APPROVED BY: N.H.O.
 SCALE: AS SHOWN

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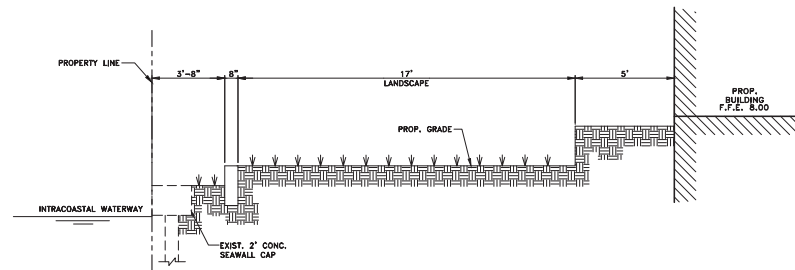
SITE SECTIONS

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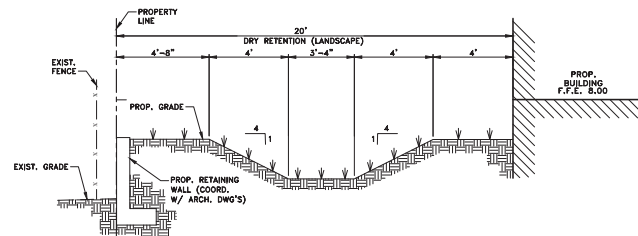
PGD-3.1



SECTION C
 SCALE: 3/8" = 1'-0"
 (LOOKING WEST) PGD-31



SECTION D
 SCALE: 3/8" = 1'-0"
 (LOOKING NORTH) PGD-31

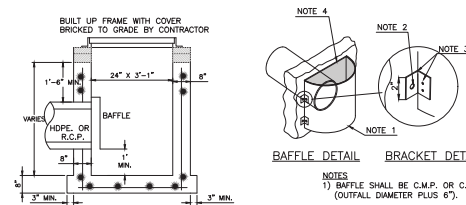
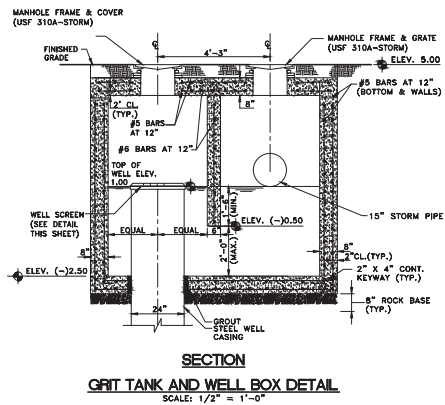
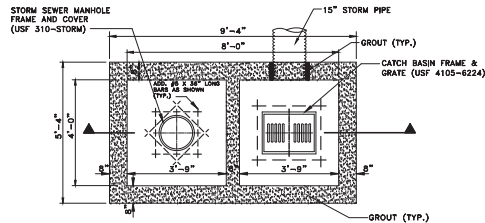
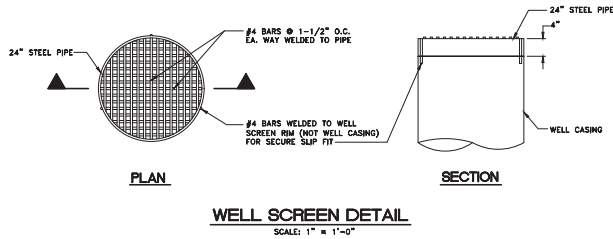


SECTION E
 SCALE: 3/8" = 1'-0"
 (LOOKING EAST) PGD-31

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DRAINAGE STRUCTURE TABLE					
ID	TYPE	R/W/ ORATE	PIPE INVERT	STRUCTURE INVERT	POLLUTION BAFFLE
A	CATCH BASIN	2.03	(-1.80(N))	(-1.40.03)	0
B	CATCH BASIN	1.91	(-1.80(S))	(-1.35.71)	0

WELL LOCATION		
ID	LATITUDE	LONGITUDE
W-1	28°07'48.79"N	80°06'33.05"W
W-2	28°07'47.13"N	80°06'51.91"W
W-3	28°07'50.61"N	80°06'33.28"W
W-4	28°07'50.63"N	80°06'32.23"W



TYPE "C" CATCH BASIN (USP 3-3.0)

NOTES

- MINIMAL CONC. STRENGTH FOR ALL CATCH BASINS AND MANHOLE STRUCTURES SHALL BE 4000 PSI.
- CONTRACTOR IS RESPONSIBLE FOR FINAL ELEVATION AND LOCATION ADJUSTMENTS OF CATCH BASINS, GRATES, MANHOLES DUE TO FIELD CONSTRAINTS.
- THE 12" WEEP HOLE SHALL NOT BE USED IF THE BOTTOM OF THE INLET OR MANHOLE IS BELOW THE NORMAL WATER TABLE, UNLESS OTHERWISE SHOWN ON PLANS.

DRAINAGE WELL NOTES

- DRAINAGE WELLS SHALL BE DRILLED TO AN ESTIMATED TOTAL DEPTH OF 120 FEET TO DISCHARGE RUNOFF TO AN ADJUTER HAVING A MINIMUM TOTAL DISSOLVED SOLIDS OF 10,000 PPM (MG/L).
- WELLS SHALL HAVE AN UPPER CASING OF BLACK STEEL PIPE OF A MINIMUM OF 24 INCHES IN DIAMETER AND 3/8 INCH THICKNESS. WITH DRIVE SHOES, WHICH SHALL BE DRIVEN TO A FIRM SEAT AND GROUT SEALED AT LEAST 3 FEET BELOW THE CAP OF THE UPPERMOST ROCK FORMATION TO BE DEVELOPED. CASING ENDS SHALL BE SQUARE TO THE AXIS OF THE SECTION AND SHALL BE WELDED TOGETHER AS DRIVING PROGRESSES.
- WELLS SHALL BE AS PLUMB AND TRUE TO LINE AS GOOD WORKMANSHIP WILL PROVIDE.
- COMPLETED WELLS SHALL BE THOROUGHLY AGITATED AND DEVELOPED.
- CONTRACTOR SHALL SUBMIT THE METHOD OF TESTING OF THE WELLS FOR CAPACITY TO THE ENGINEER FOR APPROVAL DURING THE SHOP DRAWING SUBMITTAL. THE APPROVED TEST SHALL RUN FOR A PERIOD OF A HALF-HOUR. CONTRACTOR SHALL PROVIDE CERTIFIED STATEMENT BY A PROFESSIONAL GEOLOGIST THAT THE WELL WILL COMPLY WITH THE DESIGN DISCHARGE RATE UPON COMPLETION.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT FOR CONDUCTING THE WELL TEST AND SATISFACTORILY DISPOSING OF THE WATER PUMPED FROM THE WELL. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE TO THE OWNER AND ENGINEER PRIOR TO THE START OF THE TEST. CONTRACTOR IS TO COORDINATE THE DISPOSAL OF WATER PUMPED FROM THE WELL WITH THE OWNER.
- TEST SHALL BEGIN AT HIGH TIDE. THE WATER LEVEL IN THE DRAINAGE WELL AND THE BAY SHALL BE RECORDED EVERY 15 MINUTES FROM 30 MINUTES PRIOR TO THE START OF TEST UNTIL PUMPING IS STOPPED, AND EVERY 9 MINUTES THEREAFTER DURING THE RECOVERY UNTIL THE LEVEL IN THE WELL INCREASES BY LESS THAN 0.1 FEET PER HOUR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SECURE THE NECESSARY FLORIDA D.E.P. WELL DRILLING PERMITS AND COMPLY WITH ALL THE PROVISIONS THEREOF.
- DESIGN CAPACITY OF WELLS IS 400 GPM WITH MAX. DRAWDOWN OF 24 INCHES (200 GPM/FT OF HEAD). CONTRACTOR SHALL PROVIDE ENGINEER WITH WELL TEST REPORTS PRIOR TO DEMOBILIZATION.



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FOR THE FIRM: NELSON H. ORTIZ (CIVIL)
PE-51556

PROJECT TITLE:

OLAKINO HOUSE

551 Bayshore Drive
Fort Lauderdale, Florida 33304
Folio No. 5042-01-04-06006/1006200630

LOCATION VENTURES
2999 Alhambra Circle, Suite 510
Coral Gables, Florida 33134

ISSUE:

NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2020-7034

DATE: 12-03-20

DRAWN BY: G.G.G.

CHECKED BY: J.H.

APPROVED BY: N.H.O.

SCALE: AS SHOWN

SHEET TITLE:

DRAINAGE DETAILS

SHEET NUMBER:

**POLLUTION RETARDANT BASIN & BAFFLE
DETAIL FOR NEW STORM SEWERS**

N.T.S.

(D621)

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WATER SYSTEM NOTES

PIPE D.I.P.

- 1. DUCTILE IRON WATER MAIN PIPE SHALL CONFORM TO THE REQUIREMENTS OF A.N.S.I./A.W.W.A. C-151/A 21.51-02 AND LINED AND COATED PER A.N.S.I./A.W.W.A. C-104/A-214-03, 20" AND SMALLER PIPE SHALL BE PRESSURE CLASS 350; 24" AND LARGER, PIPE SHALL BE PRESSURE CLASS 500.
- 2. ALL DIP SHALL HAVE ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION AND IT SHALL BE USED ONLY IF AS DETERMINED BY THE DESIGN ENGINEER, BASED ON FIELD CONDITIONS.
- 3. ALL DIP SHALL BE INSTALLED IN ACCORDANCE WITH A.N.S.I./A.W.W.A. C-800-99, OR LATEST REVISION.

PIPE P.V.C.

- 4. ALL P.V.C. MAINS SHALL BE SERIES 1120, CLASS 150 (OR 18) PRESSURE PIPE, CONFORMING TO A.N.S.I./A.W.W.A. C-900-97, OR LATEST REVISION, AND SHALL HAVE PUSH ON JOINTS, AND IRON PIPE O.D.
- 5. ALL P.V.C. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-BELL PLASTIC PIPE ASSOCIATION'S "GUIDE FOR INSTALLATION OF P.V.C. PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEM", WATER DISTRIBUTION PIPE SHALL BE OF "BLUE" COLOR, ALL WATER MAIN INSTALLATIONS SHALL COMPLY WITH THE COLOR CODING REQUIREMENTS OF CHAPTER 62-555,320 F.A.C. (FLORIDA ADMINISTRATIVE CODES).
- 6. DETECTOR TAPES ON ALL P.V.C. MAINS SHALL BE INSTALLED 18" ABOVE THE WATER MAIN.
- 7. ALL P.V.C. MAINS MUST HAVE #8 COPPER WIRE, SINGLE STRAND, PLACED ON TOP OF PIPE, SHALL BE ELECTRICALLY CONTINUOUS OVER THE ENTIRE LENGTH OF THE PIPE, AND FASTENED EVERY 10' WITH A #12 WIRE.

FITTINGS

- 8. FITTINGS SHALL BE DUCTILE IRON MEETING A.N.S.I./A.W.W.A. C153/21.00 AND SHALL BE COATED WITH 6 TO 8 MIL THICKNESS COAL TAR EPOXY CONFORMING TO THE REQUIREMENTS OF A.N.S.I./A.W.W.A. C500-95 AND C118/421.05.
- 9. RESTRAINED JOINT PIPE SHALL BE USED FOR ALL BENDS, TEES, CROSSES, PLUGS, AND FIRE HYDRANTS. THRUST BLOCKS SHALL NOT BE ALLOWED.
- 10. RESTRAINER GLANDS/MECHANICAL JOINT RESTRAINT SHALL BE USED ONLY IF AUTHORIZED BY THE ENGINEER AND SHALL CONFORM TO A.N.S.I./A.W.W.A. STANDARDS C 111/A-21.11-00, OR LATEST REVISION.
- 11. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITER'S LABORATORY FOR 250 P.S.I. MINIMUM WATER PRESSURE RATING.
- 12. GLANDS SHALL BE CLOW CORPORATION MODEL F-1058, STANDARD FIRE PROTECTION EQUIPMENT COMPANY, OR APPROVED EQUAL.

VALVES

- 13. TAPPING VALVES SHALL BE MUELLER H667 OR APPROVED EQUAL.
- 14. TAPPING SLEEVES SHALL BE MUELLER H615 OR APPROVED EQUAL.
- 15. GATE VALVES 3" OR LESS SHALL BE NIBCO T-133 OR T-156 WITH MALLEABLE HAND WHEELS. NO SUBSTITUTIONS ALLOWED.
- 16. GATE VALVES 4" OR LARGER SHALL MEET A.W.W.A. C-500-02 SPECIFICATION (LATEST REVISION). VALVES SHALL BE MUELLER CO. OR APPROVED EQUAL.
- 17. ALL VALVES SHALL BE FURNISHED WITH EXTENSION TYPE CAST IRON VALVE BOXES OF PROPER LENGTH FOR PIPE DEPTH. ALL BOXES SHALL CONFORM WITH A.W.W.A. SPECIFICATIONS WITH A SHAFT OF NO LESS THAN 5 INCHES AND HAVE THE WORD "WATER" CAST IN THE COVER. BASE OF VALVE BOX SHALL HAVE A FLARED SECTION TO FIT OVER SHUTTING BOX OF VALVE.

HYDRANTS

- 18. FIRE HYDRANTS SHALL BE BREAKAWAY MUELLER CO. CENTURION MODEL #A-423, OR METROPOLITAN 250 EDDY COMPRESSION TYPE F.H. OR APPROVED EQUAL.
- 19. FIRE HYDRANTS SHALL BE INSTALLED WITH THE CENTER OF THE NOZZLE 18" ABOVE FINISHED GRADE.
- 20. DEAD-END WATER MAINS 6" OR LARGER SHALL TERMINATE WITH A FIRE HYDRANT.

PLACEMENT

- 21. THE MINIMUM DEPTH OF COVER OVER WATER MAINS IS 30" EXCEPT WHERE SHOWN DIFFERENTLY ON PLANS.
- 22. A CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED. BACKFILL MATERIAL SHALL BE TAMPED IN LAYERS AROUND THE PIPE AS SHOWN ON THE PLANS AND/OR CITY OF FORT LAUDERDALE CONSTRUCTION STANDARDS AND SPECIFICATIONS, JANUARY 1982. ROCKS OR STONES LARGER THAN 3/4" DIAMETER FOUND IN THE TRENCH SHALL BE REMOVED FOR A DEPTH OF AT LEAST 6" BELOW THE BOTTOM OF THE PIPE.

SEPARATION

- 23. PIPE DEFLECTION SHALL NOT EXCEED 75% OF THE MAXIMUM DEFLECTION RECOMMENDED BY THE MANUFACTURER.
- 24. SANITARY SEWERS AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18" BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE, WHENEVER POSSIBLE.
- 25. WHERE SANITARY SEWER FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18" VERTICAL SEPARATION, BOTH THE SEWER AND WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6" MUST BE MAINTAINED AT ALL CROSSINGS.
- 26. A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
- 27. THE PREFERRED SEPARATION BETWEEN WATER MAINS AND SEWER MAINS SHALL BE 10 FEET. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 8 FOOT HORIZONTAL SEPARATION BETWEEN THE WATER MAINS AND SEWER MAINS, ONE OF THE FOLLOWING CONDITIONS MUST BE MET, THE MINIMUM SEPARATION BETWEEN WATER AND SEWER MAINS SHALL BE 3 FEET:

SEPARATION (CONT'D)

- 27.a THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- 27.b THE SEWER OR FORCE MAIN IS ENCASED IN CONCRETE OR A WATERTIGHT CARRIER PIPE.
- 27.c BOTH THE SEWER AND THE WATER MAIN ARE CONSTRUCTED OF PRESSURE PIPE TESTED TO 150 P.S.I.
- 28. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18" IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP, WITH A MINIMUM VERTICAL CLEARANCE OF 8". THE WATER MAIN SHOULD BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM THE JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
- 29. ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING).
- 30. WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 18" VERTICAL CLEARANCE, THE NEW PIPE SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS ABOVE.

TESTING, DISINFECTION

- 31. PIPE SHALL BE TESTED UNDER CONSTANT PRESSURE OF 150 P.S.I. FOR A MINIMUM TEST PERIOD OF 2 HOURS AND SHALL NOT EXCEED THE LEAKAGE REQUIREMENTS AS PER A.N.S.I./A.W.W.A. SPECIFICATIONS OF C-600-03 LEAKAGE FORMULA: $Q = (50/P)^2 \times 148,000$
Q = ALLOWABLE LEAKAGE, IN GALLONS PER HOUR
D = DIAMETER OF THE PIPE TESTED, IN INCHES
S = TOTAL LENGTH OF PIPE TESTED, IN FEET
P = AVERAGE TEST PRESSURE, IN POUNDS PER SQUARE INCH.
- 32. THE CITY OF FORT LAUDERDALE PUBLIC SERVICES DEPARTMENT WILL TAKE ALL BACTERIOLOGICAL TESTS, TO BE SCHEDULED VIA INSPECTOR, IF OTHERWISE SPECIFIED IN CONTRACT DETAILED SPECIFICATION AND/OR AUTHORIZED BY THE ENGINEER OF RECORD. BACTERIOLOGICAL TESTS MAY BE PERFORMED BY A CERTIFIED ENVIRONMENTAL TESTING LABORATORY.

DISINFECTION OF MAINS

- 33. DISINFECTION OF MAINS SHALL COMPLY WITH A.N.S.I./A.W.W.A. C-651-05 STANDARD. BACTERIOLOGICAL SAMPLING POINTS SHALL BE DESIGNATED ON THE ENGINEERING PLANS. MINIMUM ONE SAMPLING POINT AT EACH END. MAXIMUM SPACE BETWEEN SAMPLING POINTS IS 1200 FEET.

CONNECTION

- 34. ALL CONNECTIONS TO EXISTING MAINS SHALL BE MADE UNDER THE DIRECTION OF THE CITY OF FORT LAUDERDALE.
- 35. THERE SHALL BE NO CONNECTION TO AN EXISTING WATER MAIN UNTIL PRESSURE AND BACTERIOLOGICAL TESTS HAVE BEEN CONDUCTED AND THE RESULTS ARE APPROVED AND ACCEPTED BY THE CITY OF FORT LAUDERDALE.

SERVICE CONNECTIONS

- 36. ALL METER SERVICE CONNECTIONS SHALL BE BRONZE FROM PLUG VALVE. NO GATE VALVES ARE TO BE USED (2" OR LESS).
- 37. SERVICE SADDLES SHALL BE DUCTILE IRON WITH STAINLESS STEEL STRAPS. SADDLES SHALL BE DOUBLE STRAP TYPE. ALL SERVICE SADDLES SHALL CONFORM TO A.N.S.I./A.W.W.A. C 111/A-21.11-00 AND A.S.T.M. A588.
- 38. ALL SERVICE LINES SHALL BE COPPER TUBING, TYPE "K", OR PLASTICIZED POLYETHYLENE 3406, A.S.T.M. D-2727, S.D.R. 9, 200 P.S.I.



LOCATION MAP

Folio No.: 5042-01-04-0600
5042-01-04-0610
5042-01-04-0620
5042-01-04-0630

LEGAL DESCRIPTION

LOTS 3, 4, 5, AND 6, BLOCK 7, BIRCH OCEAN FRONT SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 19, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LAND SITUATE, LYING AND BEING IN THE CITY OF FORT LAUDERDALE, FLORIDA, AND CONTAINING 67,011 SQUARE FEET OR 1.5384 ACRES, MORE OR LESS.

AVERAGE DAILY WATER AND SEWER DEMANDS			
EXISTING		PROPOSED	
WATER:		WATER:	
DOMESTIC: VACANT	= 0 GPD	DOMESTIC: FOUR (4) - 2 BEDROOM UNITS = 800 GPD TWENTY-NINE (29) - 3 BEDROOM UNITS = 8,700 GPD THIRTY-TWO (32) - 4 BEDROOM UNITS = 12,800 GPD	= 22,300 GPD
TOTAL:	= 0 GPD	IRRIGATION: 1.5 IN./WEEK PREVIOUS AREA = 0.381 AC = 16,387 SF (1.5 IN./12 X 16,387 SF) = 7,485 GAL/CFW (2 DAYS/WEEK) = 2,217 GPD	= 2,217 GPD
SEWER: VACANT	= 0 GPD	SEWER:	
TOTAL:	= 0 GPD	DOMESTIC: FOUR (4) - 2 BEDROOM UNITS = 800 GPD TWENTY-NINE (29) - 3 BEDROOM UNITS = 8,700 GPD THIRTY-TWO (32) - 4 BEDROOM UNITS = 12,800 GPD	= 22,300 GPD
		TOTAL:	22,300 GPD

GRAEF

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CERTIFICATE OF AUTHORIZATION NO. 4270



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FOR THE FIRM: NELSON H. ORTIZ (CIVIL)
PE-57558

PROJECT TITLE:
OLAKINO HOUSE

551 Bayshore Drive
Fort Lauderdale, Florida 33304
Folio No. 5042-01-04-0600/0610/0620/0630

ISSUE:
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DATE: 12-03-20
DRAWN BY: G.G.G.
CHECKED BY: J.H.
APPROVED BY: N.H.O.
SCALE: AS SHOWN

SHEET TITLE:
WATER AND SEWER NOTES

SHEET NUMBER:

WS-1

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FOR THE FIRM: NELSON H. ORTIZ (CIVIL)
 PE-51558

PROJECT TITLE:
OLAKINO HOUSE

551 Bayshore Drive
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 Folio No. 5042-01-04-0600061006200630

LOCATION VENTURES
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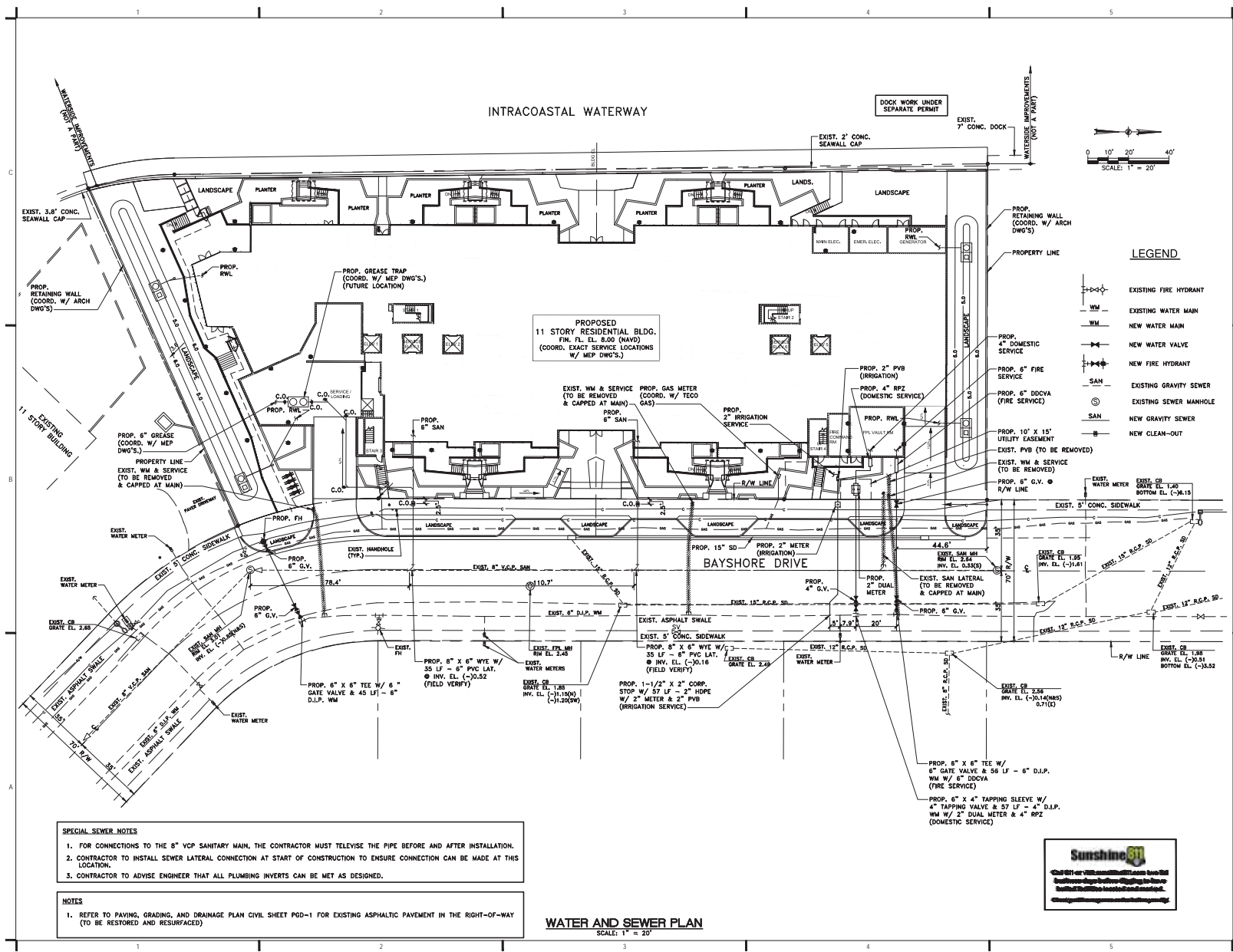
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 SCALE: AS SHOWN

SHEET TITLE:
 WATER AND SEWER PLAN

SHEET NUMBER:
WS-2

DRC SUBMITTAL (03/17/2021) - NOT FOR CONSTRUCTION



SPECIAL SEWER NOTES

- FOR CONNECTIONS TO THE 8" VCP SANITARY MAIN, THE CONTRACTOR MUST TELEVIEW THE PIPE BEFORE AND AFTER INSTALLATION.
- CONTRACTOR TO INSTALL SEWER LATERAL CONNECTION AT START OF CONSTRUCTION TO ENSURE CONNECTION CAN BE MADE AT THIS LOCATION.
- CONTRACTOR TO ADVISE ENGINEER THAT ALL PLUMBING INVERTS CAN BE MET AS DESIGNED.

NOTES

- REFER TO PAVING, GRADING, AND DRAINAGE PLAN CIVIL SHEET PGD-1 FOR EXISTING ASPHALTIC PAVEMENT IN THE RIGHT-OF-WAY TO BE RESTORED AND RESURFACED

WATER AND SEWER PLAN
 SCALE: 1" = 20'



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FOR THE FIRM: NELSON H. ORTIZ (CIVIL)
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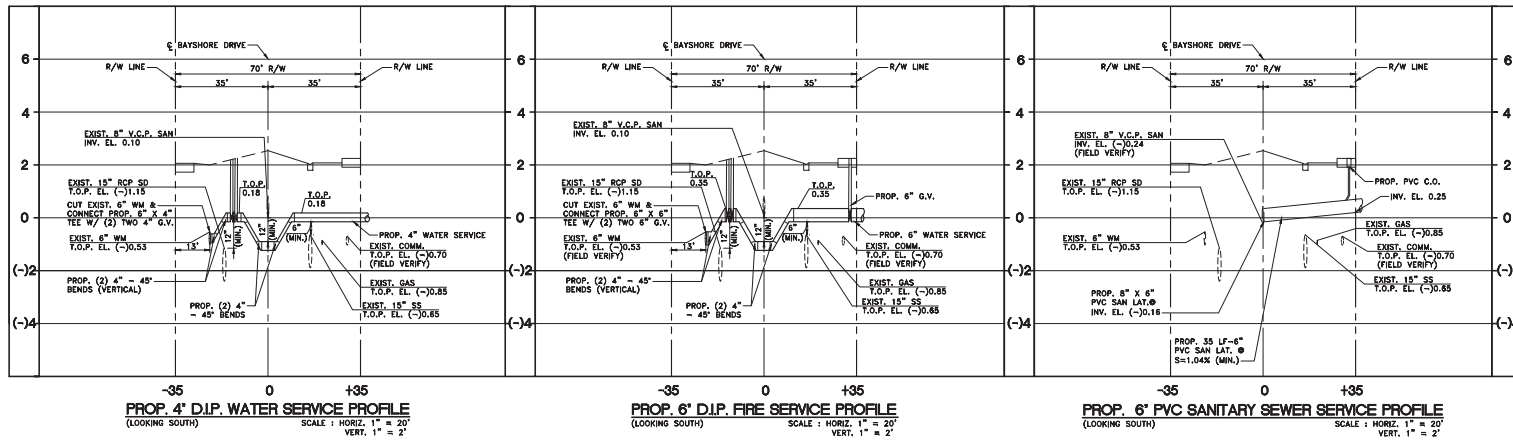
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SHEET TITLE:

WATER AND SEWER PROFILES

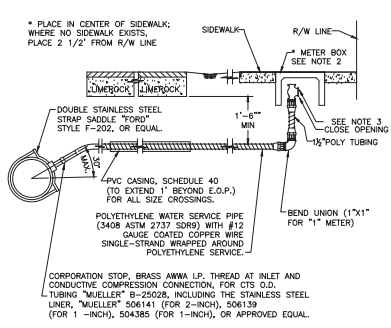
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WS-3



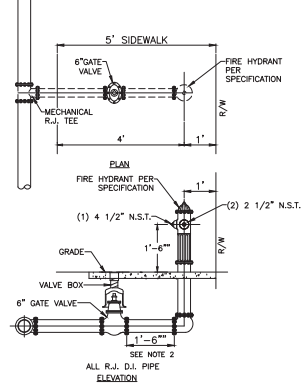
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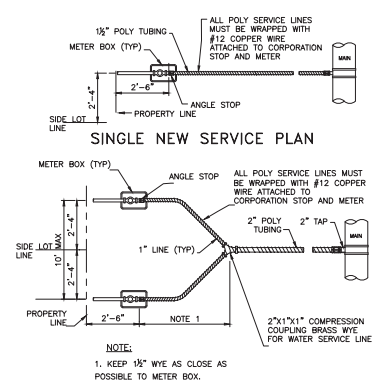
- NOTE:
- GROUND KEY ANGLE METER STOP CONDUCTIVE COMPRESSION FOR CTS O.D. TUBING, X METER FLANGE 180° TURN CHECK-LOCK WING "MUELLER" H-14277, FOR 2-INCH INCLUDING THE STAINLESS STEEL LINER, "MUELLER" S06141 (FOR 2-INCH) OR APPROVED EQUAL, AND MUELLER 110 COMPRESSION CONNECTION.
 - METER BOXES FOR 3/8, 3/4, AND 1 INCH METERS SHALL BE THE OKIE DOKIE #890-40-260282 MEDIUM BOX AND 890-40-260257 MEDIUM LID OR EQUAL.
 - CONNECT ANGLE VALVE TO EXISTING METER WHERE APPLICABLE.

TYPICAL WATER SERVICE INSTALLATION (300) N.T.S.



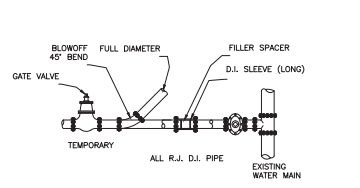
- NOTES:
- ACTUAL LOCATION OF FIRE HYDRANT TO BE DECIDED IN THE FIELD WITH ENGINEER'S APPROVAL.
 - KEEP VALVE AS CLOSE AS POSSIBLE TO THE HYDRANT.

TYPICAL NEW FIRE HYDRANT ASSEMBLY INSTALLATION (302) N.T.S.



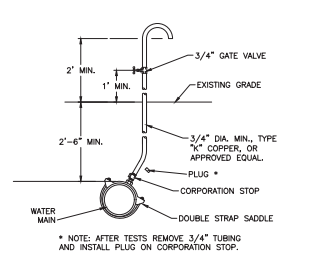
DOUBLE NEW SERVICE PLAN (301) N.T.S.

TYPICAL WATER SERVICE (301) N.T.S.

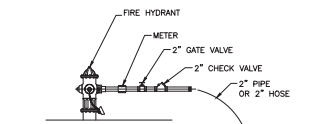


- NOTES:
- UPON COMPLETION OF THE PIPE INSTALLATION FOR ANY SECTION, THE MAINS SHALL BE SWABBED AND FLUSHED TO REMOVE DIRT AND ANY OTHER FOREIGN MATTER BY ACHIEVING A MINIMUM VELOCITY OF 2.5 FEET PER SECOND IN THE PIPE. TEMPORARY FITTINGS, PIPE, ETC. MAY BE NEEDED TO FACILITATE FLUSHING.
 - INSTALL A 45° BEND AND ASSOCIATED PIPING AS SHOWN TO DIRECT THE FLUSHING WATER AWAY FROM THE IMMEDIATE WORK AREA AND EXERCISE DUE CARE SO AS TO ENSURE THAT THE WATER USED IN FLUSHING DOES NOT CAUSE A NUISANCE OR INFLECT PROPERTY DAMAGE.
 - BENDS AND PIPING SHALL BE THE SAME SIZE AS THE LINE TO BE FLUSHED.
 - PRIOR TO THE ACTUAL LINE FLUSHING OPERATION, THE CONTRACTOR SHALL PROPERLY NOTIFY THE CITY INSPECTOR OF SUCH INTENDED WATER USE.
 - NO EXISTING VALVES SHALL BE TURNED ON OR OFF, EXCEPT BY AUTHORIZED CITY PERSONNEL.
 - FLUSHING SHALL NOT BE ACCOMPLISHED WITHOUT THE ACTUAL PRESENCE OF THE CITY INSPECTOR.
 - AFTER THE LINE UNDER CONSTRUCTION HAS BEEN SUCCESSFULLY FLUSHED THE CONTRACTOR SHALL REMOVE THE TEMPORARY PIPING ARRANGEMENT AND PROCEED WITH THE REMAINING CONSTRUCTION AS SPECIFIED.
 - THERE MAY BE SPECIAL REQUIREMENTS FOR FLUSHING PIPE LARGER THAN 12" DIAMETER.

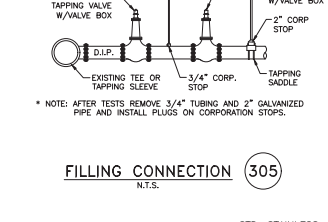
FLUSHING CONNECTION AND BLOW OFF DETAIL (303) N.T.S.



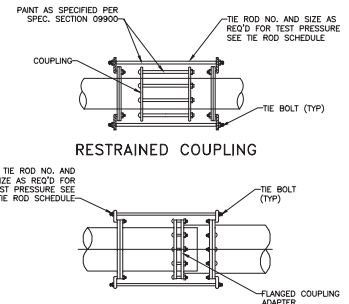
TYPICAL BACTERIOLOGICAL SAMPLING POINT AT INTERMEDIATE POINTS (304) N.T.S.



FILLING CONNECTION (305) N.T.S.



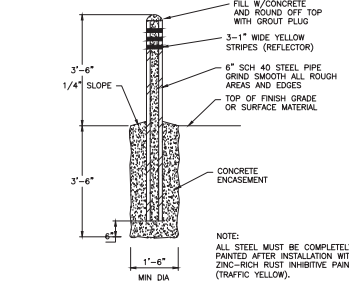
REDUCED PRESSURE BACKFLOW PREVENTER WITH HOSE CONNECTION FOR LIFT STATION (306) N.T.S.



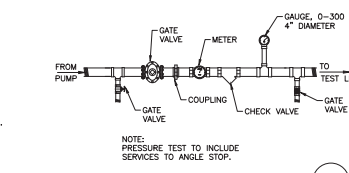
RESTRAINED COUPLING (307) N.T.S.

PIPE DIAMETER (IN.)	TEST PRESSURE (PSI)	THE ROD SCHEDULE					
		25 PSI	50 PSI	100 PSI	150 PSI	225 PSI	375 PSI
6	3/16	—	—	5/8	2 5/8	2 5/8	2 5/8
8	3/16	—	—	5/8	2 5/8	2 5/8	2 3/4
10	3/16	—	—	5/8	2 5/8	2 3/4	2 7/8
12	3/16	5/8	2 5/8	2 5/8	2 5/8	2 3/4	2 7/8

RESTRAINED COUPLING DETAILS (307) N.T.S.



GUARD POST (308) N.T.S.



PRESSURE TEST DETAIL (309) N.T.S.



9400 South Dadeland Boulevard
Suite 601
Miami, FL 33156
305 / 378 5555
305 / 279 4553 fax

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CERTIFICATE OF AUTHORIZATION NO. 4270

SEAL / SIGNATURE:



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY NELSON H. ORTIZ, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

FOR THE FIRM: NELSON H. ORTIZ (CIVIL)
PE-57858

PROJECT TITLE:
OLAKINO HOUSE

551 Bayshore Drive
Fort Lauderdale, Florida 33304
Folio No. 5042-01-04-06006/1006200630

LOCATION VENTURES
2999 Alhambra Circle, Suite 510
Coral Gables, Florida 33134

ISSUE:
NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2020-7034
DATE: 12-03-20
DRAWN BY: G.G.G.
CHECKED BY: J.H.
APPROVED BY: N.H.O.
SCALE: AS SHOWN

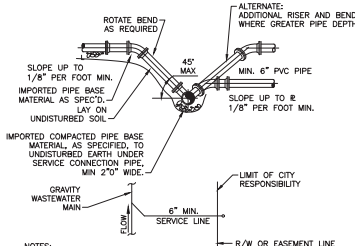
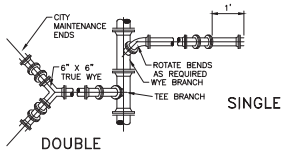
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WATER DETAILS

SHEET NUMBER:

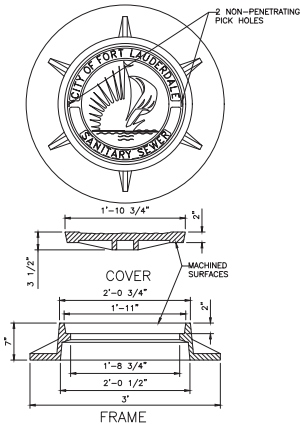
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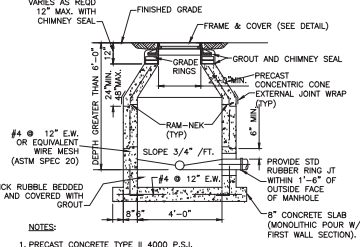
- NOTES:**
1. WASTEWATER MAIN WYE BRANCH TO MATCH MAIN PIPE MATERIAL.
 2. NO 90° BENDS SHALL BE USED FOR WASTEWATER SERVICE AND CLEANOUT INSTALLATIONS.
 3. SERVICE LATERALS SHALL TERMINATE AT 12" INSIDE THE PROPERTY LINE AT A DEPTH OF 3 FEET EXCEPT WHERE A DEEPER INVERT IS REQUIRED BY EXISTING BUILDING CONDITIONS.

TYPICAL WASTEWATER SERVICE CONNECTION (208)
N.T.S.



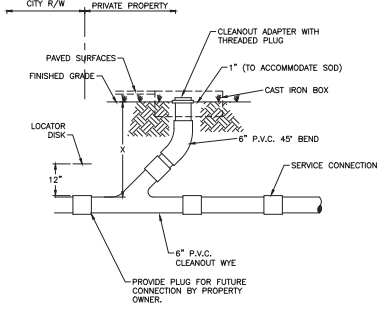
- NOTES:**
1. MATERIAL: FRAME AND COVER AS SPECIFIED.
 2. ADDITIONAL GRADE RINGS MAY BE USED TO ELEVATE EXISTING MANHOLE FRAMES TO RESURFACED GRADE (MAX. 4" HEIGHT).
 3. ALL DIMENSIONS ARE NOMINAL.
 4. OPTIONAL: HINGED FRAME AND COVER AS SPECIFIED.

MANHOLE FRAME & COVER-PAVED AREAS (200)
N.T.S.



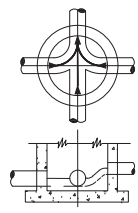
- NOTES:**
1. PRECAST CONCRETE TYPE # 4000 P.S.I.
 2. "RAM-NEK" OR EQUAL AT ALL RISER JOINTS (1/2" THICK WITH THE WIDTH AT LEAST 1/2 THE WALL THICKNESS).
 3. ALL OPENINGS SHALL BE SEALED WITH A WATERPROOF NON-SHRINKING GROUT.
 4. FLOW CHANNELS SHALL BE CONSTRUCTED TO DIRECT INFLUENT INTO 5. FLOW STREAM. (SEE DETAIL)
 5. LIFT HOLES ARE PERMITTED.
 7. ALL PIPE HOLES SHALL BE PRECAST OR CORE DRILLED.
 8. FOR PVC PIPE EXTERIOR MANHOLE WITH PRECAST HOLES USE THE APPROVED NON-ABRASIVE PVC-MANHOLE ADAPTER OR PRECAST FLEXIBLE MANHOLE SLEEVE FOR THE APPROPRIATE PIPE DIAMETER AND DIMENSION RATIO. THE ADAPTER SHALL NOT EXTEND MORE THAN 1" INTO THE MANHOLE. DOUBLE BANDING IS REQUIRED FOR FLEXIBLE MANHOLE SLEEVE.
 9. CONNECTION TO A MANHOLE WITH A CORE DRILLED HOLE SHALL BE MADE USING A 5" MIN. DUCTILE IRON PIPE SECTION (EPOXY LINED) OR THE APPROVED PVC-MANHOLE ADAPTER.
 10. INSIDE DROPS SHALL NOT BE DESIGNED TO EXCEED 180 FEET AND NOT CONSTRUCTED TO EXCEED 2.0 FEET. MAX. 6" INSIDE DROP IS PERMITTED FOR MANHOLES WITH 3 OR MORE INVERTS AND MANHOLES WITH A CHANGE IN FLOW DIRECTION OF MORE THAN 45 DEGREES.
 11. MANHOLE FABRICATION SHALL BE IN ACCORDANCE WITH ASTM C-478, LATEST STANDARD.
 12. MINIMUM 5 FEET IS REQUIRED BETWEEN OUTSIDE OF MANHOLE AND SERVICE WYE.
 13. MANHOLES TO BE PAINTED INSIDE AND OUTSIDE WITH 2 COATS OF AN APPROVED PROTECTIVE COATING. (ONE COAT RED, ONE COAT BLACK) MIN. 8-10 MILS D.F.T. PER COAT.
 14. MANHOLE SHALL BE SET PLUMB TO LINE AND GRADE.

STANDARD MANHOLE (203)
N.T.S.



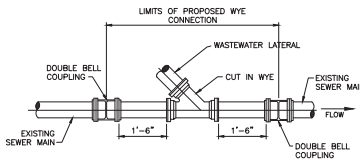
- NOTES:**
1. PROVIDE APPROVED PLUG OR JOINT FOR DISSIMILAR GRAVITY SEWER PIPE FOR SERVICE CONNECTION.
 2. CLEAN-OUT ASSEMBLY SHALL BE INSTALLED BY PROPERTY OWNER.
 3. X=3"0" MIN. OR 4"0" MAX. FOR RESIDENTIAL SERVICE UNLESS OTHERWISE SHOWN.

TYPICAL CLEANOUT INSTALLATION (209)
N.T.S.



- NOTES:**
1. ALL INVERT CHANNELS ARE TO BE CONSTRUCTED FOR SMOOTH FLOW WITHOUT OBSTRUCTION.
 2. PROPERLY SHAPED SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS TO PROVIDE FOR SMOOTH FLOW.
 3. SERVICE LATERALS SHALL NOT ENTER MANHOLES UNLESS SPECIFIED ON PLANS AND THEN MUST BE TREATED AS MAINS. (ELEVATIONS SHOWN, PRECAST HOLE, FLOW CHANNEL)
 4. BRICK RUBBLE PERMITTED AS FLOW CHANNEL BUILDUP.
 5. SIDEWALLS OF FLOW CHANNEL SHALL BE AT LEAST HALF OF PIPE HEIGHT AT ALL POINTS.
 6. NO INSIDE DROP LARGER THAN 6" SHALL BE ALLOWED WITH 3 OR 4 INVERTS AND MANHOLES WITH A CHANGE OF DIRECTION OF FLOW OF MORE THAN 45 DEGREES.

INVERT FLOW CHANNELS (202)
N.T.S.



NEW LATERAL ON EXISTING GRAVITY WASTEWATER MAIN (210)
N.T.S.



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305 / 279 4553 fax

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SEAL / SIGNAT



FOR THE FIRM: NELSON H. I.
RE-57558

PROJECT
OLAKINO HOUSE

551 Bayshore Drive
Fort Lauderdale, Florida 33304
Folio No. 5042-01-04-06001061020

LOCATION VENTURES
2999 Alhambra Circle, Suite 510
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NO. DATE REVISIONS

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SCALE: AS SHOWN

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SEWER DETAILS

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WS-5

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CASE: UDP-S20009
PZB Exhibit 1
Page 46 of 82

STORMWATER POLLUTION PREVENTION PLAN (SWPPP) NOTES

A. GENERAL NOTES

- ENVIRONMENTAL CONTROL FEATURES AS PROVIDED IN PLANS ARE TO BE INSTALLED AT ALL AREAS OF EXCAVATION OR FILL FOR DRAINAGE SYSTEM OR STRUCTURE CONSTRUCTION PRIOR TO SUCH EXCAVATION OR FILL. INLET ENTRANCES ARE ALSO TO BE PROTECTED FROM SILTATION AS DETAILED IN THE FOOT STANDARDS.
- ALL ENVIRONMENTAL CONTROL FEATURES ARE TO BE MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT IN ACCORDANCE WITH FDP NPDES REQUIREMENTS. THE CONTRACTOR MUST ENSURE THAT ALL EROSION CONTROL FEATURES FUNCTION PROPERLY AT ALL TIMES.
- ALL EROSION AND MATERIAL DEPOSITS MUST BE CONTAINED WITHIN THE PROJECT LIMITS.
- CONTRACTOR'S SUBMITTALS:
THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE FOLLOWING ITEMS TO FDP IN ORDER FOR THE NPDES PERMIT TO BE PROCESSED:
a. IF THIS SWPPP IS ADOPTED BY THE CONTRACTOR, THE SWPPP SHEETS AND OTHER PLAN SHEETS SHALL BE INCLUDED BY REFERENCE IN THE NOTICE OF INTENT (NOI) SUBMITTAL. THE CONTRACTOR MAY ELECT TO SUBMIT A REVISED SWPPP THAT IS IN COMPLIANCE WITH THE STORM WATER REGULATIONS AT 40 CFR 122.26(b)(14) AND STATE WATER QUALITY STANDARDS.
b. SIGNED CONTRACTOR CERTIFICATION FORMS (2). THESE FORMS MUST BE SIGNED BY BOTH THE PRIME CONTRACTOR AND SUB-CONTRACTOR (IF APPLICABLE) PERFORMING SOIL-DISTURBING ACTIVITIES.
c. HAZARDOUS MATERIAL SPILL CONTROL PLAN.
d. STAGING AREAS, STOCKPILE LOCATIONS AND STABILIZATION PRACTICES.
e. BRIDGE CONSTRUCTION METHOD AND SEQUENCING.
f. DEWATERING PLAN (IF APPLICABLE).
- NO SOIL DISTURBING ACTIVITIES CAN BE CONDUCTED UNTIL THE NPDES PACKAGE HAS BEEN MAILED TO THE FDP. THE CONTRACTOR'S MODIFIED SWPPP MUST ALSO RECEIVE APPROVAL FROM FOOT PERMITS OFFICE PRIOR TO IMPLEMENTATION.
- DITCH BOTTOM INLETS SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL PROJECT IS COMPLETE. ELEVATION OF GROUND OUTSIDE INLET TOP SHALL NOT BE HIGHER THAN INLET TOP. ROCK BAGS SHALL BE INSTALLED AROUND INLET TOP. COMPLETED INLETS IN PAVED AREAS SHALL ALSO BE PROTECTED WITH ROCK BAGS TO PREVENT SEDIMENT INTAKE FROM OTHER AREAS.
- CURB INLETS ALSO SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL THE PROJECT IS COMPLETE. ALL FILL EMBANKMENT AND GRADE AREAS SHALL BE PROTECTED AGAINST EROSION BY METHODS STATED IN "SECTION 104" FOOT STANDARDS SPECIFICATIONS FOR BRIDGE AND ROAD CONSTRUCTION.
- STOCKPILED MATERIALS SHALL NOT BE LEFT IN EROSION PRONE AREAS UNLESS PROTECTED BY COVER AND/OR OTHER APPROPRIATE EROSION CONTROL MEASURES.
- INSPECTION OF EROSION CONTROL MEASURES AND CONDITION OF ADJACENT PROPERTIES SHALL BE PERFORMED DAILY BY THE CONTRACTOR'S REPRESENTATIVE AND THE PROJECT ENGINEER. DEFICIENCIES SHALL BE NOTED AND CORRECTED.
- ANY OFFSITE SEDIMENT DISCHARGE TO A MUNICIPALLY SEPARATE STORM SEWER SYSTEM ARISING FROM THE CONTRACTOR'S ACTIVITIES SHALL HAVE EROSION CONTROLS PROVIDED FOR THOSE INLETS.
- THE AGGREGATE LAYER OF ALL CONSTRUCTION ENTRANCE GRAVEL BEDS MUST BE AT LEAST 6 INCHES THICK. IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR IMPRESS AND EGRESS AREA. THE LENGTH OF THE ENTRANCE MUST BE AT LEAST 50 FEET. THE ENTRANCE MUST BE WIDER AT ITS CONNECTION TO THE ROADWAY IN ORDER TO ACCOMMODATE THE TURNING RADIUS OF LARGE TRUCKS.

B. SITE DESCRIPTION

- CONSTRUCTION ACTIVITY:
DRAINAGE AND UTILITY INSTALLATION, BUILDING AND ROAD CONSTRUCTION, LAND DEVELOPMENT.
PROJECT LIMITS:
BOUNDED BY PRIVATE PROPERTY TO THE NORTH AND SOUTH, INTERCOASTAL WATERWAY TO THE WEST, AND BAYSHORE DRIVE TO THE EAST.
PROJECT DESCRIPTION:
LAND DEVELOPMENT AT 529-553 BAYSHORE DRIVE PROJECT WILL INCLUDE AN 11-STORY RESIDENTIAL BUILDING WITH PARKING. THE DRAINAGE SYSTEMS WILL CONSIST OF DIRT RETENTION AND DRAINAGE WELLS.
- MAJOR SOIL DISTURBING ACTIVITIES:
CLEARING AND GRUBBING, EXCAVATION FOR STORMWATER FACILITIES AND OTHER UTILITIES, PLACEMENT OF FILL FOUNDATIONS, AND GRADING FOR RETENTION AREAS.
- TOTAL PROJECT AREA 1.54 ACRES
- LOCATIONS OF ON-SITE DRAINAGE AREAS:
SEE ATTACHED PLAN.
- THE DRAINAGE SYSTEM FOR THIS PROJECT IS A CLOSED SYSTEM WITH NO DIRECT DISCHARGE TO ADJACENT SURFACE WATERS. HOWEVER, RECEIVING WATERS IN THE EVENT OF A MAJOR STORM EVENT WILL BE THE INTERCOASTAL WATERWAY. LATITUDE AND LONGITUDE 26°07'40.52"N, 80°08'28.84"W.
- AREA OF DISCHARGE FOR THIS PROJECT IS 0.154 ACRES = 66,996 SF.
- SOILS ARE CLASSIFIED AS URBAN LANDS AND QUALITY OF DISCHARGE IS LIME/ROCK FILL, PEAT AND SAND.
- LATITUDE AND LONGITUDE OF DIRECT DISCHARGE POINT IS NOT APPLICABLE SINCE THIS IS A CLOSED SYSTEM WITH NO DIRECT DISCHARGE TO ADJACENT SURFACE WATERS. HOWEVER, LATITUDE AND LONGITUDE OF THIS PROJECT AS INDICATED IN THE NOI IS 26°07'48.86"N, 80°06'25.61"W AND LATITUDE AND LONGITUDE OF THE INTERCOASTAL WATERWAY IS 26°07'48.86"N, 80°06'34.53"W.

C. CONTROLS

- NARRATIVE - SEQUENCE OF SOIL DISTURBING ACTIVITIES AND IMPLEMENTATION OF CONTROLS.
CONSTRUCTION OF THE 529-553 BAYSHORE DRIVE PROJECT WILL INCLUDE AN 11-STORY RESIDENTIAL BUILDING WITH PARKING TO BE BOUNDED BY PRIVATE PROPERTY TO THE NORTH AND SOUTH, INTERCOASTAL WATERWAY TO THE WEST, AND BAYSHORE DRIVE TO THE EAST. THE DRAINAGE SYSTEM WILL INCLUDE DIRT RETENTION AND DRAINAGE WELLS.
PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES, ALL EROSION CONTROLS MUST BE IMPLEMENTED.
- TEMPORARY STABILIZATION:
DISTURBED PORTIONS OF THE SITE (E.G. EMBANKMENT AT TEMPORARY RAMPS) WHERE CONSTRUCTION ACTIVITY CEASES FOR AT LEAST 21 DAYS SHALL BE STABILIZED WITH TEMPORARY SOIL OR TEMPORARY SEEDING AND MULCHING NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
- PERMANENT STABILIZATION:
DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY PERMANENTLY CEASES SHALL BE STABILIZED WITH SOIL NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY.
- EROSION AND SEDIMENT CONTROLS:
(1) STABILIZATION PRACTICES:
 - TEMPORARY SOODING
 - TEMPORARY GRASSING
 - PERMANENT SOODING, SEEDING OR SEED & MULCH
 - TEMPORARY MULCHING
 - ARTIFICIAL COVERING
 - BUFFER ZONES
 - PRESERVATION OF NATURAL RESOURCES
 - OTHER:
(2) STRUCTURAL PRACTICES:
 - SAND BAGGING
 - SILT FENCES
 - ROCK BAGS
 - DIVERSION, INTERCEPTOR, OR PERIMETER DITCHES
 - PIPE SLOPE DRAINS
 - LIMES
 - ROCK BEDDING AT CONSTRUCTION EXIT
 - TIMBER BEDDING AT CONSTRUCTION EXIT
 - DITCH LINER
 - SEDIMENT TRAPS (DURING DE-WATERING)
 - SEDIMENT BASINS
 - STORM INLET SEDIMENT TRAP
 - STONE OUTLET STRUCTURES
 - CURBS AND GUTTERS
 - STORM SEWERS
 - VELOCITY CONTROL DEVICES
 - TURBIDITY BARRIER
 - RIP RAP
 - DESCRIPTION OF STORM WATER MANAGEMENT:
THE STORMWATER MANAGEMENT SYSTEM CONSISTS OF CATCH BASINS AND STORM SEWERS THAT CONVEY STORMWATER INTO THE EXFILTRATION TRENCHES THAT TREAT THE WATER QUALITY REQUIREMENTS AND THE DRAINAGE WELLS FOR WATER QUALITY REQUIREMENTS.
 - OTHER CONTROLS:
(1) WASTE DISPOSAL:
IF APPROVED OFFSITE AREAS PROVIDED BY THE CONTRACTOR.
(2) OFFSITE VEHICLE TRACKING:
 - MAUL ROADS DAMPENED FOR DUST CONTROL
 - LOADED TRAIL TRUCKS TO BE COVERED WITH TARPULAIN
 - EXCESS DIRT ON ROAD REMOVED DAILY
 - STABILIZED CONSTRUCTION ENTRANCE
 - OTHER:
(3) SANITARY WASTE:
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS AS NECESSARY OR AS REQUIRED BY LOCAL REGULATION OF A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.
(4) FERTILIZERS AND PESTICIDES:
FERTILIZER TO BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. IF STORED ON-SITE, STORAGE WILL BE IN COVERED SHED. THE CONTENT OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEPARATE PLASTIC BIN TO AVOID SPILLS.
(5) NON-STORM WATER DISCHARGE (INCLUDING SPILL REPORTING)
THE CONTRACTOR IS RESPONSIBLE FOR REPORTING SPILLS TO THE BROWARD COUNTY ENGINEERING DEPARTMENT (BCEDE).
REMARKS:
IF CONTAMINATED SOIL OR GROUNDWATER IS ENCOUNTERED OR HAZARDOUS SPILLS OCCUR DURING CONSTRUCTION, THE BROWARD COUNTY ENGINEERING DEPARTMENT (BCEDE) SHALL BE CONTACTED.
DEWATERING ACTIVITIES IS NOT ANTICIPATED FOR THIS PROJECT. IN THE EVENT THAT DEWATERING IS REQUIRED, THE CONTRACTOR MUST SECURE THE REQUIRED DEWATERING PERMITS FROM THE BROWARD COUNTY ENVIRONMENTAL PROTECTION DEPARTMENT AND THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT.
4. APPROVED STATE, LOCAL PLANS, OR STORM WATER PERMITS:
CITY OF FT. LAUDERDALE AND BROWARD COUNTY ENGINEERING DEPARTMENT.

E. INSPECTION

THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL FEATURES AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.1" OR GREATER. IN ADDITION, A DAILY REVIEW OF THE LOCATION OF SILT FENCES SHALL BE MADE IN AREAS WHERE CONSTRUCTION ACTIVITIES HAVE CHANGED THE NATURAL CONTOUR AND DRAINAGE RUNOFF. IT MUST BE INSURED THAT SILT FENCES AND OTHER EROSION CONTROL DEVICES ARE PROPERLY LOCATED FOR EFFECTIVENESS. A FORM ACCEPTABLE TO THE FDP WILL BE USED TO REPORT ALL INSPECTION FINDINGS AND CORRECTIVE ACTIONS TAKEN AS A RESULT OF THE INSPECTION. EACH INSPECTION REPORT SHALL BE SIGNED AND SUBMITTED WEEKLY TO THE PROJECT ENGINEER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF BEING NOTED IN CONTRACTOR'S INSPECTION REPORT.



LEGAL DESCRIPTION

LOTS 3, 4, 5, AND 6, BLOCK 7, BIRCH OCEAN FRONT SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 19, PAGE 26, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SAID LAND SITUATE, LYING AND BEING IN THE CITY OF FORT LAUDERDALE, FLORIDA, AND CONTAINING 87,011 SQUARE FEET OR 1,584 ACRES, MORE OR LESS.

PERMIT SET

MUST BE ON SITE AT ALL TIMES DURING CONSTRUCTION

MATERIALS

ALL MATERIAL USED AND INSTALLATIONS WITHIN THE PUBLIC RIGHT OF WAY OR EASEMENTS SHALL BE IN ACCORDANCE WITH BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION SPECIFICATIONS.

NOTICE INSPECTION REQUIRED

24 HRS. PRIOR TO COMMENCING ANY WORK IN THE PUBLIC RIGHT OF WAY CONTACT THE BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION AT (954)571-4800 FOR INSPECTION.

NOTE:

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE A PERMIT FOR CONSTRUCTION. A PERMIT FOR CONSTRUCTION MUST BE OBTAINED FROM THE BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION PRIOR TO COMMENCING CONSTRUCTION IN THE PUBLIC RIGHT OF WAY.

BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION

PLAN CONSISTENT WITH PLAT REQUIREMENTS

PUBLIC RIGHT OF WAY APPROVAL FOR PAVING, GRADING AND DRAINAGE

BY: _____ DATE: _____ DOES NOT INCLUDE APPROVAL OF PAVEMENT MARKINGS & SIGNS



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Miami, FL 33156
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305 / 279 4553 fax

www.graef-usa.com

CERTIFICATE OF AUTHORIZATION NO. 4270

SEAL / SIGNATURE:



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FOR THE FIRM: NELSON H. ORTIZ (CIVIL)

PROJECT TITLE:

OLAKINO HOUSE

551 Bayshore Drive
Fort Lauderdale, Florida 33304
Folio No. 5042-01-04-0600061006200630

LOCATION VENTURES
2999 Alabama Circle, Suite 510
Coral Gables, Florida 33134

ISSUE:

NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2020-7034

DATE: 12-03-20

DRAWN BY: G.G.G.

CHECKED BY: J.H.

APPROVED BY: N.H.O.

SCALE: AS SHOWN

SHEET TITLE:

STORMWATER POLLUTION PREVENTION NOTES

SHEET NUMBER:

SWPPP-1

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NELSON H. ORTIZ (CIVIL)
 PE-51558

PROJECT TITLE:

OLAKINO HOUSE

551 Bayshore Drive
 Fort Lauderdale, Florida 33304
 Folio No. 5042-01-04-06000/01006200630

LOCATION VENTURES
 2999 Alhambra Circle, Suite 510
 Coral Gables, Florida 33134

ISSUE:

NO. DATE REVISIONS BY

PROJECT INFORMATION:

PROJECT NUMBER: 2020-7034

DATE: 12-03-20

DRAWN BY: G.G.G.

CHECKED BY: J.H.

APPROVED BY: N.H.O.

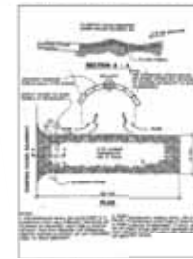
SCALE: AS SHOWN

SHEET TITLE:

STORMWATER POLLUTION PREVENTION PLAN

SHEET NUMBER:

SWPPP-2



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
 N.T.S.

LEGEND

- GRAVEL BED (No. 25 ROCK)
- STAKED SILT FENCE

NOTES:

1. PERIMETER CONSTRUCTION FENCE SHALL BE PROVIDED WITH WIND SCREEN TO MAINTAIN SUFFICIENT DUST CONTROL.
2. INSTALLATION OF EROSION AND SEDIMENT CONTROLS SHALL BE IN ACCORDANCE WITH FDOT, INDEX No. 102, LATEST EDITION.
3. INSTALLATION OF HAY BALES SHALL BE IN ACCORDANCE WITH FDOT, INDEX No. 102, LATEST EDITION.
4. PLACEMENT OF ROCK BAGS SHALL BE IN ACCORDANCE WITH FDOT, INDEX No. 102, LATEST EDITION.

PERMIT SET

MUST BE ON JOBSITE AT ALL TIMES DURING CONSTRUCTION

MATERIALS

ALL MATERIAL USED AND INSTALLATIONS WITHIN THE PUBLIC RIGHT OF WAY OR EASEMENTS SHALL BE IN ACCORDANCE WITH BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION SPECIFICATIONS.

NOTICE INSPECTION REQUIRED

24 HRS. PRIOR TO COMMENCING ANY WORK IN THE PUBLIC RIGHT OF WAY CONTACT THE BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION AT (954)574-6000 FOR INSPECTION.

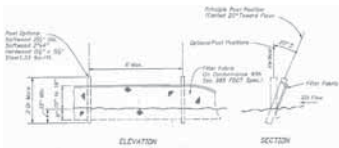
NOTE:

APPROVAL OF THIS PLAN DOES NOT CONSTITUTE A PERMIT FOR CONSTRUCTION. A PERMIT FOR CONSTRUCTION MUST BE OBTAINED FROM THE BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION PRIOR TO COMMENCING CONSTRUCTION IN THE PUBLIC RIGHT OF WAY.

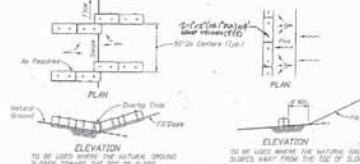
BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION

- PLAN CONSISTENT WITH PLAT REQUIREMENTS
- PUBLIC RIGHT OF WAY APPROVAL FOR PAVING, GRADING AND DRAINAGE

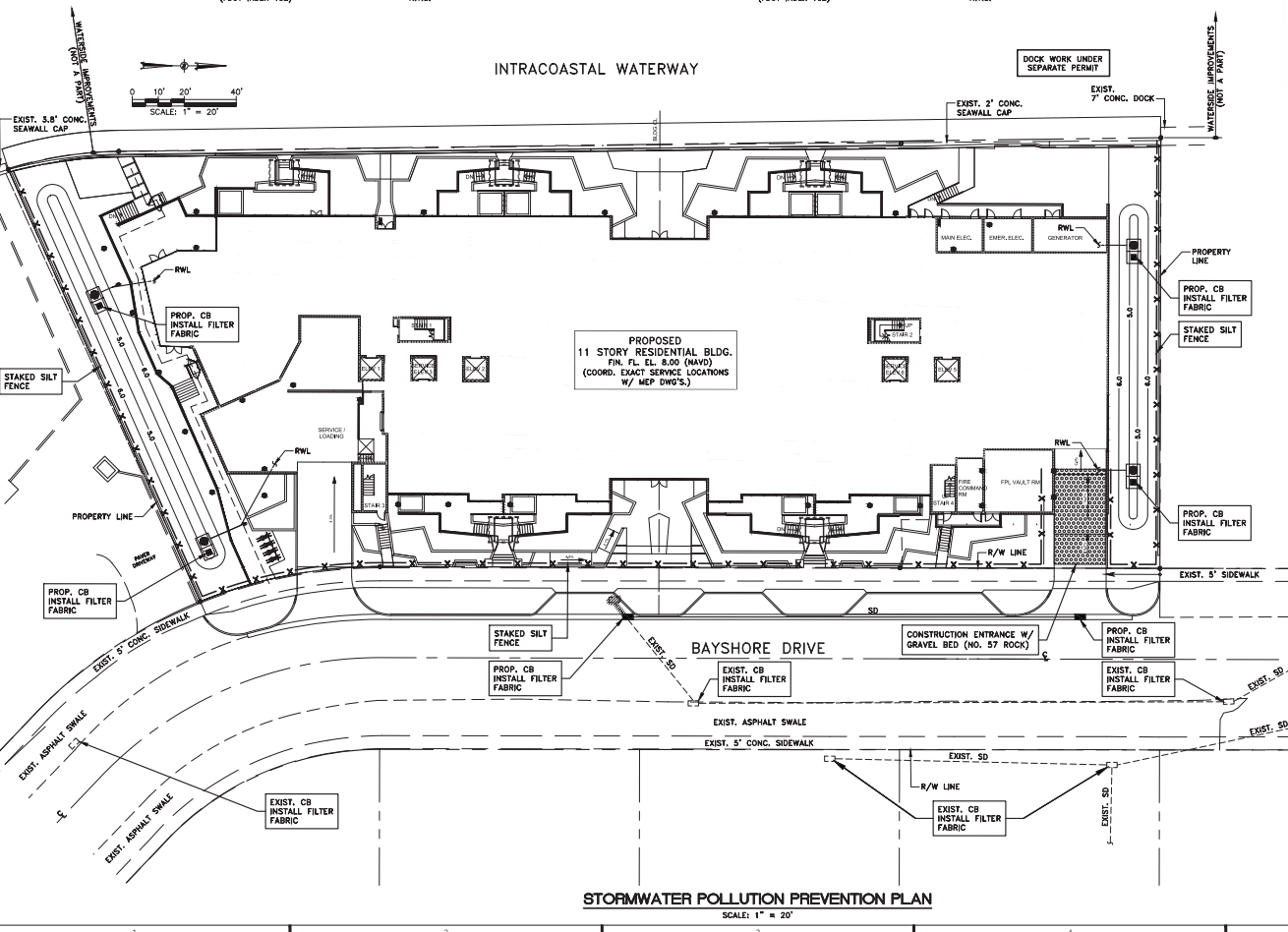
BY: _____ DATE: _____
 DOES NOT INCLUDE APPROVAL OF PAVEMENT MARKINGS & SIGNS



TYPE III SILT FENCE DETAIL
 (FOOT INDEX 102) N.T.S.



HAY BALES FOR FILL SLOPES
 (FOOT INDEX 102) N.T.S.



STORMWATER POLLUTION PREVENTION PLAN
 SCALE: 1" = 20'

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FOR THE FIRM: NELSON H. ORTIZ (CIVIL)
 PE-57556

PROJECT TITLE:
 OLAKINO HOUSE

551 Bayshore Drive
 Fort Lauderdale, Florida 33304
 Folio No. 5042-01-04-060006-100620/0630

LOCATION VENTURES
 2999 Alhambra Circle, Suite 510
 Coral Gables, Florida 33134

ISSUE:
 NO. DATE REVISIONS BY

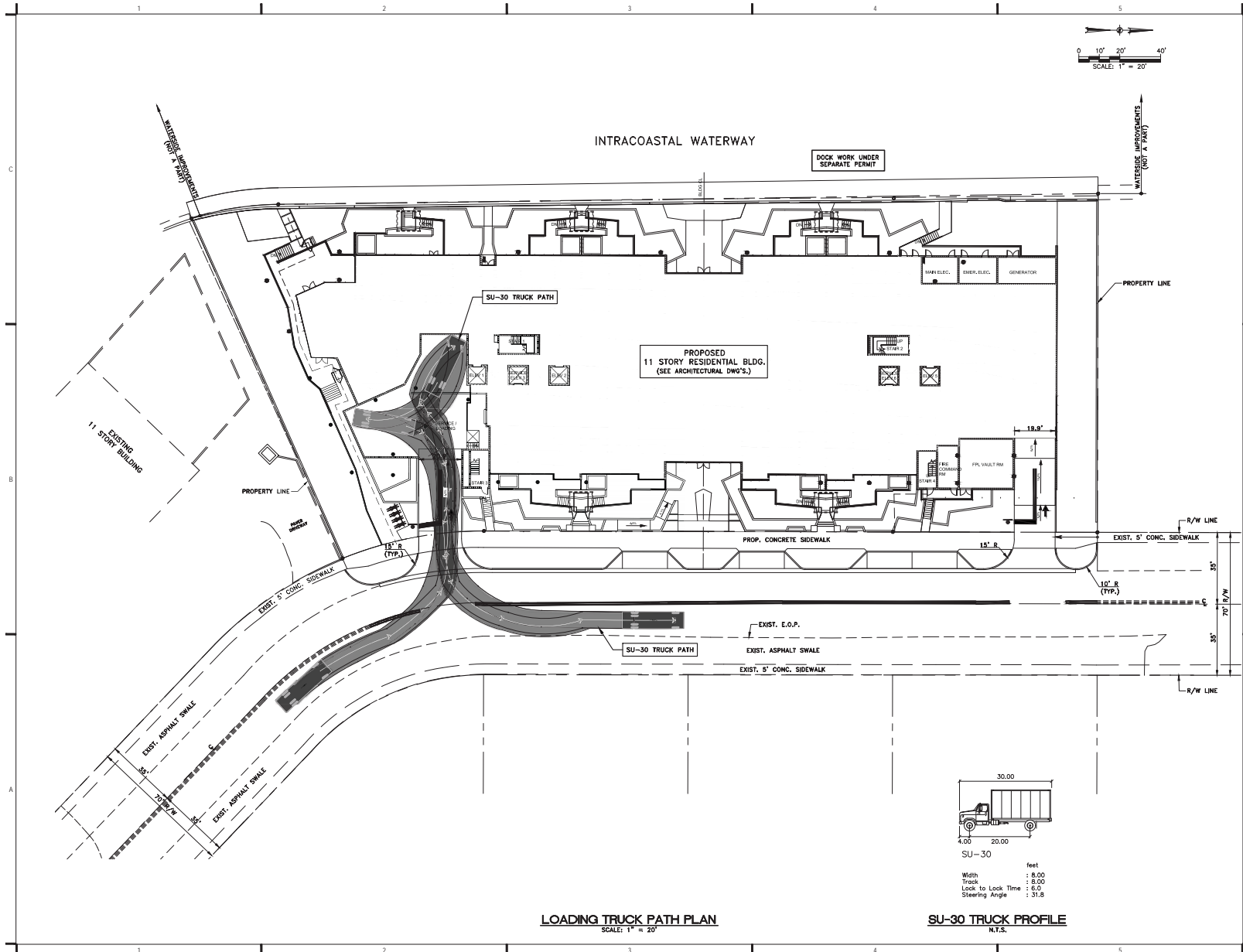
PROJECT INFORMATION:
 PROJECT NUMBER: 2020-7034
 DATE: 12-03-20
 DRAWN BY: G.G.G.
 CHECKED BY: J.H.
 APPROVED BY: N.H.O.
 SCALE: AS SHOWN

SHEET TITLE:

LOADING TRUCK PATH PLAN

SHEET NUMBER:

TP-1



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