

SECTION No(s): 86180000
S.R. No.: A1A
PERMIT No: 2022-L-491-00003
COUNTY: BROWARD

**AMENDMENT NUMBER EIGHTEEN (18) TO
DISTRICT FOUR (4) STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
LANDSCAPE INCLUSIVE MAINTENANCE MEMORANDUM OF AGREEMENT
FOR STATE ROAD A1A**

THIS AMENDMENT Number Eighteen (18) to the Agreement dated January 31, 2008, made and entered into this _____ day of _____ 20____ by and between the State of Florida Department of Transportation hereinafter called the **DEPARTMENT** and the **CITY OF FORT LAUDERDALE**, a municipal corporation of the State of Florida, hereinafter called the **AGENCY**.

W I T N E S S E T H

WHEREAS, the parties entered into the Landscape Inclusive Maintenance of Agreement dated, January 31, 2008 for the purpose of maintaining the landscape and hardscape improvements by the AGENCY on State Road A1A; and,

WHEREAS, the DEPARTMENT and the AGENCY have agreed to add additional landscape and hardscape improvements, including pedestrian lighting, to be installed by permit on State Road A1A in accordance with the above referenced Agreement; and,

WHEREAS, the AGENCY by Resolution No. _____ dated _____, attached hereto as **Exhibit D** and by this reference made a part hereof, desires to enter into this Agreement and authorized its officers to do so; and,

NOW THEREFORE, for and in consideration of mutual benefits that flow each to the other, the parties covenant and agree as follows:

1. Pursuant to Paragraph Number Thirteen (13) in the Agreement dated January 31, 2008, the AGENCY has agreed to construct additional landscape improvements or to modify an improvement located as indicated in **Exhibit "A"**,

State Road A1A (Seabreeze Boulevard) from MP 2.396 to MP 2.487
in accordance with the plans attached as **Exhibit "B"**.

2. The AGENCY shall agree to maintain the additional landscape improvements, including pedestrian lighting, described above, in accordance with the Maintenance Plan, **Exhibit "C"** attached hereto;

Except as modified by this Amendment, all terms and conditions of the original Agreement and all Amendments thereto shall remain in full force and effect.

LIST OF EXHIBITS

- Exhibit A - Improvements Maintenance Boundaries
- Exhibit B - Landscape Improvement Plans and Lighting Plans
- Exhibit C - Maintenance Plan for Landscape and Hardscape Improvements
- Exhibit D - Resolution

In Witness whereof, the parties hereto have executed with this Amendment effective the ____ day _____ year written and approved.

**CITY OF FORT LAUDERDALE,
through its CITY COMMISSIONERS**

**STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION**

By: _____
Dean J. Trantalis, Mayor

By: _____
Steven C. Braun, P.E.
Transportation Development Director

_____ day of _____, 2022

Date

Greg Chavarria,
City Manager

Attest: _____
Executive Secretary

Approved as to form:
Alain E. Boileau, City Attorney

Legal Review

Office of the General Counsel Date

Kimberly Cunningham Mosley
Assistant City Attorney

ATTEST:

David R. Soloman, City Clerk

(SEAL)

SECTION No(s): 86180000
S.R. No.: A1A
PERMIT No: 2022-L-491-00003
COUNTY: BROWARD

EXHIBIT A

IMPROVEMENTS MAINTENANCE BOUNDARIES

I. PERMIT PROJECT MAINTENANCE LIMITS:

Section Number 86180000

State Road A1A (Seabreeze Boulevard) from MP 2.396 to MP 2.487

II. INCLUSIVE LANDSCAPE MAINTENANCE AGREEMENT LIMITS FOR STATE ROAD A1A:

From State Road 5 (US 1) M.P. 0.000 (Section 86180000)
to Flamingo Avenue (M.P. 6.410) (Section 86050000)

By Individual Sections:

Southbound One Way (Section 86050100)

M.P. 0.0000 (Seville Street) to M.P. 0.926 (Bahia Mar Hotel Entrance)

Northbound One Way / Seabreeze Blvd / 17th Street Causeway (Section 86180000):

M.P. 0.000 (State Road 5) (US 1) to M.P. 2.964 (State Road 842) (Las Olas Boulevard)

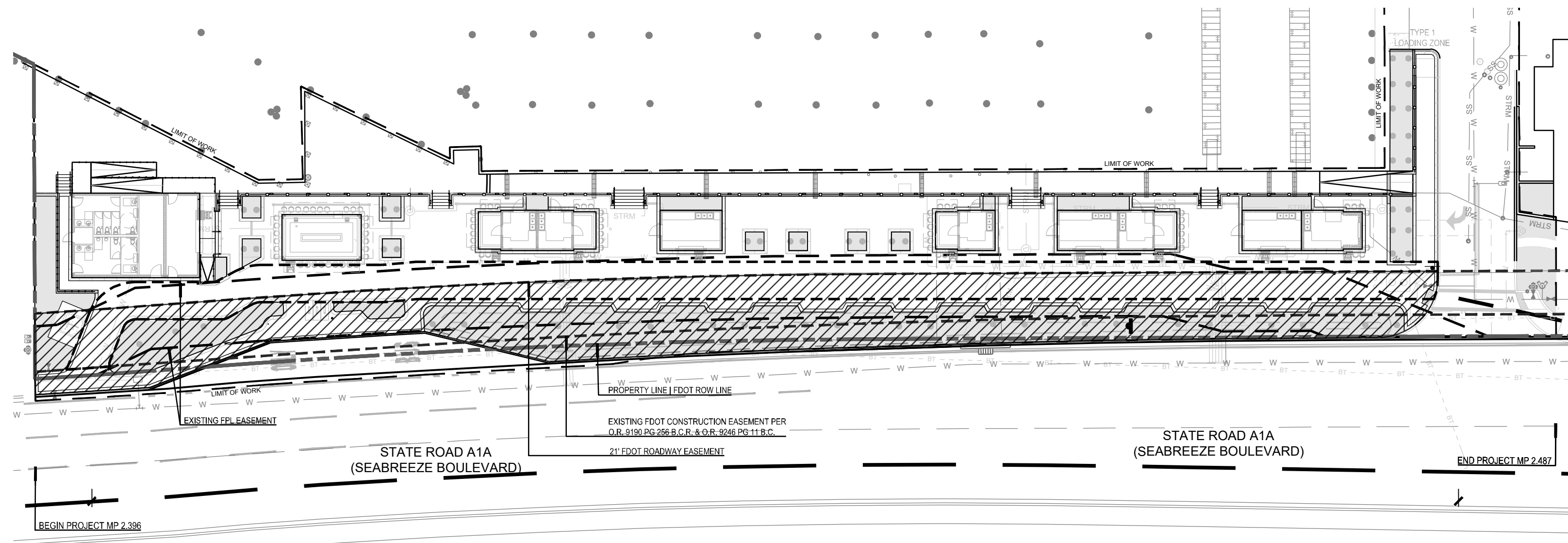
North Fort Lauderdale Beach Area (Section 86050000):

M.P. 2.039 (south of Poinsettia Street) to M.P. 6.410 (Flamingo Avenue)

III. PERMIT PROJECT MAINTENANCE BOUNDARY LIMITS MAP:

Please See Attached

*All limits of the original agreement and amendments shall apply



LANDSCAPE IMPROVEMENTS MAINTENANCE BOUNDARY MAP

CITY OF FORT LAUDERDALE
 STATE ROAD A1A (SEABREEZE BLVD)
 FDOT PERMIT 2022-L-491-00003
 OCTOBER 11, 2022


 LIMITS OF MAINTENANCE BY CITY OF FORT LAUDERDALE
 

SECTION No(s): 86180000
S.R. No.: A1A
PERMIT No: 2022-L-491-00003
COUNTY: BROWARD

EXHIBIT B

LANDSCAPE IMPROVEMENT PLANS AND LIGHTING PLANS

The AGENCY agrees to install the landscape improvements in accordance with the plans and specifications attached hereto and incorporated herein.

Please see attached plans prepared by: Jeff Suiter, RLA
EDSA
September 23, 2022

And

Edward J. Kranz, PE
Feller Engineering
February 15, 2021

BAHIA MAR MARINA VILLAGE

801 SEABREEZE BLVD.

LANDSCAPE ARCHITECTURE CONSTRUCTION DOCUMENTS

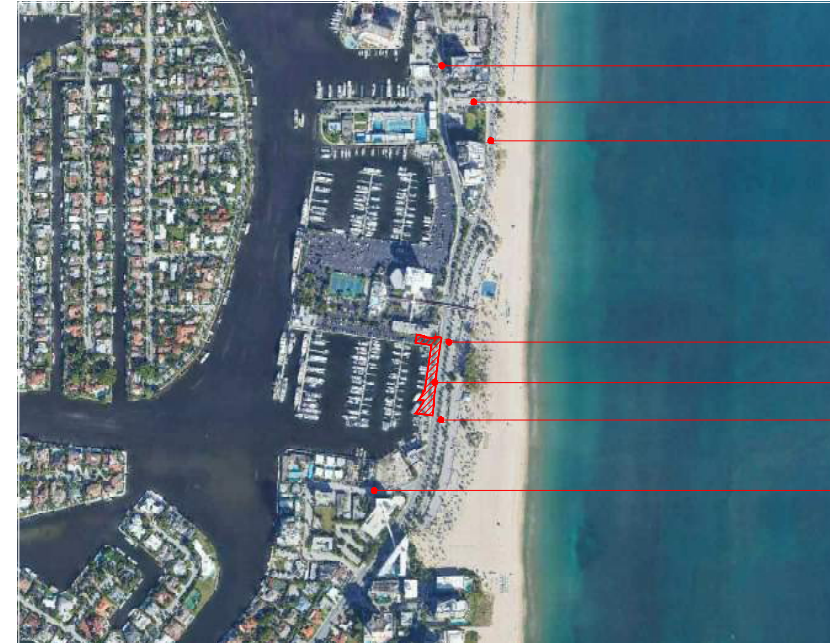
ISSUE FOR PERMIT

JANUARY 7, 2021

PREPARED FOR:

TRR BAHIA MAR LLC

1175 NE 125 STREET, SUITE 102
NORTH MIAMI, FL 33161



SEABREEZE BLVD.
SE 5 ST. (LEAVITT DR. / HALL OF FAME DR.)
SR A1A (S. FORT LAUDERDALE BEACH BLVD.)

END PROJECT
MP 2.487
SR A1A (SEABREEZE BLVD.)
BEGIN PROJECT
MP 2.396

HARBOR DRIVE

NOTE:
DESIGN SPEED FOR SR A1A = 35 MPH

LOCATION MAP



SHEET INDEX

Sheet Number	Sheet Title
L0-0-00	COVER SHEET
L0-1-01	OVERALL PLAN
L1-1-01	TREE DISPOSITION PLAN
L3-1-01	HARDSCAPE PLAN
L3-1-02	HARDSCAPE PLAN
L3-4-01	HARDSCAPE DETAILS-PAVING
L3-4-02	HARDSCAPE DETAILS-WALLS AND STAIRS
L3-4-03	HARDSCAPE DETAILS-RAILS AND GATE
L3-4-04	HARDSCAPE DETAILS - FURNISHINGS
L3-4-05	HARDSCAPE DETAILS - SECTIONS
L3-5-01	HARDSCAPE SCHEDULE
L5-0-01	LANDSCAPE NOTES
L5-1-01	TREE PLAN AND SCHEDULE
L6-1-01	SHRUB PLAN AND SCHEDULE
L6-4-01	LANDSCAPE DETAILS
L7-2-01	IRRIGATION PLAN
L7-3-01	IRRIGATION LEGEND, NOTES & DETAILS
L9-1-01	FURNITURE PLAN

CONSULTANTS

ENVIRONMENTAL CONSULTANT
THE CHAPPELL GROUP INC.
714 EAST MCNAB ROAD
POMPAHO BEACH, FL 33060

MEP
FELLER ENGINEERING
500 NE THIRD AVENUE
FORT LAUDERDALE, FLORIDA 33301

CIVIL ENGINEER
KIMLEY HORN ASSOCIATES
615 SOUTH CONGRESS AVENUE
DELRAY BEACH, FL 33445



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330 LCC000001

STRUCTURAL ENGINEER
CSW STRUCTURAL GROUP
5397 ORANGE DRIVE
SUITE 203
DAVIE, FLORIDA 33314

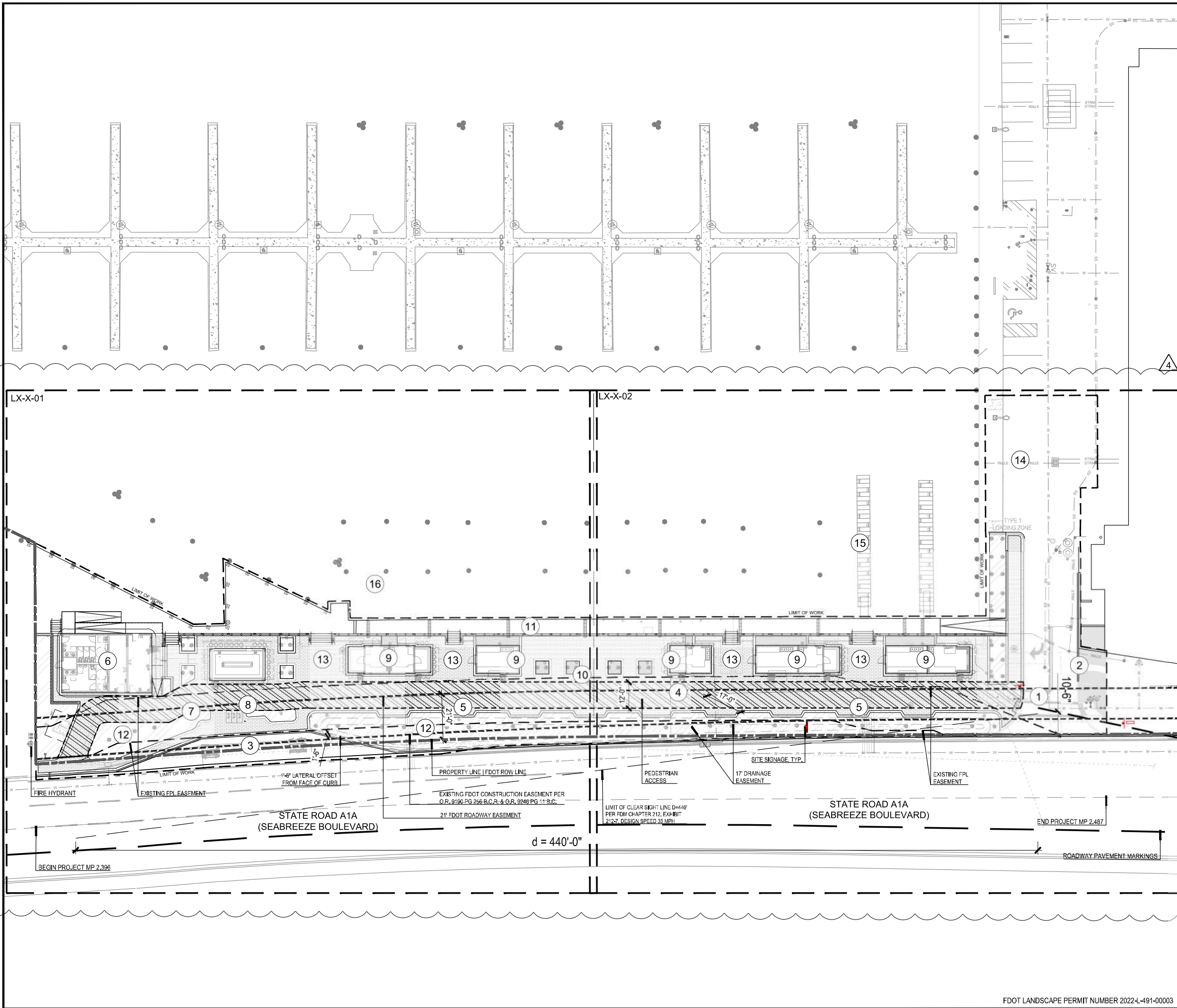
ARCHITECT
KOBİ KARP ARCHITECTURE /
INTERIOR DESIGN
2915 Biscayne Boulevard
Suite 200
Miami, FL 33137

INTERIOR DESIGN
IDDI
5100 NORTH DIXIE HIGHWAY
FORT LAUDERDALE, FL 33334

CAM # 22-1123

Exhibit 1
FDOT LANDSCAPE PERMIT NUMBER 2022-L-491-00003

Drawing name: C:\Users\SECAR\2020\Baha Mar Marina Village\EDS\06-05-SHEETS\FDOT Permits\02-10-19-OVER.dwg Oct 12, 2022 11:18am by:lgpode



- ### LEGEND
- ① TEMPORARY ACCESS
 - ② EXISTING WALK TO MARKET
 - ③ MULTI-MODAL BUS DROP
 - ④ MARINA VILLAGE PROMENADE
 - ⑤ SEATING AREA
 - ⑥ JUNGLE QUEEN TICKET BOOTH/RESTROOMS
 - ⑦ RELOCATED BUS BAY
 - ⑧ BIKE RACK/PUMP
 - ⑨ MARINA VILLAGE KIOSK
 - ⑩ LOUNGE GROVE
 - ⑪ EXISTING FIXED DOCK
 - ⑫ LANDSCAPE AREA, TYP.
 - ⑬ OUTDOOR SEATING, TYP.
 - ⑭ EXISTING PARKING LOT
 - ⑮ TRANSIENT DOCKS
 - ⑯ WATER TAXI
 - ▨ SEABREEZE PROMENADE

Project Name

BAHIA MAR MARINA VILLAGE

Client

TRR BAHIA MAR LLC

Consultants

edsa PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN
 1512 E. BROWARD BOULEVARD, SUITE 110
 FORT LAUDERDALE, FLORIDA 33301 USA
 TEL: 954.524.3330 LCC000001

THE CHAPPELL GROUP INC.
 ENVIRONMENTAL CONSULTANT
 714 EAST MCNAB ROAD
 POMPANO BEACH, FL 33060

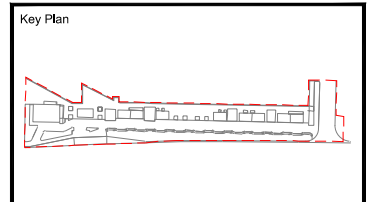
KIMLEY HORN ASSOCIATES
 CIVIL ENGINEER
 615 SOUTH CONGRESS AVENUE
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KOBI KARP ARCHITECTURE / INTERIOR DESIGN
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 FORT LAUDERDALE, FL 33334

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 MEP
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CSW STRUCTURAL GROUP
 STRUCTURAL ENGINEER
 5397 ORANGE DRIVE
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 DAVIE, FLORIDA 33314



Rev	Date	Issued for
①	04.11.2022	PERMIT REVISION
②	05.12.2022	ADDENDUM
③	09.23.2022	PERMIT REVISION

Date: 08/26/2022
 Designed By: DB
 Drawn By: LG
 Approved / Checked By: BSL
 Project Number: 120002



Project Phase: ISSUE FOR PERMIT

OVERALL PLAN

Revision Number: ④
 Sheet Number: 10-1-01
 Exhibit 1

Always call 811 two full business days before you dig to have underground utilities located and marked.

sunshine 811.com

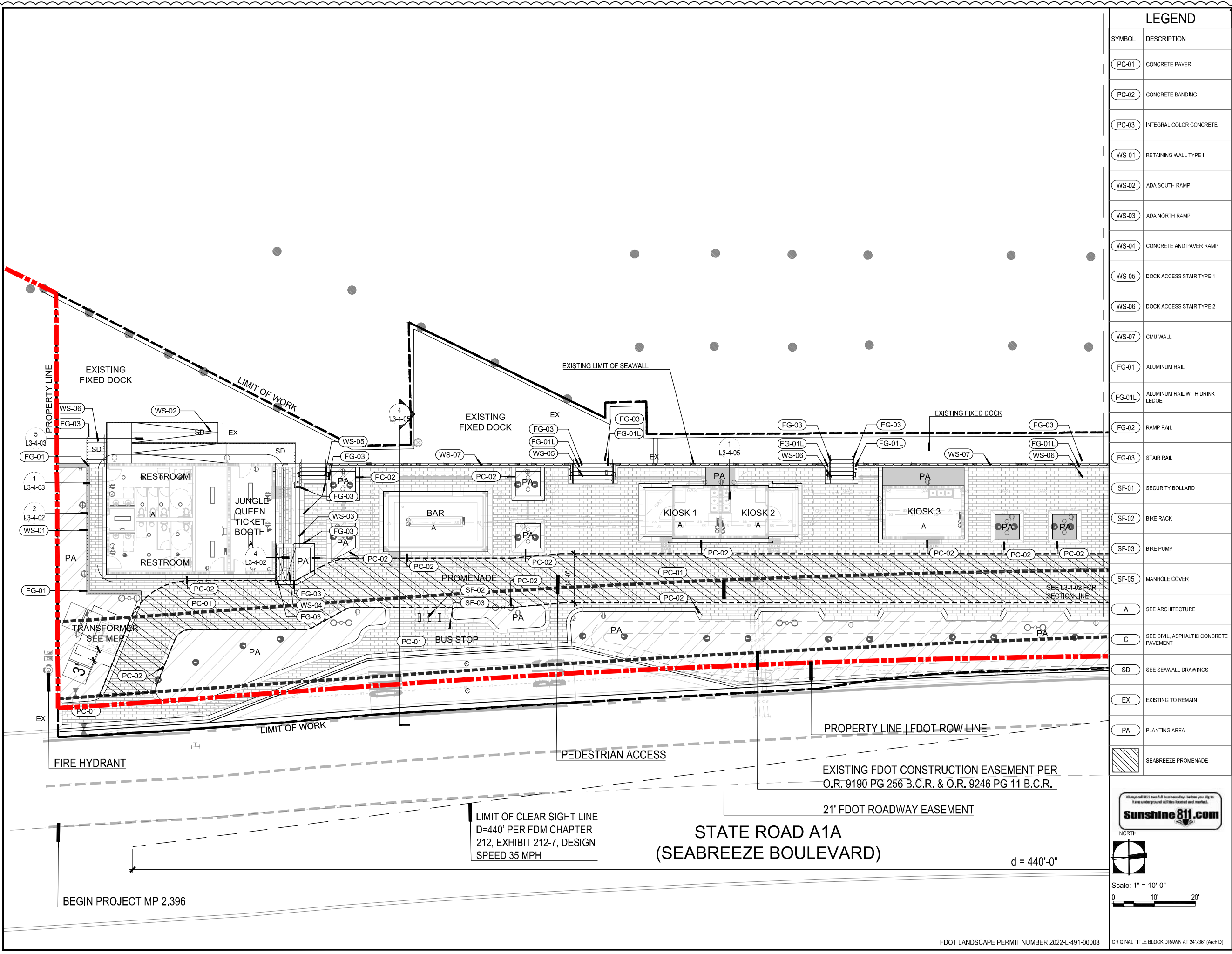
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Scale: 1" = 20'-0"

FDOT LANDSCAPE PERMIT NUMBER 2022-4-91-00003

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Drawing name: C:\Users\SECAR\202002_Bahia Mar Marina Village\EDS\Sub\05-SHEETS\FDOT Permits\0024-1-19-HARD.DWG L3-1-01 - HARDSCAPE PLAN Oct 12, 2022 11:19am by: jlgroote



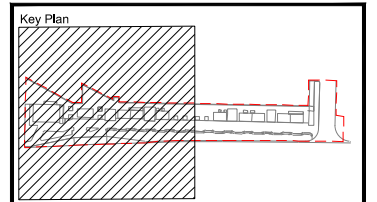
LEGEND	
SYMBOL	DESCRIPTION
PC-01	CONCRETE PAVER
PC-02	CONCRETE BANDING
PC-03	INTEGRAL COLOR CONCRETE
WS-01	RETAINING WALL TYPE I
WS-02	ADA SOUTH RAMP
WS-03	ADA NORTH RAMP
WS-04	CONCRETE AND PAVER RAMP
WS-05	DOCK ACCESS STAIR TYPE 1
WS-06	DOCK ACCESS STAIR TYPE 2
WS-07	CMU WALL
FG-01	ALUMINUM RAIL
FG-01L	ALUMINUM RAIL WITH DRINK LEDGE
FG-02	RAMP RAIL
FG-03	STAIR RAIL
SF-01	SECURITY BOLLARD
SF-02	BIKE RACK
SF-03	BIKE PUMP
SF-05	MAN-HOLE COVER
A	SEE ARCHITECTURE
C	SEE CIVIL, ASPHALTIC CONCRETE PAVEMENT
SD	SEE SEAWALL DRAWINGS
EX	EXISTING TO REMAIN
PA	PLANTING AREA
[Hatched Box]	SEABREEZE PROMENADE

Project Name
BAHIA MAR MARINA VILLAGE

Client
TRR BAHIA MAR LLC

Consultants
edsa
PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN
1512 E. BROWARD BOULEVARD, SUITE 110 FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330 LCC000001

Consultants
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POMPANO BEACH, FL 33060
KIMLEY HORN ASSOCIATES
CIVIL ENGINEER
615 SOUTH CONGRESS AVENUE
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CSW STRUCTURAL GROUP
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DAVE, FLORIDA 33314



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3	09.23.2022	PERMIT REVISION

Date: 08/26/2022
Designed By: DB
Drawn By: LG
Approved / Checked By: BSL
Project Number: 120002

Seal

SEPTEMBER 23, 2022

Project Phase
ISSUE FOR PERMIT

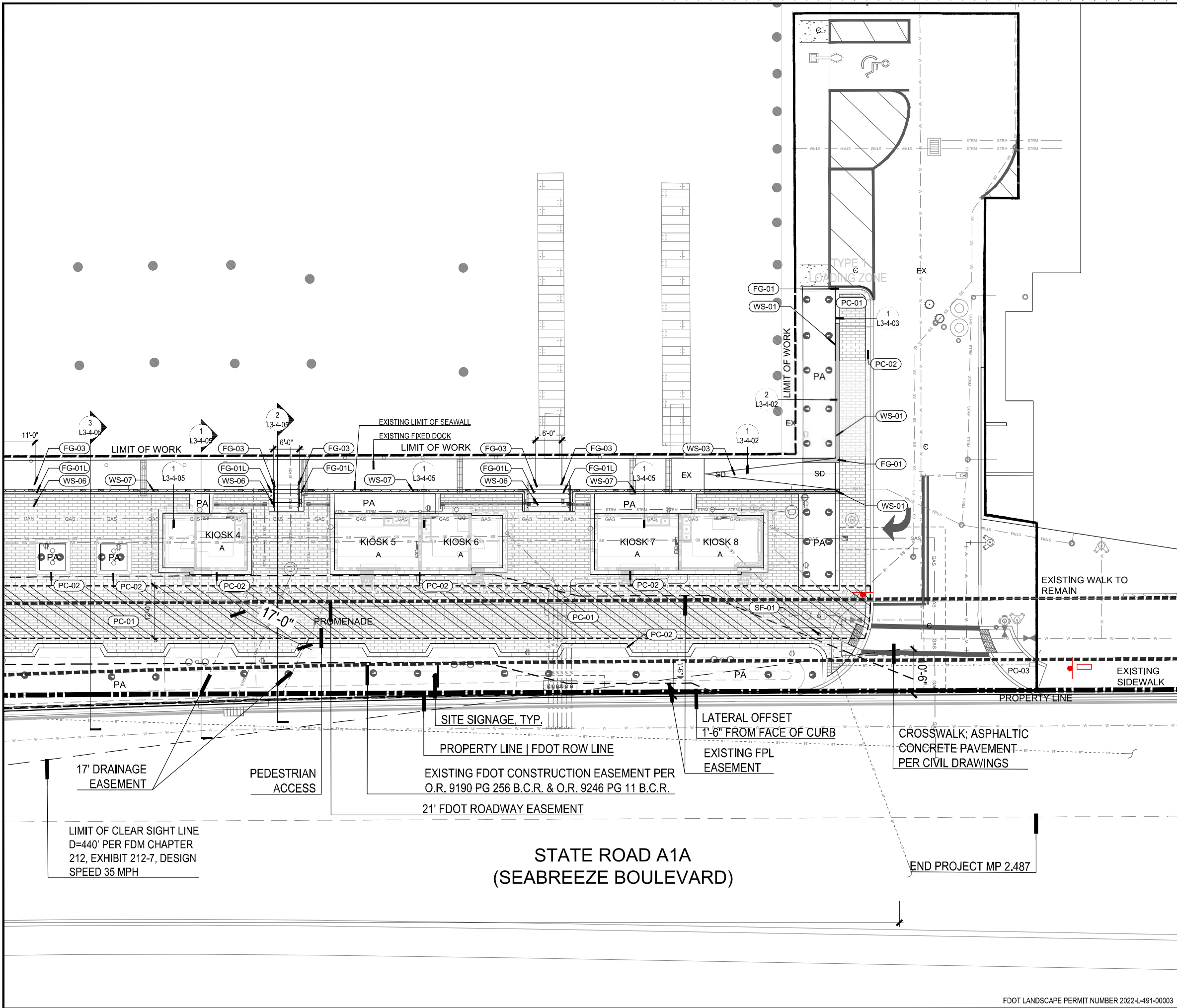
Sheet Title
HARDSCAPE PLAN

Revision Number: 4
Sheet Number: L3-1-01
CAL# 02-T123
Exhibit 1
Page 9 of 32

Always call 811 two full business days before you dig to have underground utilities located and marked.
sunshine 811.com
NORTH

Scale: 1" = 10'-0"
0 10' 20'
FDOT LANDSCAPE PERMIT NUMBER 2022-4-491-00003 ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

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LEGEND

SYMBOL	DESCRIPTION
PC-01	CONCRETE PAVER
PC-02	CONCRETE BANDING
PC-03	INTEGRAL COLOR CONCRETE
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A	SEE ARCHITECTURE
C	SEE CIVIL, ASPHALTIC CONCRETE PAVEMENT
SD	SEE SEAWALL DRAWINGS
EX	EXISTING TO REMAIN
PA	PLANTING AREA
(Hatched)	SEABREEZE PROMENADE

Always call 811 two full business days before you dig to have underground utilities located and marked.

Sunshine 811.com

NORTH

Scale: 1" = 10'-0"

0 10' 20'

FDOT LANDSCAPE PERMIT NUMBER 2022-491-00003 ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

BAHIA MAR MARINA VILLAGE

Client

TRR BAHIA MAR LLC

Consultants

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 TEL: 954.524.3330 LCC000001

THE CHAPPELL GROUP INC.
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 POMPANO BEACH, FL 33060

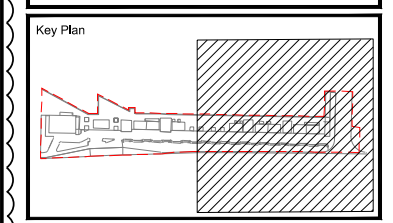
KIMLEY HORN ASSOCIATES
 CIVIL ENGINEER
 615 SOUTH CONGRESS AVENUE
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1	04.11.2022	PERMIT REVISION
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3	09.23.2022	PERMIT REVISION

Date: 08/26/2022
 Designed By: DB
 Drawn By: LG
 Approved / Checked By: BSL
 Project Number: 120002

Seal

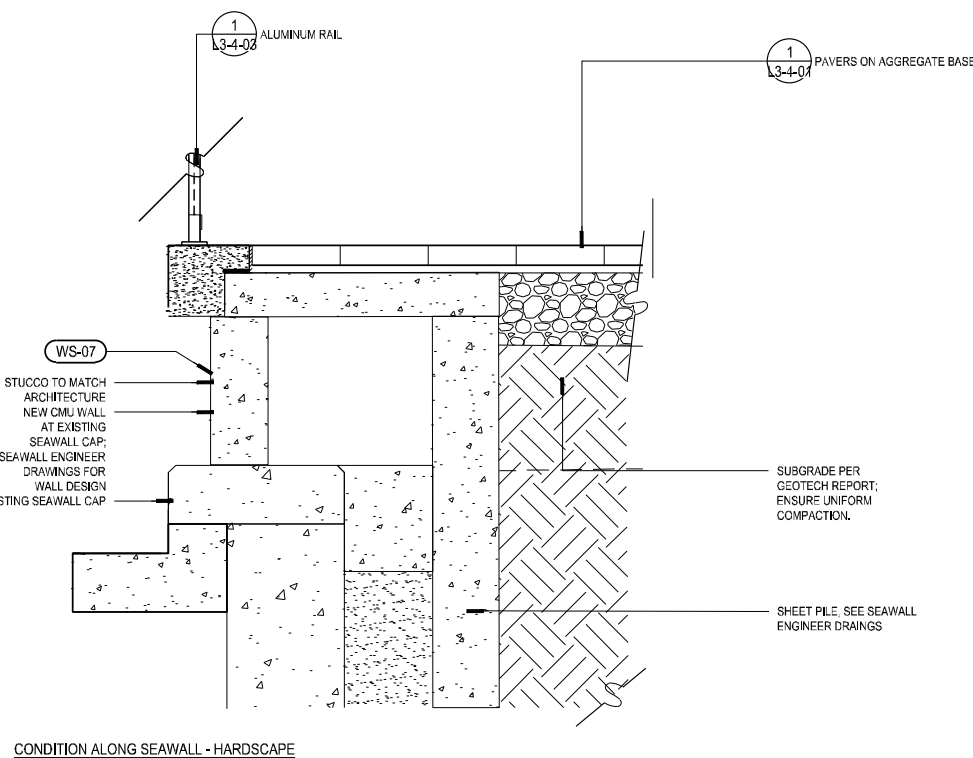
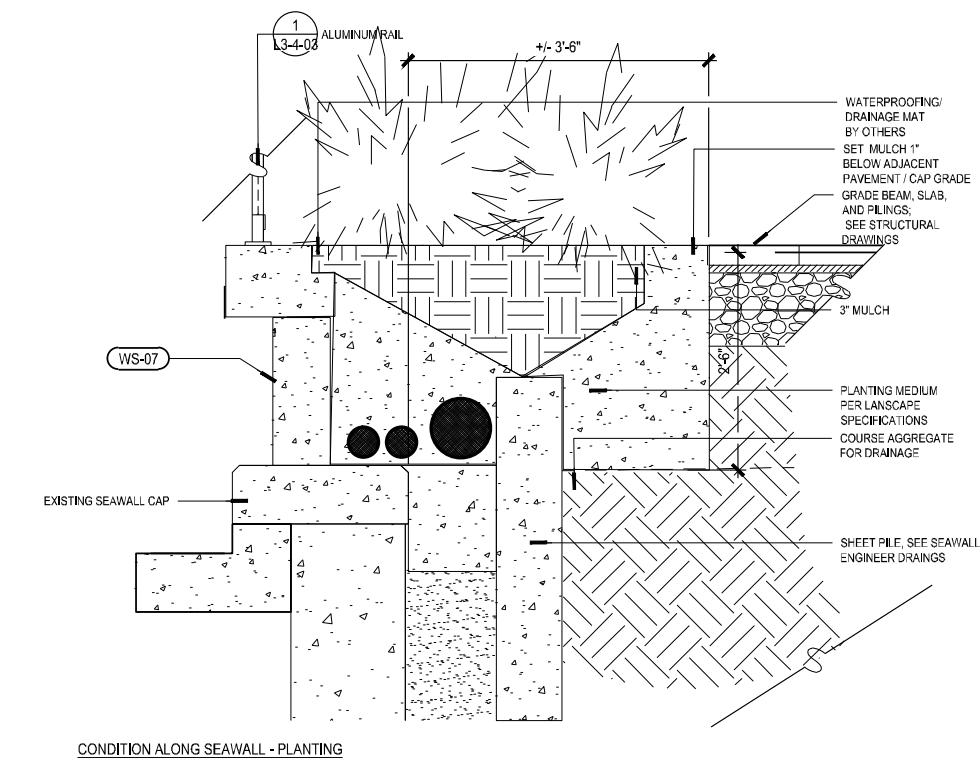
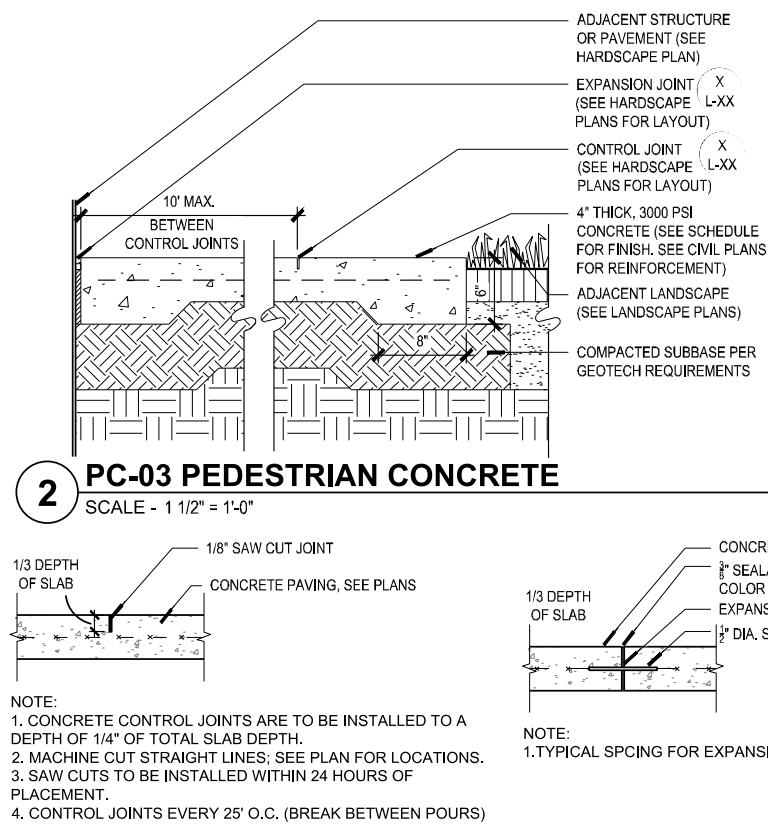
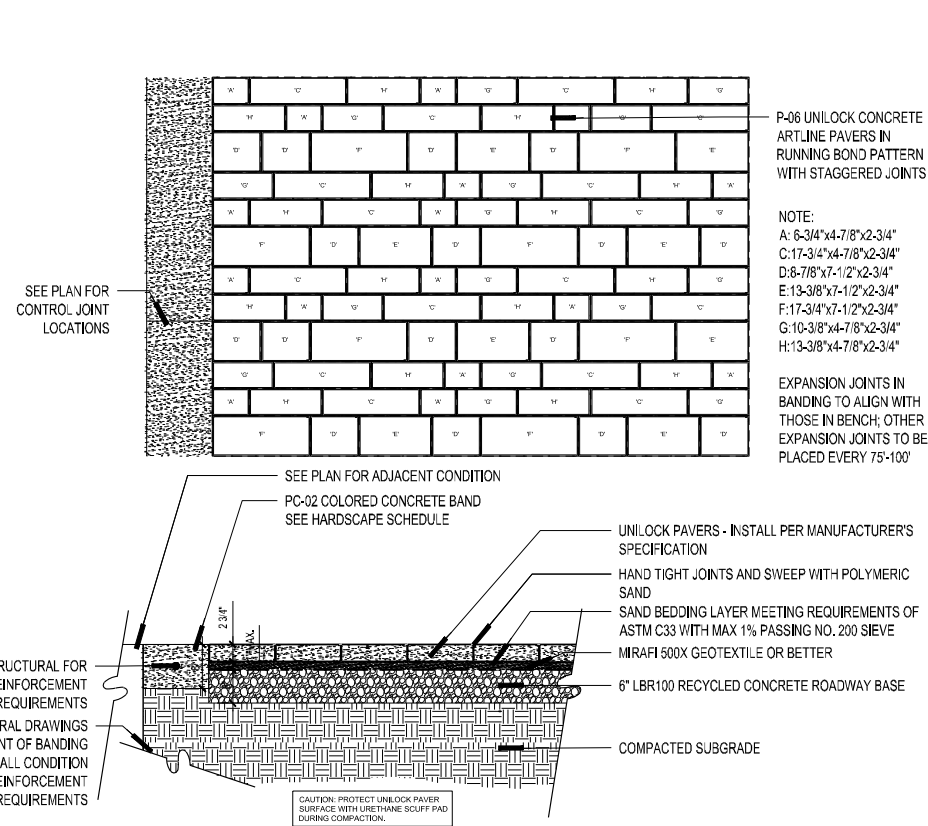
SEPTEMBER 23, 2022

Project Phase: ISSUE FOR PERMIT

Sheet Title: **HARDSCAPE PLAN**

Revision Number: **4** Sheet Number: **L3-1-02**
 Exhibit 1

Drawing name: C:\Users\SECAR\120002_Bahia Mar Marina Village\EDS\03-05-SHEETS\FDOT Permits\03-05-SHEETS\DETAILS-HARDSCAPE-PAVING L3-4-01 - HARDSCAPE DETAILS - PAVING Oct 12, 2022 11:22am by: jgwoods



Project Name
BAHIA MAR MARINA VILLAGE

Client
TRR BAHIA MAR LLC

Consultants
edsa PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN
1512 E. BROWARD BOULEVARD, SUITE 110 FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330 LCC000001

Consultants
THE CHAPPELL GROUP INC. ENVIRONMENTAL CONSULTANT
714 EAST MCNAB ROAD POMPANO BEACH, FL 33060
KIMLEY HORN ASSOCIATES CIVIL ENGINEER
615 SOUTH CONGRESS AVENUE SUITE 201 DELRAY BEACH, FL 33445
KOBI KARP ARCHITECTURE / INTERIOR DESIGN CONSULTANT 3 DISCIPLINE
2915 Biscayne Boulevard Suite 200 Miami, FL 33137
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500 NE THIRD AVENUE FORT LAUDERDALE, FLORIDA 33301
CSW STRUCTURAL GROUP STRUCTURAL ENGINEER
5397 ORANGE DRIVE SUITE 203 DAVIE, FLORIDA 33314

Key Plan

Rev	Date	Issued for
1	04.11.2022	PERMIT REVISION
2	05.12.2022	ADDENDUM
3	09.23.2022	PERMIT REVISION

Date: 08/26/2022
Designed By: DB
Drawn By: LG
Approved / Checked By: BSL
Project Number: 120002

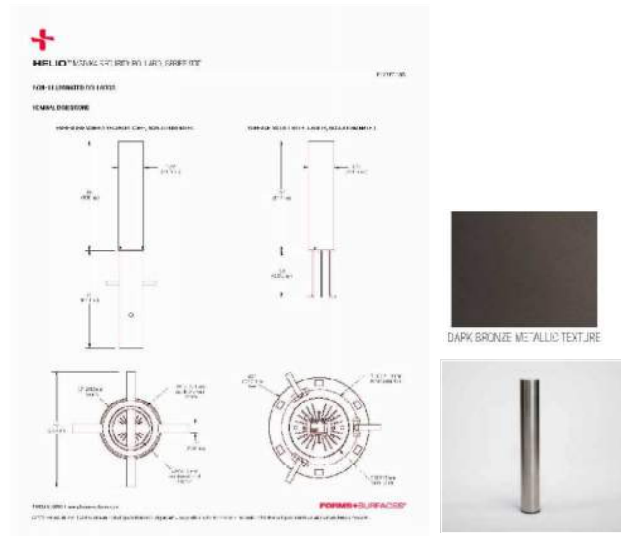
Seal

Project Phase
ISSUE FOR PERMIT

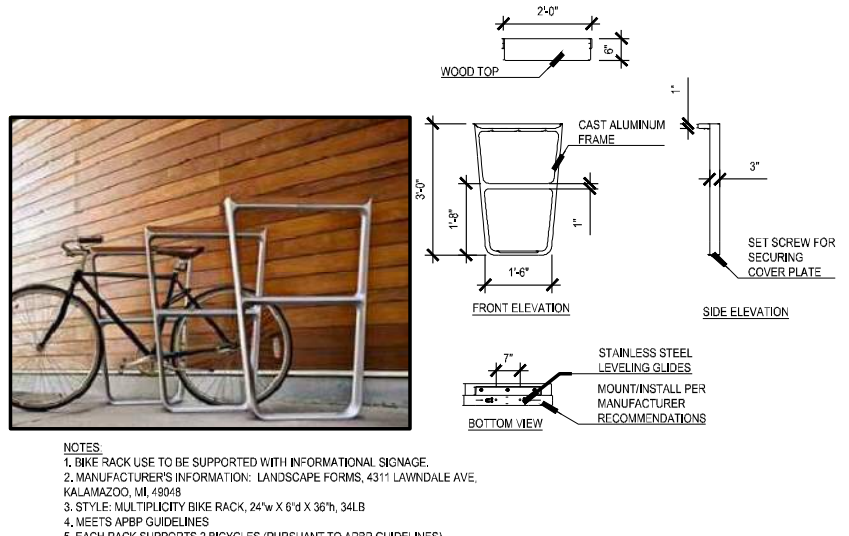
Sheet Title
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Revision Number: 4
Sheet Number: L3-4-01
CAL# 22-1728
Exhibit 1

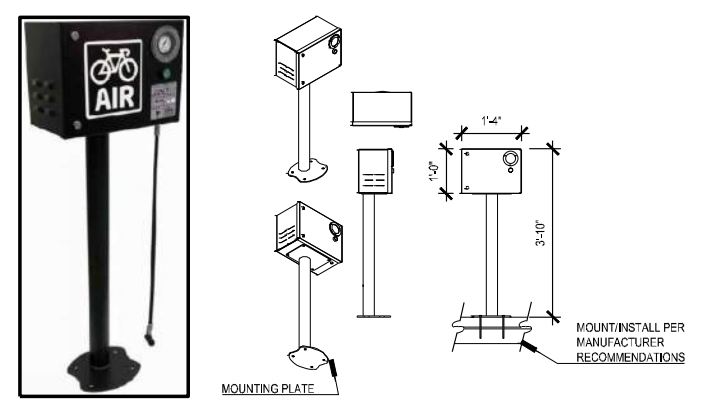
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1 SF-01 SECURITY BOLLARD
SCALE - NTS

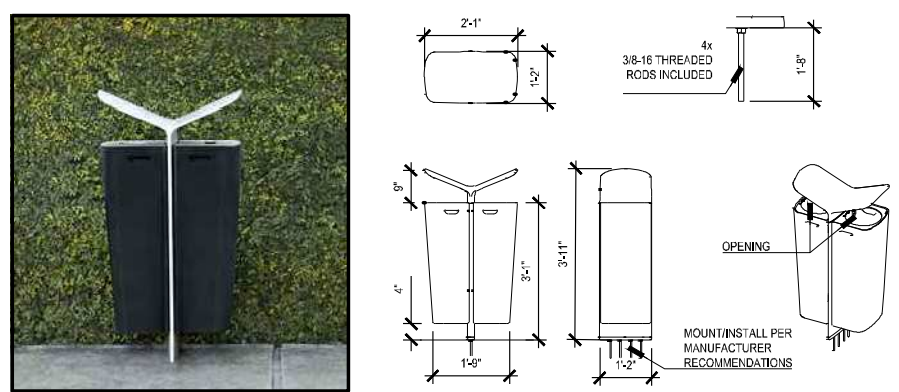


2 SF-02 BIKE RACK
SCALE - 1/2" = 1'-0"



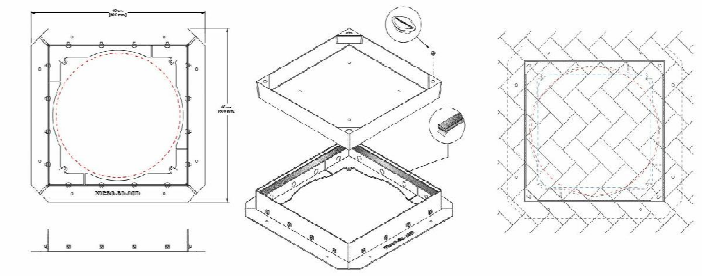
NOTES:
PUMPS ON SITE TO PROVIDE FREE AIR
MANUFACTURER: BIKE FIXATION LLC 2647 37th AVE S, UNIT 1 MINNEAPOLIS, MN 55406 USA
STYLE: LAG BOLT DEPTHS TO REACH SUB-SLAB

3 SF-03 ELECTRIC BIKE PUMP
SCALE - 1/2" = 1'-0"



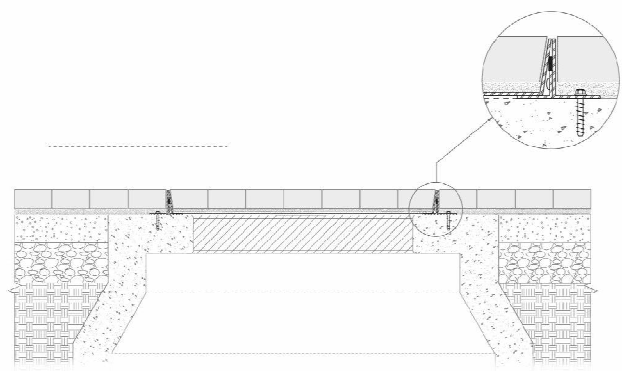
NOTES:
MANUFACTURER: LANDSCAPE FORMS, 431 LAWDALE AVENUE, KALAMAZOO, MI 49048
PHONE: 800-521-2546 www.landscapeforms.com
STYLE: MULTIPLICITY DOUBLE LITTER, EMBED MOUNT

4 SF-04 TRASH RECEPTACLE - DETAIL REMOVED
SCALE - NTS



NOTES:
DECORATIVE COVER INTENDED FOR ANY UTILITY COVER WITHIN HARDSCAPE AREAS (DECKING OR PAVERS). FILL MATERIAL SHALL MATCH THE SURROUNDING HARDSCAPE MATERIAL.
MANUFACTURER: WUNDERCOVER 3432 DENMARK AVE, STE 214 EAGAN, MN 55123 USA
STYLE: PAVER

5 SF-05 DECORATIVE MANHOLE COVER
SCALE - NTS

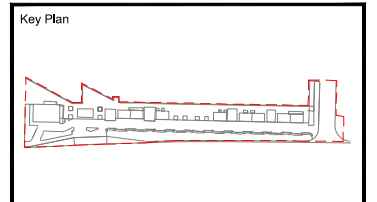


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Client
TRR BAHIA MAR LLC

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edsa
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TEL: 954.524.3330 LCC000001

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500 NE THIRD AVENUE FORT LAUDERDALE, FLORIDA 33301
CSW STRUCTURAL GROUP STRUCTURAL ENGINEER
5397 ORANGE DRIVE SUITE 203 DAVIE, FLORIDA 33314



Rev	Date	Issued for
1	04.11.2022	PERMIT REVISION
2	05.12.2022	ADDENDUM
3	09.23.2022	PERMIT REVISION

Date 08/26/2022
Designed By DB
Drawn By LG
Approved / Checked By BSL
Project Number 120002

Seal

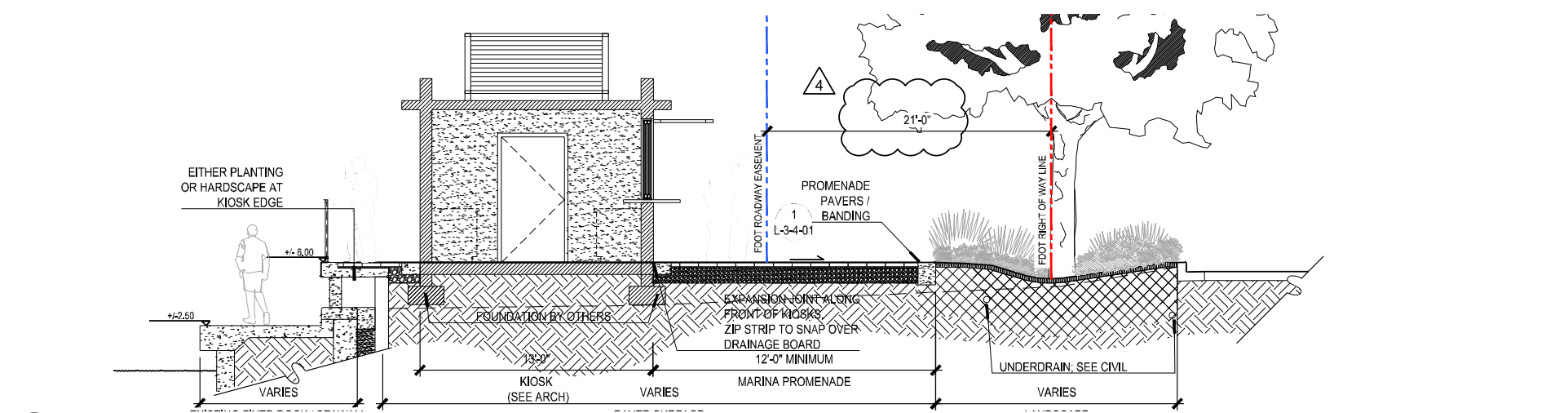
 SEPTEMBER 23, 2022

Project Phase
ISSUE FOR PERMIT

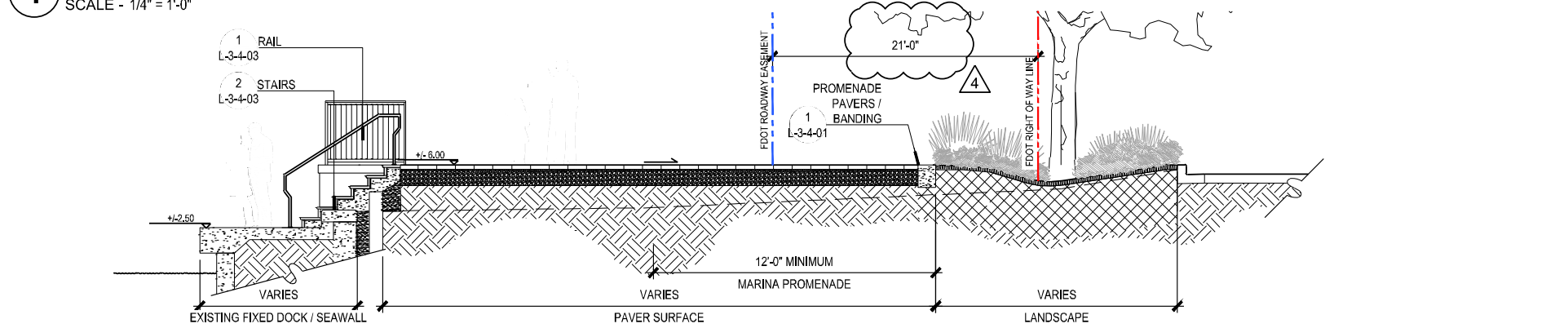
Sheet Title
HARDSCAPE DETAILS - FURNISHING AND SECTION

Revision Number Sheet Number
4 L3-4-04
Exhibit 1

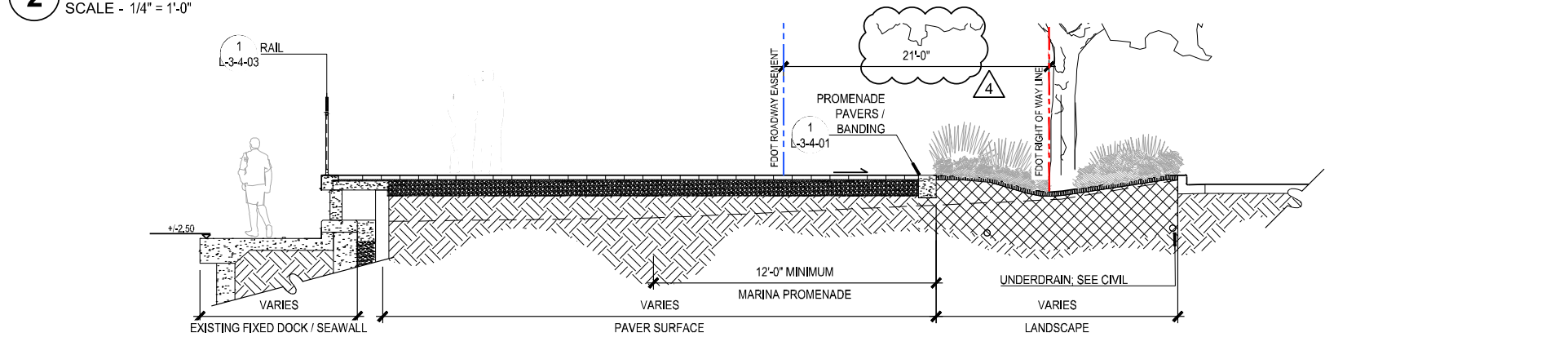
Drawing name: C:\Users\SECUR1\2022\Bahia Mar Marina Village\EDS\Sub\05-SHEETS\FDOT Permits\0024-L3-4-05-HARDSCAPE DETAILS - SECTIONS Oct 12, 2022 11:27am by: jgrobbs



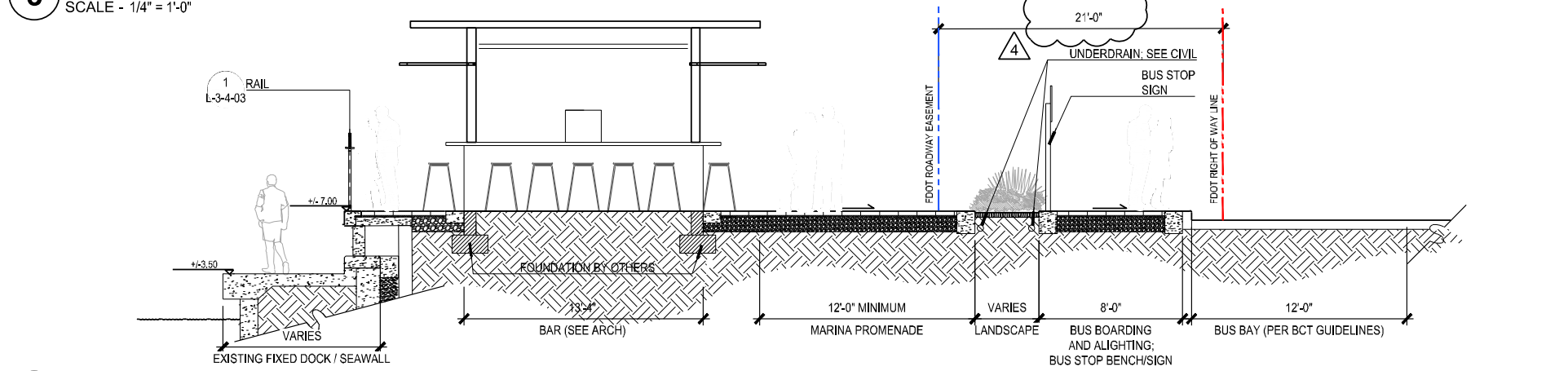
1 SECTION - MARINA PROMENADE AT FIXED DOCK AND KIOSK
SCALE - 1/4" = 1'-0"



2 SECTION - MARINA PROMENADE AT FIXED DOCK WITH STAIRS, TYP.
SCALE - 1/4" = 1'-0"



3 SECTION - MARINA PROMENADE AND FIXED DOCK (NO KIOSK)
SCALE - 1/4" = 1'-0"



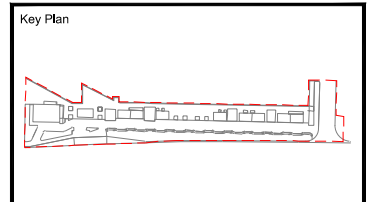
4 SECTION - MARINA PROMENADE AND FIXED DOCK AT BUS STOP
SCALE - 1/4" = 1'-0"

Project Name
BAHIA MAR MARINA VILLAGE

Client
TRR BAHIA MAR LLC

PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN
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1512 E. BROWARD BOULEVARD, SUITE 110
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Project Phase
ISSUE FOR PERMIT

Sheet Title
HARDSCAPE DETAILS - SECTIONS

Revision Number Sheet Number
4 L3-4-05
Exhibit 1

PC - PAVING / CURBS

SYMBOL	ITEM	DETAIL	DESCRIPTION	SOURCE	NOTES
PC-01	CONCRETE PAVEN	1 / L3-4-01	CONCRETE PLANK PAVERS IN ARTLINE PATTERN - 33% WINTER MARVEL - 33% FRENCH GRAY - 33% MIDNIGHT SKY	UNILOCK WWW.UNILOCK.COM PH: AUSTIN PHONE: (412) 551-7884 12500 SHEETS ROAD, HITMAN, OH 44270	RUNNING BOND, REFER TO PLAN. CONTRACTOR TO INSTALL PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO PROVIDE MOCK-UPS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO LAYING PAVERS. 5X5 MIN. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
PC-02	CONCRETE BANDING / COLOR CONCRETE	1 / L3-4-01	CONCRETE PAVING GRAY CONCRETE WITH INTEGRAL COLOR. COLOR: FRENCH GRAY FINISH: SANDBLAST	LM SCOFIELD SCOTT TRAVIS PHONE: (888) 219-9809 TRAVIS.SCOTT@US.SIKA.COM WWW.SCOFIELD.COM	CONTRACTOR TO PROVIDE MOCK-UP OF 1' X 5' SEGMENT WITH PC-01 MOCK-UP. CONTRACTOR TO PROVIDE MOCK-UP OF 5' X 5' SEGMENT WITH FINISH IN ADDITION TO BANDING MOCK-UP.
PC-03	STANDARD GRAY CONCRETE	2 / L3-4-01	STANDARD GRAY CONCRETE FINISH: SPONGE		CONTRACTOR TO PROVIDE MOCK-UP OF 5' X 5'

WS - WALLS / STAIRS None w/i FDOT right-of-way

SYMBOL	ITEM	DETAIL	DESCRIPTION	SOURCE	NOTES
WS-01	RETAINING WALL TYPE 1	2 / L3-4-02	INTEGRAL COLOR CONCRETE STEPS COLOR: FRENCH GRAY FINISH: SANDBLAST	LM SCOFIELD SCOTT TRAVIS PHONE: (888) 219-9809 TRAVIS.SCOTT@US.SIKA.COM WWW.SCOFIELD.COM	
WS-02	SOUTH ADA RAMP	5 / L3-4-03	CAST IN PLACE CONCRETE RAMP. COLOR AND FINISH: - STANDARD GRAY CONCRETE - FINISH: SPONGE		
WS-03	NORTH ADA RAMP	1 / L3-4-02	CAST IN PLACE CONCRETE RAMP. COLOR AND FINISH: - STANDARD GRAY CONCRETE - FINISH: SPONGE		
WS-04	CONCRETE AND PAVEN RAMP	4 / L3-4-02	CAST IN PLACE CONCRETE RAMP WITH CONCRETE PLANK PAVERS AND BANDING. COLOR AND FINISH: CONCRETE PLANK PAVERS IN ARTLINE PATTERN - 33% WINTER MARVEL - 33% FRENCH GRAY - 33% MIDNIGHT SKY		
WS-05	DOCK ACCESS STAIR TYPE 1	3 / L3-4-03	CONCRETE STEPS WITH PRECAST TREAD PAVEN AND RISERS FINISH: PRE-CAST CONCRETE TO MATCH FINISH OF WS-03 STAIRS COLOR: PRE-CAST CONCRETE TO MATCH COLOR OF WS-03 STAIRS SIZE: - TREAD: 13.5" L x 24" W x 1.5" D - RISER: 5.5" L x 24" W x 1.5" D		
WS-06	DOCK ACCESS STAIR TYPE 2	2 / L3-4-03	CONCRETE STEPS WITH PRECAST TREAD PAVEN AND RISERS FINISH: PRE-CAST CONCRETE TO MATCH FINISH OF WS-03 STAIRS COLOR: PRE-CAST CONCRETE TO MATCH COLOR OF WS-03 STAIRS SIZE: - TREAD: 13.5" L x 24" W x 1.5" D - RISER: 4.2" L x 24" W x 1.5" D	DO SPROCKHOFF LEONARDO LUZCATEGUI PHONE: (239) 587-7218 LEO@KEROKHOFFSTONE.COM WWW.KEROKHOFFSTONE.COM	
WS-07	CMU WALL	4 / L3-4-01	CMU WALL WITH PRE-CAST CONCRETE CAP FINISH: STUCCO TO MATCH ARCHITECTURE COLOR: STUCCO TO MATCH ARCHITECTURE CAP: PRE-CAST CONCRETE TO MATCH COLOR/FINISH OF PC-02 BANDING		

FG - FENCES / GATES / RAILINGS None w/i FDOT right-of-way

SYMBOL	ITEM	DETAIL	DESCRIPTION	SOURCE	NOTES
FG-01	ALUMINUM RAIL	1 / L3-4-03	CAST ALUMINUM WITH 3/8" SS CABLES. COLOR: DARK BROWN OR BRONZE TO MATCH ARCHITECTURE FINISH: POWDER COAT		MANUFACTURER TO SUBMIT SHOP DRAWINGS FOR APPROVAL.
FG-01L	ALUMINUM RAIL WITH DRINK LEDGE	1 / L3-4-03	CAST ALUMINUM WITH 3/8" SS CABLES. COLOR: DARK BROWN OR BRONZE TO MATCH ARCHITECTURE FINISH: POWDER COAT WOOD LEDGE: FINISH TO MATCH ARCHITECTURE		MANUFACTURER TO SUBMIT SHOP DRAWINGS FOR APPROVAL.
FG-02	RAMP RAIL				
FG-03	STAR RAIL	3 / L3-4-03	CAST ALUMINUM. COLOR: DARK BROWN OR BRONZE TO MATCH ARCHITECTURE POWDER COAT FINISH		MANUFACTURER TO SUBMIT SHOP DRAWINGS FOR APPROVAL.

SF - SITE FURNISHINGS

SYMBOL	ITEM	DETAIL	DESCRIPTION	SOURCE	NOTES
SF-01	SECURITY BOLLARD	1 / L3-4-04	STYLE: HELIX 10004 SECURITY BOLLARD, SERIES 900 FINISH: POWDERCOAT COLOR: DARK BRONZE METALLIC TEXTURE TO MATCH ARCHITECTURE.	FORMS AND SURFACES WWW.FORMSANDSURFACES.COM	SUBMIT C-#P SAMPLE FOR COLOR APPROVAL.
SF-02	BIKE RACK	2 / L3-4-04	STYLE: MULTIPLICITY 24" W x 6" D x 36" H, 34 LB EACH RACK SUPPORTS (2) BICYCLES)	LANDSCAPE FORMS 4311 LAWDALE AVE. KALAMAZOO, MI 49048 WWW.LANDSCAPEFORMS.COM	
SF-03	BIKE PUMP	3 / L3-4-04	ELECTRIC PUBLIC BIKE PUMP, PEDESTAL MOUNTED 120V. COLOR: BROWN RAL 8019 FINISH: POWDER COATED	SARIS INFRASTRUCTURE 2847 37TH AVE S, UNIT 1 MINNEAPOLIS, MN 55408	
SF-04	WASTE RECEPTACLE	4 / L3-4-04	STYLE: MULTIPLICITY DOUBLE LETTER, EMBED MOUNT	LANDSCAPE FORMS 4311 LAWDALE AVE. KALAMAZOO, MI 49048 WWW.LANDSCAPEFORMS.COM	CONTRACTOR TO SUBMIT PLAN LOCATIONS FOR LA & OWNER APPROVAL PRIOR TO INSTALLATION, QTY 10.
SF-05	MANHOLE COVER	5 / L3-4-04	STYLE: PAVEN OR DECKING INLAY	WUNDERCOVERS 3432 DENMARK AVE, STE 214 EAGAN, MN 55123	TO BE COORDINATED WITH UTILITY COMPANIES FOR LABELS NEEDED.

Project Name

BAHIA MAR MARINA VILLAGE

Client

TRR BAHIA MAR LLC

edsa PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN
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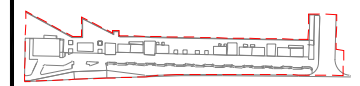
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CSW STRUCTURAL GROUP
STRUCTURAL ENGINEER
5397 ORANGE DRIVE
SUITE 203
DAVIE, FLORIDA 33314

Key Plan



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Date: 09/26/2022
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Drawn By: LG
Approved / Checked By: BSL
Project Number: 120002

Seal

 SEPTEMBER 23, 2022

Project Phase: **ISSUE FOR PERMIT**

HARDSCAPE SCHEDULE

Revision Number: **4** Sheet Number: **L3-5-01**
 Exhibit 1

Drawing name: C:\Users\SECURITY\2022\Bahia Mar Marina Village\EDS\05-05-SHETS\FDOT Permit\3-01-HARDSCAPE SCHEDULE.dwg 13-5-01 - HARDSCAPE SCHEDULE Oct 12, 2022 11:27am by: jlgrods

GENERAL NOTES:

- PRIOR TO PLANTING INSTALLATION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF ALL THE SPECIFIED PLANT MATERIALS. THE CONTRACTOR SHALL SUBMIT DATED PHOTOGRAPHS OF ALL PLANT MATERIAL NOT TAGGED BY THE OWNERS REPRESENTATIVE TO THE OWNERS REPRESENTATIVE FOR REVIEW PRIOR TO DELIVERY OF MATERIALS TO THE PROJECT. ALL PHOTOGRAPHS OF TREES AND PALMS SHALL HAVE A MEASURING DEVICE AND PERSON IN THE PHOTO FOR SCALE, NURSERY SOURCE, HEIGHT, WIDTH AND CALIPER OF PLANT MATERIAL SHALL BE INCLUDED WITH THE PHOTOGRAPH.
- THE PLANT MATERIAL QUANTITIES SHOWN IN THE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT MATERIAL QUANTITIES AND NOTIFYING THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES FOR CLARIFICATION PRIOR TO THE AWARD OF CONTRACT AND COMMENCEMENT OF WORK.
- THE OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT AT ANY STAGE OF THE OPERATION TO REJECT ANY PLANT MATERIALS THAT DO NOT COMPLY WITH THE REQUIREMENTS AS SPECIFIED HEREIN AND REQUIRE THE CONTRACTOR TO REPLACE THE REJECTED MATERIAL WITH MATERIAL MEETING THE SPECIFICATIONS. MAINTENANCE OF REPLACED MATERIAL SHALL CONTINUE UNTIL FINAL ACCEPTANCE.
- THE OWNERS REPRESENTATIVE MAY ADJUST THE LOCATIONS OF THE PLANT MATERIAL SHOWN ON THE PLANS TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS OR TO ACCOMPLISH DESIGN INTENT.
- NO PLANT MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE OWNERS REPRESENTATIVE.
- THE INSTALLATION OF ALL PLANT MATERIALS SHALL COMPLY WITH THE CODES, STANDARDS, REGULATIONS REQUIREMENTS AND ORDINANCES OF ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THIS WORK PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND BEAR ALL COSTS RELATED TO THE TESTING OF EXISTING SOILS, PREPARED PLANTING MIXES AND AMENDMENTS.
- THE CONTRACTOR SHALL PROTECT ALL PLANT MATERIAL TO REMAIN. THE CONTRACTOR SHALL INSTALL AND/OR MAINTAIN BARRICADES AS DETAILED ON THE DRAWINGS AND AS OUTLINED IN THE DEMOLITION/SITE CLEARING NOTES.
- THE CONTRACTOR SHALL REFER TO THE GENERAL, FINE GRADING AND HARDSCAPE NOTES, SPECIFICATIONS AND THE CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, IRRIGATION, STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS FOR ADDITIONAL REQUIREMENTS.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED THE FOLLOWING:
 - AMERICAN STANDARDS FOR NURSERY STOCK, ASN1260.1.
 - FLORIDA GRADE NO. 1, FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS FOR NURSERY PLANTS LATEST ADDITION.
- PLANTS SHALL BE SYMMETRICAL AS IS TYPICAL FOR THEIR VARIETY AND SPECIES. THEY SHALL BE FREE FROM PLANT DISEASE, INSECTS OR THEIR EGGS.
- NURSERY GROWN STOCK SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
- ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. HEIGHT AND SPREAD TAKE PRECEDENCE OVER CALIPER AND CONTAINER SIZES.
- CONTAINER PLANTS SHALL HAVE BEEN GROWN IN A RIGID CONTAINER FOR A MINIMUM TIME AS FOLLOWS:
 - TREES 2 YEARS.
 - SHRUBS 1 YEAR.
 - GROUNDCOVERS 6 MONTHS.
- ALL CONTAINER PLANTS SHALL HAVE ROOTS SUFFICIENTLY DEVELOPED TO HOLD THE SOIL TOGETHER WHEN REMOVED FROM ITS CONTAINER. NO PLANT MATERIAL SHALL BE BOUND TO THE CONTAINER NOR HAVE CIRCULAR ROOTS.
- BALLED AND BURLAPPED PLANTS WILL NOT BE ACCEPTED WHEN THE ROOT BALL HAS BEEN CRACKED OR BROKEN.
- PLANTS GROWN IN GROW BAGS ARE PROHIBITED.
- SOD SHALL BE THE SPECIES AS CALLED FOR ON THE DRAWINGS. SOD SHALL BE WELL MATTED WITH HEAVY ROOT DEVELOPMENT AND FREE OF WEEDS, FUNGUS AND OTHER DISEASES.
- SOD SHALL BE MACHINE CUT TO A COMMERCIAL SIZE WITH A UNIFORM THICKNESS OF 1-1/4 TO 1-1/2 INCH THICKNESS.

SOIL PREPARATION AND SOIL MIX NOTES:

- PREPARED PLANTING MIX SHALL CONSIST OF THE FOLLOWING:
 - TREES/SHRUBS/GROUNDCOVER.....70% CLEAN BUILDERS SAND, 30% TOPSOIL/PEAT MIX.
 - PALMS.....90% CLEAN BUILDERS SAND, 10% TOPSOIL/PEAT MIX.
 - ANNUALS.....50% CLEAN BUILDERS SAND, 25% PEAT, 25% VERMICULITE.
- PREPARED PLANTING MIX FOR LANDSCAPE ON STRUCTURE SHALL CONSIST OF THE FOLLOWING
 - 20% CLEAN BUILDERS SAND, 30% PEAT, 30% RICE ROCK, 20% PERLITE.
- THE COMPOSITION OF THE PREPARED PLANTING MIX MAY BE MODIFIED BASED ON RECOMMENDATIONS FROM THE SOIL TEST(S).
- TOPSOIL SHALL BE NATURAL SURFACE SOIL, FERTILE, FRIABLE AGRICULTURAL SOIL FREE OF WEEDS WITH 4-6% ORGANIC MATTER, A PH OF 5.5 TO 6.5 AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH.
- EXISTING SOIL MAY BE SUBSTITUTED FOR TOPSOIL AND/OR SAND BASED ON THE RESULTS OF THE SOIL TEST(S).
- PEAT SHALL BE ORGANIC PEAT SUITABLE FOR HORTICULTURAL PURPOSES. PEAT SHALL BE SHREDDED WITH PIECES NO LARGER THAN ONE-HALF INCH (1/2) IN DIAMETER. PEAT SHALL HAVE A PH OF 4.5 TO 6.5 AND SHALL BE STERILIZED TO MAKE IT FREE OF WEEDS AND NEMATODES.
- COMPOSTED ORGANICS SHALL BE WOOD SHAVINGS, PINE BARK, GREEN WASTES OR CLEAN AGRICULTURAL WASTES, WELL-ROTTED AND SCREENED THROUGH A ONE-HALF INCH (1/2) SCREEN.
- COMPONENTS OF THE PREPARED PLANTING MIX SHALL BE BLENDED OUTSIDE OF THE PLANTING BEDS, THE CONTRACTOR SHALL SUBMIT A 2-GALLON SAMPLE TO A CERTIFIED SOILS TEST LABORATORY FOR ANALYSIS, BASED ON THE LABORATORY ANALYSIS THE CONTRACTOR SHALL APPLY SOIL AMENDMENTS AS NECESSARY TO ADJUST THE PREPARED PLANTING MIX TO MEET THE FOLLOWING REQUIREMENTS:
 - PH VALUE BETWEEN 5.5 AND 6.6.
 - ORGANIC MATTER CONTENT BETWEEN 5% AND 10% OF TOTAL DRY WEIGHT.
 - NITROGEN 5% AVERAGE OF ORGANIC MATTER.
 - PHOSPHORUS 0.05% AVERAGE OF TOTAL SOIL CONTENT.
 - POTASSIUM 1.2% AVERAGE OF TOTAL SOIL CONTENT.
- FERTILIZER FOR PLANT MATERIALS SHALL BE AS FOLLOWS:
 - PALMS.....13-3-13 PLUS MINOR ELEMENTS-SLOW RELEASE, 1/2 LB. FERTILIZER PER 1/2 CALIPER INCH.
 - TREES.....8-6-6 PLUS MINOR ELEMENTS-SLOW RELEASE, 1/2 LB. FERTILIZER PER 1/2 CALIPER INCH.

FDOT GENERAL NOTES:

- GOVERNING STANDARD PLANS:

FLORIDA DEPARTMENT OF TRANSPORTATION, FY 2021-22 STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION AND APPLICABLE INTERIM REVISIONS (IR) ARE AVAILABLE AT THE FOLLOWING WEBSITE: [HTTPS://WWW.FDOT.GOV/DESIGN/STANDARDPLANS](https://www.fdot.gov/design/standardplans)
- GOVERNING STANDARD SPECIFICATIONS:

FLORIDA DEPARTMENT OF TRANSPORTATION, JANUARY 2022 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AT THE FOLLOWING WEBSITE: [HTTPS://WWW.FDOT.GOV/PROGRAMMANAGEMENT/IMPLEMENTED/SPECBOOKS](https://www.fdot.gov/programmanagement/implemented/specbooks)
- CONTRACTOR SHALL REPAIR ALL DAMAGE DONE TO FDOT PROPERTY DURING DEMOLITION, RELOCATION &/OR INSTALLATION ACTIVITIES AT HIS SOLE EXPENSE.
- ANY PLANT MATERIAL SUBSTITUTION WITHIN OR IMPACTING THE FDOT RIGHT OF WAY WHETHER REQUESTED BY THE CONTRACTOR, OWNER, LANDSCAPE ARCHITECT OR OTHER WILL NEED TO GET APPROVAL FROM THE FDOT DISTRICT LANDSCAPE ARCHITECT.

SOIL PREPARATION AND SOIL MIX NOTES: (cont.)

- SHRUBS/GROUNDCOVERS.....8-10-10 PLUS MINOR ELEMENTS-SLOW RELEASE, 1/2 LB. FERTILIZER PER 100 SQ. FT.
 - LAWNS.....16-4-8 PLUS MINOR ELEMENTS-SLOW RELEASE, 1LB. FERTILIZER PER 1,000 SQ. FT.
 - ENDO AND ECTOMYCORRHIZAL INOCULANTS.....DIE HARD OR OWNERS REPRESENTATIVE APPROVED EQUAL.
 - ANTIOESICANT.....WILT-PROOF OR OWNERS REPRESENTATIVE APPROVED EQUAL.
- ALL FERTILIZERS SHALL BE MANUFACTURED FROM QUALITY MATERIALS, FREE FROM IMPURITIES AND SHALL MEET RECOGNIZED STANDARDS FOR EFFECTIVENESS.
 - ALL FERTILIZERS SHALL BE FREE FLOWING AND SUITABLE FOR APPLICATION WITH APPROVED EQUIPMENT.
 - ALL FERTILIZER SHALL BE DELIVERED TO THE SITE IN CONTAINERS, EACH FULLY LABELED CONFORMING TO APPLICABLE STATE FERTILIZER LAWS AND BEARING THE GRADE AND TRADE NAME OF THE PRODUCER.
 - AFTER ROUGH GRADING HAS BEEN COMPLETED ONE SAMPLE OF EXISTING SOIL PER 5,000 SQ. FT. OF LANDSCAPE AREAS SHALL BE SUBMITTED TO A CERTIFIED SOILS TESTING LABORATORY FOR ANALYSIS AS TO THE SUITABILITY OF THE EXISTING SOIL TO MEET THE REQUIREMENT OF THE PREPARED PLANTING MIX.
 - SOIL SAMPLES SHALL BE TAKEN TO A DEPTH OF TWENTY-FOUR INCHES (24").
 - SHOULD TEST RESULTS INDICATE THAT THE EXISTING SOILS DO NOT FALL WITHIN THE REQUIREMENTS FOR PREPARED PLANTING MIX THE CONTRACTOR SHALL:
 - SUBMIT TO THE OWNERS REPRESENTATIVE FOR APPROVAL AN AMENDED PLANTING MIX ALONG WITH RECOMMENDATION FOR ORGANIC MATERIALS, FERTILIZERS AND/OR OTHER MATERIALS FOUND NECESSARY TO ASSURE OPTIMUM PLANT GROWTH. PROPOSED REVISIONS SHALL INCLUDE METHODOLOGY FOR INCORPORATING THE AMENDMENTS TO A DEPTH OF TWENTY-FOUR INCHES (24"). ANY RECOMMENDED REVISIONS SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF THE AMENDED PLANTING MIX....OR
 - EXCAVATE LANDSCAPE BEDS CONTAINING NONCOMPLIANT EXISTING SOILS TO A DEPTH OF 24 INCHES (24") AND BACKFILL WITH PREPARED PLANTING MIX AS SPECIFIED. PREPARED PLANTING MIX SHALL BE PLACED AND COMPACTED TO 80% STANDARD PROCTOR IN TWELVE INCH (12") LIFTS.
 - EXISTING SOILS MAY BE USED IN EITHER THE PREPARED OR AMENDED PLANTING MIXES AS DETERMINED BY THE SOIL TEST RECOMMENDATIONS.
 - EXCAVATED SOIL MAY BE USED FOR ONSITE FILL IF IT COMPLIES WITH GEOTECHNICAL REQUIREMENTS.
 - SUBMITTALS:
 - RESULTS OF SOILS TESTS INCLUDING CONTENT/MIX ANALYSIS AND AMENDMENT RECOMMENDATIONS.
 - CERTIFICATION THAT PREPARED AND/OR AMENDED PLANTING MIX MEETS REQUIREMENTS.
 - LITERATURE AND PROPOSED APPLICATION RATES FOR SOIL AMENDMENTS, HERBICIDES AND STERILIZERS.

PLANTING NOTES: (cont.)

- ALL PLANT PITS SHALL BE EXCAVATED TO A WIDTH AND DEPTH AS INDICATED ON THE DRAWINGS.
- PLANT MATERIALS SHALL BE CENTERED IN THEIR PITS, FACED FOR BEST EFFECT AND SET PLUMB FOR BACKFILLING.
- SHRUB/GROUNDCOVER PLANTINGS SHOWN IN MASS PLANTING BEDS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION. SEE DRAWINGS FOR TRIANGULAR SPACING DETAIL AND PLANT MATERIAL LIST FOR ON-CENTER PLANT SPACING.
- BALLED AND BURLAPPED PLANTS SHALL HAVE THE BURLAP, STRINGS, STRAPS AND WIRE CAGES REMOVED FROM THE TOP 1/3 OF THE ROOT BALL.
- PLACE BACKFILL IN PLANT PITS IN LAYERS NOT TO EXCEED 1/3 THE DEPTH OF THE ROOT BALL AND TAMP FIRMLY IN PLACE. PRIOR TO PLACING THE FINAL LAYER, THE PIT SHALL BE FILLED WITH WATER AND THE SOIL ALLOWED TO SETTLE.
- AFTER SETTLEMENT THE CROWN OF THE ROOT BALL SHALL BE ABOVE FINISHED GRADE AS INDICATED ON THE DRAWINGS. PLANTS WITH ROOT BALLS SET BELOW INDICATED HEIGHTS WILL BE REQUIRED TO BE REMOVED AND REPLANTED.
- TREES/PALMS SHALL BE STAKED ACCORDING TO THE DETAILS ON THE DRAWINGS.
- MULCH AS DESIGNATED ON THE DRAWINGS SHALL BE PLACED THROUGHOUT ALL PLANTING AREAS.
- NO MULCH SHALL BE PLACED OVER SHRUB/GROUNDCOVER ROOT BALLS OR WITHIN 4' OF TREE OR PALM TRUNKS.
- SOD SHALL BE PLACED WITH STAGGERED BUTT TIGHT JOINTS. THERE SHALL BE NO VOIDS OR OVERLAPPING OF EDGES BETWEEN SOD PIECES.
- SOD SHALL BE ROLLED IMMEDIATELY AFTER BEING PLACED. CLEAN BUILDERS' SAND SHALL BE USED TO FILL ANY RESULTING VOIDS OR UNEVENNESS IN THE SOD SURFACE. ANY AREAS REQUIRING EXCESSIVE TOP-DRESSING SHALL HAVE THE SOD REMOVED, THE AREA REGRADED AND RE-SODDED.
- THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS AND/OR SPECIFICATIONS FOR ADDITIONAL PLANTING INSTRUCTIONS.

ROADWAY (F.D.O.T.) DESIGN SPEED

- DESIGN SPEED = 35 MPH.

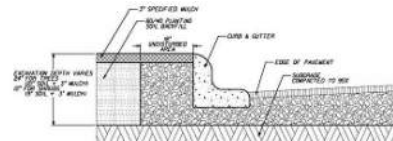
POST PLANTING NOTES :

- MAINTENANCE:
 - DURING THE PROJECT WORK PERIOD PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE, THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL.
 - MAINTENANCE DURING THE WORK PERIOD PRIOR TO THE SUBSTANTIAL COMPLETION ACCEPTANCE SHALL CONSIST OF WATERING, CULTIVATING, WEEDING, MULCHING, REMOVAL OF DEAD MATERIAL, REPAIRING/TIGHTENING OF STAKES AND GUYS, RESETTING PLANTS TO PROPER GRADES AND UPRIGHT POSITION AND FURNISHING AND APPLYING SUCH SPRAYS AS NECESSARY TO KEEP PLANT MATERIAL REASONABLY FREE OF DAMAGING INSECTS AND DISEASE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING ALL PLANT MATERIAL AS REQUIRED TO SUPPLEMENT IRRIGATION AND RAINFALL IN ORDER TO ENSURE PLANT MATERIAL ESTABLISHMENT.
- SUBSTANTIAL COMPLETION ACCEPTANCE:
 - UPON WRITTEN NOTICE FROM THE CONTRACTOR, THE OWNERS REPRESENTATIVE SHALL REVIEW THE WORK AND DETERMINE IF THE WORK IS SUBSTANTIALLY COMPLETE.
 - FOR THE PURPOSE OF ACCEPTANCE ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, UNDAUNAGED, FREE OF WEEDS AND DISEASE, AND EXHIBITING EVIDENCE OF ESTABLISHING NEW ROOTS, PLANT MATERIAL DEEMED UNACCEPTABLE SHALL BE REMOVED AND REPLACED.
 - THE DATE OF SUBSTANTIAL COMPLETION OF THE PLANTING SHALL BE THE DATE WHEN THE OWNERS REPRESENTATIVE ACCEPTS IN WRITING THAT ALL WORK RELATED TO PLANTING IS COMPLETE.
- WARRANTY:
 - ALL PLANT MATERIAL SHALL BE WARRANTED IN WRITING BY THE CONTRACTOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF WRITTEN NOTIFICATION OF SUBSTANTIAL COMPLETION. REPLACEMENT OF PLANT MATERIAL DURING THE WARRANTY PERIOD SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL HAVE THE SAME WARRANTY PERIOD OF ONE (1) YEAR FROM DATE OF REPLACEMENT.

FDOT PLANTING NOTES, CONT.:

- FOR THE PORTION OF LANDSCAPE PLANT MATERIAL THAT WILL BE INSTALLED WITHIN THE FOOT RIGHT OF WAY REFER TO THE FDOT STANDARD PLANS INDEX 580-001 LANDSCAPE INSTALLATION.

ONLINE REFERENCE: [HTTPS://FDOTWWW.BLOB.CORE.WINDOWS.NET/SITEFINITY/DOCS/DEFAULT-SOURCE/DESIGN/STANDARDPLANS/2023/0X580-001.PDF?la=en](https://fdotwww.blob.core.windows.net/sitefinity/docs/default-source/design/standardplans/2023/0X580-001.PDF?la=en)
- IT IS RECOMMENDED THAT YOU VERIFY THE EXISTING SOIL CONDITIONS OF MEDIANS TO BE PLANTED PRIOR TO FINALIZING YOUR CONSTRUCTION DOCUMENTS. IF THE EXISTING SUB-GRADE IS COMPACTED ROAD BASE, IT IS RECOMMENDED THAT YOU SPECIFY REPLACEMENT WITH PLANTING SOIL, AS FOLLOWS:
 - CONTRACTOR SHALL PRESERVE A CONTINUOUS BAND OF UNDISTURBED COMPACTED SUB-BASE 18" FROM THE BACK OF CURB (SEE DETAIL BELOW).
 - CONTRACTOR SHALL INSURE THAT ALL UNSUITABLE SOIL INCLUDING CONCRETE, PAVEMENT, ROAD BASE, STONES OVER 3" DIAMETER AND ALL CONSTRUCTION DEBRIS, IS REMOVED FROM MEDIAN AREA TO BE PLANTED AND REPLACED WITH SPECIFIED PLANTING SOIL. E.G., 60% SAND AND 40% MUCK.
 - AREAS TO BE PLANTED WITH SHRUBS AND/OR GROUND COVERS: REMOVE COMPACTED SOIL TO A DEPTH OF 12" AND REPLACE WITH SPECIFIED PLANTING SOIL. PLANTING SOIL SHALL COME UP TO 4" FROM TOP OF CURB, RESERVING SPACE FOR 3" COMPACTED MULCH AND 1" CLEAR FROM TOP OF CURB.
 - PLANTING PITS FOR TREES AND PALMS: REMOVE COMPACTED SOIL WITHIN THE AREA OF EACH PLANTING PIT TO A DEPTH OF 24" FROM THE TOP OF CURB. PLANTING SOIL SHALL COME UP TO 4" FROM TOP OF CURB, RESERVING SPACE FOR 3" COMPACTED MULCH, AND 1" CLEAR FROM TOP OF CURB.



FDOT GENERAL NOTES, CONT.:

- ARCHITECTURAL PAVERS INSTALLATION FOR SIDEWALKS, MEDIANS, DRIVEWAYS, OR ROADWAYS WITHIN THE FDOT RIGHT OF WAY SHALL COMPLY WITH CURRENT FDOT STANDARD SPECIFICATION 526.

ONLINE REFERENCE: [HTTPS://FDOTWWW.BLOB.CORE.WINDOWS.NET/SITEFINITY/DOCS/DEFAULT-SOURCE/PROGRAMMANAGEMENT/IMPLEMENTED/SPECBOOKS/JANUARY-2022/JANUARY2022-EBOOK.PDF?SVVERSION=41487013_4](https://fdotwww.blob.core.windows.net/sitefinity/docs/default-source/programmanagement/implemented/specbooks/january-2022/january2022-ebook.pdf?sversion=41487013_4)
- OWNERSHIP OF ALL SUITABLE EXCAVATED MATERIALS, AS DETERMINED BY THE DEPARTMENT, SHALL REMAIN IN THE DEPARTMENT UNTIL A FINAL ACCEPTANCE OF THE PERMITTED PROJECT IS FULFILLED. EXCAVATED MATERIALS SHALL BE HAULED BY THE PERMITTEE, AT THEIR COST & EXPENSE FROM THE SITE TO THE FDOT BROWARD OPERATIONS CENTER OR STOCKPILED IN THOSE AREAS AS DIRECTED BY THE DEPARTMENT, INCLUDING ASPHALT MILLINGS.

FDOT PLANTING NOTES:

- FOR THE PORTION OF LANDSCAPE PLANT MATERIAL THAT WILL BE INSTALLED WITHIN THE FDOT RIGHT OF WAY, LANDSCAPE INSTALLATION SHALL COMPLY WITH CURRENT APPLICABLE FDOT MAINTENANCE SPECIFICATION 800.

ONLINE REFERENCE: [HTTPS://FDOTWWW.BLOB.CORE.WINDOWS.NET/SITEFINITY/DOCS/DEFAULT-SOURCE/PROGRAMMANAGEMENT/IMPLEMENTED/SPECBOOKS/JANUARY-2022/JANUARY2022-EBOOK.PDF?SVVERSION=41487013_2](https://fdotwww.blob.core.windows.net/sitefinity/docs/default-source/programmanagement/maintenance/jan22/ssms000000w-122.pdf?sversion=41487013_2)
- CYPRESS MULCH IS NOT PERMITTED ON FDOT RIGHT OF WAY. MULCH PERMITTED TO BE USED ARE HARDWOOD MULCH (CONTAINING NO CYPRESS PRODUCTS), RECYCLED MULCH OR APPROVED EQUAL. CERTIFIED BY THE MULCH AND SOIL COUNCIL (MSC), SUBMIT PROOF OF CERTIFICATION TO THE FDOT DISTRICT OPERATIONS PERMIT LANDSCAPE INSPECTOR UPON INSPECTION.

Project Name

BAHIA MAR MARINA VILLAGE

Client

TRR BAHIA MAR LLC

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
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TEL: 954.524.3330 | LCC000001

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Key Plan

Rev	Date	Issued for
A	04.11.2022	PERMIT REVISION
B	05.12.2022	ADDENDUM
C	09.23.2022	PERMIT REVISION

Date	09/26/2022
Designed By	DB
Drawn By	LG
Approved / Checked By	BSL
Project Number	120002

SEPTEMBER 23, 2022

Project Phase

ISSUE FOR PERMIT

Sheet Title

LANDSCAPE NOTES

Revision Number	Sheet Number
4	L5-0-01

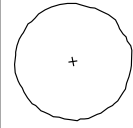
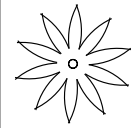





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Exhibit 1

Page 15 of 32

Drawing name: C:\TerraSec\491\2002-Bahia Mar Marina Village\EDS\491-01-LANDSCAPE DETAIL.dwg L5-0-01 - LANDSCAPE NOTES Oct 12, 2022 11:22am by jrgoode

BAHIA MAR MARINA VILLAGE - PLANT LIST								
QTY	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER	SIZE	CALIPER	NATIVE	SPECIFICATIONS
CANOPY/SHADE TREES								
12	CE	<i>Conocarpus erectus</i>	Green Buttonwood	B&B PPG	10.5 CT, 18" HGT. x 10' SPD.	8" Cal Min.	YES	FG - LA to approve source
LARGE PALMS								
45	CNX-9	<i>Cocos nucifera</i> "Green Malaysian"	Green Malaysian Coconut	B&B	10' CT	9" Cal	YES	9" Cal/ 12 Fronds min./ Heavy/ C.W. per plants/ FG
9	CNX-14	<i>Cocos nucifera</i> "Green Malaysian"	Green Malaysian Coconut	B&B	14.5 CT	9" Cal	YES	9" Cal/ 12 Fronds min./ Heavy/ C.T. per plants/ FG

LEGEND

-  CANOPY / SHADE TREES
-  LARGE PALMS
-  ACCENT UP LIGHTS
-  TREE MOUNTED DOWN LIGHTS
-  A1A STREET LIGHTS
-  PEDESTRIAN POST LIGHT
-  RECEPTACLE DUPLEX GFI

Project Name
BAHIA MAR MARINA VILLAGE

Client
TRR BAHIA MAR LLC

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Consultants

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714 EAST MCNAB ROAD
POMPANO BEACH, FL 33060

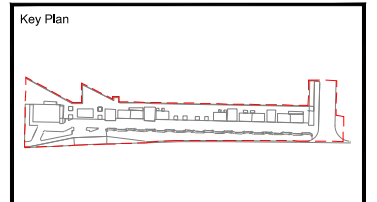
KIMLEY HORN ASSOCIATES
CIVIL ENGINEER
615 SOUTH CONGRESS AVENUE
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DELRAY BEACH, FL 33445

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1	04.11.2022	PERMIT REVISION
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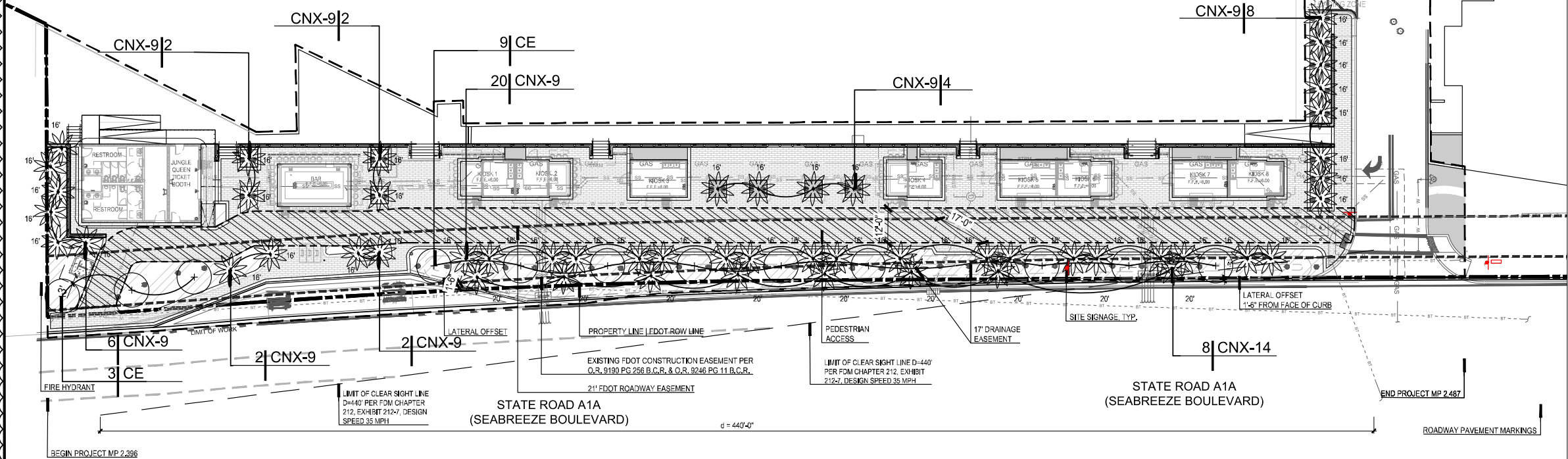
Date: 09/26/2022
Designed By: DB
Drawn By: LG
Approved / Checked By: BSL
Project Number: 120002



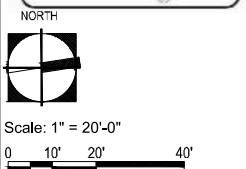
Project Phase
ISSUE FOR PERMIT

Sheet Title
TREE PLAN AND SCHEDULE

Revision Number: 4
Sheet Number: L5-1-01
Exhibit 1



NOTE: PALMS PREVIOUSLY PROPOSED IN DRC APPROVED PLAN ALONG WEST SIDE OF KIOSKS HAVE BEEN ELIMINATED DUE TO CONFLICT WITH RETAINING WALL FOUNDATION. PROPOSED LANDSCAPE STILL MEETS AND EXCEEDS MINIMUM LANDSCAPE REQUIREMENTS.



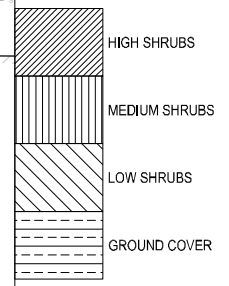
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ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Drawing Name: C:\Users\SECAR\OneDrive\Documents\Projects\DOT Permits\2022-4-91-0003\15-01-TREE PLAN - CA 10 2022 - 11.dwg
Drawing Date: 09/26/2022
Drawing User: Marina Villaggio
Drawing Title: Tree Plan and Schedule
Drawing Scale: 1" = 20'-0"

BAHIA MAR MARINA VILLAGE - CD PLANT LIST					
QTY	CODE	BOTANICAL NAME	COMMON NAME	NATIVE	SPECIFICATIONS
SHRUBS-HIGH					
175	CHR	<i>Chrysobalanus icaco 'Red Tip'</i>	Red Tip Coccoloba	YES	18" O.A./ 3 Gal/ 24" O.C./ Full
258	CLR	<i>Clusia rosea 'Nana'</i>	Dwarf Patch Apple	YES	18" O.A./ 3 Gal/ 24" O.C./ Full
16	CLG	<i>Clusia gnifera</i>	Small Leaf Clusia	NO	18" O.A./ 3 Gal/ 24" O.C./ Full
SHRUBS-MEDIUM					
182	COE	<i>Coccoloba erectus 'sericeus'</i>	Silver Buttonwood	YES	24" Ht. x 18" Spr./ 3 Gal/ 24" O.C./ Full
485	ZAM	<i>Zamia floridana</i>	Coccoloba	YES	18" Ht./ 3 Gal/ 24" O.C.
SHRUBS-LOW					
353	HYM	<i>Hymenocallis laetifolia</i>	Spider Lily	YES	12" Ht./ 1 Gal/ 18" O.C.
446	MUH	<i>Muhlenbergia capillaris</i>	Pink Muhly Grass	YES	18" HL/ 3 Gal/ 24" O.C.
210	TRF	<i>Tripsacum dactyloides</i>	Fakahatchee Grass	YES	30" Ht./ 3 Gal/ 36" O.C.
267	LIR	<i>Liriodendron 'NiMa'</i>	NiMa Lilyturf	NO	12" Ht./ 1 Gal/ 12" O.C.

LEGEND



Project Name
BAHIA MAR MARINA VILLAGE

Client
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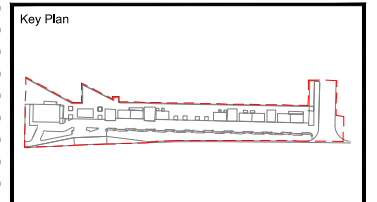
KIMLEY HORN ASSOCIATES
CIVIL ENGINEER
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1	04.11.2022	PERMIT REVISION
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3	09.23.2022	PERMIT REVISION

Date	08/26/2022
Designed By	DB
Drawn By	LG
Approved / Checked By	BSL
Project Number	120002

Seal

SEPTEMBER 23, 2022

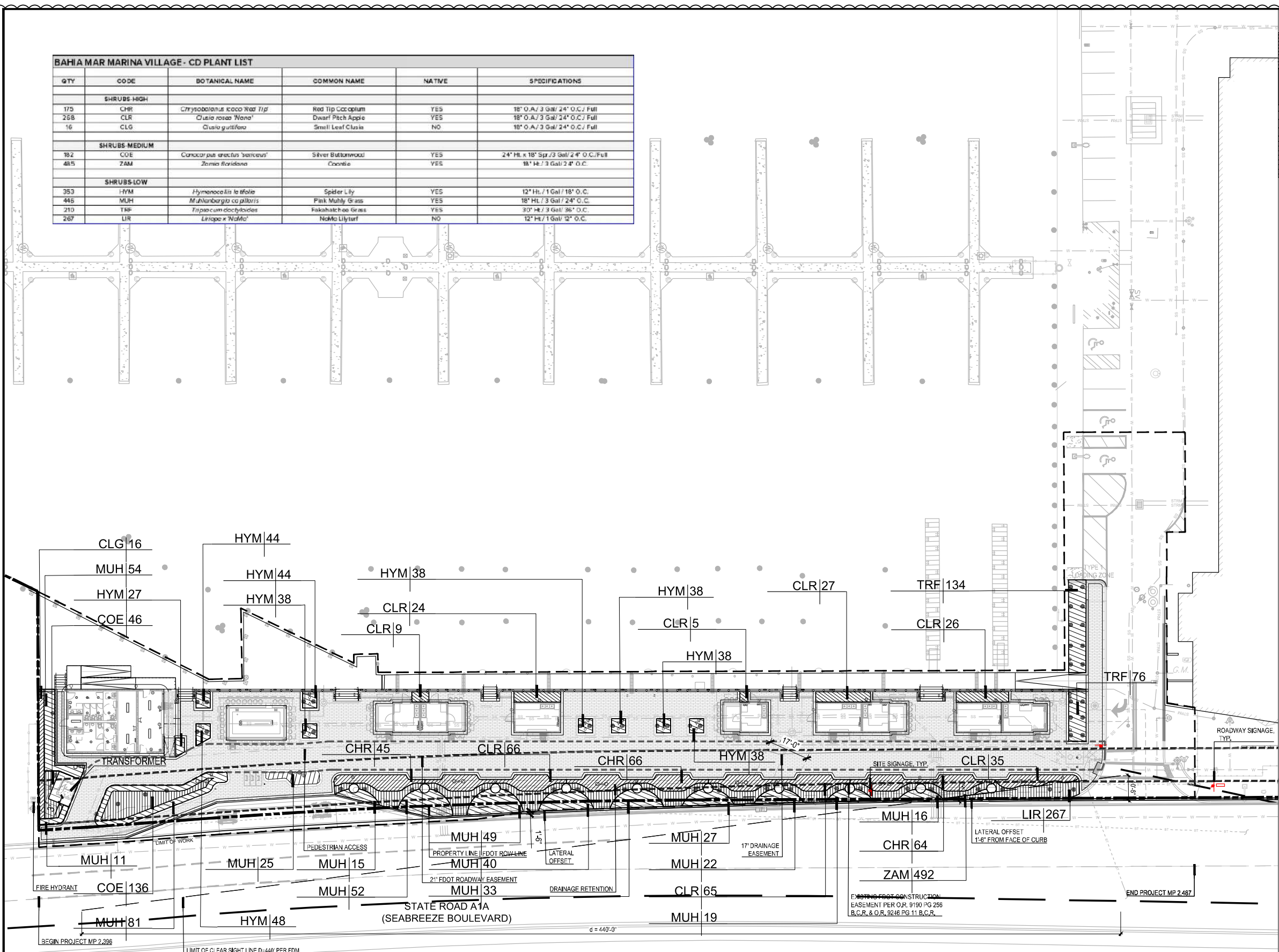
Project Phase
ISSUE FOR PERMIT

Sheet Title
SHRUB PLAN AND SCHEDULE

Revision Number	Sheet Number
4	L6-1-01

Exhibit 1

Drawing name: C:\Users\SECAR\Documents\Bahia Mar Marina Village\EDS\Submittals\CD\Permit\00024-1-19-18\FB.dwg (6-10-19) SHRUB PLAN AND SCHEDULE Oct 12, 2022 11:22am by:lgp006



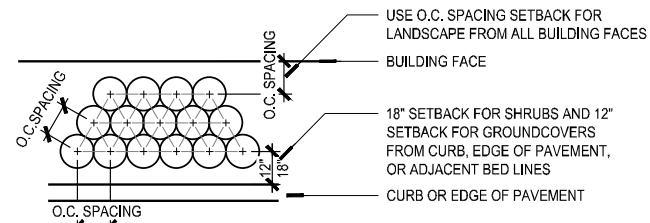
Always call 811 two full business days before you dig to have underground utilities located and marked.

sunshine 811.com

NORTH

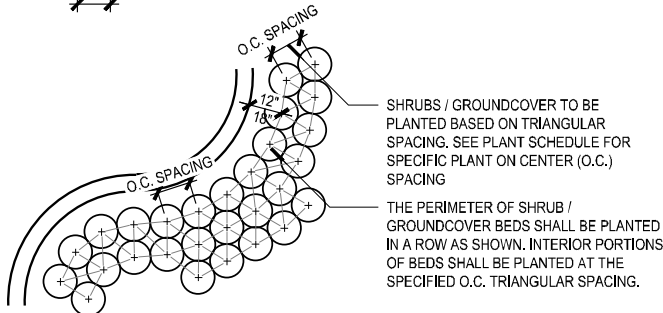
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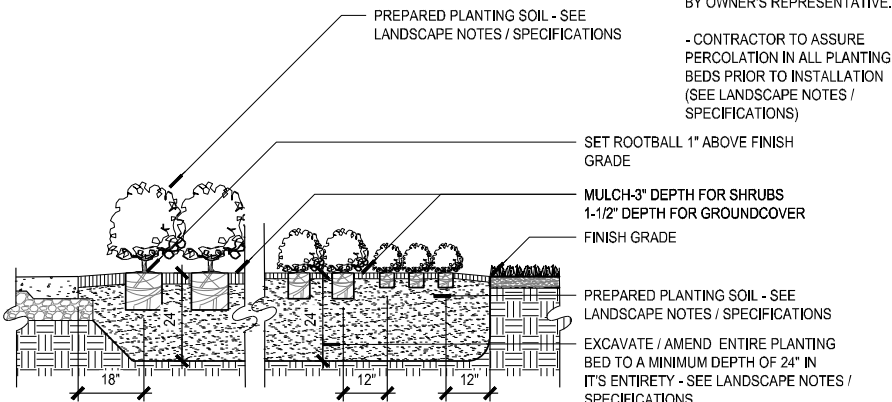


NOTE:

- CONTRACTOR TO DELINEATE OUTLINE OF PLANTING BEDS FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE.
- CONTRACTOR TO ASSURE PERCOLATION IN ALL PLANTING BEDS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES / SPECIFICATIONS)



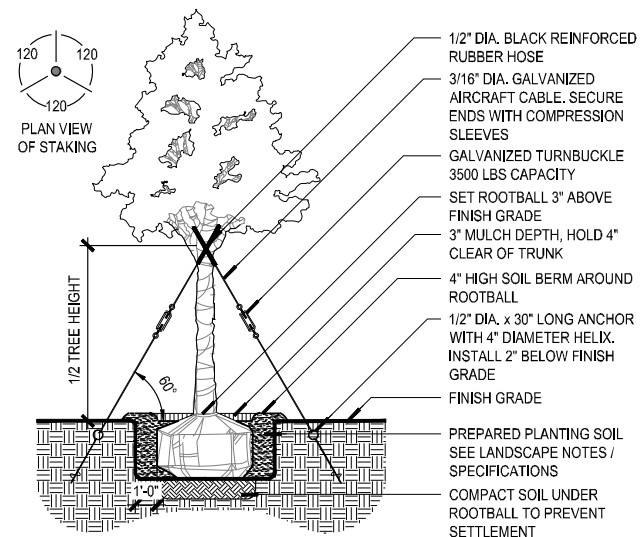
1 SHRUB OR GROUNDCOVER SPACING
SCALE - 3/4" = 1'-0"



NOTE:

- CONTRACTOR TO DELINEATE OUTLINE OF PLANTING BEDS FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE.
- CONTRACTOR TO ASSURE PERCOLATION IN ALL PLANTING BEDS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES / SPECIFICATIONS)

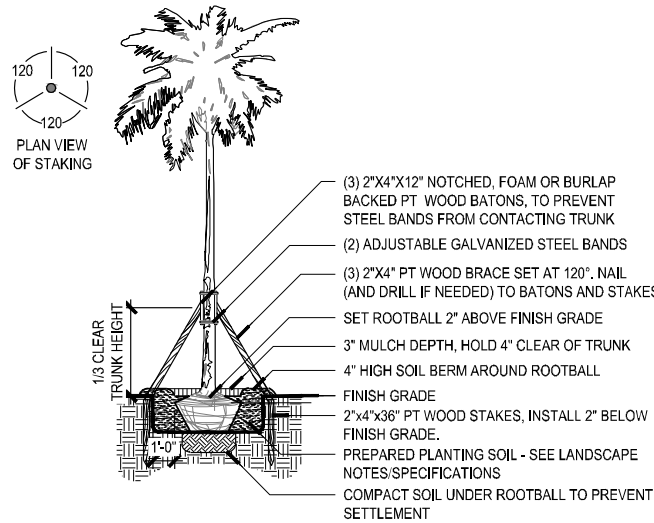
2 SHRUB OR GROUNDCOVER PLANTING
SCALE - 3/4" = 1'-0"



NOTE:

- CONTRACTOR TO STAKE LOCATION OF TREES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION
- CONTRACTOR TO ASSURE PERCOLATION IN ALL PLANTING BEDS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES / SPECIFICATIONS)
- ALL TREES TO BE SET PLUMB IN PLANTING PIT

3 CANOPY/SHADE TREE STAKING 3-7 CALIPER
SCALE - 3/4" = 1'-0"



NOTE:

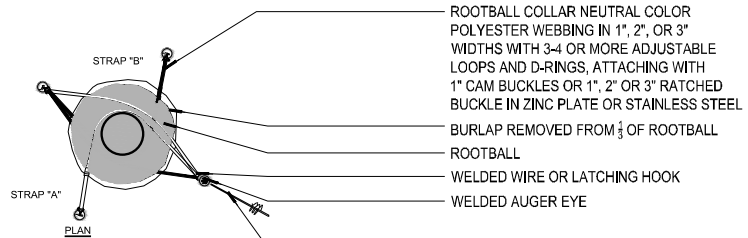
- CONTRACTOR TO STAKE LOCATION OF PALMS FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION
- CONTRACTOR TO ASSURE PERCOLATION IN ALL PLANTING BEDS PRIOR TO INSTALLATION (SEE LANDSCAPE NOTES / SPECIFICATIONS)
- ALL PALMS TO BE SET PLUMB IN PLANTING PIT

4 SMALL PALM STAKING
SCALE - 3/4" = 1'-0"

NOTE:

1. ALL QUALITY TREE CARE PRODUCTS ARE SUPERIOR QUALITY MULTIPART SYSTEMS WHICH INCLUDE EVERYTHING FOR THE SECURE ANCHORING OF PALMS AND OTHER TREES. THE SYSTEMS CONSISTS OF NEUTRAL COLOR HIGH STRENGTH POLYESTER WEBBING IN 1", 2", AND 3" WIDTHS, ATTACHED ARE 3-4 OR MORE ADJUSTABLE LOOPS AND D-RINGS IN COMPATIBLE SIZES TO THE WEBBING WITH A 1" CAM BUCKLE OR A 1", 2", OR 3" RATCHET BUCKLE. CABLING IS 7 X 19 GALVANIZED AIRCRAFT CABLE FROM 1/2" TO 3/4" OR LARGER, IF NEEDED, INCLUDING A 3/4" X 6" TO 1/2" X 12" TURNBUCKLES, COMPLETING THE SYSTEMS ARE 1/2" TO 3/4" CABLE CLAMPS. 2. ALL HARDWARE SIZES ON DETAILS CAN BE SPECIFIED BASED ON THE TREE SIZE AND SPECIFIC LOAD REQUIREMENTS. 3. ALL STEEL COMPONENTS ARE EITHER ZINC PLATE, MALLEABLE DROP FORGED GALVANIZED OR MAY BE SPECIFIED IN TAINLESS STEEL IF DESIRED. 4. CONTACT:

OASIS TREE CARE PRODUCTS- PALM AND TREE ANCHORING SYSTEMS
P.O. BOX 596, SPICEWOOD, TX 78669
PH: 713.665.7256
WWW.hciglobal.com/gls@hciglobal.com
(U.S. PATENT US6,389,743 B1)



ROOTBALL COLLAR NEUTRAL COLOR POLYESTER WEBBING IN 1", 2", OR 3" WIDTHS WITH 3-4 OR MORE ADJUSTABLE LOOPS AND D-RINGS, ATTACHING WITH 1" CAM BUCKLES OR 1", 2" OR 3" RATCHET BUCKLE IN ZINC PLATE OR STAINLESS STEEL

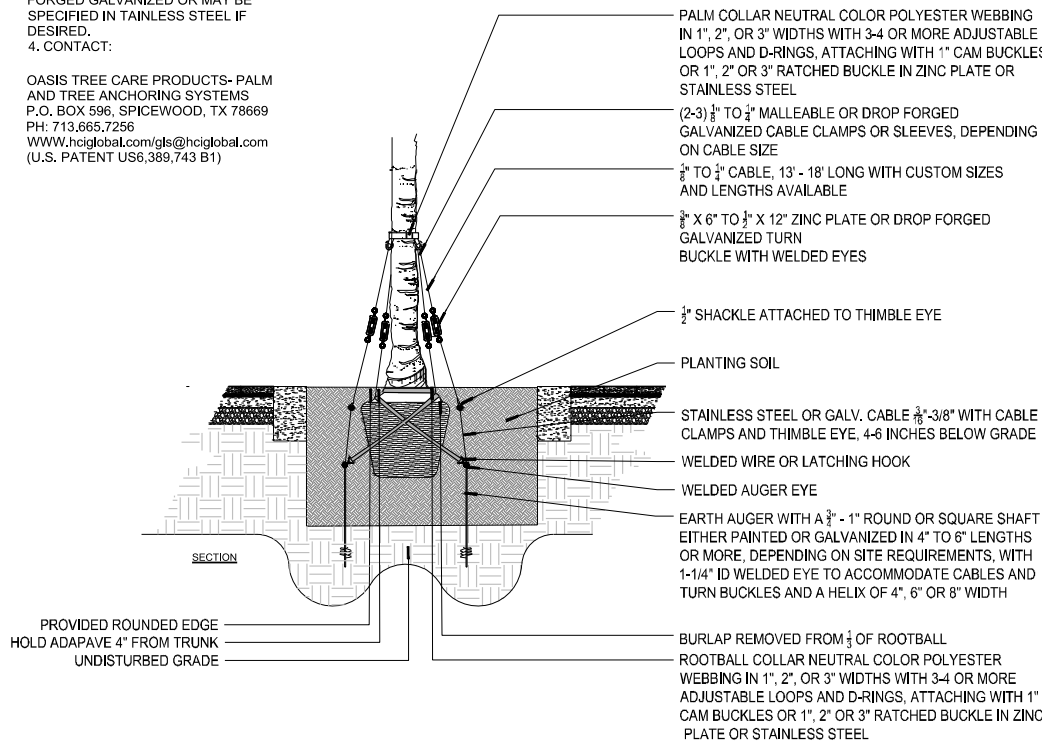
BURLAP REMOVED FROM 1/3 OF ROOTBALL

ROOTBALL

WELDED WIRE OR LATCHING HOOK

WELDED AUGER EYE

EARTH AUGER WITH A 3/4" - 1" ROUND OR SQUARE SHAFT EITHER PAINTED OR GALVANIZED IN 4" TO 6" LENGTHS OR MORE, DEPENDING ON SITE REQUIREMENTS, WITH 1-1/4" ID WELDED EYE TO ACCOMMODATE CABLES AND TURN BUCKLES AND A HELIX OF 4", 6" OR 8" WIDTH



5 LARGE PALM STAKING
SCALE - 3/8" = 1'-0"

Project Name

BAHIA MAR MARINA VILLAGE

Client
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Key Plan



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△		
△		
△		

Date	08/26/2022
Designed By	DB
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Approved / Checked By	BSL
Project Number	120002

Seal

Project Phase
ISSUE FOR PERMIT

Sheet Title
LANDSCAPE DETAILS

Revision Number Sheet Number

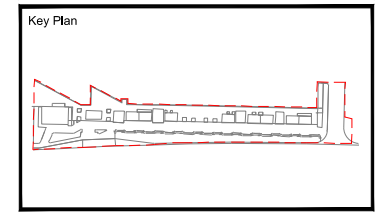
4 **L6-4-01**

BAHIA MAR MARINA VILLAGE

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Miami, FL 33137
IDDI
CONSULTANT 4 DISCIPLINE
5100 NORTH DIXIE HIGHWAY
FORT LAUDERDALE, FL 33334
FELLER ENGINEERING
MEP
505 NE THIRD AVENUE
FORT LAUDERDALE, FLORIDA 33301
CSW STRUCTURAL GROUP
STRUCTURAL ENGINEER
5397 ORANGE DRIVE
SUITE 203
DAVIE, FLORIDA 33314



Rev	Date	Issued for
1	04.11.2022	PERMIT REVISION
2	05.12.2022	ADDENDUM
3	09.23.2022	PERMIT REVISION

Date: 08/28/2022
 Designed By: DB
 Drawn By: LG
 Approved / Checked By: BSL
 Project Number: 120002



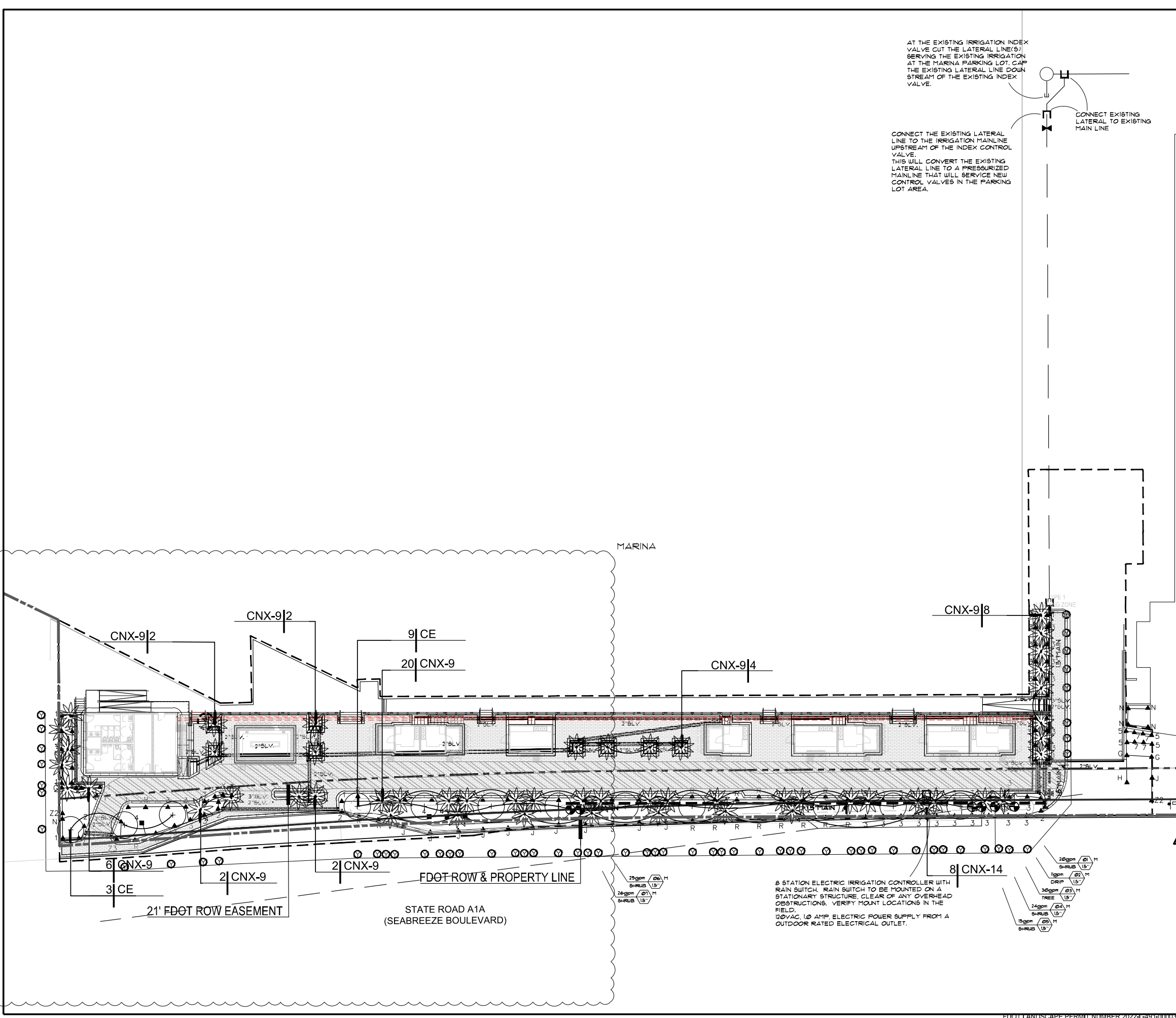
Project Phase
ISSUE FOR PERMIT

Sheet Title
IRRIGATION

Revision Number: 4
 Sheet Number: L7-2-01
 C.A.M. # 22-1129
 Exhibit 1

AT THE EXISTING IRRIGATION INDEX VALVE CUT THE LATERAL LINE(S) SERVING THE EXISTING IRRIGATION AT THE MARINA PARKING LOT. CAP THE EXISTING LATERAL LINE DOWN STREAM OF THE EXISTING INDEX VALVE.

CONNECT THE EXISTING LATERAL LINE TO THE IRRIGATION MAINLINE UPSTREAM OF THE INDEX CONTROL VALVE. THIS WILL CONVERT THE EXISTING LATERAL LINE TO A PRESSURIZED MAINLINE THAT WILL SERVICE NEW CONTROL VALVES IN THE PARKING LOT AREA.



8 STATION ELECTRIC IRRIGATION CONTROLLER WITH RAIN SWITCH. RAIN SWITCH TO BE MOUNTED ON A STATIONARY STRUCTURE, CLEAR OF ANY OVERHEAD OBSTRUCTIONS. VERIFY MOUNT LOCATIONS IN THE FIELD.
 120VAC, 10 AMP. ELECTRIC POWER SUPPLY FROM A OUTDOOR RATED ELECTRICAL OUTLET.



Scale:

1175 NE 125 STREET, SUITE 102
NORTH MIAMI, FL 33161

BahiaMar
FORT LAUDERDALE BEACH
A DOUBLETREE BY HILTON



LAND PLANNER / LANDSCAPE ARCHITECT
1512 E BROWARD BOULEVARD SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330
www.edsaplan.com
LCC000001
PLANNING LANDSCAPE ARCHITECTURE URBAN DESIGN



ARCHITECT
KOBİ KARP ARCHITECTURE
AND INTERIOR DESIGN, INC.
2915 BISCAYNE BLVD #200
MIAMI, FL 33137



CIVIL ENGINEER
FLYNN ENGINEERING SERVICES
241 COMMERCIAL BLVD.
LAUDERDALE-BY-THE-SEA
FL 33308



TRAFFIC ENGINEER
TRAF TECH ENGINEERING INC
8400 N UNIVERSITY DR # 307
POMPANO BEACH, FL 33321

ISSUED FOR PERMIT 02-15-21

Date: FEBRUARY 15th 2021
Project Manager: G.B.
Drawn By: I.K.
Principal in Charge: E.K.
Project No: 116102



NORTH

Scale: 1"=30'

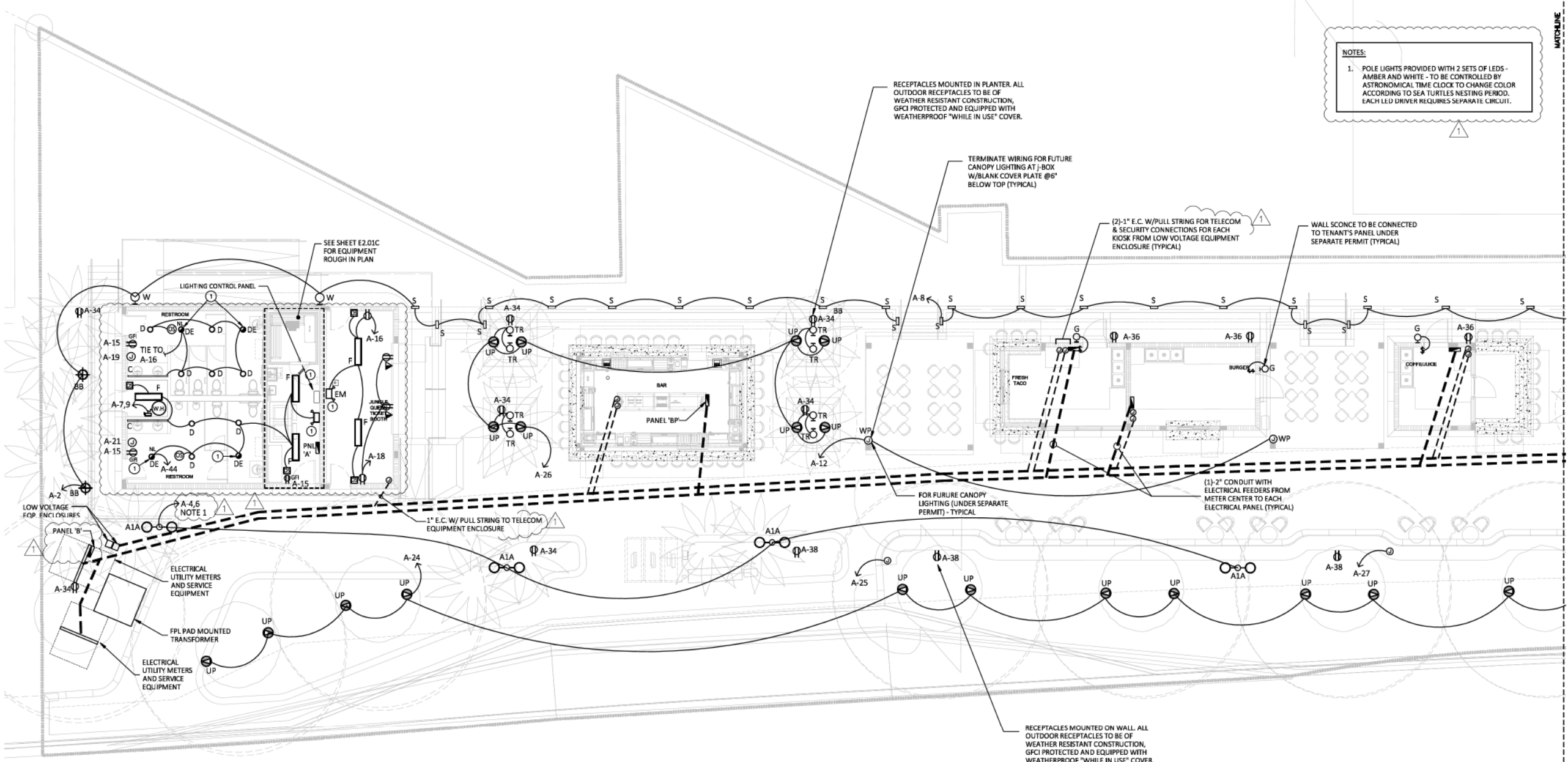
Seal:

FELLER ENGINEERING
Edward J. Krantz P.E. Reg. # 49453
Certificate of Authorization # 00003427
500 N.E. THIRD AVENUE
FORT LAUDERDALE, FLORIDA 33301
PH: 954-467-1402 FAX: 954-467-5752
e-mail: feller@fellerpe.com
JOB # 20035

E2.01A
CAM # 22-1123

Exhibit 1

Page 20 of 32




SITE PLAN - ELECTRICAL
SCALE: 1/8" = 1'-0"

KEY NOTES:
1. CONNECT BATTERY PACK TO CIRCUIT AHEAD OF LIGHTING CONTROLS (TYPICAL)

ISSUED FOR PERMIT 02-15-21

△	
△	
△	
△	
△	

Date:	FEBRUARY 15th 2021	 NORTH
Project Manager:	G.B.	
Drawn By:	I.K.	
Principal in Charge:	E.K.	
Project No:	116102	

Scale: 1"=30'

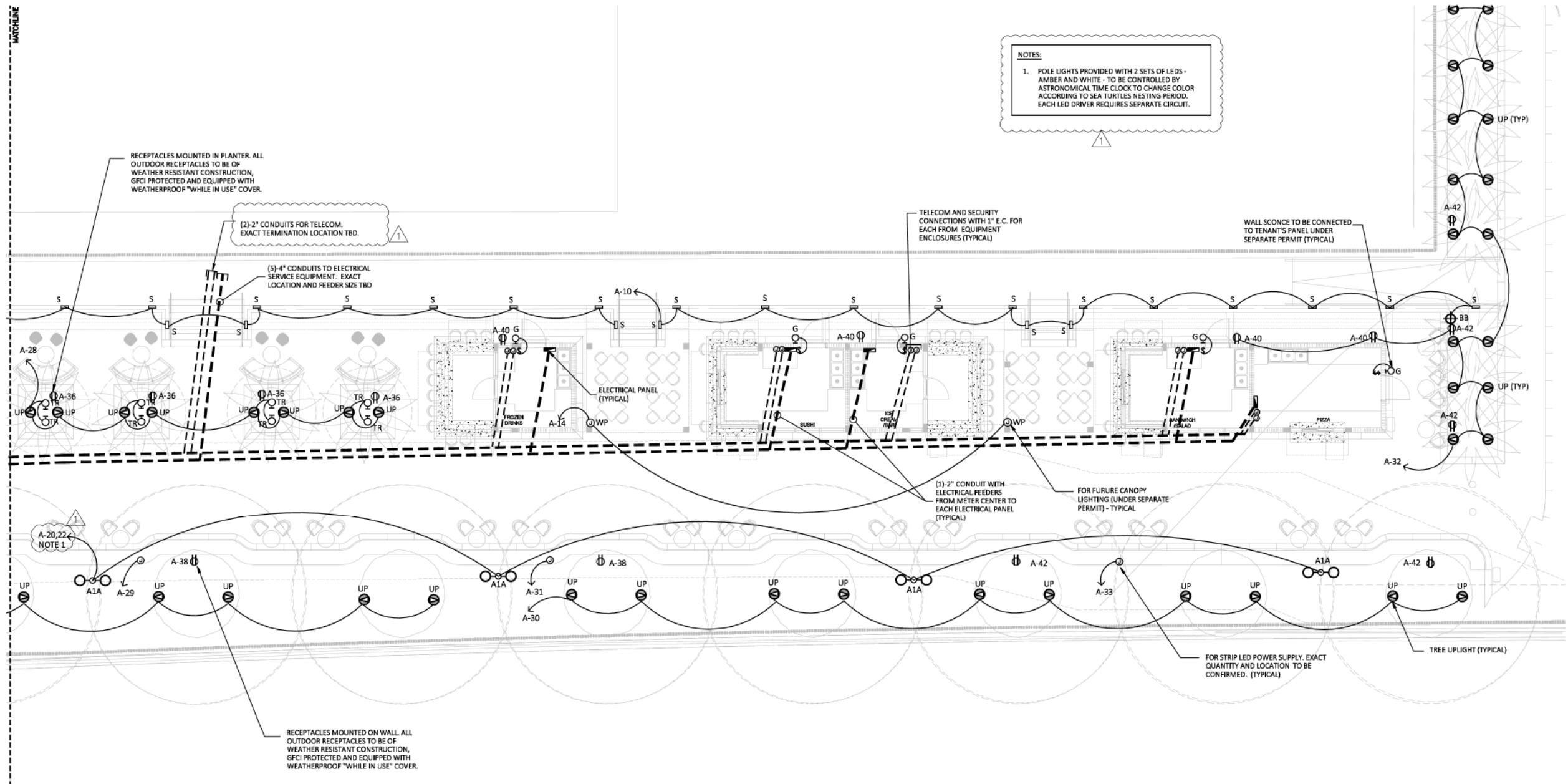


Seal:

FELLER ENGINEERING
Edward J. Kratz P.E. Reg. # 49453
Certificate of Authorization # 00003427
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e-mail: ed@fellere.com
JOB #20035

E2.01B
CAM # 22-1123

Exhibit 1

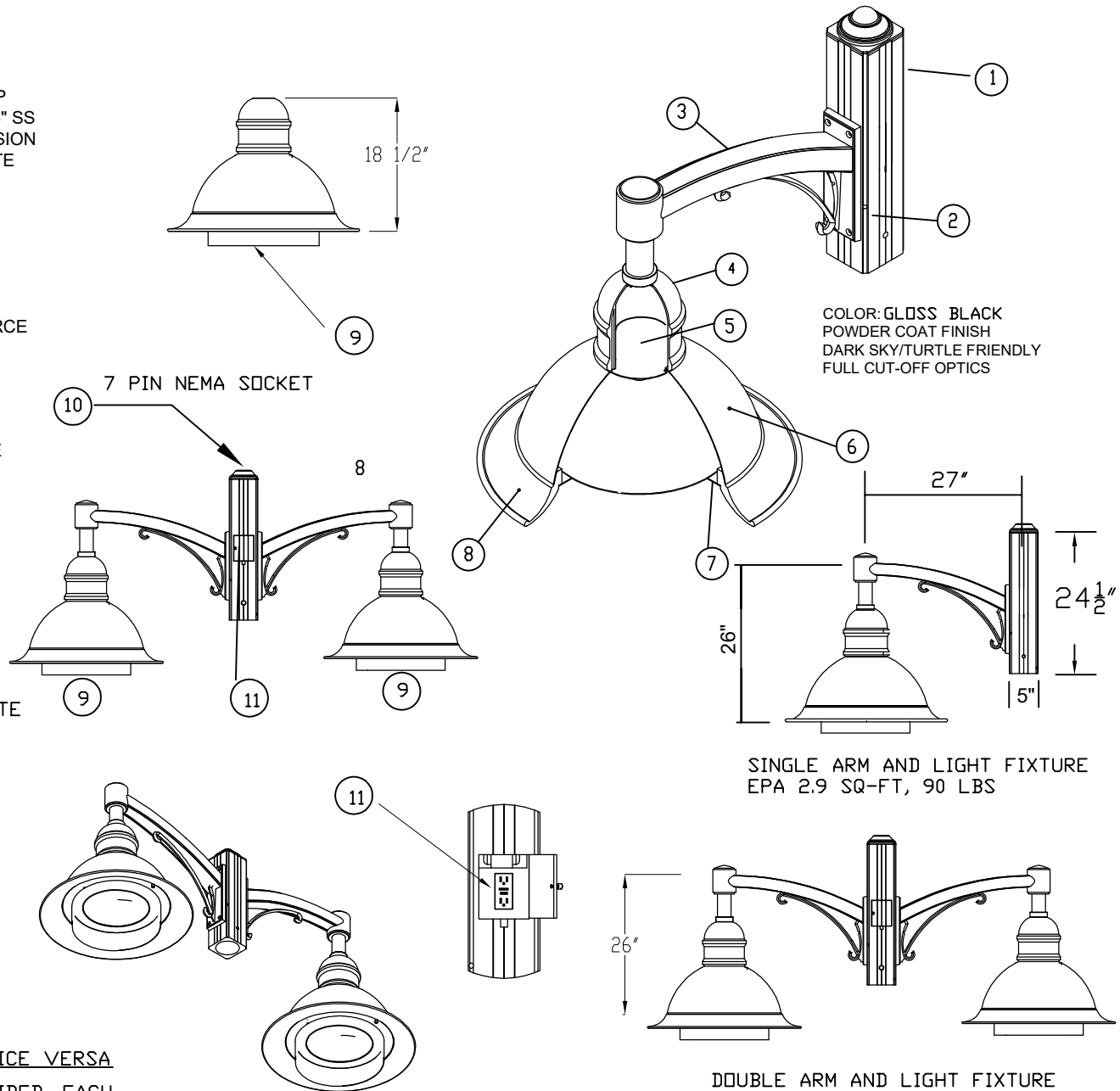


SITE PLAN - ELECTRICAL
SCALE: 1/8" = 1'-0"

Date: 02/15/21
 Drawn: I.K.
 Checked: E.K.
 Title: E2.01B CAM # 22-1123
 Project: 116102
 Job: 20035

NOTES:

- 1 CENTRAL TUBING TOP COVER CAST ALUMINUM WITH (2) 1/4" X 20 SS SET SCREWS
- 2 CAST ALUMINUM SQUARE CENTRAL TUBING TO FIT POLE TOP TENON 4" DIA. X 8", (4) 3/8-16-SS SET SCREWS & (1) 1/2"-13 X 5" SS MACHINE SCREW THREADED TO CENTRAL TUBING FOR TORSION ROTATION- CONTRACTOR SHALL DRILL TENON PER TEMPLATE PROVIDED BY ARTEC MANUFACTURING, LLC
- 3 CAST ALUMINUM ARM WITH DECORATIVE SCROLL BOLTED TO CAST CENTRAL TUBING & 1-1/4" SS NIPPLE THREADED INTO ARM AND SECURED WITH LOCKNUT INSIDE FIXTURE HOUSING
- 4 CAST ALUMINUM DRIVER HOUSING- LED DRIVER MOUNTS INSIDE ELECTRICAL COMPARTMENT AWAY FROM HEAT SOURCE
- 5 LED DRIVERS. MOUNT INSIDE ELECTRICAL COMPARTMENT AWAY FROM HEAT SOURCE. INDEPENDENT FROM LED LIGHT ENGINE CAN BE REPLACED OR UPGRADED VOLTAGE 120-277 V, 72 WATTS. ONE SET OF DRIVERS FOR THE AMBER LEDS AND ONE SET OF DRIVERS FOR THE WHITE LEDS.
- 6 FORMED ALUMINUM HOUSING- HOUSES TWO TIER LED ARRAYS, VERTICAL AND HORIZONTAL AIMING ANGLES, ASSYMMETRICAL DISTRIBUTION WITH NO LIGHT DIRECTED TOWARDS THE HOUSE SIDE-
OPTION OF HAVING A DUAL SET OF LEDS, AMBER FOR TURTLE NESTING SEASON AND 3000K WHITE FOR NON TURTLE NESTING SEASON.
LEDs USED - AMBER COLOR - CREE X LAMP XP-E AMBER WAVELENGTH RANGE 585-595 nm FOR WHITE OPTION - CREE XPE, 3000K WARM WHITE
- 7 TEMPERED FLAT FROSTED OR CLEAR GLASS LENS
- 8 CAST ALUMINUM LOWER FRAME
- 9 EXTERNAL SHIELD, 180 DEG. x 4" HEIGHT BACK SIDE OF FIXTURE
- 10 7 PIN NEMA SOCKET
- 11 CAST ALUMINUM IN-USE DOOR FOR GFCI, DUPLEX GFCI RECEPTACLE



COLOR: GLOSS BLACK
POWDER COAT FINISH
DARK SKY/TURTLE FRIENDLY
FULL CUT-OFF OPTICS

SINGLE ARM AND LIGHT FIXTURE
EPA 2.9 SQ-FT, 90 LBS

DOUBLE ARM AND LIGHT FIXTURE
EPA 5.46 SQ-FT, 167 LBS

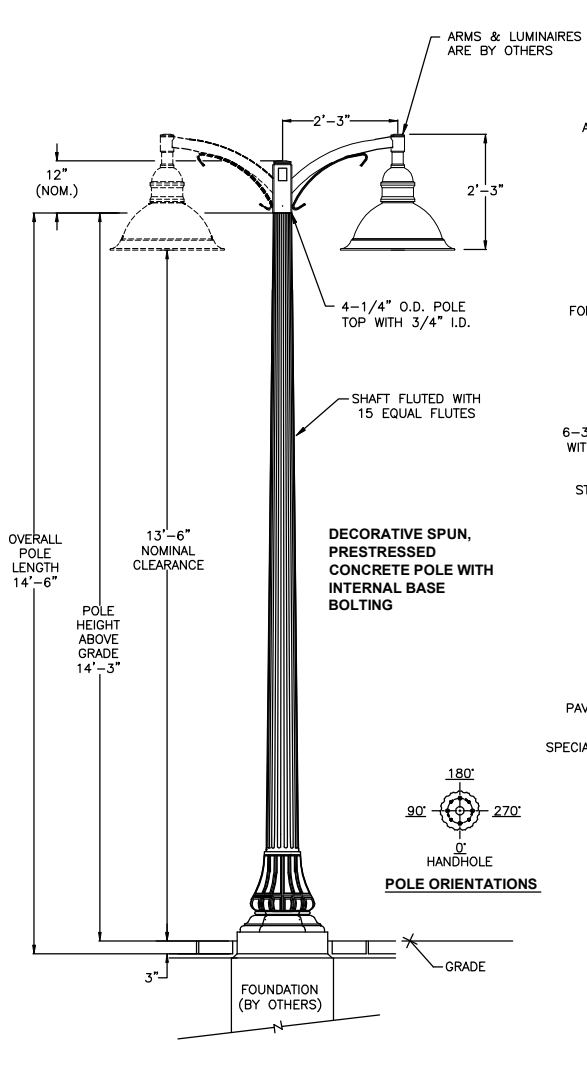
OPTIONS FOR SWITCHING FROM AMBER TO WHITE AND VICE VERSA

TWO SEPARATE POWER SUPPLY CONNECTIONS ARE PROVIDED, EACH CONNECTION, ONE FOR THE AMBER LEDS AND ONE FOR THE WHITE LEDS IS ATTACHED TO THEIR RESPECTIVE DRIVERS.

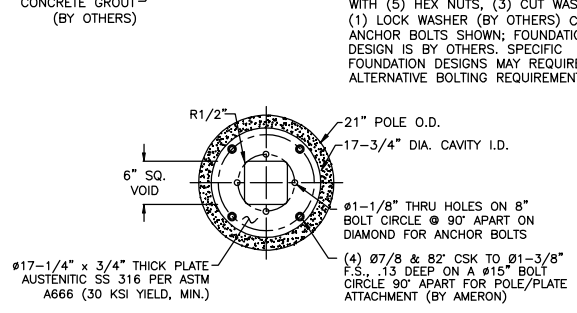
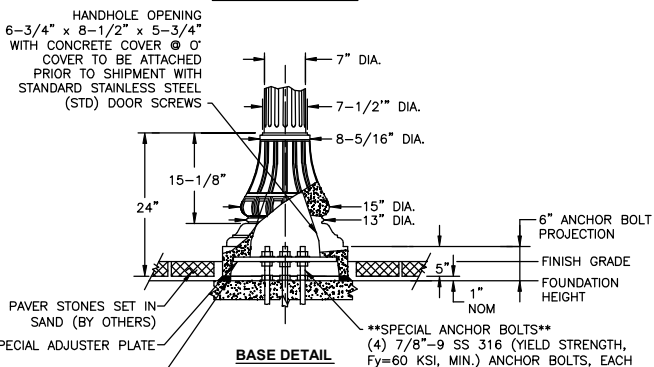
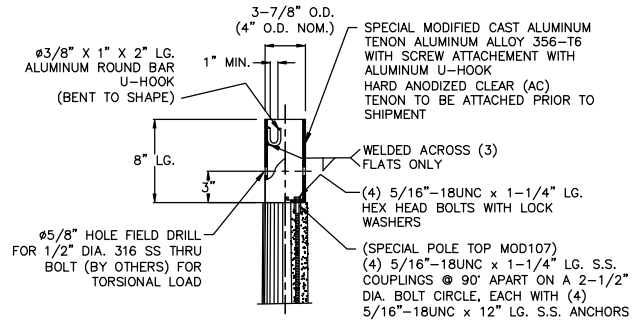
REMOTE CONTROL OPERATION: USING AN INTELLIGENT CONTROL SYSTEM, MUST COORDINATE BETWEEN CONTROL SYSTEM MANUFACTURER AND ARTEC

PROPRIETARY AND CONFIDENTIAL
THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF ARTEC MANUFACTURING, LLC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF ARTEC MANUFACTURING, LLC IS PROHIBITED.

DIMENSIONS ARE IN INCHES TOLERANCES: FRACTIONAL ±1/16 ANGULAR: MACH ±1/2° BEND ±1° TWO PLACE DECIMAL ± 0.02 THREE PLACE DECIMAL ± 0.005		DATE	ARTEC MANUFACTURING, LLC 699 West 17 Street Hialeah FL 33010 Tef: 305-888-4345; Fax: 305-888-4374
MATERIAL	DRAWN: RB	5-5-2020	ARTEC@ARTECMANUFACTURING.COM
FINISH	CHECKED		TITLE: AMBER AND WHITE LED ASSEMBLY CITTA-FLL-72WLED AMBER/WHITE-TRLE-120/277V WITH 180 DEG. BACK SHIELD
	ENG APPR.		DWG. NO. AMF-1000150-01-AMB/WHT CAM # 22-1123
	MFG APPR.		SCALE: NTS
	Q.A.		Exhibit 1 SHEET 1 OF 1 Page 22 of 32



****TENON IS TO BE COMPLETELY COVERED BY THE LUMINAIRE, THUS, THERE IS NO NEED TO ADD PAINT TO THE CASTING****



REV.	DATE	DESCRIPTION	DRN.	APPR.

"F" LEVEL CONFIG CODES		
OPTION CLASS	ENTRY	INFO
COATING	I	
HH COVER	43476M12	
DOOR SCRS	STD	

"P" LEVEL CONFIG CODES		
OPTION CLASS	ENTRY	INFO
MIX	12	
FINISH	3	
BASE PLATE	45382G	
POLE TOP CON.	MOD107	SPECIAL
STRUC. MOD	T.B.D.	NOTE 9

TRADITIONAL INTERNAL BOLTING WASHINGTON POLE					
POLE DESIG-NATION	OVERALL POLE LENGTH	INTERNAL ADJUSTER BOLT CIRCLE	BASE O.D.	ULTIMATE G.D. MOMENT (FT-LBS)	POLE WEIGHT (LBS)
26ST14SPL	14'-6"	8"	21"	12,000	480

() POLES REQUIRED, EACH WITH SPECIAL CAST ALUMINUM TENON, 3-7/8" O.D. x 8" LG. (P/N: 53013MHOOKACA); SPECIAL S.STL. ADJUSTER PLATE (P/N: 45425A)

- NOTES:**
- MIX (123): BLACK, EXPOSED AGGREGATE FINISH, WITH AMERSHIELD ANTI-GRAFFITI COATING.
 - ASTM C-150 TYPE III GRAY CEMENT.
 - fc @ 28 DAYS = 6,000 PSI USING SPUN CYLINDER TEST.
 - fc @ 28 DAYS = 5,000 PSI USING ASTM C-31 CYLINDER TEST.
 - POLES MANUFACTURED PER ASTM C-1089-13 SPECIFICATIONS.
 - PROTECTIVE COAT EXPOSED P.C. WIRES AT POLE ENDS.
 - BASEPLATE FULLY PRESTRESSED WITH (4) 5/16" DIA. ASTM A-416 PRESTRESSING CABLES.
 - INTERNAL BOLT CONNECTION PER AMERON U.S. PATENT NO. 5,918,487.
 - MOD10K: CORROSION INHIBITOR MIX MODIFICATION.
 - THE POLE (& IMPLIED TENON ASSEMBLY) DEPICTED ON THIS DRAWING IS DESIGNED TO WITHSTAND THE LOADS IMPARTED BY A SLIP-FITTER MOUNTED CENTRAL BRACKET CAN (NOT TO EXCEED 18.5' TALL, 1.1 SQ. FT. EPA, 15 LBS.), WITH OPPOSING DOUBLE MAST ARMS (WITH EACH ARM NOT TO EXCEED 27" IN LENGTH, 0.55 SQ. FT. EPA, & 15 LBS., PER SIDE), WITH EACH ARM HOLDING A SINGLE PENDANT TYPE LUMINAIRE (NOT TO EXCEED 1.52 SQ. FT. EPA, 57 LBS.) PER THE 2017 FLORIDA BUILDING CODE & ASCE 7-10 USING 170 MPH WIND ZONE (3-SECOND GUSTS) RISK CATEGORY II, NON-BUILDING STRUCTURE, EXPOSURE C, SITE CLASS D, SURFACE ROUGHNESS CATEGORY C, NO HILL NOR ESCARPMENT. NOTE THAT THE TOTAL EPA OF BRACKET, (2) ARMS, & (2) LUMINAIRES DOES NOT EXCEED 5.25 SQ. FT. & THEIR TOTAL WEIGHT DOESN'T EXCEED 164 LBS. PLEASE CONTACT & ADVISE MANUFACTURER IF THE INTENDED LOADING EXCEEDS THESE VALUES.

APPROVED BY _____ **DATE** _____

FPID #424027-2-52-01
CITY OF FORT LAUDERDALE
26ST14 POLE WITH TENON ASSEMBLY

THIS DOCUMENT CONTAINS INFORMATION WHICH IS PROPRIETARY TO NATIONAL OILWELL VARCO. IT SHALL NOT BE REPRODUCED, USED OR DISCLOSED TO ANYONE WITHOUT THE PRIOR WRITTEN PERMISSION OF NATIONAL OILWELL VARCO.

	DRAWN: J.M. # 22 <small>2/19/18</small>	DATE: 04/19/18	REV -
	SCALE: Exh. 1 <small>Page 23 of 92</small>	DWG. NO.: 1804-060	

COMPLIANCE TO ANY CODE NOT EXPLICITLY LISTED ON THIS DRAWING IS NOT GUARANTEED. PLEASE CONTACT NATIONAL OILWELL VARCO IF YOU HAVE SPECIFIC CODE REQUIREMENTS.

SECTION No(s): 86180000
S.R. No.: A1A
PERMIT No: 2022-L-491-00003
COUNTY: BROWARD

EXHIBIT C
MAINTENANCE PLAN FOR
LANDSCAPE AND HARDSCAPE IMPROVEMENTS

This Exhibit forms an integral part of the DISTRICT FOUR (4) LANDSCAPE MAINTENANCE MEMORANDUM OF AGREEMENT between the State of Florida Department of Transportation and the AGENCY.

Please see attached

MAINTENANCE PLAN

Landscape and Hardscape Improvements

Project State Road No(s): AIA (Seabreeze Boulevard) from MP 2.396 to MP 2.487
Permit or FM No(s): 2022-L-491-00003
RLA of Record: Jeff Suiter, RLA
Maintaining Agency: City of Fort Lauderdale
Date: October 28, 2022

All landscape, hardscape, and lighting improvements within FDOT right of way shall be maintained to avoid potential roadway hazards and to provide required clear visibility, accessibility, clearance, and setbacks as set forth by Florida Department of Transportation (FDOT) governing standards and specifications: FDOT Standard Plans, FDOT Plans Design Manual and FDOT Standard Specifications for Road and Bridge Construction, as amended by contract documents, and all other requirements set forth by the District 4 Operations Maintenance Engineer.

The initial portion of the Maintenance Plan (Part I) describes general maintenance requirements and recommendations. The concluding section (Part II) provides recommendations prepared by the Registered Landscape Architect of Record specific to the attached approved plans.

PART I. GENERAL MAINTENANCE REQUIREMENTS AND RECOMMENDATIONS:

A. GENERAL REQUIREMENTS:

As part of the maintenance responsibility, the Agency shall keep in good repair and replace defective or worn-out parts of all the improvements. The Agency responsibility to keep the improvements in good repair shall include all necessary inspection, maintenance, repair and replacement of any type or nature, including, but not limited to, inspection, maintenance, repair, and replacement due to normal wear and tear, named storm event, acts of God, vandalism, and accidents. The Agency shall take all necessary steps to maintain the improvements in a manner to protect against injury to any person or property.

The Agency shall be solely responsible for any damages to surrounding property, real estate, vehicles, pedestrians, or other assets occurring as a result of maintenance and operation of the improvements and shall repair such damage to the satisfaction of the Department at no expense to the Department.

AMERICANS WITH DISABILITIES ACT (“ADA”)

The Agency agrees to maintain, at its sole cost and expense, all improvements in compliance with any and all applicable laws which shall include, but not be limited to, laws and regulations relating to the Americans with Disabilities Act (“ADA”) of 1990, as currently enacted or as may be amended from time to time. Sidewalk areas shall be always accessible. If sidewalk closures are needed, alternate routes shall be clearly identified, and missing sidewalk shall be restored either with permanent or temporary materials at the end of each workday.

MAINTENANCE OF TRAFFIC CONTROL

Reference the FDOT website regarding the selection of the proper traffic control requirements to be provided during routine maintenance and / or new installations of this DOT roadway.

LITTER, GRAFFITI AND PEST CONTROL

The project site shall remain as litter free as practicable. It is recommended to recycle this litter to avoid unnecessary waste by its reuse. Litter removal efforts must meet *FDOT Maintenance Rating Program* (MRP) standards.

The Improvements to be constructed with this project shall not contain advertising. Nor shall advertising be placed upon them by any party in the future. The improvements shall be kept free of graffiti. The improvements shall be free of pests such as stinging insects, rodents, and vermin, including removal of nests as needed.

VEGETATION MANAGEMENT AT OUTDOOR ADVERTISING (ODA) (IF APPLICABLE)

To avoid conflicts with permitted outdoor advertising, please reference the State of Florida website regarding the vegetation management of outdoor advertising. This website provides a portal to search the FDOT Outdoor Advertising Inventory Management System Database. The database contains an inventory of outdoor advertising structures, permits and other related information maintained by the Department.

Also, reference the *Florida Highway Beautification Program* website link for *Vegetation Management at ODA signs* Florida Statutes and Florida Administrative Code related to vegetation management at outdoor advertising sign, permit applications for vegetation management and determining mitigation value of roadside vegetation.

B. LANDSCAPE REQUIREMENTS AND RECOMMENDATIONS:

WATERING REQUIREMENTS

Watering is a critical concern for not only the maintenance of healthy plant material but also for observing water conservation practices. The amount of water to apply at any one time varies with the weather, drainage conditions and water holding capacity of the soil. For plant materials that have been established, it is imperative that any mandated water restrictions be fully conformed to on FDOT roadways.

Proper watering techniques should provide even and thorough water dispersal to wet the entire root zone, but not saturate the soil or over-spray onto travel lanes.

IRRIGATION SYSTEM

The Agency shall ensure there are no roadway overspray or irrigation activities during daytime hours (most notably "rush hour" traffic periods). It is imperative the irrigation controller is properly set to run early enough that the watering process will be entirely completed before high traffic periods, while adhering to mandated water restrictions. To ensure water conservation, the Agency shall monitor the system for water leaks and the rain sensors to ensure they are functioning properly so that the system shuts down when there is sufficient rainfall.

MULCHING

Mulch planting beds to prevent weed growth, retain moisture to the plants, protect against soil erosion and nutrient loss, maintain a more uniform soil temperature, and improve the appearance of the planting beds. Do not mound mulch against the trunks of trees, palms, and the base of shrubs to allow air movement which aids in lowering disease susceptibility. Cypress mulch is prohibited on state right of way.

INTEGRATED PLANT MANAGEMENT

An assessment of each planting area's soil is recommended to periodically determine the nutrient levels needed to sustain healthy, vigorous plant growth.

Palms, shrubs, trees, and turf areas shall be fertilized in such a manner and frequency to ensure that the plant material remains healthy and vigorously growing. Please be alert to changes in fertilization types per University of Florida, Institute of Food and Agricultural Services (I.F.A.S.) recommendations. Establishment of an integrated pest management program is encouraged to ensure healthy plants, which are free of disease and pests.

PRUNING

All pruning, and the associated safety criteria, shall be performed according to American National Standard Institute (ANSI) A300 standards and shall be supervised by an International Society of Arboriculture (ISA) Certified Arborist. Pruning shall be carried out with the health and natural growth of plant materials in mind, to achieve the FDOT requirements for maintaining clear visibility for motorists, and provide vertical clearance for pedestrian, bicyclist, and truck traffic where applicable. Visibility windows must be maintained free of view obstructions, and all trees and palms must be maintained to prevent potential roadway and pedestrian hazards. All palms are to be kept fruit free. The understory plant materials selected for use within the

restricted planting areas (Limits of Clear Sight) are to be mature height in compliance with the *FDM Window Detail*. Vertical clear zones for vegetation heights over roadways and sidewalks must meet the requirements of the *FDOT Maintenance Rating Program* (MRP) standards. See Reference pages. The R.L.A. of Record will provide the specific pruning heights for mature or maintained height and spread of all plant material to achieve the design intent shall be noted in Part II., Specific Project Site Maintenance Requirements and Recommendations.

STAKING AND GUYING

All staking materials are to be removed after one year or as directed by the RLA of Record.). Any subsequent staking and guying activities by the Agency must adhere to *FDOT Standard Plans* guidelines (See Index 580-001). The Agency shall closely monitor staking and guying attachment materials so that they are securely fastened to avoid potential roadway hazards.

TURF MOWING

All grassed areas are to be mowed and trimmed with sufficient frequency to maintain a deep, healthy root system while providing a neat and clean appearance to the urban landscape. All turf efforts, mowing, curb/sidewalk edging and turf condition, must at a minimum, meet *FDOT Maintenance Rating Program* (MRP).

WEEDING/HERBICIDE

All planting areas shall be maintained as weed free as practicable by enlisting integrated pest management practices in areas specified on the plans and maintaining proper mulch levels. Extreme care is recommended when using a chemical herbicide to avoid overspray onto plant materials. It is the applicator's responsibility to restore any damage resulting from overspray to the plantings, per the approved plans.

PLANT REPLACEMENT

Plant replacement shall be the same species and specification as the approved plan. Move and replace all plant materials that may conflict with utility relocations and service. Only plants graded Florida #1 or better, per the *Florida Department of Agriculture and Consumer Services, Grades and Standards for Nursery Plants* are permitted on FDOT roadways. Should it become necessary to change the species, a permit is required from FDOT for approval by the FDOT District Landscape Architect.

C. HARDSCAPE REQUIREMENTS AND RECOMMENDATIONS:

LIGHTING

The AGENCY shall perform all activities necessary to keep the Lighting improvements fully operating, properly functioning, with a minimum of 90% of the lights burning for any lighting type or roadway system, at all times, in accordance with the original design thereof, whether necessitated by normal wear and tear, accidental or intentional damage, or acts of nature. Said maintenance shall include, but shall not be limited to, providing electrical power, and paying all charges associated therewith, routine inspection and testing, preventative maintenance, emergency maintenance, replacement of any component parts of the lighting and electrical components, as may be necessary.

A notification sign shall be posted at all times with the name and phone number of the department within the AGENCY responsible for maintenance of the Lighting so that members of the public may contact the Agency regarding any problems. The Agency shall promptly respond and correct all complaints regarding maintenance.

LANDSCAPE ACCENT LIGHTING

Landscape accent lighting shall be maintained in such a manner as to prolong the life of the lighting fixture and prevent potential safety hazards. If the lighting fixtures and their system become damaged, they shall be replaced with the same type and specification as the approved plan. Landscape lighting shall meet requirements for the sea turtle nesting and hatching.

TREE CELL STRUCTURES

Underground tree cells shall be maintained in such a manner as to prolong the life of the structure and prevent potential safety hazards. If the structures fail or become damaged, they shall be replaced with the same type and specification as the approved plan.

SITE FURNISHINGS

Site furnishing such as Trash Receptacles, Benches, Bollards and Bicycle Racks shall be maintained in such a manner as to prolong the life of the fixture and prevent potential safety hazards. If the fixtures and their overall function and mounting systems become damaged, they shall be replaced with the same type and specification as the approved plan.

HARDSCAPE (SPECIALTY SURFACING)

All tree grates and specialty surfacing (if applicable) shall be maintained in such a manner as to prevent any potential tripping hazards and protect damage to the surfacing and tree grates. Final surface tolerance from grade elevations shall, at a minimum, meet the most current FDOT Maintenance Rating Program Handbook for a sidewalk; ADA accessible sidewalk; and FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on The State Highway System. If the specialty surfacing or tree grates become damaged, they shall be replaced with the same type and specification as the approved plan.

HARDSCAPE (CONCRETE PAVERS)

All concrete pavers (if applicable) shall be maintained in such a manner as to prevent any potential tripping hazards and protect damage to the pavers. Final surface tolerance from grade elevations shall, at a minimum, meet the most current *Interlocking Concrete Pavement Institute (ICPI), Guide Specifications for Pavers on an Aggregate Base, Section 23 14 13 Interlocking Concrete Pavers*, Part 3.05. If the concrete pavers become damaged, they shall be replaced with the same type and specification as the approved plan.

It shall be the responsibility of the AGENCY to maintain all signs located within a non-standard surfacing area. Such maintenance to be provided by the AGENCY shall include repair and replacement of the sign panel, post, and base.

HARDSCAPE (NON-STANDARD TRAVELWAY SURFACING)

It shall be the responsibility of the AGENCY to restore an unacceptable ride condition of the roadway, including asphalt pavement (if applicable), caused, or contributed by the installation or failure of non-standard surfacing, and/or the header curb, on the Department of Transportation right of way within the limits of this Agreement. Pavement restoration areas or "patches" will have a minimum length of 10-ft, measured from the edge of the header curb, and a width to cover full lanes for each lane affected by the restoration.

Pavement restoration will be performed in accordance with the most current edition of the *FDOT Standard Specifications for Road and Bridge Construction*, and the *FDOT Design Standards for Design, Construction, Maintenance and Utility Operations on the State Highway System*.

PART II. PROJECT SPECIFIC SITE MAINTENANCE REQUIREMENTS AND RECOMMENDATIONS:

1. The design intent of the project is to provide activation at the Marina and create a safe, comfortable, shaded pedestrian environment along A1A. The design provides a 12' accessible walking surface separated from A1A by planting. Bus drop-off and bicycle parking are provided to offer access from the site without the use of a car.
2. Canopy Trees (*Conocarpus erectus* / Green Buttonwood) are intended to be maintained at mature height and spread. Refer to Part I Pruning, for clear sight window and vertical clear zone pruning requirements.
3. Remove suckering growth from base and clear trunk areas for single-trunked trees, Green Buttonwood and Coconut Palms on a as needed to maintain clear site.
4. To maintain the intended appearance of all palms (*Cocos nucifera* / Green Malayan Coconut), apply the latest palm fertilizer recommended by the University of Florida IFAS Extension per the manufacturer's specifications.
5. To maintain the intended appearance of all shrubs or turf grass, apply the latest fertilizer recommended by the University of Florida IFAS Extension per the manufacturer's specifications.
6. Do not remove fronds from self-cleaning palms, unless damaged. Palms with persistent fronds shall only have dead fronds removed, do not remove any green fronds. If it is deemed necessary to prune a palm's fronds, no fronds shall be trimmed above 3 o'clock and 9 o'clock on the horizontal plain.
7. Groundcover and shrub horizontal growth shall be maintained to prevent foliage from growing beyond the limits of the planting areas shown on the plan. Maintain a clean edge 1– 2" offset at the edge of curb, pavement, sidewalk and/or other hardscape improvements.
8. Maintain the vertical height of:
 - *Chrysobalanus icaco* 'Red Tip' to its natural form full to ground. Height not to exceed 42". Design intent is not to hedge.
 - *Clusia rosea* 'Nana' to its natural form full to ground. Height not to exceed 36".
 - *Clusia guttifera* to a hedgerow form full to ground. Height not to exceed 54".
 - *Conocarpus erectus* 'sericeus' trimmed to maintain visibility. Height not to exceed 36".
 - *Zamia floridana* to its natural form and growth pattern.
 - *Muhlenbergia capillaris* to its natural form. Prune annually or as needed after blooming.
 - *Liriope* x 'NoMo' Height to be maintained between 4"- 6". Naturally grows to 6" maximum height.
9. Inspect groundcovers and shrubs on a bi-annual basis for maintaining full ground coverage.
10. Evaluate plant material on a monthly basis for pests, diseases, drought stress or general decline. If required, follow the integrated pest management program established by the Agency to ensure healthy plants.
11. Concrete pavers shall be inspected on a biannual basis for the aesthetic appearance and safety conditions. Address any issues identified by repairing or replacing those specific locations. To maintain the overall aesthetic appearance and safety of the concrete pavers they shall be cleaned on a twice a yearly basis to prevent mold, dirt, oil, and gum build up. Joints and cracks in concrete, patterned concrete or asphalt, concrete pavers, concrete curbs, expansion joints, catch basins, gutter areas, etc. shall be inspected on a quarterly basis to keep those areas free of weeds.

12. Inspect the irrigation system performance on a quarterly basis to ensure the system is providing 100% coverage, does not have sections of low pressure, heads and valves are clean and clear of debris and any damaged irrigation components (i.e., spray nozzles, spray heads, valve box etc.) are repaired or replaced.
13. The Bicycle air pump shall be inspected monthly to prolong the life of the fixture and prevent potential safety hazards. It will be maintained and repaired in a commercially reasonable manner or replaced as necessary.
14. Site lighting, including the A1A pole, post top and tree mounted lighting shall be maintained in such a manner as to prolong the life of the fixture and prevent potential safety hazards. Fixture Illumination shall be inspected monthly and replaced with fixtures specified in the drawings as needed. Pole and bollard posts shall be inspected for damage bimonthly and repaired in a commercially reasonable manner or replaced as necessary. Site receptacles will be inspected monthly to prolong the life of the fixture and prevent potential safety hazards.

REFERENCES (4-27-20)

This reference list is provided as a courtesy. The list may not contain the most current websites. The most current references must be accessed for up-to-date information.

Accessible Sidewalk (ADA) <http://www.access-board.gov/guidelines-and-standards/streets-sidewalks>

Americans with Disabilities Act (ADA) (ADAAG) http://www.ada.gov/2010ADASTandards_index.htm

American National Standard Institute, *ANSI A300, (Part 1) for Tree Care Operations – Trees, Shrub, and Other Woody Plant Maintenance – Standard Practices (Pruning)*, available for purchase <http://webstore.ansi.org>

Florida Department of Agriculture and Consumer Services, Division of Plant Industry, *Florida Grades and Standards for Nursery Plants 2015* <http://www.freshfromflorida.com/Divisions-Offices/Plant-Industry/Bureaus-and-Services/Bureau-of-Plant-and-Apiary-Inspection>

Florida Department of Community Affairs (DCA), *Florida Board of Building Codes & Standards, 2017 Florida Building Code, Chapter 11 Florida Accessibility Code for Building Construction Part A* http://www.floridabuilding.org/fbc/workgroups/Accessibility_Code_Workgroup/Documentation/CHAPTER_11_w_fl_a_specifics.htm

Florida Department of Transportation, *Program Management, Maintenance Specifications Workbook Supplemental Specifications, Section 580 Landscape Installation* <http://www.fdot.gov/programmanagement/Maintenance/2019Jan/default.shtm>

Florida Department of Transportation, *FDOT Standard Plans for Design, Construction, Maintenance and Utility Operations on the State Highway System, Index 580-001 Landscape Installation* <http://www.fdot.gov/design/standardplans/current/IDx/580-001.pdf>

Florida Department of Transportation, *FDOT Design Manual for Design, Construction, Maintenance and Utility Operations on the State Highway System, Chapter 212.11 Clear Sight Triangles* <http://www.fdot.gov/roadway/FDM/current/2018FDM212Intersections.pdf>

Florida Department of Transportation, *FDOT Design Manual for Design, Construction, Maintenance and Utility Operations on the State Highway System, Chapter 215.2.3 Clear Zone Criteria and 215.2.4 Lateral Offset, Table 215.2.1 Clear Zone Width Requirements, Table 215.2.2 Lateral Offset Criteria (for Trees)* <http://www.fdot.gov/roadway/FDM/current/2018FDM215RoadsideSafety.pdf>

Florida Department of Transportation, *FDOT Standard Plans for Design, Construction, Maintenance and Utility Operations on the State Highway System, Index Series 102-600 Traffic Control through Work Zones* <http://www.fdot.gov/design/standardplans/current/IDx/102-600.pdf>

Department of Transportation, Landscape Architecture Website www.MyFloridaBeautiful.com

Florida Department of Transportation, *Maintenance Rating Program Handbook* <http://www.dot.state.fl.us/statemaintenanceoffice/MaintRatingProgram.shtm>

Florida Department of Transportation Outdoor Advertising Database <http://www2.dot.state.fl.us/rightofway/>

Florida Exotic Pest Plant Council Invasive Plant Lists <http://www.fleppc.org/list/list.htm>

Florida Irrigation Society <http://www.fisstate.org>

Florida Power and Light (FPL), *Plant the Right Tree in the Right Place* http://www.fpl.com/residential/trees/right_tree_right_place.shtml

SECTION No(s): 86180000
S.R. No.: A1A
PERMIT No: 2022-L-491-00003
COUNTY: BROWARD

EXHIBIT D
RESOLUTION

This Exhibit forms an integral part of the DISTRICT FOUR (4) LANDSCAPE MAINTENANCE MEMORANDUM OF AGREEMENT between the State of Florida, Department of Transportation and the AGENCY.

Please see attached