

650 NORTH ANDREWS - MIXED-USE

ADDRESS: 650 NORTH ANDREWS AVENUE, FORT LAUDERDALE, FLORIDA 33311
PROJECT NUMBER: 22-855
DATE: 10-10-2024
ISSUE FOR: DEVELOPMENT REVIEW COMMITTEE

22-855

10-10-2024

22-855



BAMPROPERTIES

TOOTHAKER.ORG
LAND USE - DEVELOPMENT - POLITICAL
STRATEGY - PROCUREMENT

OWNER / DEVELOPER
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

LAND USE ATTORNEY
STEPHANIE J. TOOTHAKER, ESQ.
401 EAST LAS OLAS BOULEVARD, SUITE 130-154
FORT LAUDERDALE, FLORIDA 33301
954.648.9376



ARCHITECT
IDEA ARCHITECT
3323 NE 163RD ST, SUITE 200
NORTH MIAMI BEACH, FL 33160
305.792.0015

CIVIL
FLYNN ENGINEERING
241 COMMERCIAL BLVD,
LAUDERDALE-BY-THE-SEA, FL 33333
954.522.1004



DC ENGINEERS, INC.

LANDSCAPE
ARCHITECTURAL ALLIANCE LANDSCAPE
612 SW 4TH AVENUE,
FORT LAUDERDALE, FL 33315
954.764.8858

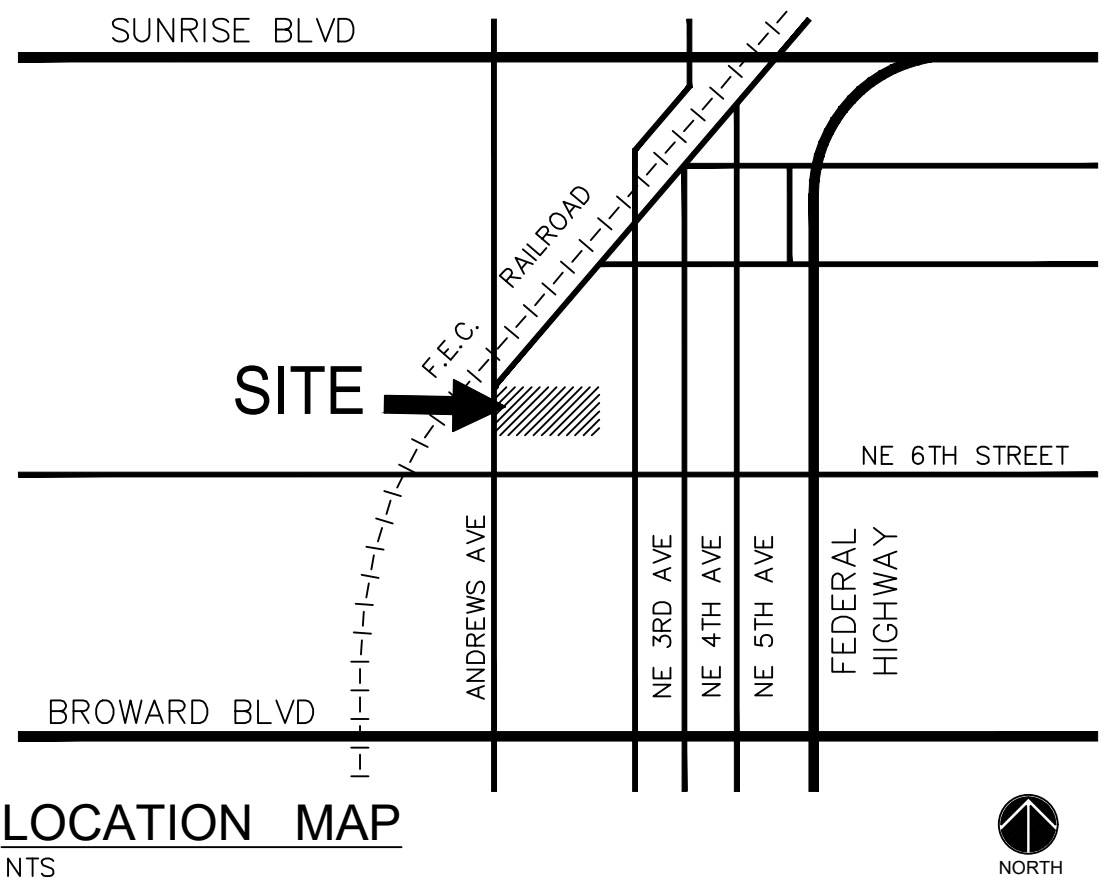
TRAFFIC ENGINEER
DC ENGINEERS, INC.
12743 NW 13TH COURT,
CORAL SPRINGS, FL 33071
954.798.0926



SURVEY
MCLAUGHLIN ENGINEERING CO.
1700 NW 64TH ST, SUITE 400
FORT LAUDERDALE, FL 33309
954.763.7611

FRANCHISE UTILITY PROVIDERS:

COMCAST	AT&T
FP&L	TECO
CITY OF FORT LAUDERDALE	

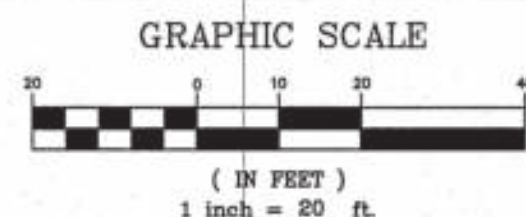


650 NORTH ANDREWS - MIXED-USE
DEVELOPMENT REVIEW COMMITTEE

650 NORTH ANDREWS AVENUE, FORT LAUDERDALE, FLORIDA 33311



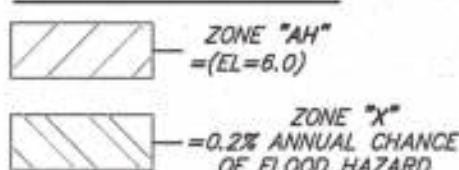
prepared by
McLAUGHLIN ENGINEERING COMPANY (LB#285)
1700 N.W. 64th STREET, SUITE 400
FORT LAUDERDALE, FLORIDA, 33309
PHONE: (954) 763-7611 FAX: (954) 763-7615



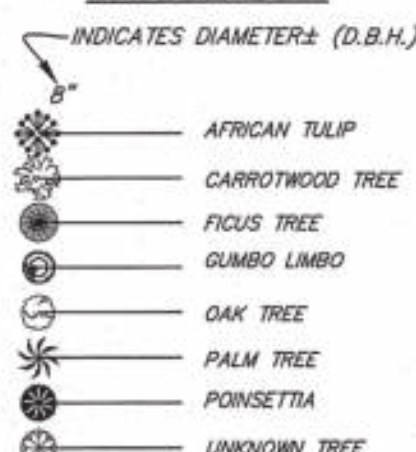
ALTA/NSPS LAND TITLE SURVEY

**LOTS 1 THROUGH 10,
BLOCK 319, PROGRESSO,
PLAT BOOK 2, PAGE 18, M.D.C.R.
TOGETHER WITH LOTS 40
THROUGH 48,
BLOCK 319, PROGRESSO,
PLAT BOOK 1, PAGE 125,
M.D.C.R.**

FLOOD ZONE LEGEND



TREE SYMBOLS



LEGEND

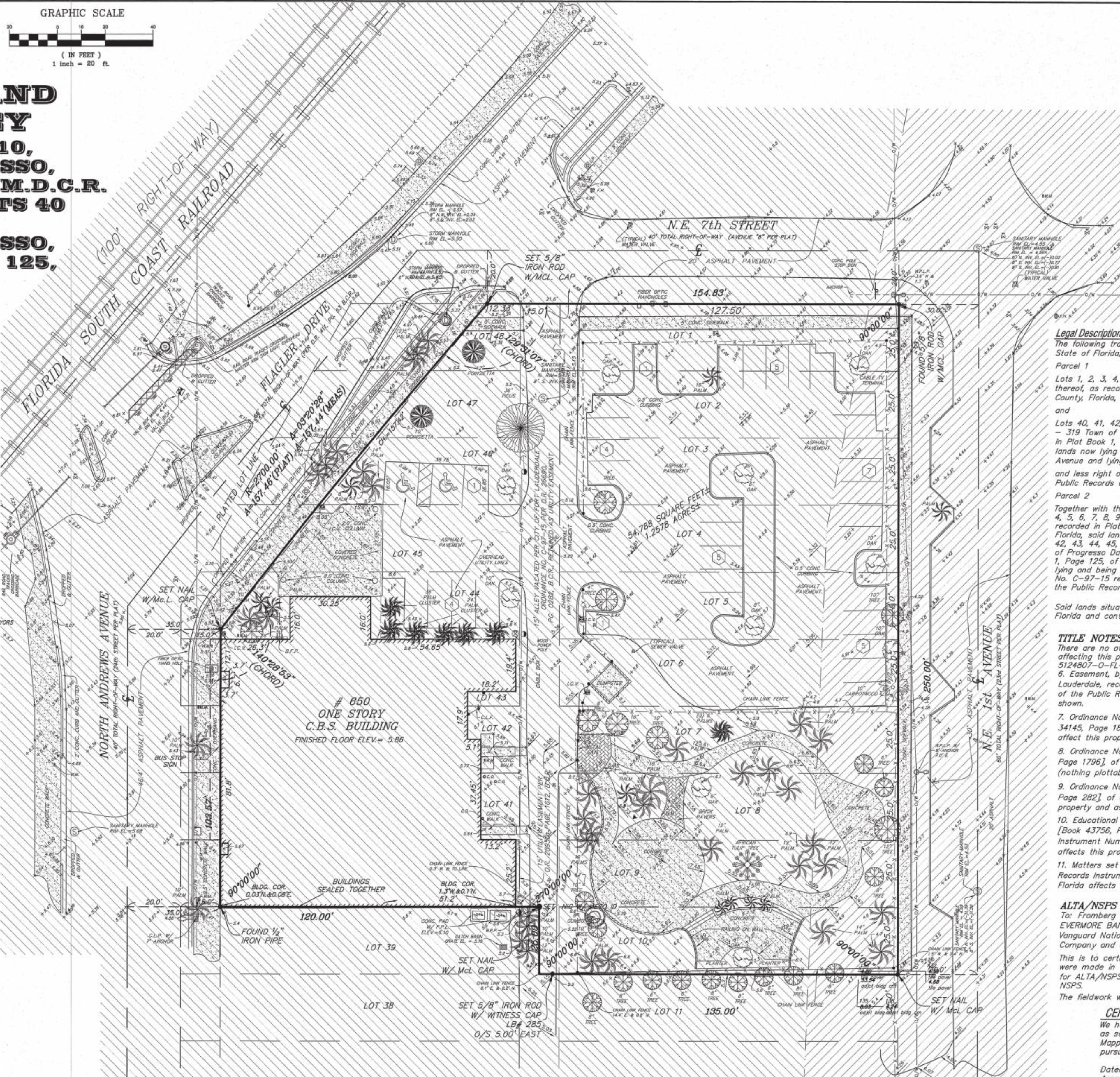
Δ = CENTRAL ANGLE (DELTA)
A/C = AIR CONDITIONING
A.K.A. = ALSO KNOWN AS
A.L.P. = ALUMINUM LIGHT POLE
A.L.T. = ALTA/NSPS LAND TITLE SURVEY
A.O.L. = ARC LENGTH
B.C.R. = BROWARD COUNTY RECORDS
B.F.P. = BACK FLOW PREVENTER
B.H. = BULKHEAD
B. = BASE LINE
C.A.T.V. = CABLE TV TERMINAL OR BOX
CALC. = CALCULATED
C.B.T. = CONCRETE BLOCK AND STUCCO
C.E. = CENTERLINE OF RIGHT-OF-WAY
CH. = CHORD
CH.B. = CHORD BEARING
C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
C.L.F. = CHAIN LINK FENCE
C.L.P. = CONCRETE LIGHT POLE
C.P.P. = CONCRETE POWER LIGHT POLE
C.O. = COMPANY
C.O.C. = CONCRETE
C/O = CLEAN OUT
D.B. = DEED BOOK
DESC. = DESCRIPTION FROM FORMER DESCRIPTION
DIA. = DIAMETER
D.B.H. = DIAMETER AT BREAST HEIGHT
ELEC. = ELECTRIC
ELEV. OR EL. = ELEVATION
F. = FEET
F.H. = FIRE HYDRANT
F.D.O. = FLORIDA DEPARTMENT OF TRANSPORTATION
F.P.L. = FLORIDA POWER AND LIGHT CO.
G.T.M. = GREASE TRAP MANHOLE
H.V. = HAND HOLE
I.C.V. = IRRIGATION CONTROL VALVE
INV. = INVERT
L.B. = LICENSE BUSINESS
MAG. = MAGNET
M.D.C.R. = MIAMI-DADE COUNTY RECORDS
MEAS. = FIELD MEASURE
P. = PARKING SPACES
M.H.W. = MEAN HIGH WATER
MISC. = MISCELLANEOUS
M.L.P. = METAL LIGHT POLE
N.S. = NATIONAL GEODETIC SURVEY
NSPS = NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
NOV29 = NATIONAL GEODETIC VERTICAL DATUM (1929)
NAVD83 = NORTH AMERICAN VERTICAL DATUM (1983)
N.S.I.D. = NORTH SPRINGS IMPROVEMENT DISTRICT
NO. = NUMBER
O/S = OFFSET
O.W. = OVERHEAD UTILITY LINES
P.C. = PAGE
P.B. = PLAT BOOK
P.B.C. = PALM BEACH COUNTY RECORDS
P.C. = POINT OF CURVE
P.C.D. = POLLUTION CONTROL DEVICE
P.I. = POINT OF INTERSECTION
P.I.V. = POST INDICATION VALVE
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.R.C. = POINT OF REVERSE CURVE
P.R.M. = PERMANENT REFERENCE MONUMENT
R. = RADIUS
R.C.P. = REINFORCED CONCRETE PIPE
R/W = RIGHT-OF-WAY
S.B.T. = SOUTHERN BELL TELEPHONE
S.V. = SEWER VALVE
S.H.W. = SEASONAL HIGH WATER LINE
S.T. = SURVEY DE LINE
TAN. = TANGENT
TAN.B. = TANGENT BEARING
T.M. = WATER METER
W. = WATER VALVE
W.B. = WET FACE OF BULKHEAD
W/P. = WET FACE OF CAP
W.L. = WOOD STREET LIGHT POLE
W.L.P. = WOOD POWER STREET LIGHT POLE
W.P.P. = WOOD POWER POLE
W.M.C. = WITH McLAUGHLIN ENGINEERING CO. CAP
W.W.C. = WITH WITNESS CAP # 285
H.C. = HANDICAPPED PARKING SPACE

NOTES:

- 1) This survey reflects all easements and rights-of-way, as shown on above referenced record plat(s). The subject property was not abstracted for other easements, road reservations or rights-of-way of record by McLaughlin Engineering Company.
- 2) Underground improvements if any not located.
- 3) This drawing is not valid unless sealed with an authorized surveyor's seal.
- 4) Boundary survey information does not infer Title or Ownership.
- 5) Reference Bench Mark: City of Fort Lauderdale Benchmark # NW 925 Elev.=4.45(NAVD83).
- 6) Elevations shown refer to North American Vertical Datum (1983), and are indicated thus: $\text{Elev.} = 5.83$
- 7) This property lies in Flood Zones "AH", Elev.=6.0 and "X", 0.2% Annual Chance of Flood Hazard Per Flood Insurance Rate Map No. 12011C0389 H, Dated: August 18, 2014, Community Panel No. 125105.
- 8) Underground Utility locations shown hereon, if any, are based upon paint marks on the ground provided by others. McLaughlin Engineering Company did not confirm the accuracy of this data. The exact location of all utilities should be confirmed prior to design or construction.

OFFICE NOTES

FIELD BOOK NO. T.D.S., PRINT REF. DWG. 93-2-35, LB# 380/60, PRINT, TDS, EFB
JOB ORDER NO. U-2408, V-4213, V-7229, V-7589
CHECKED BY: NATE, KT, RDR, KT
DRAWN BY:



Legal Description

The following tract or parcel of land situated in the County of Broward, and the State of Florida, being more particularly described as follows:

Parcel 1

Lots 1, 2, 3, 4, 5, 6, 7, 8, 9 and 10, Block 319, Progresso, according to the plat thereof, as recorded in Plat Book 2, Page 18, of the Public Records of Miami-Dade County, Florida, said lands now lying and being in Broward County, Florida, and

Lots 40, 41, 42, 43, 44, 45, 46, 47 and 48, Block 319, Supplemental Plat of Block - 319 Town of Progresso Dade Co. Fla., according to the plat thereof, as recorded in Plat Book 1, Page 125, of the Public Records of Miami-Dade County, Florida, said lands now lying and being in Broward County, Florida, lying East of North Andrews Avenue and lying Southeastly of Flagler Drive.

and less right of way as described in Official Records Book 411, Page 63, of the Public Records of Broward County, Florida.

Parcel 2

Together with those portions of vacated 15 foot alley lying adjacent to Lots 1, 2, 3, 4, 5, 6, 7, 8, 9 and 10, Block 319, Progresso, according to the plat thereof, as recorded in Plat Book 2, Page 18, of the Public Records of Miami-Dade County, Florida, said lands now lying and being in Broward County, Florida and Lots 40, 41, 42, 43, 44, 45, 46, 47 and 48, Block 319, Supplemental Plat of Block - 319 Town of Progresso Dade Co. Fla., according to the plat thereof, as recorded in Plat Book 1, Page 125, of the Public Records of Miami-Dade County, Florida, said lands now lying and being in Broward County, Florida, per the City of Fort Lauderdale Ordinance No. C-97-15 recorded July 10, 1997, in Official Records Book 26690, Page 282, of the Public Records of Broward County, Florida.

Said lands situate, lying and being in the City of Fort Lauderdale, Broward County, Florida and containing 54,788 square feet or 1.2578 acres, more or less.

TITLE NOTES:

- 1) There are no other Easements, Road Reservations or Rights-of-Ways of record affecting this property per American Land Title Association Commitment No. 5124807-O-FL-MP-SHU, dated January 31, 2023 at 8:00AM.
- 2) Easement, by and between, Lighthouse of Broward County, Inc., and City of Fort Lauderdale, recorded October 28, 1998, in Official Records [Book 28950, Page 1612], of the Public Records of Broward County, Florida affects this property and as shown.
- 3) Ordinance No. 2002-61 recorded November 21, 2002, in Official Records [Book 34145, Page 1891] of the Public Records of Broward County, Florida does not affect this property.
- 4) Ordinance No. 2005-20 recorded July 15, 2005, in Official Records [Book 40082, Page 1796] of the Public Records of Broward County, Florida affects this property (nothing plottable).
- 5) Ordinance No. C-97-15 recorded July 10, 1997, in Official Records [Book 26690, Page 282] of the Public Records of Miami-Dade County, Florida affects this property and as shown.
- 6) Educational Mitigation Agreement recorded March 16, 2007, in Official Records [Book 43756, Page 1606], Amendment recorded March 31, 2017, in Official Records Instrument Number [114295268] of the Public Records of Broward County, Florida affects this property (nothing plottable).
- 7) Matters set forth in Specialty Paving Affidavit recorded April 26, 2019, in Official Records Instrument Number [115766095] of the Public Records of Broward County, Florida affects this property, not a survey matter.

ALTA/NSPS Land Title Survey Certification:

To: Fromberg Perlow & Kornik, P.A.
EVERMORE BANK, a Florida banking corporation, ISAOA/ATIMA Kensington Vanguard National Land Services, LLC, Old Republic National Title Insurance Company and 650 North Andrews LLC.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS.

The fieldwork was completed on September 23rd, 2022.

CERTIFICATION

We hereby certify that this survey meets the "Standards of Practice" as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Dated at Fort Lauderdale, Florida, this 14th day of July, 2006.
Area added this 28th day of July, 2008.
Resurveyed this 3rd day of April, 2019.
Resurveyed this 23rd day of September, 2022.
Title note added this 19th day of January, 2023.



Digitally signed
by Jerald A.
McLaughlin:A014
10C00000177F88
B6A11000174C4
Date: 2023.03.03
14:32:29 -05'00'

McLAUGHLIN ENGINEERING COMPANY

JERALD A. McLAUGHLIN
Registered Land Surveyor No. 5269
State of Florida.

FILE NO.: 06 - 3 - 87(N)(23)

SUPPLEMENTAL PLAT OF BLK-319
TOWN OF PROGRESSO DADE CO. FLA.

State of Missouri
County of Jackson

Personally appeared before me the undersigned authority, The Florida Fruit Lands Com-
pany, a corporation organized and existing under the laws of the State of Colorado, by George
A. Faddock its president, and John Matthew, its secretary, who being both duly sworn,
under oath say that they are the officers as stated herein of said corporation, that the cor-
poration executed the accompanying supplemental plat of Block 319 in the town of

Progresso, Dade County, Florida,
To the end that said supplemental
plat may be admitted to record
according to law. That the
common corporate seal of the
corporation was affixed to said
survey and map under resolution
of the Board of Directors of said
corporation and that the same
is the genuine and authentic
corporate seal of said cor-
poration, The Florida Fruit
Lands Company. Executed on
behalf of said corporation, and
its seal affixed hereto this 26th day
of April, A.D. 1912

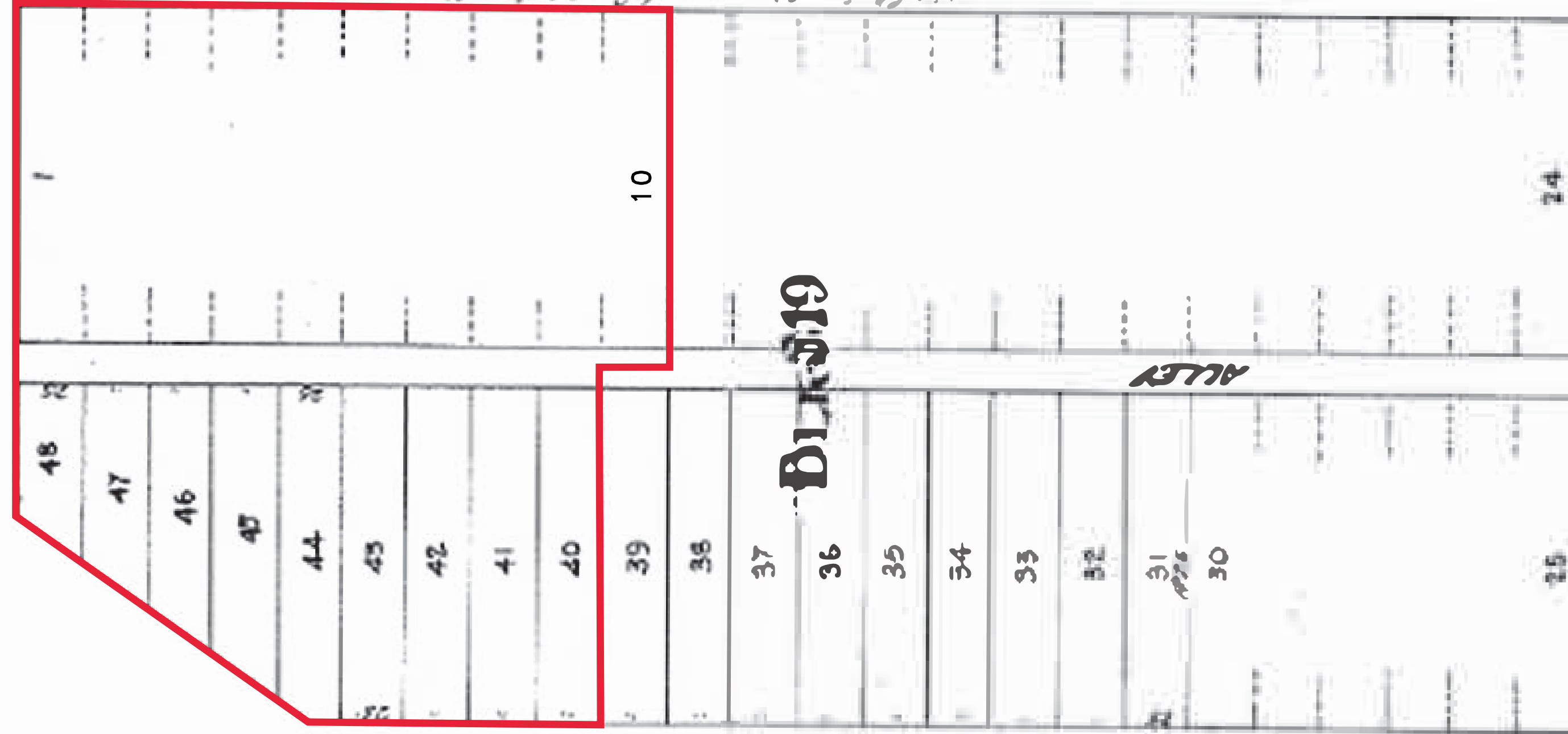
George A. Faddock
President

John Matthew
Secretary

Sworn and subscribed by the
parties hereto before me this
26th day of April, A.D. 1912.
Notary Public

My commission expires April 18, 1913

AVE. B.



A

AVE.

STATE OF FLORIDA
COUNTY OF DADE
This supplemental plat was recorded this 15th
day of May, 1912, and duly recorded
in book 1 of
page 125
RECORDED
J. M. Merritt
Deputy Clerk

REV.	DATE	DESCRIPTION
01	10-13-2023	D.R.C. SUBMITTAL
02	12-21-2023	REV. 1 COMMENTS
03	04-23-2024	REV. 2 COMMENTS
04	08-13-2024	REV. 3 COMMENTS
05	10-07-2024	REV. 4 COMMENTS

ALL MEASUREMENTS MUST BE VERIFIED BEFORE
BEGINNING THE WORKS. NO MEASUREMENTS ARE TO
BE SCALED DIRECTLY FROM THIS DRAWING.

[illegible]

Client

**BAM PROPERTY
DEVELOPMENT LLC**
1044 BROADWAY,
WOODMERE, NY 11598

Project

**650 N ANDREWS
MIXED-USE**

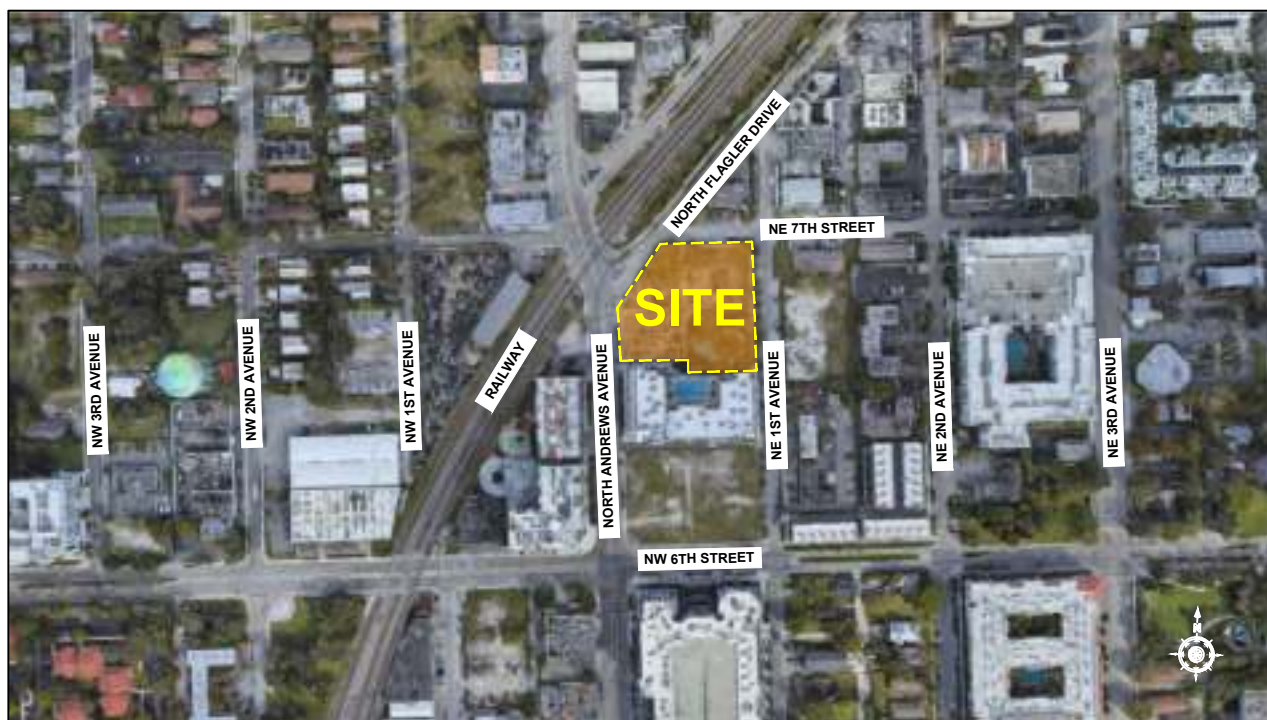
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

DRAWING INDEX SITE INFORMATION	
Drawn J. WU	Field ARCHITECTURE
Verified J.F. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-07-2024
Project Manager N. TREMBLAY	Dwg. no. <div style="font-size: 2em; font-weight: bold; margin-top: 10px;">A-000</div>
Project <div style="background-color: #0070C0; color: white; padding: 5px; font-weight: bold; font-size: 1.2em;">22-855</div>	

ARCHITECTURE									
A-001	LAND USE REGULATING PLANS	o	o	o	o	o	o	o	o
A-002	BUILDING DESIGN GUIDELINES	o	o	o	o	o	o	o	o
A-003	STREET DESIGN - NORTH ANDREWS AVENUE	o	o	o	o	o	o	o	o
A-004	STREET DESIGN - NE 7TH STREET	o	o	o	o	o	o	o	o
A-005	STREET DESIGN - NE 15TH AVENUE	o	o	o	o	o	o	o	o
A-006	STREET DESIGN - FLAGLER DRIVE	o	o	o	o	o	o	o	o
A-007	ZONING ANALYSIS & PROJECT DATA	o	o	o	o	o	o	o	o
A-008	CONCEPTUAL BUILDING SECTION	o	o	o	o	o	o	o	o
A-009	MASTER SIGN PLAN					o	o	o	o
A-080	SITE PLAN	o	o	o	o	o	o	o	o
A-201	GROUND FLOOR PLAN	o	o	o	o	o	o	o	o
A-202	LEVEL 02 FLOOR PLAN	o	o	o	o	o	o	o	o
A-203	LEVEL 03 FLOOR PLAN	o	o	o	o	o	o	o	o
A-204	LEVEL 04 FLOOR PLAN	o	o	o	o	o	o	o	o
A-205	LEVEL 05-14 FLOOR PLAN (X10)	o	o	o	o	o	o	o	o
A-206	ROOF PLAN	o	o	o	o	o	o	o	o
A-501	NORTH ELEVATION	o	o	o	o	o	o	o	o
A-502	WEST ELEVATION	o	o	o	o	o	o	o	o
A-503	EAST ELEVATION	o	o	o	o	o	o	o	o
A-504	SOUTH ELEVATION	o	o	o	o	o	o	o	o
A-901	CONCEPTUAL AERIAL VIEWS	o	o	o	o	o	o	o	o
A-902	CONCEPTUAL 3D RENDERINGS 01	o	o	o	o	o	o	o	o
A-903	CONCEPTUAL 3D RENDERINGS 02	o	o	o	o	o	o	o	o
A-904	CONCEPTUAL 3D RENDERINGS 03	o	o	o	o	o	o	o	o
A-905	CONCEPTUAL 3D RENDERINGS 04	o	o	o	o	o	o	o	o
A-906	CONCEPTUAL 3D RENDERINGS 05	o	o	o	o	o	o	o	o
A-907	CONCEPTUAL 3D RENDERINGS 06	o	o	o	o	o	o	o	o
A-908	CONCEPTUAL 3D RENDERINGS 07	o	o	o	o	o	o	o	o
A-909	CONCEPTUAL 3D RENDERINGS 08	o	o	o	o	o	o	o	o
A-910	CONCEPTUAL 3D RENDERINGS 09	o	o	o	o	o	o	o	o
A-911	CONCEPTUAL 3D RENDERINGS 10	o	o	o	o	o	o	o	o
A-912	CONCEPTUAL 3D RENDERINGS 11	o	o	o	o	o	o	o	o
A-913	CONCEPTUAL 3D RENDERINGS 12	o	o	o	o	o	o	o	o
A-914	CONCEPTUAL 3D RENDERINGS 13	o	o	o	o	o	o	o	o
A-915	CONCEPTUAL 3D RENDERINGS 14	o	o	o	o	o	o	o	o
A-916	CONCEPTUAL 3D RENDERINGS 15	o	o	o	o	o	o	o	o
A-917	CONCEPTUAL 3D RENDERINGS 16	o	o	o	o	o	o	o	o
A-918	CONCEPTUAL 3D RENDERINGS 17	o	o	o	o	o	o	o	o
A-919	CONCEPTUAL 3D RENDERINGS 18		o	o	o	o	o	o	o
A-920	CONCEPTUAL 3D RENDERINGS 19			o	o	o	o	o	o
A-921	CONCEPTUAL 3D RENDERINGS 20				o	o	o	o	o
A-922	CONCEPTUAL 3D RENDERINGS 21					o	o	o	o
A-923	CONCEPTUAL 3D RENDERINGS 22						o	o	o
A-924	CONCEPTUAL 3D RENDERINGS 23							o	o
A-925	CONCEPTUAL 3D RENDERINGS 24 & 25								o

[illegible]

LOCATION MAP - 1 (650 NORTH ANDREWS AVENUE, FORTLAUDERDALE, FLORIDA 33311)



LOCATION MAP - 2 (650 NORTH ANDREWS AVENUE, FORTLAUDERDALE, FLORIDA 33311)



LOCATION MAP - 3 (LOOKING SOUTH - EAST)



LOCATION MAP - 4 (LOOKING SOUTH - WEST)

1 SITE LOCATION MAPS
A-000 SCALE: NTS

NE 7TH STREET

NORTH FLAGER DRIVE

NORTH ANDREWS AVENUE

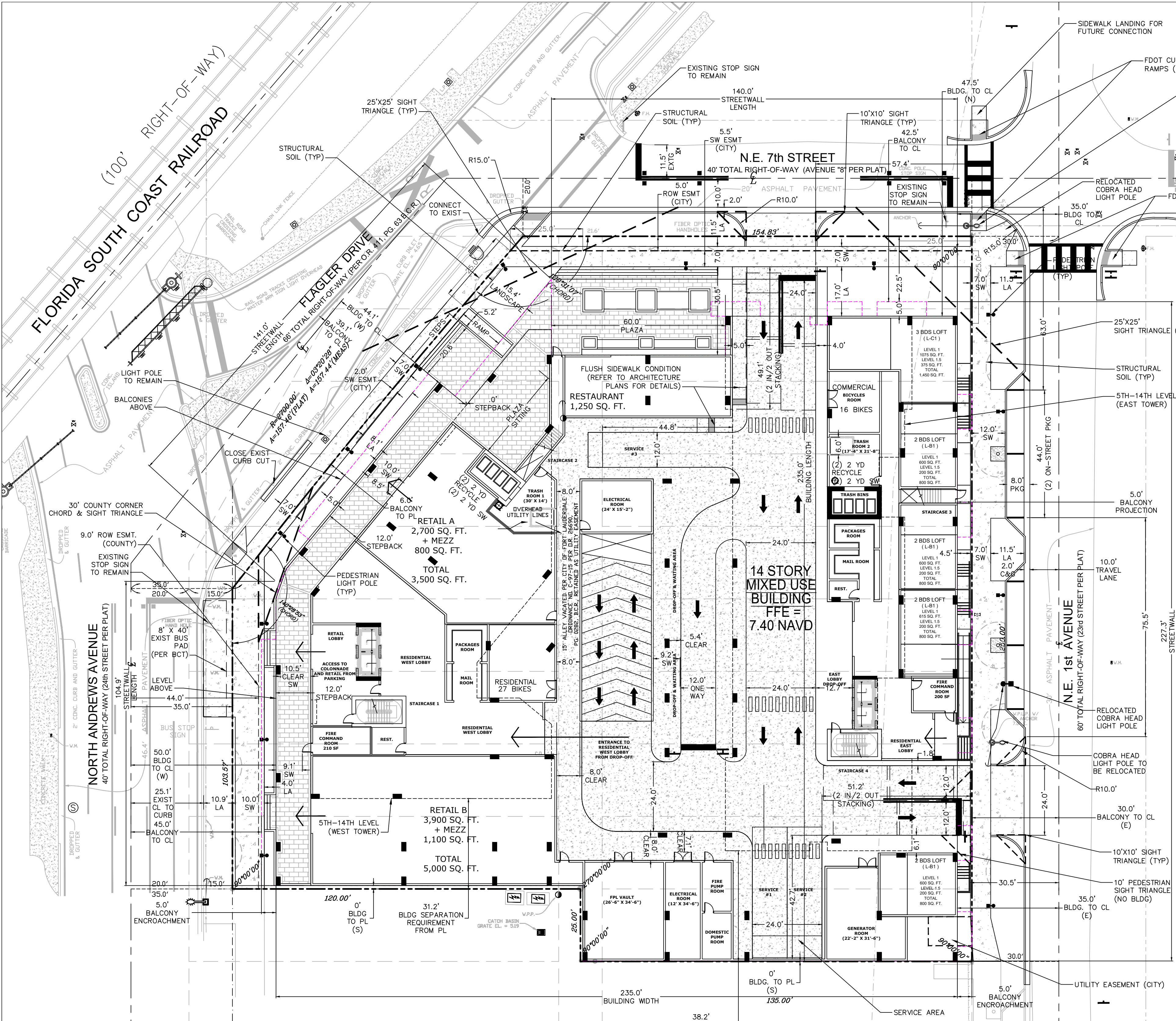
PARCEL
APPROX. AREA
54,788 SQ. FT.

NE 1ST AVENUE

N

PARCEL	STREET ADDRESS	FOLIO #	SITE AREA
	650 NORTH ANDREWS AVENUE, FORT LAUDERDALE, FLORIDA 33311	FOLIO # 494234150060	54,788 SF - 1.25 AC
		TOTAL	54,788 SF - 1.25 AC

1 SITE INFORMATION
A-000 SCALE: NTS



DRT TABLE (URBAN NEIGHBORHOOD)

RAC-UV:		COMPLIES/ALTERNATIVE DESIGN:	
Max. Bldg Height	12 Floors**	14 Floors (East & West towers)	Deviation Requested
Max. Bldg Streetwall Length	300 Feet	N Andrews: 104' - 11' Flagler Dr.: 141' - 0' NE 7th St.: 140' - 0' NE 1st Ave: 227' - 3'	Complies
Max. Gross SF of Bldg Tower Floor Plate Size	Residential: 10,000 square feet Non-Residential: 16,000 square feet	9,200 square feet (West tower) 10,680 square feet (East tower)	Deviation Requested for East Tower
Max Bldg Podium Height	6 Floors	3 Floors	Complies
Min. Bldg Tower Step Back	12 Feet	Flagler Drive: 0' or 12' with 5' balcony projection Andrews Ave: 12' with 5' balcony projection NE 7th St.: 0' NE 1st St.: 15' - 8"	Deviation Requested for NE 7th Street and Flagler Drive with 5' balcony projections
Min. Separation between Bldg Towers:	60 Feet between towers in same parcel; 30 Feet min if adjacent to abutting lot under separate ownership;	Min. 60' between E/W Tower's balconies Min. 38'-2" East Tower Face to South Pl Min. 33'-2" East Tower Balcony to South Pl Min. 31'-2" West Tower Face to South Pl Min. 26'-2" West Tower Balcony to South Pl	Complies Complies Complies Deviation Requested for 5' balcony projection
Minimum Residential Unit Size	400 square feet	450 square feet	Complies

** Heights above six (6) floors and up to twelve (12) floors in the Urban Neighborhood Character Area and RAC-RPO zoning districts shall be reviewed subject to the requirements of Section 47-24.3, Conditional Use Permit, except that parcels abutting Andrews Ave. and Federal Hwy. shall be exempt from Conditional Use Review for height.

FLOOD DATA:

SEE SHEET C2

WATER/WASTEWATER SERVICE PROVIDER:

• CITY OF FORT LAUDERDALE

SETBACK TABLE

	REQUIRED	PROVIDED
FRONT YARD (WEST) - N ANDREWS AVENUE	49.0' FROM CL	50.0' (BLDG) TO CL 45.0' (BALCONY) TO CL
FRONT YARD (WEST) - N FLAGLER DRIVE	35.0' FROM CL	44.1' (BLDG) TO CL 39.1' (BALCONY) TO CL
REAR YARD (EAST) - N.E. 1ST AVENUE	35.0' FROM CL	35.0' (BLDG) TO CL 30.0' (BALCONY) TO CL
SIDE YARD (NORTH) - N.E. 7TH STREET	35.0' FROM CL	47.5' (BLDG) TO CL 42.5' (BALCONY) TO CL
SIDE YARD (SOUTH) - ADJ. PROPERTY	0'	0'

BUILDING DATA:

SEE SHEET (arch)

OPEN SPACE - PROVIDED & REQUIRED

	REQUIRED:	PROPOSED:
OPEN SPACE (EXHIBIT PROVIDED ON SHEET X4)	7,330 SF	30,888 SF
**SEE SHEET X4		

STRUCTURAL SOIL:

STRUCTURAL SOIL WILL BE USED UNDER THE PUBLIC SIDEWALK AS REQUIRED PER THE CITY OF FORT LAUDERDALE ULDR. STRUCTURAL SOIL AND PAVEMENT DETAILS PROVIDED ON LANDSCAPE PLANS.

SOLID WASTE / RECYCLING MANAGEMENT:

- THE SOLID WASTE AND RECYCLING WILL BE COLLECTED BY A PRIVATE LICENSED CONTRACTOR 2 TIMES PER WEEK OR MORE AS NEEDED.
 - THE COLLECTION WILL OCCUR BY ACCESS FROM EITHER NE 1ST AVE OR NE 7TH ST. SERVICE TURNING RADI SHOWN ON CIRCULATION EXHIBIT (SHEET X5).
 - THE TRASH AND RECYCLE CONTAINERS WILL BE STORED AT ALL TIMES WITHIN THE TRASH ROOM INSIDE THE BUILDING. ON-SITE PERSONNEL WILL PLACE CONTAINERS FROM THE TRASH ROOM TO THE AREA OUTSIDE THE BUILDING FOR PICK UP.
 - SOLID WASTE TRANSPORT TO TRASH ROOMS SHALL BE PERFORMED INSIDE THE BUILDING VIA TRASH CHUTE (RESIDENTIAL ONLY).
 - THE WASTE SYSTEM WILL MEET THE CAPACITY REQUIREMENT OF THE BUILDING ORDINANCE REQUIREMENTS.
- THE BUILDING WILL CONTAIN THE FOLLOWING EQUIPMENT:
• WASTE REMOVAL WILL BE 3 DAYS/WK OR AS NEEDED-(4) 2YD CONTAINERS
• RECYCLE REMOVAL WILL BE 2 DAYS/WK OR AS NEEDED-(4) 2YD CONTAINERS
- **THE WASTE SYSTEMS WILL MEET THE CAPACITY REQUIREMENTS OF BUILDING ORDINANCE REQUIREMENTS AND COMPLY WITH ULDR 4719.4 AS APPLICABLE.

ON-STREET PKG:
• NONE OF THE ON-STREET SPACES ARE RESERVED FOR THE DEVELOPMENT AND MAY BE USED BY ANY MEMBER OF THE PUBLIC. ON-STREET SPACES WILL NOT COUNT TOWARDS THE PARKING REQUIREMENTS FOR THE PROJECT; THE SPACES MAY BE REMOVED AT ANY TIME FOR ANY REASON AND THE CITY OF FORT LAUDERDALE WILL NOT RELOCATE DISPLACED ON-STREET PARKING.
• THE CITY RESERVES THE RIGHT TO METER ON-STREET PARKING STALLS ON THE PUBLIC RIGHT-OF-WAY AT ANY TIME.

PARKING GARAGE DATA:

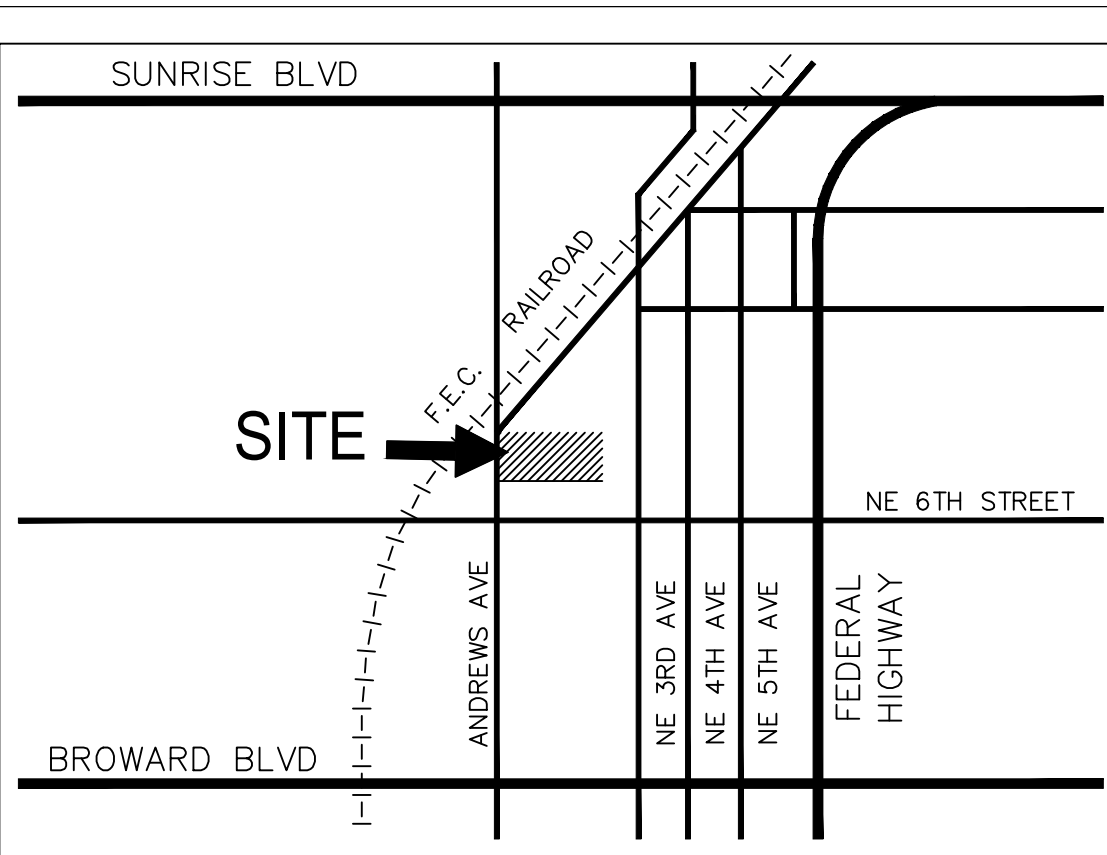
RESIDENTIAL / PARKING BY LEVEL	PARKING PROVIDED	TYPE
1 LEVEL	PARKING 48	47S + 1HC
2 LEVEL	PARKING 77	75S + 2HC
3 LEVEL	PARKING 77	75S + 2HC
4 LEVEL	PARKING 77	75S + 2HC
5 LEVEL	PARKING 77	75S + 2HC
TOTAL = 347 STANDARD 9 HANDICAP		

Blake M Kidwell

Digitally signed by Blake M Kidwell
DN: c=US, o=Unaffiliated, dnQualifier=A01410C000001, 8E75F93E100026DEE, cn=Blake M Kidwell
Date: 2024.11.14 15:49:35 -0500

This document has been digitally signed and sealed by Blake M. Kidwell on 11/14/2024.

Printed copies of this document are not considered signed and sealed.



LOCATION MAP

NTS

SITE DATA TABLE:

ADDRESS	650 N. ANDREWS AVE
PARCEL ID#	4942 34 15 0060
CURRENT USE OF PROPERTY	INSTITUTIONAL/PARKING LOT
PROPOSED USE OF PROPERTY	MIXED USE
CURRENT LAND USE DESIGNATION	D-RAC
PROPOSED LAND USE DESIGNATION	D-RAC
CURRENT ZONING DESIGNATION	RAC-UV
PROPOSED ZONING DESIGNATION	RAC-UV
ADJACENT ZONING DESIGNATION - E, N, S, & W	RAC-UV
DOWNTOWN CHARACTER AREA	URBAN NEIGHBORHOOD
WATER & WASTEWATER SERVICE PROVIDER CITY OF FORT LAUDERDALE	

SITE AREA:

TOTAL SITE AREA (NET)	54,788 SF / 1.25 ACRES
TOTAL SITE AREA (GROSS)	75,300 SF / 1.73 ACRES

PERVIOUS / IMPERVIOUS:

TOTAL PERVIOUS PROPOSED (LANDSCAPE)	2,219 SF	4.0 %
TOTAL PERVIOUS EXISTING	18,730 SF	34.2 %
TOTAL IMPERVIOUS PROPOSED	8,154 SF	14.9 %
TOTAL IMPERVIOUS EXISTING	25,291 SF	46.1 %
TOTAL BUILDING FOOT PRINT PROPOSED	44,415 SF	81.1 %
TOTAL BUILDING FOOT PRINT EXISTING	10,767 SF	19.7 %

PEDESTRIAN WALKS & PLAZAS	7,551 SF	13.8 %
LOT COVERAGE	46,411 SF	84.7 %
VIA AREA	828 SF	1.5 %

NUMBER OF RESIDENTIAL UNITS

WEST TOWER	257 UNITS
HEIGHT/# FLOORS	175' / 14 FLOORS
BUILDING WIDTH & LENGTH	83' X 161'
# RES UNITS	107 UNITS
EAST TOWER	62' / 14 FLOORS
BUILDING WIDTH & LENGTH	64'4" X 184'
# RES UNITS	119 UNITS
PODIUM	175' / 6 FLOORS
BUILDING WIDTH & LENGTH	225'0" X 235'0"
# RES UNITS	31 UNITS

LOT DENSITY (257 DU / 1.25 AC)	205.6 DU/AC
FLOOR AREA RATIO (F.A.R.) = (307,775 GSF / 54,788)	5.61

TOTAL BUILDING SQUARE FOOTAGE (NIC PKG/LOADING/BALC.)	307,775 GROSS SF
TOTAL RESIDENTIAL	215,350 SF
TOTAL AMENITY/TENANT STORAGE/COMMON	74,585 SF
TOTAL COMMERCIAL	9,750 SF
TOTAL SERVICE	9,185 SF

TOTAL PARKING AND LOADING (NIC)	136,800 SF
TOTAL BALCONIES TERRACES (NIC)	25,105 SF

PARKING / LOADING / BIKE / STACKING DATA:

	UNITS	RATIO	REQUIRED	PROVIDED
RESIDENTIAL	STUDIO / 1 BEDROOM	151	1.2	181.2
	2 BEDROOM	101	1.2	121.2
	3 BEDROOM	5	1.2	6.0
	SUBTOTAL	=257	SUBTOTAL	308.4

	AREA	RATIO	REQUIRED	PROVIDED
COMMERCIAL	8,500 SF	1/250 SF	34.0	34
RESTAURANT	1,250 SF	1/100 SF	12.5	13
	SUBTOTAL		46.5	47

BICYCLE PARKING	REQUIRED PROVIDED
RESIDENTIAL (GROUND FLOOR LEVEL)	0 27
COMMERCIAL (GROUND FLOOR LEVEL)	0 16
SUBTOTAL	43

LOADING REQUIREMENTS:	GSF	REQUIRED PROVIDED
RESIDENTIAL	9,750 SF	0
COMMERCIAL	1,250 SF	0*
TOTAL	11,000 SF	0 0

*LOADING REQ. FOR NON-RESIDENTIAL <15,000 NOT REQUIRED.
*LOADING REQ. FOR RESIDENTIAL USES ARE NOT REQUIRED (ULDR SEC 47-20.2).

STACKING REQUIREMENTS:		IN-BOUND REQUIRED	IN-BOUND PROVIDED	OUT-BOUND REQUIRED	OUT-BOUND PROVIDED
NW 1st AVE		2	2	1	1
NW 7th ST		2	2	1	1
* STACKING REQUIREMENT PER ULDR SEC 47-20.5.C.6.					

EV NOTE:
• 5% OF TOTAL PARKING SPACES WILL BE ELECTRIC CAR CHARGING STATIONS. UP TO 20% OF TOTAL PARKING SPACES WILL BE FUTURE EV CHARGING COMPATIBLE.

SITE PLAN

650 N. ANDREWS AVE
1619 NW 8TH STREET
FORT LAUDERDALE, FLORIDA

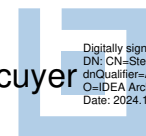


Revisions
12/21/23 REV1
03/06/24 REV2
05/15/24 REV3
09/10/24 REV4
10/04/24 REV5

Phase:
DRC
DOCUMENTS

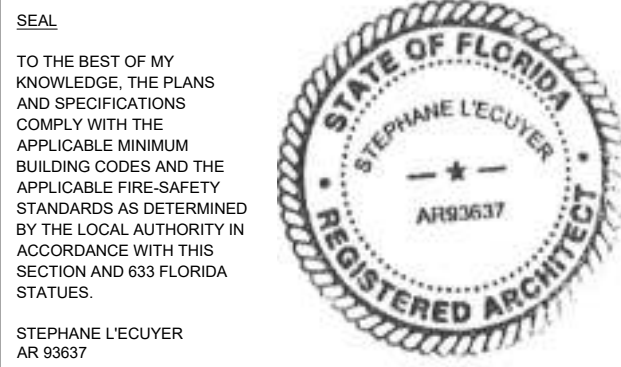


Scale: 1"=20'	Date: 11/14/24
Job No: 22-1728.00	Plot Date: 11/14/24
Drawn by: SROD	Sheet No: C0.1
Proj. Mgr: BMK	
Appr. by: JMF	1 of 1



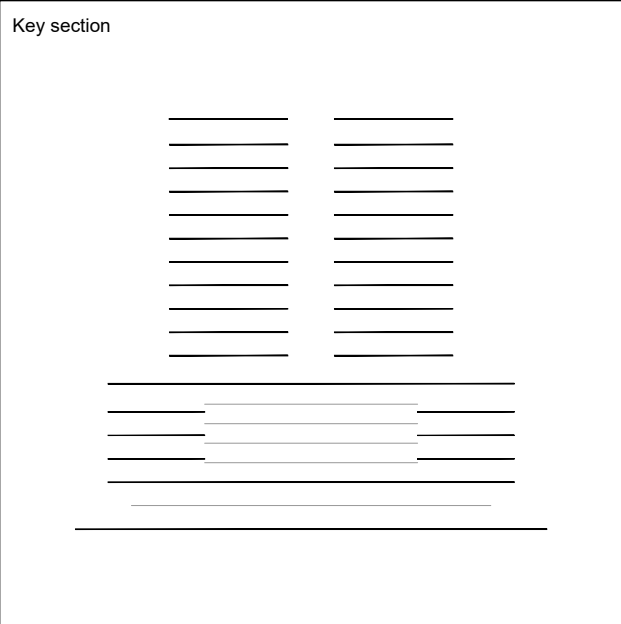
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3323 NE 163rd Street, Suite 200 North Miami Beach, FL 33160
1 305.792.0015 1 305.931.0279 @info@absolute-idea.com



REV.	DATE	DESCRIPTION
01	10-13-2023	D.R.C. SUBMITTAL
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03	04-23-2024	REV. 2 COMMENTS
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05	10-10-2024	REV. 4 COMMENTS

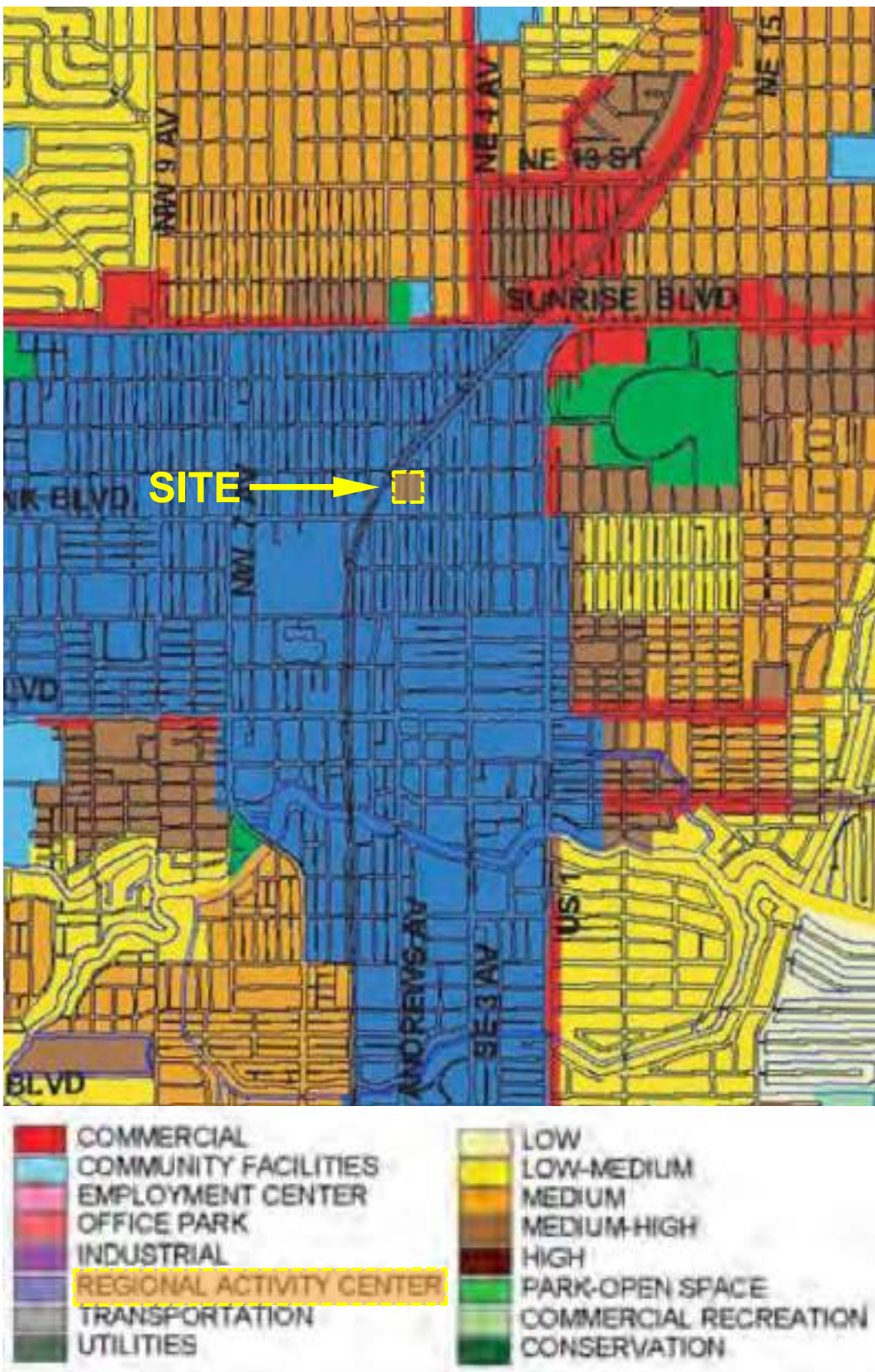
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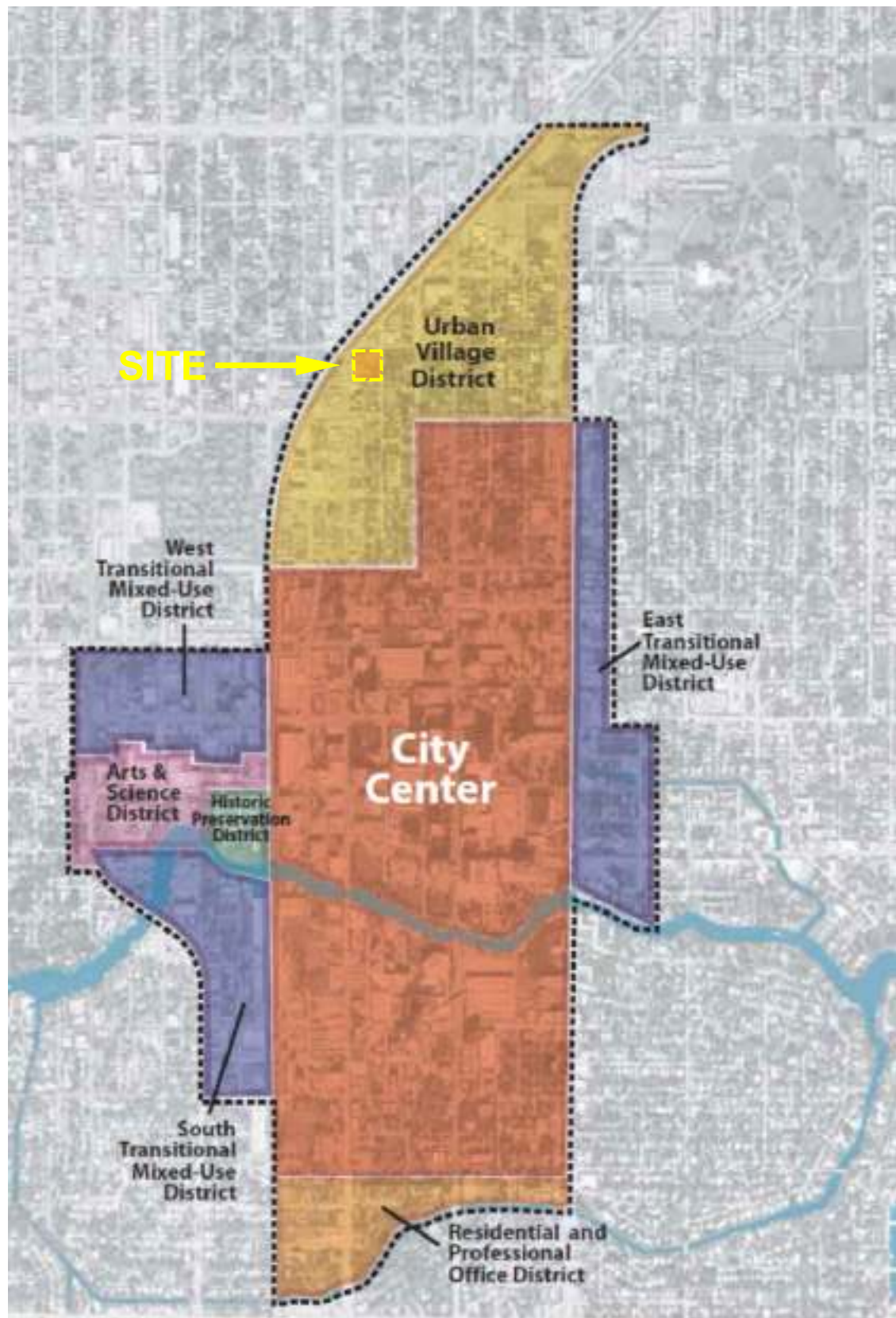
Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

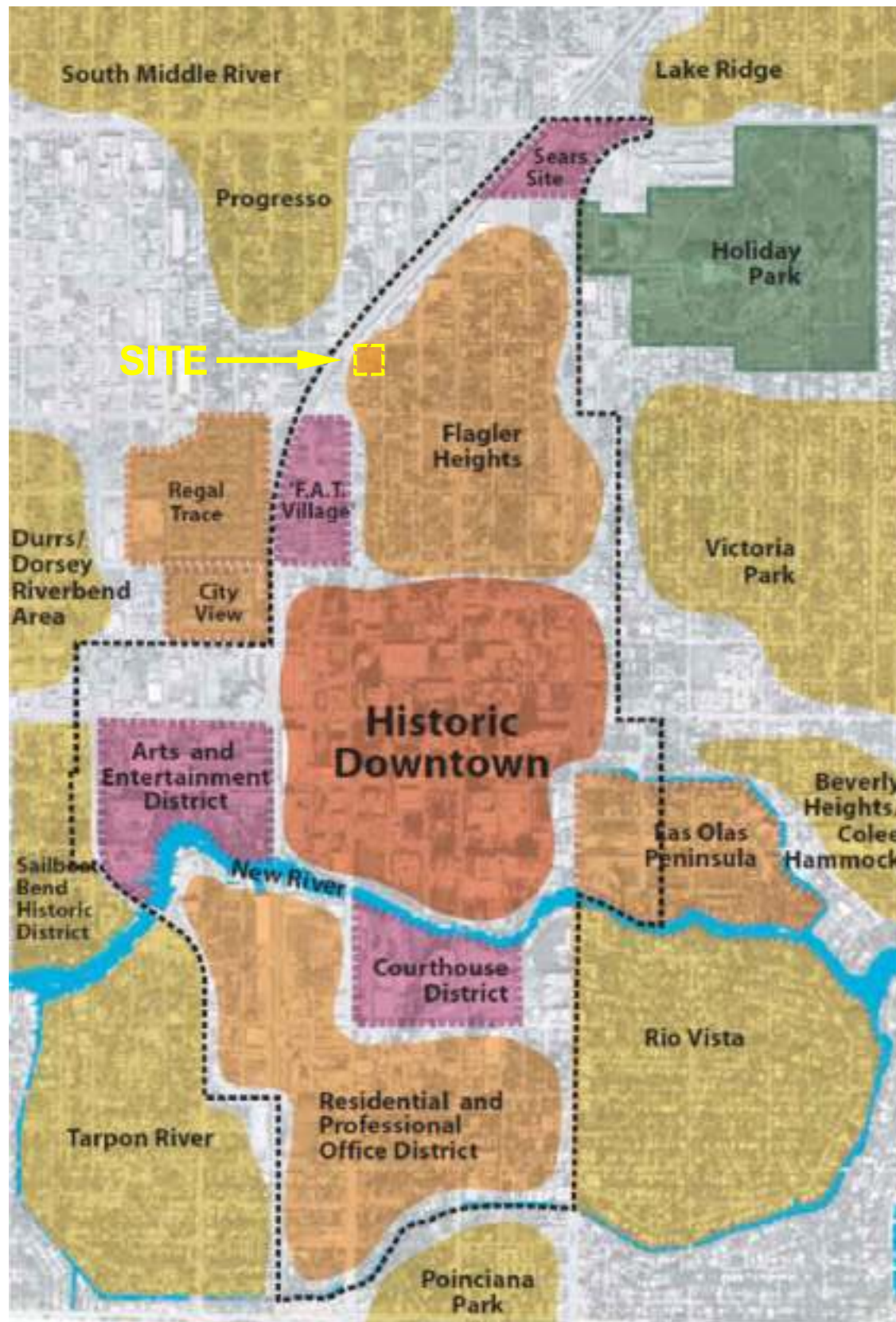
LAND USE REGULATING PLANS	
Drawn J. WU	Field ARCHITECTURE
Verified J.F. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024
Project Manager N. TREMBLAY	Dwg. no. A-001
Project 22-855	



1 LAND USE MAP
RAC (REGIONAL ACTIVITY CENTER)
A-001 SCALE: NTS



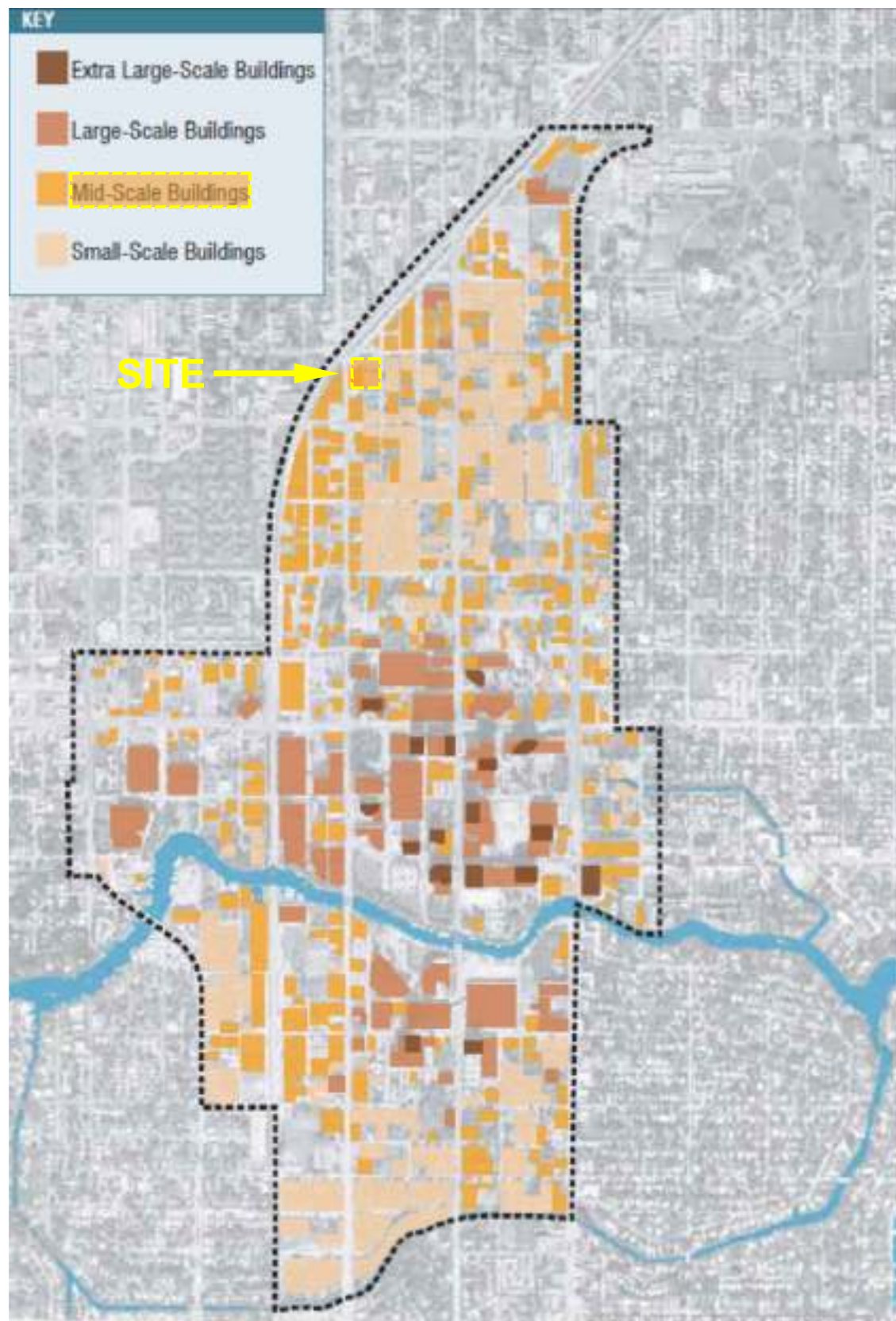
2 ZONING DISTRICT DESIGNATION
URBAN VILLAGE DISTRICT
A-001 SCALE: NTS



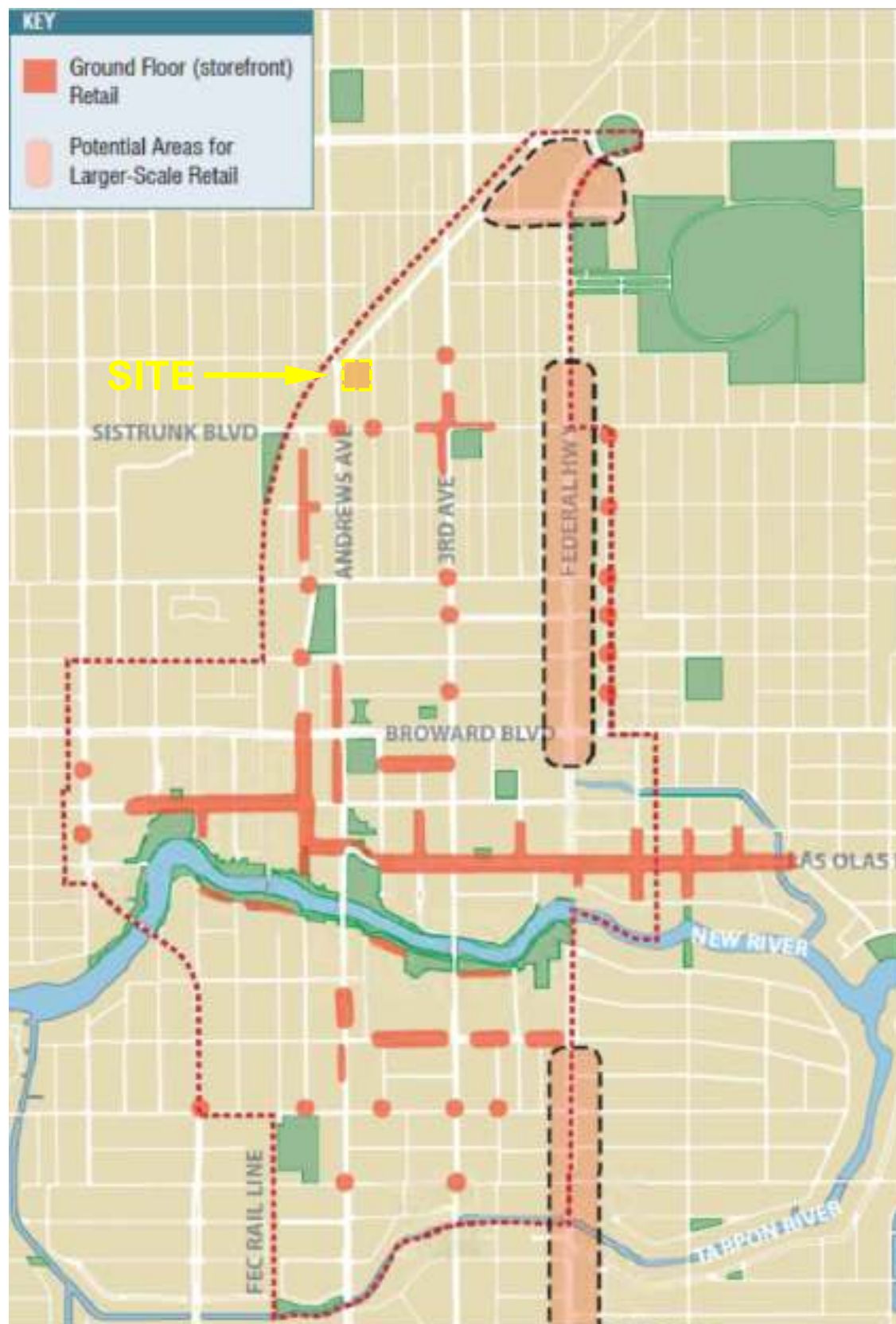
3 NEIGHBORHOOD IDENTITY
FLAGLER HEIGHTS
A-001 SCALE: NTS



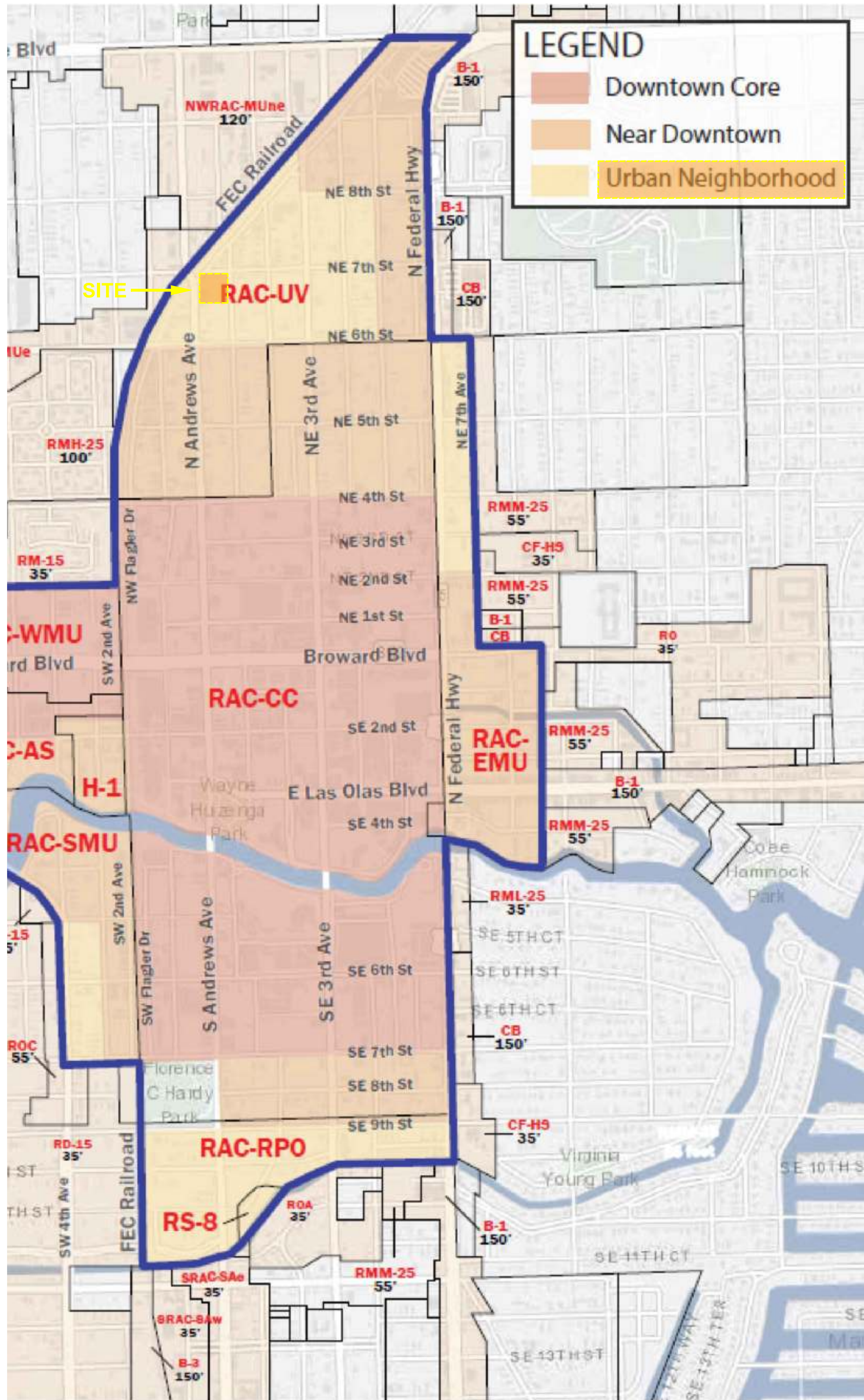
4 NEIGHBORHOOD STREET PATTERNS
FLAGLER HEIGHTS GRID
A-001 SCALE: NTS



5 BUILDING TYPES DIAGRAM
MID-SCALE BUILDING
A-001 SCALE: NTS

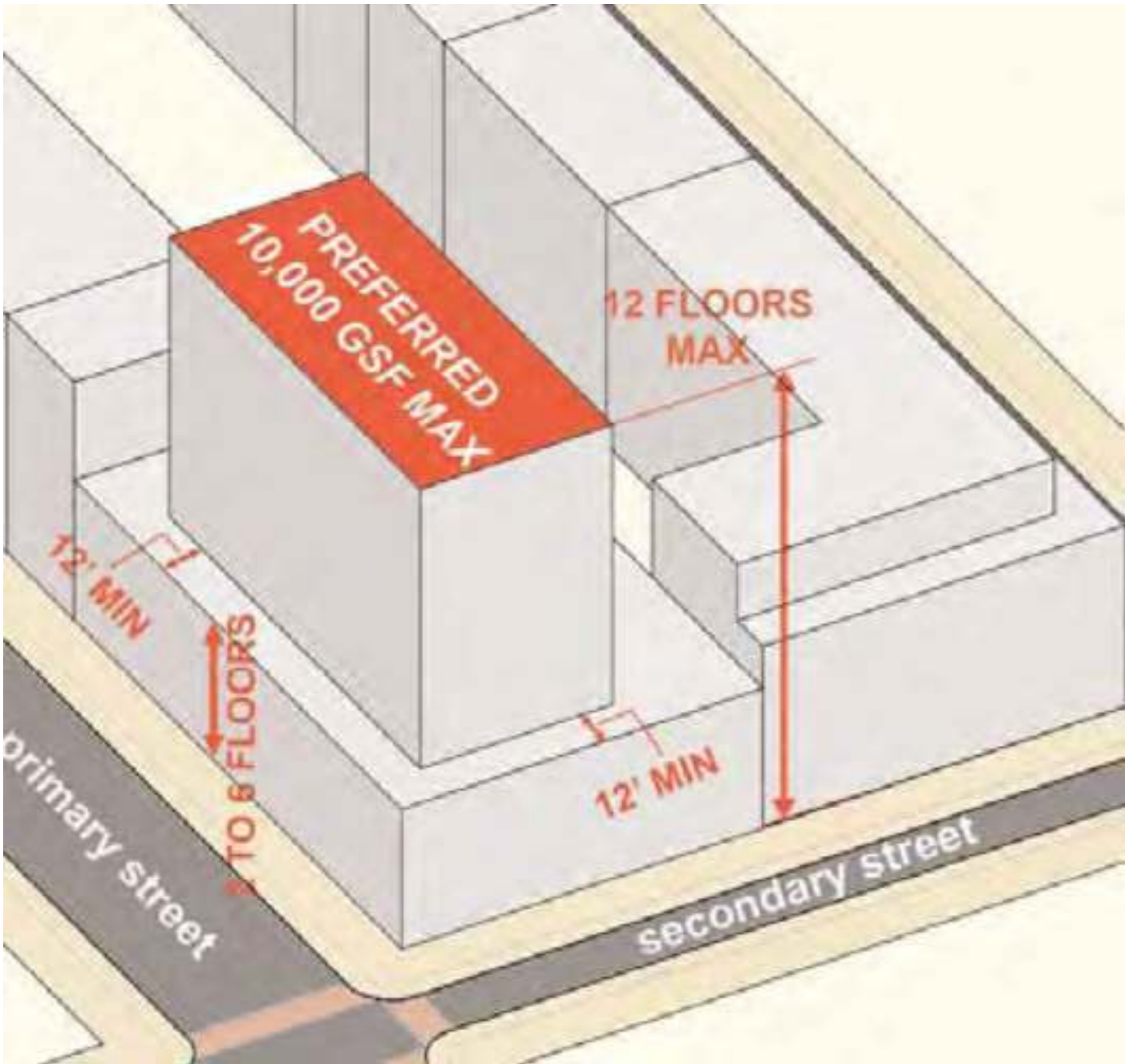
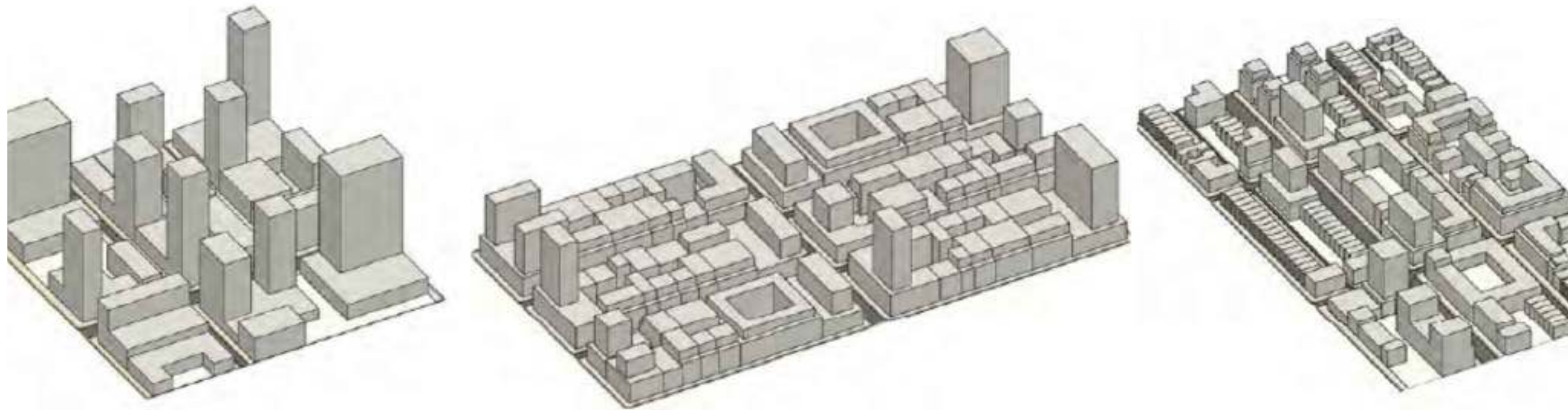


6 RETAIL DIVERSITY DIAGRAM
GROUND FLOOR RETAIL PROPOSED
A-001 SCALE: NTS



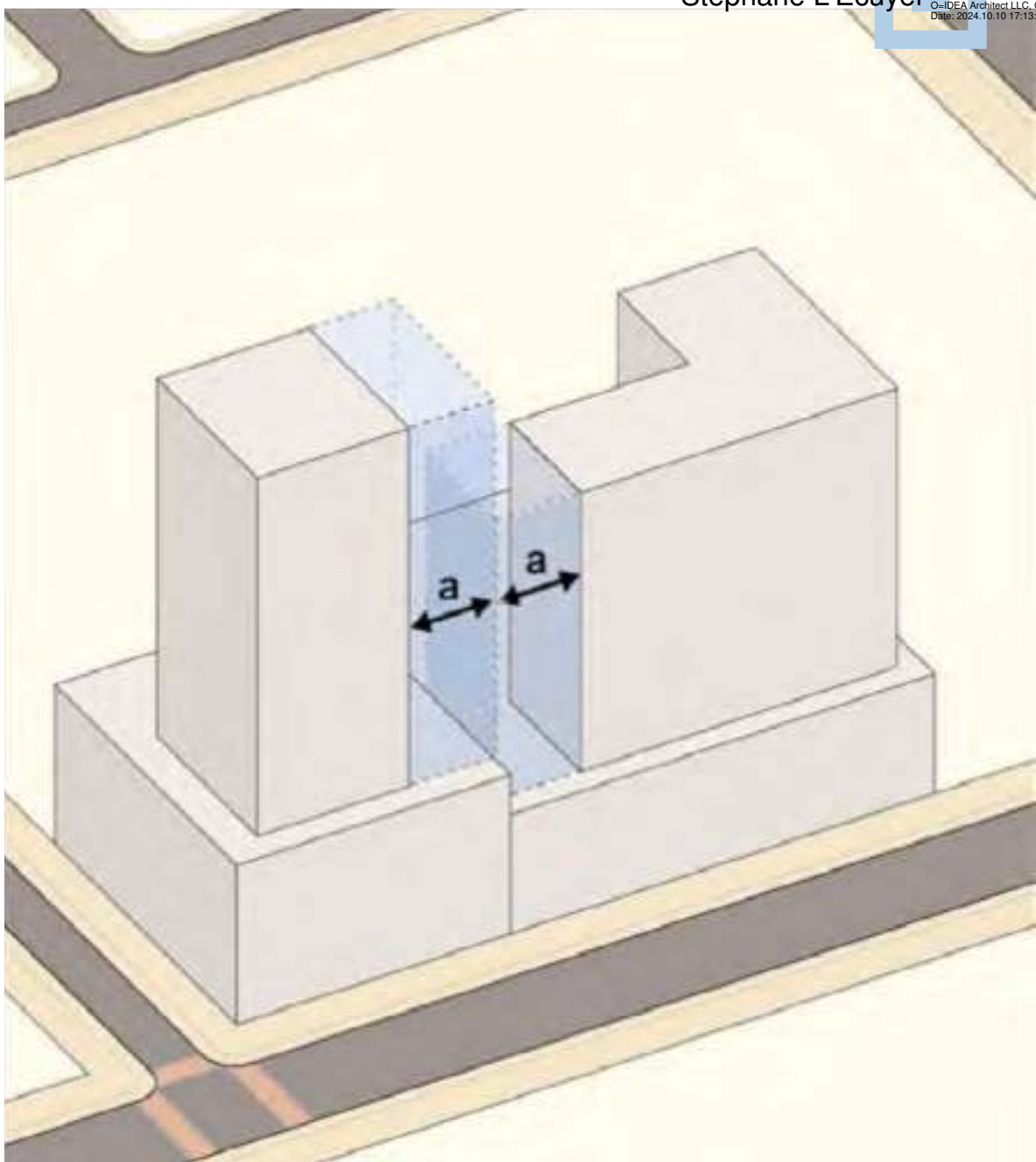
7 ZONING CHARACTER MAP
RAC-UV (URBAN NEIGHBORHOOD)
A-001 SCALE: NTS

DOWNTOWN CORE	NEAR DOWNTOWN	URBAN NEIGHBORHOOD
Use: Mixed use "center" More commercial/civic High density housing	Use: Institutional, retail, and office More housing variety	Use: Primarily residential Community retail & employment
Form: Verticality and density characterized by slender towers with minimal step-backs among mixed lower buildings. A 'central-business-district' feeling is created by the 'forest-like' arrangement of vertical towers and a strong skyline image.	Form: Strong framing of the street defined by emphasis on 6-8 story building 'shoulders' with towers stepped back above.	Form: A varied neighborhood scale including a mix of housing types such as townhouses and apartment buildings. Buildings step back above defined bases, and vertical elements emphasize primary streets.



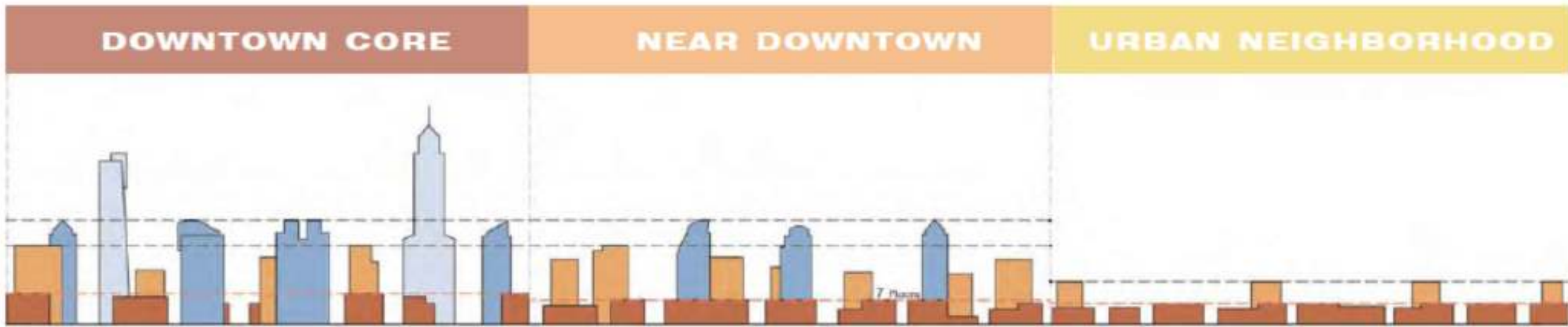
BUILDING "SHOULDER" AND TOWER GUIDELINES:
SHOULDERS:
ENCOURAGE HEIGHT LIMIT OF 6 FLOORS.
TOWER:
ENCOURAGE MAXIMUM OF 12 FLOORS, CONSISTENT WITH THE CONDITIONAL
USE PROCESS OUTLINED IN THE CITY'S ULDR.

"SHOULDER" & TOWER
DESIGN GUIDELINES
2
A-002 / SCALE: NTS



VERTICAL OPEN SPACE BETWEEN TOWERS ON ADJACENT LOTS:
TOWERS ARE ENCOURAGED TO MAINTAIN VERTICAL OPEN SPACE
ALONG SIDE AND REAR LOT LINES: MINIMUM HORIZONTAL DISTANCE
'A' = 30 FEET*

VERTICAL OPEN SPACE
DESIGN GUIDELINES
3
A-002 / SCALE: NTS



Max. Height: no height limit
Max. Height: 30 floors (Preferred)
Max. Height: 6 floors (Preferred)
12 floors by "conditional use process" per ULDR (where allowances for additional height are permitted for specific locations pursuant to the ULDR, then the ULDR shall control)

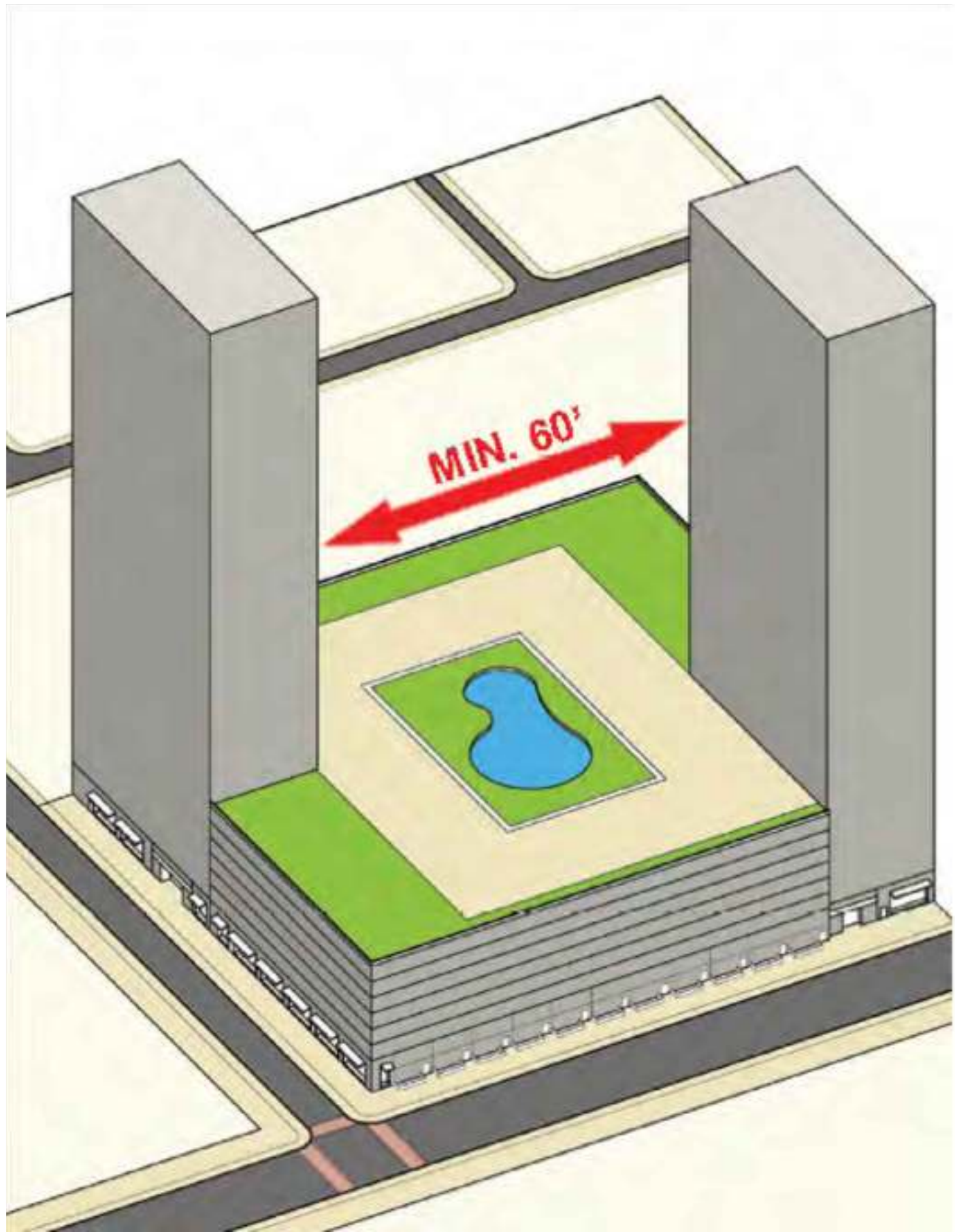
Building Type: building shoulders, stage 1, stage 2, and stage 3 towers.
Building Type: Building Shoulders, Stage 1 and stage 2 towers.
Building Type: Building shoulders and stage 1 towers.

Special Review for projects above 37 floors

Preferred Max. Floorplate Size:
Office: 32,000 SF no max to 9 floors
Residential: 12,500 – 18,000 SF no max to 9 floors
Preferred Max. Floorplate Size:
Office: 32,000 SF no max to 7 floors
Residential: 12,500 – 18,000 SF no max to 7 floors
Preferred Max. Floorplate Size:
Office: 16,000 SF no max to 5 floors
Residential: 10,000 SF no max to 5 floors

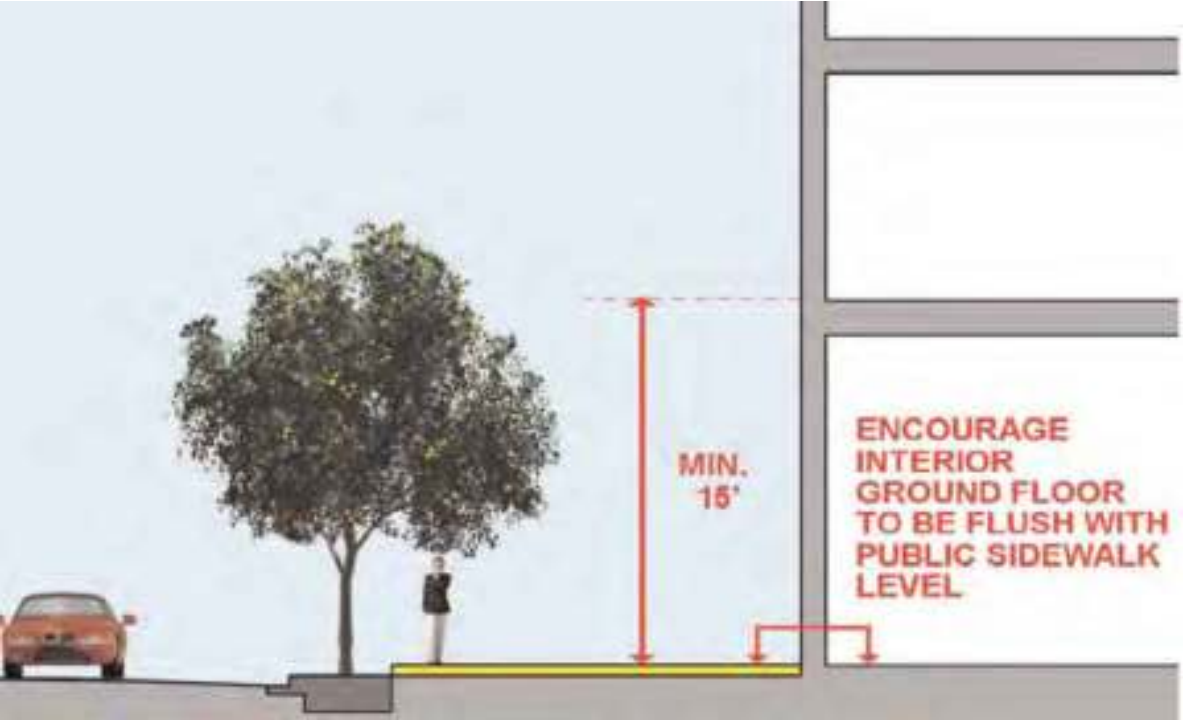
KEY	
	Stage 3 Tower (30+ Floors) - Signature Tower
	Stage 2 Tower (22-30 Floors)
	Stage 1 Tower (shoulder: 22 Floors)
	Building Shoulders

BUILDING TYPES
DESIGN GUIDELINES
1
A-002 / SCALE: NTS



VERTICAL OPEN SPACE BETWEEN MULTIPLE TOWERS ON A SINGLE
LARGE DEVELOPMENT SITE:
MAXIMUM FLOORPLATE AREAS APPLY
MULTIPLE TOWERS NO LESS THAN 60' APART

VERTICAL OPEN SPACE
DESIGN GUIDELINES
4
A-002 / SCALE: NTS



ENCOURAGE 15' MINIMUM FLOOR TO FLOOR HEIGHT AND, ENCOURAGE
INTERIOR GROUND FLOOR FLUSH WITH ADJACENT PUBLIC SIDEWALK

STOREFRONT
DESIGN GUIDELINES
5
A-002 / SCALE: NTS



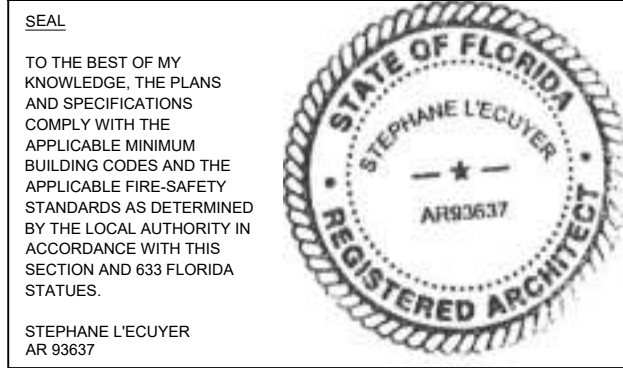
ENCOURAGE PEDESTRIAN SHADING DEVICES OF VARIOUS TYPES
(MIN. 5' DEPTH)

PEDESTRIAN SHADING DEVICE
DESIGN GUIDELINES
5
A-002 / SCALE: NTS



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Key section	
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title
BUILDING DESIGN GUIDELINES

Drawn J. WU	Field ARCHITECTURE
Verified J.F. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024

Project Manager
N. TREMBLAY
Project
22-855
Dwg. no.
A-002

NORTH ANDREWS AVENUE - STREET DESIGN EXAMPLE & PROPOSED STREET DESIGN

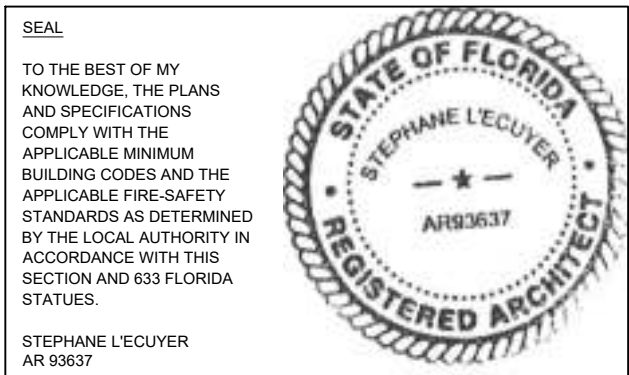
Stéphane L'Ecuyer

Drawn: Stéphane L'Ecuyer
Verified: J.F. Gervais
Approved: S. L'Ecuyer
Project Manager: N. Tremblay
Project: 22-855



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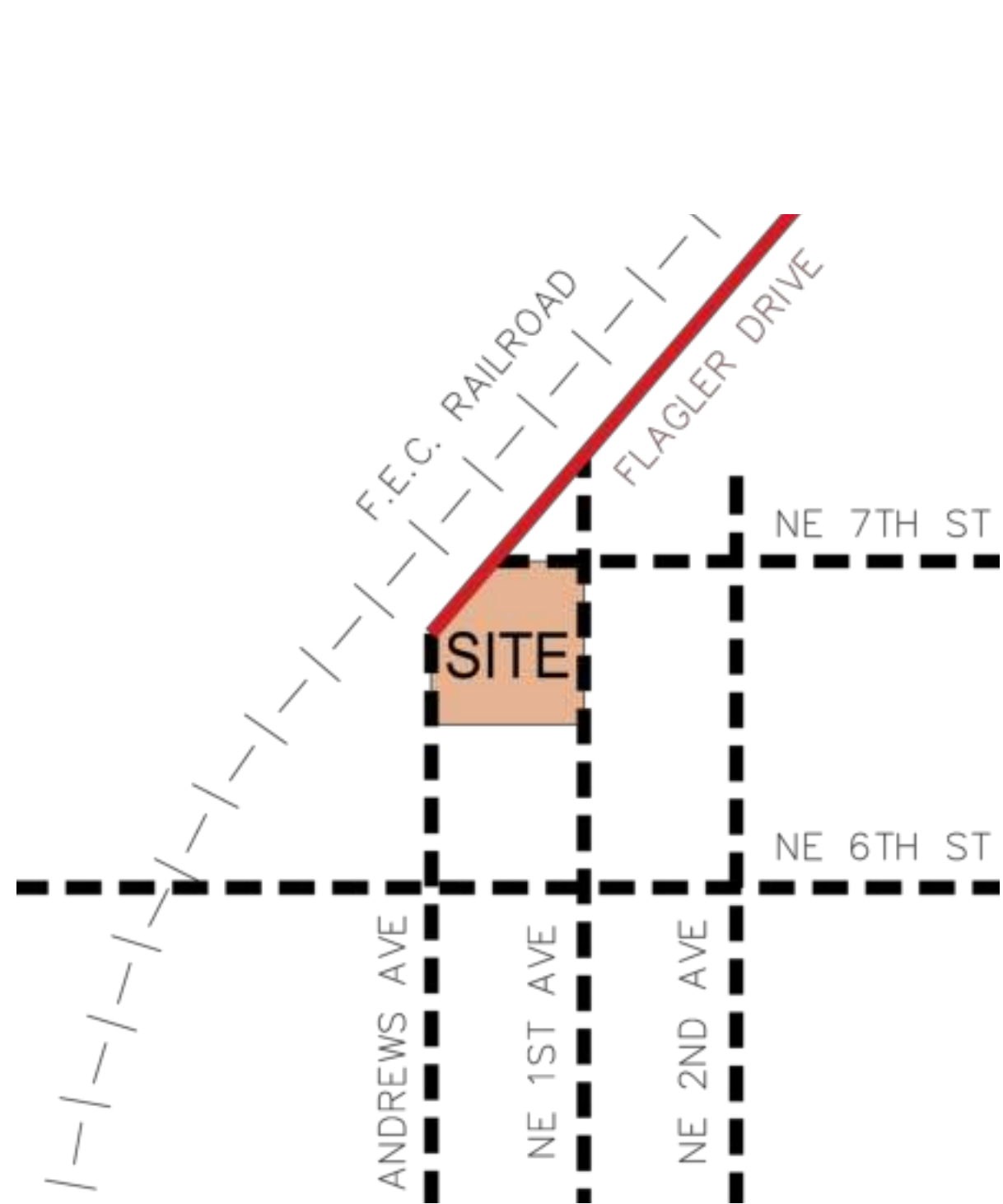
Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title
NORTH ANDREWS AVENUE STREET DESIGN

Drawn: **J. WU**
Verified: **J.F. Gervais**
Approved: **S. L'Ecuyer**
Field: **ARCHITECTURE**
Scale: **as shown**
Date: **10-10-2024**

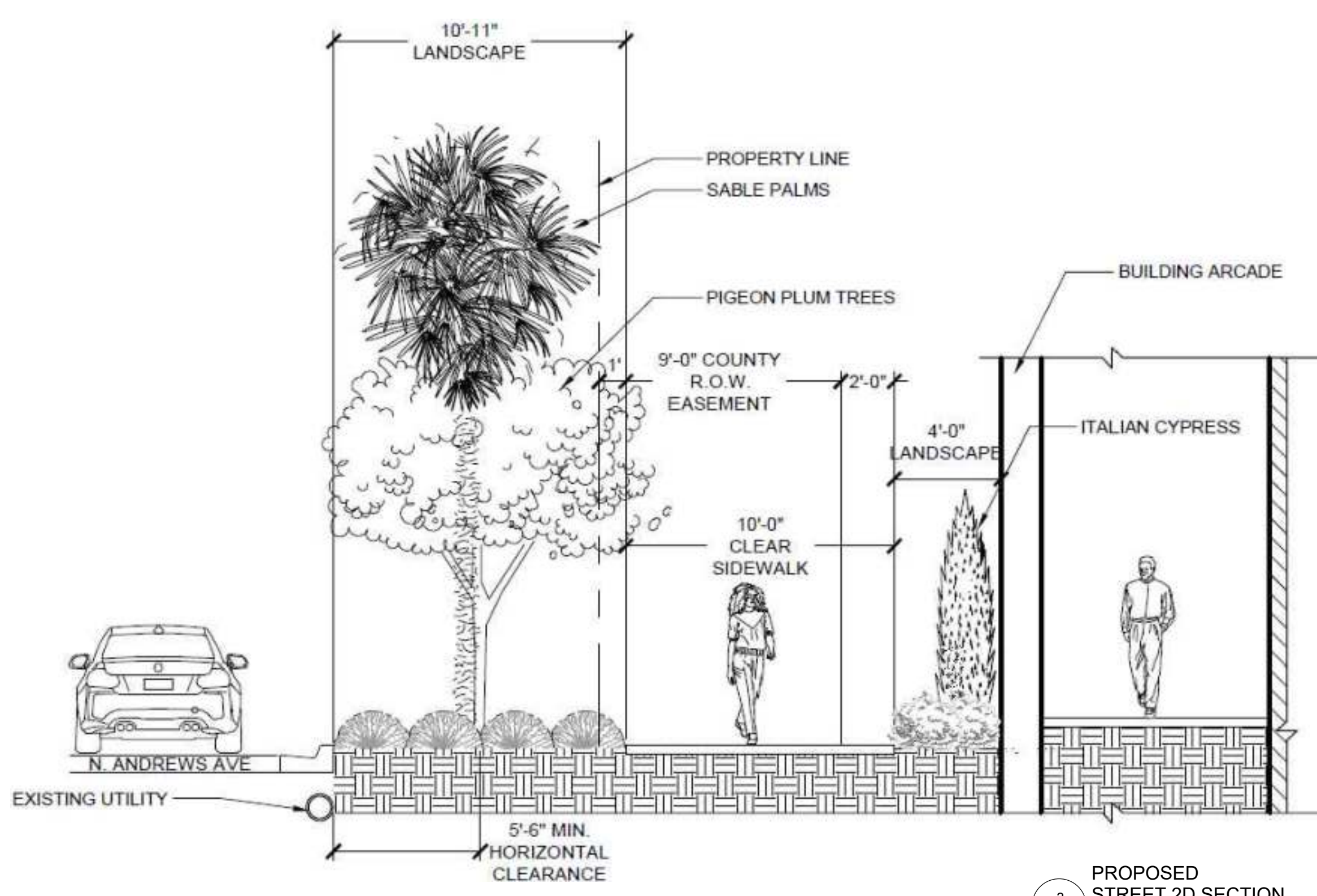
Project Manager: **N. TREMBLAY**
Dwg. no.: **A-003**
Project: **22-855**



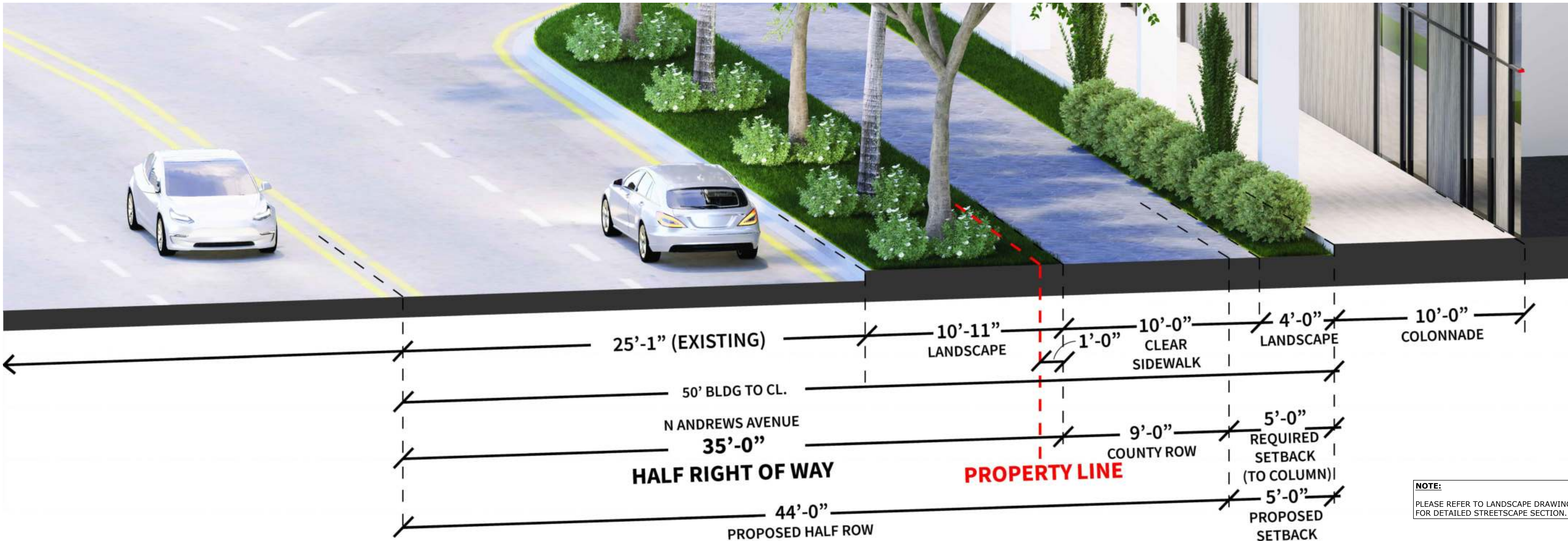
1 KEY MAP
A-003 SCALE: NTS



2 PROPOSED STREET DESIGN GUIDELINES
A-003 SCALE: NTS

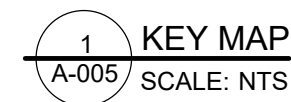


3 PROPOSED STREET 2D SECTION
A-003 SCALE: NTS



3 PROPOSED STREET 3D SECTION
A-003 SCALE: NTS

Stephane L'Ecuyer



NOTE:

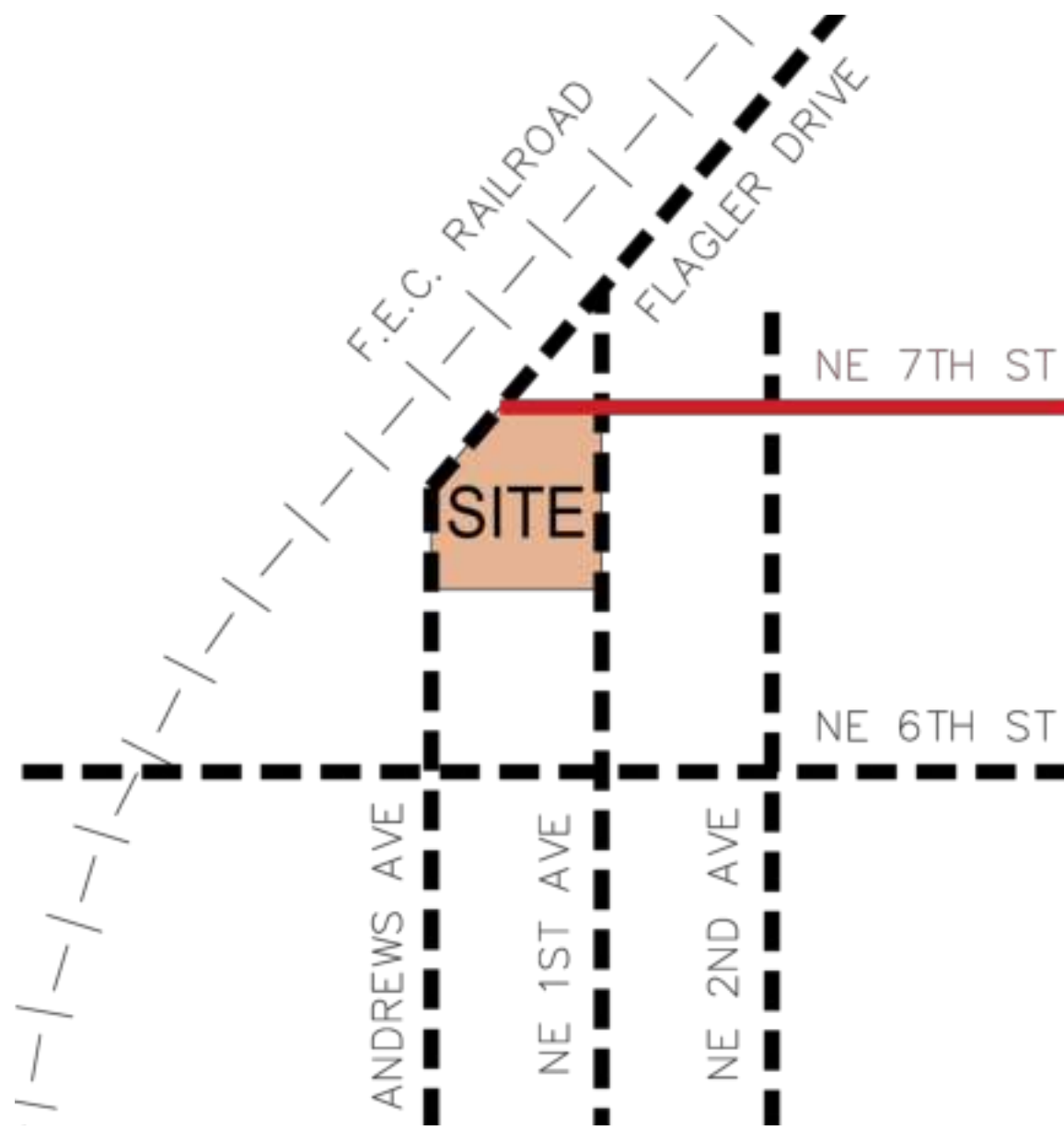
PLEASE REFER TO LANDSCAPE DRAWINGS
FOR DETAILED STREETSCAPE SECTION.



FLAGLER DRIVE - STREET DESIGN EXAMPLE & PROPOSED STREET DESIGN

Stephane L'Ecuyer

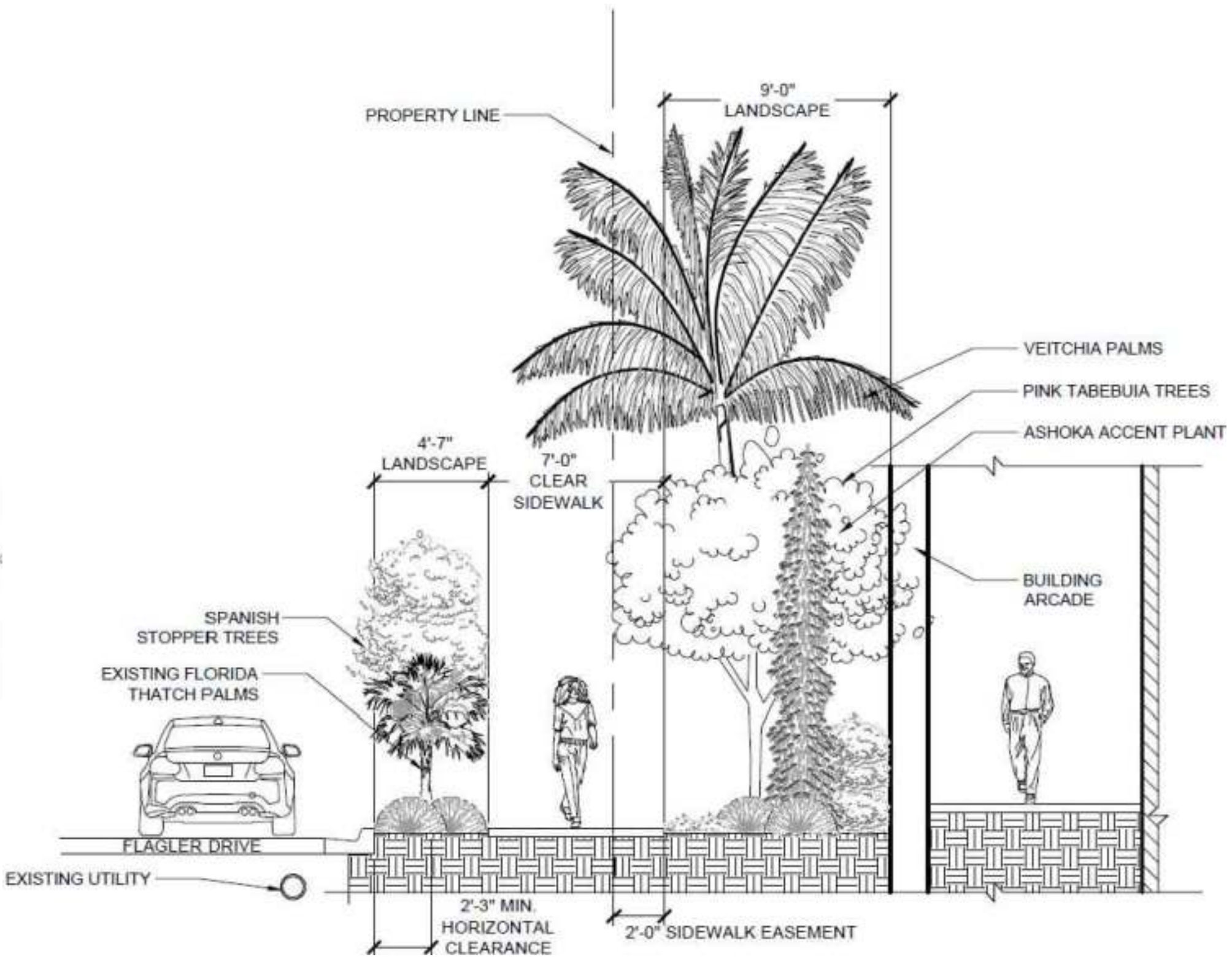
Drawn: Stephane L'Ecuyer
10/13/2023
Checked: Stephane L'Ecuyer
10/13/2023
Verified: Stephane L'Ecuyer
10/13/2023
Approved: Stephane L'Ecuyer
10/13/2023
Project: 22-855



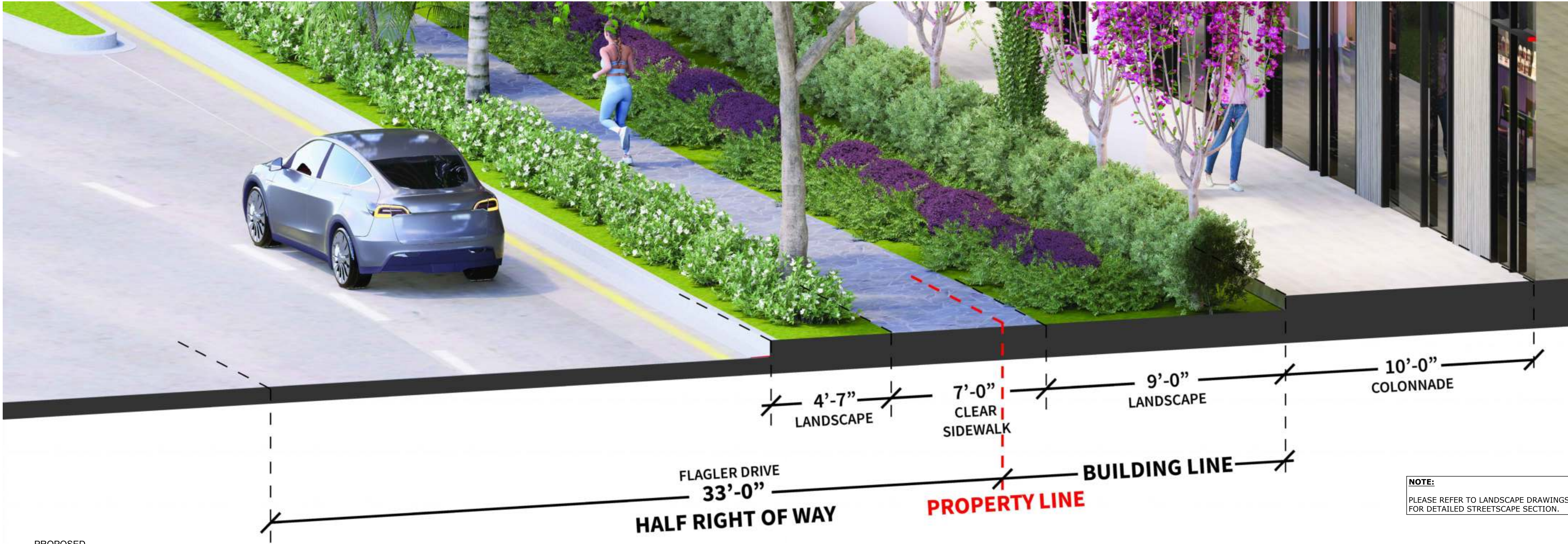
1 KEY MAP
A-006 SCALE: NTS



2 PROPOSED STREET DESIGN GUIDELINES
A-006 SCALE: NTS



3 PROPOSED STREET 2D SECTION
A-006 SCALE: NTS



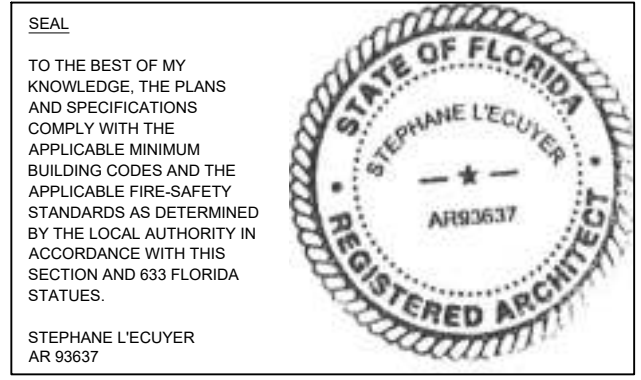
3 PROPOSED STREET 3D SECTION
A-006 SCALE: NTS

NOTE:
PLEASE REFER TO LANDSCAPE DRAWINGS
FOR DETAILED STREETScape SECTION.



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Key section

Client
**BAM PROPERTY
DEVELOPMENT LLC**
1044 BROADWAY,
WOODMERE, NY 11598

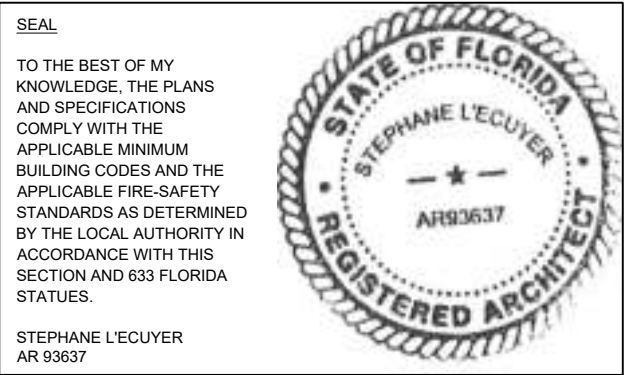
Project
**650 N ANDREWS
MIXED-USE**
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title FLAGLER DRIVE STREET DESIGN	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024
Project Manager N. TREMBLAY	Dwg. no. A-006
Project 22-855	



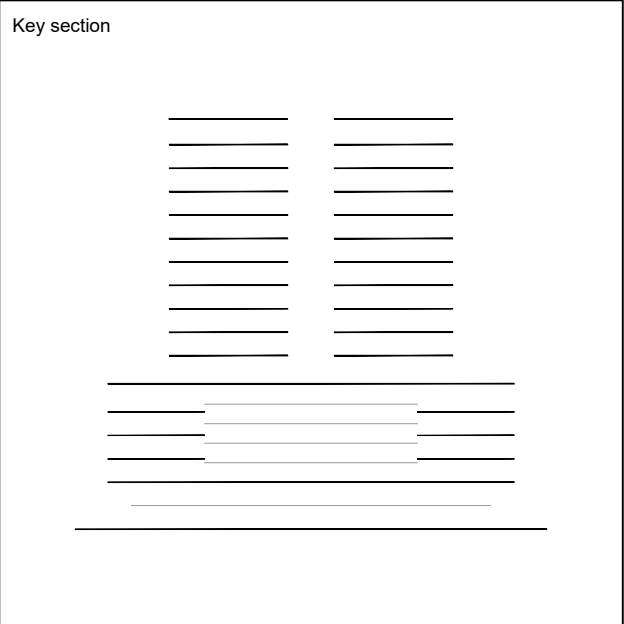
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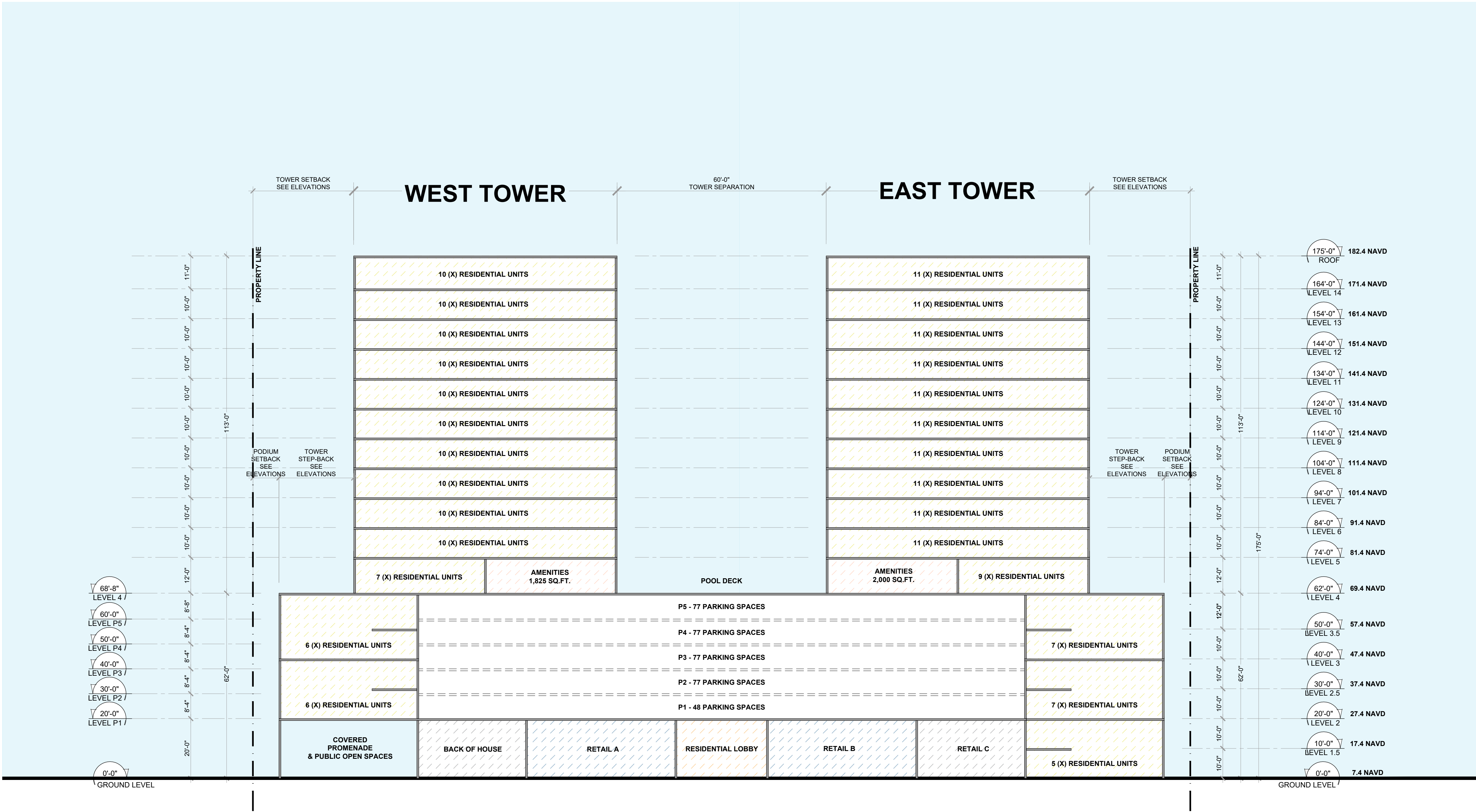


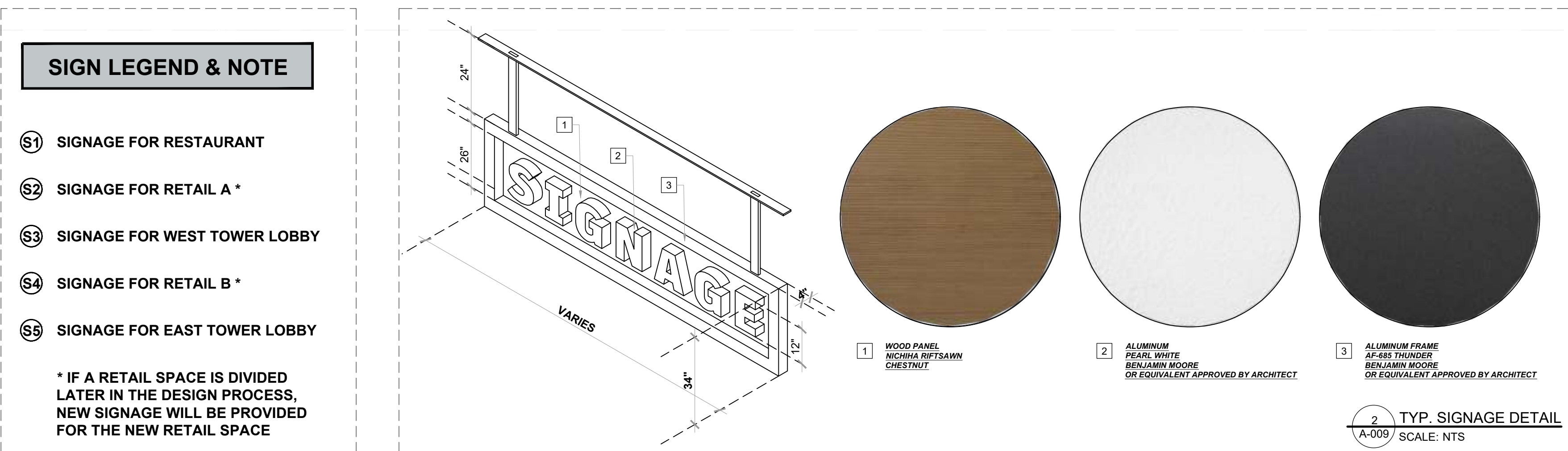
Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title			
<div>CONCEPTUAL BUILDING SECTION</div>			
Drawn <div>J. WU</div>		Field <div>ARCHITECTURE</div>	
Verified <div>JF. Gervais</div>		Scale <div>as shown</div>	
Approved <div>S. L'ecuyer</div>		Date <div>10-10-2024</div>	
Project Manager <div>N. TREMBLAY</div>		Dwg. no.	
Project <div>22-855</div>		<div>A-008</div>	

1 CONCEPTUAL BUILDING SECTION
A-008 / SCALE: 1" = 20'-0"

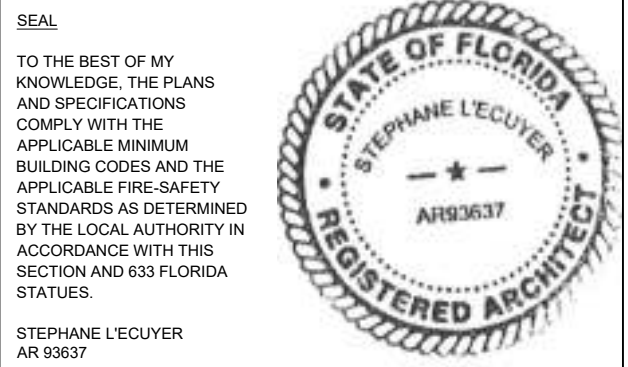






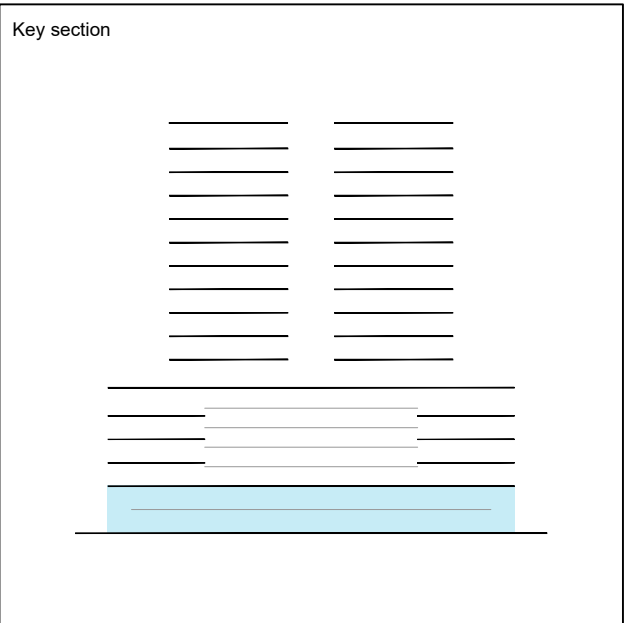
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T 305.792.0015 F 305.931.0279 @info@absolute-idea.com



REV.	DATE	DESCRIPTION
01	10-13-2023	D.R.C. SUBMITTAL
02	12-21-2023	REV. 1 COMMENTS
03	04-23-2024	REV. 2 COMMENTS
04	08-13-2024	REV. 3 COMMENTS
05	10-10-2024	REV. 4 COMMENTS

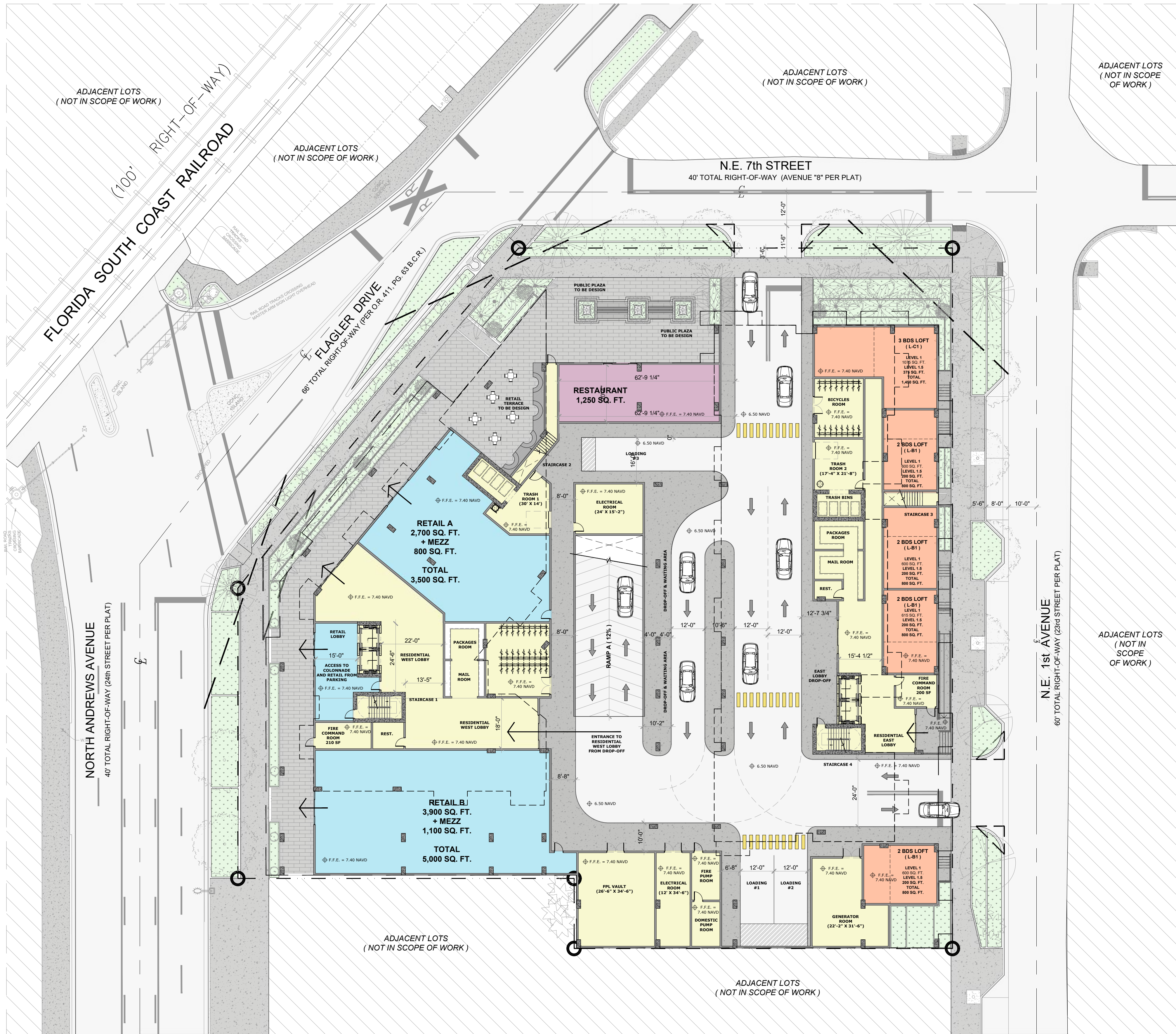
ALL MEASUREMENTS MUST BE VERIFIED BEFORE BEGINNING THE WORKS. NO MEASUREMENTS ARE TO BE SCALED DIRECTLY FROM THIS DRAWING.



Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

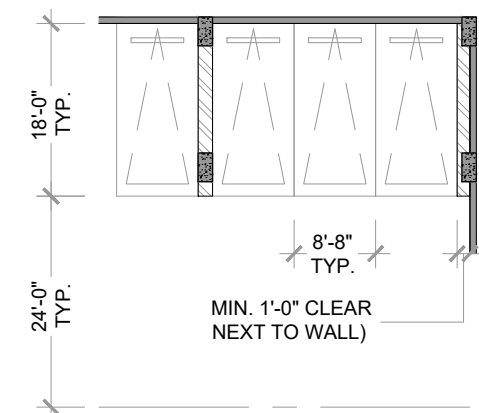
Title	
RETAIL & RESIDENTIAL LOFTS GROUND FLOOR PLAN	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024
Project Manager N. TREMBLAY	Dwg. no. A-201
Project 22-855	



LEVEL 01

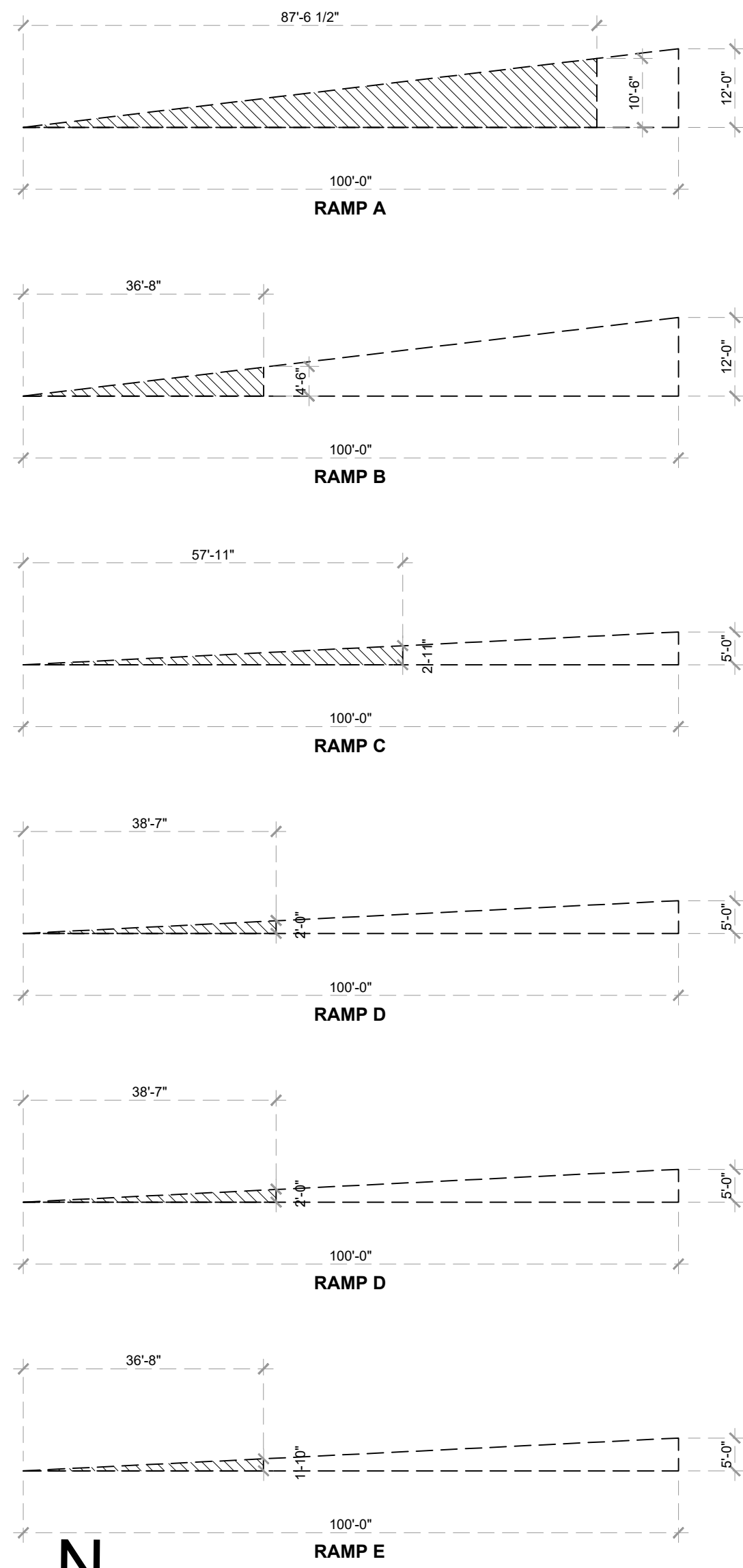
05 RESIDENTIAL UNITS

11,400 SQ. FT. - RETAIL



- GROUND RETAIL AREA
20 FEET HIGH CEILING WITH 30% MEZZANINE
- COMMON RESIDENTIAL AND SHARED AREA
RESIDENTIAL LOBBIES, CIRCULATIONS AND SERVICES
- RESIDENTIAL UNITS (LOFTS)
20 FEET HIGH CEILING WITH 30% MEZZANINE
- GROUND LEVEL RESTAURANT
20 FEET HIGH CEILING

PARKING RAMP SCHEMATIC SECTION

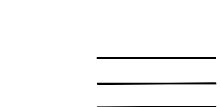


1 GROUND FLOOR PLAN
A-201 SCALE: 1" = 20'-0"

REV.	DATE	DESCRIPTION
01	10-13-2023	D.R.C. SUBMITTAL
02	12-21-2023	REV. 1 COMMENTS
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05	10-10-2024	REV. 4 COMMENTS

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Key section



The diagram illustrates a geological cross-section. At the top, there are two columns of horizontal lines, each containing 10 lines. Below these columns, a central section is highlighted with a light blue background and contains 5 horizontal lines. This central section is flanked by two columns of horizontal lines, each containing 5 lines. At the bottom, a thick horizontal line represents the base of the section, with a light blue shaded area below it.

Client

**BAM PROPERTY
DEVELOPMENT LLC**
1044 BROADWAY,
WOODMERE, NY 11598

Project

**650 N ANDREWS
MIXED-USE**

**650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311**

Title

**PARKING LAYOUT & LINER
LEVEL 02 FLOOR PLAN**

Drawn	Field
J. WU	ARCHITECTURE
Verified	Scale
JF. Gervais	as shown
Approved	Date
S. L'ecuyer	10-10-2024

Project Manager	Dwg. no.
N. TREMBLAY	A-202
Project	
22-855	

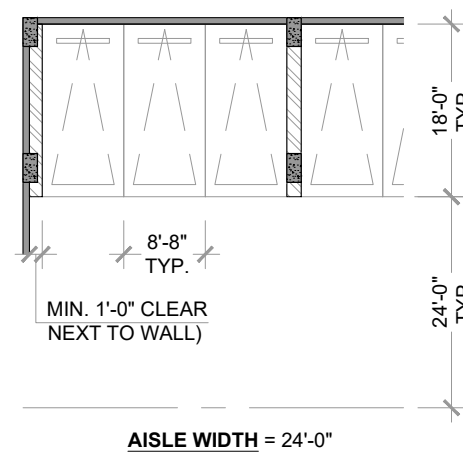


LEVEL 02

13 RESIDENTIAL UNITS

48 PARKING SPACES

75 PERSONAL LOCKER



UNITS MATRIX PER LEVEL			
NAME	AREA	TYPE	COUNT
UNIT LFT-B2	LOFT - 2 BEDROOMS	1,000 SF	09
UNIT LFT-B3	LOFT - 2 BEDROOMS	900 SF	01
UNIT LFT-B4	LOFT - 2 BEDROOMS	850 SF	01
UNIT LFT-C2	LOFT - 3 BEDROOMS	1,550 SF	01
UNIT LFT-C3	LOFT - 3 BEDROOMS	1,300 SF	01
		TOTAL	13

PROPOSED EVSE PARKING SPACES LOCATION (5%)			
-	AMOUNT OF PARKING	AMOUNT OF E.V. PARKING	%
PARKING P1	48	6	1.69%
PARKING P2	77	3	0.84%
PARKING P3	77	3	0.84%
PARKING P4	77	3	0.84%
PARKING P5	77	3	0.84%
TOTAL	356	18	5.06%

FUTURE EVSE PARKING SPACES LOCATION (20%)			
	AMOUNT OF PARKING	AMOUNT OF E.V. PARKING	%
PARKING P1	48	12	3.37%
PARKING P2	77	15	4.21%
PARKING P3	77	15	4.21%
PARKING P4	77	15	4.21%
PARKING P5	77	15	4.21%
TOTAL	356	72	20.22%

Signage and Markings. All electric vehicle parking spaces shall be prominently designated with a permanent above-ground sign which shall conform to Figure 1 entitled "Electric Vehicle Charging Station Sign." The bottom of the

 **PROPOSED
E.V.S.E. PARKING SPACE**

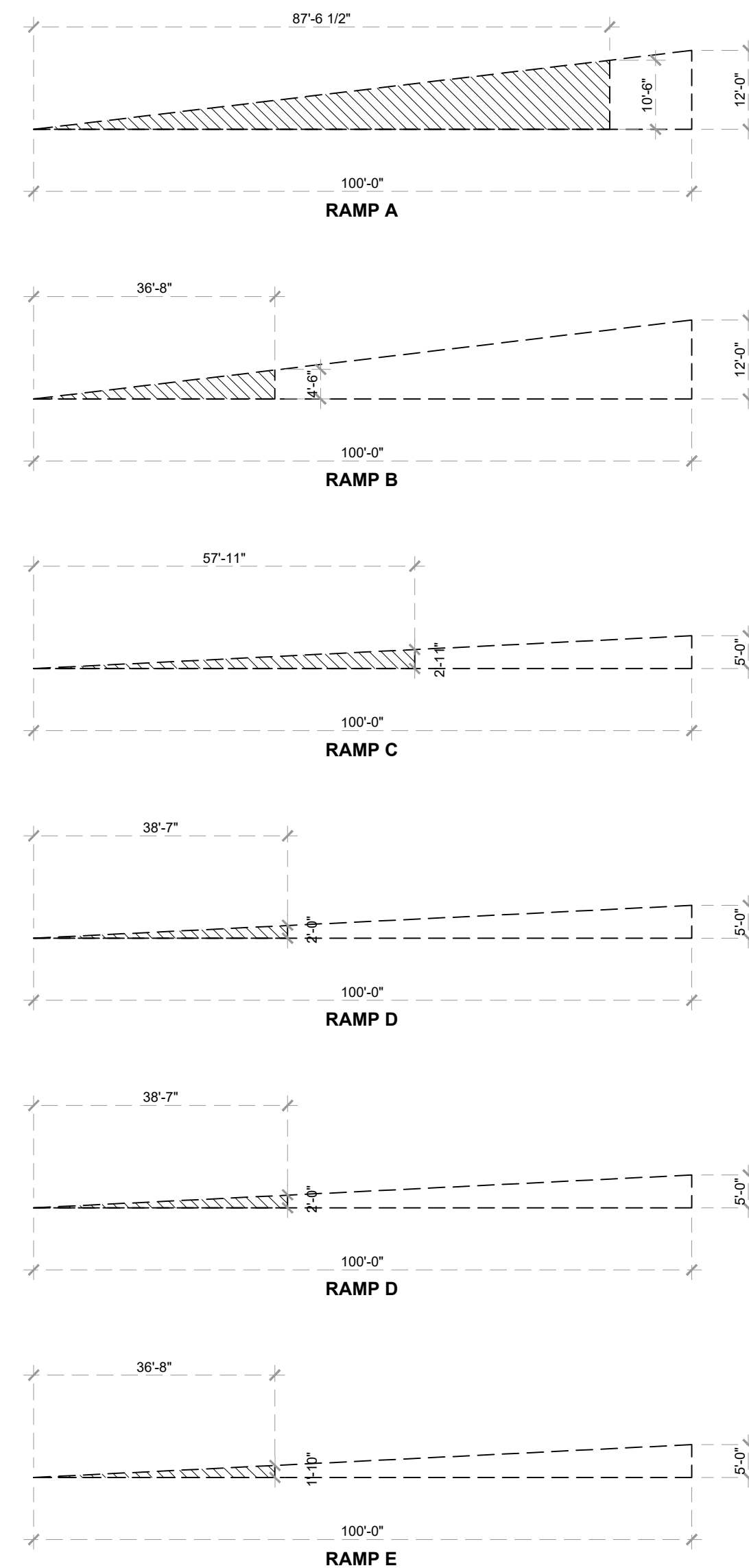
FUTURE E.V.	FUTURE PROPOSED E.V.S.E. PARKING SPACE
1	1
2	2
3	3
4	4
5	5
6	6
7	7
8	8
9	9
10	10
11	11
12	12
13	13
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91	91
92	92
93	93
94	94
95	95
96	96
97	97
98	98
99	99
100	100



**PROPOSED PARKING SPACE
DEDICATED FOR RETAIL A & E**

 **PROPOSED PARKING SPACE
DEDICATED FOR RESTAURAN**

PARKING RAMP SCHEMATIC SECTION

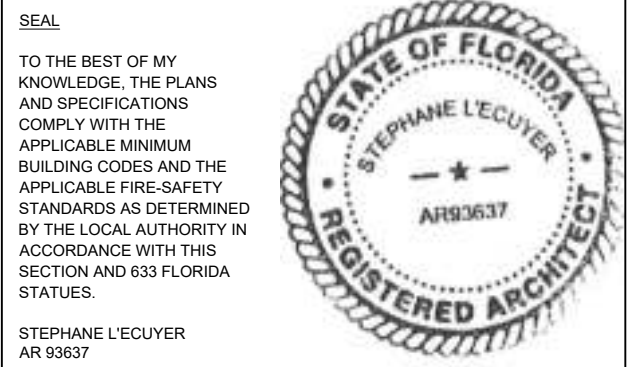


1 LEVEL 02 FLOOR PLAN
A-202 SCALE: 1" = 20'-0"



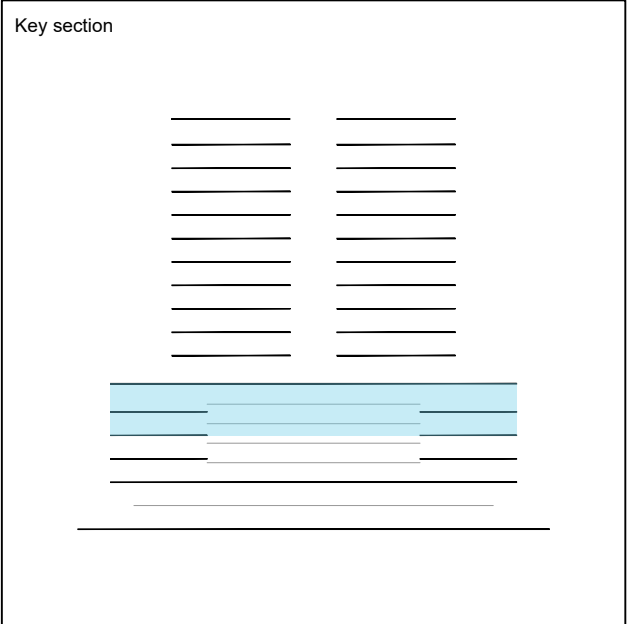
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REV.	DATE	DESCRIPTION
01	10-13-2023	D.R.C. SUBMITTAL
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03	04-23-2024	REV. 2 COMMENTS
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05	10-10-2024	REV. 4 COMMENTS

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Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

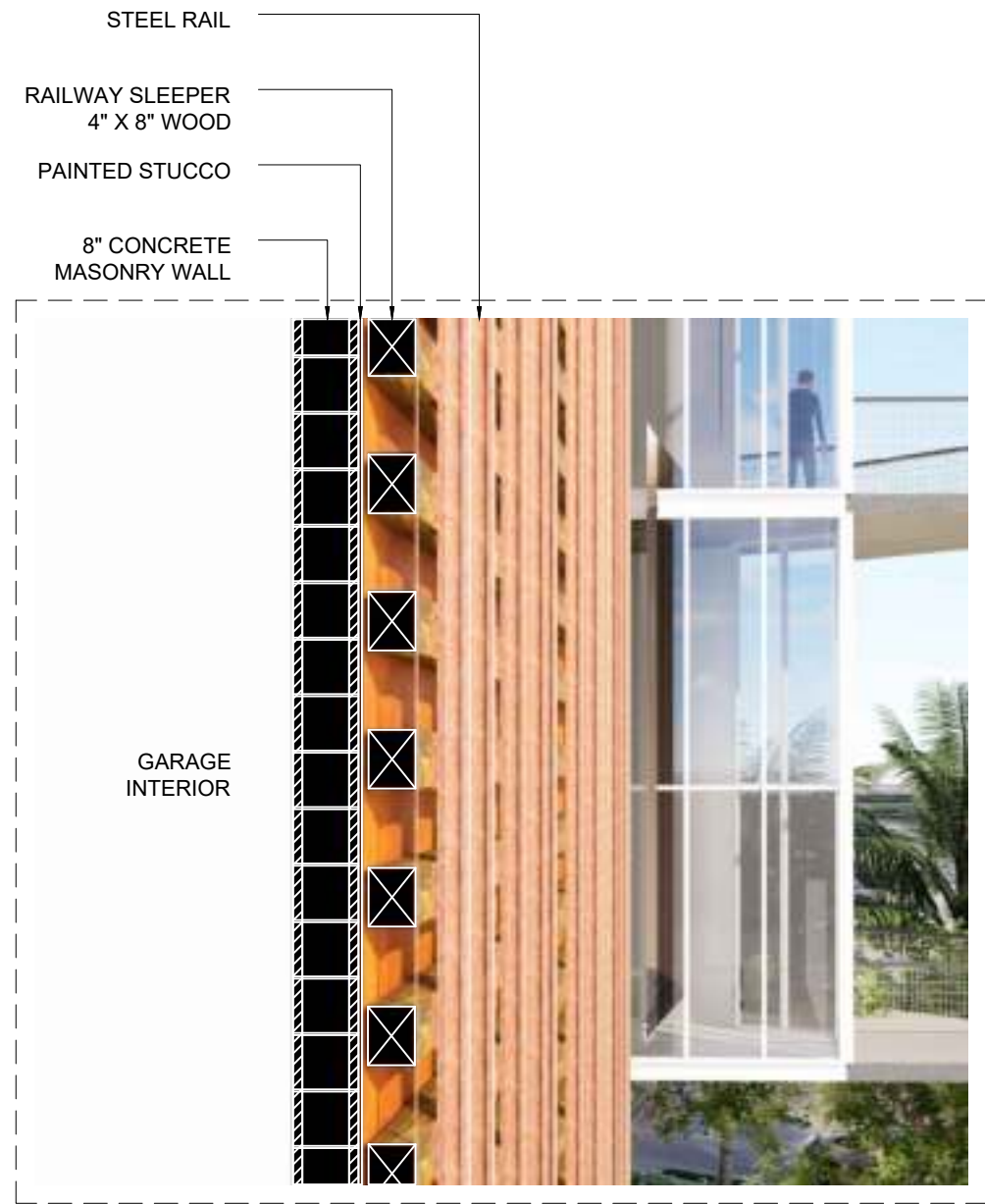
Title
PARKING LAYOUT & LINER LEVEL 03 FLOOR PLAN

Drawn
J. WU
Verified
JF. Gervais
Approved
S. L'ecuyer

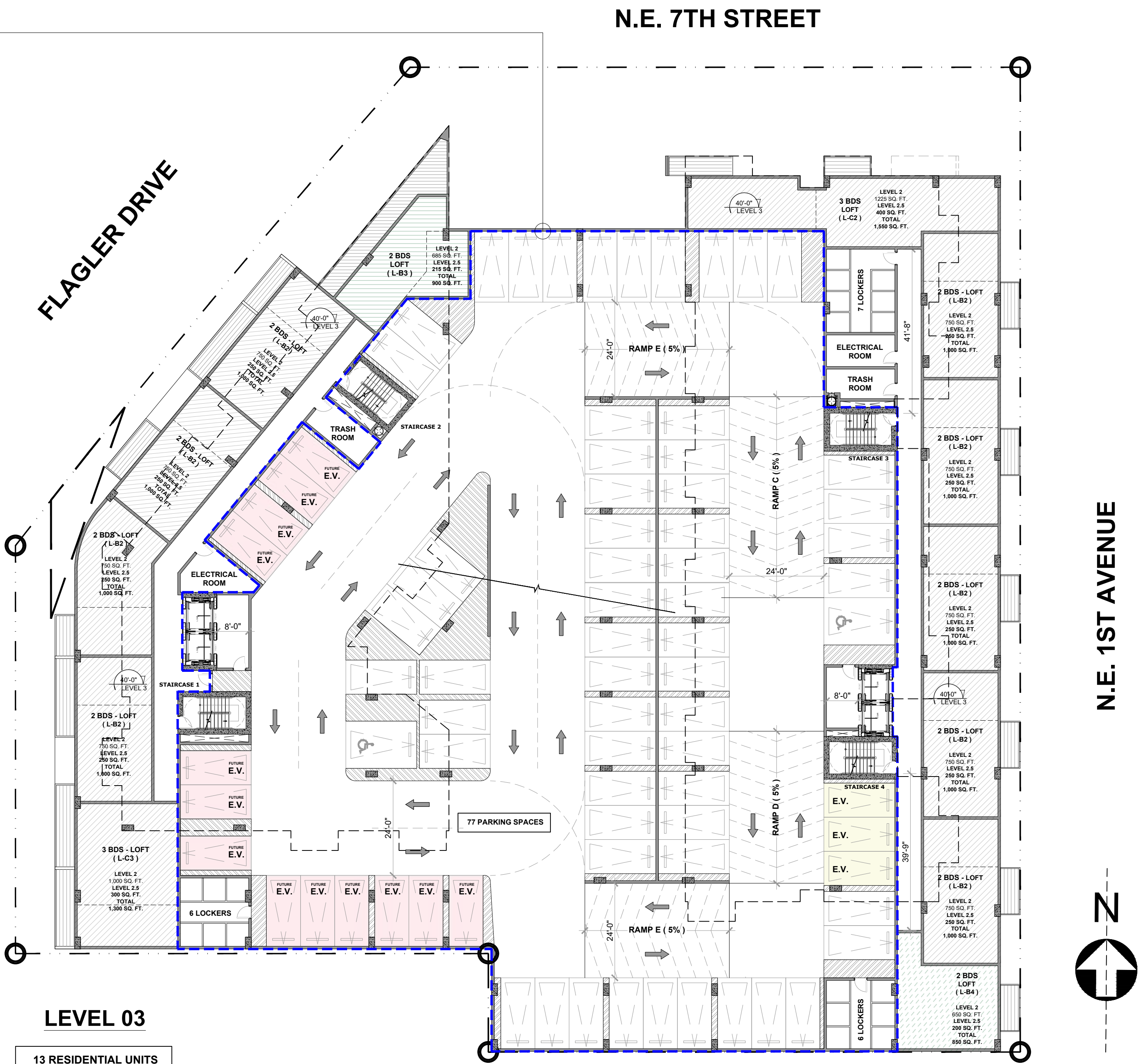
Field
ARCHITECTURE
Scale
as shown
Date
10-10-2024

Project Manager
N. TREMBLAY
Project
22-855

Dwg. no.
A-203

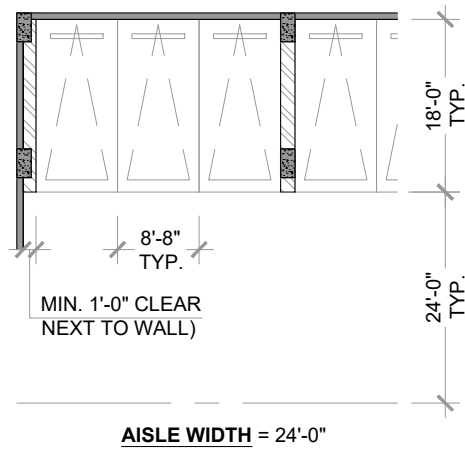


NORTH ANDREWS AVENUE



LEVEL 03

- 13 RESIDENTIAL UNITS
- 77 PARKING SPACES
- 19 PERSONAL LOCKERS



TYPICAL PARKING LAYOUT PERIMETER P2 TO P5
- REPEATED ON MEZZANINE LEVEL
- SEE CONCEPTUAL BUILDING SECTION

UNITS MATRIX PER LEVEL			
NAME	AREA	TYPE	COUNT
UNIT LFT-B1	LOFT - 2 BEDROOMS	850 SF	01
UNIT LFT-B2	LOFT - 2 BEDROOMS	1,000 SF	09
UNIT LFT-B3	LOFT - 2 BEDROOMS	900 SF	01
UNIT LFT-C1	LOFT - 3 BEDROOMS	1,550 SF	01
UNIT LFT-C2	LOFT - 3 BEDROOMS	1,300 SF	01
TOTAL			13

PROPOSED EVSE PARKING SPACES LOCATION (5%)			
	AMOUNT OF PARKING	AMOUNT OF E.V. PARKING	%
PARKING P1	48	6	1.25%
PARKING P2	77	3	0.84%
PARKING P3	77	3	0.84%
PARKING P4	77	3	0.84%
PARKING P5	77	3	0.84%
TOTAL	356	18	5.06%

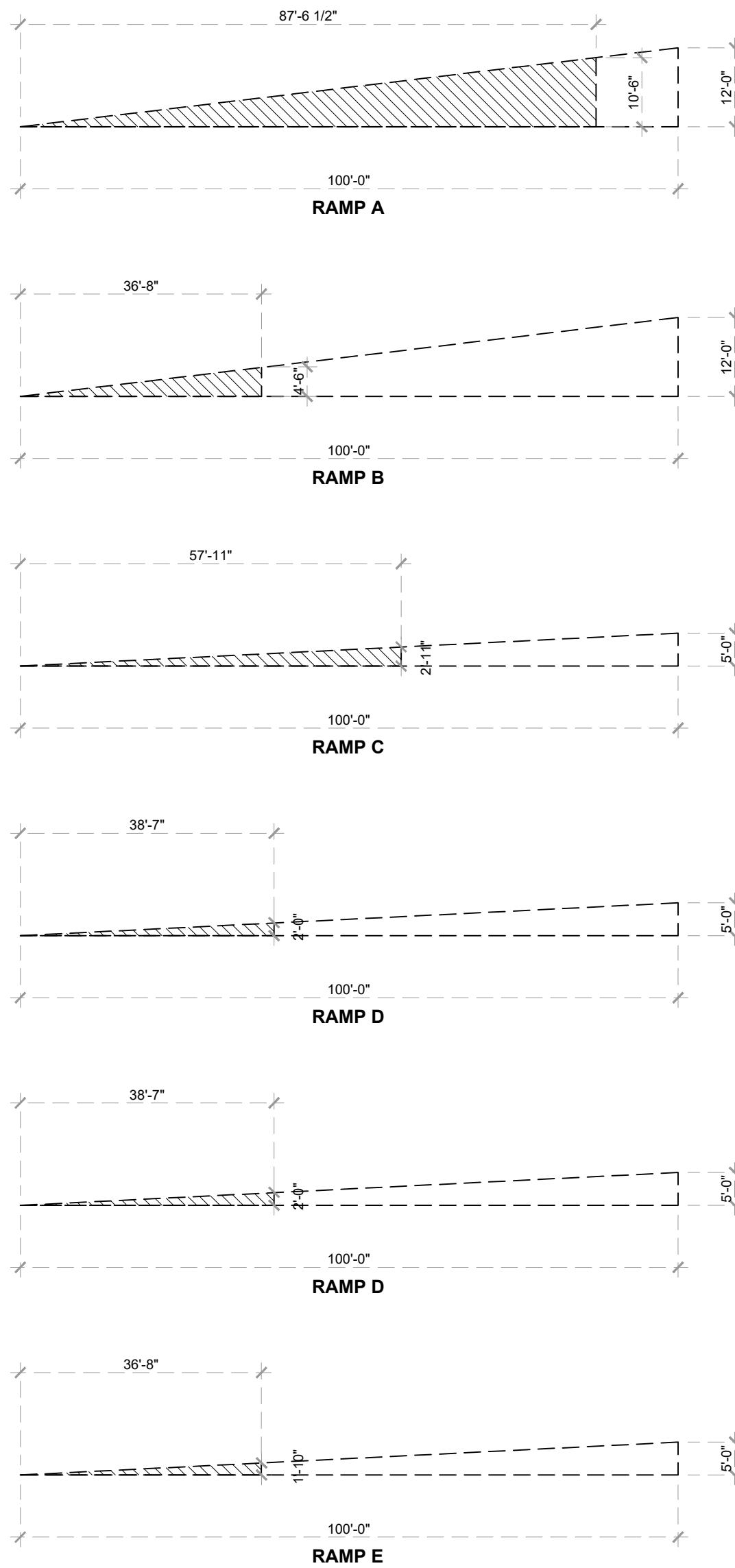
FUTURE EVSE PARKING SPACES LOCATION (20%)			
	AMOUNT OF PARKING	AMOUNT OF E.V. PARKING	%
PARKING P1	48	12	3.37%
PARKING P2	77	15	4.21%
PARKING P3	77	15	4.21%
PARKING P4	77	15	4.21%
PARKING P5	77	15	4.21%
TOTAL	356	72	20.22%

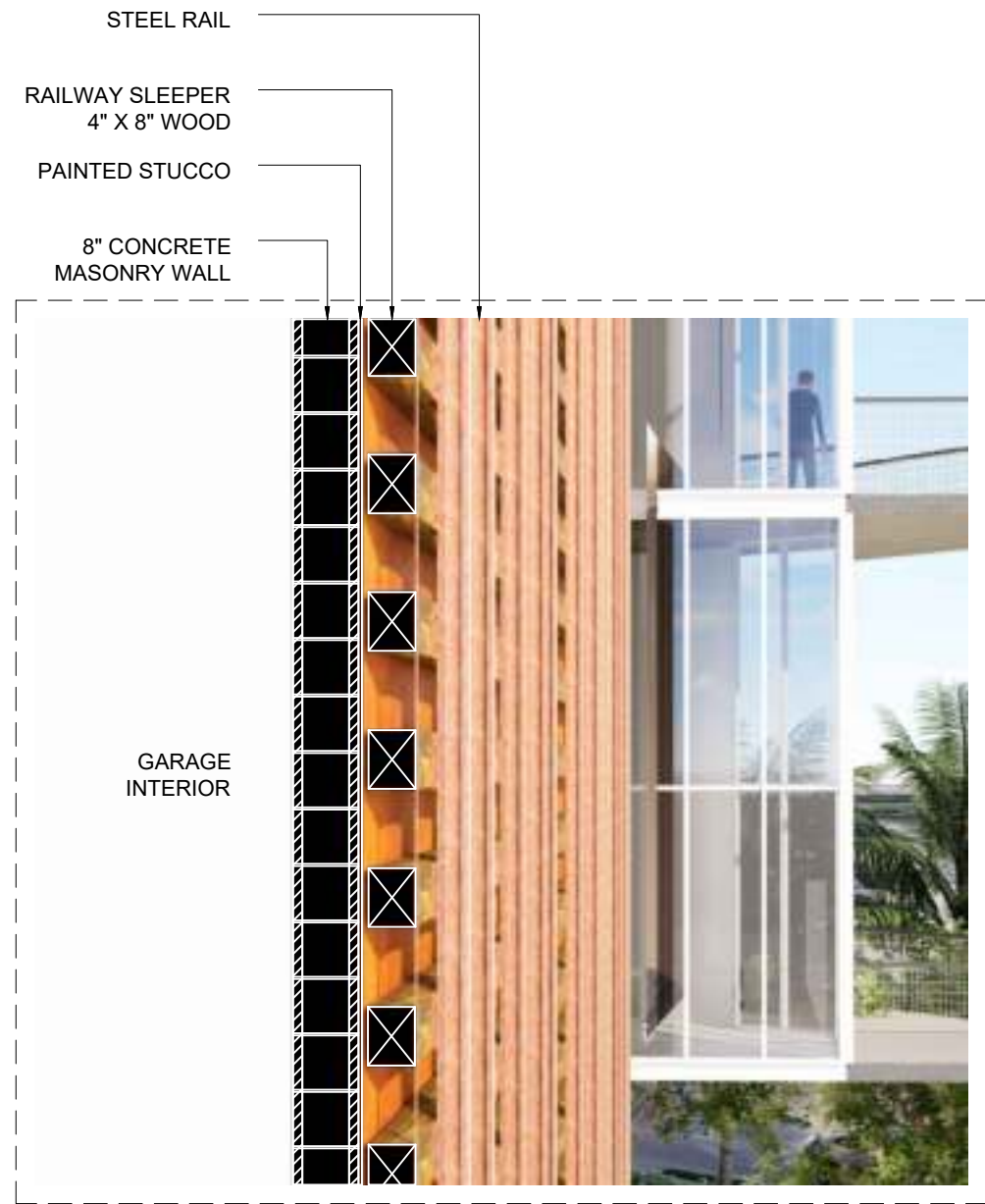
Signage and Markings: All electric vehicle parking spaces shall be prominently designated with a permanent above-ground sign which shall conform to Figure 3 entitled "Electric Vehicle Charging Station Sign." The bottom of the

PROPOSED
E.V.S.E. PARKING SPACE

FUTURE PROPOSED
E.V.S.E. PARKING SPACE

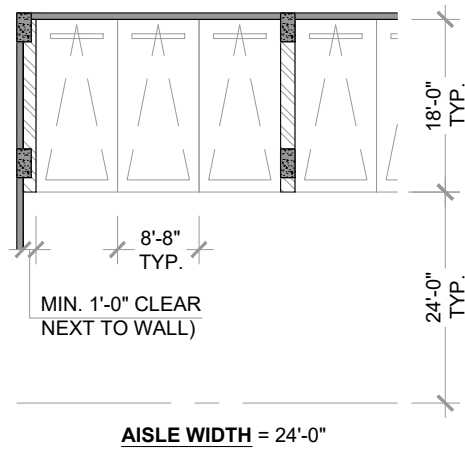
PARKING RAMP SCHEMATIC SECTION





LEVEL P5

- RESIDENTIAL UNITS
- 77 PARKING SPACES
- 19 PERSONAL LOCKERS



UNITS MATRIX PER LEVEL			
NAME	AREA	TYPE	COUNT
UNIT LFT-B1	LOFT - 2 BEDROOMS	850 SF	01
UNIT LFT-B2	LOFT - 2 BEDROOMS	1,000 SF	09
UNIT LFT-B3	LOFT - 2 BEDROOMS	900 SF	01
UNIT LFT-C1	LOFT - 3 BEDROOMS	1,550 SF	01
UNIT LFT-C2	LOFT - 3 BEDROOMS	1,300 SF	01
TOTAL			13

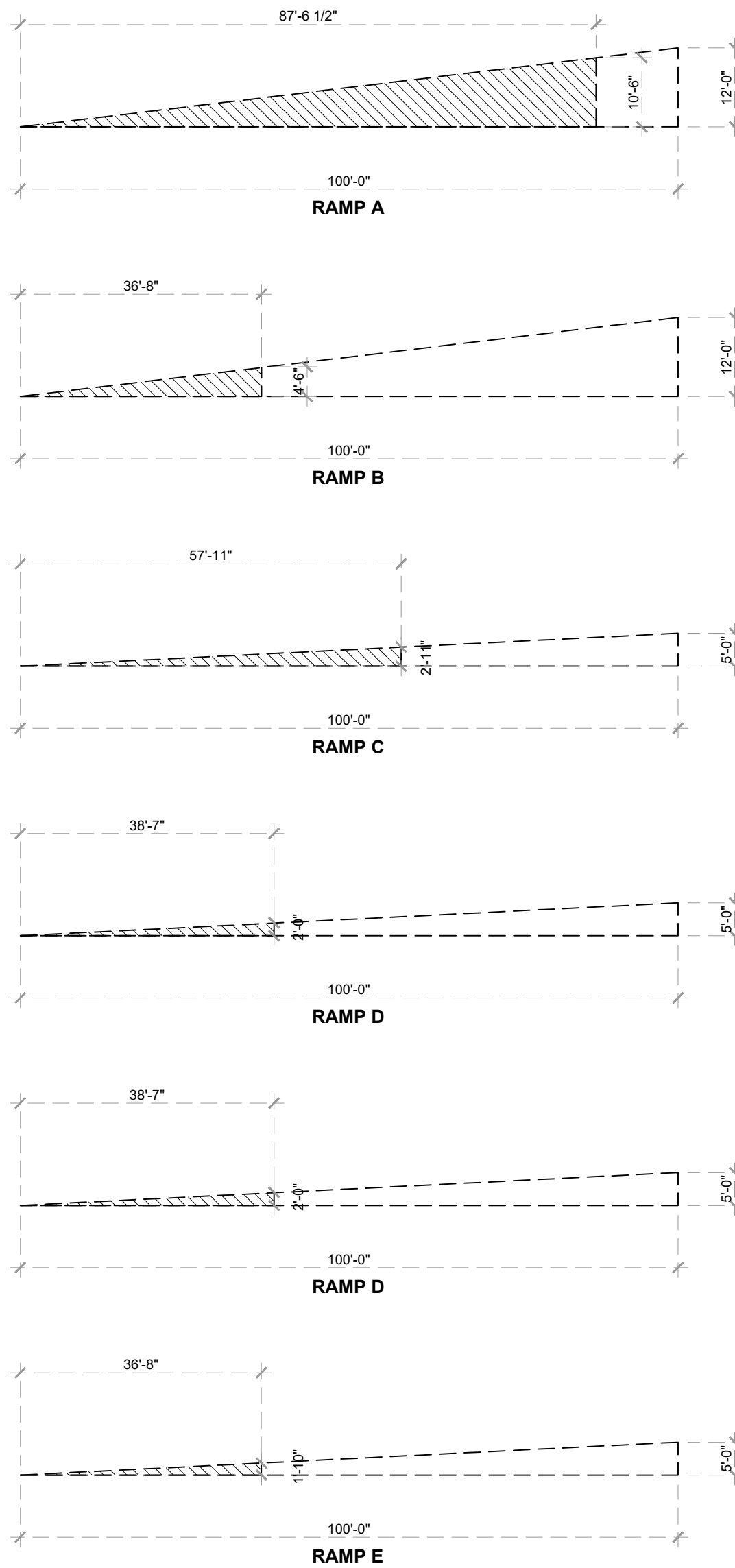
PROPOSED EVSE PARKING SPACES LOCATION (5%)			
	AMOUNT OF PARKING	AMOUNT OF E.V. PARKING	%
PARKING P1	48	3	1.02%
PARKING P2	77	3	0.84%
PARKING P3	77	3	0.84%
PARKING P4	77	3	0.84%
PARKING P5	77	3	0.84%
TOTAL	356	18	5.06%

FUTURE EVSE PARKING SPACES LOCATION (20%)			
	AMOUNT OF PARKING	AMOUNT OF E.V. PARKING	%
PARKING P1	48	12	3.37%
PARKING P2	77	15	4.21%
PARKING P3	77	15	4.21%
PARKING P4	77	15	4.21%
PARKING P5	77	15	4.21%
TOTAL	356	72	20.32%

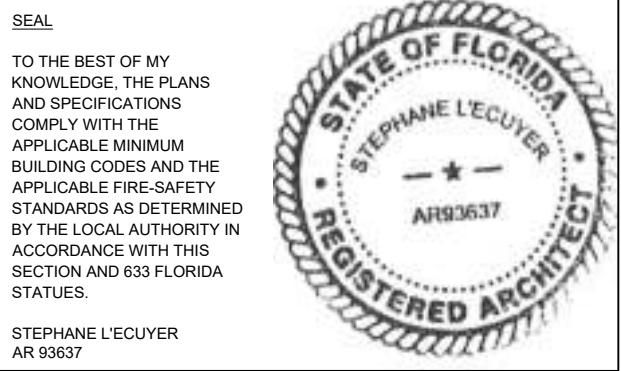
Signage and Markings: All electric vehicle parking spaces shall be prominently designated with a permanent above-ground sign which shall conform to Figure 3 entitled "Electric Vehicle Charging Station Sign." The bottom of the

- PROPOSED E.V.S.E. PARKING SPACE
- FUTURE PROPOSED E.V.S.E. PARKING SPACE

PARKING RAMP SCHEMATIC SECTION



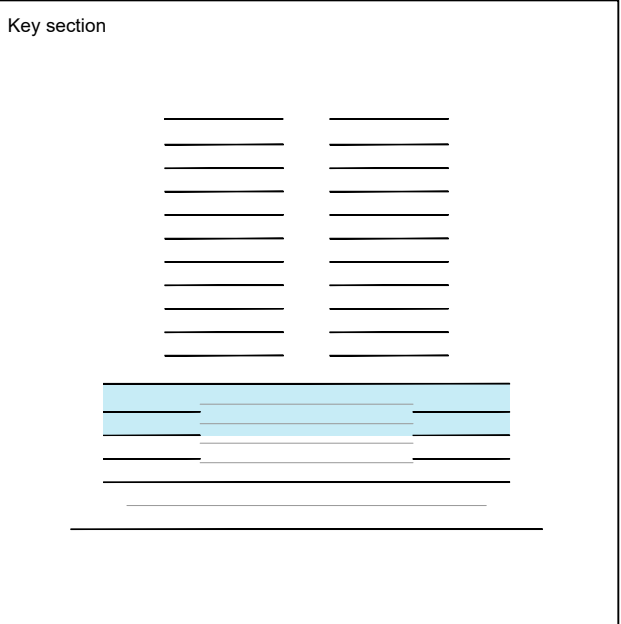
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CANAL PARK
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REV.	DATE	DESCRIPTION
01	10-13-2023	D.R.C. SUBMITTAL
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05	10-10-2024	REV. 4 COMMENTS

Stephane L'Ecuyer
Digital Seal for Stephanie L'Ecuyer
DR, CA, Registered Architect
Stephane L'Ecuyer, LLC
DOB: 03/01/1971
DOB: 03/01/1971 11:12:59 AM EDT

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Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

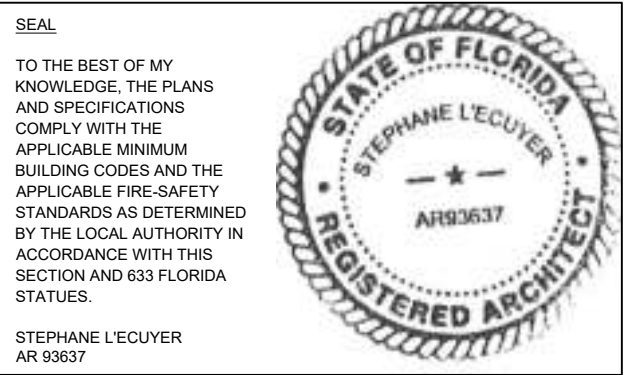
Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title PARKING LAYOUT LEVEL P5 FLOOR PLAN	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-28-2024
Project Manager N. TREMBLAY	Dwg. no. A-203B
Project 22-855	



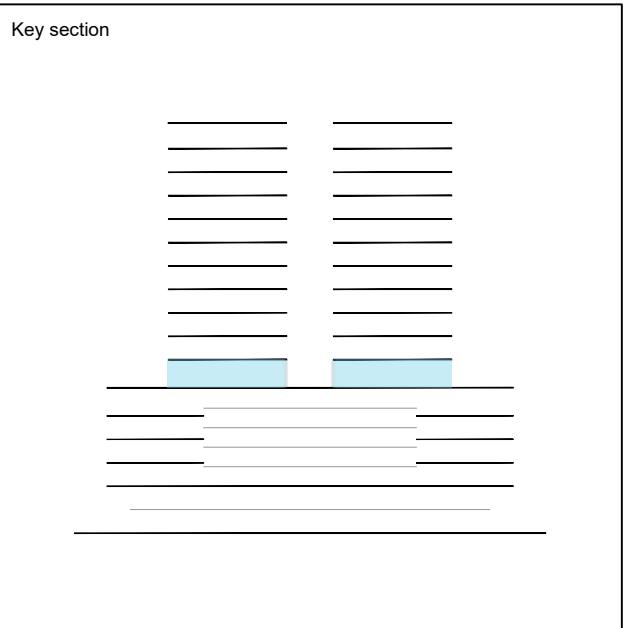
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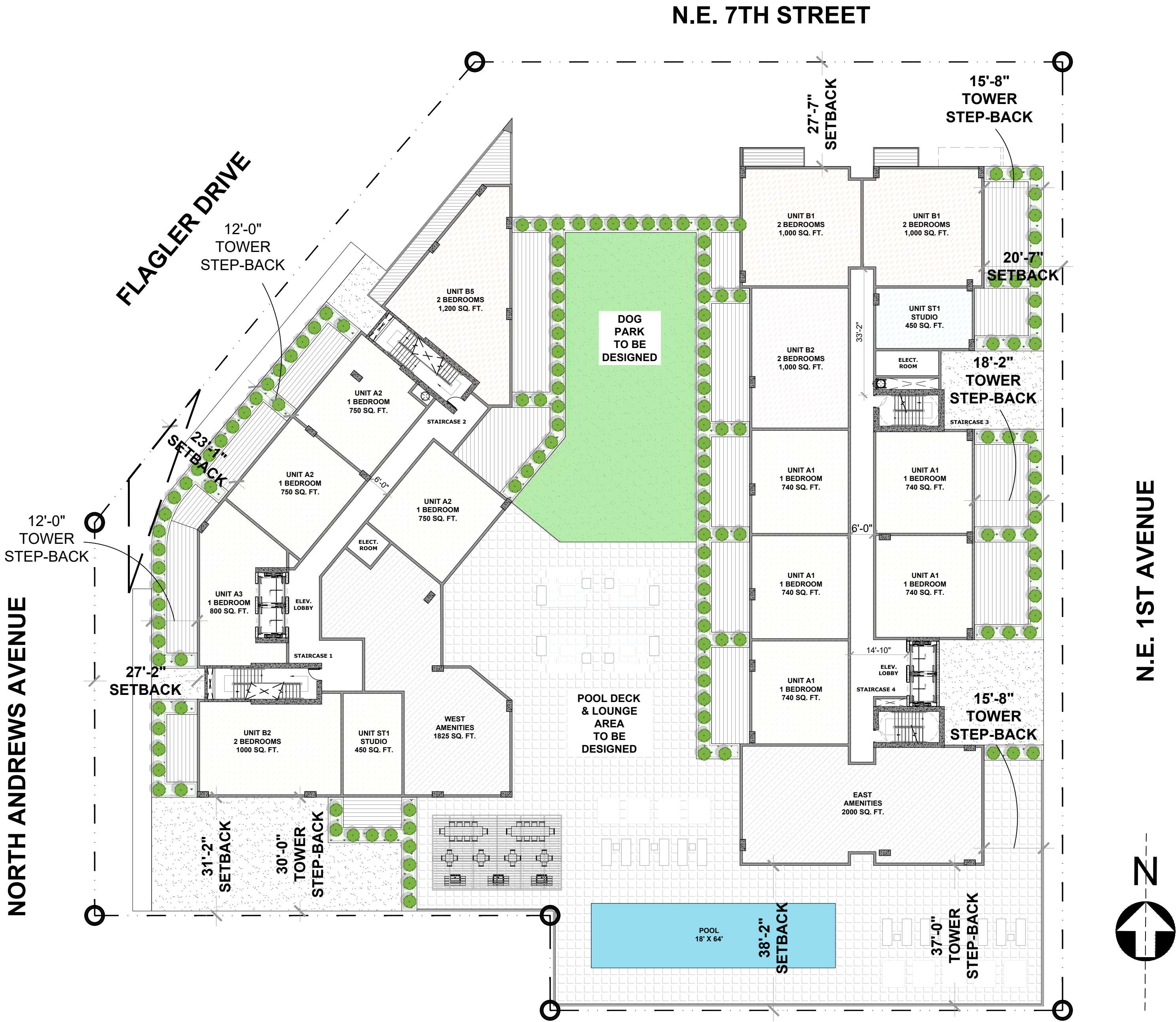
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Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title AMENITIES & POOL DECK LEVEL 04 FLOOR PLAN	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024
Project Manager N. TREMBLAY	Dwg. no. A-204
Project 22-855	



UNITS MATRIX PER LEVEL			
NAME	TYPE	AREA	COUNT
UNIT ST1	STUDIO	450 SF	02
UNIT A1	1 BD	740 SF	05
UNIT A2	1 BD	750 SF	03
UNIT A3	1 BD	800 SF	01
UNIT B1	2 BDS	1,000 SF	02
UNIT B2	2 BDS	1,000 SF	02
UNIT B5	2 BDS	1,200 SF	01
TOTAL			16

INTERIOR AMENITIES	
NAME	AREA
WEST TOWER	1,825 SF
EAST TOWER	2,000 SF
TOTAL	3,825 SF

EXTERIOR AMENITIES	
NAME	AREA
POOL DECK	10,000 SF
DOG PARK & GARDEN	3,000 SF
TOTAL	13,000 SF



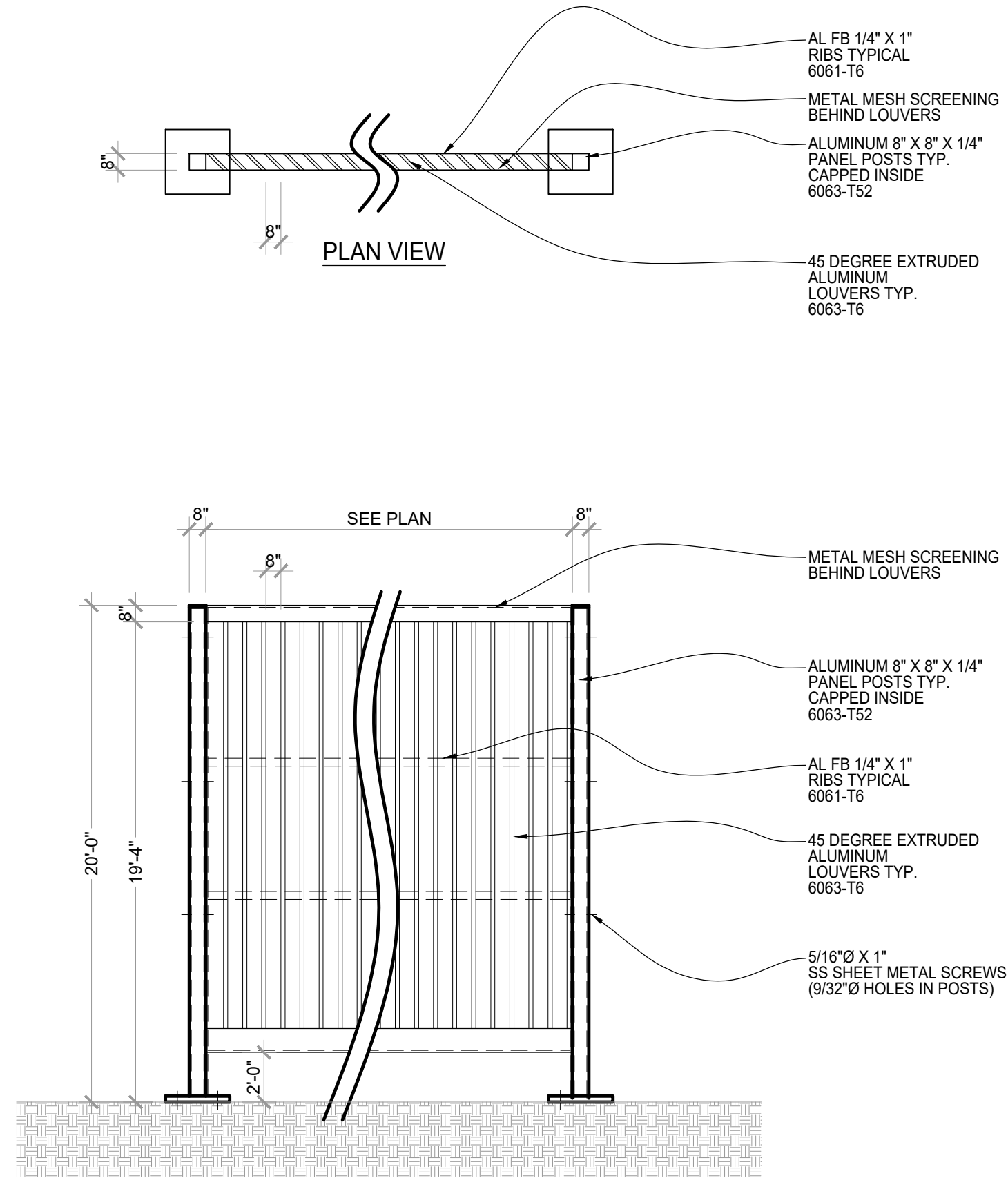
ROOF PLAN NOTES:

** ROOFTOP MECHANICAL EQUIPMENTS (COOLING TOWERS) WILL BE HIDDEN BEHIND SCREEN. FINAL DESIGN WILL BE COORDINATED WITH MEP DURING DESIGN DOCUMENT STAGE.

ROOFTOP COOLING TOWER IMAGERY



TYPICAL MECHANICAL SCREEN DETAIL

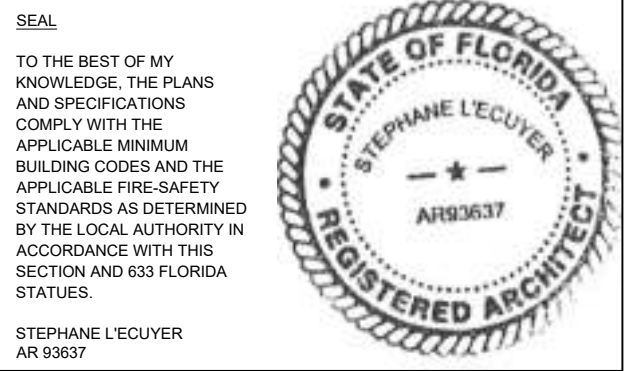


ELEVATION VIEW



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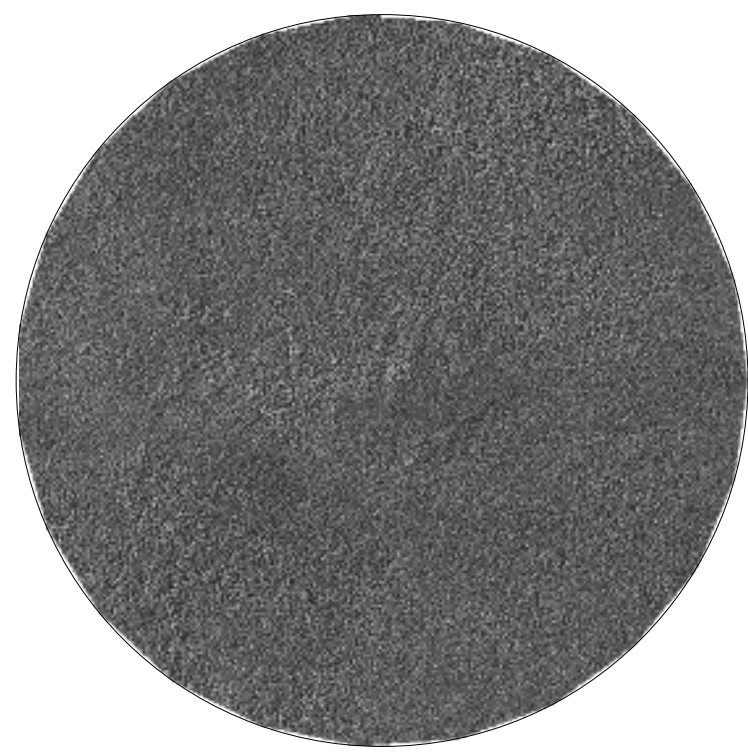
Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title	
CONCEPTUAL ROOF PLAN	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-28-2024
Project Manager N. TREMBLAY	Dwg. no. A-206
Project 22-855	



1 SMOOTH STUCCO FINISH
SW-7005 PURE WHITE
SHERWIN-WILLIAMS
OR EQUIVALENT APPROVED BY ARCHITECT



2 SMOOTH STUCCO FINISH
AF-685 THUNDER
BENJAMIN MOORE
OR EQUIVALENT APPROVED BY ARCHITECT



3 SMOOTH STUCCO FINISH
RUSTED ORANGE COLOR
OR EQUIVALENT APPROVED BY ARCHITECT



4 TINTED GLASS FOR STOREFRONTS, WINDOWS,
BALCONY DOORS
VIRAICON OPTIGRAY



5 ALUMINUM FRAME
PEARL WHITE
BENJAMIN MOORE
OR EQUIVALENT APPROVED BY ARCHITECT



6 METAL MESH RAILING



7 RAILWAY TRACK



8 COMPOSITE WOOD SLATS



9 WOOD PANEL
NICHIA RIFTSAWN
CHESTNUT



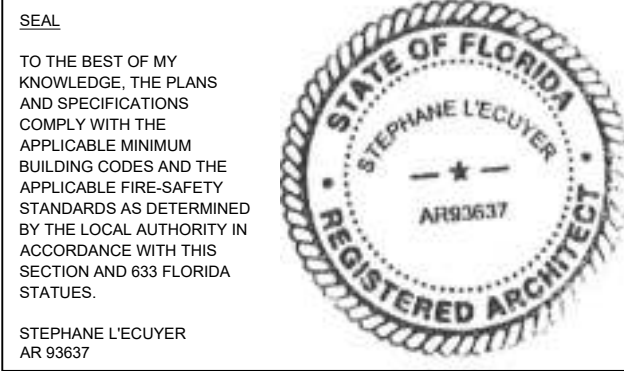
1 NORTH ELEVATION
A-501 SCALE: 1/16" = 1'-0"

Stephane L'Ecuier
Digitally signed by Stephane L'Ecuier
DN: cn=Stephane L'Ecuier,
c=Quebec, o=100000014605264180007CASC,
ou=IDEA Architects LLC, cn=Stephane L'Ecuier,
email=stephane.lecuier@idea-architect.com



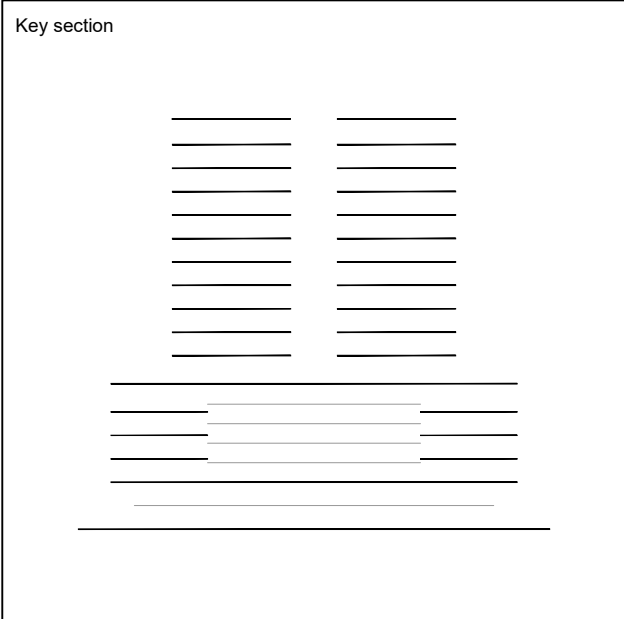
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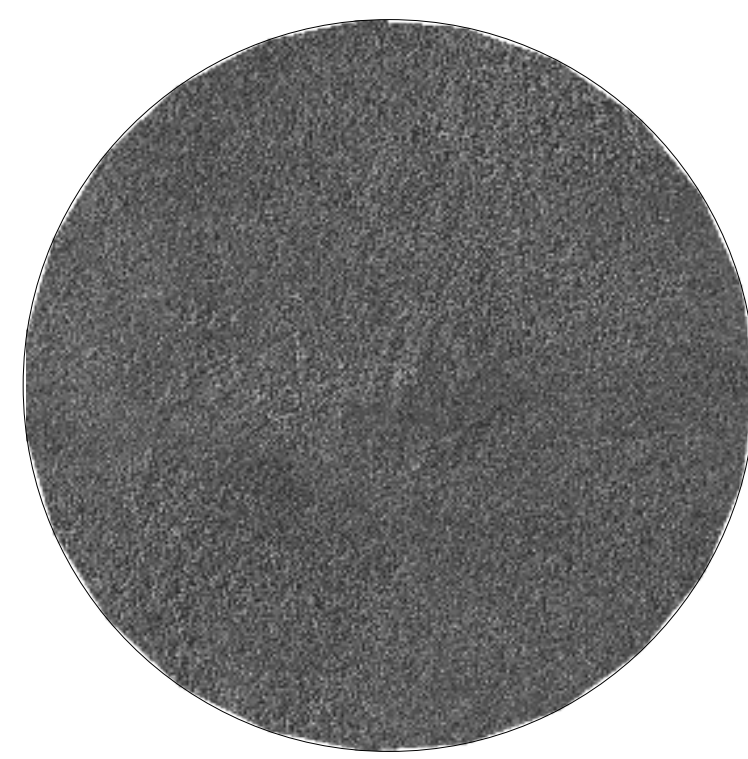
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Client
**BAM PROPERTY
DEVELOPMENT LLC**
1044 BROADWAY,
WOODMERE, NY 11598

Project
**650 N ANDREWS
MIXED-USE**
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title	
NORTH ELEVATION	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-28-2024
Project Manager N. TREMBLAY	Dwg. no. A-501
Project 22-855	



idea
Architect


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CANAL PARK
3323 NE 163rd Street, Suite 200 North Miami Beach, FL 33160
t 305.792.0015 f 305.931.0279 @ info@absolute-idea.com

SEAL

TO THE BEST OF MY
KNOWLEDGE, THE PLANS
AND SPECIFICATIONS
COMPLY WITH THE
APPLICABLE MINIMUM
BUILDING CODES AND THE
APPLICABLE FIRE-SAFETY
STANDARDS AS DETERMINED
BY THE LOCAL AUTHORITY IN
ACCORDANCE WITH THIS
SECTION AND 633 FLORIDA
STATUTES.

STEPHANE LECUYER
AR 93637

The seal is circular with a double-lined border. The outer ring contains the text "STATE OF FLORIDA" at the top and "REGISTERED PROFESSIONAL ENGINEER" at the bottom. The center of the seal features the name "STEPHANE LECUYER" in an arc, a five-pointed star, and the registration number "AR93637" below the star.

The image displays three logos stacked vertically. The top logo is for 'idea Architects', featuring the word 'idea' in a light blue sans-serif font above the word 'Architects' in a smaller, darker blue font, all within a light blue square. The middle logo is for 'FLYNN ENGINEERING', with a circular emblem on the left containing the number '30' and the text 'YEARS OF SERVICE' around it, followed by 'FLYNN' in large, bold, dark blue letters and 'ENGINEERING' in smaller, light blue letters below. The bottom logo is for 'TOOTHAKER.ORG', with the text 'TOOTHAKER.ORG' in white, bold, sans-serif font inside a dark grey rectangle, and a smaller tagline 'LAND USE DEVELOPMENT POLITICAL STRATEGY PROCUREMENT' in white, all-caps, sans-serif font inside a black rectangle below it.

REV.	DATE	DESCRIPTION
01	10-13-2023	D.R.C. SUBMITTAL
02	12-21-2023	REV. 1 COMMENTS
03	04-23-2024	REV. 2 COMMENTS
04	08-13-2024	REV. 3 COMMENTS
05	10-10-2024	REV. 4 COMMENTS

ALL MEASUREMENTS MUST BE VERIFIED BEFORE BEGINNING THE WORKS. NO MEASUREMENTS ARE TO BE SCALED DIRECTLY FROM THIS DRAWING.

[illegible]

Client

**BAM PROPERTY
DEVELOPMENT LLC**
1044 BROADWAY,
WOODMERE, NY 11598

Project

**650 N ANDREWS
MIXED-USE**

650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title	
WEST ELEVATION	
Drawn:	Field
J. WU	ARCHITECTURE
Verified	Scale
J.F. Gervais	as shown
Approved	Date
S. L'ecuyer	10-10-2024
Project Manager	Dwg. no.
N. TREMBLAY	A-502
Project	
22-855	



1
A-901
CONCEPTUAL AERIAL VIEW
LOOKING SOUTH-WEST
SCALE: NTS



2
A-901
CONCEPTUAL AERIAL VIEW
LOOKING SOUTH-EAST
SCALE: NTS



3
A-901
CONCEPTUAL AERIAL VIEW
LOOKING NORTH-WEST
SCALE: NTS

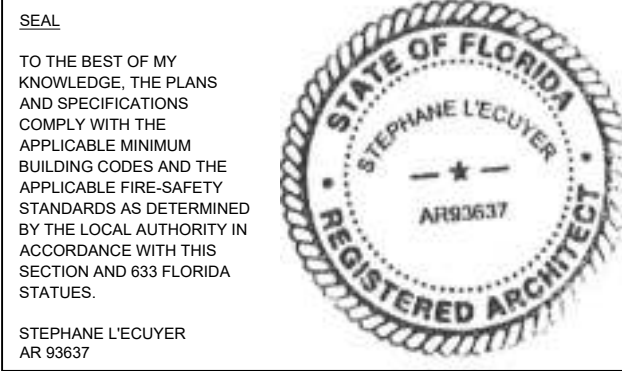


4
A-901
CONCEPTUAL AERIAL VIEW
LOOKING NORTH-EAST
SCALE: NTS



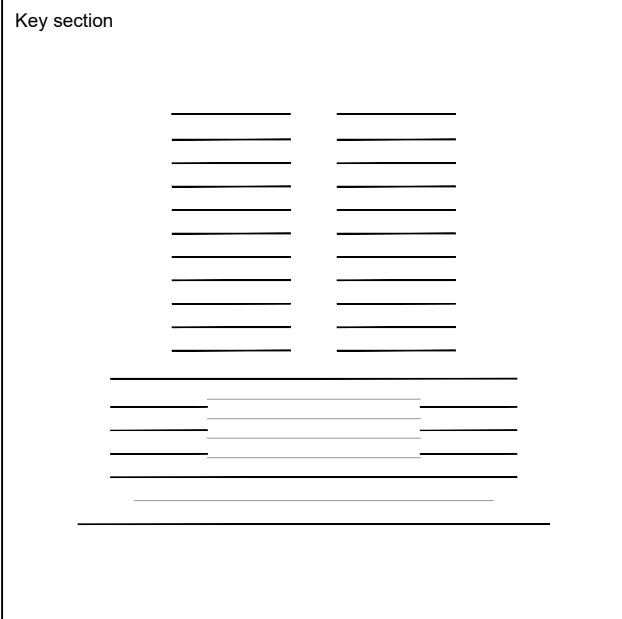
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305.792.0015 305.931.0279 info@absolute-idea.com



REV.	DATE	DESCRIPTION
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05	10-10-2024	REV. 4 COMMENTS

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Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title
CONCEPTUAL AERIAL VIEWS

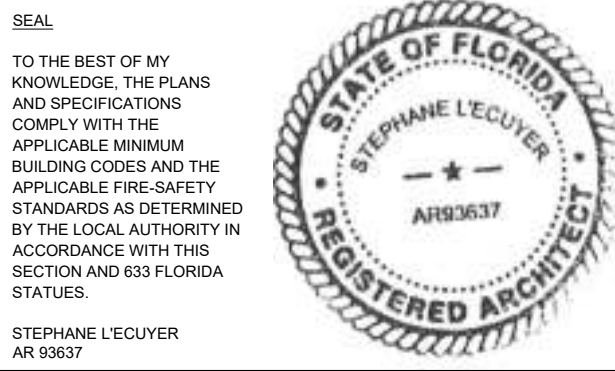
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024

Project Manager N. TREMBLAY	Dwg. no. A-901
Project 22-855	



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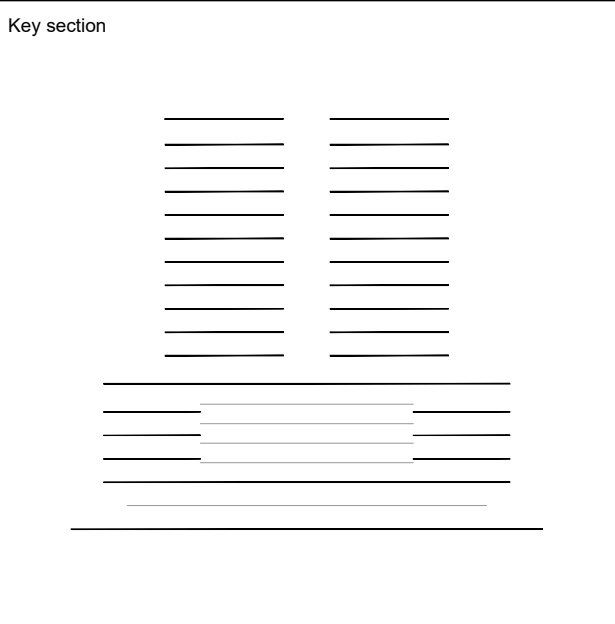
idea
ARCHITECTS

30 FLYNN
ENGINEERING

TOOTHAKER.ORG
LAND USE · DEVELOPMENT · POLITICAL
STRATEGY · PROCUREMENT

REV.	DATE	DESCRIPTION
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Client

**BAM PROPERTY
DEVELOPMENT LLC**
1044 BROADWAY,
WOODMERE, NY 11598

Project

**650 N ANDREWS
MIXED-USE**
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

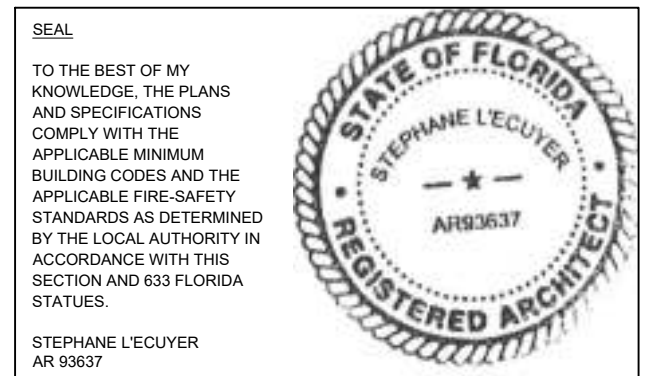
Title	
CONCEPTUAL 3D RENDERING 01	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024
Project Manager N. TREMBLAY	Dwg. no. A-902
Project 22-855	

NORTH FACADE RENDRING
CONCEPTUAL 3D RENDERING 01
SCALE: NTS



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04	08-13-2024	REV. 3 COMMENTS
05	10-10-2024	REV. 4 COMMENTS

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Key section

The diagram shows a key section with two columns of rock units. The left column consists of 10 units, and the right column consists of 10 units. The units are represented by horizontal lines of varying lengths and patterns. Below the columns is a horizontal line with a central gap, and below that is a single horizontal line.

Client

**BAM PROPERTY
DEVELOPMENT LLC**
1044 BROADWAY,
WOODMERE, NY 11598

Project

**650 N ANDREWS
MIXED-USE**

**650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311**

Title	
<p align="center">CONCEPTUAL 3D RENDERING 02</p>	
Drawn	Field
J. WU	ARCHITECTURE
Verified	Scale
JF. Gervais	as shown
Approved	Date
S. L'ecuyer	10-10-2024
Project Manager	Dwg. no.
N. TREMBLAY	A-903
Project	
22-855	

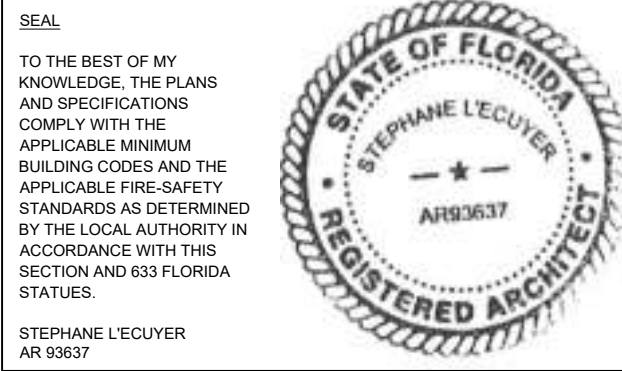
1
A-903

STREET VIEW OF NORTH FACADE
CONCEPTUAL 3D RENDERING 02
SCALE: NTS



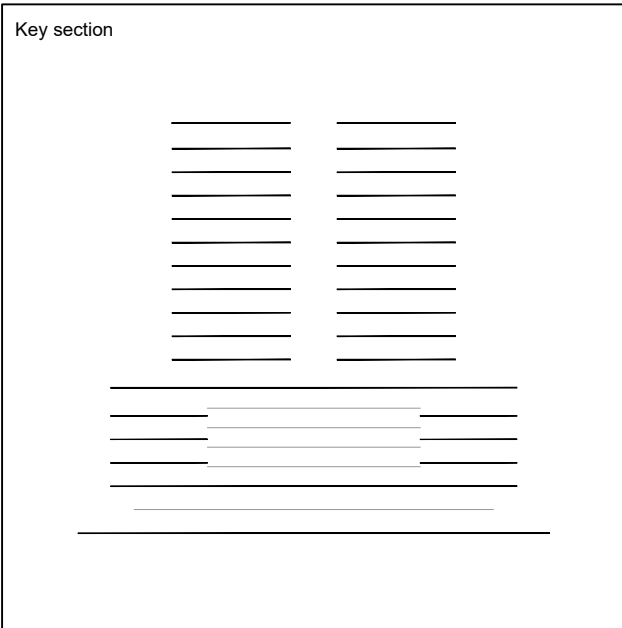
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05	10-10-2024	REV. 4 COMMENTS

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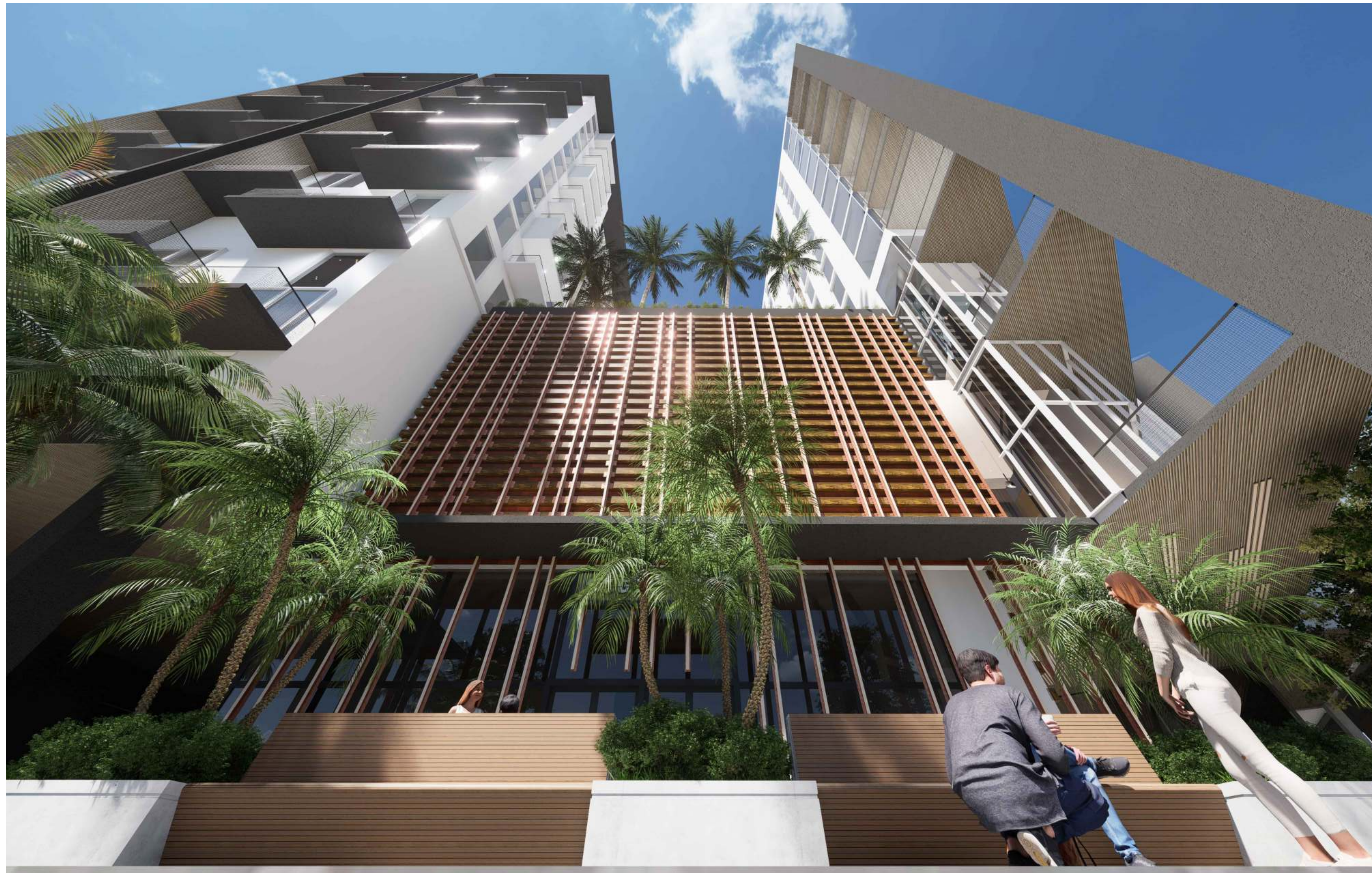


Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title	
CONCEPTUAL 3D RENDERING 03	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024
Project Manager N. TREMBLAY	Dwg. no. A-904
Project 22-855	

STREET VIEW OF NORTH PLAZA
CONCEPTUAL 3D RENDERING 03
SCALE: NTS






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SEAL

TO THE BEST OF MY
KNOWLEDGE, THE PLANS
AND SPECIFICATIONS
COMPLY WITH THE
APPLICABLE MINIMUM
BUILDING CODES AND THE
APPLICABLE FIRE-SAFETY
STANDARDS AS DETERMINED
BY THE LOCAL AUTHORITY IN
ACCORDANCE WITH THIS
SECTION AND 933 FLORIDA
STATUTES.

STEPHANE L'ECUYER
AR 93637

The seal is circular with a double-lined border. The outer ring contains the text "STATE OF FLORIDA" at the top and "REGISTERED ARCHITECT" at the bottom. The inner circle features the name "STEPHANE L'ECUYER" at the top, a five-pointed star in the center, and the number "AR93637" at the bottom.

Professionals

idea
ANALYTICS

30th ANNIVERSARY
FLYNN
ENGINEERING

TOOTHAKER.ORG
LAND USE • DEVELOPMENT • POLITICAL
STRATEGY • PROCUREMENT

REV.	DATE	DESCRIPTION
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04	08-13-2024	REV. 3 COMMENTS
05	10-10-2024	REV. 4 COMMENTS

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[illegible]

Client

**BAM PROPERTY
DEVELOPMENT LLC**
1044 BROADWAY,
WOODMERE, NY 11598

Project

**650 N ANDREWS
MIXED-USE**

650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title

**CONCEPTUAL
3D RENDERING 05**

Drawn	Field
J. WU	ARCHITECTURE
Verified	Scale
JF. Gervais	as shown
Approved	Date
S. L'ecuyer	10-10-2024

Project Manager N. TREMBLAY	Dwg. no. A-906
Project 22-855	

CAM # 24-1102
Exhibit 3
Page 30 of 66



STREET VIEW OF EAST FACADE
CONCEPTUAL 3D RENDERING 05
A-906 SCALE: NTS



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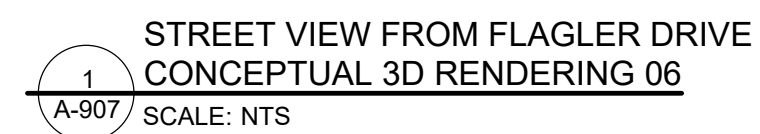


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Client

**BAM PROPERTY
DEVELOPMENT LLC**
1044 BROADWAY,
WOODMERE, NY 11598

Title	
<p align="center">CONCEPTUAL 3D RENDERING 06</p>	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024
Project Manager N. TREMBLAY	Dwg. no. <div>A-907</div>
Project <div>22-855</div>	







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SEAL

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION AND 633 FLORIDA STATUTES.

STEPHANE L'ECUYER
AR 93637

Professionals

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01	10-13-2023	D.R.C. SUBMITTAL
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05	10-10-2024	REV. 4 COMMENTS

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Key section

Client

BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project

650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title

CONCEPTUAL 3D RENDERING 08

Drawn

Verified

Approved

Project Manager

Project

J. WU

JF. Gervais

S. L'ecuyer

N. TREMBLAY

22-855

Field

Scale

Date

Dwg. no.

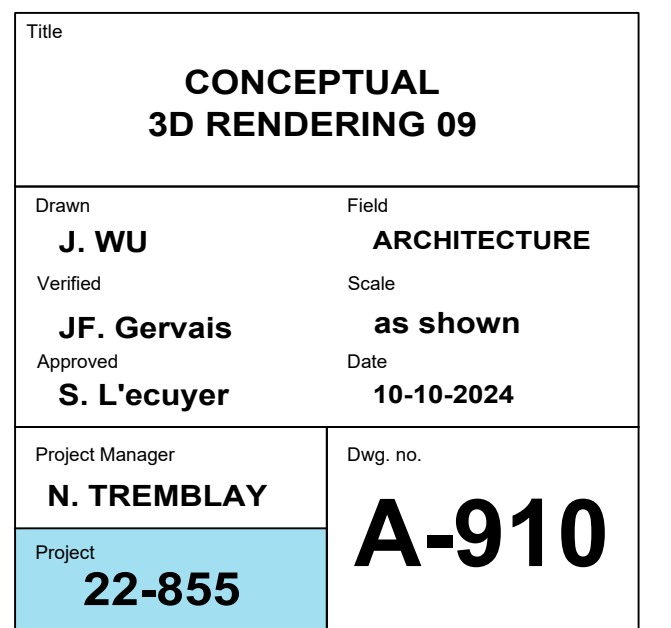
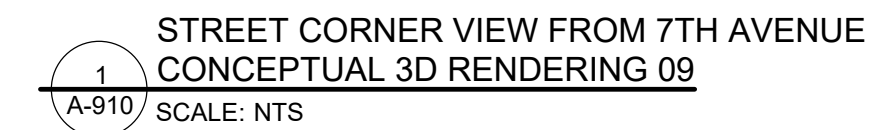
ARCHITECTURE

as shown

10-10-2024

A-909

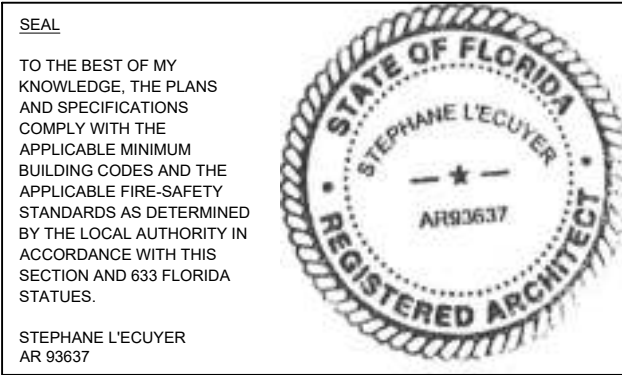
STREET VIEW FROM NORTH ANDREWS
CONCEPTUAL 3D RENDERING 08
SCALE: NTS





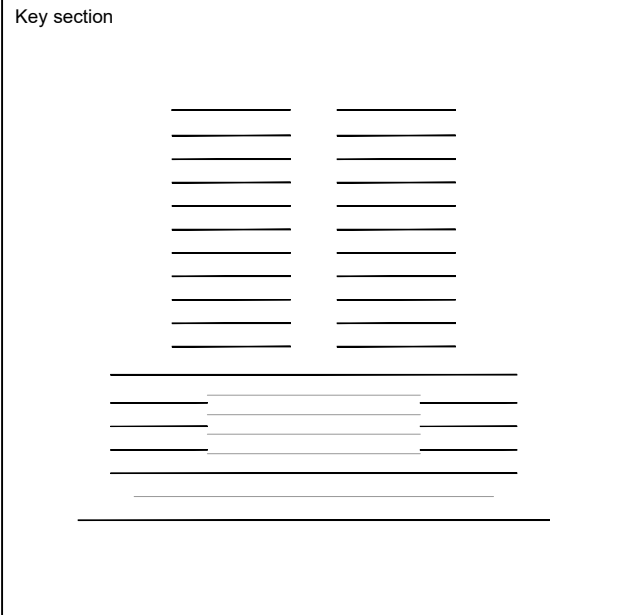
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01	10-13-2023	D.R.C. SUBMITTAL
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Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

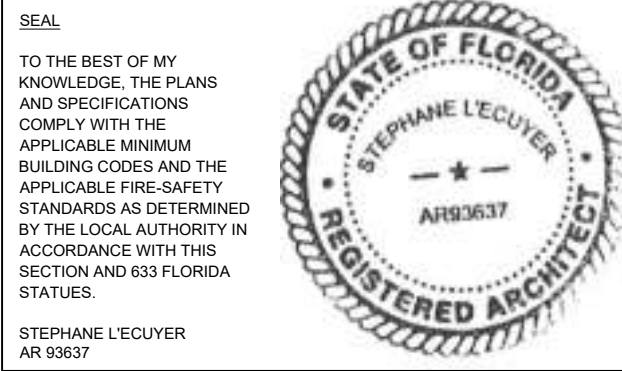
Title CONCEPTUAL 3D RENDERING 10	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024
Project Manager N. TREMBLAY	Dwg. no. A-911
Project 22-855	

ENLARGED VIEW OF RESIDENTIAL LINER
CONCEPTUAL 3D RENDERING 10
SCALE: NTS



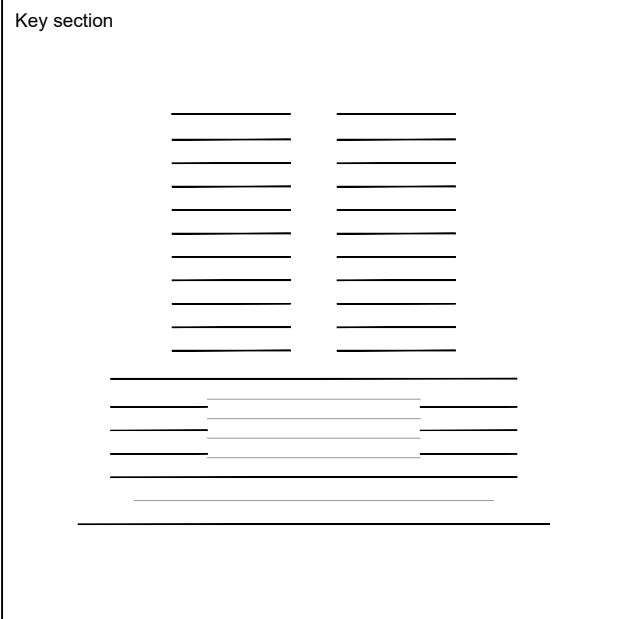
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Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

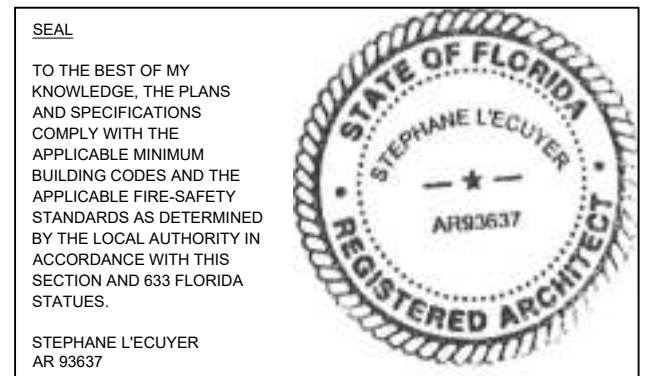
Title	
CONCEPTUAL 3D RENDERING 11	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024
Project Manager N. TREMBLAY	Dwg. no. A-912
Project 22-855	

ENLARGED VIEW OF MONUMENT NORTH FACADE
CONCEPTUAL 3D RENDERING 11
SCALE: NTS



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05	10-10-2024	REV. 4 COMMENTS

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Key section

The diagram illustrates a key section with two columns of horizontal lines. The left column consists of 10 lines, and the right column consists of 10 lines. The lines are of varying lengths, suggesting different rock types or thicknesses. The columns are separated by a vertical gap, and the entire section is bounded by a horizontal line at the top and bottom.

Client

**BAM PROPERTY
DEVELOPMENT LLC**
1044 BROADWAY,
WOODMERE, NY 11598

Project

**650 N ANDREWS
MIXED-USE**

650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

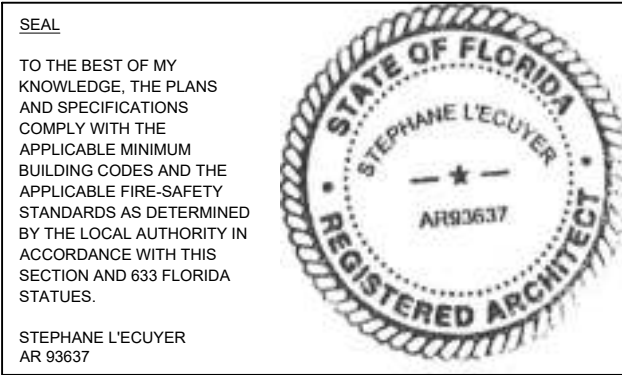
Title	
<p align="center">CONCEPTUAL 3D RENDERING 12</p>	
Drawn:	Field
J. WU	ARCHITECTURE
Verified	Scale
J.F. Gervais	as shown
Approved	Date
S. L'ecuyer	10-10-2024
Project Manager	Dwg. no.
N. TREMBLAY	A-913
Project	
22-855	

VIEW FROM POOL DECK - TOWER SEPARATION
CONCEPTUAL 3D RENDERING 12
A-913 SCALE: NTS



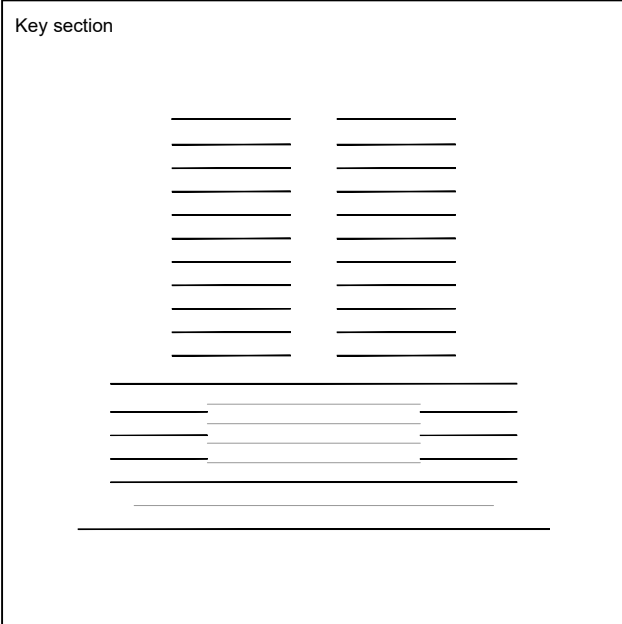
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05	10-10-2024	REV. 4 COMMENTS

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Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

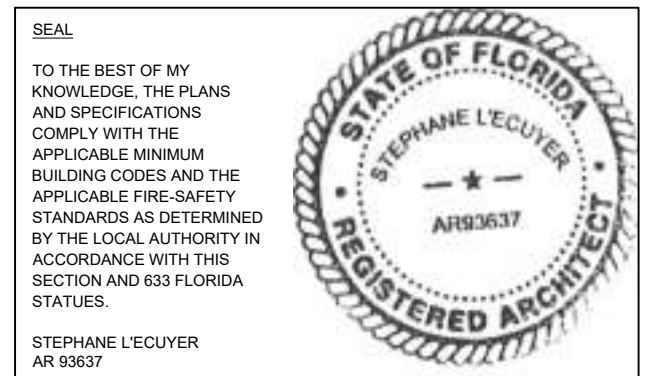
Title	
CONCEPTUAL 3D RENDERING 13	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024
Project Manager N. TREMBLAY	Dwg. no. A-914
Project 22-855	

ENLARGED VIEW OF NORTH PLAZA
CONCEPTUAL 3D RENDERING 13
SCALE: NTS



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03	04-23-2024	REV. 2 COMMENTS
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05	10-10-2024	REV. 4 COMMENTS

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[illegible]

Client

**BAM PROPERTY
DEVELOPMENT LLC**
1044 BROADWAY,
WOODMERE, NY 11598

Project

**650 N ANDREWS
MIXED-USE**

650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title	
<p align="center">CONCEPTUAL 3D RENDERING 14</p>	
Drawn	Field
J. WU	ARCHITECTURE
Verified	Scale
JF. Gervais	as shown
Approved	Date
S. L'ecuyer	10-10-2024
Project Manager	Dwg. no.
N. TREMBLAY	A-915
Project	
22-855	

VIEW OF THE POOL DECK LEVEL 4
CONCEPTUAL 3D RENDERING 14
SCALE: NTS




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SEAL

TO THE BEST OF MY KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH THIS SECTION, AND 633 FLORIDA STATUTES.

STEPHANE L'ECUYER
AR 53637

The seal is circular with a double-lined border. The outer ring contains the text "STATE OF FLORIDA" at the top and "REGISTERED ARCHITECT" at the bottom. Inside this ring, the name "STEPHANE L'ECUYER" is written in a larger font, with a five-pointed star centered below it. At the very bottom of the inner circle, the license number "AR93637" is inscribed.

Professionals

REV.	DATE	DESCRIPTION
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05	10-10-2024	REV. 4 COMMENTS

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[illegible]

Client

**BAM PROPERTY
DEVELOPMENT LLC**
1044 BROADWAY,
WOODMERE, NY 11598

Project

**650 N ANDREWS
MIXED-USE**

650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title	
CONCEPTUAL 3D RENDERING 15	
Drawn:	Field
J. WU	ARCHITECTURE
Verified	Scale
J.F. Gervais	as shown
Approved	Date
S. L'ecuyer	10-10-2024
Project Manager	Dwg. no.
N. TREMBLAY	A-916
Project	
22-855	

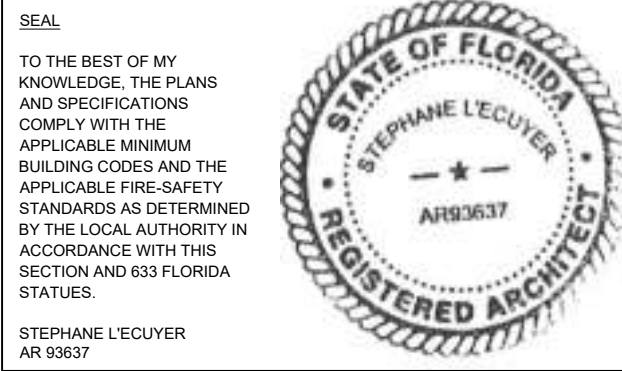
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CONCEPTUAL 3D RENDERING 15

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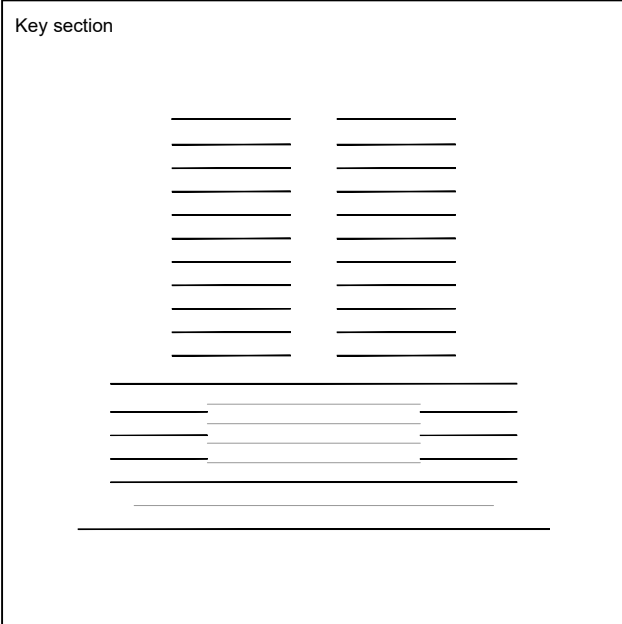
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305.752.0015 305.931.0279 info@absolute-idea.com



REV.	DATE	DESCRIPTION
01	10-13-2023	D.R.C. SUBMITTAL
02	12-21-2023	REV. 1 COMMENTS
03	04-23-2024	REV. 2 COMMENTS
04	08-13-2024	REV. 3 COMMENTS
05	10-10-2024	REV. 4 COMMENTS

ALL MEASUREMENTS MUST BE VERIFIED BEFORE BEGINNING THE WORKS. NO MEASUREMENTS ARE TO BE SCALED DIRECTLY FROM THIS DRAWING.



Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

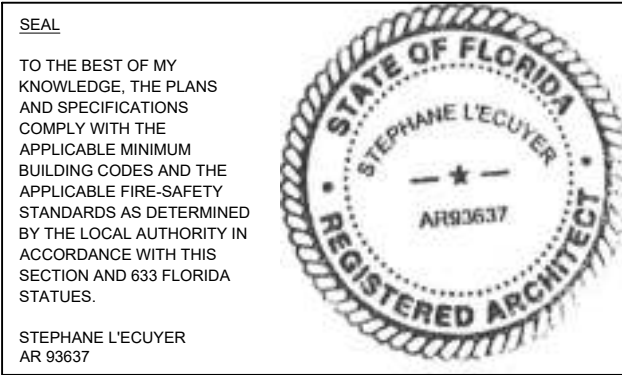
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CONCEPTUAL 3D RENDERING 16	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024
Project Manager N. TREMBLAY	Dwg. no. A-917
Project 22-855	

ENLARGED VIEW OF BALCONIES DESIGN 2
CONCEPTUAL 3D RENDERING 16
SCALE: NTS



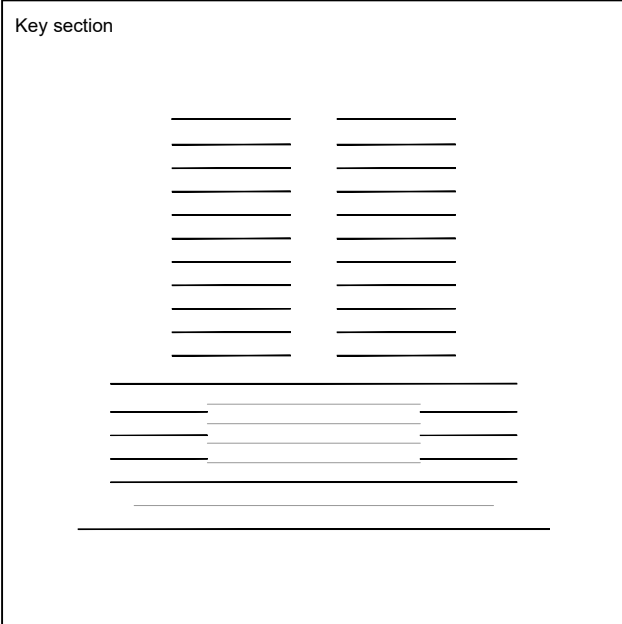
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05	10-10-2024	REV. 4 COMMENTS

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Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title	
CONCEPTUAL 3D RENDERING 17	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024
Project Manager N. TREMBLAY	Dwg. no. A-918
Project 22-855	

NIGHT VIEW OF NORTH FACADE
CONCEPTUAL 3D RENDERING 17
SCALE: NTS




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SEAL

TO THE BEST OF MY
KNOWLEDGE, THE PLANS
AND SPECIFICATIONS
COMPLY WITH THE
APPLICABLE MINIMUM
BUILDING CODES AND THE
APPLICABLE FIRE-SAFETY
STANDARDS AS DETERMINED
BY THE LOCAL AUTHORITY
IN ACCORDANCE WITH THIS
SECTION AND 653 FLORIDA
STATUTES.

STEPHANE LECUYER
AR 93637

The seal is circular with a double-lined border. The outer ring contains the text "STATE OF FLORIDA" at the top and "REGISTERED ARCHITECT" at the bottom, separated by two small stars. The inner circle contains the name "STEPHANE LECUYER" at the top and the license number "AR93637" at the bottom, also separated by two small stars.

Professionals

idea
Architects

30th Anniversary of the Planning and Design Act

FLYNN
ENGINEERING

TOOTHAKER.ORG

SAND USE DEVELOPMENT POLITICAL
STRATEGY PROCUREMENT

REV.	DATE	DESCRIPTION
01	10-13-2023	D.R.C. SUBMITTAL
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04	08-13-2024	REV. 3 COMMENTS
05	10-10-2024	REV. 4 COMMENTS

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Client

**BAM PROPERTY
DEVELOPMENT LLC**
1044 BROADWAY,
WOODMERE, NY 11598

Project

**650 N ANDREWS
MIXED-USE**

650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title	
<p align="center">CONCEPTUAL 3D RENDERING 18</p>	
Drawn	Field
J. WU	ARCHITECTURE
Verified	Scale
JF. Gervais	as shown
Approved	Date
S. L'ecuyer	10-10-2024
Project Manager	Dwg. no.
N. TREMBLAY	A-919
Project	
22-855	

VIEW FROM NEIGHBOR'S POOL DECK
CONCEPTUAL 3D RENDERING 18
A-919 SCALE: NTS




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SEAL

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STEPHANE L'ECUYER
AR 63637



idea
Architect

30th Anniversary of the City of Portland

FLYNN
ENGINEERING

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LAND USE • DEVELOPMENT • POLITICAL
STRATEGY • PROCUREMENT

REV.	DATE	DESCRIPTION
01	10-13-2023	D.R.C. SUBMITTAL
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05	10-10-2024	REV. 4 COMMENTS

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[illegible]

Client

**BAM PROPERTY
DEVELOPMENT LLC**
1044 BROADWAY,
WOODMERE, NY 11598

Project

**650 N ANDREWS
MIXED-USE**

650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

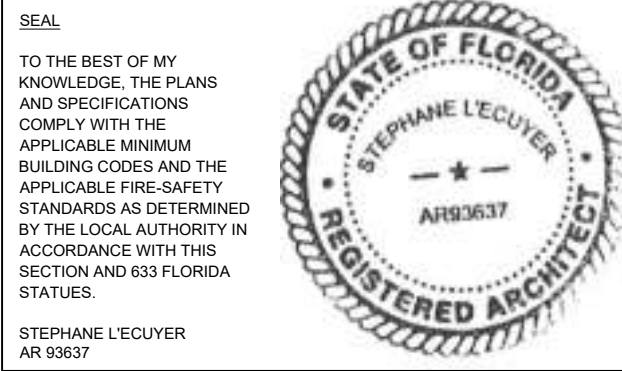
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Drawn	Field
J. WU	ARCHITECTURE
Verified	Scale
JF. Gervais	as shown
Approved	Date
S. L'ecuyer	10-10-2024
Project Manager	Dwg. no.
N. TREMBLAY	A-920
Project	
22-855	

VIEW FROM STREET LOOKING TO THE PLAZA
CONCEPTUAL 3D RENDERING 19
A-920 SCALE: NTS



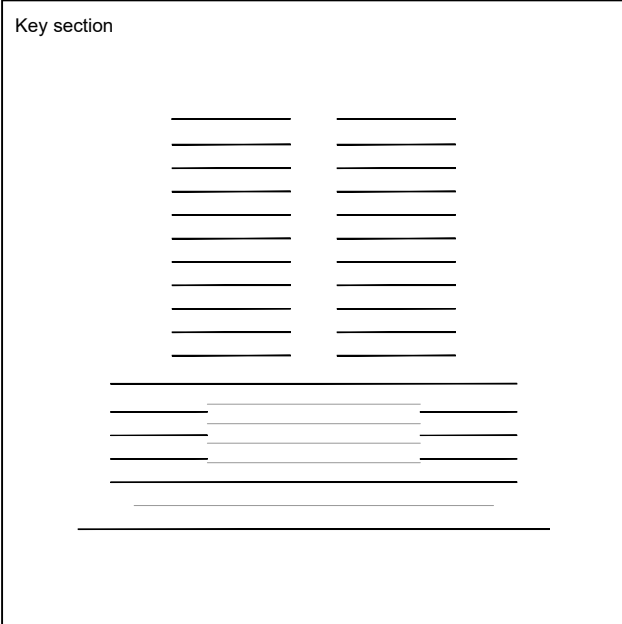
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05	10-10-2024	REV. 4 COMMENTS

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Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title	
CONCEPTUAL 3D RENDERING 20	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024
Project Manager N. TREMBLAY	Dwg. no. A-921
Project 22-855	

VIEW FROM COVERED PLAZA
CONCEPTUAL 3D RENDERING 20
SCALE: NTS

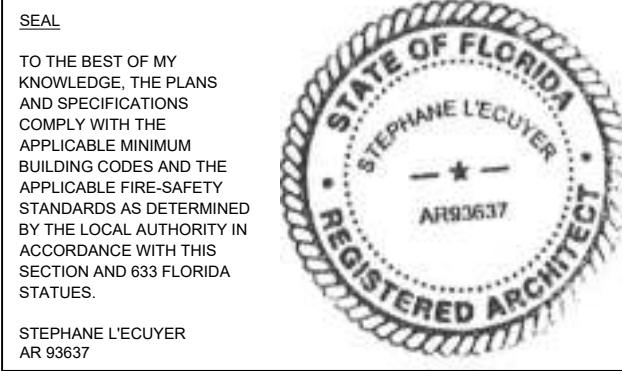


VIEW FROM COVERED PLAZA
CONCEPTUAL 3D RENDERING 21
SCALE: NTS



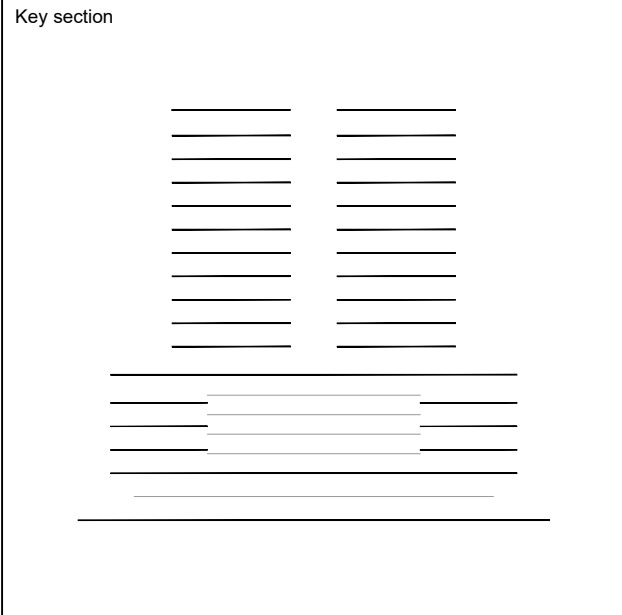
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05	10-10-2024	REV. 4 COMMENTS

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Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title	
CONCEPTUAL 3D RENDERING 21	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024
Project Manager N. TREMBLAY	Dwg. no. A-922
Project 22-855	



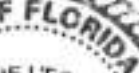
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SEAL

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STEPHANE L'ECUYER
AR 93637



Professionals

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01	10-13-2023	D.R.C. SUBMITTAL
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04	08-13-2024	REV. 3 COMMENTS
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[illegible]

Client

**BAM PROPERTY
DEVELOPMENT LLC**
1044 BROADWAY,
WOODMERE, NY 11598

Project

**650 N ANDREWS
MIXED-USE**

650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title	
<p align="center">CONCEPTUAL 3D RENDERING 22</p>	
Drawn	Field
J. WU	ARCHITECTURE
Verified	Scale
JF. Gervais	as shown
Approved	Date
S. L'ecuyer	10-10-2024
Project Manager	Dwg. no.
N. TREMBLAY	A-923
Project	
22-855	

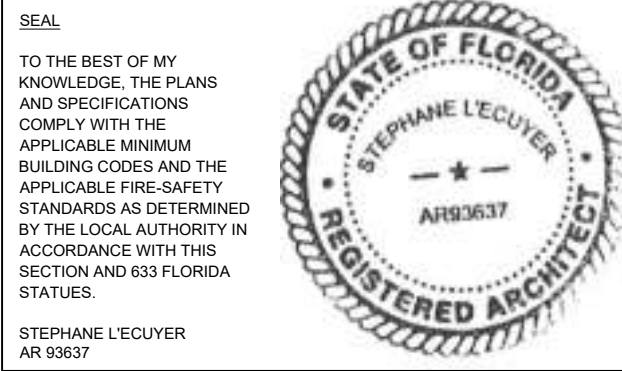


VIEW OF VERTICAL ELEMENT
CONCEPTUAL 3D RENDERING 22
A-923 SCALE: NTS



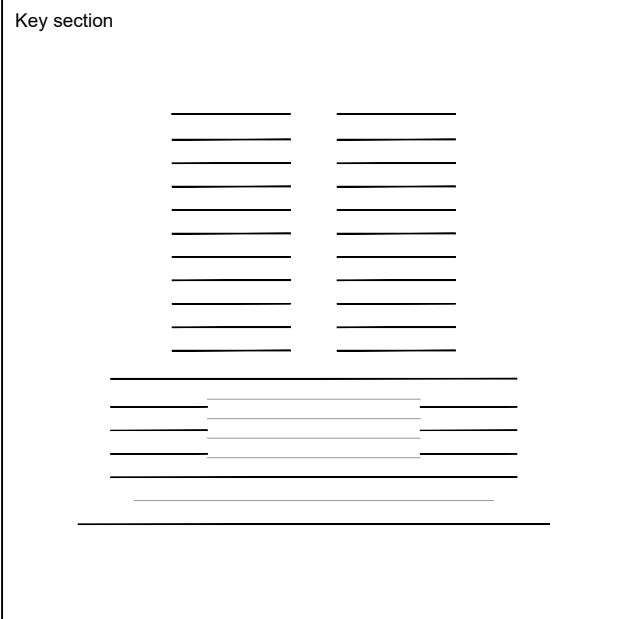
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01	10-13-2023	D.R.C. SUBMITTAL
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03	04-23-2024	REV. 2 COMMENTS
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05	10-10-2024	REV. 4 COMMENTS

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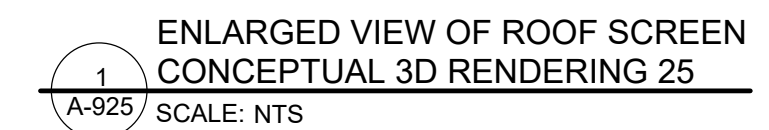
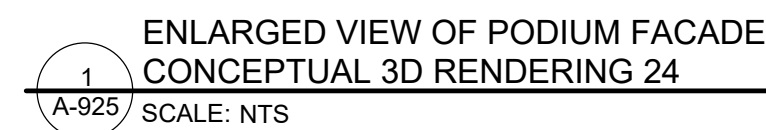


Client
BAM PROPERTY DEVELOPMENT LLC
1044 BROADWAY,
WOODMERE, NY 11598

Project
650 N ANDREWS MIXED-USE
650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

Title	
CONCEPTUAL 3D RENDERING 23	
Drawn J. WU	Field ARCHITECTURE
Verified JF. Gervais	Scale as shown
Approved S. L'ecuyer	Date 10-10-2024
Project Manager N. TREMBLAY	Dwg. no. A-924
Project 22-855	

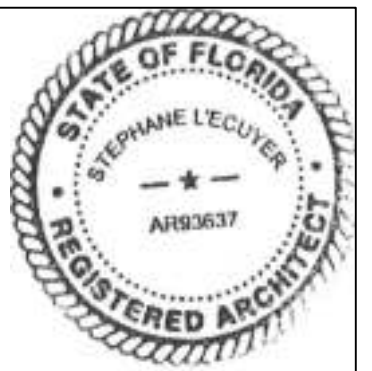

VIEW OF BALCONY DETAILS / EAST FACADE
CONCEPTUAL 3D RENDERING 23
SCALE: NTS



SEAL

TO THE BEST OF MY
KNOWLEDGE, THE PLANS
AND SPECIFICATIONS
COMPLY WITH THE
APPLICABLE MINIMUM
BUILDING CODES AND THE
APPLICABLE FIRE-SAFETY
STANDARDS AS DETERMINED
BY THE LOCAL AUTHORITY IN
ACCORDANCE WITH THIS
SECTION AND 633 FLORIDA
STATUTES.

STEPHANNE L'ECUYER
AR 93637



REV.	DATE	DESCRIPTION
01	10-13-2023	D.R.C. SUBMITTAL
02	12-21-2023	REV. 1 COMMENTS
03	04-23-2024	REV. 2 COMMENTS
04	08-13-2024	REV. 3 COMMENTS
05	10-10-2024	REV. 4 COMMENTS

Key section

Table of contents

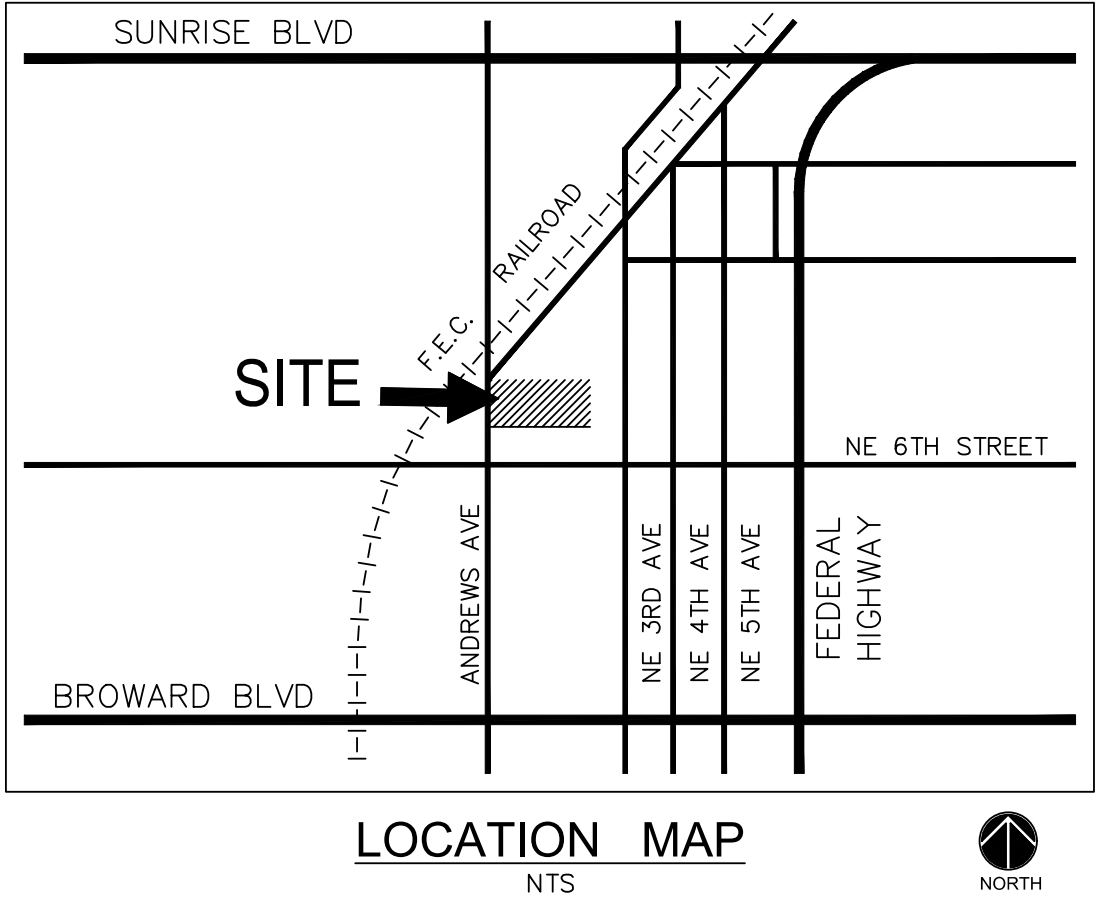
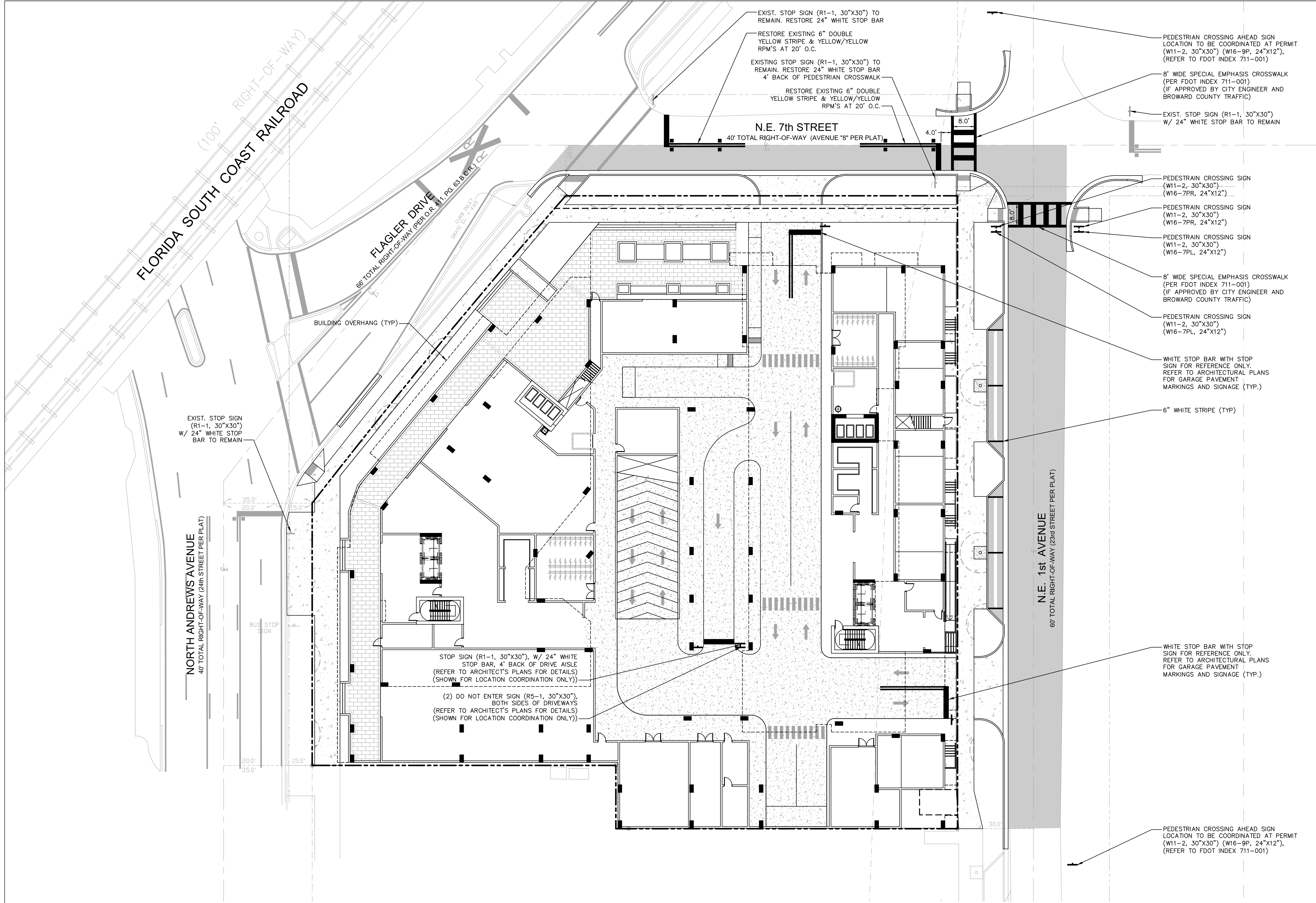
References

Project

**650 N ANDREWS
MIXED-USE**

650 NORTH ANDREWS AVENUE,
FORT LAUDERDALE, FL 33311

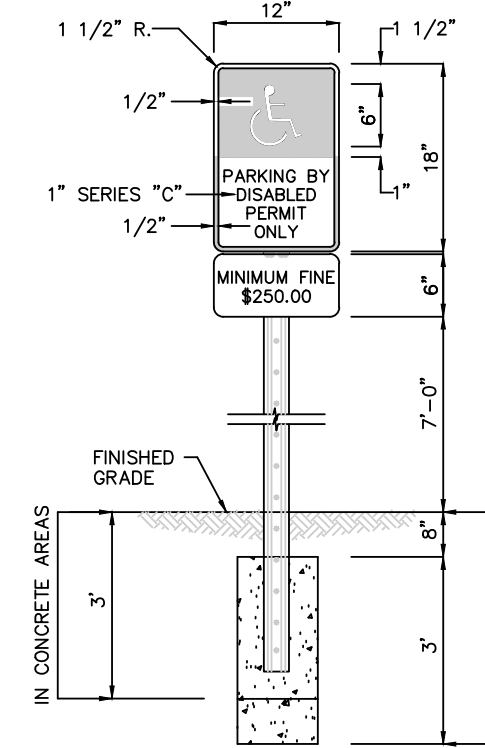
CAM # 24-1102
Exhibit 3
Page 49 of 66



- LEGEND:
- PROPOSED ELEVATION (NAVD)
 - EXISTING ELEVATION (NAVD)
 - PROPOSED CATCH BASIN
 - PROPOSED PLUG
 - TEE
 - WATER METER
 - DOUBLE DETECTOR CHECK W/ WAFER
 - CHECK VALVE ON DOWNSTREAM SIDE
 - REDUCED PRESSURE BACKFLOW PREVENTOR
 - DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
 - PROPOSED MANHOLE
 - WATER MAIN
 - SANITARY FORCE MAIN
 - VALVE
 - FIRE HYDRANT
 - SIAMESE CONNECTION
 - CLEANOUT
 - EDGE OF PROPOSED PAVEMENT (ASPHALT)
 - DIRECTION OF SURFACE DRAINAGE
 - SAMPLE POINT
 - EXIST. WATER MAIN
 - EXIST. UTILITY LINE TO BE ABANDONED IN PLACE

SIGNAGE AND MARKING NOTES:

- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) AND B.C.T.E.D. STANDARDS (CURRENT EDITION).
- ALL PAVEMENT MARKING AND SIGNAGE DAMAGED DURING CONSTRUCTION, SHALL BE RESTORED TO BROWARD COUNTY TRAFFIC ENGINEERING STANDARD (CURRENT EDITION).
- REMOVAL OF PAVEMENT MARKINGS SHALL BE BY SAND OR HYDROBLASTING AS REQUIRED BY B.C.T.E.D.
- ALL PAVEMENT MARKINGS ON ASPHALT SHALL BE THERMOPLASTIC WITH THE EXCEPTION OF PARKING STALL STRIPING WHICH SHALL BE REGULAR PAINT.



- NOTES:
- SIGN MUST BE POSTED AND THE BOTTOM OF THE SIGN MUST BE AT LEAST 7'-0" ABOVE FINISHED GRADE
 - LOCATE SIGN # CENTERLINE AND HEAD OF EACH HANDICAP STALL WHERE APPLICABLE.
 - SIGNS IN CONCRETE AREAS ARE TO BE EMBEDDED FOR A DEPTH OF 3'

HANDICAPPED PARKING SIGN
FTP-25 W/ SUPPLEMENTAL 12"x6"
"MINIMUM FINE \$250.00" SIGN

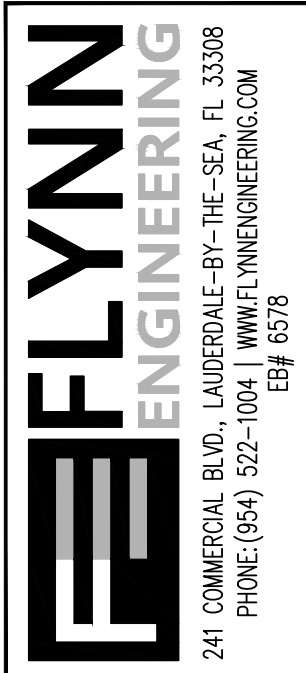
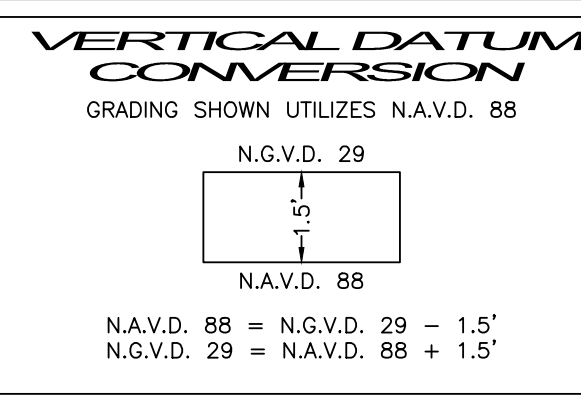
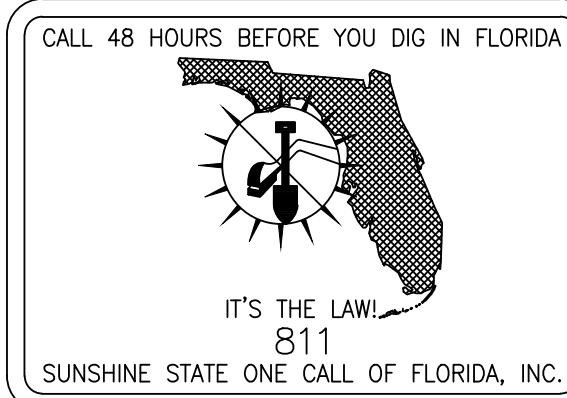
NTS

THE FOLLOWING ITEMS ARE NOT REVIEWED OR ACCEPTED BY BROWARD COUNTY:

- BROWARD COUNTY TRAFFIC ENGINEERING DIVISION'S REVIEW DOES NOT INCLUDE A REVIEW AND ACCEPTANCE OF THE PROJECT'S DESIGN OR OPERATION. THESE ITEMS ARE TO BE REVIEWED AND APPROVED BY THE CITY ENGINEER.
- BROWARD COUNTY TRAFFIC ENGINEERING DIVISION DOES NOT REVIEW AND APPROVE, OR INSPECT AND ACCEPT THE FOLLOWING ITEMS FOR MAINTENANCE: PAVEMENT MARKINGS ON OR ADJACENT TO PAVER BRICKS, PAINTED ASPHALT, STAMPED ASPHALT OR PAVEMENT MARKINGS MADE OF PAVER BRICKS, RAISED INTERSECTIONS AND RELATED MARKINGS AND SIGNING, UN-WARRANTED MID-BLOCK CROSSWALKS AND RELATED MARKINGS AND SIGNING, UN-WARRANTED CROSSWALKS AND RELATED MARKINGS AND SIGNING, PAINTED/DECORATIVE CROSSWALKS AND RELATED MARKINGS AND SIGNING, BLUNKER SIGNS, RECTANGULAR RAPID FLASHING BEACONS AND RELATED MARKINGS AND SIGNING, ON-STREET PARKING AND RELATED MARKINGS AND SIGNING, IN-ROAD LIGHTING AND RELATED MARKINGS AND SIGNING, GREEN BIKE LANES, FLEXIBLE DELINEATORS, DECORATIVE SIGNS AND DECORATIVE SIGN POSTS, PLANTERS, ON-SITE PAVEMENT MARKINGS AND SIGNING, OFF-SITE PAVEMENT MARKINGS AND SIGNING IN RIGHT-OF-WAY THAT IS NOT DEDICATED FOR PUBLIC USE, SIDEWALK WORK OR ASPHALT WORK.
- THE CITY ENGINEER IS RESPONSIBLE FOR THE REVIEW AND APPROVAL OF THE DESIGN AND OPERATION OF THE PROJECT AND FOR THE INSPECTION AND ACCEPTANCE OF THE FOLLOWING ITEMS THAT WILL BE MAINTAINED BY THE CITY: PAVEMENT MARKINGS ON OR ADJACENT TO PAVER BRICKS, PAINTED ASPHALT, STAMPED ASPHALT OR PAVEMENT MARKINGS MADE OF PAVER BRICKS, PAVEMENT MARKINGS ON OR ADJACENT TO PAVER BRICKS, STAMPED ASPHALT OR PAVEMENT MARKINGS MADE OF PAVER BRICKS, RAISED INTERSECTIONS AND RELATED MARKINGS AND SIGNING, UN-WARRANTED MID-BLOCK CROSSWALKS AND RELATED MARKINGS AND SIGNING, UN-WARRANTED CROSSWALKS AND RELATED MARKINGS AND SIGNING, PAINTED/DECORATIVE CROSSWALKS AND RELATED MARKINGS AND SIGNING, BLUNKER SIGNS, RECTANGULAR RAPID FLASHING BEACONS AND RELATED MARKINGS AND SIGNING, ON-STREET PARKING AND RELATED MARKINGS AND SIGNING, IN-ROAD LIGHTING AND RELATED MARKINGS AND SIGNING, GREEN BIKE LANES, FLEXIBLE DELINEATORS, DECORATIVE SIGNS AND DECORATIVE SIGN POSTS, PLANTERS, ON-SITE PAVEMENT MARKINGS AND SIGNING, OFF-SITE PAVEMENT MARKINGS AND SIGNING IN RIGHT-OF-WAY THAT IS NOT DEDICATED FOR PUBLIC USE, SIDEWALK WORK OR ASPHALT WORK.
- ALL TRAFFIC CONTROL DEVICES THAT ARE MAINTAINED BY BROWARD COUNTY, THAT ARE REMOVED OR DAMAGED BY CONSTRUCTION, SHALL BE REPLACED BY CONTRACTOR USING CURRENT BROWARD COUNTY TRAFFIC ENGINEERING DESIGN STANDARDS.

This document has been digitally
signed and sealed by
Blake M. Kidwell on 10/10/2024.

Printed copies of this document are not
considered signed and sealed.



PAVEMENT MARKING
& SIGNAGE PLAN

Sheet Title

650 N. ANDREWS AVE

FORT LAUDERDALE, FLORIDA

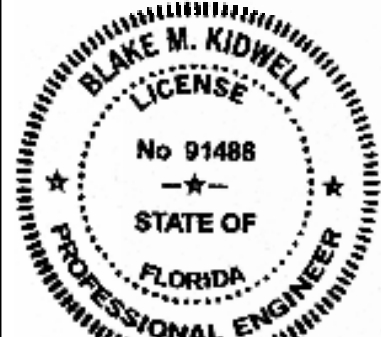
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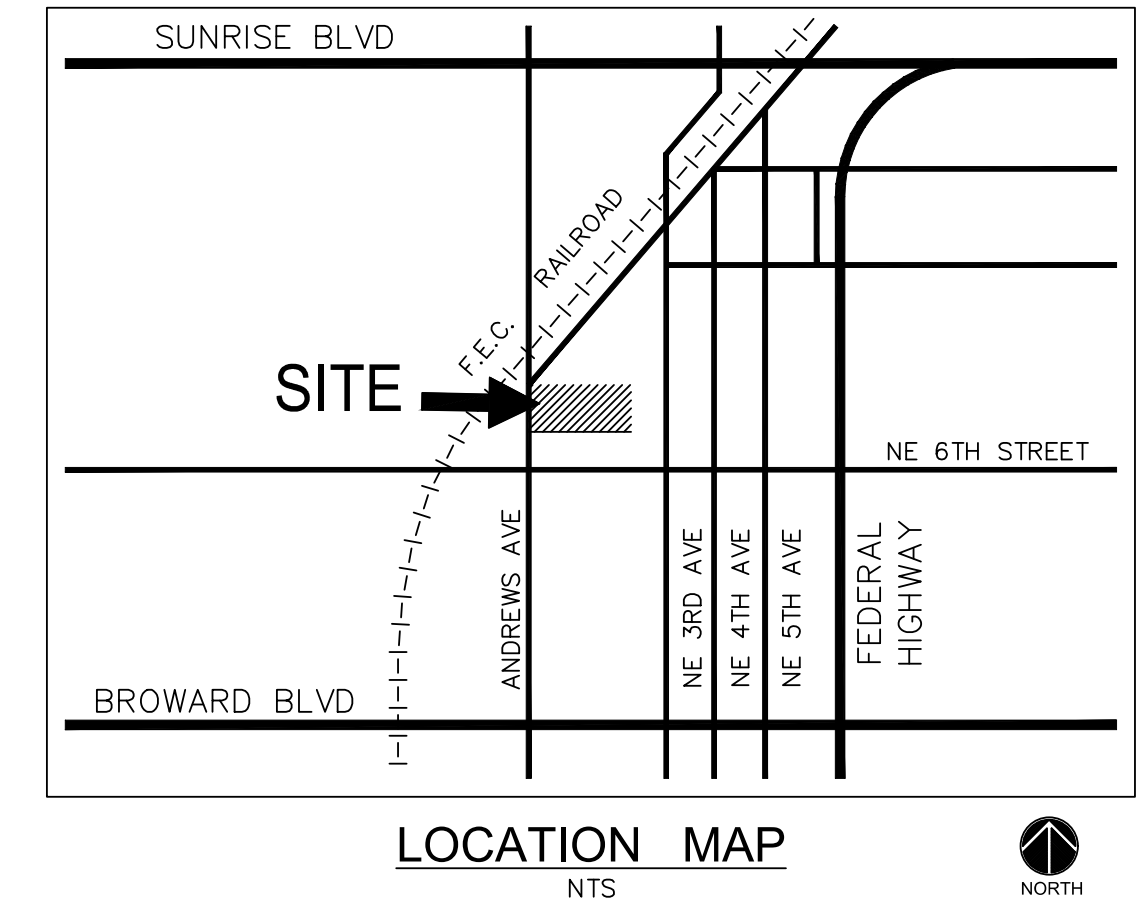
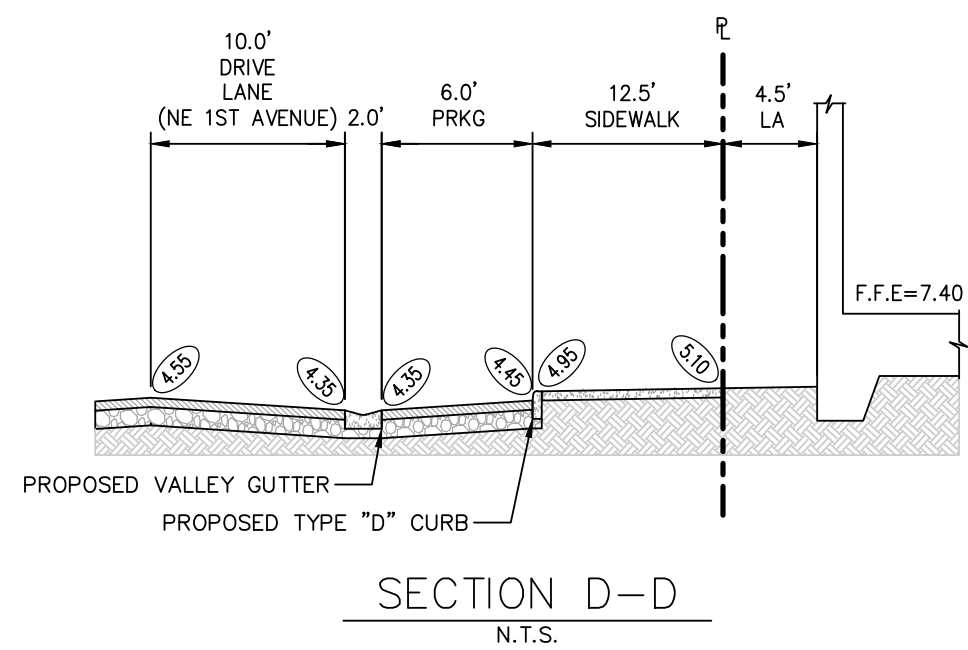
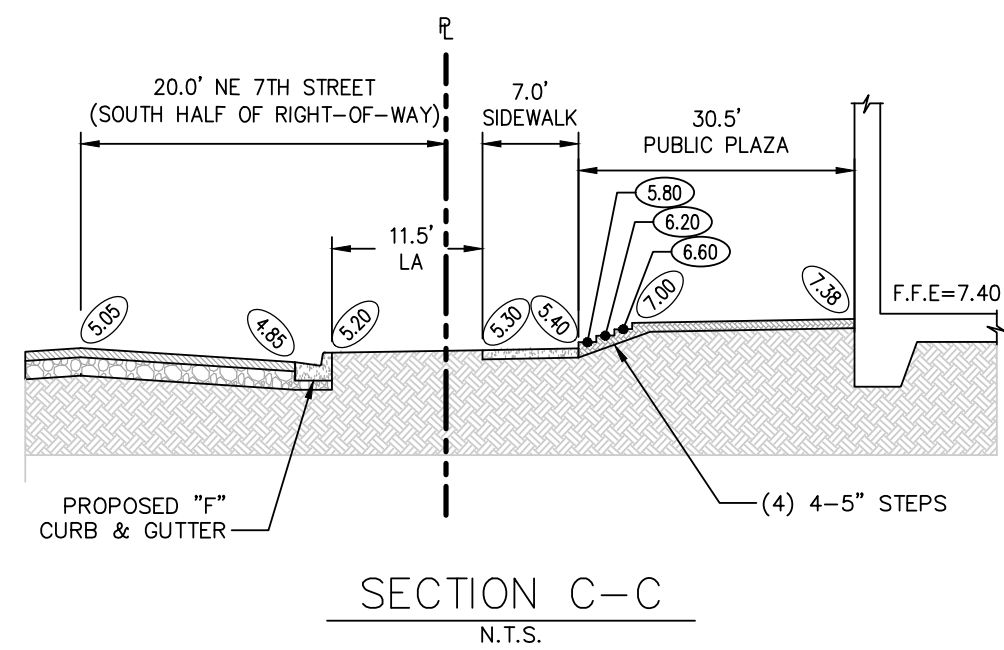
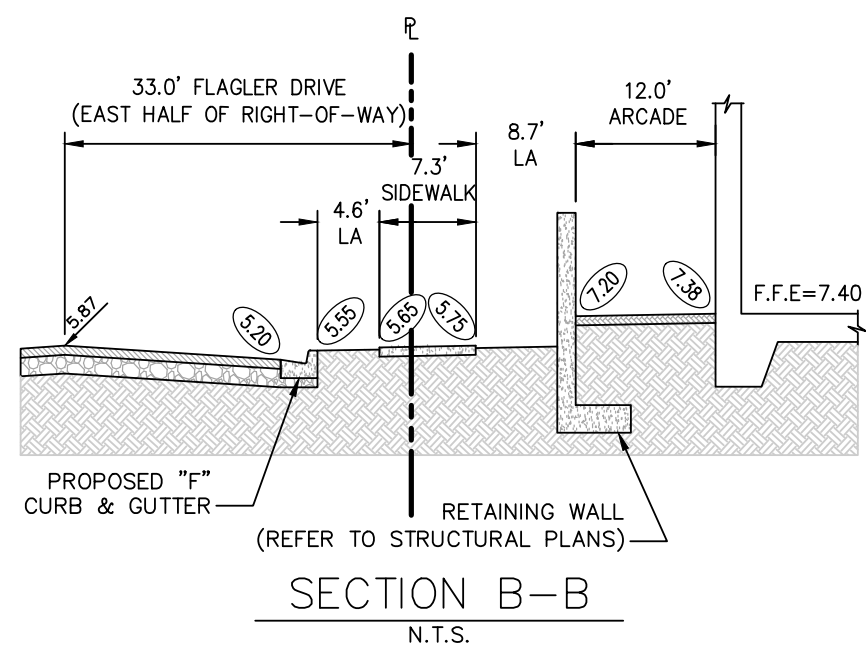
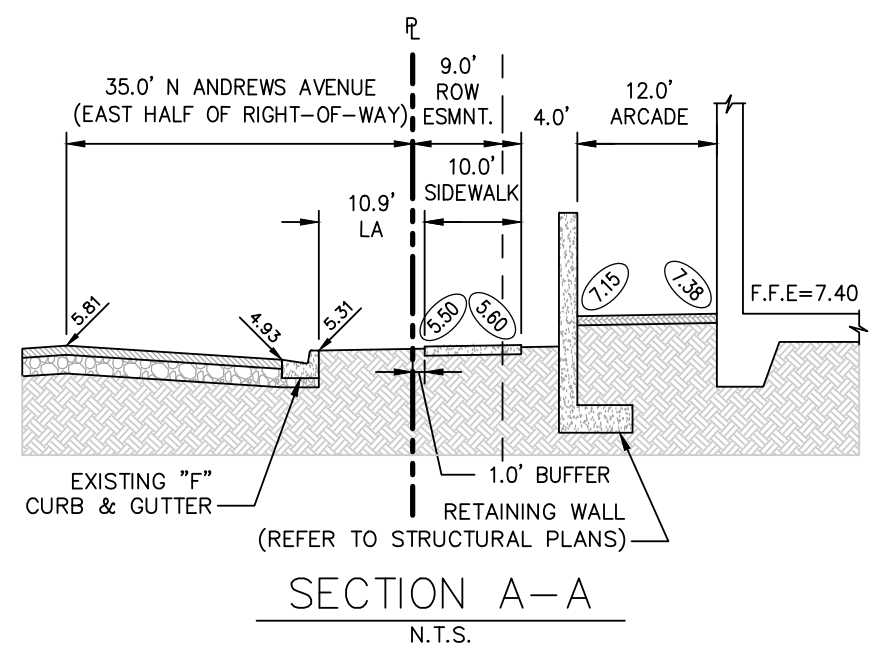
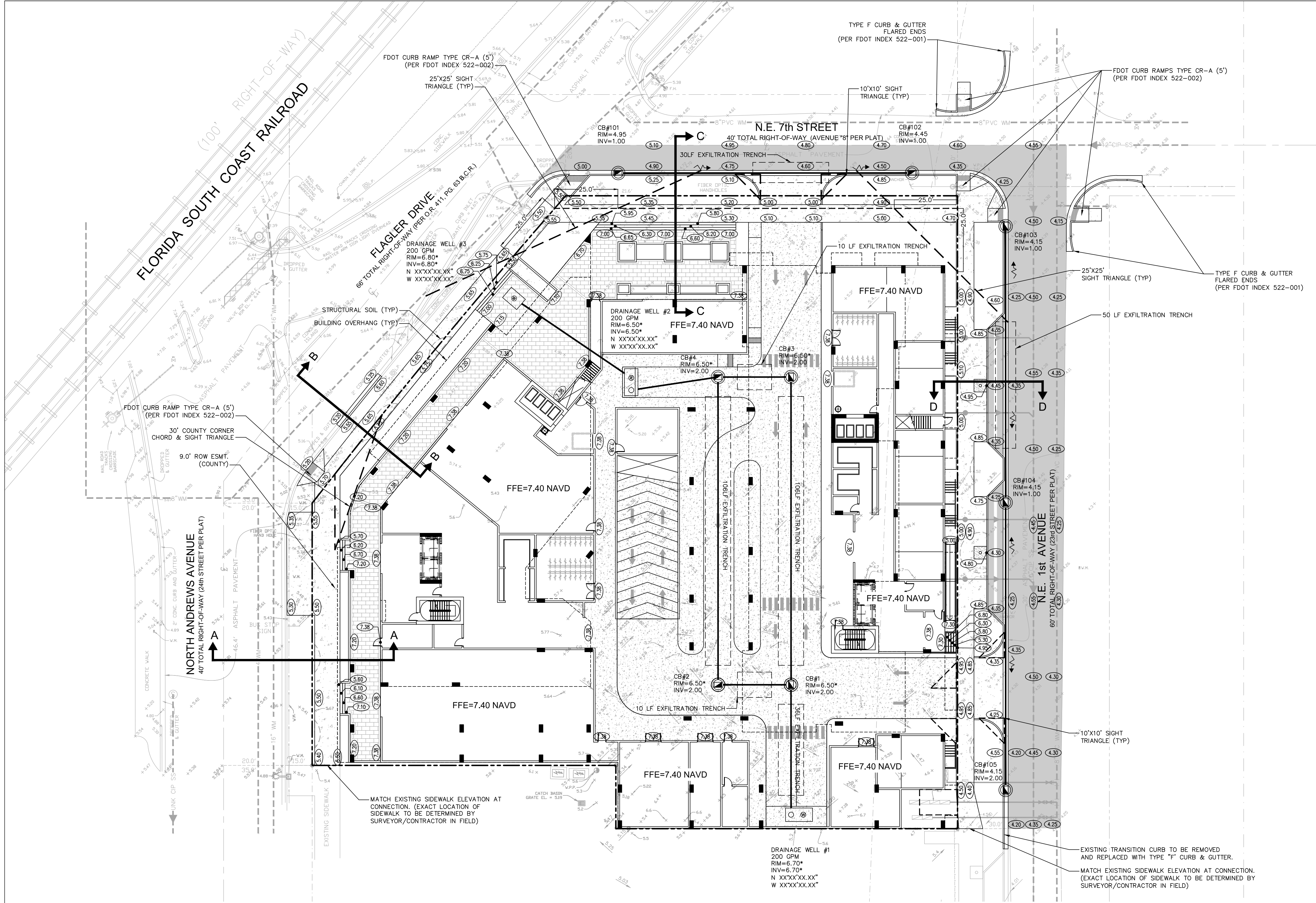
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03/06/24	REV2
06/05/24	REV3
08/23/24	REV4
10/04/24	REV5

Phase:

DRC
DOCUMENTS



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Appr. by BMK	- of -



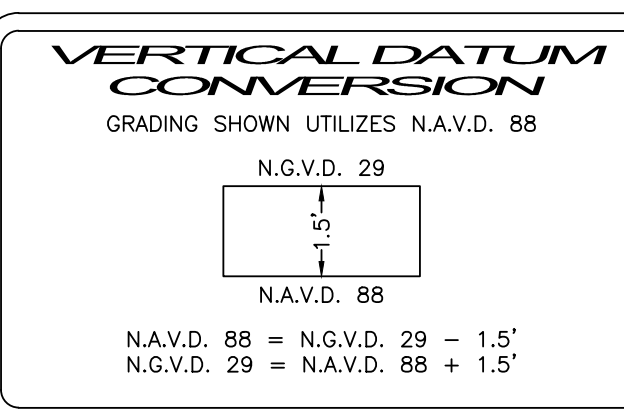
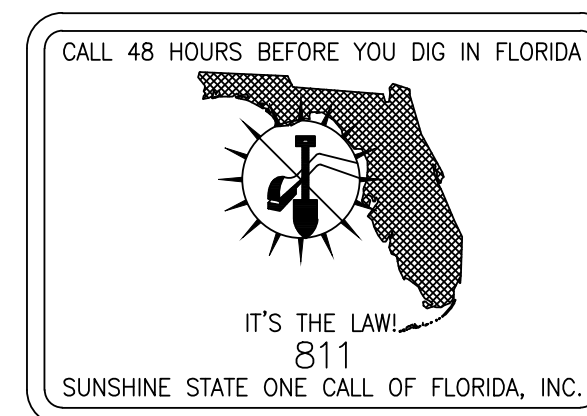
- LEGEND:**
- PROPOSED ELEVATION (NAVD)
 - EXISTING ELEVATION (NAVD)
 - PROPOSED CATCH BASIN
 - PROPOSED PLUG
 - TEE
 - WATER METER
 - DOUBLE DETECTOR CHECK W/ WAFER
 - REDUCED PRESSURE BACKFLOW PREVENTOR
 - DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
 - PROPOSED MANHOLE
 - WATER MAIN
 - SANITARY FORCE MAIN
 - VALVE
 - FIRE HYDRANT
 - SIAMSE CONNECTION
 - CLEANOUT
 - EDGE OF PROPOSED PAVEMENT (ASPHALT)
 - DIRECTION OF SURFACE DRAINAGE
 - SAMPLE POINT
 - EXIST. UTILITY LINE TO BE ABANDONED IN PLACE

CURRENT: FLOOD ZONE "X" ELEV (N/A) NAVD
ON FIRM MAP #12011C0369 H, DATED AUGUST 18, 2014
PRELIM: FLOOD ZONE "AE" ELEV (6.0) NAVD
ON FIRM MAP #12011C0369 J, DATED DECEMBER 31, 2019
BROWARD COUNTY FUTURE 100 YEAR
3 DAY CONTOUR= ELEV. (6.5) NAVD
DESIGN FLOOD ELEVATION 100 YEAR 3 DAY STORM= ELEV. (7.0) NAVD
AVERAGE WET SEASON WATER LEVEL= ELEV. (2.0) NAVD

GRADING AND DRAINAGE NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF FORT LAUDERDALE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES, AND SURVEY MARKERS.
- ALL STORM DRAINAGE LINE FROM THE BLDG SHALL BE LAID @ 1.0% MINIMUM SLOPE UNLESS NOTED OTHERWISE ON PLANS.
- CLEANOUTS ON STORM DRAINAGE LINES ARE TO BE ADJUSTED TO BE FLUSH W/FINISHED GRADE.
- CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
- LANDSCAPED AREAS SHALL BE GRADED TO DRAIN TO THE CATCH BASIN INLETS. FIELD ADJUST GRADING AS REQUIRED.
- SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALLY).
- RECTANGULAR CATCH BASIN AND YARD DRAIN GRATES SHALL BE INSTALLED SUCH THAT THE LONG AXIS OF GRATE PARALLELS THE CLOSEST ADJACENT WALK, BLDG., DRIVE WAY, PROPERTY LINE, OR ROADWAY.
- COORDINATE LOCATION IN FIELD OF ALL CATCH BASINS & YARD DRAINS WITH LANDSCAPE CONTRACTOR TO AVOID CONFLICTS.
- CENTERLINE OF YARD DRAINS @ BASE OF DOWN SPOUTS MUST ALIGN WITH CENTERLINE OF DOWN SPOUT PRIOR TO FINAL ACCEPTANCE BY OWNER. REFERENCE ARCH. PLANS FOR EXACT LOCATION OF DOWN SPOUTS.
- SLOPE ON SIDEWALKS SHALL NOT EXCEED 5% SLOPE IN DIRECTION OF TRAVEL OR 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
- SLOPE IN HANDICAP PARKING AND ACCESS AISLES SHALL NOT EXCEED 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
- SLOPE IN CROSSWALKS SHALL NOT EXCEED 2% CROSS SLOPE. NOTIFY ENGINEER PRIOR TO CONSTRUCTION OF ANY GRADING THAT DOES NOT COMPLY WITH THIS REQUIREMENT.
- SURVEY INFORMATION BASED ON SURVEY PROVIDED BY MCLAUGHLIN ENGINEERING COMPANY DATED SEPTEMBER 23, 2022.
- ELEVATIONS SHOWN ARE NAVD88.
- *17. FINAL RIM ELEVATIONS FOR THE DRAINAGE STRUCTURES WITHIN THE GARAGE TO BE BASED ON ARCHITECT'S GRADING PLAN.

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**CONCEPTUAL
PAVING, GRADING, &
DRAINAGE PLAN**

Sheet Title

650 N. ANDREWS AVE

FORT LAUDERDALE, FLORIDA

Job Title



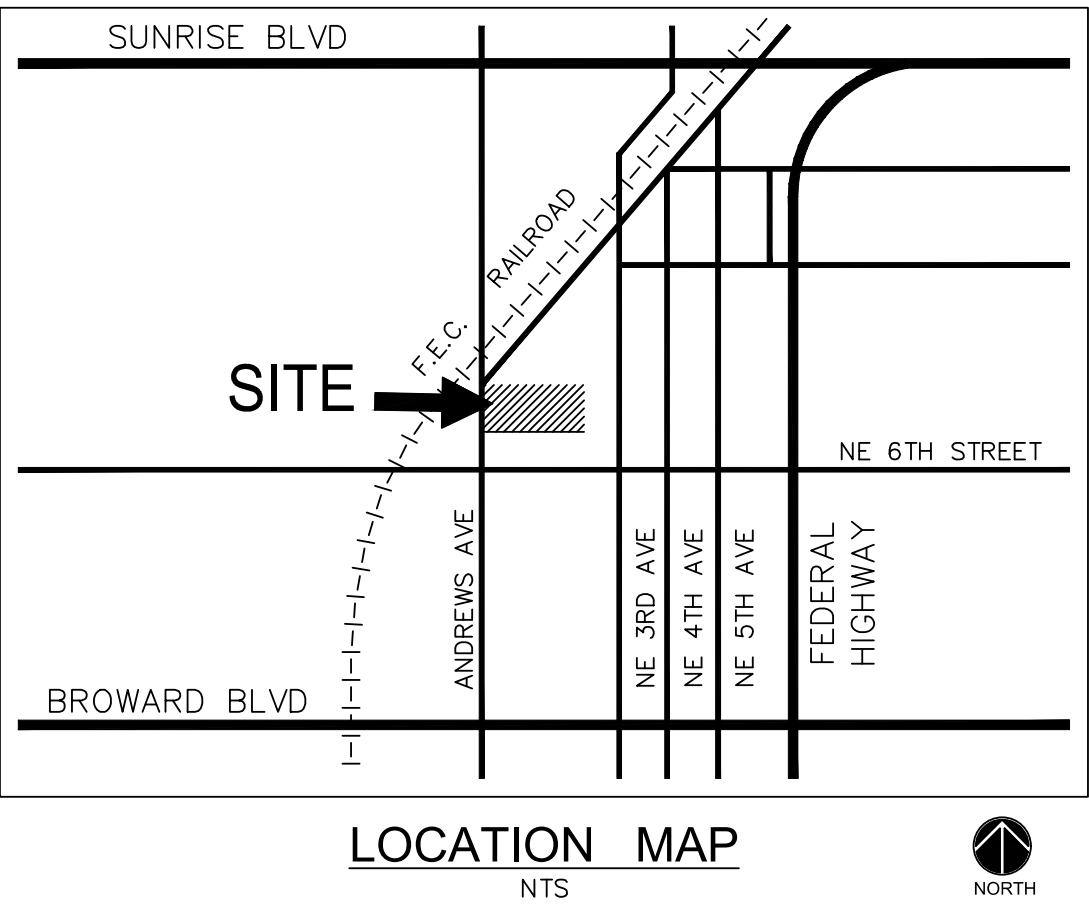
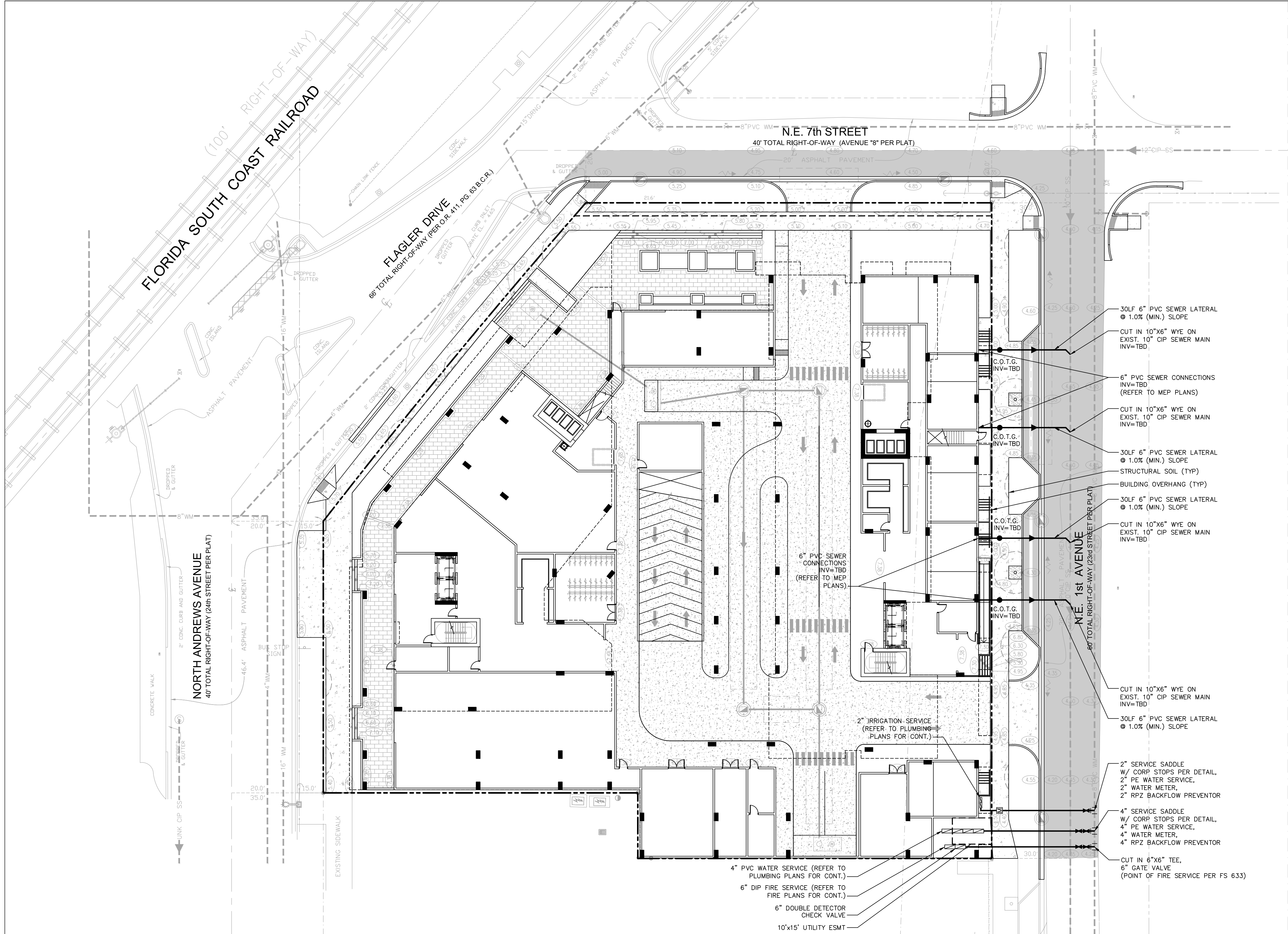
Revisions		
12/21/23	REV1	
03/06/24	REV2	
06/15/24	REV3	
08/23/24	REV4	
10/04/24	REV5	

Phase:

DRC
DOCUMENTS



Scale: 1"=30'	Date 10/10/24
Job No. 22-1728.00	Plot Date 10/10/24
Drawn by BMK	Sheet No. C2
Proj. Mgr. BMK	
Appr. by BMK	



- LEGEND:**
- | | | | |
|--|--|--|--|
| | PROPOSED ELEVATION (NAVD) | | PROPOSED MANHOLE |
| | EXISTING ELEVATION (NAVD) | | WATER MAIN |
| | PROPOSED CATCH BASIN | | SANITARY FORCE MAIN |
| | PROPOSED PLUG | | VALVE |
| | TEE | | FIRE HYDRANT |
| | WATER METER | | SIAMESE CONNECTION |
| | DOUBLE DETECTOR CHECK W/ WAFER | | CLEANOUT |
| | REDUCED PRESSURE BACKFLOW PREVENTOR | | EDGE OF PROPOSED PAVEMENT (ASPHALT) |
| | DIRECTIONAL FLOW ARROW AND GRAVITY SEWER | | DIRECTION OF SURFACE DRAINAGE |
| | | | SAMPLE POINT |
| | | | EXIST. UTILITY LINE TO BE ABANDONED IN PLACE |

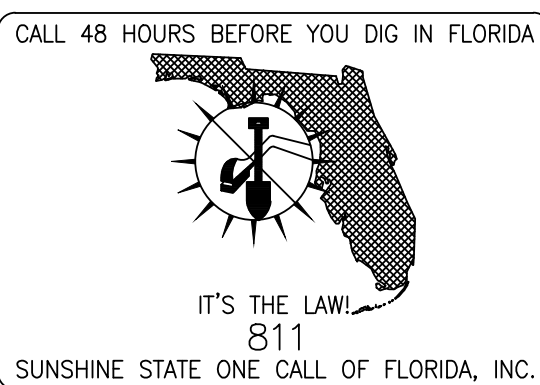
WATER AND SEWER NOTES:

- CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
- CONTRACTOR SHALL PROVIDE ANY EASEMENT DOCUMENTATION AROUND MH'S, BACKFLOW PREVENTORS, MAINLINES, METERS, ETC. AS REQUIRED BY THE CITY SO THAT THE OWNER MAY RECORD ANY EASEMENTS WITH THE CITY. CONTRACTOR'S SURVEYOR MUST COORDINATE WITH THE CITY AND PROVIDE ALL NECESSARY EASEMENT DOCUMENTATION TO THE OWNER. THE OWNER MUST THEN PROVIDE ALL RECORDED UTILITY EASEMENT DOCUMENTS TO THE CITY PRIOR TO FINAL ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT. ANY WATER MAIN CONNECTIONS, UTILITY CONNECTIONS AND SCHEDULE MUST BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION. THE CONTRACTOR IS REQUIRED TO PAY FOR ALL COSTS ASSOCIATED WITH THIS WORK REGARDLESS OF WHETHER OR NOT THE UTILITY OR THE CONTRACTOR PERFORMS THE WORK.
- SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALLY).
- W.M./S.S. MAINS TO BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BOXES, CULVERTS, ETC. W.M./S.S. MAINS MUST BE LOCATED 5' FROM TREES. F.H.'S MUST HAVE A 7.5' CLEAR RADIUS FROM ALL OBSTRUCTIONS.
- PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE FDEP, CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT, AND FLYNN ENGINEERING SERVICES STANDARDS.
- 18" VERTICAL CLEARANCE PREFERRED FOR ALL UTILITY CROSSINGS. MINIMUM OF 12" REQUIRED FOR WM-WM CROSSING AND WM-FM CROSSING. CONTRACTOR SHALL CALL 811 AND LOCATE UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. ALL SANITARY SEWER LATERALS SHALL CROSS UNDER WATER MAINS WHERE ABLE. IF THE WATER MAIN MUST CROSS BELOW THE SEWER, A MINIMUM OF 12" SEPARATION SHALL BE PROVIDED. A 20 FOOT SECTION OF DUCTILE IRON PIPE WATER MAIN CENTERED CROSSING IS REQUIRED IF LESS THAN 18" VERTICAL SEPARATION OCCURS BETWEEN SEWER AND WATER MAIN.
- ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE CAPPED OFF AT THE POINT NEAREST TO THE UTILITIES OR DRAINAGE LINES THAT WILL REMAIN IN SERVICE. NOTIFY THE ENGINEER OF RECORD BEFORE REMOVING ANY UTILITIES THAT ARE CURRENTLY IN SERVICE. THE CONTRACTOR SHALL NOT REMOVE ANY UTILITY SERVICE TO ANY EXISTING BUILDING THAT WILL REMAIN AND SHALL DIG UP AND COMPLETELY REMOVE AND/OR ABANDON ANY UTILITY SERVICE THAT IS NO LONGER REQUIRED. THE CONTRACTOR SHALL INFORM AND CONSULT THE ENGINEER OF RECORD PRIOR TO REMOVING ANY LINES.
- CONTRACTOR SHALL VERIFY EXISTING WATER MAIN LOCATION AND ELEVATION AND NOTIFY THE ENGINEER OF ANY DIFFERENCE FROM THE DESIGN PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
- CLEANOUTS AND MANHOLES ON SANITARY LINES ARE TO BE ADJUSTED TO BE FLUSH WITH FINISHED GRADE.
- PROPOSED FIRE LINES (I.E. MAINS, SERVICES, SIAMESE CONNECTION LINES, ETC.) TO BE INSTALLED BY A STATE LICENSED FIRE LINE CONTRACTOR PER F.S. 633.
- FIRE LINES TO BE INSPECTED BY A CERTIFIED FIRE LINE INSPECTOR.
- STATE LICENSED FIRE LINE CONTRACTOR, UPON COMPLETION OF REQUIRED TESTING, SHALL ISSUE A "LICENSED UNDERGROUND TEST CERTIFICATE" PRIOR TO ACCEPTANCE FOR PLACING FIRE LINE INTO SERVICE.
- CORING INTO EXISTING MANHOLE MAY RESULT IN COMPLETE RECONSTRUCTION OF EXISTING MANHOLE AT CONTRACTOR'S EXPENSE IF MANHOLE IS IN A DETERIORATED CONDITION.
- ON-SITE MANHOLES TO HAVE STANDARD SANITARY SEWER USF 420 COVER.
- THE MINIMUM COVER DEPTHS FOR PVC AND DIP SEWER MAINS ARE RESPECTIVELY 36 INCHES AND 30 INCHES.
- EXFILTRATION TESTING AND LAMPING OF THE GRAVITY SEWER SHALL BE COORDINATED BY THE CONTRACTOR PRIOR TO THE COMPLETION OF THE PROJECT.

PUMP STATION START UP, EXFILTRATION TESTING, LAMPING, AND VIDEO SURVEY OF SANITARY SEWER TO BE PERFORMED AND WITNESSED BY CITY INSPECTOR. PRESSURE TESTING AND CANNON FLUSH OF WATER MAIN TO BE PERFORMED AND WITNESSED BY CITY INSPECTOR.

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VERTICAL DATUM CONVERSION
GRADING SHOWN UTILIZES N.A.V.D. 88

N.G.V.D. 29
N.A.V.D. 88
N.A.V.D. 88 = N.G.V.D. 29 - 1.5'
N.G.V.D. 29 = N.A.V.D. 88 + 1.5'

**CONCEPTUAL
WATER & SEWER PLAN**

Sheet Title

650 N. ANDREWS AVE

FORT LAUDERDALE, FLORIDA

Job Title

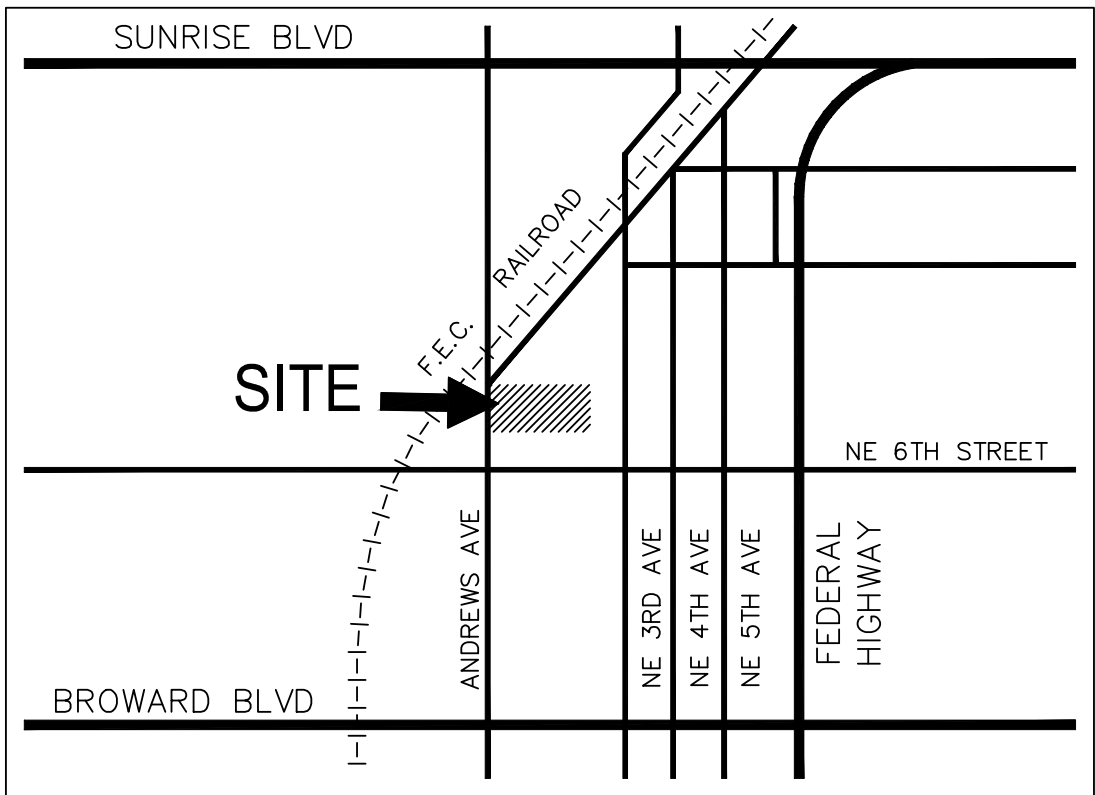
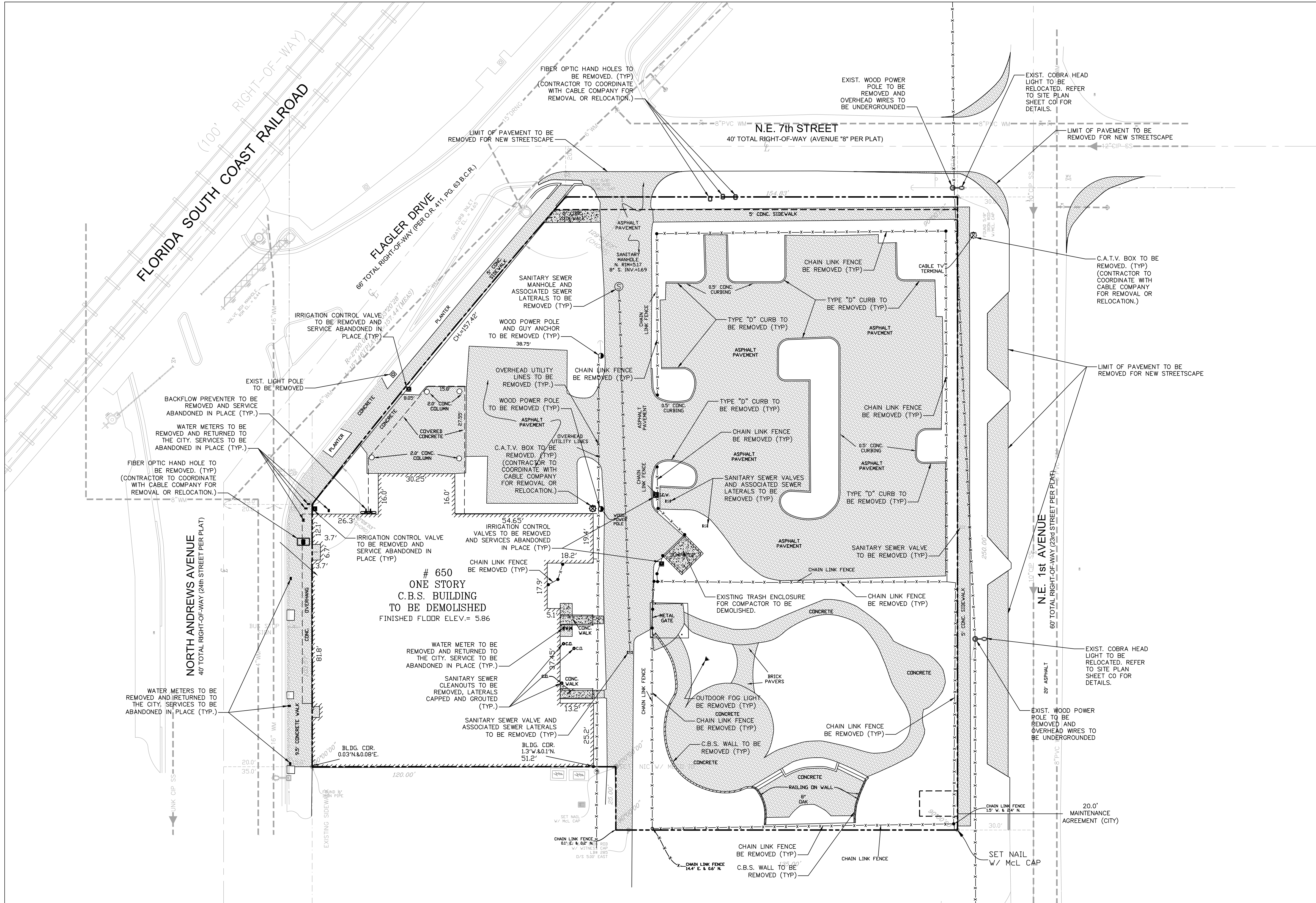


Revisions	
	12/21/23 REV1
	03/06/24 REV2
	05/15/24 REV3
	08/23/24 REV4
	10/04/24 REV5

Phase:
DRC
DOCUMENTS



Scale: 1"=30'	Date: 10/10/24
Job No. 22-1728.00	Plot Date: 10/10/24
Drawn by: BMK	Sheet No. C3
Proj. Mgr: BMK	
Appr. by: BMK	- of -



- LEGEND:**
- PROPOSED ELEVATION (NAVD)
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 - EXIST. WATER MAIN
 - EXIST. UTILITY LINE TO BE ABANDONED IN PLACE

- DEMOLITION LEGEND:**
- PAVEMENT REMOVAL
 - UTILITY REMOVAL

DEMOLITION NOTES

- THE CONTRACTOR SHALL SAWCUT ALONG A NEAT STRAIGHT LINE AT ALL POINTS OF CONNECTION WITH EXISTING PAVEMENT TO REMAIN.
- CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS ALONG DEMOLITION AREAS AND MAINTAIN IN PLACE A F.D.O.T. APPROVED MAINTENANCE OF TRAFFIC PLAN.
- PRIOR TO DEMOLITION, THE CONTRACTOR SHALL NOTIFY THE GOVERNING MUNICIPAL WATER UTILITY DEPT. FOR REMOVAL OF ANY WATER METERS.
- BACKFILL FOR ANY VOIDS LEFT BY REMOVAL OF UNDERGROUND UTILITIES SHALL BE AS NOTED BY GEOTECHNICAL ENGINEER RECOMMENDATIONS FOR SUCH BACKFILL.
- PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE CITY OF FT. LAUDERDALE & F.E.S. MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS.
- CONTRACTOR SHALL COORDINATE W/ CITY THE REMOVAL/RELOCATION OF ANY WATER METERS.

CITY OF FORT LAUDERDALE DEMOLITION NOTES

- PLEASE IMPLEMENT EROSION AND SEDIMENT CONTROL MEASURES AT THE TIME OF THE DEMOLITION AS PER FLORIDA STORM WATER POLLUTION PREVENTION PLAN (SWPPP). YOU ARE RESPONSIBLE FOR ALL WASTE GENERATED AT YOUR CONSTRUCTION SITE. ALL WASTE MUST BE PLACED IN A TRASH CONTAINER AT ALL TIMES AND KEPT COVERED TO PREVENT STORM WATER EXPOSURE, CATCH BASIN INSERTS AND/OR INLET PROTECTION SHOULD BE USED TO PREVENT SEDIMENTS FROM ENTERING THE STORM WATER SYSTEM. ANY SEDIMENT THAT IS TRACKED ONTO ROADS MUST BE SWEEPED UP IMMEDIATELY. SEDIMENT SHALL NOT BE REMOVED BY WASHING/FLUSHING WITH WATER AT THE RIGHT OF WAY.
- NOTIFY AND REACH, 72 HOURS PRIOR TO THE DEMOLITION, THE NEIGHBORING PROPERTY OWNERS, HOMEOWNER ASSOCIATIONS, AND BUSINESSES THAT ARE TO BE IMPACTED BY THE ACTIVITIES. IN ADDITION, NOTIFY AND REACH PEOPLE WHO TRAVEL THROUGH THE PROJECT AREA, BUT DO NOT NECESSARILY LIVE OR WORK NEARBY.
- PRIOR TO DEMO, AN ENGINEERING ROUGH INSPECTION MUST BE SCHEDULED TO SEE RIGHT-OF-WAY PRE-DEMO CONDITIONS AND SO INSPECTOR CAN MONITOR SITE FOR CONSTRUCTION DEBRIS MITIGATION. A FINAL ENGINEERING INSPECTION IS REQUIRED TO CLOSE OUT THE PERMIT. TO SCHEDULE AN ENGINEERING INSPECTION PLEASE CALL AT (954) 828-5191
- PLEASE BE ADVISED THAT ALL SIDEWALKS ALONG THE BOUNDARIES OF THE SITE SHALL BE PROTECTED FOR A SAFE AND ADEQUATE ACCESS OF PEDESTRIAN FROM CONSTRUCTION ACTIVITIES AND FLYING DEBRIS. PROTECTION OF PEDESTRIAN BARRIER REQUIRES A SEPARATE PERMIT. PLEASE PROVIDE WITH DETAIL AND LOCATION. SHOW LOCATION OF ANY SIDEWALK TO BE CLOSED OR PROTECTED AS REQUIRED BY THE FLORIDA BUILDING CODE. IF A SIDEWALK SHALL BE CLOSED, APPLICANT MUST PROVIDE A NEW TEMPORARY CROSSWALKS AND/OR SIDEWALKS THAT MEET ADA STANDARDS SO THAT PEDESTRIAN TRAVEL CAN CONTINUE SAFELY WITHOUT INTERRUPTION. THIS SHALL INDICATE STRIPING, SIGNAGE, OR CHANGES TO GROUND CONDITIONS. PROTECTION OF PEDESTRIAN SHALL BE CONFORMED TO FLORIDA BUILDING CODE (CHAPTER 33).
- AT THE TIME OF THE DEMOLITION ALL UTILITIES SHALL BE CAPPED AT THE PROPERTY LINE, THE LOCATION AND DEPTH SHALL BE RECORDED PRIOR TO BACK FILLING THE UTILITY.

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CALL 48 HOURS BEFORE YOU DIG IN FLORIDA

IT'S THE LAW!
811
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

VERTICAL DATUM CONVERSION

GRADING SHOWN UTILIZES N.A.V.D. 88

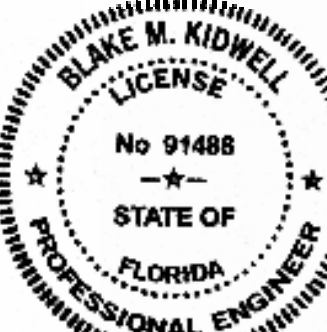
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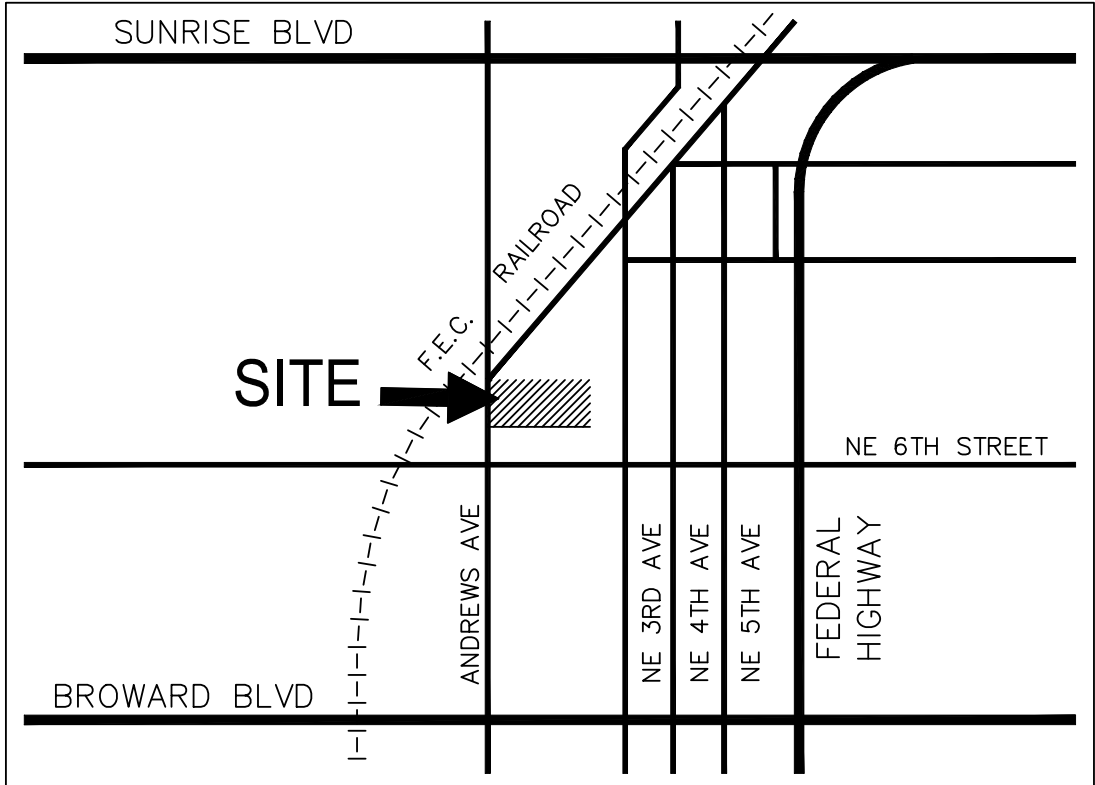
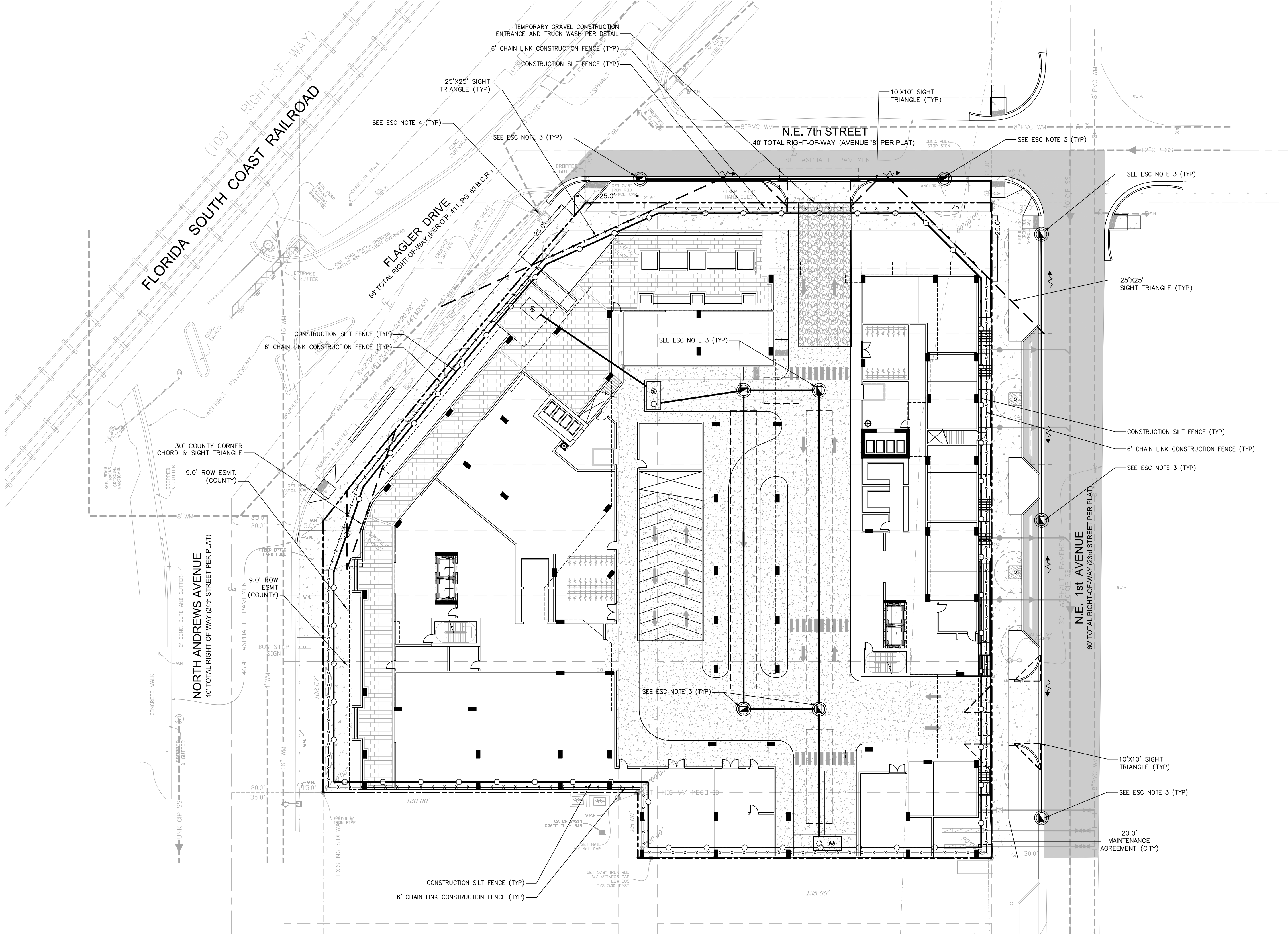
Revisions

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03/06/24	REV2
06/05/24	REV3
08/23/24	REV4
10/04/24	REV5

Phase:
DRC
DOCUMENTS



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Job No. 22-1728.00	Plot Date 10/10/24
Drawn by BMK	Sheet No. D1.1
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Appr. by BMK	1 of -



LEGEND:

(0.00)	PROPOSED ELEVATION (NAVD)	●	PROPOSED MANHOLE
5.32	EXISTING ELEVATION (NAVD)	- W -	WATER MAIN
■	PROPOSED CATCH BASIN	-FM-	SANITARY FORCE MAIN
□	PROPOSED PLUG	⋈	VALVE
+	TEE	⋈	FIRE HYDRANT
⋈	WATER METER	⋈	SIAMESE CONNECTION
⋈	DOUBLE DETECTOR CHECK W/ WAFER	⋈	CLEANOUT
⋈	CHECK VALVE ON DOWNSTREAM SIDE	⋈	EDGE OF PROPOSED PAVEMENT (ASPHALT)
⋈	REDUC PRESSURE	⋈	DIRECTION OF SURFACE DRAINAGE
⋈	BACKFLOW PREVENTOR	⋈	SAMPLE POINT
⋈	DIRECTIONAL FLOW ARROW AND GRAVITY SEWER	⋈	EXIST. UTILITY LINE TO BE ABANDONED IN PLACE

POLLUTION PREVENTION NOTES:

- CONTRACTOR SHALL ADHERE TO OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. THE CONTRACTOR SHALL INSTITUTE BEST MANAGEMENT PRACTICES (BMPs) TO ENSURE COMPLIANCE WITH THE NPDES PROGRAM AND TO MINIMIZE THE IMPACT TO PUBLIC STORMWATER FACILITIES. A NOTICE OF INTENT (NOI) SHALL BE FILED PRIOR TO START CONSTRUCTION ACTIVITIES.
 - PRIOR TO DEMOLITION ACTIVITIES, CONTRACTOR SHALL INSTALL POLLUTION PREVENTION CONTROL DEVICES (I.E., SILT BARRIERS, SEDIMENT BASINS, TURBIDITY BARRIERS) AROUND STORMWATER OUTFALLS ON THE WATERSIDE OF LAKES, PONDS, CANALS, OR WATERWAYS. SILT SCREENS, ETC. ACCORDING TO THE APPROVED SWPPP AND AS RECOMMENDED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) LATEST GUIDELINES AND PERMITTING REQUIREMENTS.
 - PRIOR TO DEMOLITION ACTIVITIES, A SILT FENCE IN ACCORDANCE WITH THE APPROVED SWPPP DETAILS AND LATEST DEP STANDARDS SHALL BE ERECTED AROUND THE SITE PROPERTY LINES. ALL PUBLIC INLETS SURROUNDING THE SITE SHALL BE PROTECTED BY THE INSTALLATION OF FILTER FABRIC INTO THE FRAME AND GRATE OR OTHER APPROVED BMPs TO PROTECT AGAINST STORM RUNOFF.
 - POLLUTION CONTROL INSTALLATIONS, AS APPROVED AND SHOWN IN THE SWPPP, SHALL BE MAINTAINED THROUGHOUT DEMOLITION AND CONSTRUCTION PERIODS UNTIL THE PROJECT HAS BEEN COMPLETED AND APPROVED BY CITY ENGINEERING INSPECTOR OR PROJECT ENGINEER.
 - CONTRACTOR SHALL INSPECT THE POLLUTION CONTROL DEVICES DAILY FOR SIGNS OF MALFUNCTION, FAILURE, OR NEEDED REPAIRS, AND SHALL MAKE REMEDIAL ACTIONS IMMEDIATELY UPON DISCOVERY.
 - EXISTING STORMWATER INLETS, CATCH BASINS, OR MANHOLES, ON-SITE AND OFF-SITE, SHALL BE PROTECTED FROM SEDIMENT STORM RUNOFF FROM THE PROPOSED DEMOLITIONS AND CONSTRUCTION ACTIVITIES.
 - CONTRACTOR SHALL IMMEDIATELY REMOVE ALL MUD, DIRT, OR OTHER MATERIALS TRACKED OR SPILLED ONTO EXISTING ROADS AND FACILITIES DUE TO DEMOLITION OR CONSTRUCTION ACTIVITIES FROM THE PROPOSED DEVELOPMENT.
 - IN ORDER TO MINIMIZE THE AMOUNT OF SEDIMENTS, MUD, AND DUST TRANSPORTED ONTO PUBLIC ROADWAYS BY THE CONSTRUCTION VEHICLES OR RUNOFF, THE CONTRACTOR SHALL INSTALL STABILIZED TEMPORARY CONSTRUCTION ENTRANCE(S) FROM THE CONSTRUCTION SITE AS RECOMMENDED BY FDP. EACH TEMPORAL CONSTRUCTION ENTRANCE IS A STABILIZED 6 INCH THICK LAYER OF 2 TO 3 INCH COURSE AGGREGATE STONE, 12" MINIMUM WIDTH, AND LENGTH TO ACCOMMODATE A MINIMUM OF ONE TRUCKING VEHICLE.
 - THE ENTRANCE SHALL BE MAINTAINED PERIODICALLY AS CONDITIONS DEMAND IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENTS ONTO PUBLIC RIGHTS-OF-WAY. SEDIMENT SHALL BE TRAPPED IN CLEANOUT AREAS AND PROPERLY HANDLED AS ON-SITE DEBRIS PER APPLICABLE STATE REGULATIONS.
 - WHEN NECESSARY, VEHICLE WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO PUBLIC STORM DRAINS MUST BE REMOVED BY THE CONTRACTOR IMMEDIATELY.
 - TRUCKS SHALL NOT "CUT CORNERS" WHERE THE CONSTRUCTION EXIT MEETS THE ROADWAYS.
 - SWEEPING OF PUBLIC ROADWAYS SHALL BE DONE PERIODICALLY AS CONDITION DEMAND.
 - DUST GENERATED FROM CONSTRUCTION SHALL BE MINIMIZED BY DAILY WATERING OF THE SITE.
 - CONTRACTOR SHALL PROVIDE AN EROSION AND SEDIMENTATION CONTROL INSPECTOR TO INSPECT ALL POINTS OF DISCHARGE INTO NEARBY WATER BODIES TO RECORD THE CONDITION OF DISCHARGE POINTS, INTEGRITY OF SILT FENCE AND POLLUTION CONTROL DEVICES, DUST CONTROL MEASURES, VEHICULAR TRAFFIC AND CONSTRUCTION MATERIAL STORAGE AND DISPOSAL. WRITTEN RECORD OF ALL INSPECTIONS SHALL BE STORED BY THE CONTRACTOR DURING DEMOLITION AND CONSTRUCTION PERIODS AND SHALL BE SUBMITTED TO CITY INSPECTORS UPON REQUEST.
- THE INSPECTION REPORT SHALL INCLUDE AT A MINIMUM THE FOLLOWING INFORMATION:
- NAME OF INSPECTOR AND HIS/HER QUALIFICATIONS IN EROSION AND SEDIMENTATION CONTROL
 - DATE OF THE INSPECTION
 - RAINFALL RATE
 - OBSERVATIONS ABOUT THE SWPP
 - ACTIONS TAKEN BY CONTRACTOR FOR ALL INCIDENTS OF NONCOMPLIANCE WITH PERMIT(S)
 - CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE SWPP AND PERMIT(S)

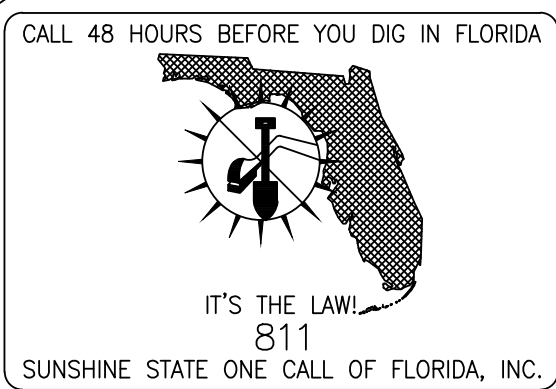
ESC NOTES:

CLOSED CIRCUIT TV INSPECTION (CCTV) NOTES:

- CONTRACTOR SHALL PROVIDE CCTV VIDEOTAPES TO CITY STW OPS OF THE EXISTING STORMWATER SYSTEM TO THE LIMITS SHOWN WITH GREEN LINE WORK IN THE STORM MAP PROVIDED AT THE END OF THIS REPORT IN ORDER TO DOCUMENT THE PRE AND POST CONSTRUCTION CONDITIONS OF THE CITY'S STORM SYSTEM.
- CONTRACTOR SHALL PROVIDE THE PRE CONSTRUCTION CCTV TO CITY STW OPS WHEN APPLYING FOR A DEMOLITION PERMIT AT THE CITY'S BUILDING DEPARTMENT.
 - IF DEBRIS IS FOUND IN THE CITY'S STORMWATER SYSTEM PRIOR TO DEMOLITION OR CONSTRUCTION, THE APPLICANT, CONTRACTOR, DEVELOPER OR DESIGNER (AS APPLICABLE) SHALL INFORM THE CITY'S STORMWATER OPERATIONS DEPARTMENT FOR PROPER REMOVAL.
- CONTRACTOR SHALL PROVIDE THE POST CONSTRUCTION VIDEOTAPE TO CITY STW OPS WHEN REQUESTING THE CERTIFICATE OF OCCUPANCY (CO) TO VERIFY THAT THE CITY'S STORMWATER SYSTEMS HAVE NOT BEEN NEGATIVELY IMPACTED BY THE DEMOLITION AND CONSTRUCTION ACTIVITIES.
 - IF DEBRIS IS FOUND IN THE CITY'S STORM SYSTEMS AS A RESULT OF DEMOLITION OR CONSTRUCTION ACTIVITIES, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VACUUM CLEAN THE CITY'S STORMWATER SYSTEM (OR MAKE REPAIRS AS REQUESTED BY CITY'S STORMWATER OPERATIONS GROUP) PRIOR TO ISSUANCE OF FINAL CO.
 - IF SURFACE WATER RUNOFF OR DEBRIS FROM DEMOLITION OR CONSTRUCTION ACTIVITIES IS FOUND TO HAVE NEGATIVELY IMPACTED THE CONDITION OF THE CITY'S STORMWATER ASSETS, IT WILL BE THE RESPONSIBILITY OF THE APPLICANT (CONTRACTOR, DEVELOPER, AND OWNER) TO RECTIFY THE INFRACTION(S) AS REQUESTED BY CITY.

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NPDES

ALL PROJECTS THAT WILL RESULT IN THE DISTURBANCE OF 1 OR MORE ACRES OF LAND CONTRACTORS ARE REQUIRED TO SUBMIT A STORM WATER NOTICE OF INTENT (DEP FORM 62-621.300(4)(b)) 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, NPDES STORMWATER PROGRAM, 2600 BLAIR STONE ROAD MAIL STATION 2510, TALLAHASSEE, FL 32399-2400. ADDITIONAL DETAILS ARE AVAILABLE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES

VERTICAL DATUM CONVERSION

GRADING SHOWN UTILIZES N.A.V.D. 88

N.G.V.D. 29
N.A.V.D. 88

N.A.V.D. 88 = N.G.V.D. 29 - 1.5'
N.G.V.D. 29 = N.A.V.D. 88 + 1.5'

FLYNN ENGINEERING

241 COMMERCIAL BLVD., LAUDERDALE-BY-THE-SEA, FL 33308
PHONE: (954) 522-1004 | WWW.FLYNNENGINEERING.COM
EJF 6578

Sheet Title

EROSION & SEDIMENT CONTROL PLAN

Job Title

650 N. ANDREWS AVE

FORT LAUDERDALE, FLORIDA

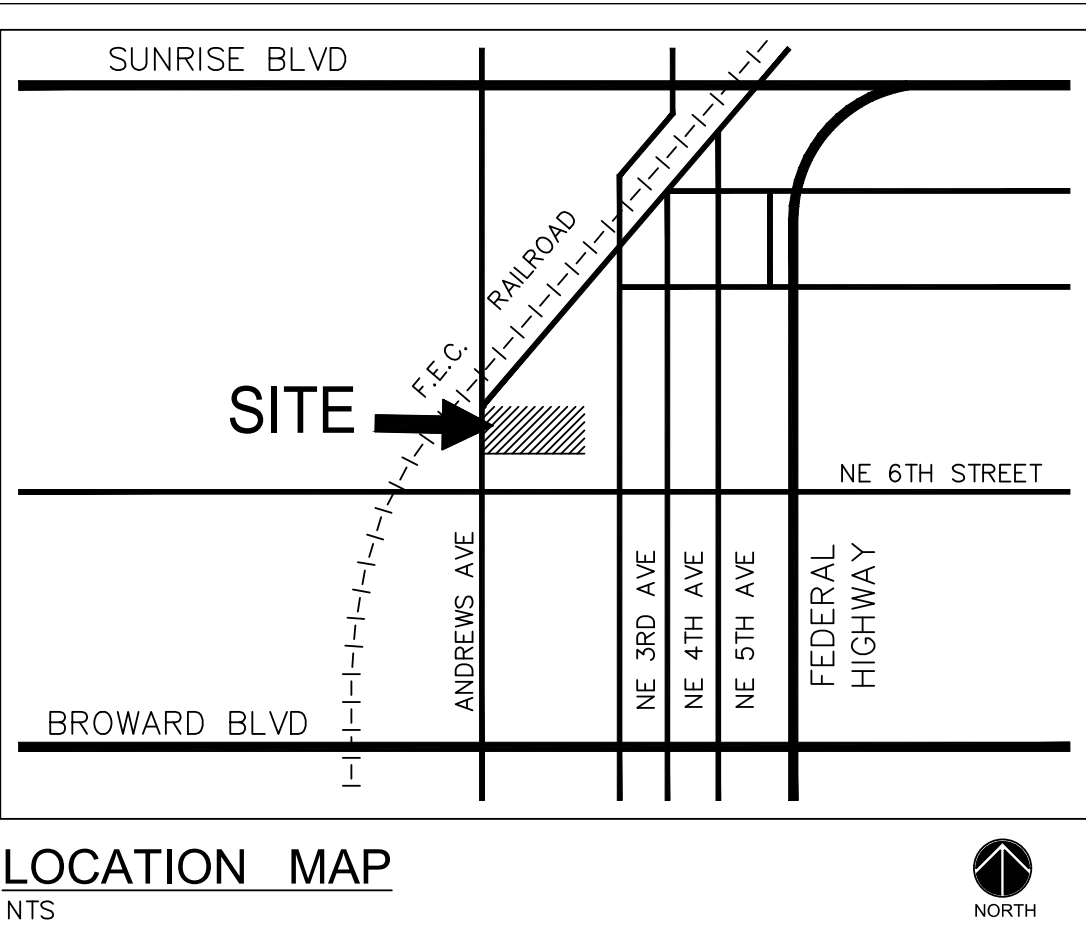
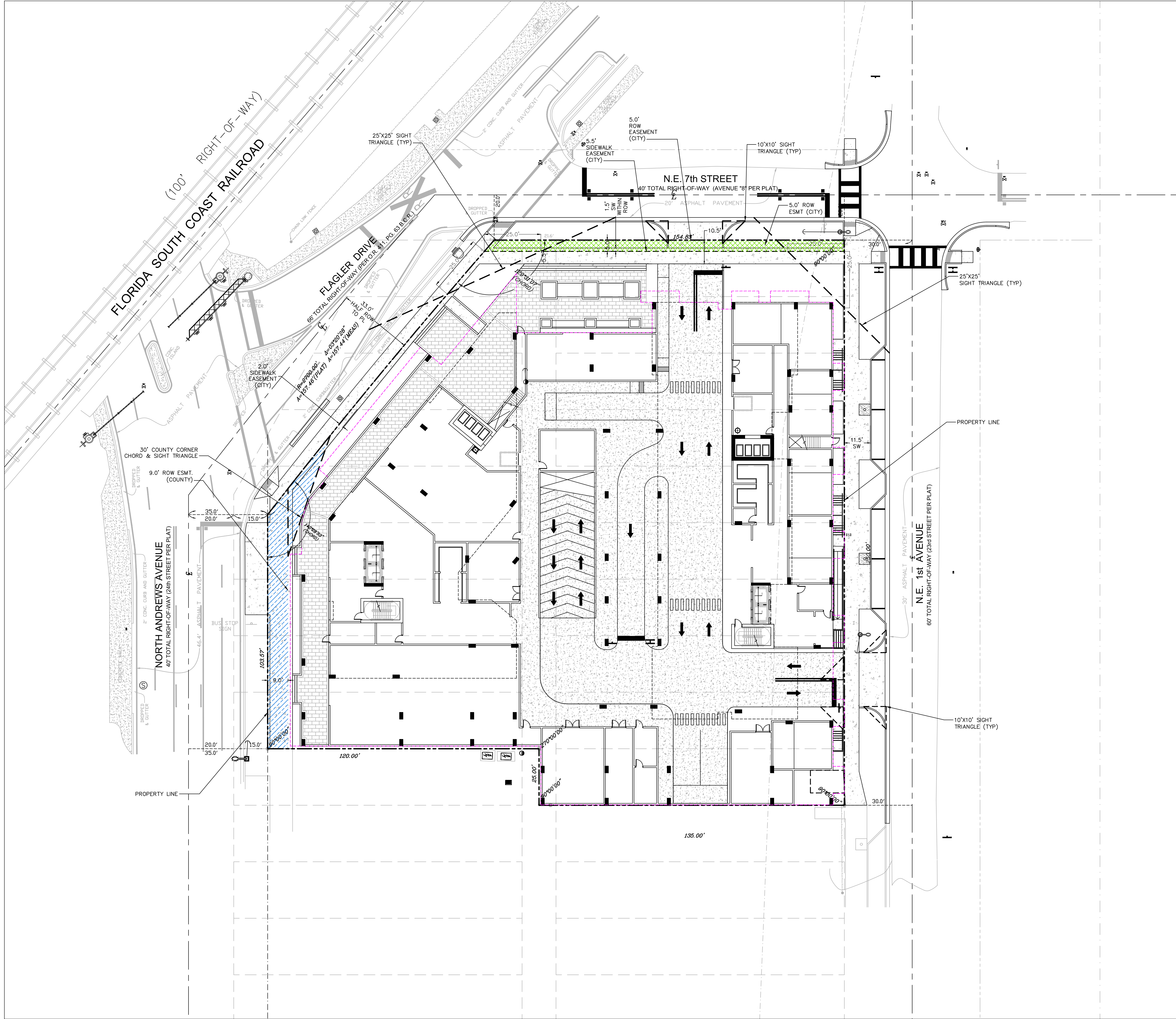
NORTH

Revisions	
12/21/23	REV1
03/06/24	REV2
05/15/24	REV3
08/23/24	REV4
10/04/24	REV5

Phase:
DRC
DOCUMENTS



Scale: 1"=30'	Date 10/10/24
Job No. 22-1728.00	Plot Date 10/10/24
Drawn by BMK	Sheet No. ESC
Proj. Mgr. BMK	
Appr. by BMK	- of -



- LEGEND:
- 5' RIGHT-OF-WAY EASEMENT (CITY)
 - 9' RIGHT-OF-WAY EASEMENT (COUNTY)

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EB# 6578

RIGHT-OF-WAY EASEMENT EXHIBIT

Sheet Title

Job Title

650 N ANDREWS AVE

1619 NW 6TH STREET

FORT LAUDERDALE, FLORIDA

NORTH

Revisions

Rev	Date	Description
REV1	12/21/23	
REV2	03/06/24	
REV3	05/15/24	
REV4	09/10/24	
REV5	10/04/24	

Phase:

DRC

DOCUMENTS

BLAKE M. KIDWELL

LICENSE

No 91488

STATE OF FLORIDA

PROFESSIONAL ENGINEER

Scale:

1"=20'

Date

10/10/24

Job No.

22-1728.00

Plot Date

10/10/24

Drawn by

GCA

Proj. Mgr.

BMK

Appr. by

BMK

Sheet No.

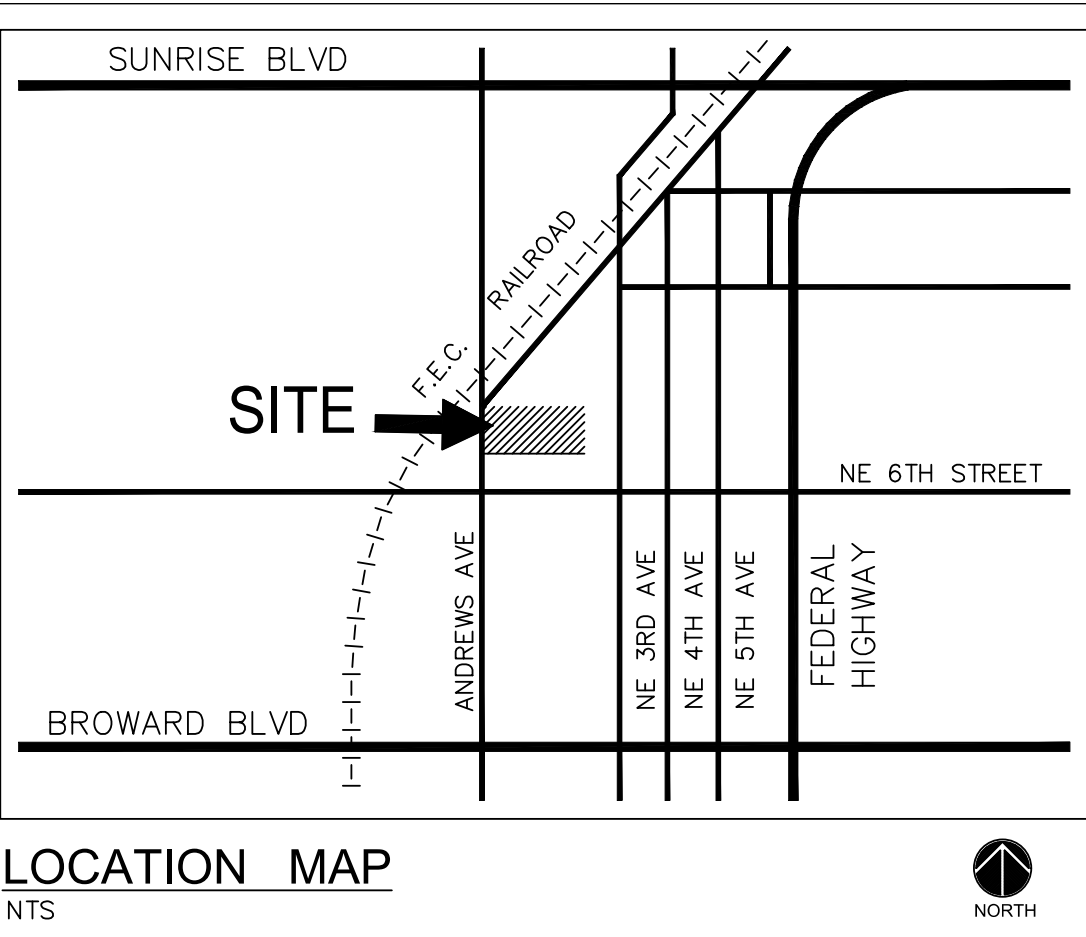
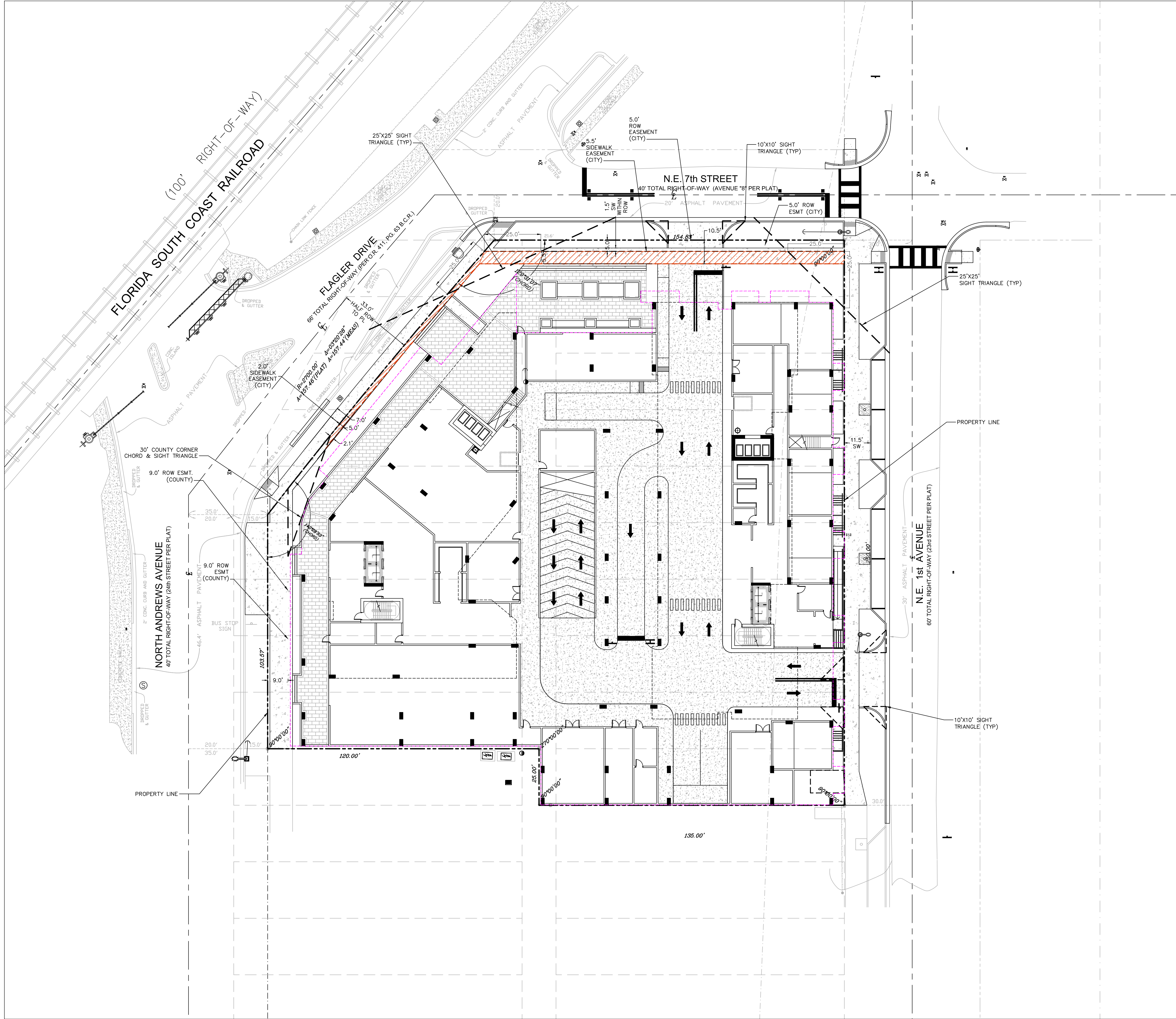
X1

1 of 1

CAM # 24-1102

Exhibit 3

Page 55 of 66



LEGEND:

 SIDEWALK EASEMENT (CITY)








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Sheet Title
SIDEWALK EASEMENT EXHIBIT

Job Title
650 N ANDREWS AVE
1619 NW 6TH STREET
FORT LAUDERDALE, FLORIDA

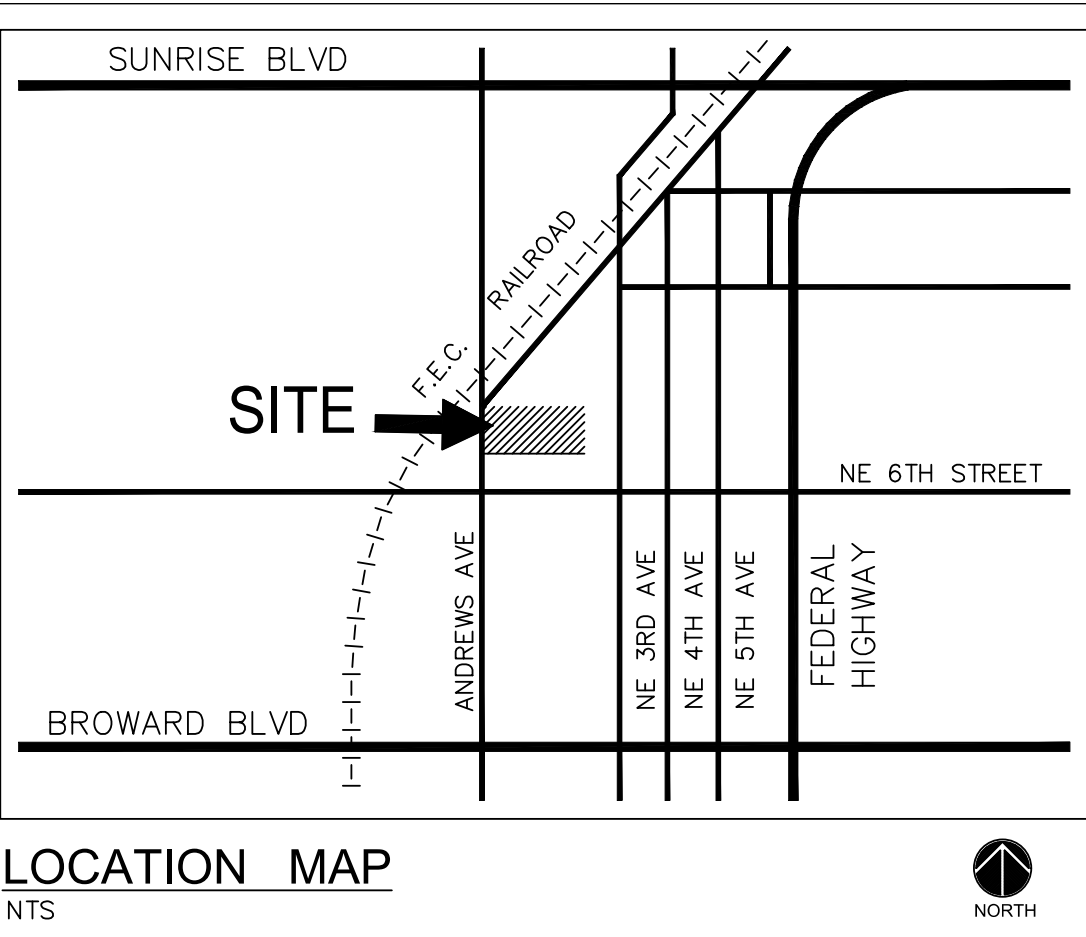
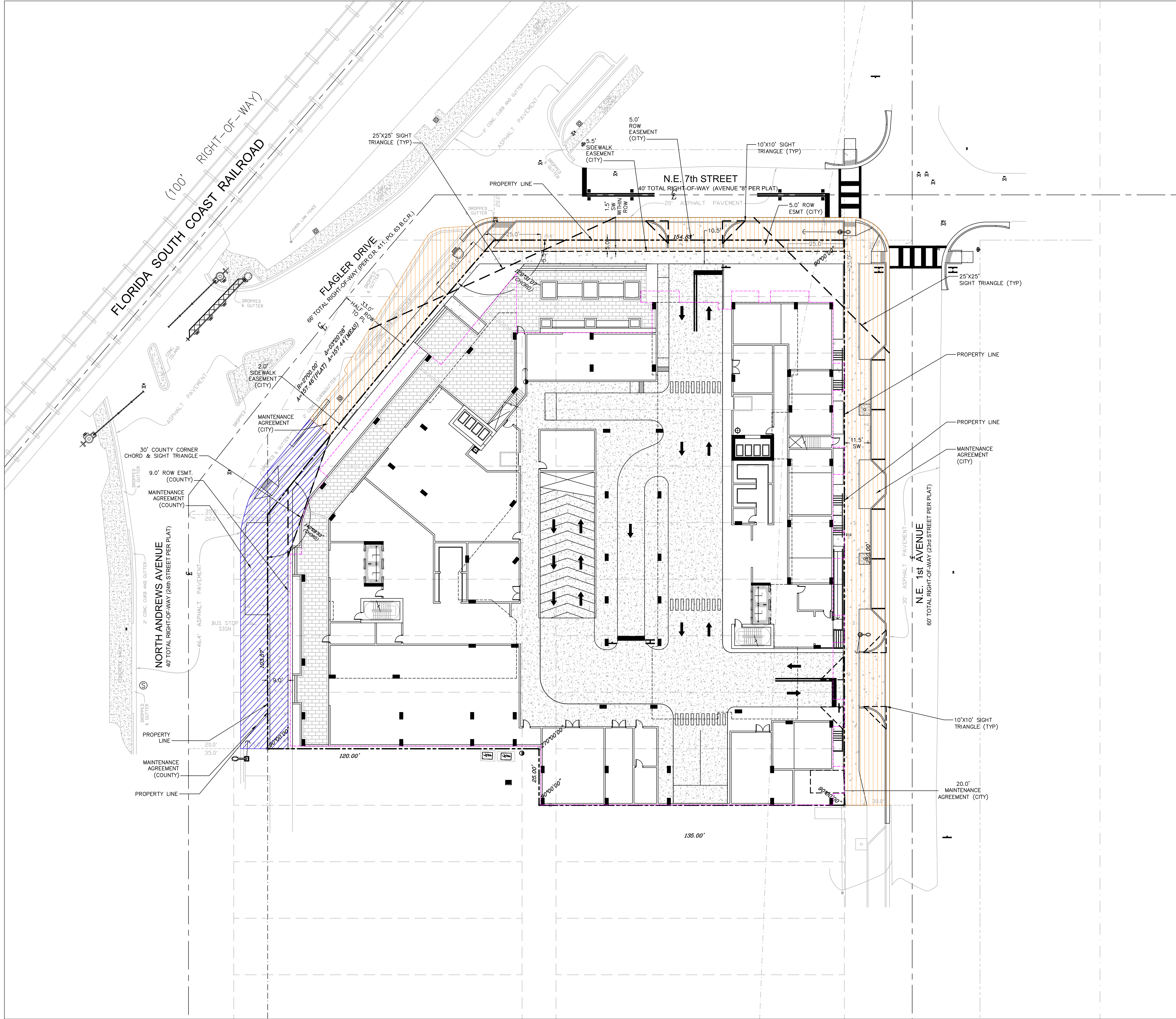

NORTH

Revisions	
	12/21/23 REV1
	03/06/24 REV2
	05/15/24 REV3
	09/10/24 REV4
	10/04/24 REV5
	
	

Phase:
DRC
DOCUMENTS



Scale: 1"=20'	Date 10/10/24
Job No. 22-1728.00	Plot Date 10/10/24
Drawn by GCA	Sheet No. X2
Proj. Mgr. BMK	
Appr. by BMK	1 of 1



LEGEND:

- MAINTENANCE AGREEMENT AREA (CITY)
- MAINTENANCE AGREEMENT AREA (COUNTY)

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Sheet Title

MAINTENANCE AGREEMENT EXHIBIT

Job Title

650 N ANDREWS AVE
1619 NW 6TH STREET
FORT LAUDERDALE, FLORIDA

NORTH

Revisions

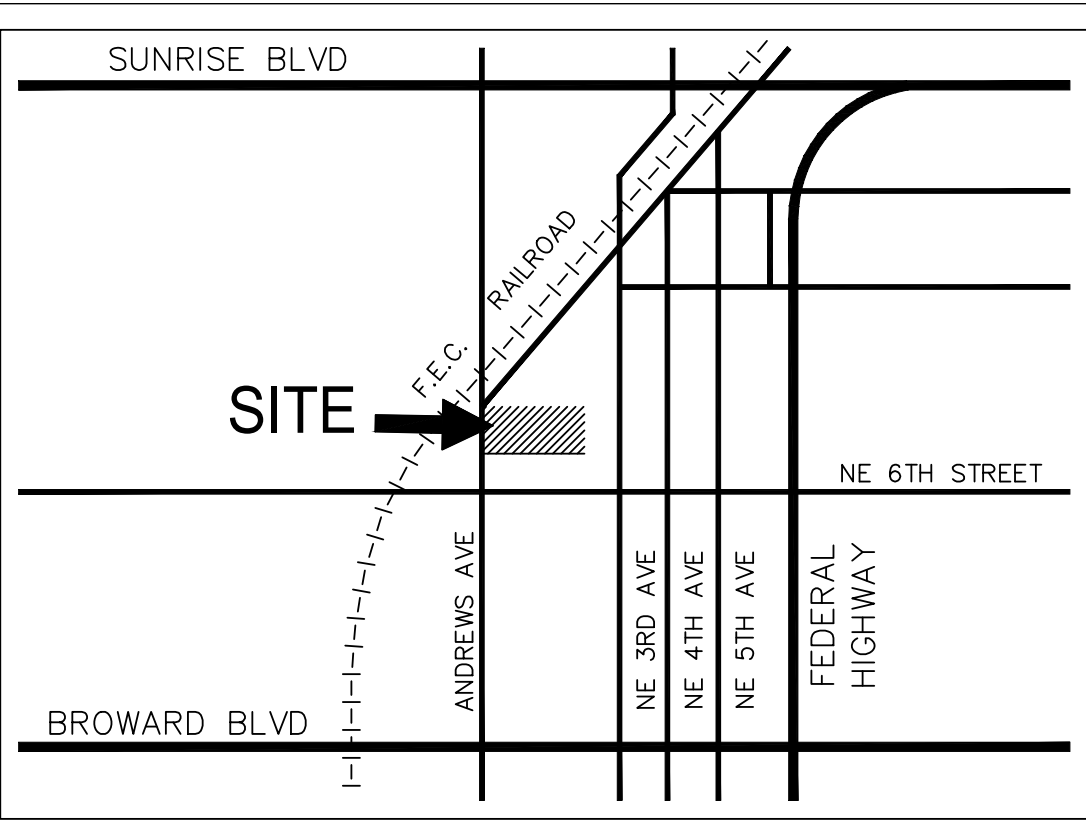
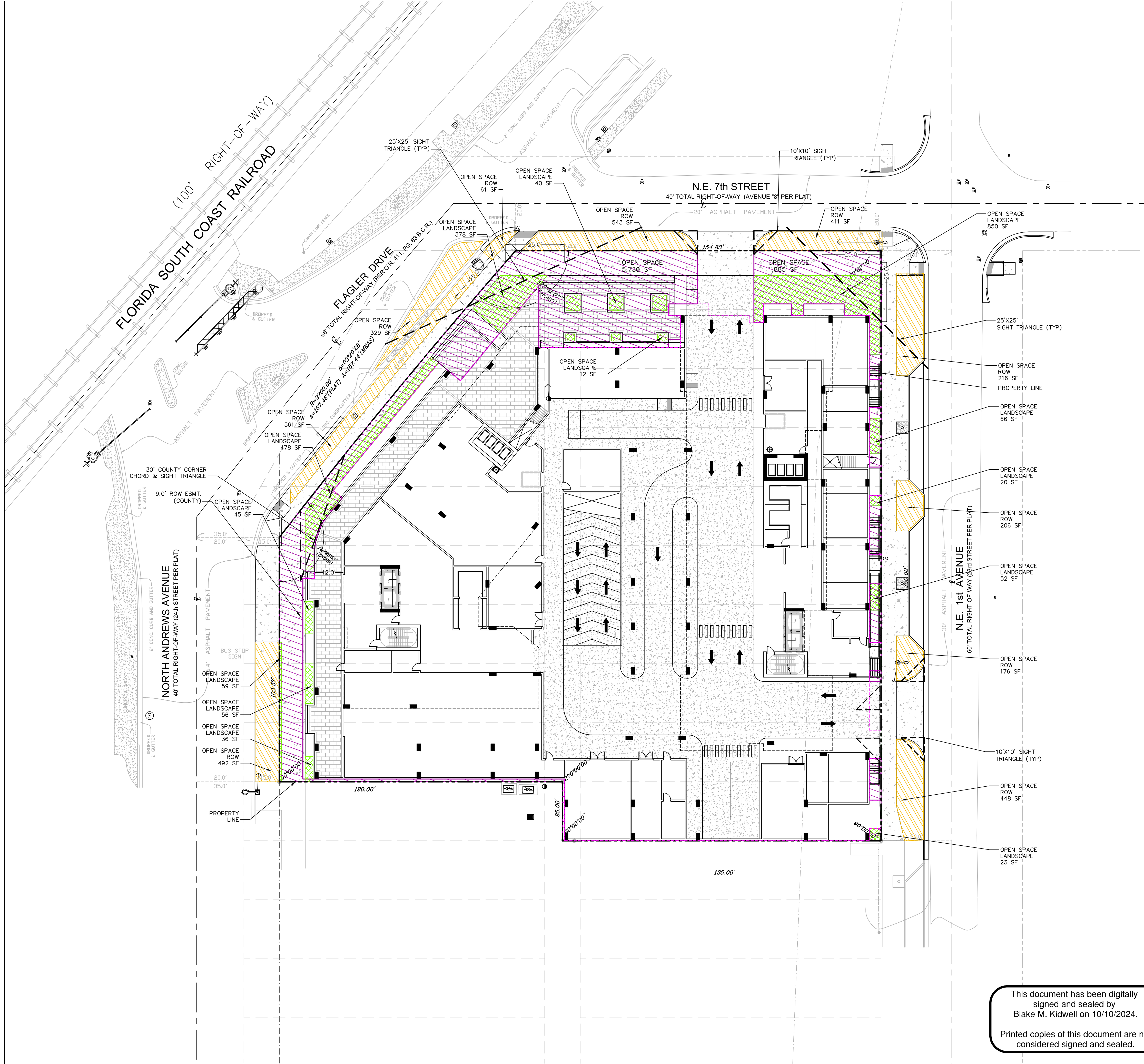
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03/06/24	REV2
05/15/24	REV3
09/10/24	REV4
10/04/24	REV5

Phase:

DRC

DOCUMENTS

Scale:	Date
1"=20'	10/10/24
Job No.	Plot Date
22-1728.00	10/10/24
Drawn by	Sheet No.
GCA	X3
Proj. Mgr.	
BMK	
Appr. by	
BMK	1 of 1



LOCATION MAP
NTS

- LEGEND:
- OPEN SPACE
 - PERVIOUS AREA ON-SITE
 - PERVIOUS AREA ROW

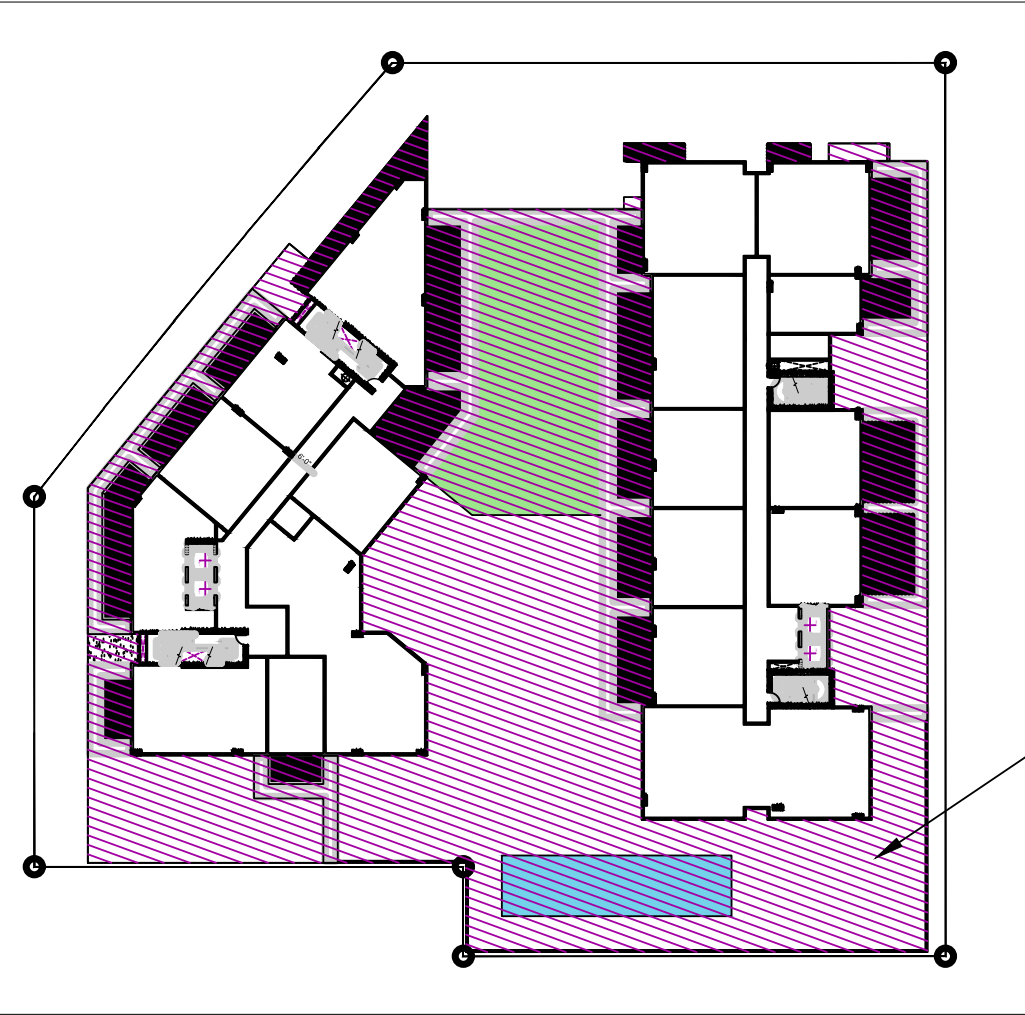
OPEN SPACE - PROVIDED & REQUIRED

	REQUIRED:	PROVIDED:
10% GROSS LOT AREA (10% OF 75,300 SF)	7,530 SF	30,888 SF (+ 23,358 SF)
OPEN SPACE (AT GRADE) 40% REQ. (40% OF 7,530 SF)	3,012 SF	7,615 SF
OPEN SPACE (ABOVE GRADE-AMENITY DECK)	NONE	25,273 SF

PERVIOUS LANDSCAPE AREA - PROVIDED & REQUIRED

	REQUIRED:	PROVIDED:
TOTAL PERVIOUS LANDSCAPE AREA IN OPEN SPACE (25% OF 7,530 SF)	1,883 SF	5,065 SF (+ 3,182 SF)
PERVIOUS LANDSCAPE AREA AT-GRADE		2,219 SF
PERVIOUS LANDSCAPE AREA (ROW) (75% OF 3,795 SF)	NONE	2,846 SF

ABOVE GRADE OPEN SPACE



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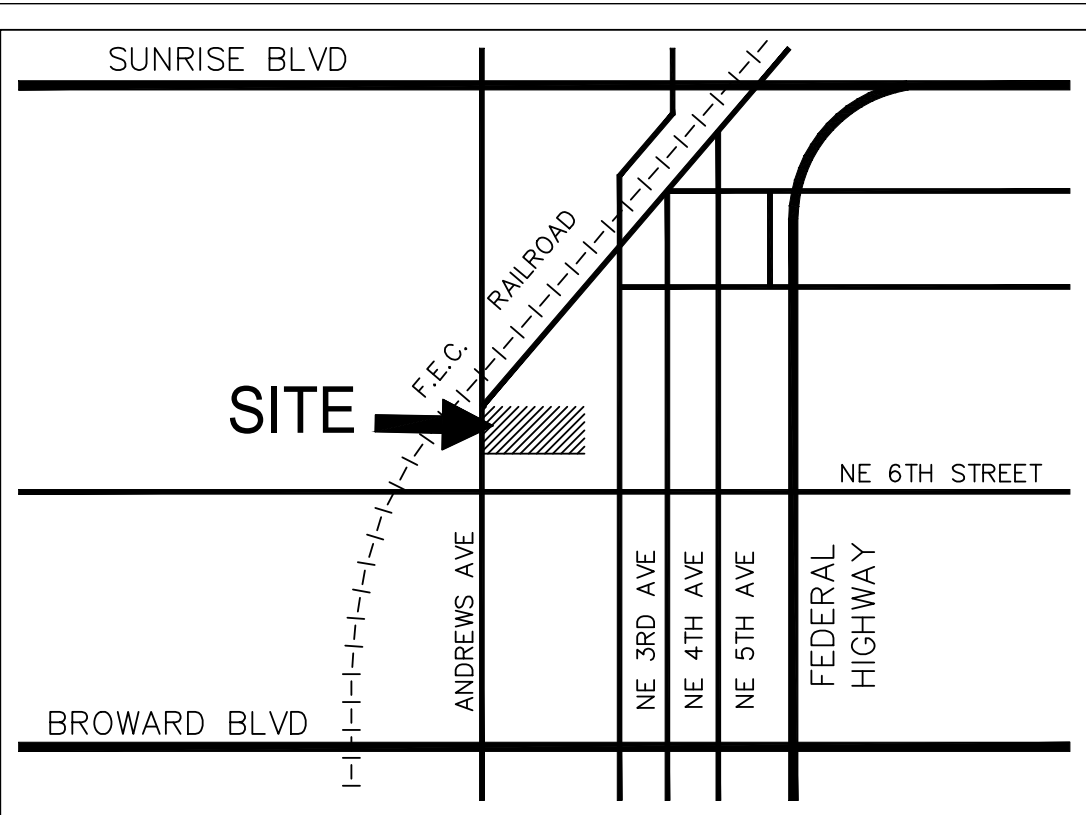
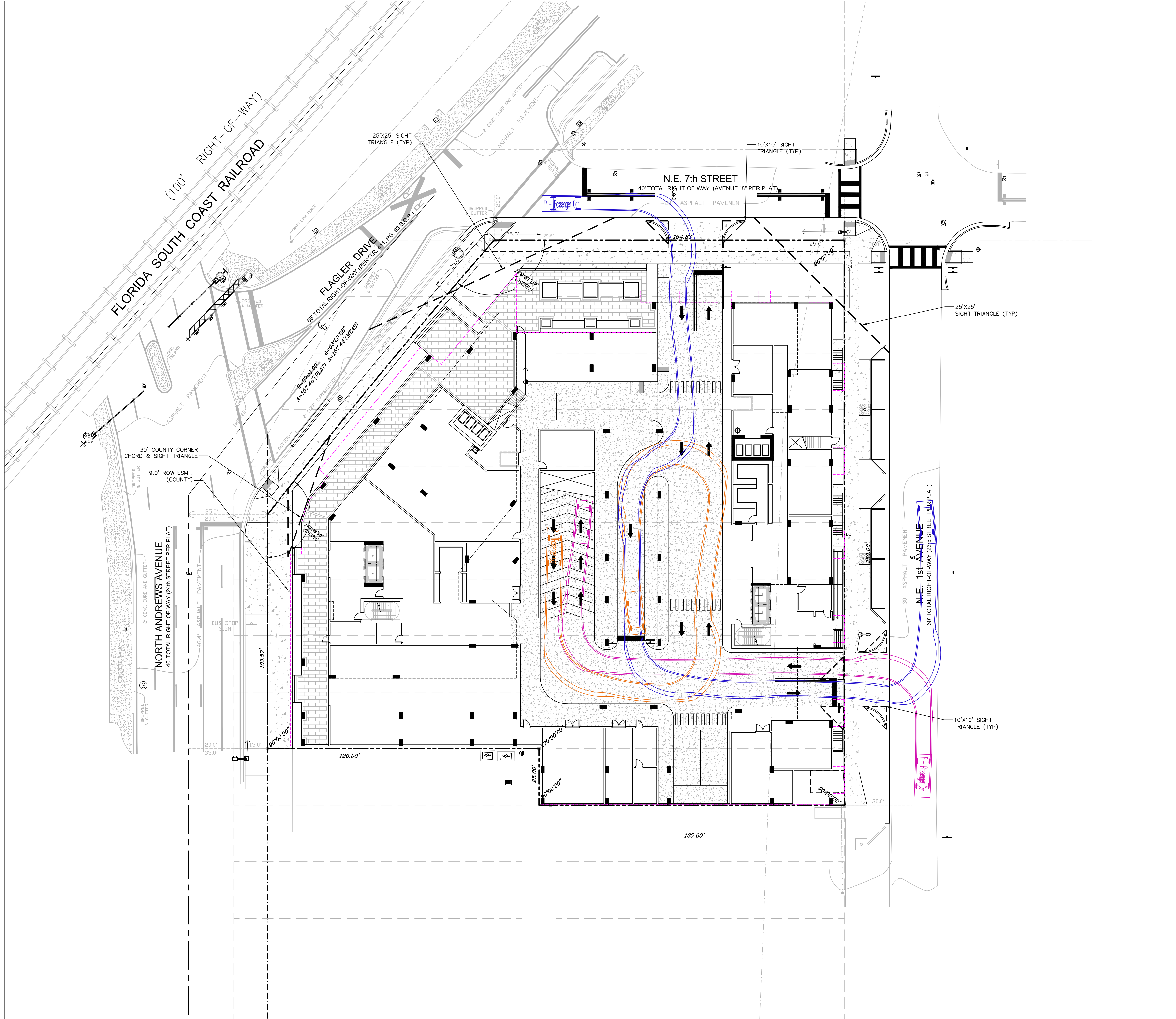


Revisions	
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03/06/24	REV2
05/15/24	REV3
09/10/24	REV4
10/04/24	REV5

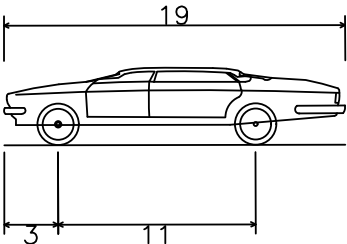
Phase:
DRC
DOCUMENTS



Scale: 1"=20'	Date 10/10/24
Job No. 22-1728.00	Plot Date 10/10/24
Drawn by GCA	Sheet No. X4
Proj. Mgr. BMK	
Appr. by BMK	1 of 1

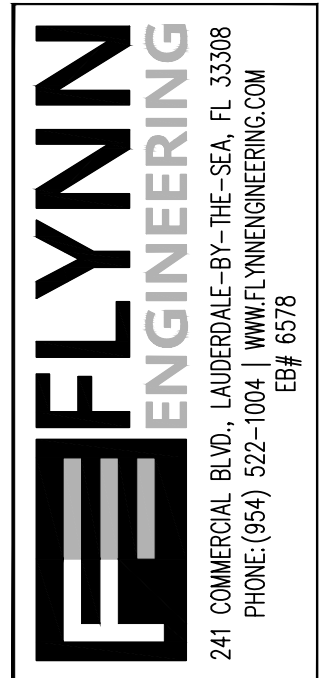


LOCATION MAP
NTS



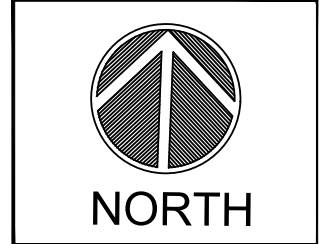
P - Passenger Car	19.000ft
Overall Length	7.000ft
Overall Width	4.300ft
Overall Body Height	1.115ft
Min Body Ground Clearance	6.000ft
Track Width	4.00s
Lock-to-lock time	31.60°
Max Steering Angle (Virtual)	

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Sheet Title
PASSENGER CAR
CIRCULATION EXHIBIT

Job Title
650 N ANDREWS AVE
1619 NW 6TH STREET
FORT LAUDERDALE, FLORIDA

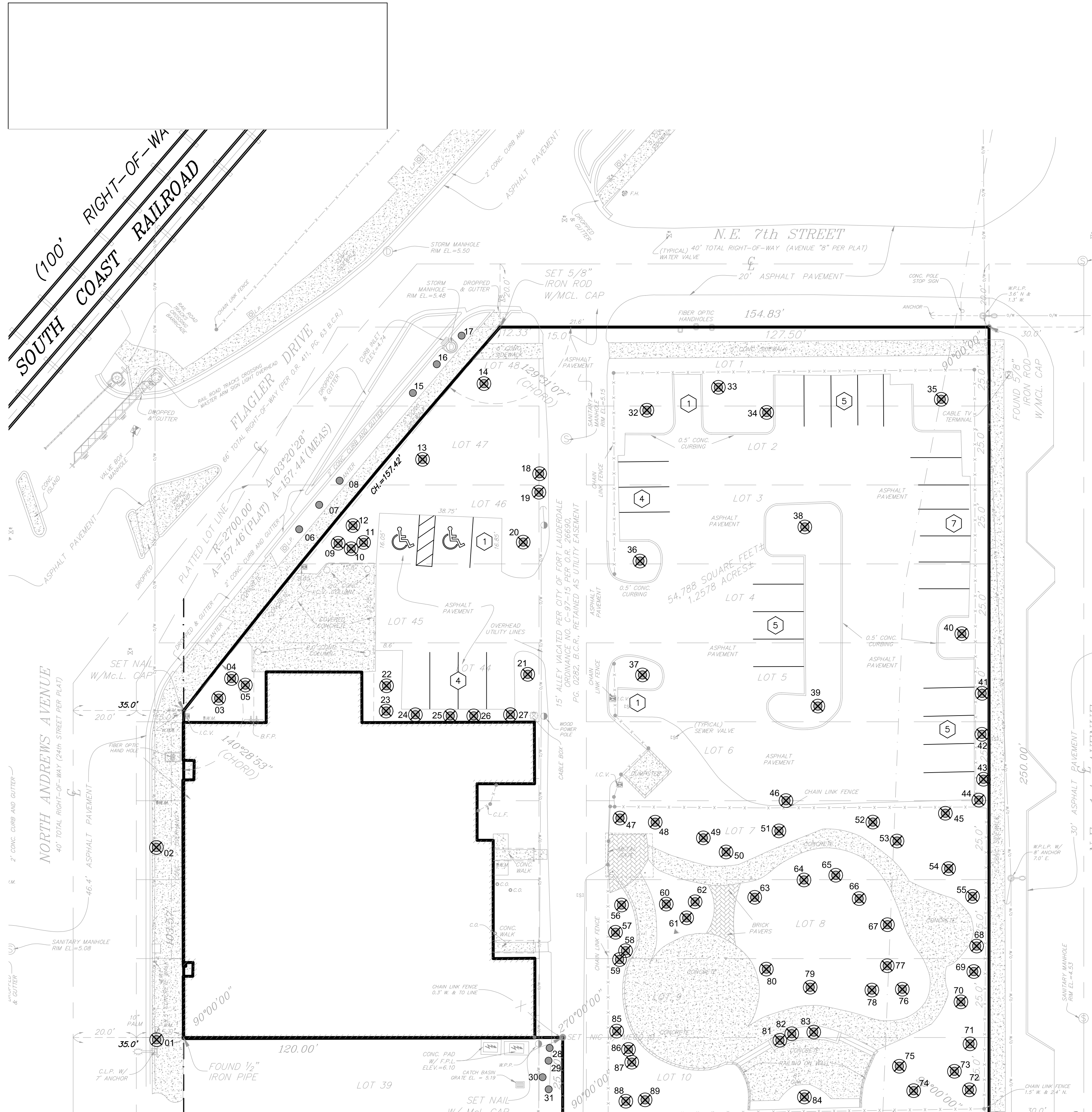


Revisions	
12/21/23	REV1
03/06/24	REV2
05/15/24	REV3
09/10/24	REV4
10/04/24	REV5

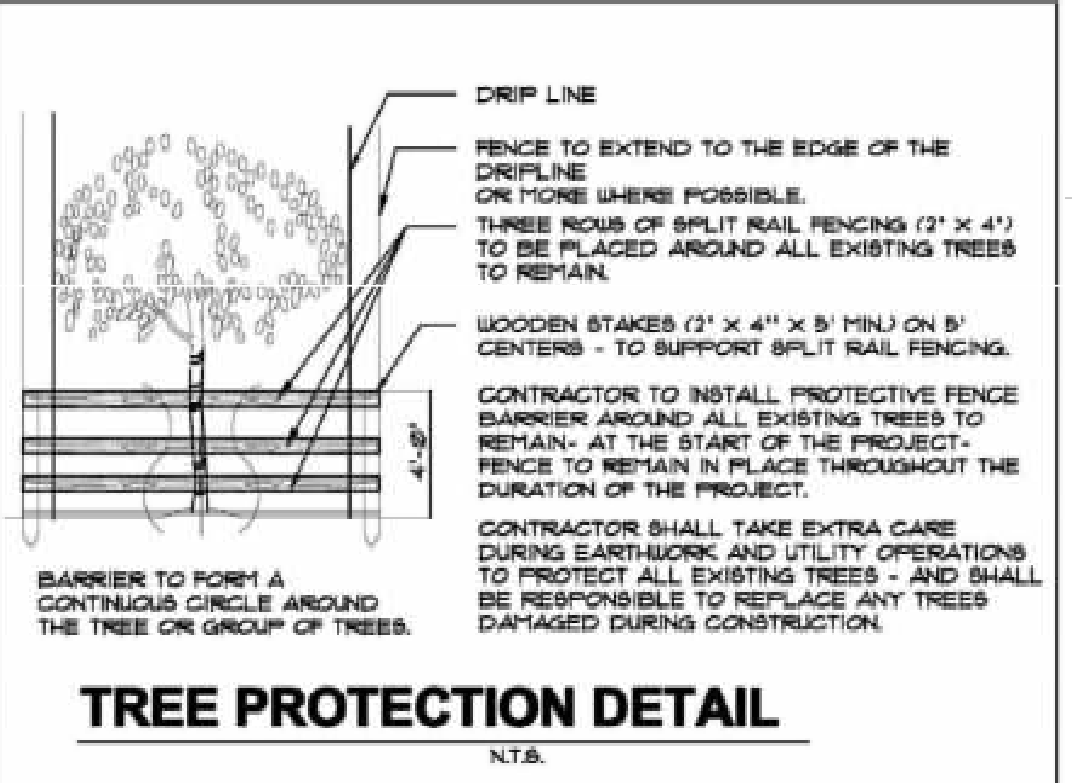
Phase:
DRC
DOCUMENTS



Scale: 1"=20'	Date 10/10/24
Job No. 22-1728.00	Plot Date 10/10/24
Drawn by GCA	Sheet No. X5.1
Proj. Mgr. BMK	
Appr. by BMK	1 of 1



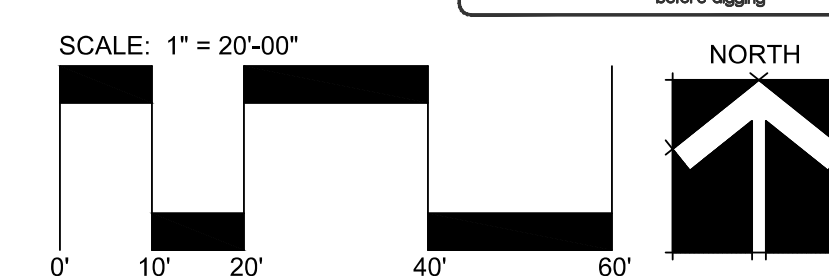
TREE DISPOSITION LEGEND	
●	TREES/PALMS TO REMAIN
⊙	TREES/PALMS TO BE RELOCATED
⊗	TREES/PALMS TO BE REMOVED



650 N. ANDREWS AVE. Equivalent Replacement Calculation (inches)					
Key	Tree Species	Tree Species Category	Trunk Diameter (inches)	Condition Percentage	Caliper Replacement (inches)
13	Delonix regia	Royal Poinciana	14	62%	8.94
14	Delonix regia	Royal Poinciana	16	60%	7.68
15	Ficus aurea	Strangler Fig	44	45%	15.54
20	Quercus virginiana	Live Oak	9	54%	4.86
21	Quercus virginiana	Live Oak	10	55%	5.5
32	Quercus virginiana	Live Oak	8	54%	4.32
35	Quercus virginiana	Live Oak	16	62%	9.92
36	Cananga odorata	Ylang Ylang	5	48%	2.4
37	Cananga odorata	Ylang Ylang	4	42%	1.68
38	Quercus virginiana	Live Oak	11	58%	6.38
39	Quercus virginiana	Live Oak	13	56%	7.28
40	Tabebuia helioscopia	Pink Tabebuia	8	56%	4.48
41	Tabebuia caraba	Yellow Tabebuia	8	54%	4.32
42	Tabebuia caraba	Yellow Tabebuia	8	48%	3.84
44	Ficus benjamina	Weeping Fig	28	42%	11.76
45	Quercus virginiana	Live Oak	10	50%	5
46	Ficus benjamina	Weeping Fig	30	42%	12.6
47	Ficus benjamina	Weeping Fig	70	48%	33.6
48	Ficus benjamina	Weeping Fig	10	46%	4.6
49	Ficus benjamina	Weeping Fig	10	48%	4.8
54	Quercus virginiana	Live Oak	8	56%	4.48
55	Tabebuia caraba	Yellow Tabebuia	8	56%	4.48
63	Quercus virginiana	Live Oak	7	54%	3.78
67	Pinus elliotii	Slash Pine	3	62%	1.86
68	Suaeda maritima	Montgomery Palm	18	56%	10.44
69	Tabebuia caraba	Yellow Tabebuia	8	52%	3.12
70	Tabebuia caraba	Yellow Tabebuia	8	56%	3.36
73	Tabebuia caraba	Yellow Tabebuia	8	50%	2.4
74	Tabebuia caraba	Yellow Tabebuia	6	52%	3.12
79	Cassia javanica	Apple Blossom Cassia	6	52%	3.12
84	Quercus virginiana	Live Oak	9	52%	4.68
85	Ficus benjamina	Weeping Fig	8	42%	3.36
86	Bursera simaruba	Gumbo Limbo	8	52%	4.32
87	Ficus benjamina	Weeping Fig	8	48%	3.84
Total					162.5

TREE MITIGATION
162.5" inches required to be mitigated on site
PLAN PROVIDED MITIGATION
48" inches cut, 4 trees provided on site, (7) 4" Live Oaks = 28", (4) 3" Pink Tabebuia = 12", (3) 3" Pink Tabebuia = 9"
FINAL MITIGATION - 113.5" TO BE PAID TO THE TREE TRUST FUND
113.5 x \$45 = \$5,107.50 TO BE PAID TO THE TREE TRUST FUND

PALM MITIGATION
REMOVED - 24 (Sabal, Washington, Montgomery, etc) @ 1:1 ratio
PROVIDED - 28 (Bottle Palm and Veitchia Palm)
REMOVED - 11 (Royal and Coconut) - 237 CT Removed
PROVIDED - 14 PHOENIX MEDJOL PALMS @ 14 CT - PROVIDED 56 CT
FINAL MITIGATION - 151 CT FOOT TO BE MITIGATED
151 X \$35 = \$5,285 TO BE PAID TO THE TREE TRUST FUND



EXISTING TREE SURVEY		650 N. ANDREWS AVE									
#	SCIENTIFIC NAME	COMMON NAME	CAL (IN.)	HEIGHT (FEET)	CT (FEET)	CANOPY (FEET)	CONDITION	DISPOSITION	NATIVE	INCHES REMOVED	COMMENT
1	Sabal palmetto	Cabbage Palm	10	20	14	10	50%	Remove	X		On road edge being redone
2	Sabal palmetto	Cabbage Palm	10	18	12	10	55%	Remove	X		On road edge being redone
3	Sabal palmetto	Cabbage Palm	10	18	12	10	60%	Remove	X		
4	Sabal palmetto	Cabbage Palm	8	22	16	10	60%	Remove	X		
5	Sabal palmetto	Cabbage Palm	12	16	10	10	60%	Remove	X		
6	Thrinax radiata	Florida Thatch Palm	6	10	4	8	70%	Remains	X		
7	Thrinax radiata	Florida Thatch Palm	6	10	4	8	70%	Remains	X		
8	Thrinax radiata	Florida Thatch Palm	6	10	4	8	70%	Remains	X		
9	Sabal palmetto	Cabbage Palm	8	20	14	10	50%	Remove	X		
10	Sabal palmetto	Cabbage Palm	14	16	10	10	50%	Remove	X		
11	Sabal palmetto	Cabbage Palm	10	20	14	10	50%	Remove	X		
12	Sabal palmetto	Cabbage Palm	9	18	12	10	50%	Remove	X		
13	Delonix regia	Royal Poinciana	14	25		25	62%	Remove			
14	Delonix regia	Royal Poinciana	16	30		25	60%	Remove			
15	Thrinax radiata	Florida Thatch Palm	6	10	4	8	70%	Remains	X		
16	Thrinax radiata	Florida Thatch Palm	6	10	4	8	70%	Remains	X		
17	Thrinax radiata	Florida Thatch Palm	6	10	4	8	70%	Remains	X		
18	Ficus aurea	Strangler Fig	44	40		25	45%	Remove	X		Heavily damaged by pruning near O.H.W.
19	Cupressus anacardioides	Carrotwood	9	20		18	54%	Remove	X		Poor condition, Invasive
20	Quercus virginiana	Live Oak	10	20		16	55%	Remove	X		
21	Quercus virginiana	Live Oak	9	20		16	55%	Remove	X		
22	Streletzia nicotii	White Bird of Paradise						Remove			
23	Streletzia nicotii	White Bird of Paradise						Remove			
24	Streletzia nicotii	White Bird of Paradise						Remove			
25	Streletzia nicotii	White Bird of Paradise						Remove			
26	Streletzia nicotii	White Bird of Paradise						Remove			
27	Streletzia nicotii	White Bird of Paradise						Remove			
28	Sabal palmetto	Cabbage Palm	14	14	8	10	50%	Remove	X		Just off site should remain
29	Sabal palmetto	Cabbage Palm	10	16	10	10	50%	Remains	X		Just off site should remain
30	Sabal palmetto	Cabbage Palm	12	16	10	10	50%	Remains	X		Just off site should remain
31	Sabal palmetto	Cabbage Palm	10	15	9	10	50%	Remains	X		Just off site should remain
32	Quercus virginiana	Live Oak	8	20		15	54%	Remove	X		
33	Casuarina equisetifolia	Australian Pine	8	20		0	0%	Remove			Invasive Species
34	Washingtonia robusta	Washington Palm	14	14	8	10	50%	Remove			
35	Quercus virginiana	Live Oak	16	28		25	62%	Remove	X		
36	Cananga odorata	Ylang Ylang	5	16		12	48%	Remove			
37	Cananga odorata	Ylang Ylang	4	10		10	42%	Remove			
38	Quercus virginiana	Live Oak	11	22		20	58%	Remove	X		
39	Quercus virginiana	Live Oak	13	25		22	56%	Remove	X		
40	Tabebuia helioscopia	Pink Tabebuia	8	25		18	56%	Remove	X		
41	Tabebuia caraba	Yellow Tabebuia	8	22		18	54%	Remove			
42	Tabebuia caraba	Yellow Tabebuia	8	25		14	48%	Remove			
43	Cupressus anacardioides	Carrotwood	0	0		0	0%	Remove			Poor condition, Invasive
44	Ficus benjamina	Weeping Fig	26	30		25	42%	Remove	X		Poor condition, Invasive
45	Quercus virginiana	Live Oak	10	30		15	50%	Remove			
46	Ficus benjamina	Weeping Fig	30	40		22	42%	Remove			Poor condition, Invasive
47	Ficus benjamina	Weeping Fig	8	25		12	46%	Remove			Poor condition, Invasive
48	Ficus benjamina	Weeping Fig	10	22		16	46%	Remove			Poor condition, Invasive
49	Ficus benjamina	Weeping Fig	10	25		16	46%	Remove			Poor condition, Invasive
50	Cocos nucifera	Coconut Palm	12	20	8	14	50%	Remove			
51	Phytosperma elegans	Solitaire Palm triple	4	22	16	10	52%	Remove			
52	Sabal palmetto	Cabbage Palm	12	20	16	10	54%	Remove	X		
53	Sabal palmetto	Cabbage Palm	12	20	16	10	50%	Remove	X		
54	Quercus virginiana	Live Oak	8	25		18	56%	Remove	X		
55	Tabebuia caraba	Yellow Tabebuia	8	20		18	56%	Remove			
56	Washingtonia robusta	Washington Palm	10	40	34	10	50%	Remove			
57	Washingtonia robusta	Washington Palm	10	44	38	10	50%	Remove			
58	Washingtonia robusta	Washington Palm	10	40	34	10	50%	Remove			
59	Washingtonia robusta	Washington Palm	10	40	34	10	50%	Remove			
60	Coccothymus elata	Silver Thatch Palm	4	14	8	10	58%	Remove			
61	Hyophorthe jaguensis	Bottle Palm	12	12	6	8	58%	Remove			
62	Roystonea elata	Royal Palm	18	30	22	16	56%	Remove	X		
63	Quercus virginiana	Live Oak	7	20		15	54%	Remove	X		
64	Cocos nucifera	Coconut Palm	8	30	20	15	60%	Remove			
65	Cocos nucifera	Coconut Palm	8	35	25	15	60%	Remove			
66	Cocos nucifera	Coconut Palm	8	30	20	15	60%	Remove			
67	Pinus elliotii	Slash Pine	3	14		8	62%	Remove	X		
68	Suaeda maritima	Montgomery Tree	18	30		20	58%	Remove	X		
69	Tabebuia caraba	Yellow Tabebuia	8	18		14	52%	Remove			
70	Tabebuia caraba	Yellow Tabebuia	8	18		16	56%	Remove			
71	Roystonea elata	Royal Palm	16	40	30	15	58%	Remove	X		
72	Roystonea elata	Royal Palm	16	40	30	15	58%	Remove	X		
73	Tabebuia caraba	Yellow Tabebuia	5	22		15	60%	Remove			
74	Tabebuia caraba	Yellow Tabebuia	5	24		12	52%	Remove			
75	Cocos nucifera	Coconut Palm	10	28	18	16	0%	Remove			
76	Cocos nucifera	Coconut Palm	9	32	22	16	0%	Remove			
77	Cocos nucifera	Coconut Palm	10	30	20	16	0%	Remove			
78	Cocos nucifera	Coconut Palm	12	0		0	0%	Remove			
79	Cassia javanica	Apple Blossom Cassia	5	22		15	52%	Remove			
80	Roystonea elata	Royal Palm	14	40	30	16	58%	Remove	X		
81	Veitchia montgomeryana	Montgomery Palm	6	30	22	14	52%	Remove			
82	Veitchia montgomeryana	Montgomery Palm	6	28	20	14	50%	Remove			
83	Veitchia montgomeryana	Montgomery Palm	6	28	20	14	52%	Remove			
84	Quercus virginiana	Live Oak	9	30		18	52%	Remove	X		
85	Ficus benjamina	Weeping Fig	8	16		12	42%	Remove			Poor condition, Invasive
86	Bursera simaruba	Gumbo Limbo	8	20		15	53%	Remove	X		Poor condition, Invasive
87	Ficus benjamina	Weeping Fig	8	15		12	48%	Remove			
88	Sabal palmetto	Cabbage Palm	12	24	18	10	50%	Remove	X		
89	Sabal palmetto	Cabbage Palm	12	25	19	10	50%	Remove	X		

Architectural Alliance Landscape
612 SW 4th Ave., Fort Lauderdale, FL 33315
TEL: 954.388.8888 FAX: 954.388.8888

Digitally signed by
Hugoberto Johnson
DN: cn=Hugoberto Johnson, o=Architectural Alliance Landscape, email=hjohnson@aal.com, c=US

1	DRC Resubmittal	12-21-2023
2	DRC Resubmittal	01-07-2024
3	DRC Resubmittal	03-25-2024
4	DRC Resubmittal	05-25-2024
5	DRC Resubmittal	06-13-2024
6	DRC Resubmittal	10-10-2024

Revision Dates

DRC SUBMITTAL SET

650 N. ANDREWS AVE.

FORT LAUDERDALE, FLORIDA

Sheet Description

TREE DISPOSITION PLAN

Release Date

10-13-2023

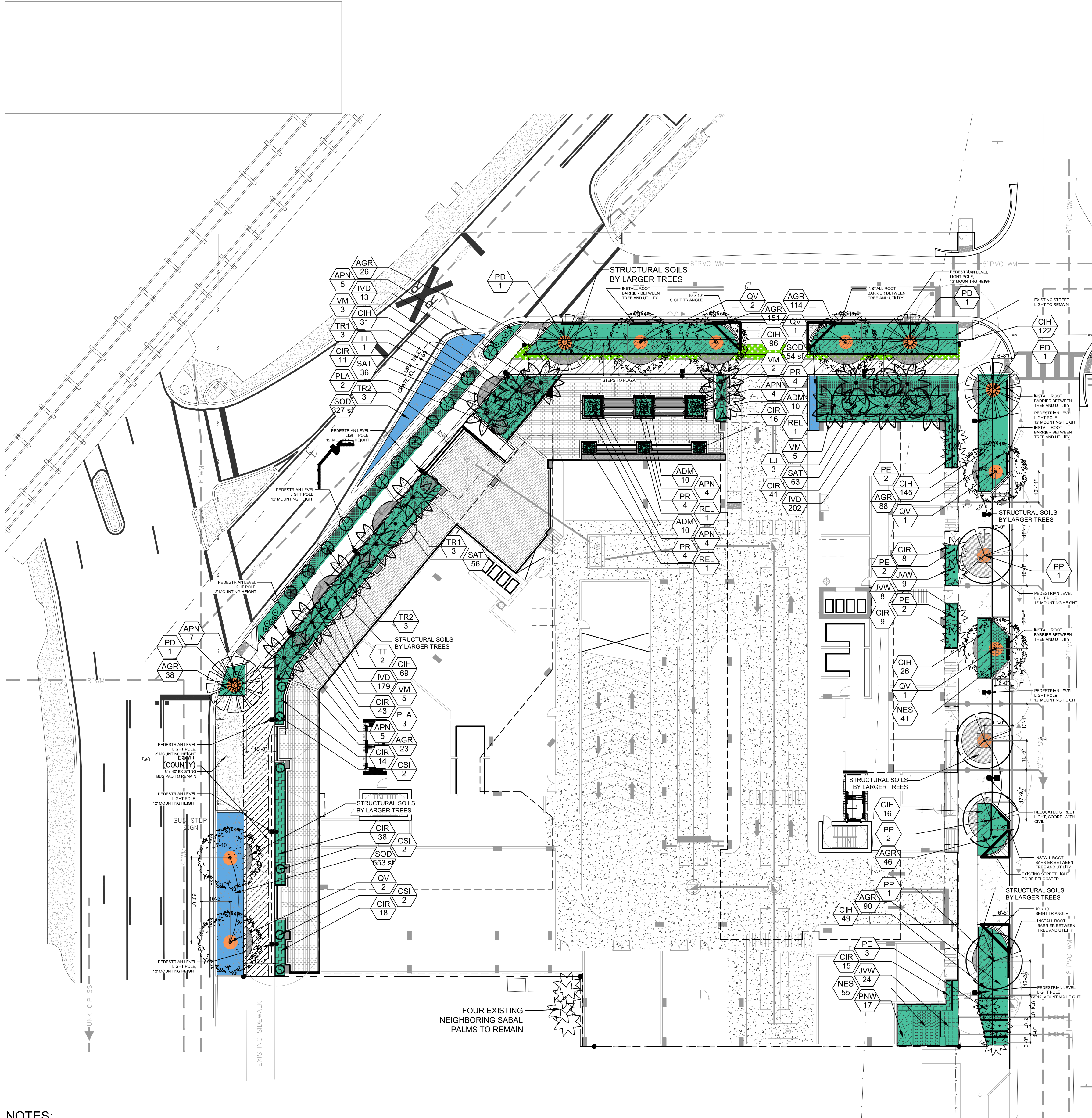
Project Number

2310

Drawing Number

L-200

Sheet 1 OF 1



NOTES:

1. ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
2. IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
3. SEE SHEET L-200 TREE DISPOSITION PLAN.
4. SEE SHEET L-210 GROUND FLOOR LANDSCAPE PLAN.
5. SEE SHEET L-210 FOR LANDSCAPE SCHEDULE AND CALCULATIONS.
6. SEE SHEET L-211 FOR LANDSCAPE DETAILS AND NOTES.
7. A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.

NOTE:

LANDSCAPING MUST PROVIDE A MINIMUM HORIZONTAL CLEARANCES OF 5' FEET FOR SMALL TREES AND 10' FEET FOR LARGE TREES AND PALMS FROM UNDERGROUND UTILITIES, WHERE ENCROACHMENTS OCCUR, ADDED DIMENSIONS AND ROOT BARRIERS TO PLAN.

NOTE:

ROOT BARRIERS SHALL BE INSTALLED WITH A ONE (1) FOOT OFFSET FROM ANY DRAINAGE STRUCTURE OR FRENCH DRAIN ENVELOPE.

NOTE:

ANY PROPOSED TREES LOCATED WITHIN SIGHT TRIANGLES SHALL HAVE A MINIMUM 8' CLEAR TRUNK.

PLANT SCHEDULE 650 N ANDREWS - APTS

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	SIZE	NATIVE	DROUGHT	SPACING
TREES									
LJ	3	LIGUSTRUM JAPONICUM	TREE LIGUSTRUM	FG&B	MULTI STEM	8'-10' OA	NO	MEDIUM	
QV	7	QUERCUS VIRGINIANA	WHITE OAK "HIGH RESE"	FG&B	4 CAL	12' OA, 5'-10' SPRD, 8' CT, MATCHED	YES	HIGH	
FLOWERING TREES									
PP	4	PELTOPHORUM PTEROCARPUM	YELLOW PORCIANA	-	3 CAL	16' HT, X 7' SPR, 7' CT	NO	MED	
TT	3	TABEBUIA HETEROPHYLLA	PINK TRUMPET TREE	FG&B	3 CAL	15' HT, X 7' SPR, 7' CT	NO	HIGH	
PALM TREES									
PD	4	PHOENIX DACTYLIFERA 'MEDJOL'	MEDJOL DATE PALM	FG&B	-	14' CT, NUT INCLUDED, MATCHED	NO	HIGH	
PE	9	PYTHOSPORUM ELEGANS	SOUTHERN PALM	FG&B	-	15'-12' OA, SINGLE STRAIGHT LEADER	NO	HIGH	
TR2	6	THRIANX RADIATA	FLORIDA THATCH PALM	FG&B	-	6' OA, SINGLE TRUNK	YES	HIGH	
TR1	6	THRIANX RADIATA	FLORIDA THATCH PALM	EXISTING TO REMAIN	-	EXISTING TO REMAIN	YES	HIGH	
VM	15	VEITCHIA MCDANIELSII	SUNSHINE PALM	FG&B	SPECIMENS	12' GW, MATCHED	NO	HIGH	
ACCENT PLANT									
APN	29	AECHMEA X PINOT NOIR	PINOT NOIR BROMELAD	-	-	20"x20" OA	NO	HIGH	
CSI	6	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRRESS	-	SPECIMEN	7'-8' OA, FULL TO BASE	NO	HIGH	
PLA	5	POLYALTHIA LONGIFOLIA PENDULA	ASHOKA TREE	-	1" CAL	7'-8' OA, FULL TO BASE	NO	HIGH	
PALMS & CYCADS									
RE	12	PHOENIX ROEBELII	PYGMY DATE PALM	-	SPECIMEN	8' OA	NO	HIGH	
REL	3	RHAPIS EXCELSA	LADY PALM	-	SPECIMEN	5'-6' OA	NO	MEDIUM	
SHRUB AREAS									
CIH	1213	CHRYSOBALANUS ICAGO 'REDTIP'	RED TIP COCORUM	-	-	30' HT, X 24" SPR	YES	HIGH	24" o.c.
IVD	394	ELEX VOMITORIA 'STOKES DWARF'	DWARF YAUPOH HOLLY	-	-	16' HT, X 14" SPR	YES	HIGH	18" o.c.
PNW	117	PSYCHOTRIA NERVOSEA	WILD COFFEE	-	-	20' HT, X 20" SPR	YES	HIGH	24" o.c.
SAT	155	SCHIEFFELIA ARBORICOLA 'TRINETTE'	SCHIEFFELIA	-	-	24' HT, X 24" SPR	NO	HIGH	24" o.c.
GROUND COVERS									
AGR	156	ARACHIS GLABRATA	PERENNIAL PEANUT	-	-	4" HT, X 12" SPR	NO	HIGH	18" o.c.
ADM	30	ASPARAGUS DENSIFLORUS 'MYERS'	MYERS ASPARAGUS	-	-	18" HT, X 18" SPD	NO	MEDIUM	20" o.c.
CIH	499	CHRYSOBALANUS ICAGO 'HORIZONTALIS'	HORIZONTAL COCORUM	-	-	14" HT, X 16" SPR	YES	HIGH	24" o.c.
JVW	41	JASMINUM TOULIERE	WAX JASMINE	-	-	18" HT, X 18" SPD	NO	MEDIUM	24" o.c.
NES	96	NEPHROLEPIS EXALTATA	BOSTON FERN	-	-	12" HT, X 12" SPR	YES	HIGH	18" o.c.
SOD/SEED									
SOD	194 SF	STENOTAPHRUM SECUNDATUM 'FLORITAM'	'FLORITAM' ST. AUGUSTINE SOD	SOD	-	-	-	-	-

LANDSCAPE CALCULATIONS

650 N. ANDREWS AVE.

LAND USE: D-RAC

ZONING: RAC-UV

SITE AREA	1.25 AC.	58,788 SF
TOTAL PERVIOUS AREA PROPOSED		3,054 SF
TOTAL LANDSCAPE AREA PROVIDED		3,054 SF
TOTAL VUA	0	0
LANDSCAPE VUA AREA (20% OF VUA)	0	0
PERIMETER VUA	0	0
INTERIOR VUA (30 SF EACH SPACE) - NO SPACES		
	REQUIRED	PROVIDED

VEHICULAR USE AREA (1 TREE PER 1,000 SF)

TREES (1 TREE PER 1,000 SF OF VUA)	N/A	N/A
SHRUBS (12 SHRUBS PER 1,000 SF OF VUA)	N/A	N/A

NET LOT AREA (1 TREE PER 1,000 SF)

3,054 SF / 1,000 SF = 3 TREES	3 Trees	3 Trees & 16 Palms
SHRUBS (12 SHRUBS PER 1,000 SF) 12 x 3 = 36 Shrubs	36 Shrubs	1,928 Shrubs
ONLY COUNTING PERVIOUS AREA WITHIN SITE, NOT WITHIN STREET ROW'S		

STREET TREES

1 TREE PER 30 LF WITH RAC-UV		
NE 7TH STREET (NORTH): 150 LF / 30 LF = 5 Trees	5 Trees	3 Trees & 2 Palms
NE 1ST AVE. (EAST): 250 LF / 30 LF = 8 Trees	8 Trees	6 Trees & 4 Palms
FLAGLER DRIVE (NORTH/WEST): 155 LF / 30 = 5 Trees	5 Trees	3 Trees and 6 Palms
N. ANDREWS AVE. (WEST): 63 LF / 30 LF = 2 Trees*	2 Trees	2 Trees*
SUB-TOTAL	20 Trees	14 Trees & 12 Palms
50% of Street Trees shall be trees		70% Trees

TOTAL TREES	23 Trees	17 Trees & 28 Palms
-------------	----------	---------------------

NATIVE TREES

40% TREES MUST BE NATIVE (23 TREES X 40% = 9)	9 Trees	9 Trees
---	---------	---------

50% NATIVE PLANT MATERIAL

Total Provided - 2,077 x 50% = 1,039 Req. Native	1,039	1,146 (55%)
--	-------	-------------

SOD

50% MAX. SOD FOR PERVIOUS AREA - ON SITE		
3,054 SF Total Pervious / 50% = 1,527 SF Max.	50% - 1,527 SF	0% - 0 SF

Only providing sod within Street ROW's nothing On-Site

ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE

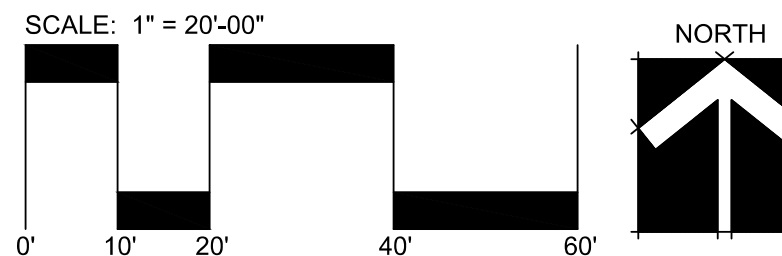
IRRIGATION SYSTEM SHALL ALSO BE EQUIP WITH A RAIN SENSOR

* DUE TO PROPOSED BUS LANDING PAD EXPANSION

HYDROZONES KEY

- HIGH WATER USAGE - 934 S.F.
- MEDIUM WATER USAGE - 5,568 S.F.
- LOW WATER USAGE - 19 S.F.

TURF (SOD) ACCOUNTS FOR 14% OF TOTAL IRRIGATED AREA



DRC RE-SUBMITTAL SET - ISSUED 10-10-2024

DRC SUBMITTAL SET

650 N. ANDREWS AVE.

FORT LAUDERDALE, FLORIDA

Sheet Description
GROUND FLOOR
LANDSCAPE
PLAN

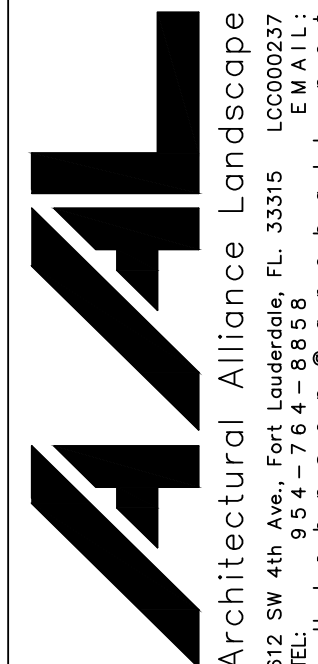
Release Date
10-13-2023

Project Number
2310

Drawing Number

L-210

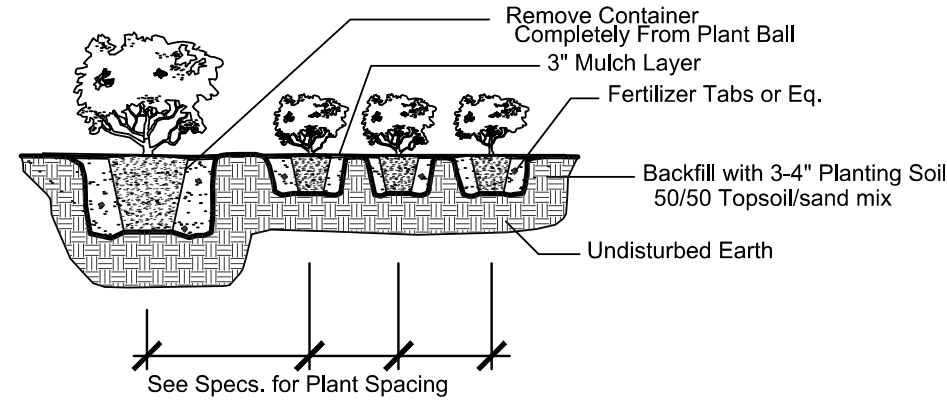
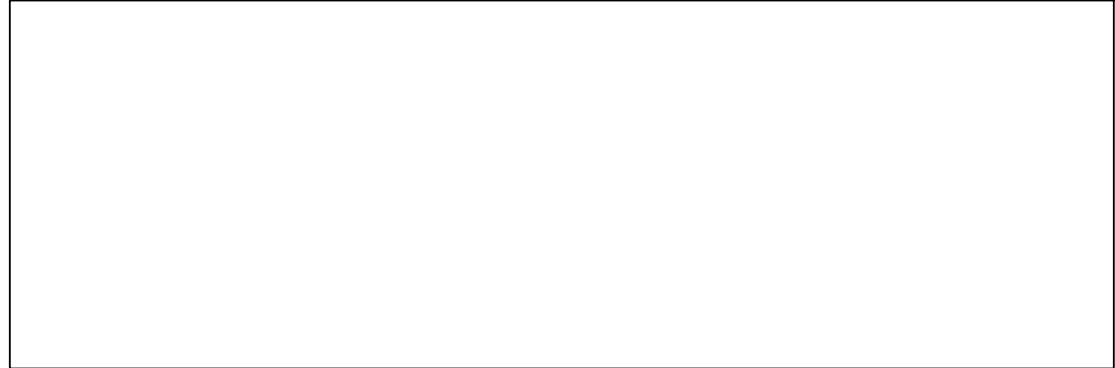
Sheet 1 OF 4



1	DRC Resubmittal	12/21/2023
2	DRC Resubmittal	03-07-2024
3	DRC Resubmittal	03-25-2024
4	DRC Resubmittal	07-05-2024
5	DRC Resubmittal	09-13-2024

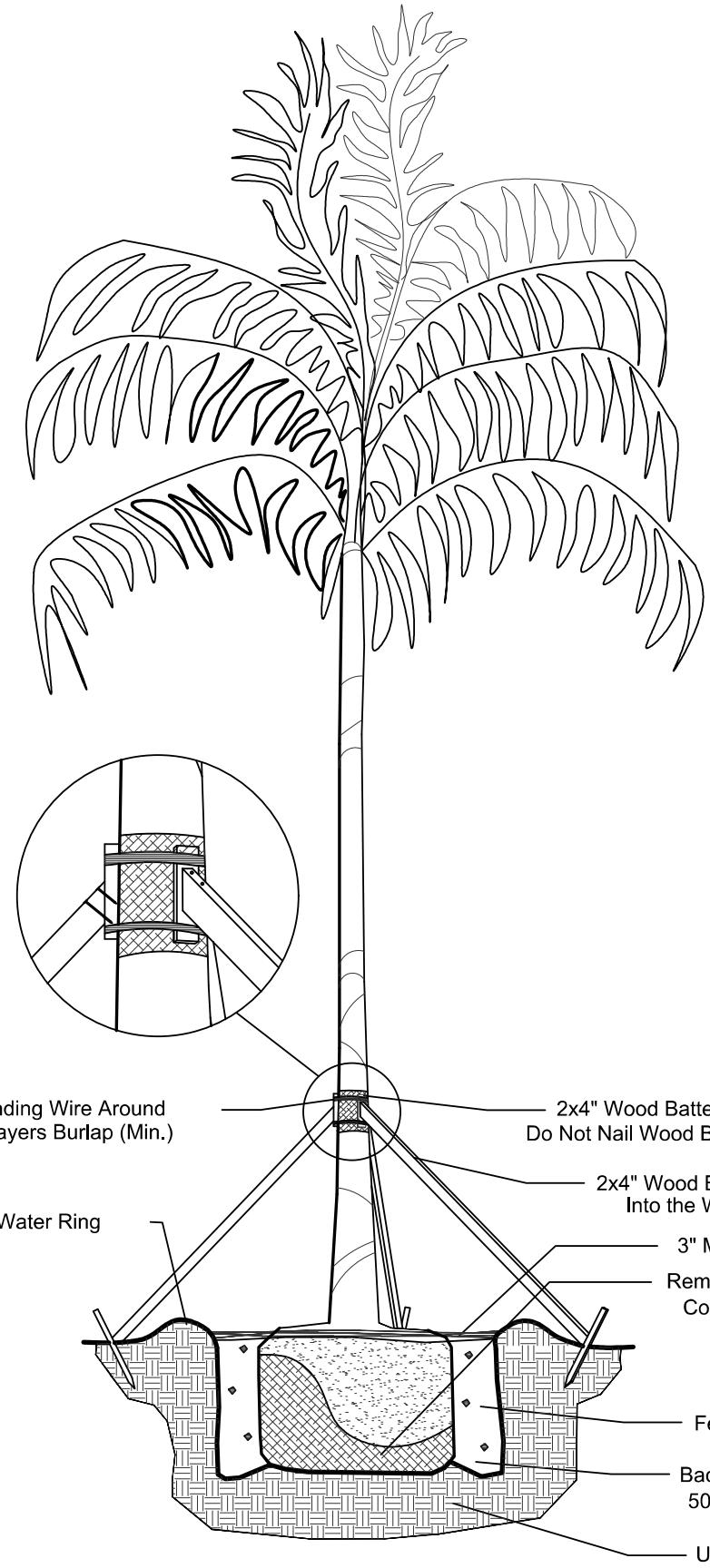
Revision Dates

6 DRC Resubmittal 10-10-2024



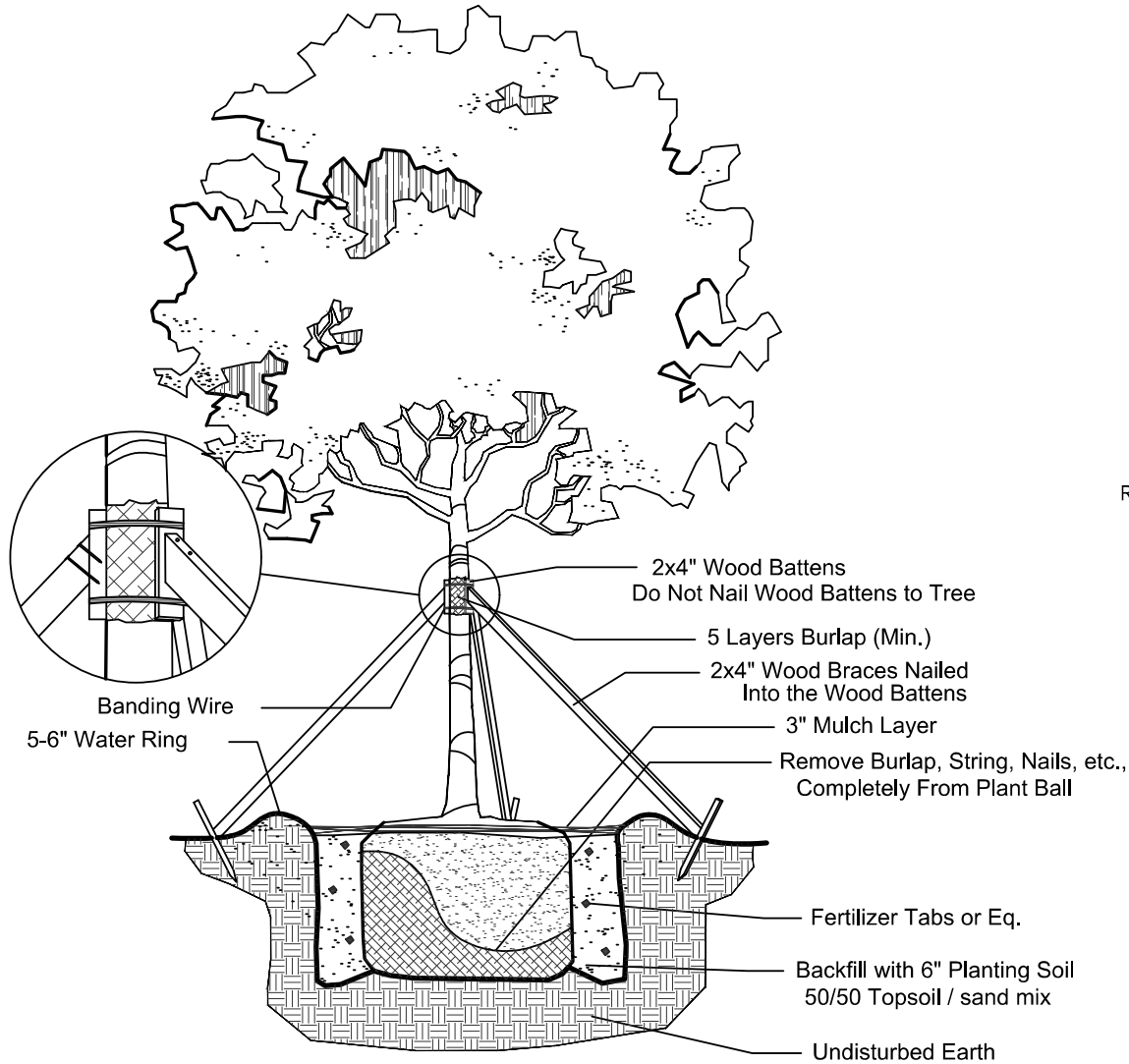
Shrub & Ground Cover Planting Detail

NTS



Palm Planting Detail

NTS



Large Tree Planting Detail

NTS

C: 18" for all 1 gal.
30" for all 3 gal. or greater
vines not included

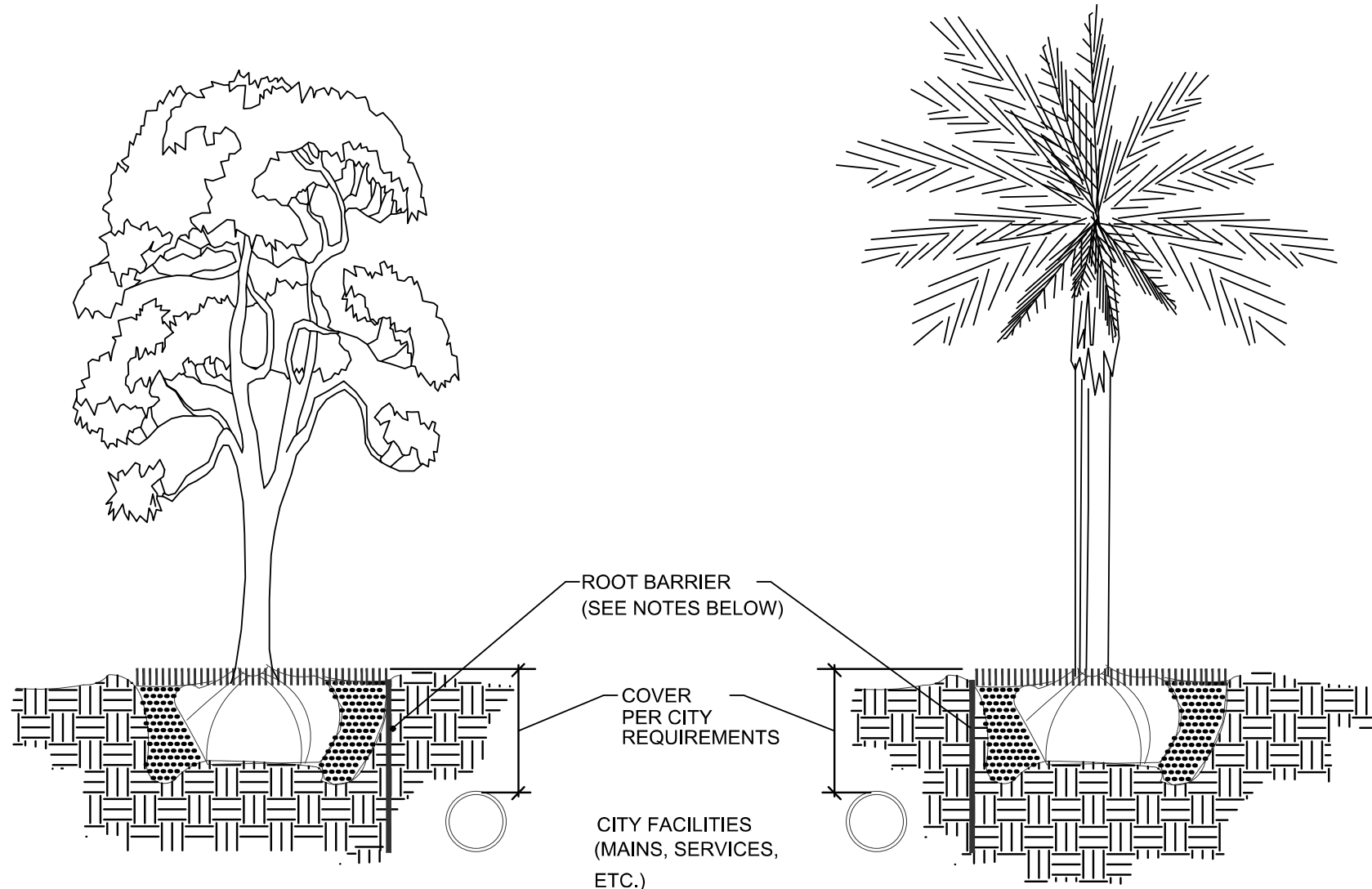
NOTE: All shrub and groundcover masses to use triangular spacing except as a singular hedge row or where noted. Refer to the plant list for individual plant spacing.

A: 14" for all 1 gal.
24" for all 3 gal. or greater

Typical Plant Spacing

NTS

NOTE: PROVIDE ROOT BARRIERS AS REQUIRED ON ALL TREES IN CONFLICT WITH MINIMUM CLEARANCE WITH UTILITIES. MINIMUM CLEARANCE OF 5' FT FOR PALMS AND SMALL TREES AND 10' FT FOR LARGE TREES WITH INTRUSIVE ROOT SYSTEMS PER CITY OF FORT LAUDERDALE REQUIREMENTS.SEE TYPICAL DETAIL BELOW.

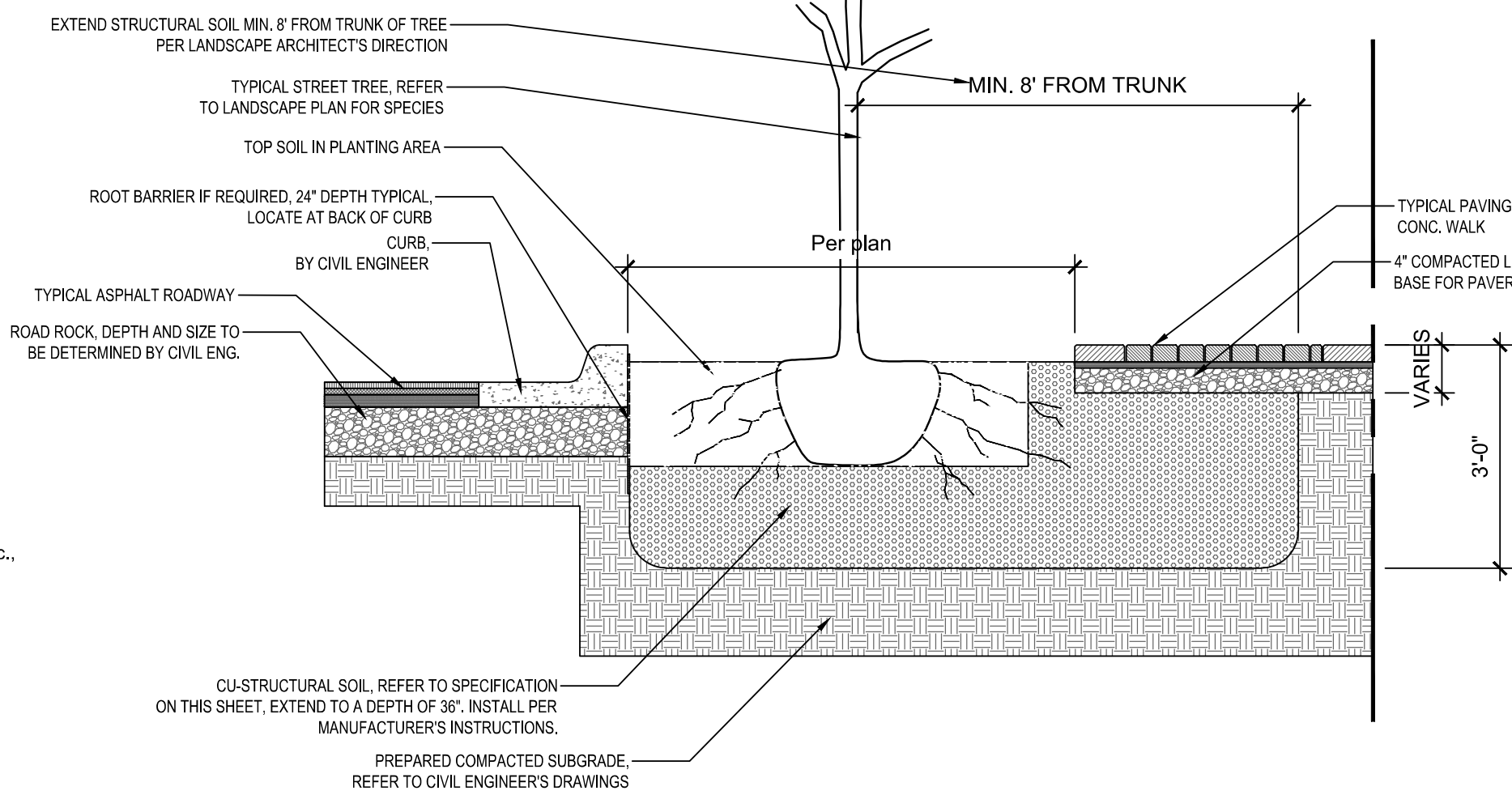


NOTES:

1. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
2. ROOT BARRIERS SHALL HAVE MINIMUM DEEP PER CITY REQUIREMENTS. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
3. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

Typical Root Barrier Detail

NTS



CU-STRUCTURAL SOIL DETAIL

NTS

CU-STRUCTURAL SOIL® SPECIFICATIONS

PART 2- MATERIALS

2.1 CLAY LOAM

- A. Soil shall be a "loam" with a minimum clay content of 20% or a "clay loam" based on the "USDA classification system" as determined by mechanical analysis (ASTM D-422) and it shall be of uniform composition, without admixture of subsoil. It shall be free of stones, lumps, plants and their roots, debris and other extraneous matter. It shall not contain toxic substances harmful to plant growth. Clay loam shall contain not less than 2% or more than 5% organic matter as determined by the loss on ignition of oven-dried samples. Test samples shall be oven-dried to a constant weight at a temperature of 230 degrees F., plus or minus 9 degrees.
- B. Mechanical analysis for the loam or clay loam shall be as follows:
- | Tested Class | % of Total Weight |
|--------------|-------------------|
| Gravel | less than 5% |
| Sand | 20-45% |
| Silt | 20-50% |
| Clay | 20-40% |
- C. Chemical analysis: Meet, or be amended to meet the following criteria:
1. pH between 5.5 to 6.5
 2. Percent organic matter 2% - 5% by dry weight
 3. Adequate nutrient levels
 4. Soluble salt less than 1.0 mmole/cm
 5. Cation Exchange Capacity (CEC) greater than 10
 6. Carbon/Nitrogen ratio less than 33:1
- D. Loam or clay loam shall not come from USDA - classified prime farmland.

2.2 FERTILIZER (if needed)

- A. Should nutrient analysis suggest that the loam or clay loam need additional nutrients, it shall be amended by Ameroq's licensed producer.

2.3 SULFUR (if needed)

- A. Sulfur shall be a commercial granular, 90% pure sulfur, with material and analysis appearing on the labeled container.
- B. Sulfur used to lower pH shall be a ferrous sulfate formulation.
- C. Application rates shall be dependent on soil test results.

2.4 LIME (if needed)

- A. Agricultural lime containing a minimum of 85% carbonates.
- B. Application rates shall be dependent on soil test results.

2.5 CRUSHED STONE

- A. The size of the crushed stone shall be 0.75 inches to 1.5 inches allowing for up to 10% being greater than 1.5 inches, and up to 10% less than 0.75 inches.
- B. Acceptable aggregate dimensions will not exceed 2.5:1.0 for any two dimensions.
- C. Minimum 90% with two or more fractured faces.
- D. Results of Aggregate Soundness Loss test shall not exceed 18%.
- E. Losses from LA Abrasion tests shall not exceed 40%.

2.6 HYDROGEL

- A. Hydrogel shall be a coated potassium propionate:propenamide copolymer (Gelscape® Hydrogel Tackifier) as manufactured by Ameroq, Inc. 800-832-8788.

2.7 WATER

- A. The installing contractor shall be responsible to furnish his own supply of water (if needed) free of impurities, to the site.

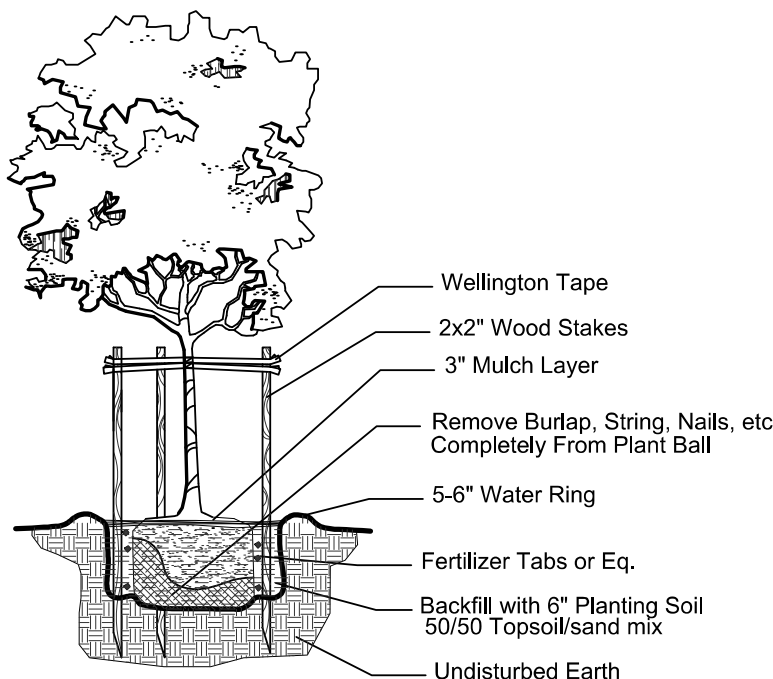
2.8 CU-STRUCTURAL SOIL®

- A. A uniformly blended urban tree mixture of crushed stone, clay loam and Gelscape® Hydrogel Tackifier, as produced by an Ameroq-licensed company, mixed in the following proportion:
- | Material | Unit of Weight |
|---------------------------------------|--|
| specified crushed Stone | 100 units dry weight |
| specified clay loam | 20 - 25 units (to achieve minimum CBR of 50) |
| Gelscape® Hydrogel Tackifier moisture | 0.035 units dry weight
ASTM D1996/ASMT0 T-99 optimum moisture |

CU-STRUCTURAL SOIL SPECIFICATIONS

SPECIAL INSTRUCTIONS:

1. GENERAL SITE AND BERM GRADING TO +/- 1 INCH (1") SHALL BE PROVIDED BY THE GENERAL CONTRACTOR. ALL FINISHED SITE GRADING AND FINAL DECORATIVE BERM SHAPING SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR.
2. ALL SOD AREAS AS INDICATED ON THE PLANTING PLAN SHALL RECEIVE STENOTAPHRUM SECUNDATUM, ST. AUGUSTINE 'PALMETTO' SOLID SOD. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO INCLUDE IN THE BID, THE REPAIR OF ANY SOD WHICH MAY BE DAMAGED FROM THE LANDSCAPE INSTALLATION OPERATIONS.



Small Tree Planting Detail

NTS

NOTES:

1. ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
2. IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR.
3. SEE SHEET L-200 TREE DISPOSITION PLAN.
4. SEE SHEET L-210 GROUND FLOOR LANDSCAPE PLAN.
5. SEE SHEET L-210 FOR LANDSCAPE SCHEDULE AND CALCULATIONS.
6. SEE SHEET L-211 FOR LANDSCAPE DETAILS AND NOTES.
7. A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.

DRC RE-SUBMITTAL SET - ISSUED 10-10-2024

GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. A four-inch clear space must be left for air between plant bases and the mulch. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of AAL.

The plan takes precedence over the plant list.

DRC SUBMITTAL SET

650 N. ANDREWS AVE.

FORT LAUDERDALE, FLORIDA

Sheet Description
LANDSCAPE
DETAILS AND
NOTES

Release Date
10-13-2023

Project Number
2310

Drawing Number

L-211

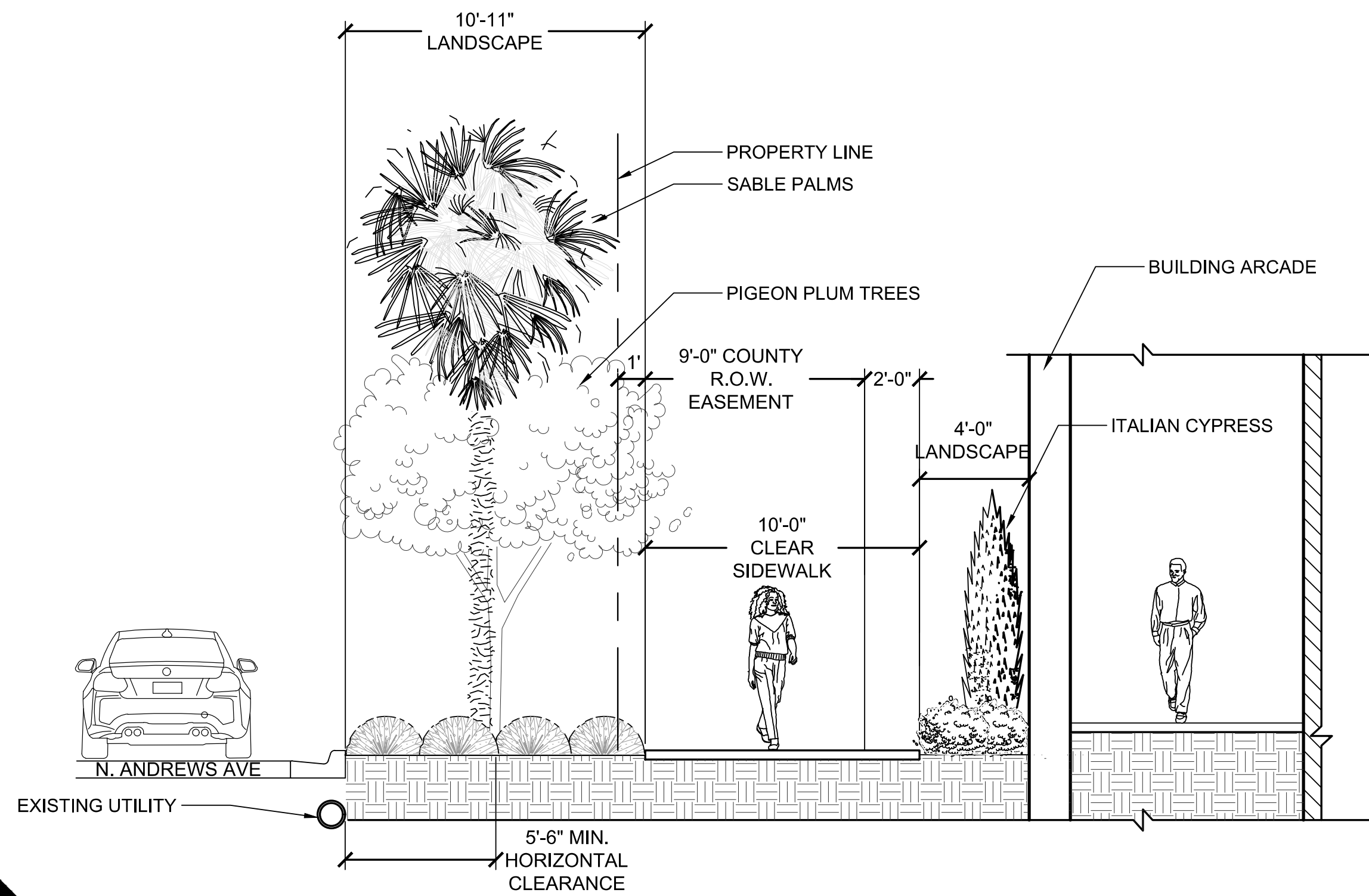
Sheet 2 OF 4



1	DRC ReSubmittal	12/21/2023
2	DRC ReSubmittal	03-07-2024
3	DRC ReSubmittal	03-25-2024
4	DRC ReSubmittal	07-05-2024
5	DRC ReSubmittal	08-13-2024

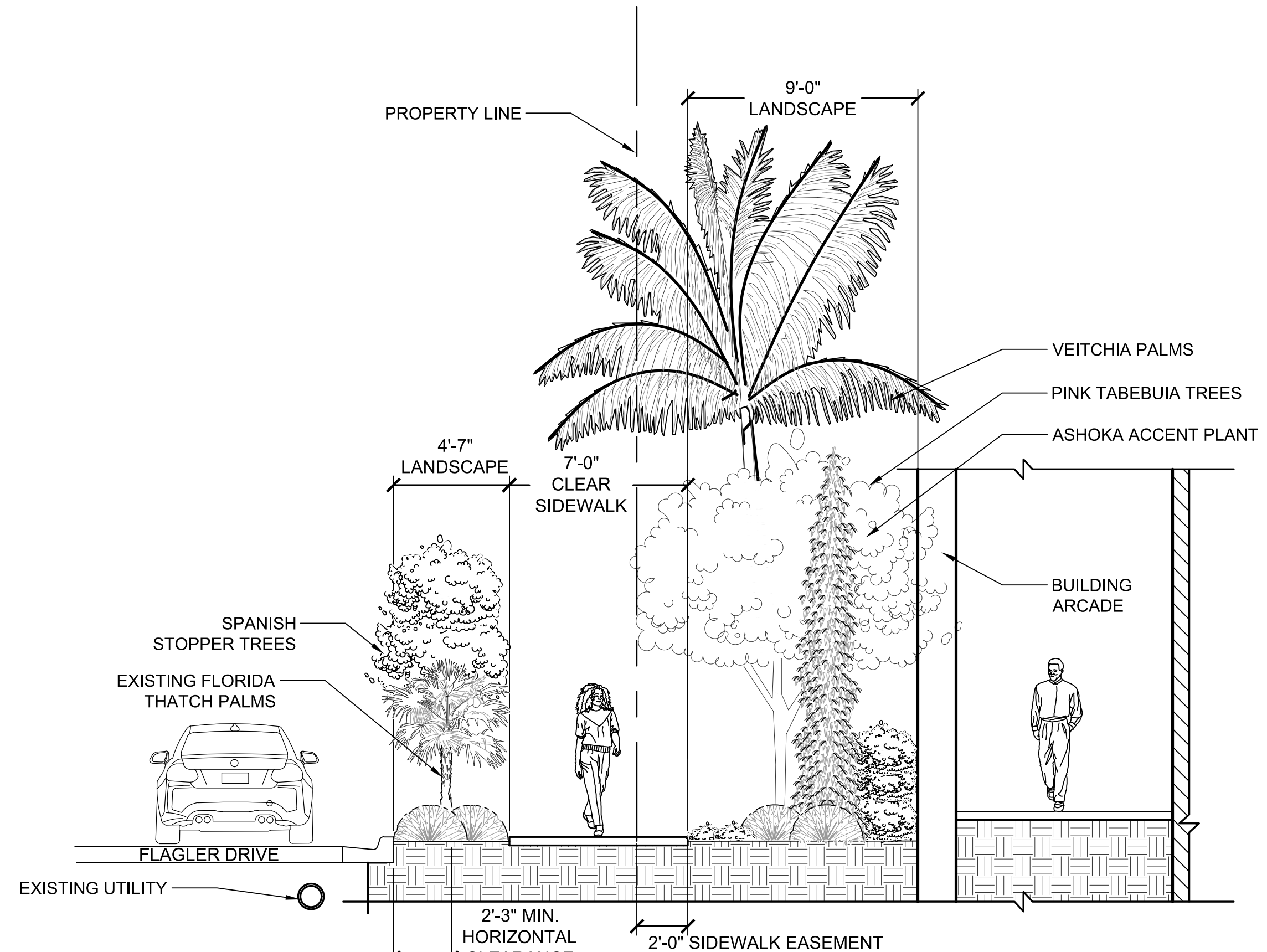
Revision Dates

6 DRC ReSubmittal
10-10-2024



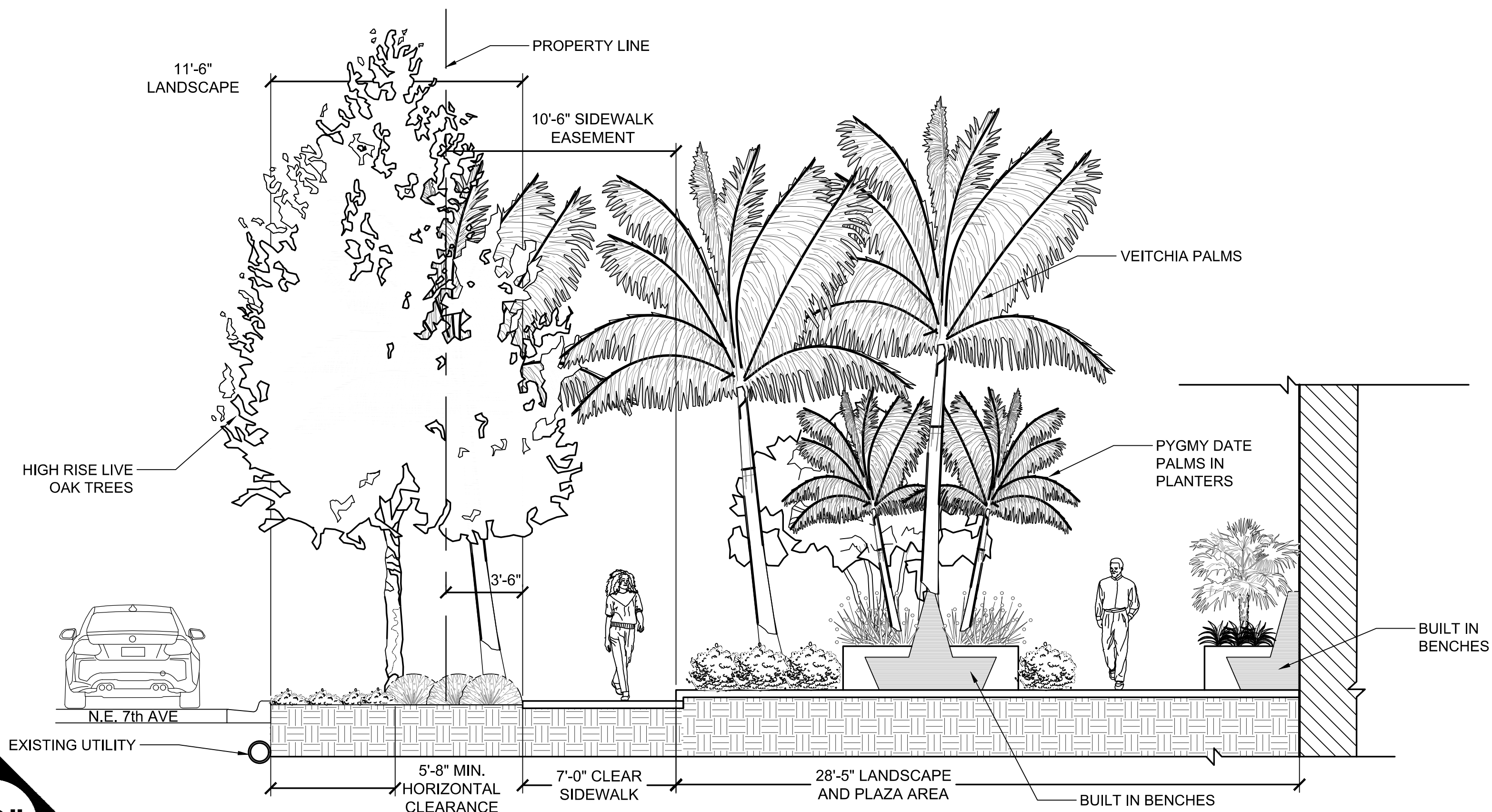
SECTION A - N. ANDREWS AVENUE

1/4" = 1'-0"



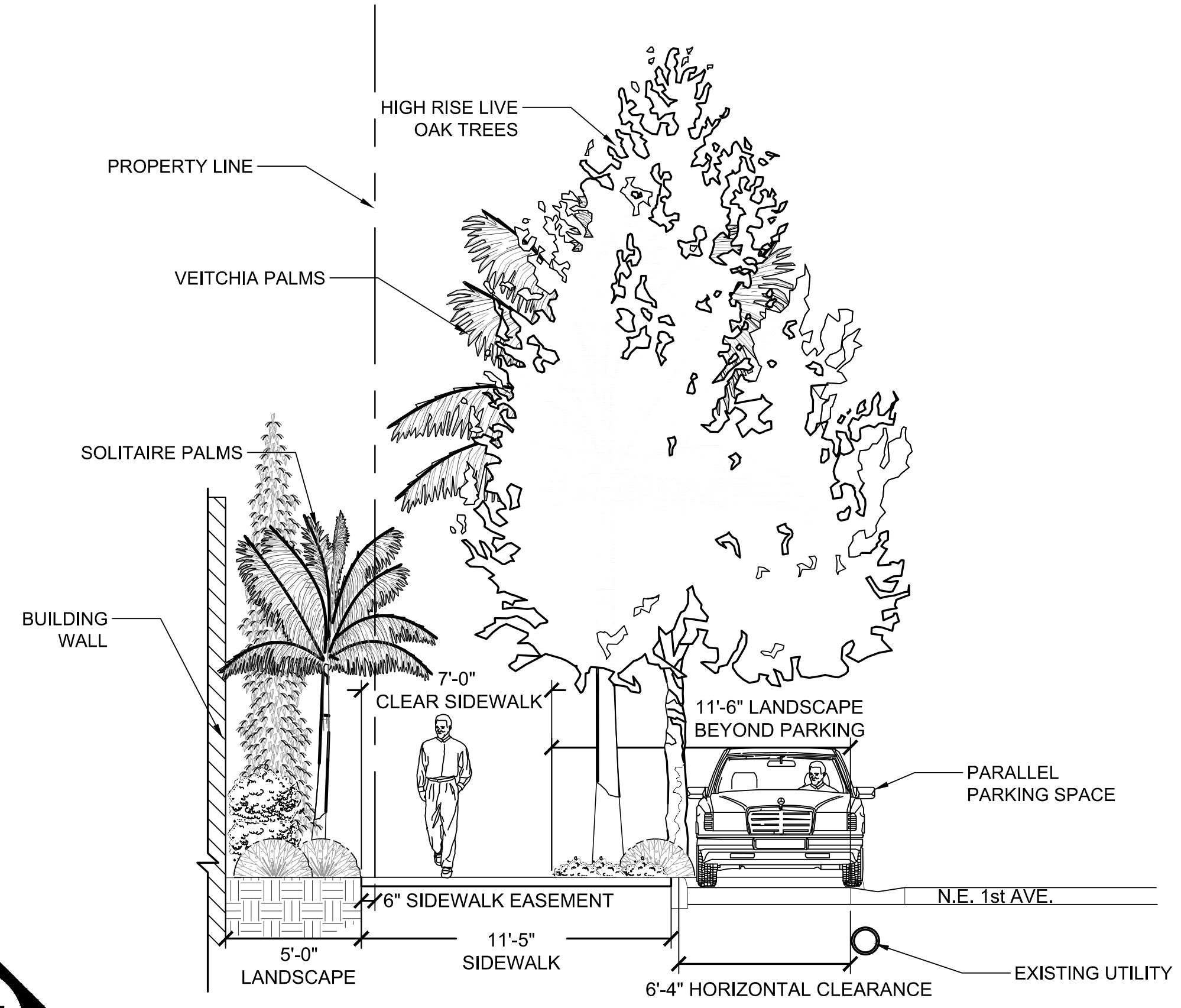
SECTION B - FLAGLER DRIVE

1/4" = 1'-0"



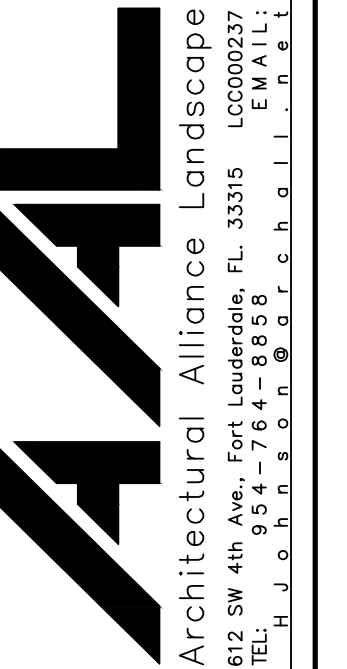
SECTION C - N.E. 7th STREET

1/4" = 1'-0"



SECTION D - N.E. 1st AVENUE

1/4" = 1'-0"



Revision	Revision Dates
1 DRC ReSubmittal	12-21-2023
2 DRC ReSub	03-07-2024
3 DRC ReSubmittal	03-25-2024
4 DRC ReSub	07-05-2024
5 DRC ReSubmittal	08-13-2024

6 DRC ReSubmittal	10-10-2024
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DRC SUBMITTAL SET
650 N. ANDREWS AVE.

FORT LAUDERDALE, FLORIDA

Sheet Description
STREET
SECTIONS
PLAN

Release Date
10-13-2023

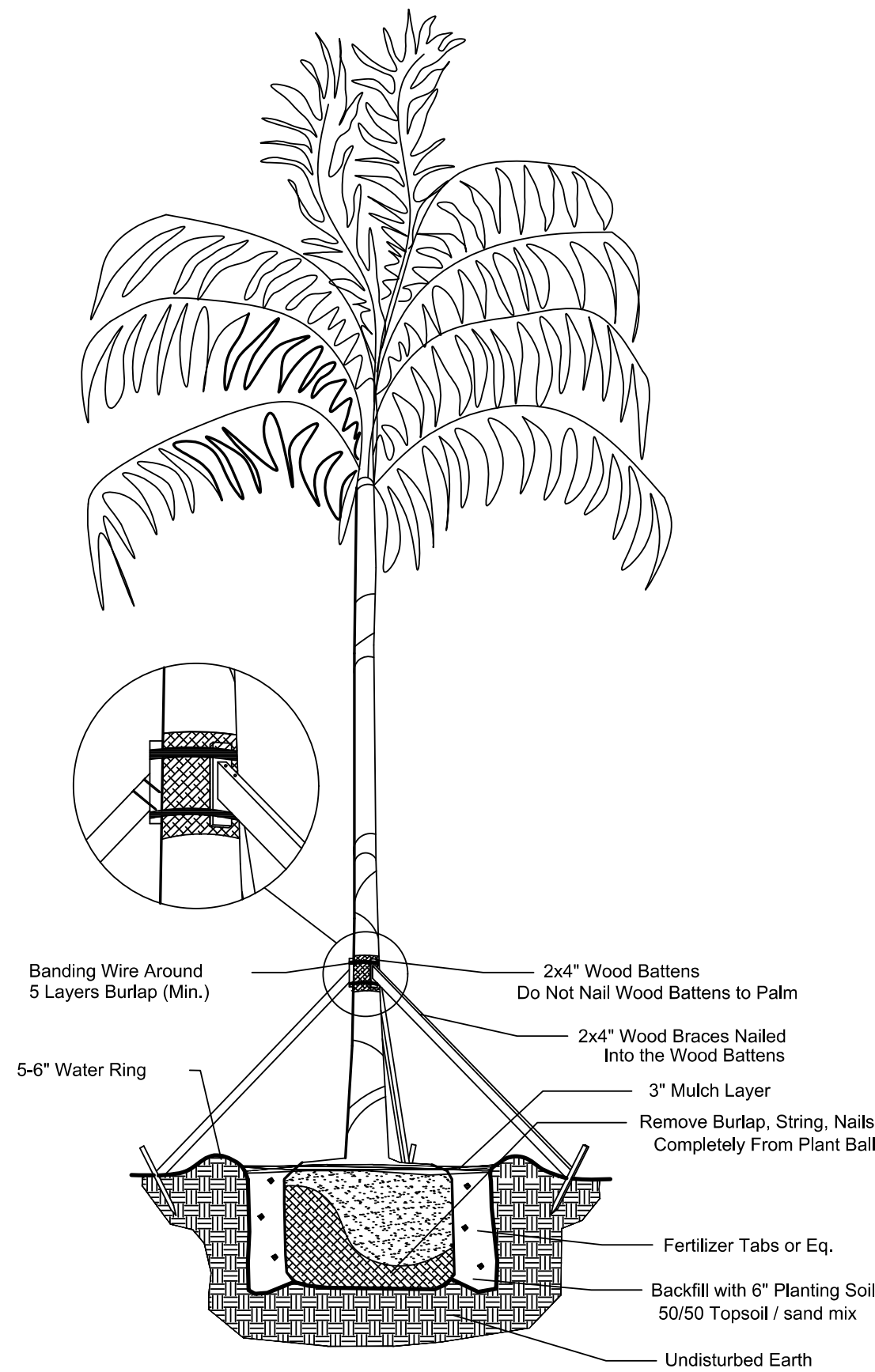
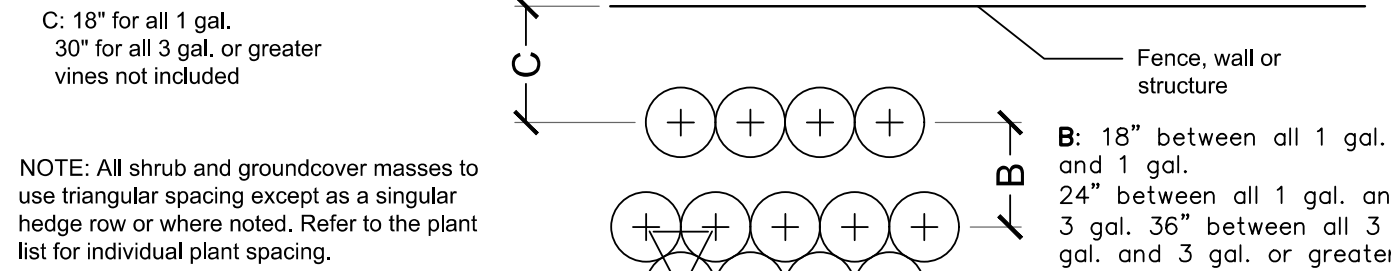
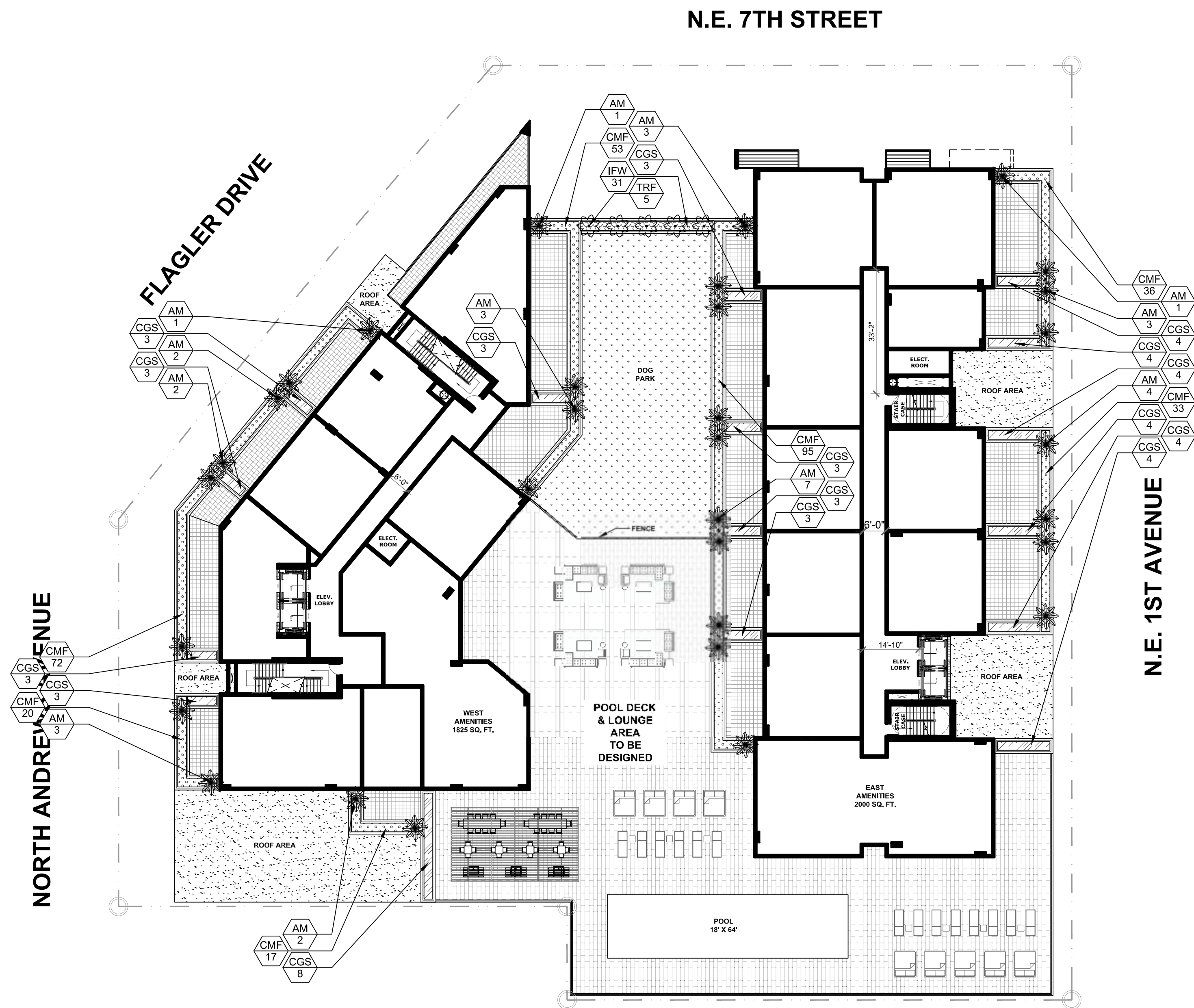
Project Number
2310

Drawing Number

L-212

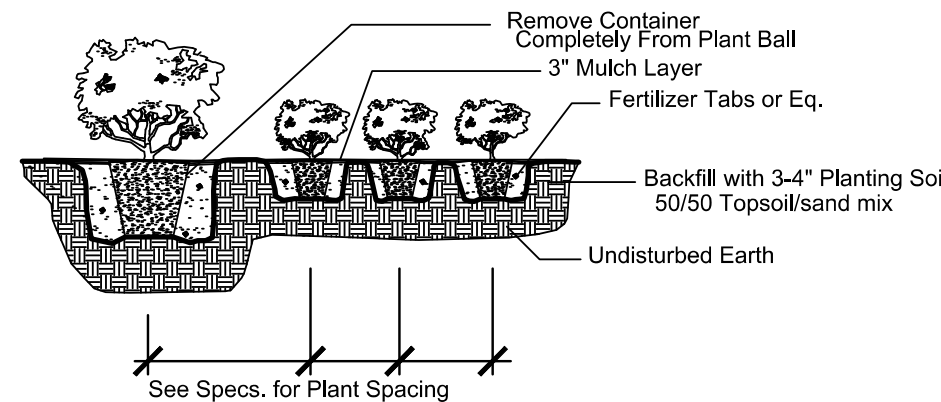
Sheet 3 OF 4

DRC RE-SUBMITTAL SET - ISSUED 10-10-2024



Palm Planting Detail

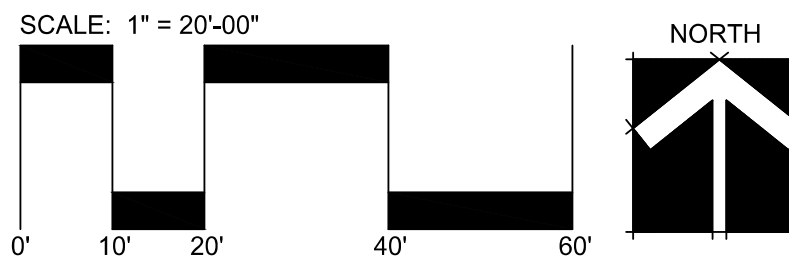
NTS



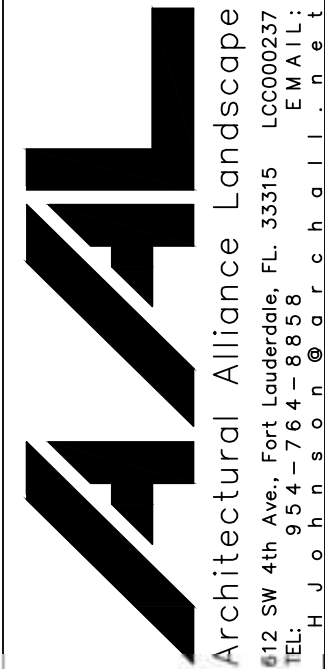
Shrub & Ground Cover Planting Detail

NTS

PLANT SCHEDULE 2310 POOL DECK										
PALMS & CYCADS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	SIZE	NATIVE	DROUGHT		REMARKS
AM	32	ADONIDIA MERRILLII	MANILA PALM	-		5" O.A	NO	HIGH		
TRF	5	THRINAX RADIATA	FLORIDA THATCH PALM	-	SPECIMEN	6" O.A.	YES	HIGH		
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	SIZE	NATIVE	DROUGHT	SPACING	REMARKS
CMF	326	CARMONA MICROPHYLLA	FUKIEN TEA	-		14" HT X 16" SPR	NO	HIGH	24" o.c.	
CGS	59	CLUSIA GUTTIFERA	SMALL-LEAF CLUSIA	-		48" HT. X 36" SPR.	YES	HIGH	36" o.c.	
IFW	31	IXORA COCCINEA 'FRANKIE HIPPI'	WHITE NORA GRANT IXORA	-		20" HT. X 20" SPR.	NO	MEDIUM	20" o.c.	



DRC RE-SUBMITTAL SET - ISSUED 10-10-2024



Revision	Revision Dates
1 DRC ReSubmittal	12-21-2023
2 DRC ReSub	03-07-2024
3 DRC ReSubmittal	03-25-2024
4 DRC ReSub	07-05-2024
5 DRC ReSubmittal	08-13-2024

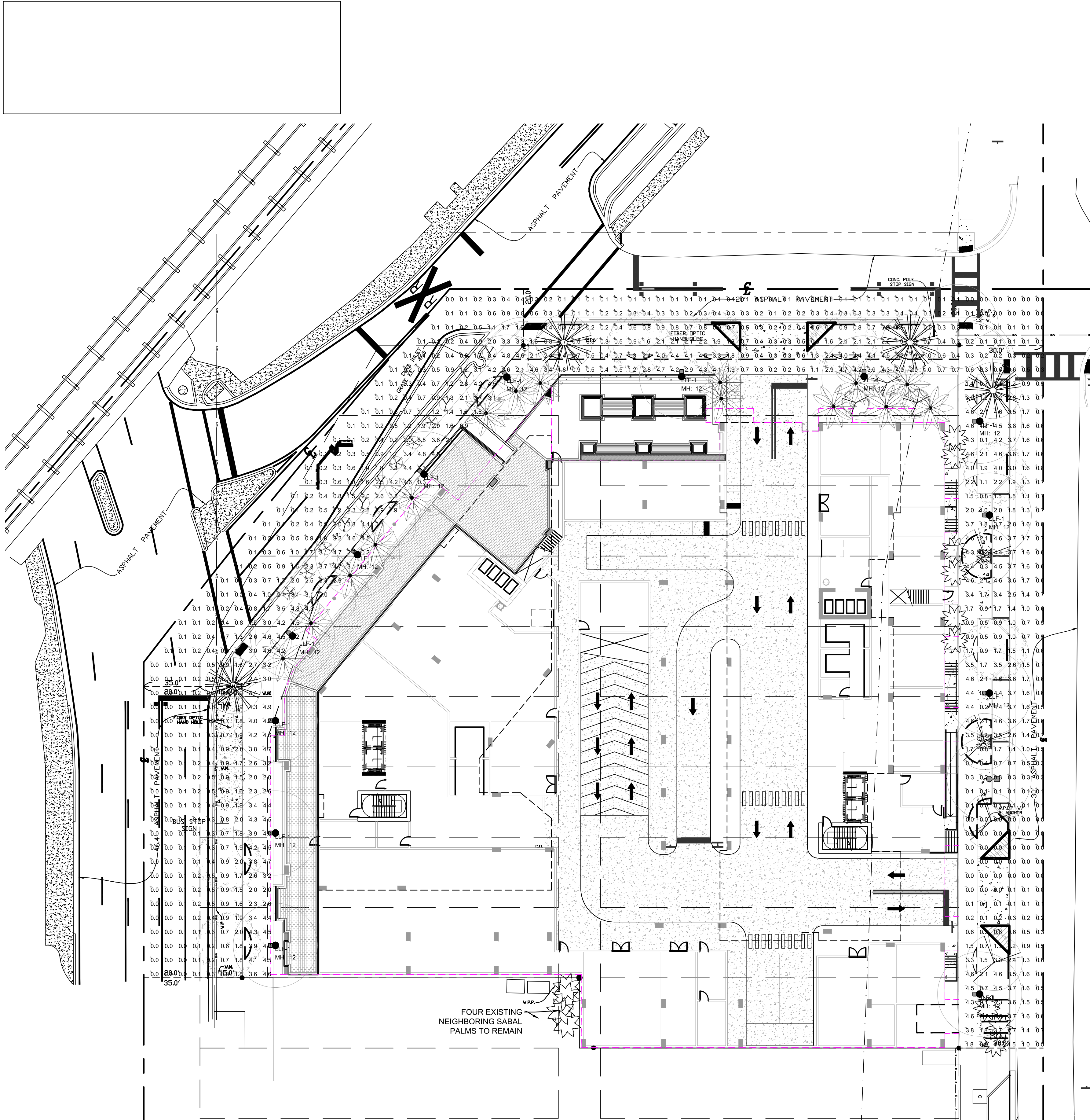
DRC SUBMITTAL SET

650 N. ANDREWS AVE.

FORT LAUDERDALE, FLORIDA

6 DRC ReSubmittal 10-10-2024

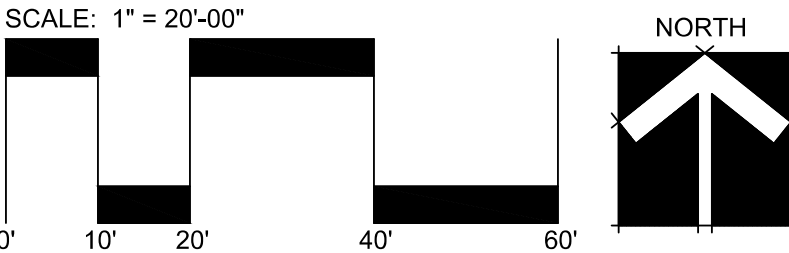
Sheet Description
POOL DECK LANDSCAPE PLAN
Release Date
10-13-2023
Project Number
2310
Drawing Number
L-213
Sheet 4 OF 4



Luminaire Schedule						
Symbol	Qty	Label	Description	Lum. Watts	Total Watts	LLF
	13	LLF-1	WE-EF #: 115-2082	42	546	0.950

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
SITE	1.30	4.9	0.0	N.A.	N.A.
SIDEWALK	2.71	4.9	0.0	N.A.	N.A.

650 N ANDREWS						
LIGHTING FIXTURE SCHEDULE						
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMPING		REMARKS
				TYPE	MAXIMUM WATTAGE	
LLF-1	WE-EF	115-2082-RAL007	LED PEDESTRIAN POST TOP LUMINAIRE	LED	42	TBD TENSION
LLF-1 POLE	ARTEC	ARST 04-10-A-TS RAL007	4" ROUND STRAIGHT ALUMINUM POLE	NA	NA	ANCHOR BASE
LIGHTING SCHEDULE NOTES:						
1. FOR TECHNICAL QUESTIONS CONTACT SESCO LIGHTING (LASON) (800) 888-8888 OR (305) 295-2288 OR JASON@SESCOLIGHTING.COM						
2. SPECIFIC LIGHTING FIXTURES, SELECTED BY TYPE, PHOTOMETRIC PERFORMANCE, LIGHTING PATTERN, AND LUMEN OUTPUT, WERE USED IN THE ILLUMINATION DESIGN TO PRODUCE THE REQUIRED EFFECT AND ILLUMINATION. SUBSTITUTION OF THE LIGHT FIXTURES WILL RESULT IN DIFFERENT ILLUMINATION COVERAGE AND LIGHTING PATTERN. THEREFORE, SUBSTITUTION OF LIGHTING FIXTURES WILL NOT BE ALLOWED.						
3. CONTRACTOR IS TO DETERMINE QUANTITY AND WATTAGES OF REMOTE POWER SUPPLIES REQUIRED BASED ON TOTAL LOAD WATTAGE, DISTANCE TO CENTER OF LOAD, AND SITE CONDITIONS. POWER SUPPLIES USED ARE TO DR. LIGHTING OR LIGHTING DEPENDS ON THE MANUFACTURE OF THE LUMINAIRE.						
4. CONTRACTOR IS TO MOUNT REMOTE TRANSFORMERS IN A MANNER THAT DOES NOT INTERFERE WITH THE LANDSCAPE DESIGN. TRANSFORMERS SHALL BE MOUNTED OUT OF DIRECT SIGHT OR BEHIND A CONCEALING STRUCTURE. LOW VOLTAGE LANDSCAPE WIRE POWERING TREE MOUNTED FIXTURES IS TO BE MOUNTED ON THE SIDE OF THE TREE OPPOSITE THE MOST DIRECT VIEW FROM LANDSCAPE PATHS OR ROADWAYS.						
5. ALL LUMINAIRES SHALL BEAR THE ILLUMINO NUMBERS FROM A NATIONALLY RECOGNIZED TESTING LABORATORY						



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4	DRC ReSubmittal	06-13-2024
5	DRC ReSubmittal	10-10-2024

DRC SUBMITTAL SET

650 N. ANDREWS AVE.

FORT LAUDERDALE, FLORIDA

Sheet Description

GROUND FLOOR

STREETSCAPE

PHOTOMETRICS

Release Date

10-13-2023

Project Number

2310

Drawing Number

L-300

Sheet 1 OF 2

