



# DEVELOPMENT APPLICATION FORM

Application Form: All Applications | Rev. 03/10/2022

**INSTRUCTIONS:** The following information is required pursuant to the City's Unified Land Development Regulations (ULDR). The development application form must be filled out accurately and all applicable sections must be completed. Only completed sections indicated for application type with N/A for those section items not applicable. Refer to "Specifications for Plan Submittal" by application type for information requirements for submittal. Select the application type and approval level in SECTION A and complete the sections specified.

**A APPLICATION TYPE AND APPROVAL LEVEL** *Select the application type from the list below and check the applicable type.*

<input type="checkbox"/> <b>LEVEL I</b> ADMINISTRATIVE REVIEW COMMITTEE (ADMIN) - New nonresidential less than 5000 square feet - Change of use (same impact or less than existing use) - Plat note/Nonvehicular access line amendment - Administrative site plan - Amendment to site plan* - Property and right-of-way applications (MOTs, construction staging) - Parking Agreements (separate from site plans) COMPLETE SECTIONS B, C, D, G	<input type="checkbox"/> <b>LEVEL II</b> DEVELOPMENT REVIEW COMMITTEE (DRC) - New Nonresidential 5,000 square feet or greater - Residential 5 units or more - Nonresidential use within 100 feet of residential property - Redevelopment proposals - Change in use (if great impact than existing use) - Development in Regional Activity Centers (RAC)* - Development in Uptown Project Area* - RAC signage COMPLETE SECTIONS B, C, D, E, F	<input type="checkbox"/> <b>LEVEL III</b> PLANNING AND ZONING BOARD (PZB) - Conditional Use - Parking Reduction - Flex Allocation - Cluster / Zero Lot Line - Modification of Yards* - Waterway Use - Mixed Use Development - Medical Cannabis Dispensing Facility* - Community Business District for uses greater than 10,000 square feet COMPLETE SECTIONS B, C, D, E, F	<input type="checkbox"/> <b>LEVEL IV</b> CITY COMMISSION (CC) - Land Use Amendment - Rezoning - Plat Approval - Public Purpose Use - Central Beach Development of Significant Impact* - Vacation of Right-of-Way City Commission Review Only (review not required by PZB) - Vacation of Easement* COMPLETE SECTIONS B, C, D, E, F
<input type="checkbox"/> <b>EXTENSION</b> - Request to extend approval date for a previously approved application COMPLETE SECTIONS B, C, H	<input type="checkbox"/> <b>DEFERRAL</b> - Request to defer after an application is scheduled for public hearing COMPLETE SECTIONS B, C, H	<input type="checkbox"/> <b>APPEAL/DE NOVO</b> - Appeal decision by approving body - De Novo hearing items COMPLETE SECTIONS B, C, H	<input type="checkbox"/> <b>PROPERTY AND ROW ITEM</b> - Road closures - Construction staging plan - Revocable licenses COMPLETE SECTIONS B, C, E

\*Application is subject to specific review and approval process. Levels III and IV are reviewed by Development Review Committee unless otherwise noted.

**B APPLICANT INFORMATION** *If applicant is the business operator, complete the agent column and provide property owner authorization.*

Applicant/Property Owner		Authorized Agent	
Address		Address	
City, State, Zip		City, State, Zip	
Phone		Phone	
Email		Email	
Proof of Ownership		Authorization Letter	
Applicant Signature:		Agent Signature:	

**C PARCEL INFORMATION** **D LAND USE INFORMATION**

Address/General Location		Existing Use	
Folio Number(s)		Land Use	
Legal Description (Brief)		Zoning	
City Commission District		Proposed Applications requesting land use amendments and rezonings.	
Civic Association		Proposed Land Use	
		Proposed Zoning	

**E PROJECT INFORMATION** *Provide project information. Circle yes or no where noted. If item is not applicable, indicate N/A.*

Project Name			
Project Description (Describe in detail)			
Estimated Project Cost	\$	(Estimated total project cost including land costs for all new development applications only)	
Waterway Use		Traffic Study Required	
Flex Units Request		Parking Reduction	
Commercial Flex Acreage		Public Participation	
Residential Uses		Non-Residential Uses	
Single Family		Commercial	
Townhouses		Restaurant	
Multifamily		Office	
Cluster/Zero Lot Line		Industrial	
Other		Other	
Total (dwelling units)		Total (square feet)	



**F PROJECT DIMENSIONAL STANDARDS** *Indicate all required and proposed standards for the project. Circle yes or no where indicated.*

	Required Per ULDR	Proposed	
Lot Size (Square feet/acres)			
Lot Density (Units/acres)			
Lot Width			
Building Height (Feet)			
Structure Length			
Floor Area Ratio (F.A.R)			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
SETBACKS (Indicate direction N,S,E,W)	Required Per ULDR	Proposed	
Front [ ]			
Side [ ]			
Corner / Side [ ]			
Rear [ ]			
<i>For projects in Downtown, Northwest, South Andrews, and Uptown Master Plans to be completed in conjunction with the applicable items above.</i>			
	Required Per ULDR	Proposed	Proposed Deviation
Tower Stepback			
Front / Primary Street [ ]			
Sides / Secondary Street [ ]			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate (square feet)			
Residential Unit Size (minimum)			

**G AMENDED PROJECT INFORMATION** *Provide approved and proposed amendments for project. Circle yes or no where indicated.*

Project Name			
Proposed Amendment Description (Describe in detail)			
	Original Approval	Proposed Amendment	Amended Item
Residential Uses (dwelling units)			
Non-Residential Uses (square feet)			
Lot Size (Square feet/acres)			
Lot Density (Units/acres)			
Lot Width			
Building Height (Feet)			
Structure Length			
Floor Area Ratio (F.A.R)			
Lot Coverage			
Open Space			
Landscape Area			
Parking Spaces			
Tower Stepback			
Building Height			
Streetwall Length			
Podium Height			
Tower Separation			
Tower Floorplate (square feet)			
Residential Unit Size (minimum)			
Does this amendment require a revision to the traffic statement or traffic study completed for the project?			
Does this amendment require a revised water sewer capacity letter?			

**H EXTENSION, DEFERRAL, APPEAL INFORMATION** *Provide information for specific request. Circle approving body and yes or no.*

Project Name			
Request Description			
EXTENSION REQUEST	DEFERRAL REQUEST	APPEAL REQUEST / DE NOVO HEARING	
Approving Body	Approving Body	Approving Body	
Original Approval Date	Scheduled Meeting Date	30 Days from Meeting (Provide Date)	
Expiration Date (Permit Submittal Deadline)	Requested Deferral Date	60 Days from Meeting (Provide Date)	
Expiration Date (Permit Issuance Deadline)	Previous Deferrals Granted	Appeal Request	
Requested Extension (No more than 24 months)	Justification Letter Provided	Indicate Approving Body Appealing	
Code Enforcement (Applicant Obtain by Code Compliance Division)		De Novo Hearing Due to City Commission Call-Up	



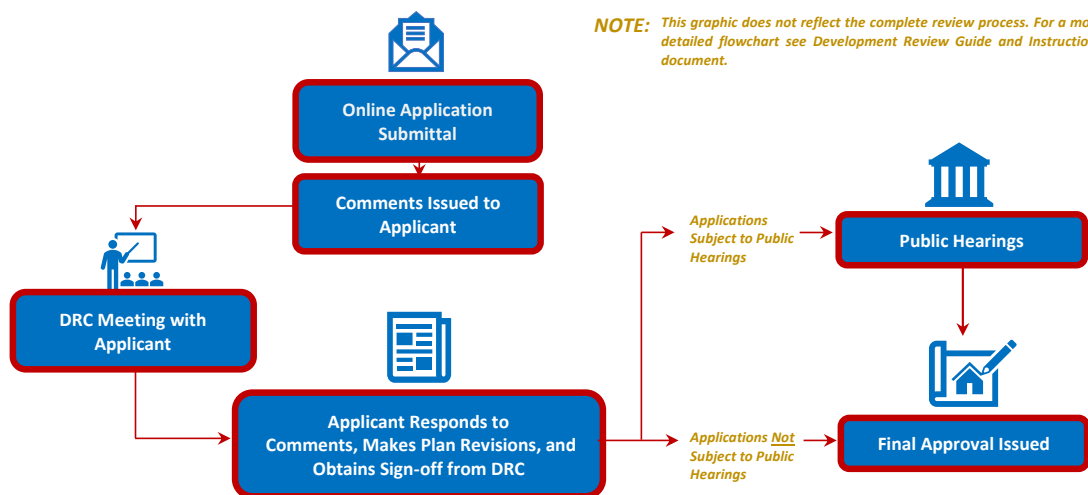
**CHECKLIST FOR SUBMITTAL AND COMPLETENESS:** The following checklist outlines the necessary items for submittal to ensure the application is deemed complete. Failure to provide this information will result in your application being deemed incomplete.

- Preliminary Development Meeting** completed on the following date: PROVIDE DATE
- Development Application Form** completed with the applicable information including signatures.
- Proof of Ownership** warranty deed or tax record including corporation documents and SunBiz verification name.
- Address Verification Form** applicant contact Devon Anderson at 954-828-5233 or [Danderson@fortlauderdale.gov](mailto:Danderson@fortlauderdale.gov)
- Project and Unified Land Development Code Narratives** project narrative and the applicable ULDR sections and criteria as described in the specifications for submittal by application type.
- Electronic Files, File Naming, and Documents** consistent with the applicable specifications for application type, consistent with the online submittal requirements including file naming convention, plan sets uploaded as single pdf.
- Traffic Methodology, Study or Statement** submittal of a traffic study or traffic statement.
- Stormwater Calculations** signed and sealed by a Florida registered professional engineer consistent with calculations as described in the specifications for plan submittal for site plan applications.
- Water and Wastewater Capacity Request** copy of email to Public Works requesting the capacity letter.

**OVERVIEW FOR ONLINE SUBMITTAL REQUIREMENTS:** Submittals must be conducted through the City's online citizen access portal [LauderBuild](#). No hardcopy application submittals are accepted. Below only highlights the important submittal requirements that applicants must follow to submit online and be deemed complete. View all the requirements at [LauderBuild Plan Room](#).

- **Uploading Entire Submittal** upload all documents at time the application is submitted to prevent delays in processing.
- **File Naming Convention** file names must adhere to the City's [File Naming Convention](#).
- **Reduce File Size** plan sets and other large files must be merged or flattened to reduce file size.
- **Plan Sets** plan sets like site plans, plats, etc. must be submitted as a single pdf file. Staff will instruct when otherwise.
- **Document Categories** choose the correct document category when uploading.

**DRC PROCESS OVERVIEW:** The entire development review process flowchart can be found in the [Development Application Guide and Instructions](#) document. Below is a quick reference flowchart with key steps in the process to guide applicants.



**CONTACT INFORMATION:** Questions regarding the development process or [LauderBuild](#), see contact information below.

GENERAL URBAN DESIGN AND PLANNING QUESTIONS
Planning Counter 954-828-6520, Option 4 <a href="mailto:planning@fortlauderdale.gov">planning@fortlauderdale.gov</a>

LAUDERBUILD ASSISTANCE AND QUESTIONS
DSD Customer Service 954-828-6520, Option 1 <a href="mailto:lauderbuild@fortlauderdale.gov">lauderbuild@fortlauderdale.gov</a>



September 29, 2023

# Dorsey-Riverbend Neighborhood Stormwater Pump Station

## City of Fort Lauderdale Development Review Committee (DRC) Application

### Project-Narrative

The proposed development is a stormwater pump station located at 515 NW 15 Avenue, Fort Lauderdale, FL 33311. The City of Fort Lauderdale is improving the stormwater infrastructure to reduce street flooding and stormwater runoff. The referenced site location is currently a vacant lot owned by the City of Fort Lauderdale. The proposed development will include a stormwater pump station, associated electrical building, and emergency generator. The stormwater pump station will collect stormwater runoff by gravity from the Dorsey-Riverbend Neighborhood as well as the Durrs Neighborhood to be conveyed via stormwater force main to a proposed outfall to the North Fork New River. The stormwater pump station is necessary to reduce stormwater runoff and reduce flooding in the Dorsey-Riverbend Neighborhood because gravity collection system alone is not effective due to location in a low-lying area.

The proposed pump station site is in a residential neighborhood with existing homes on each side of the lot. To preserve the neighborhood aesthetic, the proposed electrical building was designed with a Spanish colonial architectural style including faux doors, windows, and a terracotta pitched roof. The electrical building, emergency generator, and electrical transformer are designed to be on a raised platform 1.5 feet above the base flood elevation to protect from flooding events. Decorative stairs and railing in the front of the electrical building was added to blend in with residential features. The submersible stormwater pumps are in a wet well below grade. No. 57 stone will be installed in areas that are not concrete pavement to reduce maintenance. On site stormwater catch basins, drainage pipes, and swales will direct stormwater runoff into the stormwater pump station preventing runoff to neighboring properties. A decorative 6-foot vinyl fence will be installed around the pump station site for privacy and security. Landscape features include red tip cocoplum shrubs, (3) silver button wood trees planted in the rear of the property, three (3) Alexander Palms along the south side of the property, three (3) Sabal Palms on the North

side of the property, and two (2) live oak trees facing NW 15th Avenue. The Florida native low- maintenance landscape features will improve the appearance of the pump station property and help assimilate this development into the single-family neighborhood.

Jorge I Camacho  Digitally signed by  
Jorge I Camacho  
Date: 2023.09.29  
09:23:38-04'00'

Approved by:

Jorge I. Camacho PE



February 27, 2024

# Dorsey-Riverbend Neighborhood Stormwater Pump Station

## City of Fort Lauderdale Development Review Committee (DRC) Application

### **Responses to Unified Land Development Code**

The following list includes the Unified Land Development Code that applies to this project and the responses that comply with the code requirement.

Approved by:

Jorge I. Camacho PE



### Section 47-20.3, Parking Reduction

Code	Response
<p>A.</p> <p><i>General parking reduction.</i></p> <p>1.</p> <p>Notwithstanding the off-street parking requirements provided in this <a href="#">Section 47-20</a>, a parking reduction may be approved in accordance with the provisions of this section.</p>	<p>Parking Reduction not required. The property will not be occupied other than maintenance visits. City Staff will access the property for maintenance via the 14- foot-wide concrete driveway on the south side of the lot through the 6-foot-tall swing gate that matches the property fence.</p>

### Section 47-24.3, Conditional Use

Code	Response
<p>A.</p> <p><i>Generally.</i> It is the purpose of this section to provide criteria for conditional uses within specified zoning districts, which, because of certain characteristics as evaluated in the review criteria below, may not be appropriate at particular locations within the district, but which may be desirable in other locations for the orderly development of the city and for the public convenience or welfare.</p>	<p>Not applicable or required due to proposed development is an accessory use/building of a public stormwater pump station intended to remove stormwater from the neighborhood. The stormwater pump station will improve neighborhood conditions during flood/rain events.</p>

### Sec. 47-25.2. - Adequacy requirements.

Code	Response
<p>A.</p> <p><i>Applicability.</i> The adequacy requirements set forth herein shall be used by the city to evaluate the demand created on public services and facilities created by a proposed development permit.</p>	<p>Acknowledged. The proposed development is a public purpose use owned/operated by the City of Fort Lauderdale. The proposed development is a public stormwater pump station that meets adequacy requirements since it is an equipment space/use only. No occupancy is required other than</p>

	maintenance visits.
B. <i>Communications network.</i> Buildings and structures shall not interfere with the city's communication network. Developments shall be modified to accommodate the needs of the city's communication network, to eliminate any interference a development would create or otherwise accommodate the needs of the city's communication network within the development proposal.	The proposed stormwater pump station and associated electrical building will not have any significant impact to city's communication network since the height of the building will match a residential home.
C. <i>Drainage facilities.</i> Adequacy of stormwater management facilities shall be evaluated based upon the adopted level of service requiring the retention of the first inch of runoff from the entire site or two and one-half (2½) inches of runoff from the impervious surface whichever is greater.	There will be no stormwater runoff discharge to neighboring parcels. On site drainage will send site runoff into the wet well of the pump station to be discharged to the Nort Fork New River outfall.
D. <i>Environmentally sensitive lands.</i> 1. In addition to a finding of adequacy, a development shall be reviewed pursuant to applicable federal, state, regional and local environmental regulations. Specifically, an application for development shall be reviewed in accordance with the following Broward County Ordinances which address environmentally sensitive lands and wellfield protection which ordinances are incorporated herein by reference: a. Broward County Ordinance No. 89-6. b. Section 5-198(I), Chapter 5, Article IX of the Broward County Code of Ordinances. c. Broward County Ordinance No. 84-60. 2. The applicant must demonstrate that impacts of the proposed development to environmentally sensitive lands will be mitigated.	There are no environmentally sensitive lands according to Broward County protected natural land maps, and the project site is not located within the Broward County Wellfield zone of influence.
E. <i>Fire protection.</i> Fire protection service shall be adequate to protect people and property in	Acknowledged. There is a 16-inch potable water main abutting the project site and a fire hydrant located at the intersection of NW 15



<p>the proposed development. Adequate water supply, fire hydrants, fire apparatus and facilities shall be provided in accordance with the Florida Building Code, South Florida Fire Code and other accepted applicable fire and safety standards.</p>	<p>AVE and NW 5<sup>th</sup> ST.</p>
<p>F. <i>Parks and open space.</i> 1. The manner and amount of providing park and open space is as provided in <a href="#">Section 47-38A</a>, Park Impact Fees, of the ULDR. 2. No building permit shall be issued until the park impact fee required by <a href="#">Section 47-38A</a> of the ULDR has been paid in full by the applicant.</p>	<p>Acknowledged. No dwelling units are proposed.</p>
<p>G. <i>Police protection.</i> Police protection service shall be adequate to protect people and property in the proposed development. The development shall provide improvements which are consistent with Crime Prevention Through Environmental Design (CPTED) to minimize the risk to public safety and assure adequate police protection.</p>	<p>Acknowledged. The pump station site will be surrounded with a locked fence. The electrical building and wet well access hatch will also be secured with locks.</p>
<p>H. <i>Potable water.</i> 1. Adequate potable water service shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of potable water systems in accordance with city engineering standards, the Florida Building Code, and applicable health and environmental regulations. The existing water treatment facilities and systems shall have sufficient capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which potable water treatment capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the</p>	<p>Acknowledged. The water demand from the proposed development will be minimal. No restroom/kitchen facilities are proposed. No wastewater is proposed to be generated on site. A ¾ inch diameter potable water line is proposed to tie into existing 16-inch water main abutting the project site. The yard hydrant will be used for maintenance purposes of the site. A letter of adequate capacity will be requested to the Fort Lauderdale Public Works Division.</p>

<p>developer in accordance with Resolution 85-265, as it is amended from time to time. Improvements to the potable water service and system shall be made in accordance with city engineering standards and other accepted applicable engineering standards.</p> <p>2. <i>Potable water facilities.</i></p> <p>a. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.</p> <p>b. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the development.</p> <p>c. Where the county is the projected service provider, a similar written assurance will be required.</p>	
<p>I. <i>Sanitary sewer.</i></p> <p>1. If the system is tied into the city treatment facility, the available capacity shall be determined by subtracting committed capacity and present flow from the design capacity. If there is available capacity, the city shall determine the impact of the proposed development utilizing Table 3, Water and Wastewater, on file with the department.</p> <p>2. If there is adequate capacity available in the city treatment plant to serve the proposed development, the city shall reserve the necessary capacity to serve the proposed development.</p> <p>3. Where the county is the projected service provider, a written assurance will be required.</p> <p>4. Where septic tanks will be utilized, the applicant shall secure and submit to the city a</p>	<p>Acknowledged. There is no sanitary sewer line proposed. No wastewater will be generated on site. The pump station will be unoccupied majority of the time.</p>

<p>certificate from the Broward County Health Unit that certifies that the site is or can be made suitable for an on-site sewage disposal system for the proposed use.</p>	
<p>J. <i>Public Schools.</i> For all development including residential units, the applicant shall be required to mitigate the impacts of such development on public school facilities in accordance with the Broward County Land Development Code or <a href="#">section 47-38C</a>. Educational Mitigation, as applicable and shall provide a school capacity availability determination letter (SCAD) from Broward County Public Schools indicating that either the requirements of public school concurrency have been satisfied or that the application is exempt or vested pursuant to <a href="#">Section 47-38C.2</a> of the ULDR to the city prior to the issuance of a development permit.</p>	<p>No dwelling units are proposed and there will be no impact to public school capacity.</p>
<p>K. <i>Solid waste.</i> 1. Adequate solid waste collection facilities and service shall be obtained by the applicant in connection with the proposed development and evidence shall be provided to the city demonstrating that all solid waste will be disposed of in a manner that complies with all governmental requirements. 2. <i>Solid waste facilities.</i> Where the city provides solid waste collection service and adequate service can be provided, an adequacy finding shall be issued. Where there is another service provider, a written assurance will be required. The impacts of the proposed development will be determined based on Table 4, Solid Waste, on file with the department.</p>	<p>There will not be any solid waste generated. Bar screens located in the stormwater pump station wet well to capture debris will be cleaned by city staff as part of routine maintenance. All maintenance by city staff will remove solid waste as needed and disposed off-site at an approved waste disposal landfill.</p>
<p>L. <i>Stormwater.</i> Adequate stormwater facilities and systems shall be provided so that the removal of stormwater will not adversely affect adjacent streets and properties or the public stormwater facilities and systems in accordance with the Florida Building Code,</p>	<p>The stormwater on site will be collected via catch basins and underground storm sewer pipes directed to the proposed stormwater pump station on site for this project owned and operated by the city of Fort Lauderdale.</p>

<p>city engineering standards and other accepted applicable engineering standards.</p>	
<p>M. <i>Transportation facilities.</i></p> <p>1. The capacity for transportation facilities shall be evaluated based on Table 1, Generalized Daily Level of Service Maximum Volumes, on file with the department. If a development is within a compact deferral area, the available traffic capacity shall be determined in accordance with Table 2, Flowchart, on file with the department.</p> <p>2. <i>Regional transportation network.</i> The regional transportation network shall have the adequate capacity, and safe and efficient traffic circulation to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the adopted traffic elements of the city and the county comprehensive plans, and accepted applicable traffic engineering standards. Site-specific traffic studies may be required to be made and paid for by the applicant when the city determines such a study is needed in order to evaluate the impacts of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit such a study to the city which will be considered by the DRC in its review. Roadway improvements needed to upgrade the regional transportation network shall be made in accordance with the city, the county, and Florida Department of Transportation traffic engineering standards and plans as applicable.</p> <p>3. <i>Local streets.</i> Local streets shall have adequate capacity, safe and efficient traffic circulation, and appropriate functional classification to serve the proposed development. Adequate capacity and safe and efficient traffic circulation shall be determined by using existing and site-specific traffic studies, the city's comprehensive plan and accepted applicable traffic engineering standards. Site-specific traffic studies may be</p>	<ol style="list-style-type: none"> <li>1. Acknowledged. The proposed pump station will not generate any significant traffic. City staff will visit the pump station site for maintenance purposes as needed. One (1) truck per maintenance visit expected. The project site is owned by the city of Fort Lauderdale. Sidewalk will be restored during construction. One (1) street tree will be planted in compliance with the requirement for property abutting a street.</li> <li>2. Acknowledged. Impact to traffic will be minimal for maintenance visits. The pump station will be unoccupied.</li> <li>3. Acknowledged. Local streets have adequate capacity for the proposed use.</li> <li>4. Trips to the pump station site for maintenance as needed. Most of the time the pump station site will be unoccupied. There will not be frequent daily trips generated to meet this requirement for traffic impact study.</li> <li>5. Property is owned by the City of Fort Lauderdale.</li> <li>6. Sidewalk in front of the property will be restored to City neighborhood standards after construction.</li> <li>7. Proposed development does not abut an arterial street.</li> <li>8. Proposed development will not generate traffic. Minimal unoccupied use at the stormwater pump station.</li> <li>9. Two street trees are proposed in landscaping plan in front of the proposed fence before the property lot line.</li> </ol>

required to be made and paid for by the applicant when the city determines such a study is required in order to evaluate the impact of the proposed development on proposed or existing roadways as provided for in subsection M.4. An applicant may submit to the city such a study to be considered as part of the DRC review. Street improvements needed to upgrade the capacity or comply with the functional classification of local streets shall be made in accordance with the city engineering standards and acceptable applicable traffic engineering standards. Local streets are those streets that are not classified as federal, state or county roadways on the functional classification map adopted by the State of Florida.

4.

*Traffic impact studies.*

a.

When the proposed development may generate over one thousand (1,000) daily trips; or

b.

When the daily trip generation is less than one thousand (1,000) trips; and (1) when more than twenty percent (20%) of the total daily trips are anticipated to arrive or depart, or both, within one-half ( $\frac{1}{2}$ ) hour; or (2) when the proposed use creates varying trip generation each day, but has the potential to place more than twenty percent (20%) of its maximum twenty-four (24) hour trip generation onto the adjacent transportation system within a one-half ( $\frac{1}{2}$ ) hour period; the applicant shall submit to the city a traffic impact analysis prepared by the county or a registered Florida engineer experienced in trafficways impact analysis which shall:

i.

Provide an estimate of the number of average and peak hour trips per day generated and directions or routes of travel for all trips with an external end.

ii.

Estimate how traffic from the proposed development will change traffic volumes, levels of service, and circulation on the existing and programmed trafficways.

iii.

If traffic generated by the proposed development requires any modification of existing or programmed components of the regional or local trafficways, define what city, county or state agencies have programmed the necessary construction and how this programming relates to the proposed development.

iv.

A further detailed analysis and any other information that the review committee considers relevant.

v.

The traffic impact study may be reviewed by an independent licensed professional engineer contracted by the city to determine whether it adequately addresses the impact and the study supports its conclusions. The cost of review by city's consultant shall be reimbursed to the city by the applicant.

vi.

When this subsection M.4.b. applies, the traffic study shall include an analysis of how the peak loading will affect the transportation system including, if necessary, an operational plan showing how the peak trips will be controlled and managed.

5.

*Dedication of rights-of-way.* Property shall be conveyed to the public by plat, deed or grant of easement as needed in accordance with the Broward County Trafficways Plan, the city's comprehensive plan, subdivision regulations and accepted applicable traffic engineering standards.

6.

*Pedestrian facilities.* Sidewalks, pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and along roadways to adjacent properties. Transit service facilities shall be provided for as required by the city and Broward County Transit. Pedestrian facilities shall be designed and installed in accordance with city engineering standards and accepted applicable engineering standards.

7.

*Primary arterial street frontage.* Where a proposed development abuts a primary arterial street either existing or proposed in

<p>the trafficways plan, the development review committee (DRC) may require marginal access street, reverse frontage with screen planting contained in a nonaccess reservation along the rear property line, deep lots with or without rear service alleys, or such other treatment as may be necessary for adequate protection of residential properties and to assure separation of through and level traffic.</p> <p>8.  <i>Other roadway improvements.</i> Roadways adjustments, traffic control devices, mechanisms, and access restrictions may be required to control traffic flow or divert traffic, as needed to reduce or eliminate development generated traffic.</p> <p>9.  <i>Street trees.</i> In order to provide for adequate landscaping along streets within the city, street trees shall be required along the length of the property abutting a street. A minimum of fifty percent (50%) of the required street trees shall be shade trees, and the remaining street trees may be provided as flowering or palm trees. These percentages may be varied based on existing or proposed physical conditions which may prevent the ability to comply with the street tree requirements of this subsection. The street trees shall be planted at a minimum height and size in accordance with the requirements of <a href="#">Section 47-21</a>, Landscape and Tree Preservation Requirements, except in the downtown RAC districts the requirements of Sec. 47-13.20.H.8 shall apply. The location and number of street trees shall be determined by the department based on the height, bulk, mass and design of the structures on the site and the proposed development's compatibility to surrounding properties. The requirements for street trees, as provided herein, may be located within the public right-of-way as approved by the entity with jurisdiction over the abutting right-of-way.</p>	
<p>N.  <i>Wastewater.</i>            1.  <i>Wastewater.</i> Adequate wastewater services</p>	<p>There will not be any dwelling units, lavatories, or wastewater generated on site. The pump station will not be occupied. Wastewater services not required for the</p>

<p>shall be provided for the needs of the proposed development. The proposed development shall be designed to provide adequate areas and easements which may be needed for the installation and maintenance of a wastewater and disposal system in accordance with applicable health, environmental and engineering regulations and standards. The existing wastewater treatment facilities and systems shall have adequate capacity to provide for the needs of the proposed development and for other developments in the service area which are occupied, available for occupancy, for which building permits are in effect or for which wastewater treatment or disposal capacity has been reserved. Capital expansion charges for water and sewer facilities shall be paid by the developer in accordance with Resolution 85-265, as it is amended for time to time. Improvements to the wastewater facilities and system shall be made in accordance with the city engineering and accepted applicable engineering standards.</p>	<p>proposed use.</p>
<p>O. <i>Trash management requirements.</i> A trash management plan shall be required in connection with non-residential uses that provide prepackaged food or beverages for off-site consumption. Existing non-residential uses of this type shall adopt a trash management plan within six (6) months of the effective date of this provision.</p>	<p>Not Applicable. No food or beverages pre-packaged on site for proposed development.</p>
<p>P. <i>Historic and archaeological resources.</i> 1. If a structure or site has been identified as having archaeological or historical significance by any entity within the State of Florida authorized by law to do same, the applicant shall be responsible for requesting this information from the state, county, local governmental or other entity with jurisdiction over historic or archaeological matters and submitting this information to the city at the time of, and together with, a development permit application. The reviewing entity shall include this information in its comments.</p>	<p>The project site does not have any identified archeological or historical significance.</p>



<p>Q. <i>Hurricane evacuation.</i> If a structure or site is located east of the Intracoastal Waterway, the applicant shall submit documentation from Broward County or such agency with jurisdiction over hurricane evacuation analysis either indicating that acceptable level of service of hurricane evacuation routes and hurricane emergency shelter capacity shall be maintained without impairment resulting from a proposed development or describing actions or development modifications necessary to be implemented in order to maintain level of service and capacity.</p>	<p>Not applicable. The proposed development will be unoccupied therefore hurricane evacuation plan not required.</p>
---	--

**Sec. 47-25.3. - Neighborhood compatibility requirements.**

<b>Code</b>	<b>Response</b>
<p>A. The neighborhood compatibility requirements are as follows: 1. <i>Adequacy requirements.</i> See <a href="#">Sec. 47-25.2</a>.</p>	<p>Acknowledged.</p>
<p>2. <i>Smoke, odor, emissions of particulate matter and noise.</i> a. Documentation from the Broward County Department of Natural Resource Protection (DNRP) or a report by a certified engineer, licensed in the State of Florida, that the proposed development will not exceed the maximum levels of smoke, odor, emissions of particulate matter and noise as regulated by Chapter 27, Pollution Control, of the Code of Broward County, and that a DNRP permit for such facility is not required. b. Where a DNRP license is required in accordance with Chapter 27, Pollution Control, of the Code of Broward County, all supporting documentation and information to obtain such permit shall be submitted to the DRC as part of a site plan review. c. Such DNRP licenses shall be required to be issued and copies provided to the city prior to</p>	<p>Acknowledged. Contractor will apply for permits related to air pollution control for the diesel-powered emergency generator. The emergency generator will have a sound attenuation enclosure.</p>

<p>the issuance of a building permit for the proposed development.</p>	
<p>3. <i>Design and performance standards.</i> a. <i>Lighting.</i> No lighting shall be directed from a use which is subject to the requirements of this <a href="#">Sec. 47-25.3</a> in a manner which illuminates abutting residential property and no source of incandescent or mercury vapor illumination shall be directly visible from any abutting residential property. No neon lights inside or outside structures shall be visible from any abutting residential property. i. Glare. Any nonresidential operation or activity producing glare shall be conducted so that direct or indirect illumination of light shall not cause illumination in excess of one (1) footcandle on any abutting residential property except as provided in subsection iii. of this subsection a. ii. Control of effects of lights from automobiles or other sources. Where the site plan indicates potential adverse effects of parking or of other sources on the lot on which the nonresidential use is to be located, such effects shall be eliminated or at a minimum prevented so that lights do not illuminate adjacent residential property below a height of five (5) feet at the residential lot line, or from shining into any residential window if there is to be nonresidential parking on the premises after dark. iii. In addition to the above, parking lots and garages will be subject to the provisions of Sections <a href="#">47-20.14</a> and if in conflict with the provisions of this section, the more restrictive provisions shall apply.</p>	<p>Acknowledged. Lighting for the pump station site will not disturb the neighboring properties. Lighting on pump station site will not illuminate abutting residential property. Refer to lighting plans.</p>
<p>b. <i>Control of appearance.</i> The following design standards are provided to protect the character of abutting residential areas from the visual impact which may result from a use which is subject to the requirements of this <a href="#">Sec. 47-25.3</a>. i.</p>	<p>i. The electrical building is designed to resemble a residential home. Residential style faux door, fixtures, and faux window have been included in front facing façade to compliment adjacent residential homes.  The decorative railing, decorative brackets, multiple building color on details, uniform</p>

<p><i>Architectural features.</i> The facade of any side of a nonresidential building facing the residential property shall be constructed to compliment a residential structure and shall include the following:</p> <p>a) Fenestration such as windows, doors and openings in the building wall; and</p> <p>b) Shall contain a minimum of one (1) feature from each of the following architectural feature groups with a total of four (4) architectural features from the following list:</p> <p>1. Detail and embellishments:</p> <p>a. Balconies,</p> <p>b. Color and material banding,</p> <p>c. Decorative metal grates over windows,</p> <p>d. Uniform cornice heights,</p> <p>e. Awnings.</p> <p>2. Form and mass:</p> <p>a. Building mass changes including projection and recession,</p> <p>b. Multiple types and angles of roofline, or any combination thereof.</p> <p>c) The above required facade treatment shall be required to continue around the corner onto the adjoining wall for a distance of twenty (20) feet.</p> <p>ii. <i>Loading facilities.</i> Loading and service facilities shall be screened so as not to be visible from abutting residential uses or vacant residential zoned property.</p> <p>iii. <i>Screening of rooftop mechanical equipment.</i> All rooftop mechanical equipment, stair and elevator towers shall be designed as an integral part of the building volume and shall be required to be screened with material that matches the material used for the principal structure and shall be at least</p>	<p>cornice heights, and pitched terracotta roof compliment the neighboring homes. The Spanish colonial style building mass is projected to blend in with the neighborhood; see architectural sheets.</p> <p>ii. Decorative fence shall be constructed around the property to provide screening of the pump station and electrical building. There will not be regular loading/service at the site since the pumps run automatically.</p> <p>iii. There are no rooftop mechanical equipment.</p>
---	---

<p>as high as six (6) inches above the top most surface of the roof mounted structure.</p>	
<p>c. <i>Setback regulations.</i> When a nonresidential use which is subject to the requirements of this <a href="#">Sec. 47-25.3</a> is contiguous to any residential property, there shall be an additional setback required for any yard of that use which is contiguous to the residential property, as follows:</p> <p>i. When any side of a structure greater in height than forty (40) feet is contiguous to residential property, that portion of the structure shall be set back one (1) foot for each one (1) foot of building height over forty (40) feet up to a maximum width equal to one-half (½) the height of the building, in addition to the required setback, as provided in the district in which the proposed nonresidential use is located.</p>	<p>No structure greater than forty (40) feet is proposed.</p>
<p>d. <i>Bufferyard requirements.</i> Excluding parks, open space and conservation areas, when a use which is subject to the requirements of this <a href="#">Sec. 47-25.3</a> is contiguous to any residential property, the property where the use is located shall be required to have a landscaped strip area and a physical barrier between it and the residential property. Such landscape strip shall meet the following requirements:</p> <p>i. <i>Landscape strip requirements.</i> A ten (10) foot landscape strip shall be required to be located along all property lines which are adjacent to residential property. Such landscape strip shall include trees, shrubs and ground cover as provided in the landscape provisions of <a href="#">Section 47-21</a>, Landscape and Tree Preservation Requirements. The width of the landscape area shall extend to the property line. All required landscaping shall be protected from vehicular encroachment. When walls are required on nonresidential property abutting an alley, required shrubbery shall be installed and located within the landscape area on the exterior of the wall.</p>	<p>The pump station and associated electrical building is designed to blend in with the neighboring residential features. The front of the property will have landscaping features including groundcover (Bahia sod), shrubs (red tip cocoplum), and trees (live oak and silver buttonwood). The side yard is required to be free of obstruction for maintenance crew to have access to the pump station, electrical building, generator, and transformer for maintenance.</p> <p>The pumping facility is part of the infrastructure of the neighborhood just like the streets, sidewalks, and curbs. It is part of the stormwater drainage system. An opaque fence is being provided to screen the facility from view and to control access to it. There is insufficient room on the site on the north or south side for additional landscape – mainly due to the FPL easement needed at the South side of the parcel. There is a possibility of adding additional landscape on the west side of the property, but it would sit out of view between two fences. The portion of the facility that is visible above the fence has been designed to be compatible with the neighborhood.</p>

<p>ii. <i>Parking restrictions.</i> No parking shall be located within twelve (12) feet of the property line, within the yard area required by the district in which the proposed nonresidential use is located, when such yard is contiguous to residential property.</p>	<p>Permanent parking not required. Only parking in driveway is required for maintenance visits by city staff.</p>
<p>iii. <i>Dumpster regulations.</i> All solid waste refuse containers (dumpsters) shall be set back a minimum of twelve (12) feet from any property line which is contiguous to residential property, and shall be screened in accordance with the Dumpster requirements, as provided in <a href="#">Section 47-19</a>, Accessory Uses, Buildings and Structures.</p>	<p>Acknowledged. No dumpster is proposed for project site.</p>
<p>iv. <i>Wall requirements.</i> A wall shall be required on the nonresidential property, a minimum of five (5) feet in height, constructed in accordance with <a href="#">Section 47-19.5</a> and subject to the following:</p> <p>a) Decorative features shall be incorporated on the residential side of such wall according to the requirements of <a href="#">Section 47-19.5</a>,</p> <p>b) Shall be located within, and along the length of the property line which abuts the residential property,</p> <p>c) When the nonresidential property is located adjacent to an alley such wall shall be located at least five (5) feet from the right-of-way line located closest to the nonresidential property,</p> <p>d) When a utility, or other public purpose easement, on the nonresidential property precludes the construction of a wall, then an opaque fence, constructed in accordance with the standards described in <a href="#">Section 47-19.5</a>, may be erected in lieu of the wall required by subsection iv. above. The use of an opaque fence as a physical barrier between nonresidential and residential property shall be reviewed and recommended by the city engineer.</p>	<p>An opaque decorative vinyl fence six feet in height is proposed to run along property line in lieu of wall.</p>

<p>v. <i>Application to existing uses.</i> Within five (5) years from the effective date of subsections A.3.c and d (effective date: September 19, 1989), all nonconforming uses of land which were in existence prior to such date shall comply with the requirements of subsections A.3.c and d unless compliance would cause one (1) or more of the following to occur:</p> <p>a) Demolition of any load-bearing portion of a building as it exists on September 19, 1989, the effective date of subsections A.3.c and d;</p> <p>b) Reduction of required parking spaces;</p> <p>c) A reduction in the number of parking spaces provided for use of a parcel which would be required if based on the parking requirements of <a href="#">Section 47-20</a>, Parking and Loading Requirements in effect on and applicable to such use on March 6, 1990;</p> <p>d) Relocation of an existing wall which complied with the Code prior to September 19, 1989, the effective date of subsections A.3.c and d;</p> <p>e) Access to the land would be substantially impaired;</p> <p>f) Installation of the wall as provided in subsection iv. would require a modification of the existing vehicular use area, which would impair traffic circulation on the site and a minimum five (5) foot high hedge, fence or other physical barrier is in place along the length of the nonresidential property line which abuts the residential property;</p> <p>g) In such cases, the use shall otherwise comply with the requirements of this section to the maximum possible extent; however, the requirement of subsections A.3.d.i to install a landscape strip shall be met if an abutting residential property owner agrees in writing that the landscape strip may be placed on his or her property. An agreement in form provided by the department must be executed by the applicant and the abutting property owner. If the abutting property owner removes the landscape strip after it has been</p>	<p>No existing use applicable. Site is currently vacant lot. Only exception requested is omission of the landscape 10 foot buffer on rear and side property line to allow space for utilities essential to pump station operation.</p>
--	--

<p>installed, there shall be no further requirement to install another landscape strip on the abutting property in connection with the commercial use which existed at the time of the initial installation.</p>	
<p>e. <i>Neighborhood compatibility and preservation.</i> In addition to the review requirements provided in subsections A.1, A.2 and A.3.a, b, c, and d, the following review criteria shall also apply as provided below:</p> <p>i. All developments subject to this <a href="#">Sec. 47-25.3</a> shall comply with the following:</p> <p>a) Development will be compatible with, and preserve the character and integrity of adjacent neighborhoods, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods. These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, bufferyards, alteration of building mass, and the addition of landscaping, walls, or both, to ameliorate such impacts. Roadway adjustments, traffic control devices or mechanisms, and access restrictions may be required to control traffic flow or divert traffic as needed to reduce or eliminate development generated traffic on neighborhood streets.</p> <p>b) Consideration shall be given to the recommendations of the adopted neighborhood master plan in which the proposed development is to be located, or which it abuts, although such neighborhood master plan shall not be considered to have the force and effect of law. When recommended improvements for the mitigation of impacts to any neighborhood, conflicts with any applicable ULDR provision, then the provisions of the ULDR shall prevail. In order to ensure that a development will be</p>	<p>i. a) Proposed development is incorporating architectural features, landscaping, setback requirements, and noise attenuation to preserve the neighborhood aesthetic. The site is currently an open vacant lot and the design elements of the pump station will blend in with the neighborhood.</p> <p>b) Acknowledged. The proposed stormwater pump station design elements will minimize adverse impacts to noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods. Efforts were made to comply with majority of the unified land development code. The proposed site is a small residential lot and its intended purpose to provide relief from flood events during heavy rainstorms will be a benefit to the community.</p>

<p>compatible with, and preserve the character and integrity of adjacent neighborhoods, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent neighborhoods. These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, bufferyards, alteration of building mass, and the addition of landscaping, walls, or both, to ameliorate such impacts. Roadway adjustments, traffic control devices or mechanisms, and access restrictions may be required to control traffic flow or divert traffic as needed to reduce or eliminate development generated traffic on neighborhood streets.</p>	
<p>iv. All development that is located on land within the CBA zoning districts; AND All development that is zoned RMM-25, RMH-25 and RMH-60 east of the Intracoastal Waterway; AND All nonresidential development lying east of the Intracoastal Waterway. a) In addition to meeting the other applicable review requirements of this subsection 3., it shall be determined if a development meets the Design and Community Compatibility Criteria. The purpose of the Community Compatibility Criteria is to define objectives for private sector development which either abuts or is readily visible from public corridors. The relationship between private and public sector development must be carefully planned to avoid negative impacts of one upon the other. The city's intent in implementing these objectives is to: i. Protect the investment of public funds in public corridor improvements. ii.</p>	<p>Not applicable. This is a public city owned project that is not located in CBA zoning district or zone RMM-25, RMH-25 and RMH-60 east of the Intracoastal Waterway or nonresidential development lying east of the Intracoastal Waterway.</p>



<p>Improve the visual and functional quality of both public and private development by coordinating the transition between these areas.</p> <p>iii. The ultimate goal of these objectives is to integrate buildings, vehicular circulation, pedestrian circulation, open space and site elements into a unique, pedestrian sensitive environment which stimulates revitalization.</p>	
---	--

**Sec. 47-18.26. - Public purpose uses.**

<b>Code</b>	<b>Response</b>
<p>A. Any provision to the contrary notwithstanding, publicly owned structures may be erected and lands used for public purposes, in any zoning district in the city unless prohibited by the city comprehensive plan; provided, however, no building or use permit shall be issued by the city for any such plans, locations or use without the prior approval of the city commission as provided herein.</p>	<p>Acknowledged. DRC Site Level IV application submitted for consideration by the city commission.</p>
<p>B. Consideration of the approval of a use or structure for public purposes which requires relief from a zoning regulation of the city shall be initiated by filing an application for approval with the department by the property owner or the person or entity wishing to use the property for a public purpose.</p>	<p>Acknowledged. DRC Site Level IV application submitted for consideration by the city commission.</p>
<p>C. An application for a public use or structure shall include: 1. A conceptual site plan showing the size and location of all structures on or to be located on the property, including but not limited to elevations, location of vehicular and pedestrian ingress and egress, landscaping and floor plans. If the public purpose is to utilize property as a social service residential facility, the site plan shall show how the use or structure meets the requirements of <a href="#">Section 47-18.32</a>;</p>	<p>A proposed site plan for the stormwater pump station has been submitted for consideration showing all structures including the pumpstation, emergency generator, electrical building, floor plans, vehicle access, and landscape requirements.</p>

<p>2. A legal description of the property;</p>	<p>Lot 12, Block 1, of Dorsey Park First Addition, plat book 21, page 30, Broward County Records.</p>
<p>3. A description of the zoning regulation from which relief is necessary to conduct the public use or construct the public structure;</p>	<p>The zoning RS-8 district is intended to provide areas within the city for single family detached residences and accessory uses. The proposed stormwater pump station shall serve as a public use structure to provide stormwater and flood control management in the Dorsey Riverbend neighborhood. The PS building will not exceed the maximum structure height required for this zoning. The proposed PS will comply with the front clearance of 25ft, side yards of 5 ft and rear yard of 15 ft.</p>
<p>4. A description of the need for the public use or structure including a description of other similar uses or structures and their locations in the city;</p>	<p>The Dorsey Riverbend Neighborhood stormwater improvements is 1 of 7 priority neighborhoods identified in the City of Fort Lauderdale Stormwater Master Plan. The proposed stormwater pump station is necessary to reduce flooding in the low-lying areas of the Dorsey Riverbend Neighborhood. Gravity storm sewer pipes is not sufficient in the areas of low elevation therefore a pump station must convey the stormwater runoff via force main to the proposed North Fork New River outfall. The Durrs neighborhood will also convey stormwater runoff flows into the proposed Dorsey Riverbend pump station. The pump station is necessary to reduce flooding in the neighborhoods and protect life and property. Another stormwater pump station is being constructed in the River Oaks Neighborhood as part of the Fort Lauderdale stormwater master plan.</p>

<p>5. A description of the reason why the proposed location is necessary in relation to the need for the use or structure;</p>	<p>The proposed location for the stormwater pump station is necessary because the low elevations make the neighborhood vulnerable to flooding during storm events. Gravity storm sewer system is not sufficient to manage the flooding. The neighborhood is primarily residential therefore the space for a stormwater pump station is limited. The proposed site is currently vacant and owned by the City of Fort Lauderdale which would facilitate the construction of the stormwater pump station.</p>
<p>6. A description of what makes the location of the use or structure on the property desirable;</p>	<p>The site is a City owned vacant lot and is in the low-lying area of the Dorsey Riverbend neighborhood. The gravity storm collection system needs a pump station to convey the stormwater runoff via force main to the outfall at the North Fork New River.</p>
<p>7. A description of the economic and environmental impact on the area as a result of permitting the use or structure;</p>	<p>The economic benefits of the stormwater pump station would be to reduce the effects of flooding in the Dorsey Riverbend neighborhood protecting life and property from flood damage. The proposed pump station will improve the resiliency of the Dorsey Riverbend neighborhood. The projected rising sea level rise and increased frequency of large storm events create a need for effective stormwater management. The local business will also benefit from the improved stormwater management system by reducing interruption to services from storm events.</p>
<p>8. A description of the impact of the use or structure on neighboring properties;</p>	<p>The stormwater pump station will protect and reduce flooding impacts to neighboring properties. Protection of public health and preservation of properties are a major benefit of the proposed pump station.</p>
<p>9. A description of how the site plan addresses any negative impacts which might occur as a result of permitting the use or structure;</p>	<p>The site plan shows that on site drainage structures will prevent stormwater runoff to the neighboring properties by directing the runoff via underground storm sewer pipes into the on-site pump station. The architectural features and landscaping shown on the site plan will minimize any visual impact to the surrounding homes.</p>

<p>10. A description of off-site or on-site factors which mitigate any negative impacts which might occur as a result of permitting the public use or structure; and</p>	<p>The architectural design will have faux windows and doors that will blend in with the adjacent homes and privacy fence will reduce the visual impact of the pump station. Landscaping features are also included in the design to improve visual and environmental factors. The submersible pumps will be located underground minimizing noise factor.</p>
<p>11. A description of the efforts to locate other sites for the use or structure and reasons why other sites are not as desirable as the site proposed (factors in considering feasibility may include land use, zoning, economic, geographic factors and size).</p>	<p>Stormwater modeling was conducted in the preliminary design phase of the stormwater masterplan that included future climate projections to identify areas most vulnerable to severe flooding within the City of Fort Lauderdale. The Dorsey neighborhood was identified as a priority area that requires upgraded stormwater management system. The Dorsey neighborhood was scouted for city owned, vacant lots, central to the area to site the pump station. The location of the proposed stormwater pump station is necessary because of the low elevations in the area that gravity sewers alone cannot remove the stormwater off-site. The pump station site is also critical to provide relief to the Durrs neighborhood upstream of NW 15 Avenue that will be directing stormwater runoff via interceptor to Dorsey Neighborhood.</p>
<p>D. The application shall be reviewed by the city department responsible for review of development permits for a determination that the application is complete and forwarded to the development review committee (DRC). After review and comments by the DRC, the application shall be forwarded to the planning and zoning board for review. The recommendation of the DRC and the planning and zoning board shall be forwarded to the city commission.</p>	<p>Acknowledged.</p>

<p>E. The city commission shall hold two (2) public hearings to consider an ordinance approving a public purpose use or structure and shall provide notice of hearing utilizing the same notice requirements as for a rezoning.</p>	<p>Acknowledged.</p>
<p>F. The city commission may approve or approve with conditions the application for location of a public use or structure based on the following findings:</p> <ol style="list-style-type: none"> <li>1. There is a need for the use or structure to be located where proposed.</li> <li>2. The use meets a valid municipal purpose.</li> <li>3. The location of the use or structure is not in conflict with the city comprehensive plan.</li> <li>4. Off-site or on-site conditions exist which reduce any impact of permitting the public use or structure.</li> <li>5. On-site improvements have been incorporated into the site plan which minimize any adverse impact as a result of permitting the public use or structure.</li> <li>6. Alternative locations have been identified and reviewed or it has been determined that no feasible alternative locations are available.</li> <li>7. The proposed site is found to be the most feasible for location of the public use or structure.</li> <li>8. The public purposes to be met by the location of the use or structure outweigh the application of the zoning regulation and prohibiting the location of the public use or structure.</li> </ol>	<p>F.</p> <ol style="list-style-type: none"> <li>1. There is a need for the stormwater pump station at the proposed location because the Dorsey Riverbend Neighborhood experiences flooding during heavy rain events. The proposed site is in a low point of the neighborhood which allows stormwater to flow by gravity to the pump station where it than needs to be pumped via force main to the North Fork New River outfall.</li> <li>2. The proposed use meets a valid municipal purpose since it will be a public works owned pump station that will reduce flooding in the Dorsey Riverbend neighborhood.</li> <li>3. The location of the use is not in conflict with the city comprehensive plan. The proposed pump station is part of the effort to provide resilient and sustainable stormwater management plan to the neighborhood.</li> <li>4. There are no off-site or on-site conditions that reduce any impact of permitting the public use structure.</li> <li>5. On site improvements have been incorporated to the site plan, which minimize any adverse impact as a result of permitting the public use or structure. These improvements include Florida native landscaping, stormwater drains, and aesthetic architectural features.</li> <li>6. Alternative locations were evaluated during the preliminary design and the proposed site is the only feasible alternative that is available and located in a central low point that needs a stormwater pump station to reduce flooding.</li> <li>7. The proposed site is found to be the most feasible for location of the public</li> </ol>

	<p>use structure. Hydraulic modeling of rain events was evaluated to identify areas that require the most stormwater improvements to relieve flooding. The pump station site is in a low point of the neighborhood that requires a pump station to pump the stormwater to the North Fork New River outfall.</p> <p>8. The public purpose to be met by the location of the use of the public stormwater pump station outweighs the application of the zoning regulation. The stormwater improvements would benefit the Dorsey Riverbend Neighborhood making the area more resilient and sustainable while reducing the negative impacts of stormwater flood events. The pump station is part of the City's efforts to provide proactive stormwater infrastructure that is critically needed.</p>
<p>G. The approval of a public use or facility shall terminate when the use or facility is no longer publicly owned or used, and the property upon which the use or facility is located shall be subject to the requirements of the zoning district within which it is located.</p>	<p>Acknowledged.</p>



INDEX OF DRAWINGS		
SHEET SEQUENCE	SHEET NUMBER	SHEET TITLE
<b>GENERAL</b>		
0	GG-GN-00	TITLE SHEET AND LOCATION MAP
1	GG-GN-01	DRC PERMIT - LIST OF DRAWINGS
2	GG-GN-02	ABBREVIATIONS
3	GG-GN-03	SYMBOLS
4	GG-GN-04	GENERAL NOTES
5	SU-1B	SURVEY PLAN
6	GG-KY-01	AERIAL MAP AND BOUNDARY
7	GG-DRC-01	DRC PERMIT KEY MAP
8	GG-DRC-02	DRC PERMIT PROPOSED SITE PLAN
<b>CIVIL - DETAILS</b>		
9	CZ-DT-14	CIVIL DETAILS - SHEET 14
<b>LANDSCAPE</b>		
10	LD-01	TREE DISPOSITION PLAN
11	LD-02	LANDSCAPE PLAN
12	LD-03	LANDSCAPE DETAILS
<b>MECHANICAL - PROCESS</b>		
13	MD-DR-01	PUMP STATION DETAILS
14	MD-DR-02	PUMP STATION UPPER PLAN
15	MD-DR-03	PUMP STATION SECTIONS
16	MD-DR-04	PUMP STATION DETAILS
<b>ELECTRICAL</b>		
17	ED-DR-02	ELECTRICAL BUILDING POWER AND LIGHTING PLANS
18	EY-SH-02	PANELBOARD AND LIGHT FIXTURE SCHEDULES
<b>ARCHITECTURE</b>		
19	AA-DR-01	PUMP STATION PLANS
20	AA-DR-02	ELEVATIONS
21	AA-DR-03	BUILDING SECTIONS
22	AA-DR-04	PUMP STATION SCHEDULES AND DETAILS
23	AA-DR-05	PUMP STATION ILLUSTRATIVE SITE PLAN
24	AA-DR-06	PUMP STATION 3D RENDERINGS
<b>CIVIL</b>		
25	CD-ST-01	PUMP STATION SITE PLAN
26	CD-ST-02	EROSION CONTROL SITE PLAN
<b>CIVIL-DETAILS</b>		
27	CZ-DT-04	CIVIL DETAILS - SHEET 4
28	CZ-DT-05	CIVIL DETAILS - SHEET 5

PLOT DATE: 9/25/2023 8:46 AM BY: JECLARKREF

**Hazen**  
 HAZEN AND SAWYER  
 4000 HOLLYWOOD BLVD, SUITE 750N  
 HOLLYWOOD, FLORIDA 33021  
 Certificate of Authorization No: 2771



3250 West Commercial Boulevard  
 Suite 100  
 Ft. Lauderdale, Florida 33309-3459  
 Certificate of Authorization No: 4213

ENGINEER: DANIEL S. STANKEZ  
 REG. NO. 90006  
 DATE: 04/2023  
 SCALE: NONE  
 DRAWN BY: HJD  
 CHECKED BY: BK  
 IS FILED BOOK: XXXX

CITY OF FORT LAUDERDALE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING & ARCHITECTURE  
 100 North Andrews Avenue, Fort Lauderdale, Florida, 33301

NO.	DATE	BY (CHKD)	DESCRIPTION

DRC PERMIT - NOT FOR CONSTRUCTION

PROJECT # 11845  
 STORMWATER IMPROVEMENTS  
 DORSEY RIVERBEND NEIGHBORHOOD  
 DRC PERMIT - LIST OF DRAWINGS

SHEET NO.  
**GG-GN-01**  
 TOTAL:  
 CAD FILE:  
 11845-GG-GN01  
 DRAWING FILE NO.  
 4-143-65

File = C:\pwworking\east01\d3012214\11845-GG-GN01 Saved by JECLARK Save date = 7/21/2023 11:19 AM



ABBREVIATIONS

VALVE AND FITTING ABBREVIATIONS:	GENERAL	GENERAL CONT.	GENERAL CONT.	GENERAL CONT.
ARV AIR RELIEF VALVE	A ARC DISTANCE	ES ELECTRICAL SERVICE	MH MANHOLE	V VENT
BF BLIND FLANGE	AB ANCHOR BOLT	ESC EROSION AND SEDIMENT CONTROL	MIN MINIMUM	VERT VERTICAL
BFV BUTTERFLY VALVE	A/C AIR CONDITIONER	EXH EXHAUST	MO MASONRY OPENING	VP VENT PIPE
BV BALL VALVE	ACU AIR CONDENSATE UNIT	EXIST EXISTING	MOV MOTOR OPERATED VALVE	VTR VENT THROUGH ROOF
CO CLEAN OUT	AL, ALUM ALUMINUM	EXP EXPANSION	NAVD NORTH AMERICAN VERTICAL DATUM	W WIDE
CPLG COUPLING	α ANGLE	EXT EXTERIOR	NGVD NATIONAL GEODETIC VERTICAL DATUM	W/ WITH
CV CHECK VALVE	APPROX APPROXIMATE	FDOT FLORIDA DEPARTMENT OF TRANSPORTATION	NIC NOT IN CONTRACT	WATR WATER
DV DIAPHRAGM VALVE	ARCH ARCHITECTURAL	FDR FLOOR DRAIN	NO NUMBER	WGR WOOD GUARDRAIL
EXP JT EXPANSION JOINT	BLDG BUILDING	FE FIRE EXTINGUISHER	NTS NOT TO SCALE	W/L WATER LEVEL
FCO FLOOR CLEAN OUT	BLK BLOCK	FF FINISH FLOOR	OC ON CENTER	W/O WITH OUT
FD FLOOR DRAIN	BM BENCHMARK	FG FINISH GRADE	OD OUTSIDE DIAMETER	WWF WELDED WIRE FABRIC
FH FIRE HYDRANT	BOTT BOTTOM	FIN FINISH	OPNG OPENING	WUP WOOD UTILITY POLE
FLG FLANGE	BOW BACK OF WALK	FL FLOOR	PRB POLLUTION RETARDANT BAFFLE	
FS FLOOR SINK	BP BID PACKAGE	FM FORCE MAIN	PS PUMP STATION	
GV GATE VALVE	CA CENTRAL ANGLE	FND FOUND	PT PRESSURE TREATED	
HB HOSE BIBB	CB CATCH BASIN	FP FLAG POLE	R RIM	
HD HUB DRAIN	CC CENTER TO CENTER	FT FOOT OR FEET	RAD, R RADIUS	
ICV IRRIGATION CONTROL VALVE	CHK'D CHECKERED	FTG FOOTING OR FITTING	RECIR RECIRCULATION	
LR LONG RADIUS	C.I. CURB INLET	GALV GALVANIZED	RE RIM ELEVATION	
MJ MECHANICAL JOINT	CJ CONSTRUCTION JOINT	GPM GALLONS PER MINUTE	REHAB REHABILITATION	
NPT NATIONAL PIPE THREAD	CL, q CENTER LINE	GR GRADE	REINF REINFORCING	
PE PLAIN END	CLF CHAIN LINK FENCE	H HIGH	REQ'D REQUIRED	
PV PLUG VALVE	CLR CLEAR	HORIZ HORIZONTAL	R/W, ROW RIGHT OF WAY	
PRV PRESSURE RELIEF VALVE	COL COLUMN	HP HIGH POINT	SECT SECTION	
RED REDUCER	CO COMPANY	HS HIGH SERVICE	SHT SHEET	
SOV SOLENOID OPERATED VALVE	CONC, C CONCRETE	HWL HIGH WATER LEVEL	SLB SIGNAL LIGHT BOX	
THD THREADED	CONST CONSTRUCTION	ID INSIDE DIAMETER	SMH STORMWATER MANHOLE	
VAC VACUUM	CONT CONTINUOUS	IE INVERT ELEVATION	SPEC SPECIFICATION	
	CONTR CONTRACTOR	IF INSIDE FACE	SO SQUARE	
	CP CONCRETE POST	IN INCH	SS STAINLESS STEEL	
	DET DETAIL	INFL INFLUENT	STIN STORM INLET	
	DIA DIAMETER	INJ INJECTION	STMH STORM MANHOLE	
	DIAG DIAGONAL	INSUL INSULATION	STL STEEL	
	DIM DIMENSION	INT INTERIOR	STRUC STRUCTURAL	
	DISDIR DIRECTION	INV INVERT	SYMM SYMMETRICAL	
	CH DISCHARGE	IP IRON PIPE	TBD TO BE DETERMINED	
	DMH DRAIN MANHOLE	IRRIG IRRIGATION	TEMP TEMPORARY	
	DN DOWN	IR IRON ROD	THK THICK	
	DR DRAIN	ISO ISOLATION	TI TEMPERATURE INDICATOR	
	DWL DOWEL	JCT JUNCTION	TO THROUGHOUT	
	DWG DRAWING	JT JOINT	TOB TOP OF BANK	
	EA EACH	LBS/FT POUNDS PER FOOT	TOC TOP OF CONCRETE	
	ECC ECCENTRIC	LG LONG	TOE TOE OF SLOPE	
	EE EACH END	LN LINE	TOP TOP OF PIPE	
	EF EACH FACE	LP LOW POINT OR LIGHT POLE	TOS TOP OF SLAB	
	EL, ELEV ELEVATION	LR LONG RADIUS	TYP TYPICAL	
	ELEC ELECTRIC	LWL LOW WATER LEVEL	UGE UNDERGROUND ELECTRIC	
	ENGR ENGINEER	MANUF MANUFACTURER	UNK UNKNOWN	
	EOP EDGE OF PAVEMENT	MAX MAXIMUM		
	EW EACH WAY	MECH MECHANICAL		
	EQUIP EQUIPMENT	MGD MILLION GALLONS PER DAY		

**PIPING:**

CIP CAST IRON PIPE
CMP CORRUGATED METAL PIPE
CU COPPER OR CUBIC
DIP DUCTILE IRON PIPE
GIP GALVANIZED PIPE
GSP GALVANIZED STEEL PIPE
HDPE HIGH DENSITY POLYETHYLENE PIPE
IP IRON PIPE
PCCP PRECAST CONCRETE CYLINDER PIPE
PVC POLYVINYLCHLORIDE
RCP REINFORCED CONCRETE PIPE
SCP SECONDARY CONTAINMENT PIPE
SS STAINLESS STEEL PIPE

**Hazen**  
 HAZEN AND SAWYER  
 4000 HOLLYWOOD BLVD, SUITE 750N  
 HOLLYWOOD, FLORIDA 33021  
 Certificate of Authorization No: 2771



3250 West Commercial Boulevard  
 Suite 100  
 Ft. Lauderdale, Florida 33309-3459  
 Certificate of Authorization No: 4213

DESIGNED BY: DANIEL S. STAREZ  
 DATE: 11/30/2022  
 DRAWN BY: HJD  
 CHECKED BY: BK  
 SCALE: NONE  
 FIELD BOOK: XXXX

CITY OF FORT LAUDERDALE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING & ARCHITECTURE  
 100 North Andrews Avenue, Fort Lauderdale, Florida, 33301



NO.	DATE	BY (CHK'D)	DESCRIPTION

PROJECT # P11845  
 STORMWATER IMPROVEMENTS  
 DORSEY RIVERBEND NEIGHBORHOOD  
 ABBREVIATIONS

SHEET NO.  
**GG-GN-02**  
 TOTAL: 127  
 CAD FILE: 11845-GG-GN03  
 DRAWING FILE NO. 4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION

LINETYPES	
<b>COMMUNICATION, CABLE TV, TELEPHONE:</b>	
—COM(CT)—	COMCAST LINES
—COM CH—	COMMUNICATIONS
—COM(CO)—	CROWN CASTLE LINES
—COM(FD)—	FIBERNET DIRECT LINES
—COM(L3)—	LEVEL 3 LINES
—GPS OH—	GPG LINES
—UGT—	UNDERGROUND TELEPHONE LINES
—OHT—	OVERHEAD TELEPHONE LINES
<b>ELECTRIC LINES:</b>	
—X-X ELEC—	ELECTRIC DUCT (X-X = WIRES/GUAGE)
—UGE—	UNDERGROUND ELECTRIC LINES
—OHE—	OVERHEAD ELECTRIC LINES
<b>OTHERS LINES:</b>	
—GAS—	GAS MAIN (SIZE UNKNOWN)
—X" GAS—	GAS MAIN (SIZE)
—AIR—	UNDERGROUND AIR LINE
—FM—	SANITARY FORCE MAIN (SIZE UNKNOWN)
—X" FM—	SANITARY FORCE MAIN (SIZE)
—X" PVC FM—	SANITARY FORCE MAIN (SIZE/MATERIAL)
—SAN—	SANITARY GRAVITY (SIZE UNKNOWN)
—X" SAN—	SANITARY GRAVITY (SIZE)
—X" PVC SAN—	SANITARY GRAVITY (SIZE/MATERIAL)
—SD—	STORM DRAINAGE (SIZE UNKNOWN)
—X" SD—	STORM DRAINAGE (SIZE)
—X" PVC SD—	STORM DRAINAGE (SIZE/MATERIAL)
—WM—	WATER MAIN (SIZE UNKNOWN)
—X" WM—	WATER MAIN (SIZE)
—X" DP WM—	WATER MAIN (SIZE/MATERIAL)
—OHW—	OVER HEAD WIRES (TYPE UNKNOWN)
—UNK UG—	UNDERGROUND LINE (TYPE UNKNOWN)
—/—/—/—	ABANDONED
—	EXISTING
—	PROPOSED
—	PROPOSED PIPELINE (DOUBLE LINE IF SCALE OF DRAWING PERMITS)
—	PLASTIC FENCE
—	WOODEN FENCE
—	WROUGHT IRON FENCE
—X-X-X-X—	CHAIN LINK FENCE
— — — —	BOARD FENCE
—	PROPERTY LINE
—	EASEMENT LINE
—X	EXISTING STRUCTURE TO BE REMOVED
—	EXISTING PIPE TO BE PLUGGED AND GROUT FILLED
—X-X-X-X-X	EXISTING PIPE TO BE REMOVED

LANDSCAPING SYMBOLS:	
	PALM TREE
	SHADE TREE
	PINE TREE
	CACTUS
	HEDGE
	VEGETATION
	BUSH
	UNKNOWN TREE
<b>LEGENDS:</b>	
A/C	AIR CONDITIONING UNIT
	AIR RELEASE VALVE
	AIR VALVE MANHOLE
	ANCHOR
	BACK FLOW PREVENTER
	BASKET BALL HOOP
	BBQ GRILL
	BLOW-OFF VALVE
	BOAT ANCHOR CLEAT
	BOLLARD
	BUILDING COLUMN/PILE
	CIVY PEDESTAL
	CATCH BASIN
	CATCH BASIN INLET
	CLEAN OUT
	COMMUNICATION MANHOLE
	COMMUNICATION VAULT
	CONCRETE LIGHT POLE
	CONCRETE POST
	CONCRETE POWER POLE
	CONTOUR LINE ELEVATION
	CROSS FITTING
	CURB INLET
	DECORATIVE/YARD LIGHT POLE
	DETECTOR CHECK VALVE
	DOUBLE DETECTOR CHECK VALVE
	ELECTRIC BOX
	ELECTRIC MANHOLE
	ELECTRICAL METER
	ELECTRICAL METER/SERVICE
	ELECTRICAL OUTLET
	ELECTRICAL PEDESTAL
	ELECTRICAL PULL BOX
	ELECTRICAL VAULT
x 10.00	EXISTING SPOT ELEVATION

LEGEND CONT:	
	FIRE HYDRANT
	FIBER OPTIC PEDESTAL
	FLAG POLE
	FORCE MAIN VALVE
	GAS FUEL CAP
	GAS MARKER
	GAS METER
	GAS VALVE
	GAS WELL
	GATE CONTROL BOX
	GREASE TRAP MH
	GUY ANCHOR AND WIRE
	HOSE BIBB
	IRRIGATION CONTROL VALVE
	LIFT STATION
	LIFT STATION CAN
	LIGHT POLE
	LP GAS TANK
	MAILBOX
	MAIL DROP BOX
	MANHOLE
	MARKER POST
	METAL LIGHT POLE
	MONITORING WELL
	OUTFALL
	PARK BENCH
	PEDESTRIAN SIGNAL
	PIPE
	PIN FLAG
	PIPE MATERIAL CHANGE
	PARKING LIGHT 1 BULB
	PARKING LIGHT 2 BULBS
	PARKING LIGHT 3 BULBS
	PARKING LIGHT 4 BULBS
	PARKING METER
	PARKING METER (DOUBLE)
	PLUG
	POST INDICATOR VALVE
	REDUCER
	ROOF DRAIN

LEGEND CONT:	
	RAILROAD CROSSING GATE
	REDUCER FITTING
	SANITARY CLEAN OUT
	SANITARY MANHOLE
	SANITARY WYE LATERAL
	SIAMESE VALVE
	SIGN
	SIGN DOUBLE POST
	SPOT-FLOOD LIGHT
	SPRINKLER HEAD
	SOIL BORING
	SQUARE COLUMN
	STEEL I-BEAM
	STORM CLEAN OUT
	STORM MANHOLE
	STORM DRAINAGE VAULT
	TEE FITTING
	TELEPHONE BOOTH
	TELEPHONE JUNCTION BOX
	TELEPHONE MANHOLE
	TELEPHONE ON PEDESTAL
	TELEPHONE PEDESTAL
	TELEPHONE PULL BOX
	TELEPHONE VAULT
	TEST EXCAVATION LOCATION
	TEST HOLES
	TOWER
	TRAFFIC CAMERA
	TRAFFIC CONTROL
	TRAFFIC POLE
	TRAFFIC PULL BOX
	TRAFFIC SIGNAL BOX
	TRAFFIC SIGNAL POLE
	TRANSFORMER PAD
	TRASH CAN
	UNKNOWN MANHOLE
	VALLEY CURB INLET
	VALVE BOX
	VALVE PIPE
	WATER MANHOLE
	WATER METER
	WATER METER (DOUBLE)
	WATER PUMP

LEGEND CONT:	
	WATER VALVE
	WATER VAULT
	WATER WELL
	WOOD POST
	WOOD LIGHT POLE
	WOOD TELEPHONE POLE
	WOOD POWER POLE
	YARD DRAIN
<b>CONTROL LEGEND:</b>	
	AERIAL TARGET
	BENCH MARK
	DRILL HOLE
	HUB & TACK
	IRON PIPE
	IRON ROD
	NAIL&TAB
	PERMANENT REFERENCE MONUMENT
	PERMANENT REFERENCE MONUMENT NAIL&TAB
	PKNAIL&SPIKE
	QUARTER SECTION CORNER
	SECTION CORNER
<b>HATCH LEGEND:</b>	
	PERMEABLE PAVEMENT
	GRASSY SWALE
	GRADING / GRADING DIRECTION
	EXFILTRATION TRENCH
	ASPHALT
	CONCRETE
	PAVER BRICKS
	GRAVEL
	MILL & RESURFACE
	DEMOLITION AREA
	DEMOLITION ITEM

**SECTION AND DETAIL IDENTIFICATION**

**SECTION IDENTIFICATION**

A. SECTION CUT ON DRAWING G-1:

B. ON DRAWING G-2 THIS SECTION IS IDENTIFIED AS:

**DETAIL IDENTIFICATION**

A. DETAIL CALL-OUT ON DRAWING:

B. ON DRAWING CZ-DT-01 THIS DETAIL IDENTIFIED AS:

**STANDARD DETAIL IDENTIFICATION**

A. STANDARD DETAIL CALL-OUT ON DRAWING:

B. STANDARD DETAIL ON DRAWING CZ-DT-02 THIS DETAIL IDENTIFIED AS:

**NOTES:**

- (1) IF PLAN AND SECTION (OR DETAIL CALL-OUT AND DETAIL) ARE SHOWN ON SAME DRAWING, DRAWING NUMBER IS REPLACE BY A DASH (-).
- (2) IF SECTION IS SHOWN IN TWO OR MORE LOCATIONS, THE FIRST DRAWING NUMBER WHERE THE SECTION IS SHOWN IS DISPLAYED IN THE SECTION TITLE.
- (3) IF A DETAIL IS SHOWN IN TWO OR MORE LOCATIONS, THE DRAWING NUMBER IN THE DETAIL TITLE IS REPLACED WITH A DASH (-).
- (4) IF THE DETAIL TITLE REFERS TO A STANDARD DETAIL, THE DRAWING NUMBER IN THE DETAIL TITLE IS REPLACED WITH THE ABBREVIATION STD.

**GENERAL NOTES:**

- (1) ELECTRICAL SYMBOLS SHOWN ON ELECTRICAL SHEETS.
- (2) FOR WELDING SYMBOLS USE AMERICAN WELDING SOCIETY STANDARD SYMBOLS.

\* DENOTES DIMENSIONS OR ELEVATIONS DEPENDENT ON EQUIPMENT SUPPLIED.

**Hazen**

HAZEN AND SAWYER  
4000 HOLLYWOOD BLVD, SUITE 750N  
HOLLYWOOD, FLORIDA 33021  
Certificate of Authorization No: 2771

**HDR**

3250 West Commercial Boulevard  
Suite 100  
Ft. Lauderdale, Florida 33309-3459  
Certificate of Authorization No: 4213

DESIGNED BY:	DANIEL S. STAREZ
CHECKED BY:	DAVID S. STAREZ
DATE:	11/30/2022
SCALE:	NONE
REVISIONS:	
NO.	
DATE	
BY	
DESCRIPTION	

DESIGNED BY:	DANIEL S. STAREZ
CHECKED BY:	DAVID S. STAREZ
DATE:	11/30/2022
SCALE:	NONE
REVISIONS:	
NO.	
DATE	
BY	
DESCRIPTION	

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE

100 North Andrews Avenue, Fort Lauderdale, Florida, 33301

NO.	DATE	BY	DESCRIPTION

PROJECT # P11845  
STORMWATER IMPROVEMENTS  
DORSEY RIVERBEND NEIGHBORHOOD  
SYMBOLS

SHEET NO.	GG-GN-03
TOTAL	127
CAD FILE:	11845-GG-GN04
DRAWING FILE NO.	4-143-65

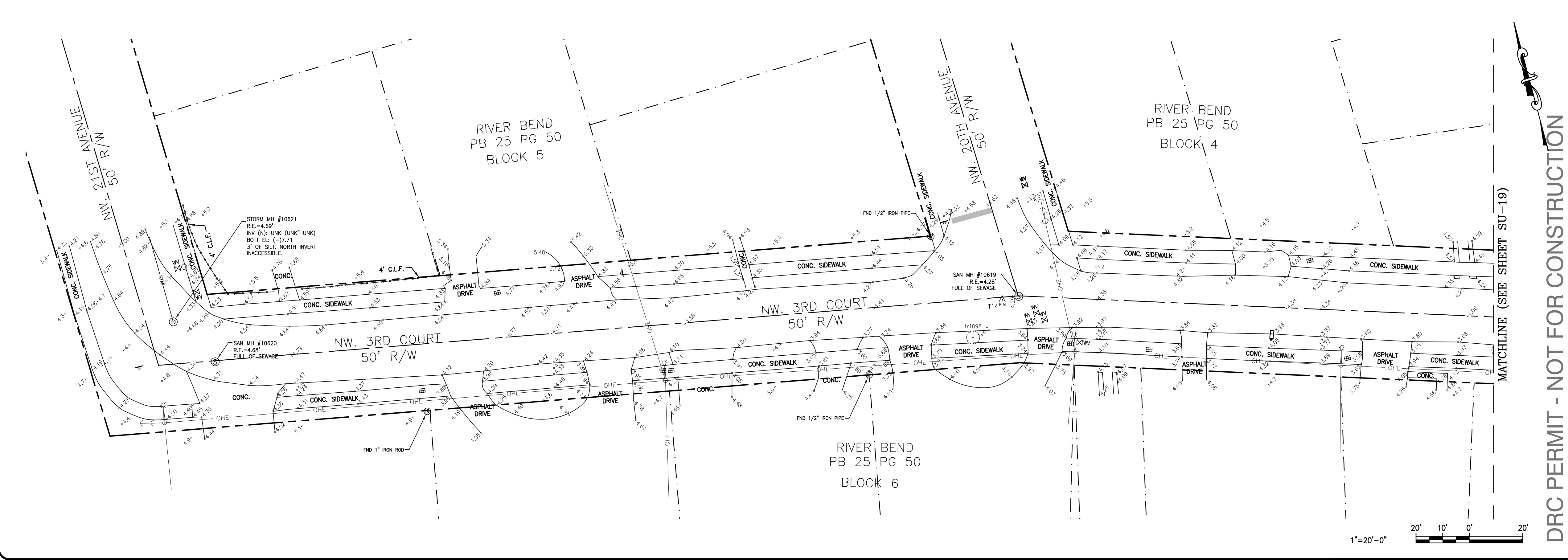
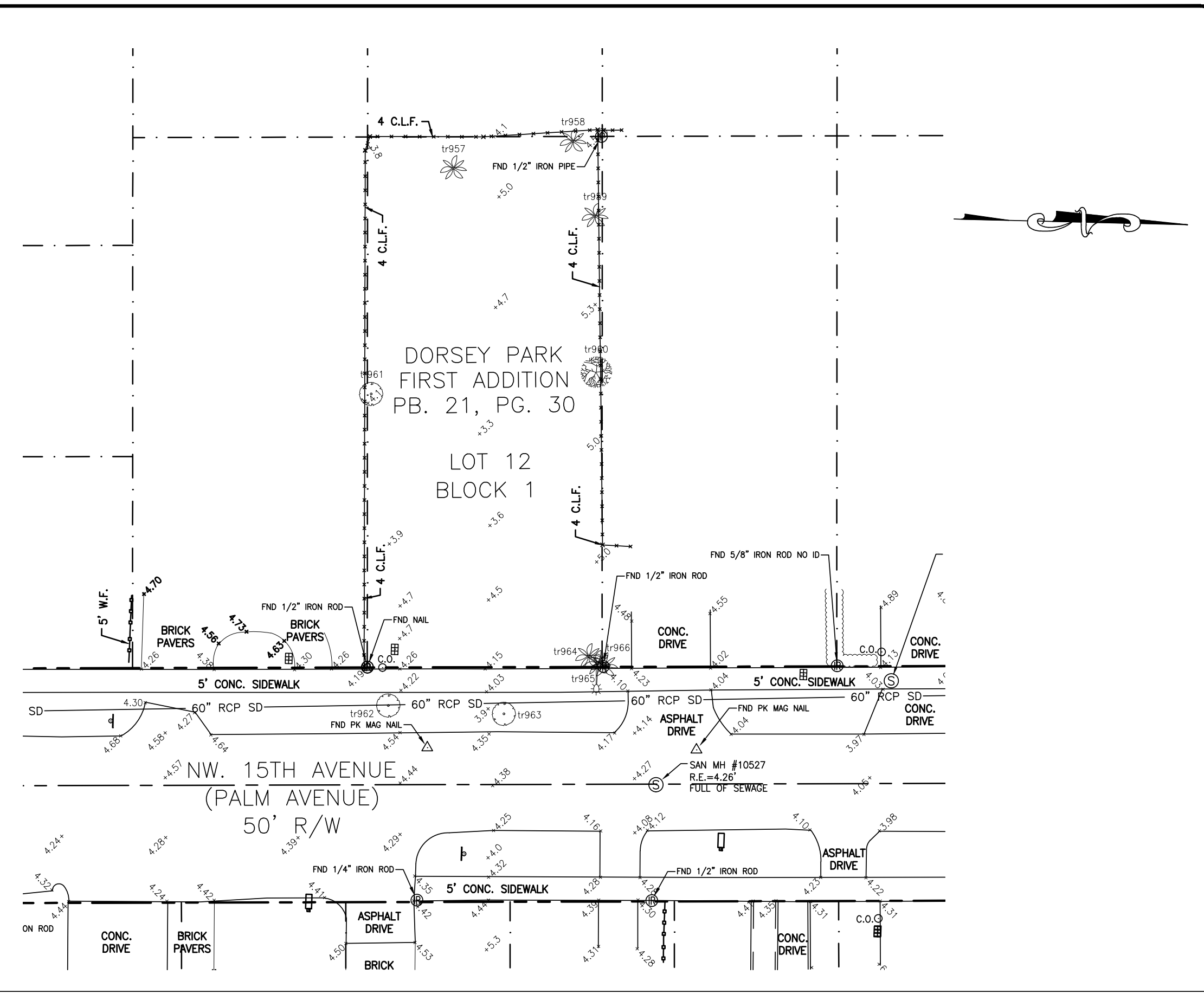
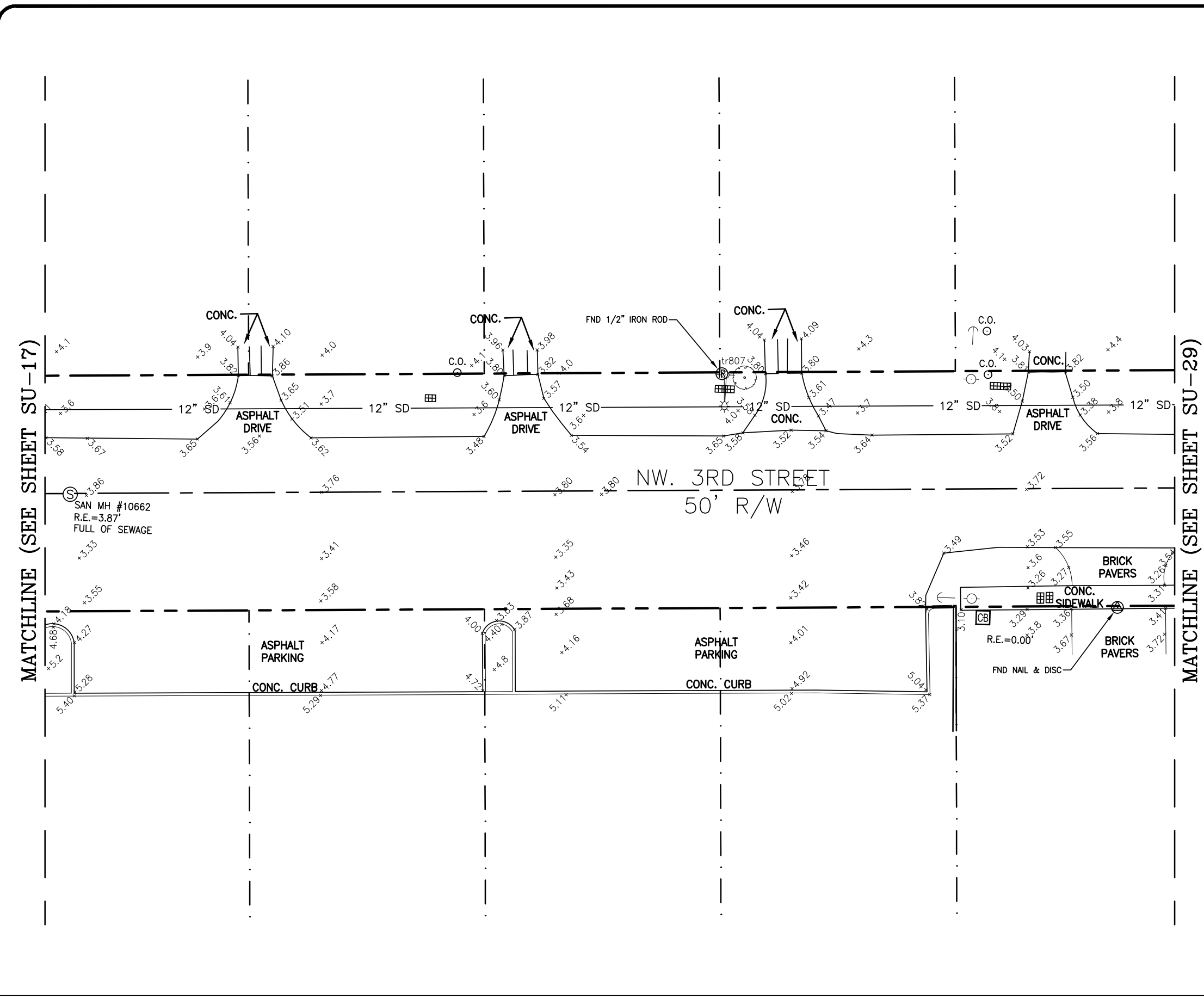
DRC PERMIT - NOT FOR CONSTRUCTION

P11845

PLOT DATE: 12/21/2022 9:47 AM BY: JECLARKREF

C:\pwworking\east01\d3012214\11845-GG-GN04 Saved by JECLARK Save date = 12/21/2022 9:38 AM





SURVEYOR  
#Name  
FL PSM NO: #NO.  
DATE: XX/XX/XX

DATE: 02/01/17  
DRAWN BY: XX  
DESIGNED BY: XX  
CHECKED BY: XX  
SCALE: 1"=20'  
FIELD BOOK: XXXX

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE

100 North Andrews Avenue, Fort Lauderdale, Florida 33301

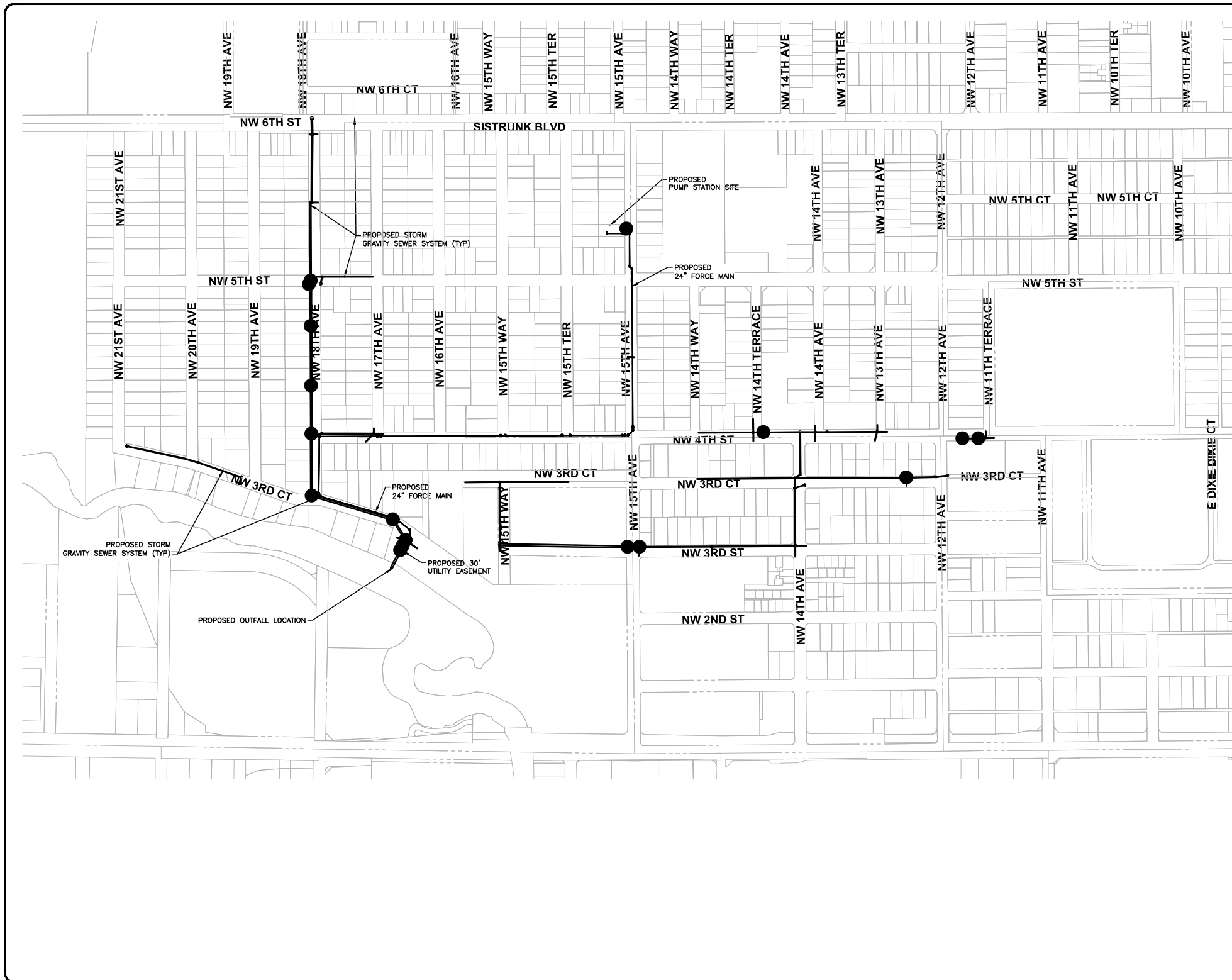
NO.	DATE	BY	CHKD	DESCRIPTION

PROJECT # 11845  
STORMWATER IMPROVEMENTS  
DORSEY NEIGHBORHOOD SURVEY  
SURVEY PLAN

SHEET NO. OF  
**SU-18** OF  
TOTAL: 999  
CAD FILE: 11845SURV  
DRAWING FILE NO. 4-XXX-XX

DRC PERMIT - NOT FOR CONSTRUCTION





**Hazen**  
 HAZEN AND SAWYER  
 4000 HOLLYWOOD BLVD, SUITE 750N  
 HOLLYWOOD, FLORIDA 33021  
 Certificate of Authorization No: 2771

**HR**  
 3250 West Commercial Boulevard  
 Suite 100  
 Ft. Lauderdale, Florida 33309-3459  
 Certificate of Authorization No: 4213

ENGINEER: DANIEL S. STANKEZ  
 REG. NO. 90008  
 DATE: 02/01/2017  
 TEL: 954-887-0088  
 FAX: 954-887-3818

DRAWN BY: HDO  
 CHECKED BY: BK  
 DATE: 11/30/2022  
 SCALE: 1"=20'  
 FIELD BOOK: XXXX

CITY OF FORT LAUDERDALE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING & ARCHITECTURE

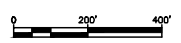
100 North Andrews Avenue, Fort Lauderdale, Florida, 33301

NO.	DATE	BY (CHKD)	DESCRIPTION

PROJECT # P11845  
 STORMWATER IMPROVEMENTS  
 DORSEY RIVERBEND NEIGHBORHOOD  
 AERIAL MAP AND BOUNDARY

SHEET NO.  
**GG-KY-01**  
 TOTAL: 127  
 CAD FILE: 11845-GG-KY01  
 DRAWING FILE NO. 4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION



PLOT DATE: 12/21/2022 9:53 AM BY: JECLARKREFs- ..\d2884652\11845XREFPRCL

File = C:\pwworking\east01\d3012214\11845-GG-KY01 Saved by JECLARK Save date = 12/21/2022 9:51 AM



PROJECT SITE LOCATION MAP  
1"=100'-0"



**Hazen**  
HAZEN AND SAWYER  
4000 HOLLYWOOD BLVD., SUITE 750N  
HOLLYWOOD, FLORIDA 33021  
Certificate of Authorization No: 2771

**HR**

3250 West Commercial Boulevard  
Suite 100  
FL Lauderdale, Florida 33309-3459  
Certificate of Authorization No: 4213

PROPERTY ADDRESS:

515 NW 15TH AVE.  
FORT LAUDERDALE, FL 33311

PROPERTY OWNER INFORMATION:

OWNER: CITY OF FORT LAUDERDALE

MAILING ADDRESS: 914 SISTRUNK BLVD.  
FORT LAUDERDALE, FL. 33311

PROPERTY LOCATION:


COUNTY: BROWARD  
TOWNSHIP: 50  
RANGE: 42  
SECTION: 04  
LATITUDE: 26.12800  
LONGITUDE: -80.16192

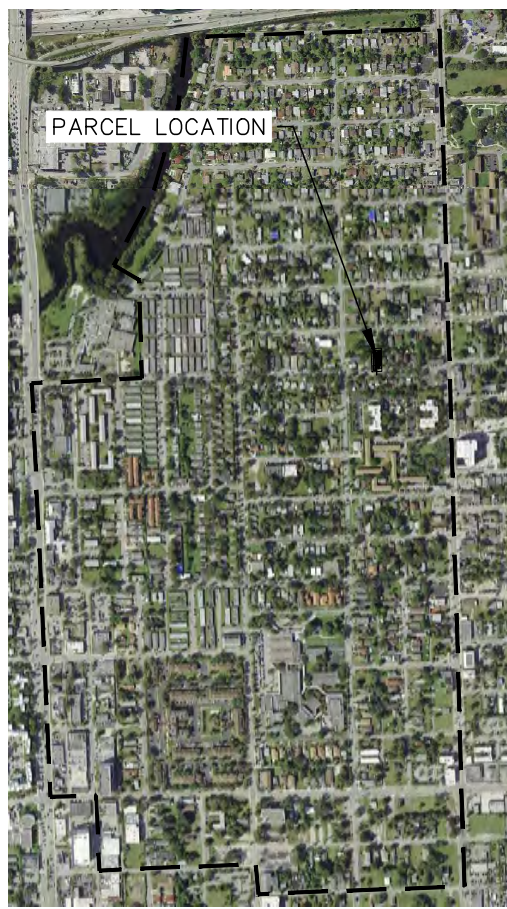
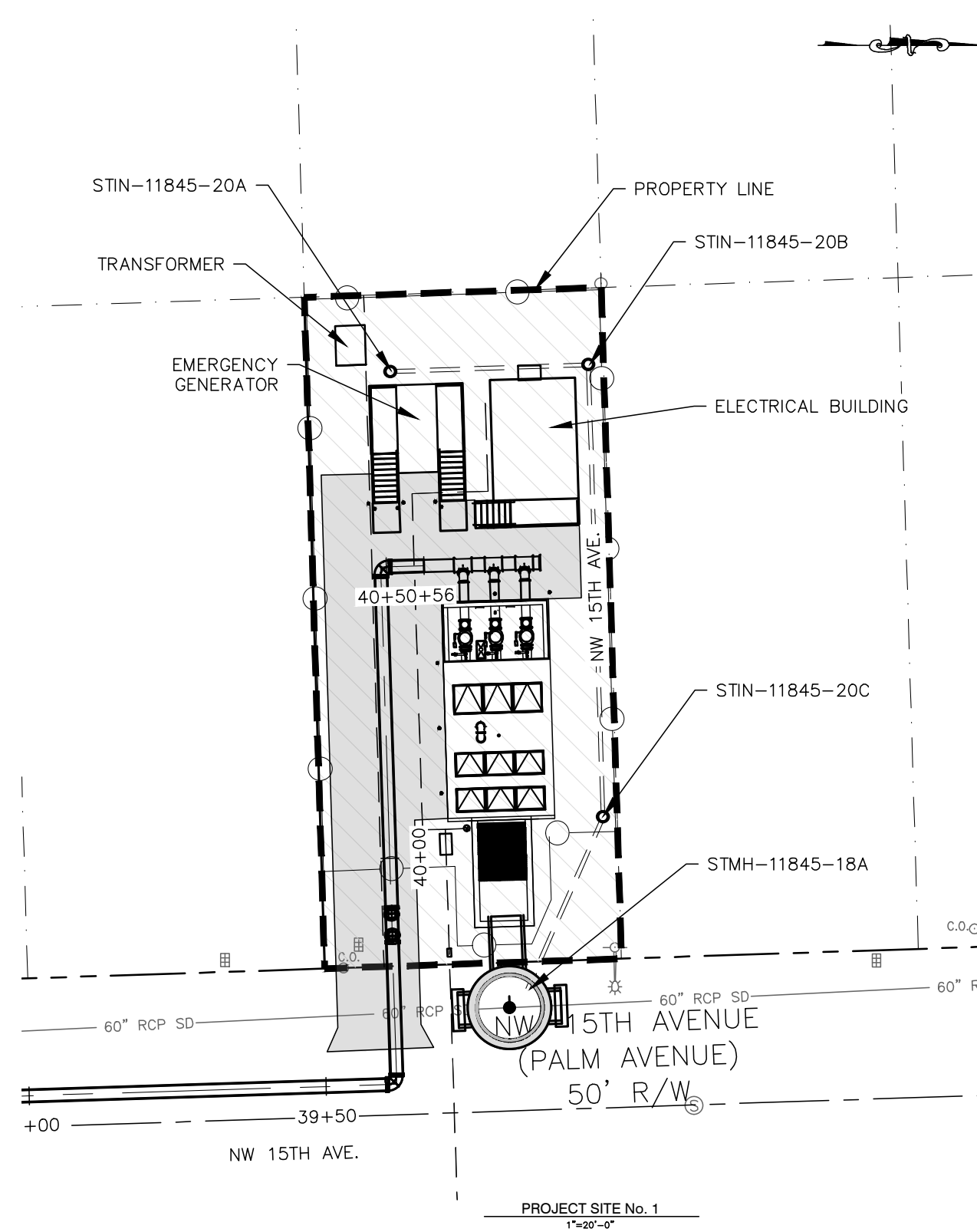
PROPERTY DESCRIPTION

DORSEY PARK FIRST ADD 21-30 B LOT 12  
BLK 1

SITE PLAN REQUIREMENTS:  
  
PROJECT SITE No. 1:  
DRC SITE PLAN LEVEL IV  
CITY COMMISSION REVIEW

DRC PERMIT - NOT FOR CONSTRUCTION

<b>ENGINEER:</b> NAME: #/NO. DATE: #/NO.	<b>DATE:</b> MM/DD/YY	<b>DESIGNED BY:</b> NAME	<b>FIELD BOOK:</b>
<b>DRAWN BY:</b>	<b>CHECKED BY:</b>	<b>CITY OF FORT LAUDERDALE PUBLIC WORKS DEPARTMENT ENGINEERING &amp; ARCHITECTURE</b>	
			
100 North Andrews Avenue, Fort Lauderdale, Florida 33301			
<b>NO.</b>	<b>DATE</b>	<b>BY</b>	<b>DESCRIPTION</b>
<b>PROJECT # P11845 STORMWATER IMPROVEMENTS DORSEY RIVERBEND NEIGHBORHOOD KEY MAP</b>			
<b>SHEET NO. GG-DRC-01</b>			
<b>TOTAL: 0</b>			
<b>CAD FILE: 1875-DRC-KEY MAP-GO</b>			
<b>DRAWING FILE NO. 4-143-65</b>			



PARCEL LOCATION

PROJECT SITE AERIAL MAP  
1"=1000'-0"

**Hazen**  
HAZEN AND SAWYER  
4000 HOLLYWOOD BLVD, SUITE 750N  
HOLLYWOOD, FLORIDA 33021  
Certificate of Authorization No: 2771

**HDR**  
3250 West Commercial Boulevard  
Suite 100  
Ft. Lauderdale, Florida 33309-3459  
Certificate of Authorization No: 4213

DRC SITE PLAN LEVEL IV  
CITY COMMISSION  
REVIEW

PROPERTY ADDRESS:  
515 NW 15TH AVE.  
FORT LAUDERDALE, FL 33311

PROPERTY INFORMATION:  
FOLIO: 504204240110

ZONING: RS-8

PROPERTY OWNER INFORMATION:  
OWNER: CITY OF FORT LAUDERDALE

MAILING ADDRESS: 914 SISTRUNK BLVD.  
FORT LAUDERDALE, FL. 33311

PROPERTY LOCATION:  
COUNTY: BROWARD  
TOWNSHIP: 50  
RANGE: 42  
SECTION: 04  
LATITUDE: 26.12800  
LONGITUDE: -80.16192

FLOOD INFORMATION:  
FLOOD ZONE: AH  
BASE FLOOD ELEVATION = 6  
FLOOD DESIGN CLASS 3  
MINIMUM FFE = 7

DRC PERMIT - NOT FOR CONSTRUCTION

ENGINEER: #Name #Date #Scale	TEL: #/A FAX: #/X
---------------------------------------	----------------------

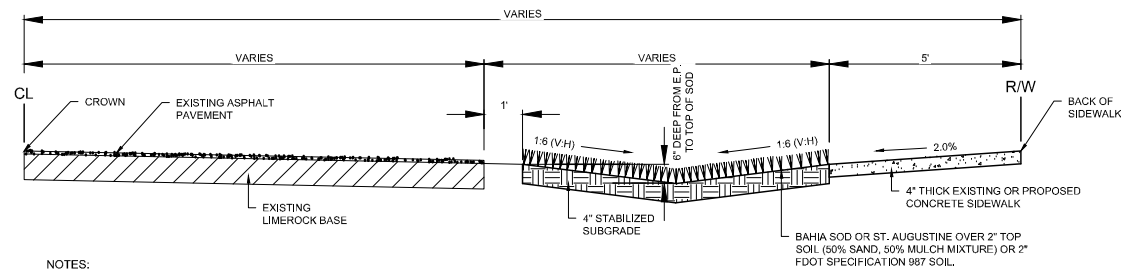
DRAWN BY:	DATE:	MM/DD/YY
DESIGNED BY:	SCALE:	
CHECKED BY:	FIELD BOOK:	

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE  
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	REV'D	DESCRIPTION

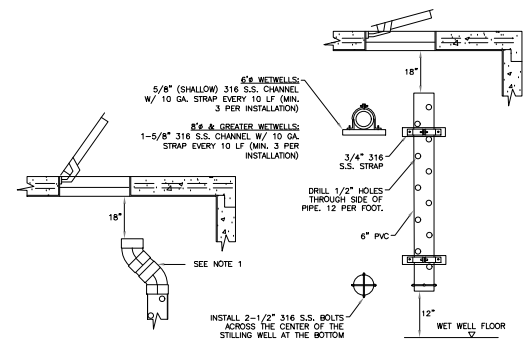
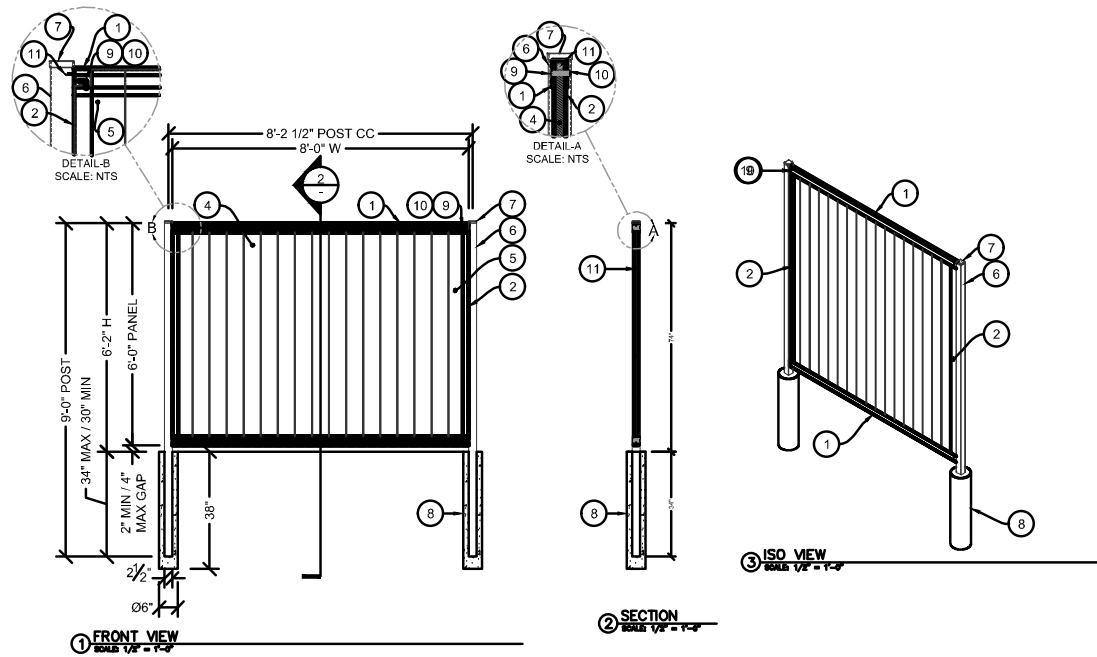
PROJECT # P11845  
STORMWATER IMPROVEMENTS  
DORSEY RIVERBEND NEIGHBORHOOD  
PROPOSED SITE PLAN

SHEET NO.	GG-DRC-02
TOTAL:	0
CAD FILE:	11875-2C-01-PERMIT
DRAWING FILE NO.	4-143-65



- NOTES:
1. CONTRACTOR SHALL CENTER BOTTOM OF SWALE BETWEEN EDGE OF PAVEMENT AND EDGE OF SIDEWALK, OR EDGE OF PAVEMENT AND RW LINE IF NO SIDEWALK EXISTS.
  2. THE SWALE BOTTOM ELEVATION SHALL MATCH THE GRATE ELEVATION OF THE NEAREST CATCH BASIN INLET, IF ONE EXISTS WITHIN THE SWALE.
  3. COMPACTION WITHIN THE LIMITS OF THE SWALE SHALL BE AVOIDED. IF COMPACTION OCCURS, CONTRACTOR SHALL TILL THE AREA TO IMPROVE INFILTRATION RATES.

6" SWALE PROFILE  
 DETAIL 1  
 NO SCALE



- NOTES:
1. FOR LARGER LIFT STATIONS, PROVISIONS SHALL BE MADE TO MAKE THE TOP OF THE STILLING WELL VISIBLE AND ACCESSIBLE FROM THE HATCH OPENING, I.E. 45° FITTINGS, ETC.

ABBREVIATIONS	
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
CC	CENTER TO CENTER
ENR	ENGINEER OF RECORD
GA	GALVE
H	HEIGHT
IFI	INDUSTRIAL FASTENER INSTITUTE
L	LENGTH
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE / DO NOT SCALE
SD	SQUARE
THK	THICK / THICKNESS
TYP	TYPICAL
UNC	UNFINED COURSE THREAD
W	WIDTH

BILL OF MATERIALS			
ITEM	QTY	PART NUMBER	DESCRIPTION
1	2	2" X 6"-0" CHANNEL	HORIZONTAL (TOP/BTM) GALVANIZED STEEL CHANNEL RAIL
2	2	2" X 6"-0" CHANNEL	VERTICAL GALVANIZED STEEL CHANNEL RAIL
3	N/A	CHANNELS ALLOW FOR UP TO 1" DIA INFILL MATERIAL	INFILL QUANTITY MAY VARY DEPENDING ON TYPE SELECTED
4	10	1" X 6" X 6"-0" BOARDS	INFILL EXAMPLE ILLUSTRATED: VERTICAL BOARDS
5	2	1" X 6" X 6"-0" NOTCHED	TWO BOARDS TO BE NOTCHED FOR BOLT CLEARANCE AT TOP AND BTM CHANNEL
6	2	2-1/2" X 2-1/2" X 18GA, 8'-0" POST	STANDARD FENCE POST
7	2	2-1/2" X 2-1/2" CAP	2-1/2" SQ POST CAP STANDARD
8	2	4" DIAMETER CONCRETE PIER	POST PIER SIZE AND DEPTH TO BE SPECIFIED BY THE PROJECT'S EOR
9	4	ANSI B818 - 1/4"-30 X 1-1/2" UNC CARTRIDGE BOLT	ROUND HEAD SQUARE NECK CARTRIDGE BOLT
10	4	8" 100/107 1/4"-20 HEX-HEAD FLANGE NUT	PREVALING TORQUE TYPE HEX-HEAD FLANGE NUT
11	12	ANSI B818.4 - M2.10 X 0.8" SELF-TAPPING SCREW	VERTICAL CHANNEL, RECESSED HEAD SELF-TAPPING SCREW-TYPE-BT-TYPE-1

**Hazen**  
 HAZEN AND SAWYER  
 4000 HOLLYWOOD BLVD, SUITE 750N  
 HOLLYWOOD, FLORIDA 33021  
 Certificate of Authorization No: 2771

**HR**  
 3250 West Commercial Boulevard  
 Suite 100  
 Ft. Lauderdale, Florida 33309-3459  
 Certificate of Authorization No: 4213

DESIGNED BY: ALEXANDER MILLER	DATE: 11/30/2022
CHECKED BY: MATT TUD	SCALE: AS NOTED
ISSUED BY: IS	FIELD BOOK: XXXX

NO.	DATE	REVISIONS BY (CHKD)	DESCRIPTION

CITY OF FORT LAUDERDALE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING & ARCHITECTURE

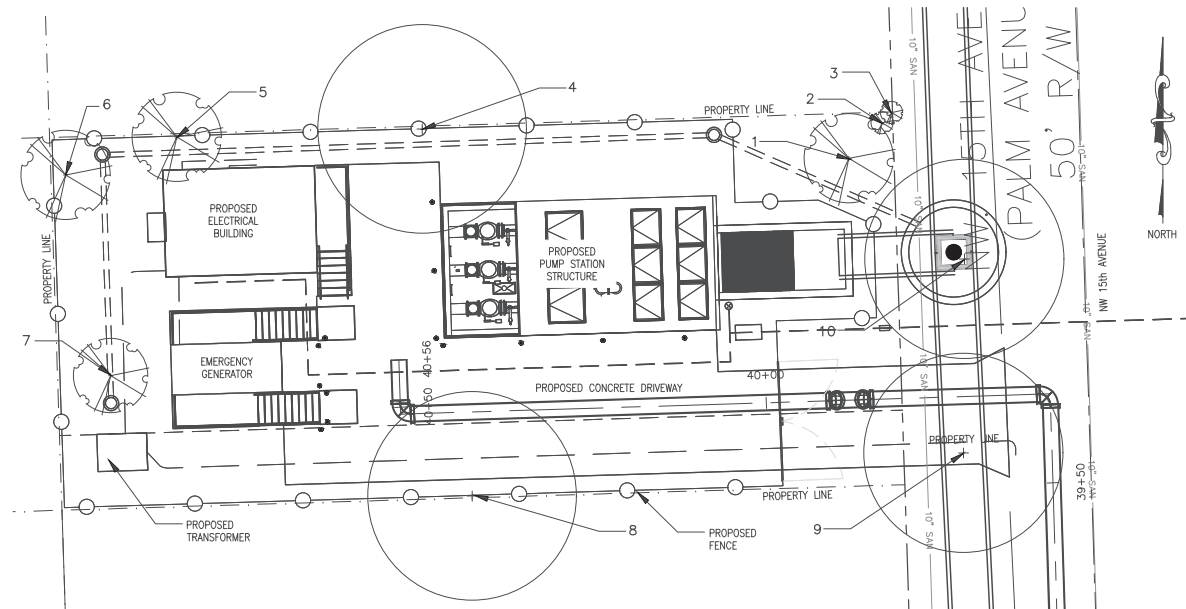
100 North Andrews Avenue, Fort Lauderdale, Florida, 33301

DRC PERMIT - NOT FOR CONSTRUCTION

PROJECT # P11845  
 STORMWATER IMPROVEMENTS  
 DORSEY RIVERBEND NEIGHBORHOOD  
 CIVIL DETAILS - SHEET 14

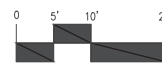
SHEET NO.	CZ-DT-14
TOTAL	127
CAD FILE:	11845-CZ-DT14
DRAWING FILE NO.	4-143-65





TREE DISPOSITION PLAN

SCALE: 1"=10'



TREE DISPOSITION CHART

Tree Number	Common Name	Botanical Name	Class	CT/HT	DBH(in.)	Specimen	Canopy (ft. dia)	Condition	Condition Rating	Status	Comments	Replacement Calculation
1	Sabal Palm	Sabal Palmetto								Missing		
2	Sabal Palm	Sabal Palmetto		25	18	No	20	Poor	50%	Remove	Heavy Strangler Fig	\$180.00
3	Sabal Palm	Sabal Palmetto		12	12	No	5	Poor	50%	Remove	Trunk Intertwined with Tree #2	180.00
4	Mango	Mangifera indica	C	40	16	No	10	Fair	70%	Remove		1,092.00
5	Sabal Palm	Sabal Palmetto		12	12	No	6	Fair	70%	Remove	Strangler Fig Vine Involvement	180.00
6	Sabal Palm	Sabal Palmetto		20	12	No	14	Poor	50%	Remove	Browning of Leaflet Base, Suspected Shaded Out by Nearby Trees	180.00
7	Sabal Palm	Sabal Palmetto		20	18	No	14	Fair	65%	Relocate	Herbaceous Vines, See sheet LD-02 for new location on site.	
8	Sabalu	Lysiloma sabicu	A	40	18	No	10	Poor	50%	Remove	Heavy Branch Tip Dieback	585.00
9	Live Oak	Quercus virginiana	A	36	13	No	12	Fair	70%	Remove		591.00
10	Live Oak	Quercus virginiana	A	36	8	No	14	Fair	70%	Remove		364.00
											(Total)	\$3,352.00*

(Chart prepared in conjunction with ISA Certified Arborist Zachary Lehmann.)

\*Refer to sheet LD-02 for Replacement Trees.

ROOT ZONE PROTECTION NOTES:

1. During the entire construction period all reasonable efforts shall be made to protect the root zone from damage. Tree protection barricading shall be erected around the trees. All plant material designated to be saved, relocated, or outside the limits of construction shall be protected during construction work. Work under these trees will include construction and maintenance of temporary barricade fencing to protect the root zones of existing trees and other plantings.
2. A protection barrier or temporary fence of at least 4 feet in height shall be installed around each tree to be protected and preserved. The tree protection shall be installed prior to the actual construction start and maintained for the duration for the project.
3. Tree barricade fencing shall be as per the applicable details.
4. Tree root pruning and trimming shall be performed under the supervision of a certified arborist.
5. Root prune trees a minimum of eight (8) weeks prior to construction. Prior to root pruning thoroughly water the root zone with at least 2 to 3 inches of water for 2 tp 3 days prior to root pruning.
6. Provide temporary irrigation for each tree throughout the duration of construction.
7. Backfill trench with planting soil.
8. Fertilize within the root zone.
9. Root pruning shall be accomplished by digging a trench around the tree in areas where proposed site work will be performed. Trenching shall be at a minimum of 24" deep. Root prune only with a mechanical root pruning saw or a trencher with a maximum trench width of 8".
10. All exposed roots shall be cut off smoothly with sharp instruments. Backfill trenches with soil consisting of 30% Silica Sand and 70% Muck. Water thoroughly after root pruning and once weekly during the root regeneration period with a soluble fertilizer that has a 20-20-20 analysis at manufacturer's recommended rate.
11. Bracing and Guying shall be provided to assure the trees' stability during the root regeneration period per applicable details.

**Hazen**

HAZEN AND SAWYER  
4000 HOLLYWOOD BLVD, SUITE 750N  
HOLLYWOOD, FLORIDA 33021  
Certificate of Authorization No: 2771



3250 West Commercial Boulevard  
Suite 100  
FL Lauderdale, Florida 33309-3459  
Certificate of Authorization No: 4213

LANDSCAPE ARCHITECT:  
KEYVIN D. MICHIE  
REG. NO. LA686708  
DATE: TBD  
TEL: 904-788-7420

DATE: 06/09/2023  
DESIGNED BY: SCALE: AS NOTED  
DRAWN BY: KM  
CHECKED BY: KM  
FIELD BOOK: MH

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE



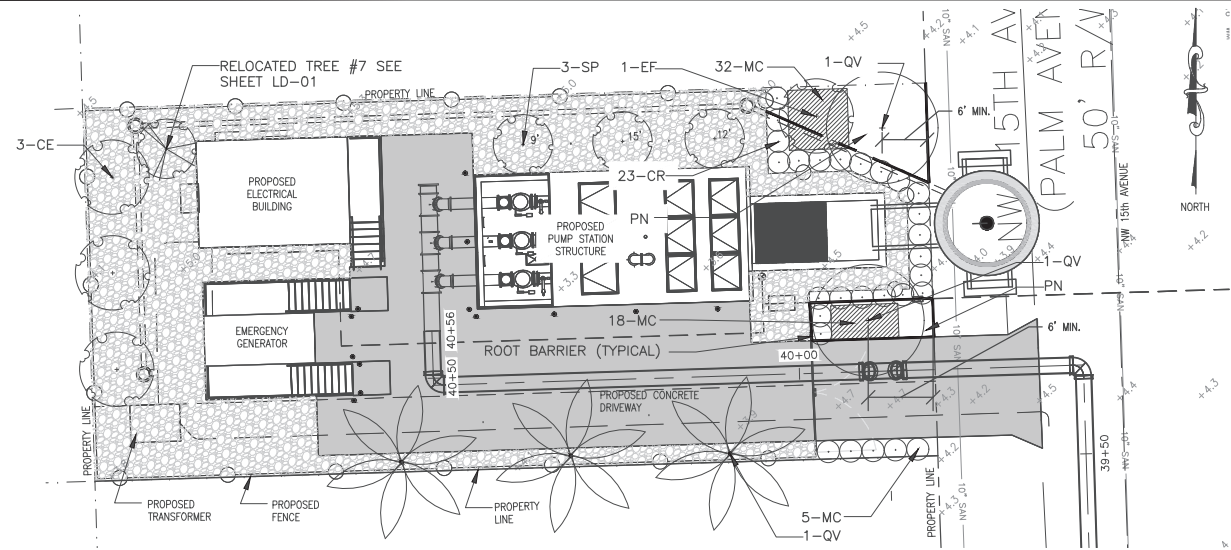
100 North Andrews Avenue, Fort Lauderdale, Florida, 33301

NO.	DATE	BY	DESCRIPTION

DRC PERMIT - NOT FOR CONSTRUCTION

PROJECT # 11845  
STORMWATER IMPROVEMENTS  
DORSEY RIVERBEND NEIGHBORHOOD  
TREE DISPOSITION PLAN

SHEET NO.  
**LD-01**  
TOTAL: 134  
CAD FILE:  
11845-LD-01 7-20-23  
DRAWING FILE NO.  
4-143-65

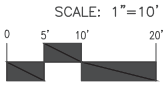


LANDSCAPE PLAN

**CITY OF FORT LAUDERDALE LANDSCAPE REQUIREMENTS**  
**PROJECT: DORSEY RIVERBEND PUMP STATION**  
**SITE DATA AND LANDSCAPE TABULATIONS**

Landscape Tabulations, City of Fort Lauderdale Code, Section 47-21  
 Zoning District RS-8, Residential Single Family/Low Medium Density

General Site Data	Distance, Width, Number, Area (s.f.)	REQUIRED/ ALLOWED	PROVIDED	REMARKS
Gross Acreage	5,624 s.f.	-	-	
Building Footprint Coverage	1,570 s.f.	-	-	
Vehicular Use Area (VUA)	1,762 s.f.	-	-	
Other Required Impervious Area	-	-	-	
Vehicular Use Area Landscape (VUAL)	(See below.)	-	-	
Other Required Impervious Area	-	-	-	
Total Net Landscape Area	2,292 s.f.	-	-	
Total Lot Trees Required	5,624 sf / 1,000 = 5.6	6	13	
(1) - tree for ea. 1,000 s.f. of lot area				
Minimum General Requirements				
Restrictions on Natives, Low Maint., Palms				
a) 50% Minimum Native	78 shrubs x .5 = 39	39	78	
	13 trees x .5 = 6.5	7	10	
b) 50% Min. Low Maintenance/Drought Tolerant	78 shrubs x .5 = 39	39	78	
	13 trees x .5 = 6.5	7	13	
Street Trees				
NW 15th Ave. R.O.W.				
(1) - Tree per 40 ft.	35 lf / 40 = .87	1	1	
Vehicular Use Area Landscaping (VUAL)				
(1) - tree for each 1,000 s.f. of VUA	1,762 s.f. / 1,000 = 1.8	2	2	Live Oak at east property line + Stopper at north property line
(6) - shrubs for each 1,000 s.f. of VUA	1.8 x 6 = 10.8	11	23	Muhly Grass north of driveway
Rock Mulch Inside Fence				
10% of Landscape Area	2,292 sf x .1 = 229	229 sf	1,878 sf	Pervious areas inside fence per City request to facilitate ease of maintenance.
Existing Tree Equivalent Replacement				
Trees Removed	(See Sheet LD-01.)	\$3,352	-	
Trees Provided	(2) x \$1000 = \$2,000	-	-	Live Oak
	(3) x \$600 = 1,800	-	-	Silver Buttonwood
	(1) x \$400 = 400	-	-	Simpson's Stopper
	Total = \$4,200		\$4,200	



**PLANT SCHEDULE**

QUANTITY	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	NOTES
<b>TREES</b>					
QV	2	LIVE OAK	Quercus virginiana	4" cal., 13'-14' min. height, 100 Gal.	FL #1
EF	1	SPANISH STOPPER	Eugenia foetida	3" cal., 10'-13' min. height, 65 Gal.	FL #1
CE	3	SILVER BUTTONWOOD	Conocarpus erectus 'Sericeus'	3" cal., 10'-13' min. height, 65 Gal.	FL #1
SP	3	SABAL PALM	Sabal palmetto	15' OA, Smooth Trunk,	FL #1, PLANTING HEIGHT AS SHOWN.
PE	3	SOLITAIRE PALM	Ptychosperma elegans	12' OA, height, Field Grown.	FL #1, THREE TRUNK EACH
<b>SHRUBS</b>					
CR	28	RED TIP COCOPLUM	Chrysobalanus icaco 'Red Tip'	18" Ht., 9" Spd, 7 Gal.	FL #1
<b>SHRUB AREAS</b>					
MC	50	MUHLY GRASS	Muhlenbergia capillaris	24" SPRD., FULL, 3 Gal.	FL #1, 36" O.C.
<b>GROUNDCOVERS</b>					
PN	-	BAHIA SOD	Paspalum notatum 'Argentine'	SOD	

**NOTES**

- ALL PLANT MATERIAL TO BE GRADED FL. NO. 1.
- MULCH SHALL BE MELALEUCA GRADE B. DO NOT USE CYPRESS MULCH.
- ALL TREES TO HAVE A SINGLE STRAIGHT TRUNK AND PREDOMINATE CENTRAL LEADER UNLESS OTHERWISE SPECIFIED AS MULTI-TRUNKED.
- BALLED AND BURLAPED TREES SHALL HAVE A SOLID ROOT BALL WITH FIBROUS ROOTS THAT HAS BEEN 'HARDENED OFF' FOR A MINIMUM OF 4 WEEKS.
- ALL CONTAINERIZED TREES SHALL HAVE A SOLID ROOT BALL THE SIZE OF THE SPECIFIED CONTAINER BUT SHALL NOT BE ROOT BOUND.
- SOIL SHALL BE PROVIDED FOR ALL PLANTING AREAS IN ACCORDANCE WITH SPECIFICATION 02900 AND PLANTING DETAILS.
- PLANT SIZE SHALL TAKE PRECEDENCE OVER CONTAINER SIZE.
- COORDINATE TREE LOCATIONS WITH DRAINAGE SWALES/ DITCHES AND UTILITIES.
- ALL PLANT MATERIAL SPACES AS NOTED UNLESS OTHERWISE SHOWN ON PLANS.
- CONTRACTOR SHALL VERIFY ALL QUANTITIES WITH DRAWINGS. QUANTITIES ON PLANS SHALL PREVAIL OVER THE PLANTING SCHEDULE. CONTRACTOR SHALL DETERMINE SOD QUANTITIES BASED ON PLANS.
- SEE SHEET CD-ST-01 FOR ALL FINISH ELEVATIONS OF SITE.
- ALL PERVIOUS AREAS NOT OTHERWISE DESIGNATED SHALL RECEIVE SOD.

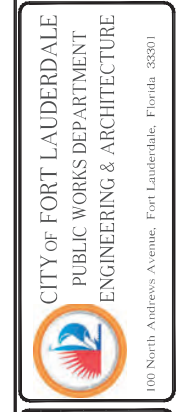
**Hazen**  
 HAZEN AND SAWYER  
 4000 HOLLYWOOD BLVD, SUITE 750N  
 HOLLYWOOD, FLORIDA 33021  
 Certificate of Authorization No: 2771



3250 West Commercial Boulevard  
 Suite 100  
 Ft. Lauderdale, Florida 33309-3459  
 Certificate of Authorization No: 4213

LANDSCAPE ARCHITECT:	KEYVIN D. MICHELT	REG. NO. LA6866708	DATE: TBD
DRAWN BY:	DATE:	DESIGNED BY:	SCALE:
KM	06/09/2023	KM	AS NOTED
CHECKED BY:		KM	
MH			
FIELD BOOK:			

CITY OF FORT LAUDERDALE	100 North Andrews Avenue, Fort Lauderdale, Florida, 33301
PUBLIC WORKS DEPARTMENT	
ENGINEERING & ARCHITECTURE	

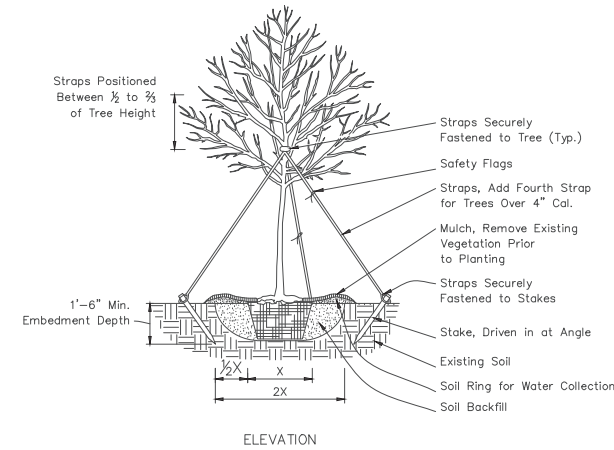
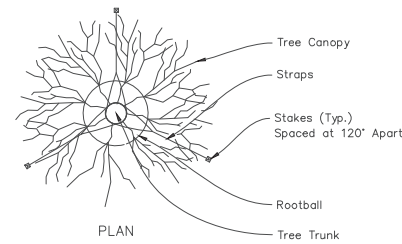


NO.	DATE	BY	DESCRIPTION

PROJECT # 11845  
 STORMWATER IMPROVEMENTS  
 DORSEY RIVERBEND NEIGHBORHOOD  
 LANDSCAPE PLAN

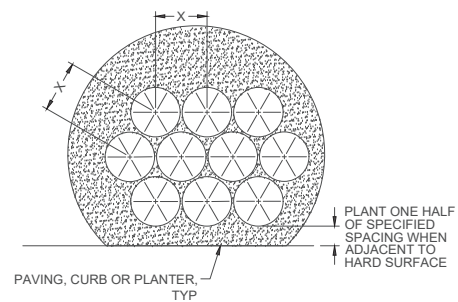
SHEET NO.	LD-02
TOTAL	134
CAD FILE:	11845-LD-02 7-20-23
DRAWING FILE NO.	4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION



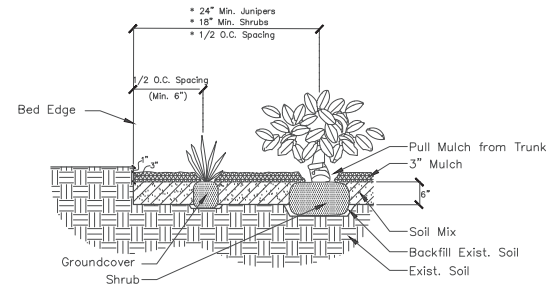
TREE PLANTING

NOT TO SCALE



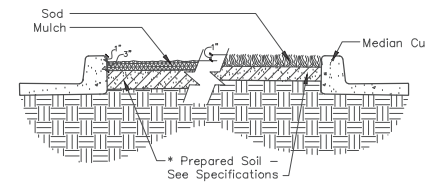
GROUNDCOVER SPACING

NOT TO SCALE



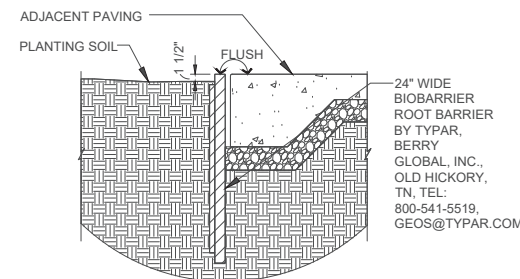
SHRUB AND GROUNDCOVER PLANTING

N.T.S.



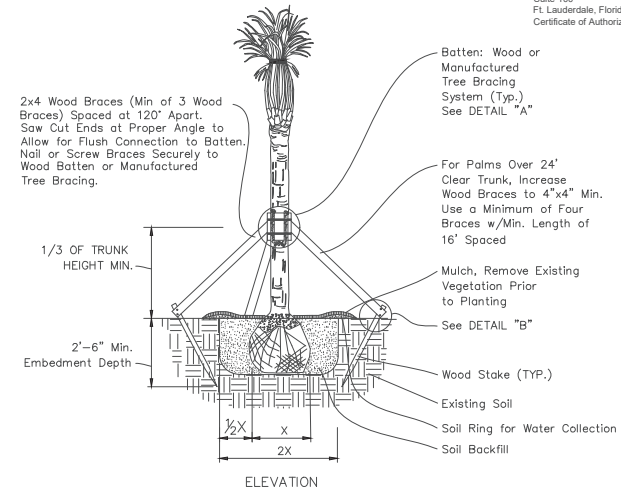
SOD AND MULCH

NOT TO SCALE



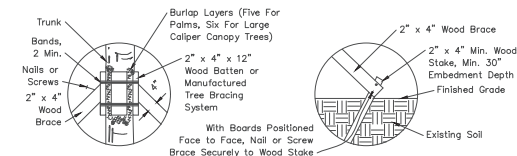
LINEAR ROOT BARRIER

NOT TO SCALE



PALM PLANTING

NOT TO SCALE



NOTE: Install bands and couplings that are rated a min. 900 lb. tensile strength, and are corrosion and UV resistant.

NOTE: Stake into Firm, Existing Soil.

**Hazen**  
HAZEN AND SAWYER  
4000 HOLLYWOOD BLVD, SUITE 750N  
HOLLYWOOD, FLORIDA 33021  
Certificate of Authorization No: 2771



3250 West Commercial Boulevard  
Suite 100  
Ft. Lauderdale, Florida 33309-3459  
Certificate of Authorization No: 4213

DESIGNED BY: KEVIN D. MICHIE  
CHECKED BY: AS NOTED  
DATE: 06/09/2023  
FIELD BOOK: TEL: 904-788-7423

DESIGNED BY: KEVIN D. MICHIE  
CHECKED BY: AS NOTED  
DATE: 06/09/2023  
FIELD BOOK: TEL: 904-788-7423

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE  
100 North Andrews Avenue, Fort Lauderdale, Florida, 33301



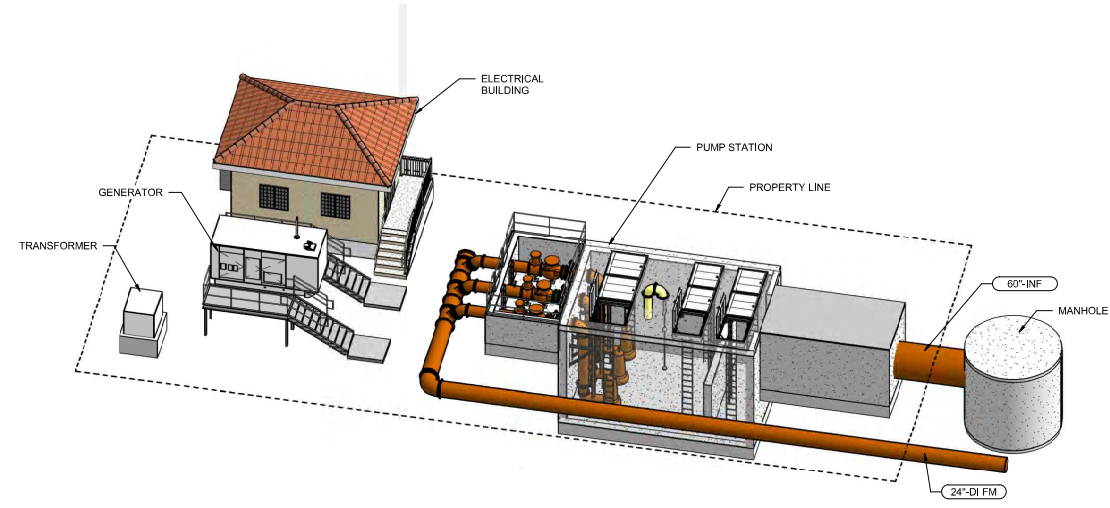
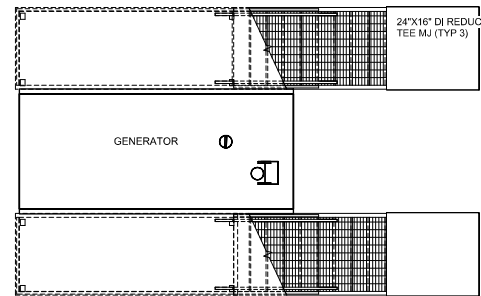
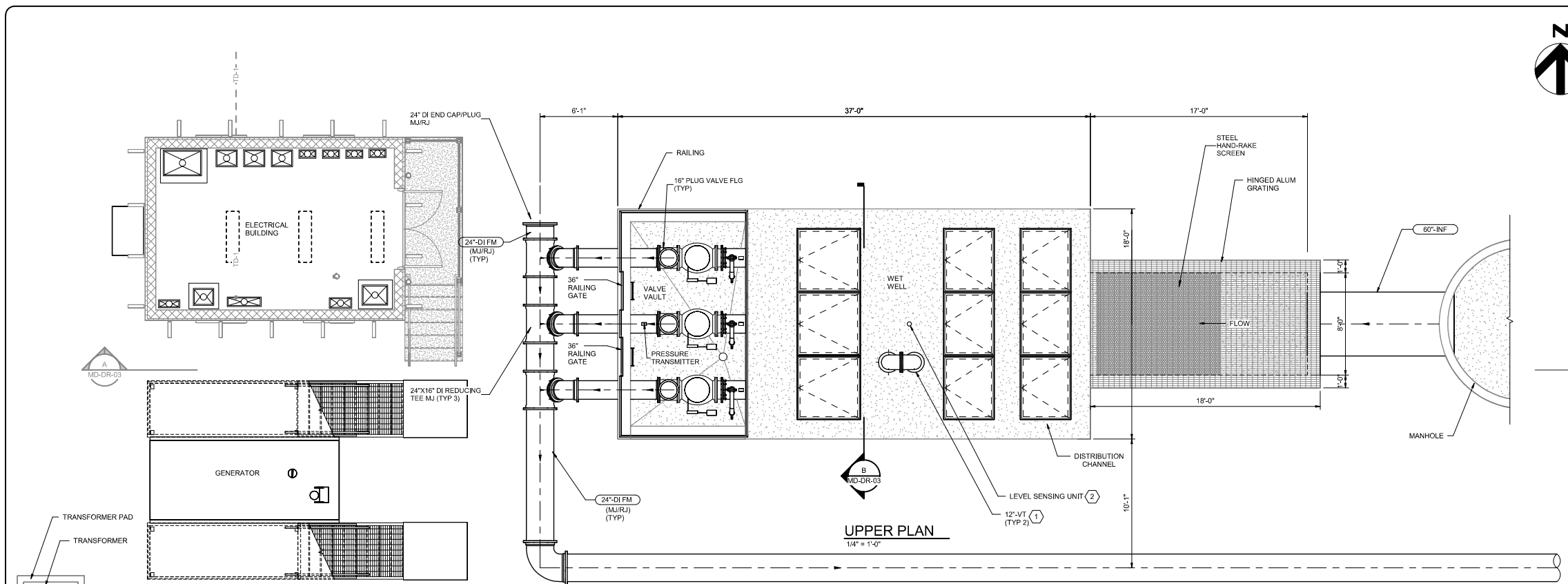
NO.	DATE	BY	DESCRIPTION

PROJECT # 11845  
STORMWATER IMPROVEMENTS  
DORSEY RIVERBEND NEIGHBORHOOD  
LANDSCAPE DETAILS

SHEET NO.  
**LD-03**  
TOTAL: 134  
CAD FILE: 11845-LD-03  
DRAWING FILE NO. 4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION





3D PERSPECTIVE

- KEYNOTES:
- SEE DETAIL 4 ON SHEET MD-DR04.
  - SEE DETAIL 8 ON SHEET MD-DR04.



ENGINEER:	HEATHER MANGANELLO
REG. NO.:	6036
DATE:	
DATE:	03/2023
AUTHOR:	
DESIGNED BY:	Designer
DRAWN BY:	Checker
FIELD BOOK:	N/A
TEL:	941.342.2755
FAX:	

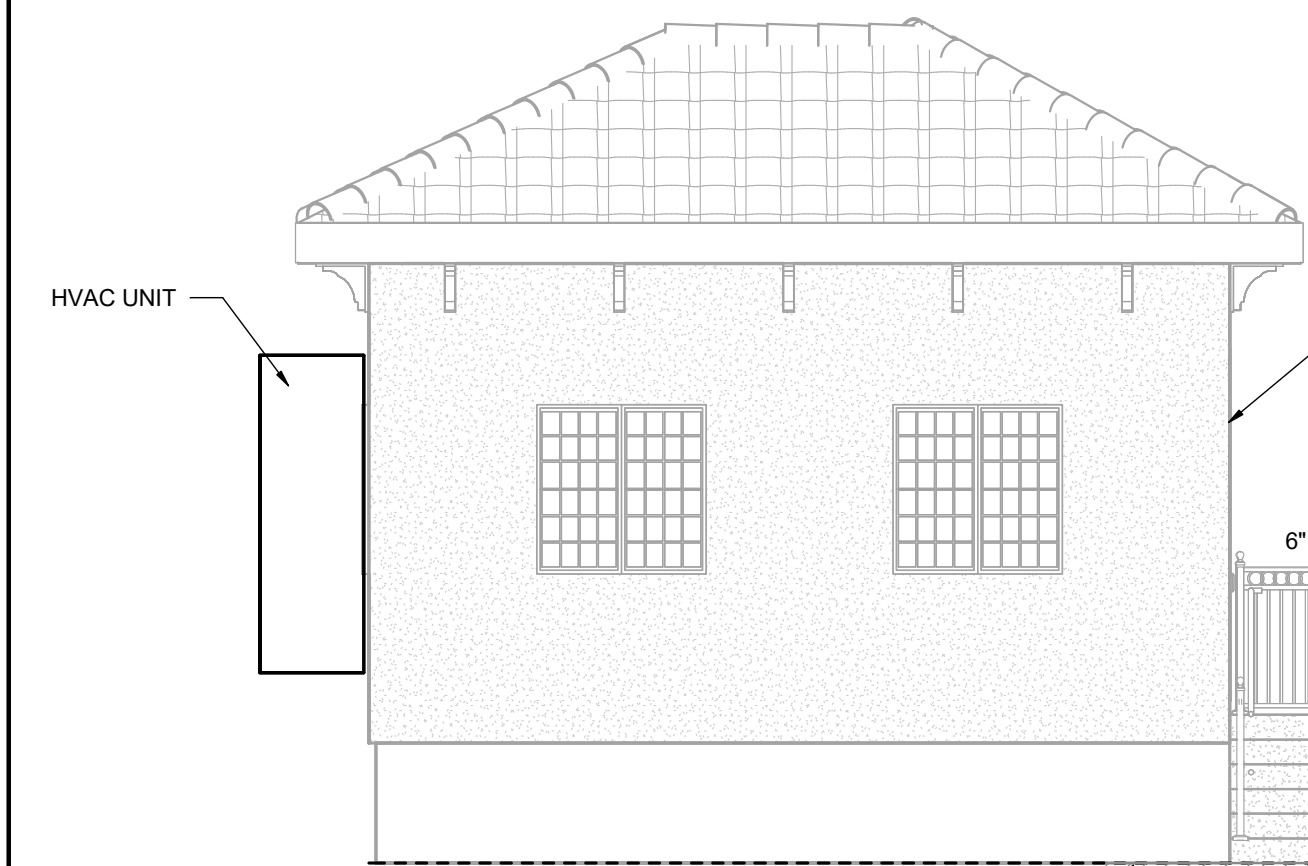
CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE  
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	CHK'D	DESCRIPTION
	4/2023			ISSUED FOR PERMITTING

DRC PERMIT - NOT FOR CONSTRUCTION

HAZEN AND SAWYER  
4000 HOLLYWOOD BLVD, SUITE 750N  
HOLLYWOOD, FLORIDA 33021

PROJECT #	10345814
PROJECT NAME	H&S Dorsey Riverbend PUMP STATION UPPER PLAN
SHEET NO.	MD-DR-02
TOTAL	133
REVIT FILE:	10345814-1-2.rvt
DRAWING FILE NO.	4-143-65



PUMP INFORMATION CHART			
PUMP NO.	P-1001	P-1002	P-1003
PRIMARY DESIGN POINT	8.0 CFS@ 60.7 FT	8.0 CFS@ 60.7 FT	8.0 CFS@ 60.7 FT
SECONDARY POINT ON CURVE	4.0 CFS@ 76.0 FT	4.0 CFS@ 76.0 FT	4.0 CFS@ 76.0 FT
MOTOR SIZE (HP)	85	85	85
SPEED (RPM)	1185	1185	1185
IMPELLER DIAMETER (MM)	376	376	376
DISCHARGE DIAMETER (IN)	12	12	12
PUMP MANUFACTURER (OR EQUAL)	FLYGT	FLYGT	FLYGT
PUMP MODEL	NP 3301 LT3-624	NP 3301 LT3-624	NP 3301 LT3-624
MOTOR MODEL	N3301.095 35-29-6AA-W	N3301.095 35-29-6AA-W	N3301.095 35-29-6AA-W

FLOAT INFORMATION CHART	
DESCRIPTION	LEVEL EL.
(A) HIGH LEVEL ALARM EL. (FT)	2.5
(B) LAG LAG PUMP ON EL. (FT)	2.0
(C) LAG PUMP ON EL. (FT)	1.5
(D) LEAD PUMP ON EL. (FT)	1.0
(E) LAG LAG PUMP OFF EL. (FT)	-5.2
(F) LAG PUMP OFF EL. (FT)	-6.2
(G) LEAD PUMP OFF EL. (FT)	-7.2
(H) LOW LEVEL ALARM EL. (FT)	-8.2

**Hazen**

HAZEN AND SAWYER  
4000 HOLLYWOOD BLVD, SUITE 750N  
HOLLYWOOD, FLORIDA 33021

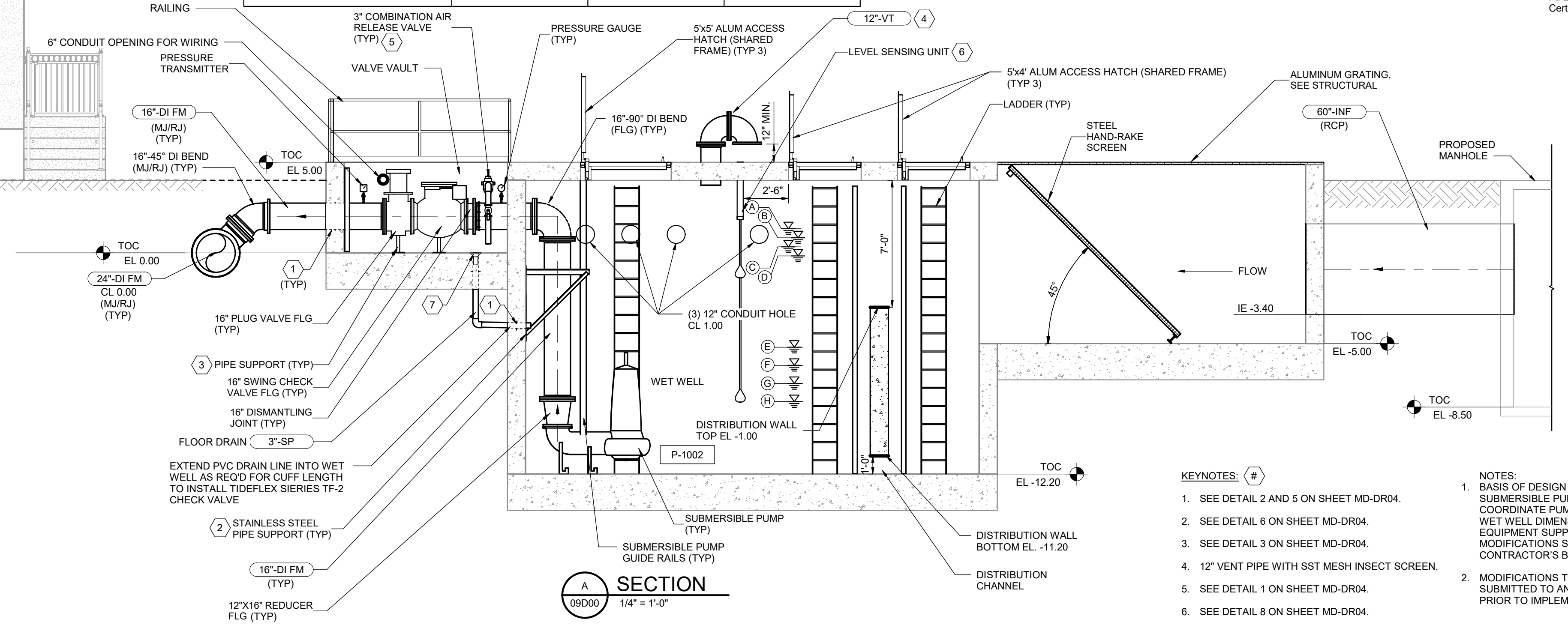
**HDR**

HDR West Commercial Boulevard  
Suite 100  
Ft. Lauderdale, Florida 33309-3459  
Certificate of Authorization No: 4213

ENGINEER:	HEATHER MANGANELLO
REG. NO.:	68385
DATE:	
DRAWN BY:	Author
DESIGNED BY:	SCALE: As Indicated
CHECKED BY:	Checked By
FIELD BOOK:	N/A

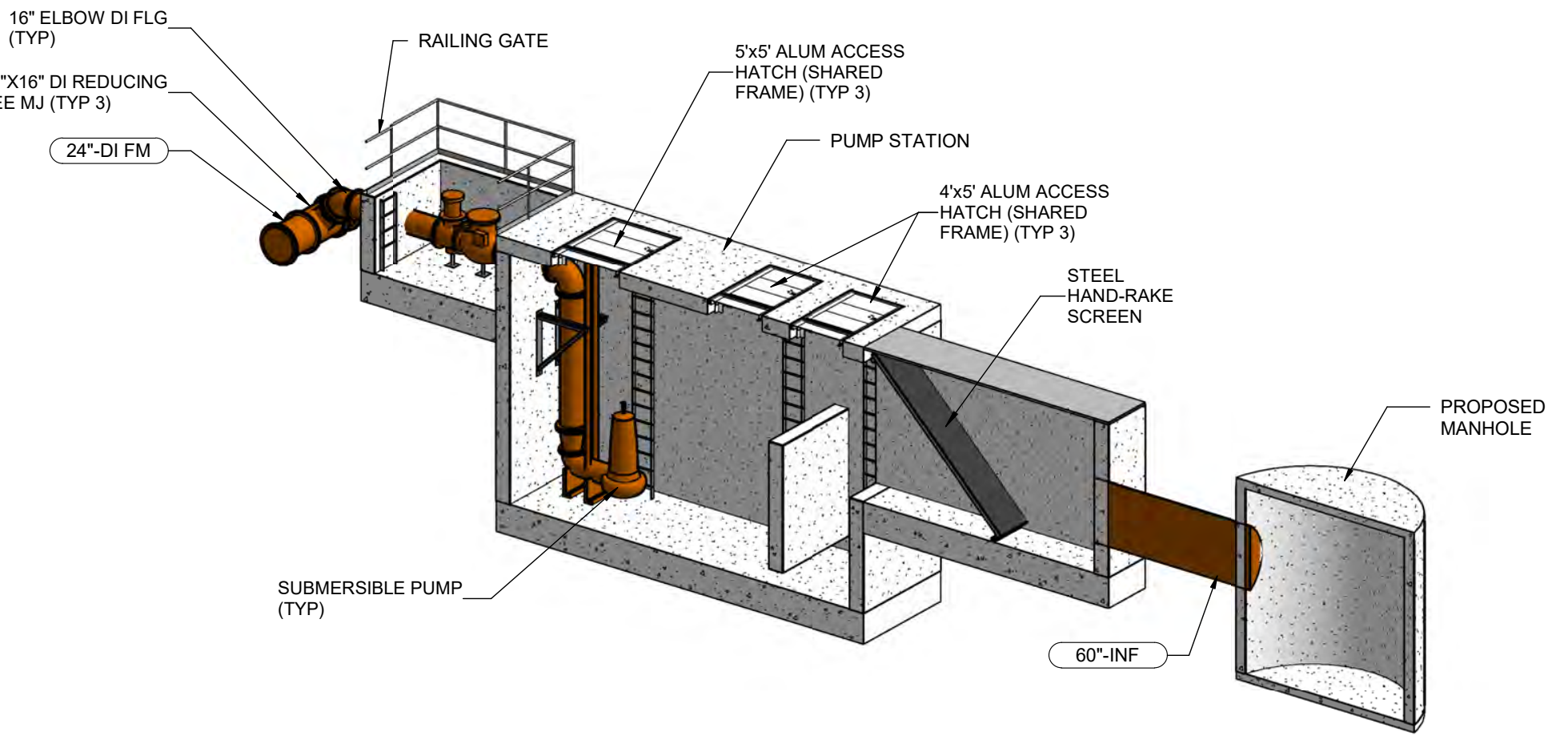
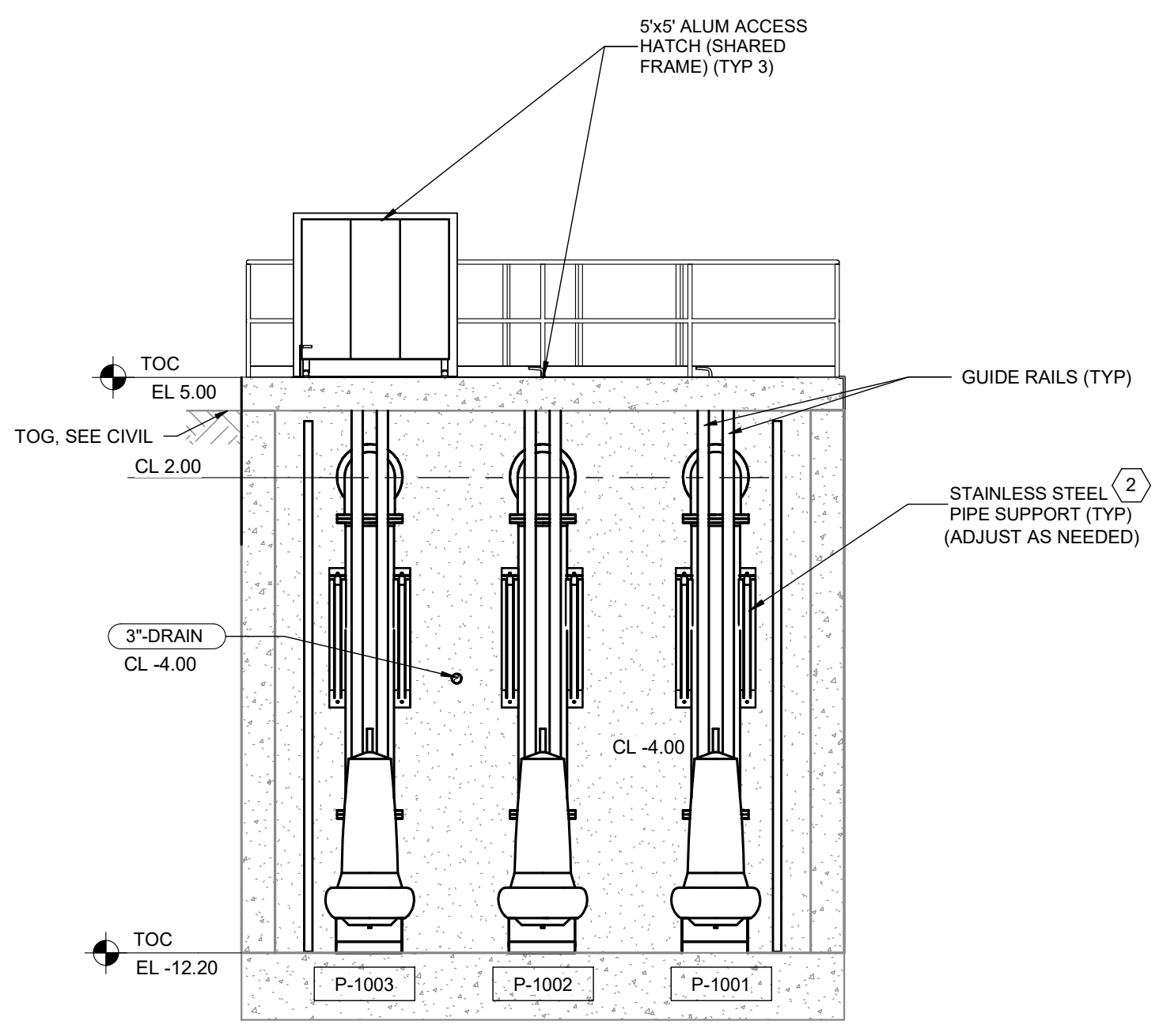
CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE

100 North Andrews Avenue, Fort Lauderdale, Florida 33301



- KEYNOTES: #
- SEE DETAIL 2 AND 5 ON SHEET MD-DR04.
  - SEE DETAIL 6 ON SHEET MD-DR04.
  - SEE DETAIL 3 ON SHEET MD-DR04.
  - 12" VENT PIPE WITH SST MESH INSECT SCREEN.
  - SEE DETAIL 1 ON SHEET MD-DR04.
  - SEE DETAIL 8 ON SHEET MD-DR04.
  - ZURN FLOOR DRAIN FOR EXTERIOR USE.

- NOTES:
- BASIS OF DESIGN SHOWN IS FLYGT SUBMERSIBLE PUMPS. CONTRACTOR SHALL COORDINATE PUMPS, PIPING LAYOUT, AND WET WELL DIMENSIONS WITH ACTUAL EQUIPMENT SUPPLIED. ANY REQUIRED MODIFICATIONS SHALL BE INCLUDED IN CONTRACTOR'S BID PRICE.
  - MODIFICATIONS TO LAYOUT SHALL BE SUBMITTED TO AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION OF CHANGE.



DRC PERMIT - NOT FOR CONSTRUCTION

NO.	DATE	BY	CHK'D	DESCRIPTION

PROJECT # 11845  
STORMWATER IMPROVEMENTS  
DORSEY RIVERBEND NEIGHBORHOOD  
PUMP STATION SECTIONS

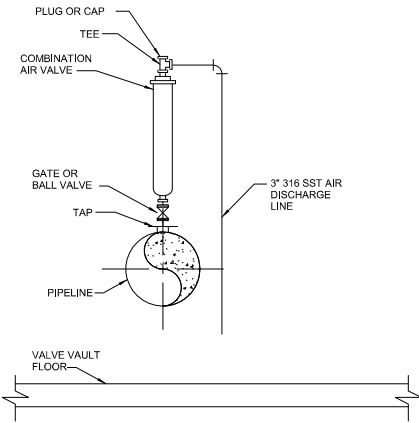
SHEET NO.  
**MD-DR-03**

TOTAL 134

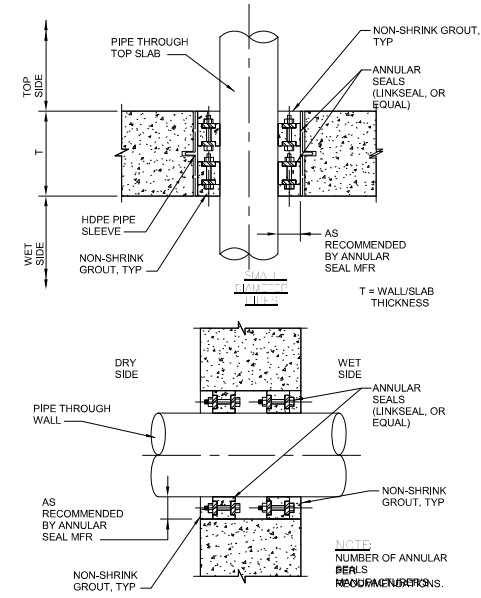
REVIT FILE:  
10345814-02-D.rvt

DRAWING FILE NO.  
4-143-65

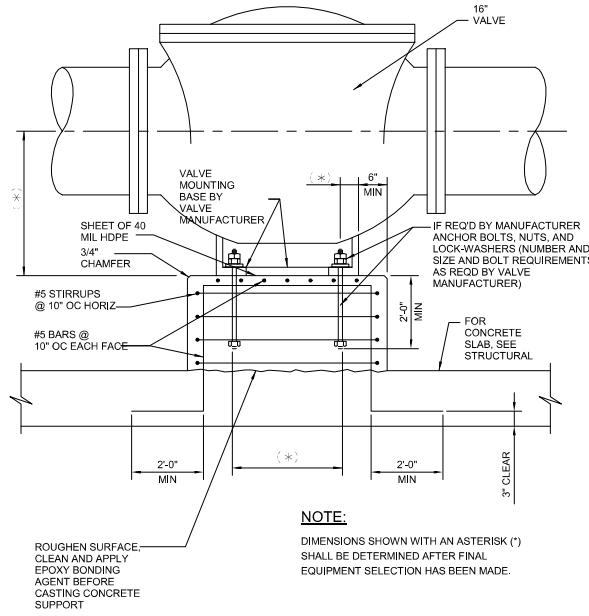
**NOTES**  
 1. FINAL SIZE OF TAP, VALVES, AND PIPING SHALL  
 2. USE FLANGED OR NPT CONNECTIONS FOR TAP



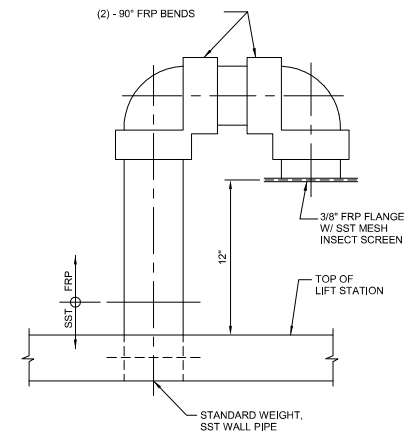
COMBINATION AIR VALVE  
 DETAIL 1  
 NO SCALE MD-DR-01



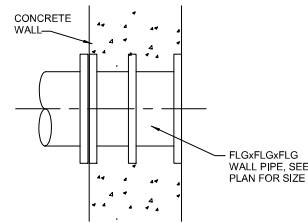
PIPE PENETRATION  
 DETAIL 2  
 NO SCALE



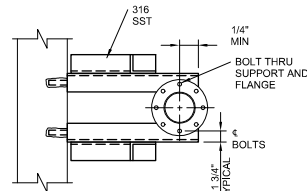
CONCRETE VALVE SUPPORT  
 DETAIL 3  
 NO SCALE



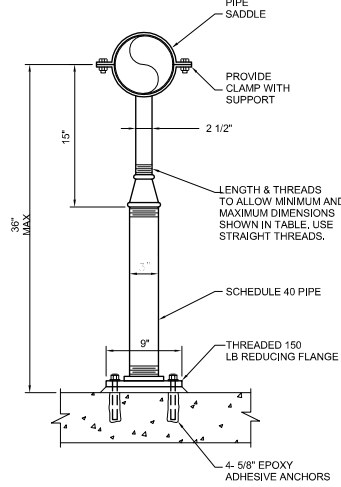
FRP VENT PIPE  
 DETAIL 4  
 NO SCALE



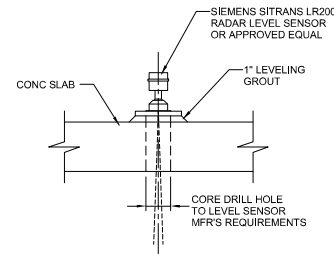
PIPE PENETRATION - WALL PIPE  
 DETAIL 5  
 NO SCALE



RISER PIPE SUPPORT  
 DETAIL 6  
 NO SCALE



FLOOR STAND PIPE SUPPORT  
 DETAIL 7  
 NO SCALE



LEVEL SENSING UNIT  
 DETAIL 8  
 NO SCALE

**NOTE:**  
 DIMENSIONS SHOWN WITH AN ASTERISK (\*) SHALL BE DETERMINED AFTER FINAL EQUIPMENT SELECTION HAS BEEN MADE.

ROUGHEN SURFACE, CLEAN AND APPLY EPOXY BONDING AGENT BEFORE CASTING CONCRETE SUPPORT

IF REQ'D BY MANUFACTURER ANCHOR BOLTS, NUTS, AND LOCK-WASHERS (NUMBER AND SIZE AND BOLT REQUIREMENTS AS REQ'D BY VALVE MANUFACTURER)

FOR CONCRETE SLAB, SEE STRUCTURAL

HDR Engineering, Inc. of the Carolinas  
 440 S. Church Street, Suite 1200  
 Charlotte, NC 28202  
 704.338.6700  
 N.C.B.E.L.S. License Number F-0116

**Hazen**  
 HAZEN AND SAWYER  
 4000 HOLLYWOOD BLVD, SUITE 750N  
 HOLLYWOOD, FLORIDA 33021

DRC PERMIT - NOT FOR CONSTRUCTION

ENGINEER:	HEATHER MANGANIELLO
REG. NO.:	6088
DATE:	
DATE:	03/2023
SCALE:	1" = 1'-0"
DESIGNED BY:	Designer
DRAWN BY:	Author
CHECKED BY:	Checker
FIELD BOOK:	N/A
TEL:	941.342.2755
FAX:	

CITY OF FORT LAUDERDALE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING & ARCHITECTURE  
 100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	CHK'D	DESCRIPTION
	4/2023			ISSUED FOR PERMITTING

PROJECT # 10345814  
 H&S Dorsey Riverbend  
 PUMP STATION  
 PUMP STATION DETAILS

SHEET NO.  
 MD-DR-04

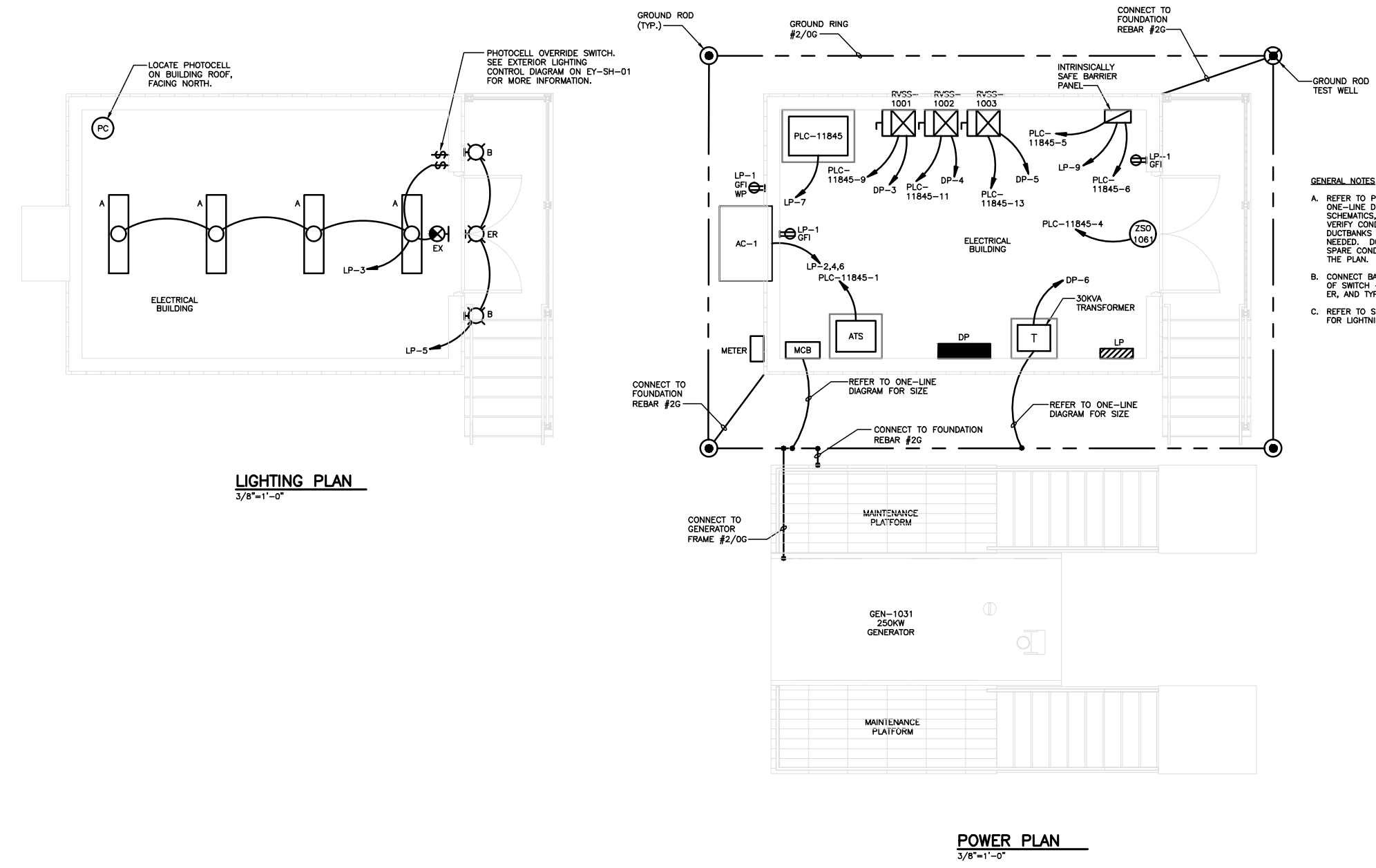
TOTAL 133  
 REVIT FILE:  
 10345814-1-1.rvt  
 DRAWING FILE NO.  
 4-143-65

NO.	DATE	BY	(CHKD)	DESCRIPTION
	03/20/23	JBT		DRAFT BID SET

PROJECT # P11845  
STORMWATER IMPROVEMENTS  
DORSEY RIVERBEND NEIGHBORHOOD  
ELECTRICAL BUILDING POWER  
AND LIGHTING PLANS

SHEET NO.  
**ED-DR-02**

TOTAL: 131  
CAD FILE: 11845-ED-DR-02  
DRAWING FILE NO. 4-143-65



- GENERAL NOTES**
- A. REFER TO POWER ONE-LINE DIAGRAMS, I&C ONE-LINE DIAGRAMS, ELECTRICAL CONTROL SCHEMATICS, AND APPLICABLE PLAN SHEETS. VERIFY CONDUIT COUNTS FOR ALL DUCTBANKS AND ADJUST QUANTITIES AS NEEDED. DO NOT REDUCE THE NUMBER OF SPARE CONDUITS FROM THAT INDICATED ON THE PLAN.
  - B. CONNECT BATTERY PACK IN FIXTURE AHEAD OF SWITCH - TYPICAL FOR TYPE A, TYPE ER, AND TYPE EX FIXTURES.
  - C. REFER TO SPECIFICATION SECTION 13101 FOR LIGHTNING PROTECTION REQUIREMENTS.

DRC PERMIT-NOT FOR CONSTRUCTION



**Hazen**

HAZEN AND SAWYER  
4000 HOLLYWOOD BLVD, SUITE 750N  
HOLLYWOOD, FLORIDA 33021  
Certificate of Authorization No. 2771



3250 West Commercial Boulevard  
Suite 100  
FL Lauderdale, Florida 33309-3459  
Certificate of Authorization No. 4213

DESIGNED BY: JILL B. VAN TASSEL  
DATE: 03/20/2023  
SCALE: NONE  
CHECKED BY: JTS  
FIELD BOOK: XXXX

DRAWN BY: JTS  
DATE: 03/20/2023  
DESIGNED BY: JTS  
SCALE: NONE  
CHECKED BY: JTS  
FIELD BOOK: XXXX

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE  
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY (REQD)	DESCRIPTION
	03/20/23		DRAFT BID SET

PROJECT # P11845  
STORMWATER IMPROVEMENTS  
DORSEY RIVERBEND NEIGHBORHOOD  
PANELBOARD AND LIGHT FIXTURE  
SCHEDULES

SHEET NO.  
**EY-SH-02**  
TOTAL: 131  
CAD FILE: 11845-EY-SH-02  
DRAWING FILE NO. 4-143-65

PANELBOARD NO: LP		BUS RATING (A): 100		ENCLOSURE: NEMA 1	
VOLTAGE (L-L): 208		MAIN OC DEVICE (A/PHASE): 100		MOUNTING: SURFACE	
PHASE / WIRE: 3 / 4+G		INTERRUPTING RATING (KA): 14		LOCATION: ELECTRICAL ROOM	
200% NEUTRAL: NO		SERVICE ENTRANCE LABEL: YES			

WIRING				CONNECTED LOAD (VA)								WIRING											
PHASE	NEUT.	GRND.	COND.	CKT NO.	DESCRIPTION	LTS	REC	MECH	MISC	AMPS	P	AMPS	P	LTS	REC	MECH	MISC	DESCRIPTION	CKT NO.	PHASE	NEUT.	GRND.	COND.
12	12	12	3/4"	1	GENERAL RECEP		540			20	1							2,760	2				
12	12	12	3/4"	3	INTERIOR LIGHTS	248				20	1	25	3					2,760	4	10		10	3/4"
12	12	12	3/4"	5	EXTERIOR LIGHTS	90				20	1							2,760	6				
12	12	12	3/4"	7	PLC-118AS				1,200	20	1							1,500	8				
12	12	12	3/4"	9	ISB PANEL				1,000	20	1	20	2					1,500	10	12	12	12	1"
10	10	10	1"	11	WETWELL RECEP		540			20	1							1,200	12	12	12	12	1"
12	12	12	3/4"	13	SPARE					20	1	20	1					1,500	14	12	12	12	1"
				15	SPARE					20	1							1,500	16				
				17	SPARE					20	1	20	2					1,500	18	12	12	12	1"
				19	SPARE					20	1								20				
				21	SPARE					20	1	20	1						22				
				23	SPARE					20	1	20	1						24				
				25	SPARE					20	1	20	1						26				
				27	SPARE					20	1	20	1						28				
				29	SPARE					20	1	20	1						30				
				31	SPARE					20	1	20	1						32				
				33	SPARE					20	1	20	1						34				
				35	SPARE					20	1	20	1						36				
				37	SPARE					20	1								38				
				39	SPARE					20	1	30	3						40	10	10	10	3/4"
				41	SPARE					20	1								42				

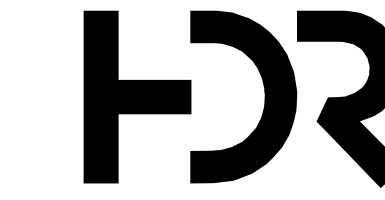
LOAD SUMMARY										
	LTS	REC	MECH	MISC**	SPARE	TOTAL	PHASE BALANCE			
CONNECTED LOAD (KVA)	0.3	1.1	11.3	7.9	20.8	20.8	208	LINE-TO-LINE VOLTS	PHASE A (KVA)	8
DEMAND FACTOR	1.25	NEC	1.00	20%			57	CONNECTED AMPS	PHASE B (KVA)	7
DESIGN LOAD (KVA)	0.4	1.1	11.3	7.9	4.1	24.8	69	DESIGN AMPS	PHASE C (KVA)	6

LIGHTING FIXTURE SCHEDULE							
FIXTURE DESIG.	MANUFACTURER	CATALOG SERIES	DESCRIPTION	QTY	TYPE	FIXTURE WATTS	FIXTURE VOLT.
A	LITHONIA	CSS L48 4000LM MVOLT 40K 80CRI IETWCP	SUSPENDED OR SURFACE MOUNT 4' LED LENSED INDUSTRIAL STRIP FIXTURE. HEAVY DIE-FORMED STEEL CHANNEL, HIGH GLOSS BAKED ENAMEL FINISH, AND EMERGENCY BATTERY BACKUP.	4	LED 4000K	38.3	120-277 MULTI-VOLT
B	LITHONIA	OLLWD LED P1 40K MVOLT DDB	DECORATIVE LED WALL CYLINDER LIGHT. CAST ALUMINUM HOUSING WITH CORROSION-RESISTANT PAINT AND POLYCARBONATE LENS. DARK BRONZE FINISH. WET LOCATION LISTED. SEE DRAWING FOR MOUNTING HEIGHT. PROVIDE EXTERNAL PHOTOCELL CONTROL WITH MANUAL OVERRIDE SWITCH.	5	LED 4000K	9.1	120-277 MULTI-VOLT
ER	LITHONIA	AFO DB MVOLT N SD CW	ATTRACTIVE LOW PROFILE REMOTE EMERGENCY UNIT WITH DIE CAST ALUMINUM HOUSING, DARK BRONZE FINISH, AND NICKEL CADMIUM BATTERY.	2	LED	2.8	120-277 MULTI-VOLT
EX	LITHONIA	LHQM LED R HO	THERMOPLASTIC EXIT SIGN/EMERGENCY COMBO UNIT. IMPACT RESISTANT, CORROSION-PROOF, WHITE FINISH. RED LETTERS SELF-DIAGNOSTIC ELECTRONICS, NICKEL CADMIUM BATTERY.	1	LED	0.62	120-277 MULTI-VOLT

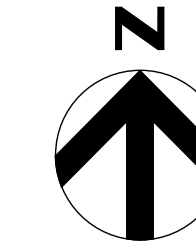
NOTES:  
1. THE MANUFACTURER AND CATALOG SERIES NUMBERS PROVIDED IN THE ABOVE SCHEDULE ARE USED ONLY TO DENOTE THE QUALITY STANDARD OF PRODUCT DESIRED TO MEET THE SCHEDULED REQUIREMENTS AND DO NOT RESTRICT THE CONTRACTOR TO A SPECIFIC BRAND, MAKE, OR MANUFACTURER; THEY ARE USED ONLY TO SET FORTH AND CONVEY THE GENERAL STYLE, TYPE, CHARACTER, AND QUALITY OF PRODUCTS DESIRED TO MEET THE SCHEDULED REQUIREMENTS. EQUIVALENT PRODUCTS MAY BE ACCEPTABLE.

DRC PERMIT-NOT FOR CONSTRUCTION

**Hazen**  
 HAZEN AND SAWYER  
 4000 HOLLYWOOD BLVD, SUITE 750N  
 HOLLYWOOD, FLORIDA 33021



3250 West Commercial Boulevard  
 Suite 100  
 Ft. Lauderdale, Florida 33309-3459  
 Certificate of Authorization No:  
 AA26003566



2019 ASHRAE 90.1 ENERGY STANDARD FOR BUILDINGS				
ENERGY CODE THERMAL ZONE 1A				
THERMAL ELEMENTS	CONDITIONED REQ	SEMI-HEATED	PROVIDED	REFERE...
INSULATION ABOVE ROOF DECK	R-20 CI	R-4	R-20 CI	T 5.5-3
MASS WALL	NR	NR	R-10	
WALLS BELOW GRADE	NR	NR	NA	
FLOORS	NA	NA	NA	
SLAB ON GRADE FLOORS (MASS)	NR	NR	NR	5.5.4.2.3
OPAQUE SWINGING DOORS	U-0.37	U-0.73	U-0.29	
OPAQUE NONSWINGING DOORS	U-0.31	U-1.45	U-1.45	
WINDOWS	U-0.50	U-1.2	U-0.50	
TRANSLUCENT ROOF PANELS (3% MIN OF ROOF)	NA	NA	NA	
TRANSLUCENT ROOF PANEL SHGC	NA	N/A	NA	
DOORS WITH WINDOWS	U-0.83	U-1.10	U-0.83	

2020 FLORIDA ENERGY CODE ALLOWS USE OF 2019 ASHRAE 90.1 AS APPLICABLE COMPLIANCE IN SECTION C401.1.  
 ASHRAE 90.1 INCLUDES LESS STRINGENT THERMAL ENVELOPE REQUIREMENTS FOR INDUSTRIAL BUILDINGS  
 2020 FLORIDA ENERGY CODE DOES NOT REQUIRE NATURAL LIGHTING MINIMUMS PER SECTION C402.4.2 EXCEPTION #2

EXTERIOR PRODUCT APPROVAL INFORMATION BASIS OF DESIGN OR EQUAL			
PRODUCT DESCRIPTION	MANUFACTURER APPLICANT	MIAMI-DADE NOTICE OF APPROVAL NO.	EXPIRATION DATE
N-SERIES OUTSWING OPAQUE STEEL DOORS	MESKER DOOR	20-0708.09	7/16/2025
EIFS OVER CMU	MASTER BUILDERS	21-0517.09	10/8/2025
FLORIDA METAL BARREL TILE ROOF	FLORIDA METAL ROOFING PRODUCTS	21-0202.05	4/13/2026

ARCHITECT:  
 JAMES REDBRICK  
 REG. No.  
 DATE:  
 TEL: 704.388.6738  
 FAX:

DATE: 2022  
 DRAWN BY: JFW  
 DESIGNED BY: JR  
 CHECKED BY: JR  
 SCALE: 3/8" = 1'-0"  
 FIELD BOOK: N/A

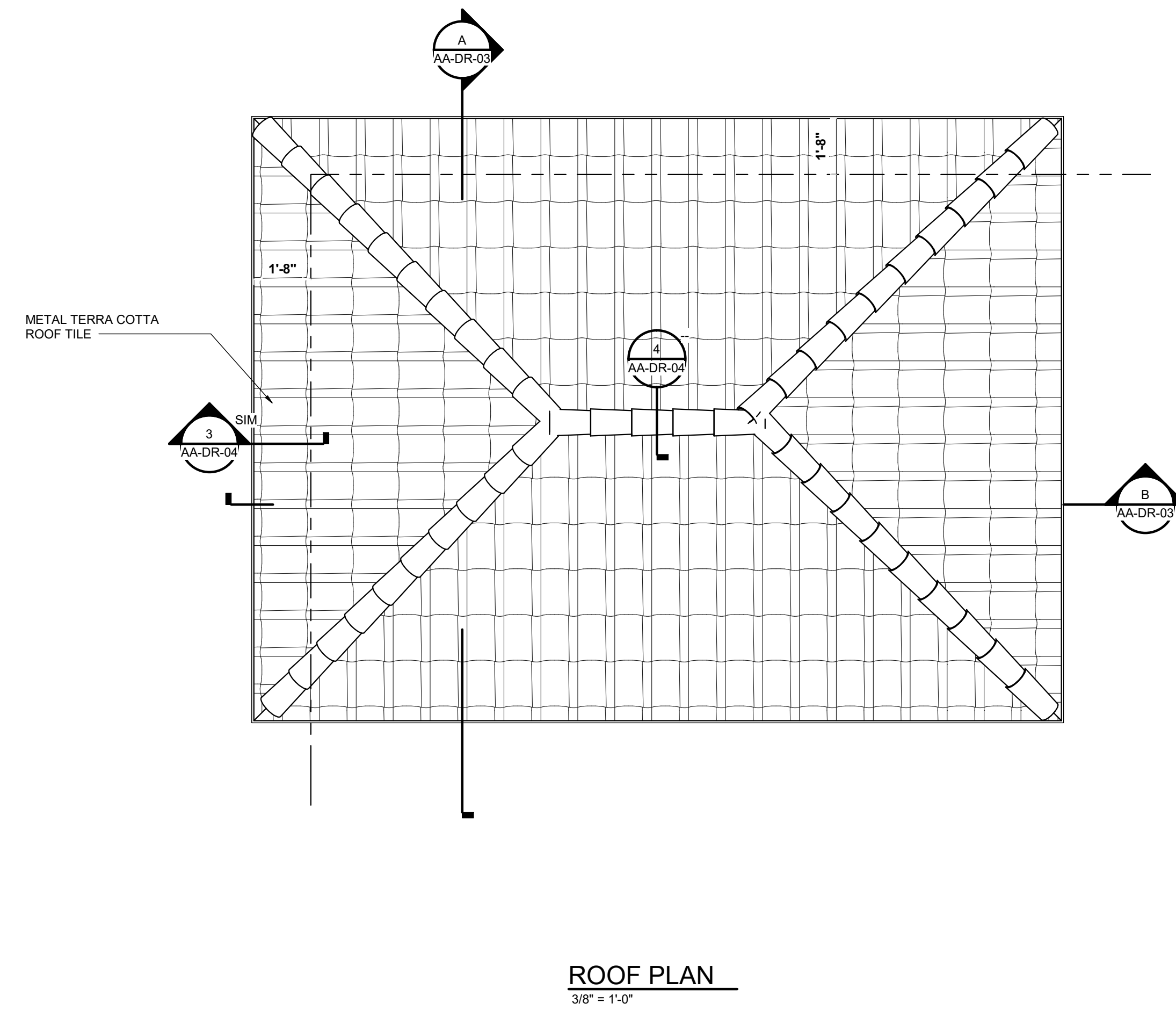
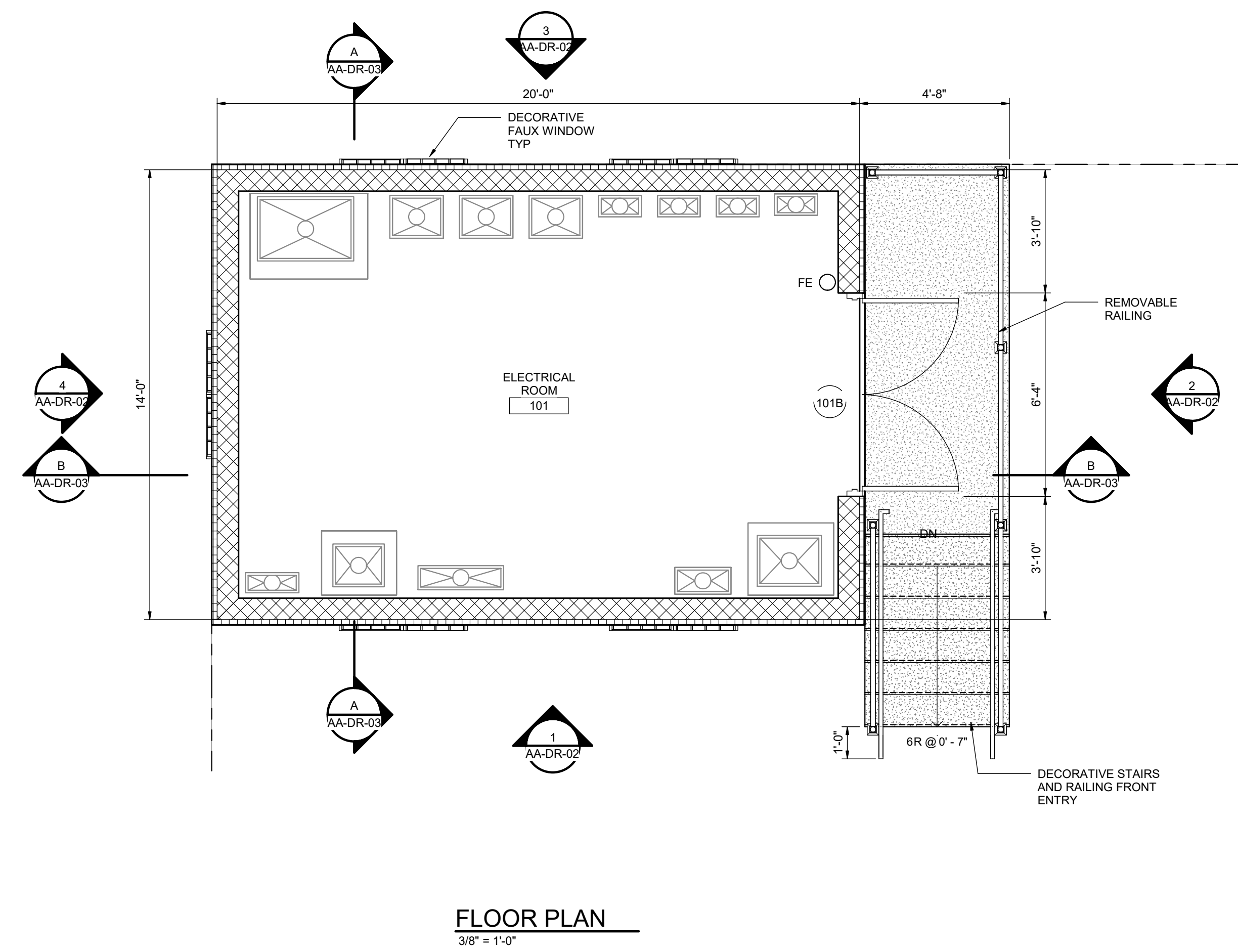
CITY OF FORT LAUDERDALE  
 PUBLIC WORKS DEPARTMENT  
 ENGINEERING & ARCHITECTURE  
 100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	CHK'D DESCRIPTION	DRC COMMENTS
	09/2023			

PROJECT # 11845  
 STORMWATER IMPROVEMENTS  
 DORSEY RIVERBEND NEIGHBORHOOD  
 PLANS

SHEET NO.  
**AA-DR-01**  
 TOTAL 134  
 REVIT FILE:  
 10345814-02-A.rvt  
 DRAWING FILE NO.  
 4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION





# Hazen

HAZEN AND SAWYER  
4000 HOLLYWOOD BLVD, SUITE 750N  
HOLLYWOOD, FLORIDA 33021



3250 West Commercial Boulevard  
Suite 100  
Ft. Lauderdale, Florida 33309-3459  
Certificate of Authorization No:  
AA26003566

ARCHITECT:  
JAMES REDDICK  
REG. No.  
DATE:  
TEL: 704.386.6739  
FAX:

DATE: 2022  
DRAWN BY:  
DESIGNED BY:  
SCALE: 3/8"  
CHECKED BY:  
FIELD BOOK:  
N/A:

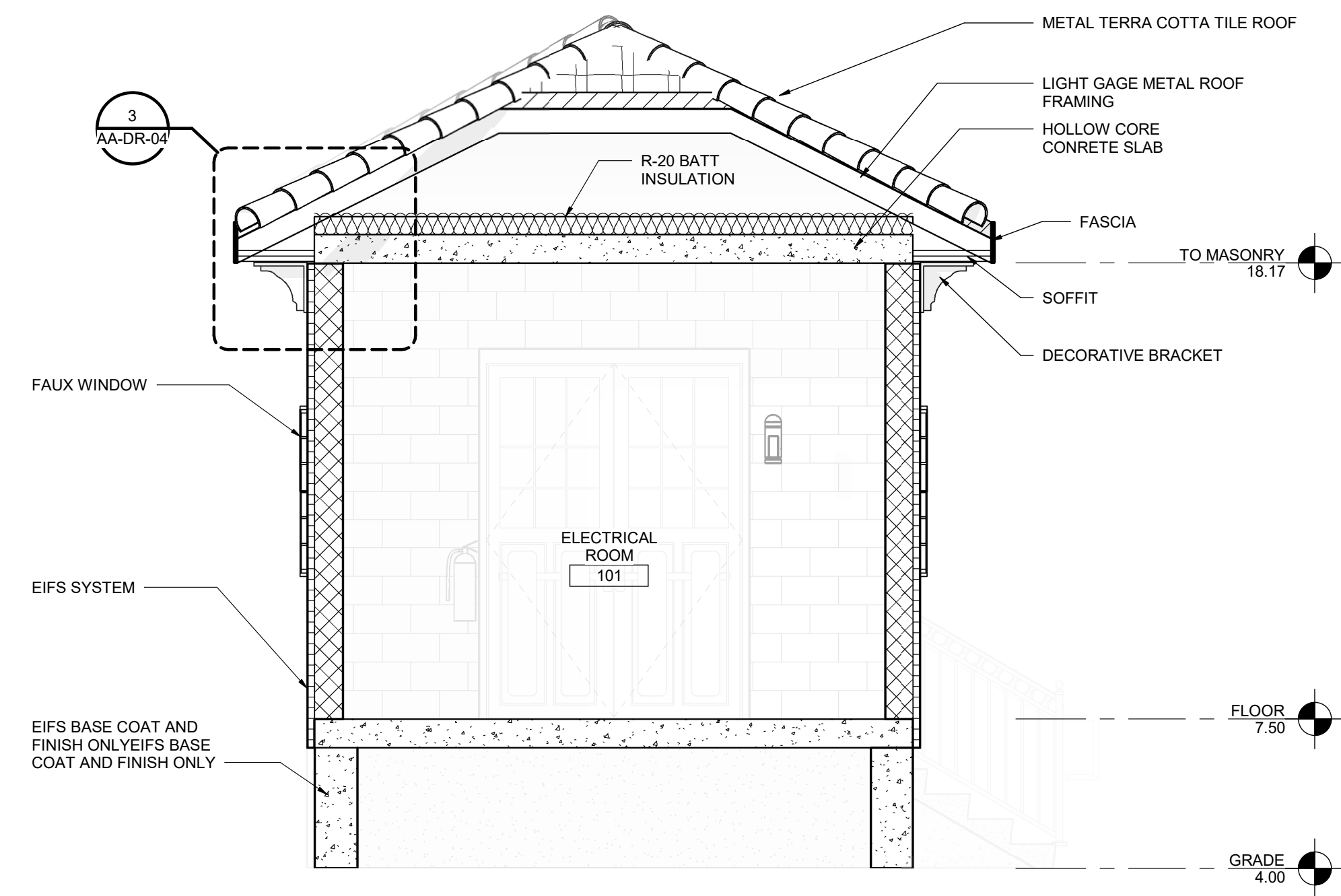
CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE  
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

REVISIONS					
NO.	DATE	BY	CHK'D	DESCRIPTION	DRC COMMENTS
	09/2023				

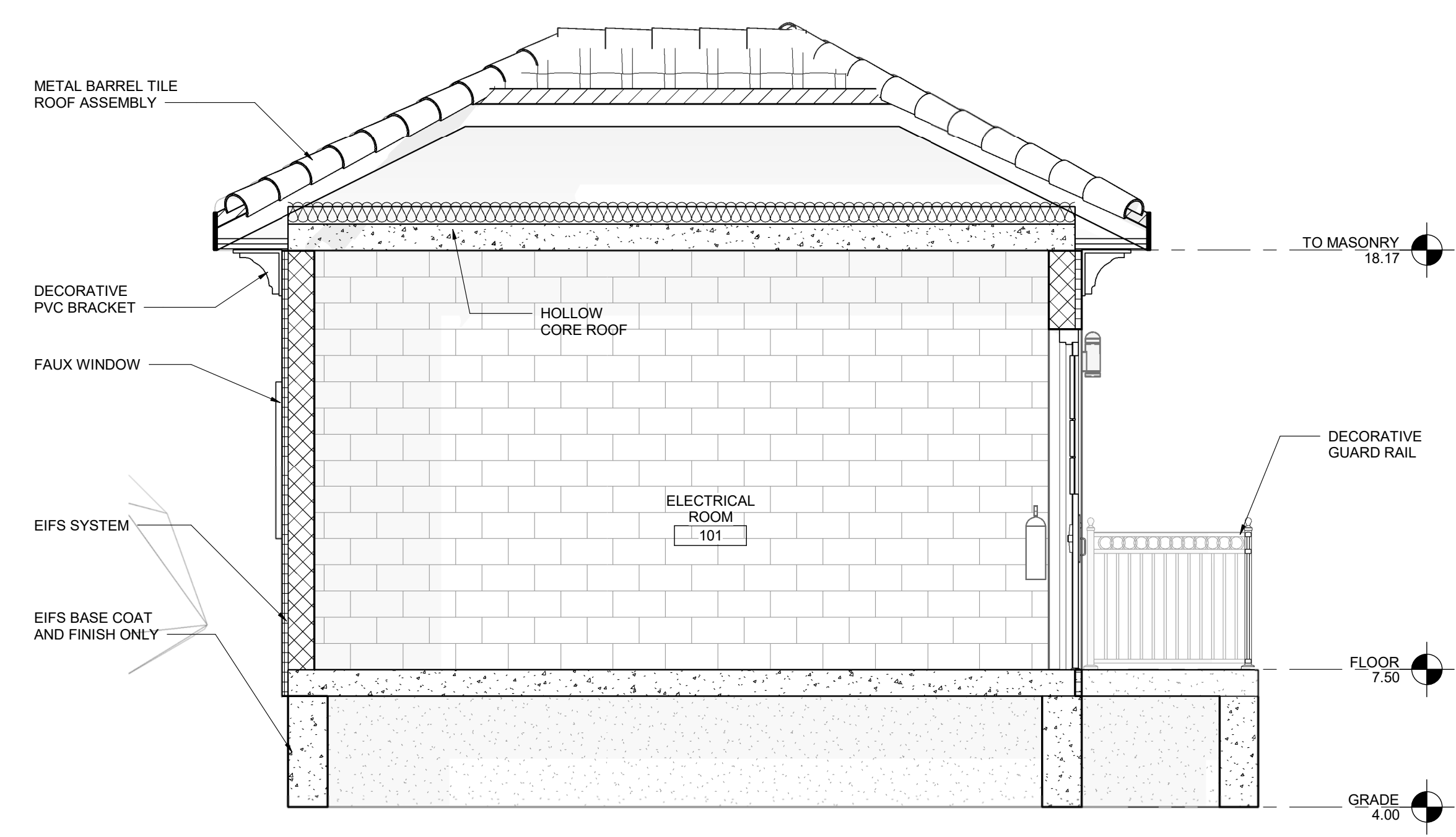
**PROJECT # 11845**  
**STORMWATER IMPROVEMENTS**  
**DORSEY RIVERBEND NEIGHBORHOOD**  
**BUILDING SECTIONS**

SHEET NO.  
**AA-DR-03**  
TOTAL 134  
REVIT FILE:  
10345814-02-A.rvt  
DRAWING FILE NO.  
4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION



**A BUILDING SECTION**  
AA-DR-01 3/8" = 1'-0"



**B BUILDING SECTION**  
AA-DR-01 3/8" = 1'-0"



# Hazen

HAZEN AND SAWYER  
4000 HOLLYWOOD BLVD, SUITE 750N  
HOLLYWOOD, FLORIDA 33021



3250 West Commercial Boulevard  
Suite 100  
Ft. Lauderdale, Florida 33309-3459  
Certificate of Authorization No:  
AA26003566

ARCHITECT:  
JAMES REDBRICK  
REG. No.  
DATE:

DATE: 2022  
DRAWN BY:  
DESIGNED BY:  
CHECKED BY:  
FIELD BOOK:  
SCALE: 1 : 60  
N/A:

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE  
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	CHK'D	DESCRIPTION	DRC COMMENTS
	09/2023				

**PROJECT # 11845**  
**STORMWATER IMPROVEMENTS**  
**DORSEY RIVERBEND NEIGHBORHOOD**  
**ILLUSTRATIVE SITE PLAN**

SHEET NO.  
**AA-DR-05**  
TOTAL 134  
REVIT FILE:  
10345814-02-A.rvt  
DRAWING FILE NO.  
4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION



**ILLUSTRATIVE SITE PLAN**  
1 : 60



STRUCTURE NO.	NORTHING	EASTING	DESCRIPTION
STIN-11845-20A	653089.11	931045.18	18" NYLOPLAST DRAIN BASIN
STIN-11845-20B	653122.45	931044.01	18" NYLOPLAST DRAIN BASIN
STIN-11845-20C	653125.10	931126.01	18" NYLOPLAST DRAIN BASIN

**LEGEND:**

- NO. 57 STONE (PERVIOUS) 3" MIN. THICKNESS
- CONCRETE PAVEMENT (IMPERVIOUS) 6" THICK
- DEMO AND REPLACE

**Hazen**  
HAZEN AND SAWYER  
4000 HOLLYWOOD BLVD, SUITE 750N  
HOLLYWOOD, FLORIDA 33021  
Certificate of Authorization No: 2771

**HR**  
3250 West Commercial Boulevard  
Suite 100  
FL. Lauderdale, Florida 33309-3469  
Certificate of Authorization No: 4213

ENGINEER:  
BRN: NLS  
DATE: 06/09/2023

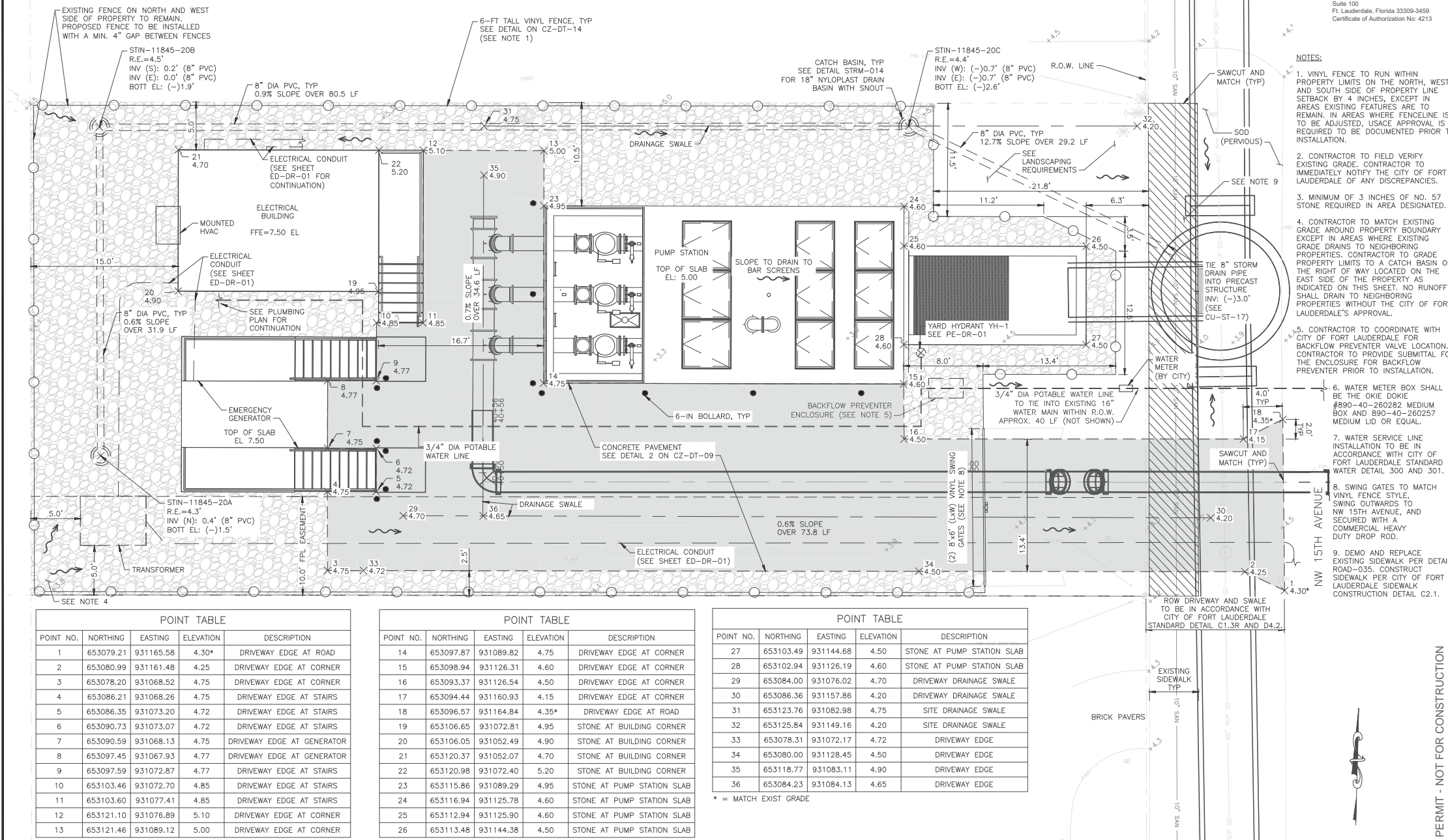
DESIGNED BY: GAB  
CHECKED BY: LEFR  
FIELD BOOK: XXXX

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE  
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY	CHKD	DESCRIPTION

PROJECT # 11845  
STORMWATER IMPROVEMENTS  
DORSEY RIVERBEND NEIGHBORHOOD  
PUMP STATION SITE PLAN

SHEET NO.  
**CD-ST-01**  
TOTAL: 134  
CAD FILE:  
11845-CD-ST01  
DRAWING FILE NO.  
4-143-65



- NOTES:**
- VINYL FENCE TO RUN WITHIN PROPERTY LIMITS ON THE NORTH, WEST, AND SOUTH SIDE OF PROPERTY LINE SETBACK BY 4 INCHES, EXCEPT IN AREAS WHERE FENCELINE IS TO BE ADJUSTED, USACE APPROVAL IS REQUIRED TO BE DOCUMENTED PRIOR TO INSTALLATION.
  - CONTRACTOR TO FIELD VERIFY EXISTING GRADE. CONTRACTOR TO IMMEDIATELY NOTIFY THE CITY OF FORT LAUDERDALE OF ANY DISCREPANCIES.
  - MINIMUM OF 3 INCHES OF NO. 57 STONE REQUIRED IN AREA DESIGNATED.
  - CONTRACTOR TO MATCH EXISTING GRADE AROUND PROPERTY BOUNDARY EXCEPT IN AREAS WHERE EXISTING GRADE DRAINS TO NEIGHBORING PROPERTIES. CONTRACTOR TO GRADE PROPERTY LIMITS TO A CATCH BASIN OR THE RIGHT OF WAY LOCATED ON THE EAST SIDE OF THE PROPERTY AS INDICATED ON THIS SHEET. NO RUNOFF SHALL DRAIN TO NEIGHBORING PROPERTIES WITHOUT THE CITY OF FORT LAUDERDALE'S APPROVAL.
  - CONTRACTOR TO COORDINATE WITH CITY OF FORT LAUDERDALE FOR BACKFLOW PREVENTER VALVE LOCATION. CONTRACTOR TO PROVIDE SUBMITTAL FOR THE ENCLOSURE FOR BACKFLOW PREVENTER PRIOR TO INSTALLATION.
  - WATER METER BOX SHALL BE THE OKIE DOKIE #890-40-260282 MEDIUM BOX AND 890-40-260257 MEDIUM LID OR EQUAL.
  - WATER SERVICE LINE INSTALLATION TO BE IN ACCORDANCE WITH CITY OF FORT LAUDERDALE STANDARD WATER DETAIL 300 AND 301.
  - SWING GATES TO MATCH VINYL FENCE STYLE, SWING OUTWARDS TO NW 15TH AVENUE, AND SECURED WITH A COMMERCIAL HEAVY DUTY DROP ROD.
  - DEMO AND REPLACE EXISTING SIDEWALK PER DETAIL ROAD-035. CONSTRUCT SIDEWALK PER CITY OF FORT LAUDERDALE SIDEWALK CONSTRUCTION DETAIL C2.1.

**POINT TABLE**

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	653079.21	931165.58	4.30*	DRIVEWAY EDGE AT ROAD
2	653080.99	931161.48	4.25	DRIVEWAY EDGE AT CORNER
3	653078.20	931068.52	4.75	DRIVEWAY EDGE AT CORNER
4	653086.21	931068.26	4.75	DRIVEWAY EDGE AT STAIRS
5	653086.35	931073.20	4.72	DRIVEWAY EDGE AT STAIRS
6	653090.73	931073.07	4.72	DRIVEWAY EDGE AT STAIRS
7	653090.59	931068.13	4.75	DRIVEWAY EDGE AT GENERATOR
8	653097.45	931067.93	4.77	DRIVEWAY EDGE AT GENERATOR
9	653097.59	931072.87	4.77	DRIVEWAY EDGE AT STAIRS
10	653103.46	931072.70	4.85	DRIVEWAY EDGE AT STAIRS
11	653103.60	931077.41	4.85	DRIVEWAY EDGE AT STAIRS
12	653121.10	931076.89	5.10	DRIVEWAY EDGE AT CORNER
13	653121.46	931089.12	5.00	DRIVEWAY EDGE AT CORNER

**POINT TABLE**

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
14	653097.87	931089.82	4.75	DRIVEWAY EDGE AT CORNER
15	653098.94	931126.31	4.60	DRIVEWAY EDGE AT CORNER
16	653093.37	931126.54	4.50	DRIVEWAY EDGE AT CORNER
17	653094.44	931160.93	4.15	DRIVEWAY EDGE AT CORNER
18	653096.57	931164.84	4.35*	DRIVEWAY EDGE AT ROAD
19	653106.65	931072.81	4.95	STONE AT BUILDING CORNER
20	653106.05	931052.49	4.90	STONE AT BUILDING CORNER
21	653120.37	931052.07	4.70	STONE AT BUILDING CORNER
22	653120.98	931072.40	5.20	STONE AT BUILDING CORNER
23	653115.86	931089.29	4.95	STONE AT PUMP STATION SLAB
24	653116.94	931125.78	4.60	STONE AT PUMP STATION SLAB
25	653112.94	931125.90	4.60	STONE AT PUMP STATION SLAB
26	653113.48	931144.38	4.50	STONE AT PUMP STATION SLAB

**POINT TABLE**

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
27	653103.49	931144.68	4.50	STONE AT PUMP STATION SLAB
28	653102.94	931126.19	4.60	STONE AT PUMP STATION SLAB
29	653084.00	931076.02	4.70	DRIVEWAY DRAINAGE SWALE
30	653086.36	931157.86	4.20	DRIVEWAY DRAINAGE SWALE
31	653123.76	931082.98	4.75	SITE DRAINAGE SWALE
32	653125.84	931149.16	4.20	SITE DRAINAGE SWALE
33	653078.31	931072.17	4.72	DRIVEWAY EDGE
34	653080.00	931128.45	4.50	DRIVEWAY EDGE
35	653118.77	931083.11	4.90	DRIVEWAY EDGE
36	653084.23	931084.13	4.65	DRIVEWAY EDGE

\* = MATCH EXIST GRADE

**PLAN**  
1"=5'-0"

DRC PERMIT - NOT FOR CONSTRUCTION



**LEGEND:**

	NO. 57 STONE (PERVIOUS) 3" MIN. THICKNESS
	CONCRETE PAVEMENT (IMPERVIOUS) 6" THICK
	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

# Hazen

HAZEN AND SAWYER  
4000 HOLLYWOOD BLVD, SUITE 750N  
HOLLYWOOD, FLORIDA 33021  
Certificate of Authorization No: 2771



3250 West Commercial Boulevard  
Suite 100  
Ft. Lauderdale, Florida 33309-3459  
Certificate of Authorization No: 4213

ENGINEER:  
BEN BULLIS  
DATE: 06/09/2023

DRAWN BY: TB  
DESIGNED BY: GAG  
CHECKED BY: LEFR  
FIELD BOOK: XXXX

TEL: 954-987-0066  
FAX: 954-987-5948

**NOTES:**  
1. REFER TO EROSION AND SEDIMENT CONTROL NOTES AND DETAILS ON SHEETS CZ-DT-04 AND CZ-DT-05.

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE

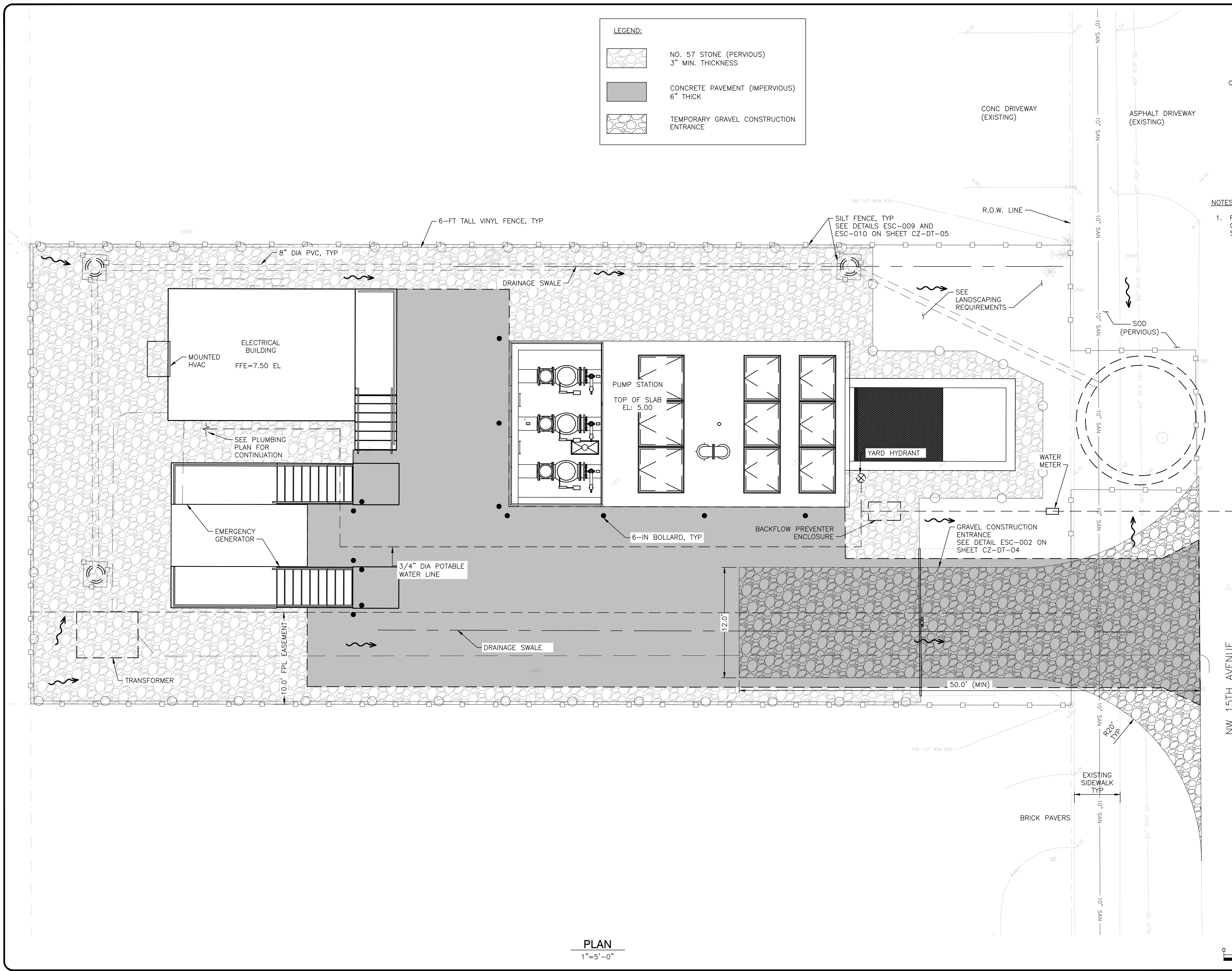
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

NO.	DATE	BY (CHKD)	DESCRIPTION

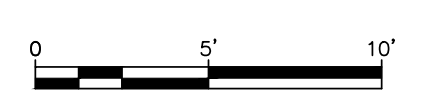
PROJECT # 11845  
STORMWATER IMPROVEMENTS  
DORSEY RIVERBEND NEIGHBORHOOD  
EROSION CONTROL SITE PLAN

SHEET NO.  
**CD-ST-02**  
TOTAL: 134  
CAD FILE:  
11845-CD-ST02  
DRAWING FILE NO.  
4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION



**PLAN**  
1"=5'-0"



C:\pwworkspace\11845\11845-CD-ST-02.dwg, CD-ST-02, 6/9/2023, 1:40:17 PM, ZARTH

**EROSION AND SEDIMENT CONTROL:**

- CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES THROUGHOUT CONSTRUCTION IN ORDER TO ENSURE POLLUTION PREVENTION. CONTRACTOR TO COMPLY WITH ALL LOCAL STATE AND OTHER GOVERNMENTAL ENVIRONMENTAL REGULATIONS THROUGHOUT CONSTRUCTION.
- DURING CONSTRUCTION ALL CATCH BASIN INLETS SHALL BE PROTECTED TO PREVENT SEDIMENT AND DEBRIS FROM ENTERING THE CATCH BASIN.
- SILT FENCES SHALL BE INSTALLED AS NECESSARY TO CONTROL OR PREVENT DISCHARGE OF SEDIMENT ONTO ADJACENT UNDISTURBED AREAS, OR OFF-SITE AREAS.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED WITHIN A REASONABLE PERIOD OF TIME TO ASSURE MINIMUM EROSION OF SOILS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SODDED AS SPECIFIED WITHIN 30 DAYS OF FINAL GRADING.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN AND AT LEAST ONCE A WEEK.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY CITY, COUNTY, AND STATE OF FLORIDA ON SITE INSPECTION, AT NO ADDITIONAL COST TO THE OWNER.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- BURNING OF DEBRIS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE IF IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES IF EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC. THE CONTRACTOR IS TO REMOVE AND CLEAN SAID EARTH TO THE SATISFACTION OF THE ENGINEER AND/OR AUTHORITIES. EROSION CONTROL BARRIER SHALL BE ESTABLISHED AS THE FIRST ITEM OF WORK.

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DETAILS

EROSION AND SEDIMENT CONTROL NOTES  
SHEET 1

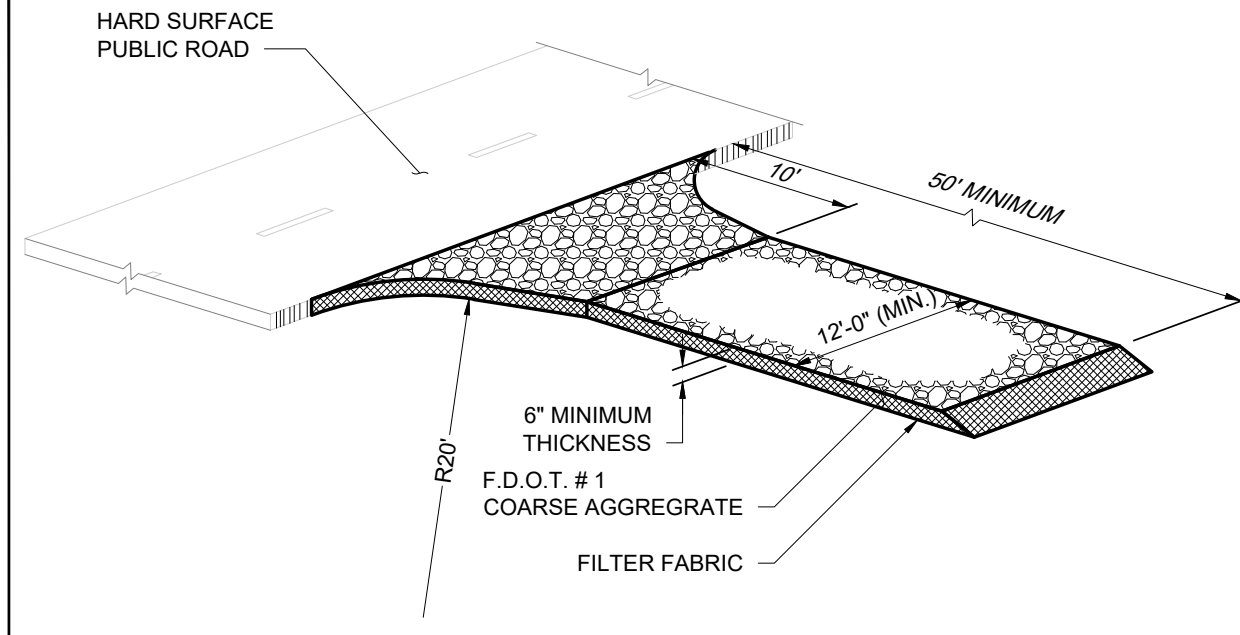
ESC 001  
2017/07/08

- THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S STORMWATER PERMITTING PROGRAM APPLIES TO ALL CONSTRUCTION ACTIVITY THAT: 1) CONTRIBUTE STORMWATER DISCHARGES TO SURFACE WATER OF THE STATE OR INTO A MUNICIPAL SEWER SYSTEM (MS4); 2) DISTURBS ONE OR MORE ACRES OF LAND; OR 3) LESS THAN ONE ACRE IS INCLUDED IF THE ACTIVITY IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT THAT WILL MEET OR EXCEED THE ONE ACRE THRESHOLD. DISTURB INCLUDES CLEARING, GRADING AND EXCAVATING.
- FOR CONSTRUCTION ACTIVITY THAT IS SUBJECT TO THE NPDES FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S STORMWATER PERMITTING PROGRAM, THE CONTRACTOR SHALL:
  - OBTAIN A GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION DOCUMENT 62-621.300(4)(A).
  - COMPLY WITH ALL REQUIREMENTS OF THE GENERIC PERMIT.
  - DEVELOP AND IMPLEMENT A STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
  - COMPLETE A NOTICE OF INTENT (NOI) FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION FORM 62-621.300(4)(B) IN ITS ENTIRETY USING THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S WEBSITE.
- SUBMIT COPIES OF THE SWPPP AND THE NOI TO THE ENGINEER AS INFORMATIONAL RECORDS. THESE SUBMITTALS WILL NOT BE REVIEWED BY THE ENGINEER.
- CONTRACTOR TO CLEAN AND REPAIR ALL EXISTING STORMWATER INFRASTRUCTURE THAT IS IMPACTED BY CONSTRUCTION ACTIVITIES, BEFORE LEAVING THE JOBSITE.
- CONTRACTOR TO REMOVE ALL FILTER FABRIC AND POLLUTION PREVENTION ITEMS BEFORE THE FINAL WALK-THROUGH.

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DETAILS

EROSION AND SEDIMENT CONTROL NOTES  
SHEET 2

ESC 001  
2017/07/08

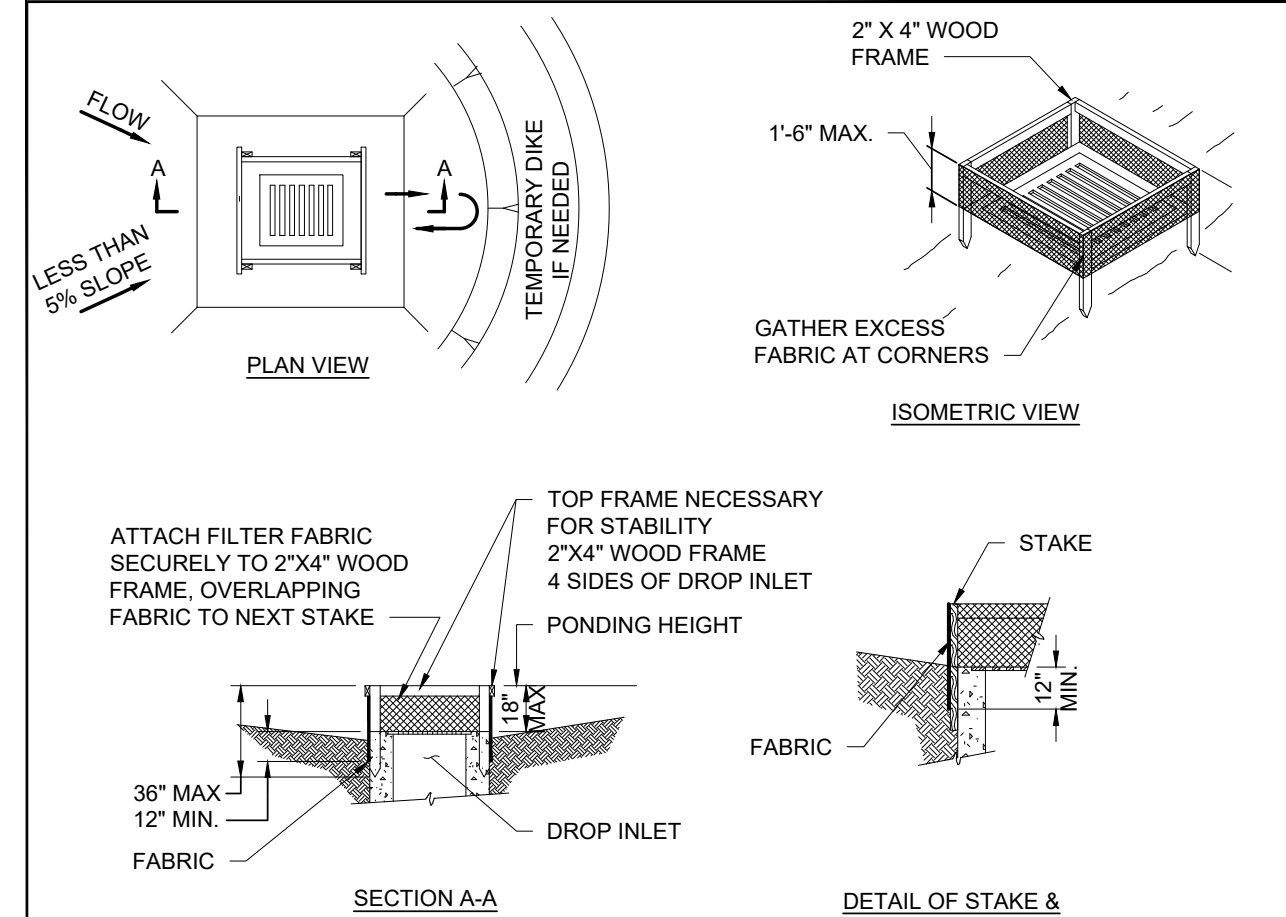


- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DETAILS

GRAVEL CONSTRUCTION ENTRANCE

ESC 002  
2017/07/08

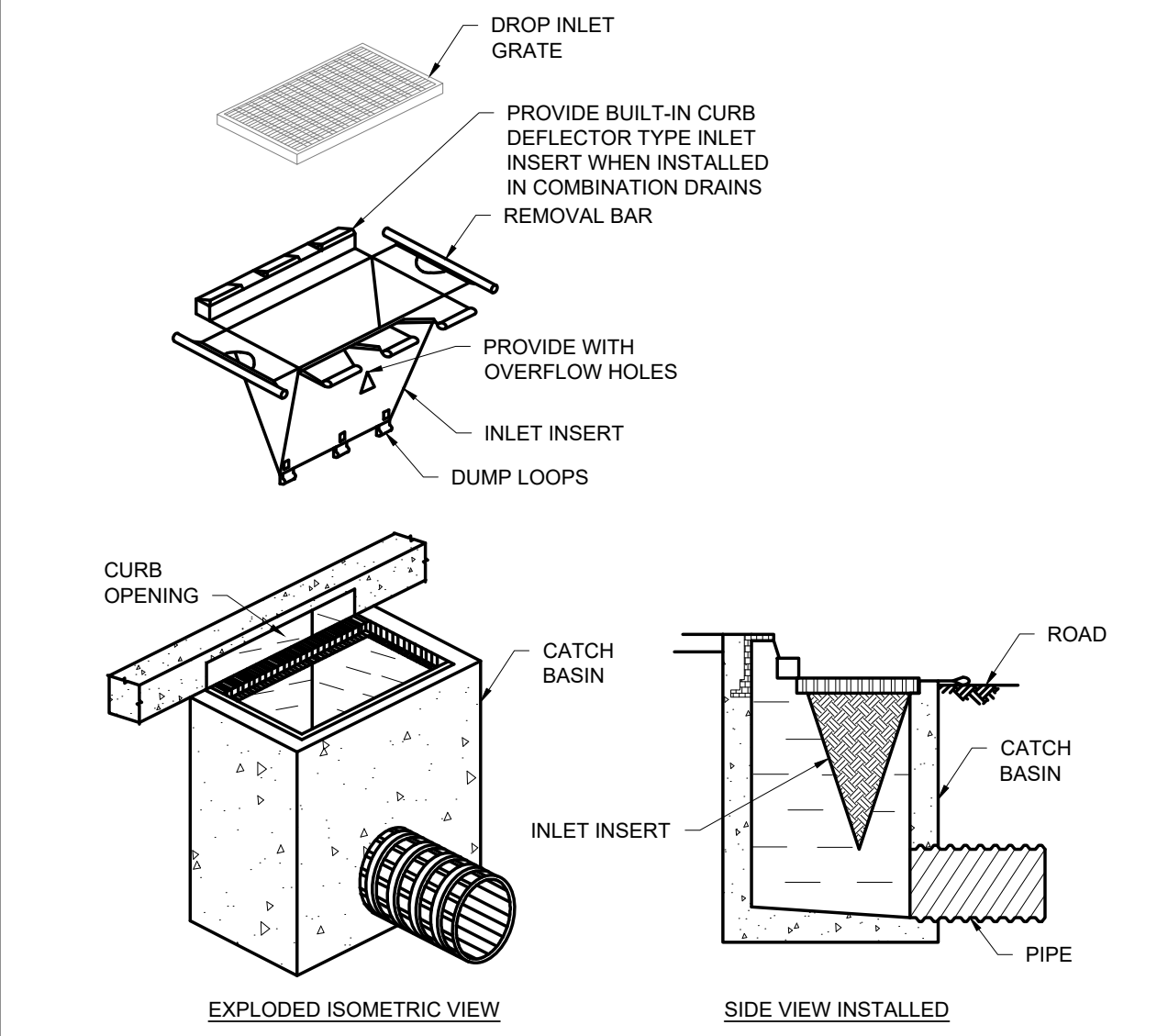


- CONTRACTOR'S RESPONSIBILITY**
- EROSION AND SEDIMENTATION CONTROLS ARE PERFORMANCE BASED CRITERIA. IF THE BMP'S PROVIDED DO NOT PREVENT SOILS FROM LEAVING A CONSTRUCTION SITE, THEN THE CONTRACTOR IS REQUIRED TO EMPLOY ADDITIONAL PROCEDURES TO PROVIDE CLEAN RUNOFF FROM A SITE.
- NOTES:**
- DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS, (LESS THAN 5%).
  - USE 2"X4" WOOD OR EQUIVALENT METAL STAKES. (3' MIN. LENGTH).
  - INSTALL 2"X4" WOOD TOP FRAME TO INSURE STABILITY.
  - THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.
  - MIRAFI OR APPROVED EROSION CONTROL FABRIC SHALL BE WRAPPED AROUND GRATE.
  - THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS, SUCH AS IN STREET OR HIGHWAY MEDIANS.

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DETAILS

DROP INLET PROTECTION - SEDIMENT BARRIER

ESC 004  
2016/08/21

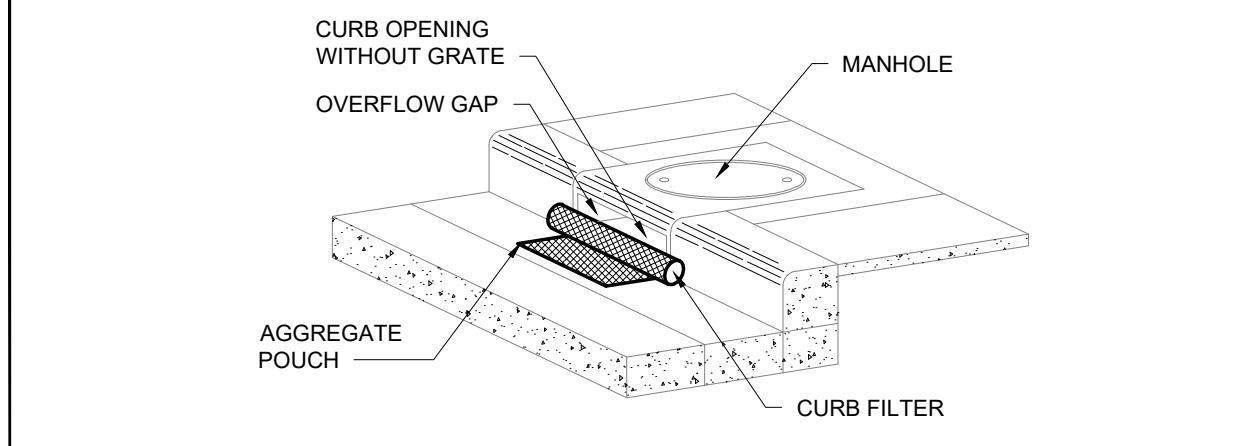


- NOTES:**
- THE INLET INSERT SHALL BE A SEDIMENT CONTROL DEVICE DESIGNED FOR DROP INLETS OR COMBINATION DRAINS WHERE A DROP INLET IS COUPLED WITH A CURB INLET.
  - THE INLET INSERT SHALL BE MADE OF A PERMEABLE GEOTEXTILE THAT ALLOWS WATER TO PASS BUT PREVENTS SILT AND SEDIMENT FROM CLOGGING THE DRAIN SYSTEM.
  - THE CONTRACTOR SHALL CLEAN AND INSPECT REGULARLY AND AFTER EVERY MAJOR RAIN EVENT.
  - INLET INSERTS SHALL BE "SILTSACK" BY ACF ENVIRONMENTAL, OR EQUAL. SUBMIT SHOP DRAWINGS IN ACCORDANCE WITH THE SPECIFICATIONS.

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DETAILS

DROP INLET PROTECTION - INLET INSERT

ESC 005  
2017/07/13



- NOTES:**
- INSTALL CURB FILTERS AT ALL INLETS WITHOUT GRATES TO KEEP SILT, SEDIMENT AND CONSTRUCTION DEBRIS OUT OF THE STORM SYSTEM
  - THE CURB FILTER SHALL BE DANDY CURB AS MANUFACTURED BY DANDY PRODUCTS INC., OR EQUAL. SUBMIT SHOP A SHOP DRAWING FOR THE CURB FILTERS.
  - THE CURB FILTER SHALL FORM OF A CYLINDRICAL TUBE PLACED IN FRONT OF AND EXTENDING BEYOND THE INLET OPENING ON BOTH SIDES.
  - THE CURB FILTER SHALL HAVE A POUCH ON THE STREET SIDE OF THE UNIT FOR STONE AGGREGATE TO HOLD THE FILTER IN PLACE.
  - THE CURB FILTER SHALL BE CONSTRUCTED OF A HIGH VISIBILITY ORANGE MONOFILAMENT FABRIC.
  - FILL POUCH WITH FDOT #57 STONE AGGREGATE TO A LEVEL (AT LEAST HALF-FULL) THAT WILL KEEP UNIT IN PLACE DURING A RAIN EVENT AND CREATE A SEAL BETWEEN THE CURB FILTER AND THE SURFACE OF THE STREET.
  - CENTER THE UNIT AGAINST CURB OR MEDIAN INLET OPENING SO THAT THE CURB SIDE OF THE UNIT CREATES A SEAL WITH THE CURB OR MEDIAN BARRIER AND INLET STRUCTURE. THERE WILL BE APPROXIMATELY TWELVE (12) INCHES OF THE INLET PROTECTION UNIT OVERHANGING ON EACH SIDE OF THE OPENING.
  - THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM SURFACE AND VICINITY OF UNIT AFTER EACH RAIN EVENT.

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DETAILS

CURB INLET PROTECTION - CURB FILTER

ESC 006  
2017/07/19

**Hazen**  
HAZEN AND SAWYER  
4000 HOLLYWOOD BLVD, SUITE 750N  
HOLLYWOOD, FLORIDA 33021  
Certificate of Authorization No: 2771

**HR**  
3250 West Commercial Boulevard  
Suite 100  
Ft. Lauderdale, Florida 33309-3459  
Certificate of Authorization No: 4213

ENGINEER:  
ALEXANDER MILLER  
REG. No: 90733  
DATE: 06/09/2023  
SCALE: AS NOTED  
DESIGNED BY: BK  
CHECKED BY: IS  
FIELD BOOK: XXXX  
TEL: 019-982-2844  
FAX: N/A

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE  
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

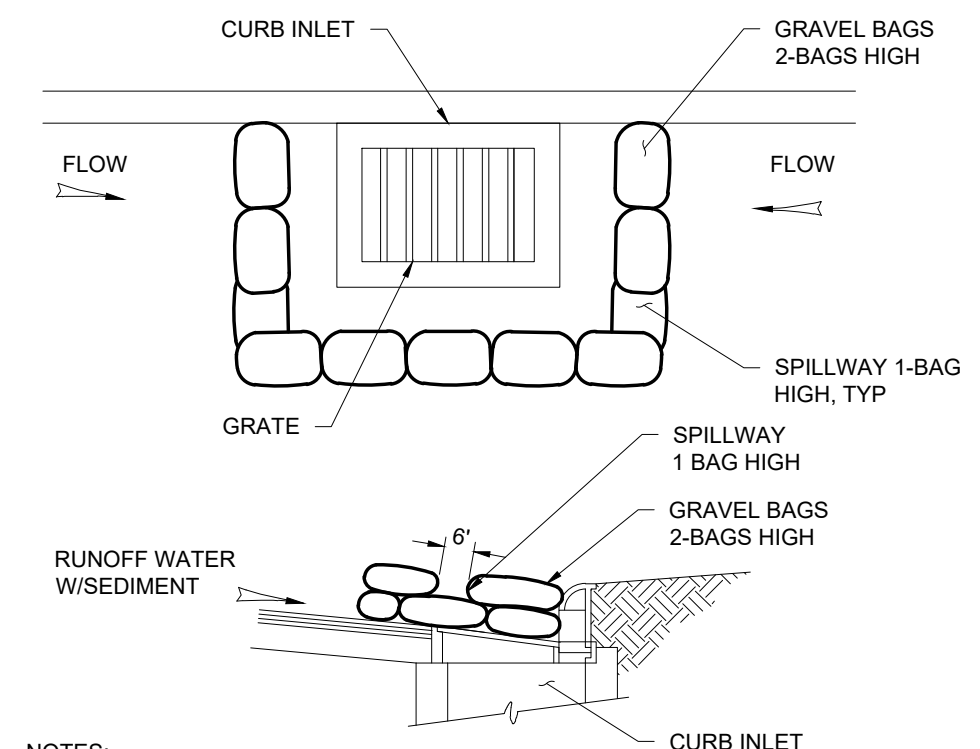
REVISIONS

NO.	DATE	BY	CHKD	DESCRIPTION

DRC PERMIT - NOT FOR CONSTRUCTION

PROJECT # 11845  
STORMWATER IMPROVEMENTS  
DORSEY RIVERBEND NEIGHBORHOOD  
CIVIL DETAILS - SHEET 4

SHEET NO.  
**CZ-DT-04**  
TOTAL: 134  
CAD FILE:  
11845-CZ-DT04  
DRAWING FILE NO.  
4-143-65

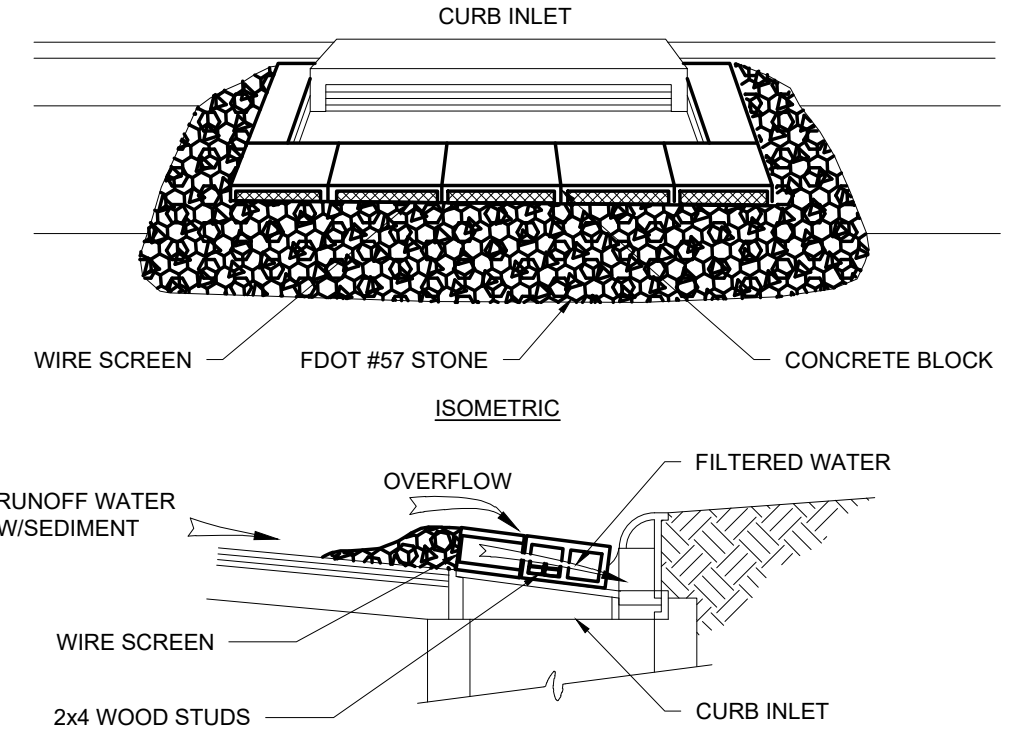


- NOTES:**
1. A SPILLWAY SHALL BE DESIGNATED FOR EACH DIRECTION OF APPROACHING FLOW AS SHOWN. THE SPILLWAY SHALL BE LOCATED TO ALLOW THE MAXIMUM AMOUNT OF STORMWATER TO POOL WITHOUT FLOODING AREAS UP GRADE OF THE INLET.
  2. FOR INLETS THAT ARE NOT ADJACENT TO CURBS, PLACE GRAVEL BAGS ONE BAG HIGH AROUND THE ENTIRETY OF THE INLET TO ACCOMMODATE FLOW FROM ALL DIRECTIONS.
  3. BAG MATERIAL: BAGS SHALL BE WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MINIMUM UNIT WEIGHT FOUR OUNCES PER SQUARE YARD, MULLEN BURST STRENGTH EXCEEDING 300 PSI IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM D3786, AND ULTRAVIOLET STABILITY EXCEEDING 70% IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM D4355.
  4. BAG SIZE: EACH GRAVEL-FILLED BAG SHALL BE 18-INCHES X 12-INCHES X 3-INCHES AND HAVE A MASS OF APPROXIMATELY 33 LBS. ALTERNATIVE BAG SIZES SHALL BE CONSIDERED BASED ON LOCALLY AVAILABLE MATERIALS.
  5. FILL MATERIAL: GRAVEL SHALL BE PEA GRAVEL 3/8 INCHES IN DIAMETER AND SHALL BE CLEAN AND FREE OF CLAY BALLS, ORGANIC MATTER, OR OTHER DELETERIOUS MATERIALS.

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DETAILS  
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

CURB INLET PROTECTION - GRAVEL BAG

ESC 007  
2017/08/08

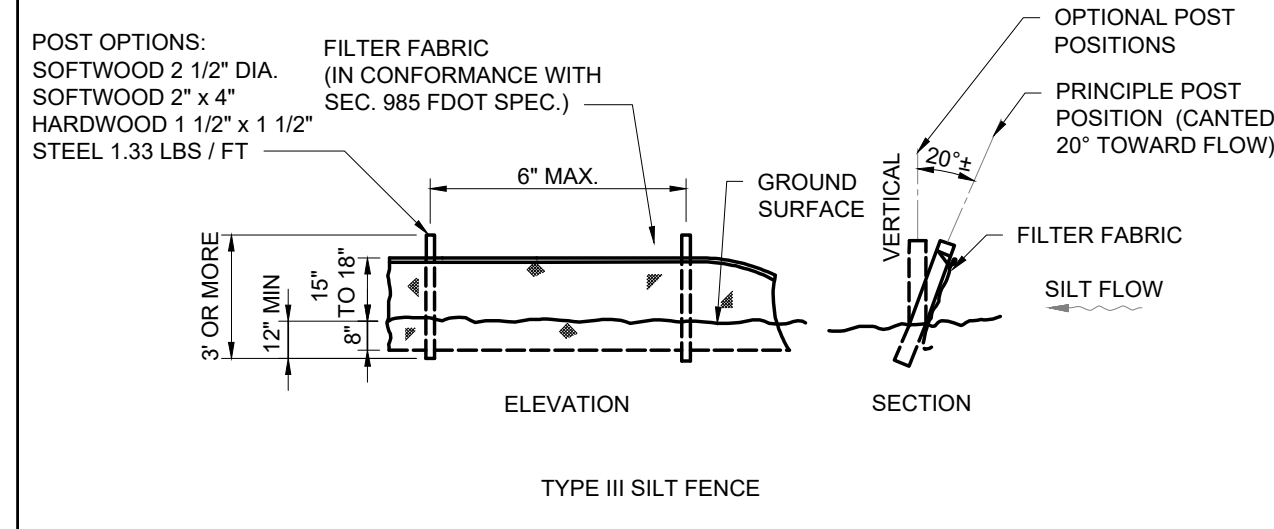
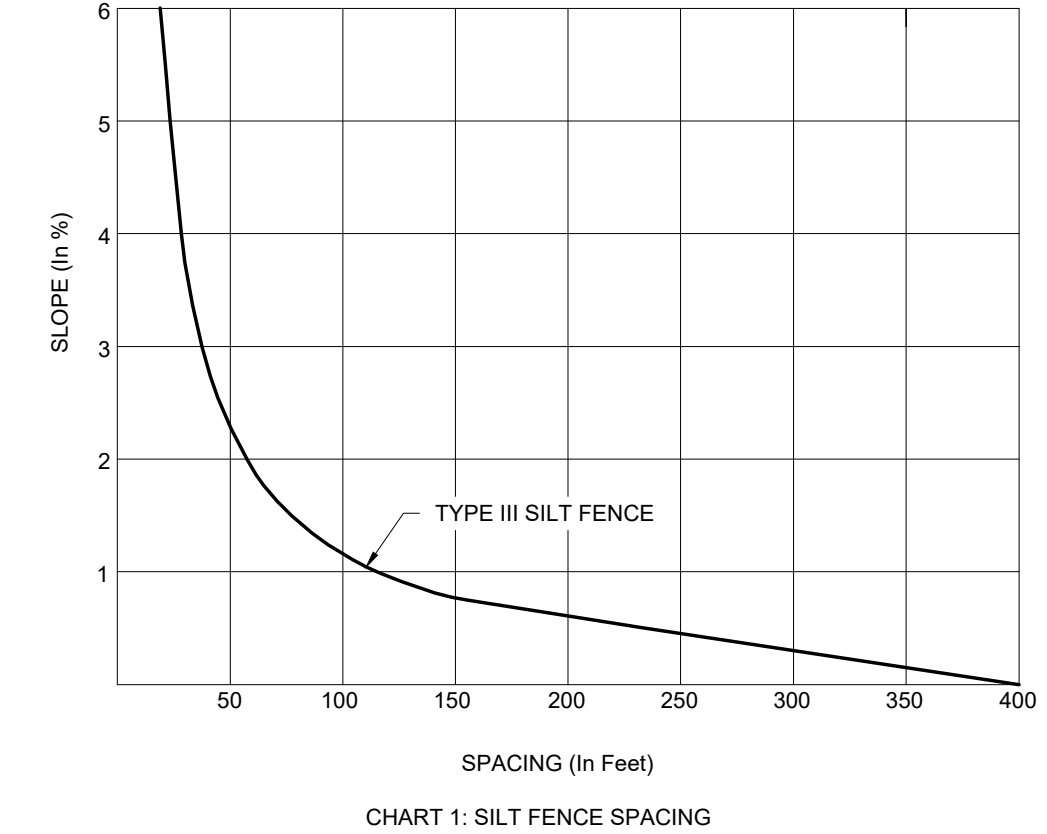


- NOTES:**
1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET SUPPORT.
  2. HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
  3. USE CLEAN STONE OR GRAVEL 1/2 - 3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
  4. FOR INLETS IN ROADWAYS WITH HEAVY TRAFFIC CONDITIONS PREFABRICATED FILTER INSERTS MAY BE USED.

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DETAILS  
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

CURB INLET PROTECTION - BLOCK AND STONE

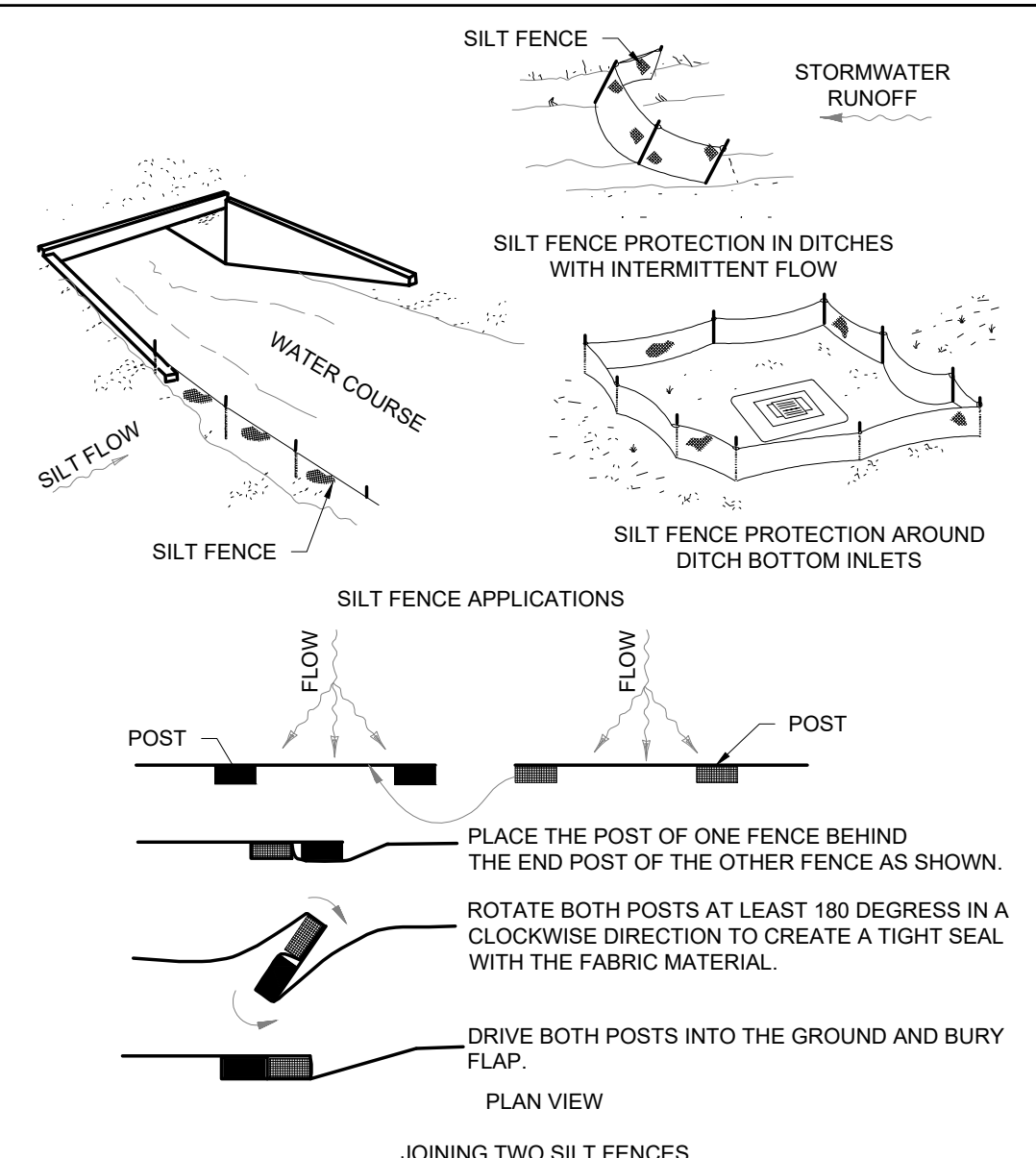
ESC 008  
2017/07/08



CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DETAILS  
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

SILT FENCE - SHEET 1

ESC 009  
2017/07/12

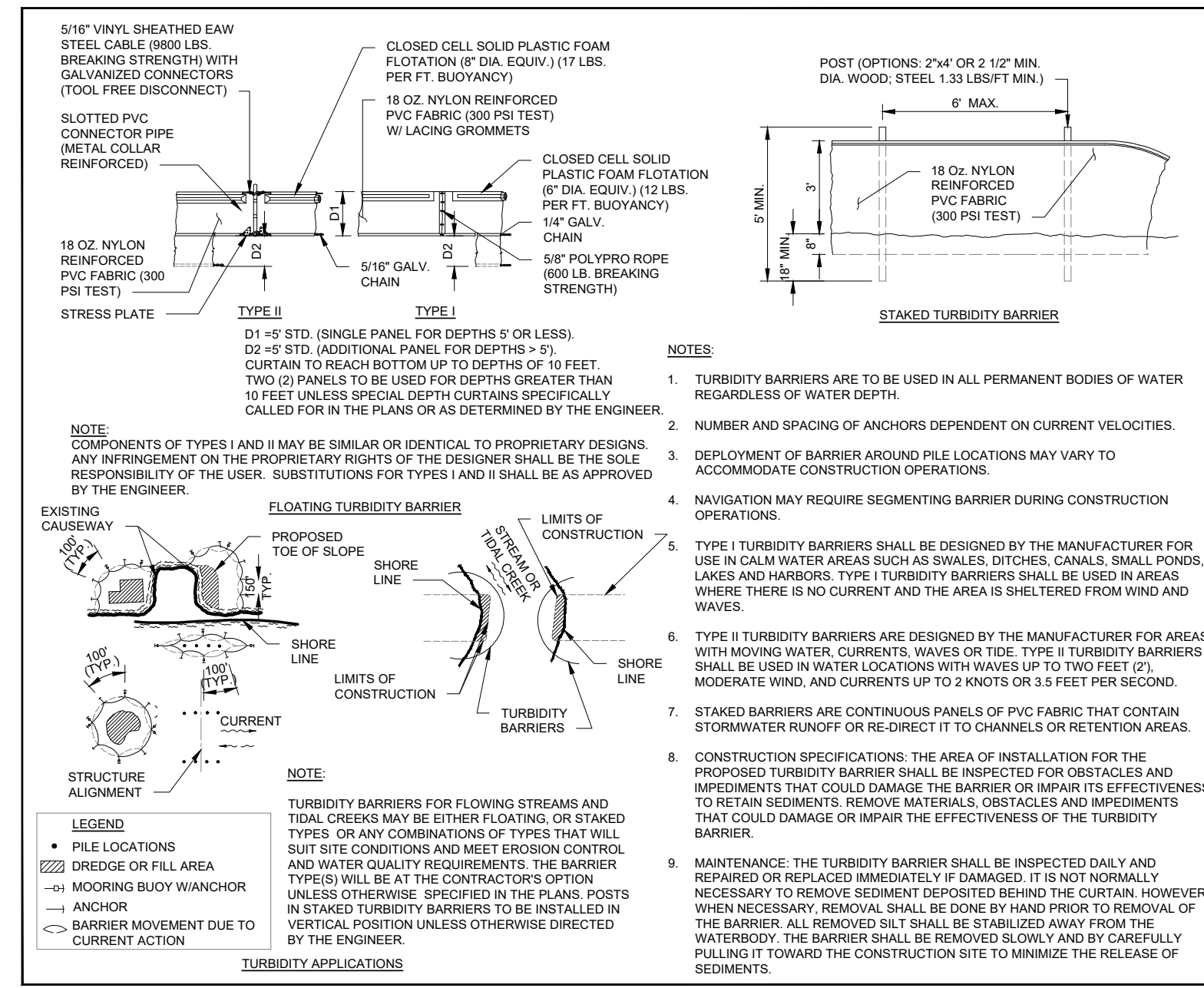


- NOTES:**
1. WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART 1.
  2. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
  3. WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON 0% LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DETAILS  
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

SILT FENCE - SHEET 2

ESC 010  
2017/07/11



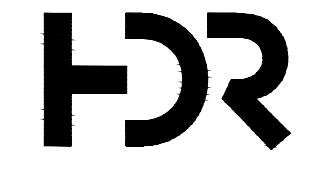
- NOTES:**
1. TURBIDITY BARRIERS ARE TO BE USED IN ALL PERMANENT BODIES OF WATER REGARDLESS OF WATER DEPTH.
  2. NUMBER AND SPACING OF ANCHORS DEPENDENT ON CURRENT VELOCITIES.
  3. DEPLOYMENT OF BARRIER AROUND PILE LOCATIONS MAY VARY TO ACCOMMODATE CONSTRUCTION OPERATIONS.
  4. NAVIGATION MAY REQUIRE SEGMENTING BARRIER DURING CONSTRUCTION OPERATIONS.
  5. TYPE I TURBIDITY BARRIERS SHALL BE DESIGNED BY THE MANUFACTURER FOR USE IN CALM WATER AREAS SUCH AS SWALES, DITCHES, CANALS, SMALL PONDS, LAKES AND HARBORS. TYPE I TURBIDITY BARRIERS SHALL BE USED IN AREAS WHERE THERE IS NO CURRENT AND THE AREA IS SHELTERED FROM WIND AND WAVES.
  6. TYPE II TURBIDITY BARRIERS ARE DESIGNED BY THE MANUFACTURER FOR AREAS WITH MOVING WATER, CURRENTS, WAVES OR TIDE. TYPE II TURBIDITY BARRIERS SHALL BE USED IN WATER LOCATIONS WITH WAVES UP TO TWO FEET (2'), MODERATE WIND, AND CURRENTS UP TO 2 KNOTS OR 5.5 FEET PER SECOND.
  7. STAKED BARRIERS ARE CONTINUOUS PANELS OF PVC FABRIC THAT CONTAIN STORMWATER RUNOFF OR RE-DIRECT IT TO CHANNELS OR RETENTION AREAS.
  8. CONSTRUCTION SPECIFICATIONS: THE AREA OF INSTALLATION FOR THE PROPOSED TURBIDITY BARRIER SHALL BE INSPECTED FOR OBSTACLES AND IMPEDIMENTS THAT COULD DAMAGE THE BARRIER OR IMPAIR ITS EFFECTIVENESS TO RETAIN SEDIMENTS. REMOVE MATERIALS, OBSTACLES AND IMPEDIMENTS THAT COULD DAMAGE OR IMPAIR THE EFFECTIVENESS OF THE TURBIDITY BARRIER.
  9. MAINTENANCE: THE TURBIDITY BARRIER SHALL BE INSPECTED DAILY AND REPAIRED OR REPLACED IMMEDIATELY IF DAMAGED. IT IS NOT NORMALLY NECESSARY TO REMOVE SEDIMENT DEPOSITED BEHIND THE CURTAIN, HOWEVER, WHEN NECESSARY, REMOVAL SHALL BE DONE BY HAND PRIOR TO REMOVAL OF THE BARRIER. ALL REMOVED SILT SHALL BE STABILIZED AWAY FROM THE WATERBODY. THE BARRIER SHALL BE REMOVED SLOWLY AND BY CAREFULLY PULLING IT TOWARD THE CONSTRUCTION SITE TO MINIMIZE THE RELEASE OF SEDIMENTS.

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING DETAILS  
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

TURBIDITY BARRIER - FLOATING

ESC 011  
2017/07/09

**Hazen**  
HAZEN AND SAWYER  
4000 HOLLYWOOD BLVD, SUITE 750N  
HOLLYWOOD, FLORIDA 33021  
Certificate of Authorization No: 2771



3250 West Commercial Boulevard  
Suite 100  
Ft. Lauderdale, Florida 33309-3459  
Certificate of Authorization No: 4213

ENGINEER:  
ALEXANDER MILLER  
REG. NO: 90733  
DATE: 06/09/2023  
SCALE: AS NOTED  
DESIGNED BY: BK  
CHECKED BY: IS  
FIELD BOOK: XXXX  
TEL: 813-982-2944  
FAX: N/A

CITY OF FORT LAUDERDALE  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & ARCHITECTURE  
100 North Andrews Avenue, Fort Lauderdale, Florida 33301

REVISIONS

NO.	DATE	BY	CHKD	DESCRIPTION

PROJECT # 11845  
STORMWATER IMPROVEMENTS  
DORSEY RIVERBEND NEIGHBORHOOD  
CIVIL DETAILS - SHEET 5

SHEET NO.  
**CZ-DT-05**

TOTAL: 134

CAD FILE:  
11845-CZ-DT05

DRAWING FILE NO.  
4-143-65

DRC PERMIT - NOT FOR CONSTRUCTION