

# FORT LAUDERDALE POLICE HEADQUARTERS PZB SUBMITTAL

1300 W BROWARD BLVD,  
FT. LAUDERDALE, FL 33312

## LAND DESCRIPTION:

LEGAL DESCRIPTION  
ALL OF BLOCKS 117, 118, 125; AND THE 10 FOOT ALLEYS WITHIN SAID BLOCKS; AND THAT PORTION OF FLORIDA STREET (S.W. 1st STREET) AND NORTH 3rd STREET (S.W. 2nd STREET) LYING BETWEEN SAID BLOCKS, PER WAVERLY PLACE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 19 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; AND LESS THEREOF THE RIGHT-OF-WAY FOR WEST BROWARD BOULEVARD AS SHOWN ON STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP OF STATE ROAD NO. 842, SECTION 86006-2501, DATED 7-15-1971.

## TOGETHER WITH:

THE NORTH 855.00 FEET OF LOT 7, THE NORTH 900.00 FEET OF LOT 8, AND THE NORTH 850.00 FEET OF LOT 9, W.C. VALENTINES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK B, PAGE 29 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; AND LESS THEREOF THE RIGHT-OF-WAY FOR WEST BROWARD BOULEVARD AS SHOWN ON STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP OF STATE ROAD NO. 842, SECTION 86006-2501, DATED 7-15-1971.

## ALL OF THE ABOVE BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID BLOCK 117, WAVERLY PLACE; THENCE SOUTH 88°00'53" WEST ALONG THE SOUTH LINE OF SAID BLOCK 117, A DISTANCE OF 350.79 FEET TO A POINT ON THE WEST LINE OF SAID BLOCK 117 AND A POINT ON THE EAST LINE OF SAID LOT 9, W.C. VALENTINES SUBDIVISION; THENCE NORTH 01°57'46" WEST ALONG SAID EAST LINE OF LOT 9, A DISTANCE OF 10.00 FEET; THENCE SOUTH 88°00'53" WEST ALONG THE SOUTH LINE OF THE NORTH 850.00 FEET OF SAID LOT 9, A DISTANCE OF 209.00 FEET TO A POINT ON THE EAST LINE OF SAID LOT 8, W.C. VALENTINES SUBDIVISION; THENCE SOUTH 01°57'46" EAST ALONG SAID EAST LINE, A DISTANCE OF 50.00 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 900.00 FEET OF SAID LOT 8; THENCE SOUTH 88°00'53" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 209.00 FEET TO A POINT ON THE EAST LINE OF SAID LOT 7, W.C. VALENTINES SUBDIVISION; THENCE NORTH 01°57'46" WEST ALONG SAID EAST LINE, A DISTANCE OF 45.00 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH 855.00 FEET OF SAID LOT 7; THENCE SOUTH 88°00'53" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 188.26 FEET TO A POINT ON A LINE 20.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID LOT 7; THENCE NORTH 02°05'07" WEST ALONG SAID PARALLEL LINE, A DISTANCE OF 795.91 FEET; THENCE NORTH 88°01'11" EAST, A DISTANCE 5.00 FEET; THENCE NORTH 42°57'35" EAST, A DISTANCE OF 34.68 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF WEST BROWARD BOULEVARD, AS SHOWN ON SAID RIGHT OF WAY MAP SECTION 86006-2501; THENCE EASTERLY ALONG SAID SOUTH RIGHT-OF-WAY LINE THE FOLLOWING NINE (9) COURSES AND DISTANCES; THENCE NORTH 88°01'11" EAST, A DISTANCE OF 150.97 FEET TO A POINT OF CURVATURE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 9.50 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90°00'00", FOR A DISTANCE OF 14.92 FEET TO A POINT OF TANGENCY AND A POINT ON THE EAST LINE OF SAID LOT 7, W.C. VALENTINES SUBDIVISION; THENCE SOUTH 01°58'49" EAST, A DISTANCE OF 4.50 FEET; THENCE NORTH 88°01'11" EAST, A DISTANCE OF 44.50 FEET; THENCE NORTH 01°58'49" WEST, A DISTANCE OF 3.00 FEET; THENCE NORTH 88°01'11" EAST, A DISTANCE OF 60.00 FEET TO A POINT OF CURVATURE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 107.00 FEET; THENCE EASTERLY AND NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 19°05'28", FOR A DISTANCE OF 35.65 FEET TO A POINT OF REVERSE CURVATURE OF A CURVE HAVING A RADIUS OF 93.00 FEET; THENCE NORTHEASTERLY AND EASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 19°05'28", FOR A DISTANCE OF 30.99 FEET TO A POINT OF TANGENCY; THENCE NORTH 88°01'11" EAST, FOR A DISTANCE OF 597.64 FEET TO THE TERMINATION OF SAID NINE (9) COURSES AND DISTANCES AND A POINT ON THE EAST LINE OF SAID BLOCK 125, WAVERLY PLACE; THENCE SOUTH 02°02'58" EAST ALONG SAID EAST LINE AND THE EXTENTION THEREOF, FOR A DISTANCE OF 825.37 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA, AND CONTAINING 793,409 SQUARE FEET OR 18.21 ACRES, MORE OR LESS.

## FEMA FLOOD ZONE:

THE PROPERTY IS LOCATED WITHIN FLOOD ZONE X WITH A BASE FLOOD ELEVATION OF N/A FEET, AS SHOWN ON F.I.R.M. NUM. 12011C0556J, BEARING A MAP EFFECTIVE DATE OF 12/31/2019.

THESE PLANS MAY HAVE BEEN  
REDUCED IN SIZE BY REPRODUCTION.  
THIS MUST BE CONSIDERED WHEN  
OBTAINING SCALED DATA.



SECTION 09, TOWNSHIP 50 S, RANGE 42 E  
FOLIO #504209010070

PREPARED FOR:  
AECOM  
2 ALHAMBRA PLAZA, SUITE 900  
CORAL GABLES, FL 33134

INDEX OF SHEETS	
SHEET No.	SHEET TITLE
--	COVER SHEET
S1-S9	SURVEY
EX-101	SITE IMAGES
SP-100-SP-105	SITE PLANS
SP-501	VEHICLE CIRCULATION PLAN
ARCHITECTURAL PLANS	
HQ-A1-1-01	ARCHITECTURAL SITE PLAN - OVERALL
HQ-A1-4-20	HEADQUARTER BLDG - LIFE SAFETY PLAN LEVEL 2
HQ-A2-2-01 - 2-03	HEADQUARTERS BLDG - FLOOR PLAN LEVEL 1 - 3 OVERALL
HQ-A2-2-04	HEADQUARTERS BLDG - ROOF PLAN - OVERALL
HQ-A3-2-00	HEADQUARTERS BLDG - BUILDING ELEVATIONS - OVERALL
HQ-A3-2-01 - 2-11	HQ BLDG - BUILDING ELEVATIONS - ENLARGED
HQ-A5-4-04	HQ BLDG - DETAILS - MISCELLANEOUS
HQ-A8-1-01 - 1-03	HQ BLDG - RENDERINGS
HQ-A8-1-04-1-05	HQ BLDG - GREEN SCREEN AND MATERIALS BOARD
PG-A2-2-01	PARKING GARAGE - FLOOR PLAN LEVEL 1 - OVERALL
PG-A2-2-02	PARKING GARAGE - FLOOR PLAN LEVEL 2 - OVERALL
PG-A2-2-03	PARKING GARAGE - FLOOR PLAN LEVEL 3 - OVERALL
PG-A3-1-01 - 1-02	OVERALL BUILDING ELEVATIONS
PG-A3-4-01 - 4-02	WALL SECTIONS
CIVIL PLANS	
GI-001	LEGEND AND ABBREVIATIONS
GI-002	GENERAL CONSTRUCTION NOTES
GI-003	CONSTRUCTION SPECIFICATIONS
CD-000-CD-105	DEMOLITION PLANS
CG-000-CG-105	EROSION CONTROL PLANS
CG-501	EROSION CONTROL DETAILS
CP-000-CP-105	PAVING, GRADING, AND DRAINAGE PLANS
CP-301-CP-303	PAVING, GRADING, AND DRAINAGE SECTIONS
CP-501-CP-506	PAVING, GRADING, AND DRAINAGE DETAILS
CU-000-CU-105	WATER AND SEWER PLANS
CU-501-CU-505	WATER AND SEWER DETAILS
CM-000-CM-105	PAVEMENT MARKING AND SIGNAGE PLAN
LANDSCAPE PLANS	
LC-100	OVERALL REFERENCE PLAN
LC-101	ILLUSTRATIVE SITE PLAN
LD-001	TREE DISPOSITION LIST
LD-101	TREE DISPOSITION PLANS
LH 100-105	HARDSCAPE PLANS
LH 501-504	HARDSCAPE DETAILS
LP 001-002	PLANTING NOTES AND SCHEDULE
LP 101-105	LANDSCAPE PLANS (CANOPY)
LP 201-205	LANDSCAPE PLAN (UNDERSTORY)
LP-501	PLANTING DETAILS
LI 101-105	IRRIGATION PLAN
LL-101	PHOTOMETRIC PLAN
LL-501	PHOTOMETRIC DETAILS

PERMITTING AGENCIES	PERMIT NO.	EXPIRES
CITY OF XXXXX	XXXXXXXXXX	XX/XX/XX
BROWARD COUNTY XXXXX		



THOMAS F. DONAHUE, P.E.  
FLORIDA REG. NO. 60529  
(FOR THE FIRM)

PROJECT No. 11112.00 04/11/2022



N:\111112.00 - City of Fort Lauderdale New Police Headquarters - AECOM\Survey\DWG\111112.00\_POLICE HEADQUARTERS.dwg

LEGEND	
	AIR RELEASE VALVE
	AIR COMPRESSOR
	AIR CONDITIONER
	BACK FLOW PREVENTER
	BENCH
	BIKE SYMBOL PAINT MARK
	BIKE RACK
	BOLLARD
	CABLE TELEVISION PEDESTAL
	CATCH BASIN
	COLUMN (ROUND)
	COLUMN (SQUARE)
	CONCRETE LIGHT POLE
	CONCRETE POST
	CONCRETE UTILITY POLE
	CURB INLET
	DECORATIVE LIGHT
	DOUBLE SIGN POST
	DRAINAGE MAINTENANCE ACCESS STRUCTURE
	ELECTRIC BOX
	ELECTRIC CABINET
	ELECTRIC MAINTENANCE ACCESS STRUCTURE
	ELECTRIC OUTLET
	ELECTRIC HANDHOLE
	ELECTRIC METER
	ELECTRIC VAULT
	END OF SIGNAL
	FIBER OPTIC HANDHOLE
	FIBER OPTIC WITNESS POST
	FIRE DEPARTMENT CONNECTION VALVE
	FIRE HYDRANT
	FLAG POLE
	GAS METER
	GENERATOR
	GUY WIRE ANCHOR
	IRRIGATION CHECK VALVE
	KEY PAD PEDESTAL
	MAIL BOX
	METAL LIGHT POLE

	METAL POST
	METAL SIGN POST
	MONITORING WELL
	NATURAL GAS WITNESS POST
	PALM TREE (SEE TREE TABLE)
	PEDESTRIAN CROSSING SIGNAL
	PVC POST
	SANITARY CLEAN OUT
	SANITARY SEWER MAINTENANCE ACCESS STRUCTURE
	SANITARY VALVE COVER
	STREET LIGHT HANDHOLE
	STORAGE TANK
	TELEPHONE CABINET
	TELEPHONE HANDHOLE
	TELEPHONE MAINTENANCE ACCESS STRUCTURE
	TRAFFIC CONTROL ARM
	TRAFFIC HANDHOLE
	TRANSFORMER
	TRASH CAN
	TREE (SEE TREE TABLE)
	TREE (SEE TREE TABLE)
	UNKNOWN BOX
	UNKNOWN CABINET
	UNKNOWN HANDHOLE
	UNKNOWN MAINTENANCE ACCESS STRUCTURE
	UNKNOWN TREE
	UNKNOWN VALVE COVER
	UNKNOWN VAULT
	WATER FOUNTAIN
	WATER METER
	WATER VALVE COVER
	WHEEL CHAIR ACCESS PAINT MARK
	WOOD LIGHT POLE
	WOOD SIGN POST
	WOOD UTILITY POLE
	VACUUM
	YARD DRAIN

ABBREVIATIONS	
B.C.R.	BROWARD COUNTY RECORDS
BLDG.	BUILDING
CB	CATCH BASIN
CI	CURB INLET
C&G	CURB AND GUTTER
CONC.	CONCRETE
CBS	CONCRETE BLOCK STRUCTURE
CB	CATCH BASIN
CLF	CHAIN LINK FENCE
CMP	CORRUGATED METAL PIPE
D.C.R.	DADE COUNTY RECORDS
DIP	DUCTILE IRON PIPE
DETWARN	DETECTABLE WARNING SURFACE
ELEC.	ELECTRIC
ELEV.	ELEVATION
F.D.O.T.	FLORIDA DEPARTMENT OF TRANSPORTATION
F.S.R.D.	FLORIDA STATE ROAD DEPARTMENT
ID	IDENTIFICATION
IN.	INCHES
L	ARC LENGTH (CURVE DATA)
LB	FLORIDA LICENSED BUSINESS NUMBER
MAG	MAGNETIC
MASD	STORM DRAINAGE MAINTENANCE ACCESS STRUCTURE
MASS	SANITARY SEWER MAINTENANCE ACCESS STRUCTURE
M.D.C.R.	MIAMI-DADE COUNTY RECORDS
MF	METAL FENCE
NAVD88	NORTH AMERICAN VERTICAL DATUM OF 1988
O.R.B.	OFFICIAL RECORDS BOOK
PG.	PAGE
P.B.	PLAT BOOK
PK	PARKER KALON
P.O.B.	POINT OF BEGINNING
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS (CURVE DATA)
RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
TOP	TOP OF PIPE
TYP.	TYPICAL
UTD	UNABLE TO DETERMINE
WF	WOOD FENCE
W/	WITH
Δ	DELTA/CENTRAL ANGLE (CURVE DATA)

	CHAIN LINK FENCE
	METAL FENCE
	WOOD FENCE
	HEDGE
	OVERHEAD WIRES
	TOB OF BANK
	TOE OF SLOPE
	TREE LINE
	UNDERGROUND AT&T
	UNDERGROUND BELL SOUTH
	UNDERGROUND CABLE TELEVISION
	UNDERGROUND ELECTRICAL
	UNDERGROUND FAA
	UNDERGROUND FIBER OPTIC
	UNDERGROUND FORCE MAIN
	UNDERGROUND FPL
	UNDERGROUND IRRIGATION
	UNDERGROUND NATURAL GAS
	UNDERGROUND OIL
	UNDERGROUND RECLAIM WATER
	UNDERGROUND SANITARY SEWER
	UNDERGROUND SLUDGE
	UNDERGROUND STORM
	UNDERGROUND STREET LIGHT
	UNDERGROUND TRAFFIC SIGNAL
	UNDERGROUND UNKNOWN
	UNDERGROUND WATER

## LEGAL DESCRIPTION:

ALL OF BLOCKS 117, 118, 125; AND THE 10 FOOT ALLEYS WITHIN SAID BLOCKS; AND THAT PORTION OF FLORIDA STREET 4' (S.W. 1st STREET) AND NORTH 3rd STREET (S.W. 2nd STREET) LYING BETWEEN SAID BLOCKS, PER WAVERLY PLACE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 19 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; AND LESS THEREOF THE RIGHT-OF-WAY FOR WEST BROWARD BOULEVARD AS SHOWN ON STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP OF STATE ROAD NO. 842, SECTION 86006-2501, DATED 7-15-1971.

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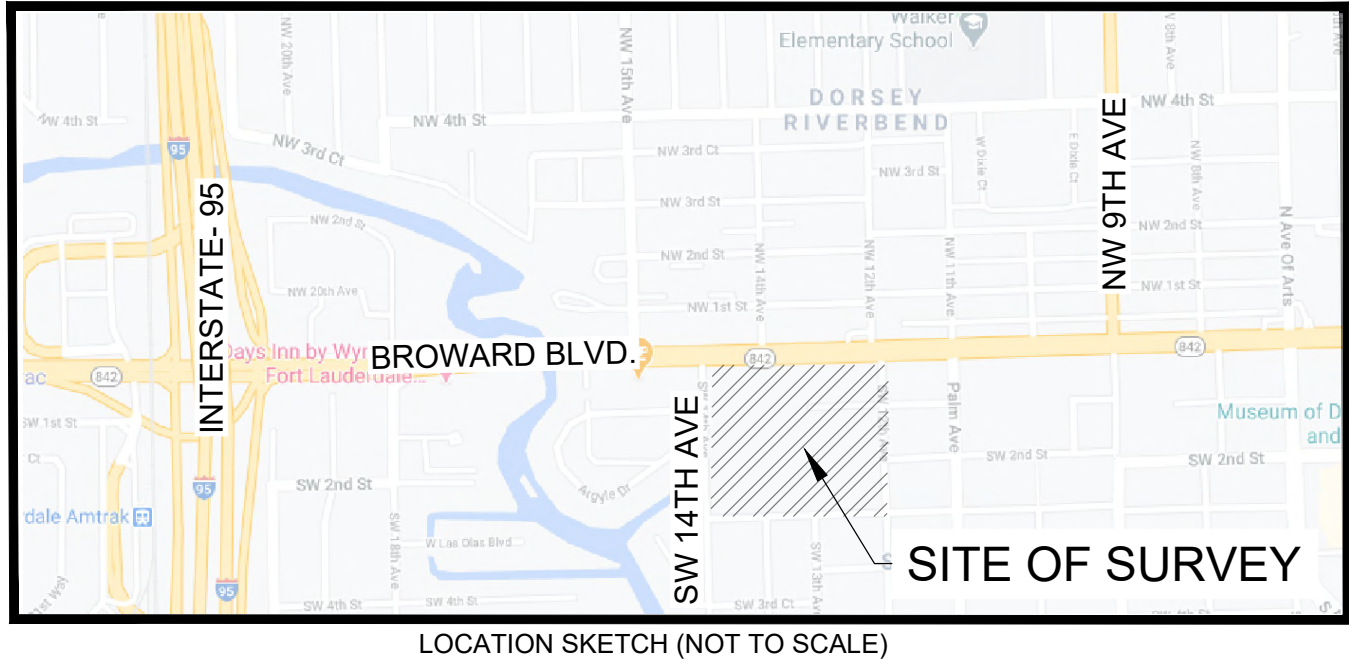
THE NORTH 855.00 FEET OF LOT 7, THE NORTH 900.00 FEET OF LOT 8, AND THE NORTH 850.00 FEET OF LOT 9, W.C. VALENTINES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 29 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; AND LESS THEREOF THE RIGHT-OF-WAY FOR WEST BROWARD BOULEVARD AS SHOWN ON STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP OF STATE ROAD NO. 842, SECTION 86006-2501, DATED 7-15-1971.

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SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF FORT LAUDERDALE, BROWARD COUNTY, FLORIDA, AND CONTAINING 793,409 SQUARE FEET OR 18.21 ACRES, MORE OR LESS.

## LINE TYPES



## SURVEY NOTES:

- UNLESS OTHERWISE NOTED, RECORD VALUES AND FIELD MEASURED VALUES ARE IN SUBSTANTIAL AGREEMENT.
- NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ENCRYPTED DIGITAL SIGNATURE OF A FLORIDA PROFESSIONAL SURVEYOR AND MAPPER.
- IT IS A VIOLATION OF THE STANDARDS OF PRACTICE RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
- OTHER THAN AS SHOWN, THERE IS NO EVIDENCE THAT UNDERGROUND ENCROACHMENTS EXIST. HOWEVER, A SUBSURFACE INVESTIGATION WAS NOT PERFORMED TO DETERMINE IF UNDERGROUND ENCROACHMENTS DO EXIST.
- THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENTS OF POTENTIAL JURISDICTIONAL BOUNDARIES.
- THE OWNERSHIP OF FENCES, PERIMETER WALLS AND/OR HEDGES SHOWN HEREON ARE NOT KNOWN AND THUS ARE NOT LISTED AS ENCROACHMENTS. FENCES, HEDGES AND/OR PERIMETER WALLS ARE SHOWN IN THEIR RELATIVE POSITION TO THE BOUNDARY.
- FEATURES AND LINE WORK SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN HORIZONTAL DATUM OF 1983 WITH THE 2011 ADJUSTMENT APPLIED (NAD 83/11), TRANSVERSE MERCATOR, FLORIDA EAST ZONE.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). SAID ELEVATIONS ARE BASED THE CITY OF FORT LAUDERDALE BENCHMARKS "45 NW" AND "153 NW". "45 NW" IS A PARKER KALON NAIL AND BRASS DISC STAMPED "CITY OF FT LAUD BM NW 45", IN THE TOP OF CURB 12 FEET WEST OF THE CENTERLINE OF NW 15 AVENUE, & 36 FEET NORTH OF THE CENTERLINE OF NW 3 STREET. ELEVATION=5.662' (NGVD 1929). "153 NW" IS A PARKER KALON NAIL AND BRASS DISC STAMPED "CITY OF FT LAUD BM NW 153" IN A CONCRETE APRON AT END OF PAVED SIDEWALK, 23 FEET WEST OF THE CENTERLINE OF NW 15 AVENUE AND 35 FEET NORTH OF THE CENTERLINE OF NW 1 STREET. ELEVATION=5.399'(NGVD 1929). THE ELEVATION OF "45 NW" WAS CONVERTED TO 4.085 FEET(NAVD88) AND THE ELEVATION OF "153 NW" WAS CONVERTED TO 3.822 FEET (NAVD88) USING A NATIONAL GEODETIC SURVEY (NGS) COORDINATE AND TRANSFORMATION TOOL (NCAT) RESULTING IN A VERTCON FACTOR OF (-)1.577 FEET.
- THE HORIZONTAL FEATURES SHOWN HEREON ARE PLOTTED TO WITHIN 1/20 OF THE MAP SCALE. HORIZONTAL FEATURE LOCATION IS TO THE CENTER OF THE SYMBOL AND MAY BE ALTERED FOR CLARITY. DISTANCES AND ELEVATIONS SHOWN HEREON ARE U.S. SURVEY FEET UNLESS OTHERWISE NOTED. THE EXPECTED HORIZONTAL ACCURACY OF THE INFORMATION SHOWN HEREON IS ±0.10'.
- THE INTENDED DISPLAY SCALE FOR THIS SURVEY IS 1"= 20' OR SMALLER.
- ALL MAPPED FEATURES AND ELEVATIONS SHOWN HEREON WERE OBTAINED BY KEITH AND ASSOCIATES FOR THE PURPOSE OF THIS SURVEY.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUMED BEARING ALONG THE MOST EASTERLY SOUTH RIGHT OF WAY LINE OF STATE ROAD 842 (BROWARD BOULEVARD), BEARING BEING NORTH 88°01'11" EAST.
- ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 12011C0556H EFFECTIVE DATE 8-18-2014, THIS PROPERTY LIES IN ZONE AH, BASE FLOOD ELEVATION 4' (NAVD88) AND ZONE X, NO BASE FLOOD ELEVATION. FLOOD ZONE LINES SHOWN HEREON WERE ESTABLISHED WITH GIS FILES SUPPLIED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).

## CERTIFICATION:

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY AND TOPOGRAPHIC SURVEY OF THE HEREON DESCRIBED PROPERTY IS DEPICTED TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THE INFORMATION AS SURVEYED UNDER MY DIRECTION ON JANUARY 12, 2021 MEETS THE STANDARDS OF PRACTICE RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

KEITH & ASSOCIATES, INC.

DONALD A. SPICER  
PROFESSIONAL SURVEYOR AND MAPPER  
REGISTRATION No. 4677  
STATE OF FLORIDA

DATE	REVISION	BY

DATE	1/12/2021
SCALE	N/A
FIELD BOOK	951/954/961/962
DRAWN BY	ZH
CHECKED BY	DS

301 EAST ATLANTIC BOULEVARD  
POMPANO BEACH, FLORIDA 33060-6643  
(954) 788-3400  
EMAIL: mail@KEITHteam.com LB NO. 6860

## FT. LAUDERDALE POLICE HEADQUARTERS BOUNDARY AND TOPOGRAPHIC SURVEY

A PORTION OF LOTS 7, 8, & 9, VALENTINES SUBDIVISION; PLAT BOOK 8, PAGE 29 D.C.R.  
A PORTION OF BLOCKS 117, 118, & 125, WAVERLY PLACE; PLAT BOOK 2, PAGE 19, D.C.R.

CITY OF OF FT. LAUDERDALE, BROWARD COUNTY, FLORIDA

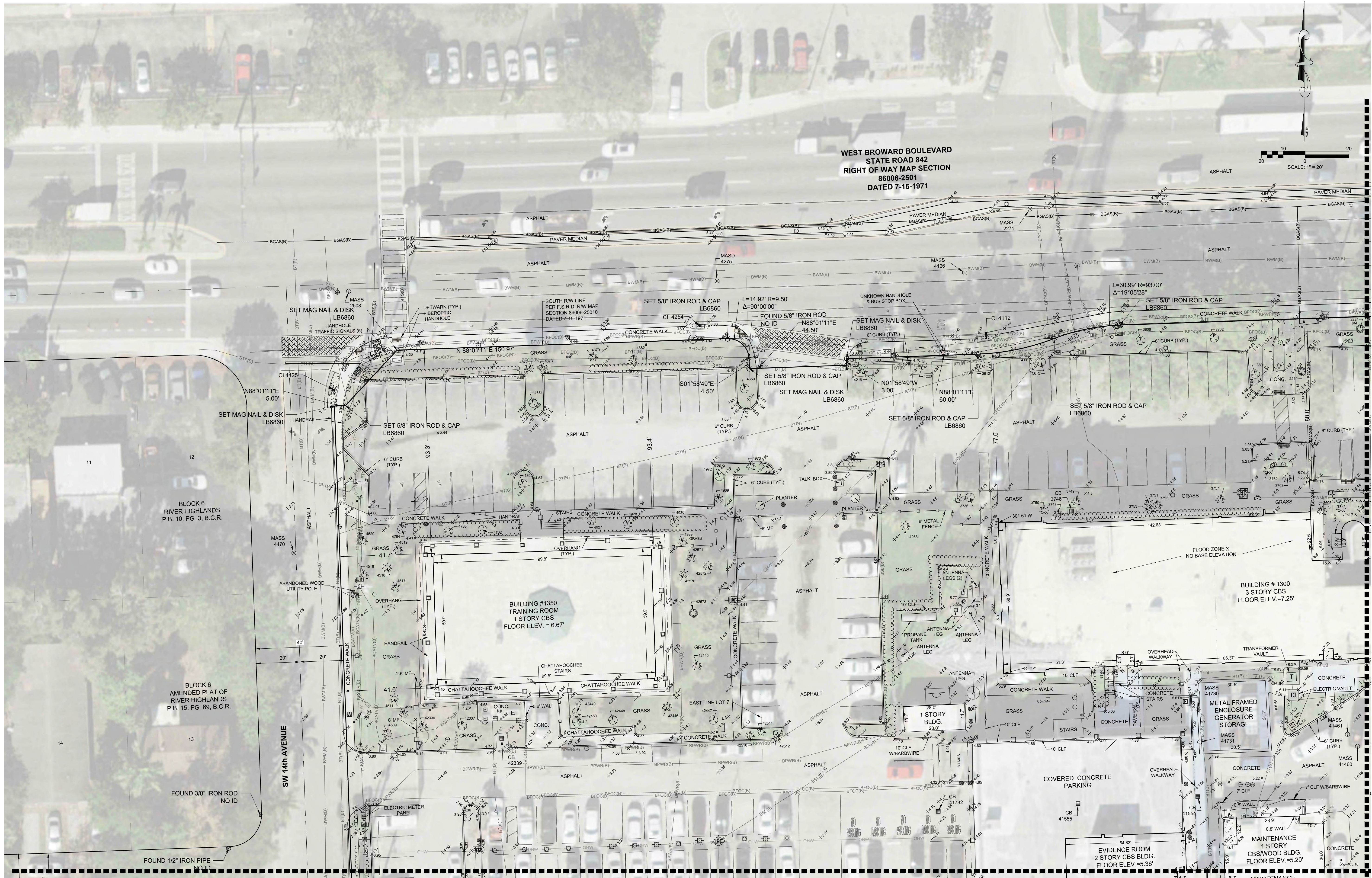
SHEET	1	OF	9
PROJECT NUMBER			
11112.00			







\\N11111200 - City of Fort Lauderdale New Police Headquarters - AECOM Survey DWG 11112.00 - POLICE HEADQUARTERS.dwg



MATCH LINE SHEET 7 OF 9

MATCH LINE SHEET 5 OF 9

FT. LAUDERDALE POLICE HEADQUARTERS  
BOUNDARY AND TOPOGRAPHIC SURVEY

A PORTION OF LOTS 7, 8 & 9, VALENTINES SUBDIVISION, PLAT BOOK B, PAGE 29 D.C.R.  
A PORTION OF BLOCKS 117, 118, & 125, WAVERLY PLACE, PLAT BOOK 2, PAGE 19, D.C.R.

CITY OF FT. LAUDERDALE, BROWARD COUNTY, FLORIDA

SHEET 4 OF 9  
PROJECT NUMBER  
11112.00

[SHEET 4] Jan 19, 2021 2:46pm

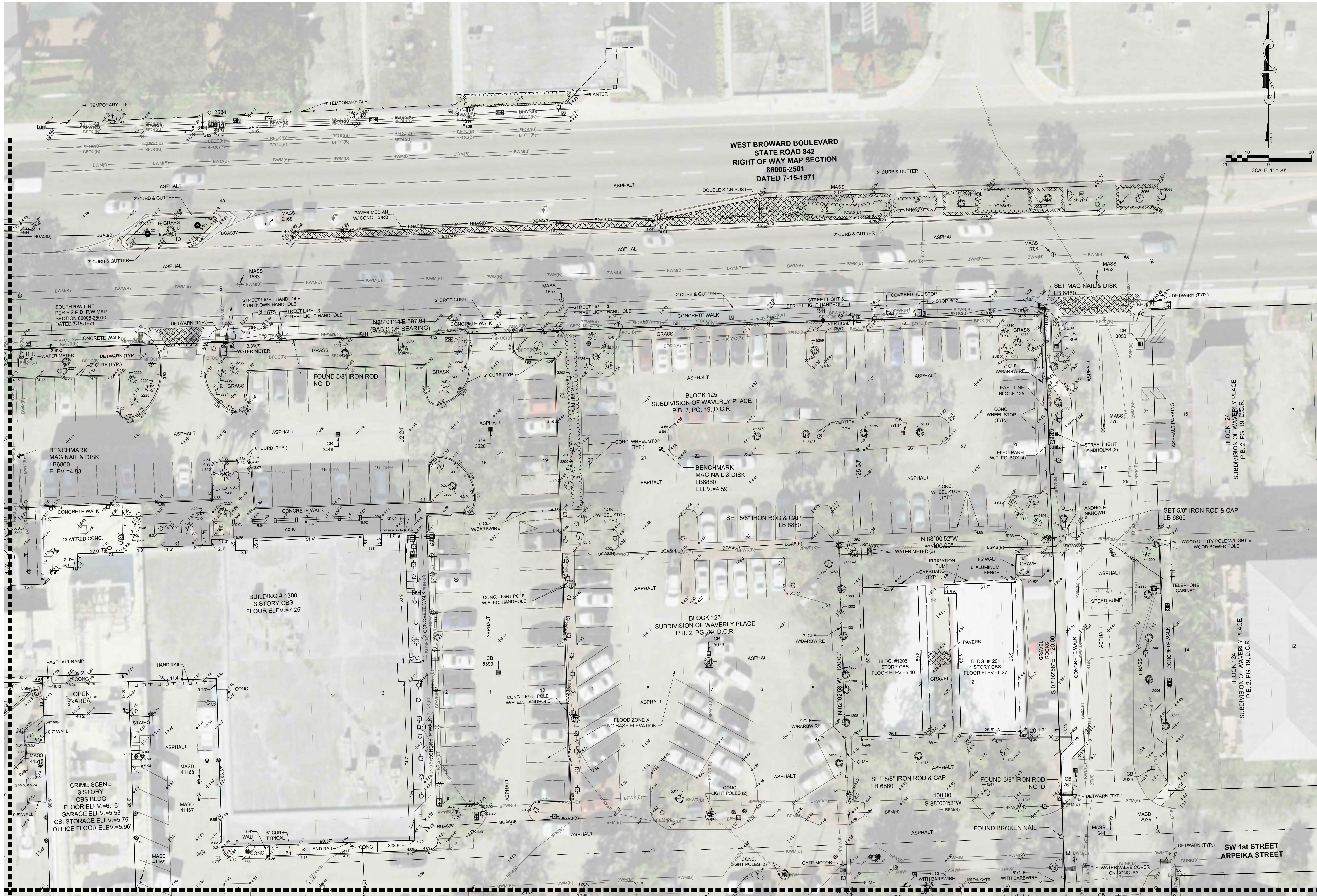
DATE	REVISION	BY
1/12/2021		
SCALE	1"=20'	
FIELD BOOK	95/954/961/962	
DRAWN BY	ZH	
CHECKED BY	DS	

**KEITH**  
301 EAST ATLANTIC BOULEVARD  
POMPANO BEACH, FLORIDA 33060-6643  
(954) 788-3400  
EMAIL: mail@KEITHteam.com LB NO. 6860



N:\111112-00\_City of Fort Lauderdale New Police Headquarters - AECOM\Survey\DWG\11112-00\_Police Headquarters.dwg

MATCH LINE SHEET 4 OF 9



MATCH LINE SHEET 6 OF 9

DATE	REVISION	BY
1/12/2021		

DATE	SCALE	FIELD BOOK	DRAWN BY	CHECKED BY
1/12/2021	1"=20'	86006-2501	ZH	DS

**KEITH**  
301 EAST ATLANTIC BOULEVARD  
POMPAHO BEACH, FLORIDA 33060-6843  
(954) 788-3400  
EMAIL: mail@KEITHteam.com LB NO. 6860

**FT. LAUDERDALE POLICE HEADQUARTERS  
BOUNDARY AND TOPOGRAPHIC SURVEY**

A PORTION OF LOTS 7, 8 & 9 VALENTINES SUBDIVISION, PLAT BOOK B PAGE 29 D.C.R.  
A PORTION OF BLOCKS 117, 118, & 125, WAVERLY PLACE, PLAT BOOK 2, PAGE 19, D.C.R.

CITY OF FT. LAUDERDALE, BROWARD COUNTY, FLORIDA

SHEET	5	OF	9
PROJECT NUMBER			
11112.00			

[SHEET 5] Jan 19, 2021 2:46pm





HEET 6] Jan 19, 2021 2:48pm



\\N111112.00 - City of Fort Lauderdale New Police Headquarters - AECOM\Survey\DWG\11112.00 - POLICE HEADQUARTERS.dwg



DATE	REVISION	BY
1/12/2021		

DATE	1/12/2021
SCALE	1"=20'
FIELD BOOK	851/954/961/962
DRAWN BY	ZH
CHECKED BY	DS

**KEITH**  
301 EAST ATLANTIC BOULEVARD  
POMPANO BEACH, FLORIDA 33060-6643  
(954) 788-3400  
EMAIL: mail@KEITHteam.com LB NO. 6860

**FT. LAUDERDALE POLICE HEADQUARTERS  
BOUNDARY AND TOPOGRAPHIC SURVEY**

A PORTION OF LOTS 7, 8 & 9, VALENTINES SUBDIVISION, PLAT BOOK B PAGE 29 D.C.R.  
A PORTION OF BLOCKS 117, 118, & 125, WAVERLY PLACE, PLAT BOOK 2, PAGE 19, D.C.R.

CITY OF FT. LAUDERDALE, BROWARD COUNTY, FLORIDA

SHEET	7	OF	9
PROJECT NUMBER	11112.00		

[SHEET 7] Jan 19, 2021 2:49pm



N:\111112.00 - City of Fort Lauderdale New Police Headquarters - RECORD\Survey\DWG\11112.00 - POLICE HEADQUARTERS.dwg



MATCH LINE SHEET 9 OF 9

**FT. LAUDERDALE POLICE HEADQUARTERS  
BOUNDARY AND TOPOGRAPHIC SURVEY**

A PORTION OF LOTS 7, 8, & 9, VALENTINES SUBDIVISION, PLAT BOOK B, PAGE 29 D.C.R.  
A PORTION OF BLOCKS 117, 118, & 125, WAVERLY PLACE, PLAT BOOK 2, PAGE 19, D.C.R.

CITY OF FT. LAUDERDALE, BROWARD COUNTY, FLORIDA

SHEET 8 OF 9  
PROJECT NUMBER  
11112.00

**KEITH**  
301 EAST ATLANTIC BOULEVARD  
POMPANO BEACH, FLORIDA 33060-6643  
(954) 788-3400  
EMAIL: mail@KEITHteam.com LB NO. 6860

DATE	1/12/2021
SCALE	1"=20'
FIELD BOOK	851/954/961/962
DRAWN BY	ZH
CHECKED BY	DS

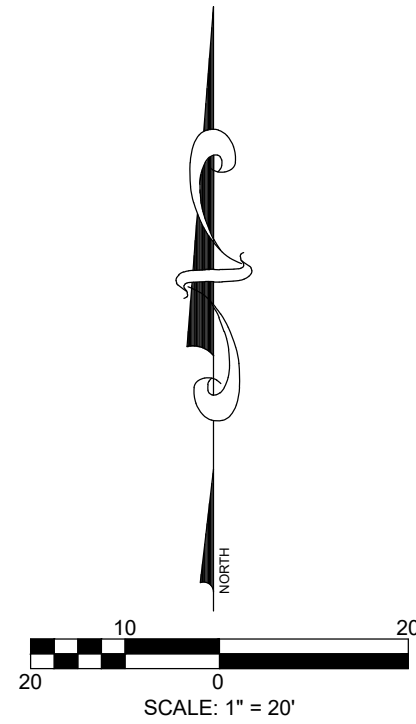
DATE	REVISION	BY



\\NV111112-00 - City of Fort Lauderdale New Police Headquarters - AECOM\Survey\DWG\11112-00\_POLICE HEADQUARTERS.dwg

MATCH LINE SHEET 8 OF 9

MATCH LINE SHEET 6 OF 9



FT. LAUDERDALE POLICE HEADQUARTERS  
BOUNDARY AND TOPOGRAPHIC SURVEY

A PORTION OF LOTS 7, 8 & 9, VALENTINES SUBDIVISION, PLAT BOOK B PAGE 29 D.C.R.  
A PORTION OF BLOCKS 117, 118, & 125, WAVERLY PLACE, PLAT BOOK 2, PAGE 19, D.C.R.

CITY OF FT. LAUDERDALE, BROWARD COUNTY, FLORIDA

**KEITH**  
301 EAST ATLANTIC BOULEVARD  
POMPANO BEACH, FLORIDA 33060-6643  
(954) 788-3400  
EMAIL: mail@KEITHteam.com LB NO. 6860

DATE	1/12/2021
SCALE	1"=20'
FIELD BOOK	851/954/961/962
DRAWN BY	ZH
CHECKED BY	DS

DATE	REVISION	BY

SHEET	9	OF	9
PROJECT NUMBER			
11112.00			

[SHEET 9] Jan 19, 2021 2:52pm





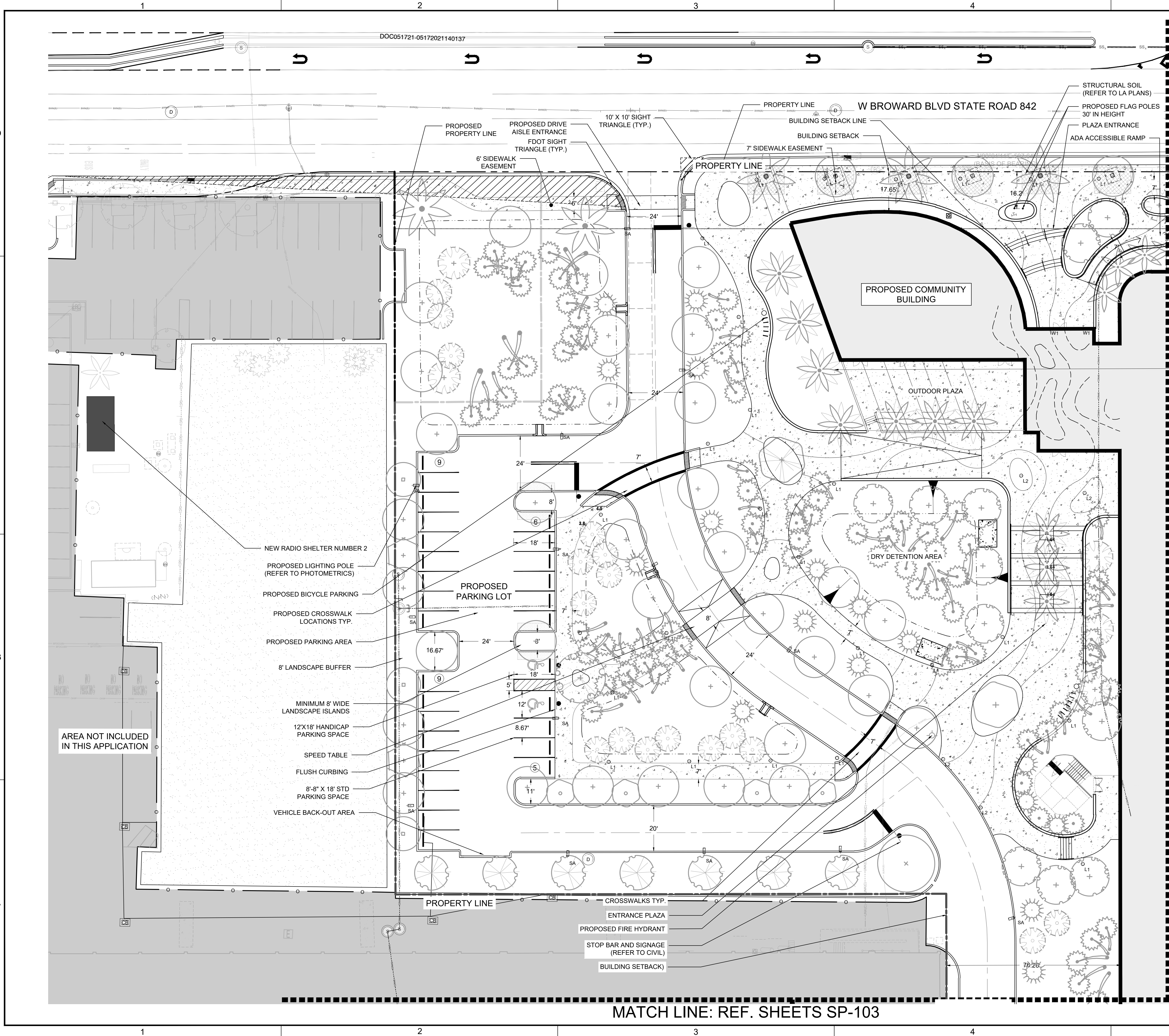












MATCH LINE: REF. SHEET SP-102

GRAPHIC SCALE  
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SCALE: 1" = 20'  
NOTE: PRINTED DRAWING SIZE  
MAY HAVE CHANGED FROM  
ORIGINAL. VERIFY SCALE USING  
BAR SCALE ABOVE.

**KEITH**  
301 East Atlantic Blvd.  
Pompano Beach, FL 33060  
PH: (954) 788-3400  
Florida Engineering Business License: CA7928  
Florida Surveyor and Mapper Business License: LB6660  
Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE  
PLANS PRIOR TO OBTAINING PERMITS FROM  
ALL AGENCIES HAVING JURISDICTION OVER  
THE PROJECT WILL FALL SOLELY UPON THE  
USER.

ISSUE DATE:	04/04/22
DESIGNED BY:	MH, LW, AS
DRAWN BY:	MH, AS
CHECKED BY:	KS, PW
BID-CONTRACT:	

6/25/21  
PAUL H. WEINBERG, R.L.A.  
FLORIDA REG. NO. LA6666804  
(FOR THE FIRM)

CLIENT  
**CITY OF FORT  
LAUDERDALE**

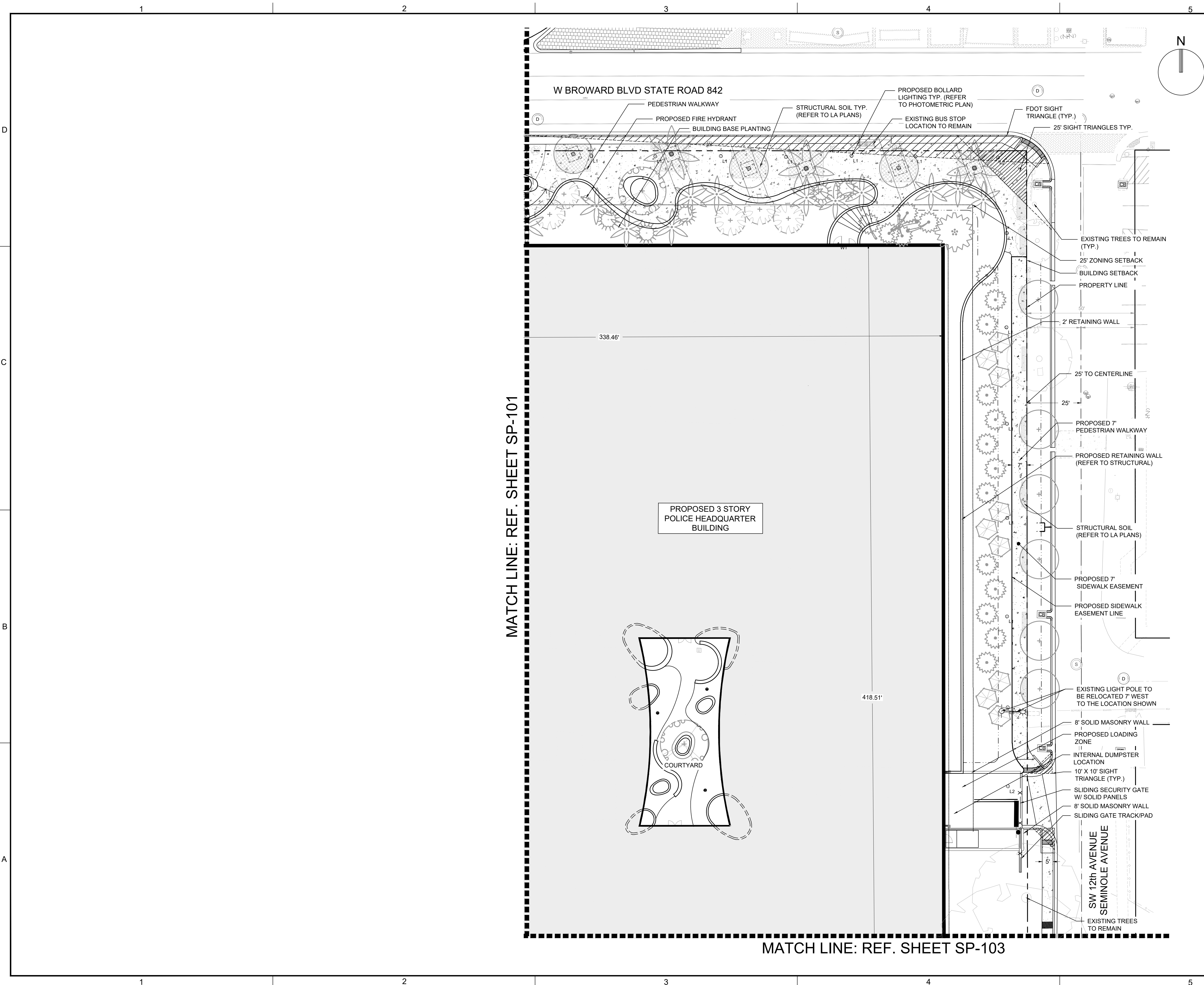
PROJECT  
**NEW POLICE  
HEADQUARTERS  
1300-1350 WEST  
BROWARD BLVD**

SHEET TITLE  
**SITE PLAN**

SHEET NUMBER	SP-101
PROJECT NUMBER	11112.00


STATUS: 100% SUBMISSION





**GRAPHIC SCALE**

0 20 40



SCALE: 1" = 20'

NOTE: PRINTED DRAWING SIZE  
MAY HAVE CHANGED FROM  
ORIGINAL. VERIFY SCALE USING  
BAR SCALE ABOVE.

[illegible]

**RESPONSIBILITY FOR THE USE OF THESE  
PLANS PRIOR TO OBTAINING PERMITS FROM  
ALL AGENCIES HAVING JURISDICTION OVER  
THE PROJECT WILL FALL SOLELY UPON THE  
USER.**

ISSUE DATE:	04/04/22
DESIGNED BY:	MH, LW, AS
DRAWN BY:	MH, AS
CHECKED BY:	KS, PW
BID-CONTRACT:	



PAUL H. WEINBERG, R.L.A.  
FLORIDA REG. NO. LA6666804  
(FOR THE FIRM)

CLIENT

**CITY OF FORT  
LAUDERDALE**

**PROJECT**

**NEW POLICE  
HEADQUARTERS  
1300-1350 WEST  
BROWARD BLVD**

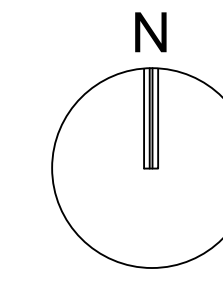
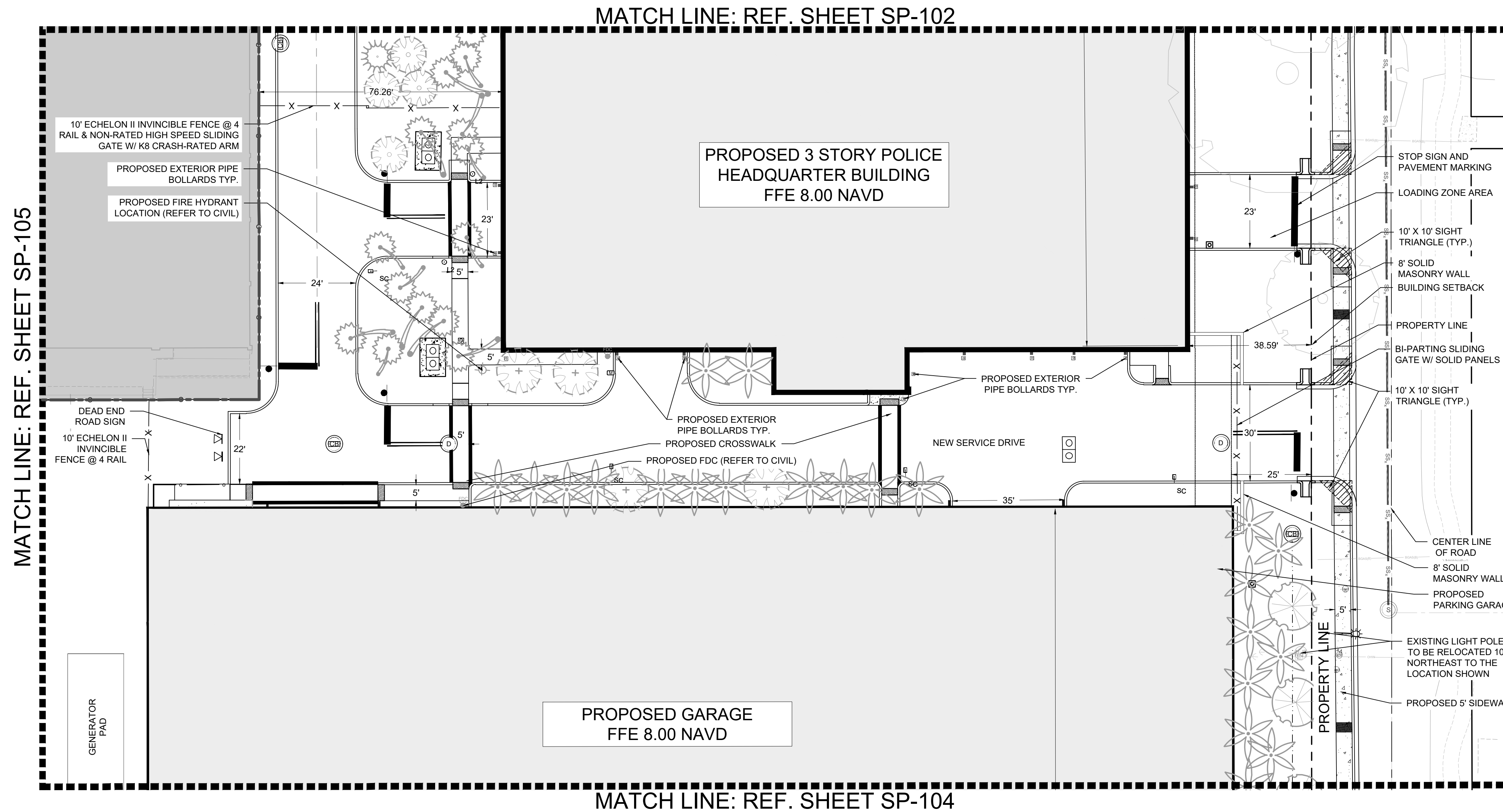
SHEET TITLE

SITE PLAN

SHEET NUMBER	SP-102
PROJECT NUMBER	11112.00


**STATUS: 100% SUBMISSION**





**GRAPHIC SCALE**

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**SCALE: 1" = 20'**

**NOTE: PRINTED DRAWING SIZE  
MAY HAVE CHANGED FROM  
ORIGINAL. VERIFY SCALE USING  
BAR SCALE ABOVE.**

[illegible]

**RESPONSIBILITY FOR THE USE OF THESE  
PLANS PRIOR TO OBTAINING PERMITS FROM  
ALL AGENCIES HAVING JURISDICTION OVER  
THE PROJECT WILL FALL SOLELY UPON THE  
USER.**

ISSUE DATE:	04/04/22
DESIGNED BY:	MH, LW, AS
DRAWN BY:	MH, AS
CHECKED BY:	KS, PW
BID-CONTRACT:	



PAUL H. WEINBERG, R.L.A.  
FLORIDA REG. NO. LA6666804  
(FOR THE FIRM)

## CLIENT

CITY OF FORT  
LAUDERDALE

PROJECT

**NEW POLICE  
HEADQUARTERS  
1300-1350 WEST  
BROWARD BLVD**

**SHEET TITLE**

## SITE PLAN

**SHEET** SP-103  
**NUMBER**

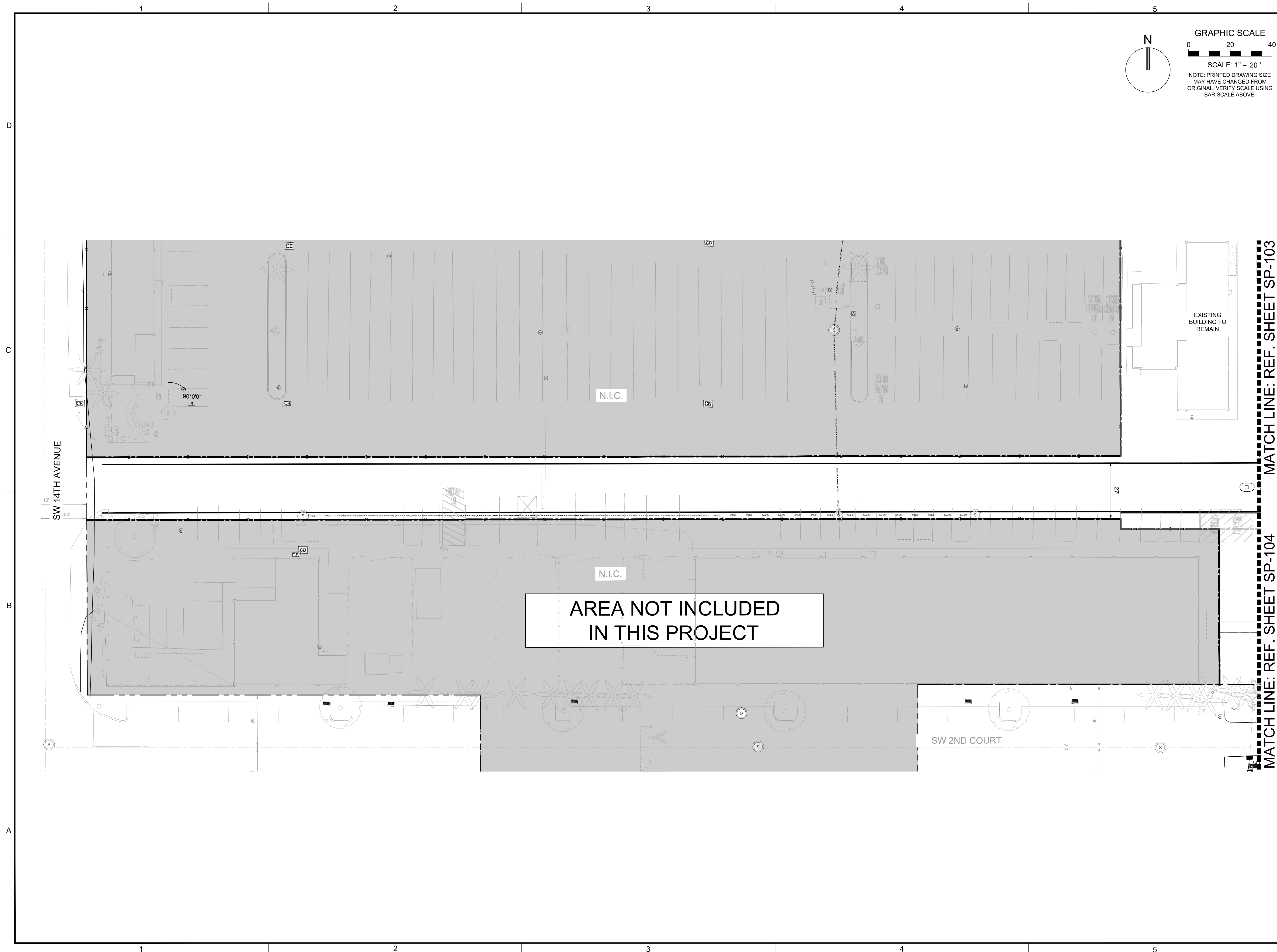
PROJECT NUMBER	11112.00
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STATUS: 100% SUBMISSION



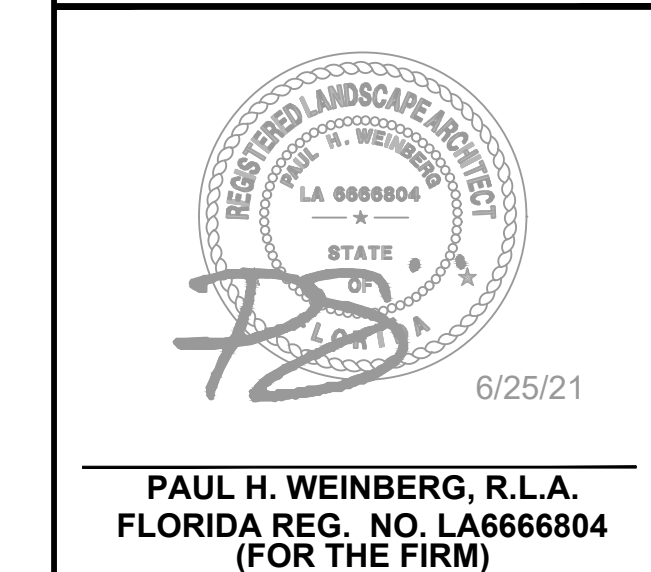




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RESPONSIBILITY FOR THE USE OF THESE  
PLANS PRIOR TO OBTAINING PERMITS FROM  
ALL AGENCIES HAVING JURISDICTION OVER  
THE PROJECT WILL FALL SOLELY UPON THE  
USER.

ISSUE DATE:	04/04/22
DESIGNED BY:	MH, LW, AS
DRAWN BY:	MH, AS
CHECKED BY:	KS, PW
BID-CONTRACT:	



CLIENT

**CITY OF FORT  
LAUDERDALE**

**PROJECT**

**NEW POLICE  
HEADQUARTERS  
1300-1350 WEST  
BROWARD BLVD**

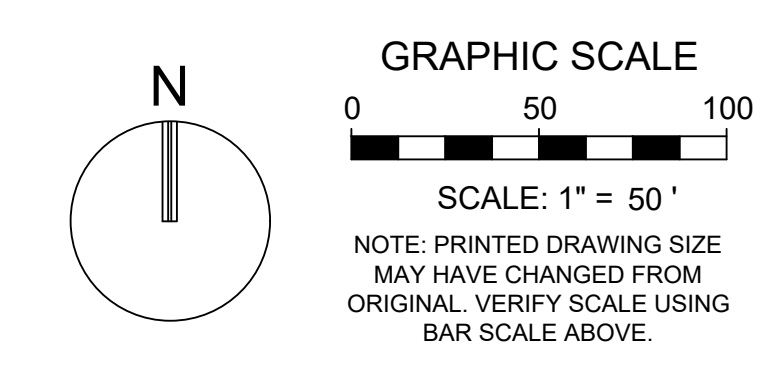
SHEET TITLE

SITE PLAN

SHEET NUMBER	SP-105
PROJECT NUMBER	11112.00

STATUS: 100% SUBMISSION





 **KEITH**

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Pompano Beach, FL 33060  
PH: (954) 788-3400**

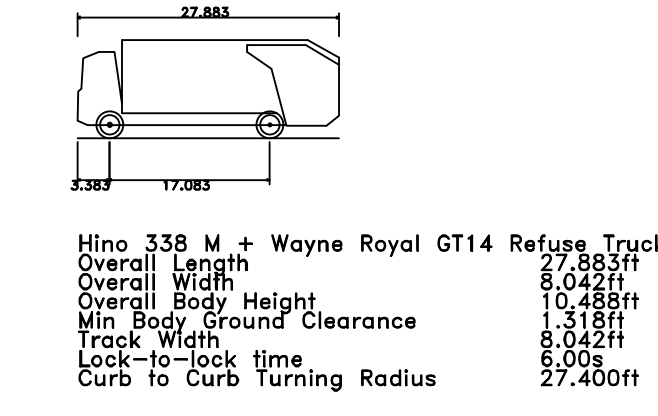
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Florida Engineering Business License: CA7928  
Florida Surveyor and Mapper Business License: L88660  
Florida Landscape Architecture Business License: LC260000457

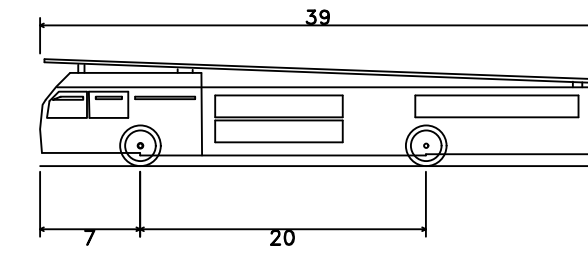
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**RESPONSIBILITY FOR THE USE OF THESE  
PLANS PRIOR TO OBTAINING PERMITS FROM  
ALL AGENCIES HAVING JURISDICTION OVER  
THE PROJECT WILL FALL SOLELY UPON THE  
USER.**

ISSUE DATE:	04/04/22
DESIGNED BY:	MH, LW, AS
DRAWN BY:	MH, AS
CHECKED BY:	KS, PW
BID-CONTRACT:	

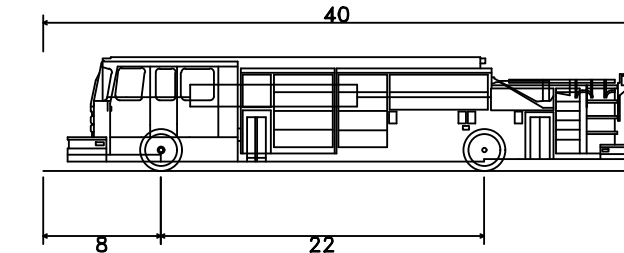


## REFUSE GARBAGE TRUCK



Aerial Fire Truck	
Overall Length	39.000ft
Overall Width	8.167ft
Overall Body Height	7.500ft
Min Body Ground Clearance	0.750ft
Track Width	8.167ft
Lock-to-lock time	5.00s
Max Wheel Angle	45.00°

## AERIAL FIRE TRUCK



Pumper Fire Truck	
Overall Length	40.000ft
Overall Width	8.167ft
Overall Body Height	7.745ft
Min Body Ground Clearance	0.656ft
Track Width	8.167ft
Lock-to-lock time	5.00s
Max Wheel Angle	45.00°

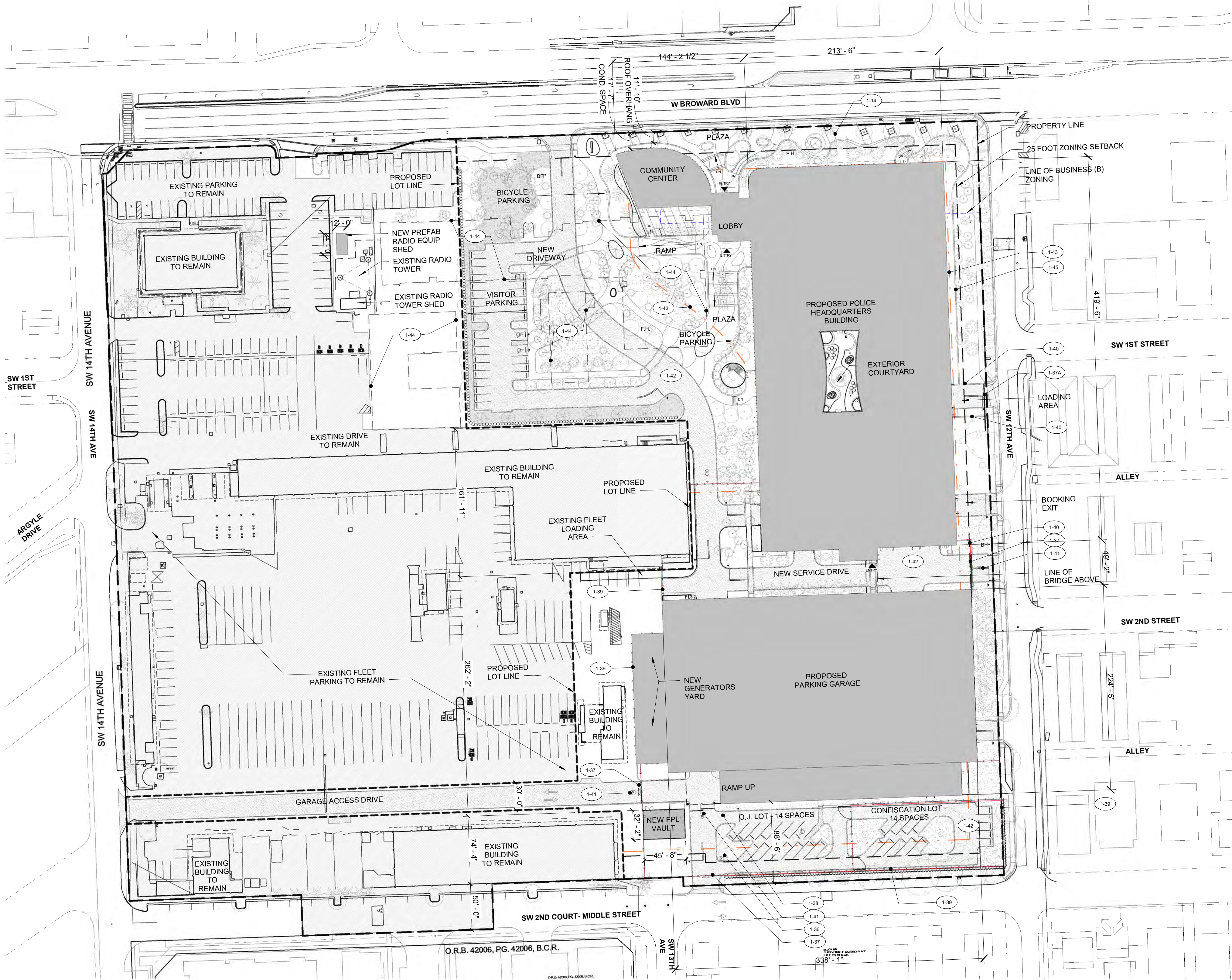
PUMPER FIRE TRUCK

SHEET NUMBER	SP-501
PROJECT NUMBER	11112.00

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

STATUS: 100% SUBMISSION



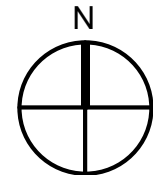


- KEYNOTES**
- 1-14 PRECAST CONCRETE PAVER SIDEWALK/PLAZA
  - 1-36 PEDESTAL MOUNTED CARD READER, INTERCOM AND AUTOMATIC GATE OPENER
  - 1-37 BI-PARTING SLIDING SECURITY GATE - 8FT HIGH
  - 1-37A SLIDING SECURITY GATE - 8FT HIGH
  - 1-38 SWINGING SECURITY GATE - 8FT HIGH
  - 1-39 SECURITY FENCING - 8FT HIGH
  - 1-40 SECURITY MASONRY WALL - 8FT HIGH
  - 1-41 PEDESTAL MOUNTED CARD READER, SECURITY GATE ARM ACCESS CONTROL
  - 1-42 ASPHALT DRIVEWAY, SEE CIVIL DWGS
  - 1-43 50 FOOT SECURITY SETBACK (FROM FACE OF CURB)

- KEYNOTES**
- 1-44 LINE OF EXISTING BUILDING TO DEMO SEE DEMO DWGS.
  - 1-45 2' RETAINING WALL WALL SEE LANDSCAPE DWGS.

**SITE PLAN**  
Scale: 1" = 60'-0"

SCALE: 1" = 60'-0" 0 60' 120' 180'



<div>PROJECT DATA</div> <div>FORT LAUDERDALE POLICE HEADQUARTERS</div> <div>1300 W BROWARD BLVD</div> <div>FORT LAUDERDALE, FL 33321</div> <div>OWNERS: CITY OF FORT LAUDERDALE DEPARTMENT OF PUBLIC WORKS</div>		
<div>EXISTING CONDITIONS</div>		
ZONING	CF - COMMUNITY FACILITY, B-1 - BUSINESS	
FLOOD ZONE	ZONE AH & ZONE X	
LOT SIZE	793,409 SF (18.21 ACRES) LOT A - 389,486 SF (8.94 ACRES)	
<div>LEGAL DESCRIPTION</div> <div>ALL OF BLOCKS 117, 118, 125; AND THE 10 FOOT ALLEYS WITHIN SAID BLOCKS; AND THAT PORTION OF FLORIDA STREET (S.W. 1st STREET) AND NORTH 3rd STREET (S.W. 2nd STREET) LYING BETWEEN SAID BLOCKS, PER WAVERLY PLACE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 19 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; AND LESS THEREOF THE RIGHT-OF-WAY FOR WEST BROWARD BOULEVARD AS SHOWN ON STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP OF STATE ROAD NO. 842, SECTION 86006-2501, DATED 7-15-1971.</div> <div>TOGETHER WITH:</div> <div>THE NORTH 855.00 FEET OF LOT 7, THE NORTH 900.00 FEET OF LOT 8, AND THE NORTH 850.00 FEET OF LOT 9, W.C. VALENTINES SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 29 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA; AND LESS THEREOF THE RIGHT-OF-WAY FOR WEST BROWARD BOULEVARD AS SHOWN ON STATE OF FLORIDA STATE ROAD DEPARTMENT RIGHT OF WAY MAP OF STATE ROAD NO. 842, SECTION 86006-2501, DATED 7-15-1971.</div>		
<div>BUILDING HEIGHT</div>		
NEW BUILDING	ALLOWED 60 FT	PROVIDED 50 FT
<div>BUILDING SETBACKS</div>		
FRONT	REQUIRED 25 FT	PROVIDED 17'-7" COND. SPACE 11'-10" ROOF OVERHANG
SIDE	25 FT	38'-7"
REAR	25 FT	88'-6"
<div>FLOOD LEGEND</div>		
HIGHEST CROWN OF ROAD (EXISTING)	PROPOSED GROUND FLOOR	ADJACENT GRADE (SIDEWALK)
4.95' (NAVD88)	8.00' (NAVD88)	4.49' (NAVD88)
<div>PROPOSED SITE IMPROVEMENTS</div>		
NEW BUILDING - USABLE (A/C)	EXISTING -	NEW 190,980 SF
GARAGE	-	222,081 SF
TOTAL	0 SF	413,061 SF
<div>FLOOR AREA RATIO - FAR</div>		
MAXIMUM FAR	NEW PROPOSED	
1.0 X 389,486 = 389,486 SF	HEADQUARTERS BUILDING 190,980 SF (NOT INCLUDING PARKING GARAGE)	
<div>LOT COVERAGE</div>		
ALLOWED	NEW PROPOSED	
NOT APPLICABLE	HEADQUARTERS = PARKING GARAGE = FPL VAULT =	98,480 SF 78,044 SF 2,060 SF
TOTAL NEW BUILDING FOOT PRINT:		178,605 SF
<div>NEW 3 STORY BUILDING &amp; 3 STORY PARKING GARAGE</div>		
<div>COST OF CONSTRUCTION : SCOPE OF WORK</div>		
<div>ITEMIZED LIST:</div>		
<div>NEW CONSTRUCTION</div>		
<div>COST OF CONSTRUCTION : SCOPE OF WORK</div>		
NEW (A/C)	190,980	SQ. FT. OF CONSTRUCTION
NEW (GARAGE)	222,081	SQ. FT. OF CONSTRUCTION
TOTAL COST OF WORK :		\$ 83,390,250

**AECOM**

**PROJECT**  
**FORT LAUDERDALE**  
**POLICE HEADQUARTERS**  
1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312

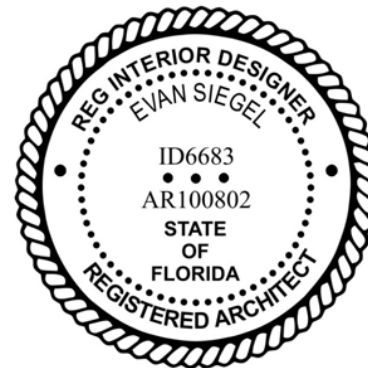


**CLIENT**  
**CITY OF FORT**  
**LAUDERDALE**  
**DEPARTMENT OF**  
**PUBLIC WORKS**  
**PRIME CONSULTANT**

**AECOM**  
2 ALHAMBRA PLAZA, SUITE 900  
CORAL GABLES, FL 33134  
305.444.4691 tel 305.675.3843 fax  
http://www.aecom.com

**CONSULTANTS**

**REGISTRATION**



**ISSUE/REVISION**

NO.	DATE	DESCRIPTION
5	APRIL 4, 2022	100% CONSTRUCTION DOCS
4	NOV 24, 2021	75% CONSTRUCTION DOCS
3	AUG 16, 2021	DRC RESUBMIT
2	JUNE 21, 2021	DESIGN DEVELOPMENT
1	MAR 15, 2021	SCHEMATIC DESIGN

NO.	DATE	DESCRIPTION
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**KEY PLAN**

**PROJECT NUMBER**

60639620

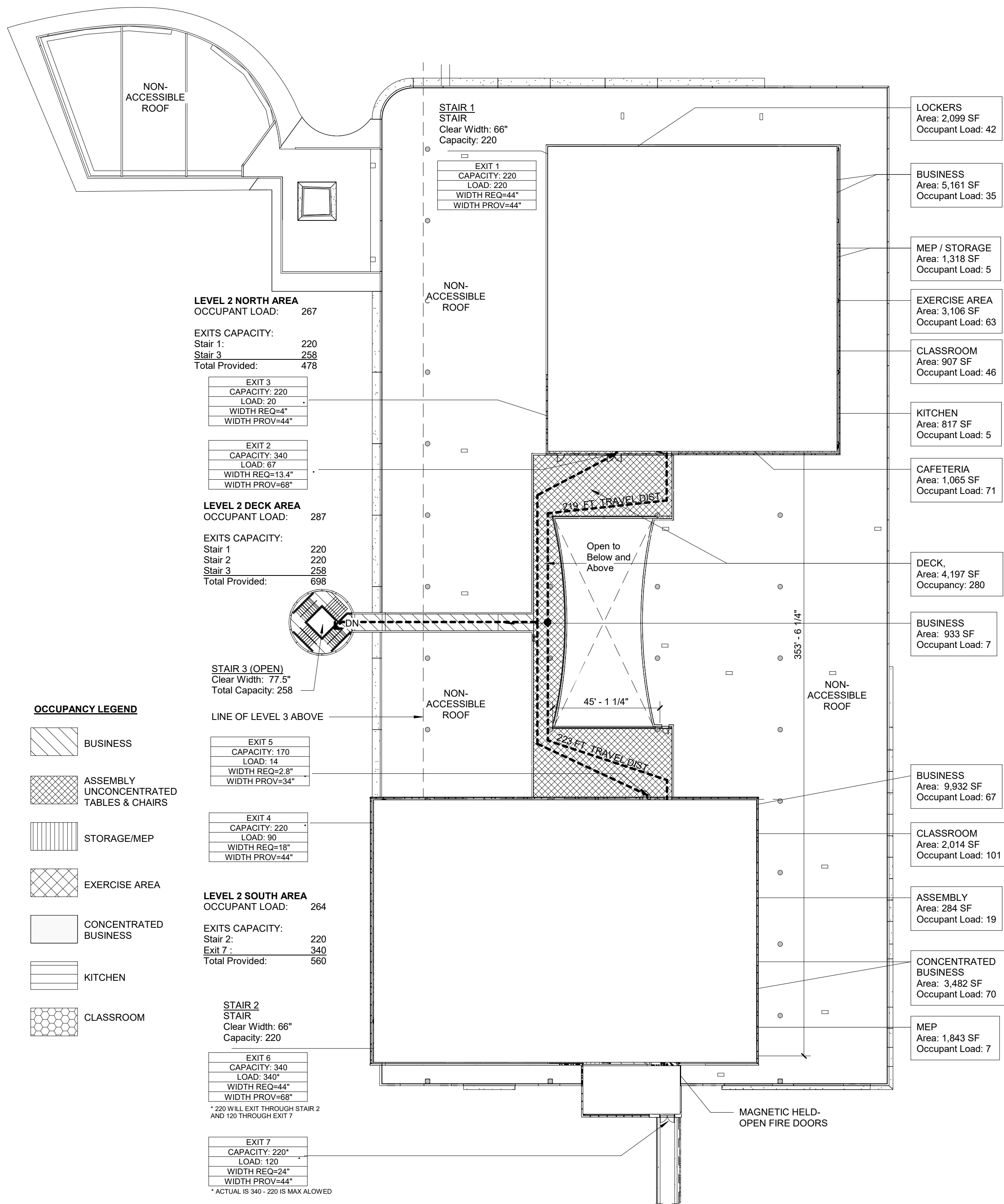
**SHEET TITLE**

**ARCHITECTURAL SITE PLAN -**  
**OVERALL**

**SHEET NUMBER**

HQ-A1-1-01

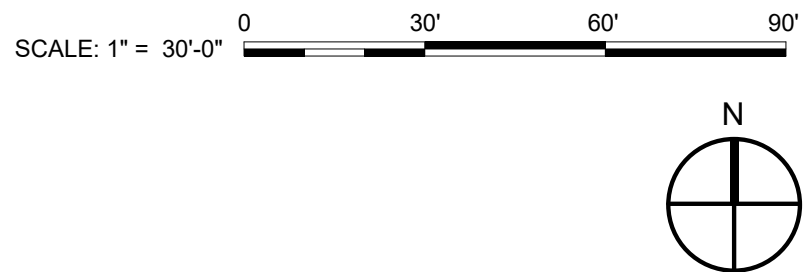




**OCCUPANCY LEGEND**

	BUSINESS
	ASSEMBLY UNCONCENTRATED TABLES & CHAIRS
	STORAGE/MEP
	EXERCISE AREA
	CONCENTRATED BUSINESS
	KITCHEN
	CLASSROOM

1 HQ BLDG - LIFE SAFETY PLAN - LEVEL 2  
Scale: 1" = 30'-0"



### LIFE SAFETY LEGEND

	1 HOUR FIRE RATING
	2-HOUR FIRE RATING
	3-HOUR FIRE RATING
	SMOKE BARRIER (1-HOUR RATED)
	SMOKE PARTITION (NON-RATED)
	ASSUMED PROPERTY LINE
# FT. TRAVEL DISTANCE	EXIT ACCESS TRAVEL DISTANCE
# FT. COMMON PATH	COMMON PATH DISTANCE
# FT. DEAD END	DEAD END DISTANCE
EXIT # CAPACITY LOAD WIDTH REQUIRED="X" WIDTH PROVIDED="X"	EXIT WIDTH EGRESS CAPACITY (NUMBER OF PERSONS)
FE FEC	MULTIPURPOSE FIRE EXTINGUISHER ON HOOK SEMI RECESSED FIRE EXTINGUISHER CABINET WITH MULTIPURPOSE FIRE EXTINGUISHER PROVIDE ONE TYPE 4A-60BC FE FOR EVERY 3000 SF. TRAVEL DISTANCE NOT TO EXCEED 75 FEET

# AECOM

PROJECT  
**FORT LAUDERDALE  
POLICE HEADQUARTERS**  
1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312

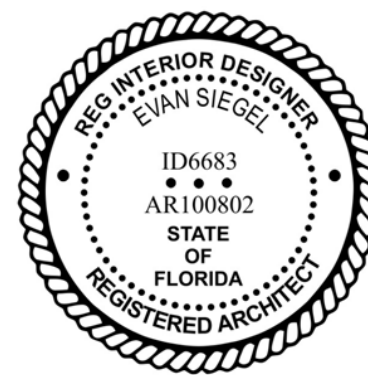


CLIENT  
**CITY OF FORT  
LAUDERDALE  
DEPARTMENT OF  
PUBLIC WORKS**  
PRIME CONSULTANT

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http://www.aecom.com

CONSULTANTS

REGISTRATION

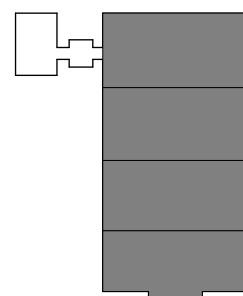


ISSUE/REVISION

NO.	DATE	DESCRIPTION
5	APRIL 4, 2022	100% CONSTRUCTION DOCS
4	NOV 24, 2021	75% CONSTRUCTION DOCS
3	AUG 16, 2021	DRC RESUBMIT
2	JUNE 21, 2021	DESIGN DEVELOPMENT
1	MAR 15, 2021	SCHEMATIC DESIGN

NO.	DATE	DESCRIPTION
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KEY PLAN



PROJECT NUMBER

60639620

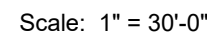
SHEET TITLE

HEADQUARTERS BLDG - LIFE  
SAFETY PLAN LEVEL 2

SHEET NUMBER

HQ-A1-4-20

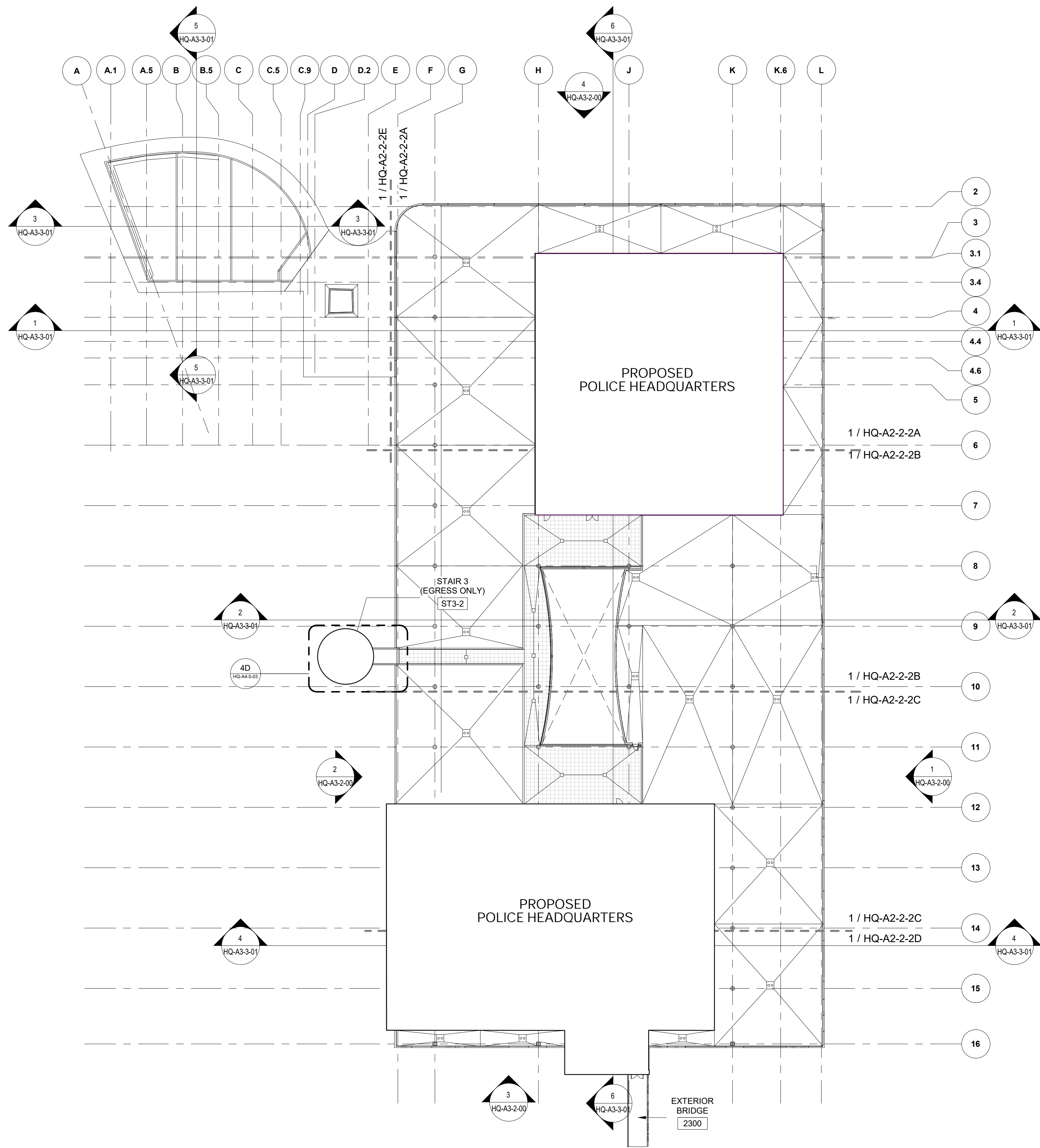




SCALE: 1" = 30'-0"

HQ-A2-2-01





1 HQ BLDG - FLOOR PLAN LEVEL 2 - OVERALL  
Scale: 1" = 30'-0"

GENERAL NOTES

- THESE GENERAL NOTES APPLY TO SUBSEQUENT BUILDING AREA FLOOR PLANS HQ-A2-2-1A THRU HQ-A2-2-3E AS DESIGNATED BY MATCH LINE.
- GENERAL DEPARTMENT USES ARE IDENTIFIED AT OVERALL FLOOR PLANS; INDIVIDUAL ROOM NAMES GIVEN AT AREA PLANS.
- REFER TO SHEET HQ-A0-1-01 AND HQ-A0-1-02 FOR ABBREVIATIONS, LEGENDS, SYMBOLS, AND GENERAL NOTES.
- REFER TO HQ-A1-4-01 AND HQ-A1-4-10 THRU 30 FOR LIFE SAFETY PLANS AND LOCATION OF FIRE RATED ENCLOSURES, HORIZONTAL EXITWAY, AND USE SEPARATION WALLS.
- REFER TO HQ-A2-1-01 THRU HQ-A2-1-03 OVERALL DIMENSION PLANS FOR INTERIOR LAYOUT. REFER TO HQ-A2-1-1A THRU HQ-A2-1-3E FOR ENLARGED AREA DIMENSIONS.
- REFER TO HQ-A4-1-01 THRU HQ-A4-1-08 ENLARGED PLANS INDICATED BY CALLOUT FOR WALL TYPES, EQUIPMENT AND ACCESSORIES WITHIN INDIVIDUAL SPACES. EQUIPMENT SHOWN DASHED IS NIC.
- REFER TO HQ-A2-4-00 SERIES DRAWINGS FOR WALL FINISHES AT WALL ASSEMBLIES SHOWN. REFER TO HQ-A2-3-00 SERIES FOR CEILING FINISHES AND HQ-A5-00 SERIES FOR FLOOR FINISHES AT PLAN AREAS.
- REFER TO HQ-A6-1-01 THRU HQ-A6-1-03 FOR WALL ASSEMBLY DETAILS.
- WALL ASSEMBLY TYPE AND STC CLASSIFICATION VARIES THROUGHOUT LEVELS AND USE AREAS; CONTINUE STC WALL ASSEMBLY TO STRUCTURAL DECK AND CORNER TO CORNER WITHIN INDIVIDUAL SPACES UON.
- STC RATED WALL ASSEMBLY TO CONTINUE AT FULL ENCLOSURE OF INDIVIDUAL ROOMS. PARTITION FINISHES ALIGN TO ONE SURFACE PLANE AT INDIVIDUAL SPACES.
- REFER TO SHEETS HQ-A4-7-01 THRU 06 FOR ENLARGED PLAN DETAILS AT FIRE RATED SHAFTS, CHASES AND COLUMN SURROUNDS. MAINTAIN FIRESTOPPING AT PIPE CHASES AND 2HR WALL CONSTRUCTION AT SHAFTS; ALIGN SHAFT OUTER FINISH SURFACE TO ADJACENT NON-RATED ASSEMBLY WHERE OCCURS.
- REFER TO SHEETS HQ-A4-7-02 THRU 04 FOR ENLARGED COLUMN SURROUND WALL DETAILS. WALL WIDTHS VARY WITH PLACEMENT OF DATA OUTLETS AND LOCATION OF SEMI-RECESSED FEC'S.
- REFER TO HQ-A6-4-00 SERIES FOR INTERIOR OPENINGS SCHEDULE AND DETAILS; GLASS PANE AND FRAME ASSEMBLY TO MEET STC RATING OF ADJACENT WALL, EXCEPT STC 63, WHERE STC 59 IS ACCEPTABLE. BALLISTIC RATED GLASS AND FRAMES REQUIRED AS SCHEDULED.
- REFER TO HQ-A6-5-00 SERIES FOR DOOR SCHEDULES AND DETAILS. DOOR AND FRAME ASSEMBLY TO MEET STC RATING OF ADJACENT WALL, EXCEPT STC 63, WHERE STC 59 IS ACCEPTABLE. BALLISTIC RATED DOOR AND FRAME REQUIRED AS SCHEDULED.
- INSTALL FIRE EXTINGUISHER BRACKETS AND SEMI-RECESSED CABINETS WHERE SHOWN. LOCATIONS ARE APPROXIMATE; FIELD ADJUST AS DIRECTED BY AHJ CODE OFFICIALS.

PARTITION LEGEND

- NEW MILLWORK
- METAL LAB GRADE MILLWORK
- HOLDING CELL CONCRETE BENCH
- NEW PARTITION
- S14B0 DENOTES PARTITION TYPE
- 1022 DOOR NUMBER
- # WINDOW TAG
- ROOM NAME 400A
- ROOM NAME AND NUMBER

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PROJECT  
FORT LAUDERDALE  
POLICE HEADQUARTERS  
1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312



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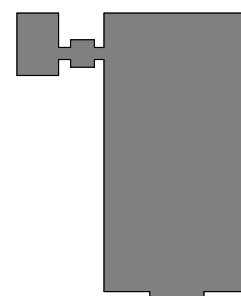


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4	APRIL 4, 2022	100% CONSTRUCTION DOCS
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1	MAR 15, 2021	SCHEMATIC DESIGN

NO.	DATE	DESCRIPTION
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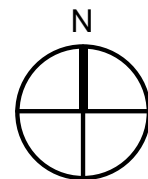
60639620

SHEET TITLE

HEADQUARTERS BLDG - FLOOR  
PLAN LEVEL 2 - OVERALL

SHEET NUMBER

HQ-A2-2-02



SCALE: 1" = 30'-0"

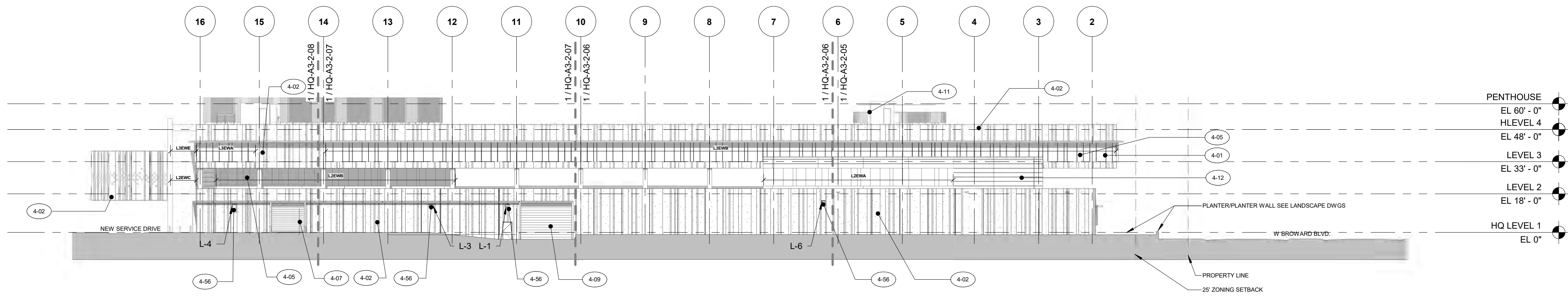






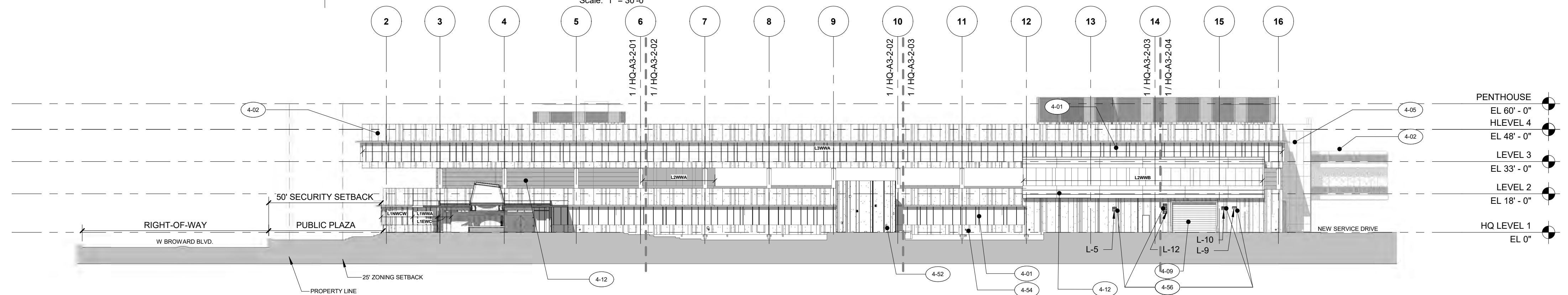






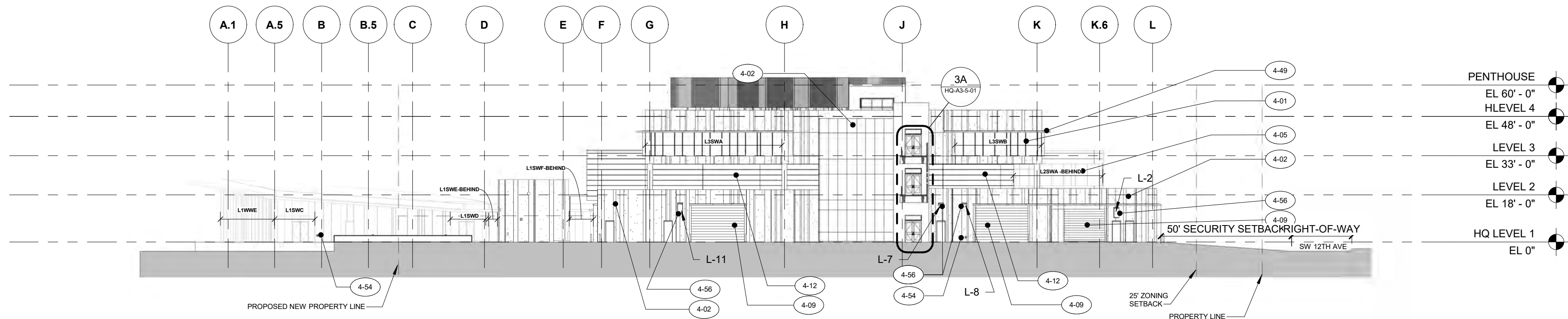
1 HQ BLDG - OVERALL BUILDING ELEVATION EAST

Scale: 1" = 30'-0"



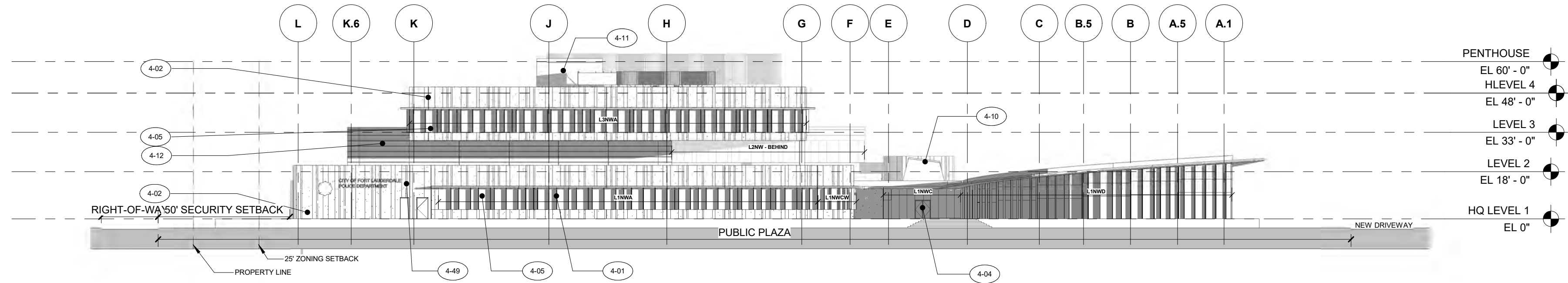
2 HQ BLDG - OVERALL BUILDING ELEVATION WEST

Scale: 1" = 30'-0"



3 HQ BLDG - OVERALL BUILDING ELEVATION SOUTH

Scale: 1" = 30'-0"



4 HQ BLDG - OVERALL BUILDING ELEVATION NORTH

Scale: 1" = 30'-0"

KEYNOTES

- 4-01 PREFINISHED ALUMINUM FINS ON CURTAIN WALL SYSTEM
- 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
- 4-04 ALUMINUM STOREFRONT DOOR WITH LAMINATED GLAZING
- 4-05 IMPACT RESISTANT HIGH SPEED OVERHEAD DOOR
- 4-07 IMPACT RESISTANT INSULATED OVERHEAD DOOR
- 4-10 ARCHITECTURAL PRECAST CONCRETE PANELS (APC-2) SUPPORTING SKYLIGHT ABOVE
- 4-11 PORTLAND CEMENT STUCCO FINISH SYSTEM (PT-15) ON CMU WALL
- 4-12 PORTLAND CEMENT STUCCO FINISH (PT-15) ON CMU WALL WITH HORIZONTAL REVEALS
- 4-49 PRECAST CONCRETE EYEBROW (APC-1)
- 4-52 12" X 12" OPENING IN PRECAST PANEL (TYP)
- 4-54 EMERGENCY OVERFLOW DRAIN OUTLET NOZZLE (COW'S TONGUE) AT MINIMUM 2'-3" ABOVE GRADE HEIGHT
- 4-56 LOUVER, SEE MECHANICAL

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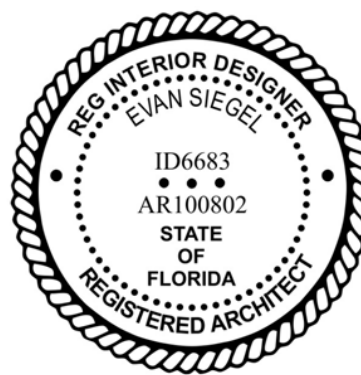
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KEY PLAN

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SHEET TITLE

HEADQUARTERS BLDG - BUILDING  
ELEVATIONS - OVERALL

SHEET NUMBER

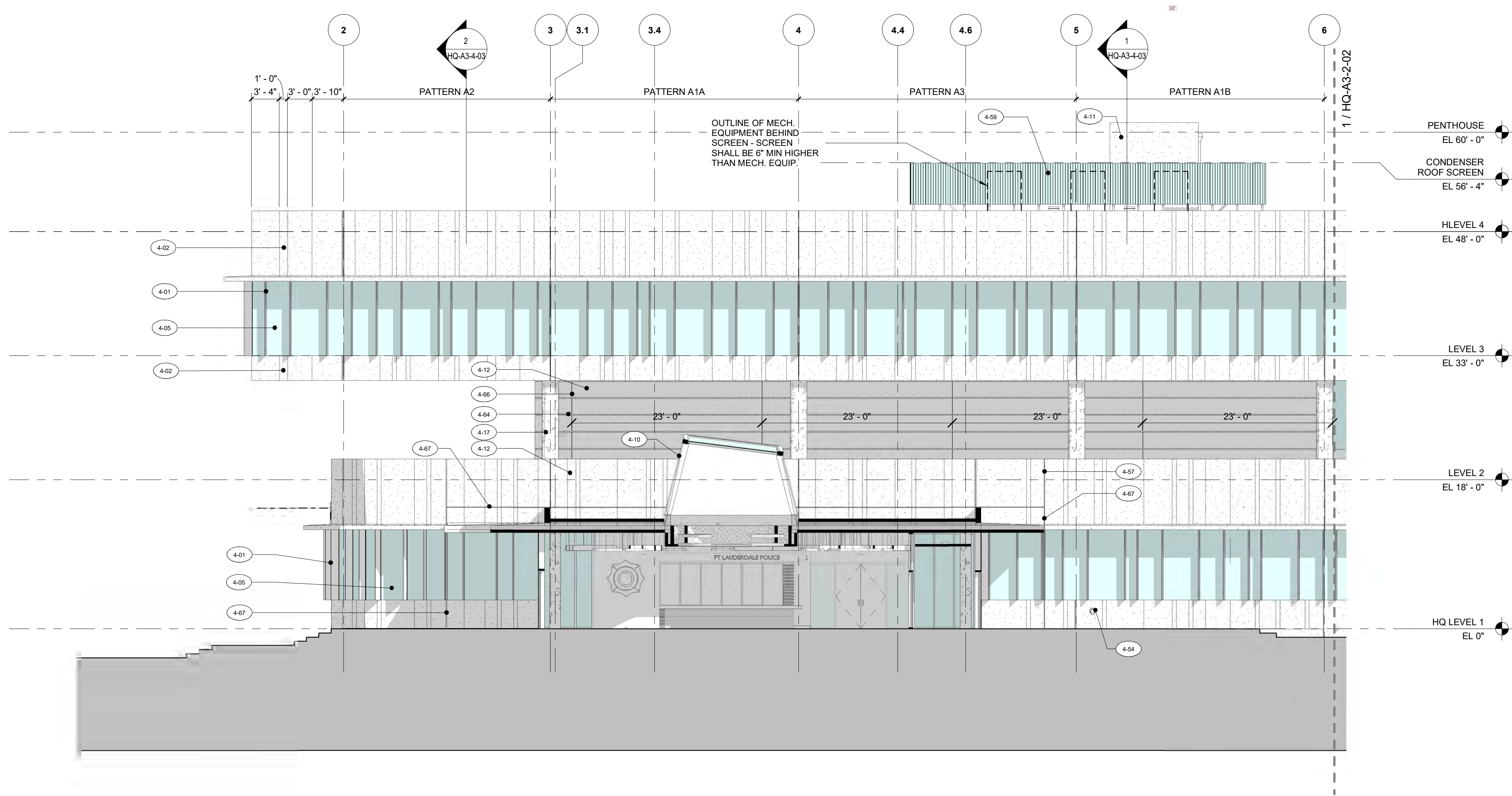
HQ-A3-2-00

SCALE: 1" = 30'-0" 0 30' 60' 90'

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1 ENLARGED BUILDING ELEVATION - WEST AREA A  
Scale: 1/8" = 1'-0"

- KEYNOTES**
- 4-01 PREFINISHED ALUMINUM FINS ON CURTAIN WALL SYSTEM
  - 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
  - 4-05 LAMINATED GLAZING ASSEMBLY ON ALUMINUM CURTAIN WALL SYSTEM
  - 4-10 ARCHITECTURAL PRECAST CONCRETE PANELS (APC-2) SUPPORTING SKYLIGHT ABOVE
  - 4-11 PORTLAND CEMENT STUCCO FINISH SYSTEM (PT-15) ON CMU WALL
  - 4-12 PORTLAND CEMENT STUCCO FINISH (PT-15) ON CMU WALL WITH HORIZONTAL REVEALS
  - 4-17 SKIM COAT PORTLAND CEMENT STUCCO (PT-14) OVER CONCRETE COLUMN
  - 4-54 EMERGENCY OVERFLOW DRAIN OUTLET NOZZLE (COW'S TONGUE) AT MINIMUM 2'-3" ABOVE GRADE HEIGHT
  - 4-57 ARCHITECTURAL PRECAST CONCRETE PANEL JOINT, TYP
  - 4-59 MECHANICAL EQUIPMENT ROOF SCREEN (DELEGATED DESIGN - SEE SPEC)
  - 4-64 1-1/2" HORIZONTAL STUCCO REVEAL, TYP
  - 4-66 3/8" CONTROL JOINT THRU STUCCO AND CMU WALL
  - 4-67 1" PRECOMPRESSED FOAM SEAL EXPANSION JOINT WITH COLOR CAP

SCALE: 1/8" = 1'-0"



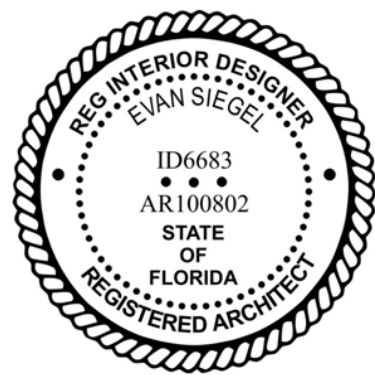
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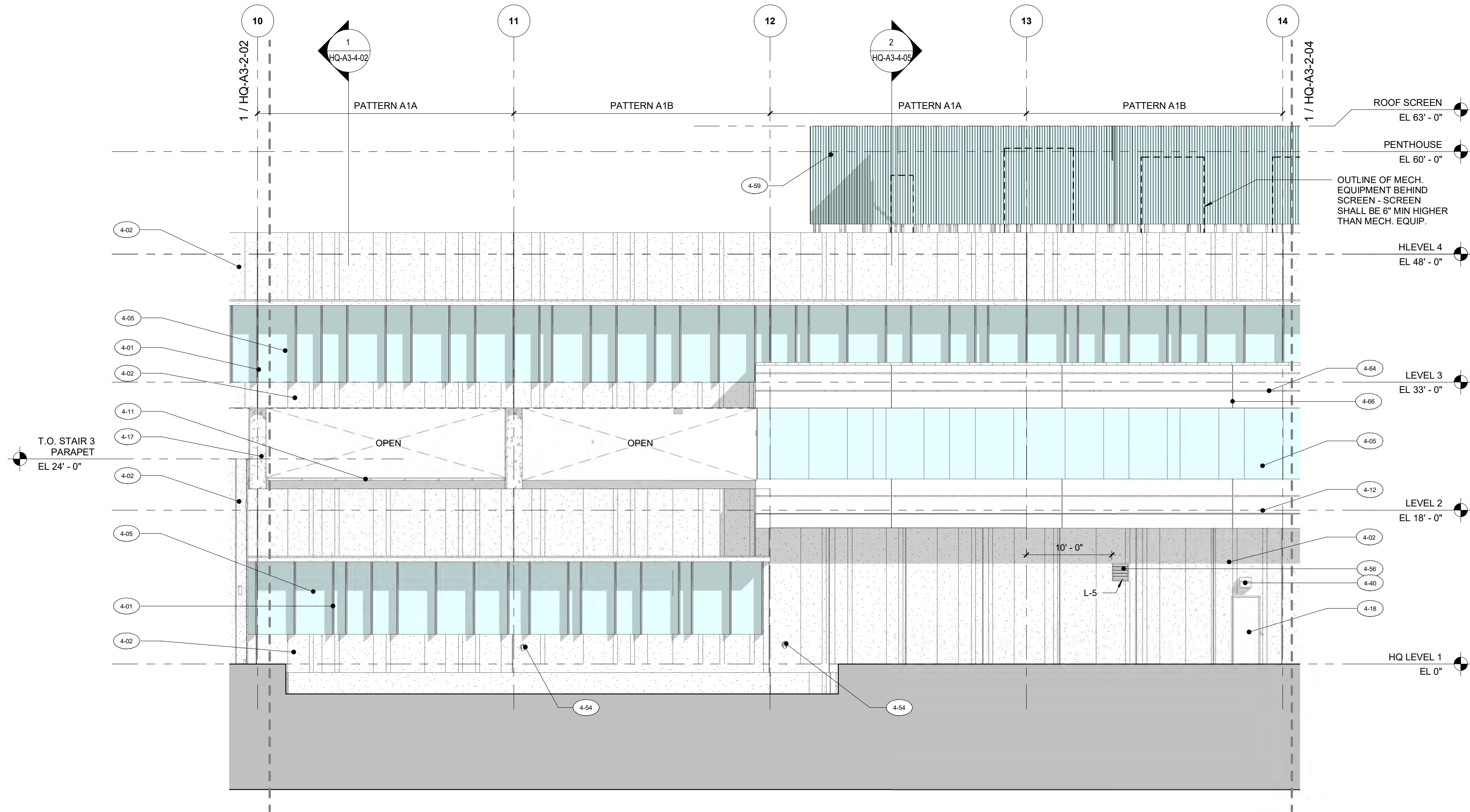
**SHEET TITLE**

HEADQUARTERS BLDG - BUILDING  
ELEVATION WEST - ENLARGED

**SHEET NUMBER**

HQ-A3-2-01





1 ENLARGED BUILDING ELEVATION - WEST AREA C  
Scale: 1/8" = 1'-0"

- KEYNOTES**
- 4-01 PREFINISHED ALUMINUM FINS ON CURTAIN WALL SYSTEM
  - 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
  - 4-05 LAMINATED GLAZING ASSEMBLY ON ALUMINUM CURTAIN WALL SYSTEM
  - 4-11 PORTLAND CEMENT STUCCO FINISH SYSTEM (PT-15) ON CMU WALL
  - 4-12 PORTLAND CEMENT STUCCO FINISH (PT-15) ON CMU WALL WITH HORIZONTAL REVEALS
  - 4-17 SKIM COAT PORTLAND CEMENT STUCCO (PT-14) OVER CONCRETE COLUMN
  - 4-18 IMPACT RESISTANT HOLLOW METAL DOOR (PTD)
  - 4-40 LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
  - 4-54 EMERGENCY OVERFLOW DRAIN OUTLET NOZZLE (COW'S TONGUE) AT MINIMUM 2'-3" ABOVE GRADE HEIGHT
  - 4-56 LOUVER, SEE MECHANICAL
  - 4-59 MECHANICAL EQUIPMENT ROOF SCREEN (DELEGATED DESIGN - SEE SPEC)
  - 4-64 1-1/2" HORIZONTAL STUCCO REVEAL, TYP
  - 4-66 3/8" CONTROL JOINT THRU STUCCO AND CMU WALL



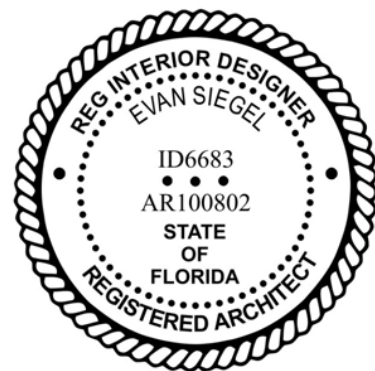
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**PROJECT NUMBER**

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**SHEET TITLE**

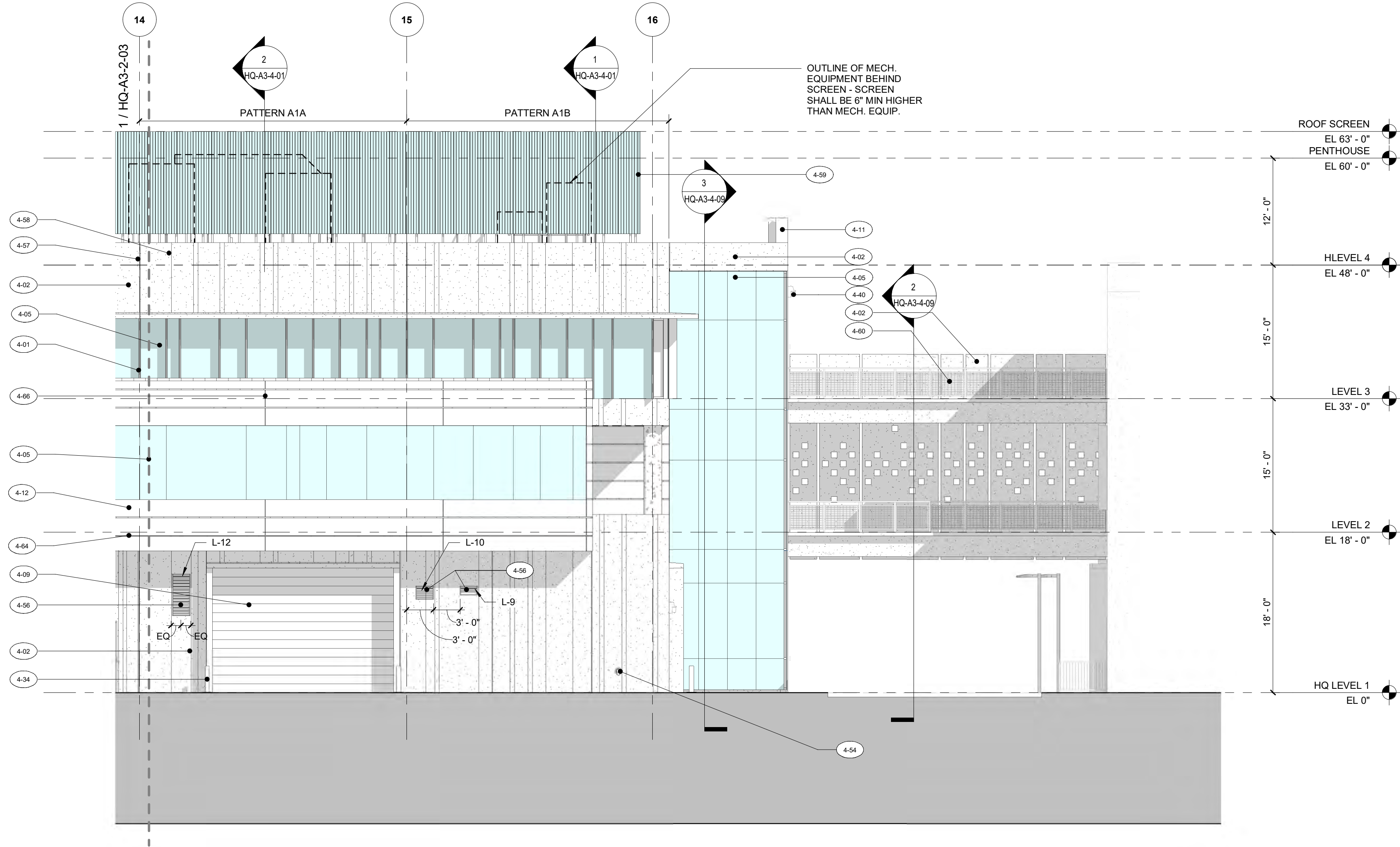
**HEADQUARTERS BLDG - BUILDING  
ELEVATION WEST - ENLARGED**

**SHEET NUMBER**

**HQ-A3-2-03**

SCALE: 1/8" = 1'-0" 0 2' 4' 8' 16' 24'





1 ENLARGED BUILDING ELEVATION - WEST AREA D  
Scale: 1/8" = 1'-0"

- KEYNOTES**
- 4-01 PREFINISHED ALUMINUM FINS ON CURTAIN WALL SYSTEM
  - 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
  - 4-05 LAMINATED GLAZING ASSEMBLY ON ALUMINUM CURTAIN WALL SYSTEM
  - 4-09 IMPACT RESISTANT INSULATED OVERHEAD DOOR
  - 4-11 PORTLAND CEMENT STUCCO FINISH SYSTEM (PT-15) ON CMU WALL
  - 4-12 PORTLAND CEMENT STUCCO FINISH (PT-15) ON CMU WALL WITH HORIZONTAL REVEALS
  - 4-34 BOLLARD
  - 4-40 LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
  - 4-54 EMERGENCY OVERFLOW DRAIN OUTLET NOZZLE (COW'S TONGUE) AT MINIMUM 2'-3" ABOVE GRADE HEIGHT
  - 4-56 LOUVER, SEE MECHANICAL
  - 4-57 ARCHITECTURAL PRECAST CONCRETE PANEL JOINT, TYP
  - 4-58 ARCHITECTURAL PRECAST CONCRETE PANEL REVEAL, TYP - ALIGN VERTICALLY ENTIRE HEIGHT OF BUILDING
  - 4-59 MECHANICAL EQUIPMENT ROOF SCREEN (DELEGATED DESIGN - SEE SPEC)
  - 4-60 HD GALV. STEEL GUARDRAIL W/METAL MESH INFILL PANEL
  - 4-64 1-1/2" HORIZONTAL STUCCO REVEAL, TYP
  - 4-66 3/8" CONTROL JOINT THRU STUCCO AND CMU WALL



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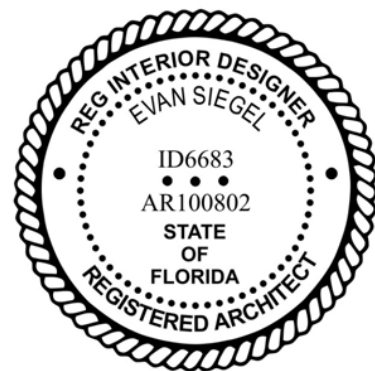


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**PROJECT NUMBER**

60639620

**SHEET TITLE**

HEADQUARTERS BLDG - BUILDING  
ELEVATION WEST - ENLARGED

**SHEET NUMBER**

HQ-A3-2-04

SCALE: 1/8" = 1'-0" 0 2' 4' 8' 16' 24'

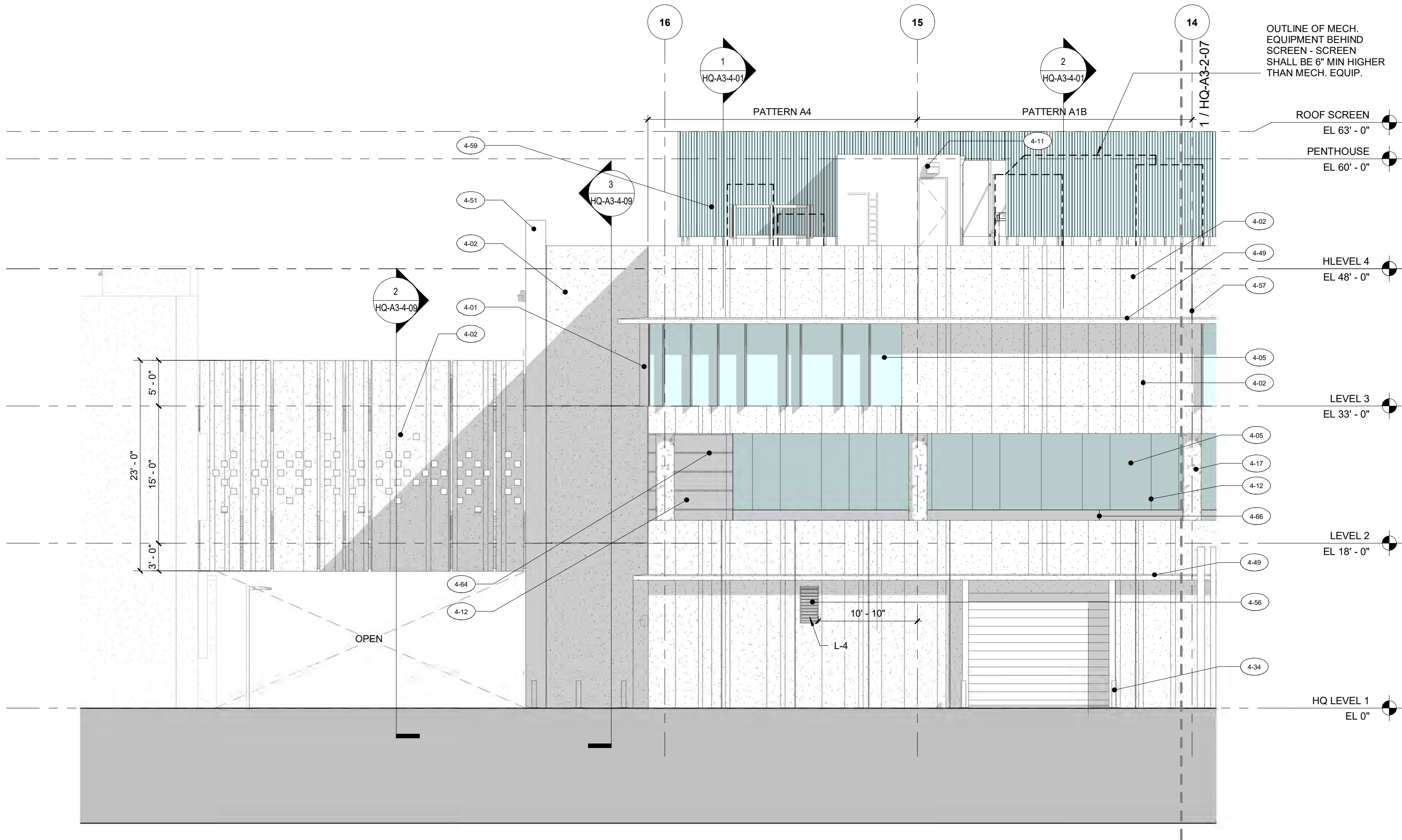
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1 ENLARGED BUILDING ELEVATION - EAST AREA D  
Scale: 1/8" = 1'-0"

- KEYNOTES**
- 4-01 PREFINISHED ALUMINUM FINS ON CURTAIN WALL SYSTEM
  - 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
  - 4-05 LAMINATED GLAZING ASSEMBLY ON ALUMINUM CURTAIN WALL SYSTEM
  - 4-11 PORTLAND CEMENT STUCCO FINISH SYSTEM (PT-15) ON CMU WALL
  - 4-12 PORTLAND CEMENT STUCCO FINISH (PT-15) ON CMU WALL WITH HORIZONTAL REVEALS
  - 4-17 SKIM COAT PORTLAND CEMENT STUCCO (PT-14) OVER CONCRETE COLUMN
  - 4-34 BOLLARD
  - 4-49 PRECAST CONCRETE EYEBROW (APC-1)
  - 4-51 ARCHITECTURAL FINISHED CAST-IN-PLACE CONCRETE (PT-14)
  - 4-56 LOUVER, SEE MECHANICAL
  - 4-57 ARCHITECTURAL PRECAST CONCRETE PANEL JOINT, TYP
  - 4-58 ARCHITECTURAL PRECAST CONCRETE PANEL REVEAL, TYP - ALIGN VERTICALLY ENTIRE HEIGHT OF BUILDING
  - 4-59 MECHANICAL EQUIPMENT ROOF SCREEN (DELEGATED DESIGN - SEE SPEC)
  - 4-64 1-1/2" HORIZONTAL STUCCO REVEAL, TYP
  - 4-66 3/8" CONTROL JOINT THRU STUCCO AND CMU WALL
  - 4-68 HOSE BIB, SEE PLUMBING



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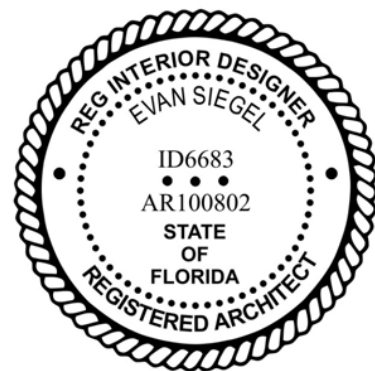


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**SHEET TITLE**

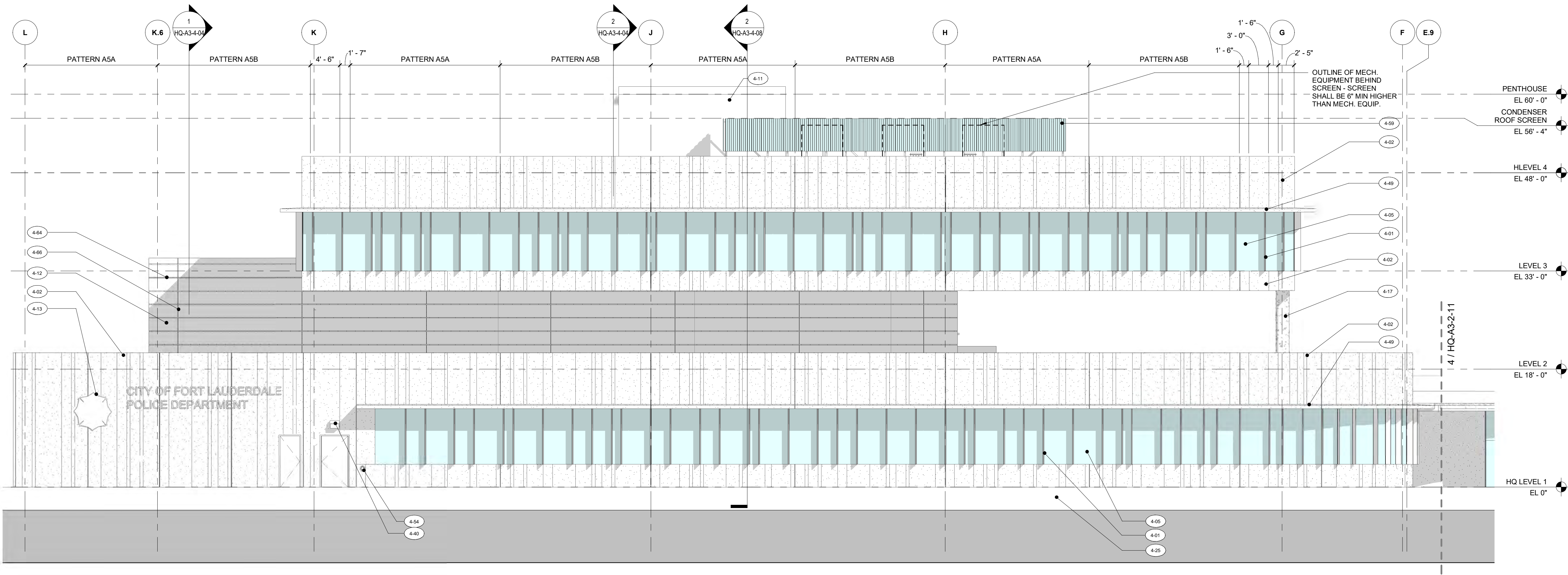
**HEADQUARTERS BLDG - BUILDING  
ELEVATION EAST - ENLARGED**

**SHEET NUMBER**

**HQ-A3-2-08**

SCALE: 1/8" = 1'-0" 0 2' 4' 8' 16' 24'





1 ENLARGED BUILDING ELEVATION - NORTH AREA A  
Scale: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0" 0 2' 4' 8' 16' 24'

- KEYNOTES**
- 4-01 PREFINISHED ALUMINUM FINS ON CURTAIN WALL SYSTEM
  - 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
  - 4-05 LAMINATED GLAZING ASSEMBLY ON ALUMINUM CURTAIN WALL SYSTEM
  - 4-11 PORTLAND CEMENT STUCCO FINISH SYSTEM (PT-15) ON CMU WALL
  - 4-12 PORTLAND CEMENT STUCCO FINISH (PT-15) ON CMU WALL WITH HORIZONTAL REVEALS
  - 4-13 SIGNAGE (NIC)
  - 4-17 SKIM COAT PORTLAND CEMENT STUCCO (PT-14) OVER CONCRETE COLUMN
  - 4-25 CONCRETE LANDSCAPE WALL, SEE LANDSCAPE DRAWINGS
  - 4-40 LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
  - 4-49 PRECAST CONCRETE EYEBROW (APC-1)
  - 4-54 EMERGENCY OVERFLOW DRAIN OUTLET NOZZLE (COW'S TONGUE) AT MINIMUM 2'-3" ABOVE GRADE HEIGHT
  - 4-59 MECHANICAL EQUIPMENT ROOF SCREEN (DELEGATED DESIGN - SEE SPEC)
  - 4-64 1-1/2" HORIZONTAL STUCCO REVEAL, TYP
  - 4-66 3/8" CONTROL JOINT THRU STUCCO AND CMU WALL

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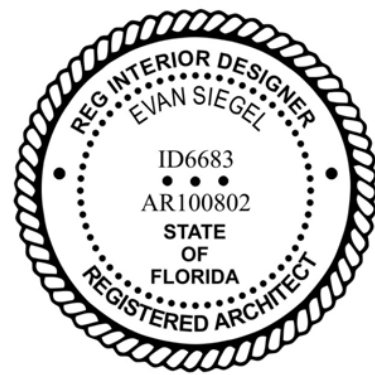


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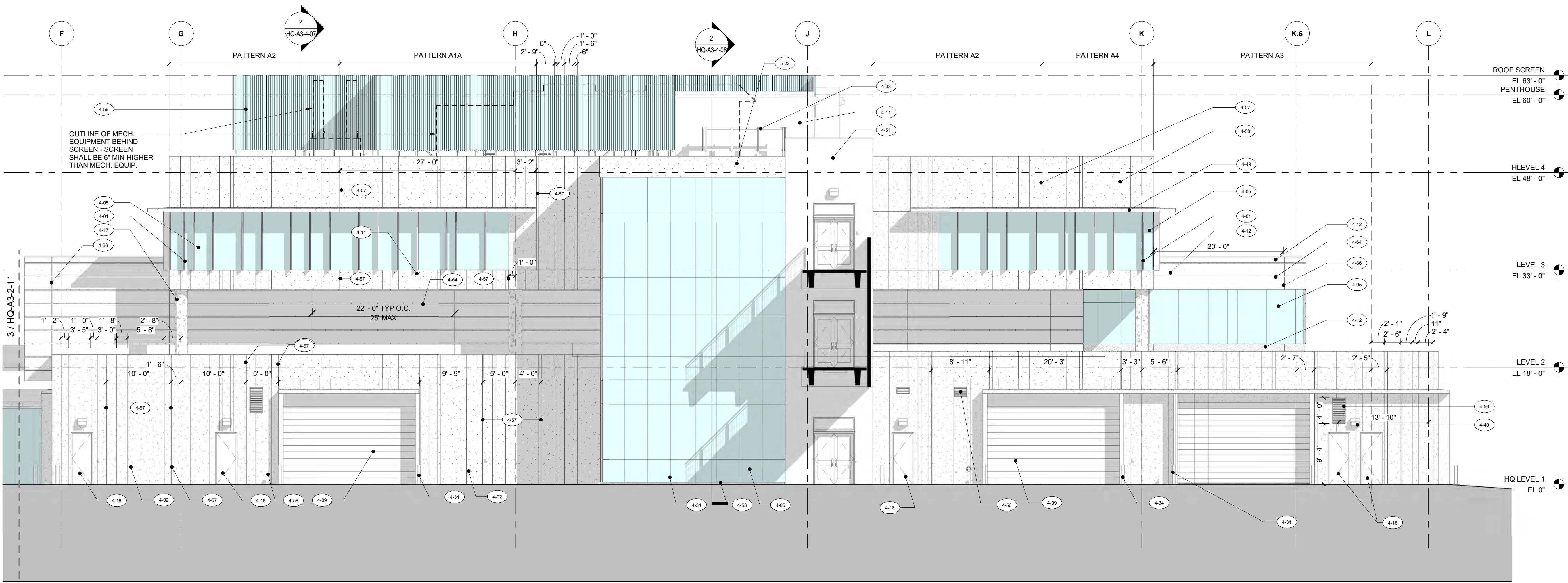
**SHEET TITLE**

**HEADQUARTERS BLDG - BUILDING**  
**ELEVATION NORTH - ENLARGED**

**SHEET NUMBER**

**HQ-A3-2-09**





1 ENLARGED BUILDING ELEVATION - SOUTH AREA D  
Scale: 1/8" = 1'-0"

- KEYNOTES**
- 4-01 PREFINISHED ALUMINUM FINIS ON CURTAIN WALL SYSTEM
  - 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
  - 4-05 LAMINATED GLAZING ASSEMBLY ON ALUMINUM CURTAIN WALL SYSTEM
  - 4-09 IMPACT RESISTANT INSULATED OVERHEAD DOOR
  - 4-11 PORTLAND CEMENT STUCCO FINISH SYSTEM (PT-15) ON CMU WALL
  - 4-12 PORTLAND CEMENT STUCCO FINISH (PT-15) ON CMU WALL WITH HORIZONTAL REVEALS
  - 4-17 SKIN COAT PORTLAND CEMENT STUCCO (PT-14) OVER CONCRETE COLUMN
  - 4-18 IMPACT RESISTANT HOLLOW METAL DOOR (PTD)
  - 4-33 ANTENNA SUPPORT RACK
  - 4-34 BOLLARD
  - 4-40 LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
  - 4-49 PRECAST CONCRETE EYEBROW (APC-1)
  - 4-51 ARCHITECTURAL FINISHED CAST-IN-PLACE CONCRETE (PT-14)
  - 4-53 CAST IN PLACE CONCRETE CURB
  - 4-54 EMERGENCY OVERFLOW DRAIN OUTLET NOZZLE (GOW'S TONGUE) AT MINIMUM 2'-3" ABOVE GRADE HEIGHT
  - 4-56 LOUVER, SEE MECHANICAL
  - 4-57 ARCHITECTURAL PRECAST CONCRETE PANEL JOINT, TYP
  - 4-58 ARCHITECTURAL PRECAST CONCRETE PANEL REVEAL, TYP - ALIGN VERTICALLY ENTIRE HEIGHT OF BUILDING
  - 4-59 MECHANICAL EQUIPMENT ROOF SCREEN (DELEGATED DESIGN - SEE SPEC)
  - 4-64 1-1/2" HORIZONTAL STUCCO REVEAL, TYP
  - 4-66 3/8" CONTROL JOINT THRU STUCCO AND CMU WALL
  - 5-23 8" PRECAST CONCRETE PANEL



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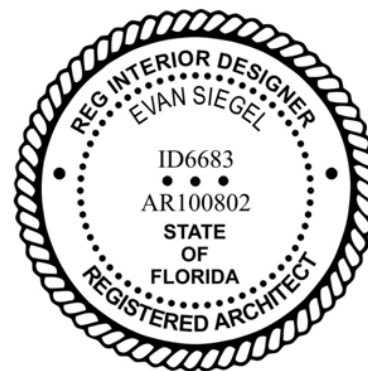


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2	NOV 24, 2021	75% CONSTRUCTION DOCS
1	JUNE 21, 2021	DESIGN DEVELOPMENT

IR	DATE	DESCRIPTION
----	------	-------------

**KEY PLAN**

**PROJECT NUMBER**

60639620

**SHEET TITLE**

HEADQUARTERS BLDG - BUILDING  
ELEVATION SOUTH - ENLARGED

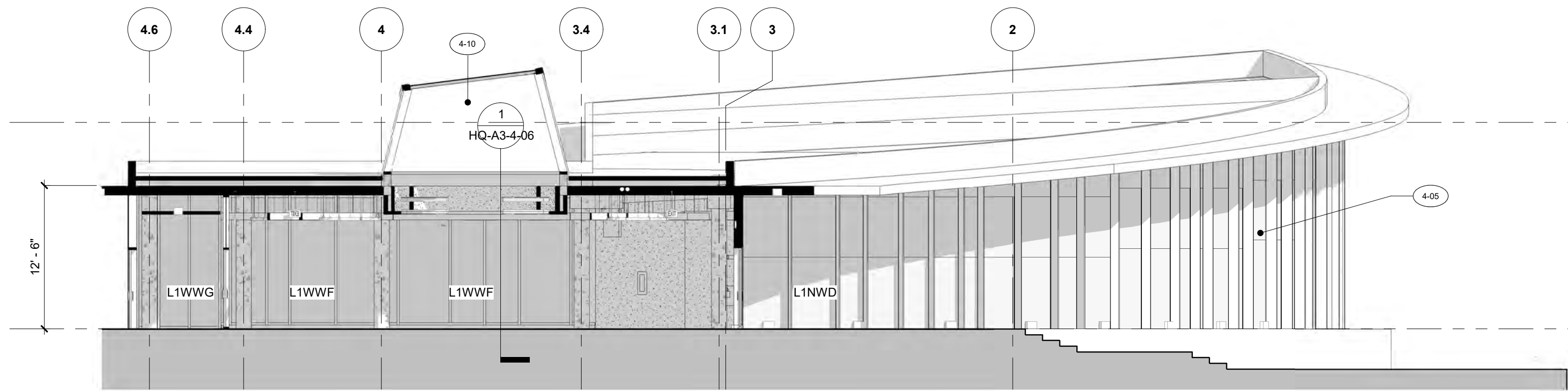
**SHEET NUMBER**

HQ-A3-2-10

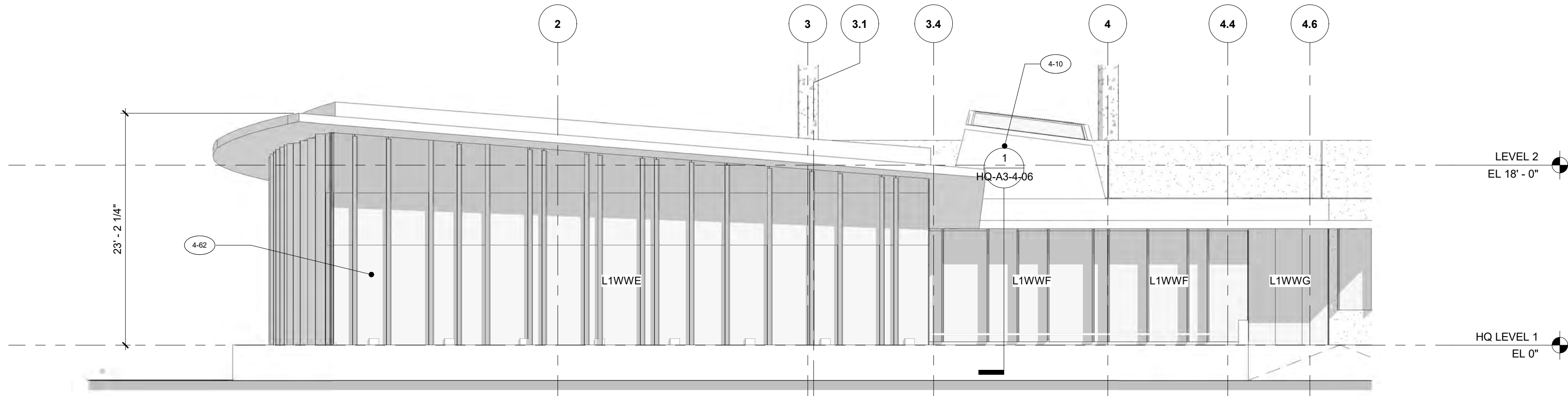
SCALE: 1/8" = 1'-0" 0 2' 4' 8' 16' 24'

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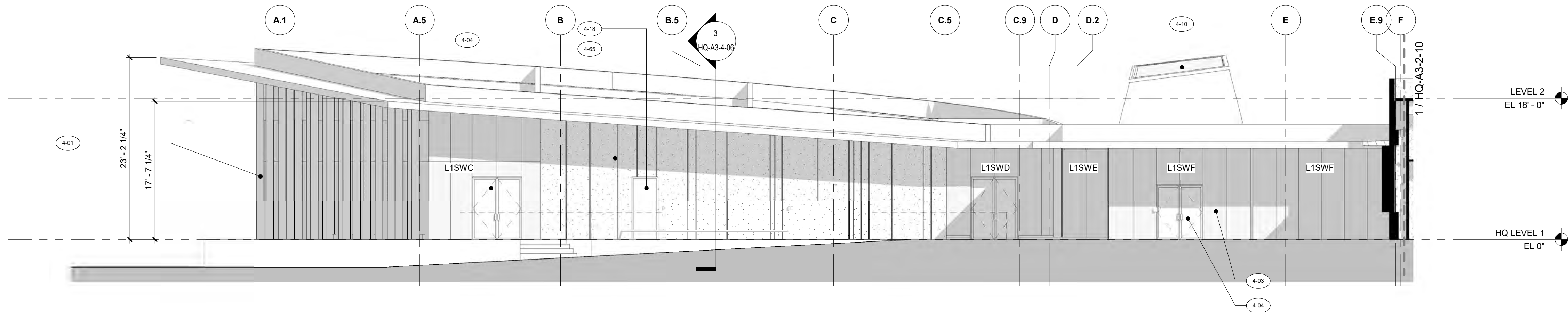




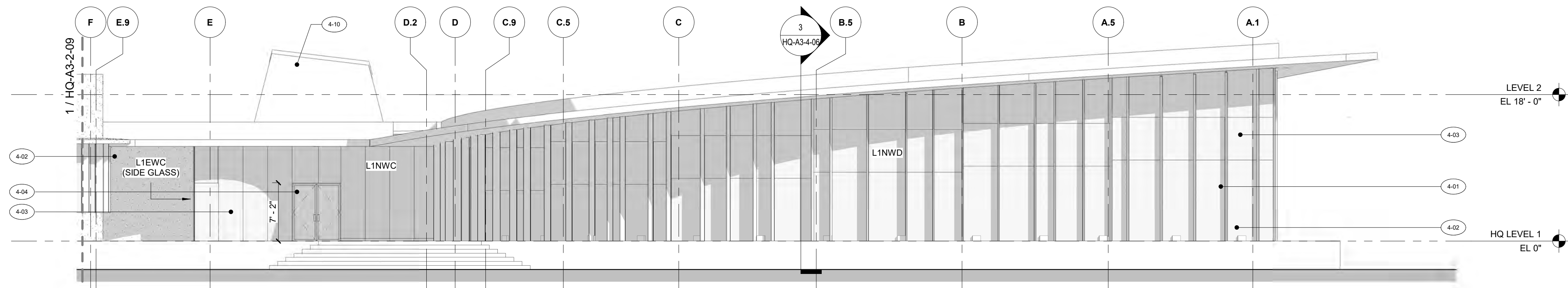
1 ENLARGED BUILDING ELEVATION - COMMUNITY CENTER - EAST  
Scale: 1/8" = 1'-0"



2 ENLARGED BUILDING ELEVATION - COMMUNITY CENTER - WEST  
Scale: 1/8" = 1'-0"



3 ENLARGED BUILDING ELEVATION - COMMUNITY CENTER - SOUTH  
Scale: 1/8" = 1'-0"



4 ENLARGED BUILDING ELEVATION - COMMUNITY CENTER - NORTH  
Scale: 1/8" = 1'-0"

- KEYNOTES**
- 4-01 PREFINISHED ALUMINUM FINS ON CURTAIN WALL SYSTEM
  - 4-02 ARCHITECTURAL PRECAST CONCRETE PANEL (APC-1)
  - 4-03 LAMINATED GLAZING ON ALUMINUM STOREFRONT SYSTEM
  - 4-04 ALUMINUM STOREFRONT DOOR WITH LAMINATED GLAZING
  - 4-05 LAMINATED GLAZING ASSEMBLY ON ALUMINUM CURTAIN WALL SYSTEM
  - 4-10 ARCHITECTURAL PRECAST CONCRETE PANELS (APC-2) SUPPORTING SKYLIGHT ABOVE
  - 4-18 IMPACT RESISTANT HOLLOW METAL DOOR (PTD)
  - 4-62 LAMINATED GLAZING WITH TRANSLUCENT CERAMIC COATING ON ALUMINUM CURTAIN WALL SYSTEM
  - 4-65 ARCHITECTURAL PRECAST CONCRETE ACCENT PANEL (APC-2)

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**PROJECT**  
**FORT LAUDERDALE**  
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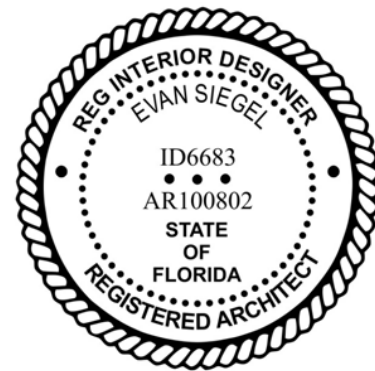


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**KEY PLAN**

**PROJECT NUMBER**

60639620

**SHEET TITLE**

HEADQUARTERS BLDG - BUILDING  
ELEVATIONS - COMMUNITY CENTER

**SHEET NUMBER**

HQ-A3-2-11

SCALE: 1/8" = 1'-0" 0 2' 4' 8' 16' 24'

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PROJECT  
**FORT LAUDERDALE  
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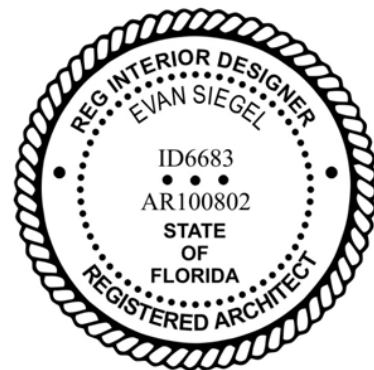


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PROJECT NUMBER

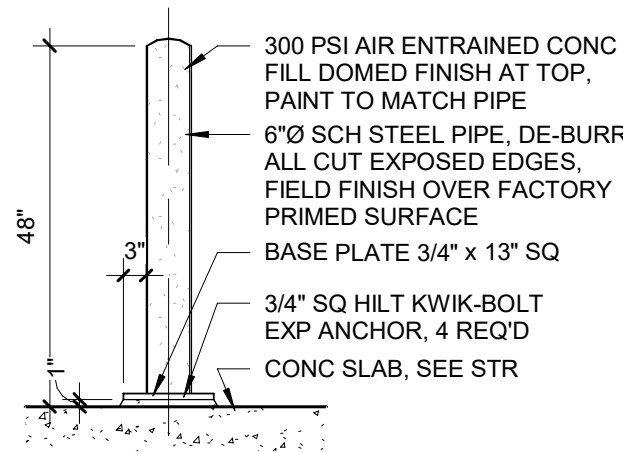
60639620

SHEET TITLE

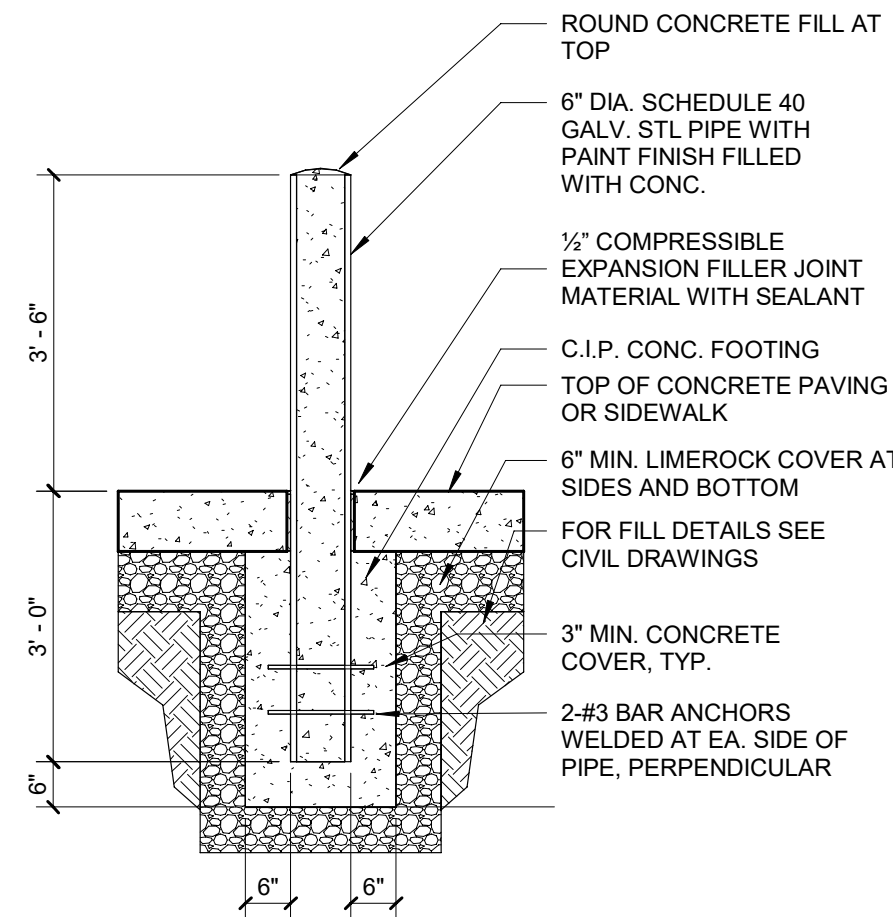
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MISCELLANEOUS

SHEET NUMBER

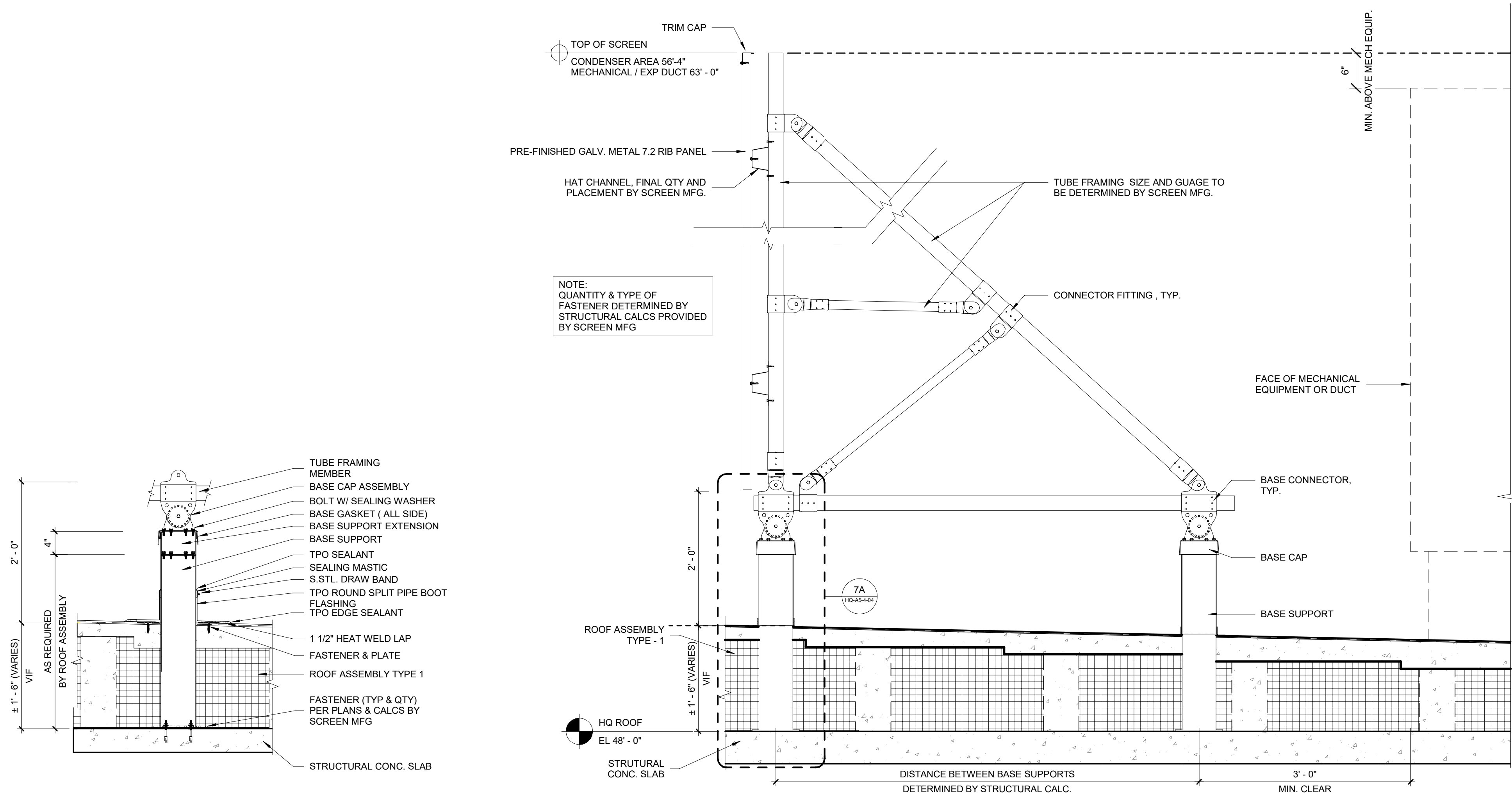
HQ-A5-4-04



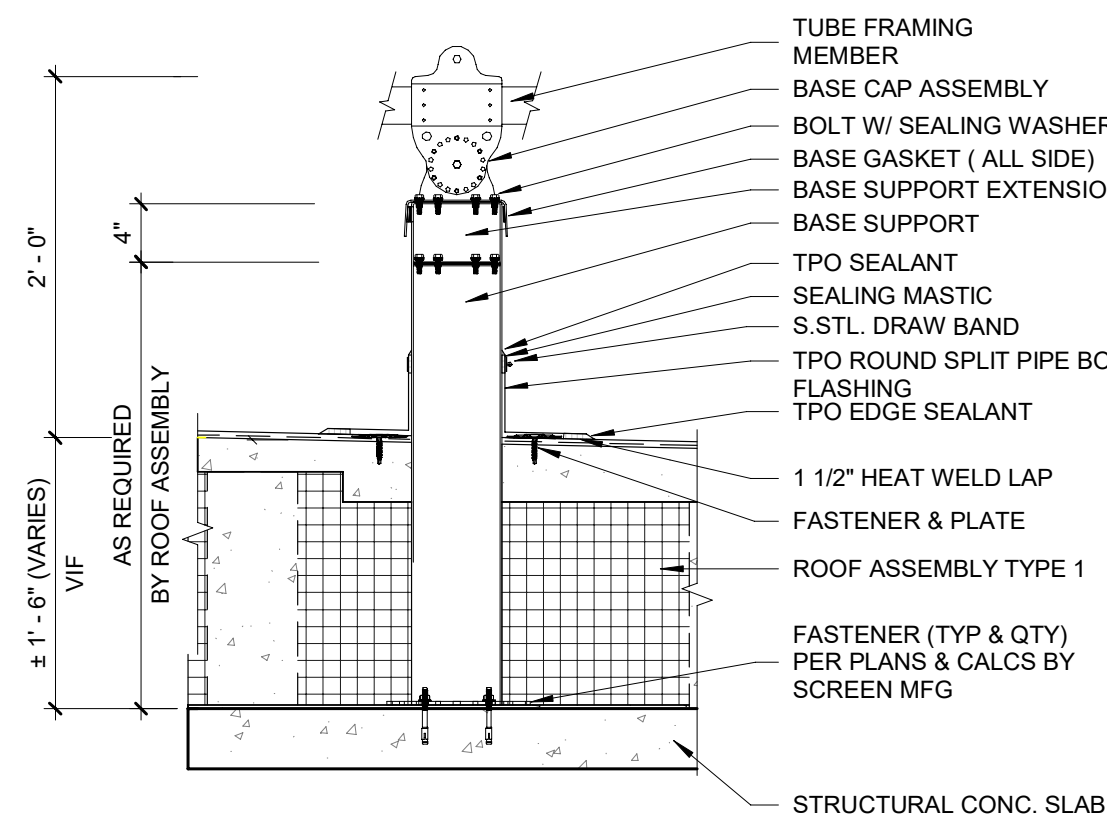
4E | **BOLLARD - INTERIOR**  
Scale: 1/2" = 1'-0"



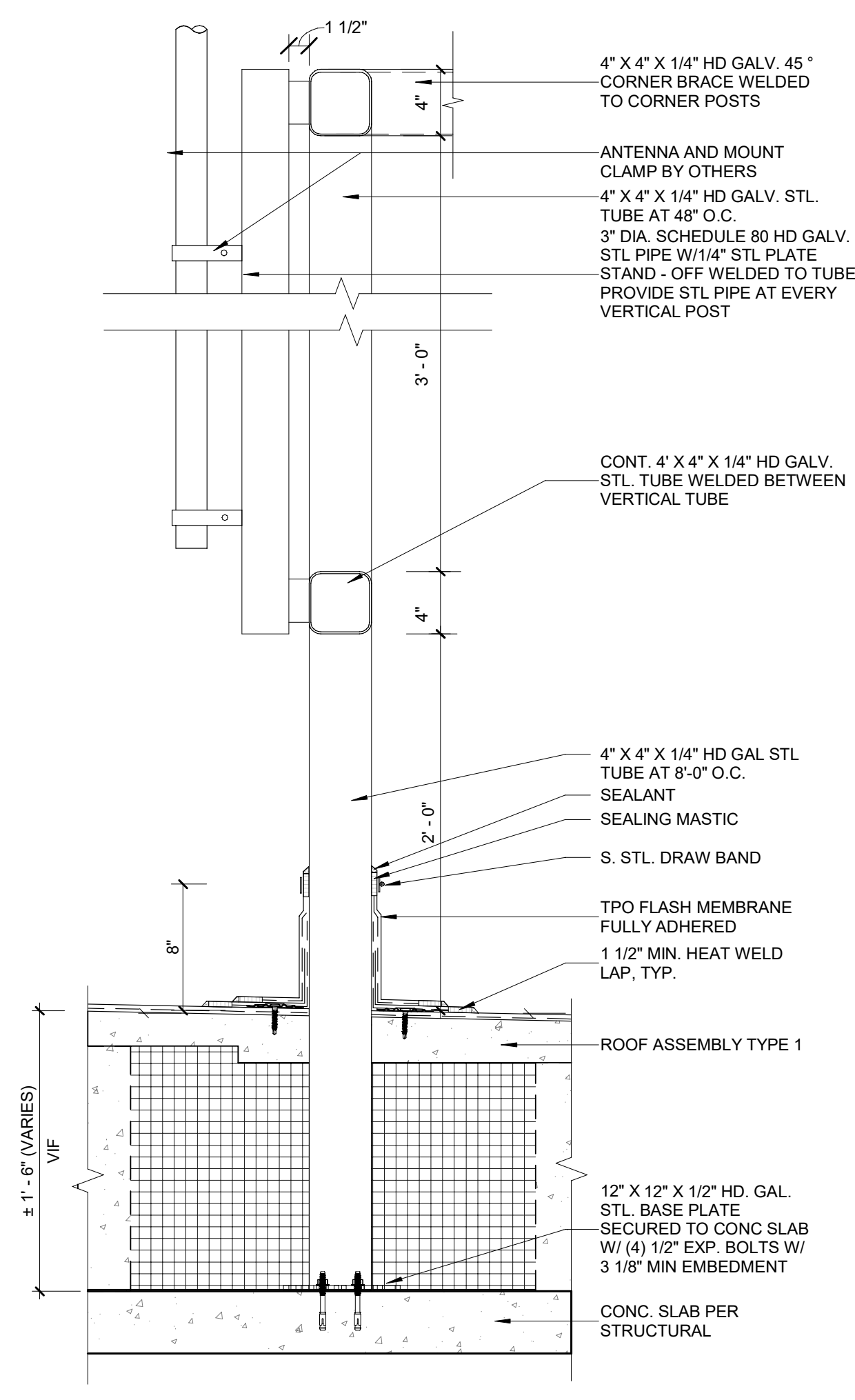
1E | **STEEL BOLLARD**  
Scale: 1/2" = 1'-0"



5A | **ROOF SCREEN SECTION DETAIL**  
Scale: 1" = 1'-0"



7A | **ROOF SCREEN SUPPORT**  
Scale: 1" = 1'-0"



1A | **ANTENNA MOUNT**  
Scale: 1 1/2" = 1'-0"

SCALE: 1/2" = 1'-0"

SCALE: 1" = 10'-0"

SCALE: 1 1/2" = 1'-0"

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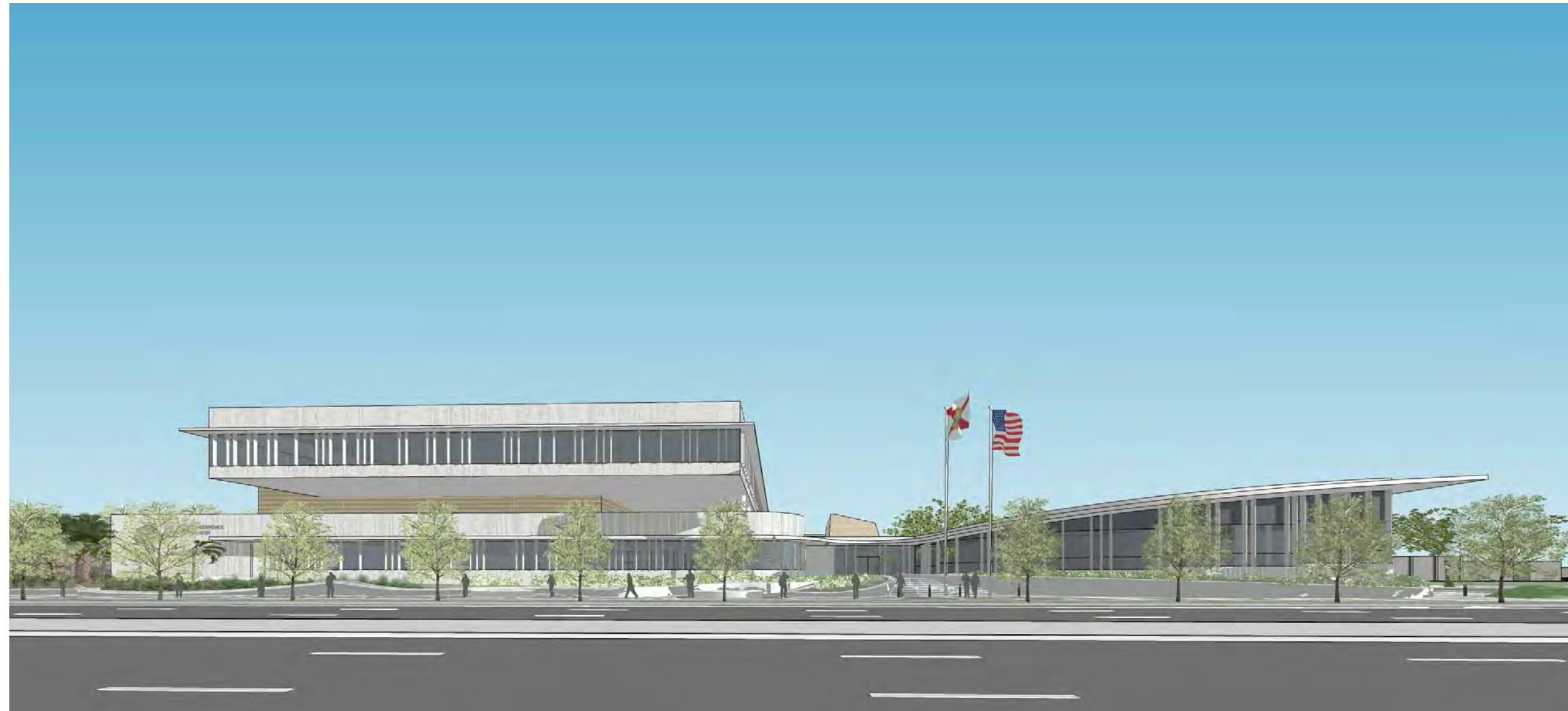
Scale: NTS



Scale: NTS



Scale: NTS



Scale: NTS



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HQ-A8-1-01

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1 3D VIEW-OFFICER BRIDGE ENTRANCE (FOR INFORMATION ONLY)  
Scale: NTS



2 3D VIEW-SOUTHEAST CORNER (FOR INFORMATION ONLY)  
Scale: NTS



3 3D VIEW-LOADING DOCK/TRASH AREA (FOR INFORMATION ONLY)  
Scale: NTS

AECOM

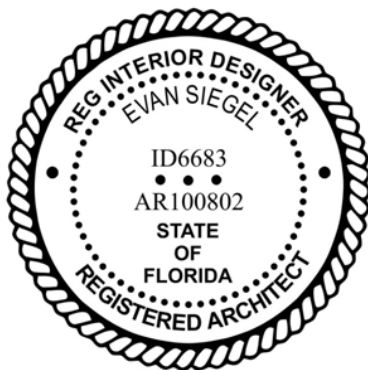
PROJECT  
FORT LAUDERDALE  
POLICE HEADQUARTERS  
1300 W BROWARD BLVD, FT LAUDERDALE, FL 33312



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PROJECT NUMBER

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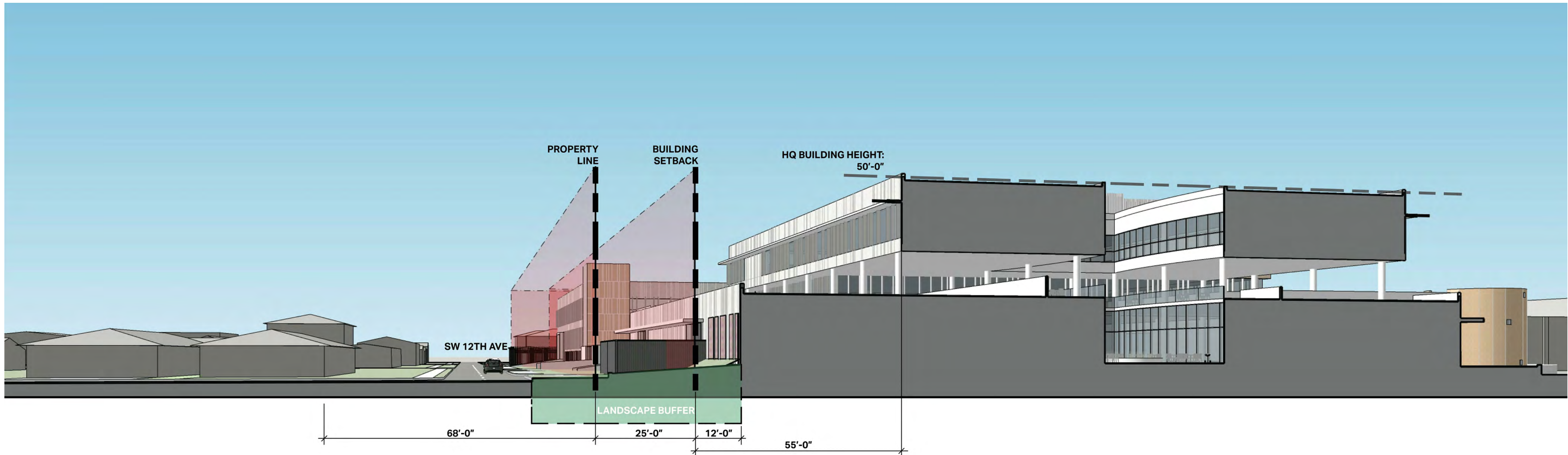
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HEADQUARTERS BLDG -  
RENDERINGS (FOR INFORMATION  
ONLY)

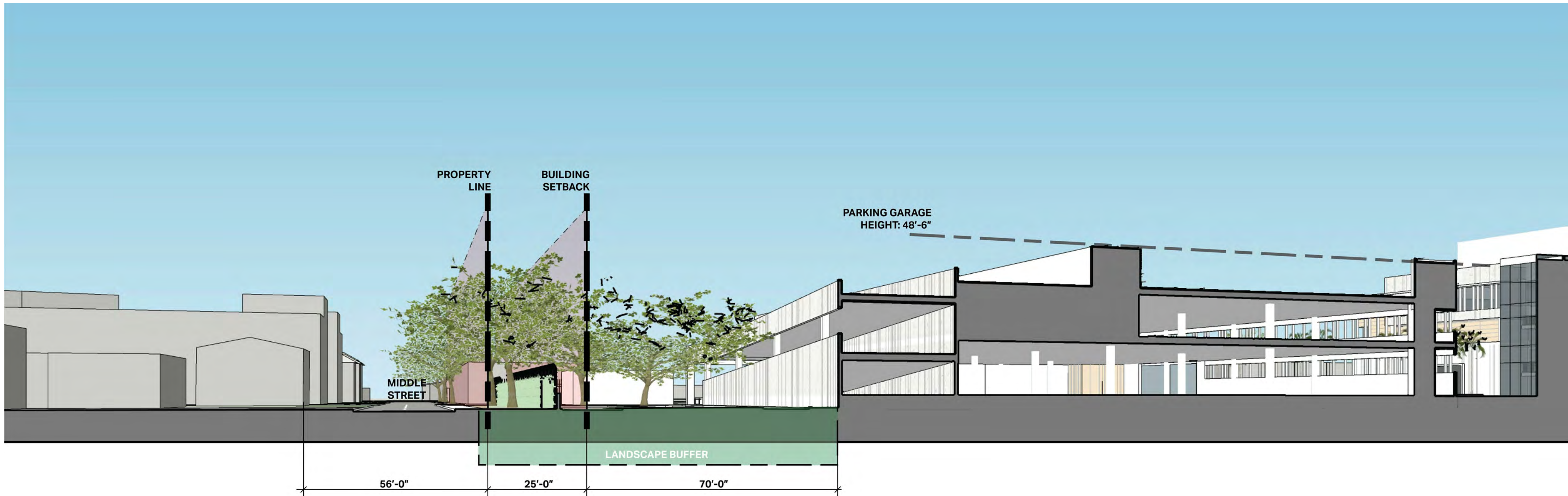
SHEET NUMBER

HQ-A8-1-02





1 | 3D VIEW-PERSPECTIVE SECTION 1  
Scale: N.T.S.



2 | 3D VIEW-PERSPECTIVE SECTION 2  
Scale: N.T.S.

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FORT LAUDERDALE  
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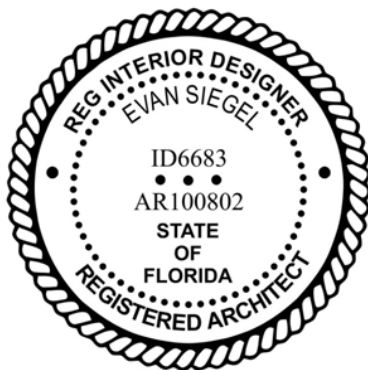


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KEY PLAN

PROJECT NUMBER

60639620

SHEET TITLE

HEADQUARTERS BLDG -  
PERSPECTIVE SECTION DIAGRAMS  
(FOR INFORMATION ONLY)

SHEET NUMBER

HQ-A8-1-03



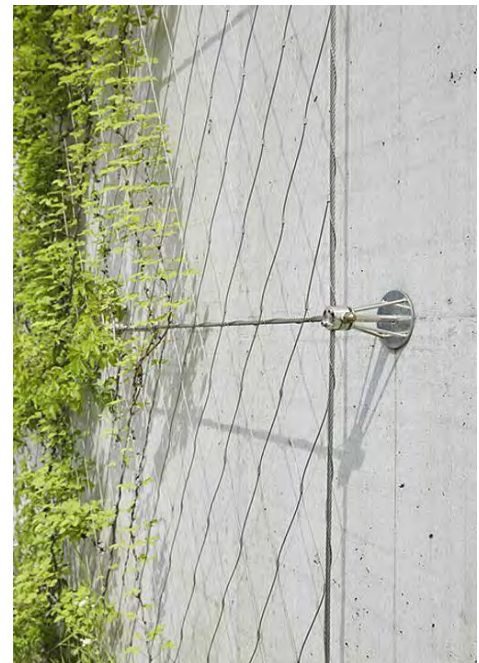


STAINLESS STEEL GREEN WALL SYSTEM WITH BOUGAINVILLEA, 20 FT HIGH TYP.

STAINLESS STEEL GREEN WALL SYSTEM WITH BOUGAINVILLEA, 8 FT HIGH TYP.

STAINLESS STEEL GREEN WALL SYSTEM WITH BOUGAINVILLEA, 12 FT HIGH TYP.

1 | **GREEN SCREENS CONCEPT**  
Scale: NTS



2 | **GREEN SCREENS HARDWARE**  
Scale: NTS

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**FORT LAUDERDALE  
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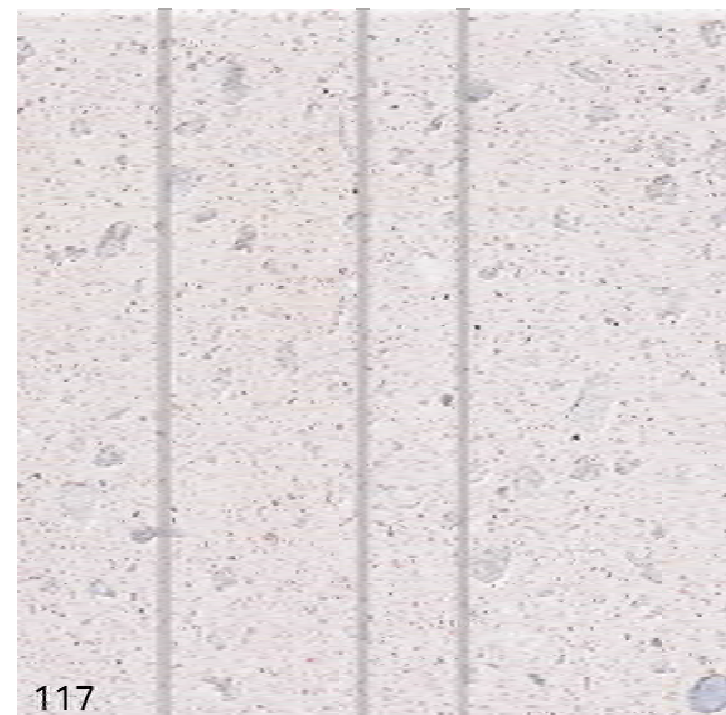
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SHEET TITLE  
**GREEN SCREENS CONCEPT**

SHEET NUMBER  
**HQ-A8-1-04**

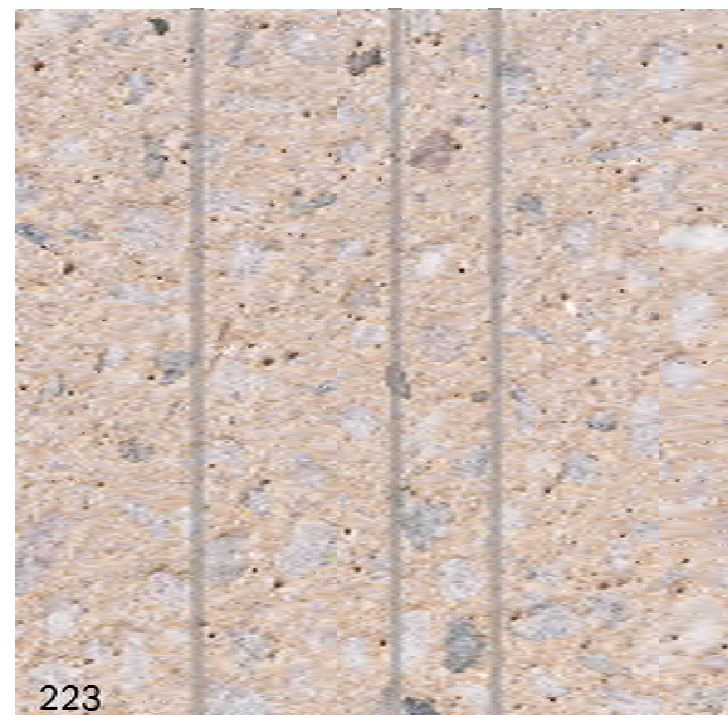


Project Management Initials: Designer: Designer Checked: Checker Approved: Approver ARCH D 24" x 36" Last Printed: 3/21/2022 5:13:54 PM Filename: BM 3607BP-AMBER (USA) 60639620-FLPHQ\_ARCH\_0001.rvt

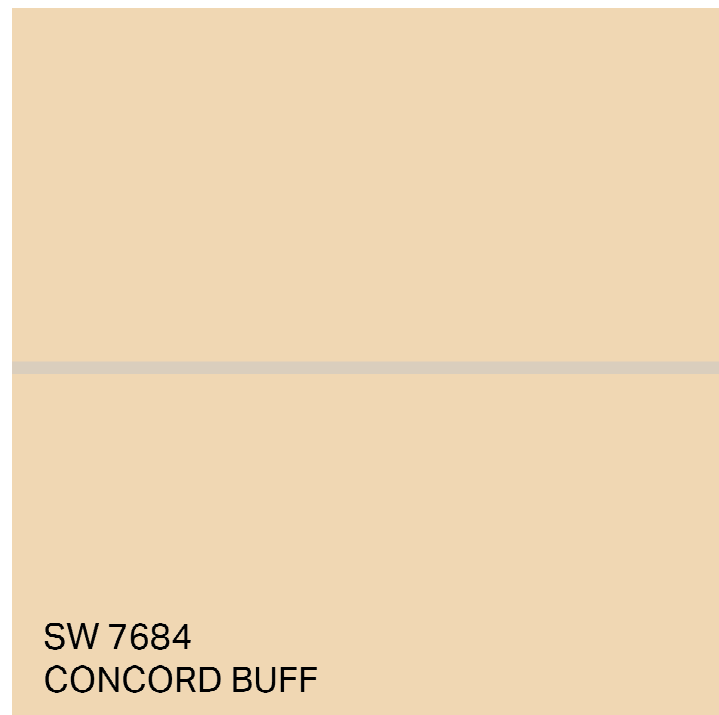
PRECAST CONCRETE BASE WALLS



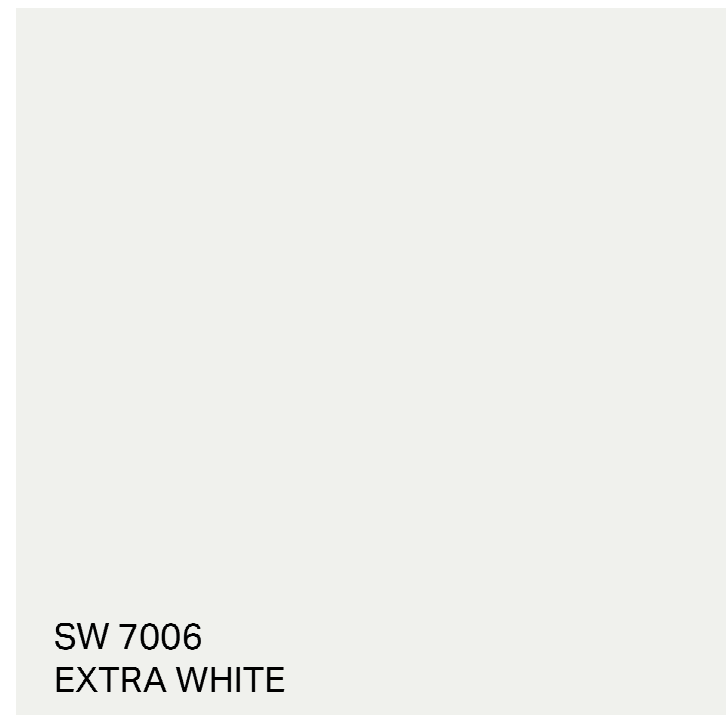
PRECAST CONCRETE ACCENT WALLS



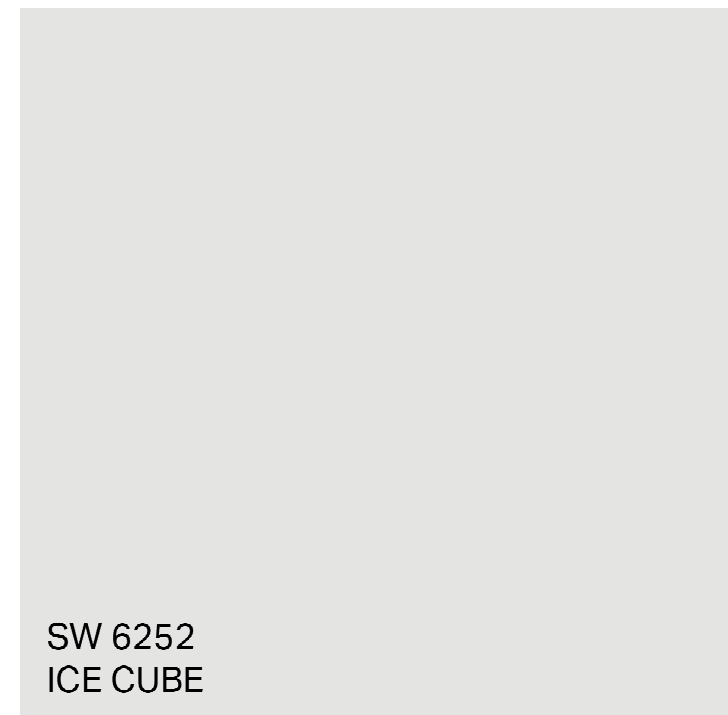
STUCCO WALLS



EXTERIOR SOFFITS



CURTAIN WALL FINS



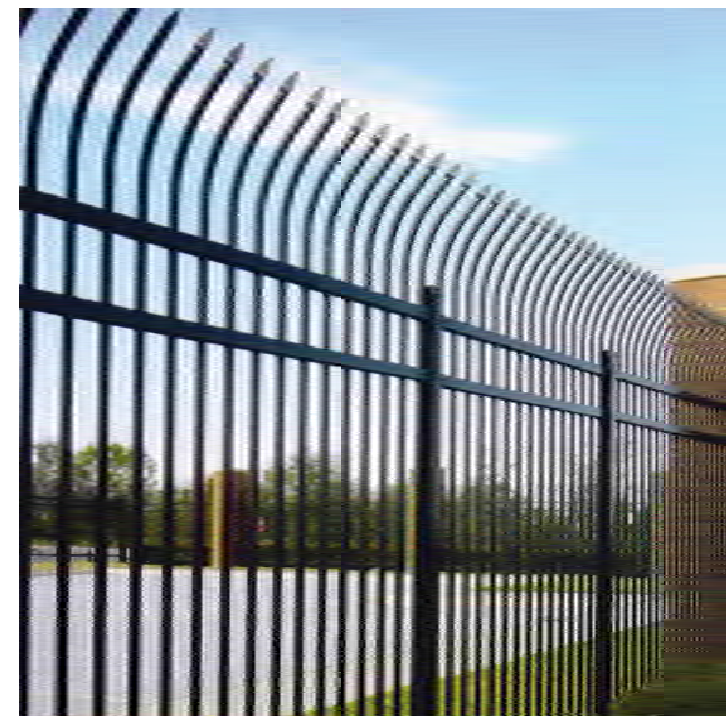
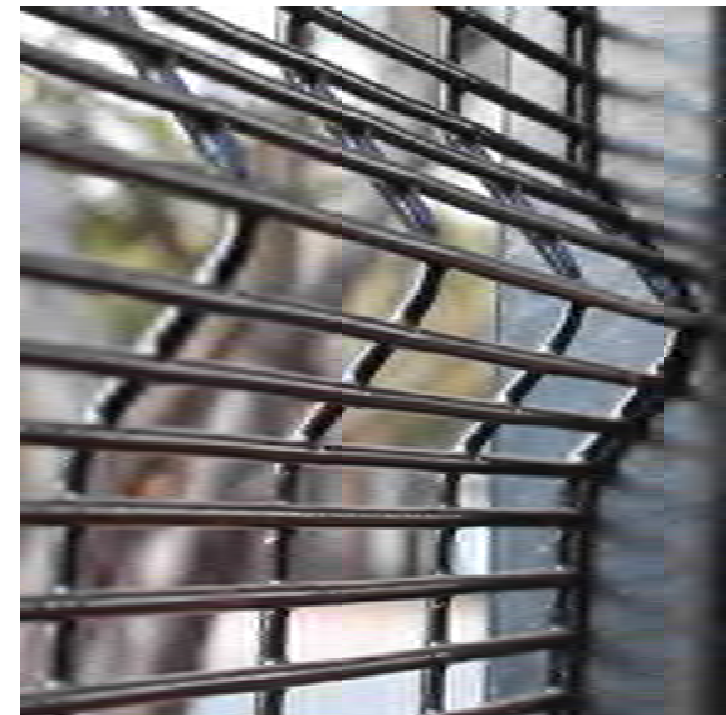
EXTERIOR ELEMENTS (BOLLARDS, HANDRAILS, ETC)



BUILDING RENDERINGS



SECURITY FENCING



EXTERIOR CURTAIN WALL GLAZING

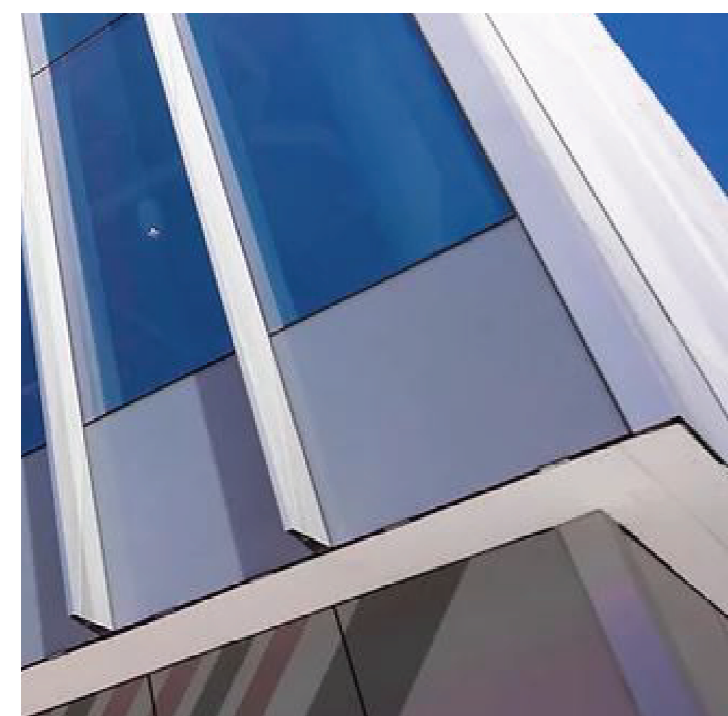
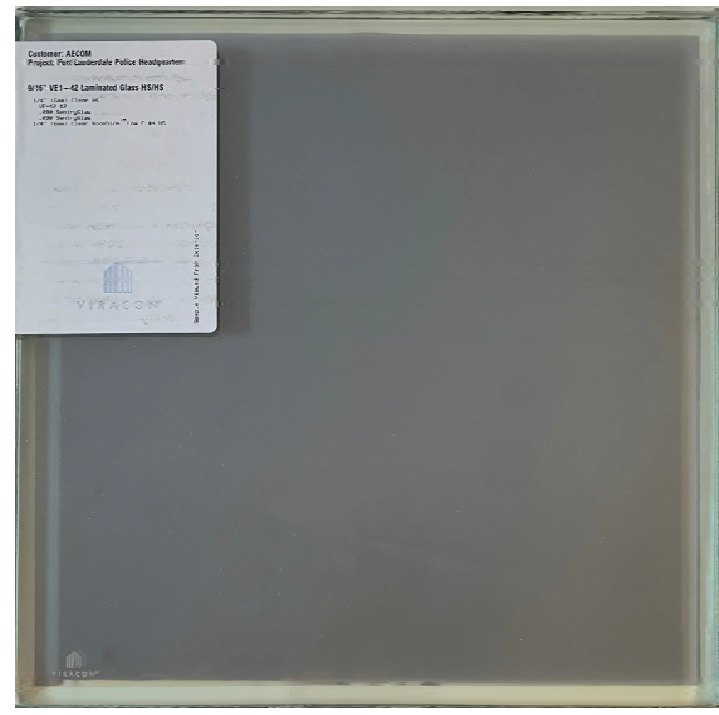
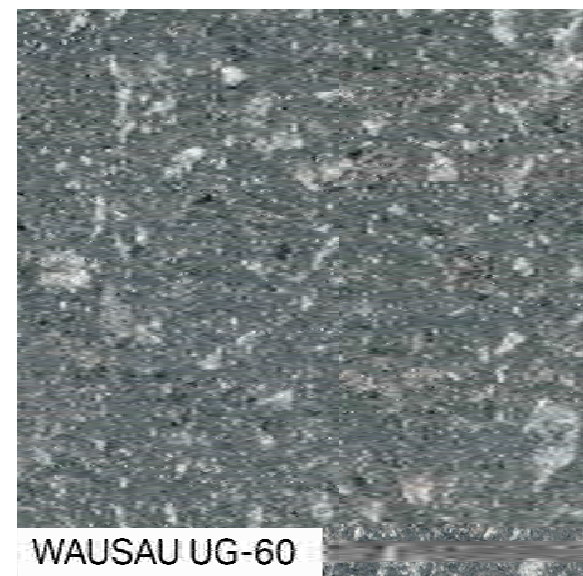
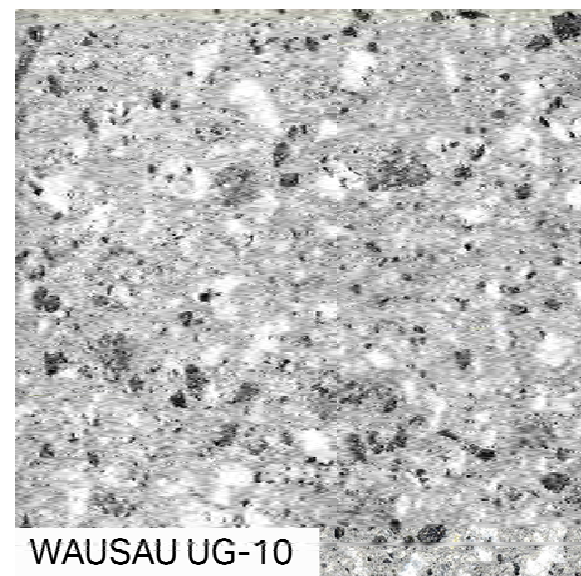


IMAGE FOR FINS REFERENCE ONLY  
NOT FOR GLAZING COLOR

EXTERIOR PAVERS



1

MATERIAL BOARD

Scale: NTS

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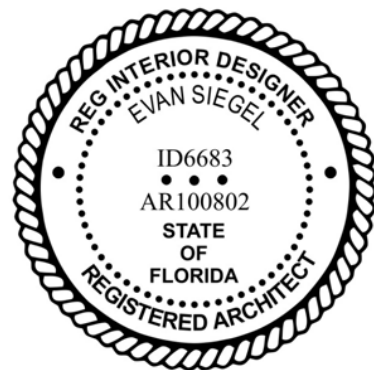


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KEY PLAN

PROJECT NUMBER

60639620

SHEET TITLE

MATERIALS BOARD

SHEET NUMBER

HQ-A8-1-05

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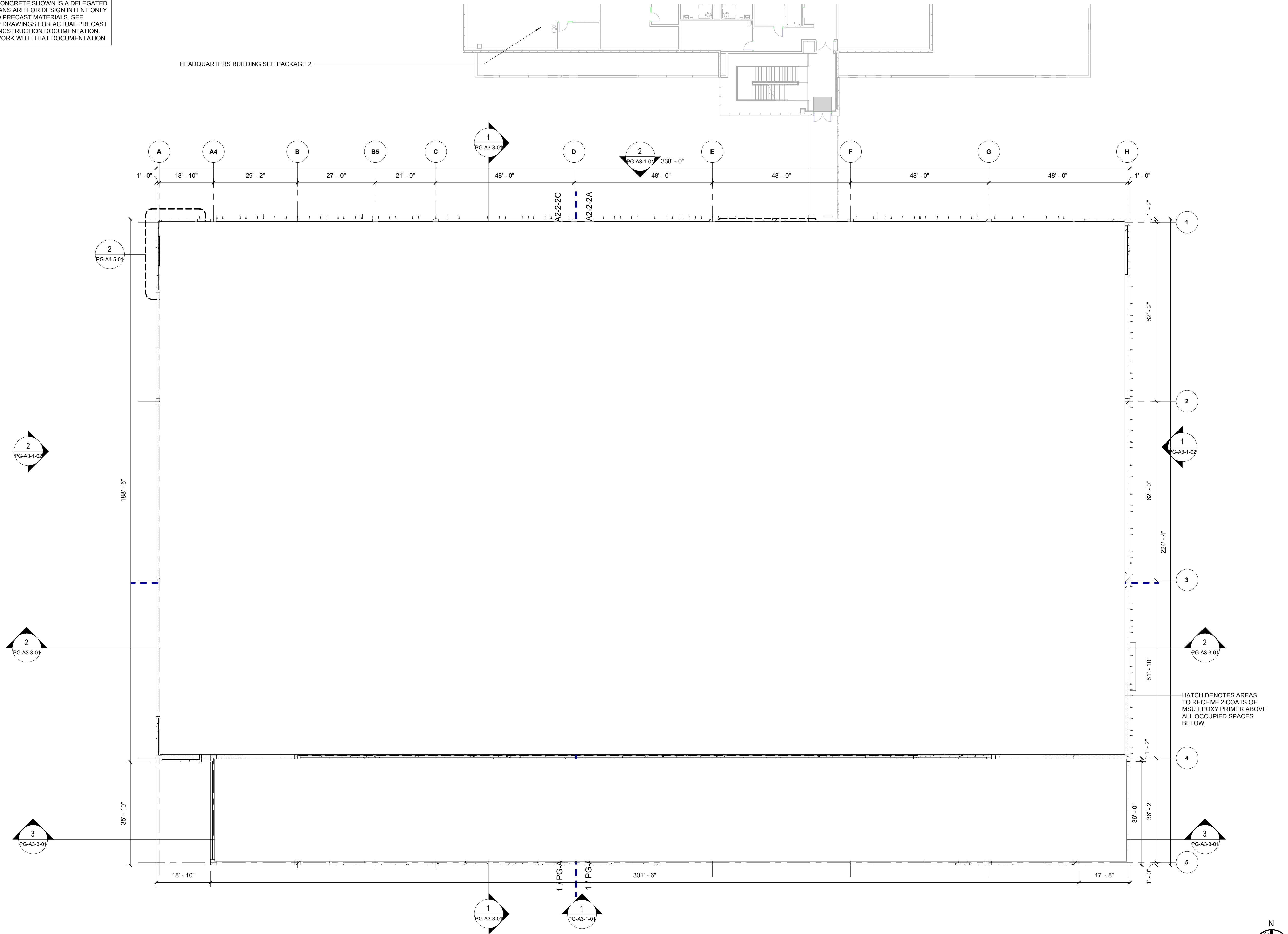
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1300 W BROWARD BLVD - FORT LAUDERDALE, FL 33312



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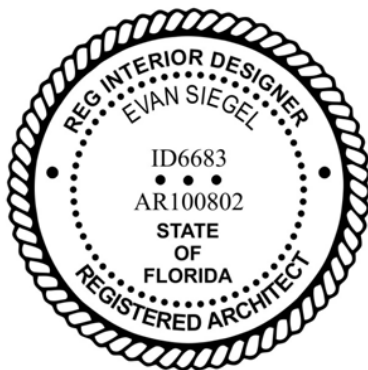
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1	MAR 15, 2021	SCHEMATIC DESIGN

NO.	DATE	DESCRIPTION
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KEY PLAN



PROJECT NUMBER

**60639620**

SHEET TITLE

**PARKING GARAGE - FLOOR PLAN  
LEVEL 2 - OVERALL**

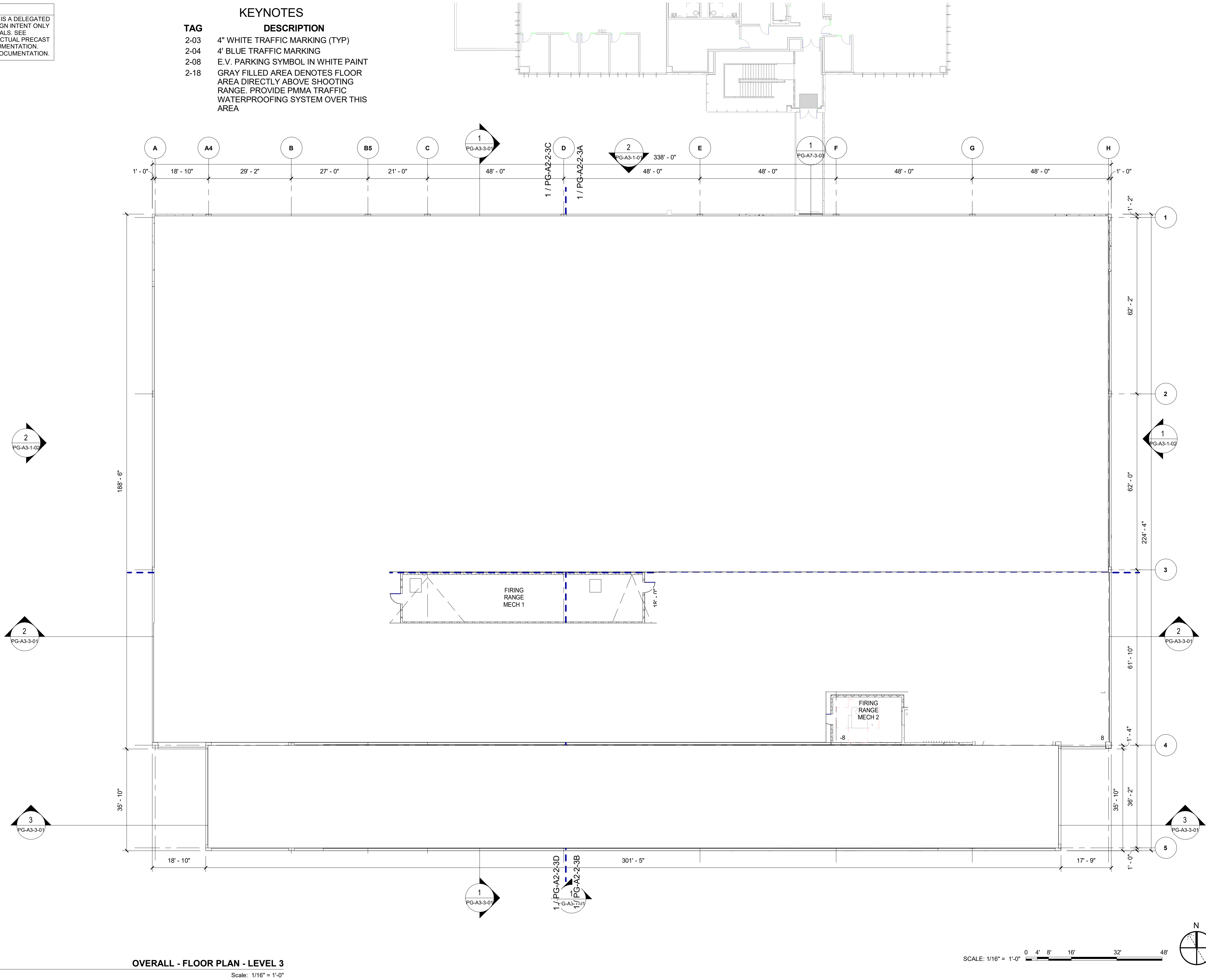
SHEET NUMBER

**PG-A2-2-02**



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TAG	DESCRIPTION
2-03	4" WHITE TRAFFIC MARKING (TYP)
2-04	4' BLUE TRAFFIC MARKING
2-08	E.V. PARKING SYMBOL IN WHITE PAINT
2-18	GRAY FILLED AREA DENOTES FLOOR AREA DIRECTLY ABOVE SHOOTING RANGE. PROVIDE PMMA TRAFFIC WATERPROOFING SYSTEM OVER THIS AREA



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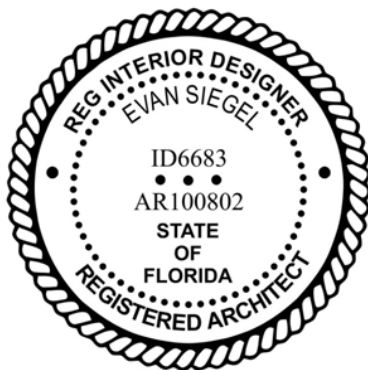
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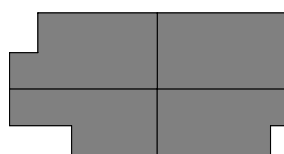
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2	JUNE 21, 2021	DESIGN DEVELOPMENT
1	MAR 15, 2021	SCHEMATIC DESIGN

KEY PLAN



PROJECT NUMBER

**60639620**

SHEET TITLE

**PARKING GARAGE - FLOOR PLAN  
LEVEL 3 - OVERALL**

SHEET NUMBER

**PG-A2-2-03**

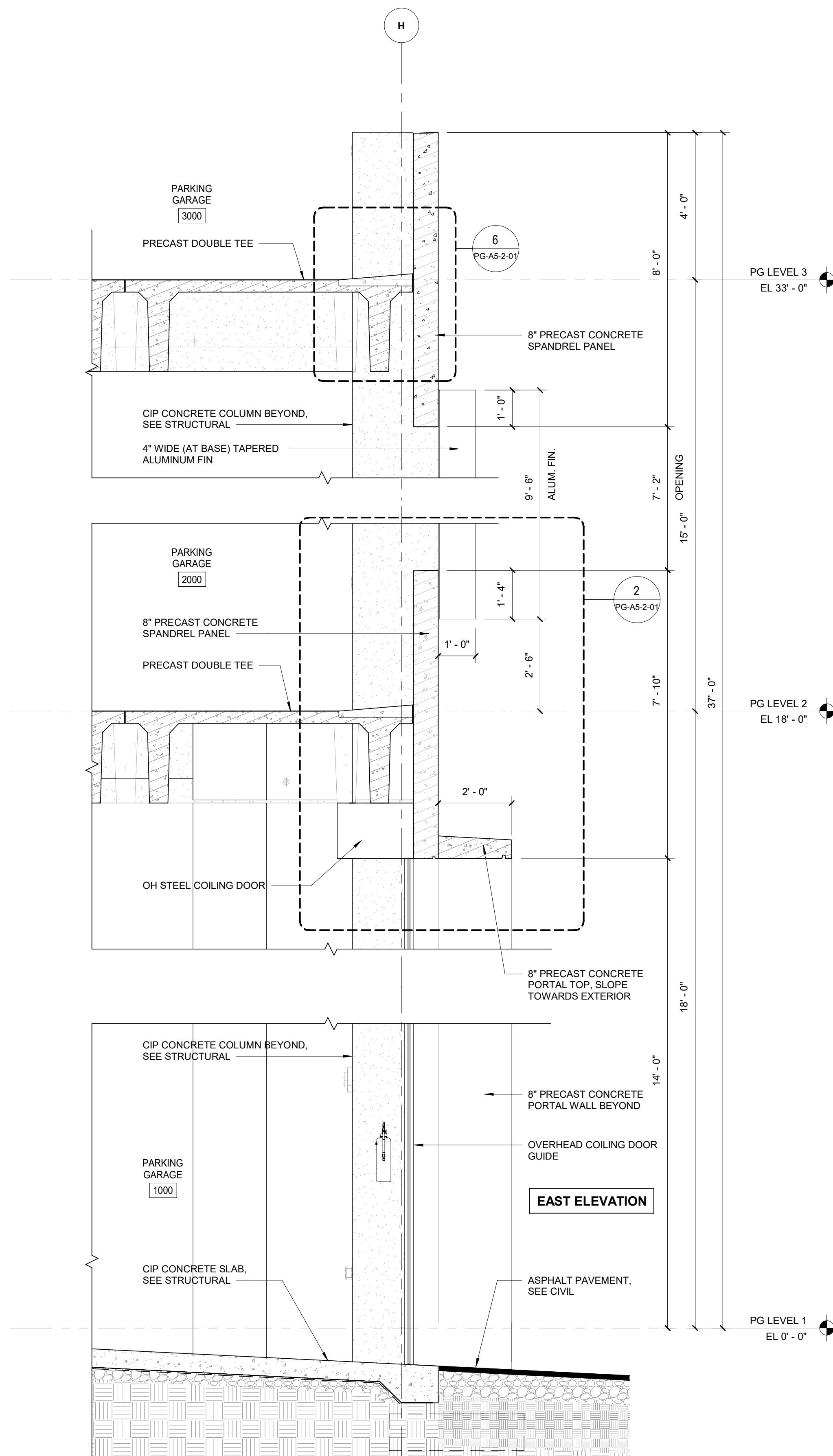




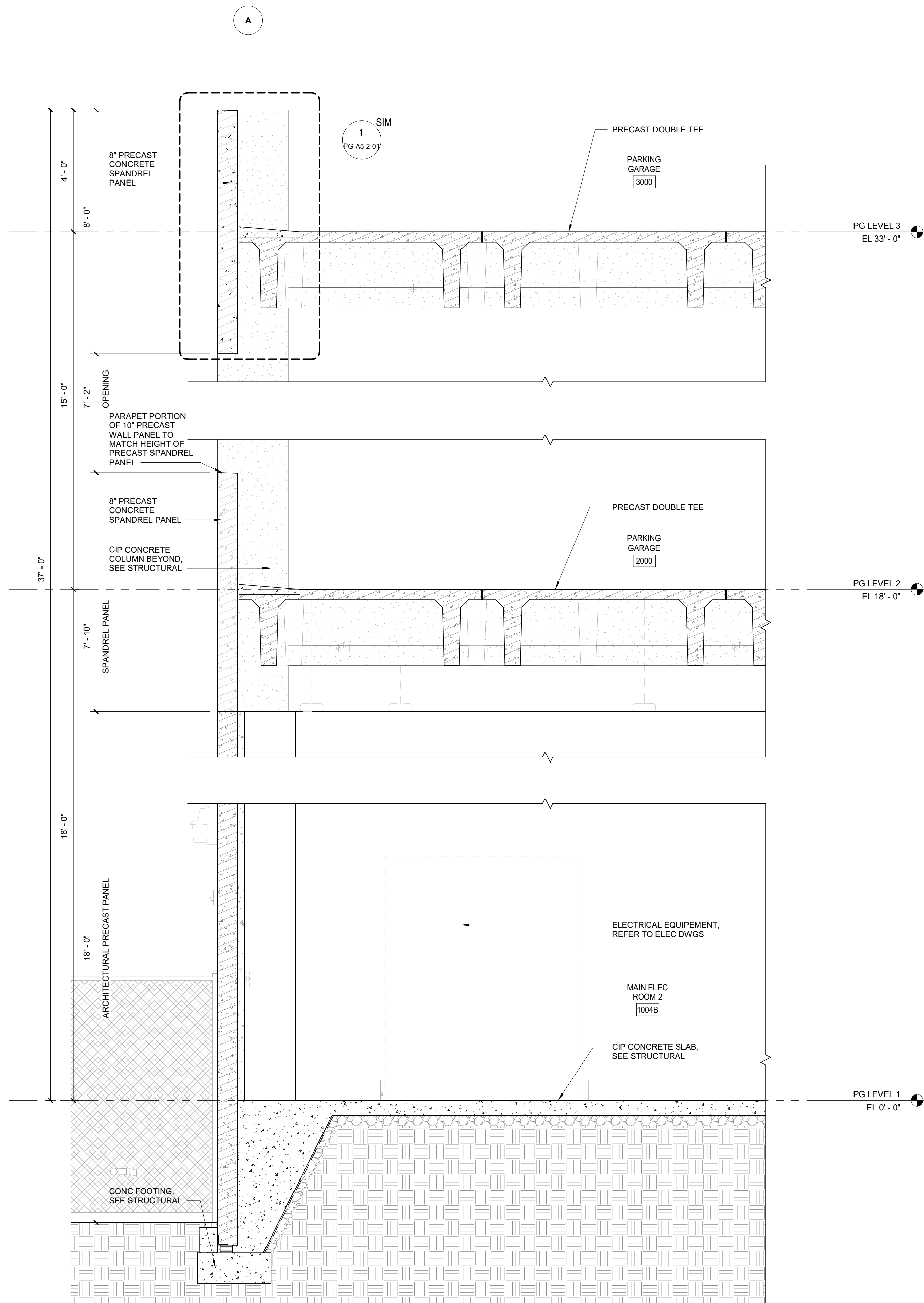








1 WALL SECTION 1  
PG-A3-4-01 Scale: 1/2" = 1'-0"



2 WALL SECTION 2  
PG-A3-4-01 Scale: 1/2" = 1'-0"

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KEY PLAN

PROJECT NUMBER

60639620

SHEET TITLE

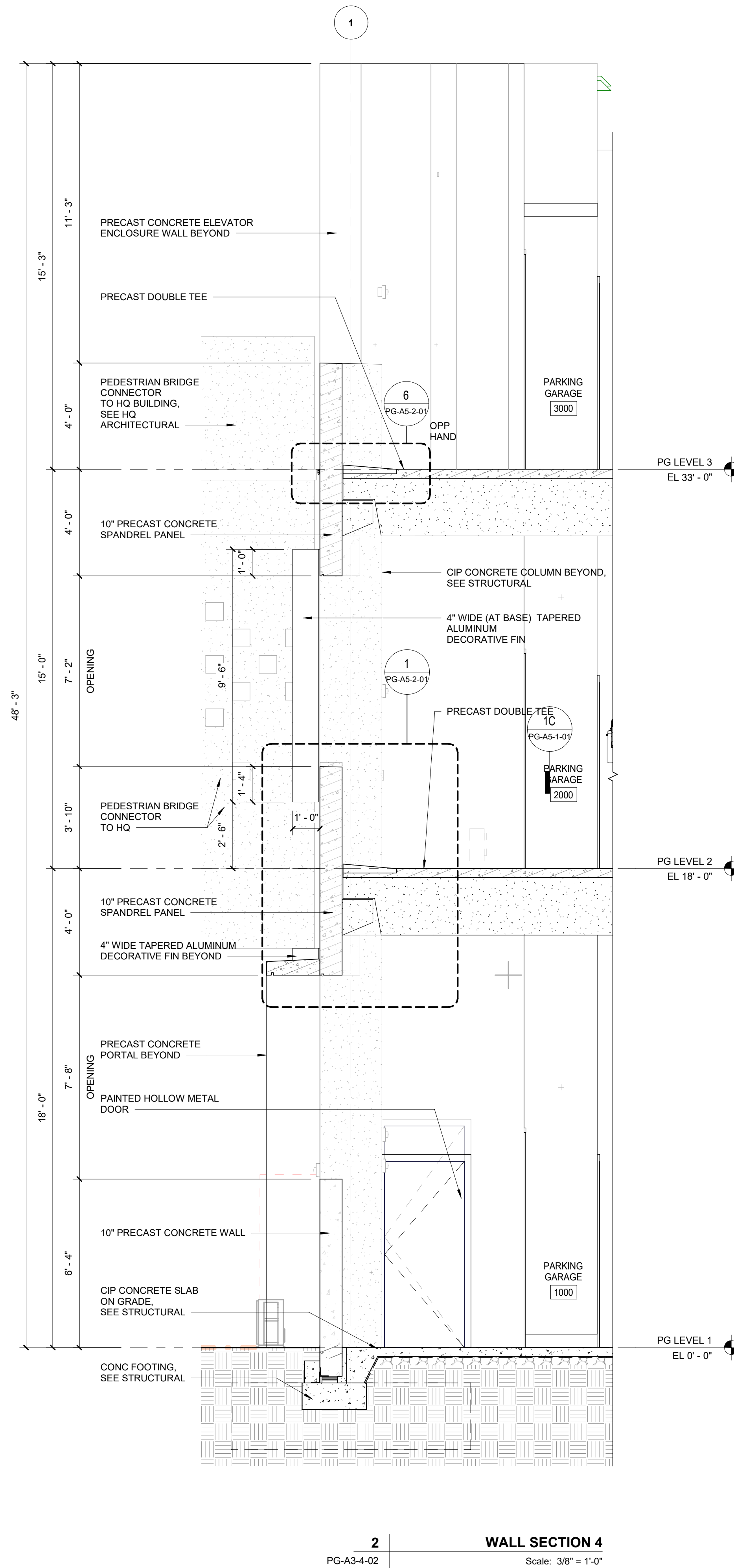
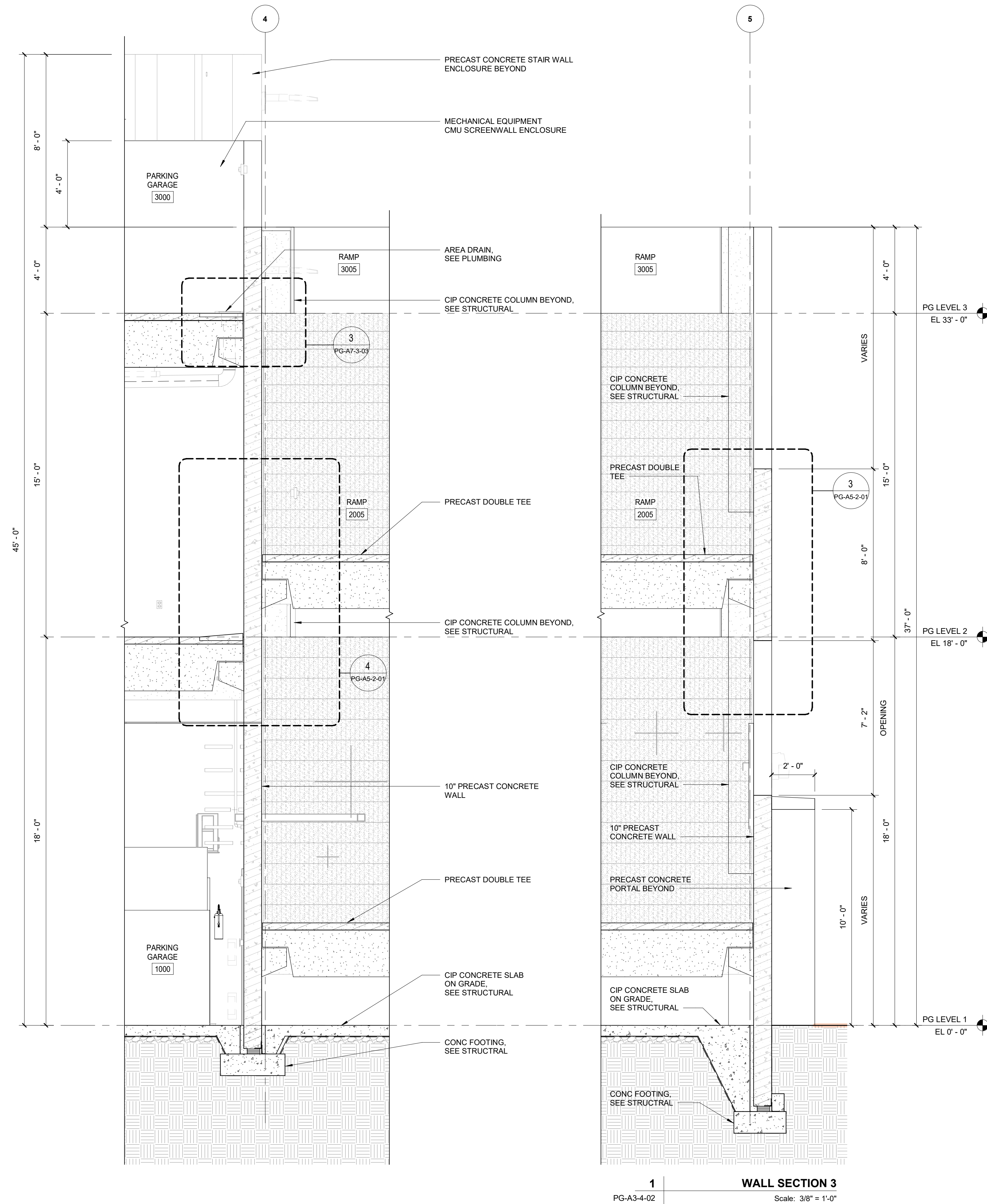
WALL SECTIONS

SHEET NUMBER

PG-A3-4-01

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POLICE HEADQUARTERS**  
1300 W BROWARD BLVD - FORT LAUDERDALE, FL 33312



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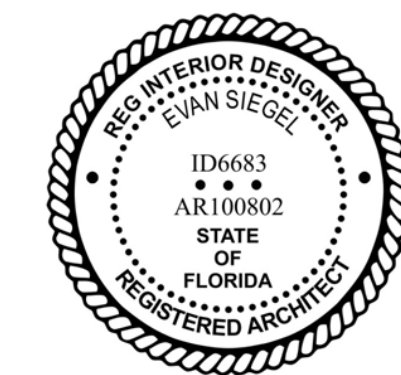
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NO.	DATE	DESCRIPTION
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KEY PLAN

PROJECT NUMBER

**60639620**

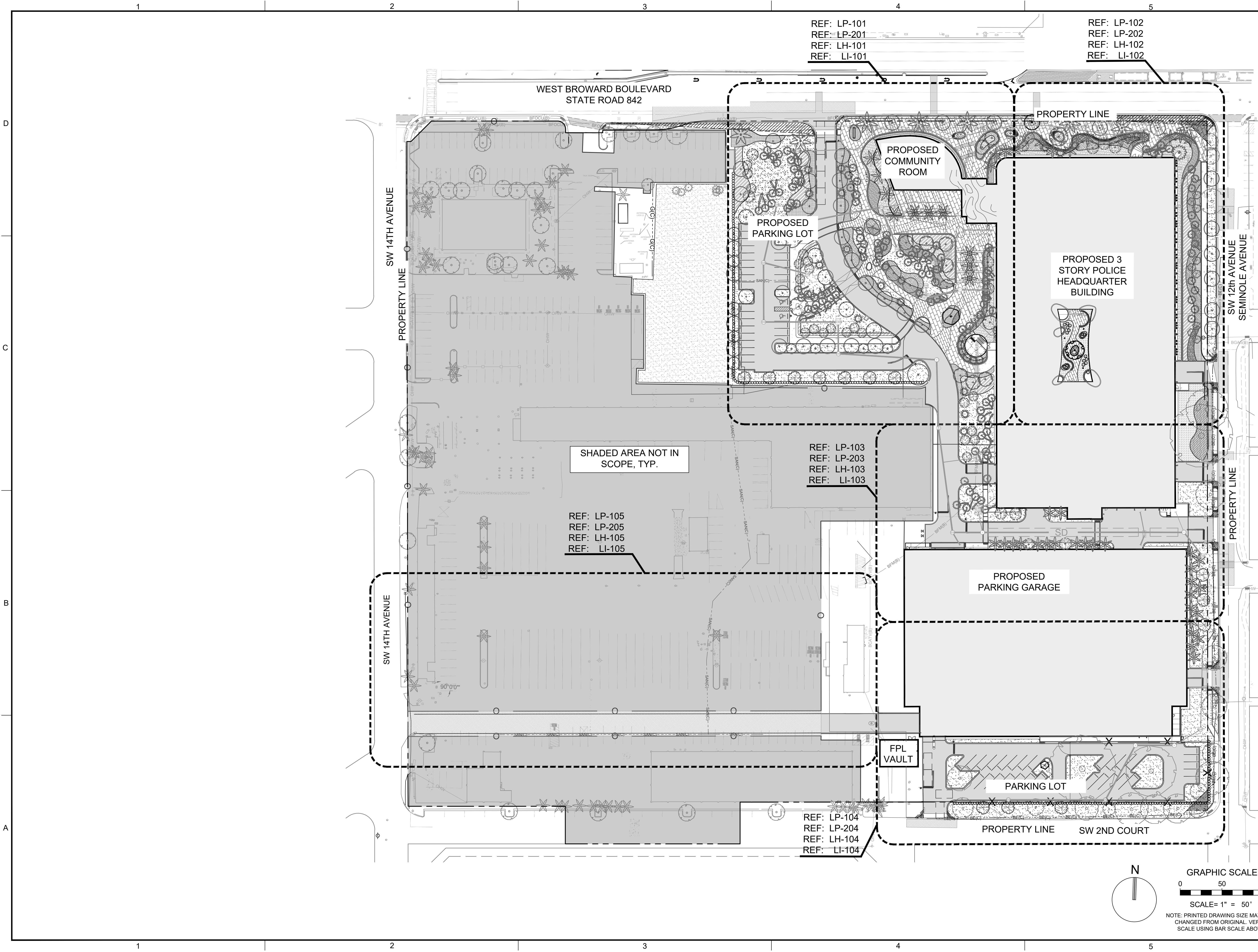
SHEET TITLE

**WALL SECTIONS**

SHEET NUMBER

**PG-A3-4-02**







301 East Atlantic Blvd.  
Pompano Beach, FL 33060  
PH: (954) 788-3400

Florida Engineering Business License: CA7928  
Florida Surveyor and Mapper Business License: LB6660  
Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE:	04/04/22
DESIGNED BY:	MH, LW, AS
DRAWN BY:	MH, AS
CHECKED BY:	KS, PW
BID-CONTRACT:	

PAUL H. WEINBERG, R.L.A.  
FLORIDA REG. NO. LA666804  
(FOR THE FIRM)

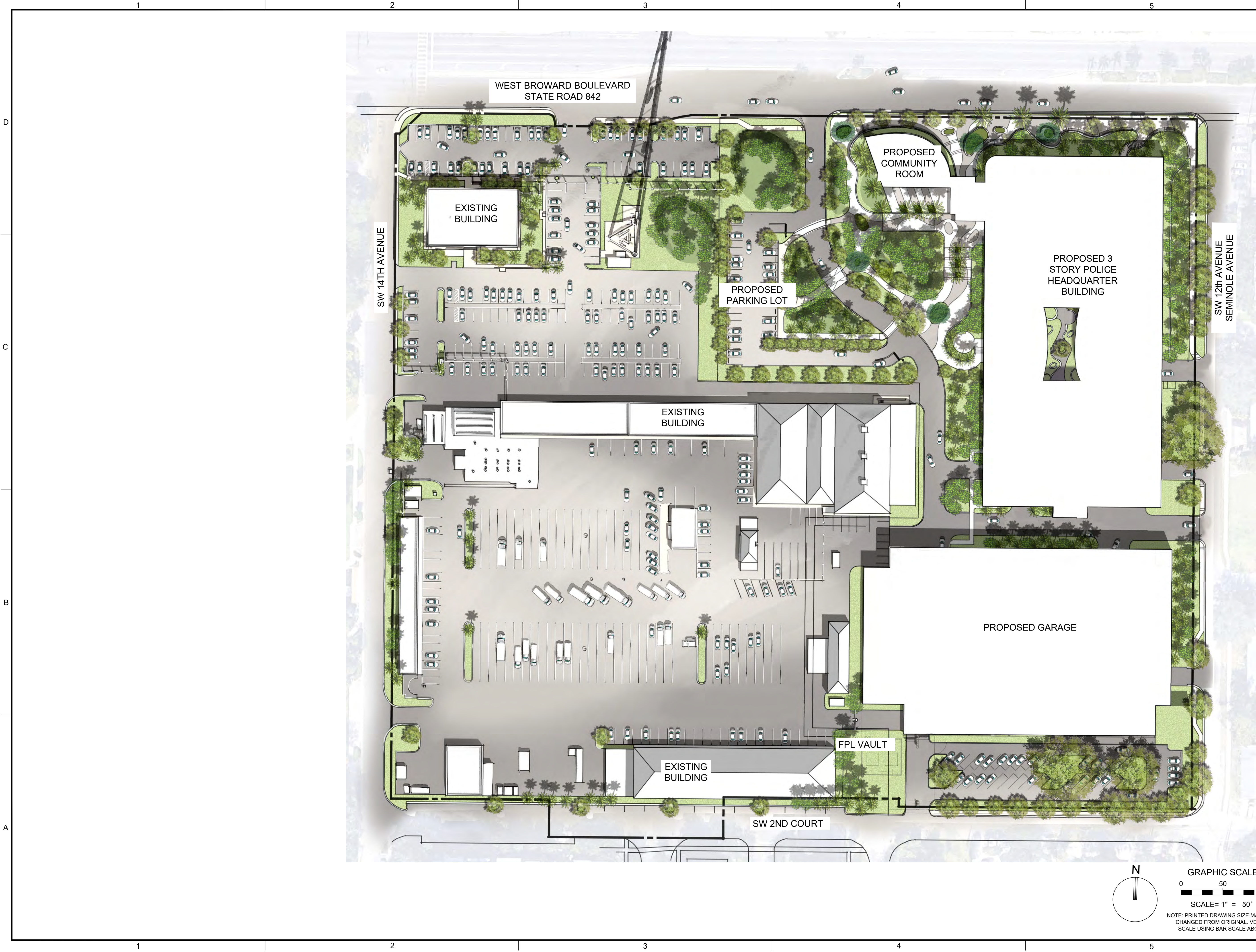
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CITY OF FORT LAUDERDALE

PROJECT  
  
NEW POLICE HEADQUARTERS  
1300-1350 WEST BROWARD BLVD

SHEET TITLE  
  
OVERALL REFERENCE PLAN

SHEET NUMBER	LC-100
PROJECT NUMBER	11112.00







301 East Atlantic Blvd.  
Pompano Beach, FL 33060  
PH: (954) 788-3400

Florida Engineering Business License: CA7928  
Florida Surveyor and Mapper Business License: LB6660  
Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE:	04/04/22
DESIGNED BY:	MH, LW, AS
DRAWN BY:	MH, AS
CHECKED BY:	KS, PW
BID-CONTRACT:	

PAUL H. WEINBERG, R.L.A.  
FLORIDA REG. NO. LA6666804  
(FOR THE FIRM)

CLIENT  
  
CITY OF FORT LAUDERDALE

PROJECT  
  
NEW POLICE HEADQUARTERS  
1300-1350 WEST BROWARD BLVD

SHEET TITLE  
  
ILLUSTRATIVE SITE PLAN

SHEET NUMBER	LC-101
PROJECT NUMBER	11112.00

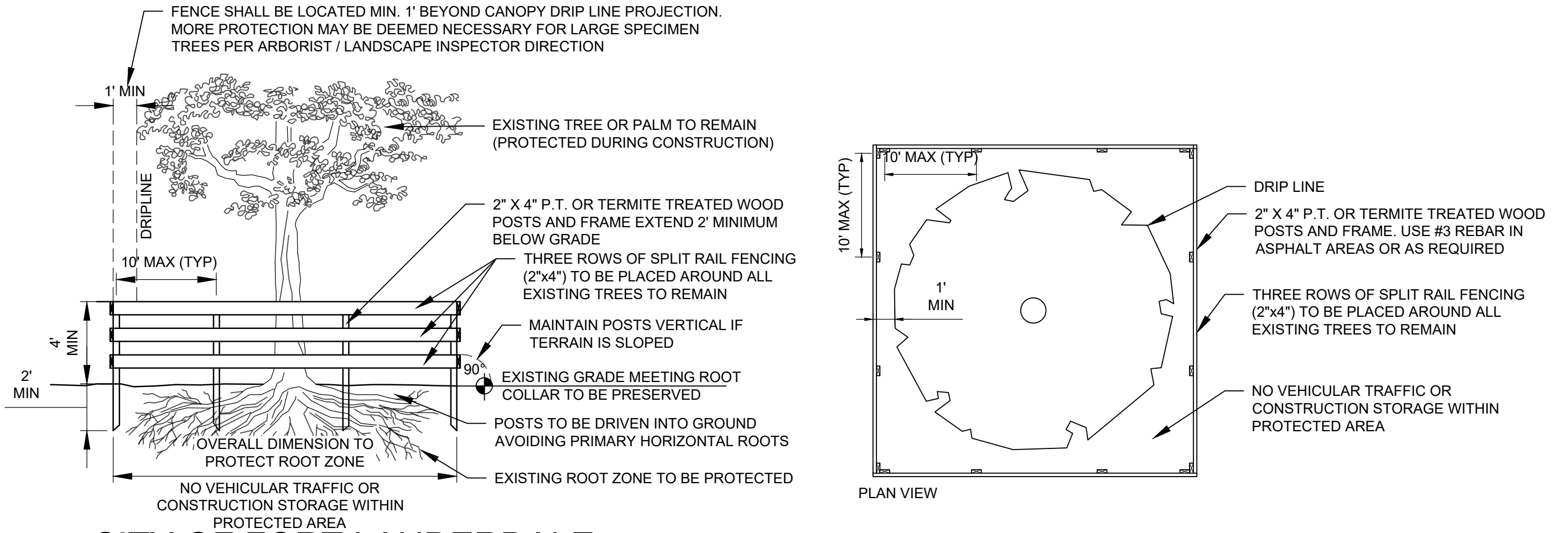


D

C

B

A



# CITY OF FORT LAUDERDALE TREE PROTECTION BARRICADE

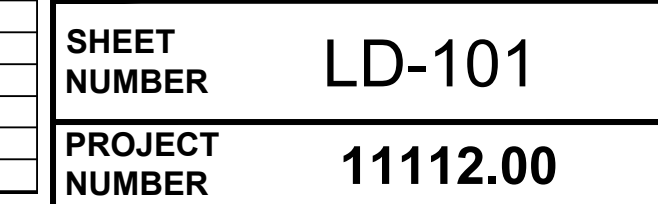
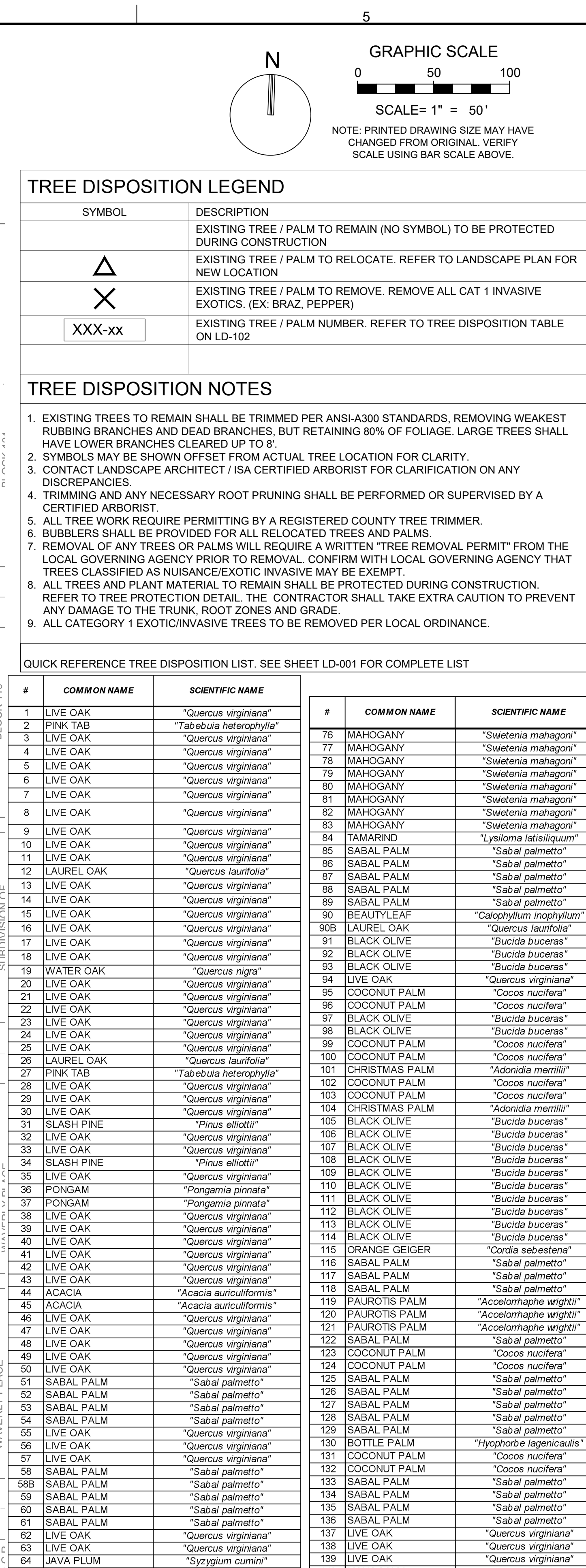
01 PLAN / SECTION

NOT TO SCALE

TREE DISPOSITION TABLE										
PROJECT #: 11112.00 PROJECT NAME: FORT LAUDERDALE POLICE HEADQUARTERS										
#	COMMON NAME	SCIENTIFIC NAME	DBH IN.	HT. FT.	CNPY. FT.	TREE % CONDITION	TREE DISPOSITION	TOTAL DBH TO REMOVE	COMMENTS	
1	LIVE OAK	"Quercus virginiana"	26	60	70	80%	REMOVE	26	LEANING SLIGHTLY	
2	PINK TAB	"Tabebuia heterophylla"	5	16	10	60%	REMOVE	5	POOR, SHADED, CO-D	
3	LIVE OAK	"Quercus virginiana"	15	25	25	60%	REMOVE	15	INC. 1-SIDED, CO-D, SHADED, MAJOR BD	
4	LIVE OAK	"Quercus virginiana"	15	23	25	60%	REMOVE	15	LEANING, SHARED ROOTS, BD, LEANING	
5	LIVE OAK	"Quercus virginiana"	23	40	60	65%	REMOVE	23	CO-D, SHARED ROOTS, BD, OPEN WOUND	
6	LIVE OAK	"Quercus virginiana"	23	30		70%	REMOVE	23	SHARED CANOPY, LEANING, SURFACE ROOTS	
7	LIVE OAK	"Quercus virginiana"	17			70%	REMOVE	17		
8	LIVE OAK	"Quercus virginiana"	17, 20		70	70%	REMOVE	37		
9	LIVE OAK	"Quercus virginiana"	20	30	35	65%	REMOVE	20	SHARED CANOPY, LEANING, CO-D, CONJOINED, POOR PRUNING, CUT STEM, SURFACE ROOTS, ROOT DAMAGE	
10	LIVE OAK	"Quercus virginiana"	15	25	30	65%	REMOVE	15	SHARED CANOPY	
11	LIVE OAK	"Quercus virginiana"	32	40	65	75%	REMOVE	32	SHARED CANOPY, FCUS ATTACHED, BD	
12	LAUREL OAK	"Quercus laurifolia"	14, 16	25	30	30%	REMOVE	30	POOR, T DMG, DEAD WOOD	
13	LIVE OAK	"Quercus virginiana"	24	25	40	60%	REMOVE	24	POOR, T DMG, ONE SIDED, MAJOR WOUND, LEANING	
14	LIVE OAK	"Quercus virginiana"	37	40	75	65%	REMOVE	37	DECAY, BREAKAGE, LEANING	
15	LIVE OAK	"Quercus virginiana"	23	25	35	75%	REMOVE	23		
16	LIVE OAK	"Quercus virginiana"	18	48		55%	REMOVE	18	PHYTOPAS, EXPOSED WOOD	
17	LIVE OAK	"Quercus virginiana"	15	25	50	55%	REMOVE	15		
18	LIVE OAK	"Quercus virginiana"	16	30	45	55%	REMOVE	16	EXPOSED WOOD, SUCKERS	
19	WATER OAK	"Quercus nigra"	33	0	0	0%	REMOVE	33	POOR, BD, DEAD, STUMP	
20	LIVE OAK	"Quercus virginiana"	17	30	35	70%	REMAIN		SHARED CANOPY	
21	LIVE OAK	"Quercus virginiana"	31	30	60	70%	REMAIN		CO-D	
22	LIVE OAK	"Quercus virginiana"	46	60	80	70%	REMAIN		SPARCE CANOPY	
23	LIVE OAK	"Quercus virginiana"	18	25	30	60%	REMAIN		CO-D, SURFACE ROOTS, SPARCE CANOPY	
24	LIVE OAK	"Quercus virginiana"	12.5	22	25	60%	REMOVE	12.5	DB, DECLINE, SPARCE CANOPY	
25	LIVE OAK	"Quercus virginiana"	20	25	30	60%	REMOVE	20	SURFACE ROOTS, DECAY, ROOT DAMAGE FROM VEHICLES	
26	LAUREL OAK	"Quercus laurifolia"	3	18	6	60%	REMOVE	3		
27	PINK TAB	"Tabebuia heterophylla"	3	14	5	0%	REMOVE	3	DEAD	
28	LIVE OAK	"Quercus virginiana"	38	30	40	65%	REMOVE	38	CO-D, VINES, POOR PRUNING, THIN SHARED CANOPY	
29	LIVE OAK	"Quercus virginiana"	36	35	65	65%	REMOVE	36	DECAY, TERMITES PRESENT, CO-D	
30	LIVE OAK	"Quercus virginiana"	41	50	80	70%	REMOVE	41	SURFACE ROOTS, TERMITES	
31	SLASH PINE	"Pinus elliotii"	17	40	35	60%	REMOVE	17	BD, THIN CANOPY	
32	LIVE OAK	"Quercus virginiana"	27	35	35	70%	REMOVE	27	DB	
33	LIVE OAK	"Quercus virginiana"	32	30	40	60%	REMOVE	32	POOR PRUNING, SUCKERS, DECAY, CO-D	
34	SLASH PINE	"Pinus elliotii"	17	40	35	60%	REMOVE	17	THIN	
35	LIVE OAK	"Quercus virginiana"	32	40	50	50%	REMOVE	32	BD, DECAY, CLUSIA VINES	
36	PONGAM	"Pongamia pinnata"	17	30	24	60%	REMOVE	17		
37	PONGAM	"Pongamia pinnata"	9	15	20	50%	REMOVE	9	DECLINING	
38	LIVE OAK	"Quercus virginiana"	13	35	25	65%	REMOVE	13	SHARED CANOPY, RESTRICTED ROOT ZONES	
39	LIVE OAK	"Quercus virginiana"	9	40	35	60%	REMOVE	9	SHARED CANOPY, RESTRICTED ROOT ZONES	
40	LIVE OAK	"Quercus virginiana"	18	45	35	60%	REMOVE	18	SHARED CANOPY, RESTRICTED ROOT ZONES	
41	LIVE OAK	"Quercus virginiana"	10	40	30	60%	REMOVE	10	SHARED CANOPY, RESTRICTED ROOT ZONES	
42	LIVE OAK	"Quercus virginiana"	17.5	45	35	60%	REMOVE	17.5	SHARED CANOPY, RESTRICTED ROOT ZONES, DB	
43	LIVE OAK	"Quercus virginiana"	16	45	30	60%	REMOVE	16	SHARED CANOPY, RESTRICTED ROOT ZONES, BAD STRUCTURE	
44	ACACIA	"Acacia auriculiformis"	19	40	40	50%	REMOVE	19	POOR	
45	ACACIA	"Acacia auriculiformis"	18	45	35	50%	REMOVE	18	TWISTED TRUNK	
46	LIVE OAK	"Quercus virginiana"	15.5	25	25	70%	REMOVE	15.5	SHARED CANOPY	
47	LIVE OAK	"Quercus virginiana"	15	25	25	70%	REMOVE	15	SHARED CANOPY	
48	LIVE OAK	"Quercus virginiana"	13	25	25	70%	REMOVE	13	SHARED CANOPY	
49	LIVE OAK	"Quercus virginiana"	15	25	25	55%	REMOVE	15	SHARED CANOPY, CO-D, POOR	
50	LIVE OAK	"Quercus virginiana"	15	25	25	65%	REMOVE	15	INC. OVER PRUNED	
51	SABAL PALM	"Sabal palmetto"	18	CT	12	65%	REMOVE		CONSTRUCTION	
52	SABAL PALM	"Sabal palmetto"	16	CT	12	65%	REMOVE		CONSTRUCTION	
53	SABAL PALM	"Sabal palmetto"	18	CT	12	65%	REMOVE		CONSTRUCTION	
54	SABAL PALM	"Sabal palmetto"	16	CT	12	65%	REMOVE		CONSTRUCTION, CURVED	
55	LIVE OAK	"Quercus virginiana"	10	22	20	70%	REMAIN		STREET TREE	
56	LIVE OAK	"Quercus virginiana"	10	20	20	65%	REMAIN		STREET TREE, PRUNING	
57	LIVE OAK	"Quercus virginiana"	12	25	30	70%	REMAIN			
58	SABAL PALM	"Sabal palmetto"	18	CT	12	65%	REMOVE		CONSTRUCTION	
58B	SABAL PALM	"Sabal palmetto"	16	CT	12	65%	REMOVE		CONSTRUCTION	
59	SABAL PALM	"Sabal palmetto"	18	CT	12	65%	REMOVE		CONSTRUCTION	
60	SABAL PALM	"Sabal palmetto"	16	CT	12	65%	REMOVE		CONSTRUCTION	
61	SABAL PALM	"Sabal palmetto"	15	CT	12	65%	REMOVE		CONSTRUCTION	
62	LIVE OAK	"Quercus virginiana"	23	50	35	65%	REMOVE	23	LEANING, UTILITY PRUNED, CO-D, SUCKERS	
63	LIVE OAK	"Quercus virginiana"	22	25	30	70%	REMOVE	22	SHARED CAN, FBICE	
64	JAVA PLUM	"Syzgium cumini"	26	40	50	75%	REMAIN			
65	LIVE OAK	"Quercus virginiana"	25, 35	45	75	70%	REMAIN		EXPOSED WOOD, MINOR BD	
66	SABAL PALM	"Sabal palmetto"	16	CT	12	65%	REMOVE		CONSTRUCTION, LEANING	
67	MAHOGANY	"Swietenia mahagoni"	20	30	45	70%	REMOVE	20		
68	MAHOGANY	"Swietenia mahagoni"	18	30	35	65%	REMAIN		LEANING, VINES, MINOR DB	
69	MAHOGANY	"Swietenia mahagoni"	18.5	30	30	70%	REMAIN		DB, VINES, CO-D	
70	MAHOGANY	"Swietenia mahagoni"	11	20	30	60%	REMAIN		TD, ONE-SIDED	
71	MAHOGANY	"Swietenia mahagoni"	10	25	30	70%	REMAIN			
72	MAHOGANY	"Swietenia mahagoni"	9	25	28	75%	REMAIN			
73	MAHOGANY	"Swietenia mahagoni"	15	20	25	65%	REMAIN		LEANING, THIN, DB	
74	MAHOGANY	"Swietenia mahagoni"	18	20	40	65%	REMAIN			
75	MAHOGANY	"Swietenia mahagoni"	12	35	25	65%	REMAIN		MAJOR TW, FIREANTS	
76	MAHOGANY	"Swietenia mahagoni"	12	20	35	70%	REMAIN			
77	MAHOGANY	"Swietenia mahagoni"	16	25	35	60%	REMAIN		PRUNING DMG, MAJOR TD, DECAY	

TREE DISPOSITION TABLE										
PROJECT #: 11112.00			PROJECT NAME: FORT LAUDERDALE POLICE HEADQUARTERS							
#	COMMON NAME	SCIENTIFIC NAME	DBH	HT.	CMPLY.	TREE %	TREE	TOTAL	COMMENTS	
			IN.	FT.	FT.	CONDITION	DISPOSITION	DBH TO REMOVE		
78	MAHOGANY	"Swietenia mahagoni"	21.5	40	40	60%	REMAIN		LEANING, BD, PRUNING DMG	
79	MAHOGANY	"Swietenia mahagoni"	8, 7	30	15	65%	REMAIN		SHADED, THIN CANOPY, PRUNING DMG, CO-D	
80	MAHOGANY	"Swietenia mahagoni"	15	35	28	70%	REMAIN		CO-D, SHARED CANOPY	
81	MAHOGANY	"Swietenia mahagoni"	15	40	20	70%	REMAIN			
82	MAHOGANY	"Swietenia mahagoni"	14	35	25	60%	REMAIN		BD DECAY, ONE SIDED, SURFACE ROOTS	
83	MAHOGANY	"Swietenia mahagoni"	16	28	28	70%	REMOVE	16	CO-D, SURFACE ROOTS	
84	TAMARIND	"Lysitoma latissiliquum"	11	22	30	70%	REMOVE	11	SURFACE ROOTS, ONE SIDED	
85	SABAL PALM	"Sabal palmetto"	15	CT	12	65%	REMOVE		TRUNK DAMAGE	
86	SABAL PALM	"Sabal palmetto"	16	CT	12	65%	REMOVE		CONSTRUCTION	
87	SABAL PALM	"Sabal palmetto"	16	CT	12	65%	REMOVE		CONSTRUCTION	
88	SABAL PALM	"Sabal palmetto"	17	CT	12	65%	REMOVE		CONSTRUCTION	
89	SABAL PALM	"Sabal palmetto"	15	CT	12	65%	REMOVE		CONSTRUCTION	
90	BEAUTYLEAF	"Calophyllum inophyllum"	12			60%	REMOVE	12	DMG	
91	LAUREL OAK	"Quercus laurifolia"	11			60%	REMOVE	11	SHADED	
92	BLACK OLIVE	"Bucida buceras"	14			60%	REMOVE	14		
92	BLACK OLIVE	"Bucida buceras"					REMOVE	15		
93	BLACK OLIVE	"Bucida buceras"	15	25	30		REMOVE	15		
94	LIVE OAK	"Quercus virginiana"	25	35	60	75%	REMOVE	25		
95	COCONUT PALM	"Cocos nucifera"	32	CT	15		REMAIN			
96	COCONUT PALM	"Cocos nucifera"	35	CT	15		REMAIN			
97	BLACK OLIVE	"Bucida buceras"	19	35	35		REMAIN		SHARED CANOPY, CO-D	
98	BLACK OLIVE	"Bucida buceras"	20	35	35		REMAIN			
99	COCONUT PALM	"Cocos nucifera"	40	CT	15	70%	REMOVE			
100	COCONUT PALM	"Cocos nucifera"	40	CT	15	70%	REMOVE			
101	CHRIS IMAS PALM	"Adonidia merrillii"	12	CT	15	75%	REMOVE		TRIPLE	
102	COCONUT PALM	"Cocos nucifera"	40	CT	15	70%	REMOVE			
103	COCONUT PALM	"Cocos nucifera"	40	CT	15	70%	REMOVE			
104	CHRISTMAS PALM	"Adonidia merrillii"	12	CT	15	75%	REMOVE			
105	BLACK OLIVE	"Bucida buceras"	13	25	25	65%	REMOVE	13		
106	BLACK OLIVE	"Bucida buceras"	27	35	40	65%	REMOVE	27		
107	BLACK OLIVE	"Bucida buceras"	16	35	20	65%	REMOVE	16		
108	BLACK OLIVE	"Bucida buceras"	12	35	20	60%	REMOVE	12		
109	BLACK OLIVE	"Bucida buceras"	18	30	30	60%	REMOVE	18		
110	BLACK OLIVE	"Bucida buceras"	19	30	30	65%	REMOVE	19		
111	BLACK OLIVE	"Bucida buceras"	14	20	25	65%	REMAIN			
112	BLACK OLIVE	"Bucida buceras"	13	20	25	60%	REMAIN			
113	BLACK OLIVE	"Bucida buceras"	12	20	20	65%	REMAIN		THIN	
114	BLACK OLIVE	"Bucida buceras"	12	20	18	60%	REMAIN		THIN	
115	ORANGE GEIGER	"Cordia sebestena"	6	12	15	65%	REMAIN		LEANING	
116	SABAL PALM	"Sabal palmetto"	22	CT	12	65%	REMAIN		CONSTRUCTION, LEANING	
117	SABAL PALM	"Sabal palmetto"	28	CT	12	65%	REMAIN		CONSTRUCTION	
118	SABAL PALM	"Sabal palmetto"	20	CT	12	65%	REMAIN		CONSTRUCTION, LEANING	
119	PAUROTIS PALM	"Acoelorrhaghewrightii"	18	CT	4	60%	REMAIN			
120	PAUROTIS PALM	"Acoelorrhaghewrightii"	19	CT	4	60%	REMAIN			
121	PAUROTIS PALM	"Acoelorrhaghewrightii"	20	CT	4	60%	REMAIN			
122	SABAL PALM	"Sabal palmetto"	22	CT	12	65%	REMAIN			
123	COCONUT PALM	"Cocos nucifera"	48	CT	12	65%	REMOVE			
124	COCONUT PALM	"Cocos nucifera"	48	CT	12	65%	REMOVE			
125	SABAL PALM	"Sabal palmetto"	18	CT	12	70%	REMOVE			
126	SABAL PALM	"Sabal palmetto"	18	CT	12	70%	REMOVE			
127	SABAL PALM	"Sabal palmetto"	20	CT	12	65%	REMOVE			
128	SABAL PALM	"Sabal palmetto"	20	CT	12	70%	REMOVE			
129	SABAL PALM	"Sabal palmetto"	22	CT	12	65%	REMOVE			
130	BOTTLE PALM	"Hyophorbe lagenicaulis"	8	CT	10	55%	REMOVE			
131	COCONUT PALM	"Cocos nucifera"	35	CT	12	65%	REMOVE			
132	COCONUT PALM	"Cocos nucifera"	36	CT	12	65%	REMOVE			
133	SABAL PALM	"Sabal palmetto"	8	CT	12	70%	REMOVE			
134	SABAL PALM	"Sabal palmetto"	13	CT	12	65%	REMOVE			
135	SABAL PALM	"Sabal palmetto"	10	CT	12	70%	REMOVE			
136	SABAL PALM	"Sabal palmetto"	3	CT	12	65%	REMOVE			
137	LIVE OAK	"Quercus virginiana"	16	40	60	65%	REMOVE	16	POOR PRUNING	
138	LIVE OAK	"Quercus virginiana"	16	30	45	70%	REMOVE	16		
139	LIVE OAK	"Quercus virginiana"	23	30	45	60%	REMOVE	23	VINES, BD, TD	
140	MAHOGANY	"Swietenia mahagoni"	25	40	60	30%	REMOVE	25	MAJOR INCLUSION FA LURE, TD.	
141	LIVE OAK	"Quercus virginiana"	13	20	30	65%	REMOVE	13	CO-D, EXPOSED WOOD	
142	LIVE OAK	"Quercus virginiana"	12	30	30	65%	REMOVE	12		
143	LIVE OAK	"Quercus virginiana"	14	30	35	65%	REMOVE	14		
144	LIVE OAK	"Quercus virginiana"	26	40	55	65%	REMOVE	26	B DMG, EXPOSED WOOD, DEAD WOOD	
145	SEAGRAPE	"Coccoloba uvifera"	42	40	55	50%	REMOVE	42	MULTI-STEM 8' DMG, UTILITY PRUNED	
146	SABAL PALM	"Sabal palmetto"	10	CT	12	70%	REMOVE			
147	LIVE OAK	"Quercus virginiana"					REMOVE	0	Offsite trees - parcel to be obtained	
148	LIVE OAK	"Quercus virginiana"					REMOVE	0	Offsite trees - parcel to be obtained	
149	LIVE OAK	"Quercus virginiana"					REMOVE	0	Offsite trees - parcel to be obtained	
150	SABAL PALM	"Sabal palmetto"	8	CT	12	75%	REMOVE			





CAM #22-0702  
Exhibit 2  
Page 50 of 65



1

2

3

4

5

A. SCOPE

1. The location of plants, as shown on the plans, is approximate. The final locations may be adjusted slightly to accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight conditions, or as otherwise directed or approved by the Landscape Architect / owner in writing. All other location adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner.

2. Contractor understands that an important element of the design of this project is meeting landscape ordinances with a design focus that includes symmetry, alignment, focal points and / or smooth curvilinear forms where applied and contractor shall follow and instruct the working crews accordingly. In the event of any doubt as to how to execute the plans, Contractor shall immediately consult with Architect and/or Owner.

3. The Landscape Contractor shall fine grade, prepare site as outlined in the following notes and per plans; furnish and install all plants, shrubs, trees and / or palms meeting minimum requirements and brace them per details provided. Furnish and install soil, gravel, boulders, sand and mulch as specified in plans and notes below.

4. Landscape contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer, herbicide, pre-emergence herbicide, seed, and mulch.

D

BIDDING

1. Contractor to have liability insurance including Owner and Landscaper as insured's in excess of \$10,000 as well as Worker's Compensation.

2. Contractors and Subs must ensure they are doing take offs from Bldg Dept., Revised sets and / or Bid Set documents. Verify with this Office that you are bidding from latest available plans.

3. Read ALL notes and typical planting details sheets prior to submitting RFIs and drawings prior to bidding.

4. When submitting an RFI reference sheet number, detail number and/or note category and number.

5. Landscape contractor shall verify all estimated quantities of material shown on the drawings prior to submitting their bid. Plant list pricing (if shown) is for permitting / mitigation comparison purposes only, any prices shown are to be disregarded by Landscape Contractor.

6. All Plant Material shall meet or exceed height and spread requirement. Heights are local code requirement and / or design intent related to the governing agency. Container size given for reference only and plants must be sized-up to meet height requirements of plant list. Plant material available with excessive height beyond specifications must be consulted with Landscape Architect for design intent.

7. All landscape material was confirmed to be available at time of design. Landscape contractor understands that some material may not be available locally, however is available in Tri-County Region. Plant material supply is the responsibility of the Landscape Contractor that is awarded the contract and he/she shall take steps to ensure availability at the time of installation. Bring to the attention of Landscape Architect if specific material is no longer available at the time of bidding and / or prior to actual construction. Substitutions must be approved prior to construction.

8. Pre-inspections of site required prior to bidding.

9. The plant list is intended only as an aid to bidding. Any discrepancies found between the quantities on the plan and the quantities on the plant list shall be brought to the attention of the Landscape Architect for clarification.

10. All labor and material for soil amendments and fertilizer that is required to ensure the successful establishment and survival of the proposed vegetation, as well as all the cost for the removal of unsuitable or excess backfill material from plant beds, in addition to fine grading and mulching all plant beds and individual trees shall be included in the contractor's bid to perform the work represented in this plant set.

11. Bid shall be itemized for possible value engineering.

12. Sod and Rocks (if specified) shall be estimated by scaling plans. Include price per square foot for sod. Rocks (include price per ton). Small rocks and gravel beds shall have landscape fabric material and minimum 4" depth. Boulders to be bid by unit.

13. All S.F. if noted is approximate and shall not be considered all inclusive; it is the contractor's responsibility to do his or her take off, submit price per S.F. and in the end, sod and all areas that are not covered by plants, mulch and/or rocks. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be damaged during construction.

14. Final payment to the Contractor shall be for actual plants installed on the project.

15. Contractor shall be responsible for obtaining and paying for costs of all permits described in bid whether permit costs are reimbursable by owner or included in bid. Research permit status and research all permits and additional documentation and certifications required such as separate tree removal permit for example, and consider prior to bidding.

16. General / Landscape Contractor shall leave a 5% unforeseen conditions allowance such as for additional root barriers determined to be needed on site and as job progresses.

17. Refer to Section T, Watering, for supplemental watering requirements.

18. Landscape contractor is responsible for verifying all plant quantities prior to bidding and within 7 calendar days of receipt of these plans shall notify the landscape architect in writing of any and all discrepancies. In case of discrepancies, planting plans shall take precedence over plant list. No substitutions are to be made without prior consent of the Landscape Architect.

C

GENERAL LANDSCAPE NOTES

1. Plants grown in containers prior to installation shall be removed from their containers before they are planted in the ground and have circling roots removed. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branches touching. Adjust spacing as necessary and/or provide additional plants to provide an adequate screen as required by code. Leave access to utility or clearance as required.

2. All landscaping shall be installed according to sound nursery practices. Contractor shall comply with federal, state and local laws and regulations pertaining to the inspection for plant disease and insect infestation.

3. All ideas, designs and plans indicated by this drawing are owned by and are the exclusive property of Keith and Associates and may not be duplicated without authorization or used for other projects than the intended.

4. The Landscape Contractor shall exercise caution to protect any existing sod, electrical and irrigation. Any damage to the sod, electrical or irrigation shall be replaced or repaired to the original state by the Landscape Contractor at no additional cost to the owner.

5. Tree, palm, accent shrubs and bed lines are to be located in the field and approved by the Landscape Architect / owner prior to planting. Landscape Contractor acknowledges that material planted without approval of location may be subject to relocation by Landscape Architect to maintain design intent if not followed properly.

6. All trees must be pruned as per Landscape Architect's direction.

7. If areas where asphalt is removed to receive landscape material, the lime rock sub-base material must also be removed and replaced with approved planting soil mix.

8. Landscape contractor is responsible for sending photographs to the landscape architect to pre-approve all trees, palms, and shrubs prior to delivery to project site.

9. Landscape contractor shall coordinate his or her work with that of the irrigation, landscape lighting, and landscape contractor if different.

10. The landscape contractor shall treat plant areas with pre-emergence herbicide after weeds and grass have been removed. Landscape contractor shall wait 7 days after pre-emergence treatment prior to planting.

D

PERMITS & REGULATIONS

1. Contractor(s) must obtain separate landscape, irrigation and tree relocation/removal permits from the governing authority prior to the issuance of the first building permit for the project.

2. Landscape contractor to call the local Landscape Inspector to schedule a pre-construction meeting prior to installation if required.

3. All mandatory requirements by local Landscape Departments and their inspectors shall govern and landscape contractor commits by accepting contract to comply promptly for builder/owner to obtain C.O.

E

TREE REMOVAL

1. Removal of any trees or palms will require a written "tree removal permit" from the local governing agency prior to removal. Non-native trees classified as "prohibited" trees may be exempt from the permit if listed as Category 1 by Florida Exotic Pest Plant Council. Confirm with Local Municipality.

2. Landscape Contractor is responsible to remove ALL invasive nuisance trees such as Brazilian Pepper, Melaleuca, Australian Pine and all invasive trees as categorized by the governing agencies, whether listed on plans or not.

3. The Landscape Contractor is responsible for coordinating tree and palm removals and transplants shown on the tree/palm Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, ground covers, and sod and weeds within landscape areas.

F

EXISTING TREES

1. Existing trees designated to remain shall be protected during all construction phases. Any trees or shrubs designated to remain that are scarred or destroyed will be replaced at the contractor's expense, per the appraised value.

2. Existing plant material not shown on the plan and in conflict with new planting shall be evaluated at the time of new planting installation by the Landscape Architect. Trees and plant material indicated to be relocated with no new location provided in plans shall be moved to a location on site designated as a nursery holding area with the root ball protected from direct sunlight, maintained and irrigated until new location is determined.

3. Prune trees to remove damaged branches and improve natural shape and thin out structure. Do not remove more than 15% of branches. Do not prune back terminal leader.

4. Prune existing shrubs to remove damaged branches and improve natural shape.

5. Existing trees to remain shall be trimmed per ANSI-A300 standards. Supervision of the trimming shall be performed by an ISA Certified Arborist to ensure quality work.

6. All existing trees shall be "lifted and thinned" to provide an 8' minimum clearance for sidewalks and pedestrian walkways and a 14' minimum clearance for roadways, driveways and all vehicular use areas.

7. Selective canopy and root pruning of existing trees can be conducted (only as necessary and in no event more than 35%) to accommodate for new approved construction. Pruning shall be conducted / supervised by an ISA Arborist.

8. If plans call for relocation of trees, palms or plants. High level of care should be exercised to assure that they are not damaged in the process and that they are promptly replanted upon being dug up.

9. All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines must

A

1. traverse the protection area, they shall be tunneled or bored under the tree.

2. If construction control devices such as tilt fencing, debris basins, and water diversion structures shall be installed to prevent siltation and/or erosion within the tree protection zone.

11. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root pruning equipment.

G

TREE RELOCATION (These notes for relocation trees only and if applicable)

1. Flag all trees and palms to be transplanted with differentiating color than those to be saved or removed.

2. Tree Relocation process must be performed or supervised by ISA Certified Arborist.

3. Water the root zones to field capacity for 5 continuous days before root pruning. At a minimum soak the soil to a 4'-0" depth within a 6' radius.

Root prune a minimum of six weeks before relocation. Prune away all dead or damaged limbs or fronds. For trees, prune out 1/3 of the existing canopy by selectively trimming small internal branches. For palms, gather fronds above the bud and tie them loosely with jute twine to avoid damage.

4. Brace root pruned trees awaiting relocation.

5. Root prune 3rd of the root system, irrigate daily for 2 weeks then root prune another 1/3 rd, irrigate daily and prune last 1/3 rd on actual relocation date, no less than two weeks (six weeks total minimum root pruning by stages). ISA Arborist on staff shall observe for intense shock. Canopy pruning may be deemed necessary by Arborist on staff to balance for intense root ball loss, canopy shall be trimmed only as necessary to increase survival.

6. Root prune with proper clean equipment to sever roots. Ensure roots are not torn or pulled apart.

7. With hand tools, dig a 2'-0" wide by 3'-0" deep trench at a minimum distance as determined by the consulting arborist to expose roots. Cut all roots, 1.5" and larger in diameter with a clean, sharp pruning saw. Treat all cuts with a fungicidal barrier. Backfill the trench, within 4 hours of digging, with a 1:1 mixture of site soil and sawdust or other fine organic material. Do not compact.

8. Form a rootball size in compliance with Florida grades and Florida standards number 1 or better.

9. Maintain the soil moisture at field capacity throughout the six weeks.

10. Allow the plant to regenerate roots over a period of six weeks.

11. At the end of six weeks, prepare the planting pit at the new location. Overdig the hole diameter a minimum of 2' beyond the root ball, with the recipient hole to be at least 1/3 larger than the area that was trenched for transplanting.

12. With the consulting arborist present, undercut the entire root ball of the plants to be transplanted at a depth specified by the arborist. The undercutting method may be a choker cable drawn through the root ball with heavy equipment.

13. At the direction of a professional rigger, assemble slings, padding, guiding ropes and cables for attachment to the crane or backhoe. The professional rigger shall determine the size of machinery necessary to execute the lifting and moving operation.

14. Install trees within 24 hours of removal from their original location to locations provided by Landscape Architect or Developer with approval of municipal / Landscape Inspector.

15. Experienced Tree Spade operator shall move tree or experienced tree mover shall choose best means and methods to strap and rig tree for transporting safely without damage to new location.

16. Maintain trees in a healthy and vigorous condition during installation and throughout the plant establishment period. Replace trees that do not meet this requirement with the same species, size, and quality or per mitigation requirements specific to the governing agency with jurisdiction.

17. Fertilize the plant as directed by the consulting arborist.

18. When the plant is placed in the new location, backfill the planting pit with topsoil and water thoroughly to eliminate air pockets and compact the soil. Set the tree no deeper than its original condition.

19. Cover the root ball area with 3" depth of organic mulch.

20. Provide fungicide and fertility applications at the direction of the consulting arborist.

21. Post transplant watering to regulate moisture and reduce any excessive stress due to root desiccation. Watering to be adjusted according to conditions and at the supervision and direction of the ISA certified arborist.

22. The diameter of the root-pruning or transplanting circle shall be at a distance away from the trunk equal to 12 times each inch of trunk diameter at breast height.

23. For all palms except Sabal palmetto, the lower fronds shall be pruned leaving 9-11 fronds that can be tied without an extensive amount of weight that may damage the heart of the tree. The Sabal palmetto shall have all fronds cut without damaging the bud.

24. Transplanting must occur within 24 hours after being dug for relocation. Trees/palms should be kept in shade and the canopy kept moist.

25. Digging and preparation of the new hole for the transplant shall be done prior to removing the tree from the existing location.

26. The Landscape Contractor is to verify that all new holes have appropriate perforation.

27. Padding the sling may be necessary so that the trunk or "boots" are not damaged.

28. A 6" saucer shall be created around the edge of the plant pit to help hold water, see planting detail for additional information.

29. Over the guarantee period the Landscape contractor shall be responsible for resetting any trees or palms that are not vertical when caused by winds less than 74 mph.

30. After transplanting trees and palms, the landscape contractor shall be responsible for obtaining water and watering to maintain soil moisture during the guarantee period at a minimum of: First months- daily, Second month - three times per week, Third and Fourth months - two times per week, Last eight months - one time per week.

31. For trees over 4" in caliper at the time of planting, the schedule should be: First six weeks, daily, one and a half months to six months - three times per week, last six months - one time per week.

H

SITE PREPARATION & GRADING

1. Landscape contractor shall loosen and till compacted soils that are overly compacted in all planting areas of the project to provide for proper soil aeration for plant establishment.

2. Planting areas shall be cleared of underground rocks, construction debris and other materials detrimental to the health of the plants. Lime rock base material shall be removed within planting pits and adjacent to pavement. The planting areas should be clean to a depth equal to the root ball of the trees/palms proposed for the area. Planting area soils shall be tested for ph before planting. Soils showing high (alkaline) ph (over 7.5) shall be amended or replaced with native soil having a ph range of 6.5 - 7.5, as approved by Landscape Architect.

3. All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.

4. Landscape Contractor shall treat plant areas with pre-emergence herbicide after weeds and grass have been removed. Landscape Contractor shall wait (7) seven days after pre-emergence treatment prior to planting.

5. Site preparation shall include the eradication and removal of any weeds, clean-up of any dead material, debris, and rubbish.

6. General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading shall be provided by the Landscape Contractor. All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds and weed seeds. All lime rock shall be removed/cleaned down to the native soils.

7. The Landscape contractor shall ensure the planting areas are at finish grade prior to installing plant materials.

8. All trees and plant material to remain shall be protected during construction. Contractor shall install protective barriers such as "Tena" orange safety fencing or similar, to be installed before the beginning of the project. Barriers shall be located to include the drip line of the trees, palms and plant material. The contractor shall take extra caution to prevent any damage to the trunk, root zones and grade.

9. Final grade within planting areas to be 4" below adjacent paved areas or top of curb. Sod areas to be 2" below.

10. All planting beds shall be shaped and sloped to provide proper drainage away from building and structures and to swales, if applicable.

I

IRRIGATION

1. Any Irrigation Notes and specifications included in Irrigation Sheets govern over the following Irrigation Notes.

2. The Landscape Contractor shall coordinate with the irrigation contractor if not the same and leave provisions for all individual trees in turf areas and all planting beds.

3. Irrigation / Landscape contractor to guarantee 100% coverage and 50% overlap (head to head coverage) to all landscaped areas and furnish and install a rain sensor.

4. Irrigation Contractor to adapt design to onsite conditions adjusting heads and changing nozzles as required to avoid overspray onto buildings or paved areas.

5. The contractor shall ensure that the irrigation system is operational and free of leaks prior to any planting being finalized. Plant material that is installed prior to the irrigation system being operational shall be watered by the contractor at his or her expense. Water for plant establishment should be included in the cost of the plant.

6. All guidelines as outlined by the South Florida Water Management District (SFWMD) or water management district with jurisdiction shall be strictly adhered to.

7. Irrigation water whether pumped from a lake or a well shall be treated for algae, rust, etc. to provide clean treated irrigation water that will not clog or stain property or components.

8. Any existing irrigation system shall be retrofitted to comply with the specifications as outlined above.

J

HARDSCAPE & OTHER MATERIALS

1. Face of trees and palms to be located a minimum of 2' setback from all fences, walkways, walls, and paved surfaces, unless otherwise indicated on the plans. Refer to details.

K

UTILITIES / CLEARANCES

1. The contractor shall be responsible for determining the location of and avoid and protect utility lines, buried cables, and other utilities. The owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.

2. Trees shall be placed a minimum of 5 ft. from underground utilities, unless otherwise approved in writing by Landscape Architect and Owner.

3. All canopy trees to be planted min. of 15' from light source/poles. Unless otherwise approved by the governing authority / Landscape Architect and Owner.

4. Landscape contractor shall contact the county, governing authority and/or utility companies to locate all

L

ROOT BARRIERS

1. Root barriers will be installed to protect building foundations, curbing, walkways, paved areas, roadway base material and utilities from existing large trees or proposed new trees that are within 5' of existing or new approved construction and/or as may be deemed necessary as job progresses.

2. Mechanical Root barriers will be used for large existing Canopy Trees and chemical type barriers will be used for new trees.

3. Mechanical Root barriers will be "DeepRoot" and Chemical Root barriers will be "Biobarrier". Substitutions must be of approved equal or better quality.

4. Root barriers will be installed per manufacturer specifications.

5. Root barrier depths will be determined by the manufacturer recommended depth chart and as required by on-site conditions in a case by case basis as deemed necessary by Landscape Architect / ISA Arborist and Landscape Inspector.

M

LANDSCAPE BACKFILL & SOIL AMENDMENT

1. All building construction material and foreign material shall be removed from the planting areas and replaced with 70/30 mix (70% sand / 30% organic compost) in a clean existing soils per section H.2.

2. Planting soil mix shall be delivered to the site on a medium loose and friable condition and is required around the root ball of all trees and shrubs, the top 6" of all shrubs and ground cover beds and top 2" of all grassed areas. This soil shall be tilled into the existing soil after the existing soil has been cleared of all undesirable foreign materials. Recycled concrete shall not be employed as a soil amendment alternative. Planting soil to be weed free.

3. Planting backfill for palms shall be clean coarse native sand unless specified elsewhere.

4. Do not allow air pockets to form when backfilling. All trees shall be watered-in utilizing water probe or a tree bar.

N

PLANT SIZE & QUALITY

1. All plant material must meet or exceed the minimum size requirements as specified on the plant list. Height specification governs over container size if both specifications given cannot be met. Any other requirements for specific shape or effect as noted on the plan shall also be required for acceptance.

2. Material specified as Balled and Burlapped (B&B) can be accepted in container if not available as B&B at the discretion of Landscape Architect; if so, root bound and/or circling roots shall be removed and root ball must be proportionate to Tree / Palm.

3. U.O.N. All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trunks on palms shall be uniform in thickness for the entire length of the palm and shall not taper off to disproportionate thinness towards the crown. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.

4. Use nursery grown plant materials that complies with all required inspection, grading standards, and plant regulations in accordance with the latest edition of Florida Department of Agriculture, "Grade & Standards for Nursery Plants".

5. All trees and palms shall be free of open wounds and unsightly visible scars.

6. All substitutions must be approved by the governing authority if it is required Canopy and by Landscape Architect / Owner if supplementary accent material.

7. Contractor shall comply with Federal, State, and Local laws and regulations pertaining to the inspection for plant disease and insect infestation.

8. Trees, palms, shrubs, ground covers: Plant species and sizes shall conform to those indicated on the drawings. All nursery stock shall be in accordance with grades and standards for nursery plants parts 1 and 2, latest edition published by the Florida Department of Agriculture and Consumer Services, unless specified otherwise. All plants shall be Florida grade number 1 or better as determined by the Florida Division of Plant Industry and tightly knif plant, so trained or favored in its development that first appearance is unquestionable and it is outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be freshly dug, sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae and shall have adequate root systems. Trees and palms shall be uniform in size and shape. All materials shall be subject to approval by the Landscape architect. Plants shall be pruned prior to delivery only upon the approval of the Landscape Architect.

9. All container grown material shall be healthy, vigorous, well-rooted plants and established in the container in which they are sold. The plants shall have tops of good quality and be in a healthy growing condition. An established container grown plant shall be transplanted into a container and grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container.

10. Field grown trees and palms previously root pruned shall obtain a root ball with sufficient roots for continued growth without resulting shock.

11. Root suckers on any tree are not acceptable and must be properly pruned.

12. Contractor shall coordinate with Landscape Architect and Owner to obtain prior approval for the selection of the specific specimens of all palms and any trees of more than six feet in height. Contractor to supply photograph of trees prior to purchase and installation.

O

PLANTING NOTES

1. At the discretion of the Landscape Architect, plants are subject to review for approval for size, variety, condition and appropriateness to the design intent.

2. All synthetic burlap, synthetic string or cords, or wire baskets shall be removed before any trees are planted. All synthetic tape (i.e. tagging tape, nursery tape) shall be removed from trunks, branches, etc. before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before the trees are back filled.

3. All "groundcover" requires 75% coverage and 100% within 3 months of installation. Bring to the attention of Landscape Architect in writing before commencing if this is not achievable with the design.

4. Set tree no deeper than it was in its original growing condition with the top of the root ball even with, or slightly higher (+/- 1") than the finished grade.

5. All trees/palms shall be planted so the top of the root ball, root flair are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade.

6. All trees and palms shall be braced / staked per accepted standards by the Florida Nursery, Growers & Landscape Association (FNGLA). Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.

7. All trees, new or relocated, to be staked and guyed as detailed.

8. Layout shrubs to create a continuous smooth front line and fill in behind with triangular spacing.

9. Excavate pit or trench to 1-1/2 times the diameter of the balls or containers or 1' wider than the spread of roots and 3" deeper than required for positioning at proper height. Compact a layer of topsoil in bottom before placing plants. Backfill around plants with planting mixture, compacted to eliminate voids and air pockets. Form grade slightly dishd and bermed at edges of excavation. Apply 3" of mulch.

10. Groundcover and shrubs to be spaced in a uniform and consistent pattern per planting details.

11. All mechanical equipment, irrigation pumps, FPL transformers, pool pumps, etc. shall be screened on a minimum of three sides by landscape shrubs.

12. Contractor shall not mark or scar trunks in any fashion.

13. When requested by Landscape Architect, demonstration of healthy root system if not previously approved, can include tree removal and re-installation for inspection at no additional cost to the owner.

14. Remove rejected Plant material from the Site immediately and replace with acceptable plants.

P

FERTILIZATION

1. All Fertilization shall comply with state fertilization laws. Fertilization shall be Agriform "20-10-5 Plus minors" or similar approved slow-release tablets applied per manufacturer suggested application rate chart:  
  
Agriform® 21-gm Tablets (SKU# 90026"; 500 tablets/case)  
NEW Tree / Shrub Container Size  
1 Gal 2 Gal 3 Gal 5 Gal 7 Gal 15 Gal 24" Box  
Installation: 1 1 to 2 2 to 3 2 to 3 3 to 5 7 to 10 15 to 24

Q

SOD

1. All areas disturbed during construction shall be sodded with St. Augustine 'Seville' unless otherwise noted.

These disturbed areas shall have proper irrigation established or re-established if they were disrupted or non-functional.

2. Landscape Contractor to supply and install 2" soil layer 50/50 mix blanket for all new sod areas.

3. All open areas not covered by trees, palms, shrubs, vines, ground covers or existing sod in good condition to remain, shall receive Stenotaphrum Secundatum, St. Augustine 'Seville' sod, whether labeled on the plans or not, unless a different species is indicated on the planting plan. Sod shall be strongly rooted, free from weed, fungus, insects and disease. Contractor shall be paid by the total sodded area x the unit price submitted (field verified).

4. Sod shall be machine stripped no more than 24 hours prior to laying.

5. Lay sod strips with tight joints, do not overlap, stagger strips to offset joints in adjacent courses. Work sifted soil mix into minor cracks between pieces of sod and remove excess soil deposits from sodded areas. Sod on slopes greater than 3:1 shall be immediately staked after planting.

R

SUBMITTALS

1. Submit 1 gallon container of all planting media for landscape architect review. Samples to include specified planting mix, topsoil, container planting mix (if applicable) and mulch.

2. Submit representative nursery photos of all Trees and Palms for review prior to delivery to the site. Include scale for height.

3. Submit representative nursery photos of all shrub and groundcover material for review prior to delivery to the site.

S

INSPECTION & ACCEPTANCE

1. Notify the governing Agency if required and Landscape Architect of commencement.

2. Onsite plant deliveries shall occur on Monday through Friday only unless otherwise directed by the Landscape Architect / Owner. The contractor shall ensure that plant material is delivered undamaged from transportation or digging operations. The Landscape Architect may reject material that has been damaged or rendered unacceptable due to relocation or transportation from the point of origin. All plant material shall be available for inspection and approval by the Landscape Architect prior to final installation.

3. There shall be one final inspection for approval by each of the presiding governing agency, Landscape Architect and owner. Contractor shall ensure that the plans, details, specifications and notes have been adhered to and that the landscape and irrigation installation is compliant to all items as directed on the plans prior to scheduling of the final inspection.

4. Upon completion of the work, the Landscape Contractor shall notify the Landscape Architect and request a final inspection. Any items that are judged incomplete or unacceptable by the Landscape Architect or owner shall be promptly corrected by the Landscape Contractor.

5. No substitution of plant material, type or sizes will be permitted without prior written authorization from the Landscape Architect and owner.

6. To obtain final payment, Contractor must provide release of all mechanic's liens and material liens.

T

MULCH

1. All planting beds shall be mulched to a depth of 3" with an organic mulch approved by Landscape Architect. No heavy metals, such as arsenic, etc. are to be contained in the mulch. The contractor shall provide certification if requested or proof that all mulch is free of heavy metals or similar environmental contaminants.

2. Shredded approved organic mulch to be used beyond trunk in all directions and throughout all hedges and plant material.

3. All trees in sodded areas shall have a clean cut 4' diameter mulch ring.

4. Preferred mulch is shredded melaleuca, Cypress, red, gold and green mulch is prohibited.

5. All mulch shall have a minimum 3" separation from the trunk of the tree/palm trunk to avoid rotting.

U

WATERING

1. All plant material shall be watered in thoroughly at the time of planting.

2. It is the sole responsibility of the Landscape Contractor to ensure that all new plantings receive adequate water during the installation and until completion of contract. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to ensure proper plant establishment and development and shall be provided by Contractor as a part of this contract.

V

CLEAN UP

1. The Landscape Contractor is responsible for maintaining all landscape planting areas until final acceptance of the owner.

2. The contractor is responsible for mowing the entire project during planting and establishment periods, based on mowing project once a month from October to April, and twice a month from April to October. (During installation and plant establishment only and until final inspection and owner accepts and takes ownership).

3. Any excess soil, undesired stones or debris resulting from landscape operations shall be removed promptly, keeping the site clean as work progresses.

4. The Landscape Contractor shall at all times keep the premises free from accumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all waste materials, debris, unused plant material, empty plant containers, and all equipment from the project site.

W

MAINTENANCE

1. Landscape Contractor to return to job site 12 months after tree bracing and remove all tree braces. Owner may choose to retain 5% of payment to ensure compliance.

2. The Landscape Contractor shall water, mulch, weed, prune, and otherwise maintain all plants, including sod, until completion of contract or acceptance by landscape architect. Settled plants shall be reset to proper grade, planting saucers restored, and defective work corrected.

3. Trees and shrubs shall be maintained to keep clearance of stop signs and safety clearance for visibility at traffic intersection.

X

GUARANTEE & REPLACEMENT

1. By accepting the contract, the Contractor is thereby guaranteeing all plant materials and design for a period of not less than one (1) year from the time of final acceptance by the owner. Contractor shall replace any plants which die or wither within such period with healthy plants that meet specifications of the same species and size without additional cost to the owner unless such death or withering is due to Owner's failure to do ordinary maintenance on such plants after final acceptance in accordance with any maintenance instructions given by Landscape Architect for such plants. Such replacement shall include all plants and labor to plant the replacement plants. Any plant materials damaged by lightning, storms, freeze damage or other "acts of God" as well plants damaged by vehicles, vandalism or neglect are not included in this replacement agreement. If requested, the Landscape Architect may act as a mediator between owner and Landscape Contractor on a time material basis. "Plants" includes all trees, palms, shrubs, grass and other plants provided or planted by Contractor.

Y

MISCELLANEOUS

1. All work to be done in a professional manner.

2. No change order shall be valid, due or paid unless it is approved by Owner in writing in advance.

3. These notes shall be an integral part of the contract of Contractor and shall be deemed incorporated therein by reference. In the event of a conflict among the terms among the plans and these notes, the terms of this document shall control.

Z

ABBREVIATIONS IN NOTES AND PLANS

UNO = Unless Otherwise Noted  
L A = Landscape Architect  
S.F. = Square Feet  
STD = Standard (single trunk)  
B&B = Balled and Burlapped  
BLDG DEP = Building Department  
RFI = Request for Information  
FPL = Florida Power & Light  
C.O. = Certificate of Occupancy  
ISA CA = ISA Arborist = International Society of Arboriculture Certified Arborist

REVISIONS

NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22

DESIGNED BY: MH, LW, AS

DRAWN BY: MH, AS

CHECKED BY: KS, PW

BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.  
FLORIDA REG. NO. LA666804  
(FOR THE FIRM)

CLIENT

CITY OF FORT LAUDERDALE

PROJECT

NEW POLICE HEADQUARTERS  
1300-1350 WEST BROWARD BLVD

SHEET TITLE

PLANTING NOTES

SHEET NUMBER

LP-001

PROJECT NUMBER

11112.00

STATUS: 100% SUBMISSION

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

CAM #22-0702  
Exhibit 2  
Page 51 of 65







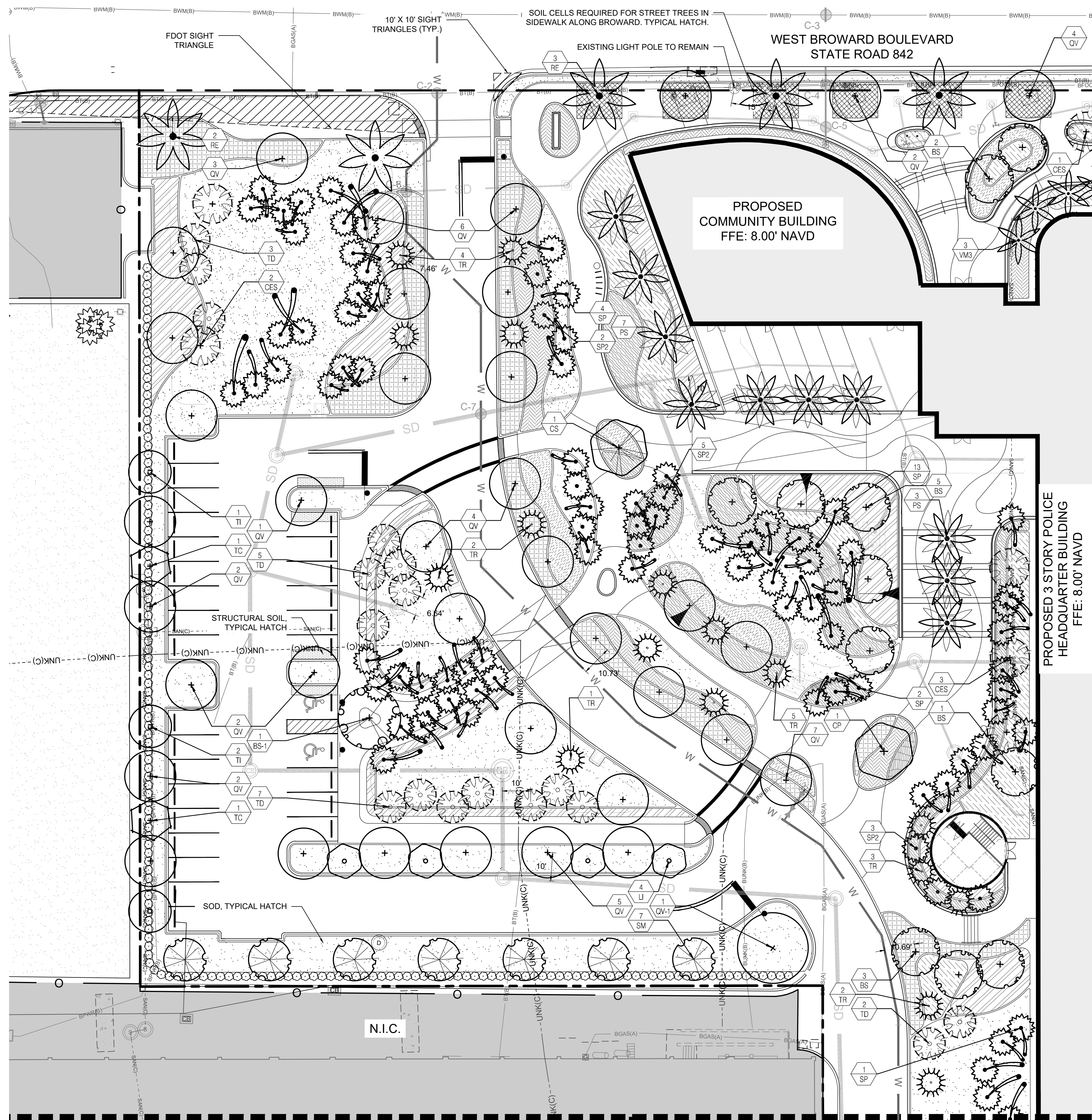


QUICK REFERENCE PLANT LIST. SEE SHEET LP-002  
FOR COMPLETE PLANT LIST AND NOTES

## PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME
BS	11	BURSERA SIMARUBA GUMBO LIMBO
BS-1	3	BURSERA SIMARUBA SPECIMEN GUMBO LIMBO
CP	1	CEIBA PENTANDRA KAPOK TREE
CS	1	CEIBA SPECIOSA FLOSS SILK TREE
CES	15	CONOCARPUS ERECTUS `SERICEUS` SILVER BUTTONWOOD
LI	4	LAGERSTROEMIA INDICA CRAPE MYRTLE
MF	10	MYRCIANTHES FRAGRANS SIMPSON`S STOPPER
QV	46	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
QV-1	1	QUERCUS VIRGINIANA SPECIMEN SOUTHERN LIVE OAK
SM	13	SWIETENIA MAHAGONI MAHOGANY
TC	2	TABEBUIA CARAIBA YELLOW TABEBUIA
TI	3	TABEBUIA IMPETIGINOSA PURPLE TRUMPET TREE
TD	24	TAXODIUM DISTICHUM BALD CYPRESS

PALMS	QTY	BOTANICAL / COMMON NAME
PR	1	PHOENIX RECLINATA SENEGAL DATE PALM
PS	10	PHOENIX SYLVESTRIS WILD DATE PALM
RE	8	ROYSTONEA ELATA FLORIDA ROYAL PALM
SP2	23	SABAL PALMETTO CABBAGE PALMETTO
SP	98	SABAL PALMETTO CABBAGE PALMETTO
TR	23	THRINAX RADIATA FLORIDA THATCH PALM
VM3	41	VEITCHIA MONTGOMERYANA MONTGOMERY PALM



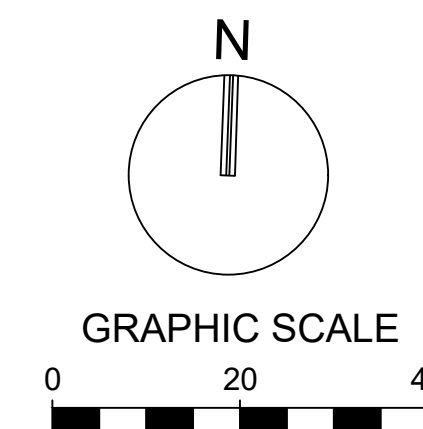
MATCH LINE: REF. SHEET LP-103

PROPOSED 3 STORY POLICE  
HEADQUARTER BUILDING  
FFE: 8.00' NAVD

**MATCH LINE: REF. SHEET LP-102**

## NOTES

1. SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
2. ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
3. ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
4. BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
5. CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
6. PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
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8. NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.
9. ALL CATEGORY 1 EXOTIC/INVASIVE TREES TO BE REMOVED PER LOCAL ORDINANCE.



NOTE: PRINTED DRAWING SIZE MAY HAVE  
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SCALE USING BAR SCALE ABOVE.



**301 East Atlantic Blvd.  
Pompano Beach, FL 33060  
PH: (954) 788-3400**

Florida Engineering Business License: CA7928  
Florida Surveyor and Mapper Business License: LB6860  
Florida Landscape Architecture Business License: LC2600045

[illegible]

RESPONSIBILITY FOR THE USE OF THESE  
PLANS PRIOR TO OBTAINING PERMITS FROM  
ALL AGENCIES HAVING JURISDICTION OVER  
THE PROJECT WILL FALL SOLELY UPON THE  
USER.

ISSUE DATE:	04/04/22
-------------	----------

DESIGNED BY: MH, LW, AS

DRAWN BY: MH, AS

CHECKED BY: KS, PW

BID-CONTRACT:

**PAUL H. WEINBERG, R.L.A.**  
**FLORIDA REG. NO. LA6666804**  
**(FOR THE FIRM)**

CLIENT

CITY OF FORT  
LAUDERDALE

PROJECT

**NEW POLICE  
HEADQUARTERS  
1300-1350 WEST  
BROWARD BLVD**

SHEET TITLE

## CANOPY PLANTING PLAN

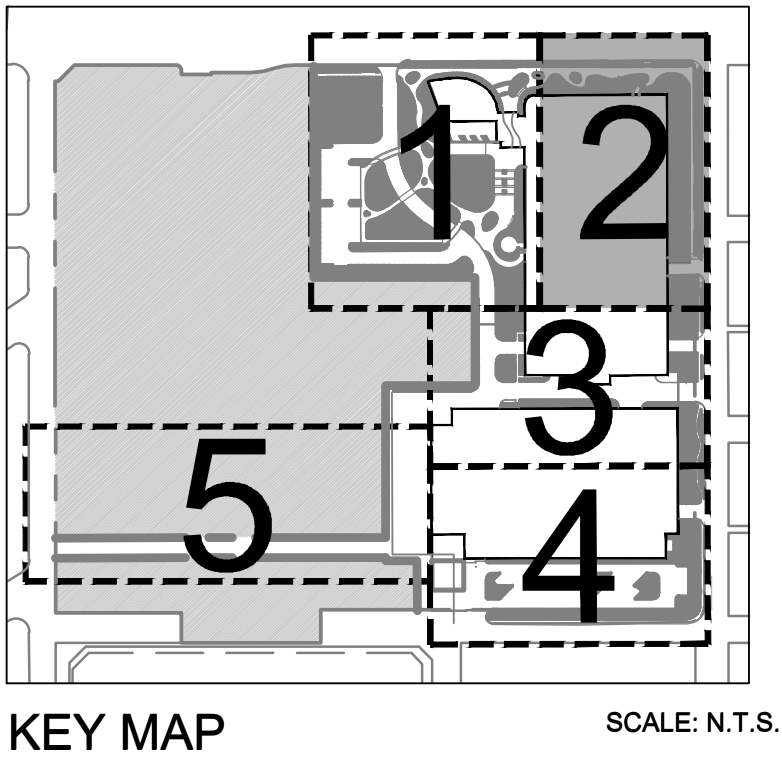
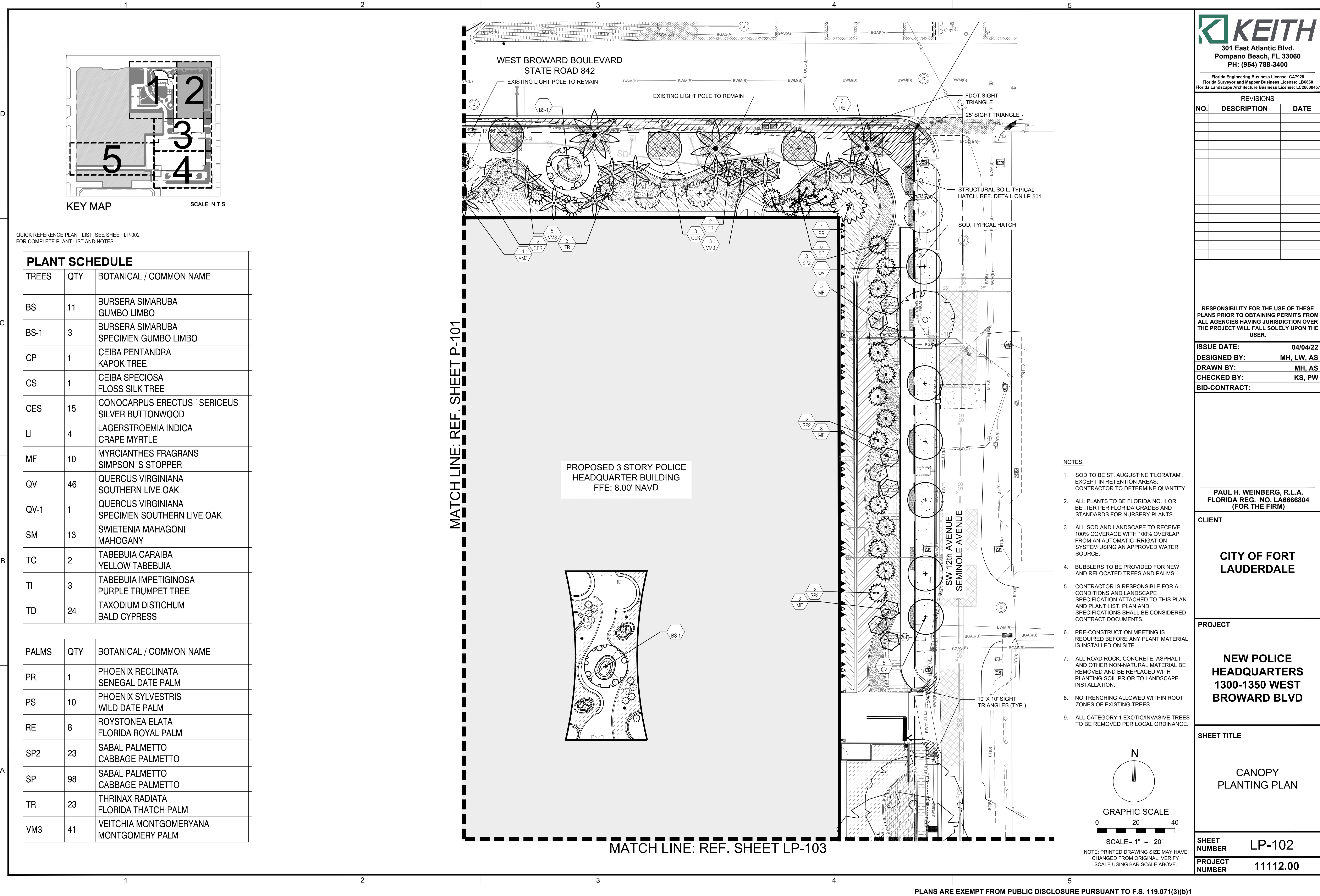
SHEET  
NUMBER LP-101

PROJECT NUMBER	11112.00
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PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1

STATUS: 100% SUBMISSION





QUICK REFERENCE PLANT LIST. SEE SHEET LP-002 FOR COMPLETE PLANT LIST AND NOTES

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME
BS	11	BURSERA SIMARUBA GUMBO LIMBO
BS-1	3	BURSERA SIMARUBA SPECIMEN GUMBO LIMBO
CP	1	CEIBA PENTANDRA KAPOK TREE
CS	1	CEIBA SPECIOSA FLOSS SILK TREE
CES	15	CONOCARPUS ERECTUS `SERICEUS` SILVER BUTTONWOOD
LI	4	LAGERSTROEMIA INDICA CRAPE MYRTLE
MF	10	MYRCIANTHES FRAGRANS SIMPSON`S STOPPER
QV	46	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
QV-1	1	QUERCUS VIRGINIANA SPECIMEN SOUTHERN LIVE OAK
SM	13	SWIETENIA MAHAGONI MAHOGANY
TC	2	TABEBUIA CARAIBA YELLOW TABEBUIA
TI	3	TABEBUIA IMPETIGINOSA PURPLE TRUMPET TREE
TD	24	TAXODIUM DISTICHUM BALD CYPRESS
PALMS	QTY	BOTANICAL / COMMON NAME
PR	1	PHOENIX RECLINATA SENEGAL DATE PALM
PS	10	PHOENIX SYLVESTRIS WILD DATE PALM
RE	8	ROYSTONEA ELATA FLORIDA ROYAL PALM
SP2	23	SABAL PALMETTO CABBAGE PALMETTO
SP	98	SABAL PALMETTO CABBAGE PALMETTO
TR	23	THRINAX RADIATA FLORIDA THATCH PALM
VM3	41	VEITCHIA MONTGOMERYANA MONTGOMERY PALM

301 East Atlantic Blvd.  
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PH: (954) 788-3400

Florida Engineering Business License: CA7928  
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Florida Landscape Architecture Business License: LC26000457

REVISIONS		
NO.	DESCRIPTION	DATE

RESPONSIBILITY FOR THE USE OF THESE PLANS PRIOR TO OBTAINING PERMITS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT WILL FALL SOLELY UPON THE USER.

ISSUE DATE: 04/04/22  
DESIGNED BY: MH, LW, AS  
DRAWN BY: MH, AS  
CHECKED BY: KS, PW  
BID-CONTRACT:

PAUL H. WEINBERG, R.L.A.  
FLORIDA REG. NO. LA666804  
(FOR THE FIRM)

CLIENT

CITY OF FORT LAUDERDALE

PROJECT

NEW POLICE HEADQUARTERS  
1300-1350 WEST BROWARD BLVD

SHEET TITLE

CANOPY PLANTING PLAN

SHEET NUMBER LP-102  
PROJECT NUMBER 11112.00

STATUS: 100% SUBMISSION





QUICK REFERENCE PLANT LIST. SEE SHEET LP-002  
FOR COMPLETE PLANT LIST AND NOTES

TREES	QTY	BOTANICAL / COMMON NAME
BS	11	BURSERA SIMARUBA GUMBO LIMBO
BS-1	3	BURSERA SIMARUBA SPECIMEN GUMBO LIMBO
CP	1	CEIBA PENTANDRA KAPOK TREE
CS	1	CEIBA SPECIOSA FLOSS SILK TREE
CES	15	CONOCARPUS ERECTUS `SERICEUS` SILVER BUTTONWOOD
LI	4	LAGERSTROEMIA INDICA CRAPE MYRTLE
MF	10	MYRCIANTHES FRAGRANS SIMPSON`S STOPPER
QV	46	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
QV-1	1	QUERCUS VIRGINIANA SPECIMEN SOUTHERN LIVE OAK
SM	13	SWIETENIA MAHAGONI MAHOGANY
TC	2	TABEBUIA CARAIBA YELLOW TABEBUIA
TI	3	TABEBUIA IMPETIGINOSA PURPLE TRUMPET TREE
TD	24	TAXODIUM DISTICHUM BALD CYPRESS

PLANT CODE	QTY	COMMON NAME, SCIENTIFIC NAME
PR	1	PHOENIX RECLINATA SENEGAL DATE PALM
PS	10	PHOENIX SYLVESTRIS WILD DATE PALM
RE	8	ROYSTONEA ELATA FLORIDA ROYAL PALM
SP2	23	SABAL PALMETTO CABBAGE PALMETTO
SP	98	SABAL PALMETTO CABBAGE PALMETTO
TR	23	THRINAX RADIATA FLORIDA THATCH PALM
VM3	41	VEITCHIA MONTGOMERYANA MONTGOMERY PALM

N.I.C.

PROPOSED 3 STORY POLICE HEADQUARTER BUILDING  
FFE: 8.00' NAVD

PROPOSED 3 STORY PARKING GARAGE  
FFE: 8.00'

10' X 10' SIGHT TRIANGLES (TYP.)

SOD, TYPICAL HA

10' X 10' SIGHT TRIANGLES (TYP.)

SW 12th AVENUE  
SEMINOLE AVENUE

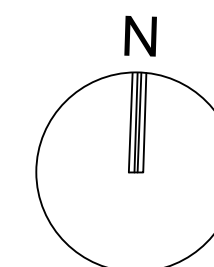
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NOTES:

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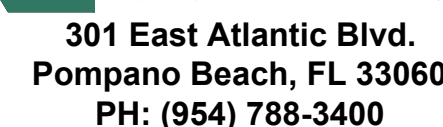
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GRAPHIC SCALE

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[illegible]

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ISSUE DATE:	04/04/22
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DESIGNED BY: MH, LW, AS

DRAWN BY: MH, AS

CHECKED BY: KS, PW

**BID-CONTRACT:**

PAUL H. WEINBERG, R.L.A.  
FLORIDA REG. NO. LA666680  
(FOR THE FIRM)

## CLIENT

CITY OF FORT  
LAUDERDALE

PROJECT

**NEW POLICE  
HEADQUARTERS  
1300-1350 WEST  
BROWARD BLVD**

SHEET TITLE F

## CANOPY PLANTING PLAN

SHEET NUMBER LP-103

PROJECT NUMBER	11112.00
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STATUS: 100% SUBMISSION

PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)



[illegible]

ISSUE DATE:	04/04/22
DESIGNED BY:	MH, LW, AS
DRAWN BY:	MH, AS
CHECKED BY:	KS, PW
BID-CONTRACT:	

CLIENT

**CITY OF FORT  
LAUDERDALE**

PROJECT

**NEW POLICE  
HEADQUARTERS  
1300-1350 WEST  
BROWARD BLVD**

SHEET TITLE

CANOPY  
PLANTING PLAN

SHEET NUMBER	LP-104
PROJECT NUMBER	11112.00

**STATUS: 100% SUBMISSION**



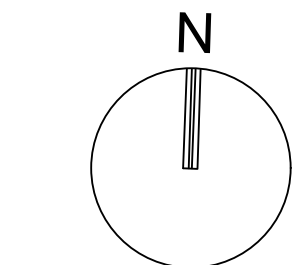
## PLANT SCHEDULE

PALMS	QTY	BOTANICAL / COMMON NAME
PR	1	PHOENIX RECLINATA SENEGAL DATE PALM
PS	10	PHOENIX SYLVESTRIS WILD DATE PALM
RE	8	ROYSTONEA ELATA FLORIDA ROYAL PALM
SP2	23	SABAL PALMETTO CABBAGE PALMETTO
SP	98	SABAL PALMETTO CABBAGE PALMETTO
TR	23	THRINAX RADIATA FLORIDA THATCH PALM
VM3	41	VEITCHIA MONTGOMERYANA MONTGOMERY PALM


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4. BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.

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GRAPHIC SCALE

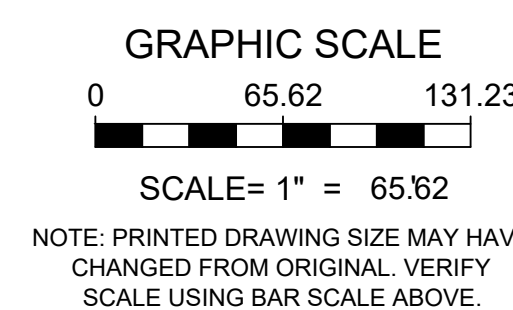


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NOTE: PRINTED DRAWING SIZE MAY HAVE  
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**PLANS ARE EXEMPT FROM PUBLIC DISCLOSURE PURSUANT TO F.S. 119.071(3)(b)1**





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[illegible]

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DRAWN BY:	MH, AS
CHECKED BY:	KS, PW
BID-CONTRACT:	

PAUL H. WEINBERG, R.L.A.  
FLORIDA REG. NO. LA6666804  
(FOR THE FIRM)

CLIENT

CITY OF FORT  
LAUDERDALE

PROJECT

**NEW POLICE  
HEADQUARTERS  
1300-1350 WEST  
BROWARD BLVD**

SHEET TITLE

## CANOPY PLANTING PLAN

SHEET NUMBER LP-105

PROJECT NUMBER	11112.00
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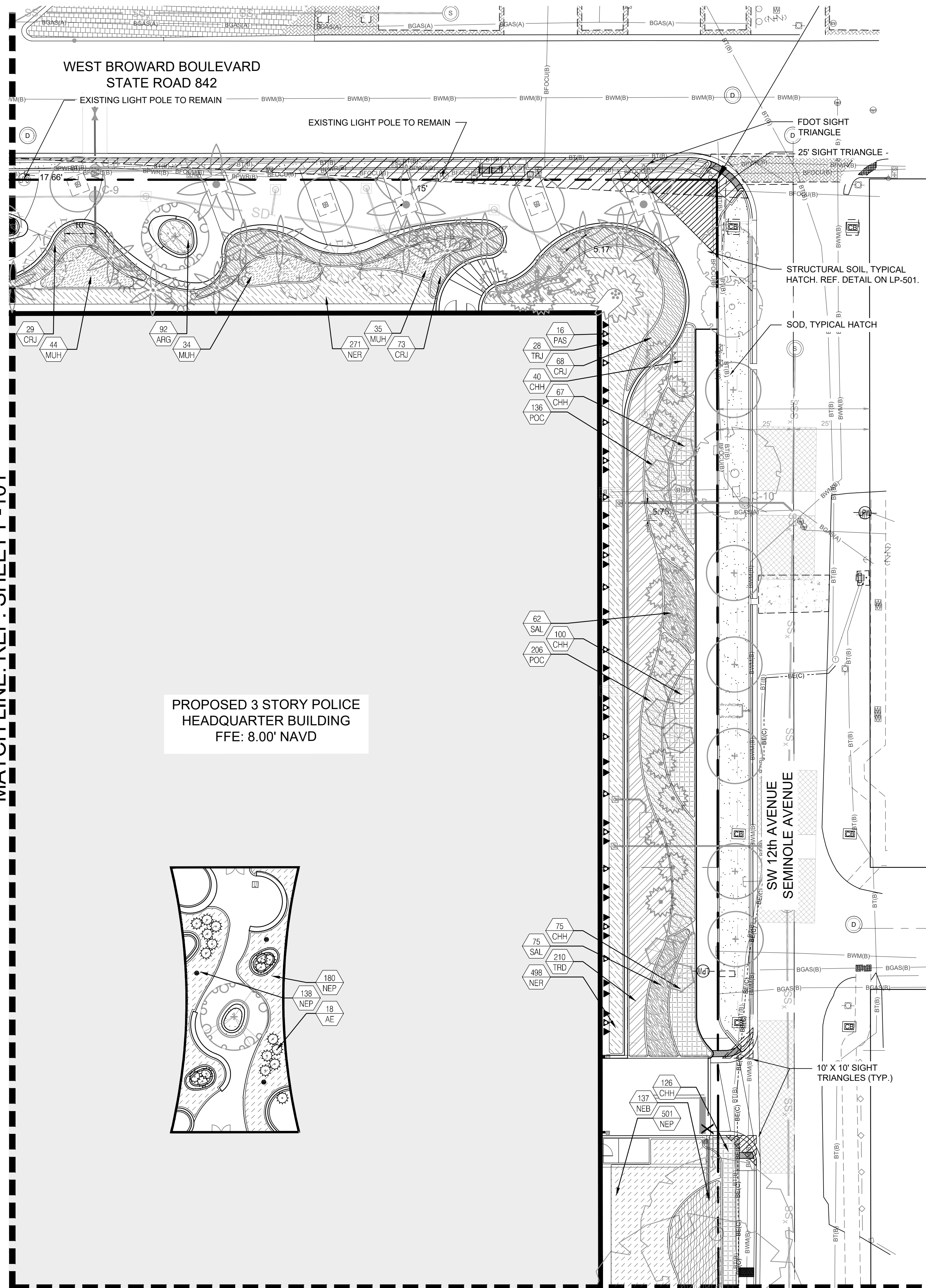
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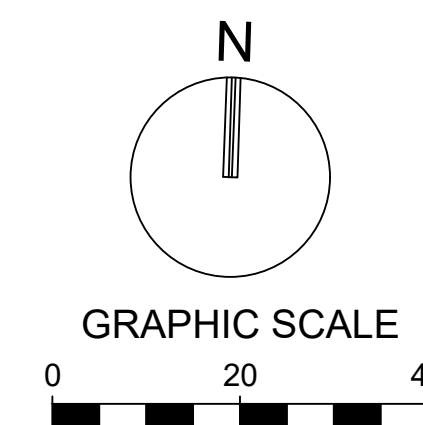
QUICK REFERENCE PLANT LIST. SEE SHEET LP-002  
FOR COMPLETE PLANT LIST AND NOTES

SHRUBS	QTY	BOTANICAL / COMMON NAME
AE	18	ACCENT SHRUBS BROMELIADS, ALOCASIAS
CON	286	CONOCARPUS ERECTUS GREEN BUTTONWOOD HEDGE
VINE	QTY	BOTANICAL / COMMON NAME
PAS	16	PASSIFLORA INCARNATA PASSION FLOWER VINE
TRJ	28	TRACHELOSPERMUM JASMINOIDES 'CONFEDERATE' CONFEDERATE JASMINE
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME
ARG	394	ARACHIS GLABRATA PERENNIAL PEANUT
CHH	1,387	CHRYSOBALANUS ICACO `HORIZONTALIS` HORIZONTAL COCOPLUM
CHR	20	CHRYSOBALANUS ICACO `RED TIP` RED TIP COCOPLUM
CRJ	4,292	CRINUM JAGUS ST. CHRISTOPHER LILY
MUH	353	MUHLENBERGIA CAPILLARIS PINK MUHLY GRASS
NEB	137	NEPHROLEPIS BISERRATA `MACHO FERN` MACHO FERN
NEP	819	NEPHROLEPIS EXALTATA BOSTON FERN
NER	1,605	NERIUM OLEANDER 'PETITE PINK' OLEANDER
PEN	552	PENNISETUM SETACEUM WHITE FOUNTAIN GRASS
POC	342	PONTEDERIA CORDATA PICKEREL WEED
SAL	137	SAGITTARIA LATIFOLIA LANCE-LEAFED ARROWHEAD
TRD	794	TRIPSACUM DACTYLOIDES FAKAHATCHEE GRASS



NOTES:

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USER.

ISSUE DATE:	04/04/22
DESIGNED BY:	MH, LW, AS
DRAWN BY:	MH, AS
CHECKED BY:	KS, PW
BID-CONTRACT:	

PAUL H. WEINBERG, R.L.A.  
FLORIDA REG. NO. LA6666804  
(FOR THE FIRM)

**CLIENT**

**CITY OF FORT  
LAUDERDALE**

PROJECT

**NEW POLICE  
HEADQUARTERS  
1300-1350 WEST  
BROWARD BLVD**

SHEET TITLE

## UNDERSTORY PLANTING PLAN

SHEET NUMBER LP-202

PROJECT NUMBER	11112.00
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STATUS: 100% SUBMISSION



[illegible]

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CHECKED BY:	KS, PW
BID-CONTRACT:	

CLIENT

**CITY OF FORT  
LAUDERDALE**

SHEET TITLE

UNDERSTORY  
PLANTING PLAN

PERMISSION

**STATUS: 100% SUBMISSION**

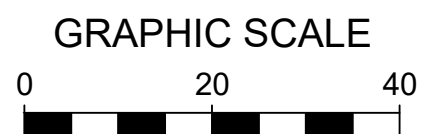


QUICK REFERENCE PLANT LIST. SEE SHEET LP-002  
FOR COMPLETE PLANT LIST AND NOTES

[illegible]

1. SOD TO BE ST. AUGUSTINE "FLORATAM", EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
2. ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
3. ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
4. BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.

5. CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
6. PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
7. ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
8. NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.
9. ALL CATEGORY 1 EXOTIC/INVASIVE TREES TO BE REMOVED PER LOCAL ORDINANCE.



NOTE: PRINTED DRAWING SIZE MAY HAVE  
CHANGED FROM ORIGINAL. VERIFY  
SCALE USING BAR SCALE ABOVE.



[illegible]

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**CITY OF FORT  
LAUDERDALE**

**SHEET TITLE**

**UNDERSTORY  
PLANTING PLAN**

SHEET NUMBER	LP-204
PROJECT NUMBER	11112.00

MATCH LINE: REF. SHEET LP-103



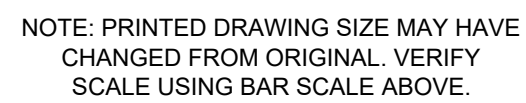
QUICK REFERENCE PLANT LIST. SEE SHEET LP-002  
FOR COMPLETE PLANT LIST AND NOTES

MATCH LINE: REF. SHEET LP-105

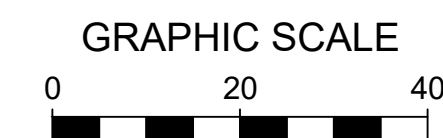
1. SOD TO BE ST. AUGUSTINE "FLORATAM", EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
2. ALL PLANTS TO BE FLORIDA NO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
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8. NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.

9. ALL CATEGORY 1 EXOTIC/NATIVE TREES TO BE REMOVED PER LOCAL ORDINANCE.







SCALE= 1" = 20'

NOTE: PRINTED DRAWING SIZE MAY HAVE  
CHANGED FROM ORIGINAL. VERIFY  
SCALE USING BAR SCALE ABOVE.

## UNDERSTORY PLANTING PLAN

SHEET NUMBER	LP-205
PROJECT NUMBER	11112.00

STATUS: 100% SUBMISSION





BRACING PLAN

60°

60°

SET PALM HEADS STRAIGHT.  
NOT AT AN ANGLE

(5) - 2"X4"X18" WOOD BATTENS. ATTACH WITH 2 STEEL BANDS; DO NOT NAIL BATTENS TO PALM. HEIGHT OF BATTENS SHALL BE LOCATED IN RELATION TO THE HEIGHT OF THE PALM FOR ADEQUATE BRACING.

MINIMUM (3) - 2X4 WOOD BRACES. NAIL TO BATTENS AND TO 2X4 STAKES (DO NOT PIERCE TRUNK).

TOP OF ROOTBALL TO BE EVEN OR 1" ABOVE FINISH GRADE; BACK FILL WITH CLEAN SAND OR SPECIFIED PLANTING SOIL; REF. LP-201, SECTION M.

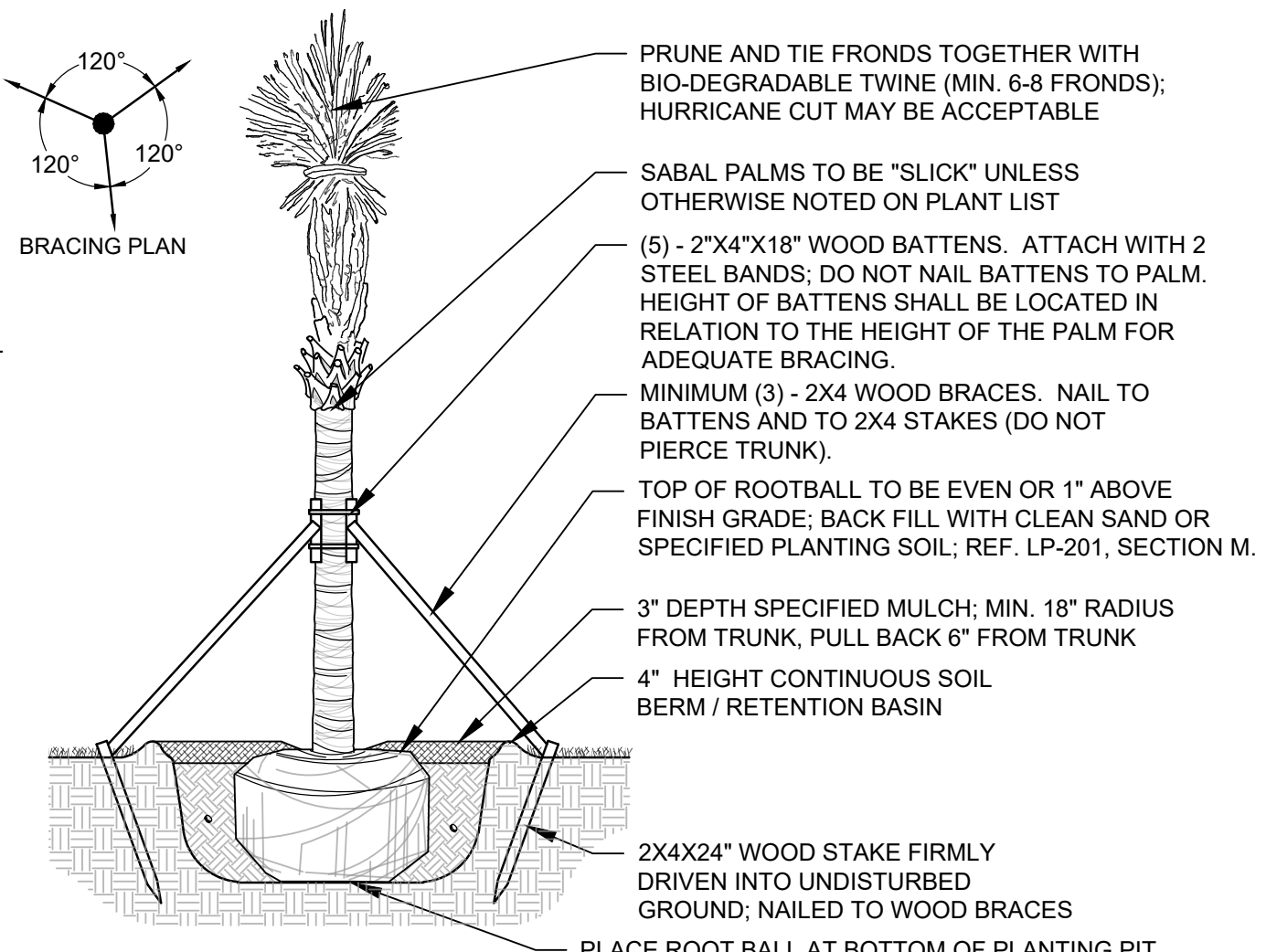
4" HEIGHT CONTINUOUS SOIL BERM / RETENTION BASIN

2X4X24" WOOD STAKE FIRMLY DRIVEN INTO UNDISTURBED GROUND; NAILED TO WOOD BRACES

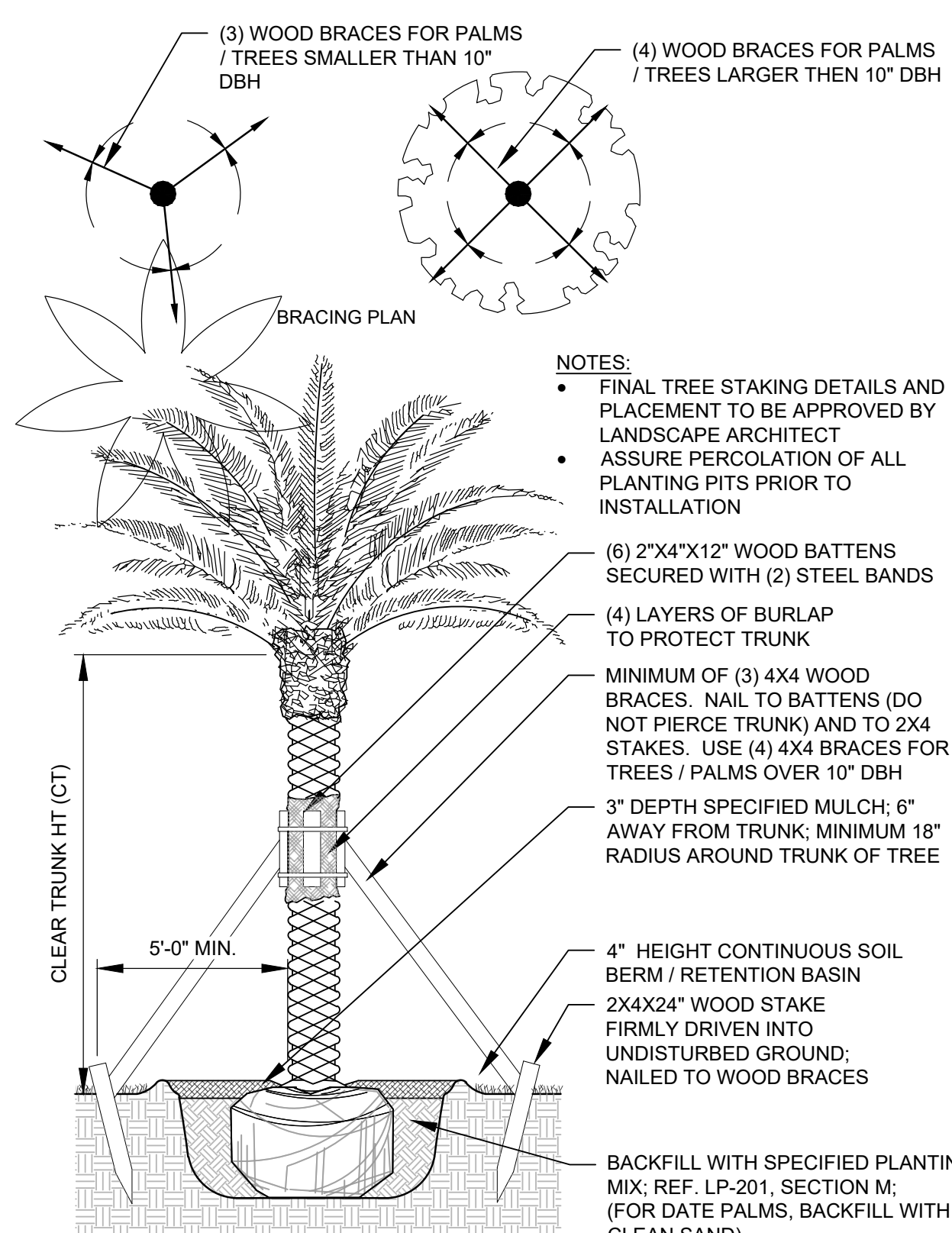
PLACE ROOT BALL AT BOTTOM OF PLANTING PIT ON 4"-6" LAYER OF COMPACTED PLANTING MIX

**CURVED**

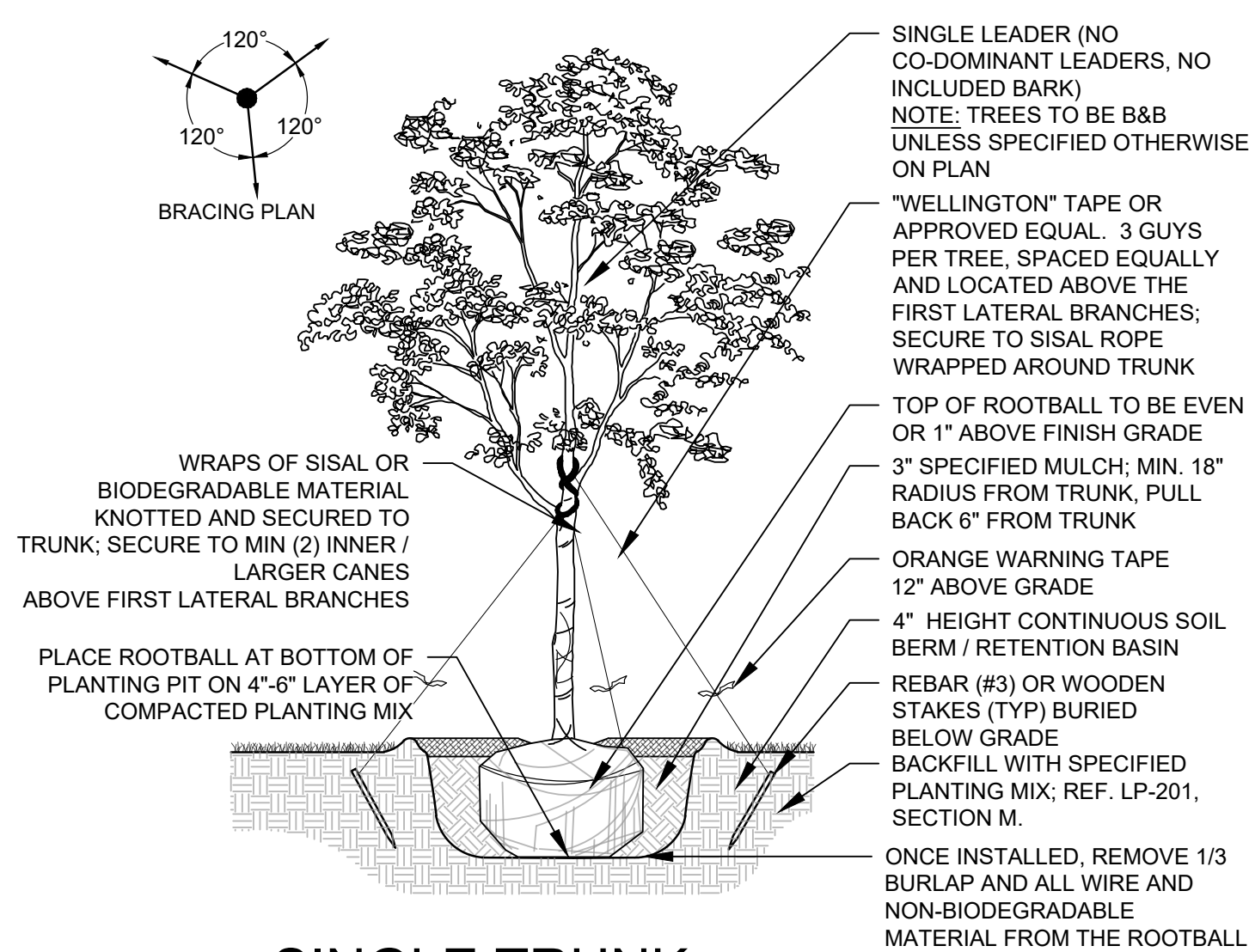
09 SECTION NOT TO SCALE



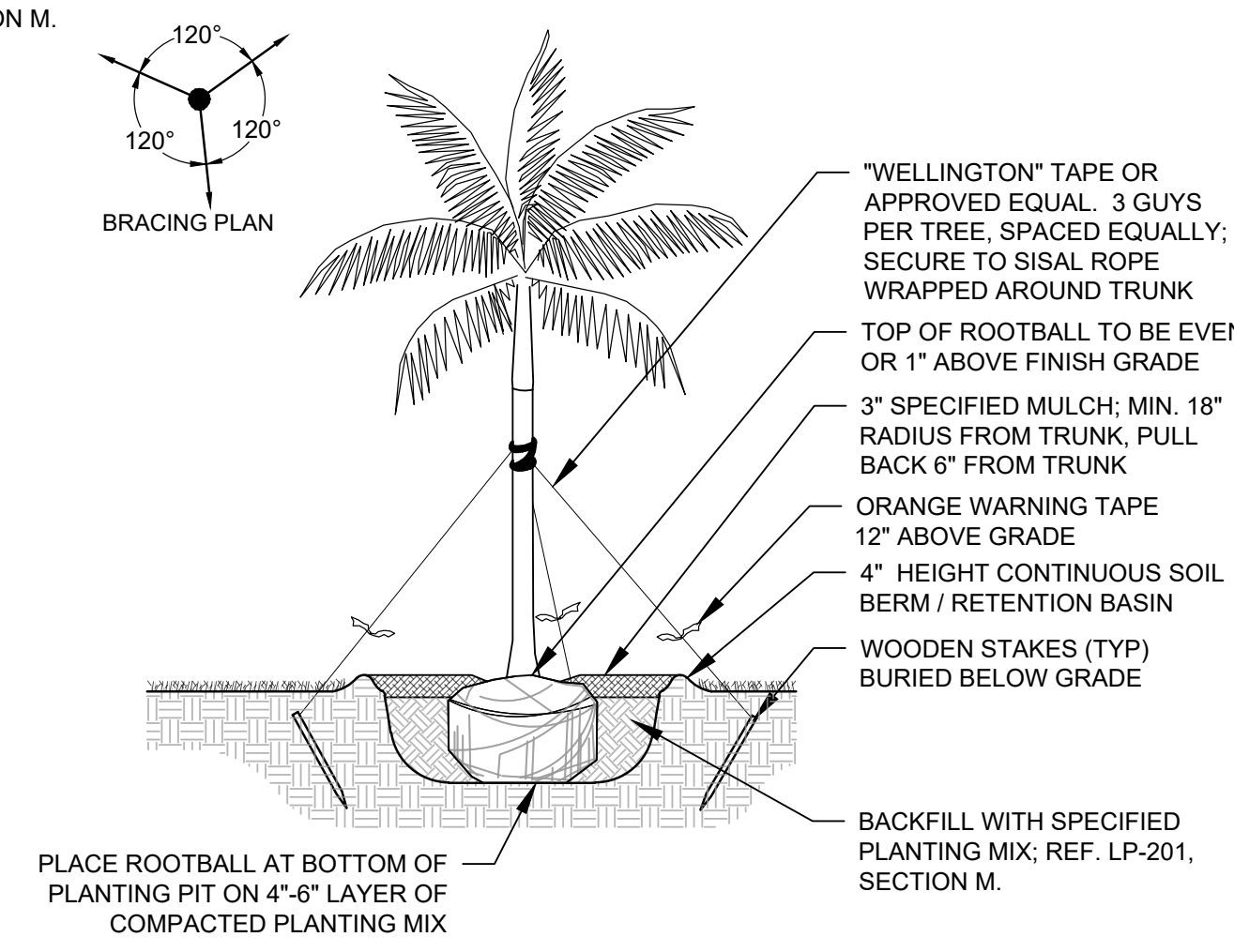
## 08 PLANTING DETAIL



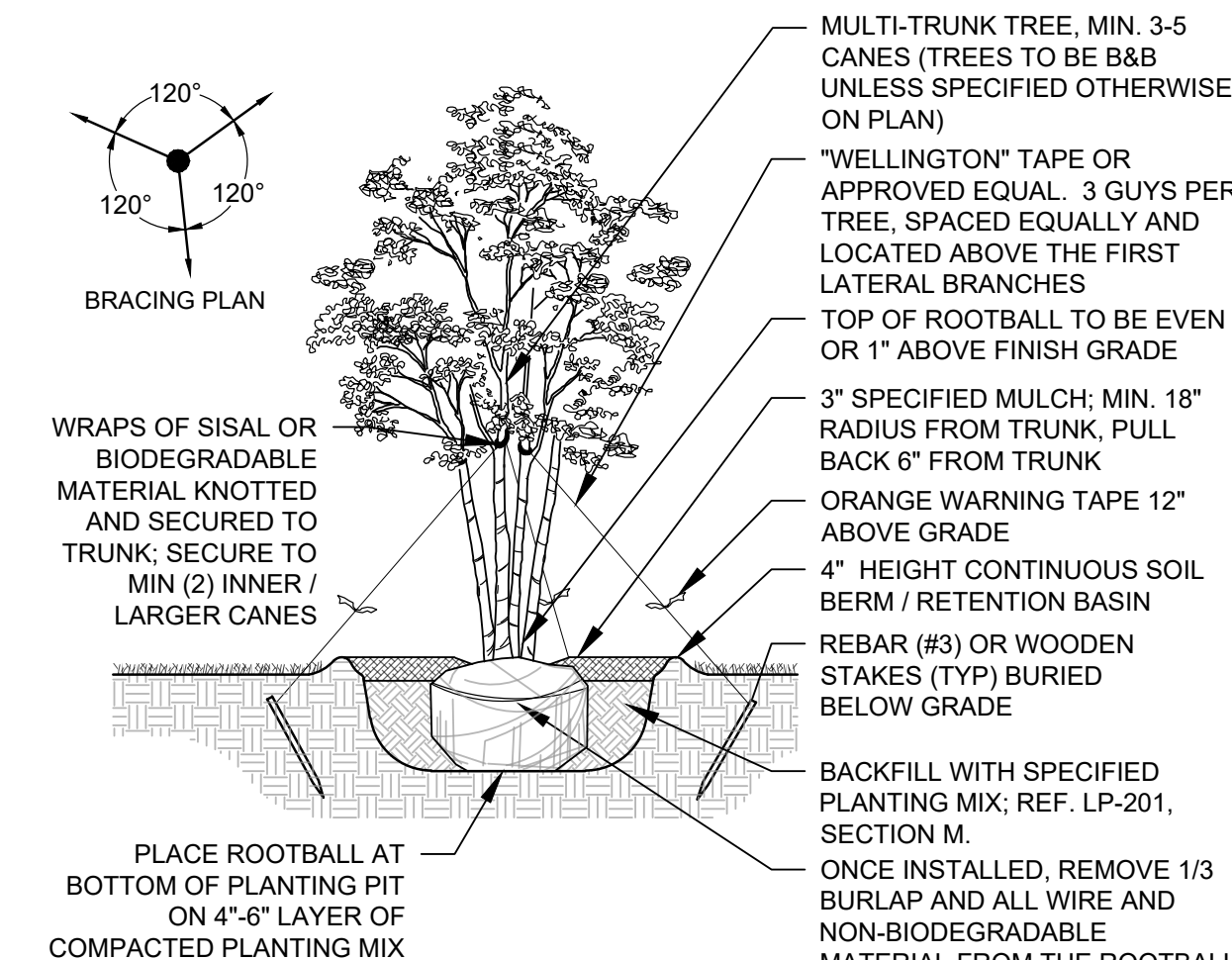
07 PALM PLANTING DETAIL



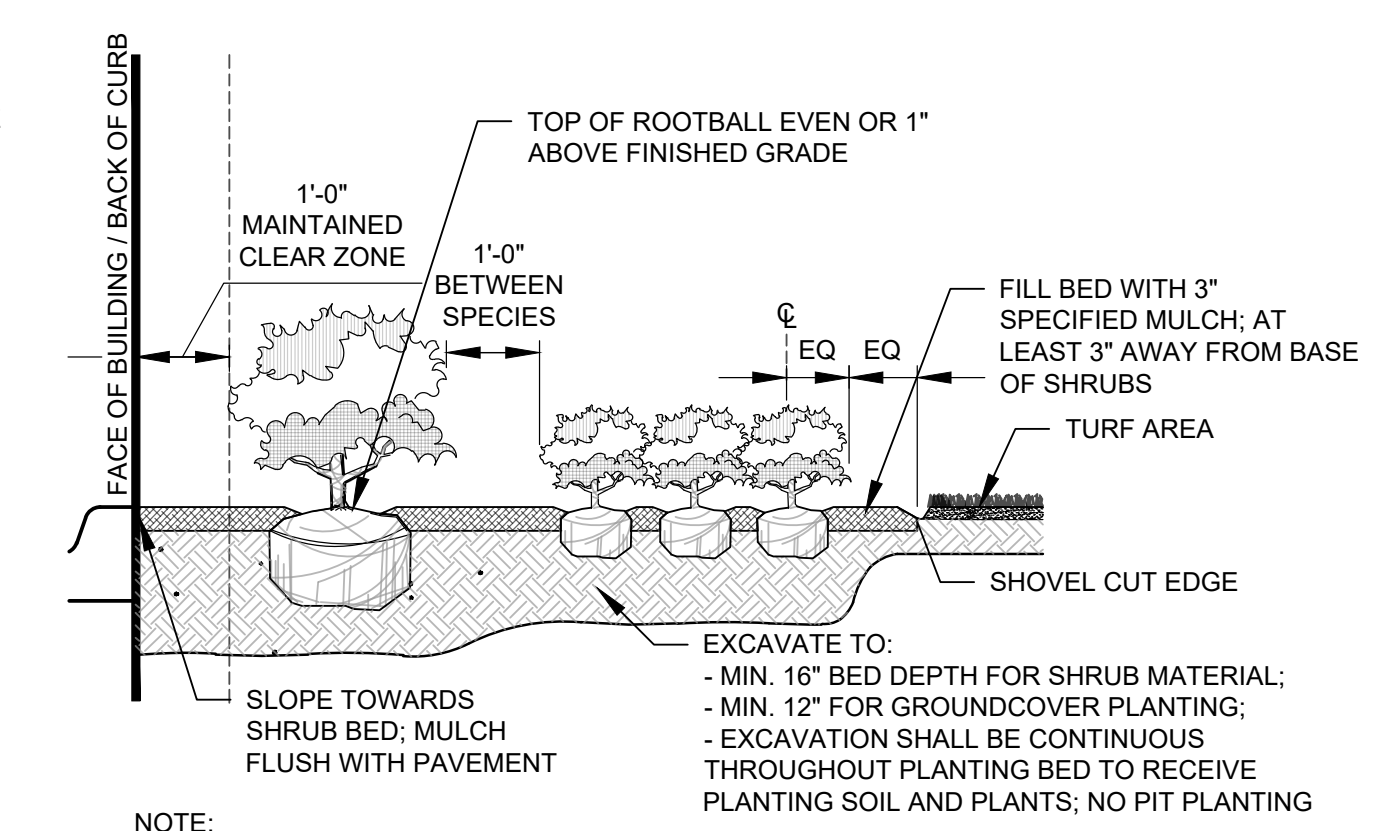
06	TREE PLANTING DETAIL	
	SECTION	NOT TO SCALE



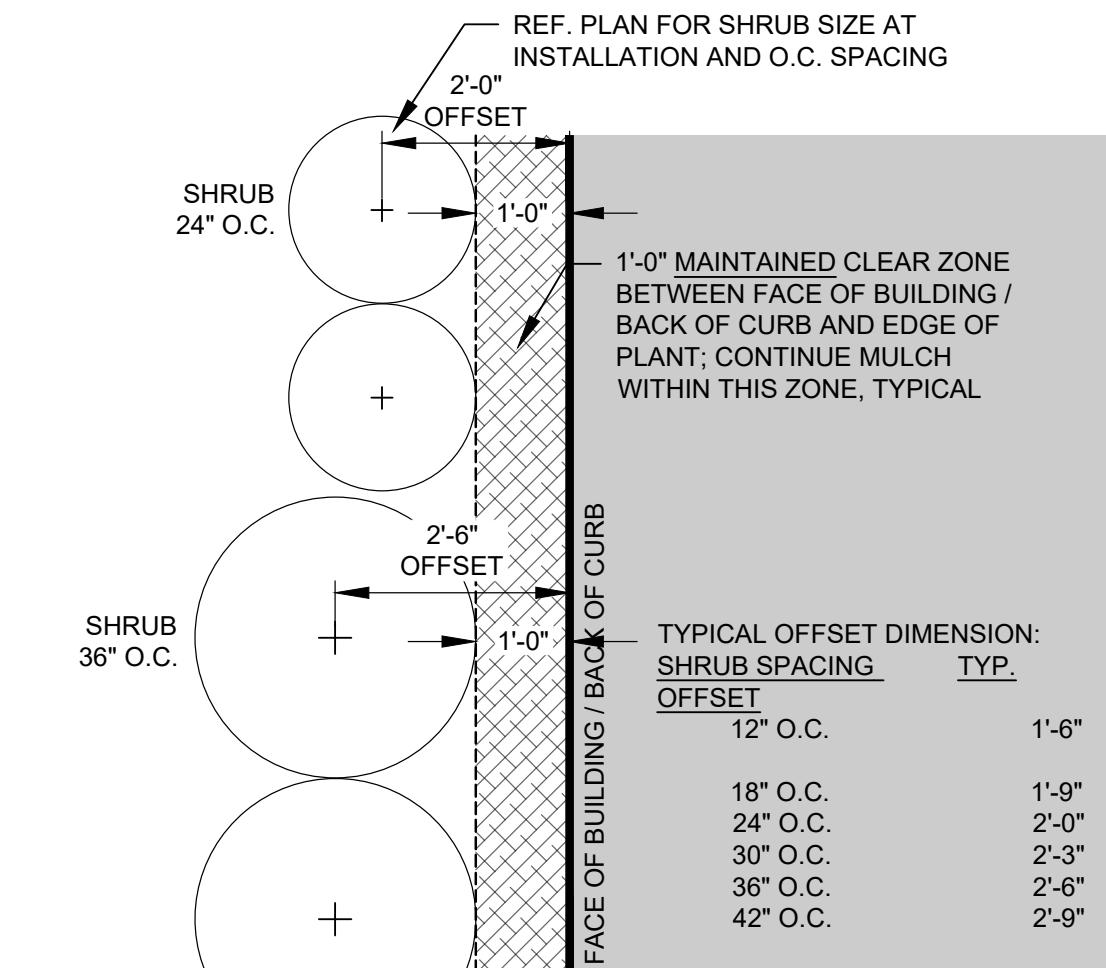
05	PERMIT PLANTING DETAIL	
	SECTION	NOT TO SCALE



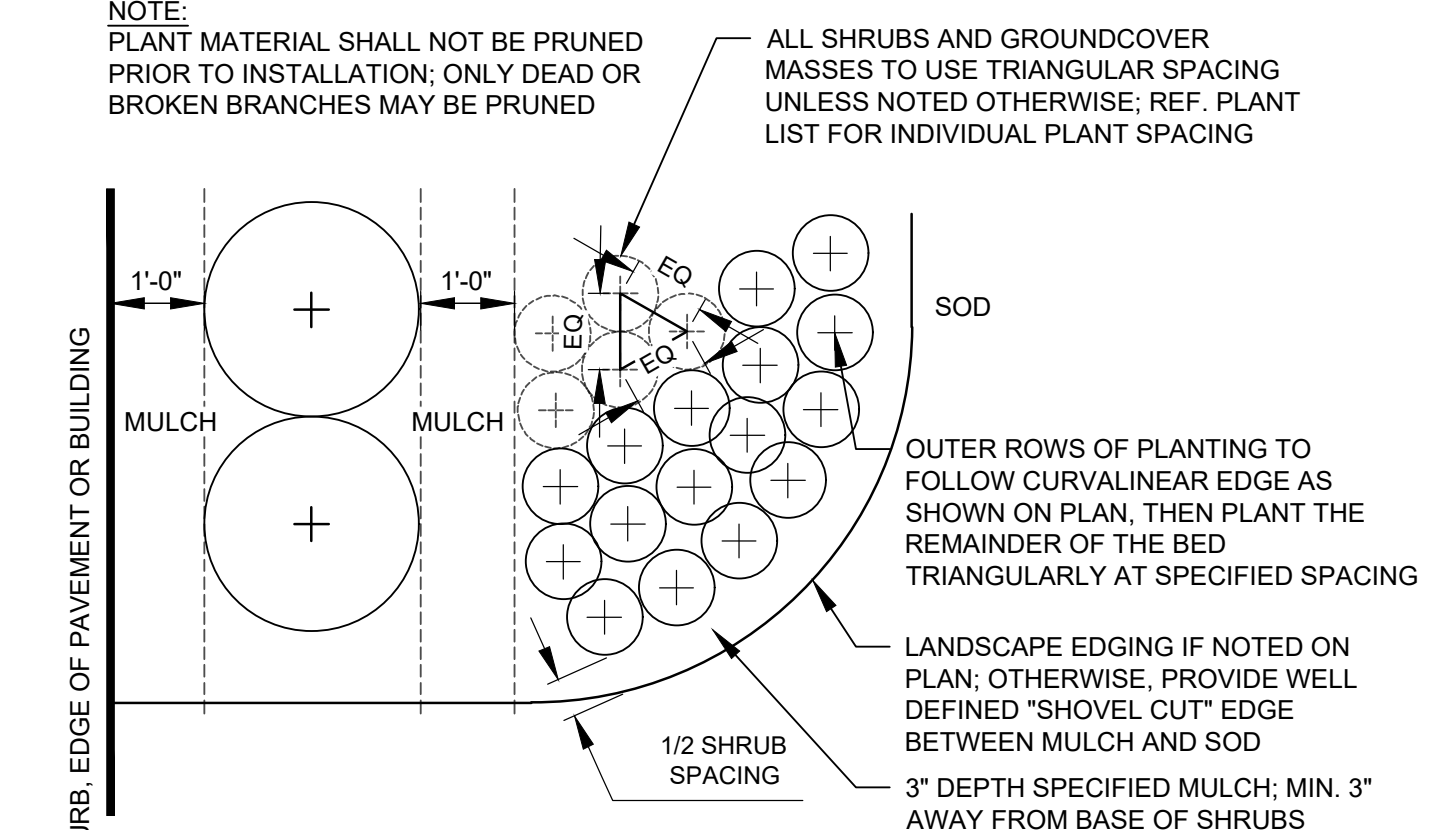
# 04 TREE PLANTING DETAIL



03 GROUND/COVER/PLANTING SECTION NOT TO SCALE



02	AT BUILDING / CORB	
	PLAN	NOT TO SCALE



01 GROUND COVER PLANTING

SHEET NUMBER	LP-501
PROJECT NUMBER	11112.00

AM #22-0702  
Exhibit 2  
Page 63 of 65









DESCRIPTION	Lum. Watts	LLF
PE FORMS AG-500L3-046F-40K POLE MTD 14' AFG	48	0.900
PE FORMS AG-500L5-056F-40K POLE MTD 14' AFG	57	0.900
BOXA-SW-PP52-WET-40-S0-ENC-TL-XS-BW-CL-XX WALL MTD 2' AFG	1.5	0.900
NG DS-LED-E66-MFL-A0-FINISH-13-A-300SL / TS-TMC-FINISH-XX TREE MTD 12' AFG	9	0.900
PE FORMS AE-032L3-04F-40K POLE MTD 20' AFG	96	0.900
ECF-S-64L-1A-NW-62-4 POLE MTD 25' AFG	206	0.900
ECF-S-48L-900-NW-62-2 POLE MTD 25' AFG	135	0.900
NG FCC400-11-WM-UNV-940-10L-FINISH-72-ET WALL MTD 12' AFG	17	0.900

[illegible]

ISSUE DATE:	04/04/22
DESIGNED BY:	MH, LW, AS
DRAWN BY:	MH, AS
CHECKED BY:	KS, PW
BID-CONTRACT:	

CLIENT

PROJECT
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SHEET TITLE	
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SHEET  
NUMBER LL-501

PROJECT NUMBER	11112.00
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STATUS: 100% SUBMISSION