

# 199 NW 5th AVE

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## CITY OF FORT LAUDERDALE, FLORIDA

DEVELOPMENT SERVICES DEPARTMENT

SUBMITTAL FOR:

### DEVELOPMENT REVIEW COMMITTEE (DRC)

SEPTEMBER 6TH, 2022

#### PROJECT TEAM

**DEVELOPER / OWNER:** ACQUEST & UNILAND / STATION VILLAGE DEVELOPMENT, LLC  
University Corporate Centre  
100 Corporate Parkway  
Suite 500  
Amherst, NY 14226  
Ph: 716.272.0943

**LAND USE ATTORNEY:** LOCHRIE & CHAKAS, P.A.  
1401 East Broward Boulevard, Suite 303  
Ft. Lauderdale, Florida 33301  
Ph: 954.779.1101

**ARCHITECT:** DORSKY YUE INTERNATIONAL, LLC.  
Sr. Project Manager: George Opack  
101 NE 3rd Avenue Suite 500,  
Ft. Lauderdale Florida 33301  
Ph: 954.703.7830  
Fax: 954.524.8604  
E: gopack@dorskyyue.com

**LANDSCAPE ARCHITECT:** ARCHITECTURAL ALLIANCE LANDSCAPE  
Project Manager: Eduardo Colon  
612 S.W. 4th Avenue  
Ft. Lauderdale, FL 33315  
Ph: 954.249.1136  
E: ecolon@archall.net

**CIVIL ENGINEER / LAND PLANNING:** FLYNN ENGINEERING SERVICES, P.A.  
Project Manager: Sarah Owen DelNegri  
241 Commercial Blvd.  
Lauderdale by the Sea, Florida 33308  
Ph: 954.522.1004  
Fax: 954.522.7630  
E: sarah@flynnengineering.com

**PRECONSTRUCTION SERVICES:** MOSS CONSTRUCTION  
2101 N Andrews Ave.  
Fort Lauderdale, Florida 33311  
D. 954.769.8130  
C. 954.608.5405



PREPARED FOR:

**Acquest & Uniland / Station Village Development, LLC**

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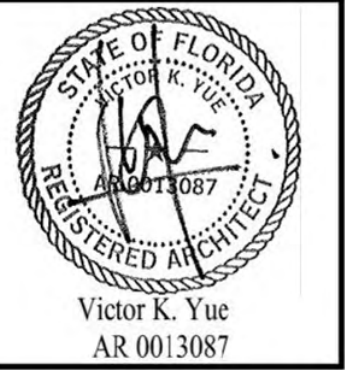
Victor Yue



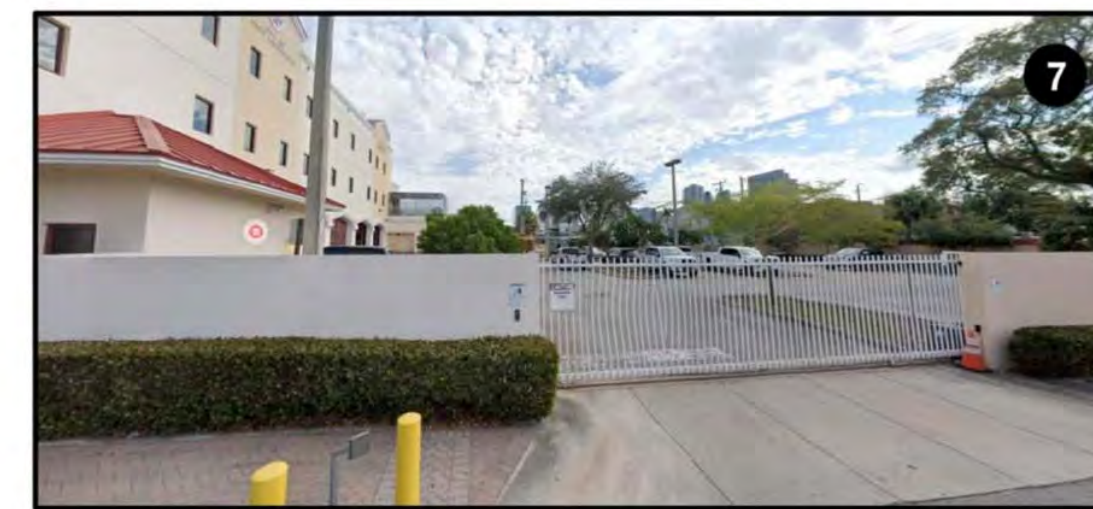
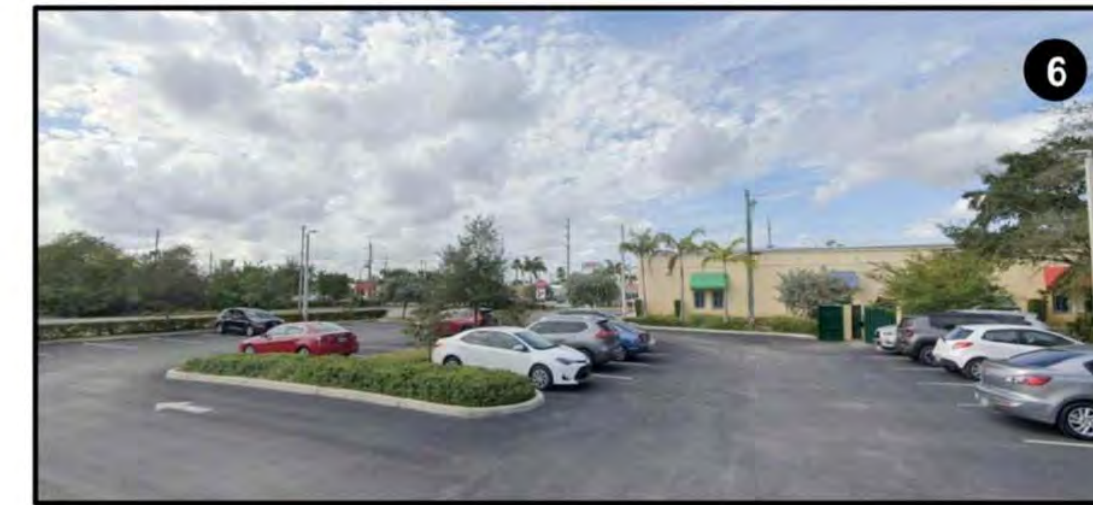
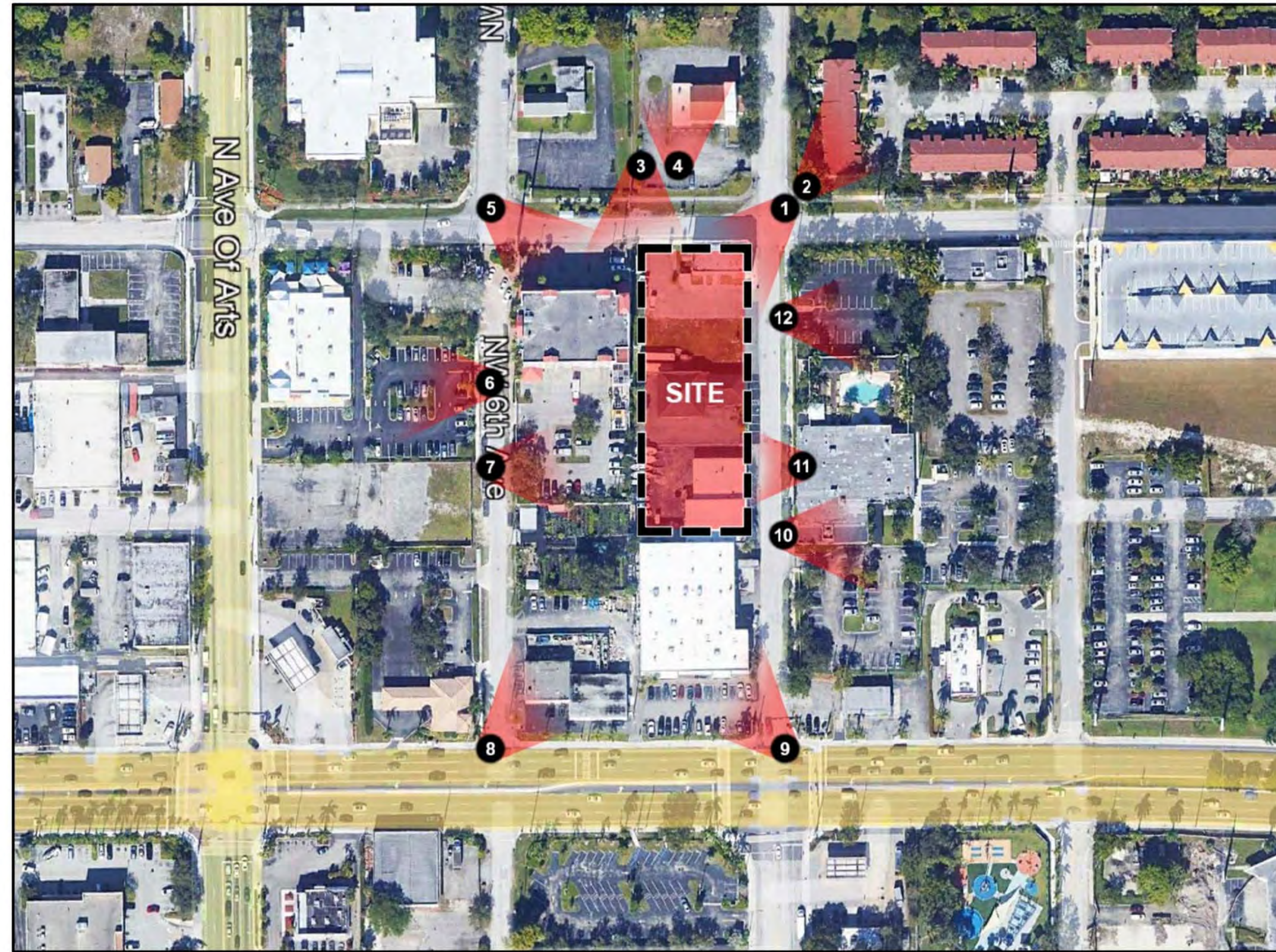
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ARCHITECTURE  
CLEVELAND  
P. 216.488.1850  
F. 216.481.8810  
FORT LAUDERDALE  
P. 954.703.7850  
F. 954.521.8864

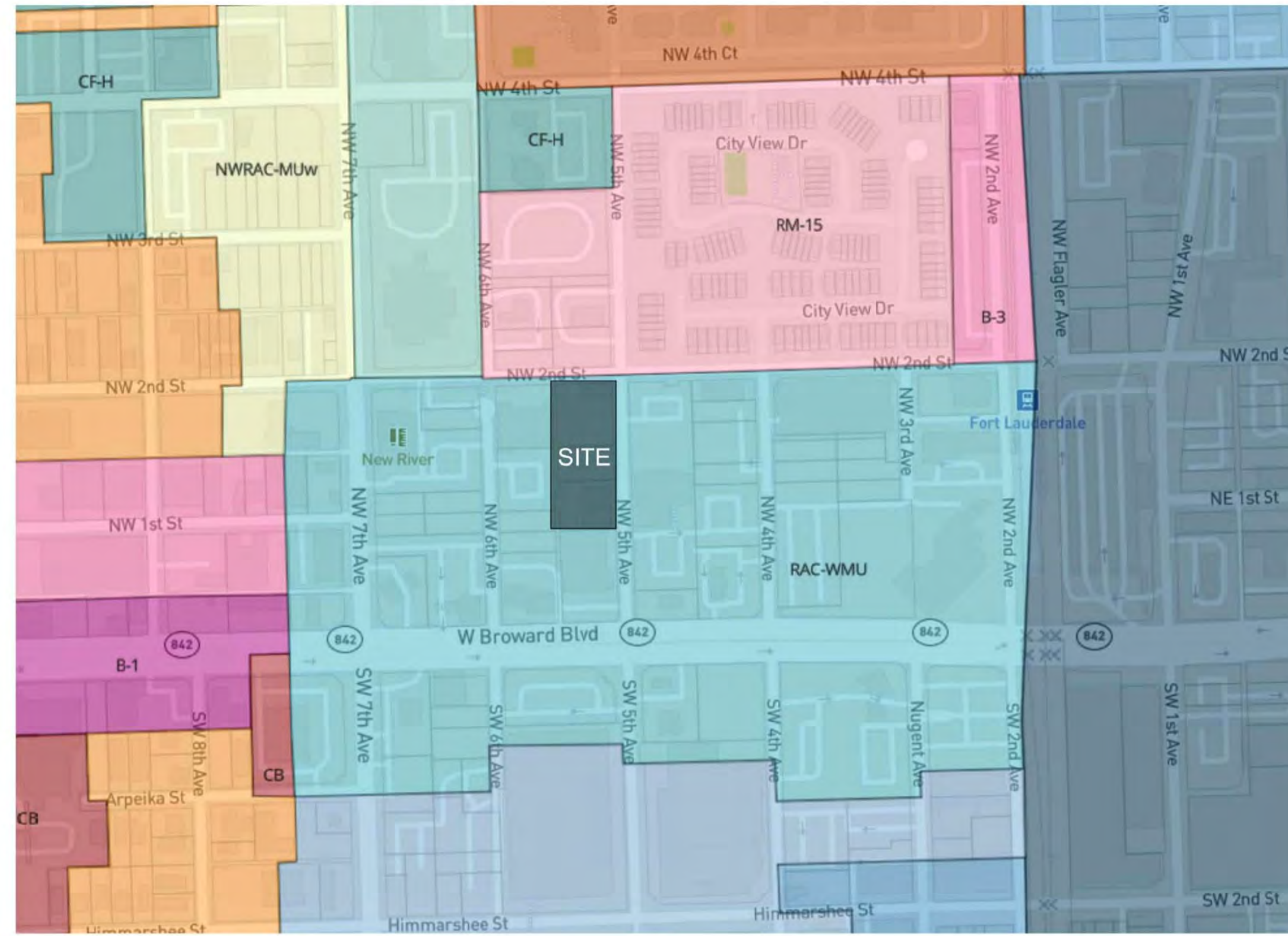
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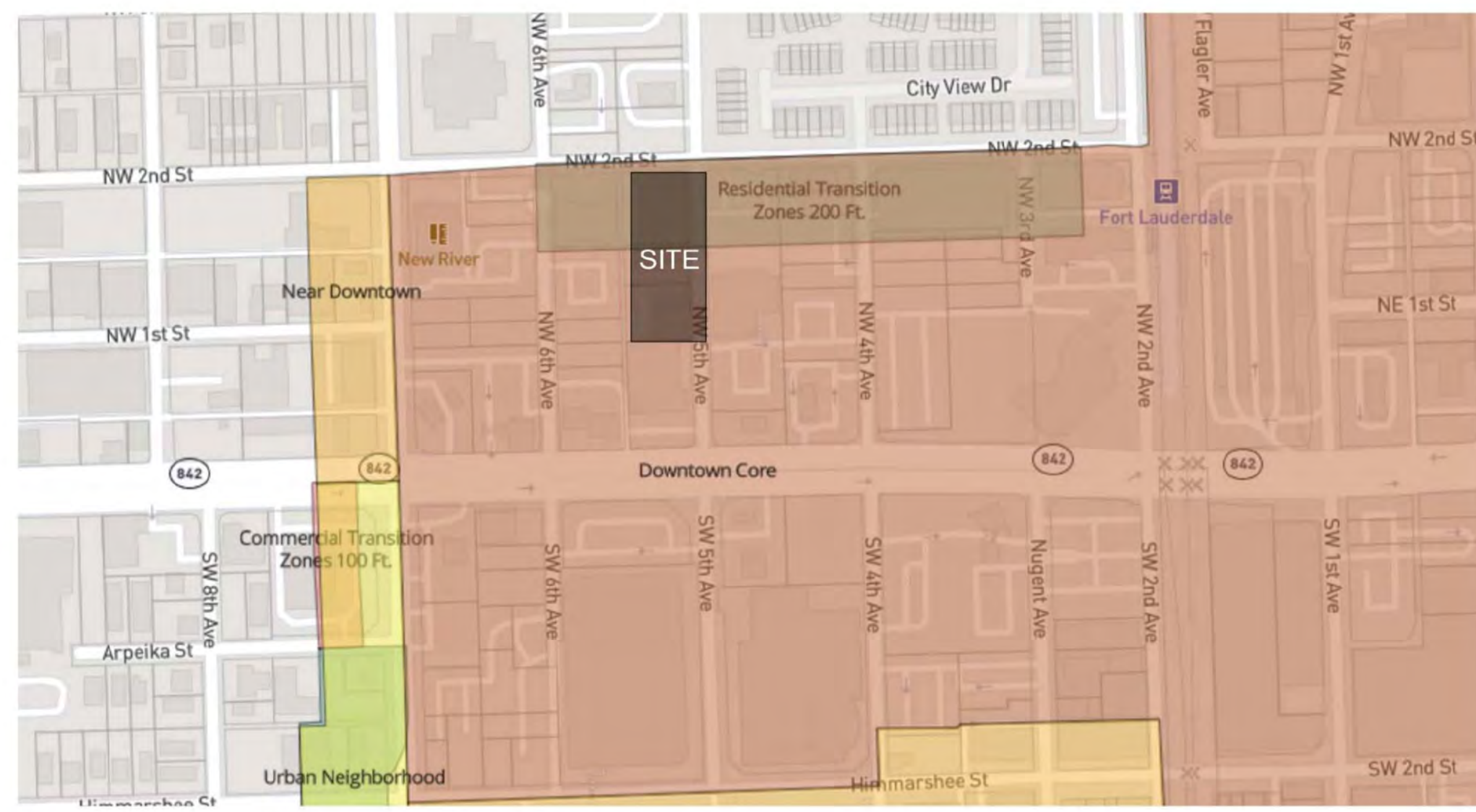
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1 ZONING LAND USE N.T.S.



2 DOWNTOWN CHARACTER AREA N.T.S.



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ARCHITECTURE  
FORT LAUDERDALE  
P. 954.703.7830  
F. 954.357.8854  
CLEVELAND  
P. 216.488.1850  
F. 216.461.2610

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ZONING AND CHARACTER MAPS  
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 P. 216.468.1850  
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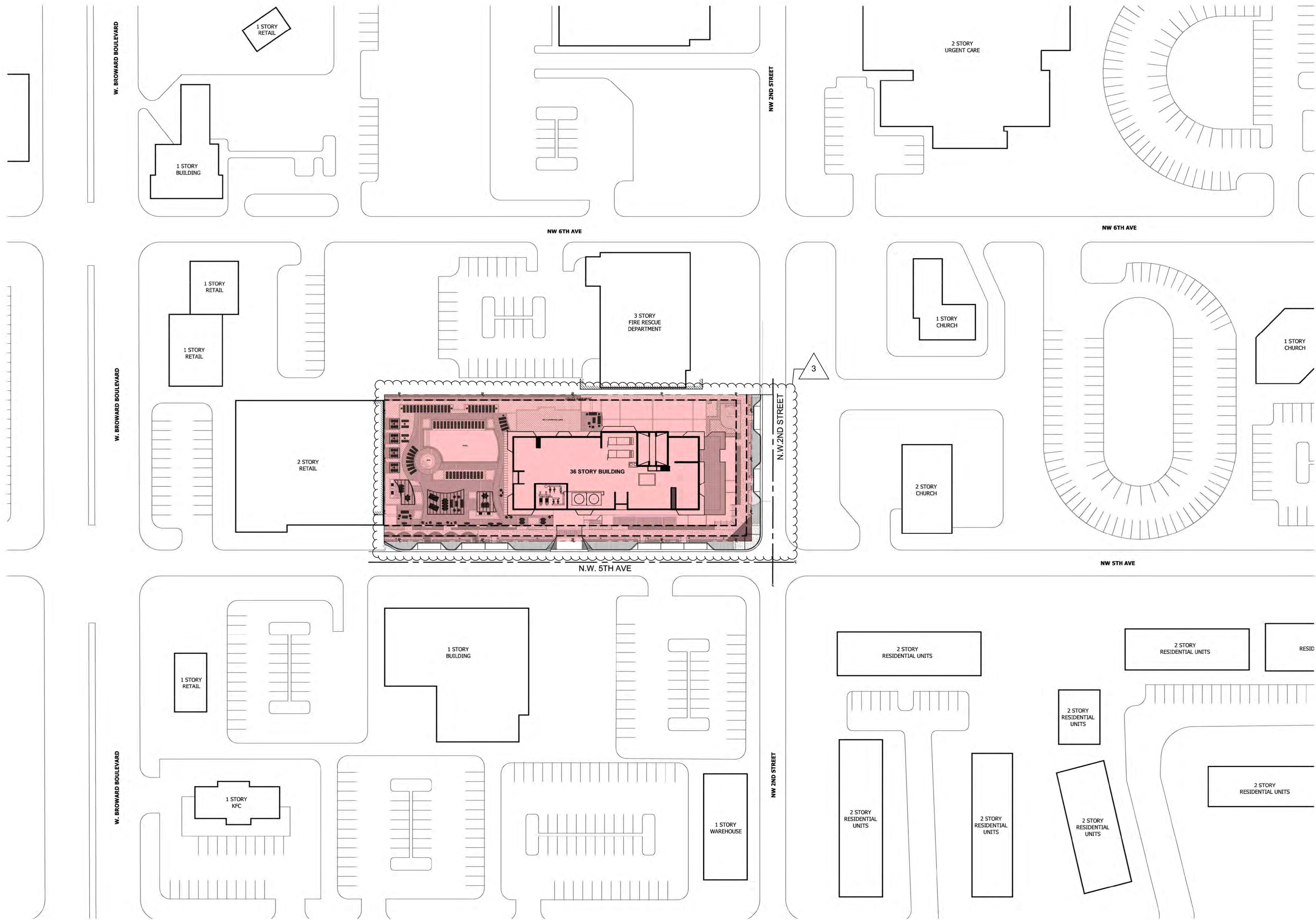
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CONTEXT PLAN

Job No.: DY201751  
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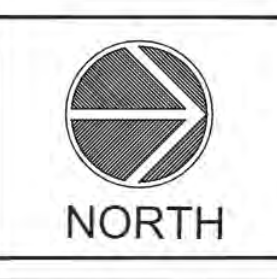
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1  
 A100  
 CONTEXT PLAN  
 1" = 40'-0"





Revisions

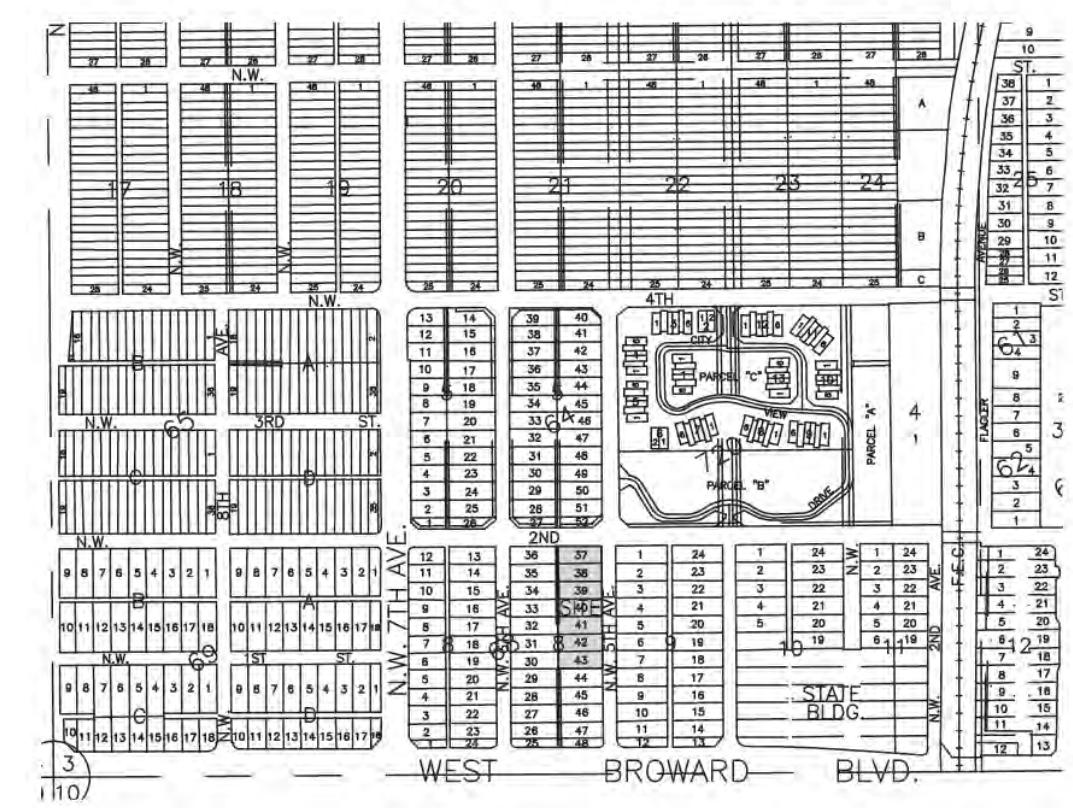
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Phase:  
 DRC DOCUMENTS  
 UDP-S22002

**Shane H Grabski**

Digitally signed by Shane H Grabski  
 DN: c=US, o=Flynn Engineering, ou=Shane H Grabski, email=shane@flynnengineering.com, cn=Shane H Grabski  
 Date: 2022.09.29 11:23:15 -0400

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 1"=20'  
 Date: 01/07/22  
 Job No.: 21-1658.00  
 Date: 09/29/22  
 Drawn by: JMG  
 Sheet No.: C0  
 Proj. Mgr.: SROD  
 Appr. by: JMF  
 1 of 1



**LOCATION MAP**

NTS  
 LEGAL DESCRIPTION  
 Lots 37, 38, 39, 40, 41, 42, and 43 BRYAN'S SUBDIVISION, OF BLOCK 8, OF THE TOWN OF FORT LAUDERDALE, according to the Map or Plat thereof, as recorded in Plat Book 1 at, Page 18 of the Public Records of Miami-Dade County, Florida, Together with the East 1/2 of the vacated alley lying West of and adjacent thereto.

Said lands situate in the City of Fort Lauderdale, Broward County, Florida and containing 49,000 square feet (1.1249 acres) more or less.

**SITE PLAN INFORMATION**

**SETBACK TABLE**

	REQUIRED	PROVIDED
FRONT YARD (EAST) - N.W. 5th AVENUE	35' TO CL	35' TO CL
FRONT YARD (NORTH) - NW 2ND STREET	35' TO CL	35' TO CL
SIDE YARD (SOUTH)	0'	0.1'
REAR YARD (WEST)	0'	5'

CURRENT USE OF PROPERTY	WAREHOUSE & COMMERCIAL
CURRENT LAND USE DESIGNATION	D-RAC
PROPOSED LAND USE DESIGNATION	D-RAC
CURRENT ZONING DESIGNATION	RAC-WMU
PROPOSED ZONING DESIGNATION	RAC-WMU
ADJACENT ZONING DESIGNATION (N)	RM-15
ADJACENT ZONING DESIGNATION (W, E & S)	RAC-WMU

WATER/ WASTE WATER SERV. PROVIDER	CITY OF FORT LAUDERDALE
TOTAL SITE AREA (NET)	49,000 SF / 1.12 ACRES
TOTAL SITE AREA (GROSS)	59,242 SF / 1.36 ACRES

TOTAL PERVIOUS PROPOSED (LANDSCAPE)	4,742 SF	9.7 %
TOTAL PERVIOUS EXISTING	11,800 SF	24.1 %
TOTAL IMPERVIOUS PROPOSED	11,930 SF	24.3 %
TOTAL IMPERVIOUS EXISTING	23,940 SF	48.8 %
TOTAL BUILDING FOOT PRINT PROPOSED	32,328 SF	66.0 %
TOTAL BUILDING FOOT PRINT EXISTING	13,260 SF	27.1 %

PEDESTRIAN WALKS & PLAZAS	11,799 SF	24.1 %
LOT COVERAGE	37,201 SF	75.9 %
VIA AREA	716 SF	1.5 %

LOT DENSITY	357.1 DU/AC
FLOOR AREA RATIO (F.A.R.)	8.75
TOTAL BUILDING SQUARE FOOTAGE (NIC PKG/LOADING)	428,989 SF
TOTAL RESIDENTIAL	325,213 SF
TOTAL AMENITY/TENANT STORAGE	16,976 SF
TOTAL RETAIL	5,499 SF
TOTAL SERVICE	81,301 SF
TOTAL PARKING	191,024 SF
TOTAL LOADING	620 SF

NUMBER OF RESIDENTIAL UNITS: 400

BUILDING HEIGHT	364.0'
NUMBER OF STORIES	36 FLOORS
BUILDING WIDTH	120.0'
BUILDING LENGTH (PODIUM)	306'-8"
BUILDING LENGTH (TOWER)	113'-0"

PARKING / LOADING / BIKE / STACKING DATA:

	AREA	UNITS	RATIO	REQUIRED	PROVIDED
COMMERCIAL	STUDIO/1 BEDROOM	5,499 SF	1/100 SF	54.99	
RESIDENTIAL	2 BEDROOM		1.2	283.2	
			1.2	196.8	
		=400	SUBTOTAL	534.0	528.0
			TOTAL ON STREET PARKING		550.0
			TOTAL OFF STREET PARKING		9.0
			TOTAL PARKING	534	559

\* PARKING PER ULDR SEC 47-20.2, TABLE 3 (TRANSITIONAL MIXED USE DISTRICT)

BIKE PARKING (1/10 DU-RES) 40 BIKES 620 SF

\* BIKE PARKING IS BEING PROVIDED FOR BOTH EXTERIOR AND INTERIOR USERS (742 SF)

LOADING REQUIREMENTS:

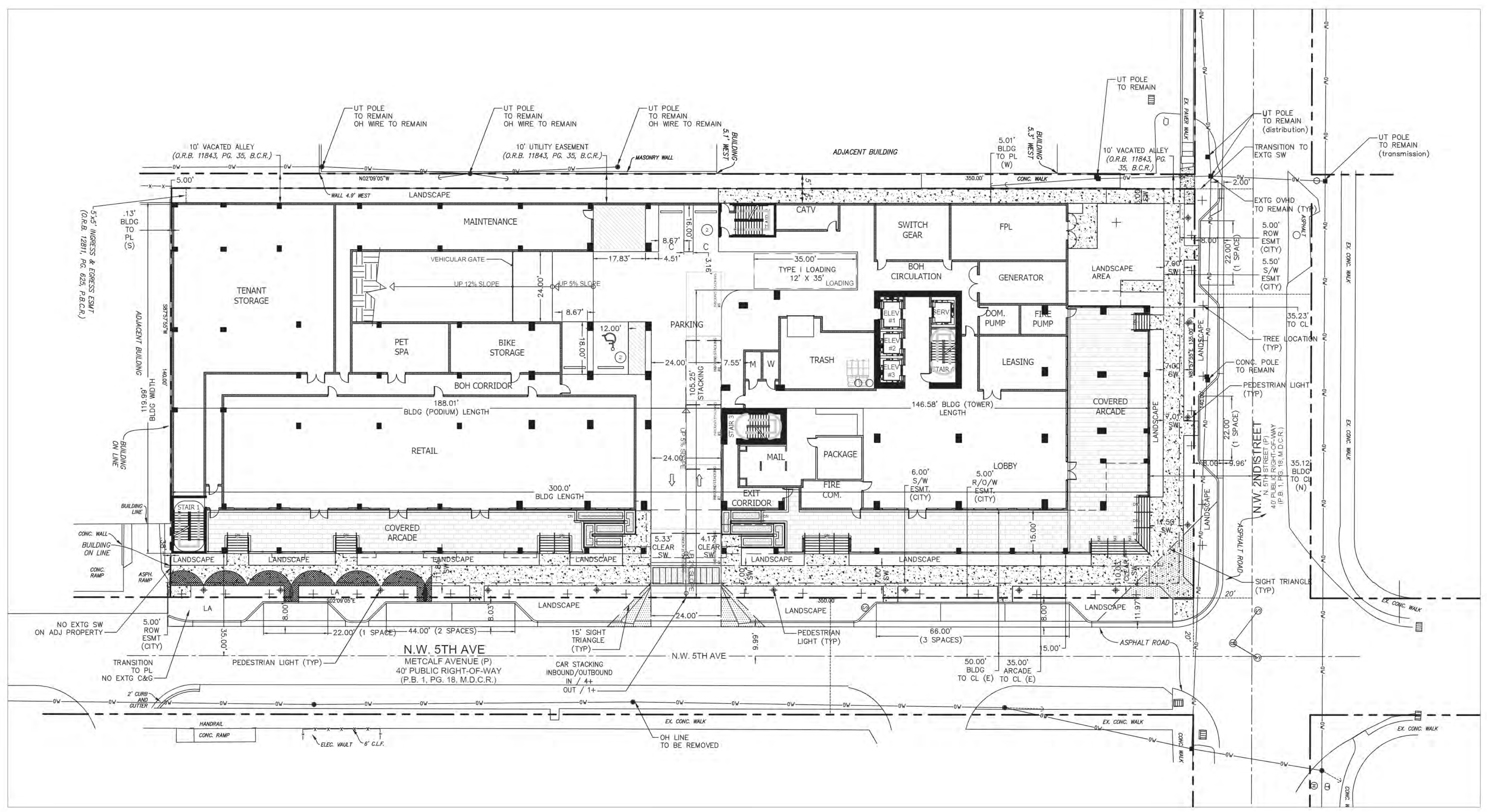
	GSF	REQUIRED	PROVIDED
RESIDENTIAL	N/A		
COMMERCIAL	5,499 SF		
TOTAL	5,499 SF		0 1 TYPE 1

\*LOADING REQ. FOR NON-RESIDENTIAL <20,000 NOT REQUIRED.  
 \*LOADING REQ. FOR RESIDENTIAL USES ARE NOT REQUIRED (ULDR SEC 47-20.2).

STACKING REQUIREMENTS:

	IN-BOUND	IN-BOUND	OUT-BOUND	OUT-BOUND
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
NW 5th AVE	2	4+	1	1+

\* STACKING REQUIREMENT PER ULDR SEC 47-20.5.C.6.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY SHANE H. GRABSKI, P.E. ON Sep 29, 2022

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ON-STREET PKG:  
 \* NONE OF THE ON-STREET SPACES ARE RESERVED FOR THE DEVELOPMENT AND MAY BE USED BY ANY MEMBER OF THE PUBLIC. ON-STREET SPACES WILL NOT COUNT TOWARDS THE PARKING REQUIREMENTS FOR THE PROJECT; THE SPACES MAY BE REMOVED AT ANY TIME FOR ANY REASON AND THE CITY OF FORT LAUDERDALE WILL NOT RELOCATE DISPERSED ON-STREET PARKING.

**DRT TABLE**

	REQUIRED	PROPOSED
Max. Bldg Height	None (FAA restrictions apply)	364'
Max. Bldg Streetwall Length	300'	120' (2nd St), 300' (5th Ave)
Max. GSF of Bldg Tower	Residential: 18,000 for entirety of bldg tower up to 15 floors high; 12,500 for entirety of bldg tower up to 37 floors	Floor Plate = 12,500 sf
Floor Plate Size	Non-Residential: 32,000	
Max. Bldg Podium Height	9 Floors	9 Floors
Min. Bldg Tower Step Back	None	15' (E), 25' (W)
Min. Separation b/t Towers	60'; 30' min. on subject property (if adjacent to abutting lot under separate ownership)	35' (W)
Min. Residential Unit Size	400 sf	400+ sf (avg. size = 812 sf)

**OPEN SPACE - PROVIDED & REQUIRED**

	REQUIRED:	PROVIDED:
10% GROSS LOT AREA (59,203 SF)	5,921 SF	41,398 SF
OPEN SPACE (AT GRADE) 40% REQ.	2,369 SF	15,843 SF
OPEN SPACE (ABOVE GRADE-2ND LEVEL)		5,542 SF
OPEN SPACE (ABOVE GRADE-10TH LEVEL AMENITY DECK)		20,013 SF
		25,555 SF

**PERVIOUS LANDSCAPE AREA - PROVIDED & REQUIRED**

TOTAL PERVIOUS LANDSCAPE AREA IN OPEN SPACE (26% OF 5,921 SF)	1,481 SF	8,421 SF
PERVIOUS LANDSCAPE AREA AT-GRADE	4,639 SF	4,639 SF
		at grade 4,639 SF
PERVIOUS LANDSCAPE AREA ABOVE-GRADE 2ND LEVEL	1,698 SF	1,698 SF
PERVIOUS LANDSCAPE AREA ABOVE-GRADE 10TH LEVEL POOL DECK	2,084 SF	2,084 SF
		above grade 3,782 SF

**FLOOD DATA:**

FLOOD ZONE "AE" ELEV 6.0' NAVD ON FIRM MAP #12011C0557J, DATED DECEMBER 31, 2019  
 BROWARD COUNTY FUTURE 100 YEAR 3 DAY CONTOUR= ELEV. (7.0) NAVD  
 AVERAGE WET SEASON WATER LEVEL= ELEV. (2.0) NAVD

**WATER/WASTEWATER SERVICE PROVIDER:**

\* CITY OF FORT LAUDERDALE

**STRUCTURAL SOIL:**

\* STRUCTURAL SOIL WILL BE PROVIDED AS APPLICABLE PER CITY OF FORT LAUDERDALE ULDR  
 \* STRUCTURAL SOIL AND PAVEMENT GRATE DETAILS PROVIDED ON LANDSCAPE PLANS.

**SOLID WASTE / RECYCLING (RESIDENTIAL/RETAIL):**

\* TOWER: TOWER WILL CONTAIN THE FOLLOWING EQUIPMENT  
 WASTE CHUTE WITH COMPACTOR WITH 2YD COMPACTOR CONTAINERS (7).  
 RECYCLE CHUTE WITH 2YD RECYCLE CONTAINERS (4).  
 WASTE REMOVAL WILL BE 9 DAYS/WK OR AS NEEDED.  
 RECYCLE REMOVAL WILL BE 2 DAYS/WK OR AS NEEDED.

\* THE WASTE SYSTEM WILL MEET THE CAPACITY REQUIREMENTS OF BLDG ORDINANCE REQ. AND COMPLY WITH ULDR 47-18.4 AS APPLICABLE.





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ARCHITECTURE

CLEVELAND  
P: 216-468-1860  
F: 216-468-3010

FORT LAUDERDALE  
P: 954-703-7830  
F: 954-324-8604

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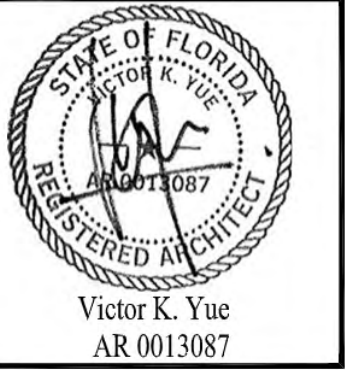
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1 NE AERIAL RENDERING

A320

A320





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 CLEVELAND  
 P. 216.468.1650  
 F. 216.464.3610  
 FORT LAUDERDALE  
 P. 954.703.7830  
 F. 954.354.3664

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NW AERIAL RENDERING

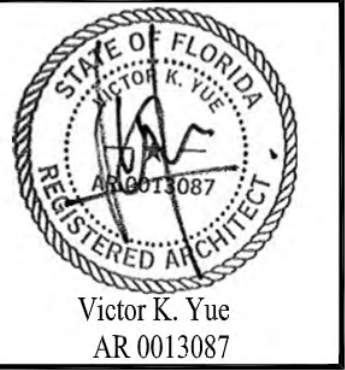
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1 NW AERIAL RENDERING  
 A321

A321







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 F. 216.484.3610

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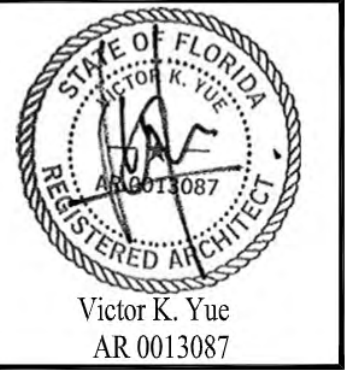
WEST AERIAL RENDERING

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1 WEST AERIAL RENDERING  
A322

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ARCHITECTURE

CLEVELAND  
P. 216.488.1850  
F. 216.484.5810

FORT LAUDERDALE  
P. 954.703.7800  
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NE PERSPECTIVE RENDERING 1

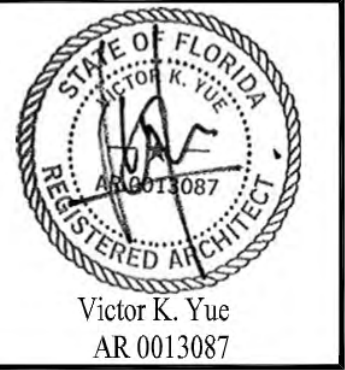
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1 NE PERSPECTIVE RENDERING 1

A323

A323





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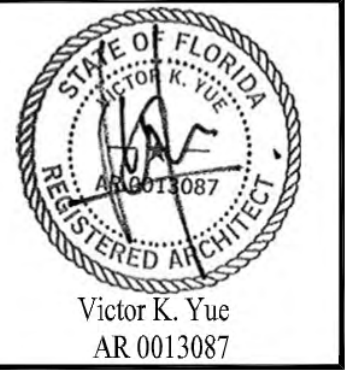
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1 NE PERSPECTIVE RENDERING 2  
 A324

A324





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SE PERSPECTIVE RENDERING

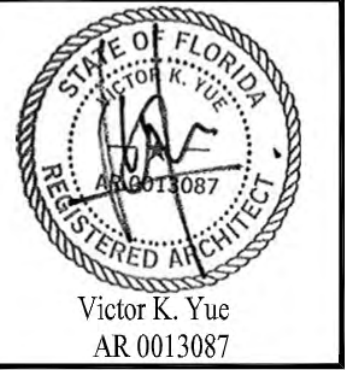
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1 SE PERSPECTIVE RENDERING

A325

A325





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ARCHITECTURE

CLEVELAND  
P. 216.468.1650  
F. 216.464.3010

FORT LAUDERDALE  
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F. 954.357.8804

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NE PERSPECTIVE RENDERING

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1 NE PERSPECTIVE RENDERING

A326

A326





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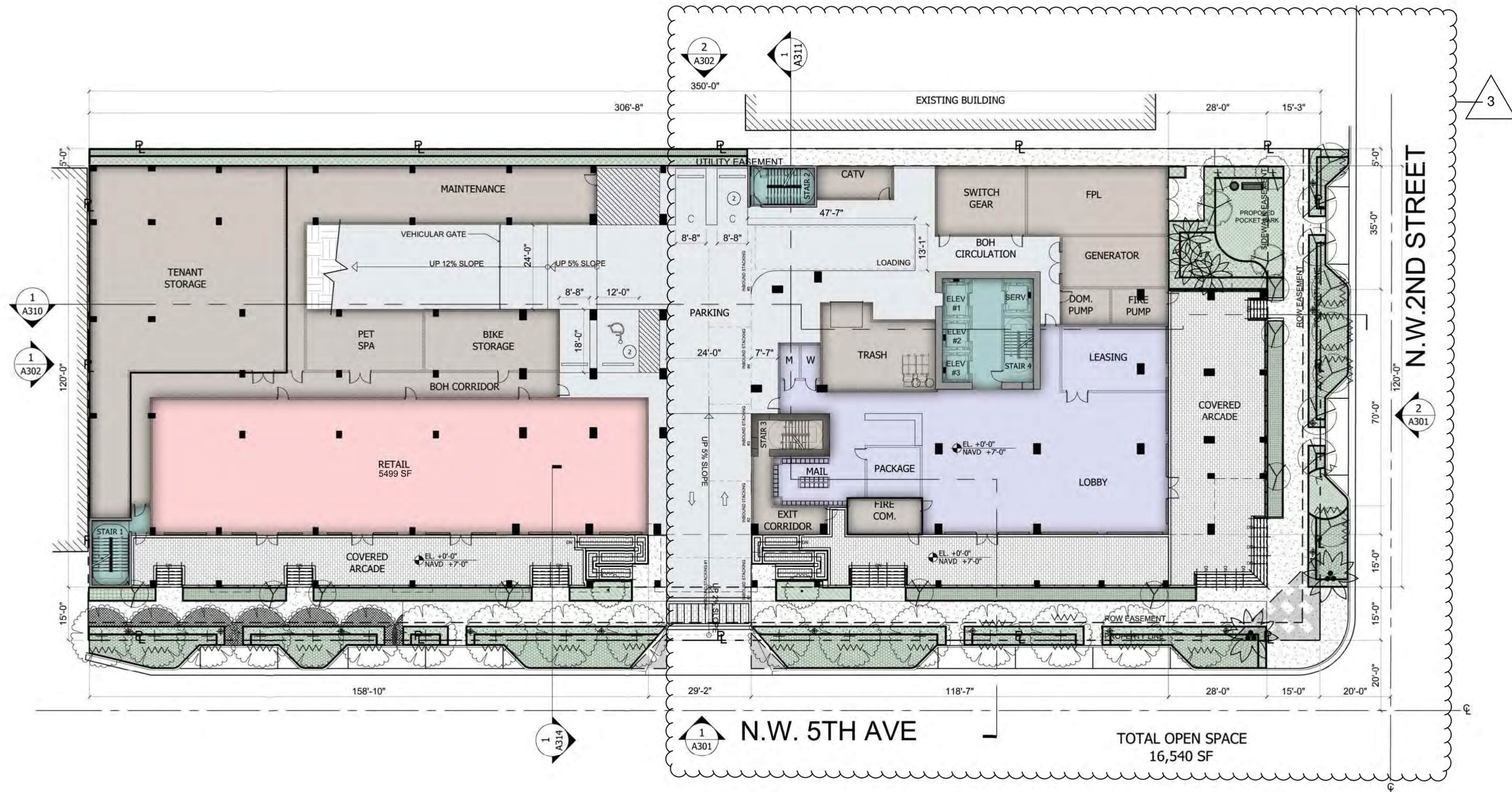
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GROUND FLOOR PLAN

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A101



PROGRAM LEGEND

- GARAGE
- LOBBY/ LEASING
- CIRCULATION
- RETAIL
- B.O.H.
- LANDSCAPE

1 GROUND FLOOR PLAN  
 A101 1" = 20'-0"





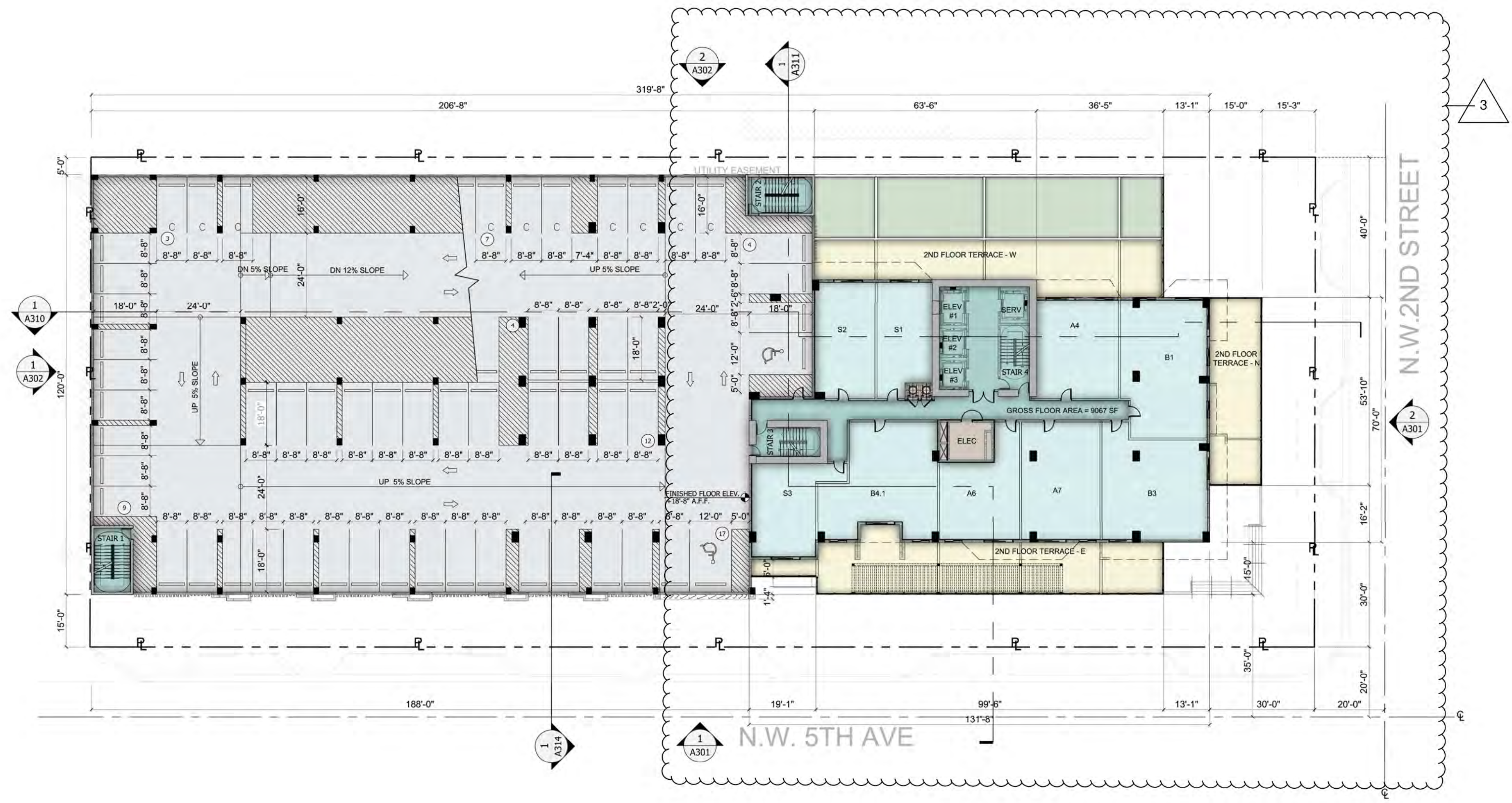
AA 26002045  
 Issue: 05-06-2022  
 07-26-2022  
 09-01-2022

DORSKY+YUE INTERNATIONAL 3  
 ARCHITECTURE  
 FORT LAUDERDALE, FL  
 P: 954-703-7630  
 F: 954-254-8824

199 NW 5TH AVE  
 Fort Lauderdale, FL  
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2ND FLOOR PLAN  
 Job No.: DY201731  
 Drawn: Drawn: Drawn: Drawn:  
 Checked: Checked: Checked: Checked:  
 Date: 09/06/2022

A102



PROGRAM LEGEND

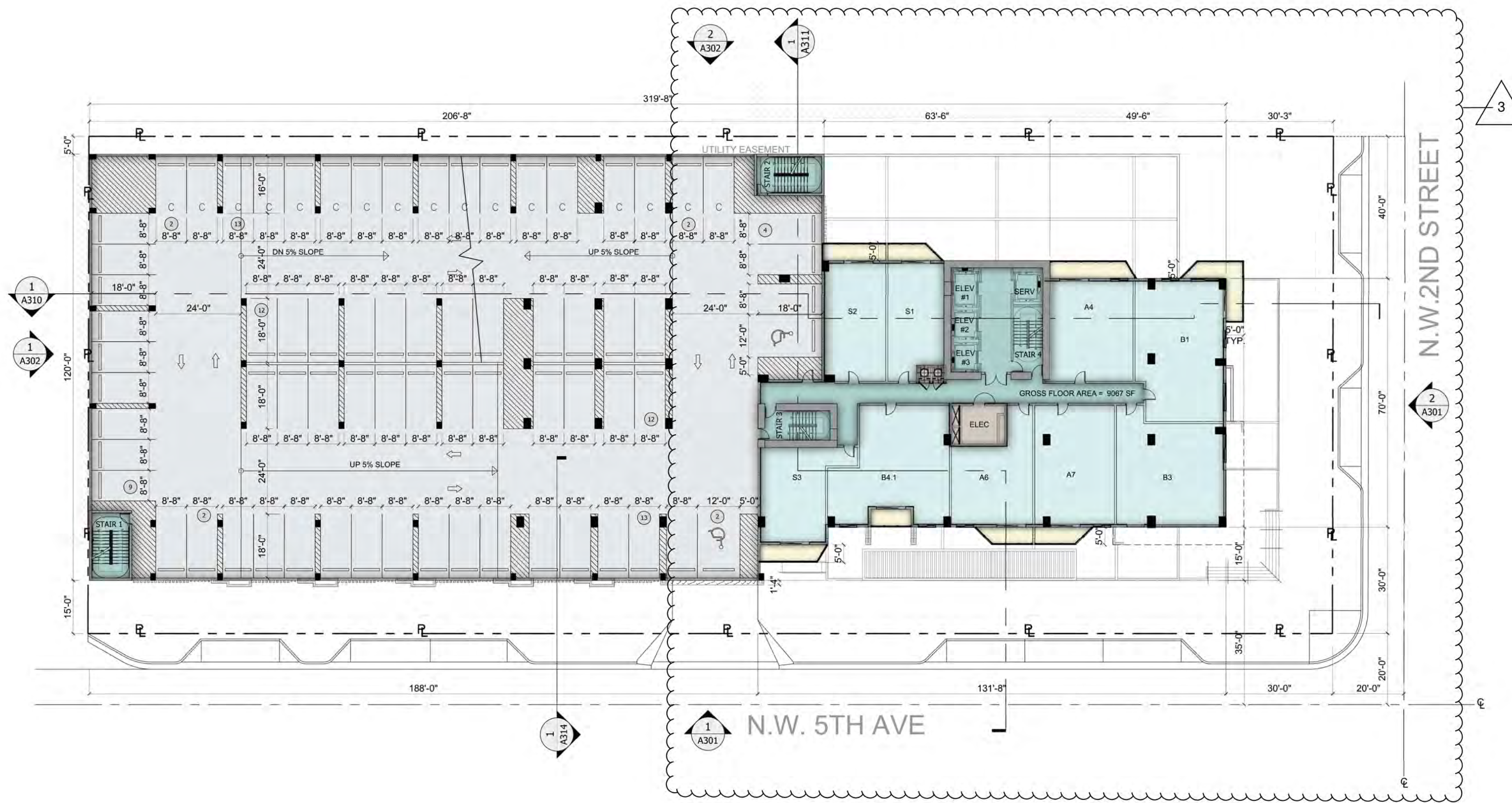
- GARAGE
- CIRCULATION
- UNITS
- TERRACE/BALCONY AREA
- B.O.H.

1 2ND FLOOR PLAN  
 A102 1" = 20'-0"





AA 26002045  
 Issue:                      Date:  
 ▲ 05 - 06 - 2022  
 ▲ 07 - 26 - 2022  
 ▲ 09 - 01 - 2022



**PROGRAM LEGEND**

- GARAGE
- CIRCULATION
- UNITS
- TERRACE/BALCONY AREA
- B.O.H.

1  
 A103 3RD FLOOR PLAN 1" = 20'-0"

199 NW 5TH AVE  
 Fort Lauderdale, FL

DORSKY+YUE INTERNATIONAL  
 ARCHITECTURE  
 CLEVELAND      FORT LAUDERDALE  
 P. 216.468.1650      P. 854.703.7830  
 F. 216.464.3610      F. 854.352.8864

3RD FLOOR PLAN

Job No.:                      Drawn:                      Checked:                      Date:  
 DY201751                                                                                     09/06/2022

**A103**

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 09 - 01 - 2022

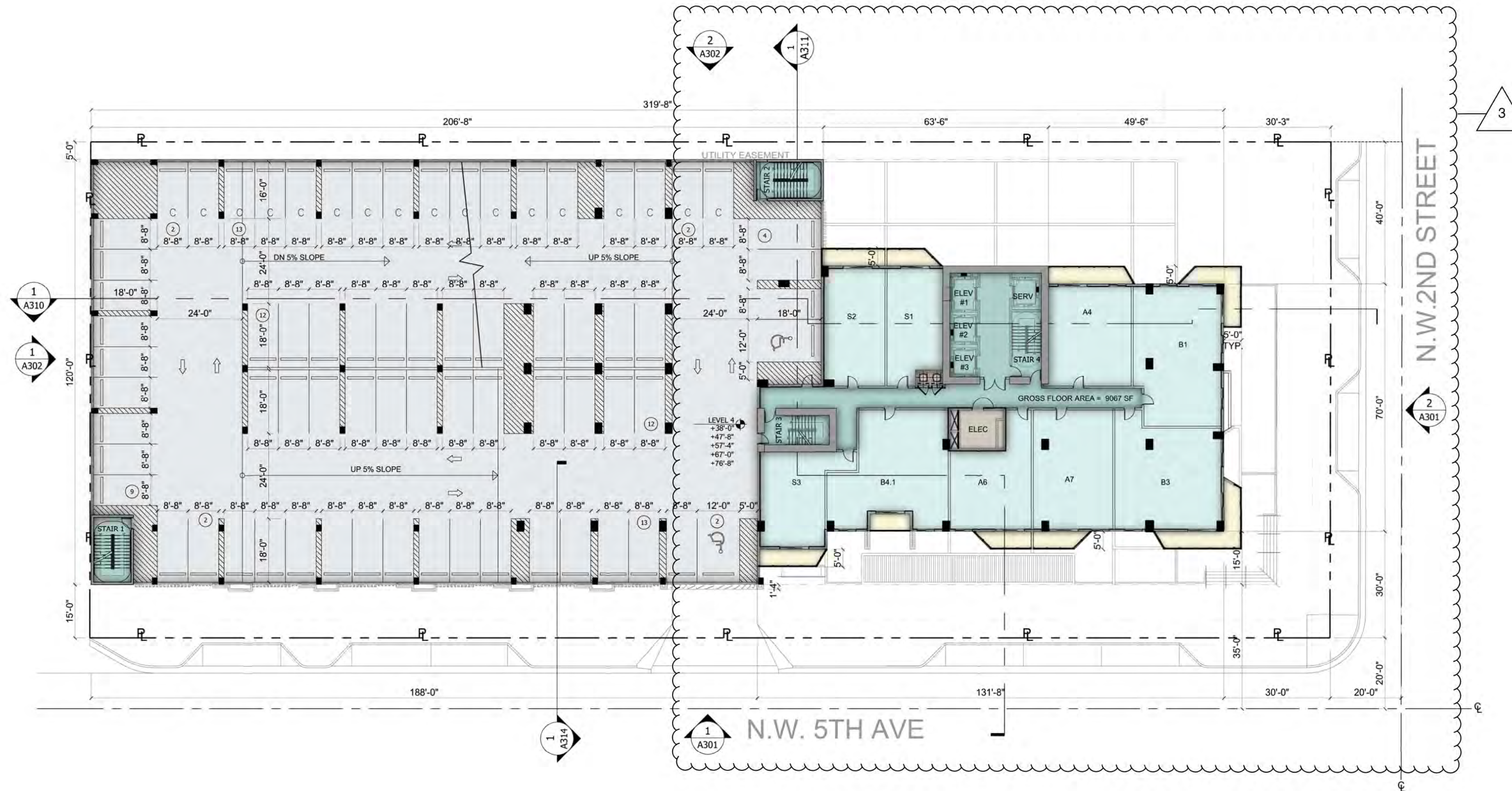
DORSKY+YUE INTERNATIONAL  
 ARCHITECTURE  
 FORT LAUDERDALE  
 P. 954.703.7830  
 F. 954.524.8804  
 CLEVELAND  
 P. 216.468.1850  
 F. 216.464.3610

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4TH - 8TH TYP. FLOOR PLAN  
 Job No.: DY201751  
 Drawn: Checked: Date: 09/06/2022

A104



**PROGRAM LEGEND**

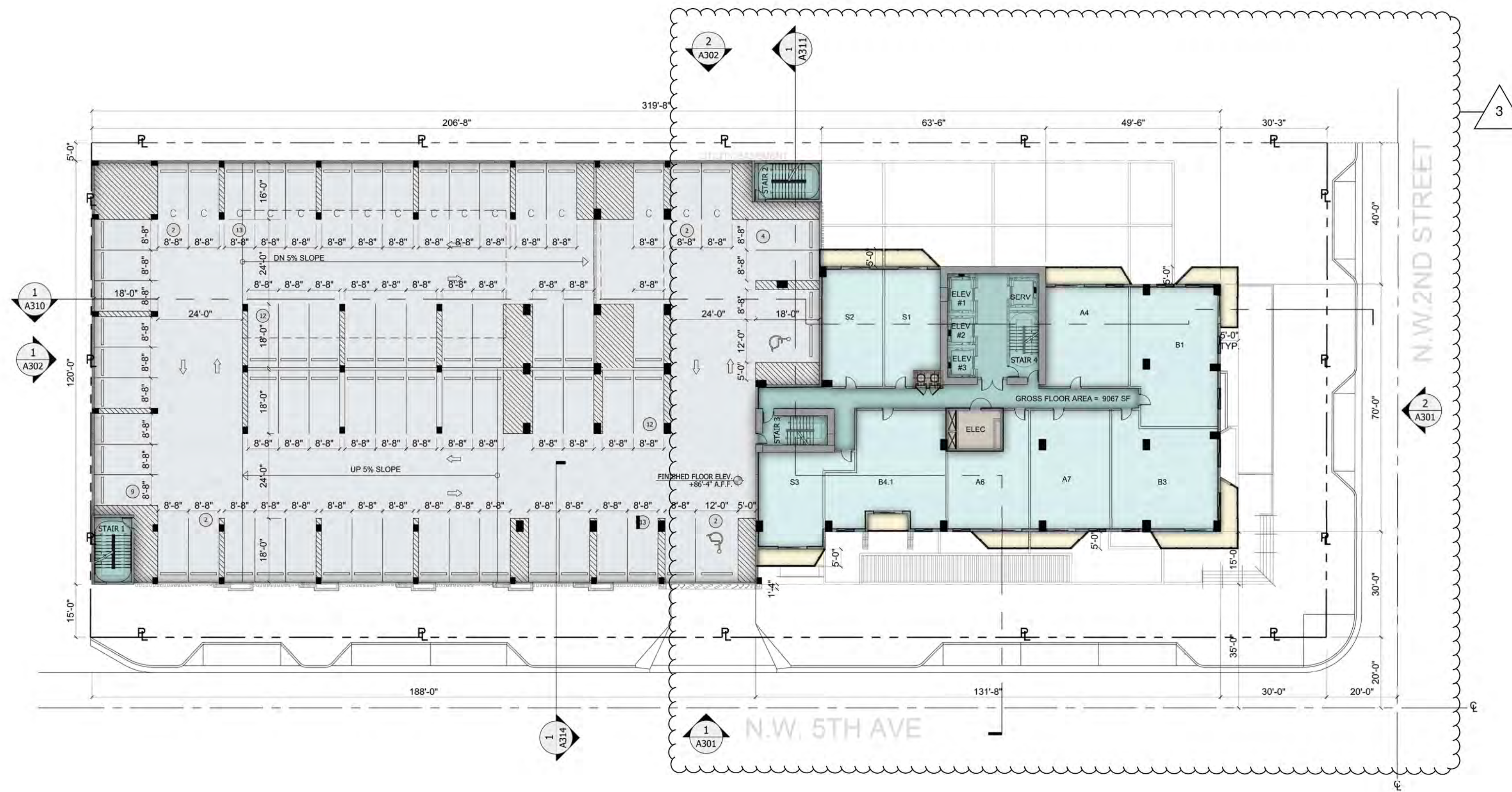
- GARAGE
- CIRCULATION
- UNITS
- TERRACE/BALCONY AREA
- B.O.H.

1  
 A104 4TH - 8TH TYP. FLOOR PLAN 1" = 20'-0"





AA 26002045  
 Issue:                    Date:  
 ▲ 05 - 06 - 2022  
 ▲ 07 - 26 - 2022  
 ▲ 09 - 01 - 2022



- PROGRAM LEGEND**
- GARAGE
  - CIRCULATION
  - UNITS
  - TERRACE/BALCONY AREA
  - B.O.H.

1  
 A105 9TH FLOOR & PARKING PLAN  
 1" = 20'-0"

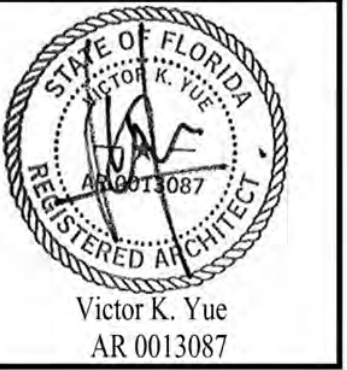
DORSKY+YUE INTERNATIONAL  
 ARCHITECTURE  
 CLEVELAND  
 FORT LAUDERDALE  
 P. 216.468.1850  
 F. 216.464.3610

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9TH FLOOR & PARKING PLAN  
 Job No.: DYZ201751  
 Drawn:                    Checked:                    Date: 09/06/2022

A105





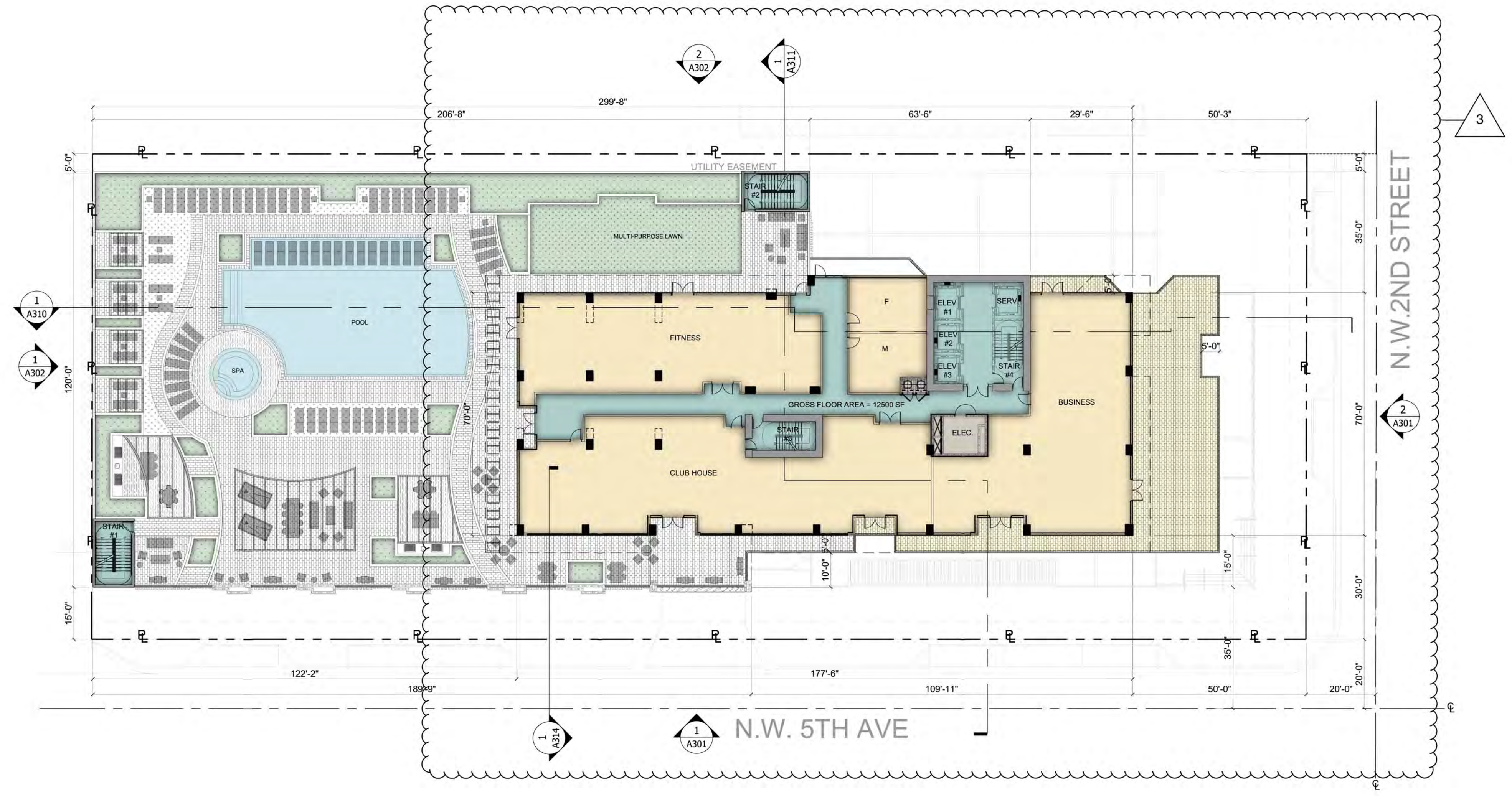
AA 26002045  
 Issue: 05 - 06 - 2022  
 07 - 26 - 2022  
 09 - 01 - 2022

DORSKY+YUE INTERNATIONAL  
 ARCHITECTURE  
 FORT LAUDERDALE  
 P. 954.703.7630  
 F. 954.524.8604  
 CLEVELAND  
 P. 216.488.1850  
 F. 216.464.3810

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 Fort Lauderdale, FL  
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10TH FLOOR AMENITY PLAN  
 Job No.: DY201751  
 Drawn: Drawn: Drawn: Drawn:  
 Checked: Checked: Checked: Checked:  
 Date: 09/06/2022

A106



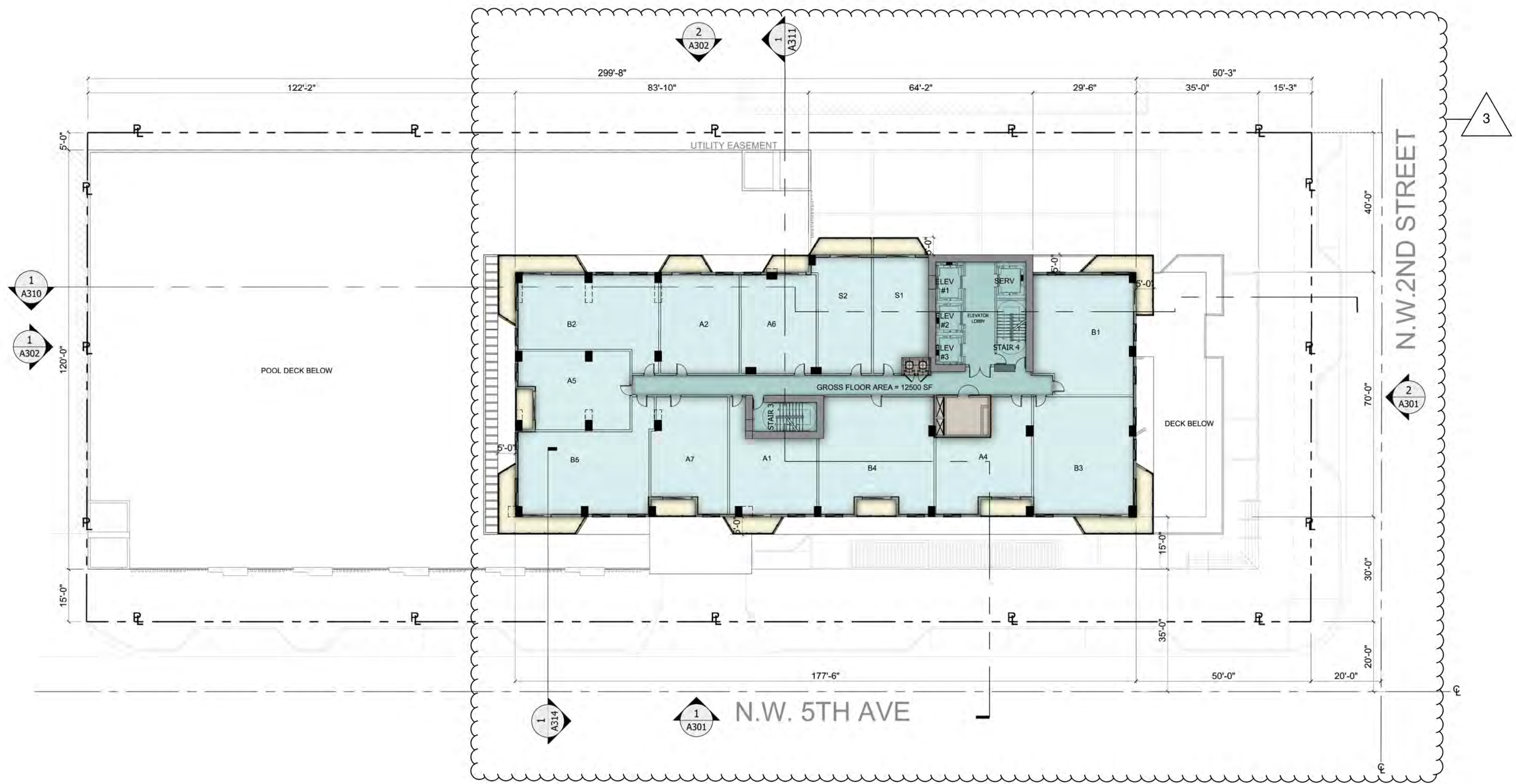
- PROGRAM LEGEND**
- CIRCULATION
  - AMENITY AREA
  - BALCONY AREA
  - B.O.H.
  - LANDSCAPE

1 10TH FLOOR AMENITY PLAN  
 A106 1" = 20'-0"





AA 26002045  
 Issue:                      Date:  
 ▲ 05 - 06 - 2022  
 ▲ 07 - 26 - 2022  
 ▲ 09 - 01 - 2022



**PROGRAM LEGEND**

- UNITS
- BALCONY AREA
- CIRCULATION
- B.O.H.

11TH TO 26TH FLOOR PLAN  
 1" = 20'-0"

DORSKY+YUE INTERNATIONAL  
 ARCHITECTURE

FORT LAUDERDALE  
 P: 564.703.7830  
 F: 564.524.6604

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Fort Lauderdale, FL

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11TH TO 26TH FLOOR PLAN

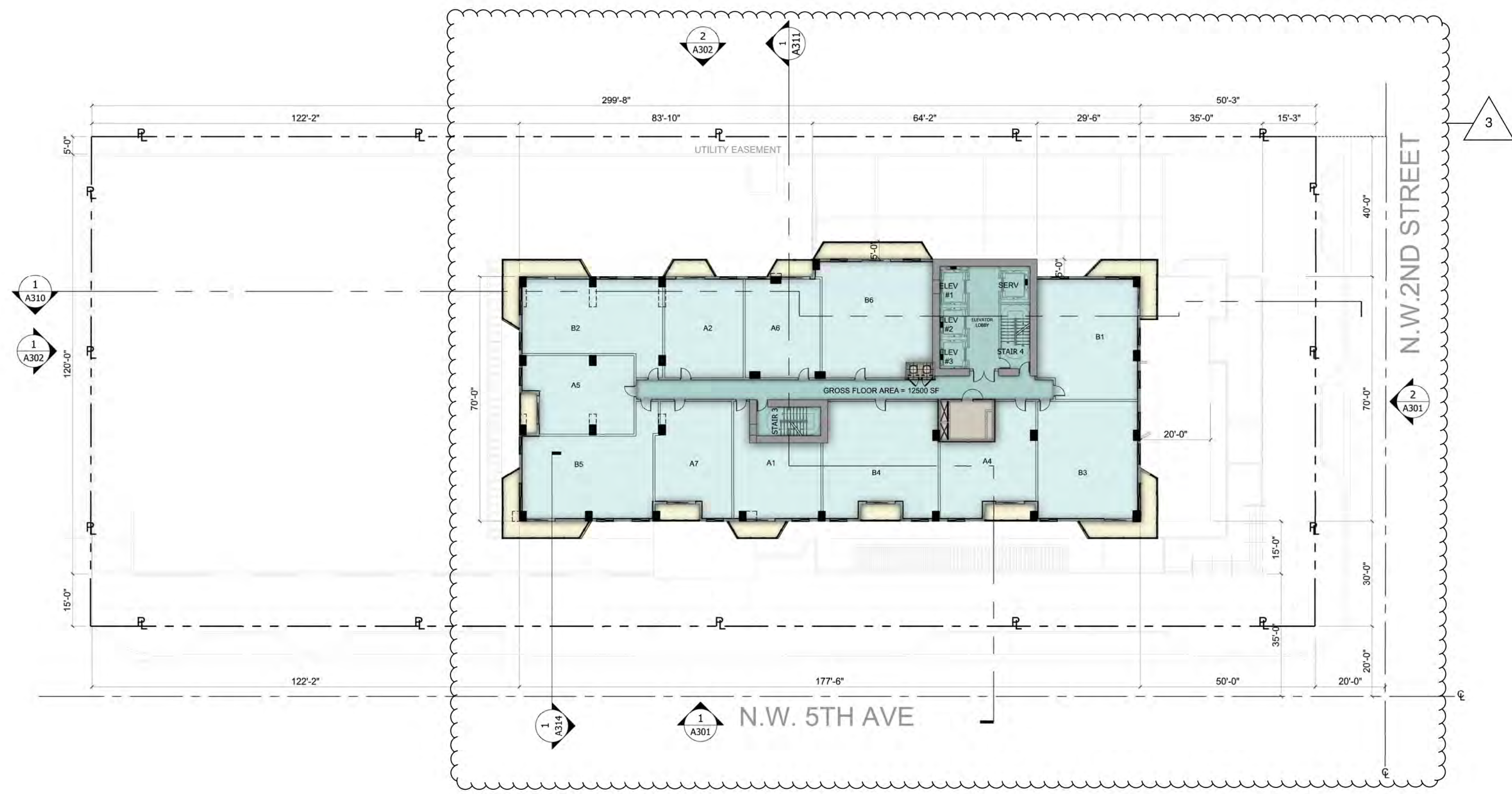
Job No.: D1201751  
 Drawn:                      Checked:  
 Date: 09/06/2022

A107





AA 26002045  
 Issue: 05 - 06 - 2022  
 07 - 26 - 2022  
 09 - 01 - 2022



**PROGRAM LEGEND**

- UNITS
- BALCONY AREA
- CIRCULATION
- B.O.H.

1  
 A108 27TH TO 36TH FLOOR PLAN  
 1" = 20'-0"

DORSKY+YUE INTERNATIONAL  
 ARCHITECTURE  
 FORT LAUDERDALE  
 P: 954.703.7830  
 F: 954.554.4664  
 CLEVELAND  
 P: 216.468.1860  
 F: 216.464.3810

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Fort Lauderdale, FL  
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27TH TO 36TH FLOOR PLAN

Job No.: D1301751  
 Drawn: [blank]  
 Checked: [blank]  
 Date: 09/06/2022

A108





Issue:	Date:
⚠	05 - 06 - 2022
⚠	07 - 26 - 2022
⚠	09 - 01 - 2022



**PROGRAM LEGEND**  
 B.O.H.

1  
A109 LOWER ROOF PLAN  
 1" = 20'-0"

DORSKY + YUE INTERNATIONAL  
 ARCHITECTURE  
 CLEVELAND, OHIO  
 P: 216.468.0850  
 F: 216.464.3610  
 FORT LAUDERDALE, FL  
 P: 954.703.7500  
 F: 954.524.8204

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**LOWER ROOF PLAN**  
 Job No.: DY201751  
 Drawn: [blank]  
 Checked: [blank]  
 Date: 09/06/2022

**A109**





AA 26002045  
 Issue: 05 - 06 - 2022  
 07 - 26 - 2022  
 09 - 01 - 2022

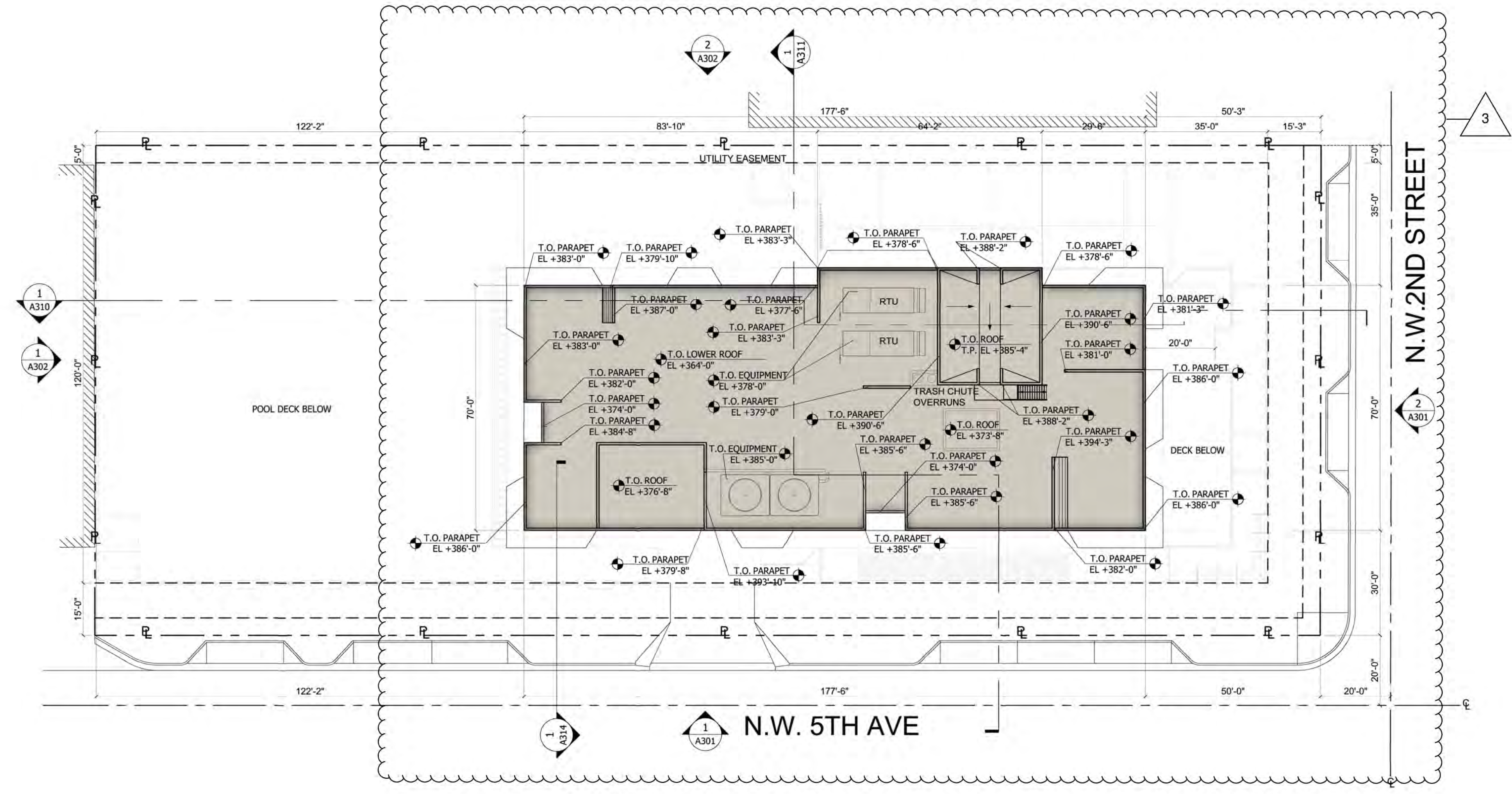
DORSKY + YUE INTERNATIONAL  
 ARCHITECTURE  
 FORT LAUDERDALE, FL  
 P: 954.703.7500  
 F: 954.524.8500

199 NW 5TH AVE  
 Fort Lauderdale, FL

UPPER ROOF PLAN

Job No.: DY201751  
 Drawn: [blank]  
 Checked: [blank]  
 Date: 09/06/2022

A110



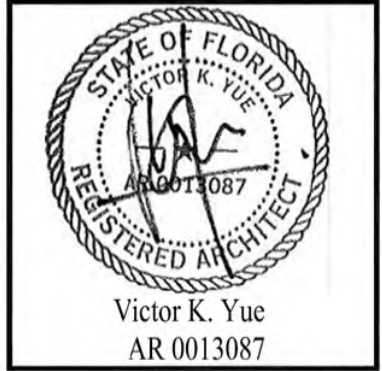
PROGRAM LEGEND

■ B.O.H.

1 UPPER ROOF PLAN

1" = 20'-0"





AA 26002045  
 Issue: 05-06-2022  
 07-26-2022  
 09-01-2022  
 Date:

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 ARCHITECTURE  
 FORT LAUDERDALE  
 P. 954.703.7830  
 F. 954.524.8604  
 CLEVELAND  
 P. 216.464.3610  
 F. 216.464.3610

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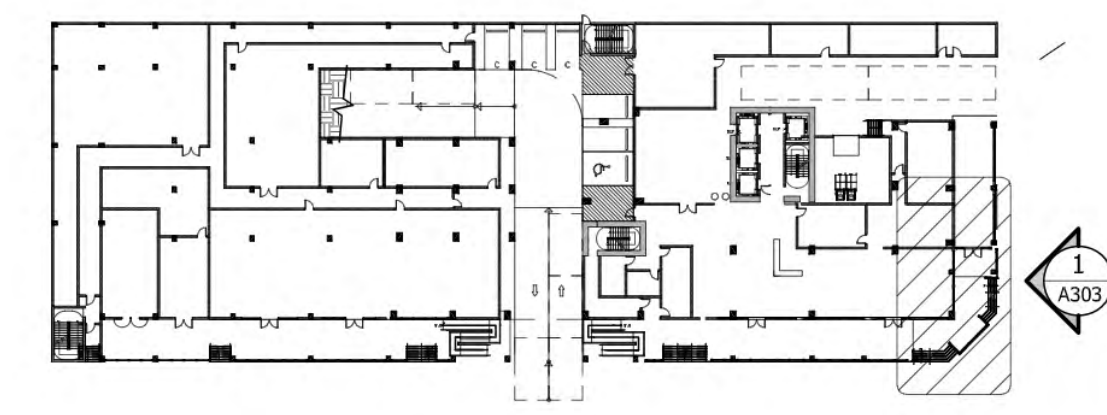
ENLARGED NORTH ELEVATION 1  
 Job No.: DY201751  
 Drawn: [Name]  
 Checked: [Name]  
 Date: 09/06/2022

**A303**



ENLARGED NORTH ELEVATION 1  
 1/4" = 1'-0"

**KEYPLAN**



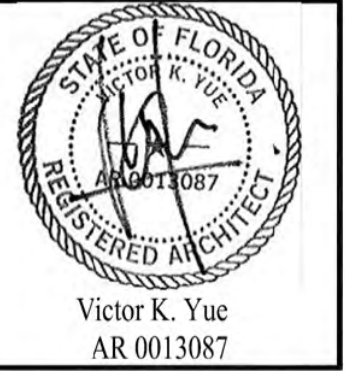
**MATERIAL LEGEND**

- |  |   |   |   |  |  |
|--|---|---|---|--|--|
| 1A STUCCO WALL FINISH<br>COLOR: WHITE<br>TEXTURE: SMOOTH | 1B STUCCO WALL FINISH<br>COLOR: BLUE 1<br>TEXTURE: SMOOTH | 1C STUCCO WALL FINISH<br>COLOR: BLUE 2<br>TEXTURE: SMOOTH | 1D STUCCO WALL FINISH<br>COLOR: BLUE 3<br>TEXTURE: SMOOTH | 1E STUCCO WALL FINISH<br>COLOR: BLUE 4<br>TEXTURE: SMOOTH                        | X1 MESH SCREEN                                   |
| 2 STONE TILE   | 3 SIMULATED WOOD PANELS                                   | 4 GLASS RAILING   | 5 ALUMINUM GUARDRAIL                                      | 6 ALUMINUM TRELLIS<br>COLOR: BRONZE  | X2 FUTURE BUILDING SIGN<br>PER ULDR REQUIREMENTS |
| 7 IMPACT RESISTANT WINDOWS                               | 8 IMPACT RESISTANT SLIDING GLASS DOOR                     | 9 IMPACT RESISTANT STOREFRONT SYSTEM                      | 10 ALUMINUM C-CHANNEL<br>COLOR: BLUE 1                    | 11 ALUMINUM C-CHANNEL<br>COLOR: WHITE  | X3 LED LIGHT FIXTURES                            |
|  |   |   | 12 ALUMINUM C-CHANNEL<br>COLOR: BLUE 2                    | 13 FUTURE RETAIL TENANT SIGN TO COMPLY WITH<br>FORT LAUDERDALE ULDR 47-22.4.C.13 | X4 LINEAR LED LIGHT                              |





3



AA 26002045  
 Issue: 05 - 06 - 2022  
 07 - 26 - 2022  
 09 - 01 - 2022  
 Date:

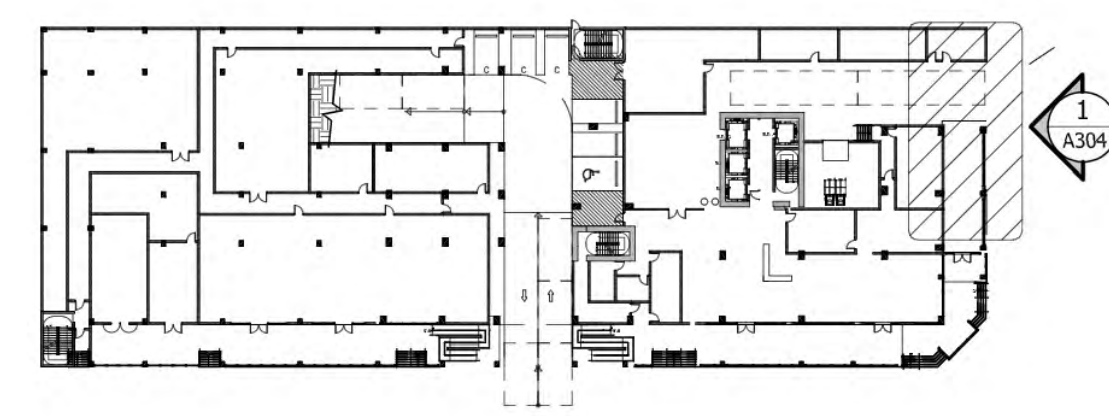
DORSKY + YUE INTERNATIONAL  
 ARCHITECTURE  
 FORT LAUDERDALE  
 FORT LAUDERDALE  
 P: 954.703.7830  
 P: 216.468.1890  
 F: 954.524.8904  
 F: 216.464.3610

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 Fort Lauderdale, FL


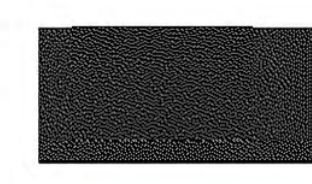













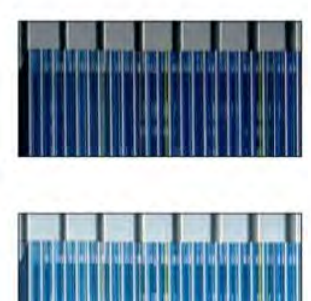


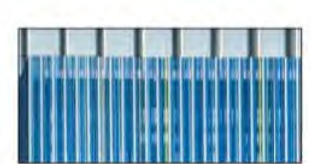


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1  
 A304 ENLARGED NORTH ELEVATION 2  
 1/4" = 1'-0"

KEYPLAN

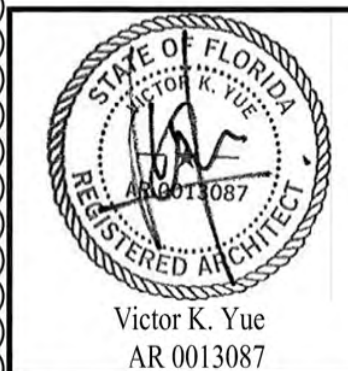


MATERIAL LEGEND

 1A STUCCO WALL FINISH COLOR: WHITE TEXTURE: SMOOTH	 1B STUCCO WALL FINISH COLOR: BLUE 1 TEXTURE: SMOOTH	 1C STUCCO WALL FINISH COLOR: BLUE 2 TEXTURE: SMOOTH	 1D STUCCO WALL FINISH COLOR: BLUE 3 TEXTURE: SMOOTH	 1E STUCCO WALL FINISH COLOR: BLUE 4 TEXTURE: SMOOTH	 X1 MESH SCREEN
 2 STONE TILE	 3 SIMULATED WOOD PANELS	 4 GLASS RAILING	 5 ALUMINUM GUARDRAIL	 6 ALUMINUM TRELLIS COLOR: BRONZE	 X2 FUTURE BUILDING SIGN PER ULDR REQUIREMENTS
 7 IMPACT RESISTANT WINDOWS	 8 IMPACT RESISTANT SLIDING GLASS DOOR	 9 IMPACT RESISTANT STOREFRONT SYSTEM	 10 ALUMINUM C-CHANNEL COLOR: BLUE 1	 11 ALUMINUM C-CHANNEL COLOR: WHITE	 X3 LED LIGHT FIXTURES
			 12 ALUMINUM C-CHANNEL COLOR: BLUE 2	 13 FUTURE RETAIL TENANT SIGN TO COMPLY WITH FORT LAUDERDALE ULDR 47-22.4.C.13	 X4 LINEAR LED LIGHT

A304





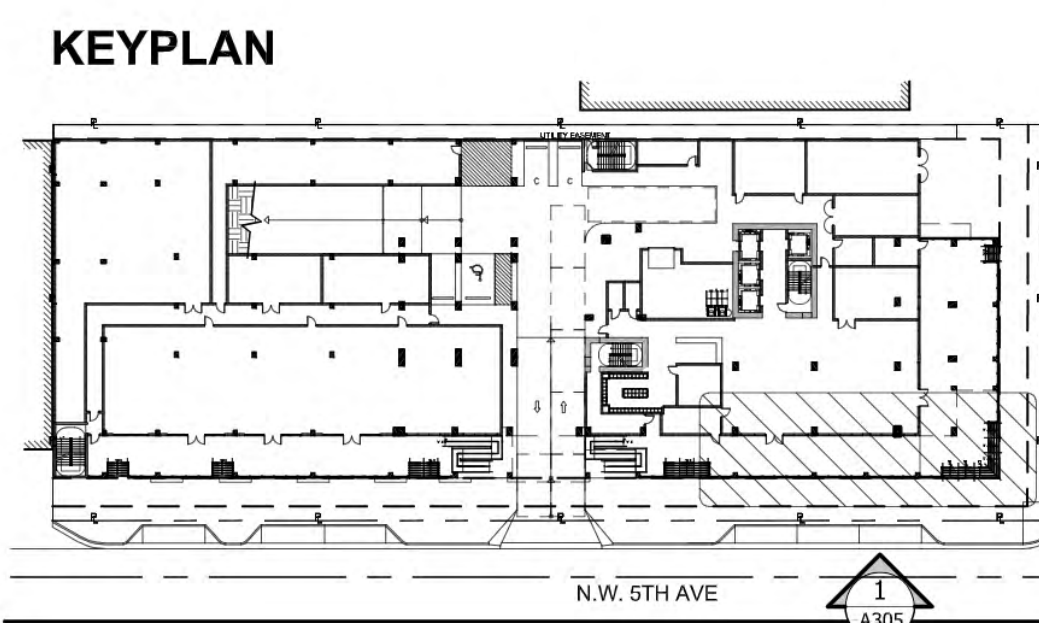
AA 26002045  
 Issue: 05-06-2022  
 07-26-2022  
 09-01-2022  
 Date:

DORSKY + YUE INTERNATIONAL  
 ARCHITECTURE  
 FORT LAUDERDALE  
 P. 954.703.7830  
 F. 954.524.8604  
 CLEVELAND  
 P. 216.468.1850  
 F. 216.464.3610

199 NW 5TH AVE  
 Fort Lauderdale, FL  
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ENLARGED EAST ELEVATION 1  
 Job No.: DY201751  
 Drawn: [Name]  
 Checked: [Name]  
 Date: 09/06/2022

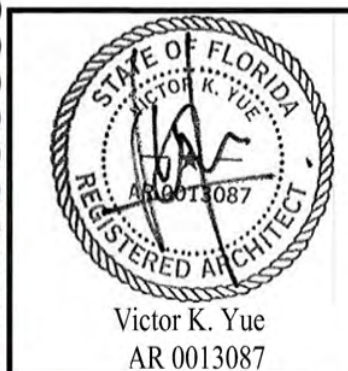
**A305**



**MATERIAL LEGEND**

- |  |   |   |   |   |   |
|--|---|---|---|---|---|
| 1A STUCCO WALL FINISH<br>COLOR: WHITE<br>TEXTURE: SMOOTH | 1B STUCCO WALL FINISH<br>COLOR: BLUE 1<br>TEXTURE: SMOOTH | 1C STUCCO WALL FINISH<br>COLOR: BLUE 2<br>TEXTURE: SMOOTH | 1D STUCCO WALL FINISH<br>COLOR: BLUE 3<br>TEXTURE: SMOOTH | 1E STUCCO WALL FINISH<br>COLOR: BLUE 4<br>TEXTURE: SMOOTH                           | X1 MESH SCREEN                                      |
| 2 STONE TILE   | 3 SIMULATED WOOD PANELS                                   | 4 GLASS RAILING   | 5 ALUMINUM GUARDRAIL                                      | 6 ALUMINUM TRELLIS<br>COLOR: BRONZE   | X2 FUTURE BUILDING SIGN<br>PER ULDR<br>REQUIREMENTS |
| 7 IMPACT RESISTANT WINDOWS                               | 8 IMPACT RESISTANT SLIDING GLASS DOOR                     | 9 IMPACT RESISTANT STOREFRONT SYSTEM                      | 10 ALUMINUM C-CHANNEL<br>COLOR: BLUE 1                    | 11 ALUMINUM C-CHANNEL<br>COLOR: WHITE   | X3 LED LIGHT FIXTURES                               |
|  |   |   | 12 ALUMINUM C-CHANNEL<br>COLOR: BLUE 2                    | 13 FUTURE RETAIL TENANT SIGN TO COMPLY WITH<br>FORT LAUDERDALE ULDR<br>47-22.4 C.13 | X4 LINEAR LED LIGHT                                 |





AA 26002045  
 Issue: 05-06-2022  
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 09-01-2022  
 Date:

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 ARCHITECTURE  
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 F. 954.524.8604  
 CLEVELAND  
 P. 216.468.1850  
 F. 216.464.3610

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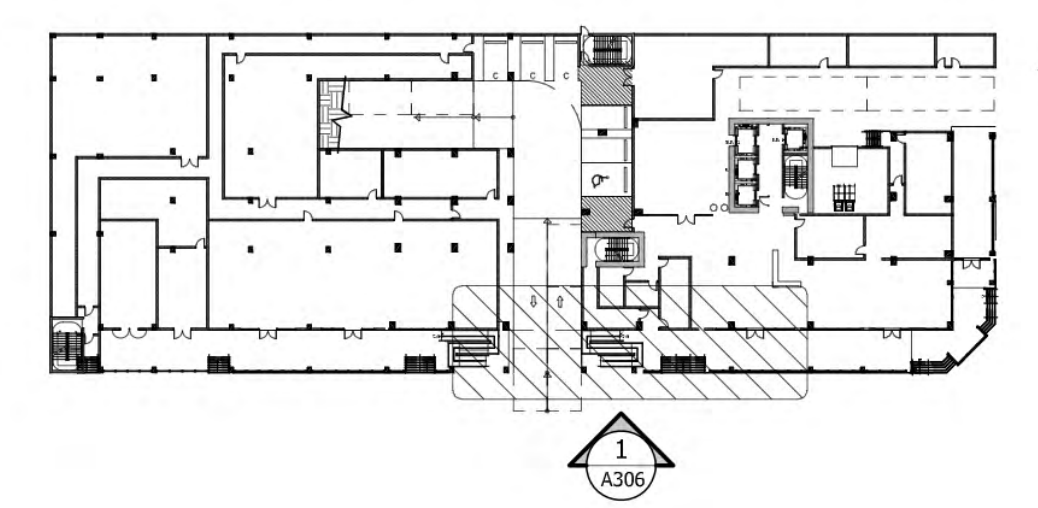
ENLARGED EAST ELEVATION 2  
 Job No.: DY201751  
 Drawn: [Name]  
 Checked: [Name]  
 Date: 09/06/2022

A306



- X3
- 10
- X1
- 12
- 11
- 1A
- X2
- 2
- 5
- 6
- X4
- 3
- 8
- 7
- 1A
- 9

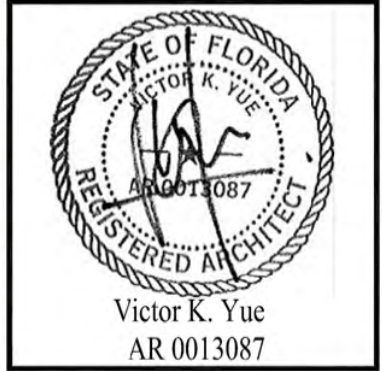
KEYPLAN



MATERIAL LEGEND

- |   |  |   |  |   |  |
|---|--|---|--|---|--|
| <p>1A STUCCO WALL FINISH<br/>COLOR: WHITE<br/>TEXTURE: SMOOTH</p> <p>2 STONE TILE</p> <p>7 IMPACT RESISTANT WINDOWS</p> | <p>1B STUCCO WALL FINISH<br/>COLOR: BLUE 1<br/>TEXTURE: SMOOTH</p> <p>3 SIMULATED WOOD PANELS</p> <p>8 IMPACT RESISTANT SLIDING GLASS DOOR</p> | <p>1C STUCCO WALL FINISH<br/>COLOR: BLUE 2<br/>TEXTURE: SMOOTH</p> <p>4 GLASS RAILING</p> <p>9 IMPACT RESISTANT STOREFRONT SYSTEM</p> | <p>1D STUCCO WALL FINISH<br/>COLOR: BLUE 3<br/>TEXTURE: SMOOTH</p> <p>5 ALUMINUM GUARDRAIL</p> <p>10 ALUMINUM C-CHANNEL<br/>COLOR: BLUE 1</p> <p>12 ALUMINUM C-CHANNEL<br/>COLOR: BLUE 2</p> | <p>1E STUCCO WALL FINISH<br/>COLOR: BLUE 4<br/>TEXTURE: SMOOTH</p> <p>6 ALUMINUM TRELLIS<br/>COLOR: BRONZE</p> <p>11 ALUMINUM C-CHANNEL<br/>COLOR: WHITE</p> <p>13 FUTURE RETAIL TENANT SIGN TO COMPLY WITH FORT LAUDERDALE ULDR 47-22.4.C.13</p> | <p>X1 MESH SCREEN</p> <p>X2 FUTURE BUILDING SIGN PER ULDR REQUIREMENTS</p> <p>X3 LED LIGHT FIXTURES</p> <p>X4 LINEAR LED LIGHT</p> |
|---|--|---|--|---|--|





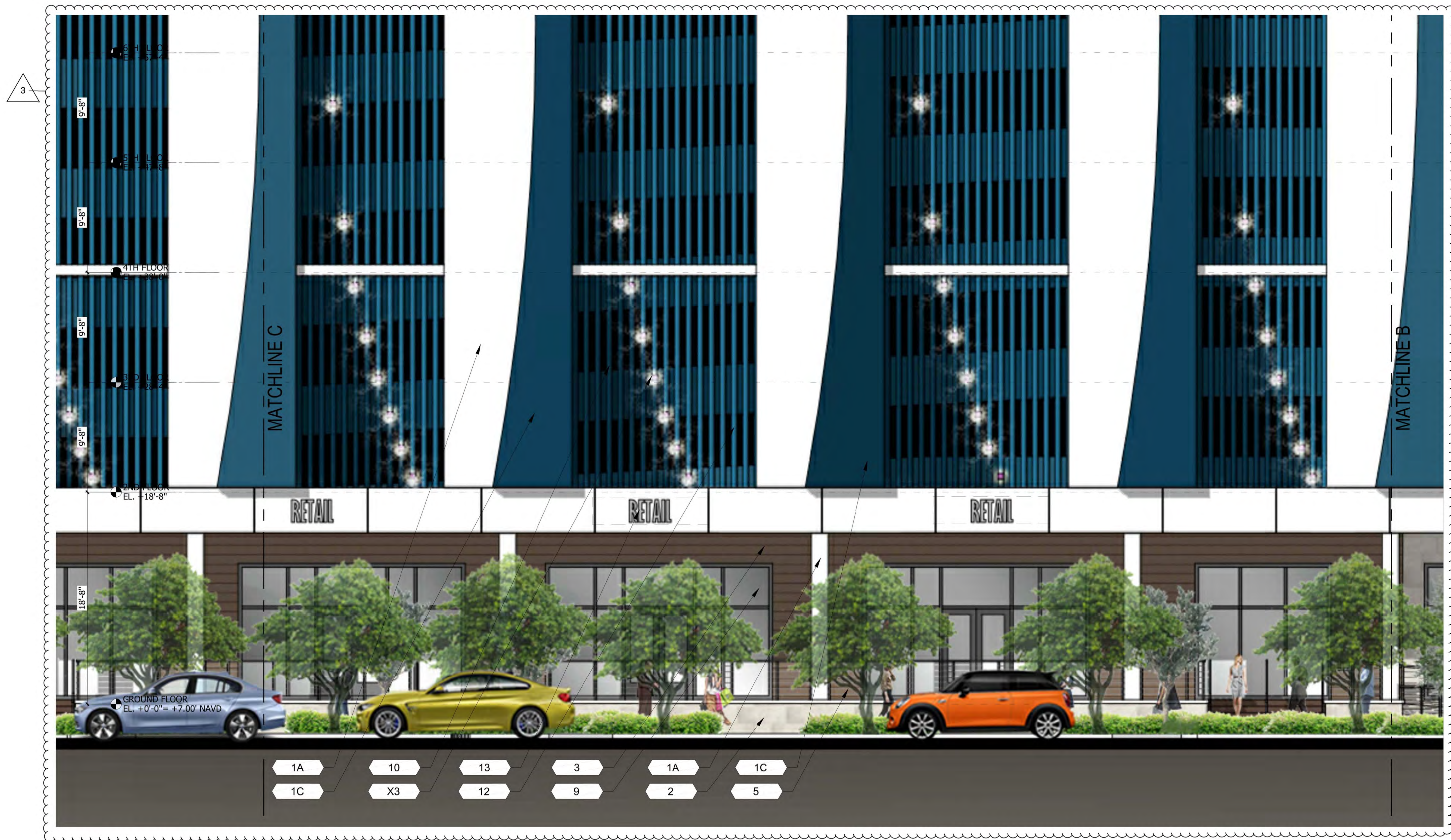
AA 26002045  
 Issue: 05-06-2022  
 07-26-2022  
 09-01-2022  
 Date:

DORSKY + YUE INTERNATIONAL  
 ARCHITECTURE  
 FORT LAUDERDALE  
 P. 954.703.7830  
 F. 954.524.8604  
 CLEVELAND  
 P. 216.468.1850  
 F. 216.464.3610

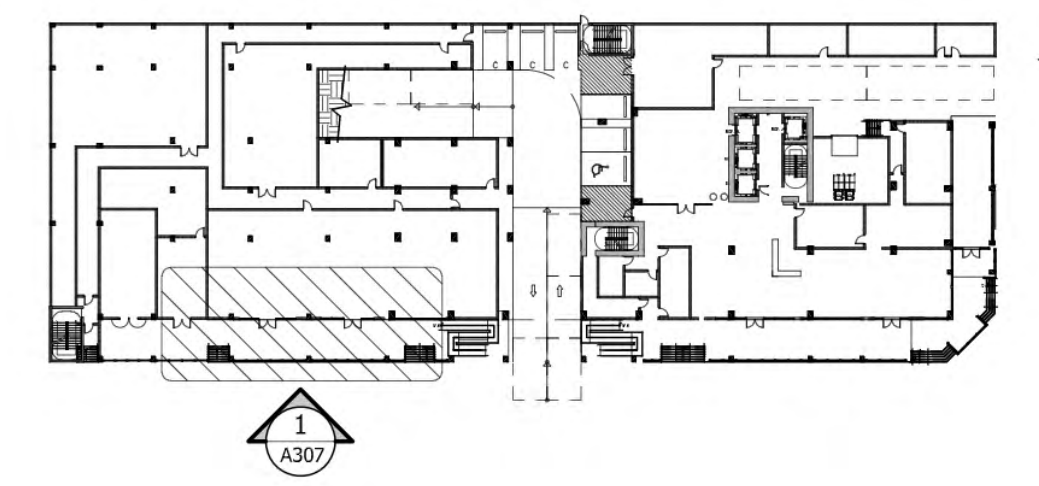
199 NW 5TH AVE  
 Fort Lauderdale, FL  
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ENLARGED EAST ELEVATION 3  
 Job No.: DY201751  
 Drawn: [Name]  
 Checked: [Name]  
 Date: 09/06/2022

**A307**



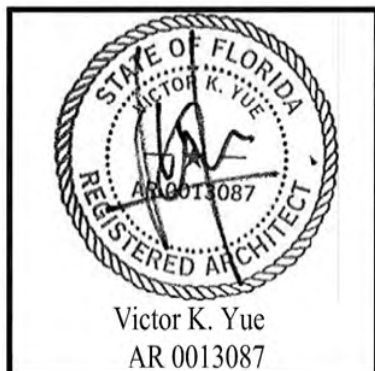
**KEYPLAN**



**MATERIAL LEGEND**

	<b>1A</b> STUCCO WALL FINISH COLOR: WHITE TEXTURE: SMOOTH		<b>1B</b> STUCCO WALL FINISH COLOR: BLUE 1 TEXTURE: SMOOTH		<b>1C</b> STUCCO WALL FINISH COLOR: BLUE 2 TEXTURE: SMOOTH		<b>1D</b> STUCCO WALL FINISH COLOR: BLUE 3 TEXTURE: SMOOTH		<b>1E</b> STUCCO WALL FINISH COLOR: BLUE 4 TEXTURE: SMOOTH		<b>X1</b> MESH SCREEN
	<b>2</b> STONE TILE		<b>3</b> SIMULATED WOOD PANELS		<b>4</b> GLASS RAILING		<b>5</b> ALUMINUM GUARDRAIL		<b>6</b> ALUMINUM TRELLIS COLOR: BRONZE		<b>X2</b> FUTURE BUILDING SIGN PER ULDR REQUIREMENTS
	<b>7</b> IMPACT RESISTANT WINDOWS		<b>8</b> IMPACT RESISTANT SLIDING GLASS DOOR		<b>9</b> IMPACT RESISTANT STOREFRONT SYSTEM		<b>10</b> ALUMINUM C-CHANNEL COLOR: BLUE 1		<b>11</b> ALUMINUM C-CHANNEL COLOR: WHITE		<b>X3</b> LED LIGHT FIXTURES
							<b>12</b> ALUMINUM C-CHANNEL COLOR: BLUE 2		<b>13</b> FUTURE RETAIL TENANT SIGN TO COMPLY WITH FORT LAUDERDALE ULDR 47-22.4.C.13		<b>X4</b> LINEAR LED LIGHT





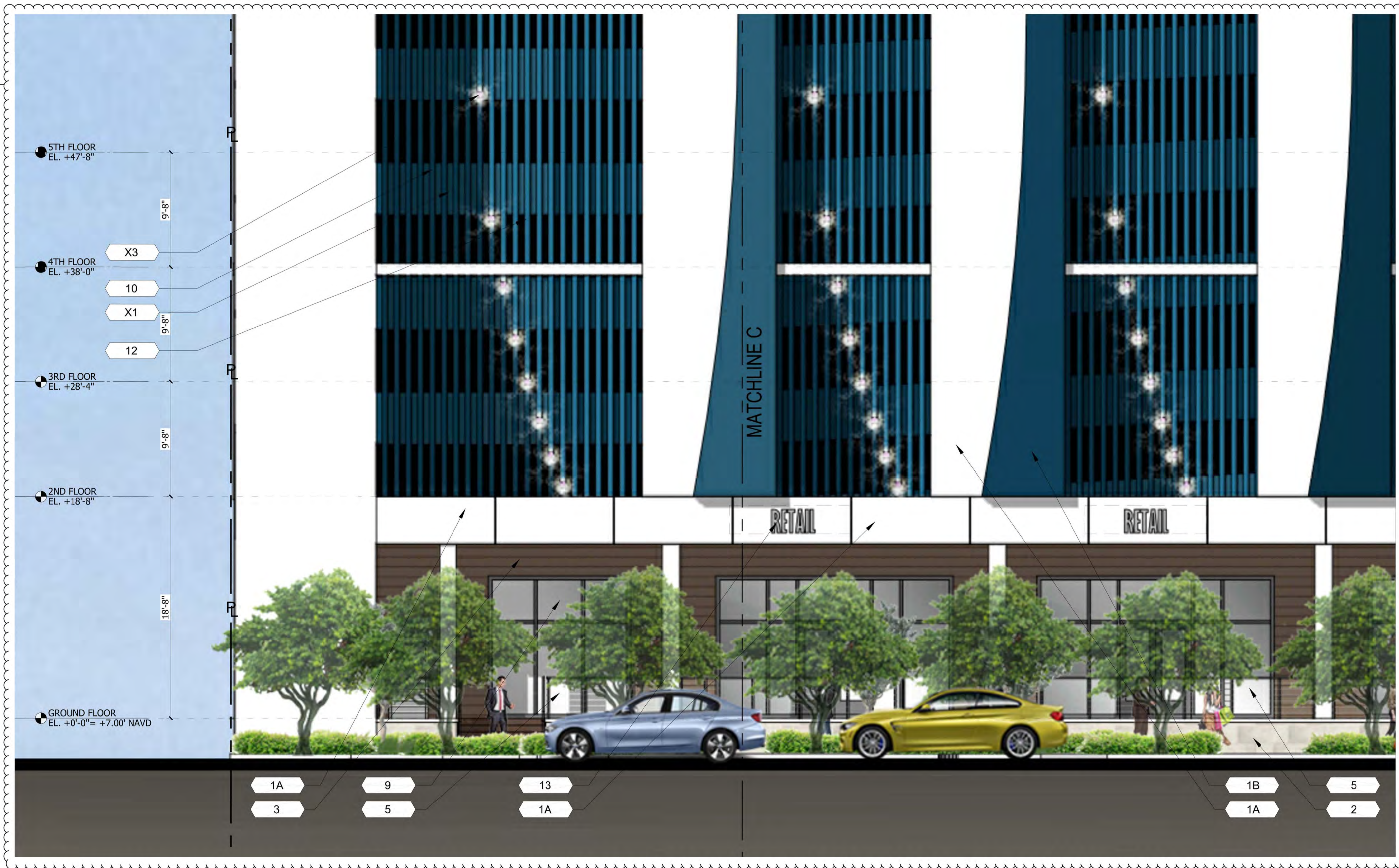
AA 26002045  
 Issue: 05-06-2022  
 07-26-2022  
 09-01-2022  
 Date:

DORSKY + YUE INTERNATIONAL  
 ARCHITECTURE  
 FORT LAUDERDALE  
 CLEVELAND  
 P: 954.703.7830  
 P: 216.468.1850  
 F: 954.524.8604  
 F: 216.464.3610

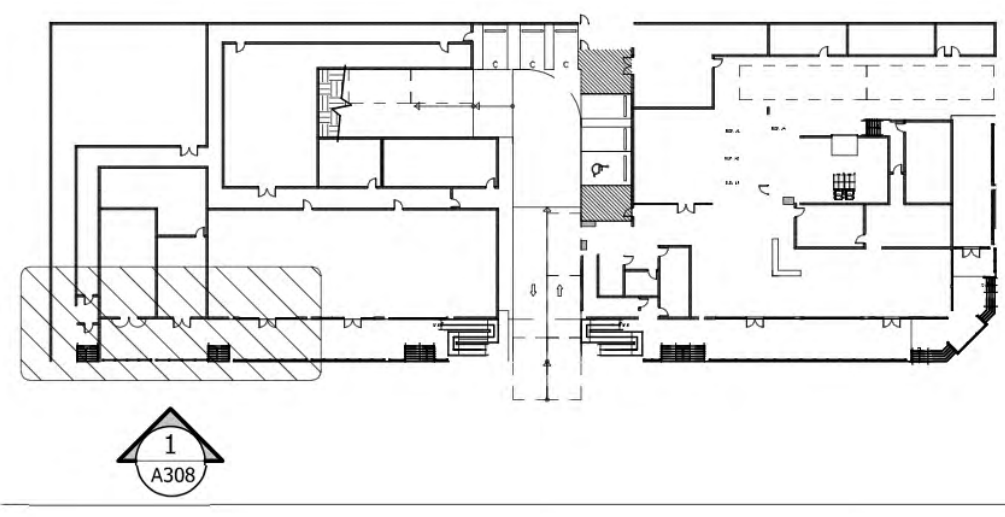
199 NW 5TH AVE  
 Fort Lauderdale, FL  
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ENLARGED EAST ELEVATION 4  
 Job No.: DY201751  
 Drawn: Date: 09/06/2022  
 Checked: Per ULDR Requirements

A308



KEYPLAN



MATERIAL LEGEND

- |  |   |   |   |   |   |
|--|---|---|---|---|---|
| 1A STUCCO WALL FINISH<br>COLOR: WHITE<br>TEXTURE: SMOOTH | 1B STUCCO WALL FINISH<br>COLOR: BLUE 1<br>TEXTURE: SMOOTH | 1C STUCCO WALL FINISH<br>COLOR: BLUE 2<br>TEXTURE: SMOOTH | 1D STUCCO WALL FINISH<br>COLOR: BLUE 3<br>TEXTURE: SMOOTH | 1E STUCCO WALL FINISH<br>COLOR: BLUE 4<br>TEXTURE: SMOOTH                     | X1 MESH SCREEN                                |
| 2 STONE TILE   | 3 SIMULATED WOOD PANELS                                   | 4 GLASS RAILING   | 5 ALUMINUM GUARDRAIL                                      | 6 ALUMINUM TRELIS COLOR: BRONZE   | X2 FUTURE BUILDING SIGN PER ULDR REQUIREMENTS |
| 7 IMPACT RESISTANT WINDOWS                               | 8 IMPACT RESISTANT SLIDING GLASS DOOR                     | 9 IMPACT RESISTANT STOREFRONT SYSTEM                      | 10 ALUMINUM C-CHANNEL COLOR: BLUE 1                       | 11 ALUMINUM C-CHANNEL COLOR: WHITE  | X3 LED LIGHT FIXTURES                         |
|  |   |   | 12 ALUMINUM C-CHANNEL COLOR: BLUE 2                       | 13 FUTURE RETAIL TENANT SIGN TO COMPLY WITH FORT LAUDERDALE ULDR 47-22.4.C.13 | X4 LINEAR LED LIGHT                           |

1 ENLARGED EAST ELEVATION 4  
 A308 1/4" = 1'-0"





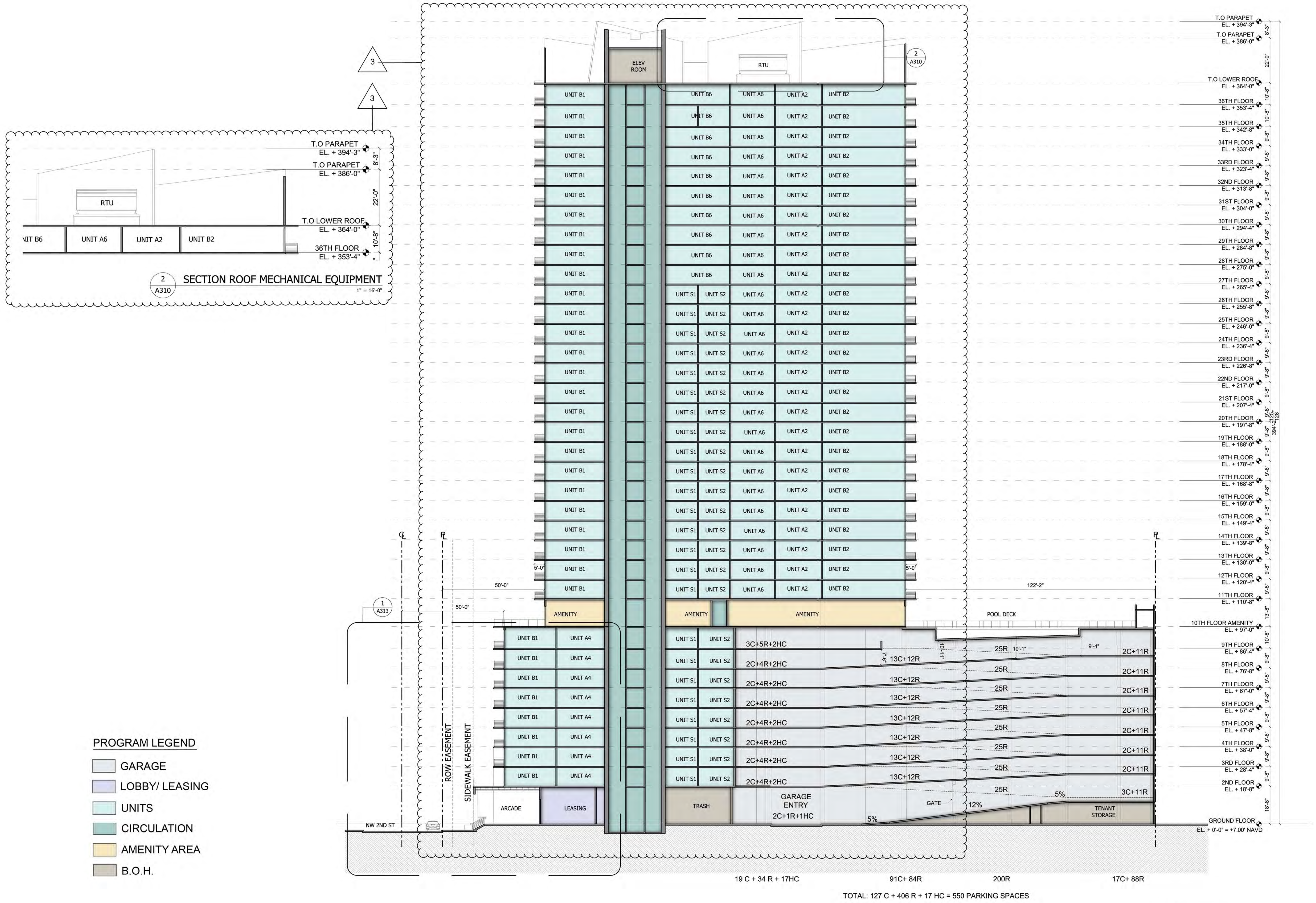
AA 26002045  
 Issue: 05-06-2022  
 07-26-2022  
 09-01-2022

DORSKY + YUE INTERNATIONAL  
 ARCHITECTURE  
 FORT LAUDERDALE  
 P: 954.700.7800  
 F: 954.524.8804

199 NW 5TH AVE  
 Fort Lauderdale, FL  
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SECTION A  
 Job No.: DY201751  
 Drawn: [Name]  
 Checked: [Name]  
 Date: 09/06/2022

A310



- PROGRAM LEGEND**
- GARAGE
  - LOBBY/ LEASING
  - UNITS
  - CIRCULATION
  - AMENITY AREA
  - B.O.H.

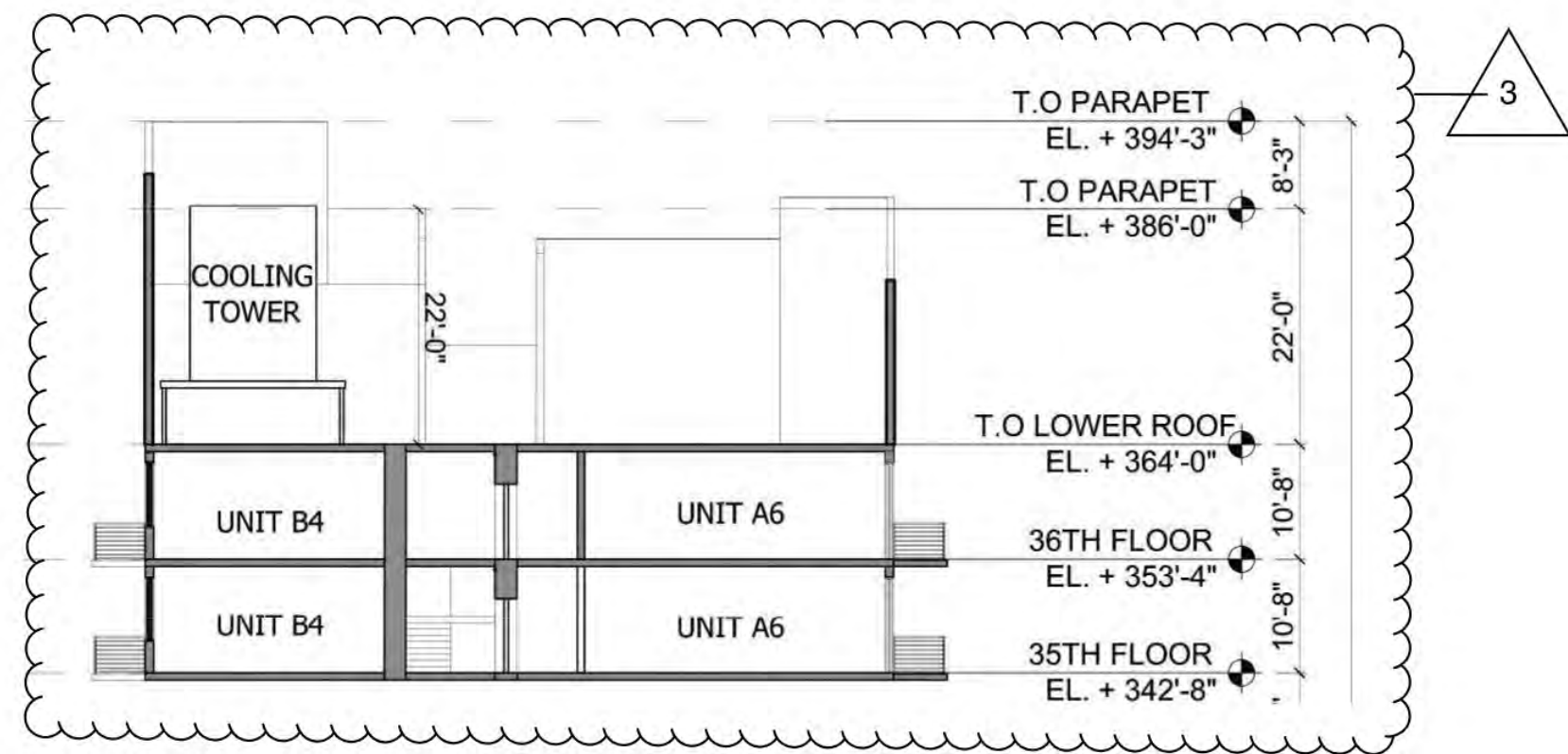
19 C + 34 R + 17HC                      91C+ 84R                      200R                      17C+ 88R

TOTAL: 127 C + 406 R + 17 HC = 550 PARKING SPACES

1 BUILDING SECTION  
 A310

1" = 20'-0"

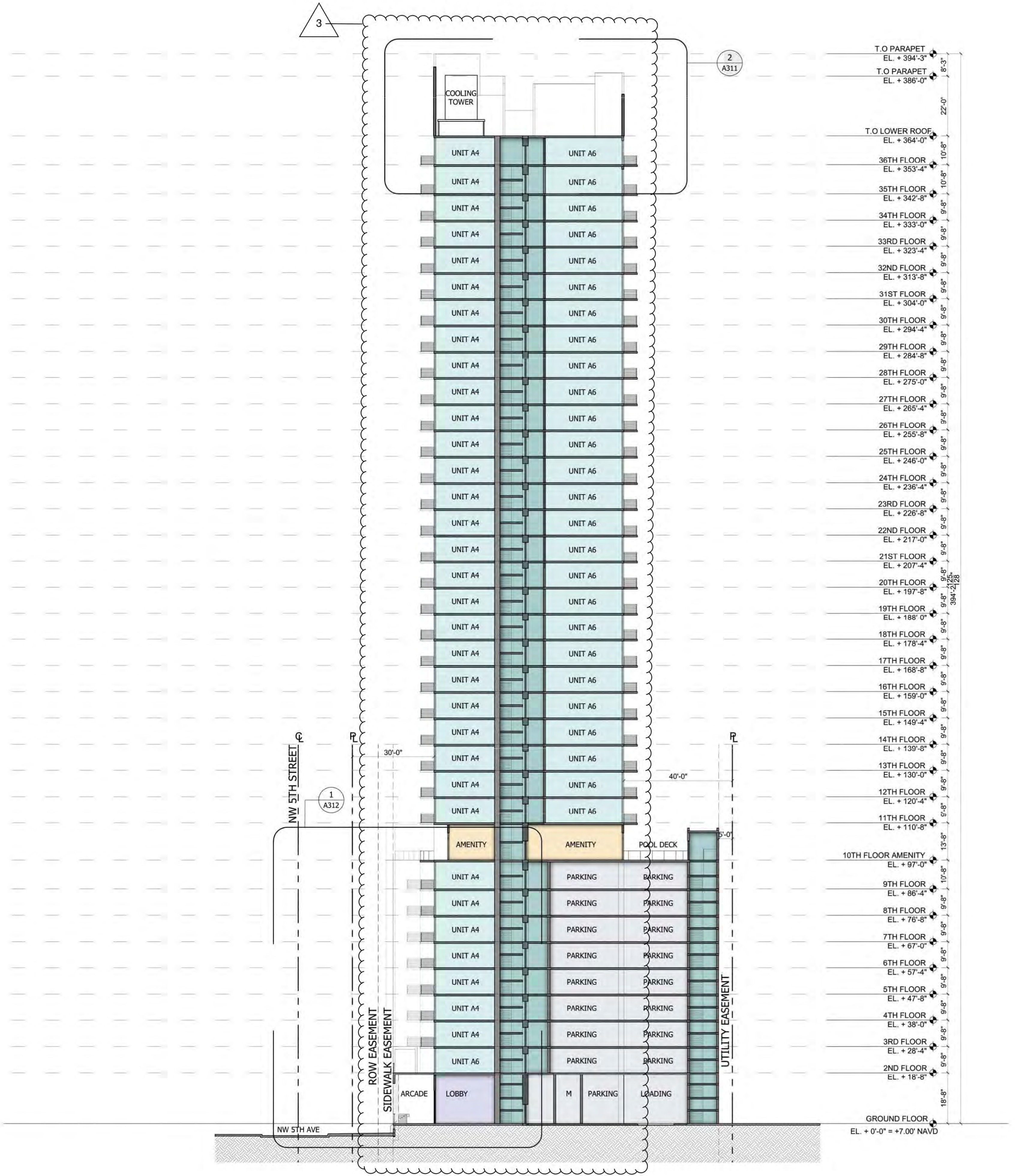




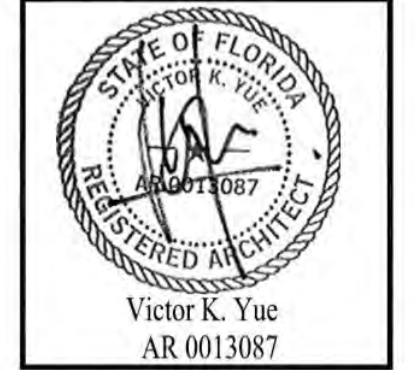
2  
A311 SECTION ROOF MECHANICAL EQUIPMENT  
1" = 16'-0"

PROGRAM LEGEND

- GARAGE
- LOBBY/ LEASING
- UNITS
- CIRCULATION
- AMENITY AREA
- B.O.H.



1  
A311 BUILDING SECTION  
1" = 20'-0"



AA 26002045  
Issue: 05-06-2022  
Date: 07-26-2022  
09-01-2022

DORSKY+YUE INTERNATIONALS  
ARCHITECTURE  
FORT LAUDERDALE  
P: 954.463.8800  
F: 954.523.8904  
CLEVELAND  
P: 216.463.8800  
F: 216.463.8810

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SECTION B  
Job No.: DYZ201751  
Drawn: [blank]  
Checked: [blank]  
Date: 09/06/2022

A311





AA 26002045  
Issue: \_\_\_\_\_ Date: \_\_\_\_\_

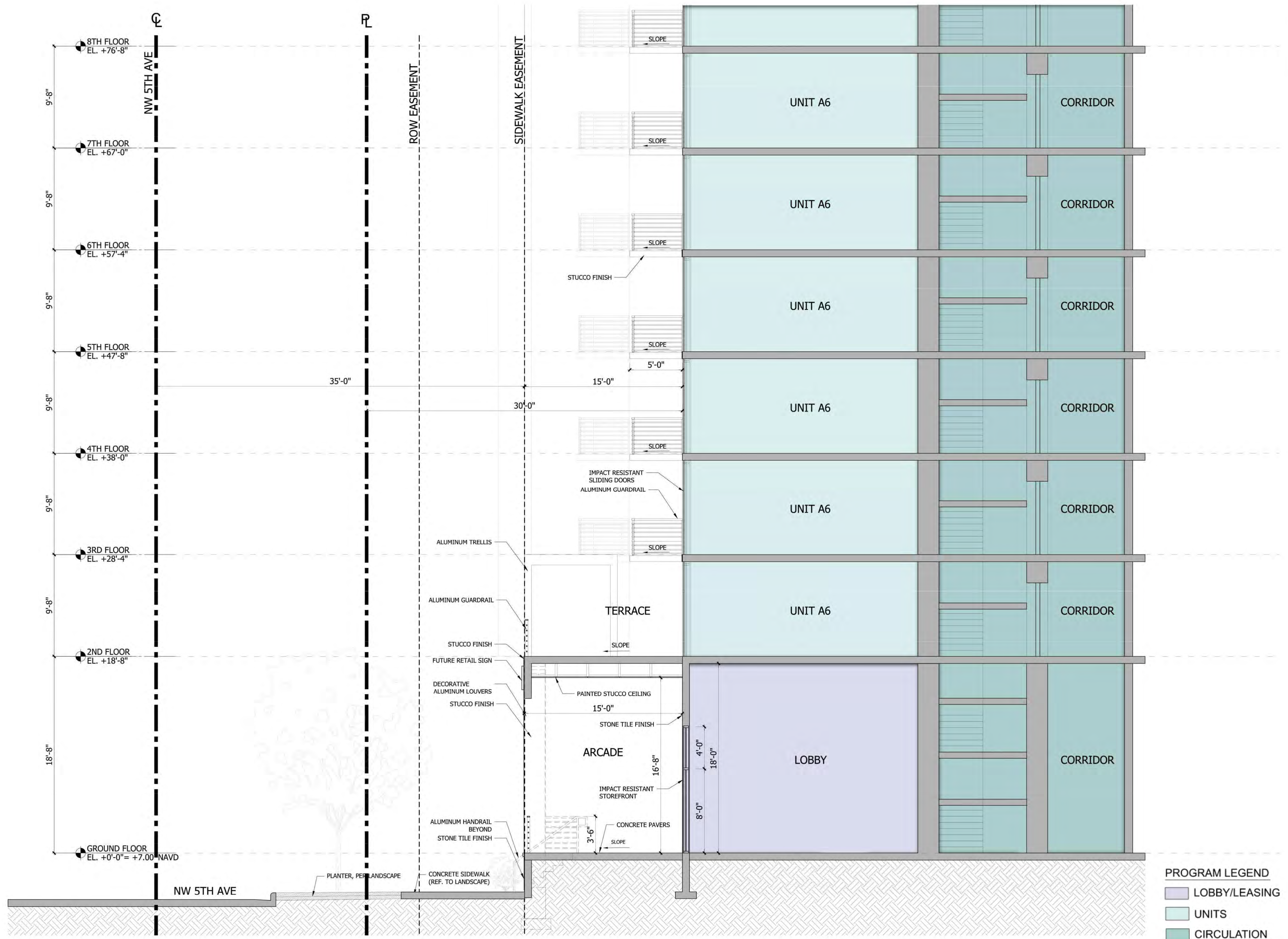
DORSKY+YUE INTERNATIONAL  
ARCHITECTURE  
FORT LAUDERDALE  
P: 216.463.8800  
F: 216.463.8810

199 NW 5TH AVE  
Fort Lauderdale, FL

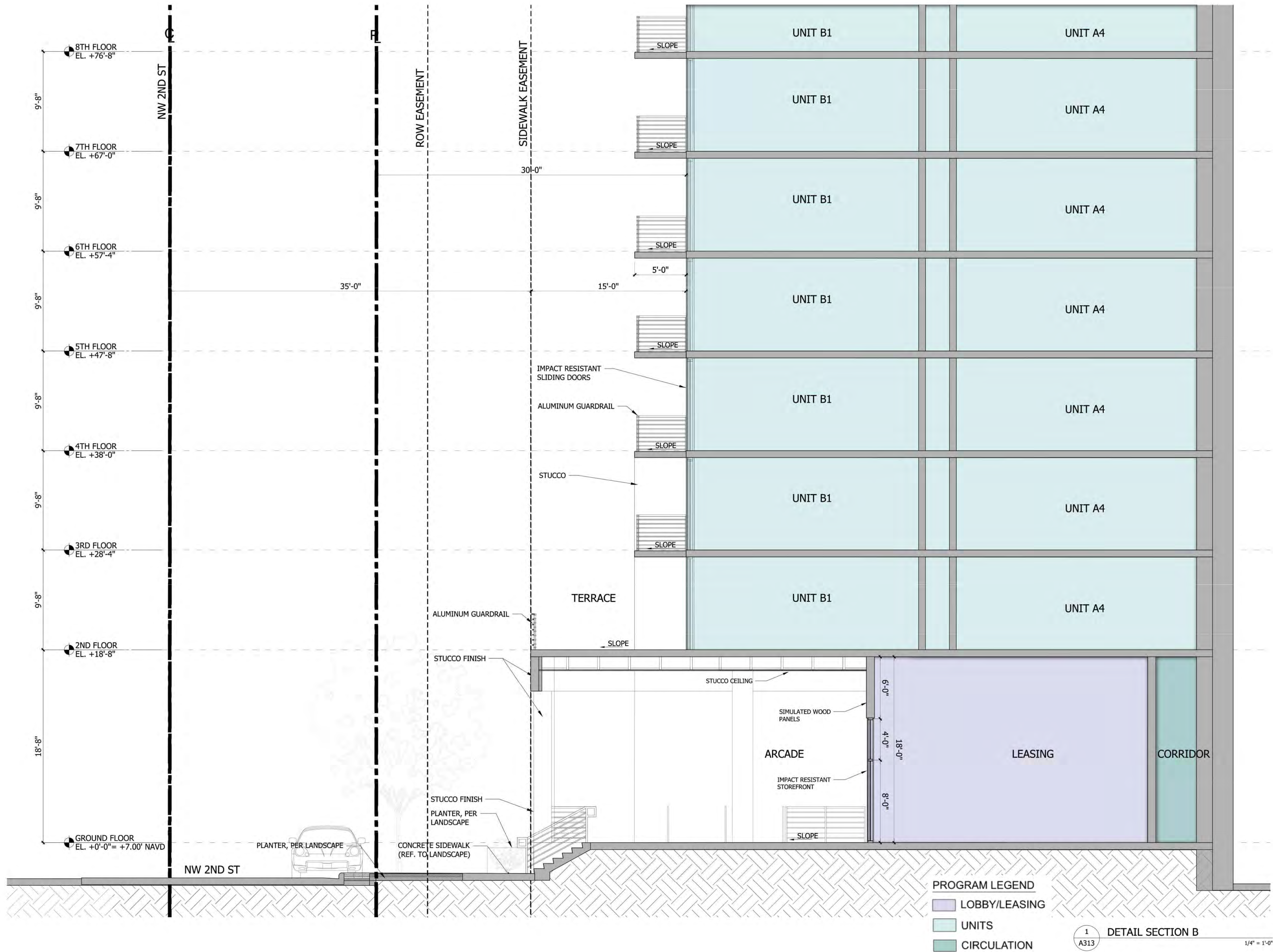
DETAIL SECTIONS

Job No.: DY201751  
Drawn: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Date: 09/06/2022

A312







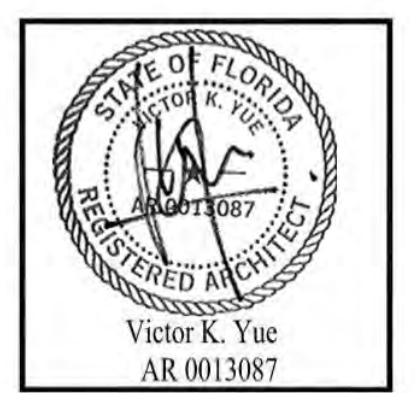
**PROGRAM LEGEND**

[Light Blue Box]	LOBBY/LEASING
[Light Green Box]	UNITS
[Dark Green Box]	CIRCULATION

1  
A313

DETAIL SECTION B

1/4" = 1'-0"



AA 26002045  
Issue: \_\_\_\_\_ Date: \_\_\_\_\_

**DORSKY + YUE INTERNATIONAL**  
ARCHITECTURE

199 NW 5TH AVE  
Fort Lauderdale, FL

CLEVELAND  
P: 216.464.8800  
F: 216.464.8810

FORT LAUDERDALE  
P: 954.702.8800  
F: 954.524.8804

**199 NW 5TH AVE**  
Fort Lauderdale, FL

**DETAIL SECTIONS**

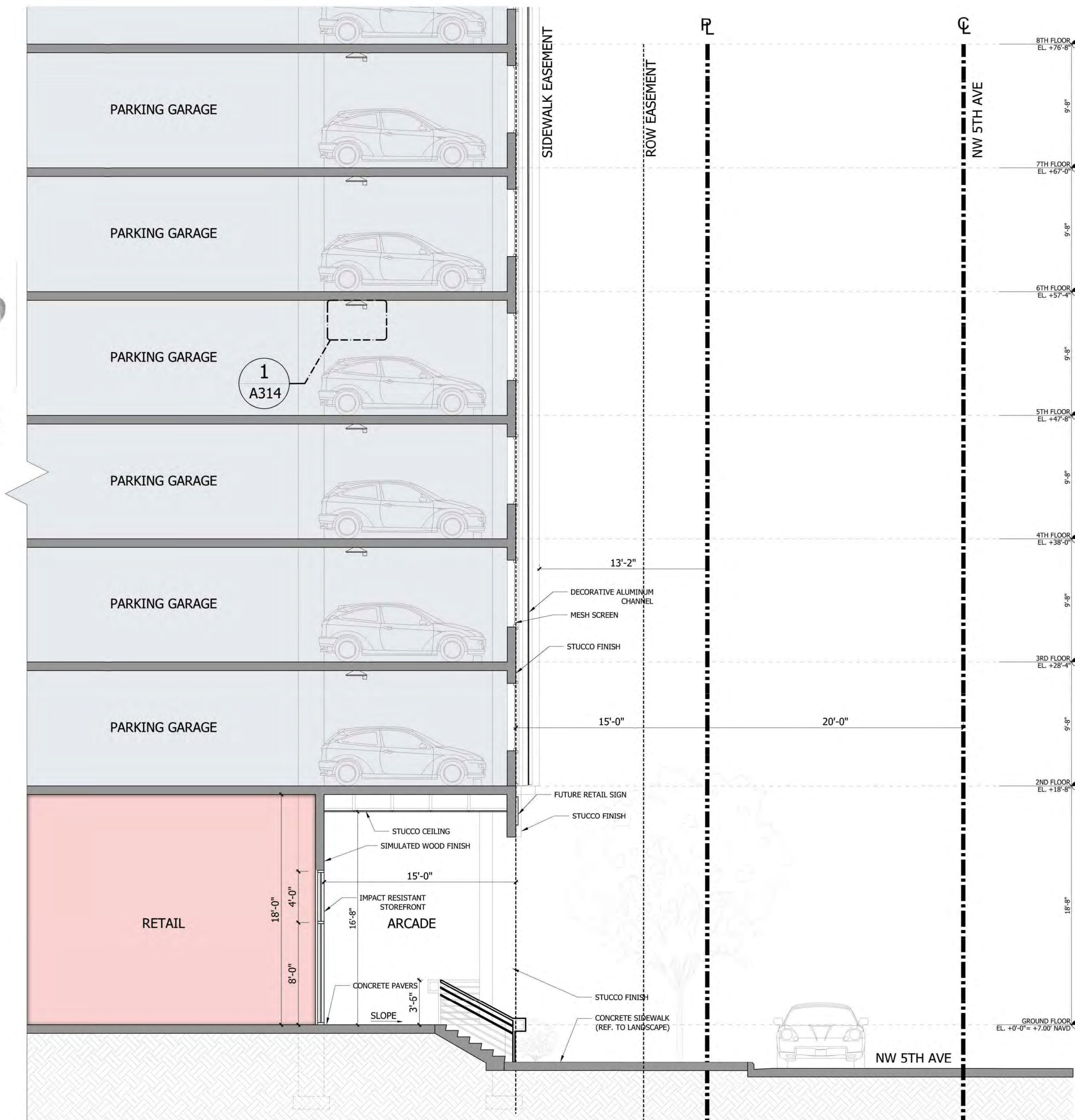
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Date: 09/06/2022

**A313**



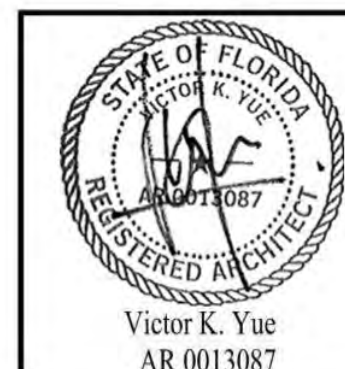


2 LIGHTING FIXTURE WITH SHIELD  
A314 1/4" = 1'-0"



- PROGRAM LEGEND**
- LOBBY/LEASING
  - UNITS
  - CIRCULATION

1 A314 DETAIL SECTION C 1/4" = 1'-0"



AA 26002045  
Issue: Date:

DORSKY + YUE INTERNATIONAL  
ARCHITECTURE

CLEVELAND  
FORT LAUDERDALE  
P: 216.464.8600  
P: 954.709.7800  
F: 216.464.3610  
F: 954.524.8904

199 NW 5TH AVE  
Fort Lauderdale, FL

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DETAIL SECTIONS

Job No.: DXY201751  
Drawn: Checked: Date: 09/06/2022

A314





Digitally  
Signed by  
Hugh  
Johnston  
Date: 2022.09.07  
Reason: 100%

Revision	Revision Dates
1. DRC SUBMITTAL 06.08.2022	
2. DRC SUBMITTAL 06.08.2022	
3. DRC SUBMITTAL 06.08.2022	

DRC SUBMITTAL SET  
**199 NW 5TH AVE**  
FORT LAUDERDALE, FLORIDA

Sheet Description	ILLUSTRATIVE SITE PLAN
Release Date	01-07-2022
Project Number	2102B
Drawing Number	<b>L-000</b>
Sheet 1 OF 1	



ILLUSTRATIVE SITE PLAN  
199 N.W. 5TH AVE  
FORT LAUDERDALE, FLORIDA







Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions. This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

NOTES:

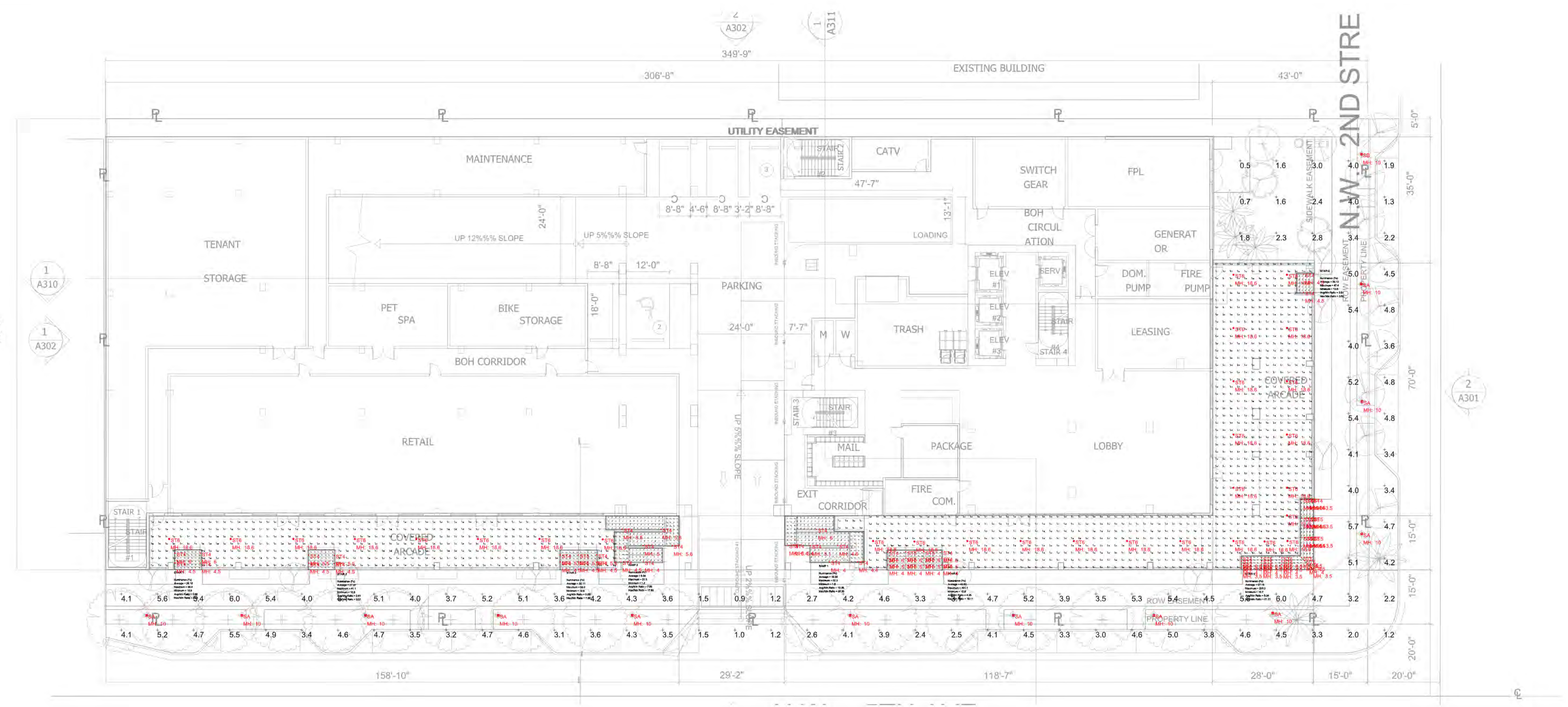
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4	PHOTOMETRIC STUDY	05/06/22
3	PHOTOMETRIC STUDY	04/28/22
2	PHOTOMETRIC STUDY	04/22/22
1	PHOTOMETRIC STUDY	01/07/22
No.	Revision/Issue	Date

**LIGHTING DYNAMICS, INC.**  
 7835 West Commercial Blvd.  
 Tamarac, FL 33351  
 (954) 944-0286  
 www.lightingdynamics.com

Project Name and Address  
**199 NW 5TH AVE**  
**SITE**  
**Fort Lauderdale, FL**

FILE P:\PROJECTS\2021\NOV  
 CLIENT DORSKY + YUE INTERNATIONAL

Project 199 NW 5TH AVE Sheet  
 Date 06/15/2022 **LO**  
 Scale 1/16" = 1' DRAWN BY  
 ECC



Photometrics Calculation Software Generated Luminaire Schedule

Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
SA	12	SA	Single	4379	4379	0.900	34	34
SB	1	SB	Single	4311	4311	0.900	34	34
ST4	41	ST4	Single	426	426	0.900	6.01	6.01
ST5	28	ST5	Single	368	368	0.900	6.106	6.106
ST6	29	ST6	Single	1672	1672	0.900	20	20

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ENTRANCE 1_Top	Illuminance	Fc	5.81	22.3	1.9	3.06	11.74
ENTRANCE_Top	Illuminance	Fc	4.50	37.0	2.2	2.05	16.82
SITE	Illuminance	Fc	3.78	6.0	0.5	7.56	12.00
TOP RAMP_Top	Illuminance	Fc	9.74	21.4	2.1	4.64	10.19
RAMP 1	Illuminance	Fc	10.35	32.3	1.0	10.35	32.30
RAMP 2	Illuminance	Fc	9.54	21.5	1.2	7.95	17.82
STAIR 1	Illuminance	Fc	26.10	38.4	16.5	1.58	2.33
STAIR 2	Illuminance	Fc	27.37	41.1	10.5	2.61	3.91
STAIR 3	Illuminance	Fc	33.11	93.8	12.5	2.65	7.50
STAIR 4	Illuminance	Fc	42.52	101.1	10.0	4.25	10.11
STAIR 5	Illuminance	Fc	57.18	232.3	10.7	5.34	21.71
STAIR 6	Illuminance	Fc	26.12	47.4	13.0	2.01	3.65

**199 NW 5TH AVE - DORSKEY ARCHITECTS**

INTERIOR LIGHTING FIXTURE SCHEDULE---\*\* PLEASE CLICK AT THE PICTURE OF THE FIXTURE YOU WILL HAVE HYPERLINKED THE SPEC SHEETS \*\*

TYPE	PICTURES /SPECS	DESCRIPTION	MFR	CATALOG NUMBER	VOLTS	LAMPS	INPUT WATTS	MOUNTING	DIMMING (If Req)	REMARKS
GA-D		LED TOP TIER	MCGRRAW-EDISON	TT-D6-830-U-WQ-STM-30L-AP	UNV	LED	108W	SURFACE	0-10V	NOTE 1
GA-N		LED TOP TIER	MCGRRAW-EDISON	TT-D6-830-U-WQ-STM-30L-AP	UNV	LED	108W	SURFACE	0-10V	NOTE 1
GA-NE		LED TOP TIER WITH EMERGENCY BATTERY PACK	MCGRRAW-EDISON	TT-D6-830-U-WQ-STM-30L-AP-IBP	UNV	LED	108W	SURFACE	0-10V	NOTE 1
GB-D		LED TOP TIER	MCGRRAW-EDISON	TT-D6-830-U-CQ-STM-30L-AP	UNV	LED	108W	SURFACE	0-10V	NOTE 1
GB-N		LED TOP TIER	MCGRRAW-EDISON	TT-D6-830-U-CQ-STM-30L-AP	UNV	LED	108W	SURFACE	0-10V	NOTE 1
GB-NE		LED TOP TIER WITH EMERGENCY BATTERY PACK	MCGRRAW-EDISON	TT-D6-830-U-CQ-STM-30L-AP-IBP	UNV	LED	108W	SURFACE	0-10V	NOTE 1
SA		LED SITE LUMINAIRE	MCGRRAW-EDISON	GPC-AF-01-LED-E1-RW-600-FINISH / MA1036-XX	UNV	LED	34W	10' POLE	0-10V	NOTE 1, 2
SB		LED SITE LUMINAIRE	MCGRRAW-EDISON	GPC-AF-01-LED-E1-T4FT-600-FINISH / MA1036-XX	UNV	LED	34W	10' POLE	0-10V	NOTE 1, 2
ST4		LED HANDRAIL ASYMMETRICAL LIGHT	KLIK USA	LPXL-32-XX-30K-4.5-A-SPR-FRS-SPC	SILVER	LED	6W	HANDRAIL	0-10V	NOTE 1
ST5		LED HANDRAIL SYMMETRICAL LIGHT	KLIK USA	LPXL-32-XX-30K-4.5-S-FLD-FRS-SPC	SILVER	LED	6W	HANDRAIL	0-10V	NOTE 1
ST6		4" DOWNLIGHT	HALO COMMERCIAL	HC420D010 - HM412830 - 41MDW	ADVISE	LED	21.4W	DOWNLIGHT	0-10V	
S-POLE		SITE POLE	PLP Composites	SILVER RAL XXX TO MATCH THE POST FINISH				SFLA518 18 FEET POLE		

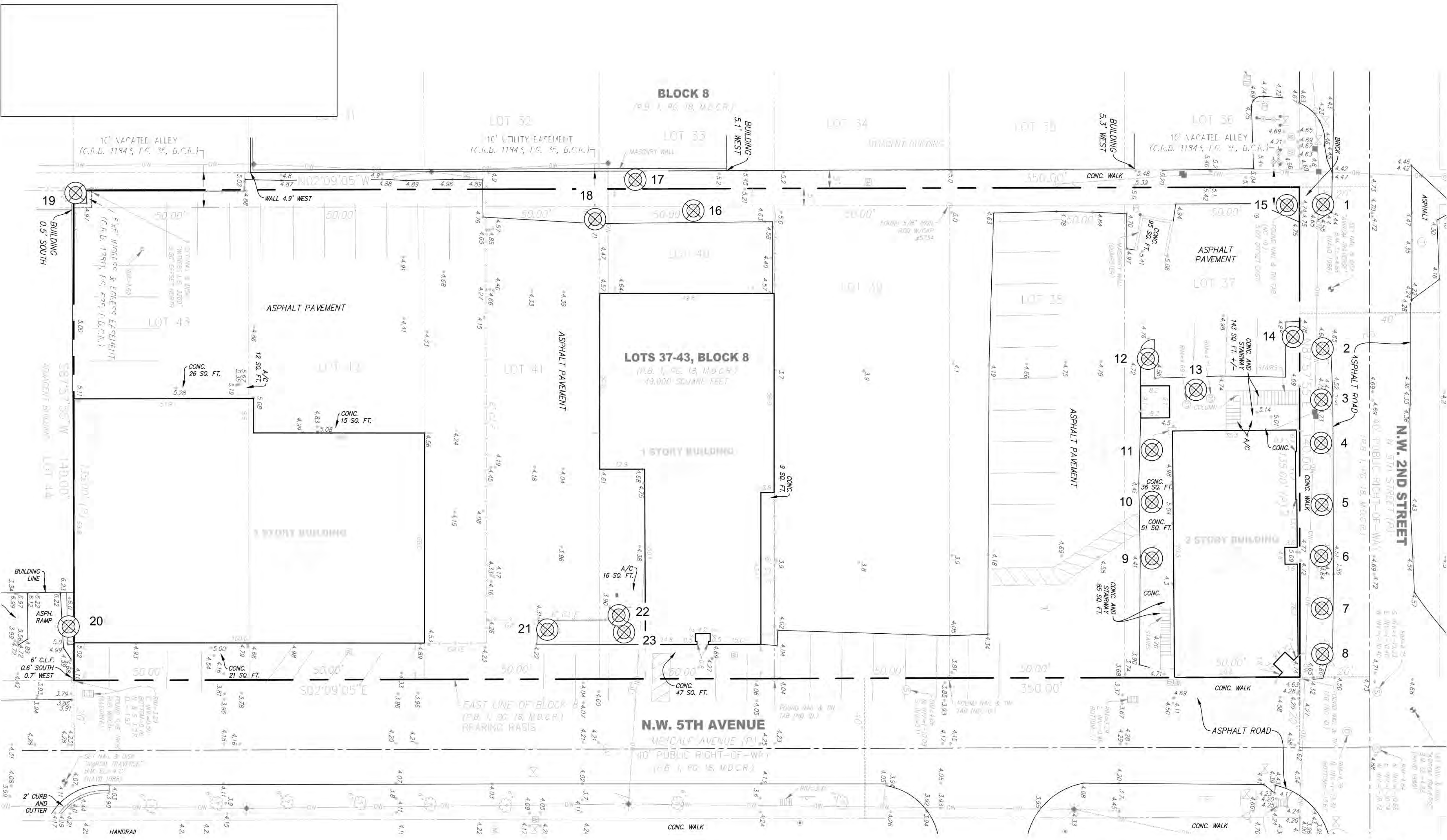
**FIXTURE SCHEDULE NOTES**

NOTE 1: ADVISE FINISH COLOR

NOTE 2: FIXTURE MOUNTED ON 10' POLE VALMONT ALUMINUM POLE #0908-3040T4P2-COPPER FINISH

FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT LEDIA KARAJ @ LIGHTING DYNAMICS (786) 801-7822; LKARAJ@LIGHTINGDYNAMICS.COM





TREE DISPOSITION LEGEND	
	TREES/PALMS TO REMAIN
	TREES/PALMS TO BE RELOCATED
	TREES/PALMS TO BE REMOVED

Existing Tree Survey 12/8/2021  
STATION VILLAGE

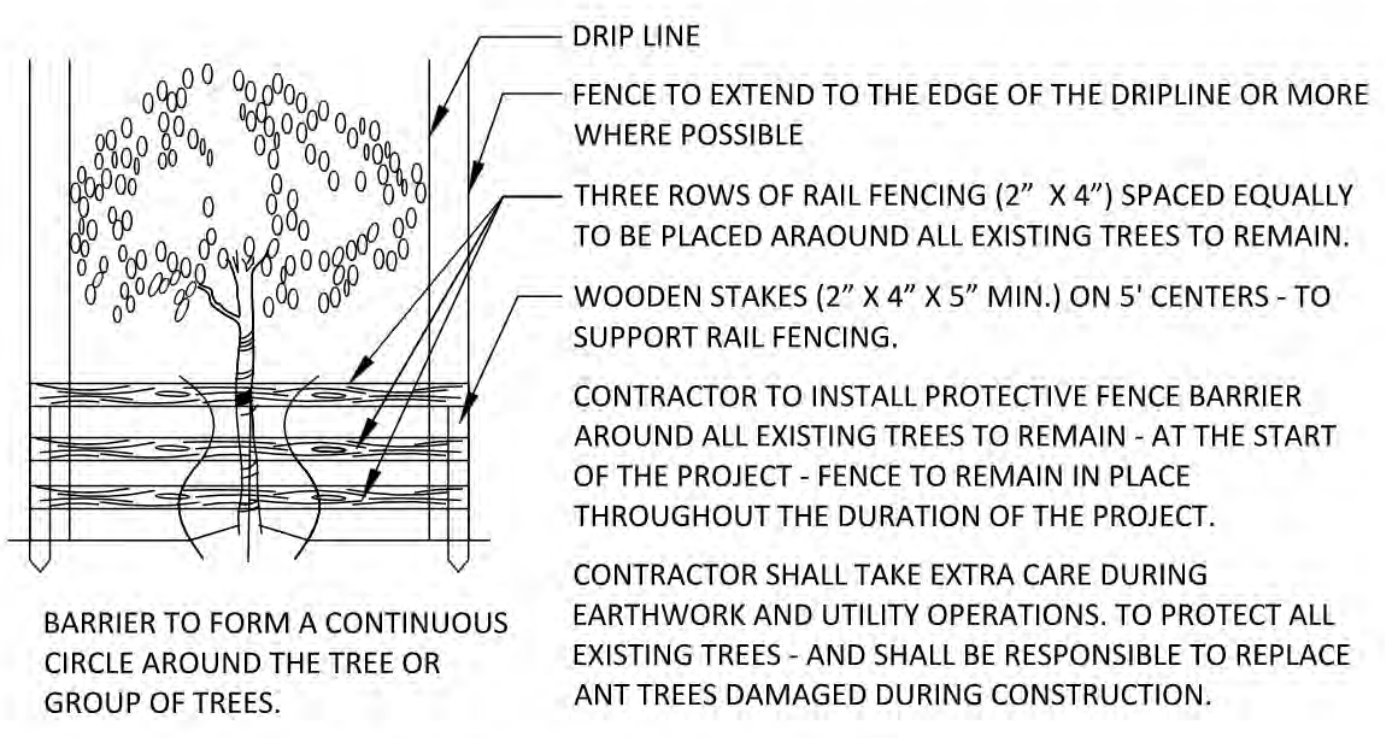
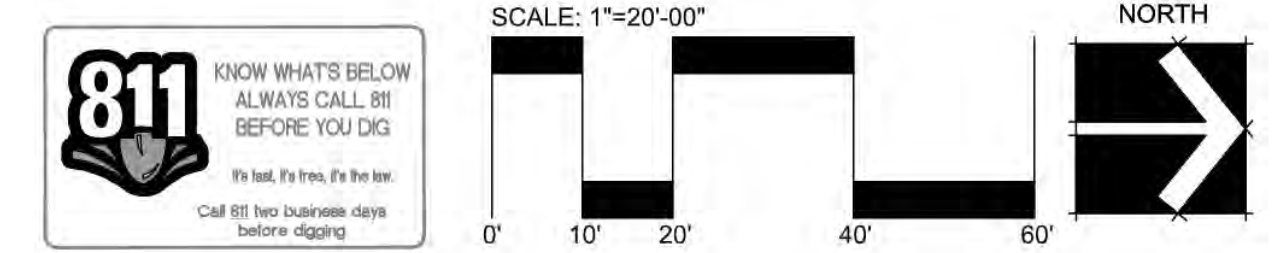
KEY	BOTANICAL NAME	COMMON NAME	DBH (INCHES)	O.A. HEIGHT (FEET)	C.T. HEIGHT (FEET)	CANOPY (FEET)	CONDITION	CLASS	PALM REPLACEMENT	MITIGATION INCHES	MITIGATION COST	DISPOSITION	COMMENTS
1	Quercus virginiana	Southern Live Oak	3	10	6	60%	100%		2	\$130.00	Remove		
2	Quercus virginiana	Southern Live Oak	4	15	8	70%	80%		3	\$195.00	Remove		
3	Quercus virginiana	Southern Live Oak	4	15	10	70%	80%		3	\$195.00	Remove		
4	Quercus virginiana	Southern Live Oak	3	15	10	70%	80%		2	\$130.00	Remove		
5	Quercus virginiana	Southern Live Oak	3	13	8	70%	100%		3	\$195.00	Remove		
6	Quercus virginiana	Southern Live Oak	3	10	8	70%	100%		3	\$195.00	Remove		
7	Quercus virginiana	Southern Live Oak	4	15	10	70%	100%		3	\$195.00	Remove		
8	Quercus virginiana	Southern Live Oak	4	15	10	70%	100%		3	\$195.00	Remove		
9	Coccoloba diversifolia	Pigeon Plum	3	12	8	70%	100%		3	\$195.00	Remove		
10	Coccoloba diversifolia	Pigeon Plum	3	15	8	70%	100%		3	\$195.00	Remove		
11	Coccoloba diversifolia	Pigeon Plum	3	15	8	70%	100%		3	\$195.00	Remove		
12	Elaeocarpus decipiens	Japanese Blueberry	4	12	7	80%	100%		4	\$280.00	Remove		
13	Elaeocarpus decipiens	Japanese Blueberry	5	18	8	85%	100%		5	\$325.00	Remove		
14	Elaeocarpus decipiens	Japanese Blueberry	3	10	7	80%	100%		3	\$195.00	Remove		
15	Elaeocarpus decipiens	Japanese Blueberry	3	10	7	80%	100%		3	\$195.00	Remove		
16	Sabal palmetto	Cabbage Palm		25		FAIR		1		\$180.00	Remove		
17	Cupaniopsis anacardioides	Carrotwood Tree	3	15	8	0%				\$0.00	Remove	Not included Invasive / On Adjacent Site	
18	Sabal palmetto	Cabbage Palm		20		FAIR		1		\$180.00	Remove		
19	Sweetiana mahagoni	Mahogany Tree	14	40	25	55%	100%		8	\$520.00	Remove	On Adjacent Site	
20	Cocos nucifera	Coconut Palm	15		30	FAIR				\$900.00	Remove		
21	Wodyetia bifurcata	Foxtail Palm				FAIR		1		\$180.00	Remove		
22	Sabal palmetto	Cabbage Palm				POOR				\$0.00	Remove	Not included in mitigation / below minimum requirement	
23	Wodyetia bifurcata	Foxtail Palm				FAIR		1		\$180.00	Remove		
										4	54	\$5,130.00	

(See Sheet L-212)	54 Inches Mitigated on Site	-\$3,510.00
(See Sheet L-212)	4 Palms mitigated on site	-\$720.00
Total to be deposited to Tree Canopy Trust Fund		\$900.00

<b>Tree Mitigation Calculation</b>	
DBH x Condition x Class = Mitigation Inches	
Mitigation Inches x \$95 = Mitigation Cost	
Sabal & Foxtail Palms = \$180 each.	



**TREE PROTECTION DETAIL**

N.T.S.

- NOTES:**
- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
  - IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR
  - SEE SHEET L-200 FOR TREE DISPOSITION PLAN & SCHEDULE.
  - SEE SHEET L-210 LANDSCAPE PLAN, LANDSCAPE CALCULATIONS AND MITIGATION CALCULATIONS
  - SEE SHEET L-211 FOR LANDSCAPE DETAILS AND NOTES
  - SEE SHEET L-212 FOR SECTIONS.
  - SEE SHEET L-221 FOR LANDSCAPE OPEN SPACE AND PERVIOUS AREA PLAN
  - A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.



Architectural Alliance Landscape  
615 SW 4th Ave, Fort Lauderdale, FL 33315  
TEL: 954-476-8858 FAX: 954-476-8859  
E-MAIL: H.J.S.H.A.A.L.L.C@A.A.A.L.L.C



Hugh Johnson  
Professional Engineer  
No. 12345  
Date: 10/23/00  
17-39-13-04-00

Revision Dates

DRC SUBMITTAL SET

# 199 NW 5TH AVE

FORT LAUDERDALE, FLORIDA

Sheet Description  
TREE DISPOSITION PLAN

Release Date  
01-07-2022

Project Number  
2102B

Drawing Number  
**L-200**

Sheet 1 OF 6



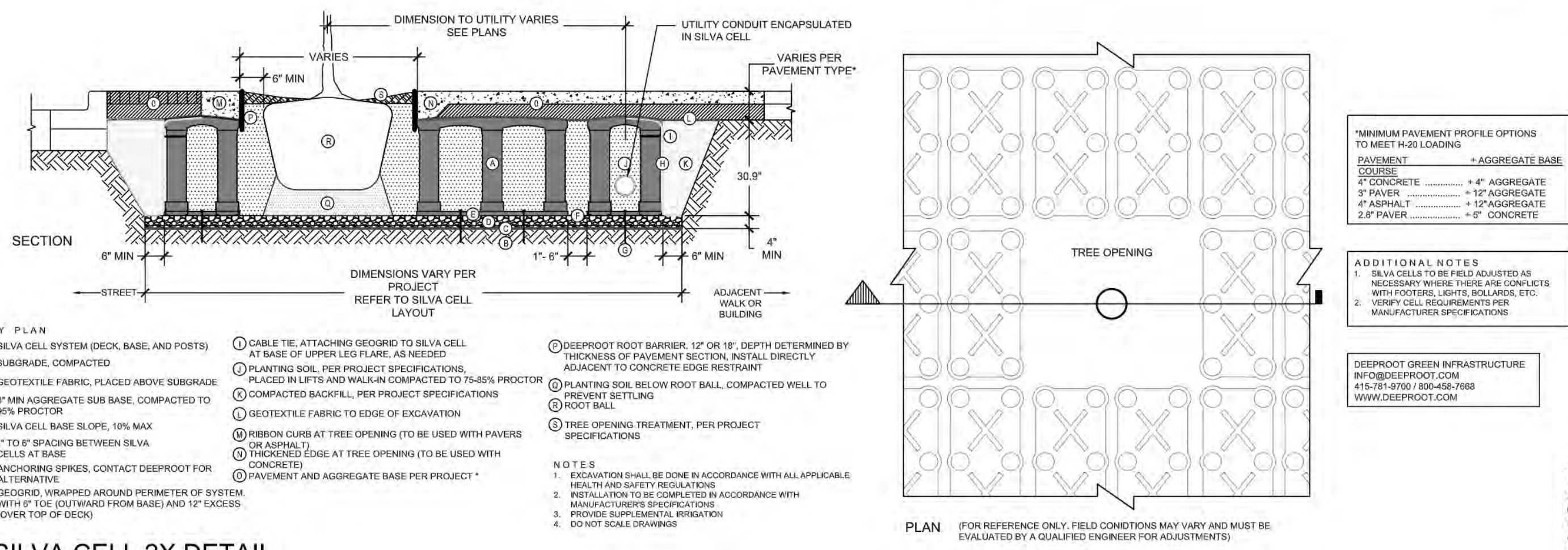
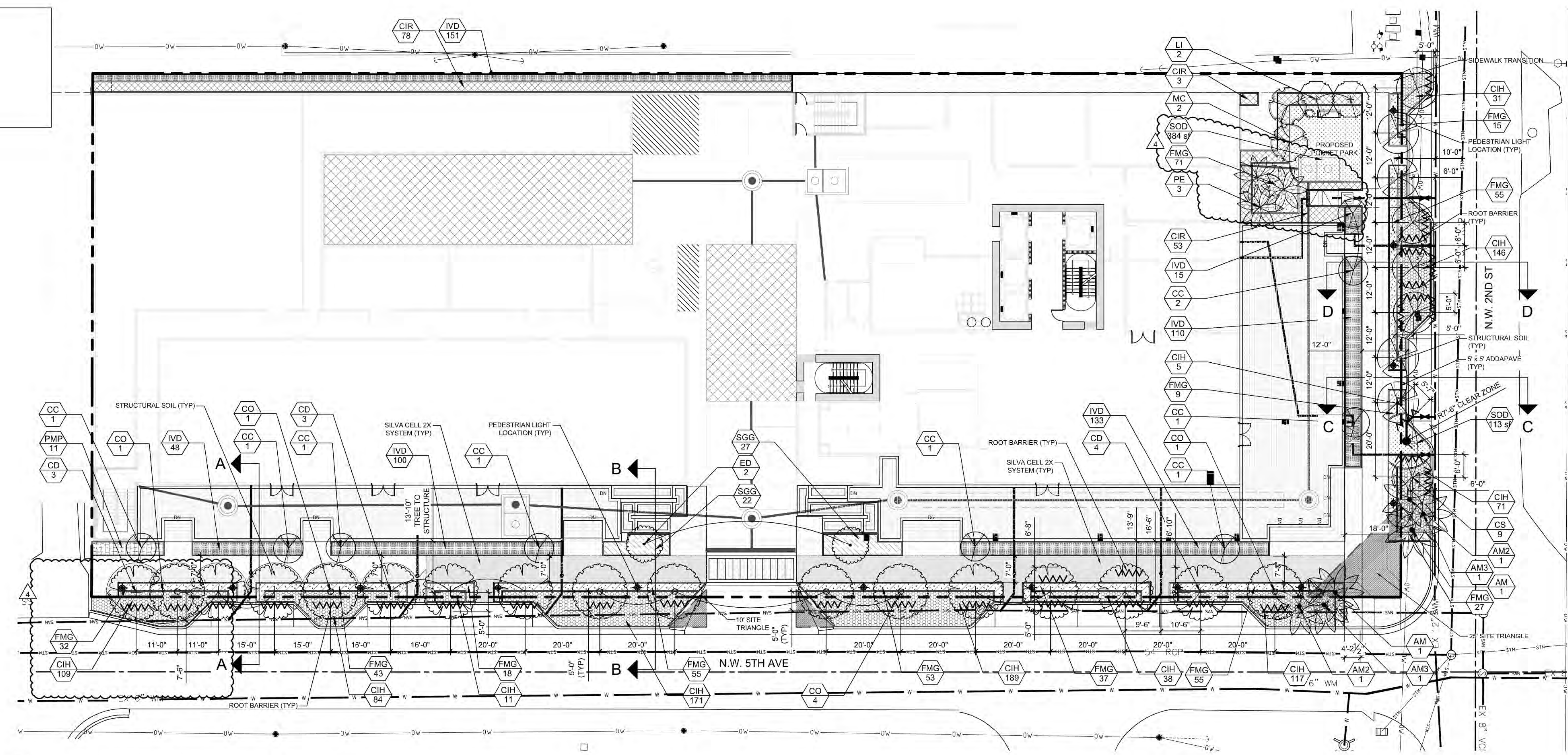
Hugh Johnson  
Professional Engineer  
No. 12000  
Date: 07/09/2023  
17:39:38

Revision Dates

DRC SUBMITTAL SET  
**199 NW 5TH AVE**  
FORT LAUDERDALE, FLORIDA

Sheet Description  
GROUND LEVEL LANDSCAPE PLAN  
Release Date  
01-07-2022  
Project Number  
2102B  
Drawing Number  
**L-210**  
Sheet 2 OF 6

NOTE:  
1. PEDESTRIAN LIGHT FIXTURE TO BE INSTALLED ON 10' POLE.



**PLANT SCHEDULE GROUND-LEVEL**

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT
CO	7	CHRYSOPHYLLUM OLIVIFORME	SATINLEAF	FG/B&B	3" CAL	16" O.A. HT, 7' CT	YES	HIGH
CD	10	COCCOLOBA DIVERSIFOLIA	PIGEON PALM	FG/B&B	3" CAL	16" O.A. HT, 7' CT	YES	HIGH
CS	9	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTWOOD	FG/B&B	3" CAL	16" O.A. HT, 7' CT	YES	HIGH
LI	2	LAGERSTROEMIA INDICA	CRAPE MYRTLE	FG/B&B		12" O.A.	NO	HIGH
MC	2	MYRICA CERIFERA	WAX MYRTLE	FIELD GROWN / B & B		12" O.A.	YES	HIGH

ACCENT TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT
CC	9	CAPPARIS CYNOPHALLOPHORA	JAMAICA CAPER	FG/B&B	3" CAL	10" O.A. HT.	YES	HIGH
ED	2	ELAEOCARPUS DECIPIENS	JAPANESE BLUEBERRY TREE	FG/B&B	3" CAL	10" O.A. HT., STANDARD	NO	HIGH

PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT
AM3	2	ADONIDIA MERRILLII	CHRISTMAS PALM	FG/B&B		12" O.A., 8' CT MIN	NO	MEDIUM
AM2	2	ADONIDIA MERRILLII	CHRISTMAS PALM	FG/B&B		14" O.A., 8' CT MIN	NO	MEDIUM
AM	2	ADONIDIA MERRILLII	CHRISTMAS PALM	FG/B&B		16" O.A., 8' CT MIN	NO	MEDIUM
PE	3	PTYCHOSPERMA ELEGANS	SOLITAIRE PALM	FG/B&B		16"-20" O.A., SINGLE TRUNK	NO	HIGH

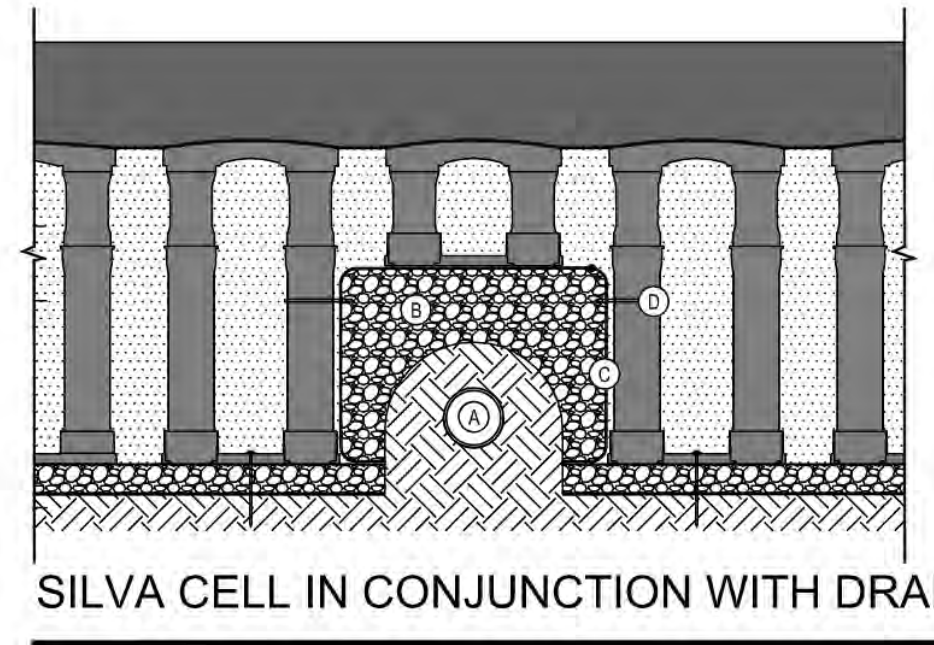
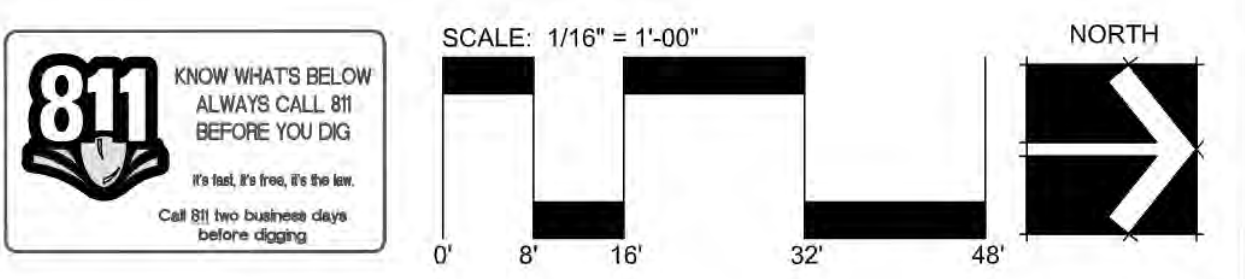
  

SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT	SPACING
CIR	134	CHRYSOBALANUS ICACO 'REDTIP'	RED TIP COCOPLUM	-	-	48" HT. X 30" SPR.	YES	HIGH	30" o.c.
CIH	972	CHRYSOBALANUS ICACO 'HORIZONTALIS'	HORIZONTAL COCOPLUM	-	-	18" HT. X 18" SPR.	YES	HIGH	18" o.c.
FMG	470	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	-	-	16" HT. X 16" SPR.	NO	HIGH	18" o.c.
IVD	557	ILEX VOMITORIA 'STOKES DWARF'	DWARF YAUPON HOLLY	-	-	18" HT. X 18" SPR.	YES	HIGH	18" o.c.
PMP	11	PODOCARPUS MACROPHYLLUS	PODOCARPUS	-	-	48" HT. X 30" SPR.	NO	MEDIUM	30" o.c.
SGG	49	SHEFFLERA ARBORICOLA 'GOLD CAPELLA'	GOLD CAPELLA ARBORICOLA	-	-	24" HT X 24" SPR.	NO	HIGH	24" o.c.

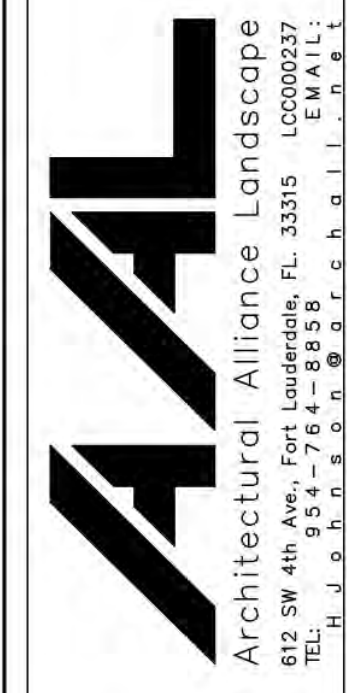
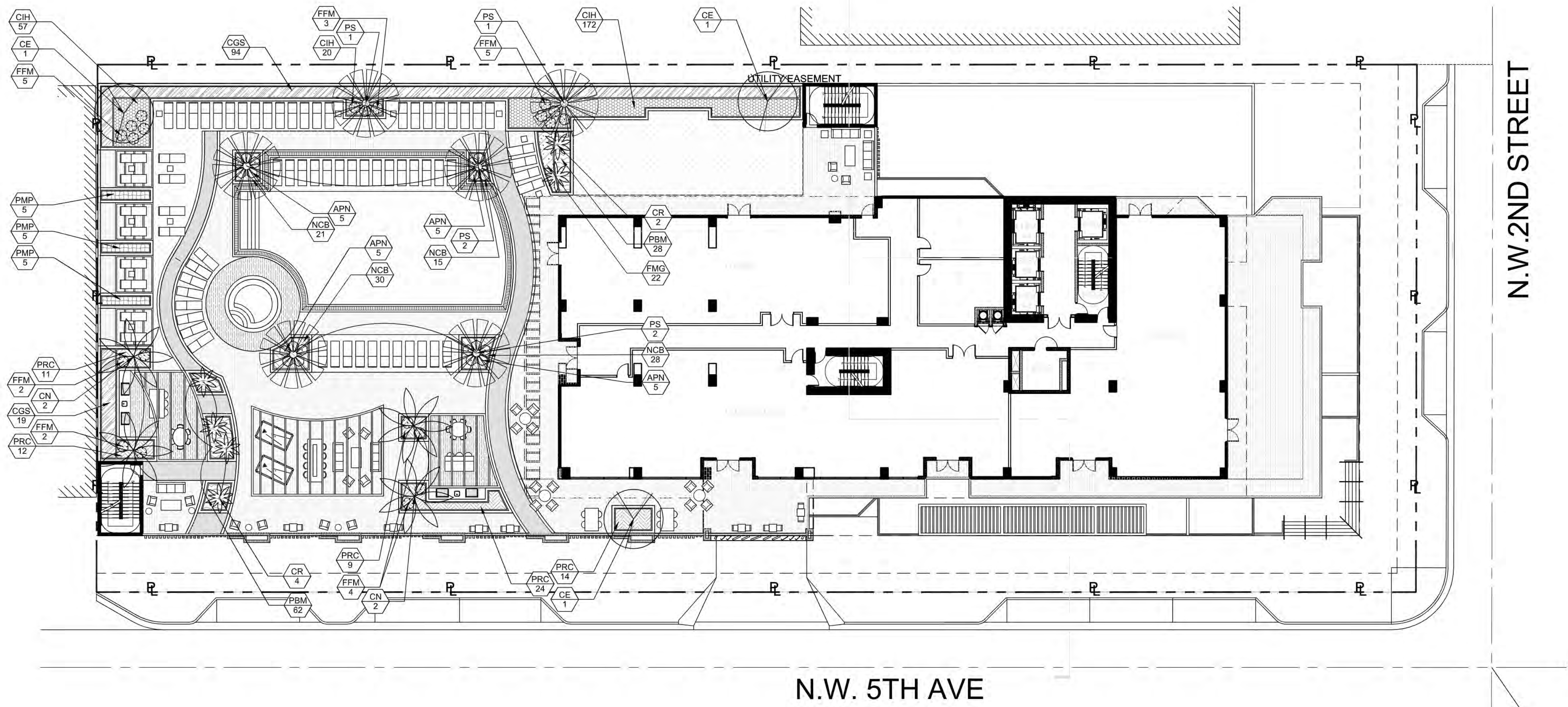
  

SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT	SPACING
SOD	497 SF	STENOTAPHRUM SECUNDATUM 'FLORITAM'	'FLORITAM' ST. AUGUSTINE SOD	SOD					

- NOTES:**
- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
  - IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR
  - SEE SHEET L-200 FOR TREE DISPOSITION PLAN & SCHEDULE.
  - SEE SHEET L-210 LANDSCAPE PLAN, LANDSCAPE CALCULATIONS AND MITIGATION CALCULATIONS
  - SEE SHEET L-211 FOR LANDSCAPE DETAILS AND NOTES
  - SEE SHEET L-212 FOR SECTIONS.
  - SEE SHEET L-221 FOR LANDSCAPE OPEN SPACE AND PERVIOUS AREA PLAN
  - A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.





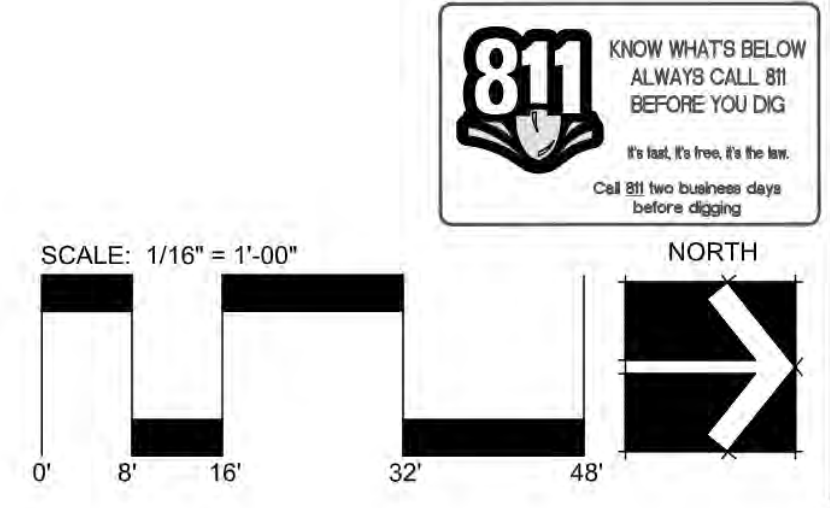


Revision Dates
1. DRC RESUBMITTAL 08/08/2022
2. DRC RESUBMITTAL 08/08/2022
3. DRC RESUBMITTAL 08/08/2022

DRC SUBMITTAL SET  
**199 NW 5TH AVE**  
 FORT LAUDERDALE, FLORIDA

PLANT SCHEDULE AMENITY POOL DECK							
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE DROUGHT
CE	3	CONOCARPUS RECTUS	BUTTONWOOD	FG/B&B	3" CAL	16" HT. X 8" SPR.	YES HIGH
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE DROUGHT
CR	6	COCOTHRINAX RADIATA	FLORIDA THATCH PALM	FG/B&B		8" OA	YES HIGH
CN	4	COCOS NUCIFERA	COCONUT PALM	FG/B&B		20' O.A.	NO HIGH
PS	6	PHOENIX SYLVESTRIS	WILD DATE PALM	FG/B&B		12" CT., MATCHED HEIGHTS	NO HIGH
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE DROUGHT
APN	20	AECHMEA X 'PINOT NOIR'	PINOT NOIR BROMELIAD	-		30" O.A. SPECIMEN	NO HIGH
FFM	21	FURCRAEA FOETIDA	MAURITIUS HEMP	-		36" SPECIMEN	NO MODERATE
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE DROUGHT SPACING
CIH	249	CHRYSOBALANUS ICACO 'HORIZONTALIS'	HORIZONTAL COCOPLUM	-		18" HT X 18" SPR	YES HIGH 18" o.c.
CGS	113	CLUSIA GUTTIFERA	SMALL-LEAF CLUSIA	-		60" HT X 30" SPR	NO HIGH 30" o.c.
FMG	22	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	-		16" HT X 16" SPR	NO HIGH 18" o.c.
NCB	94	NEOMARICA CAERULEA	BLUE WALKING IRIS	-		18" HT X 18" SPR	NO MODERATE 18" o.c.
PBM	90	PHILODENDRON X 'BURLE MARX'	PHILODENDRON	-		16" HT X 16" SPR	NO MEDIUM 18" o.c.
PRC	70	PHILODENDRON X 'ROJO CONGO'	ROJO CONGO PHILODENDRON	-		24" HT X 24" SPR	NO MEDIUM 24" o.c.
PMP	15	PODOCARPUS MACROPHYLLUS	PODOCARPUS	-		48" HT. X 30" SPR.	NO MEDIUM 30" o.c.

- NOTES:**
- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
  - IRRIGATION SYSTEM SHALL ALSO BE EQUIPPED WITH RAIN SENSOR
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  - A PRE-PLANTING MEETING SHALL BE SCHEDULED WITH THE CITY FORESTER OR LANDSCAPE INSPECTOR AND THE LANDSCAPE CONTRACTOR PRIOR TO ANY INSTALLATION ON THE SITE.



Sheet Description	AMENITY LEVEL LANDSCAPE PLAN
Release Date	01-07-2022
Project Number	2102B
Drawing Number	<b>L-211</b>
Sheet	3 OF 6





- NOTES:
- ALL SOD AND LANDSCAPE RECEIVE 100% COVERAGE FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
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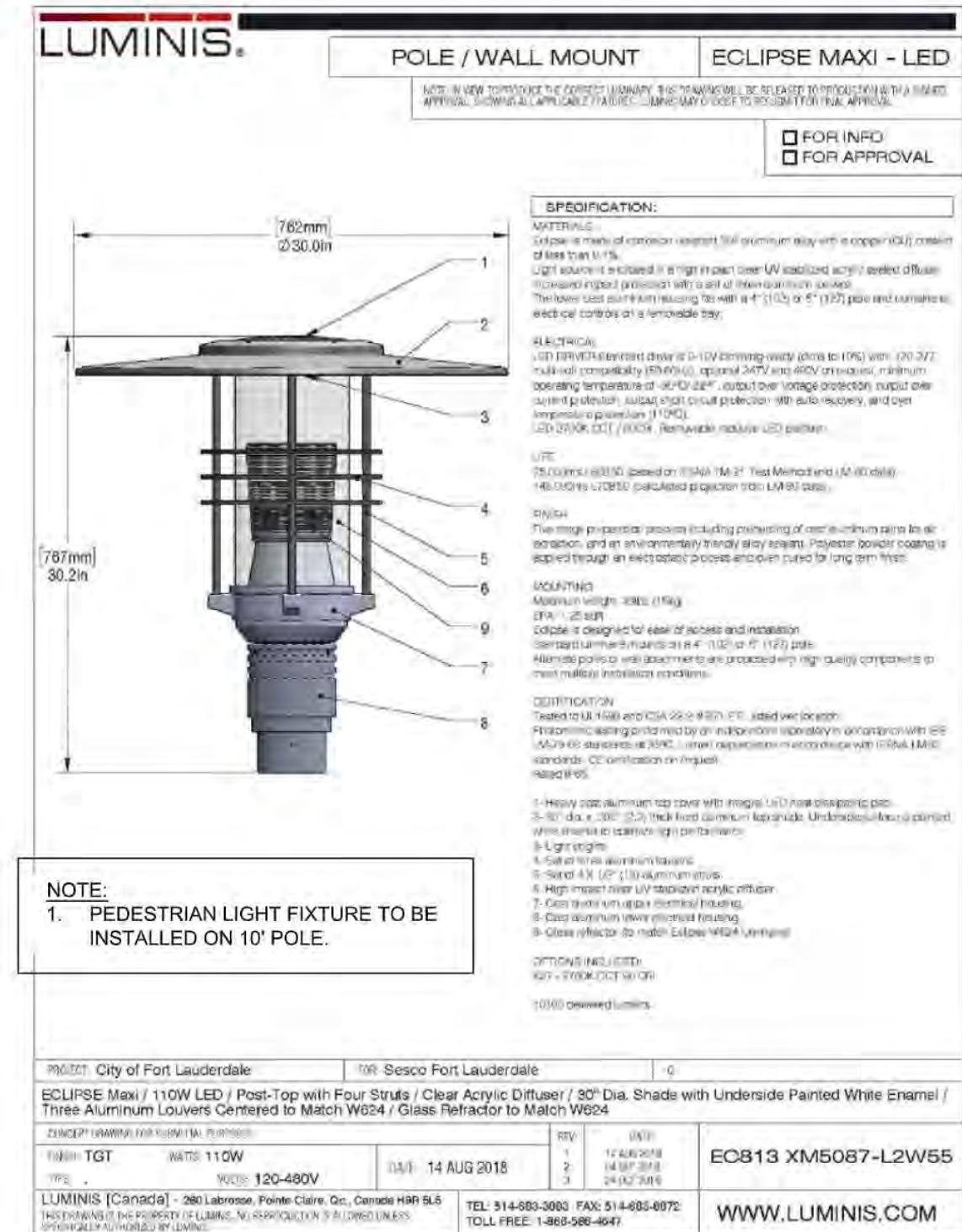


PLANT SCHEDULE									
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT	
CO	7	CHRYSOPHYLLUM OLIVIFORME	SATINLEAF	FG/B&B	3" CAL	16' O.A. HT, 7' CT	YES	HIGH	
CD	10	COCOLOBIA DIVERSIFOLIA	PIGEON PALM	FG/B&B	3" CAL	16' O.A. HT, 7' CT	YES	HIGH	
CE	3	CONOCARPUS ERECTUS	BUTTONWOOD	FG/B&B	3" CAL	16' HT, X 8' SPR.	YES	HIGH	
CS	9	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTONWOOD	FG/B&B	3" CAL	16' O.A. HT, 7' CT	YES	HIGH	
LI	2	LAGERSTROEMIA INDICA	CRAPE MYRTLE	FG/B&B	12' OA		NO	HIGH	
MC	2	MYRICA CERIFERA	WAX MYRTLE	FIELD GROWN / B & B		12' O.A.	YES	HIGH	
ACCENT TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT	
CC	9	CAPPARIS CYNOPHALLOPHORA	JAMAICA CAPER	FG/B&B	3" CAL	10' OA HT.	YES	HIGH	
ED	2	ELAEOCARPUS DECIPENS	JAPANESE BLUEBERRY TREE	FG/B&B	3" CAL	10' OA HT., STANDARD	NO	HIGH	
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT	
AM3	2	ADONIDIA MERRILLII	CHRISTMAS PALM	FG/B&B		12' O.A., 8' CT MIN	NO	MEDIUM	
AM2	2	ADONIDIA MERRILLII	CHRISTMAS PALM	FG/B&B		14' O.A., 8' CT MIN	NO	MEDIUM	
AM	2	ADONIDIA MERRILLII	CHRISTMAS PALM	FG/B&B		16' O.A., 8' CT MIN	NO	MEDIUM	
CR	6	COCOTHRINAX RADIATA	FLORIDA THATCH PALM	FG/B&B		8' OA	YES	HIGH	
CN	4	COCOS NUCIFERA	COCONUT PALM	FG/B&B		20' O.A.	NO	HIGH	
PS	6	PHOENIX SYLVESTRIS	WILD DATE PALM	FG/B&B		12' CT., MATCHED HEIGHTS	NO	HIGH	
PE	3	PTYCHOSPERMA ELEGANS	SOLITAIRE PALM	FG/B&B		16'-20' OA, SINGLE TRUNK	NO	HIGH	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT	
APN	20	AECHMEA X 'PINOT NOIR'	PINOT NOIR BROMELIAD	-		30" O.A., SPECIMEN	NO	HIGH	
FFM	21	FURCRAEA FOETIDA	MAURITIUS HEMP	-		36" SPECIMEN	NO	MODERATE	
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT	SPACING
CIR	134	CHRYSOBALANUS ICACO 'REDTIP'	RED TIP COCOPLUM	-		48" HT. X 30" SPR.	YES	HIGH	30" o.c.
CIH	1,221	CHRYSOBALANUS ICACO 'HORIZONTALIS'	HORIZONTAL COCOPLUM	-		18" HT X 18" SPR	YES	HIGH	18" o.c.
CGS	113	CLUSIA GUTTIFERA	SMALL-LEAF CLUSIA	-		60" HT X 30" SPR	NO	HIGH	30" o.c.
FMG	492	FICUS MICROCARPA 'GREEN ISLAND'	GREEN ISLAND FICUS	-		16" HT X 16" SPR	NO	HIGH	18" o.c.
IVD	557	ILEX VOMITORIA 'STOKES DWARF'	DWARF YAUPON HOLLY	-		18" HT X 18" SPR	YES	HIGH	18" o.c.
NCB	94	NEOMARICA CAERULEA	BLUE WALKING IRIS	-		18" HT X 18" SPR	NO	MODERATE	18" o.c.
PBM	90	PHILODENDRON X 'BURLE MARX'	PHILODENDRON	-		16" HT X 16" SPR	NO	MEDIUM	18" o.c.
PRC	70	PHILODENDRON X 'ROJO CONGO'	ROJO CONGO PHILODENDRON	-		24" HT X 24" SPR	NO	MEDIUM	24" o.c.
PMP	26	PODOCARPUS MACROPHYLLUS	PODOCARPUS	-		48" HT. X 30" SPR.	NO	MEDIUM	30" o.c.
SGG	49	SCHEFFLERA ARBORICOLA 'GOLD CAPELLA'	GOLD CAPELLA ARBORICOLA	-		24" HT X 24" SPR	NO	HIGH	24" o.c.
SOD/SEED	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT	SPACING
SOD	497 SF	STENOTAPHRUM SECUNDATUM 'FLORITAM'	'FLORITAM' ST. AUGUSTINE SOD	SOD					

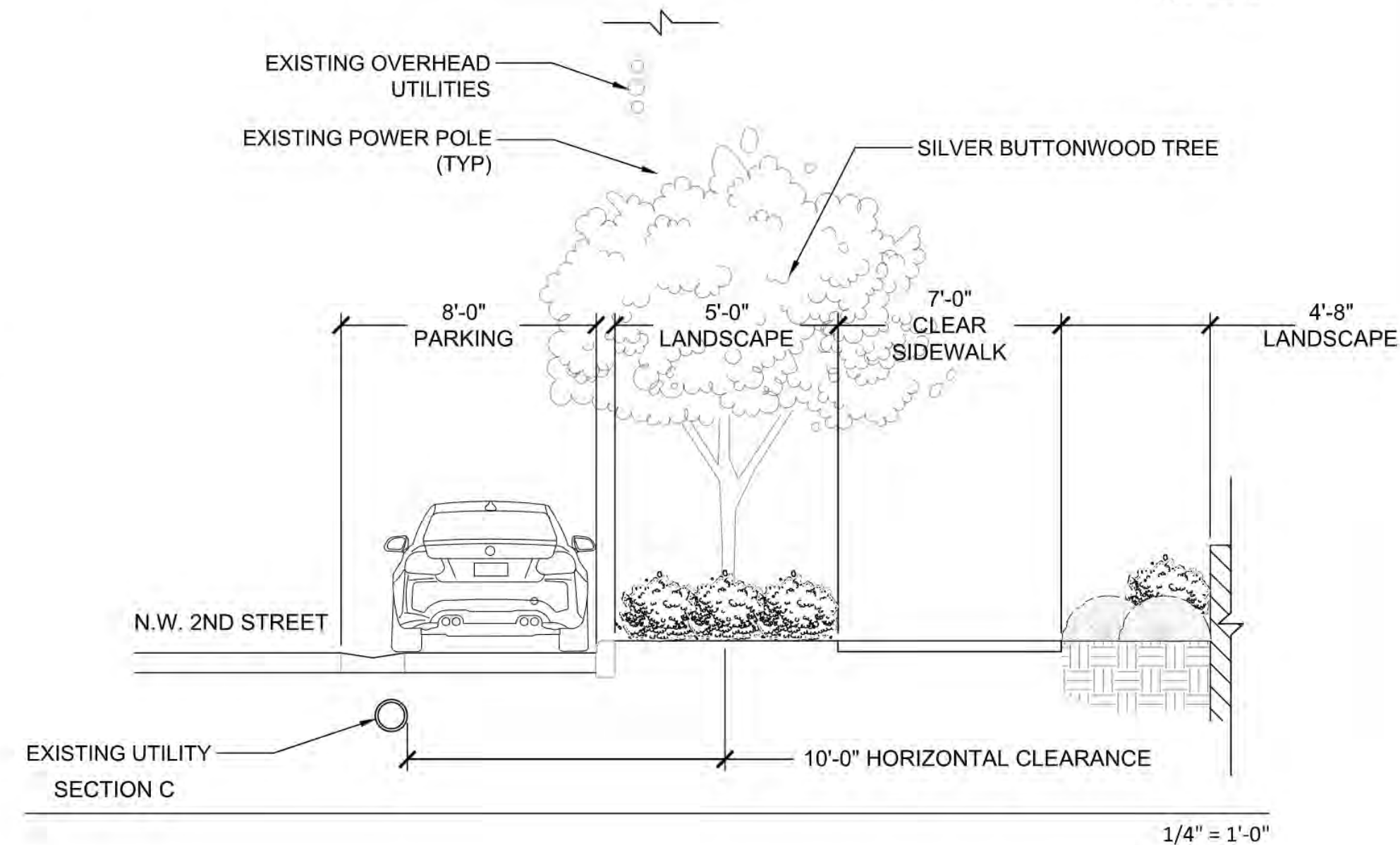
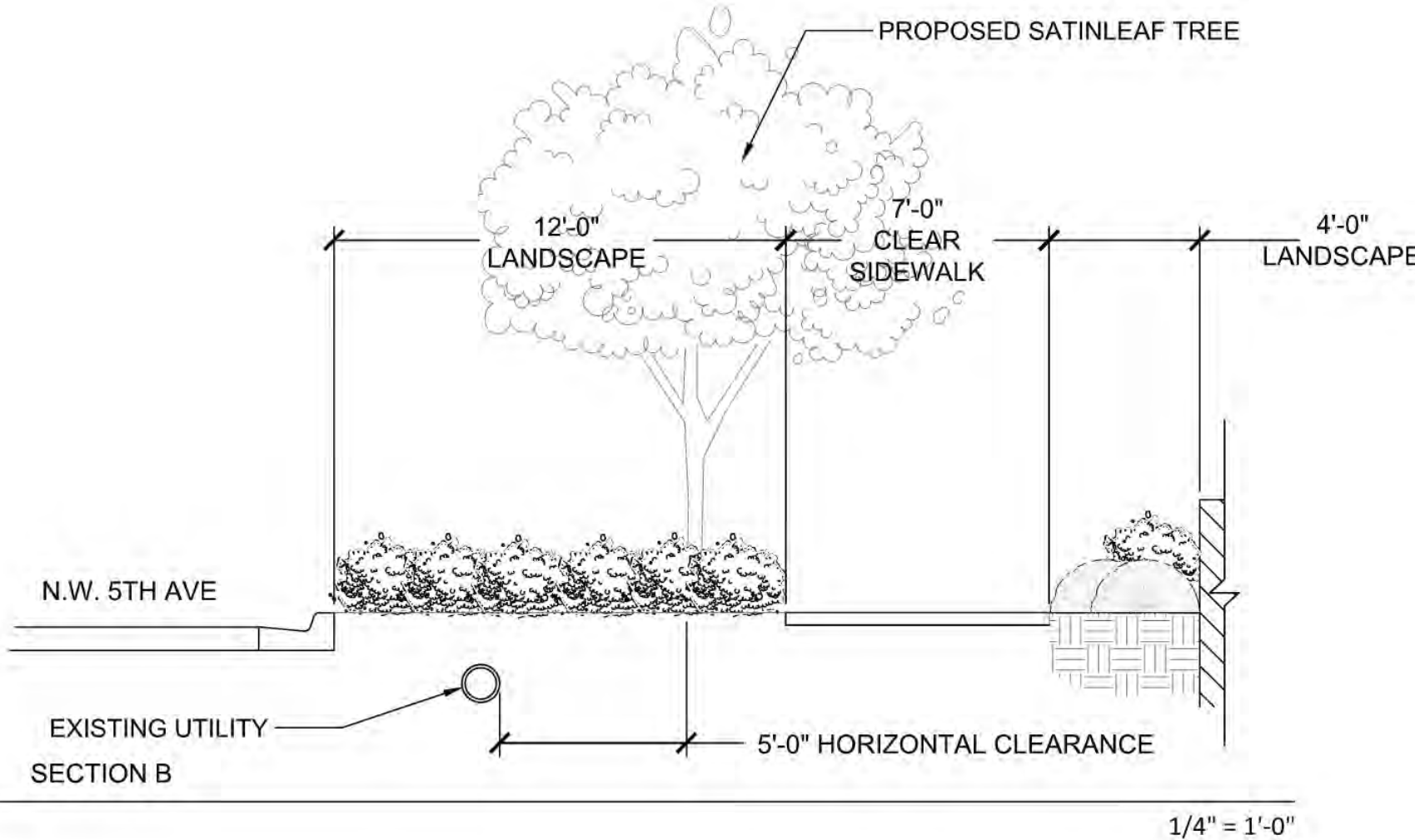
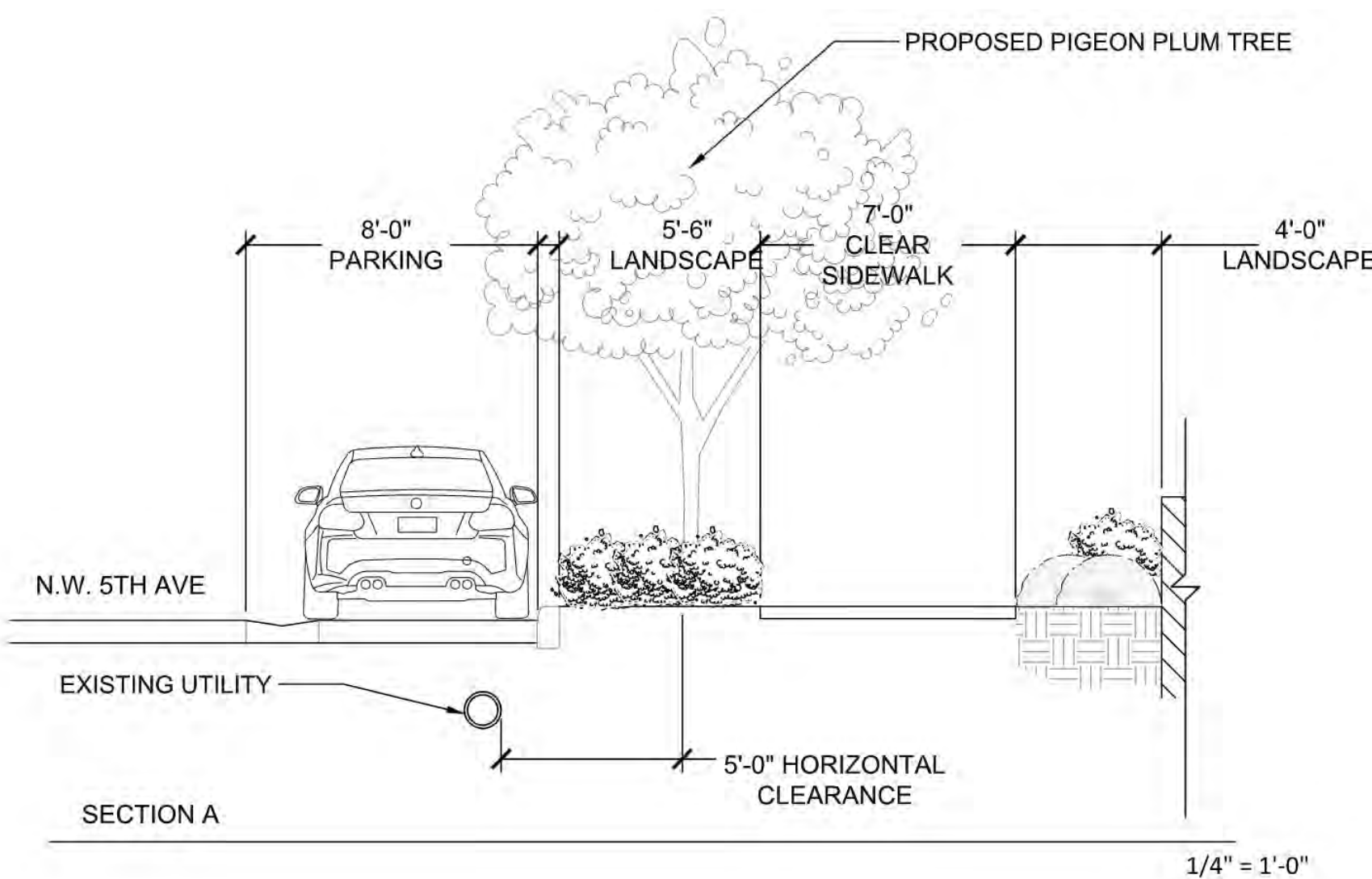
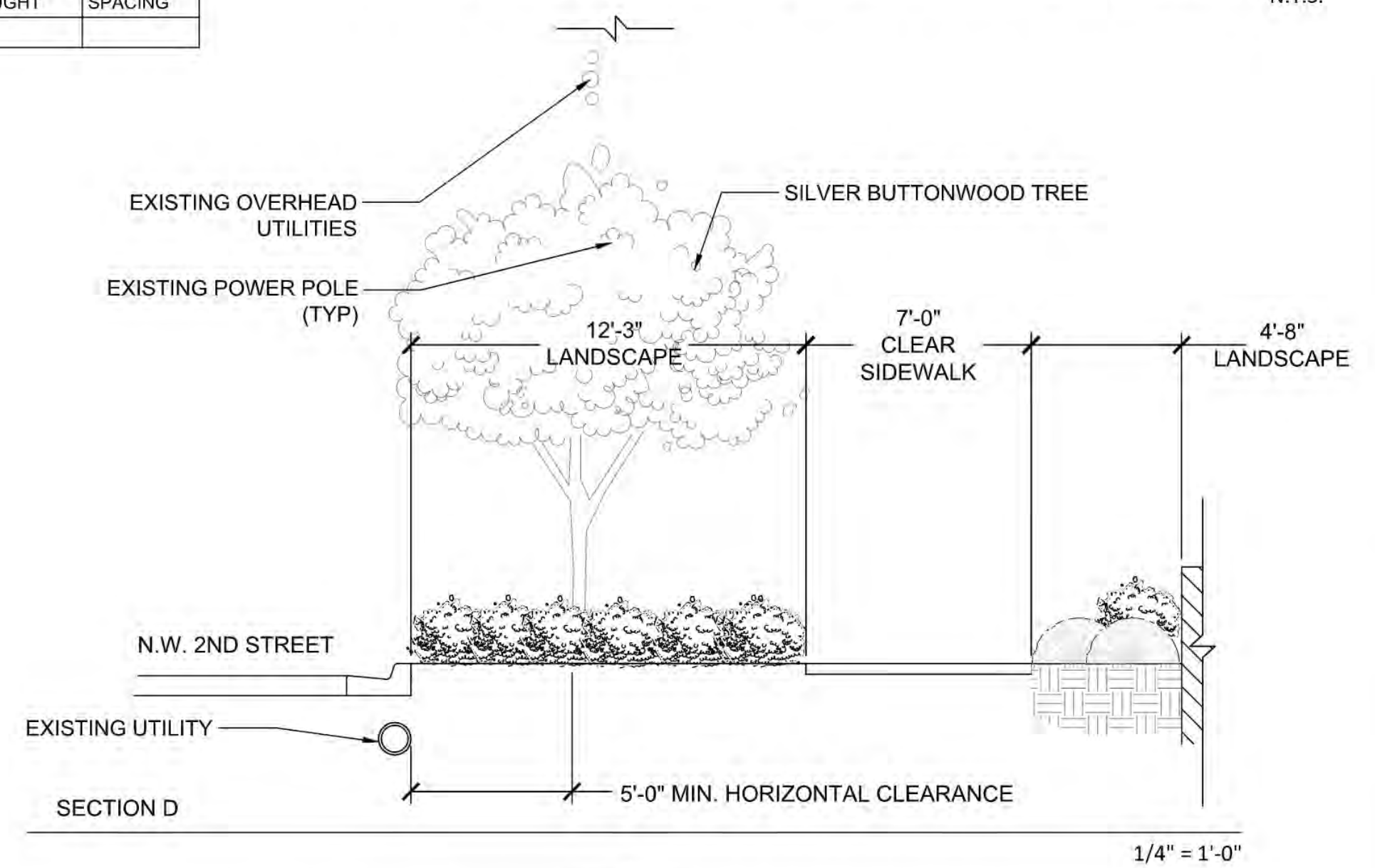
199 NW 5TH AVE LANDSCAPE CALCULATIONS		
FORT LAUDERDALE, FLORIDA		
ZONING (RAC-WMU)	DRC CASE NUMBER: UDP-S22002	
	REQUIRED	PROVIDED
<b>YARD AREAS: ONE TREE FOR EVERY 1,000 SQUARE FEET OF NET LOT OPEN SPACE</b>		
NET PERVIOUS AREA 4,950 S.F. / 1,000 S.F. = 5 TREES (3 SOLITAIRE PALMS = 1 TREE, 2 CRAPE MYRTLES, 2 WAY MYRTLES)	5	5
<b>STREET TREES: ONE PER 30' OF STREET FRONTAGE</b>		
NW 5TH AVE: 350 L.F. / 7.20 = 18 TREES (17 PIGEON PLUMS + 1 TRIPLE CHRISTMAS PALM)	18	18
NW 2ND ST. 140 L.F. / 15 = 10 TREES (9 SILVER BUTTONWOODS + 1 TRIPLE CHRISTMAS PALM)	10	10
NOTE: SILVER BUTTONWOODS ALONG NW 2ND ST. DUE TO OVERHEAD POWER LINES.		
TOTAL STREET TREES	28	28
<b>VUA TREES</b>	N/A	N/A
<b>TOTAL TREE REQUIREMENT</b>	33	33
<b>50% REQUIRED NATIVE TREE</b> (SOLITAIRE PALMS COUNTED 3:1)		
PALM TREES (50% MAX)	17	3
NATIVE TREES (50% MIN)	17	28
<b>50% REQUIRED NATIVE SHRUBS / GROUND COVERS</b>		
TOTAL PLANTS	2,222	2,222
TOTAL NATIVE	1,111	1,651
% NATIVE	50%	74%

NOTES:  
1. IRRIGATION PLANS TO BE PROVIDED AT SUBMITTAL FOR BUILDING PERMIT  
2. UPPER DECKS LANDSCAPE NOT INCLUDED IN CALCULATIONS

STATION VILLAGE TREE MITIGATION CALCULATIONS		
1. 54 INCHES REQUIRED TO BE MITIGATED. (54 x \$65) (SEE SHEET TREE DISPOSITION PLAN AND SCHEDULE SHEETS TS-1 & TS-2)		\$3,510
2. 54 INCHES PROVIDED ON SITE. (SEE LANDSCAPE PLAN) (54" x \$65)		\$3,510
3. 0 NON SPECIMEN CALIPER INCHES ARE REMAINING TO BE MITIGATED AS FOLLOWS: (0" x \$65)		\$0
4. 1 COCONUT TO BE MITIGATED AS FOLLOWS: (FEET OF CLEAR TRUNK x \$30) (30' OF CT x \$30)		\$900
5. 4 PALMS TO BE MITIGATED ON SITE AT 1:1 REPLACEMENT (2 AM, 2 PE)		\$0
NOTE: SEE SHEET L-200 FOR TREE EXISTING LOCATION AND SCHEDULE		
<b>TOTAL TO BE DEPOSITED INTO TREE CANOPY TRUST FUND</b>		<b>\$900</b>



TYPICAL PEDESTRIAN LIGHT FIXTURE



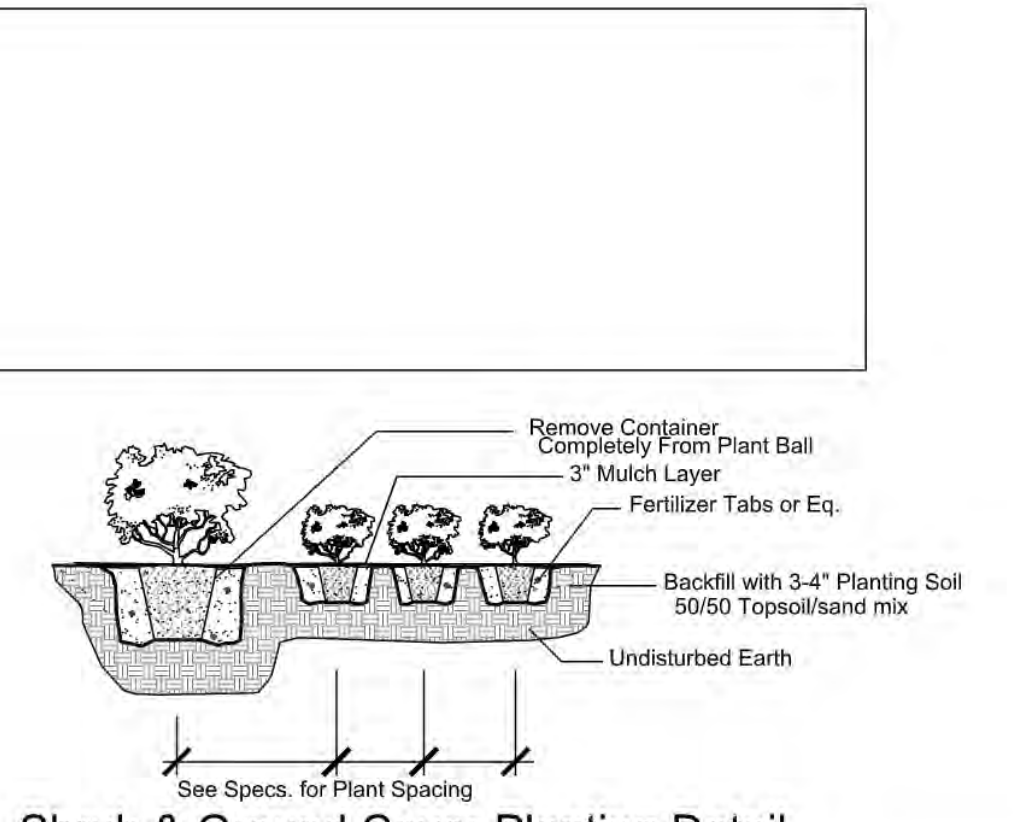
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Date: 2022.09.28 17:40:20 -0400

Revision Dates

DRC SUBMITTAL SET  
**199 NW 5TH AVE**  
FORT LAUDERDALE, FLORIDA

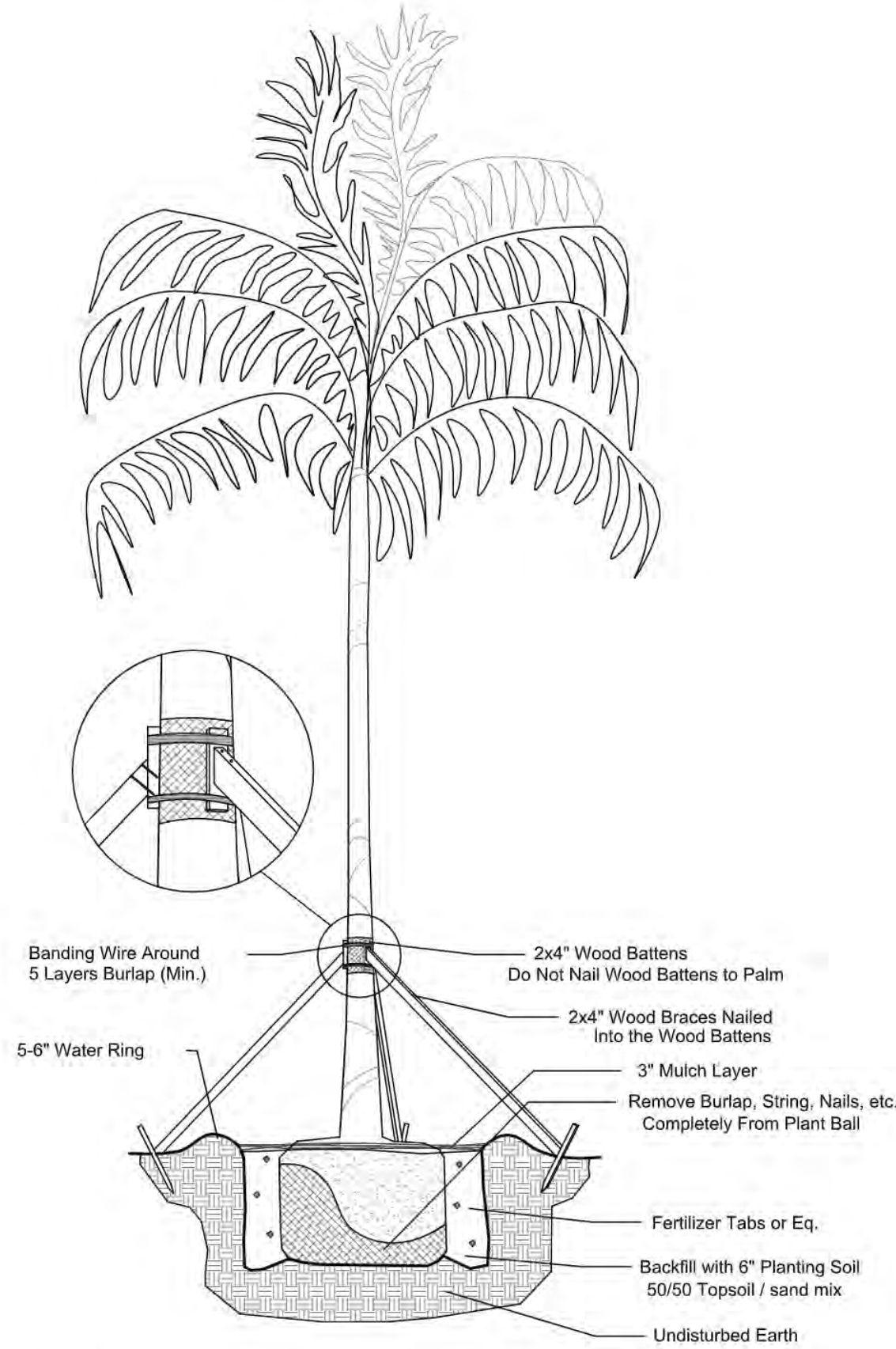
Sheet Description  
OVERALL LANDSCAPE SCHEDULE & DETAILS  
Release Date  
01-07-2022  
Project Number  
2102B  
Drawing Number  
**L-212**  
Sheet 4 OF 6





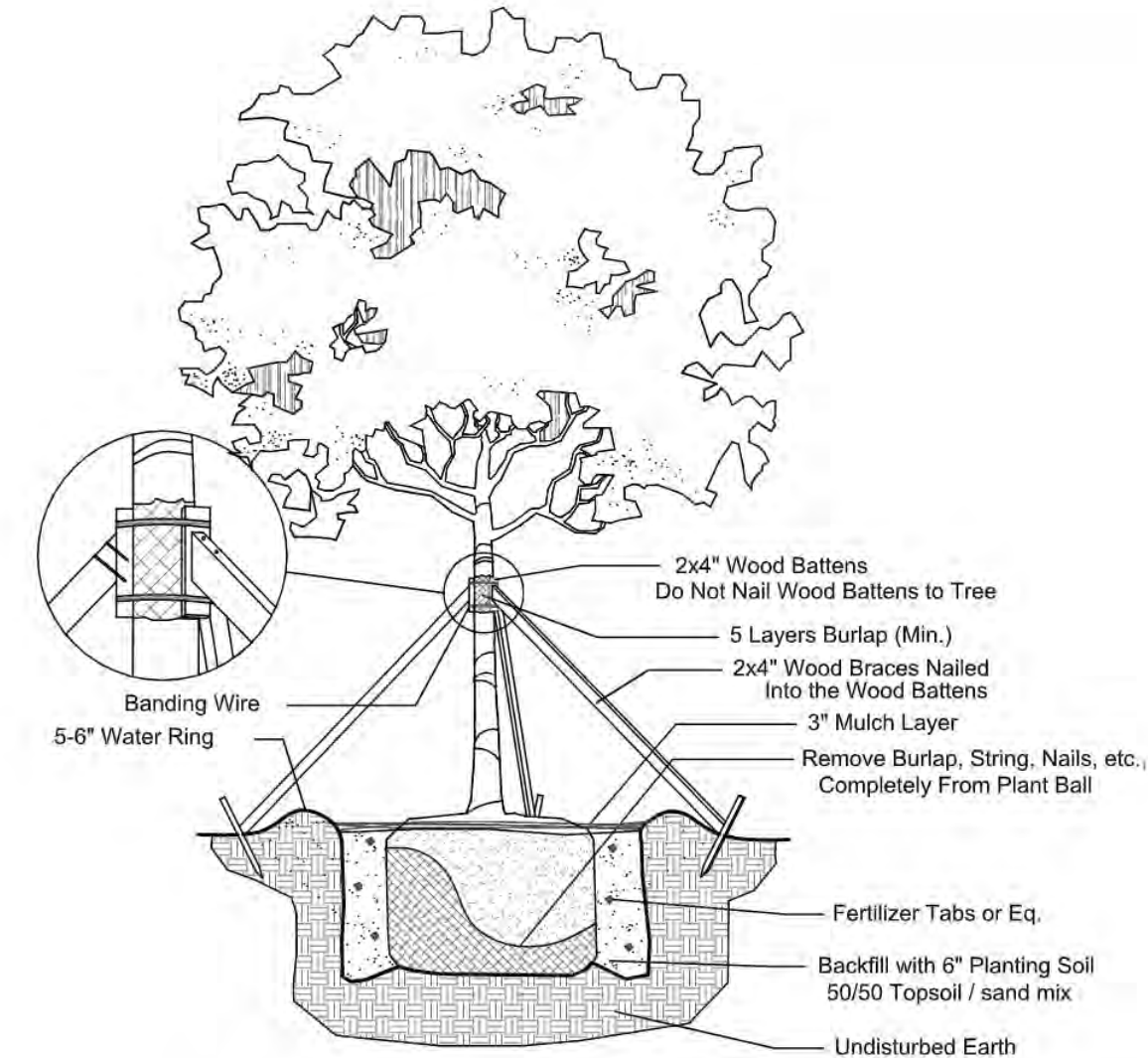
**Shrub & Ground Cover Planting Detail**

NTS



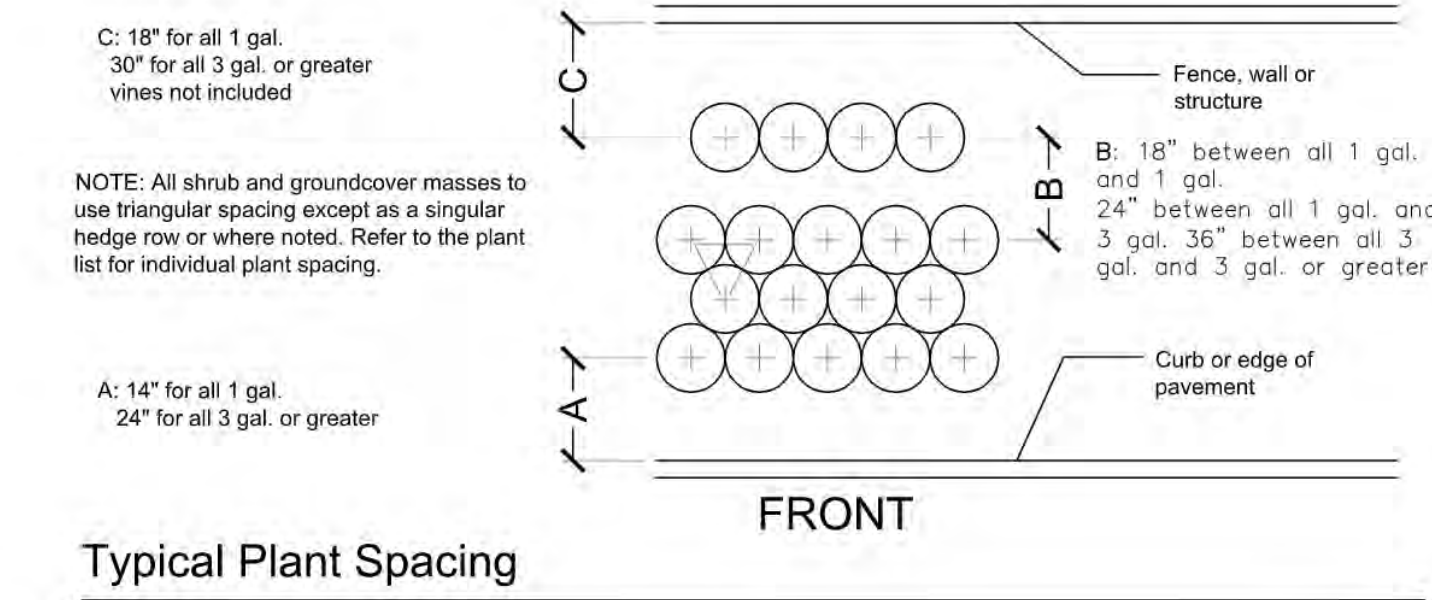
**Palm Planting Detail**

NTS



**Large Tree Planting Detail**

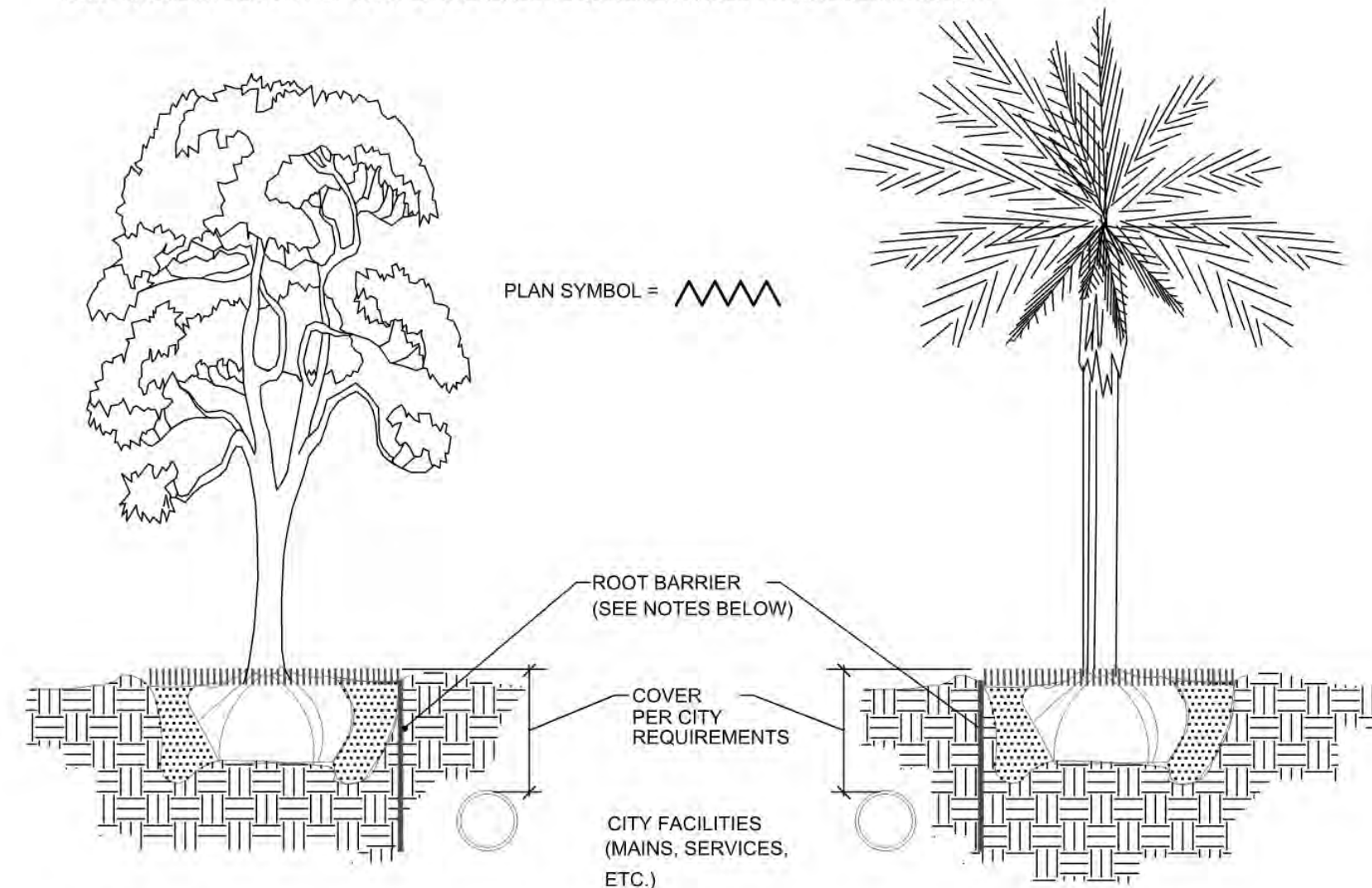
NTS



**Typical Plant Spacing**

NTS

NOTE: PROVIDE ROOT BARRIERS AS REQUIRED ON ALL TREES IN CONFLICT WITH MINIMUM CLEARANCE WITH UTILITIES, MINIMUM CLEARANCE OF 6' FT FOR PALMS AND SMALL TREES AND 10' FT FOR LARGE TREES WITH INTRUSIVE ROOT SYSTEMS PER CITY OF FORT LAUDERDALE REQUIREMENTS. SEE TYPICAL DETAIL BELOW.

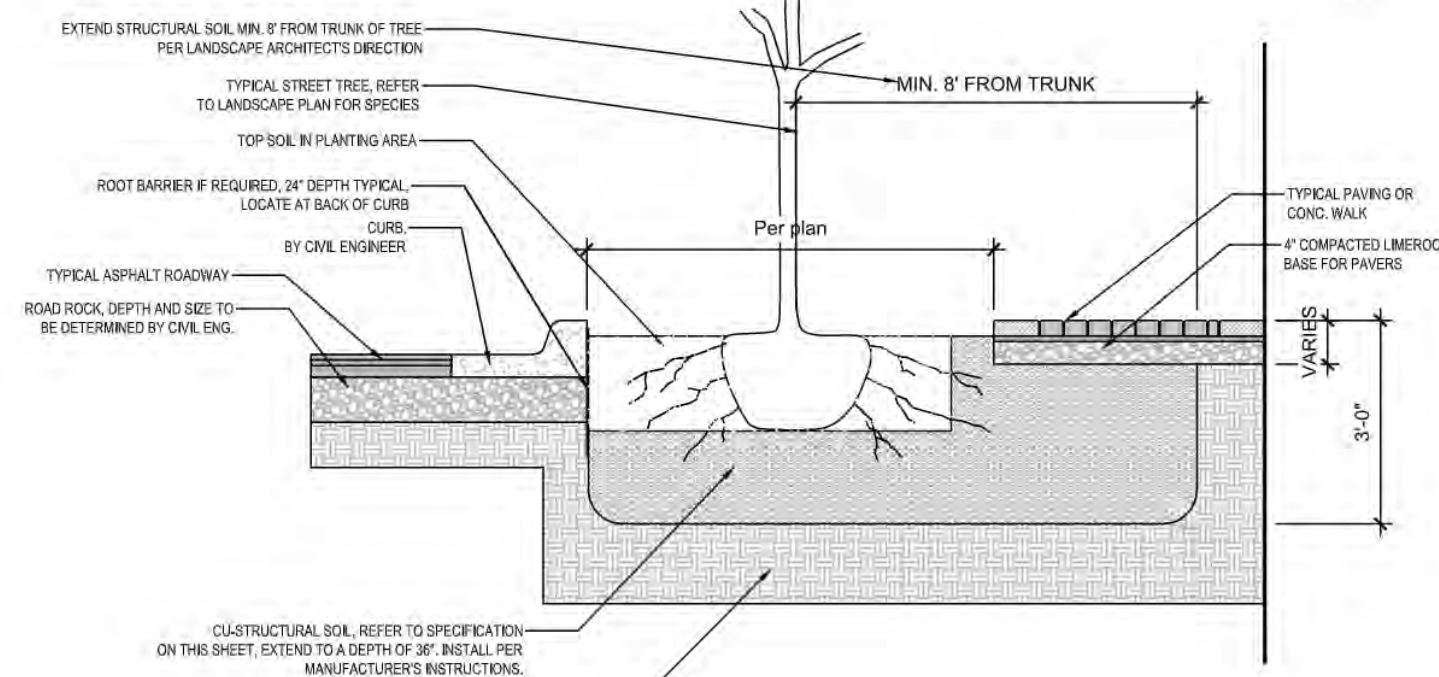


**NOTES:**

1. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH CITY AND INSPECTED BY CITY PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
2. ROOT BARRIERS SHALL HAVE MINIMUM DEEP PER CITY REQUIREMENTS. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
3. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

**Typical Root Barrier Detail**

NTS



**CU-STRUCTURAL SOIL DETAIL**

NTS

**FIRE HYDRANT CLEAR ZONE**

N.T.S.

TREE LOCATIONS TO BE COORDINATED IN FIELD AS TO NOT FALL IN CONFLICT WITH FH, FDC's, BFP's AND TRANSFORMERS

**FIRE HYDRANT CLEAR ZONE**

N.T.S.

**CU-STRUCTURAL SOIL<sup>®</sup> SPECIFICATIONS**

**PART 2 - MATERIALS**

**2.1 CLAY LOAM**

- A. Soil shall be a "loam" with a minimum clay content of 20% or a "clay loam" based on the "USDA classification system" as determined by mechanical analysis (ASTM D-422) and it shall be of uniform composition, without admixture of subsoil. It shall be free of stones, lumps, plants and their roots, debris and other extraneous matter. It shall not contain toxic substances harmful to plant growth. Clay loam shall contain not less than 2% or more than 5% organic matter as determined by the loss on ignition of oven-dried samples. Test samples shall be oven-dried to a constant weight at a temperature of 230 degrees F., plus or minus 9 degrees.
- B. Mechanical analysis for the loam or clay loam shall be as follows:
 

Textural Class	% of Total Weight
Gravel	less than 5%
Sand	20-45%
Silt	20-50%
Clay	20-40%
- C. Chemical analysis: Meet, or be amended to meet the following criteria:
  1. pH between 5.5 to 6.5
  2. Percent organic matter 2% - 5% by dry weight
  3. Adequate nutrient levels
  4. Soluble salt less than 1.0 mmho/cm
  5. Cation Exchange Capacity (CEC) greater than 10
  6. Carbon/Nitrogen ratio less than 33:1
- D. Loam or clay loam shall not come from USDA - classified prime farmland.

**2.2 FERTILIZER (if needed)**

- A. Should nutrient analysis suggest that the loam or clay loam need additional nutrients, it shall be amended by Amerq's licensed producer.
- B. Sulfur shall be a commercial granular, 98% pure sulfur, with material and analysis appearing on the label container.
- C. Sulfur used to lower pH shall be a ferrous sulfate formulation.
- C. Application rates shall be dependent on soil test results.

**2.4 LIME (if needed)**

- A. Agricultural lime containing a minimum of 85% carbonates.
- B. Application rates shall be dependent on soil test results.

**2.5 CRUSHED STONE**

- A. The size of the crushed stone shall be 0.75 inches to 1.5 inches allowing for up to 10% being greater than 1.5 inches, and up to 10% less than 0.75 inches.
- B. Acceptable aggregate dimensions will not exceed 2.5:1.0 for any two dimensions.
- C. Minimum 90% with two or more fractured faces.
- D. Results of Aggregate Soundness Loss test shall not exceed 18%.
- E. Losses from LA Abrasion tests shall not exceed 40%.

**2.6 HYDROGEL**

- A. Hydrogel shall be a coated potassium propionate-propenamide copolymer (Gelcap<sup>®</sup> Hydrogel Tackifier) as manufactured by Amerq, Inc. 800-832-8788.

**2.7 WATER**

- A. The installing contractor shall be responsible to furnish his own supply of water (if needed) free of impurities, to the site.

**2.8 CU-STRUCTURAL SOIL<sup>®</sup>**

- A. A uniformly blended urban tree mixture of crushed stone, clay loam and Gelcap<sup>®</sup> Hydrogel Tackifier, as produced by an Amerq-licensed company, mixed in the following proportion:
 

Material	Unit of Weight
specified crushed Stone	100 units dry weight
specified clay loam	20 - 25 units (to achieve minimum CBR of 50)
Gelcap <sup>®</sup> Hydrogel Tackifier	0.355 units dry weight
moisture	ASTM D698/AASHTO T-99 optimum moisture

**CU-STRUCTURAL SOIL SPECIFICATIONS**

**GENERAL PLANTING REQUIREMENTS**

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. A four-inch clear space must be left for air between plant bases and the mulch. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

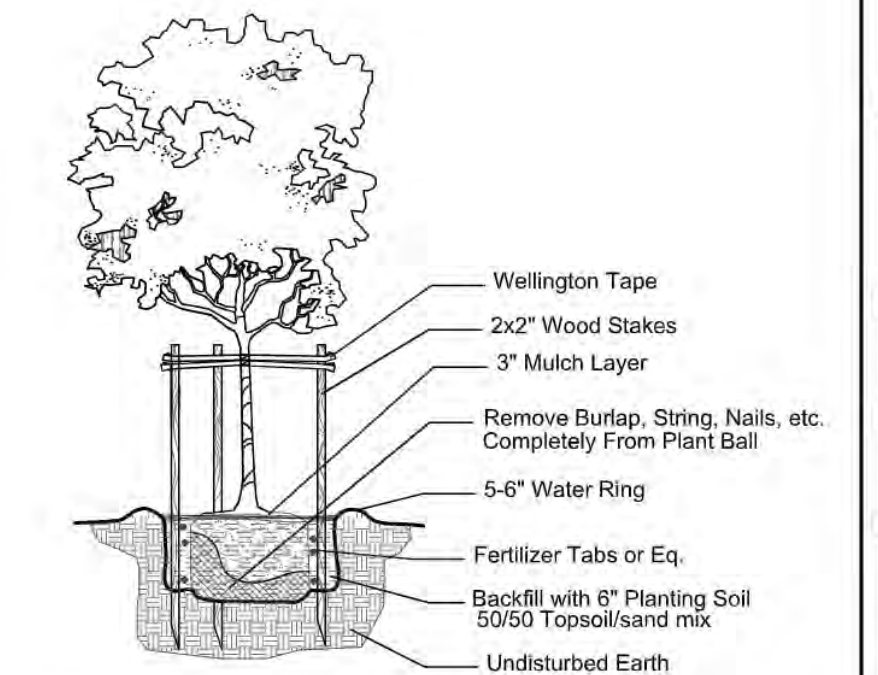
It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

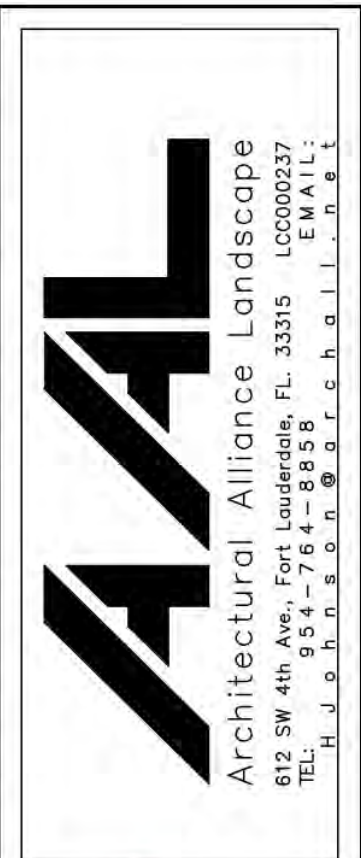
All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of AAL.

The plan takes precedence over the plant list.



**Small Tree Planting Detail**

NTS



DRC SUBMITTAL SET  
**199 NW 5TH AVE**  
 FORT LAUDERDALE, FLORIDA

Sheet Description
LANDSCAPE DETAILS & NOTES

Release Date
01-07-2022

Project Number
2102B

Drawing Number
<b>L-220</b>