



**The City of Fort Lauderdale Community Redevelopment Agency
Northwest - Progresso - Flagler Heights
Residential Facade and Landscaping Program Application**

INSTRUCTIONS: You must be the property owner to complete this application. Only one (1) application per household will be processed. For more information or to request assistance in completing this application, please contact the Fort Lauderdale Community Redevelopment Agency at (954) 828-4508 or 8229.

Return to: The City of Fort Lauderdale Community Redevelopment Agency, 914 Sistrunk Boulevard, Suite 200, Fort Lauderdale, FL 33311.

Name: Anita Bird

Property Address: 446 NW 20th Ave. Fort Lauderdale, FL 33311

Mailing Address (If different from above): _____

Home Phone: (____) _____ Cell Phone: (413) 557-8014 _____

E-Mail Address: anitaabird@gmail.com

Type of Improvement Requested: Paint _____ Landscape ☒ _____

I HEREIN CERTIFY, REPRESENT AND WARRANT THAT I AM THE SOLE PROPERTY OWNER OF THE ADDRESS ABOVE AND NO OTHER PARTY'S SIGNATURE IS REQUIRED TO APPROVE THE IMPROVEMENTS. I FURTHER CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

APPLICANT'S SIGNATURE: Anita Bird DATE: 8/7/23

PRINT NAME: Anita Bird

RIGHT OF ENTRY AND LIABILITY WAIVER AGREEMENT

This Agreement is by and between, Anita Bird
(the "Owner(s)") of the property commonly identified as:

446 NW 20th Ave

Folio No(s): 5042-04-30-0730

Fort Lauderdale, FL 33311

City/Town

Street (attach legal description if available) (referred to hereafter as the "Property")

And

Fort Lauderdale Community Redevelopment Agency, a community redevelopment agency organized pursuant to Chapter 163, Part III of the Florida Statutes ("NPFCRA").

RECITALS

Whereas, the NPFCRA was created in part to improve the appearance of the Northwest, Progresso Flagler Heights Community Redevelopment Area ("CRA Area"); and

Whereas, the NPFCRA has created a program for exterior improvements for owners in the CRA Area, which may provide, at the discretion of the NPFCRA, up to \$5,000 for certain exterior improvements to existing homes.

TERMS

Now therefore, in consideration of one or more of the following activities to be conducted on the Property, the Owner(s) thereof hereby grants to NPFCRA a right of entry and access to the Property and waives liability against NPFCRA, its employees, agents and public officials, for activities conducted under this Agreement in order to conduct one or more activities on the Property:

- (1) painting of the exterior, in accordance with the selection made by the Owner;
 ✓ (2) landscaping, in accordance with the selections made by the Owner.

Owner may select a contractor from a list of approved contractors created by NPFCRA. Alternatively, Owner may select a qualified contractor of its own choosing. Before the NPFCRA will make any disbursements, the Owner must provide adequate and sufficient documentation that it has procured a minimum of three (3) bids from qualified contractors, and upon selecting one of the bids, Owner must provide a copy of the contract between the Owner and the Contractor, a copy of the contractor's license and proof of insurance and such other information as requested by the NPFCRA. The NPFCRA reserves the right to reject any contractor it deems unqualified in its sole discretion. Further, if a notice of commencement is required, the NPFCRA must be listed on the Notice as an additional party to receive notice to owner. The NPFCRA shall make one disbursement to the Owner when the work is completed and inspected by the NPFCRA. Notwithstanding, the NPFCRA reserves the right to issue a joint check payable to the Owner and the Contractor and to withhold payment to the Owner and issue a check directly to a subcontractor or lien or providing notice to owner to the NPFCRA. In some instances, the NPFCRA may require partial and/or final releases of liens in its sole discretion.

This right of entry and waiver of liability granted by the Owner(s) is a requirement in order to access the funds under the Residential and Landscaping Program (the "Program"), which was established by the Fort Lauderdale Community Redevelopment Agency Board of Commissioners. The purpose of the Program is to provide assistance to qualified home owners to landscape, paint the exterior of their homes and/or complete other improvements to the façade of their homes.

This right of entry and access to the Property is hereby granted by the Owner to the NPFCRA and its contractors and their subcontractors thereof, employees, and authorized agents, for the purpose of accomplishing the above purpose. The Owner agrees and warrants to hold harmless NPFCRA, its officers, agents, employees or assigns for damage of any type, whatsoever, either to the above described Property or to any persons present thereon and hereby releases, discharges and waives and releases NPFCRA from any action against NPFCRA, its officers, agents, employees, or assigns from all liability to Owner(s), Owner(s)'s children, relatives, guests, representatives, assigns, or heirs, for defects in the work product, bodily injury, death or property damage that Owner(s) may suffer in connection with any activities on the Property, whether caused solely or partially by the NPFCRA, its officers, agents, employees, or assigns.

I/we have read this Right of Entry and Liability Waiver Agreement, or it has been read to me/us, and I/we fully understand its terms, understand that I have given up substantial rights by signing it, am aware of its legal consequences, and have signed it freely and voluntarily without any inducement, assurance, or guarantee being made to me and intend for my signature to be a complete and unconditional release of all liability to the greatest extent allowed by law.

After the improvements are completed, Owner agrees to maintain the improvements at his or her expenses. NPFCRA shall have no obligation to maintain the improvements. Further, NPFCRA shall have no liability for any defects in the quality of the work product.

Owner understands and acknowledges if it does not understand the legal consequence of signing this Agreement, it is encouraged to seek the advice and counsel of an attorney.

WHEREOF, the undersigned has caused this Right of Entry and Waiver of Liability Agreement to be executed on this 7 day of August, 2023.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, the Parties hereto have made and executed this Agreement on the date first above written.

Property Owner(s):

Anita Bird

[Print Name]

[Signature]

[Signature]

[Print Name]

[Signature]

Witness:

[Signature]

[Signature]

Jonelle Adderley

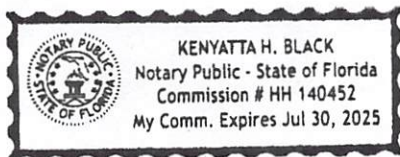
[Print Name]

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this 7th day of August, 2023, by Anita Bird and N/A by means of ☒ physical presence or ☐ online notarization this 7th day of August, 2023.

He ☒ She is personally known to me _____ or has presented the following DL as identification.

(SEAL)



Kenyatta H. Black

Notary Public, State of Florida

Kenyatta H. Black

Name of Notary Typed, Printed or Stamped

My Commission expires: 7/30/25
Commission Number: HH 140452

IN WITNESS WHEREOF, the undersigned have made their hand and seal of office on the _____ day of _____, 2020.

Notary Public for the State of Florida

(Print Name)

(Signature)

(Signature)

(Signature)

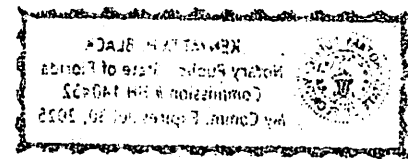
(Print Name)

(Signature)

STATE OF FLORIDA
COUNTY OF BREVARD

The foregoing instrument, as a whole, is the _____ day of _____, 2020, by _____ and _____, the undersigned, in the presence of _____, a Notary Public for the State of Florida.

I, _____, do hereby certify that the foregoing instrument is a true and correct copy of the original as the same appears in my records.



Notary Public, State of Florida

(Signature)

(Print Name)

(Signature)

(Print Name)

AGENCY:

**FORT LAUDERDALE COMMUNITY
REDEVELOPMENT AGENCY**, a body
corporate and politic of the State of Florida
created pursuant to Part III, Chapter 163

WITNESSES:

Donna Varisco

[Witness type or print name] Donna Varisco

Ingrid Kindom

[Witness type or print name]

INGRID KINDOM

By: Greg Chavarria

Greg Chavarria, Executive Director

ATTEST:

David R. Soloman

David R. Soloman,
CRA Secretary



Approved as to form and correctness:

D' Wayne Spence, Interim General Counsel

Lynn Solomon,
Assistant General Counsel

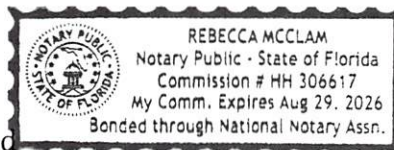
**STATE OF FLORIDA
COUNTY OF BROWARD**

The foregoing instrument was acknowledged before me by means of ☒ physical presence or
☐ online, this 28th day of August, 2023, by GREG CHAVARRIA, Executive Director
of the Fort Lauderdale Community Redevelopment Agency, a body corporate and politic of
the State of Florida created pursuant to Part III, Chapter 163.

Rebecca McClam

Notary Public, State of Florida

Name of Notary Typed, Printed or Stamped

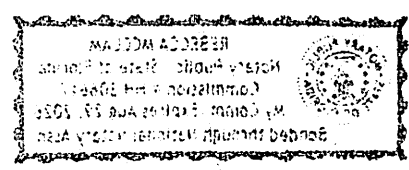


Personally Known ☒ OR Produced Identification ☐

Type of Identification Produced _____

Handwritten signature or initials.

Handwritten signature or initials.



Landscaping Design Selection Agreement

Property Owner Name: Anita Bird
(Please print)

Property Address: 440 NW 20th Ave. Fort Lauderdale, FL 33311
(Please print)

The undersigned property owner agrees to meet with the landscaper to discuss their individual design.

Anita Bird
Property Owner's Signature

9/7/23
Date

Property Maintenance Agreement

Property Owner Name: Anita Bird
(Please print)

Property Address: 4416 NW 20th Ave, Fort Lauderdale, FL 33311
(Please print)

The undersigned property owner agrees to maintain the property improvements and landscaping.

Anita Bird
Property Owner's Signature

7/7/23
Date

Florida DRIVER LICENSE  USA

B630-001-89-565-0 CLASS E

 **BIRD**
ANITA ALICE
446 NW 20TH AVE
FORT LAUDERDALE, FL 33311

DOB 02/25/1989 SEX F
EXP 02/25/2029 HGT 5'-07"
REST NONE END NONE

SAFE DRIVER
ISS 12/09/2020
SDD X65230517232
REPLACED 05/17/2023

Operation of a motor vehicle constitutes consent to any sobriety test required by law.

PROPERTY SUMMARY

Tax Year: 2023
Property ID: 504204300730
Property Owner(s): BIRD, ANITA ALICE
Mailing Address: 1331 SW 104 PASSAGE #112 MIAMI, FL 33174
Physical Address: 446 NW 20 AVENUE FORT LAUDERDALE, 33311

Property Use: 01-01 Single Family
Millage Code: 0312
Adj. Bldg. S.F.: 1029
Bldg Under Air S.F.: 1000
Effective Year: 1951
Year Built: 1950
Units/Beds/Baths: 1 / 2 / 0

Deputy Appraiser: Residential Department
Appraisers Number: 954-357-6831
Email: realprop@bcpa.net
Zoning: RS-8 - RESIDENTIAL SINGLE FAMILY/LOW MEDIUM DENSITY
Abbr. Legal Des.: RIVER BEND 25-50 B LOT 14 BLK 4

PROPERTY ASSESSMENT

Year	Land	Building / Improvement	Agricultural Saving	Just / Market Value	Assessed / SOH Value	Tax
2023	\$17,250	\$189,860	0	\$207,110	\$207,110	
2022	\$17,250	\$124,480	0	\$141,730	\$119,640	\$2,931.17
2021	\$17,250	\$91,520	0	\$108,770	\$108,770	\$2,586.70

EXEMPTIONS AND TAXING AUTHORITY INFORMATION

	County	School Board	Municipal	Independent
Just Value	\$207,110	\$207,110	\$207,110	\$207,110
Portability	0	0	0	0
Assessed / SOH	\$207,110	\$207,110	\$207,110	\$207,110
Granny Flat				
Homestead	0	0	0	0
Add. Homestead	0	0	0	0
Wid/Vet/Dis	0	0	0	0
Senior	0	0	0	0
Exemption Type	0	0	0	0
Affordable Housing	0	0	0	0
Taxable	\$207,110	\$207,110	\$207,110	\$207,110

SALES HISTORY FOR THIS PARCEL

Date	Type	Price	Book/Page or Cin	Unit Price	Units	Type
05/08/2023	Warranty Deed Qualified Sale	\$335,000	118850528	\$3.00	5,750 SqFt	Square Foot
05/13/2022	Warranty Deed Qualified Sale	\$234,000	118164399			
04/21/2022	Warranty Deed Excluded Sale	\$140,000	118128411			
01/09/2020	Personal Representatives Deed Non-Sale Title Change		116401091			
11/19/1999	Certificate of Title	\$16,600	30060 / 683			

LAND CALCULATIONS

RECENT SALES IN THIS SUBDIVISION

Property ID	Date	Type	Qualified/ Disqualified	Price	CIN	Property Address
504204300520	06/24/2023	Special Warranty Deed	Excluded Sale	\$120,000	118944709	508 NW 20 AVE FORT LAUDERDALE, FL 33311
504204300730	05/08/2023	Warranty Deed	Qualified Sale	\$335,000	118850528	446 NW 20 AVE FORT LAUDERDALE, FL 33311
504204300650	04/17/2023	Personal Representatives Deed	Disqualified Sale	\$190,000	118801985	412 NW 20 AVE FORT LAUDERDALE, FL 33311
504204300520	01/10/2023	Certificate of Title	Disqualified Sale	\$131,100	118642427	508 NW 20 AVE FORT LAUDERDALE, FL 33311
504204300330	11/18/2022	Warranty Deed	Qualified Sale	\$275,000	118527329	520 NW 21 AVE FORT LAUDERDALE, FL 33311

SPECIAL ASSESSMENTS

Fire	Garb	Light	Drain	Impr	Safe	Storm	Clean	Misc
Ft Lauderdale Fire-rescue (03)						(F1)		
Residential (R)								
1						1.00		

SCHOOL

North Fork Elementary: F
 Parkway Middle: I
 Stranahan High: C

ELECTED OFFICIALS

Property Appraiser	County Comm. District	County Comm. Name	US House Rep. District	US House Rep. Name
Marty Kiar	8	Robert McKinzie	20	Sheila Cherfilus-McCormick
Florida House Rep. District	Florida House Rep. Name	Florida Senator District	Florida Senator Name	School Board Member
99	Daryl Campbell	32	Rosalind Osgood	Dr. Jeff Holness

Prepared by and return to:

Steven A Greenspan
Attorney at Law
Steven A. Greenspan, P.A.
11050 North Kendall Drive Suite 108
Miami, FL 33176
305-270-0363
File Number: 23-0028K
Will Call No.:

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 8th day of May, 2023 between Construction Development Team LLC, a Florida limited liability company N/K/A Source Group Multiservices LLC, a Florida limited liability company whose post office address is 2414 Saint Augustine Blvd, Haines City, FL 33844, grantor, and Anita Alice Bird, a single woman whose post office address is 1331 SW 104th Passage Apt 112, Miami, FL 33174, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Broward County, Florida** to-wit:

Lot 14, Block 4, RIVER BEND, according to the map or plat thereof as recorded in Plat Book 25, Page 50, Public Records of Broward County, Florida.

Parcel Identification Number: 504204-30-0730

Subject to taxes for 2023 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2022**.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Marjorie Guerrero
Witness Name: Marjorie Guerrero
PABLO F. TANCHEZ
Witness Name: PABLO F. TANCHEZ

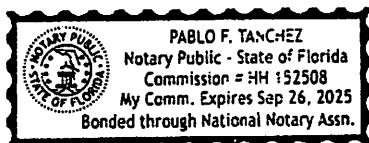
Construction Development Team LLC, a Florida limited liability company

By: [Signature]
Luis E. Guerrero, Managing Member

State of Florida
County of POCL

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 8th day of May, 2023 by Luis E. Guerrero, Managing Member of Construction Development Team LLC, a Florida limited liability company, on behalf of the company, who ☐ is personally known to me or ☒ has produced a driver's license as identification.

[Notary Seal]



[Signature]
Notary Public

Printed Name: PABLO F. TANCHEZ

My Commission Expires: 9/26/2025



CITY MANAGER'S OFFICE

DOCUMENT ROUTING FORM

Rev: 3 | Revision Date: 9/1/2022

TODAY'S DATE: August 7, 2023

DOCUMENT TITLE: Residential Facade and Landscaping Program Agreement - Anita Bird

COMM. MTG. DATE: 12/7/21 CAM #: 21-1146 ITEM #: RZ CAM attached: ☐ YES ☐ NO

Routing Origin: Jonelle Adderley Router Name/Ext: 4508 Action Summary attached: ☐ YES ☐ NO

CIP FUNDED: ☐ YES ☐ NO

Capital Investment / Community Improvement Projects defined as having a life of at least 10 years and a cost of at least \$50,000 and shall mean improvements to real property (land, buildings, or fixtures) that add value and/or extend useful life, including major repairs such as roof replacement, etc. Term "Real Property" include land, real estate, realty, or real.

2) City Attorney's Office: Documents to be signed/routed? ☐ YES ☐ NO # of originals attached: 1

Is attached Granicus document Final? ☐ YES ☐ NO Approved as to Form: ☐ YES ☐ NO

Date to CCO: 8-15-23 Attorney's Name: Lynn Solomon Initials: [Signature]

3) City Clerk's Office: # of originals: 1 Routed to: _____ Ext: _____ Date: 08/18/23

4) City Manager's Office: CMO LOG #: AUG 16 Document received from: CCO 8/18/23

Assigned to: GREG CHAVARRIA ☒ ANTHONY FAJARDO ☐ SUSAN GRANT ☐
GREG CHAVARRIA as CRA Executive Director ☐

☐ APPROVED FOR G. CHAVARRIA'S SIGNATURE ☐ N/A G. CHAVARRIA TO SIGN

PER ACM: A. FAJARDO (Initial) S. GRANT (Initial)

☐ PENDING APPROVAL (See comments below)

Comments/Questions: _____

Forward 1 originals to ☐ Mayor ☒ CCO Date: 8/21/23 CCO

5) Mayor/CRA Chairman: Please sign as indicated.

Forward _____ originals to CCO for attestation/City seal (as applicable) Date: _____

INSTRUCTIONS TO CITY CLERK'S OFFICE

City Clerk: Retains _____ original and forwards _____ originals to: Jonelle Adderley (Name/Dept/Ext) X-4508

Attach _____ certified Reso # _____ ☐ YES ☐ NO

Original Route form to CAO
scan copies to Erica H.